

Tuesday October 1, 2019
Medway Planning and Economic Development Board
155 Village Street
Medway, MA 02053

Members	Andy Rodenhiser	Bob Tucker	Tom Gay	Matt Hayes	Rich Di Iulio
Attendance	Remote Participation	X	X	X	X

The meeting is being broadcast and recorded by Medway Cable Access.

PRESENT:

Susy Affleck-Childs, Planning and Economic Development Coordinator
Steve Bouley, Tetra Tech
Amy Sutherland, Recording Secretary

Vice Chairman Tucker called the meeting to order at 7:00 p.m.

PUBLIC COMMENTS:

There were no Public Comments.

MARZILLI LANDSCAPE CONSTRUCTION SITE PLAN:

The Board is in receipt of the following: **(See Attached)**

- Public Hearing Continuation Notice
- Site Plan dated 8-16-19
- Proposed building elevations
- Excerpts from the minutes of the 9-10-19 PEDB meeting
- Conservation Commission Order of Conditions and Land Disturbance Permit dated 9-26-19
- Additional information provided by applicant regarding storage of liquid petroleum products and compliance with Groundwater Protection District zoning provisions.

Chairman Rodenhiser was called to participate remotely in the meeting.

Peter Beemis from Engineering Design Consultants and applicant Bob Marzilli were present. Mr. Bemis explained that the Conservation Commission had issued an Order of Conditions and Land Disturbance Permit for this project on September 26, 2019. The proposed fuel storage area was also discussed and approved by the Conservation Commission. The Board was informed that the Design Review Committee will be discussing the proposed building elevations at their October 7, 2019 meeting. The applicant was scheduled to go to the September 23, 2019 DRC meeting which was cancelled due to a lack of quorum. The photometric plan was submitted. The infiltration catch basin and outfall was noted. Web Engineering Associates, Inc. has shown

the fuel containment area. This will still need to be approved by the Fire Chief. There will be a canopy which extends over the fueling area. There will be a reduction in the volume of fuel stored on site from what was originally proposed. There will be two tanks, each 1,100 – 1,200 gallons in size. These units will have a double wall tight tank. The building addition size was reduced by 1,000 sq. ft. from 7,900 to 6,900 sq. ft. This will make more room to allow for easier access for fuel delivery vehicles to enter and exit. It was suggested that the applicant provide turning radius information for the Town's fire trucks. In regard to parking, there was a suggestion to have parking on one side parallel with a landscape island. The building renderings were shown. There will be a brick façade with an insulated metal panel on a horizontal grid. The second story will be mostly storage. There will be a steel overhang. The panels can be movable. The existing electrical transformer is located near a new door but will remain in its location. There is little to no noise from the transformer.

The Board discussed the next steps. Peter Bemis will incorporate all of the information from Consultants Carlucci and Bouley and submit a revised plan to the Board.

On a motion made by Matt Hayes and seconded by Rich Di Iulio, the Board voted unanimously to continue the hearing to Tuesday, October 22, 2019 at 9:00 pm.

CTS SITE PLAN, 9 TROTTER DRIVE – Project Completion

The Board is in receipt of the following: (See Attached)

- Letter dated 9-23-19 from Project Engineer Peter Bemis
- Email dated 9-20-19 from Project Engineer Peter Bemis
- Eversource service order dated 8-19-19
- CTS Revised As-Built plan dated 9-27-19 prepared by Engineering Design Consultants, Inc.
- 9-24 and 9-25-19 emails re: revised as-built plan and project engineer sign off.
- Photo of trench repair
- Excerpt from 7-10-18 CTS Site Plan Decision re: project completion
- As-Built sign off email memo from Steve Bouley dated 9-30-19.

Project Engineer Peter Bemis was present on behalf of the permittee to request that the Board authorize the Building Department to issue a Certificate of Occupancy for the CTS facility at 9 Trotter Drive. The site work has been completed with underground conduit installation and pavement restoration. Business and property owner Steve Fisk is not able to get his permanent financing from his lender without an occupancy permit.

The Board was made aware that both Chairman Rodenhiser and Consultant Bouley have visited the site and the work is complete. The cables are scheduled to be pulled within two weeks. The Eversource work order has been provided. All taxes have been paid on this property; this is part of the standard sign-off for project completion.

On a motion made by Rich Di Iulio and seconded by Tom Gay, the Board voted unanimously to allow for occupancy for 9 Trotter Drive based on the work completed.

NOTE - The form for a Certificate of Site Plan Completion will be signed at the next meeting.

TOWN MEETING ARTICLES:

The Board is in receipt of the following updated versions of proposed amendments to the Zoning Bylaw. **(See Attached)**

- Multi-Family Housing
- Site Plan
- Parking – Electric Vehicle Charging Stations
- Special Permit – Coordination with Site Plan Review
- Outdoor Storage
- Oak Grove

The Board was informed that the Public Hearing for the proposed Zoning Bylaw amendments has been changed from October 8, 2019 to October 22, 2019 at 7:00 pm. The Articles were presented to the Board of Selectmen at its September 30 meeting. The BOS decided to not provide a recommendation yet on the outdoor storage article since it needs further refinement. The Board needs to address a few more items, have the public hearing and report back to the BOS.

SALMON – STORMWATER DRAINAGE FIELD CHANGE:

The Board is in receipt of the following: **(See Attached)**

- Letter from Coneco Engineering dated 9-18-19
- Proposed stormwater design changes by Coneco Engineering dated 9-5-19
- Email from Building Commissioner Jack Mee dated 9-19-19
- Tetra Tech review letter of proposed changes dated 9-26-19

The Salmon representatives were Jeff Robinson, project manager Rachel Whitmore and project engineer Jonathan Novak. It was explained that the roof drains at the main building need to be rerouted to another drainage facility. Structural fill was required to provide adequate support in areas that encroached on the previously approved drainage facilities. They now propose to achieve a hydraulic connection through a “wick” design consisting of permeable area in the bottom of the drainage facility surrounded by the structural fill. This will allow for the remaining flows that were originally directed to Infiltration Trenches 17 and 18 to go to Infiltration Trench 18A instead. There was a meeting with Steve Bouley, Bridget Graziano, Rachel Whitmore, Jeff Robinson and Jon Novak on site and this method was discussed as a possible solution.

Last week, Mr. Robinson met with the Conservation Commission to discuss this proposal. There were concerns whether the “wick” design will work. It was communicated by Mr. Robinson that

the representatives who are the civil engineers are the experts on the system. Salmon's engineer will sign an affidavit that this system will work. Mr. Robinson is in receipt of an email from the Conservation Commission Agent directing them to cease further installation. Planning and Economic Development Board members Bob Tucker and Andy Rodenhiser have visited the site. The project does have an Order of Conditions from Conservation. Will this proposed impact the Order of Conditions? Does this change constitute an amendment? This is under the jurisdiction of the Conservation Commission and they will need to make that determination.

Member Tucker communicated that the reduction of a basin is a good thing but he would like Consultant Bouley to verify that the wick is not contaminated. Consultant Bouley indicated that he did not see the wicks being installed, but these are modeled in a fashion which is standard in the industry. This is not a prohibited method and is a viable alternative in designing these systems.

The members seem comfortable with this being a field change from the Board's perspective. The Board would like a letter sent to the Conservation Commission indicating their opinion. The permittee will be attending the Conservation Commission meeting on October 10, 2019. The applicant will also be scheduled to meet again with the Planning and Economic Development Board on Tuesday October 22, 2019 with no set appointment time.

NEXT MEETING – Tuesday, October 8, 2019 at 7 pm.

ADJOURN:

On a motion made by Matt Hayes and seconded by Rich Di Iulio, the Board voted unanimously to adjourn the meeting at 8:51 pm.

Respectfully Submitted,

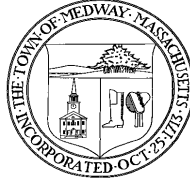


Amy Sutherland
Recording Secretary

Reviewed and edited by,



Susan E. Affleck-Childs
Planning and Economic Development Coordinator



October 1, 2019

**Medway Planning & Economic Development Board
Special Meeting**

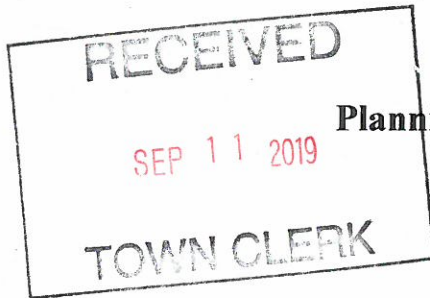
**Marzilli Landscape Construction Site Plan
and Groundwater Special Permit – Public
Hearing Continuation**

UPDATED – October 1, 2019

- Public Hearing Continuation Notice
- Site plan dated 8-16-19. This is the plan you saw and discussed at the 9-10-19 hearing.
- Proposed building elevations. To be discussed with the DRC on 10-7-19. The DRC was scheduled to review at its 9-23-19 meeting which had to be cancelled due to a lack of quorum.
- Excerpt from the minutes of the 9-10-19 PEDB mtg re: Marzilli public hearing
- Conservation Commission Order of Conditions and Land Disturbance Permit signed 9-26-19

~~At the 9-10-19 hearing, I asked Mr. Marzilli to provide some additional information about how the proposed project, which includes major upgrades to their outside “storage of liquid petroleum products”, complies with the Town’s Groundwater Protection District requirements. A communication from Mr. Marzilli’s attorney is expected to be submitted on Monday. I will forward that to you upon receipt.~~

- **Additional information provided by the applicant re: the applicability of the Groundwater Protection District regulations to their site and their pre-existing, non-conforming use (storage of liquid petroleum products).**



TOWN OF MEDWAY
Planning & Economic Development Board


155 Village Street
Medway, Massachusetts 02053

Andy Rodenhiser, Chairman
Robert K. Tucker, Vice-Chairman
Thomas A. Gay, Clerk
Matthew Hayes, P.E.
Richard Di Iulio

MEMORANDUM

September 11, 2019

TO: Maryjane White, Town Clerk
Town of Medway Departments, Boards and Committees

FROM: Susy Affleck-Childs, Planning & Economic Development Coordinator 

RE: **Public Hearing Continuation: Marzilli Site Plan – 21 Trotter Drive**
CONTINUATION DATE: Tuesday, October 1, 2019 at 7:00 p.m.
LOCATION: Medway Town Hall – Sanford Hall, 155 Village Street

At its meeting on September 10, 2019, the Planning and Economic Development Board (PEDB) voted to continue the public hearing on the applications of 21 Trotter Drive, LLC of Medway, MA for approval of a major site plan and a groundwater protection district special permit for the construction of an addition to the existing building and associated site improvements for the R.P. Marzilli & Company property located at 21 Trotter Drive. The next hearing will be held on Tuesday, October 1, 2019 at 7:00 p.m. during a special PEDB meeting to be held in Sanford Hall at Medway Town Hall, 155 Village Street.

The subject property, shown as Parcel 3 on Medway Assessors Map 64, is 11.03 acres in size. It is located in the West Industrial zoning district. R.P. Marzilli & Company is a residential landscape contractor. 21 Trotter Drive is bounded by properties owned by Medway Trotter LLC, Boston Edison/NSTAR, John and Eileen Aviza, and Marie Fortune. The site includes wetlands resources under the jurisdiction of the Medway Conservation Commission. The project must also secure a land disturbance permit from the Conservation Commission. The Commission has begun its public hearing for this site.

The proposed project includes construction of an approximately 7,944 sq. ft. addition to the existing R.P. Marzilli building and associated site improvements including stormwater management facilities, lighting, landscaping, a materials storage area, and a vehicle refueling facility. The site's access from the existing curb cut at the end of Trotter Drive will remain. The building is set back approximately 320' feet from Trotter Drive. The project includes paved parking for a total of 129 parking spaces for employees, visitors, and company vehicles. The planned improvements are shown on *21 Trotter Drive Site Plan dated August 6, 2019 prepared by Engineering Design Consultants, Inc. of Southborough, MA.*

The permit applications, site plan, and other associated documents are on file with the Medway Town Clerk and at the office of the Planning and Economic Development Board at Medway Town Hall, 155 Village Street and may be reviewed during regular business hours. The materials have also been posted to the Planning and Economic Development Board's web page at: <https://www.townofmedway.org/planning-economic-development-board/pages/rp-marzilli-landscape-construction-major-site-plan-review>

If Town staff, boards and committees wish to provide comments on the proposed site plan, please do so by September 25th so I can share them with the project engineer before the October 1st hearing. Please contact me if you have any questions. Thanks.

Telephone: 508-533-3291

Fax: 508-321-4987

planningboard@townofmedway.org

21 TROTTER DRIVE

A SITE PLAN

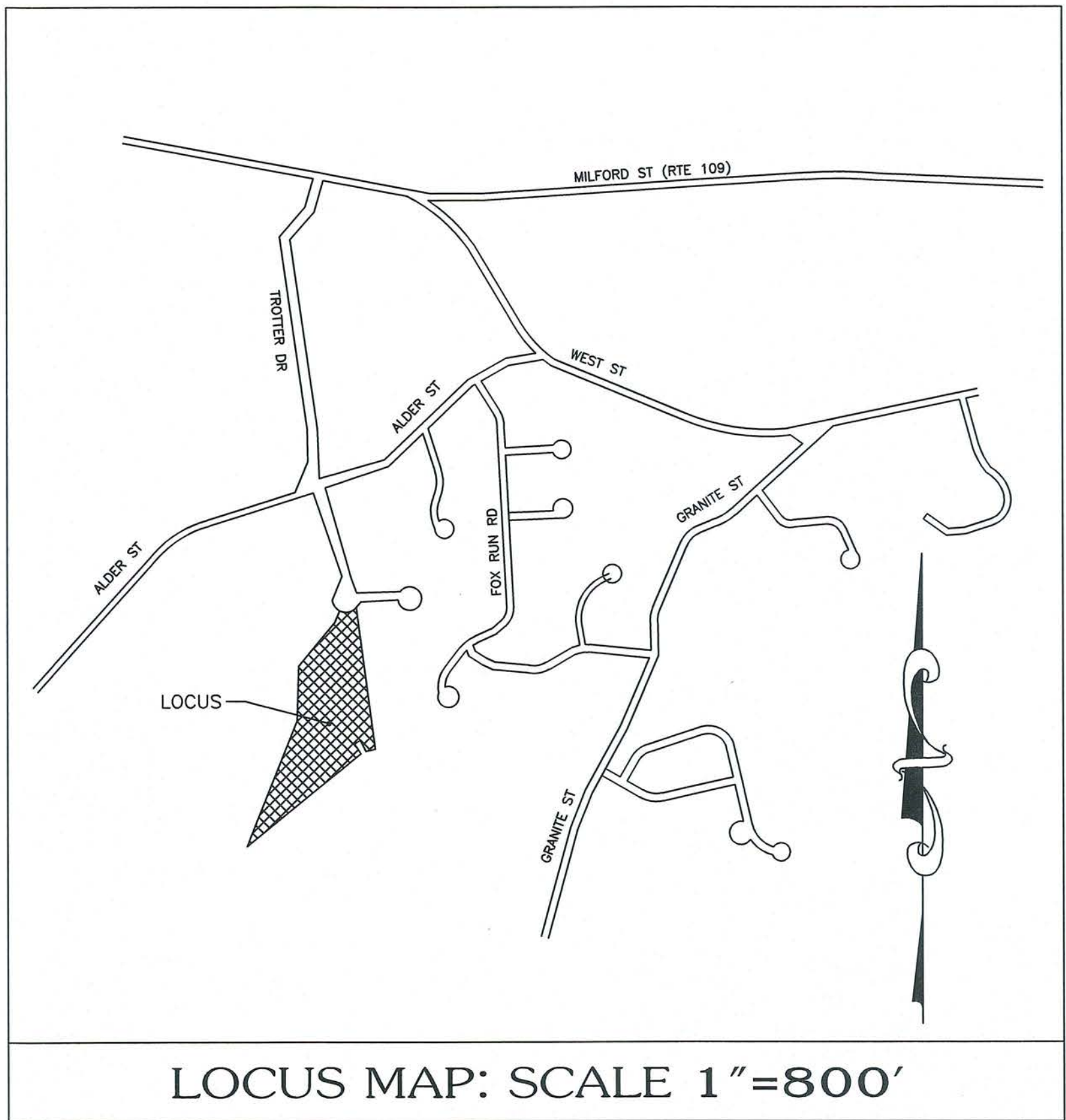
IN

MEDWAY, MASSACHUSETTS

(NORFOLK COUNTY)

OWNER/APPLICANT:
21 TROTTER DRIVE LLC
21A TROTTER DRIVE
MEDWAY, MASSACHUSETTS 02053

ENGINEER:
ENGINEERING DESIGN
CONSULTANTS, INC.
32 TURNPIKE ROAD
SOUTHBOROUGH, MASSACHUSETTS 01772



APRIL 8, 2019
REV.: JULY 25, 2019
REV.: AUGUST 6, 2019

SHEET LIST:

SITE PLANS

- 1 COVER SHEET
- 2 EXISTING CONDITIONS
- 3 PROPOSED LAYOUT
- 4 GRADING & UTILITIES
- 5 LIGHTING & LANDSCAPING
- 6 DETAILS

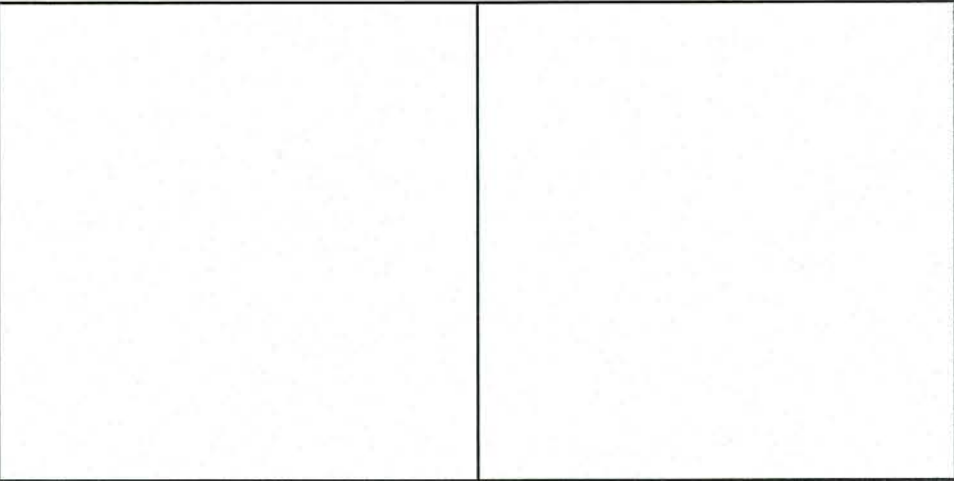
STORMWATER PLANS

- 1 STORMWATER (SWPPP) PLAN

LEGEND	
BIT CONC	BITUMINOUS CONCRETE
CB	BORING
CB/PLUG	CATCHBASIN
CC	CONCRETE BOUND/PLUG
CCB	CONCRETE CURB
CO	CAPE COD BERM
CONC	CLEAN OUT
CONC	CONCRETE
CS	CURB STOP
CW	CROSSWALK
D	DRAINLINE
DCB	DOUBLE CATCH BASIN
DI	DUCTILE IRON
DMH	DRAIN MANHOLE
E	ELECTRIC
ECB	EROSION CONTROL BARRIER
EMH	ELECTRIC MANHOLE
FD	FOUNDATION DRAIN
FE	FLARED END
G	GAS LINE
GC	GAS GATE
GV	GATE VALVE
HC	HANDICAPPED RAMP
HCC	HAUNCHED CONCRETE CURB
HYD	HYDRANT
ID	INTERCEPTOR DRAIN
INV	INVERT
LP	LIGHT POLE
MH	MANHOLE
PIV	POST INDICATOR VALVE
PPVC	PERFORATED POLY-VINYL-CHLORIDE
PVC	POLY-VINYL-CHLORIDE
RCP	REINFORCED CONCRETE PIPE
RD	ROOF DRAIN
S	SEWER LINE
SB	SIGN
SB/DH	SPEED BUMP
SB/DH(TBS)	STONE BOUND/DRILLHOLE
SOC	STONE BOUND/DRILLHOLE(TO BE SET)
SMH	SLOPED GRANITE CURB
SWBL	SEWER MANHOLE
SWSL	SINGLE WHITE BROKEN LINE
SWSL	SINGLE WHITE SOLID LINE
T24	TEST PIT
TD	24" TREE
TELE	TRENCH DRAIN
TMH	TELEPHONE LINE
TRANS	TELEPHONE MANHOLE
TS	TRANSFORMER
UD	TRANSITION STONE
VGC	UNDERDRAIN
W	VERTICAL GRANITE CURB
WG	WATER LINE
WF #A-50	WATER GATE
	WETLAND FLAG

APPROVED BY:
MEDWAY PLANNING & ECONOMIC
DEVELOPMENT BOARD

DATE: _____



CERTIFICATE OF VOTE

SEE CERTIFICATE OF VOTE FOR SITE PLAN APPROVAL DATED, XXXXXXXXXXXX FOR PLAN ENTITLED, '21 TROTTER DRIVE, MEDWAY MASSACHUSETTS,' FROM THE MEDWAY PLANNING BOARD, VOTED TO APPROVE WITH STANDARD CONDITIONS.

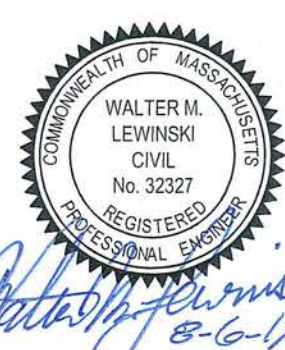
ORDER OF CONDITIONS

SEE ORDER OF CONDITIONS FROM MEDWAY CONSERVATION COMMISSION DATED, XXXXXXXXXXXX FOR DEP FILE NO. 216-0937.



ENGINEERING DESIGN CONSULTANTS, INC.'S LIABILITY FOR THIS PLAN IS LIMITED TO THE EXTENT OF ITS FEE LESS THIRD PARTY COSTS.

		REVISIONS		
DRWN BY:	ZRB	2	8/6/19	REVISED INFILTRATION/DETENTION BASIN
CHECKD BY:	PSB	1	7/26/19	ADDRESS CONCOM COMMENTS
APPROV BY:	WML	0	4/9/19	SITE PLAN REVIEW
		REV #	DATE	DESCRIPTION



PREPARED BY:

EEC

Engineering Design Consultants, Inc.
32 Turnpike Road
Southborough, Massachusetts
ph:(508) 480-0225 fax:(800)832-5781

PROJEC

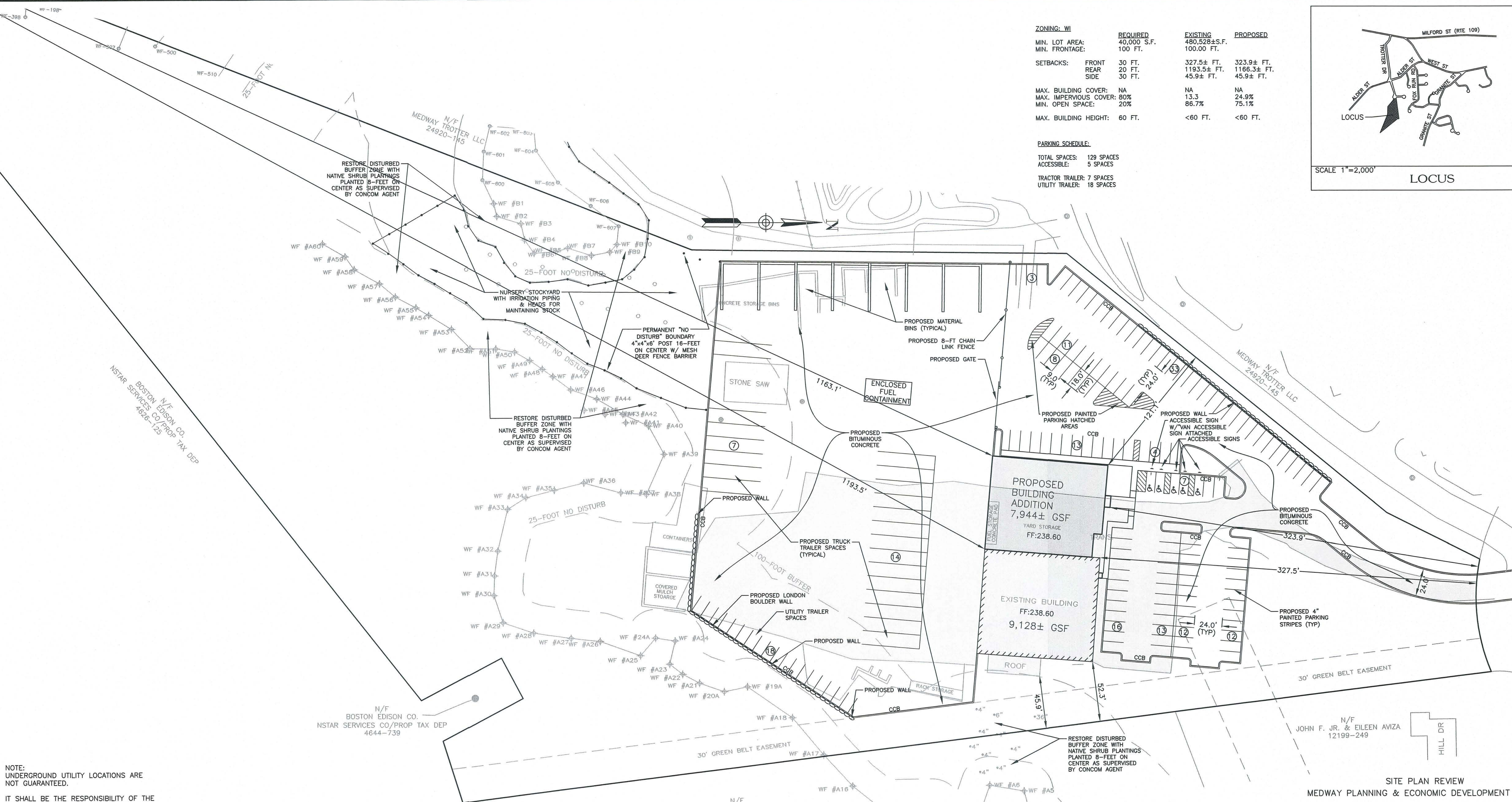
SITE PLAN
21 TROTTER DRIVE
MEDWAY, MASSACHUSETTS 02053

TTU

EXISTING CONDITIONS
21 TROTTER DRIVE
21 TROTTER DRIVE, LLC
21A TROTTER DRIVE
MEDWAY, MASSACHUSETTS 02053

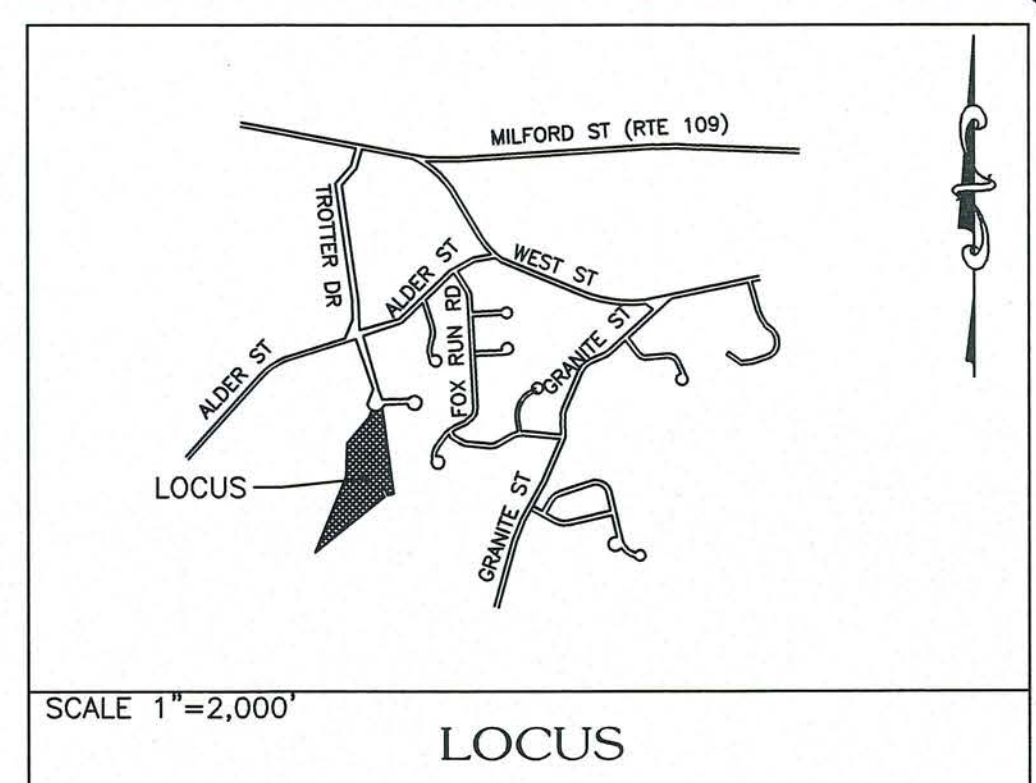
FILE NO.: 3588
EXISTING CONDITIONS
DATE: APRIL 8, 1919
PLAN NUMBER:
2 OF 6
2

ALL RIGHTS RESERVED
NO PART OF THIS DOCUMENT MAY BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF ENGINEERING DESIGN CONSULTANTS, INC. SUCH PERMISSION SHALL BE OBTAINED BY THE USER.



ZONING: W1		REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA:	46,000 S.F.	46,000 S.F.	480,528±S.F.	100.00 FT.
MIN. FRONTAGE:	100 FT.	100 FT.	100.00 FT.	
SETBACKS:	FRONT	30 FT.	327.5± FT.	323.9± FT.
	REAR	20 FT.	1193.5± FT.	1166.3± FT.
MAX. BUILDING COVER:	NA	NA	NA	NA
	MAX. IMPERVIOUS COVER:	80%	13.3	24.9%
MIN. OPEN SPACE:	20%	20%	86.7%	75.1%
	MAX. BUILDING HEIGHT:	60 FT.	<60 FT.	<60 FT.

PARKING SCHEDULE:	
TOTAL SPACES:	129 SPACES
ACCESSIBLE:	5 SPACES
TRACTOR TRAILER:	7 SPACES
UTILITY TRAILER:	18 SPACES



NOTE:
UNDERGROUND UTILITY LOCATIONS ARE NOT GUARANTEED.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION

DIGSAFE IS TO BE NOTIFIED 72 BUSINESS HOURS IN ADVANCE OF CONSTRUCTION. CALL DIGSAFE AT 811



PROJECT INFORMATION:

CURRENT OWNER: 21 TROTTER DRIVE, LLC
21A TROTTER DRIVE
MEDWAY, MA 02053

MEDWAY ASSESSORS ID: 64-003
DEED REFERENCE: BOOK 25503 PAGE 584

PROPERTY LINES AND EASEMENTS ARE BASED ON THOSE RECORDED IN THE MASSACHUSETTS REGISTRY OF DEEDS IN A 1998 PLAN TITLED "MEDWAY 495 INDUSTRIAL PARK TECHNICAL REVISION PLAN IN MEDWAY, MASSACHUSETTS, PREPARED FOR UNITED METRO MATERIALS INC, 1000 KIEWIT PLAZA, OMAHA NEBRASKA 68131, SCALE: 1"=80', DATE: MARCH 23, 1998, PLAN NO. 233 OF 1998.

PROJECT DATUM REFERS TO NAVD 88.

CERTIFICATE OF VOTE

SEE CERTIFICATE OF VOTE FOR SITE PLAN APPROVAL DATED, XXXXXXXXXXXX FOR PLAN ENTITLED, '21 TROTTER DRIVE, MEDWAY MASSACHUSETTS,' FROM THE MEDWAY PLANNING BOARD, VOTED TO APPROVE WITH STANDARD CONDITIONS.

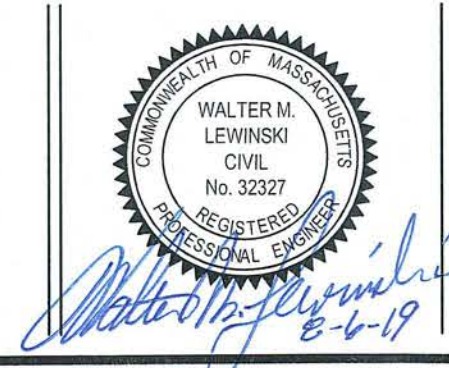
SITE PLAN REVIEW
MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD

DATE: _____

ENGINEERING DESIGN CONSULTANTS, INC. SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, OR PROCEDURES UTILIZED BY THE CONTRACTOR, NOR FOR THE SAFETY OF PUBLIC OR CONTRACTORS EMPLOYEES, OR FOR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

ENGINEERING DESIGN CONSULTANTS, INC.'S LIABILITY FOR THIS PLAN IS LIMITED TO THE EXTENT OF ITS FEE LESS THIRD PARTY COSTS.

DESIGN BY:	ZRB	2	8/6/19	REVISED INFILTRATION/DETENTION BASIN
CHECK BY:	PSB	1	7/25/19	ADDRESS CONCOM COMMENTS
APPROV BY:	WML	0	4/8/19	SITE PLAN REVIEW
REV #			DATE	DESCRIPTION



Engineering Design Consultants, Inc.
32 Turnpike Road
Southborough, Massachusetts
ph:(508) 480-0225 fax:(800)832-5781

SITE PLAN
21 TROTTER DRIVE
MEDWAY, MASSACHUSETTS 02053

PROPOSED LAYOUT
21 TROTTER DRIVE
21 TROTTER DRIVE, LLC
21A TROTTER DRIVE
MEDWAY, MASSACHUSETTS 02053

FILE NO: 3588	PROPOSED LAYOUT
DATE: APRIL 8, 2019	
PLAN NUMBER: 3 of 6	

SOILS TEST PIT DATA		
EL=234.3	TP#1	
A	FILL 2.5'	
Bw	SL 3.0'	
C	LS 9.0'	
SHGW	8.3'	

CONSTRUCTION NOTES

1. THE CONTRACTOR SHALL REPORT TO THE OWNER AND ENGINEER ANY SIGNIFICANT VARIATIONS IN EXISTING SITE CONDITIONS FROM THOSE SHOWN ON THESE PLANS. ANY PROPOSED REVISIONS TO THE WORK, IF REQUIRED BY THESE SITE CONDITIONS, SHALL NOT BE UNDERTAKEN UNTIL REVIEWED BY THE OWNER AND THE ENGINEER.
2. THE CONTRACTOR SHALL NOTIFY THE RELEVANT TOWN DEPARTMENTS AT LEAST 48 HOURS IN ADVANCE OF ANY REQUIRED INSPECTIONS.
3. IN ORDER TO PROTECT THE PUBLIC SAFETY DURING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING AT ALL TIMES NECESSARY SAFETY DEVICES AND PERSONNEL, WARNING LIGHTS, BARRICADES, AND POLICE DETAIL.
4. THE CONTRACTOR SHALL REGULARLY INSPECT THE PERIMETER OF THE PROPERTY TO CLEAN UP AND REMOVE LOOSE CONSTRUCTION.
5. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSTITUTE EROSION CONTROL MEASURES ON AN AS NECESSARY BASIS, SUCH THAT EROSION, GULCH EROSION, DO NOT OCCUR. MEASURES SHALL INCLUDE HAY BALE DIKES ALONG THE PERIMETER OF CUTS AND FILLS, MULCHING, AND PLANTING OF DISTURBED AREAS AS SOON AS PRACTICABLE.
6. AT THE END OF CONSTRUCTION THE CONTRACTOR SHALL REMOVE ALL CONSTRUCTION DEBRIS AND SURPLUS MATERIALS FROM THE SITE. A THOROUGH INSPECTION OF THE WORK PERMITTER IS TO BE MADE AND ALL DISCARDED MATERIALS, BLOWN OR WATER CARRIED DEBRIS, SHALL BE COLLECTED AND REMOVED.
7. AT THE END OF CONSTRUCTION, AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED, THE CONTRACTOR SHALL CLEAN THE SURFACES OF ALL CATCH BASINS AND THE INVERTS OF ALL DRAIN.
8. THE LOCATION OF UNDERGROUND UTILITIES AS REPRESENTED ON THESE PLANS IS BASED UPON PLANS AND INFORMATION PROVIDED BY THE RESPECTIVE UTILITY COMPANIES OR MUNICIPAL DEPARTMENTS SUPPLEMENTED BY FIELD IDENTIFICATION WHEREVER POSSIBLE. NO WARRANTY IS MADE AS TO THE ACCURACY OF THESE LOCATIONS OR THAT ALL UNDERGROUND UTILITIES ARE SHOWN. THE CONTRACTOR IS TO CONTACT DIG SAFE AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION. DIG SAFE TELEPHONE NUMBER IS 811.
9. THE CONTRACTOR IS TO VERIFY THE LOCATION, SIZE, AND DEPTH OF EXISTING UTILITIES PRIOR TO TAPPING INTO IT. CROSSINGS EXTENDING THEM, IF THE PROPOSED WORK POSES A CONFLICT WITH THE EXISTING UTILITIES, THE ENGINEER IS TO BE NOTIFIED PRIOR TO THE CONTRACTOR CONTINUING.
10. ALL REINFORCED CONCRETE PIPE IS TO BE CLASS III WHEN GREATER THAN 36" OF COVER EXIST. LESS THAN 36" SHALL BE CLASS IV. ALL 48" PVC SANITARY SEWER IS TO BE SDR 35 WITH RUBBER RING JOINTS. ALL PVC STORM DRAIN (PERFORATED OR SMOOTH) SHALL BE SDR 35. ALL TYPE N12 POLYETHYLENE PIPE OR APPROVED EQUIV. EXCEPT FOR ADS DRAINS WHICH SHALL BE DUCTILE IRON. WATER MAIN IS TO BE CLASS 52 CEMENT LINED DUCTILE IRON.
11. THE TOWN OF MIDWAY DEPARTMENT OF PUBLIC WORKS IS TO BE NOTIFIED PRIOR TO THE START OF WORK ON TROTTER DRIVE.
12. STANDARD PAVEMENT AREAS SHALL HAVE 12 INCHES OF GOOD, CLEAN BANK-RUN GRAVEL, CONFORMING TO MDOT M1.03.1, WITH NO STONES LARGER THAN 3" IN DIAMETER AND SHALL BE PLACED AND ROLLED WITH AT LEAST A TEN TON ROLLER. THE SURFACES SHALL BE WET DURING ROLLING TO BIND THE MATERIAL. ALL STONES OF 4" DIAMETER OR LARGER SHALL BE REMOVED FROM THE SUB-BASE PRIOR TO PLACING BASE MATERIAL.
13. STANDARD PAVEMENT AREAS SHALL BE PAVED TO A THICKNESS OF 3" MEASURED AFTER COMPACTION, WITH A 2" BINDER COURSE AND 1" TOP COURSE OF CLASS I BITUMINOUS CONCRETE PAVEMENT, TYPE I-1.
14. THE AGGREGATE SHALL BE COMPOSED, MIXED AND LAID HOT IN TWO COURSES AS SPECIFIED IN THE "COMMONWEALTH OF MASSACHUSETTS STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGES", 1988 EDITION, SECTION 460 FOR CLASS I BITUMINOUS CONCRETE PAVEMENT, AS SPECIFICALLY SET FORTH IN SECTION 460.20 AND 460.82.

15. ANY EXISTING PAVEMENT REMOVED FOR UTILITY TRENCH EXCAVATION OUTSIDE "LIMIT OF WORK" AREAS OR OTHERWISE DAMAGED DURING CONSTRUCTION, SHALL BE REPLACED WITH A FULL DEPTH OF PAVEMENT SECTION AS SHOWN ON THE TRENCH PATCHING DETAIL INDICATED HEREON.
16. EROSION CONTROL GRASS MIXTURE (SIDE SLOPE GREATER THAN 4:1 HORIZONTAL TO 1 VERTICAL) FOLLOWING COMPLETION OF GRADING. THE FOLLOWING SEED MIX SHALL BE APPLIED:

TYPE OF SEED	% BY WEIGHT
30% CREEPING RED FESCUE	
TALE FESCUE	30
WHITE DUTCH CLOVER	30
RED TOP	10
- SEED AT THE RATE OF 2#/2,000 SF
USE THE ABOVE MIX AT THE RATE OF 50#/ACRE AND
WITH 1/2 BUSHEL/ACRE OF WINTER RYE
17. ALL DISTURBED AREAS ARE TO BE LOADED AND SEEDDED WITH A MINIMUM OF 4" OF TOP SOIL SPREAD EVENLY THROUGHOUT. PROVIDE EROSION CONTROL MEASURES AS NECESSARY TO PROVIDE SLOPE STABILITY UNTIL VEGETATION IS ESTABLISHED.
18. ALL STUMPS, TOP SOIL, SUB SOIL AND OTHER DELETERIOUS MATERIALS ARE TO BE REMOVED FROM THE PROPOSED BUILDING AND PAVING AREAS.

DRWN BY:	ZRB
CHK'D BY:	PSB
APPROV BY:	WMI

REVISIONS:		
3	8/6/19	REVISED INFILTRATION/DETENTION BASIN
2	7/25/19	ADDRESS CONCOM COMMENTS
1	2/7/19	MODIFY WETLAND DELINEATION
0	4/8/19	SITE PLAN REVIEW

PREPARED BY:

EDC

Engineering Design Consultants, Inc.
32 Turnpike Road
Southborough, Massachusetts
ph:(508) 480-0225 fax:(800)832-5781

PROJECT:

SITE PLAN
21 TROTTER DRIVE
MEDWAY, MASSACHUSETTS 02053

|| TITLE:

21 TROTTER DRIVE, LLC
21A TROTTER DRIVE
MEDWAY, MASSACHUSETTS 02053

FILE NO.: 358

GRADING & UTILITIES

DATE: _____

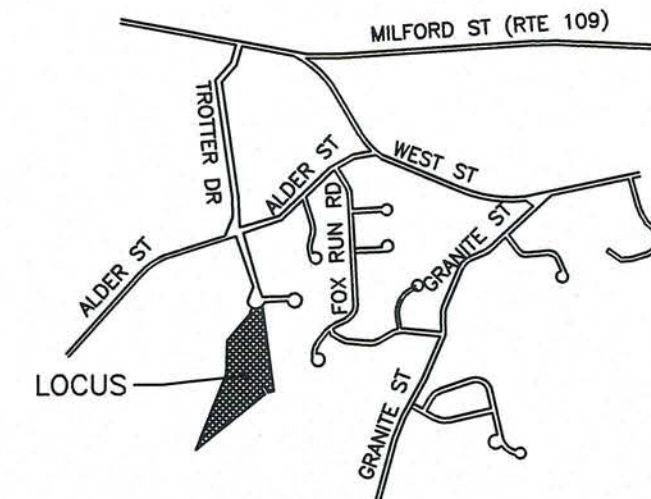
APRIL 8, 2019

PLAN NUMBER:

4 of 6

1

4



SCALE 1"=2,000

LOCUS

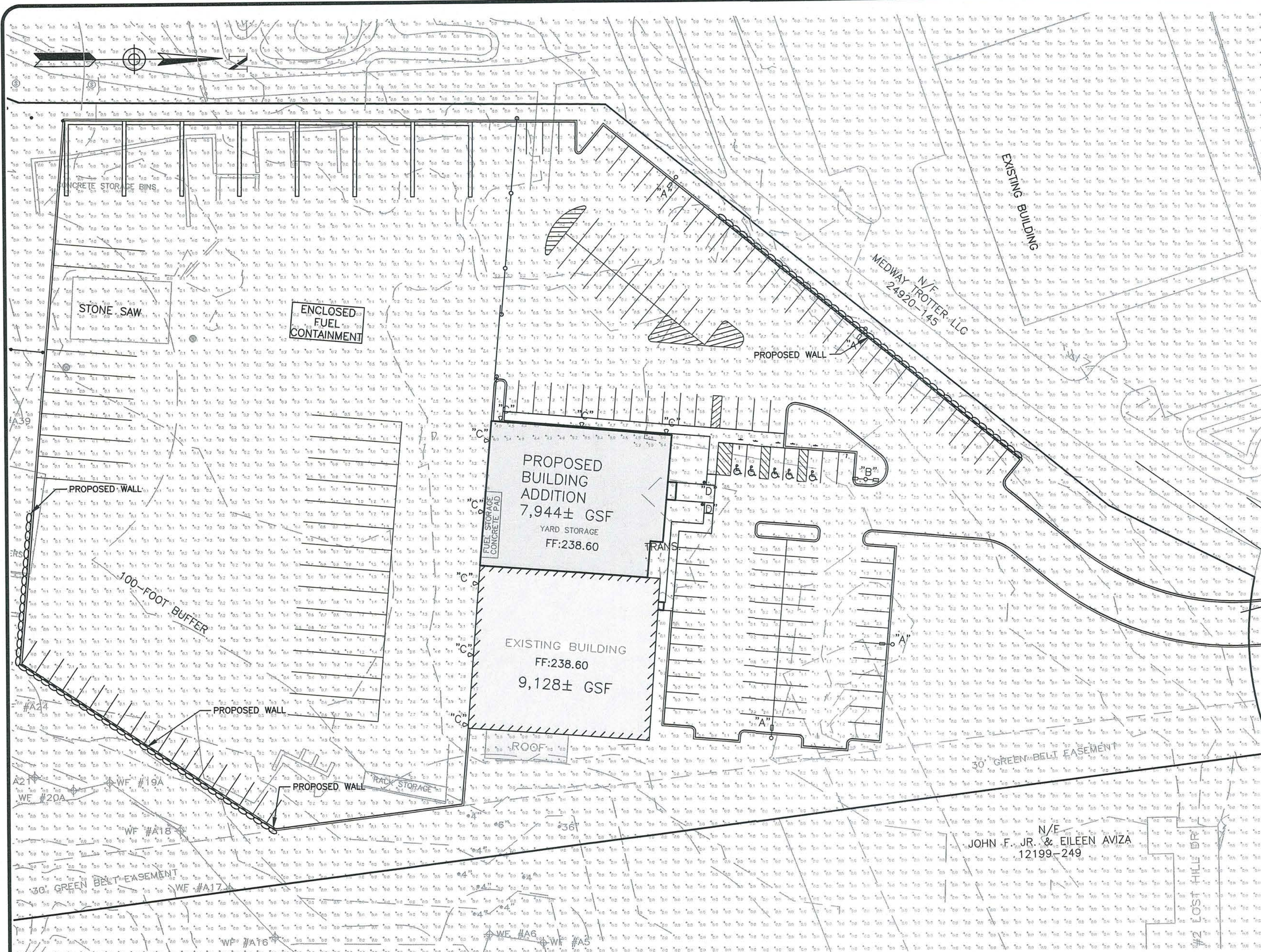
NOTE:
UNDERGROUND UTILITY LOCATIONS ARE
NOT GUARANTEED.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION

DIGSAFE IS TO BE NOTIFIED 72 BUSINESS HOURS IN ADVANCE OF CONSTRUCTION.
CALL DIGSAFE AT 811



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C:\SHARED\DRIVES\DCD\PROJECTS\MEDWAY TROTTER DRIVE\1508 -- 21 TROTTER DRIVE\DWG\1508 SITE PLAN (1)



LIGHTING

Schedule								
Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Lumens Per Lamp	Wattage
A	4	Lithonia Lighting	DSX0 LED P4 40K TFTM MVOLT HS	DSX0 LED P4 40K TFTM MVOLT with houseside shield	LED	1	8243	92
B	2	Lithonia Lighting	DSX0 LED P4 40K T5M MVOLT HS	DSX0 LED P4 40K T5M MVOLT	LED	1	8243	92
C	8	Lithonia Lighting	DSX0 LED P4 40K T5M MVOLT	DSX0 LED P4 40K T5M MVOLT	LED	1	10961	92
D	2	Lithonia Lighting	DSXB LED	BOLLARDS	LED			

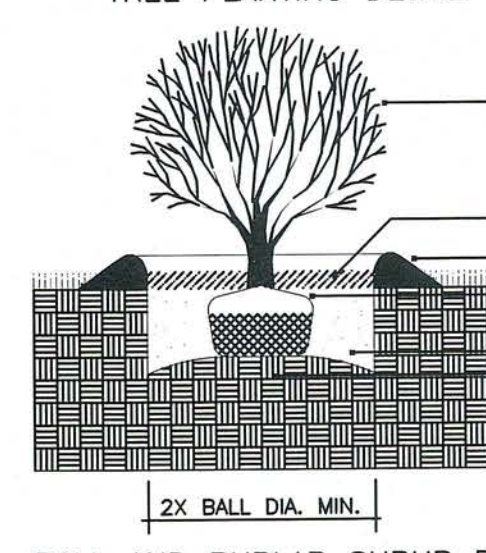
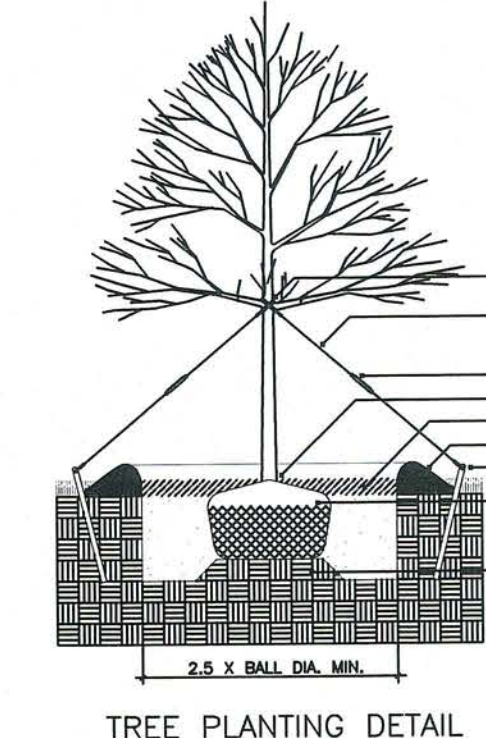
Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking Area	+	1.5 fc	3.0 fc	0.5 fc	6.0:1	3.0:1
Spill	+	0.1 fc	2.9 fc	0.0 fc	N/A	N/A

NOTE:
POLE LIGHTS ARE MOUNTED ON POLES THAT ARE SET AT A HEIGHT OF 20 FT HIGH.

