

**November 28, 2017
Medway Planning and Economic Development Board
155 Village Street
Medway, MA 02053**

Members	Andy Rodenhiser	Bob Tucker	Tom Gay	Matt Hayes	Rich Di Iulio
Attendance	X	X	Absent with Notice	X	X

ALSO PRESENT:

- Susy Affleck-Childs, Planning and Economic Development Coordinator
- Steve Bouley, Consulting Engineer – Tetra Tech
- Gino Carlucci, Consulting Planner - PGC Associates
- Amy Sutherland, Recording Secretary

There were no Citizen Comments.

Exelon Site Plan (9 Summer Street) Field Change:

The Board is in receipt of the following documents (**See Attached**)

- Letter dated 11/8/17 from Peter Callahan
- Proposed temporary laydown area sketch by Beals and Thomas dated 11/7/17.
- BETA review letter dated 11/10/17.
- Response dated 11/14/17 from Doug Blakely, Exelon's Environmental Monitor to the BETA review letter.

Representatives from Exelon Peter Callahan and Doug Blakely were present to discuss a field change for a temporary expansion of the laydown area. They showed drawings of formally surveyed areas. (See Attached). This will not affect the long term site plan. This will not have any equipment storage. It will include laying down of fabric and gravel and then they will pull it up when done and they will loam and seed. The area is .7 acres. This will be temporary and Conservation Commission has no issue with this field change. The project will follow the same order of conditions. Beta did provide a review letter.

On a motion made by Bob Tucker and seconded Rich Di Iulio, the Board voted unanimously to approve the field change based on the letter provided by BETA and the drawings shown during the meeting.

2 Marc Road Site Plan - Project Completion Review:

The Board is in receipt of the following documents: (**See Attached**)

- As-Built Plan dated 11-20-17 prepared by Merrikin Engineering
- Engineering certification dated 11-21-17 from Dan Merrikin.

- Photo of Medway Industrial Park sign at northeast corner of Main Street and Industrial Park Road.
- Photo of cleaned-up site at 1 Marc Rd.
- Certification from Medway Treasurer/Collector's office that taxes are paid.
- Tetra Tech inspection report/punch list dated 11-27-17
- Emails between SAC/Steve Bouley dated 11-27-17 re: bond estimate
- Email and stormwater maintenance report dated 11-28-17 prepared by Dan Merrikin.

Ellen Rosenfeld and Dan Merrikin were present.

The Board discussed that the standard bond for site plan is \$40,000 but there is room for consideration since the majority of the work is completed. The Certificate of Compliance from the Conservation Commission would come in the spring. The Building Inspector is fine with the building. The applicant needs a full occupancy permit. The goal is to have the street acceptance for the spring.

Ellen Rosenfeld updated the Board:

- Using a rock for sign with engraving.
- There will be two pads for generators. Since no second floor at this point, there will only be one generator until the second floor is done, then the second generator will be installed.
- The erosion control will be removed when the ground has frost, it makes it easier to remove.
- The half blocks will be done this week and will support the overhang.
- The porta johns will be removed this week.
- Handicap signs are in are right height.
- There dumpsters will be in back corner. The Board wants a neutral colored vinyl fence around the dumpster.

On a motion made by Bob Tucker and seconded by Rich Di Iulio, the Board voted unanimously to authorize the occupancy permit for 2 Marc Road with a cash bond of \$5,000.00.

143 Village Street – Plan Endorsement

The Board is in receipt of the following documents (**See Attached**)

- Pre-endorsement checklist
- PEDB Special Permit/Site Plan decision dated 10-3-17
- Certification of Paid taxes dated 11-20-17 from Treasurer/Collector
- Certificate of No Appeal from Town Clerk
- 11-21-17 email from N.E. Premier Properties regarding the balance owed on the construction observation fee. Amount due is \$4,378.
- Final Site Plan dated 11-10-17 by Guerriere and Halnon.

Other documents submitted as required in decision are:

- Long Term stormwater operation and maintenance plan prepared by Guerriere and Halnon and submitted on 11/27 and has been reviewed by Tetra Tech.
- Narrative explaining how the proposed development meets the State's stormwater standards. (Submitted 11/27 and has been reviewed).
- Drafts of various condo documents to reflect conditions included in the PEBD decision about condo owner's responsibilities regarding site egress, parking and stormwater management.

N.E. Premier Properties sent an email 11/21/17 regarding the balance owed on the construction observation fee. The amount due is \$4,378.00. This is 50% of the original invoice. The applicant is questioning the amount of site visits noted on the estimate. Tetra Tech consultant Steve Bouley indicated that this is an estimate. If everything is done then this site may not require as many site visits. The applicant asked if \$2,200.00 is acceptable.

On a motion made by Rich Di Iulio, and seconded by Bob Tucker, the Board voted unanimously to have the applicant pay \$2,200.00 for the construction observation fee.

On a motion made by Bob Tucker and seconded by Rich Di Iulio, the Board voted unanimously to endorse the plan for 143 Village Street.

Construction Reports:

The Board is in receipt of the following documents (**See Attached**)

- 143 Village Street - request approval of a field change to eliminate an interior walkway.
- Report #3 - 11/8/17
- Report #4 - 11/10/17
- Report #5 11/14/17
- Report #6 - 11/17/17
- Report #7 - 11/20/17
- Exelon Beals and Thomas Progress report - 11/20/17.

The Board would like a bond estimate for the Haven.

The Chairman brought up the situation at PJ's Smoke and Grille restaurant. They are operating outside the confines of the restaurant facility and this is not allowed. The owners have retained an Attorney and are working to address the situation.

Zoning Bylaw Work:

The Board are in receipt of the following documents (**See Attached**)

- Calendar for May 2018 town meeting. NOTE - The warrant opens on January 8 and closed on February 2, 2018.
- Updated Master list of possible/needed zoning bylaw amendments.

The Board was made aware that the in house team of Stephanie Mercandetti, Jack Mee, Mackenzie Leahy and Susy Affleck-Childs met on November 27, 2017 to review the master list of possible amendments.

The following were suggestions:

- Oak Grove is a high priority.
- Zoning Map Revisions – Continue to clean – up zoning district lines on the north side of Lovering Street – rezone as AR II.
- Non-Medical Marijuana Section 8.10 – Non-binding Medway referendum vote on 5/16/17 resulted in a 2:1 opposition to retail recreational marijuana in Medway. The current moratorium concludes 6/30/18. Town Counsel has advised that we work on replacement language for the moratorium for action by a Special Town meeting before April 1, 2018. It was suggested to put a team together to address this. The Chairman indicated that he is having a meeting with someone who is interested in a particular site for manufacturing of marijuana. There needs to be further discussion about recreational marijuana. Member Di Iulio noted that he is against recreational marijuana. Chairman Rodenhiser is in favor of allowing for growing/manufacturing.
- Have a new mixed use - New Section 8.14 for special permits in Commercial I/Central Business District.
- Two-Family/Duplexes – New Section 8.15 – Establish special permit criteria for two family houses/duplexes.
- Refine definition of “outside storage”.
- Administration and site plan review. Discuss this further to refine the list of what can be covered. (property at 145 Main Street was noted “The Maids) The site was cleared.
- The Administrative Site plan review is ongoing but this past year there were only four reviews. It was discussed that this review could be broadened.

Other Business:

- There is a DRC meeting at Thayer House on Monday December 4, 2017 at 7:00 pm. The Board of Selectmen would like the DRC to give a specific proposal on a community message board sign.
- There will be a preconstruction meeting for Country Cottage this week and for Merrimack Building Supply on Tuesday, December 5, 2017.
- There was a pre-construction meeting held for O’Brien & Sons. Town Counsel is working on the conveyance of the bulb at the cul-de-sac on Adler Street.
- The Board was informed that Tetra Tech Consultant Steve Bouley will revisit the site at Wingate Farm and will prepare a revised bond estimate. This will probably need a modification plan. Some of the field changes will need to be reflected in a new submittal.
- The Board will sign the modified Village Estates subdivision plan at the conclusion of the meeting.

Future Meeting Date:

- All are in agreement to not meet on December 26, 2017.

PEDB Meeting Minutes:

November 14, 2017

On a motion made by Rich Di Iulio and seconded by Bob Tucker, the Board voted unanimously to accept the minutes from November 14, 2017.

Adjourn:

On a motion made by Matt Hayes and seconded by Rich Di Iulio, the Board voted unanimously to adjourn the meeting.


The meeting was adjourned at 9:12 pm.

Respectfully Submitted,

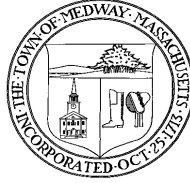
A handwritten signature in blue ink that reads "Amy Sutherland".

Amy Sutherland
Recording Secretary

Reviewed and edited by,

A handwritten signature in black ink that reads "Susan E. Affleck-Childs".

Susan E. Affleck-Childs
Planning and Economic Development Coordinator



November 28, 2017
Medway Planning & Economic Development Board
Meeting

Exelon Expansion Project – Field Change

- Letter dated 11/8/17 from Peter Callahan, Clerk of the Works for the Exelon West Medway II Peaker Project requesting an expanded laydown area during construction
- Proposed Temporary Laydown Area Sketch by Beals and Thomas dated 11/7/17
- BETA review letter dated 11/10/17
- Response dated 11-14-17 from Doug Blakeley, Exelon's Environmental Monitor to the BETA review letter

Representatives from Exelon and/or Beals and Thomas will attend the meeting to explain their request and answer your questions.

This is field change for a temporary expansion of the laydown area. It will not affect the long term site plan.



Exelon West Medway II, LLC
9 Summer Street
Medway, MA 02053
www.medwayenergy.com

November 8, 2017

Ms. Susan Affleck-Childs, Coordinator
Town of Medway – Planning & Economic Development
sachilds@townofmedway.org

&

Ms. Bridget Graziano, Agent for the Conservation Commission
155 Village Street
Medway, MA 02053
bgraziano@townofmedway.org

**Re: Request for Administrative Review for Minor Modification to Site Plan
West Medway II Peaker Project
34 West Street & 9 Summer Street; DEP File No. 216-0879**

Dear Ms. Childs & Ms. Graziano:

Exelon West Medway II, LLC ("Exelon") wishes to gain approval from the Planning & Economic Development Board to use additional project property currently outside the stated limits of work for the purposes of material laydown. The intended use is consistent with other approved construction activities, and will be compliant with the security, erosion control measures, and associated findings and conditions of the Site Plan Decision dated July 26, 2016 as well as the Amended Order of Conditions dated July 14, 2017.

Background

As documented in the Progress Inspection reports prepared by Exelon's professional engineer, Eric Las of Beals & Thomas, work at the project site is progressing and the site is becoming more and more developed. With the anticipation of additional contractors and affiliated materials and equipment arriving on-site in the near future, our engineering, procurement, and construction contractor, Gemma Power Systems ("Gemma") has identified a need for additional on-site laydown space to facilitate safe and efficient construction on Phase II of the project. Currently, laydown space in the area of the proposed bulk fuel tank is becoming filled, and this area will eventually have to be cleared to make way for construction on that tank.

Gemma has identified an area of approximately less than 1 acre sitting just west of the existing project perimeter fence, and under the high-voltage transmission wires (ref. attached exhibit sketch). This area is currently undeveloped land which has been previously kept as mown field by Exelon. No additional clearing other than of the grass field would be required. Access to this area is only through the current construction project site via 34 West Street or 9 Summer Street.

Proposal

To utilize the vacant field, Gemma has proposed the following:

1. Remove, relocate, and supplement the security fence, high-visibility 4-ft construction fence, and silt fence with straw bales to the perimeter of the additional area;

2. Improve the area with a geotextile fabric set directly on top of current topography to underlay a stone base to allow transportation and fork lifts to stage and move materials;
3. Use the area only for the staging of 'dry' materials such as conduit, piping, cable reels, rebar, etc. Storage of materials would be compliant with the requirements of the Site Plan Decision and the Order of Conditions (DEP File No. 216-0879) with specific regard to staging any materials in a wetland buffer zone; and,
4. Upon project completion, restore the area to the pre-existing conditions as a grass field.

Project References

The specifics of the proposed modification would be reflected in the following:

- Drawing C2.1, "Site Preparation and Erosion Control Plan";

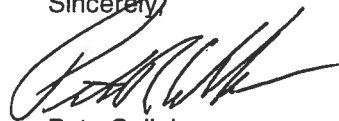
Erosion control measures will be maintained in good repair throughout the construction period;

Summary

Exelon believes that the modification request is consistent with current work, and the proposed limits of work are reasonable. The use of the additional area will not cause substantial damage to the environment and reasonable measures are identified in existing decisions, permits, and agreements to minimize any impacts.