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BALL AND BURLAP SHRUB PLANTING

LANDSCAPING

PLANT LIST			
QUANTITY	COMMON NAME	LATIN NAME	SIZE
TREES			
9	PIN OAK	QUERCUS PALUSTRIS	2"-2.5" CAL.
15	GREEN GIANT ARBOVITAE	THUJA PLICATA	16"-22'
9	NORWAY SPRUCE	PICEA ABIES	16"-22'
SHRUBS			
30	BOXWOOD	BUXUS SEMPERVIRENS	18"-24" B/B
PERENNIALS			
200	MIXED PERENNIAL		2 GALLON

NOTES:
1. SOIL MIX SHOULD BE A MIXTURE OF SAND, COMPOST AND SOIL.
- 40% SAND
- 20-30% TOPSOIL
- 30-40% COMPOST

SAND COMPONENT	
Sieve Size	Percent Passing
2-Inch	100
3/4-In.	70-80
1/4-In.	50-60
U.S. No. 40	15-40
U.S. No. 200	0-3

CERTIFICATE OF VOTE

SEE CERTIFICATE OF VOTE FOR SITE PLAN APPROVAL DATED, OCTOBER 24, 2017 FOR PLAN ENTITLED, 'SITE PLAN, COUNTRY COTTAGE CHILDREN'S CENTER, MEDWAY MASSACHUSETTS,' FROM THE MEDWAY PLANNING BOARD, VOTED TO APPROVE WITH STANDARD CONDITIONS.

SITE PLAN REVIEW MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD

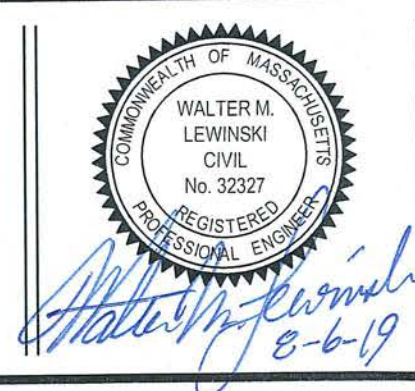
DATE: _____

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REVISIONS		DATE		DESCRIPTION	
REV	2	8/6/19	7/25/19	REVISED INFILTRATION/DETENTION BASIN ADDRESS CONCOM COMMENTS	
	1	7/25/19	4/8/19	SITE PLAN REVIEW	
	0				



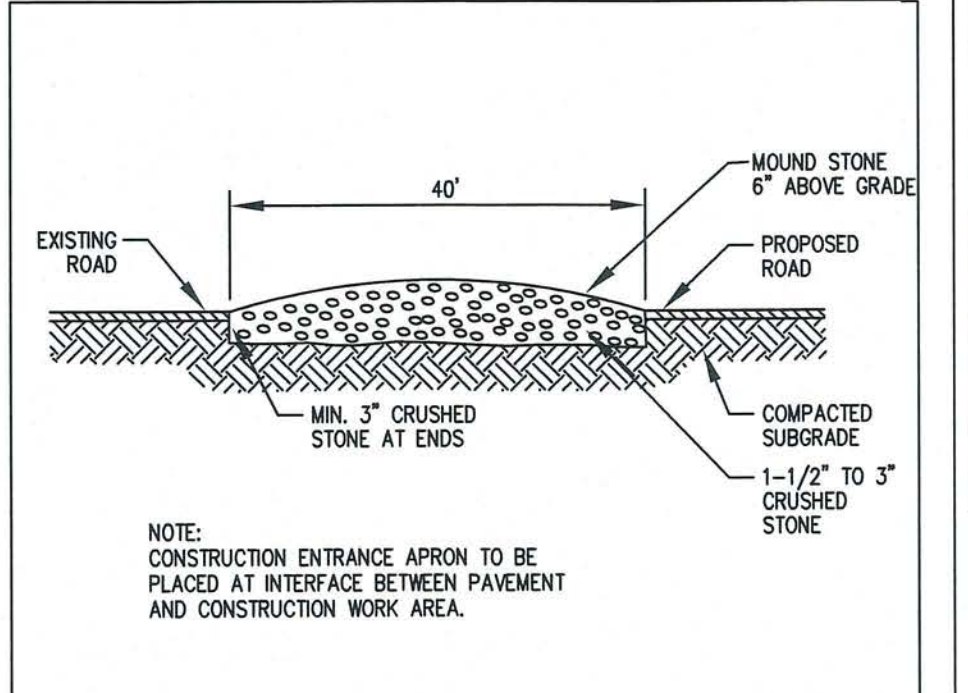
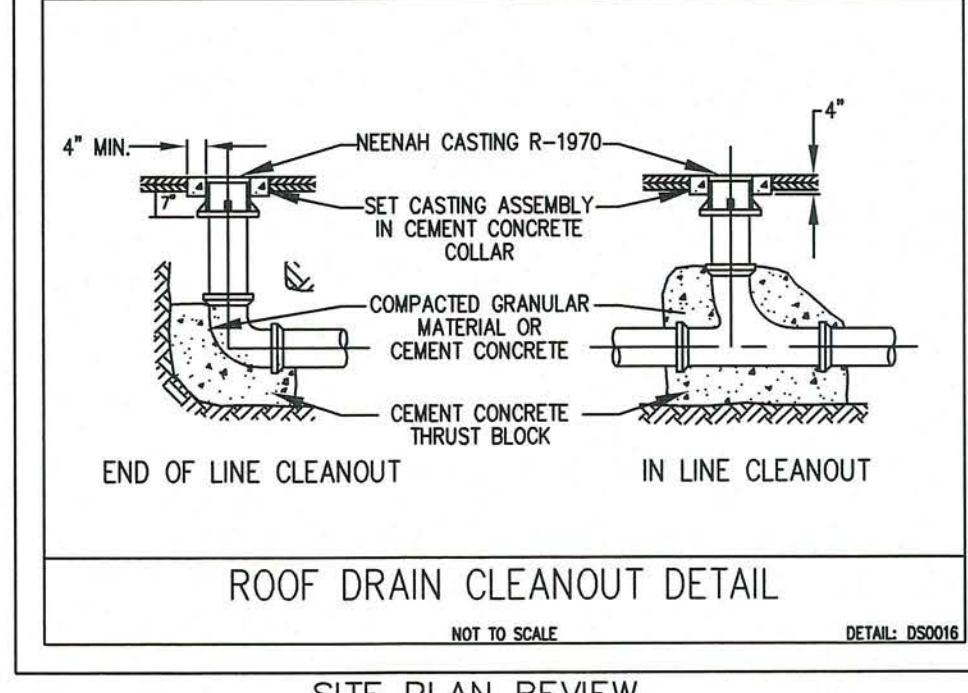
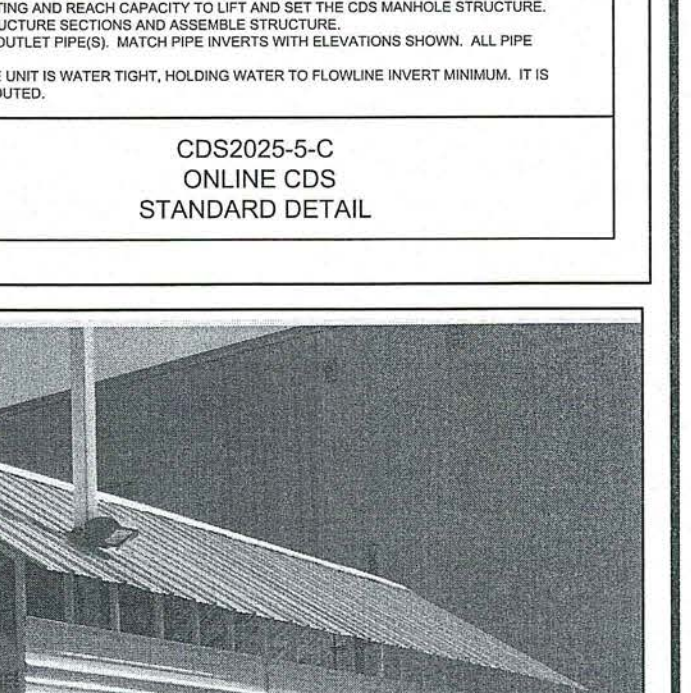
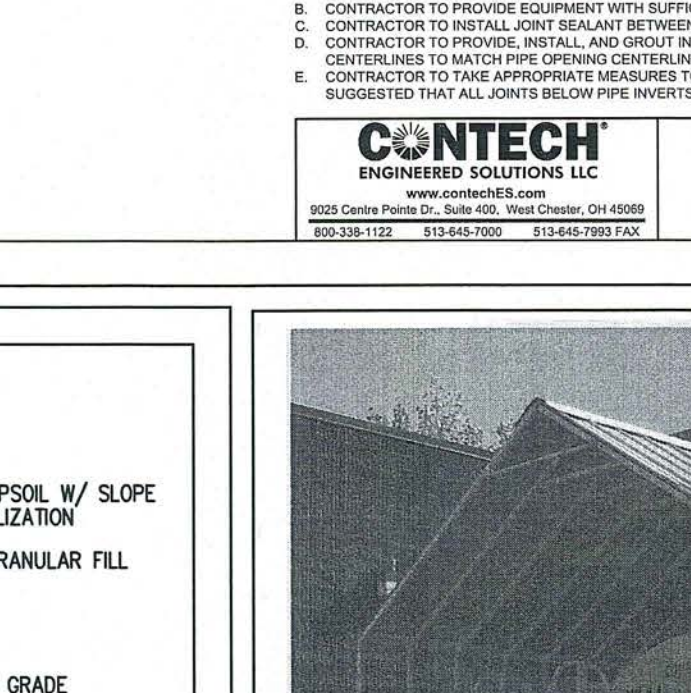
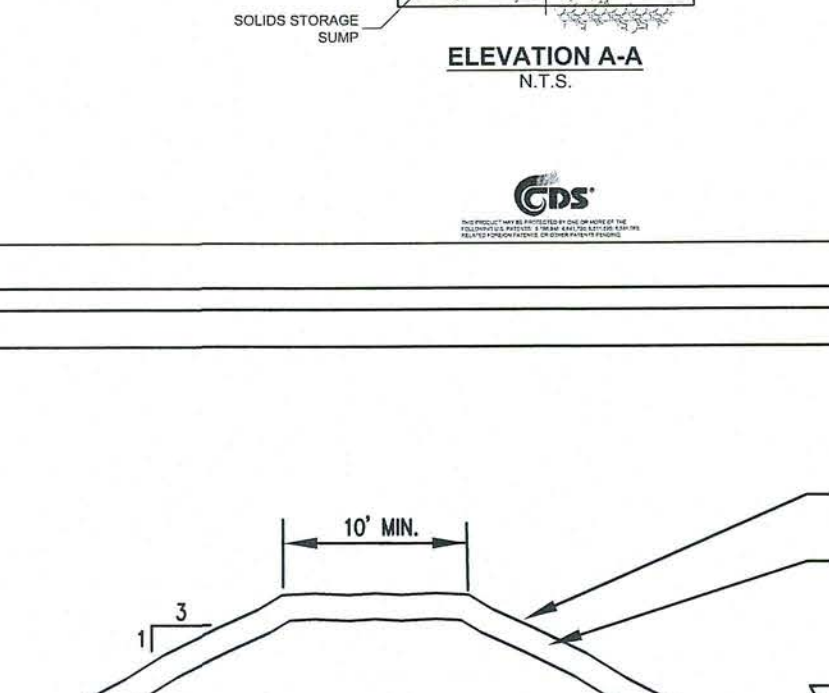
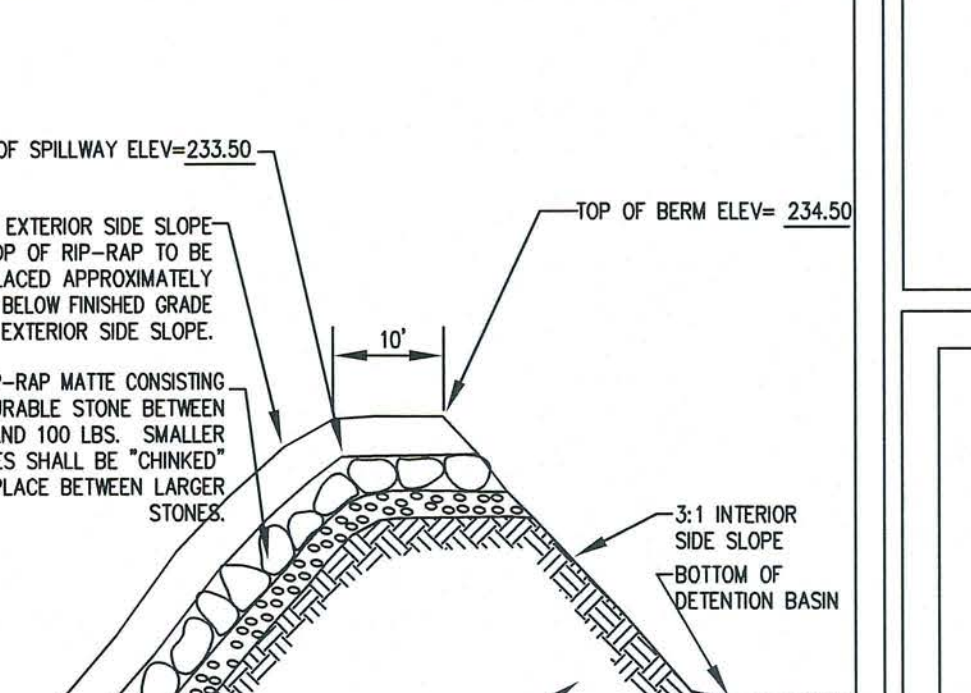
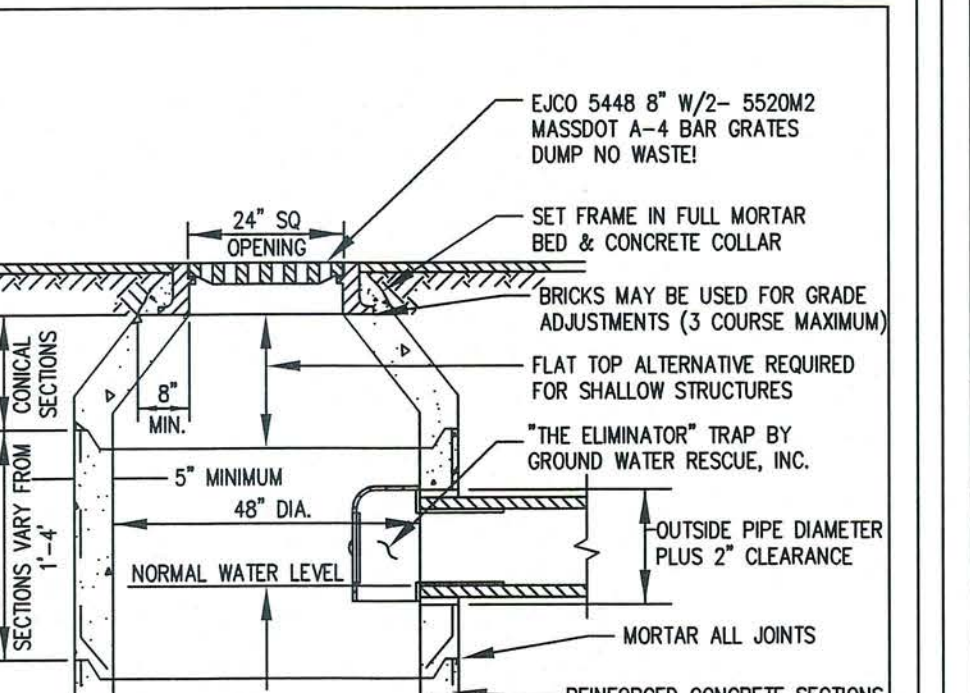
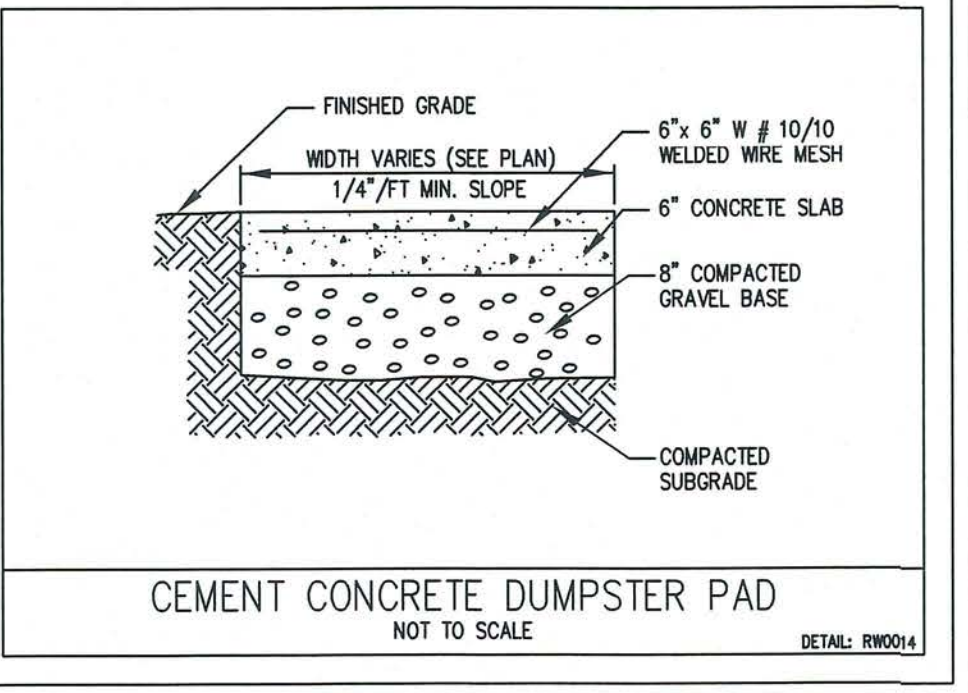
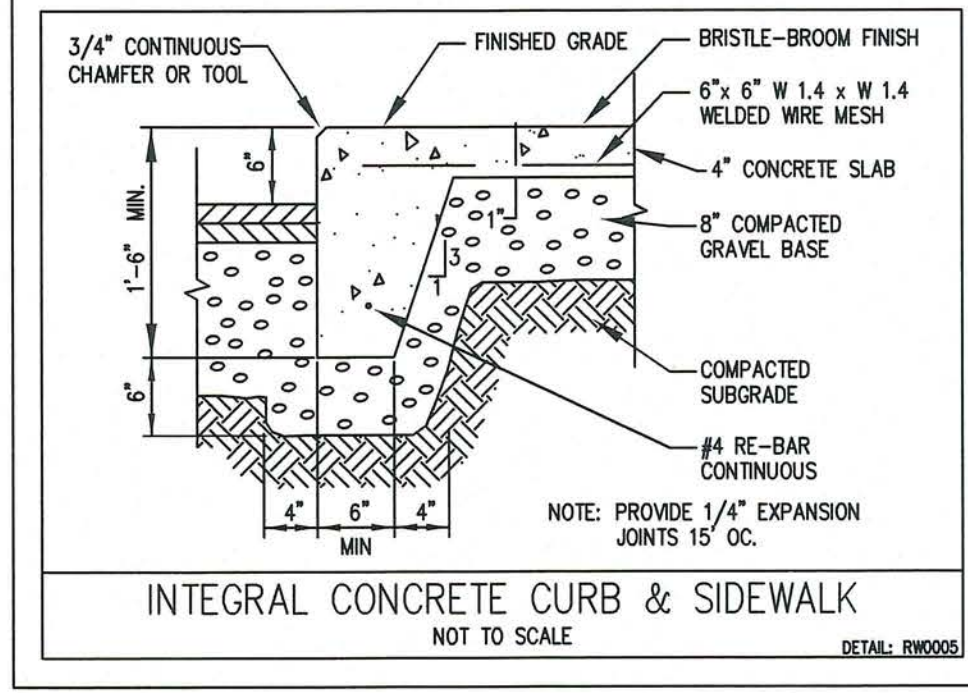
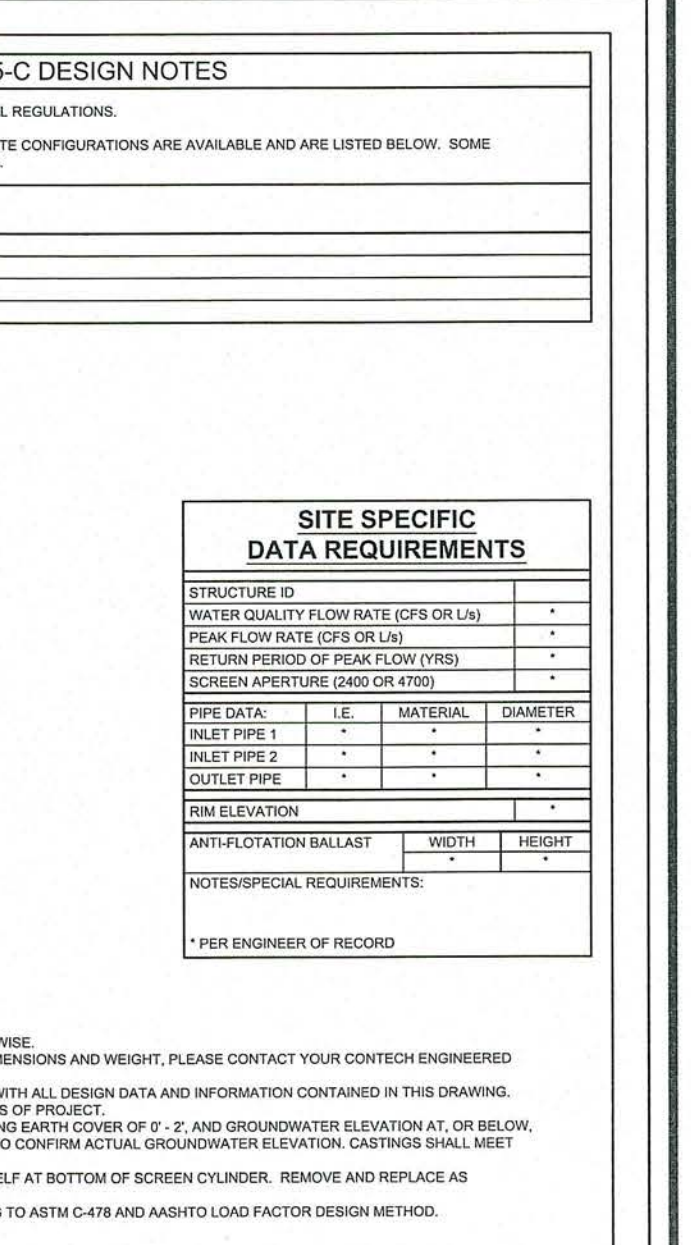
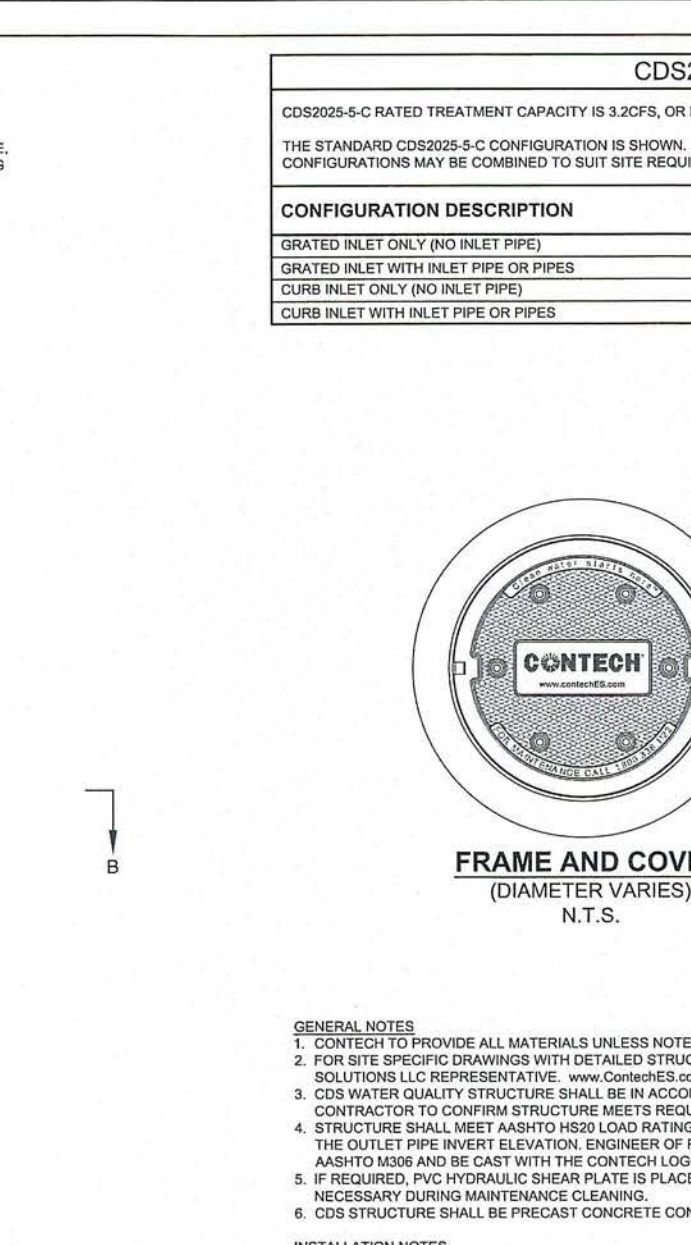
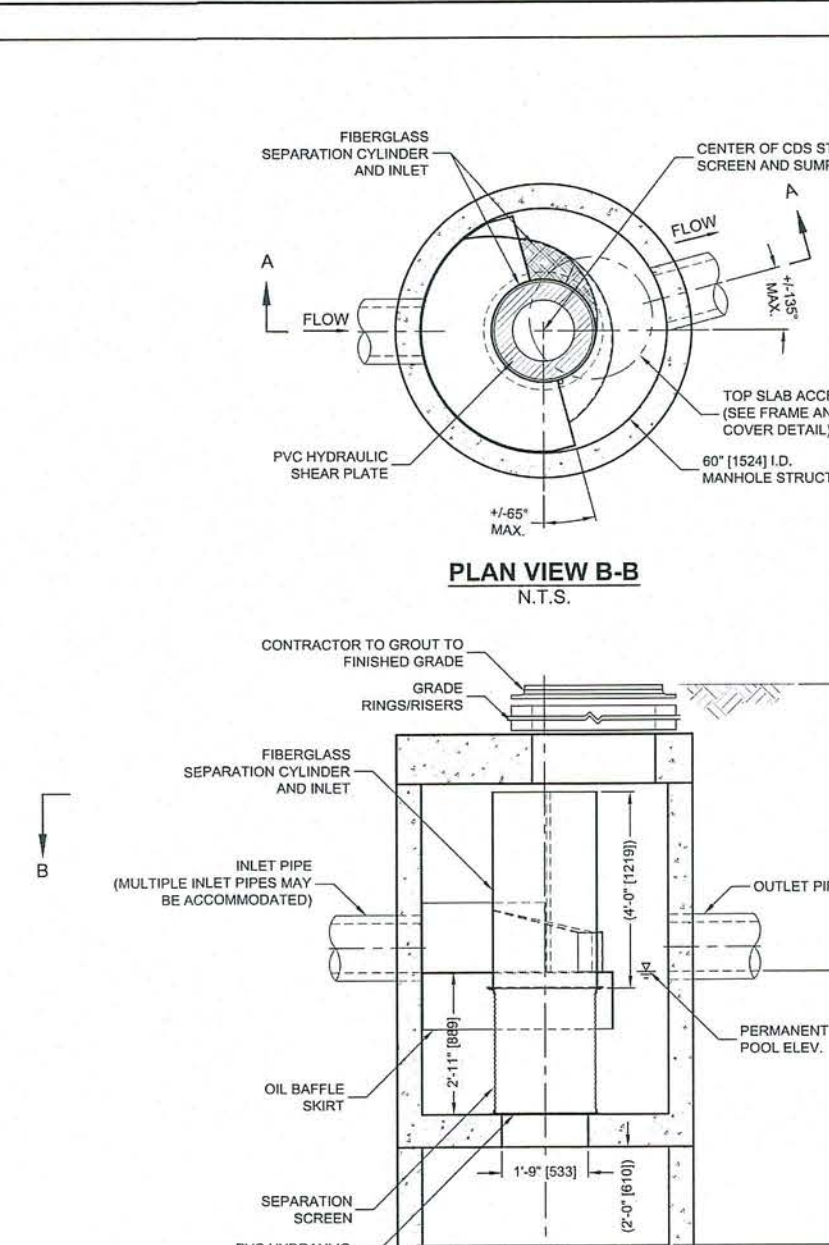
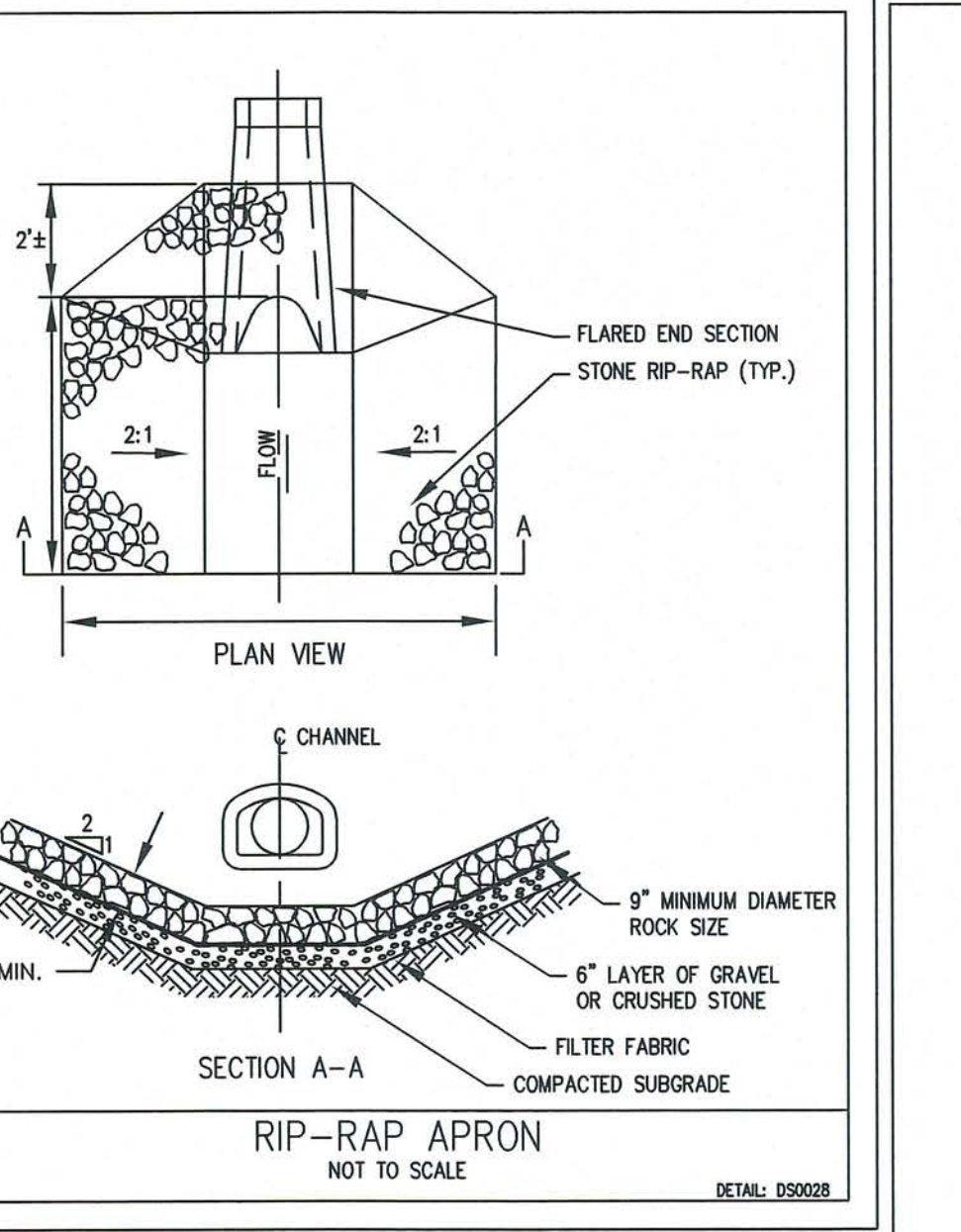
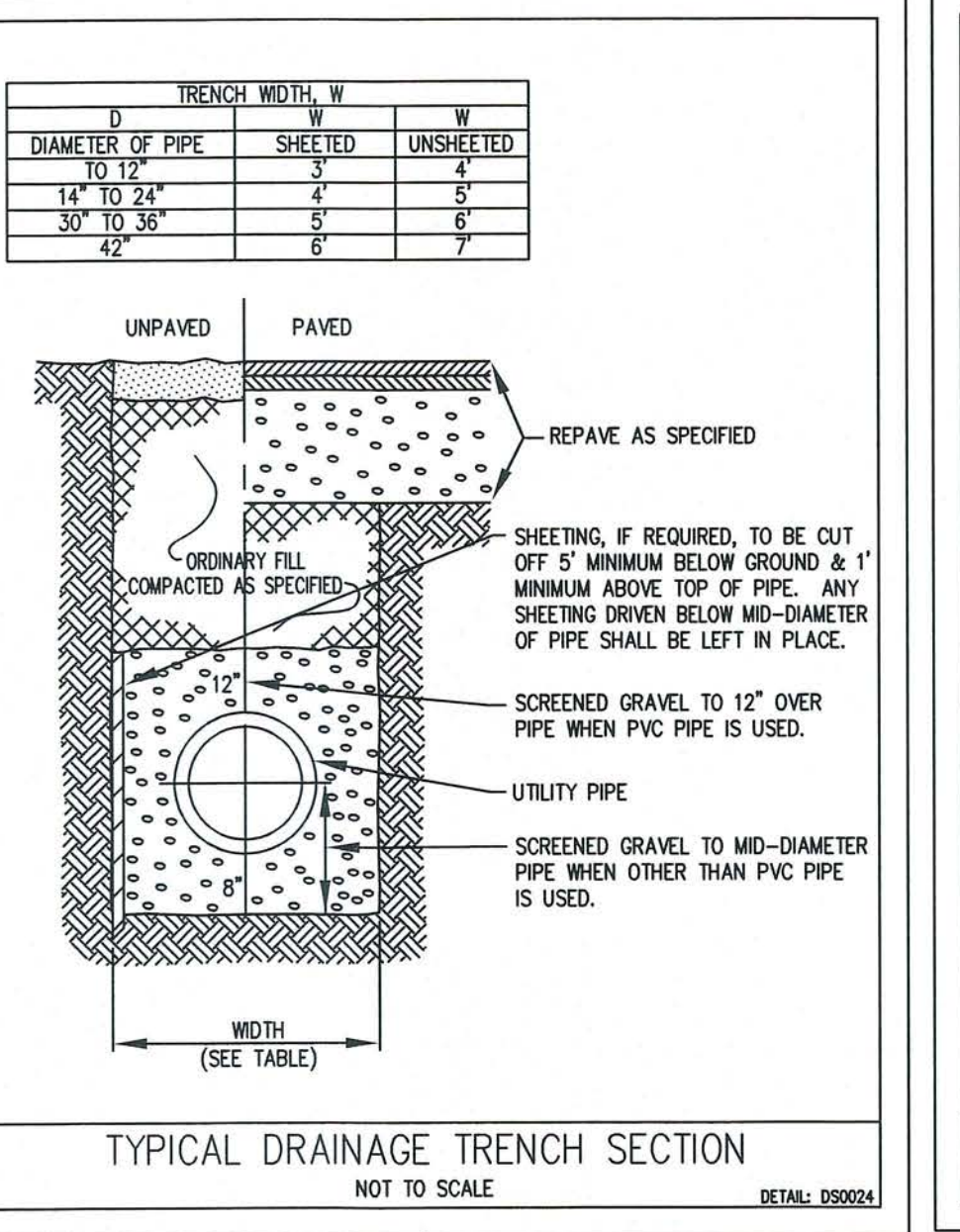
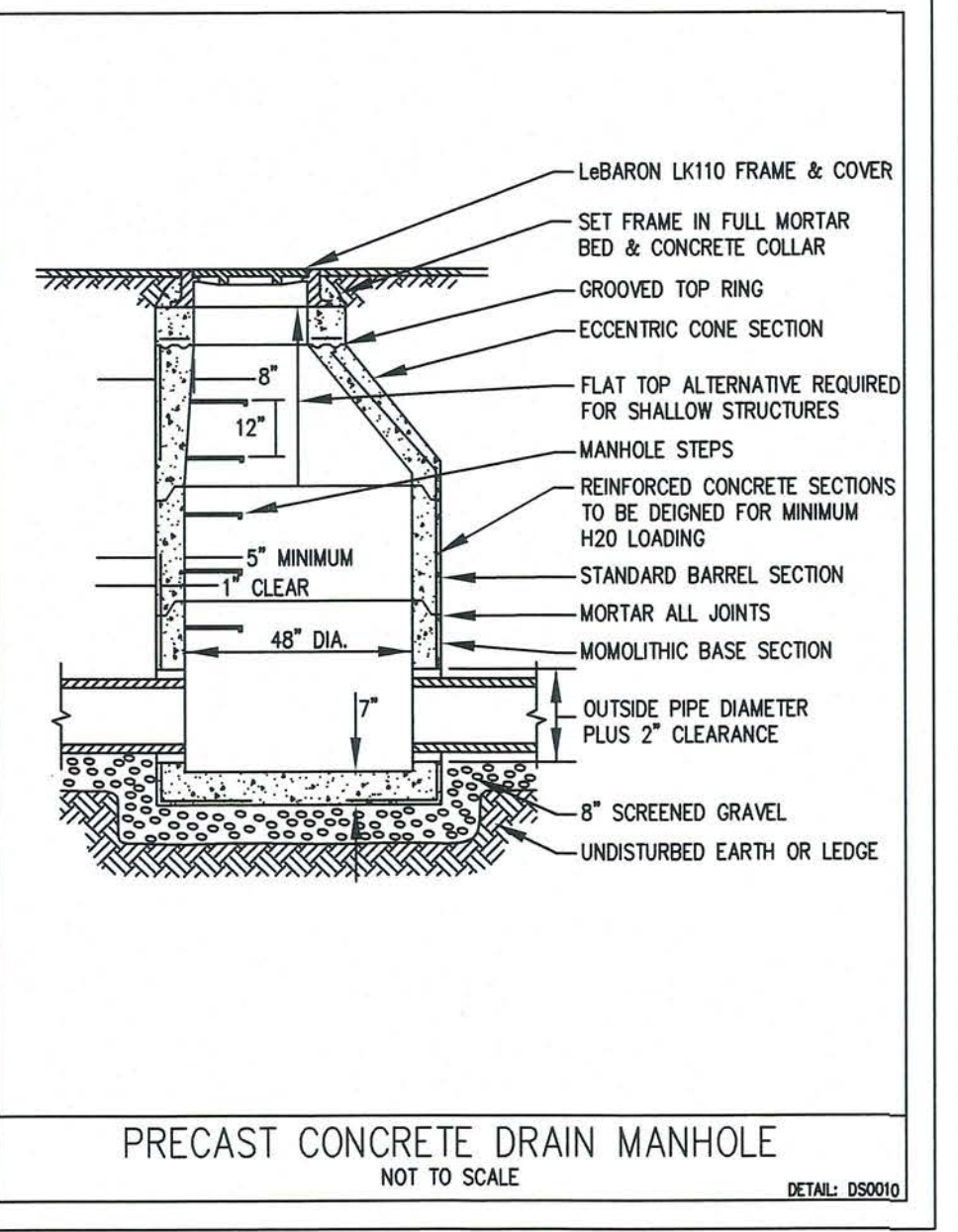
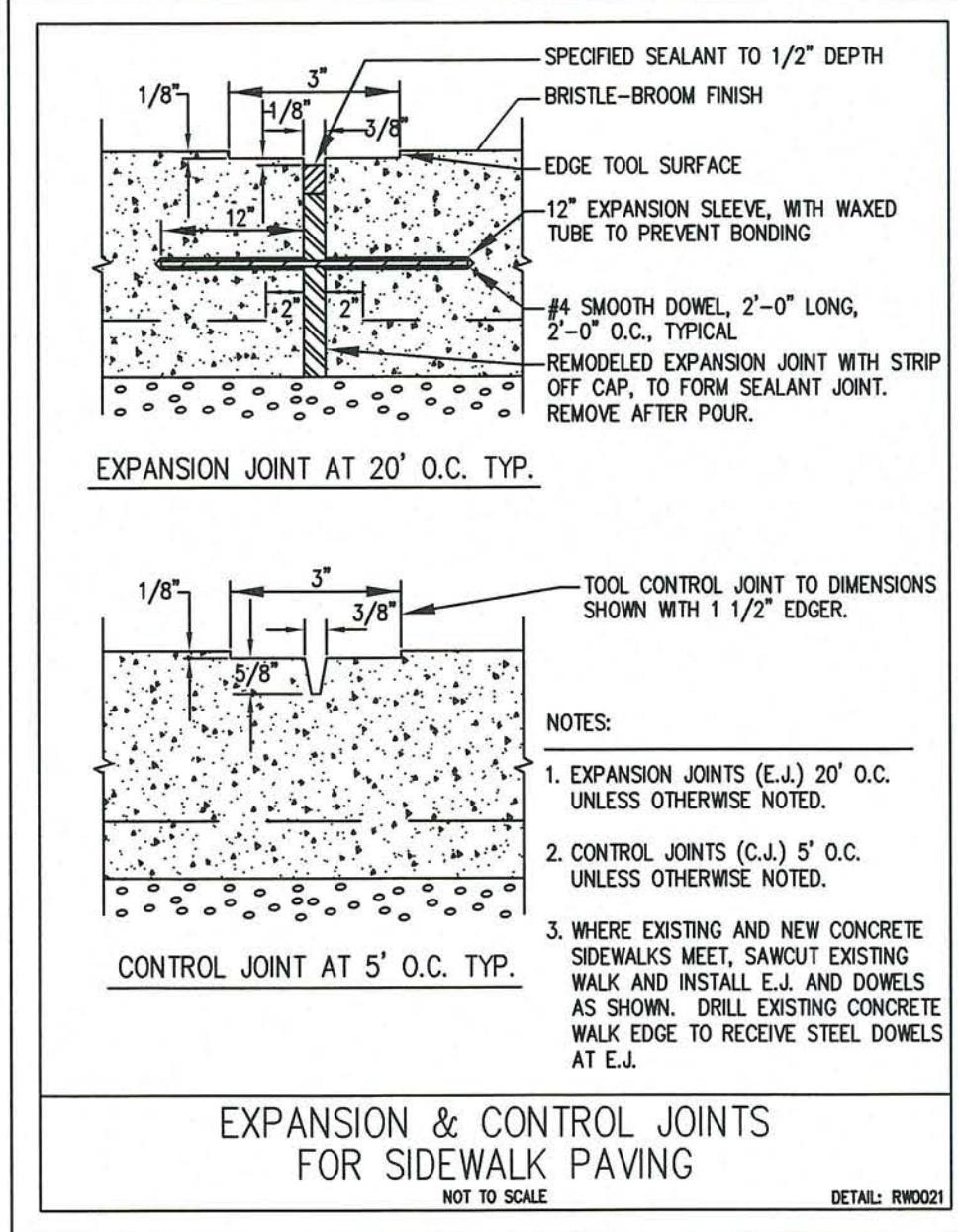
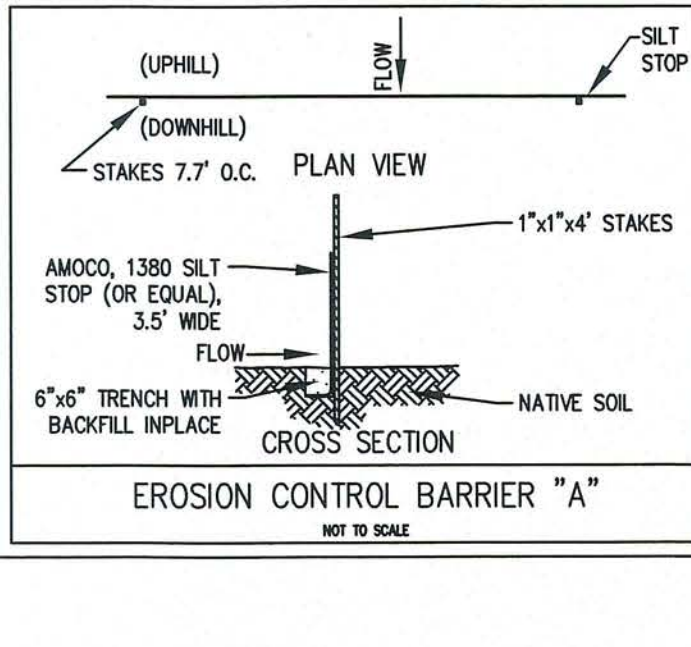
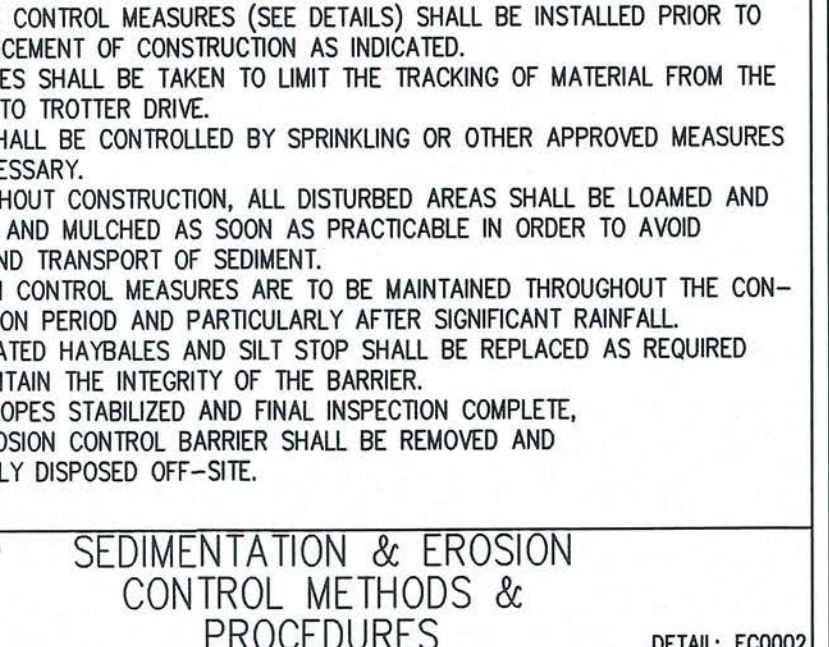
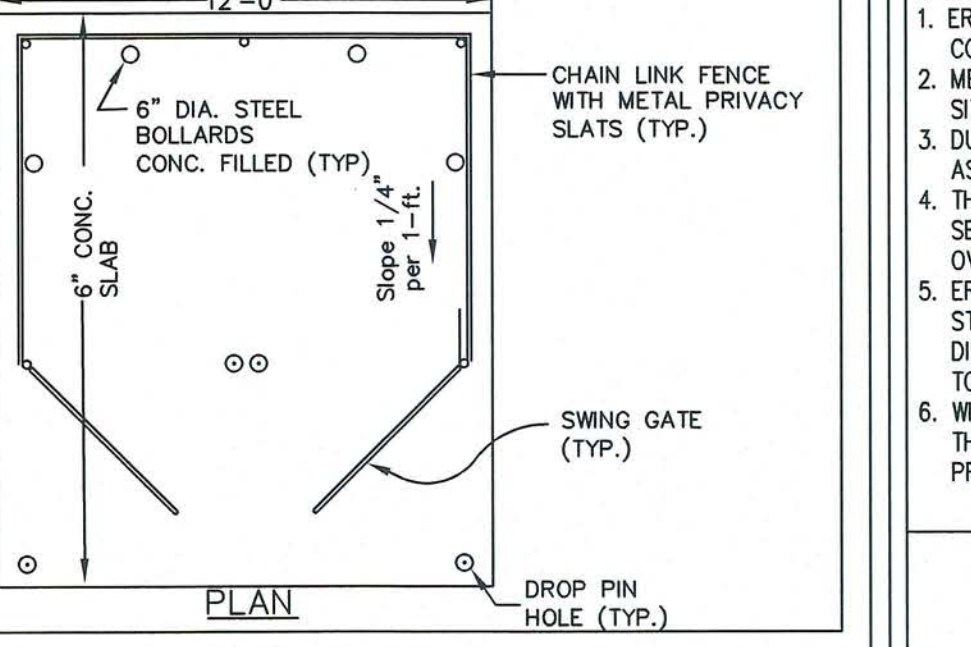
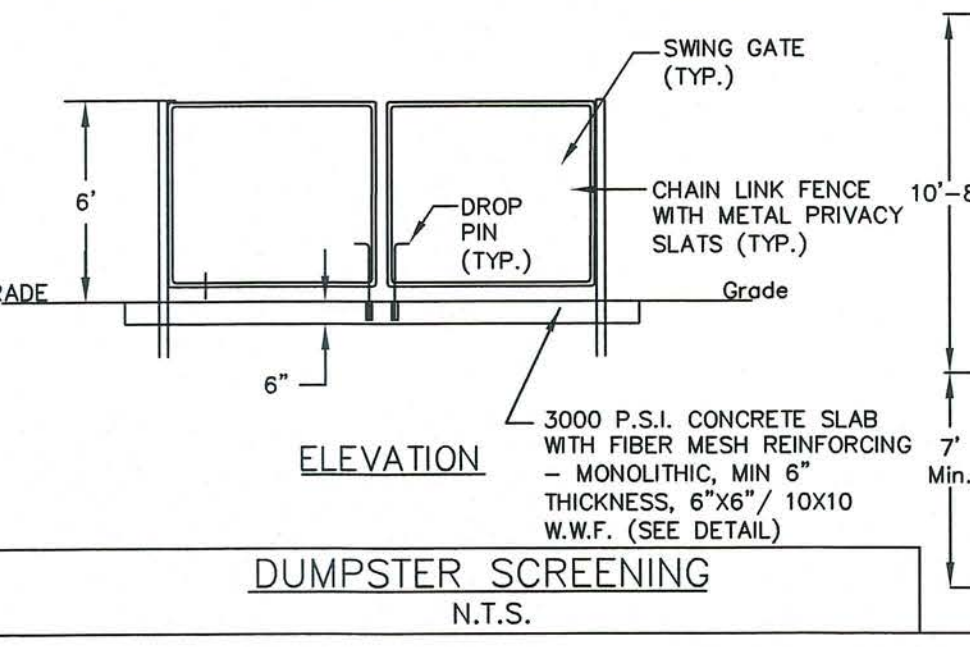
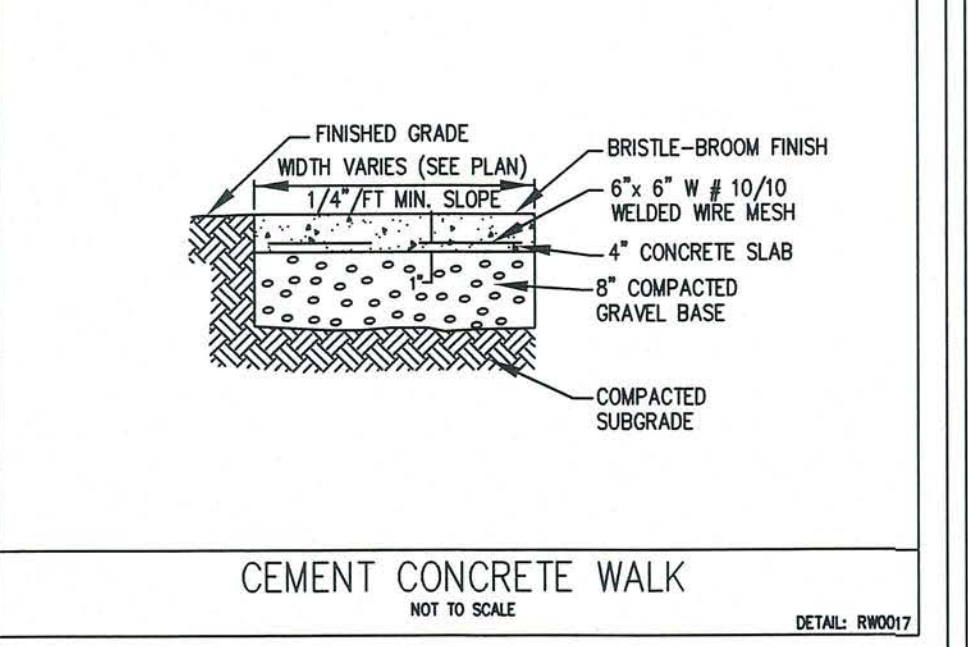
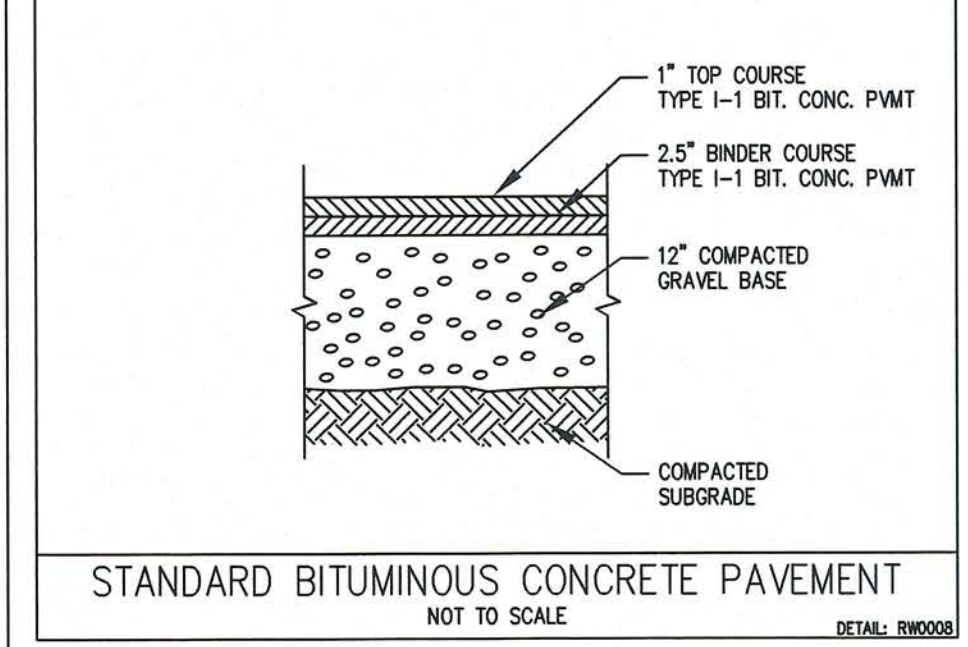
PREPARED BY:
Engineering Design Consultants, Inc.
32 Turnpike Road
Southborough, Massachusetts
ph:(508) 480-0225 fax:(508)832-5781