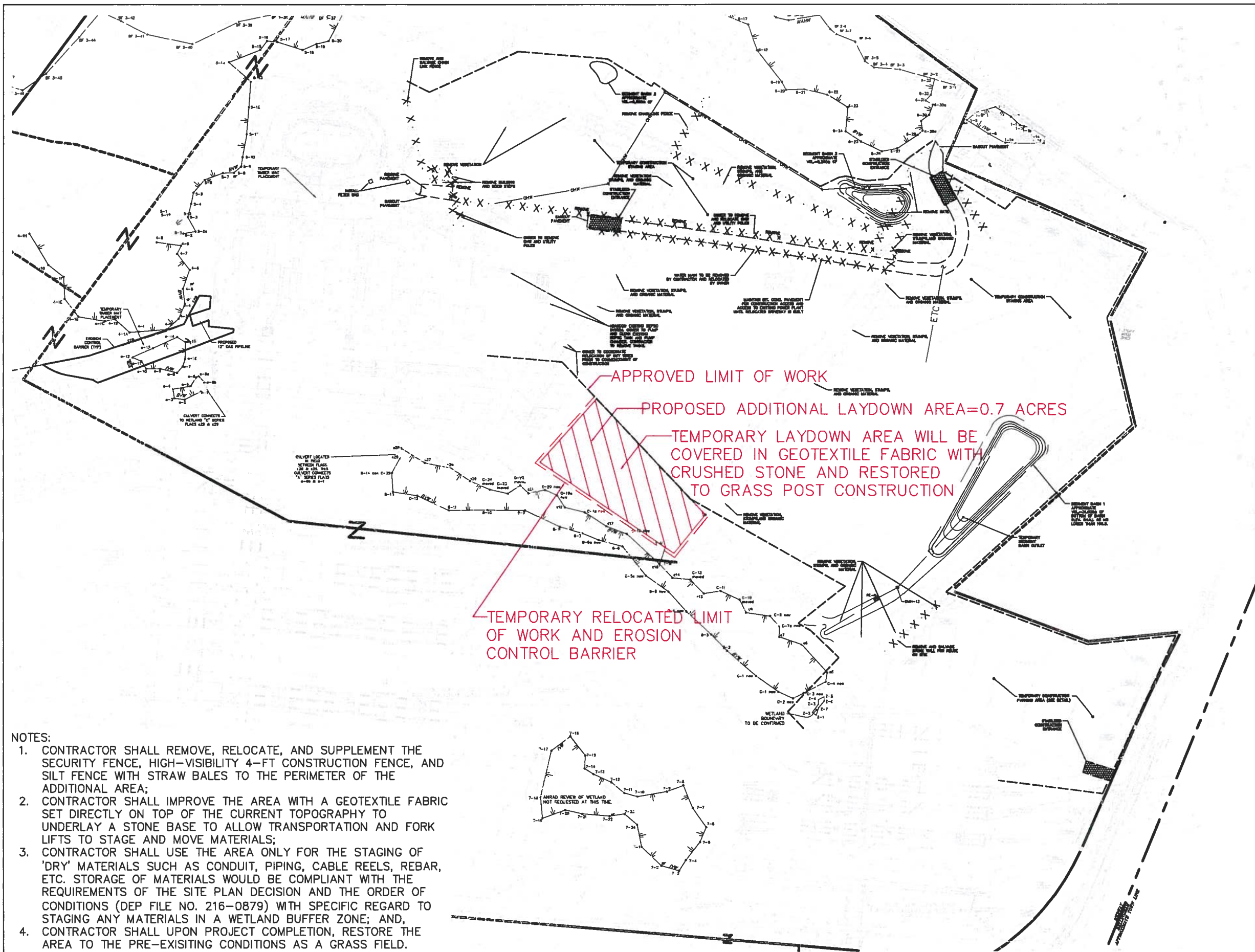
We appreciate both the Planning and Economic Development Board and Conservation Commission for being receptive to hearing this request in a very timely manner, and look forward to discussing this matter with you to ensure that you agree that the proposal is a closely-related extension to current approved work at the project site. If you require additional information regarding this request, please contact me on my cell phone at (610) 755-2600.

Sincerely,



Pete Callahan
Clerk of the Works
West Medway II Peaker Project

cc: I. Ivanoff / Project Manager, Gemma Power Systems
E. Tracey / Environmental, Exelon
E. Miller / Environmental, Exelon
D. Blakeley / Environmental Monitor, Exelon
E. Las / Professional Engineer, Beals & Thomas



Proposed Temporary Laydown Area Sketch

Scale: 1" = 160'

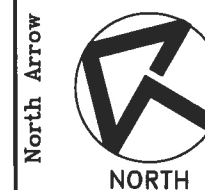
Date: 11/07/2017

Plan No. 142210P093A-001

B+T Project No. 1422.10

Exelon West Medway II
Medway, Massachusetts

**Exelon West Medway, LLC and
Exelon West Medway II, LLC**
300 Exelon Way
Kennett Square, Pennsylvania



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November 10, 2017

Town of Medway
Planning and Economic Development
155 Village Street
Medway, MA 02053

Attn.: Ms. Susan E. Affleck-Childs
Planning and Economic Development Coordinator

Re: Exelon Major Site Plan Review - 8 Summer Street

Dear Ms. Affleck-Childs:

This letter is in regard to the request from Exelon West Medway II, LLC to use additional property beyond the current limit of work for a temporary laydown/storage area. BETA has reviewed the request submitted by Exelon West Medway II, LLC and dated November 8, 2017. BETA staff also conducted a site review of the area on November 9, 2017.

The proposed laydown/storage area is located in a grass field on the west side of the site just outside of the existing perimeter security fence. The field is located between the fence and an existing flagged bordering vegetated wetland (BVW) area. The field slopes toward the wetland. Attached to this letter for your reference are photographs of the area.

We offer the following for the Board's consideration:

1. There are no significant constraints to using the proposed area for laydown/storage of dry materials. Equipment should not be stored in the area.
2. As noted in the request, the security fence and construction fence will be relocated to enclose the new laydown/storage area. We suggest that any approval require that the fence be relocated to completely enclose the area prior to any materials being stored.
3. We agree with the use of a geotextile fabric and stone base to stabilize the area for storage. We suggest that the proposed stone size and depth be provided. The stone base should have sufficient depth to prevent disturbance or penetration of the geotextile fabric from material storage and/or equipment operations.
4. Given the proximity of the storage area to the adjacent BVW, we recommend that the erosion control barrier include both compost filter tubes and siltation fence. The erosion control barrier should be maintained until the restoration of the area back to existing conditions is complete and stabilized.