TITLE:
SITE PLAN
21 TROTTER DRIVE
MEDWAY, MASSACHUSETTS 02053

OWNER/APPLICANT:
21 TROTTER DRIVE, LLC
21A TROTTER DRIVE
MEDWAY, MASSACHUSETTS 02053

FILE NO: 3588
LIGHTING & LANDSCAPING
DATE: APRIL 8, 2019
PLAN NUMBER: 5 of 6
5

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SITE PLAN REVIEW
MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD

CONSTRUCTION ENTRANCE APRON

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Engineering Design Consultants, Inc.
32 Turnpike Road
Southborough, Massachusetts
ph:(508) 480-0225 fax:(800)832-5781

SITE PLAN
21 TROTTER DRIVE
MEDWAY, MASSACHUSETTS 02053

OWNER/APPLICANT:
21 TROTTER DRIVE, LLC
21A TROTTER DRIVE
MEDWAY, MASSACHUSETTS 02053

DETAILS
21 TROTTER DRIVE

FILE NO: 3588
DATE: APRIL 8, 2019
PLAN NUMBER: 6 of 6

ENGINEERING DESIGN CONSULTANTS, INC. SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, OR PROCEDURES UTILIZED BY THE CONTRACTOR, NOR FOR THE SAFETY OF PUBLIC OR CONTRACTOR'S EMPLOYEES, OR FOR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

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DESIGNED BY: ZRB
CHECKED BY: PSB
APPROVED BY: WML

REVISIONS

REV	DATE	DESCRIPTION
1	8/6/19	REVISED INFILTRATION/RETENTION BASIN ADDRESS CONCOM COMMENTS
2	7/25/19	SITE PLAN REVIEW
3	4/8/19	DESCRIPTION



Engineering Design Consultants, Inc.
32 Turnpike Road
Southborough, Massachusetts
ph: (508) 480-0225 fax: (800) 832-5781

PROJECT: SITE PLAN
21 TROTTER DRIVE
MEDWAY, MASSACHUSETTS 02053

TITLE: STORMWATER POLLUTION PREVENTION PLAN
21 TROTTER DRIVE
21A TROTTER DRIVE
MEDWAY, MASSACHUSETTS 02053

FILE NO: 3588
STORMWATER POLLUTION PREVENTION PLAN
DATE: APRIL 8, 2019
DEFINING PLAN NO: 1 of 1

21 TROTTER DRIVE -- OPERATION AND MAINTENANCE PLAN:

1. SCHEDULE OF SHORT-TERM OPERATION AND MAINTENANCE (DURING CONSTRUCTION):

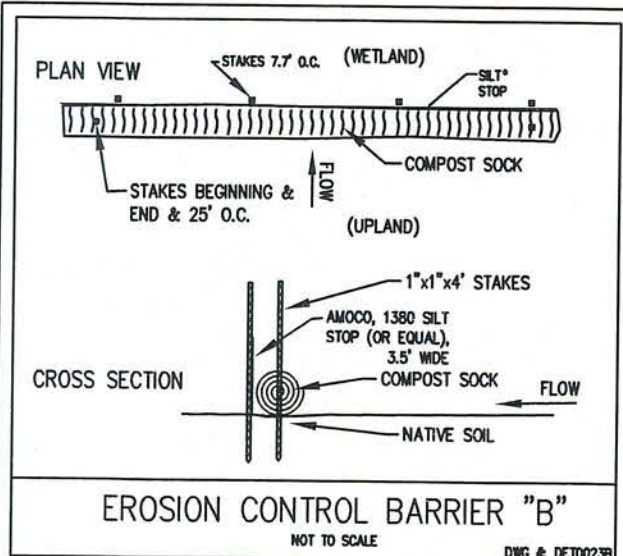
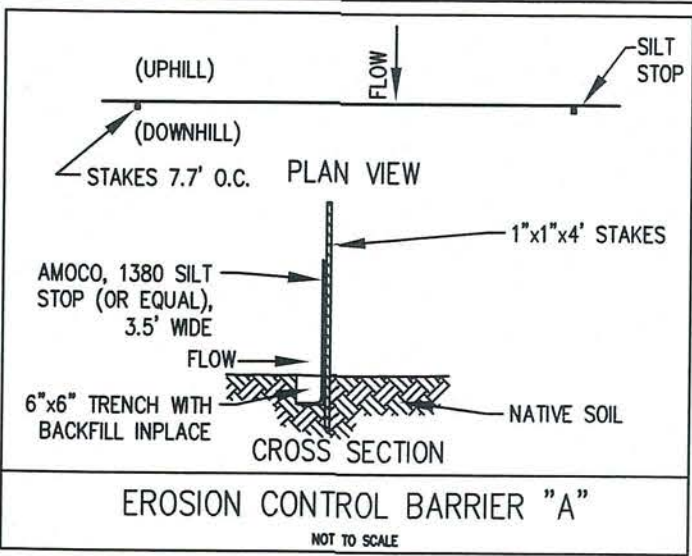
- EROSION CONTROL BARRIER: THE EROSION CONTROL BARRIER SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION AND SHALL BE INSPECTED WEEKLY, PRIOR TO STORM EVENTS AND IMMEDIATELY AFTER STORM EVENTS TO ENSURE ITS INTEGRITY. PORTIONS OF THE EROSION CONTROL BARRIER SHALL BE REMEDIATED AS NECESSARY TO PREVENT EROSION.
- CONSTRUCTION COMPLETION: THE ENTIRE STORM WATER MANAGEMENT SYSTEM SHALL BE INSPECTED UPON COMPLETION OF CONSTRUCTION. PORTIONS OF THE SYSTEM CONTAINING SEDIMENTATION SHALL BE PROPERLY CLEANED AND THE SILT REMOVED.

2. MAINTENANCE AGREEMENT/SCHEDULE FOR LONG-TERM OPERATION AND MAINTENANCE (POST CONSTRUCTION)

- OWNER OF THE STORMWATER SYSTEM:
OWNERS SIGNATURE: _____ DATE: _____
- PERSON/ENTITY RESPONSIBLE FOR FINANCING MAINTENANCE AND EMERGENCY REPAIRS: _____
- CDS UNIT INSPECTIONS: INSPECTION IS THE KEY TO EFFECTIVE MAINTENANCE AND IS EASILY PERFORMED. POLLUTANT DEPOSITION AND TRANSPORT MAY VARY FROM YEAR TO YEAR, AND REGULAR INSPECTIONS WILL HELP INSURE THAT THE SYSTEM IS CLEANED OUT AT THE APPROPRIATE TIME.
AT A MINIMUM, INSPECTIONS SHOULD BE PERFORMED FOUR TIMES PER YEAR, HOWEVER MORE OR LESS FREQUENT INSPECTIONS MAY BE NECESSARY WHERE FREQUENT WINTER SANDING OPERATIONS MAY LEAD TO RAPID ACCUMULATIONS. THE VISUAL INSPECTION SHOULD ASCERTAIN THAT THE SYSTEM COMPONENTS ARE IN WORKING ORDER AND THAT THERE ARE NO BLOCKAGES OR OBSTRUCTIONS TO INLET AND/OR SEPARATION SCREEN. THE INSPECTION SHOULD ALSO IDENTIFY ACCUMULATIONS OF HYDROCARBONS, TRASH, AND SEDIMENT IN THE SYSTEM. MEASURING POLLUTANT ACCUMULATION CAN BE DONE WITH A CALIBRATED DIPSTICK, TAPE MEASURE OR OTHER MEASURING INSTRUMENT. IT IS USEFUL AND OFTEN REQUIRED AS PART OF A PERMIT TO KEEP A RECORD OF EACH INSPECTION. (SEE THE INSPECTION AND MAINTENANCE GUIDE PROVIDED BY THE MANUFACTURER AND INCLUDED IN THE STORMWATER REPORT)
- CLEANING OF THE CDS SYSTEM SHOULD BE DONE WHEN SEDIMENT ACCUMULATES AT A DEPTH OF TWO FEET WITHIN THE UNIT AND SHOULD BE DONE DURING DRY WEATHER CONDITIONS WHEN NO FLOW IS ENTERING THE SYSTEM. CLEANOUT OF THE CDS WITH A VACUUM TRUCK IS GENERALLY THE MOST EFFECTIVE AND CONVENIENT METHOD OF EXCAVATING POLLUTANTS FROM THE SYSTEM. SIMPLY REMOVE THE MANHOLE COVERS AND INSERT THE VACUUM HOSE INTO THE SUMP. THE SYSTEM SHOULD BE COMPLETELY DRAINED DOWN AND THE SUMP FULLY EVACUATED OF SEDIMENT. THE AREA OUTSIDE THE SCREEN SHOULD BE PUMPED OUT ALSO IF POLLUTANT BUILD-UP EXISTS IN THIS AREA.
- CATCH BASINS INSPECTIONS AND CLEANINGS AT A MINIMUM, SHOULD BE PERFORMED TWO TIMES PER YEAR, HOWEVER MORE OR LESS FREQUENT INSPECTIONS MAY BE NECESSARY WHERE FREQUENT WINTER SANDING OPERATIONS MAY LEAD TO RAPID ACCUMULATIONS. THE VISUAL INSPECTION SHOULD ASCERTAIN THAT THE SYSTEM COMPONENTS ARE IN WORKING ORDER AND THAT THERE ARE NO BLOCKAGES.
- BUILDING GUTTERS: THE PROPOSED BUILDING WILL CONTAIN GUTTERS. THE DOWNSPOUTS WILL BE DIRECTED TO THE MANHOLES THROUGH ROOF LEADER PIPES. GUTTERS SHALL BE CLEANED PERIODICALLY AS NEEDED AND/OR AT LEAST TWICE PER YEAR, AFTER LEAVES HAVE FALLEN IN THE FALL SEASON AND IN THE SPRING SEASON AFTER NEW LEAF GROWTH. IT MAY BE DETERMINED UPON INSPECTION THAT CLEANING MORE OFTEN MAY BE NECESSARY. DOWNSPOUT STRAINERS SHALL BE USED AT DOWNSPOUT LOCATIONS WITHIN THE GUTTERS.
- INFILTRATION/RETENTION BASIN: INSPECTIONS SHOULD BE DONE AFTER EVERY MAJOR STORM DURING THE FIRST 3 MONTHS OF OPERATION AND NORMALLY TWICE A YEAR. MOW THE SIDE SLOPES AND RAKE THE BOTTOM TO REMOVE TRASH, DEBRIS, GRASS CLIPPINGS AND ACCUMULATED ORGANIC MATERIAL TWICE A YEAR.
- THE ESTIMATED ANNUAL MAINTENANCE COST OF THIS STORMWATER MANAGEMENT SYSTEM IS \$1,500.

3. MAINTENANCE REPORTS SUMMARIZING THE INSPECTIONS SHOULD BE KEPT AS PART OF THIS OPERATION & MAINTENANCE PLAN AND CONSTRUCTION PHASE. AT A MINIMUM THE INSPECTION REPORTS SHALL INCLUDE:

- INSPECTION DATE;
- NAME, TITLE AND QUALIFICATIONS OF THE PERSONNEL MAKING THE INSPECTION;
- WEATHER CONDITIONS AT THE TIME OF INSPECTION AND SINCE THE PREVIOUS INSPECTION, INCLUDING A BEST ESTIMATE OF THE BEGINNING OF EACH STORM EVENT THAT OCCURRED, DURATION OF EACH STORM EVENT, APPROXIMATE AMOUNT OF RAINFALL FOR EACH STORM EVENT, AND WHETHER ANY DISCHARGES HAVE OCCURRED;
- DISCHARGES THAT OCCUR AT THE TIME OF INSPECTION;
- LOCATION OF DISCHARGES OR SEDIMENTATION FROM THE SITE;
- LOCATION OF BEST MANAGEMENT PRACTICES (STRUCTURES), "BMPs" THAT NEED TO BE MAINTAINED;
- LOCATION OF "BMPs" THAT FAILED TO OPERATE AS DESIGNED OR PROVED INADEQUATE FOR A PARTICULAR LOCATION;
- LOCATIONS WHERE ADDITIONAL "BMPs" ARE NEEDED THAT DID NOT EXIST AT THE TIME OF INSPECTION; AND
- CORRECTIVE ACTION REQUIRED INCLUDING ANY CHANGES TO THIS PLAN.
- ALL REPORTS SHALL BE SUBMITTED TO THE PUBLIC WORKS SUPERINTENDENT ON A MONTHLY BASIS DURING CONSTRUCTION PERIOD.
- REPORTS AFTER CONSTRUCTION SHALL BE RETAINED FOR TEN YEARS AFTER FINAL CONSTRUCTION PROJECT CLOSEOUT IS COMPLETE AND SUBMITTED TO THE CONSERVATION COMMISSION UPON REQUEST.
- ILLICIT DISCHARGES: ALL ILLICIT DISCHARGES TO THE STORMWATER SYSTEM ARE PROHIBITED. IF AN ACCIDENTAL SPILL OCCURS (OIL AND/OR CHEMICAL SPILLS, RADIATION EMERGENCIES, AND BIOLOGICAL DISCHARGES) THE NATIONAL RESPONSE CENTER MUST BE CALLED AT 1-800-424-8802



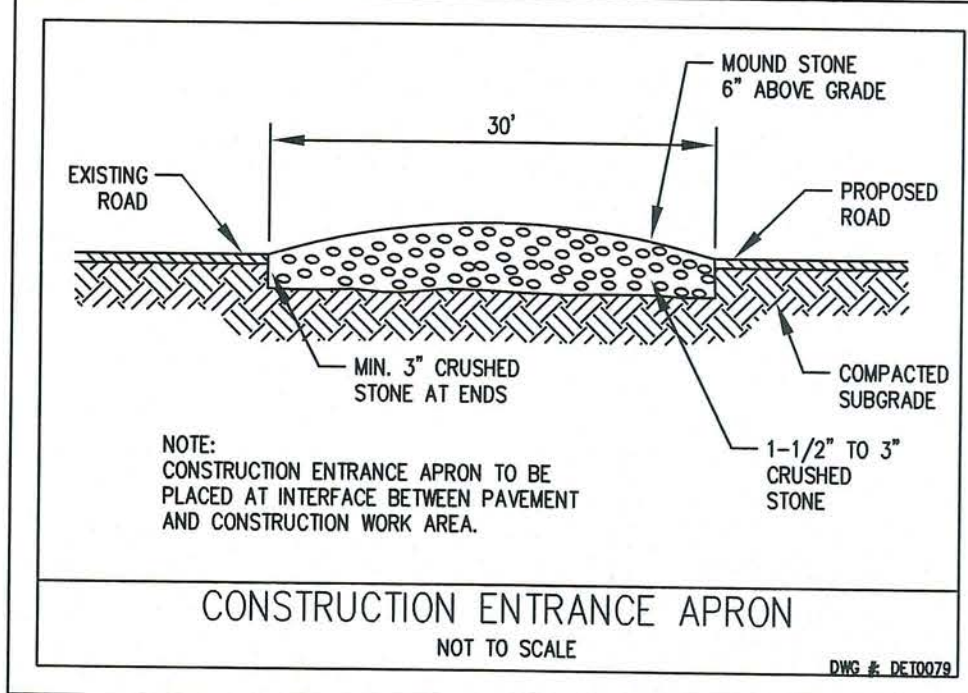
SEDIMENTATION & EROSION CONTROL METHODS & PROCEDURES

- EROSION CONTROL MEASURES (SEE DETAILS) SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION AS INDICATED.
- MEASURES SHALL BE TAKEN TO LIMIT THE TRACKING OF MATERIAL FROM THE SITE ONTO TROTTER DRIVE.
- DUST SHALL BE CONTROLLED BY SPRINKLING OR OTHER APPROVED MEASURES AS NECESSARY.
- THROUGHOUT CONSTRUCTION, ALL DISTURBED AREAS SHALL BE LOAMED AND SEEDED AND MULCHED AS SOON AS PRACTICABLE IN ORDER TO AVOID OVERLAND TRANSPORT OF SEDIMENT.
- EROSION CONTROL MEASURES ARE TO BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND PARTICULARLY AFTER SIGNIFICANT RAINFALL. DIAPHRAGM HAYBALES AND SILT STOP SHALL BE REPLACED AS REQUIRED TO MAINTAIN THE INTEGRITY OF THE BARRIER.
- WITH SLOPES STABILIZED AND FINAL INSPECTION COMPLETE, THE EROSION CONTROL BARRIER SHALL BE REMOVED AND PROPERLY DISPOSED OFF-SITE.

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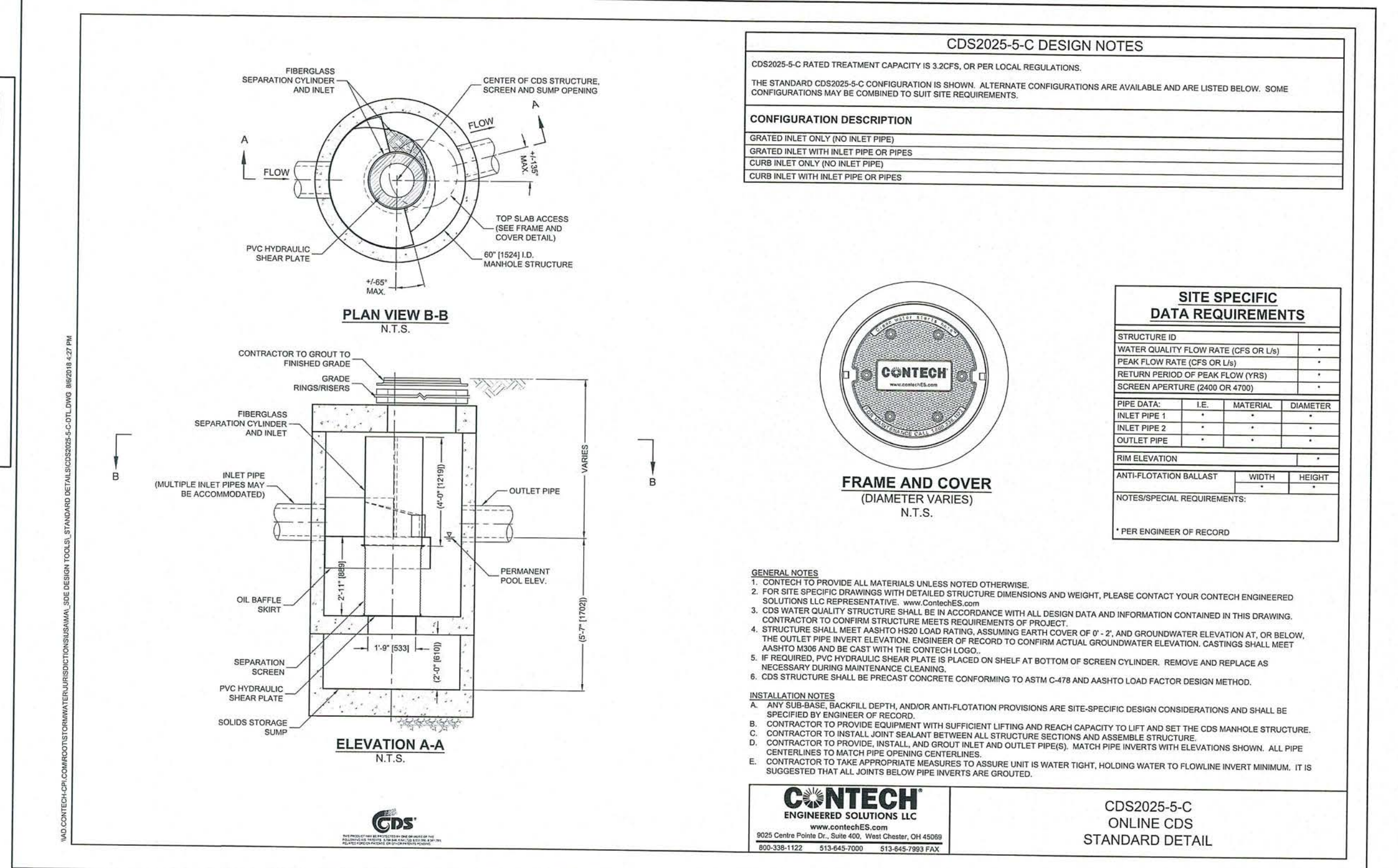
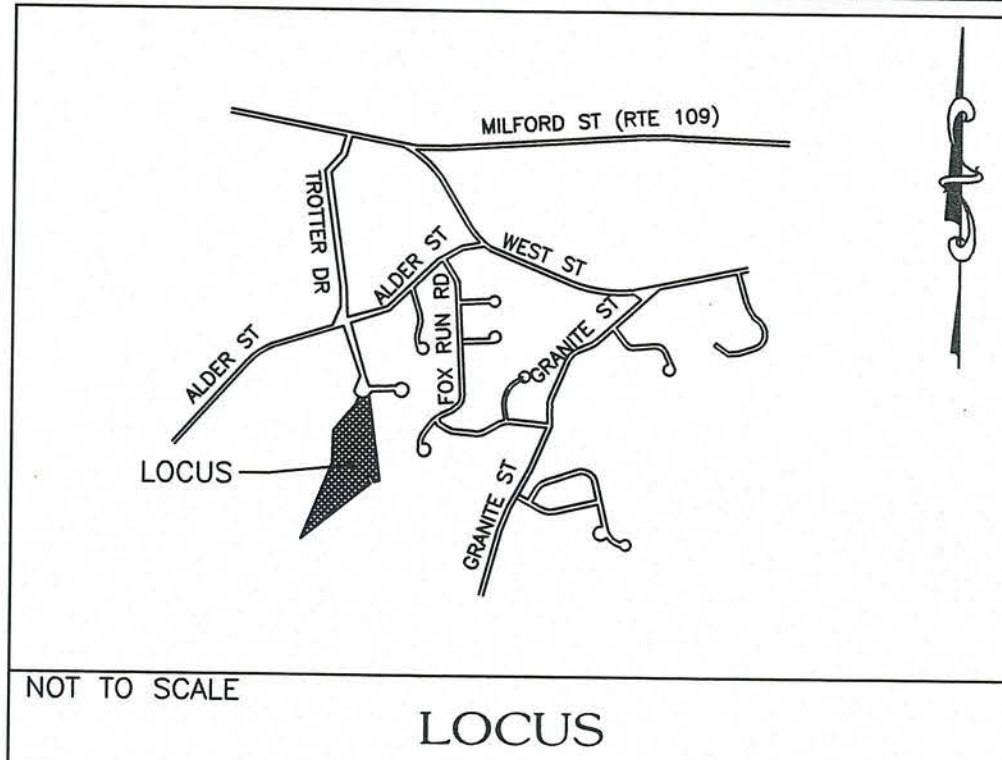
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- ### CONSTRUCTION NOTES
- EROSION CONTROL GRASS MIXTURE (SIDE SLOPE GREATER THAN 4 HORIZONTAL TO 1 VERTICAL) FOLLOWING COMPLETION OF GRADING. THE FOLLOWING SEED MIX SHALL BE APPLIED:
 - TYPE OF SEED % BY WEIGHT
 CREEPING RED FESCUE 30
 TALL FESCUE 30
 WHITE DUTCH CLOVER 30
 RED TOP 10
 SEED AT THE RATE OF 2#/2,000 SF
 USE THE ABOVE MIX AT THE RATE OF 50#/ACRE AND WITH 1/2 BUSH/acre OF WINTER RYE
 ALL DISTURBED AREAS ARE TO BE LOAMED AND SEEDED WITH A MINIMUM OF 6" OF TOP SOIL SPREAD EVENLY THROUGHOUT. PROVIDE EROSION CONTROL MEASURES AS NECESSARY TO PROVIDE SLOPE STABILITY UNTIL VEGETATION IS ESTABLISHED.

CONSTRUCTION PERIOD POLLUTION PREVENTION AND EROSION AND SEDIMENTATION CONTROL PLAN:

- NAME OF PERSON AND ENTITY RESPONSIBLE FOR PLAN COMPLIANCE: _____
- PROJECT MANAGER OF 21 TROTTER DRIVE CONSTRUCTION IS THE CONTACT PERSON. CONTACT NUMBER IS _____
- CONSTRUCTION PERIOD POLLUTION PREVENTION MEASURES: AS DEFINED WITHIN.
- EROSION AND SEDIMENTATION CONTROL PLAN DRAWINGS: REFER TO PLAN VIEW FOR EROSION CONTROL MEASURE LOCATIONS.
- DETAIL DRAWINGS AND SPECIFICATIONS FOR EROSION CONTROL: REFER TO INDIVIDUAL DETAILS FOR INSTALLATION OF EROSION CONTROL MEASURES.
- VEGETATION PLANNING: THE PROPOSED CONSTRUCTION ACTIVITIES WILL BE PERFORMED WITHIN THE LIMITS OF WORK AREA (SILTATION BARRIER BEING THE LIMIT OF WORK). THE FINAL PROPOSED SURFACE WILL CONSIST OF PAVING AND GRASSED AREAS (REFER TO SEQUENCING BELOW).
- SITE DEVELOPMENT PLAN: REFER TO PLAN VIEW & APPROVED SITE PLANS.
- CONSTRUCTION SEQUENCING PLAN: THE FOLLOWING CONSTRUCTION SEQUENCE SHALL BE FOLLOWED:
 - EROSION CONTROL PROVISIONS IN PLACE AND INSPECTED PRIOR TO ANY AND ALL CONSTRUCTION.
 - ANTI-TRACKING STONE CONSTRUCTION ENTRANCE.
 - CLEAR AND GRUB.
 - STRIP AND STOCKPILE TOPSOIL. PROVIDE TEMPORARY SEEDING OF STOCKPILE. PLACE SILTATION BARRIER AROUND STOCKPILE AND PLACE TARPS OVER THE STOCKPILE IF NECESSARY.
 - ROUGH GRADE PROPOSED SITE.
 - EXCAVATE AND CONSTRUCT UTILITIES SYSTEMS. REMOVE UNUSABLE MATERIAL FROM SITE.
 - INSTALL WATER PIPE, DRAINAGE, CDS UNITS, AND OTHER UTILITIES.
 - EROSION CONTROL MEASURES AT NEW DRAINAGE INLETS.
 - PLACE BASE PAVING.
 - CONSTRUCT BUILDING.
 - FINAL GRADING.
 - LOAM AND SEED ALL DISTURBED AREAS AND LANDSCAPE YARDS.
 - FINAL TOP COURSE PAVING.
 - REMOVE EROSION CONTROL PROVISIONS UPON STABILIZATION AND FINAL SITE INSPECTION BY APPROVING AUTHORITY.
- SEQUENCING OF EROSION AND SEDIMENTATION CONTROLS: EROSION CONTROL PROVISIONS IN PLACE AND INSPECTED PRIOR TO ANY AND ALL CONSTRUCTION.
- OPERATION AND MAINTENANCE OF EROSION AND SEDIMENTATION CONTROLS: THE CONTRACTOR/OPERATOR IS RESPONSIBLE FOR MAINTAINING A STABLE SITE. THE OPERATOR SHALL EMPLOY EROSION AND SEDIMENTATION CONTROLS TO PREVENT EROSION AND SEDIMENT RELEASES BEYOND THE SEDIMENT BARRIER. THE EROSION CONTROL MEASURES INDICATED ARE THE MINIMUM THAT SHOULD BE EMPLOYED. THE CONTRACTOR/OPERATOR SHALL EMPLOY ADDITIONAL CONTROLS AS THE ON-SITE CONSTRUCTION EXPERIENCE DICTATES.
- INSPECTION SCHEDULE:
 - INSPECTIONS SHALL TAKE PLACE AT LEAST ONCE EVERY 7 CALENDAR DAYS OR WITHIN 24 HOURS OF THE END OF A STORM EVENT OF 0.25" OF RAIN OR GREATER.
 - INSPECTION FREQUENCY MAY BE REDUCED TO ONCE A MONTH IF THE ENTIRE SITE IS TEMPORARILY STABILIZED OR RUNOFF IS UNLIKELY DUE TO WINTER CONDITIONS OR EXTREMELY DRY CONDITIONS.
 - INSPECTIONS MUST BE CONDUCTED BY A PROPERLY AUTHORIZED QUALIFIED PERSONNEL.
 - INSPECTIONS SHALL INCLUDE ALL AREAS OF THE SITE DISTURBED BY CONSTRUCTION ACTIVITIES. INSPECTIONS MUST LOOK FOR EVIDENCE OF POLLUTANTS OR POTENTIAL POLLUTANTS ENTERING THE STORM WATER SYSTEM. SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSPECTED TO ENSURE PROPER OPERATION. LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE MUST BE INSPECTED FOR EVIDENCE OF OFF-SITE SEDIMENT TRACKING.
- MAINTENANCE SCHEDULE: REPORTS OF SUMMARIZING THE INSPECTIONS SHOULD BE KEPT AS PART OF THIS CONSTRUCTION PERIOD POLLUTION PREVENTION AND SOIL EROSION AND SEDIMENTATION CONTROL PLAN. AT A MINIMUM THE INSPECTION REPORTS SHALL INCLUDE:
 - INSPECTION DATE;
 - NAME, TITLE AND QUALIFICATIONS OF THE PERSONNEL MAKING THE INSPECTION;
 - WEATHER CONDITIONS AT THE TIME OF INSPECTION AND SINCE THE PREVIOUS INSPECTION, INCLUDING A BEST ESTIMATE OF THE BEGINNING OF EACH STORM EVENT THAT OCCURRED, DURATION OF EACH STORM EVENT, APPROXIMATE AMOUNT OF RAINFALL FOR EACH STORM EVENT, AND WHETHER ANY DISCHARGES HAVE OCCURRED;
 - DISCHARGES THAT OCCUR AT THE TIME OF INSPECTION;
 - LOCATION OF DISCHARGES OR SEDIMENTATION FROM THE SITE;
 - LOCATION OF "BMPs" THAT NEED TO BE MAINTAINED;
 - LOCATION OF "BMPs" THAT FAILED TO OPERATE AS DESIGNED OR PROVED INADEQUATE FOR A PARTICULAR LOCATION;
 - LOCATIONS WHERE ADDITIONAL "BMPs" ARE NEEDED THAT DID NOT EXIST AT THE TIME OF INSPECTION; AND
 - CORRECTIVE ACTION REQUIRED INCLUDING ANY CHANGES TO THIS PLAN.
 - ALL REPORTS SHALL BE SUBMITTED TO THE DEPARTMENT OF PUBLIC WORKS SUPERINTENDENT ON A WHEN REQUESTED DURING THE CONSTRUCTION PERIOD, AND MAINTAINED FOR THREE YEARS AFTER FINAL CONSTRUCTION PROJECT CLOSEOUT IS COMPLETE.



CDS2025-5-C
ENGINEERED SOLUTIONS LLC
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2025 Centre Pointe Dr., Suite 400, West Chester, OH 45380
(937) 338-1122 (937) 338-1123 (937) 338-1124

CDS2025-5-C
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STANDARD DETAIL

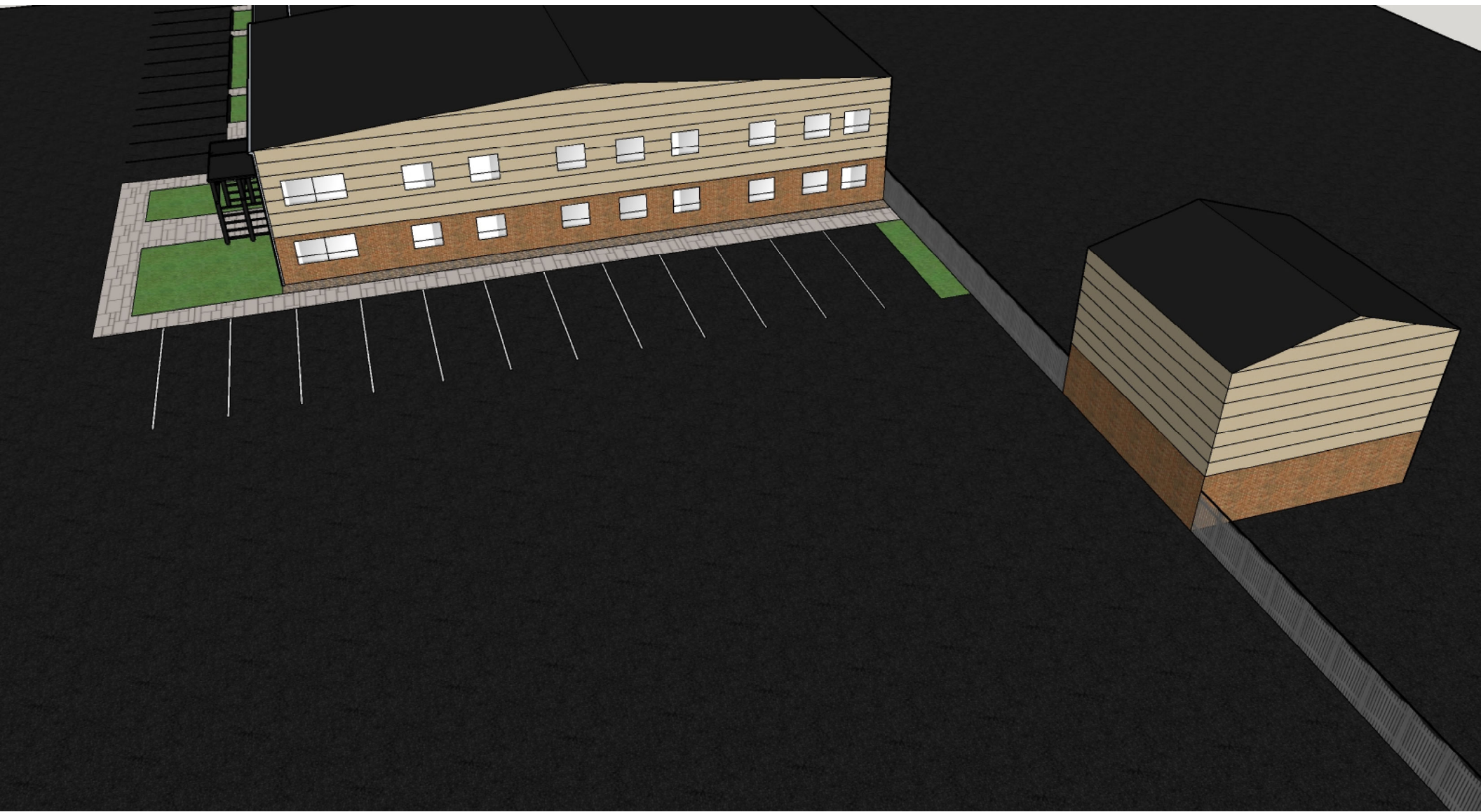












September 10, 2019 PEDB Meeting Minutes - Excerpt

MARZILLI SITE PLAN AND GROUNDWATER SPECIAL PERMIT PUBLIC HEARING:

The Board is in receipt of the following: (See Attached):

- Public Hearing Notice
- Site Plan submittal letter
- Site Plan application
- Development Impact Report
- Request for waivers from *Site Plan Rules and Regulations*
- 21 Trotter Drive Site Plan dated 8-6-19
- Proposed elevations for new addition and retrofit of existing building
- Special Permit and Use Variance from 1998
- Groundwater Special Permit Application
- Groundwater Special Permit Narrative
- Groundwater Protection District language from the Medway Zoning Bylaw
- PGC Plan Review Comments dated 9-4-19
- Tetra Tech Plan Review Comments dated 9-4-19
- Tetra Tech Plan Review Comments dated 9-5-19
- Tetra Tech Stormwater Review Comments dated 8-8-19 for Conservation Commission
- Jack Mee Review Comments dated 9-5-19
- Fire Chief Jeff Lynch email dated 9-10-19.

The Chairman provided an overview of how the public hearing will be run.

On a motion made by Bob Tucker and seconded by Matt Hayes, the Board voted unanimously to waive the reading of the public hearing notice.

The Chairman opened the public hearing.

The plan was prepared by Peter Bemis from Engineering Design Consultants. He was present along Robert Marzilli. The subject property is located in the West Industrial Zoning District. R. P. Marzilli & Company is a residential landscape contractor. The project includes construction of an approximately 7,944 sq. ft. addition to the existing R.P. Marzilli building and associated site improvements. There will be a paved parking for a total of 129 parking spaces for employees, visitors, and company vehicles. There will be spaces for 7 Tractor-trailers and 18 utility trailers, a new fuel storage facility. There will be site improvements to the management facilities, lighting, and landscaping.

The fuel storage facility already exists on the site and the new facility will include a secondary containment structure and other safety measures. This will be a stand-alone plan and has been removed from original plan.

It was explained that the stormwater runoff from the paved areas will be treated through a proprietary stormwater structure and the runoff will be infiltrated along with the roof runoff into a detention/infiltration basin. This will infiltrate the stormwater generated from the building and parking lot surfaces which will also undergo pre-treatment with ConTech VortSentry Stormwater units. The Construction activities will be managed by a SWPP and a Stormwater Permit Application which has been filed. There will be five pole mounted lights as well as eight mounted lights with no spillage to the abutting property. The existing curb cut at Trotter Drive will continue to serve the site.

Mr. Bemis indicated that the plan has been revised to address the Conservation Commission issues.

The applicant is proposing the following waivers:

Site Plan Contents – c. 3 Existing Landscape Inventory:

The Board would like identification of trees 18 inches and more within the limit of work area.

Parking – G. Parking Spaces/Stalls – 3a. Stalls shall be 10x20, Parking – 3b. Wheelstops:

205-6 The Board would prefer wider sidewalks.

Parking – 4b- Stalls shall not be within 15' of front... property lines.

The Board has no issue with this.

Planning Board Submittal – a. 7. Written Development Impact Statement:

Consultant Carlucci recommended that this is a reasonable waiver since it is an existing site.

The renderings of the building addition were shown. The materials will be brick and insulated panel. There will be a transformer in the front of the building which will be part of the industrial look of the building. The Board would like to get written authorization from Eversource that this is ok to have the transformer that close to facility. The remediation plan for 20 Trotter Drive will have some storage within the buffer. This will be on a separate plan since they are working with the abutters. The permitting of the fuel goes through the Fire Department. The applicant is requesting going from 4,000 to 6,000 gallons. The applicant indicated that the site has been inspected over the last 20 years of him having the business. There may be an issue since this is within the Town of Bellingham's Groundwater Protection Area.

There was a question if the Convex Containers were going to stay on site since they were not noted on the plan. These will need a permit since it is temporary storage. Mr. Bemis will indicate the location of those on the plan.

The applicant informed all that the stone saw will be removed from site since it does not work.

The applicant has also hired Web Engineering and they will be present at the next meeting.

Susy would like the applicant to provide a supplement narrative about the fuel component.

Resident Greg Bliss, 26 Fox Run:

Mr. Bliss is concerned about the drainage and any possible leaks from the fuel.

Resident 2 Lost Hill John Aviza:

Mr. Aviza communicated that Mr. Marzilli has been a great neighbor and did let him know about the happenings. He would like to make sure that there remains separation and a buffer. The other issue is that there is water that comes through under the road and goes into the back area of his property. His last concern is about the speed on the street.

There was a suggestion that there be a 15 miles per hour speed limit sign posted.

Resident Shirley Bliss, 26 Fox Run Road:

This resident wanted to know about the hours of operation and what can be done if they are working outside of the noted hours.

The resident was informed that she can contact the Building Enforcement Officer Jack Mee.

Resident, Bruce Carbone, 24 Fox Run:

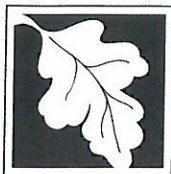
This resident wanted to know if there is any provision about the noise from the rock splitting.

There was a recommendation if language could be put in any decision about noise from the site from rock splitting. The applicant responded that they could add more buffer.

The applicant indicated that there is a scheduled meeting with the Conservation Commission on Thursday, September 12, 2019.

Continuation:

On a motion made by Matt Hayes and seconded by Bob Tucker, the Board voted unanimously to continue the public hearing for Marzilli Site Plan and Groundwater Special Permit to Tuesday, October 1, 2019 at 7:00 pm.



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A. General Information (cont.)

6. Property recorded at the Registry of Deeds for (attach additional information if more than one parcel):
Norfolk
a. County
25503
b. Certificate Number (if registered land)
584
c. Book
d. Page
7. Dates: April 22, 2019 September 12, 2019 September 30, 2019
a. Date Notice of Intent Filed b. Date Public Hearing Closed
8. Final Approved Plans and Other Documents (attach additional plan or document references as needed):
"21 Trotter Drive A Site Plan in Medway, MA"
a. Plan Title
Engineering design Consultants Walter Lewinski PE no. 32327
b. Prepared By
August 28, 2019 c. Signed and Stamped by
1"=40'
d. Final Revision Date
e. Scale
"Stormwater Calculations for 21 Trotter Drive at Site Re- August 28, 2019
Development" g. Date

B. Findings

1. Findings pursuant to the Massachusetts Wetlands Protection Act:

Following the review of the above-referenced Notice of Intent and based on the information provided in this application and presented at the public hearing, this Commission finds that the areas in which work is proposed is significant to the following interests of the Wetlands Protection Act (the Act). Check all that apply:

- a. ☒ Public Water Supply b. ☐ Land Containing Shellfish c. ☒ Prevention of Pollution
d. ☐ Private Water Supply e. ☐ Fisheries f. ☒ Protection of Wildlife Habitat
g. ☒ Groundwater Supply h. ☒ Storm Damage Prevention i. ☒ Flood Control

2. This Commission hereby finds the project, as proposed, is: (check one of the following boxes)

Approved subject to:

- a. ☒ the following conditions which are necessary in accordance with the performance standards set forth in the wetlands regulations. This Commission orders that all work shall be performed in accordance with the Notice of Intent referenced above, the following General Conditions, and any other special conditions attached to this Order. To the extent that the following conditions modify or differ from the plans, specifications, or other proposals submitted with the Notice of Intent, these conditions shall control.



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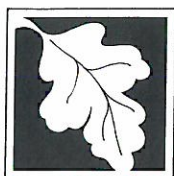
B. Findings (cont.)