BETA GROUP, INC.
6 Blackstone Valley Place, Lincoln, RI 02865
P: 401.333.2382 | F: 401.333.9225 | W: www.BETA-Inc.com

Town of Medway
November 10, 2017
Page 2 of 3

5. In addition to showing the proposed laydown/storage area on Drawing C2.1, "Site Preparation and Erosion Control Plan", we suggest showing it on Sheet C4.1 "Grading and Drainage Plan" to better illustrate the proximity of the area to the rest of the proposed site improvements.

If we can be of any further assistance regarding this matter, please contact us at our office.

Very truly yours,
BETA Group, Inc.



William P. McGrath, P.E.
Associate

cc:
Job No: 5491





Susan Affleck-Childs

From: Blakeley, Doug <Doug.Blakeley@aptim.com>
Sent: Tuesday, November 14, 2017 10:01 AM
To: Susan Affleck-Childs; Bridget Graziano
Cc: Callahan, Peter R:(GenCo-Pwr); Tracey, Edward F:(GenCo-Pwr); Miller, Edward A:(GenCo-Pwr); Eric Las
Subject: RE: West Medway II - Request for Additional Laydown

Hello Susy –

Prior to our discussion tonight regarding the field change for the laydown area, I wanted to provide a complete set of answers to BETA's letter dated Nov. 10, 2017.

1. "Equipment should not be stored in the area"
The term "equipment" was meant to include electrical, mechanical, and balance-of-plant associated equipment (i.e. equipment being shipped to the site). The term is not meant to include any mobile or portable construction equipment (i.e. generators, compressors, etc.).
2. "Any approval require that the fence be relocated to completely enclose the area prior to any materials being stored"
Exelon fully intends to abide by the terms of the Order of Conditions which requires that the erosion control barrier be established and inspected by the Agent prior to using the area. The fencing is necessary for security of any materials in that area and will be established prior to the use as a laydown area.
3. "Proposed stone size and depth [over the top of the geotextile fabric]"
The stone size and depth will be consistent with that being used in the trailer staging area: ¾-in washed stone to a depth of no more than 4-inches.
4. "The erosion control barrier include both compost filter tubes and siltation fence. The erosion control barrier should be maintained until the restoration of the area back to the existing conditions is complete and stabilized"
As discussed in a previous email, the re-installed erosion control barriers are intended to remain consistent with that as currently installed and as called out in the Order and reflected as a detail on Drawing C9.1 (the silt fence and straw bales). Because there is no active drainage path in or through this current grass field, we do not intend to use the "biodegradable compost sock ECB" for this purpose.
5. "[Show the proposed laydown/storage area] on Sheet C4.1 [in addition to Sheet C2.1]"
Exelon can reflect the modifications to the ECB on an Exhibit reflecting Drawing C4.1. Since the PEDB does not expect to issue a formal site plan approval but will instead be performing an administrative review, we are only planning on preparing 'exhibits' reflective of the change to the site plan drawings. As stated, the laydown area will be restored to current contours as shown on both drawings, so the contour lines will not change for the purposes of these exhibits. A final "as-built" plan will be prepared as per Special Condition E.2.b of the Site Plan Decision as well as Special Condition 103(3) of the Order and will reflect the final disposition of the site per criteria (a)-(e), with this administrative change reflected as a line delineating the actual limit of work as specified in criteria (d).

Doug Blakeley
Environmental Monitor
West Medway II Peaker Project
Tel: +1 518.265.7354

From: Susan Affleck-Childs [mailto:sachilds@townofmedway.org]
Sent: Monday, November 13, 2017 8:27 AM
To: Blakeley, Doug <Doug.Blakeley@aptim.com>; Bridget Graziano <bgraziano@townofmedway.org>

Cc: Callahan, Peter R:(GenCo-Pwr) <Pete.Callahan@constellation.com>; Tracey, Edward F:(GenCo-Pwr) <Edward.F.Tracey@constellation.com>; Miller, Edward A:(GenCo-Pwr) <Edward.Miller@constellation.com>; Eric Las <elas@bealsandthomas.com>

Subject: RE: West Medway II - Request for Additional Laydown

Good morning,

See attached review letter from BETA Group re: your request for the additional laydown area.

This will be provided to the Planning and Economic Development Board and discussed at Tuesday night's meeting. I have also attached the agenda. See you then.

Susy

Susan E. Affleck-Childs
Planning and Economic Development Coordinator

Town of Medway
155 Village Street
Medway, MA 02053
508-533-3291
sachilds@townofmedway.org

Town of Medway – *A Massachusetts Green Community*

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From: Blakeley, Doug [<mailto:Doug.Blakeley@aptim.com>]

Sent: Tuesday, November 07, 2017 3:13 PM

To: Susan Affleck-Childs; Bridget Graziano

Cc: Callahan, Peter R:(GenCo-Pwr); Tracey, Edward F:(GenCo-Pwr); Miller, Edward A:(GenCo-Pwr); Eric Las

Subject: RE: West Medway II - Request for Additional Laydown

Re-attached a pdf of same document, but with better page formatting.

Doug Blakeley
Environmental Monitor
West Medway II Peaker Project
Tel: +1 518.265.7354

From: Blakeley, Doug

Sent: Tuesday, November 07, 2017 2:48 PM

To: Susan Affleck-Childs <sachilds@townofmedway.org>; 'Bridget Graziano' <bgraziano@townofmedway.org>

Cc: 'Callahan, Peter R:(GenCo-Pwr)' <Pete.Callahan@constellation.com>; Tracey, Edward F:(GenCo-Pwr)

<Edward.F.Tracey@constellation.com>; 'Miller, Edward A:(GenCo-Pwr)' <Edward.Miller@constellation.com>; Eric Las

<elas@bealsandthomas.com>

Subject: West Medway II - Request for Additional Laydown

Hello –

The attached letter and sketch are information provided to both the PEDB and the ConCom to get onto the agendas for the Nov. 14th and Nov. 9th night meetings, respectively.

Please let me know if any additional information is required. Thank you both for your quick responses back to our initial inquiries.

Doug Blakeley
Environmental Monitor
West Medway II Peaker Project
Tel: +1 518.265.7354
Doug.Blakeley@aptim.com



November 28, 2017
Medway Planning & Economic Development Board
Meeting

UPDATED

2 Marc Road Site Plan – Project Completion

On 11/20/17, Ellen Rosenfeld requested an occupancy permit for 2 Marc Road from the Building Department and contacted the PEDB office. That requires a determination by the PEDB that the project is complete or suitable performance security has been provided for those items not completed.