Denied because:

- b. ☐ the proposed work cannot be conditioned to meet the performance standards set forth in the wetland regulations. Therefore, work on this project may not go forward unless and until a new Notice of Intent is submitted which provides measures which are adequate to protect the interests of the Act, and a final Order of Conditions is issued. **A description of the performance standards which the proposed work cannot meet is attached to this Order.**
- c. ☐ the information submitted by the applicant is not sufficient to describe the site, the work, or the effect of the work on the interests identified in the Wetlands Protection Act. Therefore, work on this project may not go forward unless and until a revised Notice of Intent is submitted which provides sufficient information and includes measures which are adequate to protect the Act's interests, and a final Order of Conditions is issued. **A description of the specific information which is lacking and why it is necessary is attached to this Order as per 310 CMR 10.05(6)(c).**
3. ☒ Buffer Zone Impacts: Shortest distance between limit of project disturbance and the wetland resource area specified in 310 CMR 10.02(1)(a) 0
a. linear feet

Inland Resource Area Impacts: Check all that apply below. (For Approvals Only)

Resource Area	Proposed Alteration	Permitted Alteration	Proposed Replacement	Permitted Replacement
4. <input type="checkbox"/> Bank	a. linear feet	b. linear feet	c. linear feet	d. linear feet
5. <input type="checkbox"/> Bordering Vegetated Wetland	a. square feet	b. square feet	c. square feet	d. square feet
6. <input type="checkbox"/> Land Under Waterbodies and Waterways	a. square feet	b. square feet	c. square feet	d. square feet
	e. c/y dredged	f. c/y dredged		
7. <input type="checkbox"/> Bordering Land Subject to Flooding	a. square feet	b. square feet	c. square feet	d. square feet
Cubic Feet Flood Storage	e. cubic feet	f. cubic feet	g. cubic feet	h. cubic feet
8. <input type="checkbox"/> Isolated Land Subject to Flooding	a. square feet	b. square feet		
Cubic Feet Flood Storage	c. cubic feet	d. cubic feet	e. cubic feet	f. cubic feet
9. <input type="checkbox"/> Riverfront Area	a. total sq. feet	b. total sq. feet		
Sq ft within 100 ft	c. square feet	d. square feet	e. square feet	f. square feet
Sq ft between 100-200 ft	g. square feet	h. square feet	i. square feet	j. square feet



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B. Findings (cont.)

Coastal Resource Area Impacts: Check all that apply below. (For Approvals Only)

	Proposed Alteration	Permitted Alteration	Proposed Replacement	Permitted Replacement
10. <input type="checkbox"/> Designated Port Areas	Indicate size under Land Under the Ocean, below			
11. <input type="checkbox"/> Land Under the Ocean	<u> </u> a. square feet	<u> </u> b. square feet		
	<u> </u> c. c/y dredged	<u> </u> d. c/y dredged		
12. <input type="checkbox"/> Barrier Beaches	Indicate size under Coastal Beaches and/or Coastal Dunes below			
13. <input type="checkbox"/> Coastal Beaches	<u> </u> a. square feet	<u> </u> b. square feet	<u> </u> c. nourishment cu yd	<u> </u> d. nourishment cu yd
14. <input type="checkbox"/> Coastal Dunes	<u> </u> a. square feet	<u> </u> b. square feet	<u> </u> c. nourishment cu yd	<u> </u> d. nourishment cu yd
15. <input type="checkbox"/> Coastal Banks	<u> </u> a. linear feet	<u> </u> b. linear feet		
16. <input type="checkbox"/> Rocky Intertidal Shores	<u> </u> a. square feet	<u> </u> b. square feet		
17. <input type="checkbox"/> Salt Marshes	<u> </u> a. square feet	<u> </u> b. square feet	<u> </u> c. square feet	<u> </u> d. square feet
18. <input type="checkbox"/> Land Under Salt Ponds	<u> </u> a. square feet	<u> </u> b. square feet		
	<u> </u> c. c/y dredged	<u> </u> d. c/y dredged		
19. <input type="checkbox"/> Land Containing Shellfish	<u> </u> a. square feet	<u> </u> b. square feet	<u> </u> c. square feet	<u> </u> d. square feet
20. <input type="checkbox"/> Fish Runs	Indicate size under Coastal Banks, Inland Bank, Land Under the Ocean, and/or inland Land Under Waterbodies and Waterways, above			
	<u> </u> a. c/y dredged	<u> </u> b. c/y dredged		
21. <input type="checkbox"/> Land Subject to Coastal Storm Flowage	<u> </u> a. square feet	<u> </u> b. square feet		
22. <input type="checkbox"/> Riverfront Area	<u> </u> a. total sq. feet	<u> </u> b. total sq. feet		
Sq ft within 100 ft	<u> </u> c. square feet	<u> </u> d. square feet	<u> </u> e. square feet	<u> </u> f. square feet
Sq ft between 100-200 ft	<u> </u> g. square feet	<u> </u> h. square feet	<u> </u> i. square feet	<u> </u> j. square feet



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B. Findings (cont.)

* #23. If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.5.c (BVW) or B.17.c (Salt Marsh) above, please enter the additional amount here.

23. ☐ Restoration/Enhancement *:

a. square feet of BVW

b. square feet of salt marsh

24. ☐ Stream Crossing(s):

a. number of new stream crossings

b. number of replacement stream crossings

C. General Conditions Under Massachusetts Wetlands Protection Act

The following conditions are only applicable to Approved projects.

1. Failure to comply with all conditions stated herein, and with all related statutes and other regulatory measures, shall be deemed cause to revoke or modify this Order.
2. The Order does not grant any property rights or any exclusive privileges; it does not authorize any injury to private property or invasion of private rights.
3. This Order does not relieve the permittee or any other person of the necessity of complying with all other applicable federal, state, or local statutes, ordinances, bylaws, or regulations.
4. The work authorized hereunder shall be completed within three years from the date of this Order unless either of the following apply:
 - a. The work is a maintenance dredging project as provided for in the Act; or
 - b. The time for completion has been extended to a specified date more than three years, but less than five years, from the date of issuance. If this Order is intended to be valid for more than three years, the extension date and the special circumstances warranting the extended time period are set forth as a special condition in this Order.
 - c. If the work is for a Test Project, this Order of Conditions shall be valid for no more than one year.
5. This Order may be extended by the issuing authority for one or more periods of up to three years each upon application to the issuing authority at least 30 days prior to the expiration date of the Order. An Order of Conditions for a Test Project may be extended for one additional year only upon written application by the applicant, subject to the provisions of 310 CMR 10.05(11)(f).
6. If this Order constitutes an Amended Order of Conditions, this Amended Order of Conditions does not extend the issuance date of the original Final Order of Conditions and the Order will expire on 9/30/22 unless extended in writing by the Department.
7. Any fill used in connection with this project shall be clean fill. Any fill shall contain no trash, refuse, rubbish, or debris, including but not limited to lumber, bricks, plaster, wire, lath, paper, cardboard, pipe, tires, ashes, refrigerators, motor vehicles, or parts of any of the foregoing.



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C. General Conditions Under Massachusetts Wetlands Protection Act

8. This Order is not final until all administrative appeal periods from this Order have elapsed, or if such an appeal has been taken, until all proceedings before the Department have been completed.
9. No work shall be undertaken until the Order has become final and then has been recorded in the Registry of Deeds or the Land Court for the district in which the land is located, within the chain of title of the affected property. In the case of recorded land, the Final Order shall also be noted in the Registry's Grantor Index under the name of the owner of the land upon which the proposed work is to be done. In the case of the registered land, the Final Order shall also be noted on the Land Court Certificate of Title of the owner of the land upon which the proposed work is done. The recording information shall be submitted to the Conservation Commission on the form at the end of this Order, which form must be stamped by the Registry of Deeds, prior to the commencement of work.
10. A sign shall be displayed at the site not less than two square feet or more than three square feet in size bearing the words,

"Massachusetts Department of Environmental Protection" [or, "MassDEP"]
"File Number 216-0937 "
11. Where the Department of Environmental Protection is requested to issue a Superseding Order, the Conservation Commission shall be a party to all agency proceedings and hearings before MassDEP.
12. Upon completion of the work described herein, the applicant shall submit a Request for Certificate of Compliance (WPA Form 8A) to the Conservation Commission.
13. The work shall conform to the plans and special conditions referenced in this order.
14. Any change to the plans identified in Condition #13 above shall require the applicant to inquire of the Conservation Commission in writing whether the change is significant enough to require the filing of a new Notice of Intent.
15. The Agent or members of the Conservation Commission and the Department of Environmental Protection shall have the right to enter and inspect the area subject to this Order at reasonable hours to evaluate compliance with the conditions stated in this Order, and may require the submittal of any data deemed necessary by the Conservation Commission or Department for that evaluation.
16. This Order of Conditions shall apply to any successor in interest or successor in control of the property subject to this Order and to any contractor or other person performing work conditioned by this Order.



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C. General Conditions Under Massachusetts Wetlands Protection Act (cont.)

17. Prior to the start of work, and if the project involves work adjacent to a Bordering Vegetated Wetland, the boundary of the wetland in the vicinity of the proposed work area shall be marked by wooden stakes or flagging. Once in place, the wetland boundary markers shall be maintained until a Certificate of Compliance has been issued by the Conservation Commission.
18. All sedimentation barriers shall be maintained in good repair until all disturbed areas have been fully stabilized with vegetation or other means. At no time shall sediments be deposited in a wetland or water body. During construction, the applicant or his/her designee shall inspect the erosion controls on a daily basis and shall remove accumulated sediments as needed. The applicant shall immediately control any erosion problems that occur at the site and shall also immediately notify the Conservation Commission, which reserves the right to require additional erosion and/or damage prevention controls it may deem necessary. Sedimentation barriers shall serve as the limit of work unless another limit of work line has been approved by this Order.
19. The work associated with this Order (the "Project")
 - (1) ☒ is subject to the Massachusetts Stormwater Standards
 - (2) ☐ is NOT subject to the Massachusetts Stormwater Standards

If the work is subject to the Stormwater Standards, then the project is subject to the following conditions:

- a) All work, including site preparation, land disturbance, construction and redevelopment, shall be implemented in accordance with the construction period pollution prevention and erosion and sedimentation control plan and, if applicable, the Stormwater Pollution Prevention Plan required by the National Pollution Discharge Elimination System Construction General Permit as required by Stormwater Condition 8. Construction period erosion, sedimentation and pollution control measures and best management practices (BMPs) shall remain in place until the site is fully stabilized.
- b) No stormwater runoff may be discharged to the post-construction stormwater BMPs unless and until a Registered Professional Engineer provides a Certification that:
 - i. all construction period BMPs have been removed or will be removed by a date certain specified in the Certification. For any construction period BMPs intended to be converted to post construction operation for stormwater attenuation, recharge, and/or treatment, the conversion is allowed by the MassDEP Stormwater Handbook BMP specifications and that the BMP has been properly cleaned or prepared for post construction operation, including removal of all construction period sediment trapped in inlet and outlet control structures;
 - ii. as-built final construction BMP plans are included, signed and stamped by a Registered Professional Engineer, certifying the site is fully stabilized;
 - iii. any illicit discharges to the stormwater management system have been removed, as per the requirements of Stormwater Standard 10;



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C. General Conditions Under Massachusetts Wetlands Protection Act (cont.)

iv. all post-construction stormwater BMPs are installed in accordance with the plans (including all planting plans) approved by the issuing authority, and have been inspected to ensure that they are not damaged and that they are in proper working condition;

v. any vegetation associated with post-construction BMPs is suitably established to withstand erosion.

c) The landowner is responsible for BMP maintenance until the issuing authority is notified that another party has legally assumed responsibility for BMP maintenance. Prior to requesting a Certificate of Compliance, or Partial Certificate of Compliance, the responsible party (defined in General Condition 18(e)) shall execute and submit to the issuing authority an Operation and Maintenance Compliance Statement ("O&M Statement") for the Stormwater BMPs identifying the party responsible for implementing the stormwater BMP Operation and Maintenance Plan ("O&M Plan") and certifying the following:

i.) the O&M Plan is complete and will be implemented upon receipt of the Certificate of Compliance, and

ii.) the future responsible parties shall be notified in writing of their ongoing legal responsibility to operate and maintain the stormwater management BMPs and implement the Stormwater Pollution Prevention Plan.

d) Post-construction pollution prevention and source control shall be implemented in accordance with the long-term pollution prevention plan section of the approved Stormwater Report and, if applicable, the Stormwater Pollution Prevention Plan required by the National Pollution Discharge Elimination System Multi-Sector General Permit.

e) Unless and until another party accepts responsibility, the landowner, or owner of any drainage easement, assumes responsibility for maintaining each BMP. To overcome this presumption, the landowner of the property must submit to the issuing authority a legally binding agreement of record, acceptable to the issuing authority, evidencing that another entity has accepted responsibility for maintaining the BMP, and that the proposed responsible party shall be treated as a permittee for purposes of implementing the requirements of Conditions 18(f) through 18(k) with respect to that BMP. Any failure of the proposed responsible party to implement the requirements of Conditions 18(f) through 18(k) with respect to that BMP shall be a violation of the Order of Conditions or Certificate of Compliance. In the case of stormwater BMPs that are serving more than one lot, the legally binding agreement shall also identify the lots that will be serviced by the stormwater BMPs. A plan and easement deed that grants the responsible party access to perform the required operation and maintenance must be submitted along with the legally binding agreement.

f) The responsible party shall operate and maintain all stormwater BMPs in accordance with the design plans, the O&M Plan, and the requirements of the Massachusetts Stormwater Handbook.



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C. General Conditions Under Massachusetts Wetlands Protection Act (cont.)

- g) The responsible party shall:
1. Maintain an operation and maintenance log for the last three (3) consecutive calendar years of inspections, repairs, maintenance and/or replacement of the stormwater management system or any part thereof, and disposal (for disposal the log shall indicate the type of material and the disposal location);
 2. Make the maintenance log available to MassDEP and the Conservation Commission ("Commission") upon request; and
 3. Allow members and agents of the MassDEP and the Commission to enter and inspect the site to evaluate and ensure that the responsible party is in compliance with the requirements for each BMP established in the O&M Plan approved by the issuing authority.
- h) All sediment or other contaminants removed from stormwater BMPs shall be disposed of in accordance with all applicable federal, state, and local laws and regulations.
- i) Illicit discharges to the stormwater management system as defined in 310 CMR 10.04 are prohibited.
- j) The stormwater management system approved in the Order of Conditions shall not be changed without the prior written approval of the issuing authority.
- k) Areas designated as qualifying pervious areas for the purpose of the Low Impact Site Design Credit (as defined in the MassDEP Stormwater Handbook, Volume 3, Chapter 1, Low Impact Development Site Design Credits) shall not be altered without the prior written approval of the issuing authority.
- l) Access for maintenance, repair, and/or replacement of BMPs shall not be withheld. Any fencing constructed around stormwater BMPs shall include access gates and shall be at least six inches above grade to allow for wildlife passage.

Special Conditions (if you need more space for additional conditions, please attach a text document):

See attached for Findings and Conditions adopted under the MA Wetlands Protection Act (MGL. Ch. 131 S. 40) & the Medway General Wetlands Protection Bylaw (Article XXI)

20. For Test Projects subject to 310 CMR 10.05(11), the applicant shall also implement the monitoring plan and the restoration plan submitted with the Notice of Intent. If the conservation commission or Department determines that the Test Project threatens the public health, safety or the environment, the applicant shall implement the removal plan submitted with the Notice of Intent or modify the project as directed by the conservation commission or the Department.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands
WPA Form 5 – Order of Conditions
Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:
216-0937
MassDEP File #
eDEP Transaction #
Medway
City/Town

D. Findings Under Municipal Wetlands Bylaw or Ordinance

1. Is a municipal wetlands bylaw or ordinance applicable? ☒ Yes ☐ No
2. The Medway Conservation Commission hereby finds (check one that applies):
 - a. ☐ that the proposed work cannot be conditioned to meet the standards set forth in a municipal ordinance or bylaw, specifically:
 1. Municipal Ordinance or Bylaw
 2. Citation

Therefore, work on this project may not go forward unless and until a revised Notice of Intent is submitted which provides measures which are adequate to meet these standards, and a final Order of Conditions is issued.
 - b. ☒ that the following additional conditions are necessary to comply with a municipal ordinance or bylaw:
 1. Municipal Ordinance or Bylaw Medway General Bylaw
 2. Citation Article XXI
3. The Commission orders that all work shall be performed in accordance with the following conditions and with the Notice of Intent referenced above. To the extent that the following conditions modify or differ from the plans, specifications, or other proposals submitted with the Notice of Intent, the conditions shall control.

The special conditions relating to municipal ordinance or bylaw are as follows (if you need more space for additional conditions, attach a text document):
See attached for Findings and Conditions adopted under the MA Wetlands Protection Act (MGL. Ch. 131 S. 40) & the Medway General Wetlands Protection Bylaw (Article XXI)



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands
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Provided by MassDEP:
216-0937
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Medway
City/Town

E. Signatures

This Order is valid for three years, unless otherwise specified as a special condition pursuant to General Conditions #4, from the date of issuance.

Please indicate the number of members who will sign this form.

This Order must be signed by a majority of the Conservation Commission.

The Order must be mailed by certified mail (return receipt requested) or hand delivered to the applicant. A copy also must be mailed or hand delivered at the same time to the appropriate Department of Environmental Protection Regional Office, if not filing electronically, and the property owner, if different from applicant.

9/30/19

1. Date of Issuance

4
2. Number of Signers

Signatures:

Paul G. Bando David A. Trachtenberg Brian Snow
Ken McLean
David G. Blackwell David S. Blackwell

☐ by hand delivery on

☒ by certified mail, return receipt requested, on

9/30/19

Date

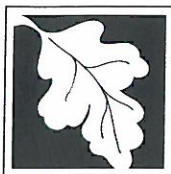
Date

F. Appeals

The applicant, the owner, any person aggrieved by this Order, any owner of land abutting the land subject to this Order, or any ten residents of the city or town in which such land is located, are hereby notified of their right to request the appropriate MassDEP Regional Office to issue a Superseding Order of Conditions. The request must be made by certified mail or hand delivery to the Department, with the appropriate filing fee and a completed Request for Departmental Action Fee Transmittal Form, as provided in 310 CMR 10.03(7) within ten business days from the date of issuance of this Order. A copy of the request shall at the same time be sent by certified mail or hand delivery to the Conservation Commission and to the applicant, if he/she is not the appellant.

Any appellants seeking to appeal the Department's Superseding Order associated with this appeal will be required to demonstrate prior participation in the review of this project. Previous participation in the permit proceeding means the submission of written information to the Conservation Commission prior to the close of the public hearing, requesting a Superseding Order, or providing written information to the Department prior to issuance of a Superseding Order.

The request shall state clearly and concisely the objections to the Order which is being appealed and how the Order does not contribute to the protection of the interests identified in the Massachusetts Wetlands Protection Act (M.G.L. c. 131, § 40), and is inconsistent with the wetlands regulations (310 CMR 10.00). To the extent that the Order is based on a municipal ordinance or bylaw, and not on the Massachusetts Wetlands Protection Act or regulations, the Department has no appellate jurisdiction.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands
WPA Form 5 – Order of Conditions
Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:
216-0937

MassDEP File #

eDEP Transaction #

Medway

City/Town

G. Recording Information

Prior to commencement of work, this Order of Conditions must be recorded in the Registry of Deeds or the Land Court for the district in which the land is located, within the chain of title of the affected property. In the case of recorded land, the Final Order shall also be noted in the Registry's Grantor Index under the name of the owner of the land subject to the Order. In the case of registered land, this Order shall also be noted on the Land Court Certificate of Title of the owner of the land subject to the Order of Conditions. The recording information on this page shall be submitted to the Conservation Commission listed below.

Conservation Commission

Detach on dotted line, have stamped by the Registry of Deeds and submit to the Conservation Commission.

To:

Conservation Commission

Please be advised that the Order of Conditions for the Project at:

Project Location

MassDEP File Number

Has been recorded at the Registry of Deeds of:

County

Book

Page

for:

Property Owner

and has been noted in the chain of title of the affected property in:

Book

Page

In accordance with the Order of Conditions issued on:

Date

If recorded land, the instrument number identifying this transaction is:

Instrument Number

If registered land, the document number identifying this transaction is:

Document Number

Signature of Applicant



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands
Request for Departmental Action Fee
Transmittal Form

DEP File Number: _____

Provided by DEP _____

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

A. Request Information

1. Location of Project

a. Street Address _____

b. City/Town, Zip _____

c. Check number _____

d. Fee amount _____

2. Person or party making request (if appropriate, name the citizen group's representative):

Name _____

Mailing Address _____

City/Town _____

State _____

Zip Code _____

Phone Number _____

Fax Number (if applicable) _____

3. Applicant (as shown on Determination of Applicability (Form 2), Order of Resource Area Delineation (Form 4B), Order of Conditions (Form 5), Restoration Order of Conditions (Form 5A), or Notice of Non-Significance (Form 6)):

Name _____

Mailing Address _____

City/Town _____

State _____

Zip Code _____

Phone Number _____

Fax Number (if applicable) _____

4. DEP File Number: _____

Important:
When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



B. Instructions

1. When the Departmental action request is for (check one):

- ☐ Superseding Order of Conditions – Fee: \$120.00 (single family house projects) or \$245 (all other projects)
- ☐ Superseding Determination of Applicability – Fee: \$120
- ☐ Superseding Order of Resource Area Delineation – Fee: \$120



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands
Request for Departmental Action Fee
Transmittal Form

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

DEP File Number: _____

Provided by DEP

B. Instructions (cont.)

Send this form and check or money order, payable to the *Commonwealth of Massachusetts*, to:

Department of Environmental Protection
Box 4062
Boston, MA 02211

2. On a separate sheet attached to this form, state clearly and concisely the objections to the Determination or Order which is being appealed. To the extent that the Determination or Order is based on a municipal bylaw, and not on the Massachusetts Wetlands Protection Act or regulations, the Department has no appellate jurisdiction.
3. Send a **copy** of this form and a **copy** of the check or money order with the Request for a Superseding Determination or Order by certified mail or hand delivery to the appropriate DEP Regional Office (see <http://www.mass.gov/eea/agencies/massdep/about/contacts/>).
4. A copy of the request shall at the same time be sent by certified mail or hand delivery to the Conservation Commission and to the applicant, if he/she is not the appellant.

MEDWAY CONSERVATION COMMISSION
ORDER OF CONDITIONS – PART II
FINDINGS AND CONDITIONS UNDER THE MASSACHUSETTS WETLANDS PROTECTION
ACT AND THE MEDWAY GENERAL WETLANDS PROTECTION BYLAW (ARTICLE XXI)
PROJECT SITE: 21 Trotter Drive – RJ Marzilli
DEP # 216-0937
MEDWAY, MASSACHUSETTS
DATE OF ISSUANCE: September 30, 2019

Final Approved Plans and other documents:

- Approved site plan titled, “21 Trotter Drive A Site Plan in Medway, MA” by Engineering Design Consultants, Inc. dated August 28, 2019
- Remediation Plan titled, “Remediation Site Plan 20 Trotter Drive” by EDC Inc. dated July 25, 2019
- Fuel Dispensing Plan titled, “RJ Marzilli & Co. Inc. 21 Trotter Drive, Medway, MA” by WEB Engineering Associates, Inc dated August 16, 2019
- Stormwater Report titled, “Stormwater Calculations for 21 Trotter Drive at Site Re-Development” by EDC, Inc. dated August 28, 2019
- Document titled, “Operations and Maintenance Plan” within Stormwater Report titled, “Stormwater Calculations for 21 Trotter Drive at Site Re-Development” by EDC, Inc. dated August 28, 2019
- Document titled, “Long Term Owner Operations and Maintenance (Post-Construction)”, within Stormwater Report titled, “Stormwater Calculations for 21 Trotter Drive at Site Re-Development” by EDC, Inc. dated August 28, 2019

Background/ Site Description

The property of 21 Trotter Drive has been managed as a Landscaping and Masonry commercial business under the ownership of RJ Marzilli for many years is currently within the jurisdiction of the Conservation Commission because of an adjacent Bordering Vegetated Wetland.

Project Description

RJ Marzilli is proposing to begin expansion of their business through a 7,944 square foot addition to the existing commercial building. This expansion includes a number of upgrades from the existing site, stormwater management, protected fueling station, materials storage, resotation and protection of the 0-75' No Alteration Zone under the Medway General Bylaw Article XXI and its Regulations related to work within a Zone II.

Findings:

The Medway Conservation Commission makes the following findings relative to the Notice of Intent Application DEP File # 216-0937:

- a) The boundaries of Wetland Resource Areas considered in this Notice of Intent review were defined by a combination of methods:
 - Bordering Vegetated Wetlands were defined during the Notice of Intent Process;
- b) The Commission hereby finds that the work proposed for construction of a 7, 944 square foot addition of the existing commercial building, increased parking, fueling station, material storage areas, stormwater management system and other associated structures, were presented at a public hearing where the applicant has presented evidence sufficient to demonstrate that the proposed activity meets the provisions under 310 CMR 10.02 (2)(b) & (3), 310 CMR 10.02(5), 310 CMR 10.05(6)(k-o), and Medway General Bylaw Article XXI Regulations and the performance standards under Section 3.01, 3.02, 3.03, 3.04, Section 5, and Section 7.
- c) Applicant requested a waiver under Section 7 of the Rules and Regulations of the Town of Medway Conservation Commission, where the Commission agreed to grant waiver of the 0-75' No Alteration Zone within a Zone II, approximately 1938 square feet of new proposed alteration for stormwater management

structures, under the Medway General Bylaw Article XXI Section 21(b)2. The applicant has met the required performance standards under Section 21.2(b). The new permitted alteration is proposed for locations within previously degraded 0-75' buffer zone and the applicant has proposed to restore approximately 1,364 square feet of the 0-25' buffer zone as mitigation. There is an additional amount proposed restoration on the property of 20 Trotter Drive which shall only be authorized through an agreement with the property owner. The proposal for restoration is for 0-25' buffer zone restoration shall be approximately 3,423 square feet.

- d) It was noted that all conditions of this Order must be met in order to meet the above mentioned provisions. The Commission additionally finds that the work must be conditioned to protect all interests of the MA Wetlands Protection Act and the Medway General Wetlands Protection Bylaw.
- e) Additionally, the Medway Conservation Commission finds that the following conditions are necessary in order to protect the wetland resource for the duration of this proposed project. The Commission orders that all work shall be performed in accordance with said conditions and with the Notice of Intent referenced in the Special Conditions, section of this Order. To the extent that the following conditions modify or differ from the plans, specifications or other proposals submitted with the Notice of Intent, the conditions shall control.
- f) Following review of the above-referenced Notice of Intent and based on the information provided in this application and presented at the public hearing, this Commission finds that the area in which work is proposed is significant to the following interests of the Medway Wetlands By-Law:
 - 1. Public Water Supply
 - 2. Groundwater Supply
 - 3. Flood Control
 - 4. Storm Damage Prevention
 - 5. Prevention of Pollution
 - 6. Protection of Flora and Fauna and their Habitats
 - 7. Erosion Prevention

- f) Furthermore, the Medway Conservation Commission hereby finds that the proposed project is:

Approved, subject to the findings and conditions contained herein.

- A. The Medway Conservation Commission based its decision to approve the proposed project upon the information provided in the Notice of Intent referenced in the WPA Form 5 – Order of Conditions (“Part I”) issued concomitantly with this Part II OOC for the project, together with all of its contents and attachments, including the plans and documents identified in Part I, Sec. A, para. 8, the findings and conditions contained in this Part II, and the information presented and discussed at the public hearing.
- B. The Medway Conservation Commission further finds the following:
 - 1. Wetland Resource Areas and Boundaries: The site contains the following wetland resource areas protected by the Massachusetts Wetlands Protection Act and the Medway Wetlands By-Law:
 - i. 25'- 100' buffer zone of Bordering Vegetated Wetlands
 - ii. 0-25' No Disturb Setback and 0-75' No Alterations within Zone II (requested waiver for portions of project)
 - 2. Additional General Findings:
 - i. This Order protects the interests specified in the Wetlands Protection Act and the Medway Wetlands By-Law. The Wetland resource areas on the lot are identified on the Plan.
 - ii. The Commission accepts the resource areas as depicted on the above-referenced Plan and as described in the Notice of Intent Project Narrative.
 - 3. Wildlife Habitat: The Commission finds that the project area is currently not within an estimated habitat for state-listed rare wetland wildlife as depicted on the most recent Estimated Habitat

Map provided by the Natural Heritage and Endangered Species Program. The Commission further finds that the project is not within an Area of Critical Environmental Concern.

4. Stormwater Management: The Commission finds that the project is subject to the Department of Environmental Protection's Stormwater regulation and policy.

In addition to the General Conditions and Findings stated in Parts I, II, and III of the Order of Conditions for this project, the General and Special Conditions below are necessary to comply with the Medway Wetlands By-Law, Article XXI and the Medway Conservation Commission Regulations, the Medway Stormwater Bylaw Article XXVI as well as the Wetlands Protection Act and regulations.

I. General Conditions

1. A Conservation Commissioner, agent of the Commission or the Department of Environmental Protection reserves the right to enter and inspect the property at all reasonable times to evaluate compliance with this Order of Conditions, the Act, 310 CMR 10.00 and may acquire any information, measurements, photographs, observations, and/or materials, or may require the submittal of any data or information deemed necessary by the Commission for that evaluation. Further, work shall be halted on the site if a Commissioner, agent or DEP determines that any of the work is not in compliance with this Order of Conditions. Work shall not resume until the Commission is satisfied that the work will comply, and has so notified the applicant in writing.
2. This Order shall apply to any successor in control or successor in interest of the property described in the Notice of Intent and accompanying plans. These obligations shall be expressed in covenants in all deeds to succeeding owners of all or any part of or share (in fact) of the property.
3. The term "Applicant" as used in this Order of Conditions shall refer to the owner, any successor in interest, title or successor in control of the property referenced in the Notice of Intent, supporting documents and this Order of Conditions. The Commission shall be notified in writing within 30 days of all transfers of title of any portion of property that take place prior to issuance of the Certificate of Compliance.
4. No filling of Bordering Vegetated Wetland as defined in 310 CMR 10.55 is authorized by this Order.
5. It is the responsibility of the applicant to procure all other applicable federal, state and local permits and approvals associated with this project.
6. All waste products, refuse, debris, grubbed stumps, slash, excavate, construction materials, etc. associated with the proposed construction shall be contained and ultimately deposited at an appropriate off-site facility and shall not be incorporated in any manner into the project site. No mulch shall be placed in wetland resource areas. This does not pertain to the daily operations of the CM & D Garage.
7. The form provided at the end of this Order shall be completed and stamped at the appropriate Registry of Deeds, after the expiration of the 10-day appeal period and if no request for appeal has been filed with the Department of Environmental Protection. Any Order not recorded by the applicant before work commences may be recorded by the Commission at the applicant's expense.
8. With respect to all conditions, the Conservation Commission designates the Conservation Agent as its agent with full powers to act on its behalf in administering and enforcing this Order.
9. All work shall be conducted in accordance with the approved site plan titled, "Approved site plan titled, "21 Trotter Drive A Site Plan in Medway, MA" by Engineering Design Consultants, Inc. dated August 28, 2019 (hereafter referred to as the Approved Site Plan),, Remediation Plan titled, " Remediation Site Plan 20 Trotter Drive" by EDC Inc. dated July 25, 2019 (hereafter referred to as the Remediation Plan), Stormwater Report titled, , "Stormwater Calculations for 21 Trotter Drive at Site Re-Development" by EDC, Inc. dated August 28, 2019 (hereafter referred to as Stormwater Report), document titled, "Operations and Maintenance Plan" within Stormwater Report titled, "Stormwater Calculations for 21 Trotter Drive at Site Re-Development" by EDC, Inc. dated August 28, 2019 (hereafter referred to as the O&M Plan), and the document titled, "Long Term Owner Operations and Maintenance (Post-Construction)", within Stormwater Report titled, "Stormwater Calculations for 21 Trotter Drive at Site Re-Development" by EDC, Inc. dated August 28, 2019 (hereafter referred to as LTPPP), the document titled, "Emergency Response Procedures" included within the Peer Review Response Package, by EDC Inc., dated August 28, 2019 (hereby referred

to as the Emergency Spill Response Plan), and the conditions of this Order. Copies of applicable documents listed above shall be kept on site at all times while the site is under construction.

10. This document shall be included in all construction contracts, subcontracts, and specifications dealing with the work proposed and shall supersede any conflicting contract requirements. The applicant shall ensure that all contractors, subcontractors and other personnel performing the permitted work are fully aware of this Order's terms and conditions. Thereafter, the Applicant, the contractors, and subcontractors will be held jointly liable for any violation of this Order resulting from failure to comply with its conditions. The Applicant shall ensure that all contractors, subcontractors and other personnel performing the permitted work are fully aware of this OOC's terms and conditions. Nothing in this paragraph shall limit or restrict the liability of the Applicant for violations of this OOC.
11. If any changes are made in the approved plan(s) which may or will alter an area subject to protection under the Wetlands Protection Act or any change(s) in activity subject to regulations under G.L. Ch. 131 §40 or the Medway General Bylaw Article XXI, the applicant shall inquire from this Commission in writing, prior to their implementation in the field, whether the change(s) is significant enough to require the filing of a new Notice of Intent, or a Request To Amend this Order of Conditions. Any errors in the plans or information submitted by the applicant shall be considered changes and the above procedures shall be followed.
12. The Commission reserves the right to amend this Order of Conditions after a legally advertised public hearing if plans or circumstances are changed or if new conditions or information so warrant.
13. It is the responsibility of the applicant to procure all other applicable federal, state and local permits and approvals associated with this project.
14. Should issuance of additional permits result in a change in the project, the provisions of condition #12 apply, regarding the process for plan amendments.
15. All waste products, refuse, debris, construction materials, etc. shall be contained and then post-construction, deposited at an appropriate off-site facility.
16. There shall be no underground storage of fuel, oil, or hazardous substance on the property within the buffer zones or Wetland Resource Areas.
17. Removal and storage of hazardous substances, hazardous waste, or hazardous material if in an area subject to protection under Massachusetts Wetlands Protection Act:
 - a. Shall be conducted only when approved and directed by the Department of Environmental Protection, Environmental Protection Agency or other applicable state or federal agency under which removal or remedial activities are directed and shall be conducted in the manner specified in the Notice of Intent and appropriate agency directives.
 - b. All hazardous materials, hazardous substances, and hazardous waste produced, stored or removed must be handled, treated and disposed of in accordance with local, state and federal law regulating such materials and must be located outside of the buffer zone to wetland resource areas, unless specifically authorized by the Order of Conditions and appropriate state and federal licensing and permitting agencies.
 - c. No hazardous materials, substances, or wastes shall be introduced or discharged into or toward wetland resource areas.
 - d. No hazardous materials, substances, or wastes shall be introduced or discharged into the sanitary or sewage systems in such a manner which will result in an impact to wetland resource areas unless approved by the Conservation Commission, Board of Health, Massachusetts Department of Environmental Protection and/or the United States Environmental Protection Agency.
 - e. Identification of all types of hazardous materials, hazardous substances, or hazardous wastes used, produced, or stored on the site shall be submitted to the Conservation Commission in writing.
18. In the case of a conflict between a specific condition in this Order and a referenced document, the condition shall prevail.

19. Prior to any fill being brought onto the premises from any off property sources, the Medway Conservation Commission requires that Any soil, including loam, brought into the resource areas, buffer zones, or other jurisdictional area should be free of trash and deleterious material and free of any chemical contaminants in excess of Massachusetts Contingency Plan (MCP 310 CMR 40.0000) RCS-1 Reportable Concentrations. Soil should also be free of invasive species. While the MCP as a regulation at the State level may or may not apply to the project, soil characterization shall be completed in a manner consistent with this regulation. Prior to delivering to the project soil, material should be characterized by sampling the soil as outlined below and a certification shall be provided to the Conservation Commission or its agent. The certification shall include a letter signed by a Licensed Site Professional (see MCP) describing the Site history of the originating soil location and certifying sampling collection procedures, quality control, results, compliance with RCS-1 Standards, and compliance with the requirements of this condition. Soil containing concentrations of contaminants in Exemptions from reporting outlined in the MCP including but not limited to lead paint, emissions, arsenic, and ash, shall not be allowed in jurisdictional areas. Sampling and classification of soils shall also be consistent with MassDEP Policy # COMM-97-001.

Required soil testing is outlined below:

One soil sample shall be collected from material at each originating location or soil type. One soil sample shall be collected for every 500 cubic yards of soil.

- Volatile Organic Compounds (VOCs) by EPA Method 8260
- SemiVolatile Organic Compounds (SVOCs) by EPA 8270
- Polychlorinated Biphenyls (PCBs) by EPA Method 8082
- Total Petroleum Hydrocarbons (TPH) by EPA Method 8015 or 8100M.
- Substitute MassDEP VPH/EPH for TPH allowed
- pH
- Priority Pollutant 13 Metals (total) Sb, As, BA, Be, Cd, Cr, Pb, Ni, Se, Ag, Ti, V, Zn.
- Any other analyses determined by the Conservation Commission, MassDEP, or the LSP necessary to properly characterize the soil for relocation.

Exceptions:

Washed Stone Materials (The Commission may elect to require sampling of these materials if materials are suspect when inspected by the Commission or its Agent)

Alternative Sampling Plans;

The Commission may consider alternative sampling plans or soil materials at its sole discretion. Approval of the commission or its agent is required for alternate plans. These may include management of soils consistent with MassDEP WSC#-13-500, Similar Soils Provision Guidance. These may also include originating facilities that are known to the Commission based on previous certifications, historical operations, and sampling to produce soils below RCS-1.

20. The applicant shall supply all costs associated with services provided by a Consulting Engineer for the review and oversight related to, but not limited to, the following construction Services – Inspection of fueling station and all site work related to the construction of the stormwater management system by the Town's Consulting Engineer is required. The Consulting Engineer will document compliance with the OOC and report findings to the Commission. The Applicant shall pay a construction services/consultant peer review fee to the Town of Medway for such inspections. The amount shall be determined by the Medway Conservation Commission based on an estimate provided by the Town's Consulting Engineer based on the scope of the project. The Applicant shall provide supplemental payments to the Town of Medway for reasonable additional construction services upon invoice from the Medway Conservation Commission, until the road construction and stormwater drainage system and other utilities are completed and the as-built and a Certificate of Compliance has been granted determining the infrastructure to be satisfactory in compliance with this Order. Funds for such account shall be replenished upon notice from

the Conservation Commission and/or Agent. If funds are not replenished within fourteen (14) days of request all work within jurisdictional areas shall be suspended until such time when it is replenished.

II. Prior to Construction

21. Prior to commencement of work the applicant shall complete all remediation work as noted within the plan titled, Remediation Plan titled, "Remediation Site Plan 20 Trotter Drive" by EDC Inc. dated July 25, 2019, this work shall include all previous work required under the Enforcement Order issued by the Commission on April 25, 2008. This includes but is not limited to the removal of fill material adjacent to Wetland Flags # A37 through A48 as approved and reviewed by the Agent and/or the Commission, restoration of the 25' No Alteration Zone as noted on plan referenced within this condition. Once the fill materials are removed and plantings are established, the applicant shall erect permanent fencing as depicted on the plan referenced within this Order. The work shall be completed to the satisfaction of the Agent and/or the Commission prior to construction beginning on the addition.
22. Prior to the commencement of work the applicant shall complete all work as prescribed within the Enforcement Order issued by the Commission on April 25, 2008 and the above conditions #19. The Commission shall review and vote that the applicant has satisfied the requirements of the Enforcement Order prior to an issuance of a Certificate of Compliance.
23. Prior to the commencement of operations related to fueling, the applicant shall submit information to the Agent and/or Commissions showing that the proposed fueling operation meets the requirements for the Appendix Operation and Source Control BMP's Volume 2 in the Massachusetts Stormwater Management Handbook and the submit the final Spill Prevention, Control, and Countermeasure Plan for the fueling station.
24. Prior to the Pre-Construction Meeting and any work commencing on the site, a sign of minimum size two-feet by two-feet shall be displayed so as to be clearly visible from the street showing DEP file No. 216-937.
25. Emergency Contacts – The applicant shall provide to the Commission the identity and 24-hour contact information for one or more persons who will act as emergency contacts in the event of an environmental problem that occurs outside of normal working hours. The applicant shall be responsible for insuring that adequate, round-the-clock coverage including holidays, vacations, weekends, etc. is provided by an adequate number of persons so that a qualified person is always available, and that appropriate contact information has been provided to the Commission. The emergency contact person(s) shall have the authority to expend resources, including necessary manpower, materials, and required subcontracted services, to alleviate any environmental problems at the site in short order. The applicant shall be responsible for immediately notifying the Commission of any change in the identity or contact information for the Emergency Contact persons.
26. Prior to the Pre-Construction Meeting and commencement of any activity on this site, the approved erosion control and limit of work lines shall be staked, by survey. The location of erosion controls shall be adjusted, if necessary, during the pre-construction meeting.
27. No clearing of vegetation, including trees, or disturbance of soil shall occur prior to the Pre-Construction Meeting. Minimal disturbance of shrubs and herbaceous plants shall be allowed prior to the Pre-Construction Meeting if absolutely necessary in order to stake the approved erosion control and limit of work lines where required.
28. Prior to the commencement of any activity on this site other than the marking of locations for erosion controls and limits of work, there shall be a **PRE-CONSTRUCTION MEETING** between the project supervisor, the contractor responsible for the work, and a member of the Conservation Commission or its Agent to ensure that the requirements of the Order of Conditions are understood. The staked erosion control line shall be adjusted, if necessary, during the pre-construction meeting to comply with the approved plans. The applicant shall contact the Conservation Commission office at 508-533-3292 at least three (3) business days prior to any activity to arrange for the pre-construction meeting.
29. Prior to any work on site, the applicant shall submit to the Commission and/or its Agent for its review and approval a Stormwater Pollution Prevention Plan or (SWPPP).

30. Prior to any work on the site the applicant shall submit to the Commission and/or its Agent a filed NPDES Permit which may be in the form of a NPDES Multisector General Permit for the storage of fuel within a Zone II designating the site as a LUHPPL. Part of this requirement for the Multisector Permit is that the applicant shall submit a Spill, Prevention, Control and Countermeasure (SPCC) Plan. If the United States Environmental Protection Agency (US EPA) determines this application is not required then the applicant shall submit documentation showing this is not required by the US EPA.
31. Immediately after the Pre-Construction Meeting, all erosion controls and limits of work lines shall be installed along the approved and staked line. Erosion controls and limits of work lines shall be installed with minimal disturbance to vegetation. Where possible, erosion controls should go *around* trees, shrubs, and other vegetation, on the uphill side.
32. Immediately after installation of erosion controls, the Conservation Commission shall be contacted in order to conduct a follow-up inspection to ensure that erosion controls and limits of work lines have been properly installed. No work shall be conducted in any jurisdictional area of the site until the Commission or its Agent has inspected and approved of the installation of the erosion controls.
33. Prior to commencement of construction on site, the Bordering Vegetated Wetlands lines shall be flagged with surveyor's tape numbered to correspond to the wetland delineation on the approved plans and shall remain in place during construction.
34. The applicant shall notify the Conservation Commission in writing at least five (5) business days prior to commencement of construction activity on the site and shall advise the Commission of the name(s) and telephone number(s) of the person(s) responsible on site for compliance with this Order. The applicant shall be responsible for immediately notifying the Commission of any change in the identity or contact information for the on-site person responsible for compliance with the Order.
35. The applicant shall secure a qualified professional to act as a clerk of the works (the Commission shall review the Clerk of the Works resume for the qualifications) whose information shall be provided to the Commission. The Clerk of the Works will supervise the contractor and will inspect the site regularly whenever construction in or within 100 feet of a bordering vegetated wetland is in progress. The Clerk of the Works will provide inspection reports to the Commission every two weeks and after storm events over 0.5", and will respond to required inspected the next day or 24 hours whichever is sooner after storm events of over 0.5", so as to take responsibility for the proper functioning of drainage systems for the project. The applicant shall provide that person's phone number for the Commission. Failure to provide above reports may result in cessation of all work on site until the applicant can meet with the Conservation Commission at a regularly scheduled meeting to explain and rectify their absence.
36. Prior to commencing any work on the site, the applicant shall submit the following to the Conservation Commission:
 - A set of **photographs** depicting the project site in pre-construction condition.
 - A **project/construction-sequencing plan**
 - A **statement** signed by the applicant, owner of the property and all persons responsible for the construction of the project that such individuals understand the terms and conditions as specified in the Order and that such persons agree to comply with the provisions of the Wetlands Protection Act and this Order.

III. Erosion Control Inspection and Monitoring

37. It shall be the responsibility of the applicant and his successors to conduct monitoring, maintenance, and repair of erosion control measures, as well as to take any other additional measures necessary to control erosion from the site such that wetland impacts do not occur. The erosion control measures designated on the site plans and described in this Order of Conditions shall be considered a minimum standard for compliance. In addition, it shall be the responsibility of the applicant to take whatever measures are necessary to prevent any form of wetland impacts not approved within this Order. Additional requirements related to site monitoring and control are:
 - A. Erosion Control Inspector. The applicant shall designate and identify to the Commission a qualified Erosion Control Inspector. This person shall have appropriate credentials in the field of engineering or environmental science, and erosion and sedimentation control.

- B. Erosion control inspections. At least once every two weeks and within 24 hours of a rain event of > 0.5" inch within any 24 hour period, the designated Erosion Control Inspector shall conduct a thorough inspection of the site. At a minimum, each inspection shall include a visual inspection of all erosion control barriers, visual inspection of all temporary sediment traps and other erosion control measures, inspection of all stockpile areas, inspection of intermittent streams, the vernal pool wetland adjacent to the development, and the Main Building. Inspections shall include turbidity monitoring as described below.
- C. Precipitation Monitoring: The applicant shall obtain and maintain in good working order at the site a precipitation gauge. The applicant shall maintain a daily log of precipitation at the site, and make the log available for inspection.
- D. Inspection reports. Within one week of the completion of an inspection, the Erosion Control Inspector shall submit a report of findings to the Medway Conservation Commission. The contents of this report shall include, but are not limited to, the following:
- a. Summary of site status with respect to construction phases and erosion control measures.
 - b. Summary of erosion control measure maintenance and additions conducted during the period since the last inspection.
 - c. A list of any and all recommended measures for maintenance, repair, or improvement of erosion control measures.
 - d. The results in tabular form of turbidity monitoring.
 - e. Each inspection report shall contain the following certification signed by the Erosion Control Inspector:

"With only the following exception(s) noted herein, it is my professional opinion that:

 1. Work on the site is being conducted in compliance with the Order of Conditions and other regulatory requirements and approvals related to environmental protection.
 2. The erosion control barriers and other erosion control measures are functioning as intended, are being maintained adequately, and are in a condition to continue to function as intended.
 3. I observed no impacts of sedimentation, physical disturbance, or other alteration of wetland resource areas, including open water areas and vegetated wetlands, on the site.

IV. Staging Areas

34. Prior to construction the general contractor shall designate a **construction staging area**, located outside all resource areas and outside the 25' buffer zone. All construction trailers, portable sanitary facilities, material storage and overnight parking of equipment shall be in the staging area. The perimeter of the staging area shall be protected as necessary with silt fence and the ground surface shall be protected with washed stone or another suitable non-erosive material.
35. An **area for cleanup and or maintenance of construction equipment** shall be designated prior to construction.
- a. Applicant shall designate wash out areas which will be located over 25' from any wetland resource and surrounded by siltation controls or some other form of protection approved by the Commission
 - b. Any runoff resulting from the washing of trucks or construction equipment shall neither be directed to, nor dumped in, any on-site drainage system or in any area subject to protection under the Mass. Wetlands Protection Act. Any such washing shall occur in a designated area, protected by washed stone, outside of all resource areas. All construction vehicles exiting the property shall be cleaned of soil prior to traveling on public streets within the Town of Medway.
 - c. Any leakage or spillage of oil, hydraulic fluid, gasoline, or other pollutants must be cleaned up immediately and disposed of off the site. All fueling of equipment shall be performed outside of

wetland resource areas and buffer zones. The Commission shall be notified immediately in the event of any spillage.

36. Prior to commencing any work on the site the applicant shall install a stone construction entrance (**tracking pad**) not less than 20' wide and not less than 30' in length of a stone size, on the average of 1" to 4".
37. All **construction equipment** employed in the resource areas or buffer zones thereto shall be **properly maintained** and precautions shall be taken to prevent any leakage or spillage of oil, gasoline, hydraulic fluids, etc. If this is not recommended based on the site conditions, it shall be agreed to remove this requirement by the Agent and/or the Commission and the Project Supervisor.
38. **No fuel, oil, or other pollutants shall be stored** in any resource area or the buffer zone thereto, unless specified in this Order of Conditions.

V. Stormwater Management

39. During construction all stormwater management systems shall be inspected after a 0.5" rain fall and bi-monthly during construction. Structures shall be maintain and cleaned as prescribed within the O &M Plan and the LTPPP.
40. All construction and post-construction stormwater management shall be conducted in accordance with the plans and specifications approved by the Commission in this Order of Conditions, including final plans, Operation and Maintenance Plan, LTPPP, NPDES SWPPP, and the Department of Environmental Protection Stormwater Management Standards.
41. All Stormwater best management practices shall be maintained and inspected as specified in the Operation and Maintenance Plan submitted with the Notice of Intent and incorporated in the Order of Conditions.
42. During construction, all drainage structures shall be inspected on the same schedule as the erosion controls and cleaned as necessary.
43. The Conservation Commission shall be notified in writing, when any maintenance functions that may impact the wetlands, such as, but not limited to, replacing backfill and repairing drains and terraces, are to be performed.
44. Prior to construction the applicant shall construct temporary stomrwater management basin as prescribed by the Stormwater Pollution Prevention Plan.
45. All Stormwater best management practices shall be maintained as specified in the Operation and Maintenance Plan submitted with the Notice of Intent and incorporated in the Order of Conditions. Evidence of maintenance of the Stormwater Management system shall be provided to the Commission on a semi-annual basis during construction.
46. The Conservation Commission shall be notified in writing, when any maintenance functions that may impact the wetlands, such as, but not limited to, replacing backfill and repairing drains and terraces, are to be performed.
47. The applicants, owners, and their successors and assignees shall maintain all culverts, collection basins, traps, retention and detention ponds, outlet structures, and other elements of drainage systems, in order to avoid blockages and siltation which might cause failure of the system and/or detrimental impacts to on-site or off-site resource areas, and shall maintain the integrity of vegetative cover on the site.
48. The applicant shall install the CDS Water Quality Unit where designed on the approved site plans. The CDS Water Quality Unit shall be the CDS2025-6-C, as per detail sheet titled, "CDS2050-6-C Inline CDS Standard Detail" by Contech Engineered Solutions.
49. Beginning with the construction of the drainage system, and continuing in perpetuity thereafter, the owner(s) of the roadway shall maintain the roadway and drainage system in accordance with the following schedule:
 - a. **Road and Parking Lot sweeping and snow plowing** – Roadway and sidewalks shall be swept, preferably with a vacuum sweeper, in the early spring immediately after snow melt.
 - b. **Catch basins** - Accumulated sediments shall be removed from sumps and floatable wastes shall be removed from the surface of every catch basin at least two times per year. Sediments and wastes shall

be disposed of in accordance with all applicable federal, state, and local laws. Any component of a catch basin that becomes damaged shall be repaired or replaced immediately upon discovery.