The following documents have been submitted and are attached:

- As-Built Plan dated 11-20-17 prepared by Merrikin Engineering
- Engineering certification dated 11-21-17 from Dan Merrikin.
- Photo of Medway Industrial Park sign at northeast corner of Main Street and Industrial Park Road
- Photo of clean-up of 1 Marc Road.
- Certification from the Medway Treasurer/Collector's office that taxes are paid on the subject property and other properties owned by Ellen Realty Trust
- **Tetra Tech inspection report/punch list dated 11-27-17**
- **Emails between SAC/Steve Bouley dated 11-27-17 re: bond estimate**
- **Email and stormwater maintenance report dated 11-28-17 prepared by project engineer Dan Merrikin.**

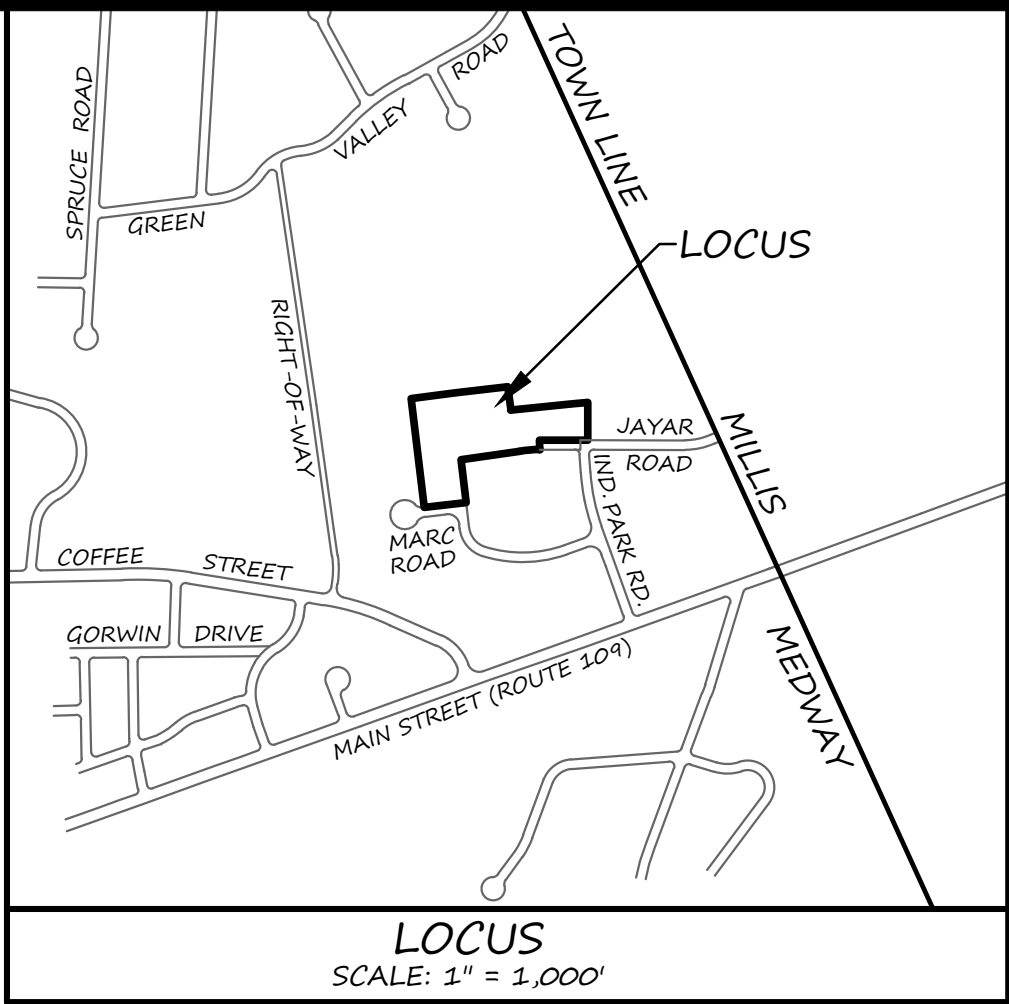
NOTE- The as-built plan was provided but has not yet been reviewed by Tetra Tech.

GENERAL NOTES:

- SURVEY & PLAN REFERENCES:
 - DEED REFERENCES:
BOOK 8379, PAGE 83
BOOK 18164, PAGE 320
 - PLAN REFERENCES:
PLAN BOOK 299 NO. 900
PLAN BOOK 300 NO. 955
PLAN BOOK 326 NO. 1145
PLAN BOOK 410 NO. 749
PLAN BOOK 454 NO. 94
- DATUM: NAVD88
- EXISTING UTILITY INFORMATION IS BASED ON BEST AVAILABLE RECORDS AND VISIBLE SURFACE FEATURES SUCH AS MANHOLES, CATCH BASINS, UTILITY POLES, HYDRANTS, VALVE BOXES, ETC... EXISTING UTILITY INFORMATION DEPICTED ON THESE PLANS ARE NOT WARRANTED TO BE CORRECT AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING ALL LOCATIONS PRIOR TO COMMENCEMENT OF WORK.
- FEATURES OUTSIDE OF THE SITE SUCH AS ADJACENT STRUCTURES ARE APPROXIMATE ONLY AND BASED ON AVAILABLE AERIAL PHOTOGRAPHY.

N/F JOHN P. & ANN LALLY
35 COFFEE STREET
(ASSESSORS PARCEL 6-493)

N/F JOHN P. & ANN LALLY
35 COFFEE STREET
(ASSESSORS PARCEL 6-493)



SITE ADDRESS:
2 MARC ROAD

MAP AND PARCEL:
MAPS 24 & 33
PARCELS 24-015, 24-016, & 33-001

ZONING CLASSIFICATION:
INDUSTRIAL I

OVERLAY DISTRICTS:
GROUNDWATER PROTECTION DISTRICT

OWNER & APPLICANT:
ELLEN REALTY TRUST
730 MAIN STREET
MILLIS, MA 02054

For Registry Use

PLAN SCALE: 1" = 40'