- c. **Outlet control structure and spillway** – The outlet structures for the detention basin shall be inspected at least twice annually for evidence of clogging, scouring, slumping, erosion or other problems and shall be cleaned and repaired as needed to maintain proper functioning. The outlet shall also be inspected at least annually during a heavy rain storm to detect any problems in function. Any problems shall be corrected.
- d. **Water Quality Unit (CDS or other approved unit)** – Operations and maintenance of the proprietary separator shall be done per the manufacturer's guidelines. Sediments shall be removed when it reached approximately 15% of the unit storage and all units shall be vacuumed for oils, fuel or other hydrocarbons that float on top of the water if there is a spill or other incident that would require the removal of the hydrocarbons. Water Quality units shall be inspected quarterly for sediments and oils, where they shall be removed as necessary. All unit shall be cleaned annually.
- e. **Infiltration System** – until the site is stabilized the system shall be inspected after every significant storm (> 0.5 inches). Once the site is stable inspections may be perform at a minimum twice annually. Infiltration basin shall be inspected and cleaned at least two times annually and inspected quarterly, beginning in the early spring after snow melt. Accumulated sediments, leaves, branches, and other debris shall be removed and disposed of in accordance with all applicable federal, state, and local laws. Vegetation shall be mowed at least twice a year to prevent the growth of woody species or when grasses and herbaceous vegetation has grown taller than 6", slope vegetation shall be maintained between 3"-6". Sediment shall be removed when 6" or greater. Water level shall be measured and corrective action taken if water does not drain in 72 hours following a storm. Infiltration chambers and feed connectors to be cleaned of debris every 9 years.

All maintenance of stormwater management units shall be conducted as prescribed under O&M Plan and Long Term Pollution Prevention Plan. The Conservation Commission members and the Commission Agent shall have the right to enter the roadway parcel and drainage easement area to inspect for compliance with all sub conditions of this condition.

- 50. Catch basins shall be equipped with sumps, oil and gas traps, and shall be inspected and cleaned as outlined in the stormwater operation and maintenance plan submitted with the NOI. After each inspection and cleaning, the inspector shall provide to the Commission written confirmation that the inspection and cleaning were conducted.
- 51. All stormwater BMP's maintenance logs as prescribed under the Appendix F- Operations and Maintenance Plan shall be kept on site and shall be provided to the Conservation Commission upon request and annually or Planning Board upon request, this includes but is not limited to street sweeping logs and receipts.
- 52. All Stormwater best management practices shall be maintained as specified in the O & M Plan and the LTPPP submitted with the Notice of Intent and incorporated in the Order of Conditions. Evidence of maintenance of the Stormwater Management system shall be provided to the Commission on an annual basis post construction, but Stormwater BMP's shall be checked and cleaned according to the schedule prescribed within the O & M Plan. This condition shall be noted on the Certificate of Compliance and shall continue in perpetuity.
- 53. Deep Sump Catch Basins shall be inspected after a 0.5" storm event and on a weekly basis during construction. Post- Construction: the catch basins shall be inspected and cleaned on a quarterly basis. Post-construction all inspection and cleaning dates shall be provide to the Commission written confirmation that the inspections and cleanings were conducted, this shall be provided annually. This condition shall be noted on the Certificate of Compliance and shall continue in perpetuity.
- 54. Infiltration Basin after 0.5" storm event and on a weekly basis during construction. Post-Construction then twice annually in the spring and fall. The amount of hours its takes for water to infiltration after a storm should be monitored and recorded. Any water remaining over 72 hours suggests there is a clog in the system. Sediment shall be removed as needed. This condition shall be noted on the Certificate of Compliance and shall continue in perpetuity.

55. Water Quality Units shall be inspected after 0.5" storm event and on a weekly basis during construction. Post -Construction shall be inspected once per year, cleaned as needed and reported in writing annually. This condition shall be noted on the Certificate of Compliance and shall continue in perpetuity.
56. During construction, all drainage structures shall be inspected regularly and cleaned as necessary as prescribed under the O & M and the LTPPP.
57. There shall be no sedimentation into wetlands or water bodies from discharge pipes or surface runoff leaving the site.
58. The Conservation Commission shall be notified in writing, when any maintenance functions that may impact the wetlands, such as, but not limited to, replacing backfill and repairing drains and terraces, are to be performed.
59. The applicant and its successors, upon the completion of the entire project, prior to submitting a Request for Certificate of Compliance shall provide to the Commission and/or its Agent receipts of all inspections to the stormwater management system as prescribed under the Operations and Maintenance Plan and the Long Term Pollution Prevention Plan. These receipts shall refer to but are not limited to, catch basin cleaning, vegetation management (removal or mowing of swales, infiltration basins or other structures requiring mowing), and inspection and cleaning of proprietary separator.

VI. During Construction

63. The applicant shall not place stockpiles closer than 25' to any wetland resource and all stockpiles shall be within the limit of work approve by the Commission.
64. The applicant shall not construct the proposed addition or the fueling station (or other structures) with any untreated metal roofing. All existing metal roofs shall be pretreated and the existing roof shall be painted with the protective coating to ensure there is no metal roof exposure to storm run-off within a Zone II. The applicant shall comply with the MA Stormwater Management Standards for metal roofing within a Zone II. Applicant shall provide evidence or information to the Commission at the time of construction or prior to the issuance a Certificate of Compliance that all roofs were treated and/or roof were constructed with treated metal.
65. The applicant shall install the proposed fueling station as designed on the plans titled, "R.P. Marzilli & Co.Inc. 21 Trotter Drive, Medway, MA" by Web Engineering Associates, Inc. dated August 16, 2019 and shall meet the requirements of design as specified within the letter from Web Engineering Associate's, Inc, titled, "Conservation Commission Letter Vehicle Refueling Facility" dated September 12, 2019. If applicant amends this proposed plan in any way, the Commission and the Agent shall be notified prior to implementing the changes.
66. If unforeseen problems occur during construction which may affect the statutory interests of the Wetlands Protection Act, upon discovery by either the Conservation Commission, its agent, or the applicant, the Commission shall immediately be notified, and an immediate meeting shall be held between the Commission or its agent, the applicant, and other concerned parties to determine the correct measures to be employed. The applicant shall then act to correct the problems using the corrective measures agreed upon. Subsequent to resolution, the activity and resulting actions shall be documented in writing.
67. All equipment shall be operated, parked, and maintained so as to limit impacts to resource area and buffer zone to those areas clearly identified on the plans and demarcated in the field by the flagging and construction barriers installed. No equipment is to enter or cross wetland resource areas at any time unless the location of disturbance is marked on the plans referenced in this Order and flagged in the field.
68. During construction, Town personnel shall exercise extreme care when onsite fueling is underway during construction or storms. Spill kits as required herein shall be maintained at the fueling system during all stages of construction. Any spill of fuel shall be immediately reported to the Medway Fire Department, Police Department and Conservation Commission.
69. All existing and proposed catch basins and water quality inlets on the site or within the parcel that receive runoff from or contributes runoff to the project site shall be cleaned of sediment prior to commencement of work and be protected by Silt Sacks or equivalent to prevent sediment from entering the drainage system. Silt Sacks and sumps shall be maintained and regularly cleaned of sediments until all areas associated with the work permitted by this Order have been permanently stabilized and the Commission and/or its Agent has formally approved their removal.

70. All equipment shall be inspected regularly for leaks. Any leaking hydraulic or other fluid lines, cylinders, containers of any kind, or any other components shall be repaired immediately.
71. A copy of this Order of Conditions, construction plans, and copies of the documents and reports cited in this Order shall be on the site upon commencement and during any site work for contractors to view and adhere to.
72. All equipment shall be operated, parked, and maintained so as to limit alterations of wetlands and buffer zone to those areas clearly identified on the plans and demarcated in the field by the flagging and construction barriers installed. No equipment is to enter or cross wetland resource areas at any time unless the location of disturbance is marked on the plans referenced in this Order and flagged in the field.

Erosion Control:

73. Appropriate erosion control devices shall be in place prior to the beginning of any phases of construction, and shall be maintained during construction in the wetland areas and buffer zone. The erosion control specifications provided in the Notice of Intent and the erosion control provision in the Order will be the minimum standards for this project; additional measures may be required by the Commission. These will be maintained until the Erosion Control Inspector and a member or agent of the Conservation Commission agree that they are no longer needed, at which time they will be removed, using removal procedures that the Commission finds satisfactory. All sedimentation barriers shall be maintained in good repair until all disturbed areas have been fully stabilized with vegetation or other means. At no time shall sediments be deposited in a wetland or water body. During construction, the applicant or his designee shall inspect the erosion controls on a daily basis and shall remove all sediment when accumulated to a depth of two inches or greater. The applicant shall immediately control all erosion on the site, and shall immediately notify the Commission of any breaches of the erosion control barriers by sediment or silt-laden water.
74. Placement of erosion controls shall be directed at the site by the Erosion Control Inspector in order to ensure that no sedimentation will reach wetland resource areas and the erosion and sedimentation controls achieve the specifications specified as part of the Notice of Intent and these Orders of Conditions. Choice of suitable silt fence materials should be based on the design specifications listed by various manufacturers, and in accordance with the approved Site Plans and Details.
75. Dewatering activities shall be conducted in accordance with best management practices and with a plan to be submitted for Commission approval prior to any activity on the site. Dewatering activities shall be monitored daily to ensure that sediment laden water is not discharged toward the wetland resource areas. With the exception of dewatering effluent discharged into a detention basin, no discharge of water is allowed directly or indirectly into an area subject to jurisdiction of the Wetlands Protection Act. If emergency dewatering requirements arise, the applicant shall submit a contingency plan to the Commission for approval, which provides for the pumped water to be contained in a settling basin, to adequately reduce turbidity prior to discharge into a resource area. Additional monitoring requirements may be imposed on any such discharge approved, to ensure adequacy of the sediment removal measures.
76. An adequate stockpile of erosion control materials shall be on site at all times for emergency or routine replacement and shall include materials to repair or replace silt fences, hay bales, erosion control blankets, stone riprap, filter berms or any other devices planned for use during construction.
77. The Commission reserves the right to impose additional conditions on portions of this project to mitigate any impacts which could result from site erosion, or any noticeable degradation of surface water quality discharging from the site. For example, installation of erosion control measures may be required in areas not shown on the plan(s) referenced in this Order of Conditions. Should such installation be required by the Commission, they shall be installed within 48 hours of the Commission's request.
78. Within thirty days of completion of construction on any given portion of the project, all disturbed areas in the completed portion of the site shall be permanently stabilized with rapidly growing vegetative cover, using sufficient top soil, or the proposed surface treatments as indicated on the approved plans to assure long-term stabilization of disturbed areas. Where necessary, the loam and seeding shall be held in place with jute netting. Outside of the growing season, exposed soil finish grade surfaces shall be stabilized with a layer of mulch hay until climate conditions allow for seeding. During construction, any area of exposed soils that will be left idle for more than 30 days shall be stabilized with a layer of mulch hay or other means approved by the Conservation Commission. Temporary stabilization methods may include, but not be limited to, hydro-seeding, straw mats, jute netting, sod, or other Commission approved method. A minimum of four to six inches of organic top soil, and a USDA Natural Resource Conservation Service-

approved seed mixture should be used in accordance with the measures outlined in "Vegetative Practices in Site Development: Massachusetts Conservation Guide, Volume II", or other stabilization method the Commission deems acceptable. Continued maintenance of this area in a manner which assures permanent stabilization and precludes any soil erosion shall be the responsibility of the applicant.

79. Subsequent to seeding, disturbed areas will be covered with a hay mulch, erosion control blanket or netting or other suitable material in order to provide an adequate surface protection until seed germination. Preference should be given to erosion control netting with biodegradable stitching.
80. All existing and proposed catch basins and oil traps on the site that receive runoff from the project site and/or within Medway shall be protected by Silt Sacks or equivalent to prevent sediment from entering the drainage system. Silt Sacks shall be maintained and regularly cleaned of sediments until all areas associated with the work permitted by this Order have been permanently stabilized and the Commission and/or its Agent has formally approved their removal.
81. Cement trucks shall not be washed out in any wetland resource or buffer zone area, or into any drainage system. Any such deposit of cement or concrete products into a buffer zone or wetland resource area shall be immediately removed.
82. All stockpiles of soils existing for more than seven day shall be surrounded by a row of staked straw bales or 8"-12" compost socks, or entrenched silt fence, and shall be covered when requested by Agent and/or the Commission or if current conditions for precipitation warrant which may be determined by the Project Supervisor or Clerk of the Works.
83. Erosion control devices shall remain in place and properly functioning until all exposed soils have been stabilized with final vegetative cover and the Conservation Commission and/or its Agent has authorized their removal.

Grading/Landscaping/Slope:

84. Landscaping shall not include exotic invasive species identified on the most current listing of the Massachusetts Division of Fisheries and Wildlife.

Placement of Riprap and Stone:

85. Riprap material shall be clean and free of trash, tree stumps, roots, and other deleterious material.

VII. Wetland Resource and Buffer Zone Restoration

86. The applicant shall complete all proposed buffer zone restoration as depicted on the plans titled, "Remediation Site Plan 20 Trotter Drive" by EDC Inc. dated July 25, 2019. The applicant shall only do so under the written permission of Merrimack Building Supply, as noted within the License Agreement dated September 12, 2019 between Mr. Marzilli and Mr. Donegan. The applicant shall not place materials within the 0-25' No Alteration Zone without written authorization of the Conservation Commission. This condition shall remain in perpetuity.
87. Once fill is removed from the wetlands resource from WF #37 through WF #47. Wetland Scientist shall be present during fill removal to determine the extent of the fill, prevent further damage and manage restoration of these areas as prescribed in this Order and the plan titled, "Remediation Site Plan 20 Trotter Drive" by EDC Inc. dated July 25, 2019.
88. Wetlands Resource where fill was removed shall be seeded with a native wet mix or equivalent to be approved by the Agent and/or the Commission prior to application.
89. The wetland resource and associated buffer zone are only approved for temporary disturbance in order to remove fill and plant vegetation by hand for the proposed mitigation area. It is not approved for any other use under this Order.
90. All materials and fill removed from jurisdictional areas will be removed from the site and disposed of at proper disposal sites or stored outside the Commission's jurisdiction.
91. Restoration of portions of the 0- 25' buffer zone shall be completed with the planting of native species not cultivar type species. All plantings shall be native and prior to planting a list shall be submitted to the

Commission and/or the Agent for approval.

92. The native trees shall be planted 10'-13' on center and shrubs shall be planted 6' – 10' on center and shall be planted as depicted on the approved site plan.
93. A **weeding program** must be implemented to maintain the restoration areas. The goal of this program is keep these areas free of weedy and invasive species. Species to be removed by hand shall include all species identified on the Invasive Species List distributed by the Massachusetts Division of Fisheries and Wildlife. In addition, cat-tails shall be considered an invasive species. The weeding program shall begin within one month of restoration installation and continue at a minimum of twice per growing season until a Certificate of Compliance is issued for the project.

VIII. After Construction / In Perpetuity

94. Immediately following the completion and prior to the use of the new fueling station, the applicant shall provide to the Commission and/or the Agent proof of insurance, specifically the insurance certificate which shall provide the appropriate coverage for spills resulting from the storage and use of fuel on the site of 21 Trotter Drive. This documentation shall be supplied annually to the Commission no later than December 1st of every year. ***This condition shall remain in perpetuity.***
95. The applicant and its successors shall submit annual reports of inspections of all stormwater management structures as prescribed in Long Term Pollution Prevention Plan, the status of any fuel or other documented spills, existing hazardous materials on site to date, oil and grease separators, water quality unit, and training on the fueling station which will include a list of trained staff responsible for fueling procedures, and status of the 0-25' buffer zone restoration areas to the Conservation Commission. These report shall also consist of pictures documenting the continued protection of the buffer zone, wetland and fueling station. Annual report shall be submitted to the Commission no later than December 1st of every year. In addition, to the reporting the applicant shall allow the Agent and/or the Commission semi-annually to perform an inspection of the property to ensure the Commission with perpetual conditions. The inspection shall be performed within 3 days' notice to the property owner and confirmation from the owner that the notification was received. ***This condition shall remain in perpetuity.***
96. The applicant and its successors shall supply a list of all personnel trained, to use fueling station, deploy spill prevention measures, including the shutdown of the stormwater system to contain any spills. This list shall be supplied to the Commission annually, no later than December 1st of every year. ***This condition shall remain in perpetuity.***
97. If the property is sold to a successor, the successor shall be provided with all information regarding conditions in perpetuity and shall contact the Conservation Commission within 30 days of the sale to discuss the operations with regards to fueling and wetland resource protection. ***This condition shall remain in perpetuity.***
98. Snow storage areas shall be clearly marked on site and all snow removal operators shall be made aware of approved locations on site for storage. Excess snow shall be removed from the site and disposed of in accordance with applicable regulations. ***This condition shall apply in perpetuity.***
99. The fuel station shall be equipped with signage noting, "No topping off". ***This condition shall apply in perpetuity.***
100. Upon completion of construction and final soil stabilization, the applicant shall submit the following to the Conservation Commission to request a Certificate of Compliance (COC):
 - (1) A Completed Request for a Certificate of Compliance form (WPA Form 8A)
 - (2) A letter from a Registered Professional Engineer certifying compliance of the property with this Order of Conditions, and detailing any deviations that exist, and their potential effect on the project. A statement that the work is in "substantial compliance" with no detailing of the deviations shall not be accepted.
 - (3) An "As-Built" plan or plans signed and stamped by a Registered Professional Engineer or Land Surveyor showing post-construction conditions within all areas under the jurisdiction of the Massachusetts Wetlands Protection Act. This plan shall include at a minimum:

- (a) All wetland resource area boundaries with associated buffer zones and regulatory setback areas taken from the plans approved in this Order of Conditions;
 - (b) Locations and elevations of all stormwater management conveyances, structures and best management designs, including foundation drains, constructed under this Order within any wetland resource area or buffer zone;
 - (c) Distances from any structures constructed under this Order to wetland resource areas - "structures" include, but are not limited to, all buildings, septic system components, wells, utility lines, fences, retaining walls, and roads/driveways;
 - (d) A line delineating the actual limit of work - "work" includes any filling, excavating and/or disturbance of soils or vegetation, whether or not approved under this Order;
 - (e) The limit of work approved under this Order.
- (4) Post-construction photographs demonstrating compliance with this Order, including established vegetation where required.
- 101.If the completed work differs from that in the original plans and/or conditions listed in this Order, a report must be submitted to the Commission thirty (30) days prior to completion specifying how the work differs, at which time the applicant shall first request a modification to the Order. Upon review, and if approved by the Commission, the applicant may request in writing a Certificate of Compliance as described above.
- 102.No herbicides, pesticides or fertilizers shall be used on this site. Only organic slow release granular, low phosphate fertilizers shall be used on lawns within the buffer zone and all lawns within the entire site. ***This condition shall remain in perpetuity.***
- 103.An annual training program for use of the catch basin grate inlet protection devices, drainage system drain plug, fueling station operations and spill kit will be implemented by the property owner.
- 104.Concrete blocks "deadmen" for the storage bins shall be set 6" below grade. The height of the blocks around the storage bins will be a minimum of 5'6" above grade and a maximum of 11'6" above grade.
- 105.Any bulk material storage bins shall be kept in a neat and orderly manner and material shall not be mounded too high and create spillage over the back. Any disturbance occurring behind the storage bin shall be cleaned and removed promptly and the Commission shall be so notified. Any area disturbed shall be restabilized and reseeded. ***This condition shall remain in perpetuity.***
- 106.There shall be no snow storage or dumping of excess snow within 100' of Bordering vegetated Wetlands unless within parking or storage areas. Snow shall not be pushed into forested buffer zones. ***This condition shall remain in perpetuity.***

Perpetual Conditions:

- 107.Dumping Prohibited: There shall be no burning or dumping of leaves, grass clippings, brush, or other debris in or into the 100' Buffer Zone, Bordering Vegetated Wetland, or any component of the Stormwater Management System.
- 108.Additional Alteration Prohibited: There shall be no additional alterations of areas under Conservation Commission jurisdiction without the required review and permit(s) under state and local wetlands protection laws and regulations.
- 109.Fueling of vehicles shall only take place within designated fueling locations on site, as noted within the Fuel Dispensing Plan titled, "R.P. Marzilli & Co. Inc. 21 Trotter Drive, Medway, MA" by Web Engineering Associates, Inc dated August 16, 2019. In the event that there is a spill, trained personnel shall deploy 18" drain plug at the headwall for the infiltration basin. The water quality unit shall then be shall be pumped free of all hydrocarbons or other contaminants with 24 hours of spill.
- 110.The maintenance or repair of infiltration basins, supporting drainage systems, stormwater management best management practices, other than those in the public way shall be the responsibility of the applicant/property owner and its successors. The design capacity, storm water management treatment capacity and structural integrity of these facilities must be maintained.
- 111.Stabilized slopes shall be maintained as designed and constructed by the property owner of record, whether "bio-engineered" or mechanically-stabilized slopes.

112. The Applicant shall have the O & M Plan and the LTPPP, and Conditions in Perpetuity after this Order has received a Certificate of Compliance, made part of the all contracts for maintenance work that effects jurisdictional areas.
113. Snow storage shall be done according to the LTPPP (in perpetuity) and the SWPPP (during construction). Snow storage areas shall be clearly marked on site and all snow removal operator shall be made aware of approved locations on site for storage.
114. All deicing chemical must be stored in a cover location, outside the 100' buffer zone, the wetland resource area and all areas where stormwater BMP's are located.

STORMWATER BYLAW PERMIT - PART III
FINDINGS AND CONDITIONS UNDER THE MEDWAY STORMWATER PROTECTION
BYLAW (ARTICLE XXVI)
DATE OF ISSUANCE:

The Medway Conservation Commission makes the following findings relative to the Land Disturbance Permit Application LD-20-01:

- a) The Commission hereby finds that the work proposed for construction of an addition approximately 7,

944 square feet with associated parkings, fueling station, materials storage and stormwater was presented at a public hearing where the applicant has presented evidence sufficient to demonstrate that the proposed activity meets the provisions under Medway General Bylaw Article XXVI.

- b) It was noted that all conditions of this Order must be met in order to meet the above mentioned provisions. The Commission additionally finds that the work must be conditioned to ensure that all the performances standards of the Medway General Stormwater Bylaw Article XXVI are met.
1. A Conservation Commissioner, agent of the Commission reserves the right to enter and inspect the property at all reasonable times to evaluate compliance with this Order of Conditions, the Medway Stormwater Bylaw Article XXVI and may acquire any information, measurements, photographs, observations, and/or materials, or may require the submittal of any data or information deemed necessary by the Commission for that evaluation. Further, work shall be halted on the site if a Commissioner, agent determines that any of the work is not in compliance with this Order of Conditions. Work shall not resume until the Commission is satisfied that the work will comply, and has so notified the applicant in writing.
 2. The term "Applicant" as used in this Order of Conditions shall refer to the owner, any successor in interest, title or successor in control of the property referenced in the Notice of Intent, supporting documents and this Order of Conditions. The Commission shall be notified in writing within 30 days of all transfers of title of any portion of property that take place prior to issuance of the Certificate of Compliance.
 3. It is the responsibility of the applicant to procure all other applicable federal, state and local permits and approvals associated with this project.
 4. With respect to all conditions, the Conservation Commission designates the Conservation Agent as its agent with full powers to act on its behalf in administering and enforcing this Order.
 5. All work shall be conducted in accordance with the approved site plan titled, "Approved site plan titled, "21 Trotter Drive A Site Plan in Medway, MA" by Engineering Design Consultants, Inc. dated August 28, 2019 (hereafter referred to as the Approved Site Plan),, Remediation Plan titled, " Remediation Site Plan 20 Trotter Drive" by EDC Inc. dated July 25, 2019 (hereafter referred to as the Remediation Plan), Stormwater Report titled, , "Stormwater Calculations for 21 Trotter Drive at Site Re-Development" by EDC, Inc. dated August 28, 2019 (hereafter referred to as Stormwater Report), document titled, "Operations and Maintenance Plan" within Stormwater Report titled, "Stormwater Calculations for 21 Trotter Drive at Site Re-Development" by EDC, Inc. dated August 28, 2019 (hereafter referred to as the O&M Plan), and the document titled, "Long Term Owner Operations and Maintenance (Post-Construction)", within Stormwater Report titled, "Stormwater Calculations for 21 Trotter Drive at Site Re-Development" by EDC, Inc. dated August 28, 2019 (hereafter referred to as LTPPP), the conditions of this Order. Copies of applicable documents listed above shall be kept on site at all times while the site is under construction. This document shall be included in all construction contracts, subcontracts, and specifications dealing with the work proposed and shall supersede any conflicting contract requirements. The applicant shall ensure that all contractors, subcontractors and other personnel performing the permitted work are fully aware of this Order's terms and conditions. Thereafter, the Applicant, the contractors, and subcontractors will be held jointly liable for any violation of this Order resulting from failure to comply with its conditions. The Applicant shall ensure that all contractors, subcontractors and other personnel performing the permitted work are fully aware of this OOC's terms and conditions. Nothing in this paragraph shall limit or restrict the liability of the Applicant for violations of this OOC.
 6. The Applicant shall submit a final As-Built Plan with a letter from the Engineering stating that all work was completed in conformance with the approved plans, this permit and the Medway Stormwater Bylaw Article XXVI.

PLANNING AND ECONOMIC DEVELOPMENT BOARD MEDWAY, MASSACHUSETTS

21 TROTTER DRIVE, LLC'S SUPPLEMENTAL MEMORANDUM IN SUPPORT OF SPECIAL PERMIT 21 TROTTER DRIVE, MEDWAY, MASSACHUSETTS

INTRODUCTION

The Applicant 21 Trotter Drive, LLC ("Applicant") submits this Supplemental Memorandum in support of its Application for Special Permit (the "Application") under Section 5.6.3 of the Medway Zoning Bylaw (the "Bylaw") to allow the construction of an addition (the "Addition") to an existing structure located at 21 Trotter Drive, Medway, Massachusetts (the "Property") and an alteration and modernization of an existing diesel storage and dispensing system (the "Diesel System"), which historically was not, but now is in a groundwater protection district. This Supplemental Memorandum specifically addresses why the Applicant's existing use of the Property is among those for which this Board may in its discretion grant a Special Permit under the Bylaw.

DISCUSSION

A. It is within the discretionary authority of the Board to allow the expansion of uses within a Groundwater Protection District that do not conform to the Bylaw

The drafters of Section 5.6.3 of the Medway Zoning Bylaw understood one very important fact – not all existing uses in the Town's designated groundwater protection districts would fall within the list of permitted uses. Since its enactment of the Bylaw, the Town has not attempted bring an end to those existing uses that do not conform because the Bylaw does not expressly or implicitly authorize such action by the Town. To the contrary, the drafters made it very clear that "this overlay district shall apply to all new construction, reconstruction or expansion of existing buildings and new or expanded uses." (*Bylaw, § 5.6.3(B).*) In fact, the drafters were very careful to use language that not only contemplated the continuation of existing uses that did not conform with the Bylaw, but also to provide the permit granting authority the discretion to allow the enlargement and alteration of those uses. Specifically, Section 5.6.3(E)(3) provides as follows:

Uses and Activities Requiring a Special Permit. The following uses and activities are permitted only upon the issuance of a special permit by the Board of Appeals under such conditions as the board may require.

a. Enlargement or alteration of *existing uses that do not conform* to the Groundwater Protection District[.] (*Emphasis added.*)

There is no doubt that the permit granting authority has within its discretion the right to authorize the expansion of uses that do not conform. When determining the meaning of a bylaw, this Board (and our courts) must utilize “ordinary principles of statutory construction.”

Framingham Clinic, Inc. v. Zoning Bd. of Appeals of Framingham, 382 Mass. 283, 290 (1981).

When the meaning of the language is plain and unambiguous, the bylaw should be enforced according to its plain wording “unless a literal construction would yield an absurd or unworkable result.” *Shirley Wayside Ltd. P'ship v. Bd. of Appeals of Shirley*, 461 Mass. 469, 477 (2012).

(*Citations omitted.*) Here, the language of the Bylaw is clear and unambiguous and not subject to interpretation. It expressly authorizes continued uses within groundwater protection districts that do not conform to permitted uses. Also, the Bylaw expressly authorizes this Board to exercise its discretion to allow an enlargement or alteration of those existing uses.

B. The Applicant has an existing use that may at the discretion of the Board be expanded under the Bylaw by Special Permit

In order to establish its right to be before this Board, the Applicant must show that it has an existing use - i.e. one that predates the Bylaw. Here, there is no dispute that the Bylaw became effective in 2004, after the Applicant was granted a Special Permit and Variance on August 13, 1998 to operate the same landscaping business that it continues to operate today and after its Diesel System had been installed. Applicant has searched its records but has been unable to find the permit that it received for the original installation of its Diesel System. That such a permit was granted is confirmed by Northeastern Petroleum Service & Supply, Inc. (“NE Petroleum”), who writes in a letter dated September 26, 2019 (the “NE Petroleum Letter”) that it was contracted to install the current Diesel System in September or October 1999, well before the effective date of the Bylaw. (*See NE Petroleum Letter, attached as Exhibit 1.*) Representatives of Holliston Oil Service, Inc. (“Holliston Oil”) also confirm that this diesel use existed well before the Bylaw, as its records show that it had been delivering diesel to the Property since at least April 2000. (*See Holliston Oil Spreadsheet, attached as Exhibit 2.*) The

Applicant's search of its own records and those of the Town, however, have not turned up the permits that most certainly existed.

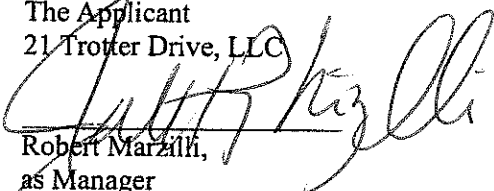
Moreover, the Applicant's design of the Diesel System more than meets the special permit criteria with a design that creates no detriment or undesirable attributes on the Property. (*Bylaw § 3.4(C)(3-5).*) To the contrary, the proposed Diesel System is a significant upgrade over the current system and includes double-walled tanks that are fire protected, projectile proof and engineer to withstand traffic impacts. These protective elements are further enhanced by the design calling for the construction of an enclosed fuel containment system/structure that will protect the tanks from the elements and capture any fuel that were to escape from the system and their preventing it from impact the environment. (*See Site Plan, page 6, attached as Exhibit 3; Fuel Storage Plan, attached as Exhibit 4.*) In short, this engineered design will allow the Applicant to continue operating harmoniously with its neighbors for a very long time. (*Bylaw, § 3.4(6).*)

Finally, it must also be noted that whether the Applicant's permits for the existing tanks are found or ever existed has no legal bearing on whether this Board may exercise its discretion under the Bylaw to grant the Application. As is set forth above, the operative language from the Bylaw is "existing use". (*Bylaw, § 5.6.3(E)(3).*) If the drafters of the Bylaw had intended to exclude uses that were not in compliance with zoning prior to the implementation of the Bylaw, they would have used language other than "existing use" such as "non-conforming use" – i.e. uses or structures lawfully begun prior to bylaw amendments. (*See e.g. Bylaw § 5.5.*) Their decision not to use such limiting language must under all canons of statutory construction be deemed to have been intentional to allow the permit granting authorities within the Town to exercise their discretion in the many circumstances that could not have been understood or anticipated at the time of the drafting of the Bylaw. The Board should consider the Application on the merits and, if the Applicant otherwise meets the enumerated criteria under the Bylaw, grant the requested Special Permit.

CONCLUSION

For the foregoing reasons, the Applicant respectfully requests that the Board grant the Special Permit subject to conditions it deems necessary and appropriate.

The Applicant
21 Trotter Drive, LLC


Robert Marzilli,
as Manager

Dated: September 30, 2019

EXHIBIT 1

PHONE 617.522.8390

FAX 617.524.1633

NORTHEASTERN PETROLEUM SERVICE & SUPPLY INC.

37 Brookley Road • Boston Massachusetts 02130

www.nepss.com

SEPTEMBER 26, 2019

R.P. MARZILLI & CO. INC.
21 TROTTER DRIVE
MEDWAY, MA 02053

ATTN: ROBERT MARZILLI, PRESIDENT

RE: INSTALLATION OF DIESEL TANK AND EQUIPMENT
AT ABOVE SITE IN THE FALL OF 1999

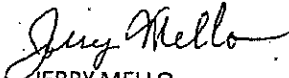
GENTLEMEN – WE WERE CONTRACTED TO SUPPLY AND INSTALL THE ABOVE DIESEL STORAGE AND DISPENSING SYSTEM IN SEPTEMBER/OCTOBER OF 1999.

WE CANNOT LOCATED THE PERMIT TO INSTALL FROM THE FIRE DEPARTMENT SINCE WE DO NOT MAINTAIN RECORDS BACK TO 1999.

WE DO NOT PROCEED WITH THIS TYPE OF WORK WITHOUT PERMITS. THE TOWN MUST HAVE A RECORD OF LICENSE TO STORE, PERMIT TO INSTALL AND FIRE DEPT FINAL APPROVAL IN THEIR 1999 FILES.

PLEASE CALL IF ANY QUESTIONS.

SINCERELY YOURS


JERRY MELLO
PRESIDENT

IN BUSINESS FOR OVER 65 YEARS

EXHIBIT 2

Delivery Date	Account	Customer Name	Fuel	Town	Ticket #	Invoice #	Gallons
4/17/2000	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	7467	202955	1,000.0
5/1/2000	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	1053	202956	1,500.0
6/21/2000	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	1356	202958	1,500.0
8/22/2000	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	2400	202960	1,000.1
10/3/2000	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	1868	202962	49.1
5/21/2001	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	4469	202964	999.9
5/22/2001	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	4482	202965	500.0
6/14/2004	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	6045	202968	500.0
7/19/2004	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	5959	202970	1,000.0
8/11/2004	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	6312	202971	1,900.0
9/21/2004	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	6350	202974	1,000.0
10/1/2004	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	6682	202975	1,000.0
10/5/2004	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	6716	202976	1,000.0
10/18/2004	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	6930	202977	1,000.0
10/23/2004	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	7047	202979	1,000.0
11/15/2004	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	7617	202982	2,000.0
12/7/2004	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	8350	202985	1,000.0
12/10/2004	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	8477	202987	1,000.0
12/23/2004	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	8828	202988	1,590.4
1/11/2005	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	9639	202991	1,000.0
1/21/2005	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	8941	202992	1,000.0
2/4/2005	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	1414	202994	1,500.1
3/3/2005	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	2184	202998	1,500.0
3/29/2005	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	2474	202999	499.9
3/30/2005	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	2494	203000	1,000.0
4/8/2005	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	2783	203002	1,000.0
4/29/2005	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	3095	203005	1,000.0
5/18/2005	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	4097	203007	1,172.4
6/30/2005	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	6238	203010	1,000.0
7/29/2005	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	7037	203012	1,000.0
8/19/2005	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	7361	203013	1,000.0
9/12/2005	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	7581	203015	1,500.0
9/22/2005	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	7775	203016	1,500.0
9/30/2005	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	8005	203018	1,000.0
10/7/2005	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	8241	203019	1,500.3
10/17/2005	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	8339	203022	1,500.0
10/31/2005	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	8972	203023	1,500.0
11/10/2005	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	9141	203026	1,000.0
11/15/2005	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	9233	203027	1,000.0
11/21/2005	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	7278	271932	1,000.0
11/28/2005	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	5573	272692	1,000.0
12/5/2005	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	6118	274122	1,000.0
12/10/2005	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	6363	274951	1,500.0
12/21/2005	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	7661	276804	1,500.0
1/5/2006	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	8741	279162	1,500.0
1/23/2006	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	9522	281489	1,500.0

On-Road Diesel 2000-2019

Delivery Date	Account	Customer Name	Fuel	Town	Ticket #	Invoice #	Gallons
2/10/2006	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	20806	285292	1,500.0
2/23/2006	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	21676	287130	1,500.0
3/9/2006	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	2854	289961	1,500.0
3/17/2006	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	14118	291019	1,500.0
3/27/2006	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	14573	292050	1,500.0
4/7/2006	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	14979	293764	1,000.0
4/13/2006	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	15243	294589	1,500.1
4/21/2006	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	15434	295301	1,500.0
5/2/2006	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	15800	296311	1,500.0
5/10/2006	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	14491	296989	1,500.0
5/19/2006	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	297875	297875	1,500.1
5/31/2006	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	18086	298575	1,500.0
6/9/2006	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	18415	299554	1,000.1
6/16/2006	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	18498	300257	1,001.0
6/22/2006	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	18611	300681	1,000.0
6/28/2006	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	18777	301051	1,500.1
7/10/2006	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	18988	302057	1,000.0
7/18/2006	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	22032	302464	1,000.0
7/25/2006	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	22054	302741	1,500.0
8/1/2006	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	22251	303515	1,000.0
8/8/2006	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	17683	303933	1,451.7
8/21/2006	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	22300	304713	1,502.2
9/2/2006	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	22687	305822	1,500.0
9/13/2006	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	22911	306402	1,500.0
9/20/2006	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	22968	307014	1,500.0
9/29/2006	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	23157	307544	1,000.0
10/6/2006	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	23523	308365	2,000.0
10/16/2006	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	23630	308993	1,000.0
10/24/2006	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	23854	309641	1,500.0
11/1/2006	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	22426	310817	1,510.2
11/9/2006	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	24597	311605	1,500.0
11/20/2006	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	24815	312396	1,500.0
12/1/2006	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	25389	313764	1,500.0
12/11/2006	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	25718	314789	1,500.0
12/18/2006	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	28604	315533	1,500.1
12/26/2006	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	28858	316320	1,000.0
1/5/2007	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	22529	318083	1,000.1
1/13/2007	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	23436	319077	1,000.0
1/23/2007	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	23469	320244	1,000.0
2/1/2007	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	26920	321742	1,500.0
2/5/2007	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	8050	322160	27.0
2/13/2007	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	27123	323454	1,500.0
2/28/2007	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	27149	325383	1,000.0
3/8/2007	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	41302	326940	1,500.0
3/21/2007	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	8151	328386	22.8
3/21/2007	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	27186	328387	1,000.0

Jn-Road Diesel 2000-2019

Delivery Date	Account	Customer Name	Fuel	Town	Ticket #	Invoice #	Gallons
3/28/2007	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	39687	329038	1,000.0
4/4/2007	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	27208	330195	1,000.0
4/11/2007	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	40287	330867	1,000.2
4/25/2007	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	27232	332389	1,000.0
5/21/2007	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	52353	334740	1,500.0
5/30/2007	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	52181	335485	999.9
6/11/2007	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	52748	337324	1,500.0
6/26/2007	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	52807	338005	1,503.3
7/7/2007	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	8474	338941	1,000.0
7/12/2007	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	46838	339197	1,000.1
7/18/2007	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	52227	339424	1,001.8
7/25/2007	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	52230	339693	1,000.0
8/2/2007	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	52241	340267	1,501.0
8/9/2007	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	47169	340534	1,000.0
8/23/2007	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	47231	340869	1,500.0
9/4/2007	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	47443	342368	1,500.0
9/12/2007	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	47709	343211	1,000.1
9/21/2007	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	47544	343800	1,000.0
9/26/2007	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	47977	344172	1,000.0
10/4/2007	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	22156	344875	1,500.0
10/17/2007	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	9047	345784	1,000.0
10/23/2007	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	22400	346132	1,500.0
10/31/2007	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	22564	346669	1,000.3
11/12/2007	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	23214	347930	1,500.0
11/21/2007	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	50553	348875	1,000.0
11/30/2007	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	50562	350059	1,000.0
12/7/2007	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	53084	351262	1,500.0
12/19/2007	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	53718	352857	1,009.3
1/2/2008	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	50622	355065	1,000.0
1/12/2008	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	55208	356462	1,500.0
1/22/2008	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	55703	357871	1,000.0
2/4/2008	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	50696	360135	1,000.1
2/13/2008	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	56925	361114	1,000.0
2/29/2008	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	57906	363587	1,500.0
3/7/2008	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	7542	364919	1,000.0
3/17/2008	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	19320	365667	1,000.0
3/31/2008	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	9384	367699	981.9
4/4/2008	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	19356	368689	500.0
4/10/2008	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	20895	369320	1,000.0
4/15/2008	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	21024	369665	1,000.0
4/21/2008	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	21134	370175	1,000.0
4/28/2008	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	21284	370697	1,000.0
5/2/2008	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	21574	371675	999.9
5/8/2008	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	21652	372210	1,000.0
5/13/2008	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	21698	372389	1,000.0
5/16/2008	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	21778	372951	1,000.0

On-Road Diesel 2000-2019

Delivery Date	Account	Customer Name	Fuel	Town	Ticket #	Invoice #	Gallons
5/23/2008	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	21869	373431	1,000.0
5/30/2008	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	58030	373947	1,500.0
6/6/2008	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	58210	374909	1,000.0
6/10/2008	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	19412	375001	1,000.0
6/16/2008	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	19427	375323	750.0
6/19/2008	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	19437	375594	1,000.0
6/24/2008	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	58367	375982	500.0
6/27/2008	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	19452	376538	1,000.0
7/3/2008	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	58676	377565	1,000.0
7/10/2008	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	58682	377847	1,000.0
7/16/2008	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	58692	378164	1,000.0
7/23/2008	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	58784	378635	1,000.0
7/29/2008	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	58830	378952	1,000.0
8/5/2008	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	59081	379818	1,000.0
8/8/2008	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	59093	380067	1,000.0
8/15/2008	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	19488	380333	1,000.0
8/21/2008	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	19501	380550	1,000.0
8/27/2008	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	59210	380889	999.9
9/2/2008	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	59238	381609	985.0
9/11/2008	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	59250	382294	1,000.0
9/17/2008	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	59254	382696	1,000.0
9/24/2008	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	59761	383172	1,500.0
10/3/2008	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	76374	384145	1,500.0
10/10/2008	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	59286	384708	1,000.0
10/15/2008	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	59304	384891	1,000.0
10/21/2008	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	59310	385235	1,000.0
10/24/2008	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	76747	385629	1,000.0
10/30/2008	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	59323	386097	1,000.0
11/4/2008	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	59337	386742	1,000.0
11/11/2008	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	59348	387095	1,000.0
11/14/2008	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	77326	387581	1,000.0
11/21/2008	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	7734	388390	999.9
11/25/2008	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	77355	388683	500.0
12/2/2008	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	77370	389703	1,000.0
12/9/2008	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	77394	390383	1,000.0
12/16/2008	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	77405	391409	1,000.0
12/19/2008	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	81632	391793	750.0
12/26/2008	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	107304	392450	1,000.0
1/2/2009	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	107738	393250	999.9
1/13/2009	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	107845	395269	1,000.0
1/21/2009	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	107873	396618	1,000.0
1/28/2009	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	105324	397555	1,000.0
2/6/2009	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	105715	399308	1,000.0
2/17/2009	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	106372	400446	1,000.0
2/27/2009	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	106867	401753	1,000.0
3/9/2009	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	103241	402970	1,000.0

On-Road Diesel 2000-2019

Delivery Date	Account	Customer Name	Fuel	Town	Ticket #	Invoice #	Gallons
3/19/2009	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	103719	404021	1,000.0
3/24/2009	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	106934	404558	1,000.0
3/31/2009	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	104031	405434	1,500.0
4/6/2009	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	104303	406066	1,500.0
4/10/2009	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	106977	406521	1,000.0
4/15/2009	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	106984	406834	1,000.0
4/20/2009	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	104642	407230	1,000.0
4/23/2009	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	104702	407507	1,000.0
4/28/2009	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	104759	407828	1,000.0
5/1/2009	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	104799	408571	1,000.0
5/5/2009	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	104803	408723	1,000.0
5/8/2009	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	104810	408908	1,000.0
5/13/2009	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	101337	409104	1,000.0
5/18/2009	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	101412	409321	1,000.0
5/22/2009	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	101471	409730	1,500.0
5/29/2009	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	7324	410085	1,000.0
6/3/2009	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	104826	410998	1,500.0
6/9/2009	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	106953	411313	1,499.9
6/12/2009	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	101942	411586	1,000.0
6/18/2009	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	102018	411908	1,000.0
6/23/2009	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	104850	412171	999.9
6/26/2009	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	102084	412404	1,000.0
7/1/2009	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	102090	413114	1,500.0
7/9/2009	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	104882	413321	1,000.0
7/14/2009	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	104885	413428	1,000.0
7/17/2009	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	102282	413892	1,000.0
7/24/2009	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	101338	414117	1,500.0
7/30/2009	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	102376	414360	1,000.0
8/5/2009	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	104900	415093	1,000.0
8/11/2009	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	104903	415522	1,000.0
8/14/2009	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	102633	415609	1,000.0
8/20/2009	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	104916	415693	1,000.0
8/26/2009	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	104924	415925	1,000.0
9/1/2009	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	101341	416653	1,000.0
9/4/2009	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	104940	416913	1,000.0
9/11/2009	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	104943	417259	1,000.0
9/17/2009	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	104980	417513	1,000.0
9/22/2009	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	101339	417799	1,000.0
9/25/2009	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	102980	418041	1,000.0
10/1/2009	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	127492	418859	1,000.0
10/6/2009	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	102998	418961	1,000.0
10/9/2009	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	127613	419202	1,000.0
10/15/2009	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	127633	419511	1,000.0
10/21/2009	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	128191	419978	1,000.0
10/27/2009	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	128282	420364	1,500.0
11/2/2009	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	127714	421077	1,500.0

On-Road Diesel 2000-2019

Delivery Date	Account	Customer Name	Fuel	Town	Ticket #	Invoice #	Gallons
11/10/2009	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	127787	421673	1,000.0
11/13/2009	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	127797	422205	1,000.0
11/18/2009	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	128983	422623	1,000.0
11/24/2009	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	127858	422999	995.8
12/1/2009	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	127874	423904	1,000.0
12/4/2009	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	131549	424118	1,000.0
12/8/2009	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	131614	424704	1,000.0
12/14/2009	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	131870	425102	1,000.0
12/18/2009	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	131982	425669	1,000.0
12/24/2009	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	131935	426606	1,000.0
12/31/2009	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	132011	427214	500.0
1/8/2010	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	132044	429260	1,000.0
1/14/2010	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	7349	429871	1,000.0
1/25/2010	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	132112	431033	1,000.0
2/5/2010	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	132196	432857	1,000.0
2/11/2010	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	132253	433645	1,000.0
2/24/2010	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	132305	434872	1,000.0
3/8/2010	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	132342	436594	1,000.0
3/18/2010	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	132381	437507	1,000.0
3/26/2010	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	132392	438108	1,000.0
4/2/2010	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	132402	439151	1,000.0
4/9/2010	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	132428	439720	1,000.0
4/14/2010	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	132434	439933	1,000.0
4/16/2010	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	151462	440159	1,000.0
4/21/2010	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	132441	440327	999.9
4/28/2010	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	132490	440761	1,000.0
5/5/2010	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	132516	441744	1,000.0
5/10/2010	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	132521	441971	999.9
5/12/2010	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	132533	442124	1,000.0
5/17/2010	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	132541	442383	1,000.0
5/21/2010	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	132589	442846	999.9
5/26/2010	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	132594	442990	994.3
5/28/2010	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	152231	443362	1,001.0
6/3/2010	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	132604	444060	999.9
6/8/2010	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	132617	444217	999.9
6/15/2010	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	132638	444719	1,000.0
6/17/2010	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	132641	444868	1,000.0
6/23/2010	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	132651	444972	1,000.0
6/29/2010	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	152486	445642	1,000.0
7/2/2010	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	152489	445780	1,000.0
7/7/2010	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	132680	445918	1,000.0
7/13/2010	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	132685	446270	1,000.1
7/21/2010	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	152827	446680	1,000.0
7/26/2010	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	132687	446908	1,000.0
7/28/2010	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	132691	447006	1,000.0
7/30/2010	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	2875	447231	1,000.0