PLAN DATE: NOVEMBER 20, 2017

REVISION

2 MARC ROAD
AS-BUILT
PLAN OF LAND
IN
MEDWAY, MA

LEGEND & ABBREVIATIONS

- CB: EXISTING CATCH BASIN
- B: PROP. SINGLE-GRATE CATCH BASIN
- CB: PROP. DOUBLE-GRATE CATCH BASIN
- STC: STORMCEPTOR TREATMENT UNIT
- DMH: DRAIN MANHOLE
- TR: TRENCH DRAIN
- INFIL: INFILTRATION TRENCH
- X" D: DRAIN PIPELINE
- RCP: REINFORCED CONCRETE PIPE
- PVC: POLYVINYL CHLORIDE PIPE
- SMH: SEWER MANHOLE
- X" S: SEWER PIPELINE
- C.O.: SEWER SERVICE CLEANOUT
- X" W: WATER MAIN
- HYD: HYDRANT
- G.V.: WATER GATE VALVE
- C.S.: WATER SERVICE CURB STOP
- M.B.: WATER SERVICE METER BOX
- G: GAS PIPELINE
- L.P.: LIGHT POLE
- U.P.: UTILITY POLE
- G.Y.: GUY WIRE
- S.P.: TRAFFIC SIGNAL POLE
- 252: EXISTING CONTOUR
- 222: PROPOSED CONTOUR
- E.O.P.: EDGE OF PAVEMENT
- C.C.B.: INTEGRAL SLOPED BIT. BERM
- V.B.B.: VERTICAL BITUMINOUS BERM
- S.G.C.: SLOPED GRANITE CURB
- V.G.C.: VERTICAL GRANITE CURB
- V.C.C.: VERTICAL CONCRETE CURB
- E.C.S.: EDGE CONCRETE SLAB
- G.V.: GATE VALVE
- C.L.F.: CHAIN LINK FENCE
- W.S.F.: WOOD STOCKADE FENCE
- P.P.F.: PVC PICKET FENCE
- G.R.: GUARD RAIL
- C.C.: HANDICAP CURB CUT

N/F DART ASSOCIATES LIMITED
6 INDUSTRIAL PARK ROAD
(ASSESSORS PARCEL 33-004)



730 MAIN STREET, SUITE 2C
MILLIS, MA 02054
Phone: 508-376-8883

354-D63

SHEET 1 OF 1

Merrikin Engineering, LLP

Consulting Engineers

730 MAIN STREET
SUITE 2C

MILLIS, MA 02054

TELEPHONE (508) 376-8883

November 21, 2017

Medway Planning and
Economic Development Board
Town of Medway
155 Village Street
Medway, MA 02053

Ref: 2 Marc Road
Medical Marijuana Cultivation Facility

Dear Members of the Board:

I am writing to certify that the as-built condition of the site is in substantial compliance with the approved plan. As is found on all construction sites, constructed features deviate in minor and insubstantial ways from the design location and elevations. The only substantive deviation from the plan is that a new catch basin was installed at the corner of Marc Road near the site driveway. During roadway reconstruction it proved impractical to re-grade the road to eliminate an existing low point in this area and a catch basin was added and tied into the street drain line as shown on the as-built plan.

Do not hesitate to contact me if you have any questions or comments.

Sincerely,

Daniel J. Merrikin P.E.

cc: File



DONATE YOUR CAR TODAY!
Kars 4 Kds

MEDWAY
INDUSTRIAL PARK

Main St
Industrial Park Rd

109





TOWN OF MEDWAY
Planning & Economic Development Board
155 Village Street
Medway, Massachusetts 02053

*Andy Rodenhiser, Chairman
Robert K. Tucker, Vice-Chairman
Thomas A. Gay, Clerk
Matthew J. Hayes, P.E.
Richard Di Iulio*

**Request for Medway Treasurer/Collector's
Verification of Status of Paid Taxes**

Date: November 21, 2017

Applicant's Name: Ellen Realty Trust

Subject Property Address: 2 Marc Road, 19 Jayar Road and 21 Jayar Road

Map/Parcel Number(s): 33-001, 24-015, and 24-016

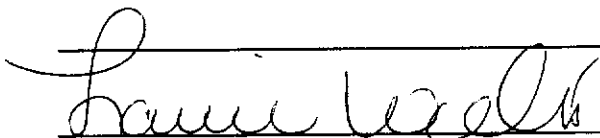
Property Owner's Name: Ellen Realty Trust

Project Name: 2 Marc Road Site Plan – CommCan

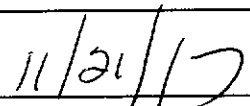
Type of Permit: Major Site Plan – Project Completion

Please indicate the status of taxes/fees owed to the Town:

- ☒ By checking this box and with my signature below, I verify that all taxes owed the Town of Medway for the subject property(s) noted above are **paid in full** as of this date
- ☐ By checking this box and with my signature below, I verify that the applicant does not owe taxes/fees to the Town of Medway for other properties in Medway owned by the applicant.
- ☐ By checking this box and with my signature below, I verify that the **Town is owed taxes** for the subject property(s) noted above. Briefly explain on the lines below. Please attach a report that indicates what taxes are owed and the respective amounts.



Signature



Date

Please complete and return to the Planning and Economic Development office.

Susan Affleck-Childs

From: Bouley, Steven <Steven.Bouley@tetrattech.com>
Sent: Monday, November 27, 2017 3:38 PM
To: Susan Affleck-Childs
Cc: Daniel Merrikin
Subject: RE: 2 Marc Road Punch List

Hi Susy,

I was under the impression this wasn't a critical item for the meeting tomorrow.

The items in question are very minimal and few items which weren't shown on the plan that have been completed the PEDB would have to decide upon anyway (ie. the extra generator pad and dumpsters) and putting a number to it would be arbitrary at best since there are probably no MassDOT pricing numbers for it. If a number absolutely needs to be placed on it for them to get occupancy I would have the board hold \$5,000 to cover the items shown on the plan that haven't been installed. Let me know if this will suffice, thanks.

Steve

From: Susan Affleck-Childs [mailto:sachilds@townofmedway.org]
Sent: Monday, November 27, 2017 3:23 PM
To: Bouley, Steven <Steven.Bouley@tetrattech.com>
Cc: Daniel Merrikin <dan@merrikinengineering.com>
Subject: RE: 2 Marc Road Punch List

Bond estimate for this work??

Susy

Susan E. Affleck-Childs
Planning and Economic Development Coordinator

Town of Medway
155 Village Street
Medway, MA 02053
508-533-3291
sachilds@townofmedway.org

Town of Medway – *A Massachusetts Green Community*

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From: Bouley, Steven [<mailto:Steven.Bouley@tetrattech.com>]
Sent: Monday, November 27, 2017 3:21 PM
To: Susan Affleck-Childs
Cc: Daniel Merrikin
Subject: 2 Marc Road Punch List

Hi Susy,

Please see attached punch list. Please let me know if you need anything else for this, thanks.