On-Road Diesel 2000-2019

Delivery Date	Account	Customer Name	Fuel	Town	Ticket #	Invoice #	Gallons
8/5/2010	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	153026	447818	827.0
8/6/2010	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	153028	447944	500.0
8/10/2010	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	153059	448090	1,000.0
8/16/2010	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	132713	448463	1,000.0
8/20/2010	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	132716	448599	1,000.0
8/27/2010	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	132719	448775	1,000.0
9/2/2010	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	153251	449395	1,000.0
9/10/2010	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	132731	449719	999.8
9/14/2010	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	132737	449788	1,000.0
9/21/2010	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	132745	450145	1,000.0
9/23/2010	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	132752	450303	1,000.0
9/28/2010	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	153479	450421	1,000.0
10/5/2010	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	132763	451254	1,000.0
10/8/2010	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	153698	451439	1,000.0
10/12/2010	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	132774	451537	1,000.0
10/18/2010	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	153863	452029	1,000.0
10/25/2010	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	154014	452416	1,000.0
10/28/2010	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	154101	452671	1,000.0
11/2/2010	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	188329	453638	999.9
11/5/2010	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	132811	454038	1,000.0
11/11/2010	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	188567	454449	1,000.0
11/16/2010	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	188642	454739	1,000.0
11/19/2010	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	188694	455098	1,000.0
11/23/2010	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	132849	455335	1,000.0
11/30/2010	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	132857	455690	1,000.0
12/6/2010	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	189115	456530	1,000.0
12/10/2010	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	132884	457409	1,000.0
12/14/2010	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	132896	457613	1,000.0
12/20/2010	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	189781	458343	1,000.0
12/23/2010	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	132917	458820	999.8
12/27/2010	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	190240	458988	545.9
1/3/2011	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	190456	460334	837.4
1/11/2011	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	132962	461883	902.6
1/15/2011	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	132976	462201	782.1
1/21/2011	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	132996	463020	920.8
1/27/2011	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	191981	463956	917.6
2/4/2011	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	186374	465448	1,000.0
2/12/2011	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	191496	466556	1,000.0
2/23/2011	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	191524	467769	1,000.0
3/7/2011	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	191558	469745	1,000.0
3/11/2011	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	191576	470528	1,000.0
3/21/2011	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	188160	471235	999.9
3/28/2011	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	191613	471958	1,000.0
3/30/2011	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	191627	472260	1,000.0
4/7/2011	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	51384	473646	999.9
4/11/2011	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	51314	473800	1,000.0

On-Road Diesel 2000-2019

Delivery Date	Account	Customer Name	Fuel	Town	Ticket #	Invoice #	Gallons
4/19/2011	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	51322	474501	1,000.0
4/22/2011	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	5040	474843	1,000.0
4/27/2011	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	51339	475179	1,000.0
5/3/2011	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	51354	476084	1,000.0
5/9/2011	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	51365	476334	1,000.0
5/12/2011	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	52096	476830	1,000.0
5/16/2011	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	51492	477047	1,000.0
5/19/2011	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	51501	477281	1,000.0
5/24/2011	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	5041	477479	1,000.0
5/27/2011	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	51511	477727	1,000.0
6/1/2011	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	51520	478408	1,000.0
6/6/2011	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	52391	478507	1,000.0
6/10/2011	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	52422	478718	1,000.0
6/14/2011	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	52431	478832	1,000.0
6/17/2011	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	52444	479150	1,000.0
6/23/2011	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	52798	479570	1,000.0
6/28/2011	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	52816	479687	1,000.0
7/1/2011	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	52423	480345	1,000.0
7/8/2011	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	52949	480552	1,000.0
7/12/2011	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	52455	480637	1,000.0
7/18/2011	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	52971	481023	999.9
7/21/2011	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	52460	481077	999.9
7/27/2011	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	52467	481198	1,000.0
8/3/2011	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	52475	481862	990.0
8/9/2011	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	52499	482157	1,000.0
8/12/2011	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	52514	482273	1,000.0
8/17/2011	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	52520	482308	1,000.0
8/22/2011	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	53203	482630	1,000.0
8/24/2011	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	53243	482703	1,000.0
8/31/2011	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	53360	483091	1,000.0
9/6/2011	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	52550	483579	1,000.0
9/12/2011	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	53567	483967	1,000.0
9/16/2011	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	52560	484380	1,000.0
9/22/2011	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	52573	484561	999.7
9/29/2011	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	52586	485036	1,000.0
10/4/2011	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	52594	485639	1,000.0
10/7/2011	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	52607	485880	999.9
10/12/2011	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	52617	486033	1,000.0
10/17/2011	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	52625	486540	1,000.0
10/20/2011	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	52636	486721	1,000.0
10/26/2011	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	52648	487149	1,000.0
10/29/2011	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	54360	487438	1,000.0
11/1/2011	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	52658	488074	1,000.0
11/4/2011	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	52669	488333	1,000.0
11/8/2011	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	54634	488489	1,000.0
11/11/2011	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	54636	488692	934.2

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Delivery Date	Account	Customer Name	Fuel	Town	Ticket #	Invoice #	Gallons
11/15/2011	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	54638	488895	769.0
11/18/2011	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	54635	489351	702.0
11/22/2011	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	54639	489520	725.4
11/25/2011	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	54637	489831	205.3
11/29/2011	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	54640	490028	507.0
12/3/2011	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	54641	491067	933.9
12/6/2011	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	46798	491081	648.2
12/9/2011	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	46794	491372	871.0
12/13/2011	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	46797	491585	693.0
12/16/2011	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	46793	492112	897.0
12/20/2011	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	46796	492542	430.9
12/23/2011	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	46792	492954	753.2
12/30/2011	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	46791	493636	669.1
1/6/2012	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	46795	494844	548.8
1/13/2012	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	87906	495665	706.2
1/20/2012	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	87905	496592	779.5
1/27/2012	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	87904	497393	746.8
2/10/2012	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	88228	499145	1,000.0
2/17/2012	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	89596	499927	691.4
2/24/2012	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	89597	500524	416.3
3/2/2012	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	185009	501604	750.3
3/9/2012	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	185010	502210	673.0
3/16/2012	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	185011	502839	971.7
3/23/2012	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	185012	503313	1,021.6
3/30/2012	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	185013	503888	1,577.9
4/6/2012	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	185792	504822	1,722.5
4/13/2012	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	185791	505350	1,906.6
4/20/2012	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	185790	505701	2,020.5
4/27/2012	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	185789	506090	1,923.2
5/4/2012	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	83889	506828	1,939.3
5/11/2012	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	83888	507360	1,707.0
5/18/2012	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	83891	507857	1,879.2
5/25/2012	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	83890	508324	1,650.2
6/1/2012	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	84413	508965	1,210.5
6/8/2012	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	84414	509211	1,761.5
6/15/2012	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	84412	509538	1,827.1
6/22/2012	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	84411	509774	1,554.1
6/29/2012	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	84415	510349	1,699.1
7/6/2012	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	84896	510540	1,350.3
7/13/2012	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	84897	510935	1,568.0
7/20/2012	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	84898	511189	1,637.7
7/27/2012	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	84899	511478	1,329.1
8/3/2012	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	85161	512103	1,778.0
8/10/2012	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	85162	512557	1,625.0
8/17/2012	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	85163	512596	1,518.6
8/24/2012	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	85164	512836	1,258.4

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Delivery Date	Account	Customer Name	Fuel	Town	Ticket #	Invoice #	Gallons
8/31/2012	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	85165	513452	1,821.6
9/7/2012	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	85326	513905	893.0
9/14/2012	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	85327	514379	1,587.9
9/21/2012	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	85328	514606	1,595.0
9/28/2012	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	85329	515024	1,102.6
10/5/2012	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	85684	515781	1,456.5
10/12/2012	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	85683	516283	1,294.3
10/19/2012	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	85682	516731	1,356.6
10/26/2012	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	85685	517095	1,457.9
11/2/2012	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	86409	517988	1,116.9
11/9/2012	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	86408	518492	1,789.1
11/16/2012	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	86407	519216	1,970.9
11/23/2012	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	86406	519586	1,207.0
11/30/2012	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	86405	520584	1,337.1
12/7/2012	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	87435	521264	1,500.0
12/14/2012	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	87436	522188	1,100.4
12/21/2012	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	87437	523111	1,113.4
12/28/2012	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	87438	523573	900.8
1/4/2013	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	82577	524903	949.6
1/11/2013	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	82576	525873	726.1
1/18/2013	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	82575	526444	859.2
1/25/2013	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	82574	527394	655.8
2/1/2013	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	49252	528524	677.6
2/8/2013	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	49253	529222	819.1
2/15/2013	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	49254	530364	1,283.0
2/22/2013	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	49255	531053	938.4
3/1/2013	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	46225	532313	512.2
3/8/2013	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	46224	532899	704.4
3/15/2013	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	46223	533736	965.6
3/22/2013	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	46222	534516	1,515.8
3/29/2013	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	50045	535015	1,121.4
4/4/2013	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	47234	536067	1,100.0
4/12/2013	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	47235	536869	1,503.1
4/19/2013	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	47236	537576	1,383.0
4/26/2013	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	47237	538071	1,293.3
5/3/2013	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	51273	538835	1,255.0
5/10/2013	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	51272	539398	1,530.0
5/17/2013	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	51271	539792	1,465.5
5/24/2013	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	51270	540165	1,561.0
5/31/2013	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	51274	540543	1,115.0
6/7/2013	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	46221	541382	1,252.3
6/14/2013	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	51610	541777	1,086.7
6/21/2013	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	51611	542131	1,543.7
6/28/2013	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	51612	542512	1,400.1
7/3/2013	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	51831	543571	960.0
7/18/2013	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	51948	544092	1,871.6

Delivery Date	Account	Customer Name	Fuel	Town	Ticket #	Invoice #	Gallons
7/26/2013	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	51832	544529	1,980.0
8/2/2013	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	51834	545668	1,395.6
8/9/2013	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	51833	545835	1,350.0
8/16/2013	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	47593	546206	1,300.0
8/23/2013	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	47594	546490	1,039.4
8/30/2013	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	47595	547007	1,137.0
9/6/2013	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	48066	547380	1,202.4
9/13/2013	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	48065	548034	1,065.5
9/20/2013	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	48064	548510	1,527.8
9/27/2013	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	48063	548819	1,089.1
10/4/2013	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	51111	549531	1,375.4
10/11/2013	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	48511	550172	1,394.9
10/18/2013	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	48512	550492	1,466.5
10/25/2013	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	48513	550892	1,203.3
11/1/2013	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	3340	551761	1,448.5
11/8/2013	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	03256	552172	1,453.5
11/15/2013	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	03257	553014	1,259.9
11/22/2013	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	03258	553559	1,150.1
11/29/2013	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	03259	554184	950.0
12/6/2013	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	03260	555149	1,235.3
12/13/2013	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	04010	556036	1,350.1
12/20/2013	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	04011	557027	1,550.0
12/27/2013	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	04012	557464	800.0
1/3/2014	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	05462	558992	800.0
1/10/2014	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	05463	560577	823.4
1/17/2014	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	05464	561147	967.3
1/24/2014	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	05465	562221	1,161.2
1/31/2014	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	05466	563128	825.6
2/7/2014	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	1044	564757	1,144.9
2/14/2014	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	01043	565877	1,009.3
2/21/2014	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	01041	566953	911.8
2/28/2014	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	01042	567742	600.0
3/7/2014	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	02655	569524	867.7
3/14/2014	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	02656	570225	974.3
3/21/2014	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	02657	571158	1,006.3
3/28/2014	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	02658	572050	1,132.4
4/4/2014	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	07816	573043	972.6
4/11/2014	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	07817	574099	1,741.4
4/18/2014	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	07818	574855	1,600.0
4/25/2014	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	07819	575984	1,421.4
5/2/2014	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	08757	576781	1,548.5
5/9/2014	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	08758	577497	1,416.9
5/16/2014	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	08759	578047	1,649.7
5/23/2014	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	08760	578375	1,363.9
5/30/2014	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	08761	578703	1,148.8
6/6/2014	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	07222	579799	1,220.6

Delivery Date	Account	Customer Name	Fuel	Town	Ticket #	Invoice #	Gallons
6/13/2014	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	07223	580329	1,041.8
6/20/2014	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	07224	580643	1,563.7
6/27/2014	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	07225	581063	1,297.6
7/3/2014	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	07487	581745	901.2
7/11/2014	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	07484	582095	1,802.7
7/18/2014	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	07486	582480	1,739.0
7/25/2014	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	07485	582726	1,563.4
8/1/2014	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	07729	583464	1,311.1
8/8/2014	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	07730	583768	845.7
8/15/2014	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	07731	584230	1,324.8
8/22/2014	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	07733	584581	1,322.2
8/29/2014	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	07732	584914	1,232.0
9/5/2014	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	07923	585759	995.5
9/12/2014	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	07924	586493	903.6
9/19/2014	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	07925	586856	1,264.6
9/25/2014	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	07926	587070	1,014.2
10/3/2014	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	05165	587939	1,484.3
10/10/2014	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	05164	588567	1,317.9
10/17/2014	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	05163	588990	1,076.9
10/24/2014	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	05162	589351	1,074.7
10/30/2014	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	05161	589635	1,284.3
11/6/2014	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	05736	590578	1,425.4
11/14/2014	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	05735	591381	1,569.0
11/21/2014	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	05734	591948	1,237.4
11/28/2014	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	05733	592451	1,150.9
12/5/2014	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	06457	593443	1,327.3
12/12/2014	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	06456	594209	1,413.0
12/19/2014	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	06455	594766	1,110.4
12/26/2014	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	06454	595364	521.8
1/2/2015	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	33822	596328	445.8
1/9/2015	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	33904	597270	904.0
1/16/2015	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	33903	598313	1,211.1
1/23/2015	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	33902	599047	1,208.4
1/30/2015	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	35227	599932	212.6
1/30/2015	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	33901	599940	492.8
2/2/2015	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	35230	600826	381.3
2/4/2015	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	35263	601099	378.6
2/5/2015	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	35333	601218	215.0
2/6/2015	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	35334	601536	269.9
2/7/2015	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	35384	601567	255.8
2/9/2015	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	35335	601746	311.7
2/10/2015	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	36674	602003	182.8
2/11/2015	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	36706	602034	321.8
2/12/2015	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	36711	602275	285.0
2/14/2015	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	36713	602684	442.1
2/16/2015	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	2161	602712	45.4

Delivery Date	Account	Customer Name	Fuel	Town	Ticket #	Invoice #	Gallons
2/16/2015	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	2164	602713	54.1
2/16/2015	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	36714	602895	386.9
2/17/2015	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	36715	602921	237.8
2/18/2015	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	36716	603147	170.4
2/19/2015	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	36717	603215	280.4
2/20/2015	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	36719	603483	60.2
2/21/2015	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	36718	603503	186.5
2/23/2015	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	36712	603691	373.7
2/24/2015	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	37258	603853	126.1
2/25/2015	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	2198	603915	46.0
2/26/2015	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	36935	604169	429.2
2/27/2015	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	36936	604374	204.2
3/2/2015	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	37494	605127	349.1
3/4/2015	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	37495	605359	331.1
3/6/2015	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	2234	605602	33.0
3/6/2015	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	37496	605608	271.2
3/9/2015	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	37497	605727	162.2
3/11/2015	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	37498	606175	277.5
3/13/2015	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	37499	606432	265.9
3/16/2015	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	37500	606462	276.9
3/18/2015	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	37501	606727	316.5
3/20/2015	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	37502	607101	233.4
3/23/2015	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	37503	607245	75.5
3/24/2015	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	37504	607318	1,500.0
3/31/2015	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	37505	608193	907.3
4/3/2015	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	77713	609025	793.3
4/10/2015	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	77712	609769	1,605.8
4/17/2015	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	77711	610256	1,640.6
4/24/2015	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	77710	610622	1,670.7
5/1/2015	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	78303	611662	1,535.2
5/8/2015	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	78434	612245	1,680.8
5/15/2015	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	78433	612777	1,460.0
5/22/2015	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	78432	613447	1,465.9
5/29/2015	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	78431	614008	1,216.1
6/5/2015	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	11382	614769	1,437.4
6/12/2015	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	11380	615107	1,248.3
6/19/2015	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	11379	615605	1,241.5
6/26/2015	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	11381	615977	1,630.1
7/2/2015	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	11653	616675	1,205.5
7/9/2015	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	11654	616930	949.8
7/17/2015	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	11655	617530	1,603.5
7/24/2015	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	11656	617798	1,408.4
7/31/2015	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	11657	618388	1,316.4
8/7/2015	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	77887	618661	1,438.1
8/14/2015	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	11888	619043	1,020.5
8/21/2015	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	11889	619274	1,328.4

Delivery Date	Account	Customer Name	Fuel	Town	Ticket #	Invoice #	Gallons
8/28/2015	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	11890	619595	1,384.0
9/3/2015	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	12124	620196	849.1
9/11/2015	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	12123	620738	1,437.5
9/18/2015	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	12122	621189	1,207.1
9/25/2015	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	12121	621564	1,502.6
10/2/2015	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	12567	622311	1,489.4
10/9/2015	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	12571	622787	1,320.6
10/15/2015	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	12570	623296	1,135.4
10/23/2015	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	12569	623925	1,699.6
10/30/2015	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	12568	624339	1,699.5
11/6/2015	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	13749	624972	1,500.6
11/13/2015	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	13748	625504	1,510.6
11/20/2015	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	13750	626159	1,433.5
11/27/2015	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	13751	626643	1,177.5
12/3/2015	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	14632	627458	995.1
12/11/2015	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	14633	628173	1,705.3
12/18/2015	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	14634	628697	1,116.0
12/24/2015	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	14635	629231	805.3
12/30/2015	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	17553	629541	439.0
1/8/2016	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	17889	630770	890.0
1/15/2016	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	17888	631721	1,086.1
1/22/2016	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	17886	632570	811.4
1/29/2016	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	17887	633274	862.2
2/5/2016	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	15351	634368	764.9
2/12/2016	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	15348	634993	1,044.6
2/19/2016	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	15345	636047	899.0
2/26/2016	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	15344	636846	954.4
3/4/2016	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	16583	637834	821.0
3/11/2016	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	16578	638337	866.3
3/18/2016	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	16581	639148	1,057.2
3/25/2016	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	16580	639651	925.7
4/1/2016	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	21652	640653	1,471.5
4/8/2016	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	21927	641054	1,273.3
4/15/2016	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	21925	641629	1,507.1
4/22/2016	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	21924	642226	1,519.7
4/29/2016	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	21926	643015	1,390.7
5/6/2016	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	22703	643494	1,679.8
5/13/2016	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	22704	643952	1,537.1
5/20/2016	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	22700	644512	1,483.0
5/27/2016	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	22699	644874	1,520.7
5/31/2016	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	23236	645175	1,150.6
6/3/2016	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	23293	645548	994.4
6/10/2016	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	23292	645990	1,417.6
6/16/2016	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	23291	646188	1,236.2
6/23/2016	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	23294	646505	1,452.0
7/1/2016	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	19737	647164	1,424.0

Delivery Date	Account	Customer Name	Fuel	Town	Ticket #	Invoice #	Gallons
7/8/2016	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	19736	647390	1,331.3
7/15/2016	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	19740	647639	1,349.4
7/22/2016	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	19739	647940	1,150.1
7/29/2016	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	19738	648115	1,168.2
8/5/2016	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	19977	649035	1,421.4
8/12/2016	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	19975	649285	1,182.2
8/19/2016	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	19972	649553	1,261.8
8/26/2016	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	19978	649775	1,155.9
9/1/2016	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	20264	650362	1,124.7
9/8/2016	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	20263	650656	1,006.2
9/16/2016	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	20262	651147	1,659.9
9/23/2016	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	20261	651531	1,304.4
9/30/2016	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	20260	652011	1,477.7
10/7/2016	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	25602	652518	1,371.8
10/14/2016	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	25603	653045	1,317.4
10/21/2016	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	25601	653500	1,299.3
10/28/2016	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	25604	653918	1,254.3
11/4/2016	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	26643	654720	1,295.0
11/11/2016	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	26644	655275	1,289.8
11/18/2016	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	26645	655646	1,410.2
11/25/2016	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	26646	656037	931.6
12/2/2016	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	27334	656861	1,482.5
12/9/2016	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	27333	657485	1,329.4
12/16/2016	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	27335	658342	1,447.8
12/23/2016	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	27336	658912	1,236.8
12/30/2016	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	27337	659420	427.4
1/6/2017	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	24503	660480	658.5
1/13/2017	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	24504	661500	1,252.9
1/20/2017	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	24505	662204	1,101.7
1/27/2017	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	24506	662703	1,241.1
2/3/2017	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	34524	663665	1,116.3
2/10/2017	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	34523	664678	1,023.6
2/17/2017	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	34522	665426	1,435.7
2/24/2017	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	34517	666059	1,303.2
3/3/2017	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	31943	666933	1,064.3
3/10/2017	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	31942	667505	1,070.2
3/16/2017	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	31941	668191	746.0
3/17/2017	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	32355	668336	457.4
3/24/2017	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	31940	669066	1,467.7
3/31/2017	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	31939	669628	1,489.6
4/7/2017	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	33409	670520	1,430.9
4/14/2017	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	33410	671016	1,504.9
4/21/2017	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	33411	671495	1,442.2
4/28/2017	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	33412	672081	1,746.4
5/4/2017	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	30303	672909	1,380.2
5/11/2017	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	30297	673146	1,444.5

Delivery Date	Account	Customer Name	Fuel	Town	Ticket #	Invoice #	Gallons
5/12/2017	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	29733	673220	950.3
5/16/2017	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	30608	673398	1,106.4
5/19/2017	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	30301	673684	898.2
5/23/2017	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	30609	673878	971.8
5/26/2017	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	30299	674119	900.6
5/30/2017	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	3060	674139	331.3
6/2/2017	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	30853	674681	1,059.5
6/6/2017	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	30854	674877	669.2
6/9/2017	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	30852	675063	1,073.6
6/13/2017	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	30855	675227	782.2
6/16/2017	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	30851	675327	596.0
6/16/2017	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	31329	675328	318.3
6/20/2017	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	30857	675468	798.8
6/23/2017	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	30850	675604	1,045.6
6/27/2017	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	30856	675694	861.1
6/30/2017	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	30849	676266	1,022.3
7/7/2017	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	31161	676434	786.1
7/11/2017	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	31158	676577	515.3
7/14/2017	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	31162	676808	1,018.8
7/18/2017	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	31160	676982	674.1
7/21/2017	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	31163	677171	1,304.6
7/25/2017	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	31159	677350	843.0
7/28/2017	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	31164	677472	910.6
8/1/2017	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	31447	677963	793.6
8/4/2017	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	27921	678083	1,140.7
8/8/2017	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	27917	678206	680.6
8/11/2017	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	27920	678337	1,026.4
8/15/2017	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	27916	678413	784.1
8/18/2017	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	27919	678502	768.2
8/22/2017	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	27914	678613	405.6
8/25/2017	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	27918	678727	977.5
9/1/2017	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	27589	679344	1,341.8
9/8/2017	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	28176	679943	1,161.8
9/15/2017	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	28173	680341	1,751.4
9/19/2017	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	27915	680518	660.8
9/22/2017	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	28175	680615	740.2
9/26/2017	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	28360	680766	451.0
9/29/2017	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	28174	680914	946.4
10/6/2017	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	28442	681787	817.7
10/6/2017	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	28443	681788	1,312.0
10/13/2017	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	29236	682258	1,659.9
10/20/2017	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	28444	682572	1,700.1
10/27/2017	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	28445	682816	1,582.4
11/3/2017	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	35858	683592	1,782.9
11/3/2017	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	29237	683593	128.2
11/10/2017	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	35859	684216	1,592.1

Delivery Date	Account	Customer Name	Fuel	Town	Ticket #	Invoice #	Gallons
11/17/2017	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	35861	684709	1,859.9
11/24/2017	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	35857	685020	1,241.3
12/1/2017	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	36556	685960	1,455.4
12/8/2017	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	36625	686552	1,786.1
12/15/2017	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	36624	687234	1,620.0
12/23/2017	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	36623	687985	1,607.8
12/29/2017	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	36622	688484	506.4
1/5/2018	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	38847	689679	1,131.7
1/12/2018	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	38929	690722	1,234.9
1/19/2018	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	38931	691430	995.7
1/26/2018	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	38930	691979	681.8
2/2/2018	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	39871	693064	1,279.6
2/9/2018	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	39946	693761	1,170.5
2/16/2018	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	39945	694534	879.4
2/23/2018	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	39947	694962	1,373.2
3/1/2018	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	41577	695873	630.1
3/9/2018	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	41578	696585	1,131.4
3/16/2018	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	41579	697278	1,075.9
3/23/2018	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	41580	698020	1,220.3
3/30/2018	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	41581	698623	1,261.8
4/6/2018	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	45008	699498	1,694.6
4/13/2018	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	45007	700262	1,736.9
4/20/2018	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	45005	700768	1,755.3
4/27/2018	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	45006	701311	1,748.5
5/1/2018	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	46002	701923	1,030.1
5/4/2018	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	45955	702157	1,283.8
5/8/2018	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	46001	702518	1,133.6
5/11/2018	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	45956	702771	938.1
5/15/2018	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	46000	703120	882.9
5/18/2018	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	45957	703373	1,021.0
5/22/2018	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	45999	703520	863.6
5/25/2018	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	45958	703645	1,143.1
5/30/2018	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	45998	703895	645.0
6/1/2018	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	46918	704395	654.2
6/5/2018	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	47087	704499	873.7
6/8/2018	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	47083	704603	1,227.6
6/13/2018	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	47086	704905	1,100.0
6/15/2018	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	47082	704989	713.4
6/19/2018	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	47085	705171	821.5
6/22/2018	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	47081	705278	1,353.4
6/26/2018	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	47084	705370	601.5
6/29/2018	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	47080	705839	1,154.8
7/3/2018	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	47302	706141	774.1
7/6/2018	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	47297	706202	535.5
7/10/2018	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	47301	706528	463.3
7/13/2018	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	47296	706699	992.2

Delivery Date	Account	Customer Name	Fuel	Town	Ticket #	Invoice #	Gallons
7/17/2018	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	47300	706824	689.6
7/20/2018	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	47295	706968	1,020.1
7/24/2018	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	47299	707122	657.0
7/27/2018	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	47294	707332	768.6
7/31/2018	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	47298	707389	696.1
8/6/2018	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	47644	708068	1,333.3
8/10/2018	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	47643	708218	1,304.0
8/14/2018	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	47647	708400	881.4
8/17/2018	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	47642	708516	842.2
8/21/2018	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	47646	708724	602.8
8/24/2018	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	47640	708852	902.6
8/28/2018	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	47645	709054	575.6
8/31/2018	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	47641	709441	819.1
9/5/2018	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	52681	709784	579.9
9/10/2018	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	52686	709946	1,014.7
9/17/2018	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	52685	710345	1,367.7
9/21/2018	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	52684	710741	1,140.0
9/25/2018	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	52680	711043	636.8
9/28/2018	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	52683	711195	824.3
10/2/2018	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	53263	711648	558.3
10/5/2018	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	53268	711831	897.9
10/9/2018	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	53264	712142	782.7
10/12/2018	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	53269	712395	836.9
10/16/2018	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	53265	712479	723.2
10/19/2018	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	53271	712794	987.1
10/23/2018	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	53266	712946	913.5
10/26/2018	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	53270	713448	850.1
10/30/2018	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	53267	713591	695.4
11/2/2018	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	53932	714227	986.0
11/6/2018	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	53918	714389	560.0
11/12/2018	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	53922	714817	1,302.1
11/16/2018	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	53921	715241	1,011.5
11/21/2018	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	53924	715545	1,300.0
11/27/2018	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	53925	715875	1,032.5
12/3/2018	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	53919	717093	1,447.2
12/7/2018	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	55362	717477	1,058.2
12/12/2018	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	55359	717867	1,061.7
12/14/2018	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	53917	718047	539.5
12/20/2018	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	55365	718794	968.1
12/26/2018	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	55361	719135	355.3
1/4/2019	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	56856	720129	860.5
1/11/2019	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	56863	720971	1,224.8
1/18/2019	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	56854	721821	1,100.3
1/25/2019	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	56861	722615	1,420.3
2/1/2019	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	58159	723823	1,480.3
2/7/2019	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	56859	724298	870.3

Delivery Date	Account	Customer Name	Fuel	Town	Ticket #	Invoice #	Gallons
2/8/2019	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	58162	724405	394.1
2/14/2019	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	58157	725147	1,078.6
2/22/2019	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	58160	726005	1,479.0
3/1/2019	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	49767	727117	1,361.1
3/8/2019	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	49912	727848	1,226.7
3/14/2019	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	49906	728430	1,025.5
3/21/2019	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	49907	729110	1,421.8
3/29/2019	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	49908	729719	1,479.7
4/5/2019	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	50919	730759	1,371.4
4/11/2019	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	50920	731714	1,475.4
4/12/2019	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	51266	731792	1,191.5
4/16/2019	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	51267	732087	597.9
4/19/2019	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	50921	732267	999.1
4/24/2019	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	21268	732373	1,267.1
4/26/2019	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	50922	732581	797.5
4/30/2019	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	51269	732766	791.3
5/3/2019	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	51673	733865	940.1
5/8/2019	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	5163	734258	1,153.8
5/10/2019	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	51671	734397	916.8
5/15/2019	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	51670	734673	1,303.1
5/17/2019	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	51660	734815	517.4
5/21/2019	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	51665	735029	993.7
5/24/2019	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	51658	735111	984.2
5/29/2019	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	51667	735253	784.7
5/31/2019	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	51668	735446	574.1
6/4/2019	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	52185	736059	1,049.6
6/7/2019	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	52186	736305	795.3
6/11/2019	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	52187	736378	910.5
6/14/2019	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	52188	736628	831.2
6/18/2019	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	52189	736769	908.4
6/21/2019	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	52190	736909	923.5
6/26/2019	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	52191	737070	1,089.2
6/28/2019	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	52192	737188	884.5
7/2/2019	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	42204	737904	1,028.8
7/9/2019	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	42203	738172	913.8
7/12/2019	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	42202	738396	1,003.0
7/17/2019	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	42201	738574	1,232.1
7/19/2019	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	42200	738728	795.5
7/24/2019	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	42199	738940	1,016.0
7/26/2019	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	42198	738983	678.8
7/30/2019	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	42197	739021	610.7
8/2/2019	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	42449	739687	838.8
8/6/2019	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	42450	739764	622.7
8/9/2019	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	42451	739843	799.1
8/13/2019	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	42452	739907	844.2
8/16/2019	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	42453	740055	618.5

Delivery Date	Account	Customer Name	Fuel	Town	Ticket #	Invoice #	Gallons
8/20/2019	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	42454	740192	1,049.0
8/22/2019	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	42455	740257	680.3
8/27/2019	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	42456	740426	1,200.4
8/30/2019	67-1	R.P. MARZILLI INC	ON ROAD DIESEL	MEDWAY	42457	740695	891.7

EXHIBIT 3

21 TROTTER DRIVE

A SITE PLAN

IN

MEDWAY, MASSACHUSETTS

(NORFOLK COUNTY)

OWNER/APPLICANT:
 21 TROTTER DRIVE LLC
 21A TROTTER DRIVE
 MEDWAY, MASSACHUSETTS 02053

ENGINEER:
 ENGINEERING DESIGN
 CONSULTANTS, INC.
 32 TURNPIKE ROAD
 SOUTHBOROUGH, MASSACHUSETTS 01772

LEGEND:

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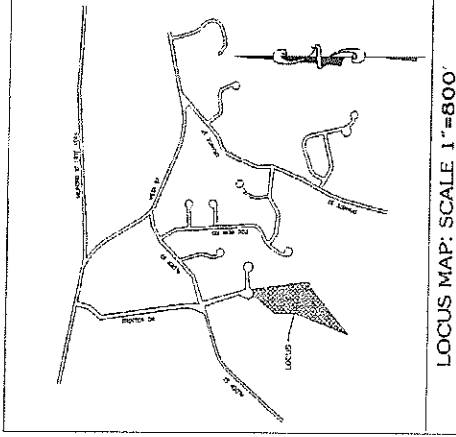
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APRIL 8, 2019
 REV: JULY 25, 2019
 REV: AUGUST 6, 2019

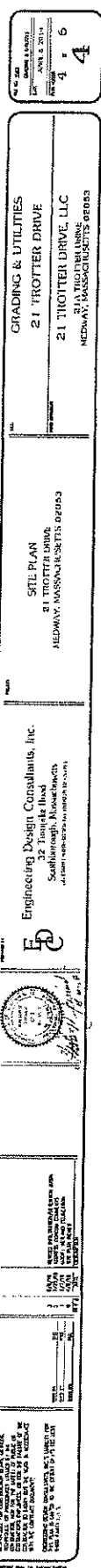
APPROVED BY:
 MEDWAY PLANNING & ZONING
 DEVELOPMENT BOARD

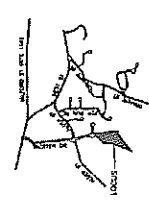
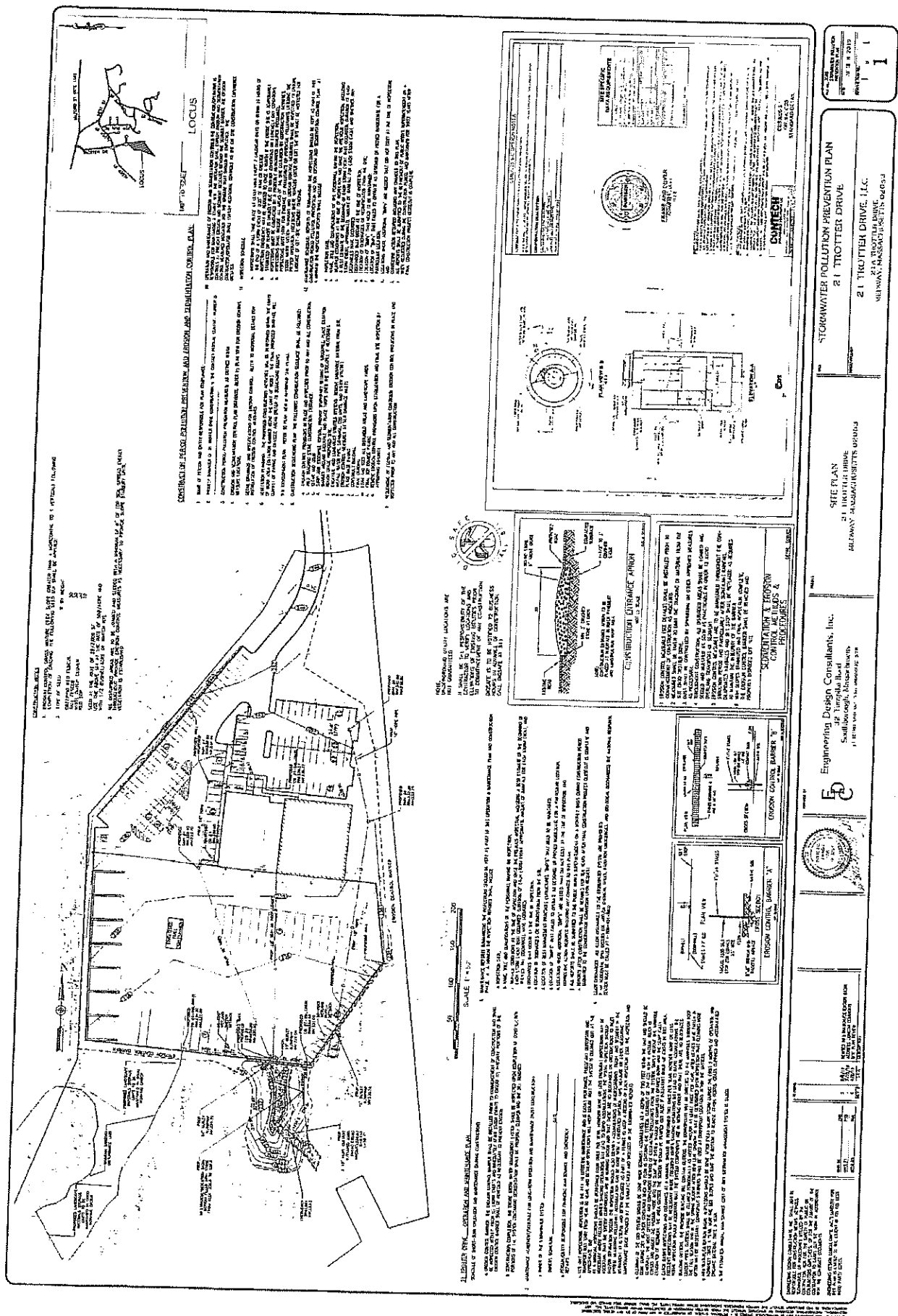
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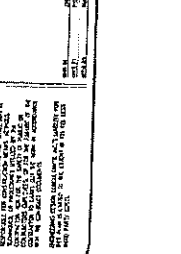
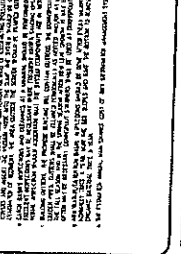
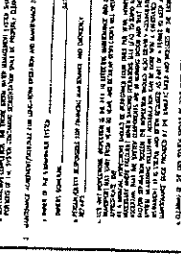
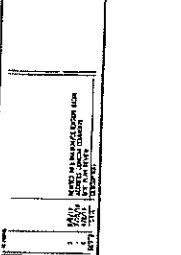
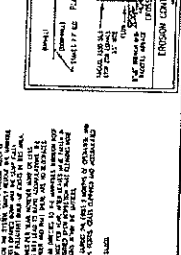
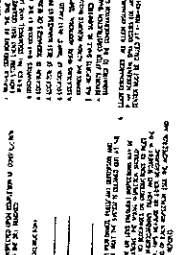
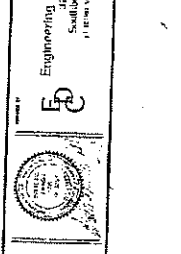
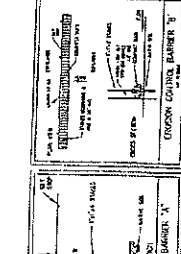
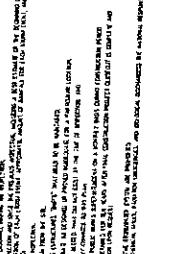
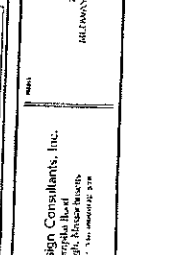
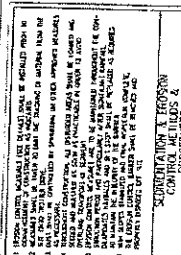
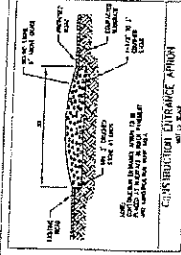


Discussed previously, the 148





- CONSTRUCTION PHASE PRELIMINARY AND DESIGN AND INFORMATION OTHER PLAN**
1. NAME OF SITE AND OWNER'S NAME
 2. ADDRESS OF SITE
 3. CITY AND STATE
 4. COUNTY
 5. ZONING
 6. PROJECT NUMBER
 7. DATE
 8. SCALE
 9. SHEET NUMBER
 10. TOTAL SHEETS
 11. PROJECT DESCRIPTION
 12. PROJECT LOCATION
 13. PROJECT OWNER
 14. PROJECT ENGINEER
 15. PROJECT ARCHITECT
 16. PROJECT LANDSCAPE ARCHITECT
 17. PROJECT CIVIL ENGINEER
 18. PROJECT ELECTRICAL ENGINEER
 19. PROJECT MECHANICAL ENGINEER
 20. PROJECT PLUMBING ENGINEER
 21. PROJECT FIRE PROTECTION ENGINEER
 22. PROJECT ENVIRONMENTAL ENGINEER
 23. PROJECT HISTORIC PRESERVATION ENGINEER
 24. PROJECT TRANSPORTATION ENGINEER
 25. PROJECT UTILITIES ENGINEER
 26. PROJECT SPECIALTIES ENGINEER
 27. PROJECT SPECIALTIES ENGINEER
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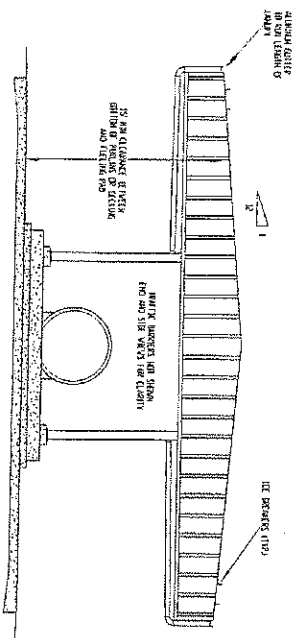
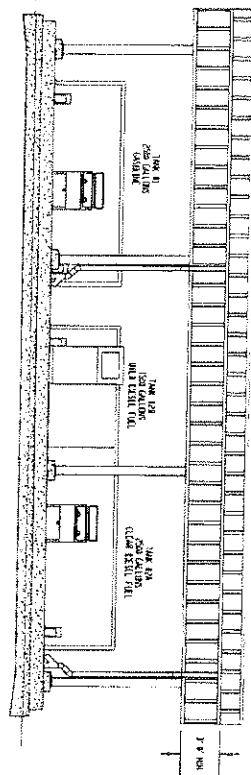
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EXHIBIT 4





CADDERY AND FROTHINGS AS DEPICTED ARE
TIER CONCEPTUAL PROPERTIES ONLY. ACTUAL
STYLE, AS WELL AS SIZES OF SEAMS ARE
EDWARDS WILL. VARY

[illegible]

LIFE-INSURANCE FUND LITHIA AND GLOBE-INDUSTRIES, INC.'S

IF ALL ELECTIONS CONDUCTED SHOULD BE OPEN TO ALL
HOMOSEXUALS STATE CITIZENSHIP COM.
29 NOVEMBER 1988 CONGRESSIONAL RECORD
[REPRINTED FROM CONGRESSIONAL RECORD]

43. FOURTH FOR INTER-RELIGIOUS

WEB ENGINEERING ASSOCIATES, INC
111 SUMMER STREET, SCITUATE, MASSACHUSETTS 02066

171 SUMMER STREET, SCITUATE, MASSACHUSETTS 02066

R P MARZILLI & CO INC
21 TROTTER DRIVE, MEDWAY, MASSACHUSETTS

21 TROTTER DRIVE, MEDWAY, MASSACHUSETTS

CANOPY, LIGHTING, AND PLANT ELEVATIONS

M-2



October 1, 2019

**Medway Planning & Economic Development Board
Special Meeting**

**CTS Site Plan (9 Trotter Drive) – Request
for Authorization of Final Occupancy
Permit**

UPDATED 10-1-19

- Letter dated 9-23-19 from project engineer Peter Bemis
- **Email dated 9-30-19 from project engineer Peter Bemis**
- Eversource service order dated 8-19-19
- CTS revised as-built plan dated ~~9-23-19~~ **9-27-19** prepared by Engineering Design Consultants, Inc.
- 9-24 and 9-25-19 emails re: revised as-built plan and project engineer sign-off
- **Photo of trench repair**
- Excerpt from 7-10-18 CTS Site Plan Decision re: project completion
- **As-built sign off email memo from Steve Bouley dated 9-30-19**

September 23, 2019

Planning Board
Town Hall
155 Village Street
Medway MA 02053

Reference: Site Plan As-built Update
9 Trotter Drive
Medway, Massachusetts
EDC Job No.: 3583

Dear Board Members:

On behalf of CTS Property Management, owner and applicant of the above referenced project, we are writing to respectfully request that the Board allow CTS to obtain a Certificate of Occupancy through the building department for the facility. The issue of the power and communication companies installing overhead services has been partially resolved with the underground conduit installation work and pavement restoration now 100% complete, the request for transfer from overhead to underground has been placed with Eversource. We have attached the updated Site Plan indicating the position of the underground conduits. Without an occupancy permit the facility cannot bind permanent financing with the project lender which is putting additional financial pressures on an already costly undertaking.

Please accept this letter in support of this request allowing the project to proceed to full occupancy permit. Thank you for your consideration and assistance with this project.

Very truly yours,

ENGINEERING DESIGN CONSULTANTS, INC.

Peter Bemis

Peter Bemis

cc. CTS Property Management

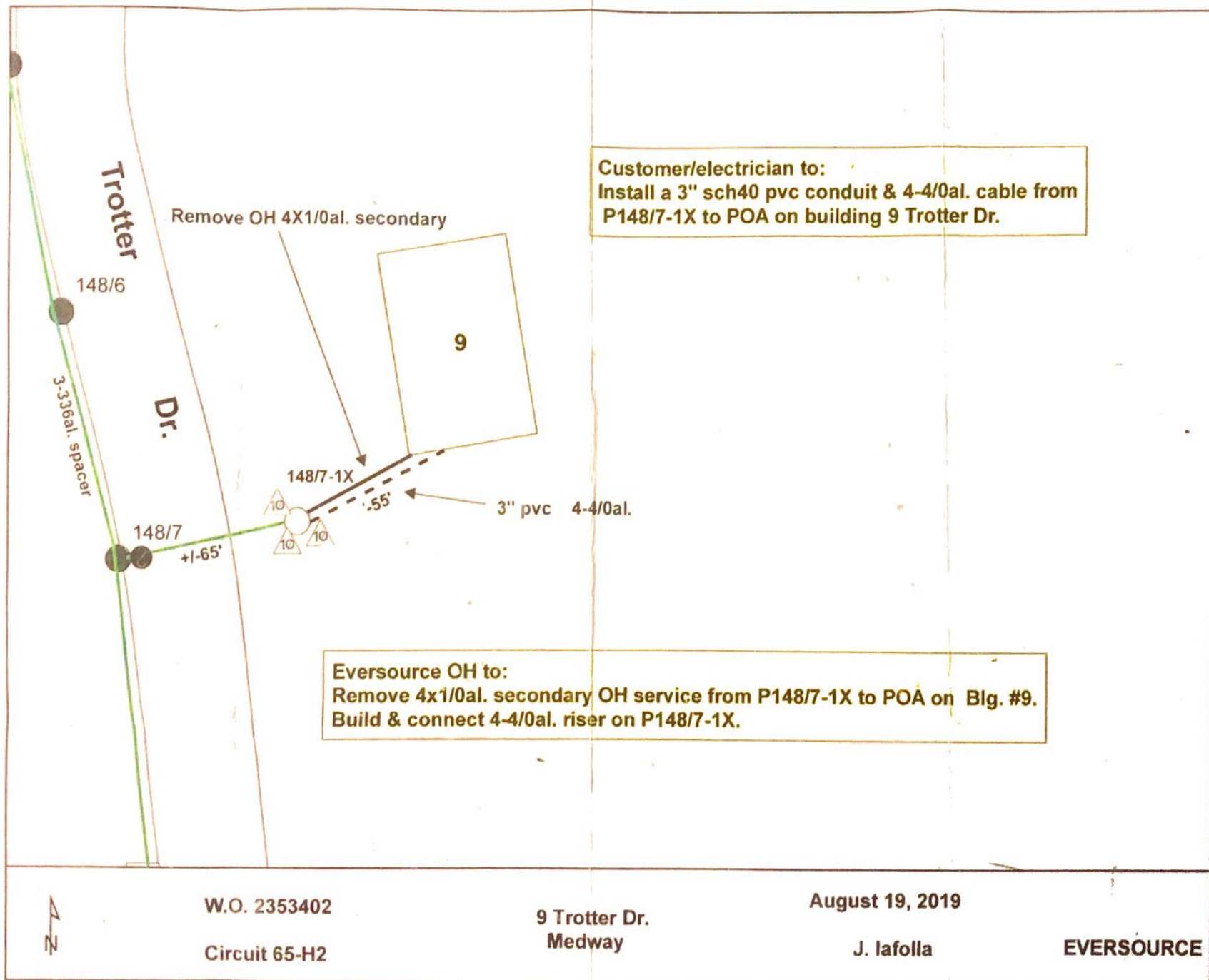
Susan Affleck-Childs

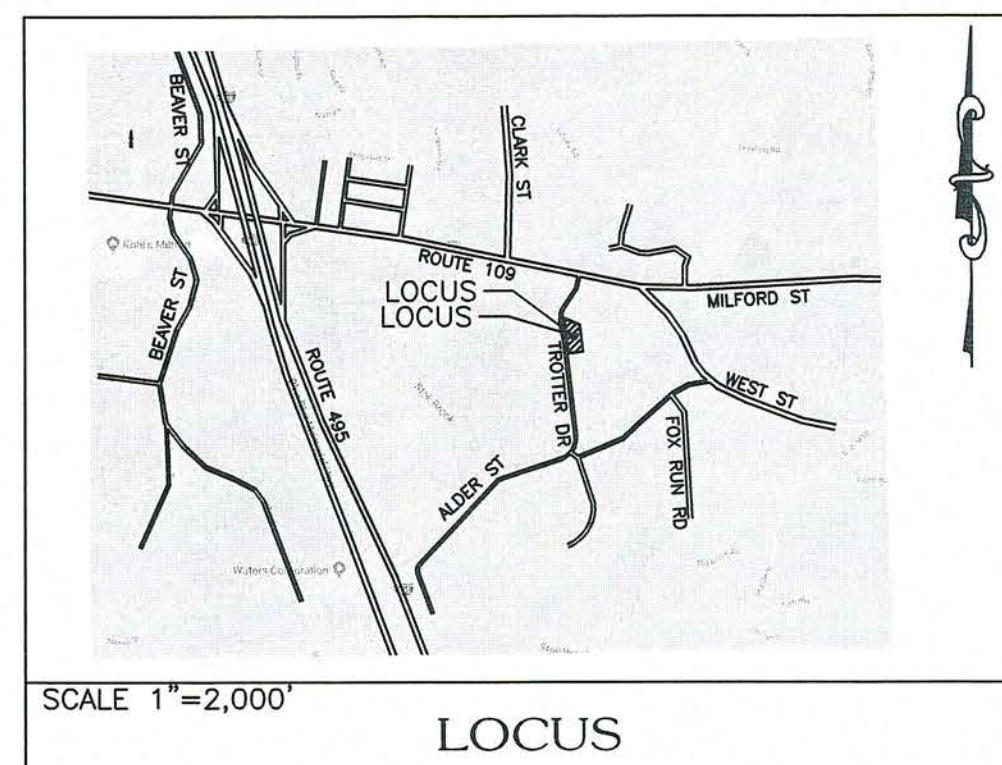
From: Peter Bemis <pbemis@edcma.com>
Sent: Monday, September 30, 2019 10:29 AM
To: Steve Bouley
Cc: Susan Affleck-Childs
Subject: 9 Trotter Drive
Attachments: 9 Trotter Drive Site As-built (9-27-19).pdf; 9 Trotter Electric Trench Repair.pdf

Steve – we went back out to 9 Trotter in order to provide the additional site as-built details that you were seeking, attached is updated Site As-built Plan and image of the completed electric trench asphalt repair (we used IR to repair patch), Jack Mee is all set with occupancy and I will be before Planning Board tomorrow night for Marzilli so I am hoping to review a final occupancy signoff by the Board too – thank you for assisting

Peter Bemis
Engineering Design Consultants, Inc.
32 Turnpike Road
Southborough, MA 01772

(508)480-0225 Ext. 11

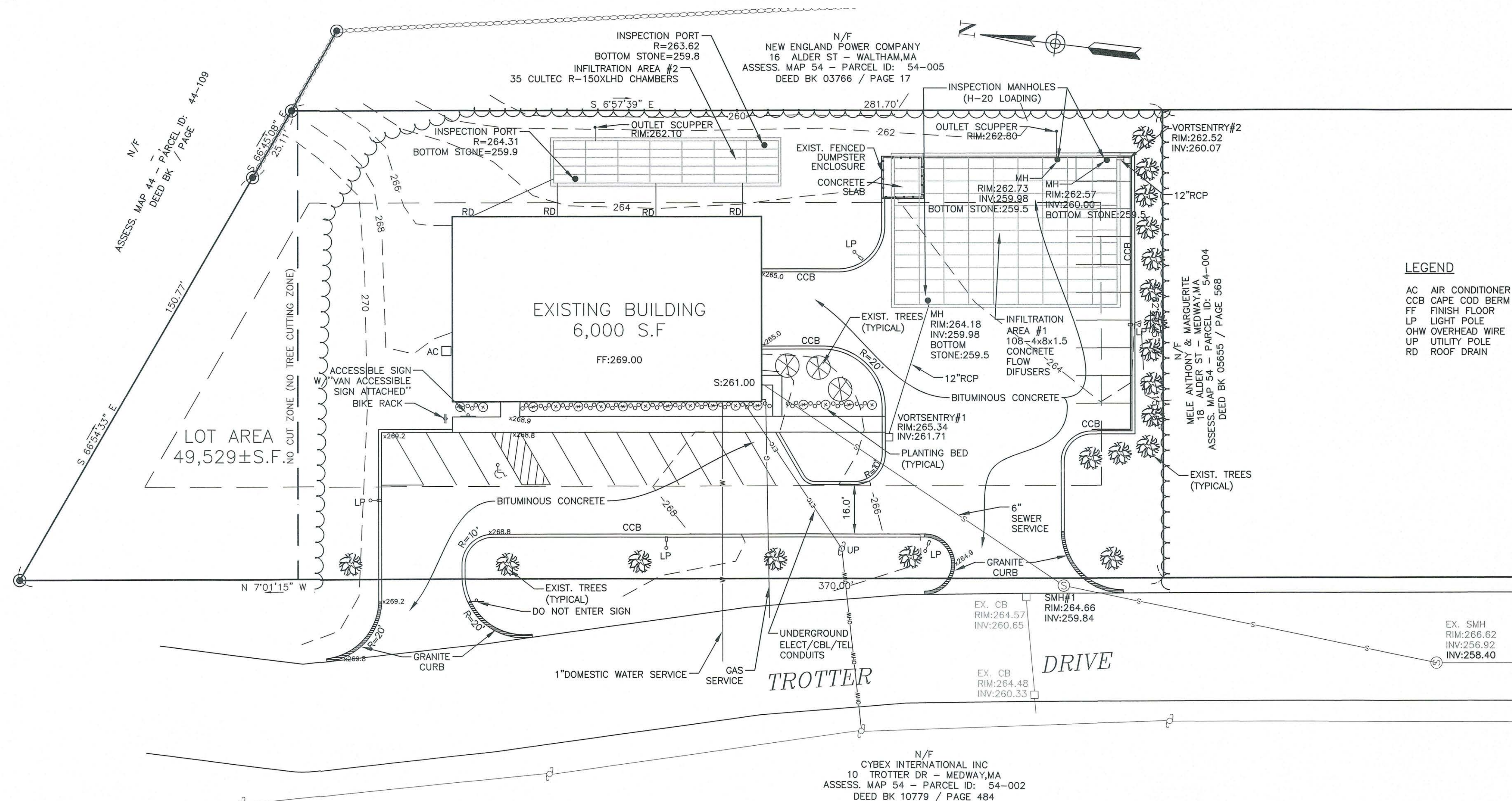




NOTE:
UNDERGROUND UTILITY LOCATIONS ARE
NOT GUARANTEED.

IT SHALL BE THE RESPONSIBILITY OF THE
CONTRACTOR TO VERIFY LOCATIONS AND
ELEVATIONS OF EXISTING UTILITIES PRIOR
TO COMMENCEMENT OF ANY CONSTRUCTION

DIGSAFE IS TO BE NOTIFIED 72 BUSINESS
HOURS IN ADVANCE OF CONSTRUCTION.
CALL DIGSAFE AT 811



LEGEND

AC AIR CONDITIONER
CCB CAPE COD BERM
FF FINISH FLOOR
LP LIGHT POLE
OHV OVERHEAD WIRE
UP UTILITY POLE
RD ROOF DRAIN

PROJECT INFORMATION:

CURRENT OWNER: CTS PROPERTY MANAGEMENT, LLC
430 FRANKLIN VILLAGE DRIVE
SUITE 177
FRANKLIN, MA 02038

MEDWAY ASSESSORS ID: 54-004
DEED REFERENCE: BOOK 36152 PAGE 559

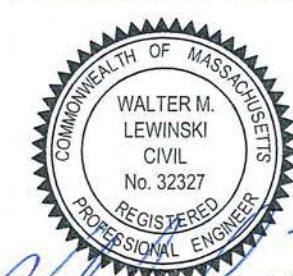
PROPERTY LINES AND EASEMENTS ARE BASED ON THOSE RECORDED IN THE MASSACHUSETTS REGISTRY OF DEEDS IN A 2018 PLAN TITLED "PLAN OF LAND IN MEDWAY, MASS." BY COLONIAL ENGINEERING INC. 11 AWL STREET, MEDWAY, MA, PLAN BOOK 667, PLAN 44.

PROJECT DATUM REFERS TO NAVD 88.

ENGINEERING DESIGN CONSULTANTS, INC. SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, OR PROCEDURES UTILIZED BY THE CONTRACTOR, NOR FOR THE SAFETY OF PUBLIC OR CONTRACTORS EMPLOYEES; OR FOR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

ENGINEERING DESIGN CONSULTANTS, INC.'S LIABILITY FOR THIS PLAN IS LIMITED TO THE EXTENT OF ITS FEE LESS THIRD PARTY COSTS.

		REVISIONS	
DOWN BY:	ZRB	2	9/27/19
CHK'D BY:	PSB	1	9/23/19
APPROV. BY:	WML	0	7/11/19
		REV #	DATE
			DESCRIPTION
			UPDATE AS-BUILT PLAN W/ INFILTRATOR DATA
			UPDATE AS-BUILT PLAN W/ E/T/C CONDUIT



PREPARED BY



Engineering Design Consultants, Inc.
32 Turnpike Road
Southborough, Massachusetts
ph:(508) 480-0225 fax:(800)832-5781

PROJECT

SITE PLAN
9 TROTTER DRIVE
MEDWAY, MASSACHUSETTS 02053

|| TITLE:

AS-BUILT PLAN

OWNER/APPLICANT

CTS PROPERTY MANAGEMENT
430 FRANKLIN VILLAGE DRIVE - SUITE 17
FRANKLIN, MASSACHUSETTS 02038

FILE NO.: 3583
ASBUILT
DATE: JULY 11, 2019
PLAN NUMBER: 1 OF 1
1

Susan Affleck-Childs

From: Susan Affleck-Childs
Sent: Wednesday, September 25, 2019 11:57 AM
To: 'Peter Bemis'
Subject: FW: Updated as-built plan for CTS, 9 Trotter Drive

Hi Peter,

See note below from Steve Bouley at Tetra Tech on the revised as-built plan.

Please revise accordingly.

Also, are you prepared to provide the engineer's certification we discussed?

Susan E. Affleck-Childs
Planning and Economic Development Coordinator
Town of Medway
155 Village Street
Medway, MA 02053
508-533-3291

From: Bouley, Steven [mailto:Steven.Bouley@tetrattech.com]
Sent: Wednesday, September 25, 2019 11:56 AM
To: Susan Affleck-Childs
Subject: RE: Updated as-built plan for CTS, 9 Trotter Drive

Hi Susy,

As-built grading outside of the paved areas has not been provided. Critical elevations of the subsurface drainage is also not included as requested previously, we need this info to confirm if the systems are at the correct elevation.

Steve

Steven M. Bouley, P.E. | Senior Project Engineer | Tetra Tech
Direct +1 (508) 786-2382 | Business +1 (508) 786-2200 | steven.bouley@tetrattech.com

This message, including any attachments, may include privileged, confidential and/or inside information. Any distribution or use of this communication by anyone other than the intended recipient is strictly prohibited and may be unlawful. If you are not the intended recipient, please notify the sender by replying to this message and then delete it from your system.

From: Susan Affleck-Childs <sachilds@townofmedway.org>
Sent: Tuesday, September 24, 2019 5:41 PM
To: Bouley, Steven <Steven.Bouley@tetrattech.com>
Subject: Updated as-built plan for CTS, 9 Trotter Drive

⚠ CAUTION: This email originated from an external sender. Verify the source before opening links or attachments. ⚠

Hi,

See attached items received today re: project completion at CTS. The as-built plan has been revised. To be discussed at the extra PEDB mtg on 10/1.

Please review. Do you feel you can sign off on this?

Andy R wants me to ask for a copy of their application to the utility company.

Susan E. Affleck-Childs
Planning and Economic Development Coordinator
Town of Medway
155 Village Street
Medway, MA 02053
508-533-3291



Excerpt from CTS Site Plan Decision – July 10, 2018

GENERAL CONDITIONS OF APPROVAL

J. Project Completion

1. Site plan and special permit approval shall lapse after one (1) year of the grant thereof if substantial use has not commenced except for good cause. Approved site plans shall be completed by the applicant or its assignees within two (2) years of the date of plan endorsement. Upon receipt of a written request by the applicant filed at least thirty (30) days prior to the date of expiration, the Planning and Economic Development Board may grant an extension for good cause. The request shall state the reasons for the extension and also the length of time requested. If no request for extension is filed and approved, the site plan approval shall lapse and may be reestablished only after a new filing hearing and decision.

2. Prior to issuance of a final occupancy permit, the Applicant shall secure a ***Certificate of Site Plan Completion*** from the Planning and Economic Development Board and provide the ***Certificate*** to the Inspector of Buildings. The ***Certificate*** serves as the Planning and Economic Development Board's confirmation that the completed work conforms to the approved site plan and any conditions and modifications thereto, including the construction of any required on and off-site improvements. The ***Certificate*** also serves to release any security/performance guarantee that has been provided to the Town of Medway. To secure a ***Certificate*** of Site Plan Completion, the applicant shall:

- a) provide the Planning and Economic Development Board with written certification from a Professional Engineer registered in the Commonwealth of Massachusetts that all building and site work has been completed in strict compliance with the approved and endorsed site plan, and any modifications thereto; and
- b) submit an electronic version of an As-Built Plan, prepared by a registered Professional Land Surveyor or Engineer registered in the Commonwealth of Massachusetts, to the Planning and Economic Development Board for its review and approval. The As-Built Plan shall show actual as-built locations and conditions of all buildings and site work shown on the original site plan and any modifications thereto. The final As-Built Plan shall also be provided to the Town in CAD/GIS file format per MASS GIS specifications.

Susan Affleck-Childs

From: Bouley, Steven <Steven.Bouley@tetrattech.com>
Sent: Monday, September 30, 2019 4:34 PM
To: Peter Bemis
Cc: Susan Affleck-Childs
Subject: RE: 9 Trotter Drive

Hi Susy,

All of our comments have been addressed. Please let me know if you need anything else, thanks.

Steve

Steven M. Bouley, P.E. | Senior Project Engineer | Tetra Tech
Direct +1 (508) 786-2382 | Business +1 (508) 786-2200 | steven.bouley@tetrattech.com

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From: Peter Bemis <pbemis@edcma.com>
Sent: Monday, September 30, 2019 10:29 AM
To: Bouley, Steven <Steven.Bouley@tetrattech.com>
Cc: Susan Affleck-Childs <sachilds@townofmedway.org>
Subject: 9 Trotter Drive

⚠ CAUTION: This email originated from an external sender. Verify the source before opening links or attachments. ⚠

Steve – we went back out to 9 Trotter in order to provide the additional site as-built details that you were seeking, attached is updated Site As-built Plan and image of the completed electric trench asphalt repair (we used IR to repair patch), Jack Mee is all set with occupancy and I will be before Planning Board tomorrow night for Marzilli so I am hoping to review a final occupancy signoff by the Board too – thank you for assisting

Peter Bemis
Engineering Design Consultants, Inc.
32 Turnpike Road
Southborough, MA 01772

(508)480-0225 Ext. 11



October 1, 2019
Medway Planning & Economic Development Board
Special Meeting

Town Meeting Articles

- Multi-Family Housing
- Site Plan
- Parking – Electric Vehicle Charging Stations
- Special Permit – Coordination with Site Plan Review
- Outdoor Storage
- Oak Grove

NOTE – The above are revised versions dated September 25 and 26th. I was asked to include more of the existing text around the areas being proposed for changes to provide more of a context for the proposed amendments.

NOTE – The public hearing has been changed from the original October 8th PEDB mtg to October 22nd. We needed more time to refine the various drafts. We also ascertained that October 8th is Yom Kippur.

Revisions for Multifamily Housing

REVISED September 25, 2019

ARTICLE : To see if the Town will vote to amend the Medway Zoning Bylaw regarding Multi-Family Housing as follows. Proposed language is indicated by **bold text**. Deleted language is depicted by ~~strikethrough~~.

By revising the following definitions in SECTION 2 DEFINITIONS.

Multi-Family ~~Building Dwelling or Apartment House~~ – A **building containing three or more dwelling units**, intended and designed to be occupied by ~~more than two~~ **three or more families** living independently in separate dwelling units.

Multi-Family Development – A residential development of more than one building comprised of ~~at least one m~~ **Multi-Family dwellings Building or Apartment Building** and which may also include ~~one existing single-family house~~ **residential buildings** and one or more two-family houses/duplexes.

And by adding a definition for Apartment Building as follows:

Apartment Building - A Multi-Family Building with access to the dwelling units provided from a common entrance and hallway.

And by revising Table 1 – Schedule of Uses in Section 5.4 Schedule of Uses to reduce confusion about where Multi-Family Buildings and Multi-Family Developments are allowed.

Existing Language

	AR-I	AR-II	VR	CB	VC	NC	BI	EI	ER	WI
Multifamily dwellings and multifamily developments subject to Section 5.6.2 E and Section 5.6.4 <i>(Added 11-16-15)</i>	PB	PB	PB	N	PB	N	N	N	N	N

Proposed

Multi-Family dwellings Building, Apartment Building, and Multi-Family Developments subject to Section 5.6.2 E and Section 5.6.4 <i>(Added 11-16-15)</i>	Allowed by special permit from the Planning and Economic Development Board in the Multi-Family Overlay District (See Section 5.6.4) and the Medway Mill Conversion Subdistrict (See Section 5.6.2 E)
---	---

And by changing the term “Multifamily Dwelling” to “**Multi-Family Building**” and by removing the phrases “or Apartment House” and “or Apartment Houses” wherever they appear in Section 5.6.4 Multi-Family Housing.

And by revising Section 5.6.4. Multi-Family Housing, B. Applicability, as follows:
B. Applicability

1. ~~The Planning and Economic Development Board may grant a Multifamily Housing special permit for a Multifamily Dwelling or Apartment House, and/or a Multifamily Development on a tract of land within the AR-I, AR-II, Village Residential, or Village Commercial zoning districts whether on one parcel or a set of contiguous parcels, with a minimum of fifty feet of frontage on an existing street located within the Multifamily Housing Overlay District as shown on a map on file with the Medway Town Clerk.~~

The Planning and Economic Development Board shall be the special permit granting authority for Multi-Family Buildings, Apartment Buildings, and Multi-Family Developments. Multi-Family Buildings, Apartment Buildings, and Multi-Family Developments are allowed by special permit on tracts of land in the AR-I, AR-II, Village Residential, or Village Commercial zoning districts which have a minimum of fifty feet of frontage on an existing street located within the Multi-Family Housing Overlay District as shown on a map on file with the Medway Town Clerk. The tract of land may be one parcel or a set of contiguous parcels. The street that provides frontage shall, in the opinion of the Planning and Economic Development Board, have sufficient capacity to accommodate the projected additional traffic flow from the development.

2. Tracts of land within residential subdivisions approved and constructed under the Subdivision Control Law since September 29, 1953 or granted a special permit under the Medway Zoning Bylaw shall not be eligible for a special permit under this sub-section.
3. These provisions apply to the following:
 - a. The alteration, rehabilitation, conversion or adaptive reuse of existing buildings
 - b. Construction of new buildings or additions to existing buildings.

And by revising Section 5.6.4 Multi-Family Housing, C. Dimensional Regulations by adding a new item 4 as follows. **New text shown in bold.**

C. Dimensional Regulations:

1. The minimum dimensional requirements as specified in Table 2 shall be the same as for the underlying zoning district in which the parcel is located. However, the Planning and Economic Development Board may adjust these dimensional requirements by a four-fifths vote if, in its opinion, such adjustment will result in a more desirable design of the development or provide enhanced buffering for adjacent residential properties.
2. Legally pre-existing nonconforming buildings shall be eligible for a Multifamily Housing special permit provided there is no increase in any dimensional nonconformity or the creation of a new nonconformity, and the applicant can demonstrate compliance with the parking and open space requirements of this sub-section.
3. Maximum building height: 40' except that the maximum building height for a property located within the Medway Village or Rabbit Hill Historic Districts shall not exceed 35'.
4. **The minimum lot size for an Apartment Building shall be one acre.**

And by revising Section 5.6.4. Multi-Family Housing, D, Density Regulations as follows:

D. Density Regulations

1. For lots of one acre or more:
 - a. The density of a Multi-Family ~~Building Dwelling or Apartment House~~, or a Multi-Family Development ~~without an Apartment Building~~ shall not exceed ~~12~~ **8** dwelling units per whole acre. **For example, the maximum density of a 1.8 acre lot shall not exceed 8 dwelling units.**
 - b. The density of an Apartment Building or a Multi-Family Development which includes an Apartment Building shall not exceed 12 dwelling units per whole acre.
2. For lots of less than one acre:
 - a. The density of a Multi-Family Building ~~or Apartment House~~, or Multi-Family Development shall not exceed its relative portion of an acre. For example, the maximum density of a ~~.6 acre lot shall not exceed 7 dwelling units~~ **.5 acre lot shall not exceed 4 dwelling units.**
 - b. The Board may adjust the allowed density by a four-fifths vote if, in its opinion, such adjustment will result in a more suitable design of the development for the particular site and/or allow for more diverse types of housing by meeting two or more of the following criteria. Approved density shall in no event exceed 10 dwelling units per acre.
 - 1) Provide for the inclusion of affordable (SHI qualified) dwelling units in excess of those required by Section 8.6.
 - 2) Provide a deed restriction limiting ____% of the dwelling units to households with incomes between 80% and 120% of the median household income of the region.
 - 3) The property's location is within 3/4 miles of a pedestrian destination including but not limited to a school, convenience store, playground, house of worship, senior center, library or other municipal facility and adequate pedestrian facilities are available or provided.
 - 4) Include a distinctive but neighborhood compatible Multi-Family Building configuration and design.
 - 5) Provide higher level energy efficient building construction than required by the Building Code.

Commented [SA1]: Such units do not qualify for the Subsidized Housing Inventory.

Commented [BSA2]: These do not seem to be bases for increasing density, which affects the neighborhood and the abutters.

And by revising Section 5.6.4. Multi-Family Housing, E, Special Regulations as follows. Deleted text is shown with a strikethrough. New text is shown in bold.

E. Special Regulations

1. Affordable Housing Requirement: Projects approved pursuant to this sub-section shall comply with the Town's Affordable Housing requirements as specified in Section 8.6 Affordable Housing.

2. Open Space: There shall be an open space or yard area equal to at least fifteen percent of the parcel's total area. This area shall be unpaved and may be landscaped or left natural, with the balance being trees, shrubs and grass suitable for the site. This area shall not be built upon but may include a play area.
3. Parking: At least one and one-half off-street parking spaces shall be provided for each dwelling unit plus one additional visitor parking space for every two dwelling units.
4. There shall be Town water and sewer available in the street on which the Multifamily Dwelling or Apartment House or Multifamily Development has its frontage and said water and sewer lines shall have sufficient capacity to accommodate the project.
5. A ~~Multifamily Dwelling or Apartment House~~ **Multi-Family Building or Apartment Building** shall not contain more than twelve dwelling units per building.
6. Any Multi-Family Development shall not exceed forty dwelling units.
7. Historic Properties – Any property proposed for a Multi-Family ~~Dwelling or Apartment House~~ **Building** and/or a Multi-Family Development pursuant to this sub-section which includes a building that is 75 years of age or older shall be reviewed by the Medway Historical Commission to determine if it is an "historically significant building" **and if it is a "preferably-preserved historically significant building"** in accordance with the criteria specified in Medway General Bylaws Article 17 Historical Properties. If so determined **to be a preferably-preserved historically significant building**, the property shall comply with the following additional requirements **for a special permit pursuant to this sub-section**.
 - a. A **preferably-preserved** historically significant building shall not be demolished unless:
 - 1) The Building Commissioner has determined that it is unused, uninhabited or abandoned, and open to the weather; or
 - 2) The Board of Selectmen or the Board of Health has determined it to be a nuisance or dangerous pursuant to applicable state laws and/or the State Building Code;
 - b. Renovation of an historically significant building shall be completed in a manner that preserves and/or enhances the building's historic exterior architecture and features;
 - c. The project may include new construction which shall be designed to be consistent with the historic nature of the property, its primary building, and the surrounding neighborhood including buildings which characterize historic homes, carriage houses, barns, sheds, garages, agricultural buildings, other similar out buildings, and historic forms of house additions traditionally undertaken in the neighborhood.
 - d. Any property proposed for a Multi-Family **Building** and/or a Multi-Family Development and/or an Apartment **Building** pursuant to this sub-section which had a building that was 75 years of age or older located on it, which building has been demolished, shall not be eligible to apply for a Multi-Family **Building** or

Multi-Family Development or Apartment Building special permit until at least three years after the date that the demolition of said building was completed.

And by adding a new Section 5.6.4. Multi-Family Housing J. Effective Date as follows:

J. Effective Date: The amendments to this sub-section 5.6.4 adopted on November 18, 2019 shall not apply to any application for a special permit pursuant to this sub-section which was submitted to and accepted as complete by the Planning and Economic Development Board prior to November 18, 2019, unless the applicant waives the protection of this sub-section 5.6.4.J in the same manner provided in the last paragraph of General Laws chapter 40A, section 6, and elects to proceed under the amended by-law.

And to change the word “multifamily” to “Multi-Family” wherever it appears in the Medway Zoning Bylaw.

Or to act in any manner relating thereto.

PLANNING AND ECONOMIC DEVELOPMENT BOARD

BOARD OF SELECTMEN RECOMMENDATION:

FINANCE COMMITTEE RECOMMENDATION:

SITE PLAN

REVISED Draft – September 25, 2019

ARTICLE ____: To see if the Town will vote to amend the Zoning Bylaw, Section 3.5 Site Plan Review and SECTION 2. DEFINITIONS as follows. Proposed new language is shown as **bold** text. Proposed language to be deleted is shown as ~~striketrough~~.

In sub-section 3.5.3 Site Plan Review, A. Applicability, 2. Minor Site Plan Review

2. Minor Site Plan Review:

- a. New construction or any alteration, reconstruction, renovation, and/or change in use of any multi-family, commercial, industrial, institutional, or municipal building use which is not subject to Major Site Plan Review but which involves one or more of the following:
 - i. the addition of 1,000 to 2,499 square feet of gross floor area; or
 - ii. the addition of ten or more but less than twenty new parking spaces
- b. The redesign, alteration, expansion or modification of an existing parking area involving the addition of ten or more but less than twenty new parking spaces; or
- c. The redesign of the layout/configuration of an existing parking area of twenty to thirty-nine parking spaces
- d. Any use or structure or expansion thereof exempt under Massachusetts G.L. c. 40A, § 3. only to the extent allowed by law.
- e. Removal, disturbance, and/or alteration of 10,000 to 19,999 square feet of impervious surface.
- f. Installation of a wireless communication facility as defined in this *Zoning Bylaw***

And in sub-section 3.5.3. Site Plan Review, A. Applicability, 3. Administrative Site Plan Review as follows:

- 3. Administrative Site Plan Review - New construction or any alteration, reconstruction, renovation or change in use of any multi-family, commercial, industrial, institutional, or municipal building or use which is not subject to Major or Minor Site Plan Review but which involves one or more of the following:
 - a. The addition of less than 1,000 square feet of gross floor area, or
 - b. Exterior alteration or renovation of an existing building or premises, visible from a public or private street or way which includes any of the following:
 - i) installation or replacement of awnings
 - ii) change in a building's exterior surface material

- iii) rearrangement or addition of windows or doors
- iv) façade reconstruction or replacement
- v) roofing if the Building Commissioner determines the roof to be a distinctive architectural feature of the building
- c. The redesign, alteration, expansion or modification of an existing parking area involving the addition of up to nine new parking spaces
- d. The creation of a new parking area involving the addition of up to nine new parking spaces
- e. The redesign of the layout/configuration of an existing parking area of ten to nineteen parking spaces
- f. A change in curb cuts/vehicular access to a site from a public way
- g. Installation or alteration of sidewalks and other pedestrian access improvements
- h. Removal of ~~hedges, living shrubs, and~~ trees greater than ~~four~~ **18 (or 24)** inches in ~~caliper~~ **diameter at four feet above grade.**
- i. Installation of fencing or retaining walls
- j. Outdoor placement of cargo containers, sheds, membrane structures, equipment and materials
- k. Removal/disturbance/alteration of 5,000 – 10,000 square feet of impervious surface
- l. The conversion of a residential use to a permitted non-residential or mixed-use
- ~~m. Installation of a wireless communication facility as defined in this Zoning Bylaw~~
- m. Reduction in the number of parking spaces**
- n. Installation of donation box**

And in sub-section 3.5.3 Site Plan Review, J. Procedures for Administrative Site Plan Review as follows:

- a. The Board may designate one person or an Administrative Site Plan Review Team which shall review and act on applications for administrative site plan review and may require conditions as necessary to satisfy the Administrative Site Plan Review Standards.
- b. Applications for Administrative Site Plan Review shall be provided to the Board.
- c. Consideration of activities subject to administrative site plan review may be advanced to minor or major site plan review status at the determination of the Building Commissioner, the Board, or the Administrative Site Plan Review Team when the

collective scope and/or quantity of the proposed activities is substantial enough to merit review by the Board.

- d. If a proposed activity or use requires administrative site plan review and one or more special permits, the Planning and Economic Development Board shall serve as the permit granting authority for all.**

And to add the following definition to SECTION 2 DEFINITIONS:

Donation Box - A receptacle or container located outside of an enclosed building and designed, intended, or used for the collection and temporary storage of donated items or materials including but not limited to clothing, shoes, books, toys, household materials and/or other goods or materials, which is accessible to and allows the public to deposit goods without assistance. Also known as a donation or drop-off collection bin or box or any combination thereof.

Or to act in any manner relating thereto.

PLANNING AND ECONOMIC DEVELOPMENT BOARD

BOARD OF SELECTMEN RECOMMENDATION:

FINANCE COMMITTEE RECOMMENDATION:

Parking – Electric Vehicle Charging Stations

Revised – September 25, 2019

ARTICLE ____: To see if the Town will vote to amend the Zoning Bylaw by adding the following definition to SECTION 2. DEFINITIONS

Electric Vehicle Charging Station – A physical device that connects an electric vehicle to a source of electricity to transfer electric energy to a battery or other energy storage device in an electric or hybrid vehicle.

And by adding a new item 4. to Section 7.1.1 Off-Street Parking and Loading, E. General Parking Requirements as follows: (**Added text indicated in bold**)

E. General Parking Requirements Except as may be determined pursuant to sub-section J. herein, the following parking requirements shall be met:

1. Computation of Required Parking Spaces.
 - a. The minimum number of parking spaces shall be the largest whole number obtained after calculating the parking requirements in accordance with Table 3. Any fractional parking space shall be rounded up to the next whole number.
 - b. For a parcel with two or more uses, the minimum number of parking spaces shall be the sum of the minimum number of spaces required for each use, determined in accordance with Table 3, except as may be authorized pursuant to sub-section J herein.
 - c. No existing off-street parking spaces shall be eliminated if their removal would cause the total number of spaces provided on a site to be less than the number required in Table 3.
 - d. For purposes of determining compliance with this Section 7.1.1, parking spaces that serve as loading or unloading areas shall not be credited toward the minimum required number of off-street parking spaces in Table 3.
2. Location of Parking Areas. All required off-street parking spaces shall be located on the same premises as the uses they serve except as provided in sub-section J below.
3. Dimensional Standards. Off-street parking spaces shall be laid out as a rectangle in compliance with the following standards:
 - a. Standard Parking Space: Nine feet wide by eighteen feet long, exclusive of maneuvering and driving lanes.
 - b. Small Vehicle Parking Space: Eight feet wide by fifteen feet long, exclusive of maneuvering and driving lanes.
 - c. Parallel/Curbside Parking Space: Eight feet wide by twenty-two feet long

- d. Motorcycle Parking Space: Four feet wide by eight feet long.
 - e. Standard, Small, and Motorcycle Spaces. In off-street parking facilities with more than forty parking spaces, up to 30 percent of the minimum required number of spaces may be designed for small vehicles and an additional 3 percent of the minimum required number of spaces may be designed for motorcycle use. Parking spaces for small vehicles or motorcycles shall be grouped in one or more locations within a parking area and shall be designated by clearly visible signs.
4. **Electric Vehicle Charging Stations – Industrial, commercial, and multifamily housing developments with fifteen or more parking spaces shall provide parking spaces with electric vehicle charging stations for employee, customer and resident use. The quantity of such parking spaces shall be as follows:**

Total # of Parking Spaces	# of Electric Vehicle Parking Spaces
15 – 25	1
26 – 50	2
51 - 75	3
76 - 100	4
101 - 150	5
151 - 200	6
201 – 300	7
301 - 400	8
401 - 500	9
501 - 1000	2% of total

Or to act in any manner relating thereto.

PLANNING AND ECONOMIC DEVELOPMENT BOARD

BOARD OF SELECTMEN RECOMMENDATION:

FINANCE COMMITTEE RECOMMENDATION:

Outdoor Storage

Revised 9-25-19

ARTICLE ____: To see if the Town will vote to amend the Zoning Bylaw by revising the definition of Outdoor Storage in SECTION 2 DEFINITIONS as follows: Added language is **bolded**.

Outdoor Storage – The outside storage or display of materials, **supplies, goods or manufactured products, equipment, machinery, vehicles, and pallets,** produced or used by **or associated** with the principal use of the property, for more than a twenty-four hour period. **Also includes cargo storage containers and membrane structures which are located on the premises.**

And by adding the following definitions in SECTION 2 DEFINITIONS as follows:

Cargo Storage Container – A standardized container that is:

- **Designed for or used in the packing, shipping, movement or transportation of freight, articles, goods or commodities; or**
- **Designed for or capable of being mounted or moved on a rail car; or**
- **Designed for or capable of being mounted on a chassis for movement by a truck trailer or loaded on a ship**

and is used for outside storage accessory to and in support of the principal use on the site. Also known as a shipping container or POD (portable on demand) storage system.

Bulk Storage - Exposed outside storage of sand, lumber, coal, mulch, gravel, stone, soil, aggregate, wood chips, earth materials, or other bulk materials, and bulk storage of liquids in tanks.

Construction Trailer – A modular or portable structure located on the premises of a construction project and used primarily to accommodate temporary offices for developers and contractors during a construction project. May include eating facilities and meeting space. Construction trailers may not be occupied overnight by employees or security personnel, and may not be utilized as a construction equipment storage container.

Dumpster - Any container (other than a conventional trash barrel) intended for the temporary storage of rubbish, garbage, trash, or refuse of any sort and designed to be hoisted and emptied into a truck for removal.

And to add a new sub-section 7.1.3 Outdoor Storage in Section 7.1 Site Development Standards as follows:

7.1.3 Outdoor Storage

A. Purposes – The purposes of this Sub-Section 7.1.3 are to protect the health, safety, and welfare of the Town's residents, to provide for the appropriate location and design of outdoor storage areas in certain business and industrial zoning districts, to ensure that outdoor storage areas are suitably screened from view for residential abutters and the travelling public, and to establish limitations to mitigate any adverse impacts that outdoor storage may have on adjacent properties and rights-of-way.

B. Applicability

1. Outdoor storage is allowed as an accessory use for business uses in the Business-Industrial and Energy Resource districts and for industrial uses in the Business-Industrial, Energy Resource, East Industrial, and West Industrial zoning districts, subject to the regulations herein.
2. Outdoor storage and bulk storage are not permitted as a principal use anywhere in the Town of Medway.
3. These regulations do not apply to temporary outdoor storage of construction materials at construction sites with an active building or development permit issued by an agency of the Town of Medway, construction trailers, and dumpsters as defined in the Zoning Bylaw.

C. Requirements

1. Outdoor storage is allowed as an accessory use only when located on the same lot as and accessory to a principal use which includes a building of at least _____ sq. ft. from which the business conducts its business.
2. The ground area devoted to outdoor storage shall not exceed 30% of the lot area. Any outdoor storage area or combination of areas which when combined exceeds 30% of the site requires a special permit from the Zoning Board of Appeals.
3. Outdoor storage areas on commercial or industrial properties which abut residentially used properties shall be fully screened from the abutting residential properties with fencing and/or densely planted landscaping or buffer area at least six feet high, or higher if what is stored is greater than six feet in height.
4. Outdoor storage areas on commercial or industrial properties which are visible from a public or private way or from publicly accessible areas shall include fencing (or walls) and/or densely planted landscaping or a buffer area at least six feet high, or higher if what is stored is greater than six feet in height.
5. The accumulated height of the contents of an outdoor storage area shall not exceed _____ feet.
6. Outdoor storage areas shall not be permitted within any drive aisles, fire lanes, parking spaces, zoning setback areas, floodways, resource areas under the jurisdiction of the Medway Conservation Commission, or on steep slopes of 15% or greater.
7. Outdoor storage areas shall be comprised only of items that are associated with a business operating in a building on the premises.
8. Outdoor storage areas on property located within the Groundwater Protection District are also subject to the provisions of Section 5.6.3 herein.
9. Do we want to include an option to allow outdoor storage as an accessory use in other business zoning districts (CB, Village Commercial, and/or Neighborhood Commercial) by special permit from the Zoning Board of Appeals?
10. What about outdoor storage in residential districts, particularly the use of membrane structures to store boats or which are used instead of sheds?

Commented [SA1]: PEDB needs to discuss.

Commented [SA2]: PEDB needs to discuss

Commented [SA3]: PEDB needs to discuss.

Commented [SA4]: PEDB needs to discuss.

D. Temporary Use of Cargo Storage Containers and Membrane Structures are allowed as follows:

1. During construction of or at a residential building for a period of one hundred and eighty days or less.
2. For any other purpose so long as the temporary cargo storage container or membrane structure remains on site for no longer than one hundred eighty days per year, fits on the driveway or hard surface, does not protrude into the right-of-way, is not positioned within the zoning setback area, and does not impede sight distance.
3. Any use of a cargo storage container or membrane structure as temporary outdoor storage for a period longer than one hundred eighty days requires a special permit from the Zoning Board of Appeals.

E. Outdoor Storage Requirements for Vehicle Sales

1. All vehicles shall be parked on asphalt or concrete or enclosed within a building. They may not be parked on gravel, grass or any other pervious surfaces.
2. All parked vehicles, vehicle parking services, and vehicle displays shall meet the zoning district's setback requirements.
3. All parked vehicles shall not be parked in the right-of-way nor block or impede site access, sidewalks or driving aisles.

And to add item 15. "Bulk Storage" as a prohibited use in Section 5.2 USE REGULATIONS - PROHIBITED USES, B. as follows. **Added text is noted in bold.**

5.2 PROHIBITED USES

- A. Any use not listed in Section 5.4, Schedule of Uses, or otherwise **not** allowable under the provisions of this Zoning Bylaw is prohibited.
- B. All uses that pose a present or potential hazard to human health, safety, welfare, or the environment through emission of smoke, particulate matter, noise or vibration, or through fire or explosive hazard, or glare are expressly prohibited in all zoning districts. In addition, the following uses are expressly prohibited in all zoning districts.
 1. Abattoir and commercial slaughtering;
 2. Manufacturing and storage of corrosive, poisonous or malodorous acids and chemicals;
 3. Cement, lime, gypsum and plaster-of-Paris manufacture;
 4. Fertilizer manufacture or fat rendering in manufacture of tallow, grease, and oils;
 5. Glue, size and gelatin manufacture;
 6. Petroleum and kerosene refining or distillation and derivation of by-products;
 7. Manufacture, use, storage, transport or treatment, disposal and/or processing of explosive, toxic or hazardous materials;

8. Smelting and reduction of metals or ores;
9. Asphalt plants;
10. Concrete batch plants;
11. Reclamation and reprocessing of asphalt and/or concrete;
12. Lumber mills;
13. Self-Storage facilities;
14. Any other use that produces disturbing or offensive noise, vibration, smoke, gas, fumes, odors, dust or other objectionable or hazardous features;
15. **Bulk Storage**

No use variance shall be granted for any prohibited use set forth in this sub-section within any district in the Town of Medway.

- C. Mobile homes are prohibited, except that pursuant to Massachusetts G.L. c. 40A, Section 3, a mobile home or temporary manufactured home may be placed on the site of a residence destroyed by fire or natural disaster, for a period not to exceed twelve months while the residence is being rebuilt.

And to amend TABLE 1 Schedule of Uses in Section 5.4 SCHEDULE OF USES to add "Bulk Storage" as a prohibited use in all zoning districts.

PLANNING AND ECONOMIC DEVELOPMENT BOARD

BOARD OF SELECTMEN RECOMMENDATION:

FINANCE COMMITTEE RECOMMENDATION:

Oak Grove Zoning

September 26, 2019

ARTICLE : To see if the Town will vote to amend the Zoning Bylaw and Zoning Map as follows.

Amend Section 4.1. DISTRICTS by adding a new Subsection D:

“D. Form-Based Districts

1. Oak Grove Park (OGP)”

Amend the Zoning Map by re-zoning portions of the West Industrial zone and Agricultural-Residential II zone to Oak Grove Village Center, Oak Grove Business Park, and Oak Grove Neighborhood zones, and establishing Transitional Buffer zones within those zoning districts, as shown on the Oak Grove Park Zoning Plan dated _____, which is on file in the Town Clerk’s office.

Amend TABLE 1: Schedule of Uses in Section 5.4 SCHEDULE OF USES to add columns for Oak Grove Village Center (OGVC), Oak Grove Business Park (OGBP), and Oak Grove Neighborhood (OGN) and to denote permitted uses by right and special permit, and prohibited uses in each district, as set forth in the document entitled “Amended Table of Uses” dated _____, which is on file in the Town Clerk’s office.

Insert the following under Section 5.4, SCHEDULE OF USES, and Table 1 Legend:

“See SECTION 9 for additional use regulations applicable to the Oak Grove Park Zoning Districts.”

Add a new SECTION 9 “Oak Grove Park Districts” to the Zoning Bylaw as set forth in the document entitled “Oak Grove Park Zoning Amendments” dated _____, which is on file with the Town Clerk’s office

Or act in any manner related thereto.

PLANNING AND ECONOMIC DEVELOPMENT BOARD

BOARD OF SELECTMEN RECOMMENDATION:

FINANCE COMMITTEE RECOMMENDATION:



October 1, 2019

**Medway Planning & Economic Development Board
Special Meeting**

**Salmon – Stormwater Drainage
Field Change**

- Letter from Coneco Engineering dated 9-18-19
- Proposed stormwater design changes (Sheets C26, C27, C28 and C58) by Coneco, dated 9-5-19
- Email from Building Commissioner Jack Mee dated 9-19-19
- Tetra Tech review letter of proposed changes dated 9-26-19
- Email from Conservation Agent Bridget Graziano dated 9-27-19 as a follow-up to the ConCom's discussion of this same topic at its 9-26-19 meeting.



ENVIRONMENTAL
ECOLOGICAL
ENERGY
SURVEY
CIVIL

September 18, 2019

Town of Medway

Planning Board

Attn.: Susan Affleck-Childs, Planning and Economic Development Director

155 Village Street

Medway, Massachusetts 02053

**Subject: Salmon Health and Retirement Community – Village Street
Field Modification of Drainage Facilities
259, 261, 261R and 263 Village Street, Medway, Massachusetts**

Dear Ms. Affleck-Childs:

On behalf of Continuing Care Management, LLC, Coneco Engineers & Scientists, Inc. (Coneco) is pleased to submit the enclosed supporting documentation for Salmon Health and Retirement Community. These documents are related to field modifications to the drainage facilities that surround the main campus building. The modification to the main building drainage facilities consists of the rerouting of roof drains to existing drainage facilities and resizing or removing infiltration areas. Additionally, during the geotechnical review of the site structural fill was required in areas that encroached the drainage facilities to provide for the appropriate support for the building. The relationship of the structural fill and the positioning of the infiltration trenches around the campus building resulted in a need to ensure the hydraulic connect between the Infiltration Trenches and the in-situ soil. This hydraulic connection is achieved through a 'wick' design consisting of a permeable area in the bottom of the drainage facility surrounded by the structural fill.

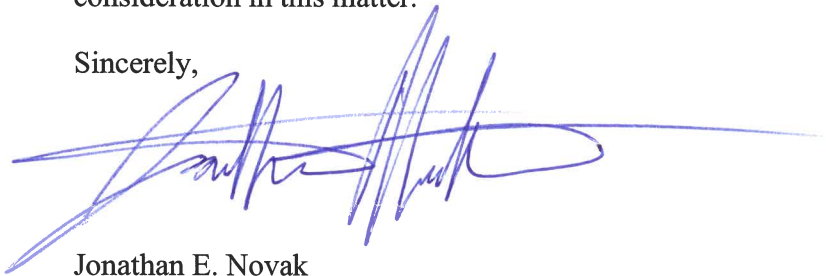
The building modifications consist of rerouting internal plumbing that originally captured roof runoff and directed it southerly to the rear of the building and now captures the same runoff and directs it northerly to infiltration trenches. This modification required infiltration trenches 16 and 20 to be enlarged to accommodate the increased volume of flow. The reduction in volume from this rerouting of internal plumbing allowed for the flows that were originally designed to be directed to Infiltrations Trenches 17, 18, and 19 to be mitigated in a different manner than originally proposed. This allowed for the remaining flows that were originally directed to Infiltration Trenches 17 and 18 to Infiltration Trench 18A. Infiltration Trench 19 was reduced in size to accommodate the reduced roof runoff flows that are being directed to this area.

The drainage modifications resulting from the plumbing rerouting and the structural requirements of the building do not have any added impact to site. The footprint of the development does not change with these modifications and the stormwater runoff rates do not increase from the previous design. All the modifications occur inside of the roadway

surrounding the main campus building and the site's limit of work does not change or have any additional impact to the surrounding resource areas. We have worked with Tetra Tech to ensure that the modifications will meet the Town's standards and submitted design drawings and calculations for their review. It is our opinion that these modifications can be considered field modifications, as the modifications consist of rerouting drainage to previously approved drainage areas and there is no change to the offsite drainage flows or to the approved limit of work. Plans showing the modifications are attached to this letter.

Please contact me at 508-697-3191 ext. 145 with any questions. Thank you for your time and consideration in this matter.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Jonathan E. Novak', with a long horizontal flourish extending to the right.

Jonathan E. Novak
Principal – Engineering

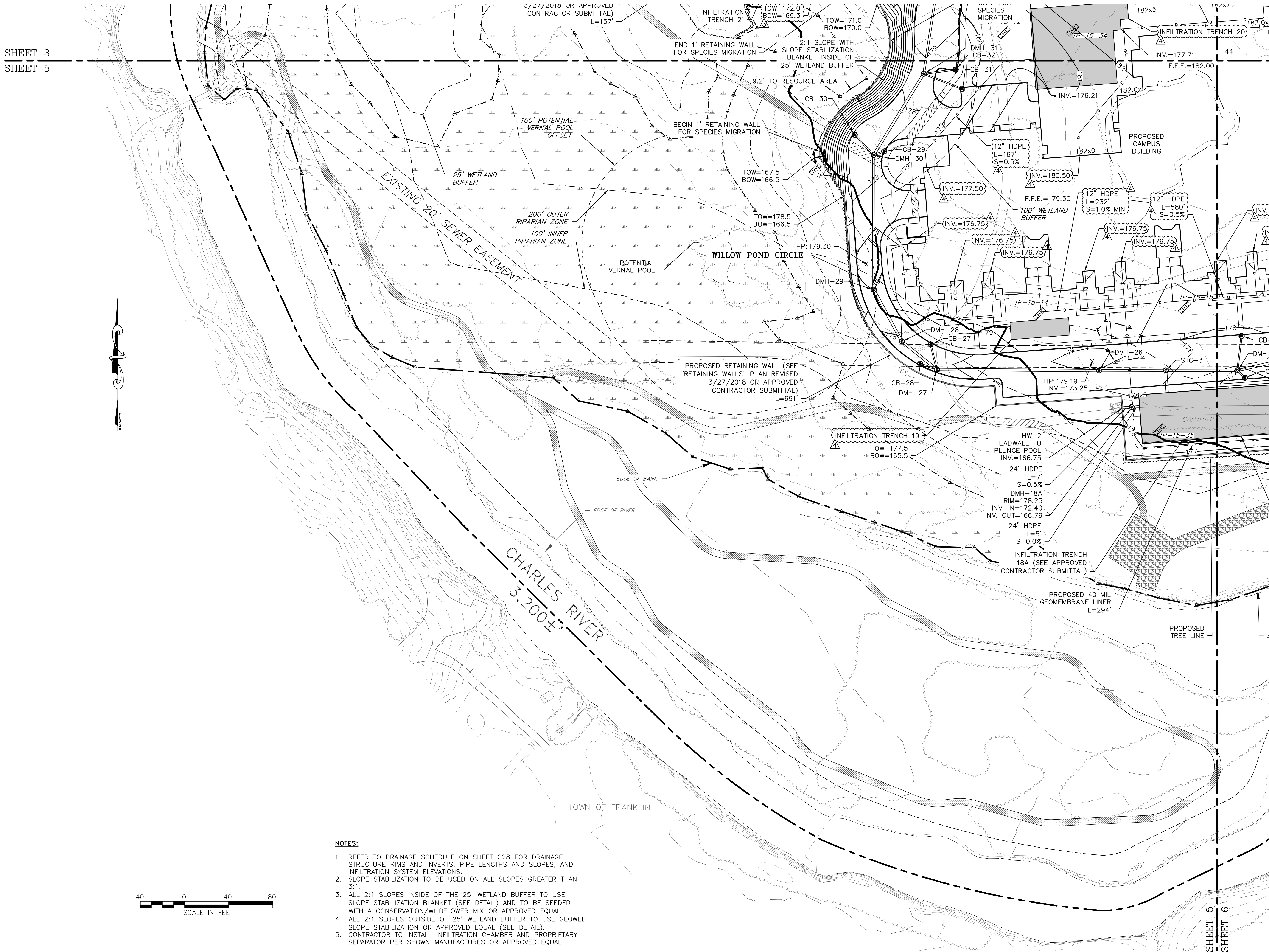
Cc: Ms. Bridget Graziano, Conservation Agent

SHEET 3
SHEET 5



NOTES:

1. REFER TO DRAINAGE SCHEDULE ON SHEET C28 FOR DRAINAGE STRUCTURE RIMS AND INVERTS, PIPE LENGTHS AND SLOPES, AND INFILTRATION SYSTEM ELEVATIONS.
2. SLOPE STABILIZATION TO BE USED ON ALL SLOPES GREATER THAN 3:1.
3. ALL 2:1 SLOPES INSIDE OF THE 25' WETLAND BUFFER TO USE SLOPE STABILIZATION BLANKET (SEE DETAIL) AND TO BE SEEDED WITH A CONSERVATION/WILDFLOWER MIX OR APPROVED EQUAL.
4. ALL 2:1 SLOPES OUTSIDE OF 25' WETLAND BUFFER TO USE GEOWEB SLOPE STABILIZATION OR APPROVED EQUAL (SEE DETAIL).
5. CONTRACTOR TO INSTALL INFILTRATION CHAMBER AND PROPRIETARY SEPARATOR PER SHOWN MANUFACTURES OR APPROVED EQUAL.