Steve

Steven M. Bouley, P.E. | Senior Project Engineer
Direct: 508.786.2382 | Main: 508.786.2200 | Fax: 508.786.2201
steven.bouley@tetrattech.com

Tetra Tech, Inc. | United States Infrastructure (USI) Division
Marlborough Technology Park | 100 Nickerson Road, Suite 200 | Marlborough, MA 01752 www.tetrattech.com

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Stormwater System Operations and Maintenance Log

Year 2017

General Information	
Project Name	2 Marc Road
Site Location	2 Marc Road, Medway, MA
Inspector's Name	Daniel Merrikin
Inspector's Title	Partner
Inspector's Phone	508-376-8883
Signature of Operator at end of Year, Certifying that Work was Completed as Noted. Date: 2017-11-28	

O&M Task Checklist

	O&M Activity	Date Completed	Notes/Comments
Infiltration Basins and Stormwater Swales			
1 st Annual Inspection	Inspection	2017-11-28	Riprap touchup need*
2 nd Annual Inspection	n/a		
1 st Annual Mowing	n/a		
2 nd Annual Mowing	n/a		
Sediment Rem. Req'd?	No		
Deep Sump Catch Basins			
1 st Quarter Cleanout	Cleanout	2017-11-22	Good condition
2 nd Quarter Cleanout	n/a		
3 rd Quarter Cleanout	n/a		
4 th Quarter Cleanout	n/a		
Grass Stormwater Swales			
1 st Annual Inspection	Inspection	2017-11-28	Good condition
2 nd Annual Inspection	n/a		
Annual Mowing	n/a		
Sediment Rem. Req'd?	No		
Sediment Forebays			
1 st Annual Inspection	Inspection	2017-11-28	Good condition
2 nd Annual Inspection	n/a		
3 rd Annual Inspection	n/a		
4 th Annual Inspection	n/a		

		O&M Activity	Date Completed	Notes/Comments
	1 st Annual Mowing	n/a		
	2 nd Annual Mowing	n/a		
	Sediment Rem. Req'd?	n/a		
Stormwater Pipes, Inlets, and Outlets				
	1 st Annual Inspection	Inspection	2017-11-28	Riprap touchup need*
	2 nd Annual Inspection			
First Defense Units				
	1 st Annual Inspection	Inspection	2017-11-28	See below**
	2 nd Annual Inspection			

*Riprap outlets at stormwater basins to be expanded per Conservation punch list. Work to be done in the next few weeks. Stone checkdams along stormwater swales were cleaned out.

**First defense unit at driveway curb clean. First defense unit off pavement accepting street runoff has a few inches of sediment and is scheduled to be cleaned on December 4, 2017.

***Note that site construction is substantially complete so this is the first inspection.



4 Breed Avenue
Woburn, MA 01801

INVOICE

SEWER & DRAIN CLEANING

Date	Number
------	--------

11/22/17 214463

ROSENFELD REALTY
730 MAIN ST
MILLIS MA 02054

Job Site
ROSENFELD REALTY
2 MARC RD
MEDWAY MA 02053

Description	Cost
-------------	------

CLEANED AND DISPOSED 7 CATCH BASINS ALONG 2 MARC RD	500.00
CLEANED AND DISPOSED OF 3 CATCH BASINS	

Subtotal	500.00
----------	--------

Total	500.00
-------	--------

Received	0.00
----------	------

Balance Due	500.00
-------------	--------

Job Site

ROSENFELD REALTY
2 MARC RD
MEDWAY MA 02053

TERMS Net 30 Days

PAYMENT DUE 12/22/17

Please detach and return with your payment



4 Breed Avenue
Woburn, MA 01801

SEWER & DRAIN CLEANING

ROSENFELD REALTY
730 MAIN ST
MILLIS MA 02054

Invoice #: 214463
Date: 11/22/17
Balance Due: 500.00

Remit to: JOHN'S SEWER & PIPE CLEANING, INC.
4 BREED AVENUE
WOUBURN MA 01801
781-569-6695

To: Susan Affleck-Childs – Medway Planning and Economic Development Board Coordinator

Cc:

From: Steven M. Bouley, P.E. – Tetra Tech



Date: November 27, 2017

Subject: 2 Marc Road Punch List

On November 21, 2017 at the request of the Medway Planning and Economic Development Board (PEDB), Tetra Tech (TT) conducted a punch list inspection of the 2 Marc Road site in Medway, MA. The site was inspected and a punch list generated of outstanding items which have not yet been completed by the Applicant or items that are deficient in quality. A photo log has been attached at the back of this document, particular photos are referenced at the end of each item below.

The inspection was conducted using the following documents:

- A plan (Plans) set titled "2 Marc Road, Site Plan of Land in Medway, Massachusetts", dated March 30, 2016, latest revision July 18, 2016, prepared by Merrikin Engineering, LLP (ME).
- A PEDB Special Permit/Site Plan Decision dated June 28, 2016.

Punch List

1. The contractor has not installed hoods and rebar grates in catch basin structures as shown on "Precast Concrete In-Swale Catch Basin" detail on Sheet 6 of the Plans. Additionally, the catch basin structure installed in the roadway adjacent to the eastern entrance requires a hood. (See Photo 1)
2. The contractor has not installed proposed free-standing sign. (See Photo 2)
3. The contractor has installed an additional generator pad south of the pad shown on the approved Plans. (See Photo 3)
4. The concrete block retaining wall located along the eastern portion of the site driveway has several end blocks that are overhanging the ends. The overhangs should be cut flush or blocks added as to prevent the stones from overturning if loaded. (See Photo 4-5)
5. The contractor should remove all erosion controls upon receiving final authorization from Medway Conservation Commission. (See Photo 6)
6. The contractor should clean drainage system structures prior to final release of the project or provide evidence that the structures have been cleaned since the project has been substantially completed.
7. The contractor has placed dumpsters in the northwest corner of the site in paved area. Dumpster location not shown on the approved Plans and not screened. (See Photo 7-8)
8. The contractor has not installed the proposed bike rack and appurtenant concrete pad. (See Photo 9)

9. Although not shown on the plan, the contractor has installed a handicapped parking sign at the head of the western handicap parking space. However, the contractor has not installed a sign on the eastern handicap parking space. (See Photo 9)
10. Several areas of seeding have not fully established. However, areas which may erode (grass swales, steep slopes) have been fully established and have been in use with little or no erosion issues. (See Photo 10-12)
11. The proposed Development Sign as described in Decision Section VIII.E.1 has been installed. (See Photo 13)
12. It appears the site at 0 Marc Road has been cleaned to a neat and orderly condition as stated in Decision Section VIII.E.3. However, porta-johns remain on site within the right of way. (See Photo 14-16)

These comments are offered as guides for use during the Town's review. If you have any questions or comments, please feel free to contact us at (508) 786-2200.