REVISIONS	
NO.	DESCRIPTION
1	04/29/19 CONSTRUCTION MODIFICATIONS
2	06/09/19 CONSTRUCTION MODIFICATIONS
4	09/06/19 BULLETIN 4

DATE	DR/CK
04/29/19	MSD/JEN
06/09/19	MSD/JEN
09/06/19	JEN/JEN

PROJECT: SALMON HEALTH AND RETIREMENT COMMUNITY
259, 261, 261R AND 263 VILLAGE STREET
MEDWAY, MASSACHUSETTS 02053

PREPARED FOR: CONTINUING CARE MANAGEMENT, LLC
1 LYMAN STREET
WESTBOROUGH, MASSACHUSETTS 01581

PLAN SET: GRADING & DRAINAGE
SHEET 5 OF 6

CONSTRUCTION DOCUMENTS

DATE: 6/18/2018

DESIGNED: JEN CHECKED: TLD

DRAFTED: DJD IN CHARGE: SMO

SCALE: 1"=40'

PROJECT NO. 8548.0

SHEET NO. **C26**

CONECO
Engineers & Scientists
4 FIRST STREET, BRIDGEWATER, MASSACHUSETTS 02324
PHONE 508-697-3191 OR 800-548-3355 FAX 508-697-5996
WEBSITE: www.coneco.com

DRAINAGE SCHEDULE															
Structure	Rim	Invert In	Pipe Size	Invert Out	Pipe Size	Pipe Length	Slope	Structure	Rim	Invert In	Pipe Size	Invert Out	Pipe Size	Pipe Length	Slope
WILLOW POND CIRCLE															
CB-1	180.08	N/A	N/A	176.78	12"	20	0.5%	CB-13	180.66	N/A	N/A	176.66	12"	12	2.0%
CB-2	180.20	N/A	N/A	176.80	12"	23	0.5%	CB-14	180.66	N/A	N/A	176.62	12"	10	2.0%
DMH-1	181.30	176.68	12"	176.68	12"	93	0.5%	DMH-15	180.90	176.42	12"	175.15	12"	52	0.5%
		176.68	12"							176.42					
		176.68	12"					CB-15	180.29	N/A	N/A	176.29	12"	47	2.0%
CB-3	181.13	N/A	N/A	176.54	12"	21	0.5%	CB-16	180.29	N/A	N/A	175.57	12"	10	0.5%
DMH-2	182.83	176.44	12"	176.44	12"	43	0.5%	DMH-16	180.54	174.89	18"	174.89	18"	92	0.5%
CB-4	181.48	N/A	N/A	176.76	12"	25	0.5%			175.35	12"				
CB-5	181.48	N/A	N/A	176.80	12"	34	0.5%			175.52	12"				
DMH-4	181.72	176.63	12"	176.63	12"	81	0.5%	CB-17	178.94	N/A	N/A	175.73	12"	45	2.0%
DMH-3	182.86	176.22	12"	176.22	18"	120	0.5%	CB-18	179.54	N/A	N/A	175.01	12"	9	2.0%
		176.22	12"					DMH-17	180.70	174.43	18"	174.38	18"	39	0.5%
		176.22	12"							174.83	12"				
STC-1	180.80	175.62	18"	175.62	18"	23	0.5%			174.83	12"				
HW-1	N/A	175.50	18"	175.50	N/A	N/A	N/A	DMH-19	179.59	174.18	18"	174.18	18"	61	0.5%
										174.18	18"				
CB-8	183.35	N/A	N/A	179.79	12"	16	2.0%	CB-40	179.63	N/A	N/A	176.26	12"	24	2.0%
CB-9	183.35	N/A	N/A	179.85	12"	19	2.0%	CB-41	179.63	N/A	N/A	176.18	12"	20	2.0%
DMH-11	183.62	179.47	12"	179.23	12"	90	0.5%	DMH-40	179.99	175.78	12"	175.54	12"	100	0.5%
		179.47	12"							175.78	12"				
DMH-10	184.30	178.78	12"	178.78	12"	129	0.5%	DMH-39	180.58	175.04	12"	175.04	12"	82	0.5%
DMH-9	182.80	178.14	12"	178.14	12"	78	0.5%	CB-38	179.21	N/A	N/A	175.21	12"	18	1.8%
DMH-8	181.17	177.75	12"	177.75	12"	97	0.5%	CB-39	179.21	N/A	N/A	175.16	12"	14	2.0%
CB-6	179.74	N/A	N/A	177.53	12"	13	2.0%	DMH-38	179.45	174.63	12"	174.63	18"	85	0.5%
CB-7	179.74	N/A	N/A	177.39	12"	6	2.0%			174.88	12"				
DMH-5	179.87	177.27	12"	177.26	18"	66	0.5%			174.88	12"				
		177.27	12"					DMH-37	181.18	174.20	18"	174.21	18"	57	0.5%
		177.27	12"					DMH-33	181.75	173.91	18"	173.93	18"	53	0.5%
DMH-6	181.03	176.93	18"	176.93	18"	27	0.5%	DMH-32	180.67	173.64	18"	173.66	18"	94	0.5%
DMH-7	180.50	176.79	18"	176.79	18"	33	0.6%	CB-31	178.09	N/A	N/A	174.59	12"	34	2.0%
STC-2	180.50	176.58	18"	176.58	18"	16	0.5%	CB-32	178.33	N/A	N/A	174.43	12"	26	2.0%
FES-1	N/A	176.50	18"	176.50	N/A	N/A	N/A	DMH-31	178.69	173.17	18"	173.20	24"	84	0.5%
										173.91	12"				
										173.91	12"				
CB-10	180.74	N/A	N/A	177.24	12"	9	11.1%	CB-29	177.52	N/A	N/A	173.00	12"	10	2.0%
DMH-12	180.86	176.24	12"	176.24	12"	192	0.5%	CB-30	177.30	N/A	N/A	173.30	12"	25	2.0%
CB-11	180.69	N/A	N/A	177.13	12"	10	2.0%	DMH-30	177.62	172.76	24"	172.76	24"	119	0.5%
CB-12	180.69	N/A	N/A	177.19	12"	13	2.0%			172.80	12"				
DMH-13	180.89	175.27	12"	175.27	18"	58	0.5%			172.80	12"				
		176.93	12"					DMH-29	179.00	172.17	24"	172.17	24"	49	0.5%
		176.93	12"					DMH-28	177.90	171.92	24"	171.92	24"	41	0.5%
DMH-14	181.75	174.98	18"	174.98	18"	97	0.5%	CB-27	177.65	N/A	N/A	173.21	12"	20	2.0%
DMH-18	180.95	174.50	18"	174.50	18"	63	0.5%	CB-28	177.65	N/A	N/A	173.17	12"	18	2.0%
DMH-19	179.59	174.18	18"	174.18	18"	61	0.5%	DMH-27	177.73	171.71	24"	171.71	24"	138	0.5%
CB-19	179.24	N/A	N/A	175.24	12"	11	2.0%			172.81	12"				
CB-20	179.46	N/A	N/A	175.32	12"	15	2.0%			172.81	12"				
DMH-20	179.12	175.02	12"	174.02	12"	28	0.5%	DMH-26	178.95	171.02	24"	171.02	24"	56	0.5%
		175.02													
DMH-21	178.28	173.88	18"	173.88	18"	101	0.5%	LILAC PATH							
		173.88	12"					CB-34	181.00	N/A	N/A	177.00	12"	15	2.0%
CB-21	176.79	N/A	N/A	173.29	12"	14	2.0%	CB-35	181.00	N/A	N/A	176.88	12"	9	2.0%
CB-22	176.79	N/A	N/A	173.29	12"	19	2.0%	DMH-36	181.19	176.70	12"	174.84	12"	84	0.5%
DMH-22	177.02	173.01	18"	172.87	24"	67	0.5%			176.70	12"				
		173.01	12"							176.70	12"				
		172.91	12"					CB-36	181.45	N/A	N/A	177.45	12"	15	2.0%
DMH-23	178.47	172.54	24"	172.54	24"	162	0.5%	CB-37	181.33	N/A	N/A	177.33	12"	9	2.0%
CB-23	177.15	N/A	N/A	172.90	12"	10	2.0%	DMH-35	181.52	177.15	12"	174.51	12"	19	0.5%
CB-24	176.79	N/A	N/A	173.26	12"	28	2.0%			177.15	12"				
DMH-24	177.45	171.73	24"	171.73	24"	137	0.5%			177.15	12"				
		172.70	12"					CB-33	181.88	N/A	N/A	177.88	12"	14	2.0%
		172.70	12"					DMH-34	181.66	174.42	12"	174.42	12"	101	0.5%
CB-25	177.15	N/A	N/A	173.08	12"	24	2.0%			174.42	12"				
CB-26	176.79	N/A	N/A	172.76	12"	8	2.0%			177.60	12"				
DMH-25	176.95	171.05	24"	171.05	24"	60	0.5%	DMH-33	181.72	173.91	12"	173.91	18"	54	0.5%
		172.60	12"							173.91	18"				
		172.60	12"												
STC-3	178.18	170.75	24"	170.75	30"	18	0.5%								
		170.75	24"												

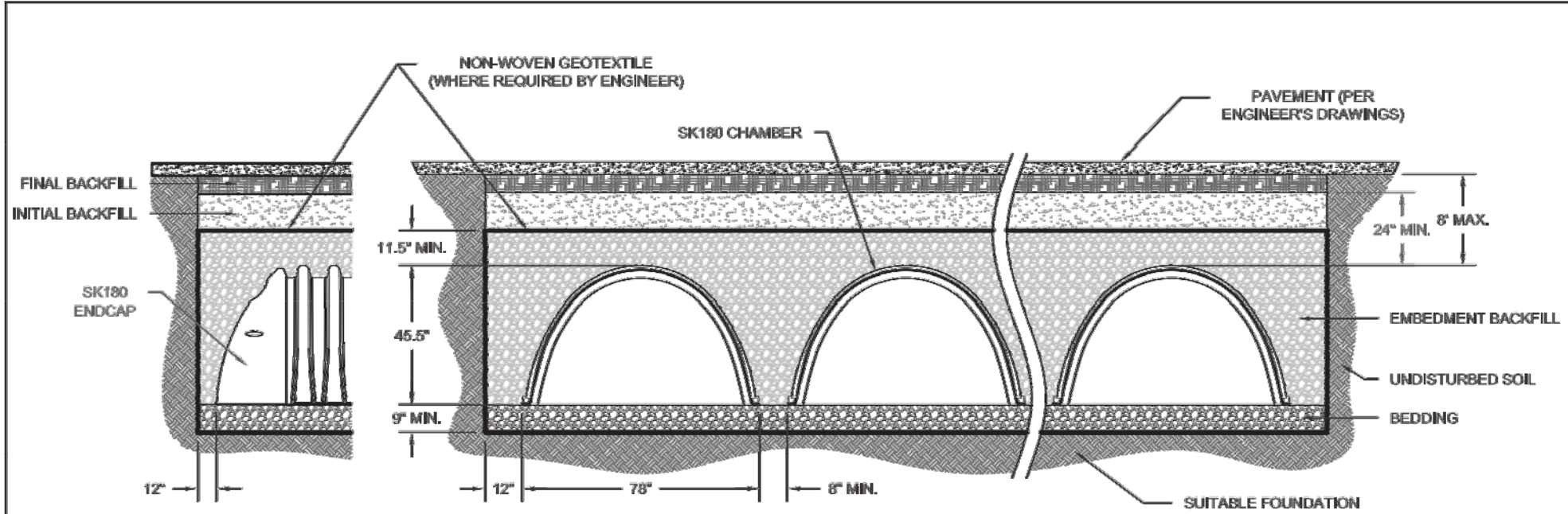
Structure	Rim	Invert In	Pipe Size	Invert Out	Pipe Size	Pipe Length	Slope	Structure	Rim	Invert In	Pipe Size	Invert Out	Pipe Size	Pipe Length	Slope
WATERSIDE RUN															
CB-42	196.06	N/A	N/A	192.00	12"	10	2.0%	CB-42	196.06	N/A	N/A	192.00	12"	10	2.0%
CB-43	196.06	N/A	N/A	192.06	12"	13	2.0%	CB-43	196.06	N/A	N/A	192.06	12"	13	2.0%
DMH-41	196.31	N/A	12"	191.73	12"	147	2.0%	DMH-41	196.31	N/A	12"	191.73	12"	147	2.0%
		191.80								191.80					
		191.80						DMH-42	195.58	188.79	12"	188.79	12"	71	2.0%
DMH-42	195.58	188.79	12"	188.79	12"	53	2.0%	DMH-43	194.01	187.37	12"	187.37	12"	53	2.0%
CB-44	192.95	N/A	N/A	188.91	12"	15	2.0%	CB-44	192.95	N/A	N/A	188.91	12"	15	2.0%
CB-45	192.95	N/A	N/A	188.91	12"	15	2.0%	CB-45	192.95	N/A	N/A	188.91	12"	15	2.0%
DMH-44	192.76	186.31	12"	186.31	12"	144	2.0%	DMH-44	192.76	186.31	12"	186.31	12"	144	2.0%
		188.61	12"							188.61	12"				
		188.61	12"					DMH-45	189.79	183.43	12"	183.43	12"	129	2.0%
DMH-45	189.79	183.43	12"	183.43	12"	19	2.0%	CB-46	187.64	N/A	N/A	181.23	12"	24	2.0%
CB-46	187.64	N/A	N/A	181.23	12"	24	2.0%	CB-47	187.65	N/A	N/A	181.33	12"	24	2.0%
CB-47	187.65	N/A	N/A	181.33	12"	144	0.5%	DMH-46	187.85	180.85	12"	180.85	18"	144	0.5%
		180.85	12"							180.85	12"				
		180.85	12"					DMH-47	188.05	180.13	18"	180.13	18"	39	0.5%
DMH-47	188.05	180.13	18"	180.13	18"	98	0.5%	DMH-48	187.29	179.94	18"	179.94	18"	98	0.5%
CB-48	185.65	N/A	N/A	181.55	12"	9	2.0%	CB-48	185.65	N/A	N/A	181.55	12"	9	2.0%
CB-49	185.65	N/A	N/A	181.65	12"	14	2.0%	CB-49	185.65	N/A	N/A	181.65	12"	14	2.0%
DMH-49	186.23	179.45	18"	179.45	18"	26	0.5%	DMH-49	186.23	179.45	18"	179.45	18"	26	0.5%
		181.37	12"							181.37	12"				
		181.37	12"					DMH-50	186.23	179.32	18"	179.32	18"	173	0.5%
DMH-50	186.23	179.32	18"	179.32	18"	89	0.5%	DMH-51	185.99	178.45	18"	177.71	18"	9	2.0%
DMH-51	185.99	178.45	18"	177.71	18"	9	2.0%	CB-50	184.18	N/A	N/A	180.12	12"	12	2.0%
CB-50	184.18	N/A	N/A	180.12	12"	12	2.0%	CB-51	184.18	N/A	N/A	180.18	12"	32	0.5%
CB-51	184.18	N/A	N/A	180.18	12"	32	0.5%	DMH-52	184.14	177.27	18"	177.27	18"	32	0.5%
DMH-52	184.14	177.27	18"	177.27	18"	100	0.5%			179.94	12"				
		179.94	12"							179.94	12"				
DMH-53	183.38	177.11	18"	177.11	18"	12	2.0%	DMH-53	183.38	177.11	18"	177.11	18"	100	0.5%
CB-52	181.65	N/A	N/A	177.53	12"	16	2.0%	CB-52	181.65	N/A	N/A	177.53	12"	16	2.0%
CB-53	181.65	N/A	N/A	177.61	12"	79	0.5%	CB-53	181.65						

INFILTRATION TRENCH SUMMARY TABLE												
INFILTRATION TRENCH #	EXISTING GRADE	APPROXIMATE GROUNDWATER ELEVATION	APPROXIMATE FINISHED GRADE	TRENCH INFORMATION				CULTEC 330 HD INFORMATION				
				TOP ELEVATION	BOTTOM ELEVATION	MINIMUM LENGTH	MINIMUM WIDTH	INVERT IN	PIPE	TOP ELEVATION	BOTTOM ELEVATION	NUMBER OF UNITS
8	176.50	175.00	183.75	182.75	179.21	73'-6"	11'-8"	181.71	6" HDPE	182.25	179.71	20
9	176.50	175.00	184.00	183.00	179.46	17'-6"	16'-0"	181.96	6" HDPE	182.50	179.96	6
10	177.10	175.60	185.00	184.00	180.46	32'-2"	18'-4"	182.96	6" HDPE	183.50	180.96	12
11A	176.00	174.00	186.25	185.25	181.21	17'-6"	16'-0"	184.21	6" HDPE	184.75	182.21	6
11	176.15	174.65	184.00	183.00	179.46	31'-6"	38'-4"	181.96	6" HDPE	182.50	179.96	28
12	176.50	174.50	184.00	183.00	178.96	52'-6"	11'-8"	181.96	6" HDPE	182.50	179.96	14
13	176.07	173.90	182.50	181.50	177.96	45'-10"	12'-2"	180.46	6" HDPE	181.00	178.46	12
14	175.15	171.82	181.50	180.50	176.96	45'-10"	12'-2"	179.46	6" HDPE	180.00	177.46	12
15	174.00	169.42	180.75	179.25	175.71	52'-6"	11'-8"	178.21	6" HDPE	178.75	176.21	14
16*	174.65	166.23	180.25	179.00	174.96	83'-5"	36'-8"	177.96	6" HDPE	178.50	175.96	77
17*	-	-	-	-	-	-	-	-	-	-	-	-
18*	-	-	-	-	-	-	-	-	-	-	-	-
18A**	169.15	166.82	178.50	175.41	169.91	191'-3"	44'-4"	170.66	30" HDPE	174.45	170.66	156
19*	168.50	166.33	177.75	176.75	172.71	53'-4"	15'-8"	175.71	6" HDPE	176.25	173.71	21
20*	171.15	168.48	180.25	179.25	175.21	73'6"	54'-4"	178.21	6" HDPE	178.75	176.21	158
21	168.85	166.27	179.00	175.50	171.46	38'-6"	27'-8"	174.46	6" HDPE	175.00	172.46	25
22	174.15	171.15	180.75	179.75	175.71	38'-6"	22'-4"	178.71	6" HDPE	179.25	176.71	20
22A	174.15	170.82	182.25	180.75	177.21	45'-6"	6'-4"	179.71	6" HDPE	180.25	177.71	6
23*	172.85	170.68	180.75	179.75	175.71	59'-6"	59'-8"	178.71	6" HDPE	179.25	176.71	88
24	176.50	173.83	182.50	181.50	177.96	31'-6"	11'-2"	180.46	6" HDPE	181.00	178.46	8
30	176.64	174.64	186.00	184.50	180.96	38'-6"	17'-0"	183.46	6" HDPE	184.00	181.46	15

*SIZE AND DESIGN PER APPROVED CONTRACTOR SUBMITTAL

**TRENCH 18A WAS DESIGNED USING LANE 180 STORMKEEPERS

FOUNDATION SCHEDULE						
Road	Unit #	Unit Style	FFE	TOF	GFE	
WILLOW POND CIRCLE	1	2	183.50	182.25	181.50	
	3	2	183.50	182.25	181.50	
	2	2	185.50	184.25	183.50	
	4	2	185.00	183.75	183.00	
	6	2	185.00	183.75	183.00	
	8	2	184.25	183.00	181.75	
	10	3	183.25	182.00	181.25	
	12	2	186.00	184.75	184.00	
	14	2	186.50	185.25	184.50	
	16	2	186.75	185.50	184.75	
	18	3	186.75	185.50	184.75	
	19	2	186.25	185.00	184.25	
	21	2	185.75	184.50	183.75	
	20	2	185.50	184.25	183.50	
	22	3	184.50	183.25	182.50	
WALNUT GROVE	23	1	184.25	183.00	182.25	
	25	2	183.50	182.25	181.50	
	27	2	184.50	183.25	182.50	
	29	2	184.50	183.25	182.50	
	31	2	183.50	182.25	181.50	
	33	3	183.50	182.25	181.50	
	1	2	186.50	185.25	184.50	
	2	2	186.00	184.75	184.00	
	3	2	186.00	184.75	184.00	
	4	2	186.25	185.00	184.25	
	5	2	187.50	186.25	185.50	
	6	2	188.25	187.00	186.25	
	LILAC PATH	1	2	184.50	183.25	182.50
		3	2	184.25	183.00	182.00
		2	2	184.50	183.25	182.50
4		2	184.50	183.25	182.50	
7		1	184.50	183.25	182.50	
WATERSIDE RUN	5	2	184.50	183.25	182.50	
	6	2	185.00	183.75	183.00	
	8	3	185.00	183.75	183.00	
	2	2	196.25	195.00	192.25	
	4	2	194.25	193.00	192.25	
	6	1	193.50	192.25	190.25	
	8	2	191.75	190.50	189.75	
	9	1	195.00	193.75	188.50	
	11	2	195.00	193.75	188.25	
	10	1	191.50	190.25	188.25	
	12	2	191.50	190.25	189.00	
	13	3	194.25	193.00	189.50	
	15	3	193.75	192.50	189.50	
	14	2	191.50	190.25	189.50	
	16	2	191.50	190.25	189.00	
	18	2	191.25	190.00	188.50	
	20	1	189.50	188.25	186.75	
	22	2	188.50	187.25	186.50	
	24	2	188.25	187.00	185.00	
	26	2	186.50	185.25	184.50	
	28	2	185.50	184.25	183.00	
	30	1	185.50	184.25	183.00	



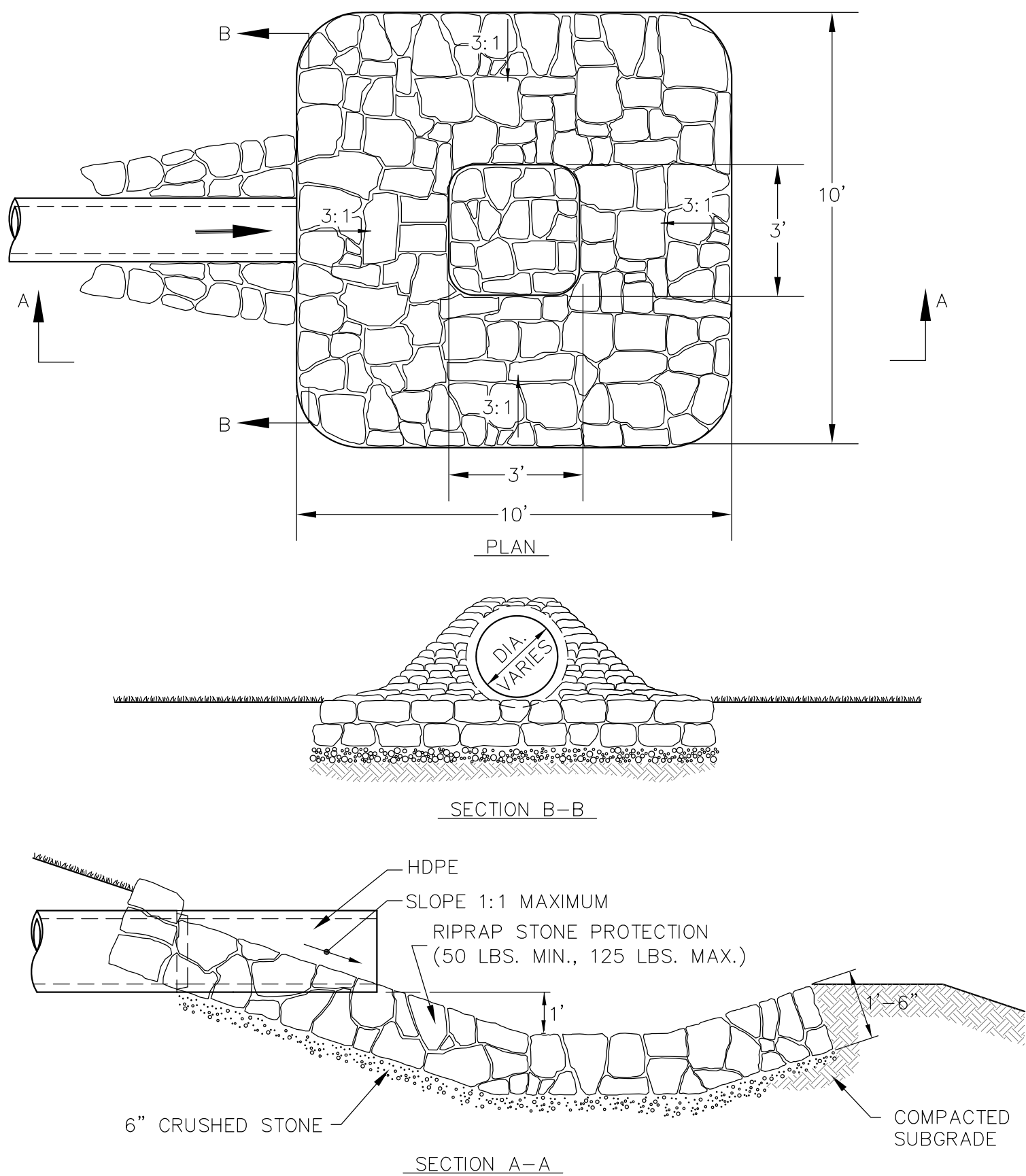
- NOTES:**
1. CHAMBER SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S LATEST INSTALLATION GUIDELINES.
 2. FOUNDATION TRENCH BOTTOMS WITH UNSTABLE OR UNYIELDING MATERIAL SHALL BE EXCAVATED TO A DEPTH DIRECTED BY THE ENGINEER AND REPLACED WITH SUITABLE MATERIAL. FOR UNSTABLE MATERIALS, GEOTEXTILE MAY BE USED TO STABILIZE THE TRENCH BOTTOM, IF DIRECTED BY THE ENGINEER. THE DESIGN ENGINEER IS RESPONSIBLE FOR VERIFYING FOUNDATION SUITABILITY.
 3. GEOTEXTILE: A 6oz NON-WOVEN GEOTEXTILE FILTER FABRIC SHOULD BE USED TO PREVENT NATIVE SOIL FROM MIGRATING INTO THE INITIAL BACKFILL MATERIAL.
 4. BEDDING: SUITABLE MATERIAL SHALL BE A 3/4" - 2" INCH, CLEAN, CRUSHED ANGULAR STONE, OR AASHTO M43 SIZES (0, 357, 4, 467, 5, 56, 67) WITH CLEAN, CRUSHED, ANGULAR STONE ADDED TO THE GRADATION, e.g., CLEAN, CRUSHED, ANGULAR #3 (AASHTO M43) STONE. MINIMUM BEDDING THICKNESS SHALL BE 9 INCHES. COMPACTION SHOULD BE DONE IN LIFTS OF NO MORE THAN 9 INCHES TO A DENSITY OF 95% STANDARD PROCTOR DENSITY.
 5. EMBEDMENT BACKFILL: SUITABLE MATERIAL SHALL BE A 3/4" - 2" INCH, CLEAN, CRUSHED ANGULAR STONE, OR AASHTO M43 SIZES (0, 357, 4, 467, 5, 56, 67) WITH CLEAN, CRUSHED, ANGULAR STONE ADDED TO THE GRADATION, e.g., CLEAN, CRUSHED, ANGULAR #3 (AASHTO M43) STONE. MINIMUM BEDDING THICKNESS SHALL BE 9 INCHES. EMBEDMENT BACKFILL SHALL EXTEND FROM TOP OF BEDDING TO NOT LESS THAN 18" INCHES ABOVE THE TOP OF THE CHAMBER. NO COMPACTION IS REQUIRED BUT AN EFFORT SHOULD BE MADE TO HAND KNIFE STONE INTO ALL CONTOURINGS.
 6. INITIAL BACKFILL: SUITABLE MATERIAL SHALL BE A GRANULAR, WELL GRADED SOIL WITH LESS THAN 20% FINES OR AASHTO M43 SIZES (0, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 76, 8, 89, 9, 10) WITH CLEAN, CRUSHED, ANGULAR STONE ADDED TO THE GRADATION. INITIAL BACKFILL SHALL EXTEND FROM TOP OF EMBEDMENT BACKFILL TO NOT LESS THAN 24 INCHES ABOVE THE TOP OF THE CHAMBER. COMPACTION SHOULD BE BROUGHT TO A MINIMUM OF 95% STANDARD PROCTOR DENSITY.
 7. FINAL BACKFILL: SUITABLE MATERIALS SHALL BE ANY SOIL DIRECTED BY THE ENGINEER. FINAL BACKFILL SHALL EXTEND FROM TOP OF INITIAL BACKFILL TO NO MORE THAN 8 FEET ABOVE THE TOP OF THE CHAMBER. COMPACTION LEVELS SHOULD FOLLOW ENGINEER'S RECOMMENDATIONS.
 8. MINIMUM COVER FOR UP TO H-25 TRAFFIC APPLICATIONS A MINIMUM COVER OF 24 INCHES IS REQUIRED, MEASURED FROM THE TOP OF THE CHAMBER TO THE BOTTOM OF THE FLEXIBLE PAVEMENT. ADDITIONAL COVER MAY BE REQUIRED FOR CONSTRUCTION LOADS OR WHERE RUTTING MAY TAKE PLACE.
 9. MAXIMUM COVER: A COVER HEIGHT OF OVER 8 FEET IS NOT RECOMMENDED. COVER HEIGHT IS MEASURED FROM THE TOP OF THE CHAMBER TO THE TOP OF THE PAVEMENT.

THIS DETAIL DEPICTS RECOMMENDED INSTALLATION PRACTICES AND IS NOT INTENDED TO SUPERSEDE ANY NATIONAL, STATE OR LOCAL SPECIFICATIONS. LANE ENTERPRISES, INC. BEARS NO RESPONSIBILITY FOR ANY ALTERATIONS, REVISION AND/OR DEVIATION FROM THIS STANDARD DETAIL. LANE ENTERPRISES, INC. HAS NOT PERFORMED ANY ENGINEERING OR DESIGN SERVICE FOR THIS PROJECT. THE DESIGN ENGINEER SHALL REVIEW THESE DETAILS PRIOR TO CONSTRUCTION TO VERIFY SUITABILITY.



TYPICAL CROSS SECTION
SK180 CHAMBER

DESIGNED BY	AJ
DATE	12/11/2014
SCALE	N.T.S.
REVISION	1 of 1



PLUNGE POOL DETAIL
N.T.S.

STORMKEEPER™
STORMWATER CHAMBER

StormKeeper SK180

The StormKeeper SK180 is the highest quality and structurally sound stormwater chamber available on the market. The StormKeeper family of chambers are designed utilizing the most sophisticated and comprehensive techniques to meet the stringent AASHTO LRFD and ASTM requirements. Intended for use under traffic and nontraffic areas, StormKeeper provides a truly cost-effective and structurally superior system to provide underground stormwater storage, saving valuable land and protecting the environment.



StormKeeper SK180

Nominal Dimensions

Size (L x W x H)	88.7" x 77.8" x 45.5"
Chamber Storage	113.6 cf
Min. Installed Storage	180.0 cf
Weight	127 lbs

StormKeeper SK180 End Caps

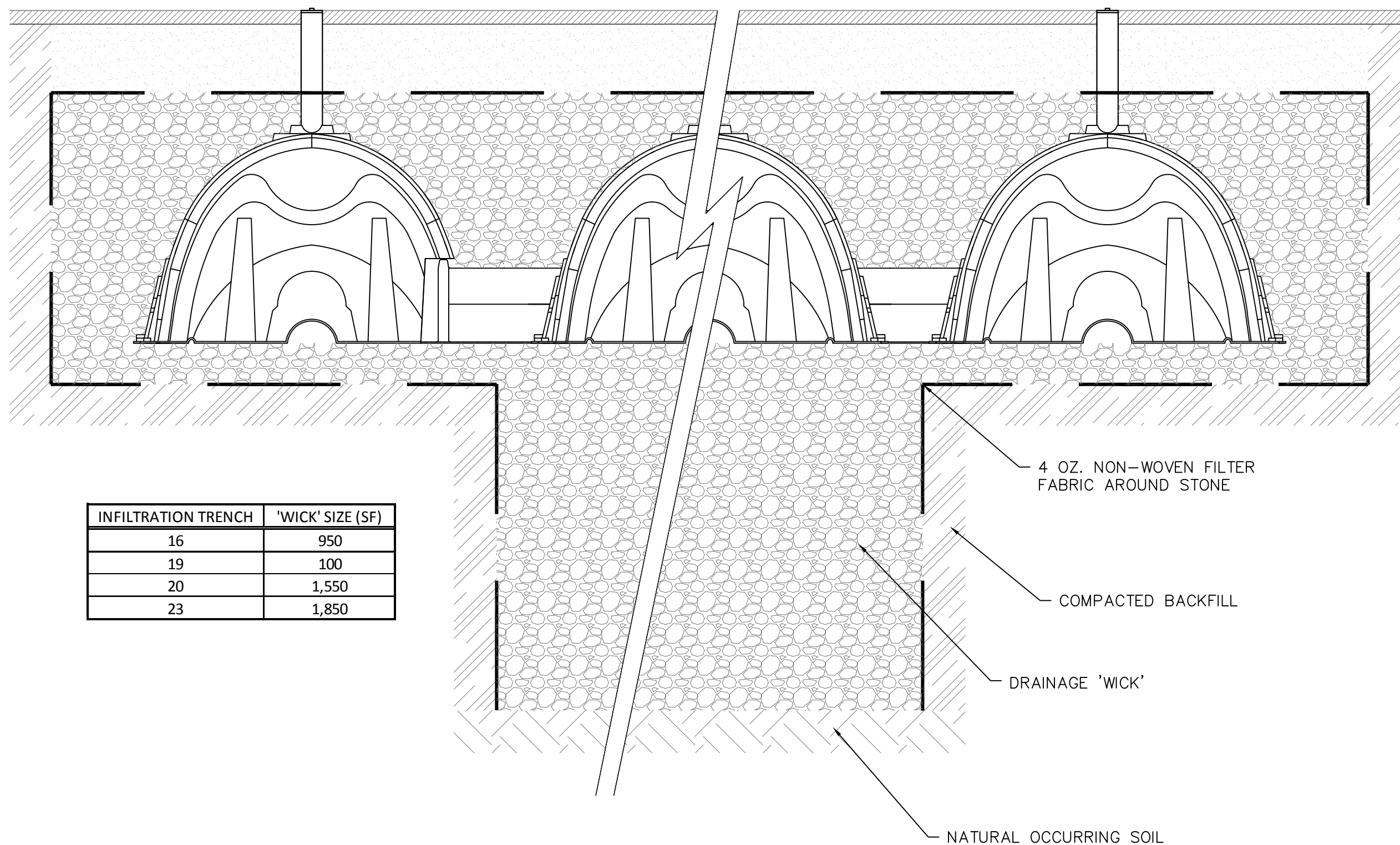
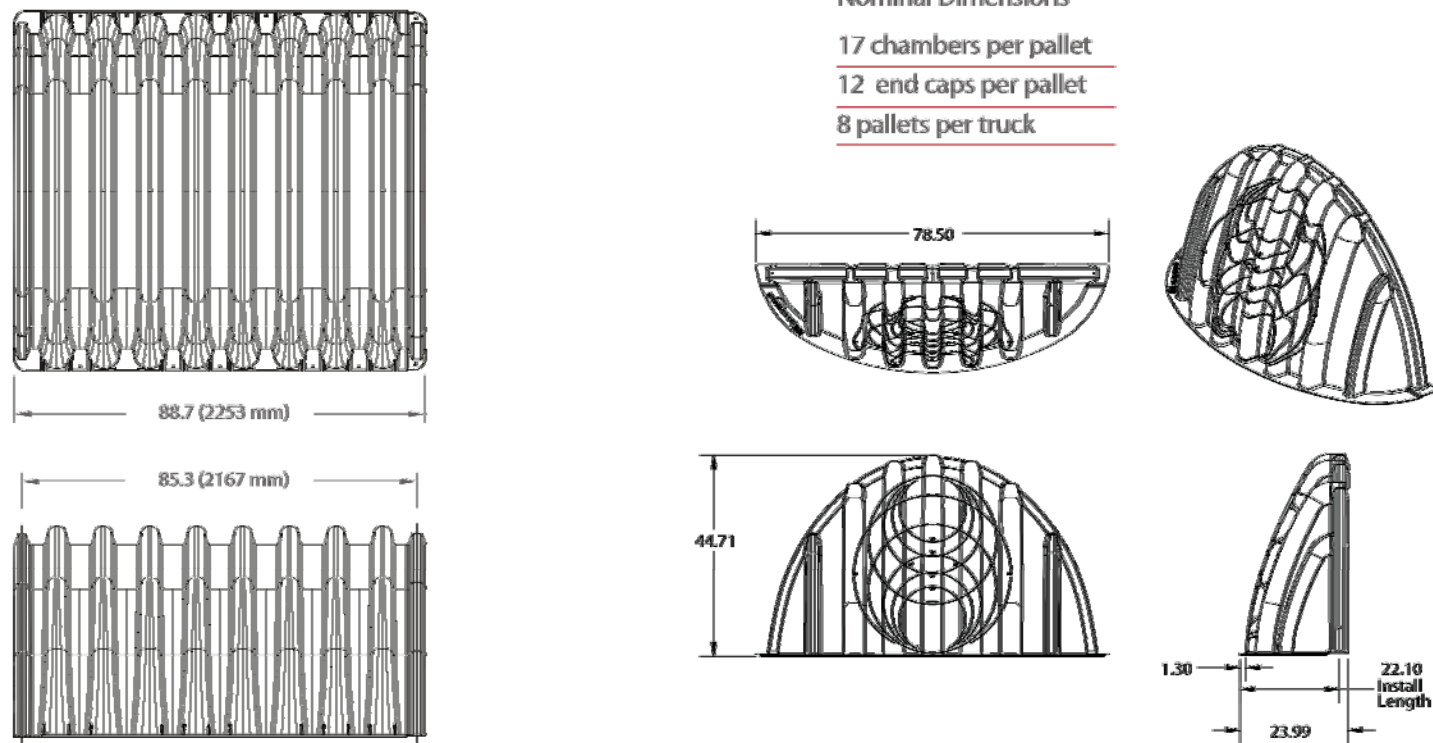
Nominal Dimensions

Size (L x W x H)	23.99" x 78.5" x 44.71"
End Cap Storage	15.3 cf
Min. Installed Storage	41.8 cf
Weight	52 lbs

Shipping

Nominal Dimensions

17 chambers per pallet
12 end caps per pallet
8 pallets per truck



INFILTRATION TRENCH 'WICK'
N.T.S.

REVISIONS			
NO.	DATE	DESCRIPTION	DR/CHK
1	04/29/19	CONSTRUCTION MODIFICATIONS	MSD/JEN
2	08/29/19	CONSTRUCTION MODIFICATIONS	MSD/JEN
4	09/05/19	BULLETIN 4	JEN/JEN

PREPARED FOR:
CONTINUING CARE MANAGEMENT, LLC
1 LYMAN STREET
WESTBOROUGH, MASSACHUSETTS 01581

CONSTRUCTION DETAILS
SHEET 8 OF 12

PROJECT:
SALMON HEALTH AND RETIREMENT
COMMUNITY
259, 261, 261R AND 263 VILLAGE STREET
MEDWAY, MASSACHUSETTS 02053

CONSTRUCTION
DOCUMENTS

CONECO
Engineers & Scientists
4 FIRST STREET, BRIDGEWATER, MASSACHUSETTS 02324
PHONE 508-697-3191 OR 800-546-3355; FAX 508-697-5996
WEBSITE: www.coneco.com

DATE	6/11/2018
DESIGNED: JEN	CHECKED: TLD
DRAFTED: DJD	IN CHARGE: SMO
SCALE:	N.T.S.
PROJECT NO.	8548.0
SHEET NO.	

C58



**TOWN OF MEDWAY
BUILDING DEPARTMENT
155 VILLAGE STREET
MEDWAY MASSACHUSETTS
PHONE 508-533-3253
FAX-508-321-4983**

Jack Mee
Building Commissioner &
Zoning Enforcement
jmee@townofmedway.org

Rindo Barese
Building Inspector
rbarese@townofmedway.org

September 19, 2019

Susy Affleck-Childs
Planning & Economic Development
Town of Medway

**RE: SALMON HEALTH 259,261,261R and 263 VILLAGE
STREET. FIELD MODIFICATION OF DRAINAGE FACILITIES**

Dear Susy,

I have received and reviewed the letter sent to you on September 18, 2019 from Coneco Engineers & Scientists. Within this letter Jonathan Novak (Principal-Engineering) describes the needed field modifications to the drainage facilities that surround the main campus building. He further describes that these modifications do not change the footprint of the development and the storm water run-off rates do not increase from the approved design.

Based on the fact that these modification consist of rerouting drainage to previously approved drainage areas and do not change;

- the size, type, or location of the buildings
- access and exit curb cuts
- overall parking layout
- buffer strips
- screening or affect the overall appearance of the buildings

I would consider these modifications minor field changes.

If you or the Board should have any further questions on this, please feel free to contact me.

Sincerely,

Jack Mee

Susan Affleck-Childs

From: Bouley, Steven <Steven.Bouley@tetrattech.com>
Sent: Thursday, September 26, 2019 4:05 PM
To: Susan Affleck-Childs; Bridget Graziano
Cc: Jeff Robinson; Jonathan E. Novak; Picard, Brad; Barbara Saint Andre
Subject: The Willows Drainage Modification Review
Attachments: SalmonDrain-PEDBRev(2019-09-26).pdf

Hi Susy/Bridget, please see attached review of the proposed changes to the drain infrastructure at the site.

Jon, in doing the more detailed review of the proposed changes today, the wicks for several of these basins (19, 20 and 23) and the bottom of Basin 18A are all located within 2 feet of the ESHGW based on the elevations provided in the plans and HydroCAD. The wicks are now part of the basins and must be treated as the bottom of the basin and cannot be within that 2 foot separation. Mounding analyses and drawdown calculations should also be provided.

Also, for the Salmon Team, Brad visited the site today and said that the wicks are already installed, this change still has not gone through town review and you are currently working at risk. I can't speak for the town but I may suggest you stop work on these changes until everything is sorted out with the town.

Please let me know if you have any questions, thanks.

Steve

Steven M. Bouley, P.E. | Senior Project Engineer
Direct +1 (508) 786-2382 | Business +1 (508) 786-2200 | Fax +1 (508) 786-2201 | steven.bouley@tetrattech.com

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100 Nickerson Road, Suite 200 | Marlborough, MA 01752 | tetrattech.com

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September 26, 2019

Ms. Susan E. Affleck-Childs
Medway Planning and Economic Development Coordinator
Medway Town Hall
155 Village Street
Medway, MA 02053

**Re: Salmon Health and Retirement Community
Field Modification of Drainage Facilities
259, 261, 261R and 263 Village Street
Medway, Massachusetts**

Dear Ms. Affleck-Childs:

Tetra Tech (TT) has performed a review of modifications to proposed stormwater infrastructure for the above-mentioned Project at the request of the Town of Medway Planning and Economic Development Board (PEDB). The Plans and accompanying materials were reviewed for conformance with the Massachusetts Department of Environmental Protection's (MA DEP) Stormwater Standards (Standards) and appurtenant Stormwater Handbook (Handbook), applicable Town Stormwater Regulations (Regulations) and good engineering practice. Review of the project for wetland related issues was not completed as these reviews are conducted by separate consultants/town agencies and are not expected as part of the proposed modification.

TT is in receipt of the following materials:

- A plan (Plans) set titled "Salmon Health and Retirement Community, Construction Documents", dated June 18, 2018, revised September 5, 2019, prepared by Coneco Engineers & Scientists (CES).
- A Cover Letter with narrative dated September 18, 2019, prepared by CES.
- A stormwater HydroCAD analysis for Infiltration Trenches 16, 19, 20 and 23 dated September 6, 2019, prepared by CES.
- A stormwater HydroCAD analysis for Infiltration Trench 18A dated September 16, 2019, prepared by CES.

The modifications are proposed to mitigate impacts related to placement of structural fill throughout the area proposed for Infiltration Best Management Practices adjacent to the Main Campus Building. The structural fill placed has a lower hydraulic conductivity (exfiltration rate) than what was considered in the original design and thus the design must be modified to ensure the site remains in compliance with applicable standards.

The Applicant has opted to modify the design to maintain the approved exfiltration rates by use of "wick" drains which extend from the bottom of the proposed Infiltration Trenches and extend through the structural fill to the native soils below. As a result of this design change, the Applicant can only count the area of the wick drain as their area of exfiltration in the HydroCAD model of the Infiltration Trenches. Additionally, exfiltration is excluded from other areas throughout the trench and the wick drains become part of the proposed Infiltration Trench.

STORMWATER REVIEW

MA DEP Stormwater Standards

1. The Applicant should provide comparison table of rates of runoff for all required storms (2-, 10- and 100-year storms) for the modification compared to the approved plan for the record. (Standard 2)

2. The Applicant should provide comparison table of recharge values for the modification compared to the approved plan for the record. (Standard 3)
3. The bottom of Infiltration Trench 18A and the bottom of the wick drains from Infiltration Trench 19, 20 and 23 are within two-feet of Estimated Seasonal High Groundwater (ESHGW) elevations provided in the "Infiltration Trench Summary Table" on Sheet C28. A minimum two-feet of separation from ESHGW is required from any portion of an infiltration facility. Groundwater Mounding analyses and drawdown calculations are also required. (Standard 3)

Town Stormwater Regulations (Ch. 200 §205-4)

4. Provide pipe capacity sizing tables for the proposed connections of roof drains to the modified infiltration trenches. Pipes and manifolds shall be properly sized to convey the expected roof runoff. (Ch. 200 §205-4.E.1)

GENERAL STORMWATER COMMENTS

5. We recommend the applicant propose that the contractor over excavate the bottom of the wick into the native soil a minimum of one-foot or as directed by the engineer of record. We expect heavy equipment trips prior to fill and the filling process itself with compaction may have potentially reduced the hydraulic conductivity of the native soils.

These comments are offered as guides for use during the Town's review and additional comments may be generated during the course of review. The applicant shall be advised that any absence of comment shall not relieve him/her of the responsibility to comply with all applicable local, state and federal regulations for the Project. If you have any questions or comments, please feel free to contact us at (508) 786-2200.

Very truly yours,



Steven M. Bouley, P.E.
Senior Project Engineer

P:\21583\143-21583-15011 (WILLOWS ARCPUD REVIEW)\DOCS\SALMONDRAIN-PEDBREV(2019-09-26).DOCX

Susan Affleck-Childs

From: Bridget Graziano
Sent: Friday, September 27, 2019 8:59 AM
To: Susan Affleck-Childs
Cc: Andy Rodenhiser (Andy@rodenhiser.com); DAVID TRAVALINI; Brian Snow
Subject: Salmon Retirement Community - 259 Village Street

Susy and Andy,

At the public meeting of September 26, 2019, the Conservation Commission reviewed proposed Engineering Plan by Coneco for Salmon. The amendments proposed were related to the drainage design for Infiltration Trenches 17, 18, 19. This change is a result of the fill and compacted materials brought to the site. Tetra Tech noted along with Coneco that these materials would change the infiltration of the drainage design and therefore need to be re-reviewed and a new design developed to ensure that the drainage functions properly. Specifically, at the meeting the Commission was to determine whether this change would result in an amendment requiring a public hearing. After review and discussion with Jon Novak from Conceo, the members had significant concerns for how this drainage change would function in the field and over time. Members noted doubt that this proposed design to install "wicks" would allow the water and drainage to function as originally designed. That being said, the Commission has requested to have a conference call with Steve Bouley to review and discuss the proposed design. Brian Snow and I were designed to be the representative on the call to review the design and our concerns with Steve. The Commission would like to invite either or both of you to join this call. I will not get into the technicality of the concerns about this design but I do see the concerns the Commission has raised. I would like to have this call prior to your meeting on October 8th.

Additionally, I would like to note that Salmon has already begun to implement some of the proposed designs without authorization of Planning or Conservation. I have issued a verbal notice to stop all work related to this amendment to the drainage until such time as Planning and Conservation have reviewed and approved the design. I also would urge Planning to request that Tetra Tech work with Salmon to determine how much work has been completed and provided a report as to what was completed on the "wick" portion of the project and building drainage. There was discussion that some of the piping for the building was re-routed to the other side. This was done last week and not approved. I think Planning and Conservation should have all the facts about work that has been completed and not approved and then determine if the proposed amendments to drainage system will function as originally designed.

Please let me know if you have any questions.

Bridget R. Graziano
Conservation Agent
Town of Medway
155 Village Street
Medway, MA 02053
(508)-533-3292