P:\21583\143-21583-16009 (2 MARC RD CONSTRUCTION INSPECTION SERV)\CONSTRUCTION\PUNCH LIST\MEMO_2 MARC ROAD PUNCH LIST_2017-11-27.DOC

Photo 1



Photo 2



Photo 3



Photo 4



Photo 5



Photo 6



Photo 7



Photo 8



Photo 9



Photo 10



Photo 11



Photo 12



Photo 13



Photo 14



Photo 15



Photo 16



**November 28, 2017
Medway Planning & Economic Development
Board Meeting**

**143 Village Street - Plan Endorsement
UPDATED**

The following documents are provided for your review:

- Pre-Endorsement Checklist
- PEDB Special Permit/Site Plan decision dated 10-30-17
- Certification of Paid Taxes dated 11-20-17 from Medway Treasurer/Collector
- Certificate of No Appeal from Town Clerk
- 11-21-17 email from N.E. Premier Properties regarding the balance owed on the construction observation fee. Amount due is \$4,378. This is 50% of the original invoice.
- Final Site Plan dated 11-10-17 by Guerriere and Halnon, revised per PEDB decision

Other documents have been submitted as required by the Decision. Not included with this packet.

- Long term stormwater operation and maintenance plan prepared by Guerriere & Halnon and submitted on 11/27 – Will be reviewed by Tetra Tech on 11/28. Steve can update you at the meeting.
- Narrative explaining how the proposed development meets the State's 10 stormwater standards, prepared by Guerriere & Halnon and submitted on 11/27 - Will be reviewed by Tetra Tech on 11/28. Steve can update you at the meeting.
- Drafts of various condo documents to reflect conditions included in the PEDB decision about condo owners' responsibilities regarding site egress, parking and stormwater management.



TOWN OF MEDWAY
Planning & Economic Development
155 Village Street - Medway, Massachusetts 02053

UPDATED 11/3/17

143 Village Street Special Permit & Site Plan
Pre-Endorsement Checklist – TO DO

NOTE – The site plan must be endorsed by the Board within 60 days after the Decision is filed with the Town Clerk. However, the plan cannot be endorsed until at least 20 days after the Decision is filed with the Town Clerk and the appeal period has concluded. The Decision was filed on October 31st. The appeal period concludes November 20th. Therefore, the soonest date for the Board to endorse the plan is at the Board's November 28, 2017 meeting.
Endorsement deadline is December 30, 2017.

Applicant's Responsibility:

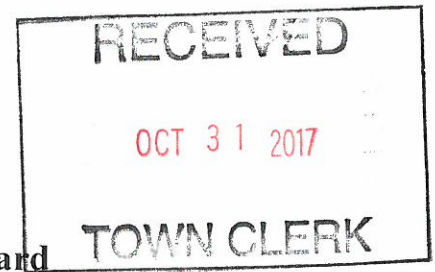
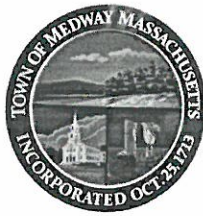
- _____ 1. Arrange for Guerriere & Halnon to further revise the plan dated 10-27-17. See Decision Specific Conditions C and D. Submit to PEDB office for final review prior to plan endorsement.
- _____ 2. Submit draft condo docs to reflect requirements of Decision Specific Conditions E, H, L, M and N and General Condition E.
- _____ 3. Meet with Design Review Committee – See Decision Specific Condition G.
- _____ 4. Secure a Certification of *No Appeal* from Town Clerk and provide to the PED office after the 20 day appeal period concludes on November 20, 2017.
- _____ 5. Pay balance of any outstanding Plan Review fees if invoiced to do so. See Decision General Condition A.
- _____ 6. Pay Construction Services invoice. See Decision General Condition A and G.
- _____ 7. Participate in a Preconstruction Meeting.
- _____ 8. **Provide a memo summarizing how the stormwater design complies with each of the 10 Massachusetts stormwater standards to the Board for its review and approval. See Decision Special Condition L. 1**
- _____ 9. **Provide a long term stormwater operations and maintenance plan to the Board for its review and approval. See Decision Special Condition L. 2.**

PEDB Office's Responsibility

- _____ 10 Invoice applicant for construction observation fee
- _____ 11. Invoice applicant for any balance of plan review fee if necessary.

- _____ 10. Receive revised plans from Guerriere & Halnon and forward to Tetra Tech for review. Secure sign-off memo from Tetra Tech verifying that plan revisions specified in the site plan decision have been made.
- _____ 11. Contact Treasurer/Collector's office to secure proof that real estate taxes are current and any other liens are resolved.

TARGET Plan Endorsement Date: November 28, 2017



TOWN OF MEDWAY
Planning & Economic Development Board
155 Village Street
Medway, Massachusetts 02053

Andy Rodenhiser, Chairman
Robert K. Tucker, Vice-Chairman
Thomas A. Gay, Clerk
Matthew J. Hayes, P.E.
Richard Di Iulio

October 30, 2017

MULTIFAMILY HOUSING & GROUNDWATER PROTECTION DISTRICT
SPECIAL PERMIT and SITE PLAN DECISION
143 Village Street
APPROVED with Waivers and Conditions

Decision Date: October 30, 2017

Project Location: 143 Village Street

Name/Address of Applicant: N.E. Premier Properties, LLC
5 Sheila Lane
Franklin, MA 02038

Name/Address of Property Owner: Estate of Virginia Heavey
6 Sanford Street
Medway, MA 02038

Engineer: Dale MacKinnon, P.E.
Guerriere & Halnon
55 West Central Street
Franklin, MA 02038

Architect: James Gilmour
JG Architecture
200 Winter Street
Holliston, MA 01746

Site Plan: *Multi Family Housing Special Permit – 143 Village Street*
Dated September 6, 2017, last revised October 27, 2017

Assessors' Reference: 60 – 92

Zoning District: Village Commercial
Multifamily Housing Overlay District
Adaptive Use Overlay District
Groundwater Protection Overlay District

I. PROJECT DESCRIPTION – The applicant plans to develop a 3 unit, residential condominium in the existing building at 143 Village Street. The parcel is located at the southwest corner of Village and Sanford Streets in the Village Commercial zoning district. The 5,868 sq. ft. site (*Medway Assessors Map 60, Parcel 92*) is currently owned by the Estate of Virginia Heavey. This is a pre-existing, non-conforming parcel which includes a building constructed in 1910. The building is also pre-existing, non-conforming in terms of zoning setbacks on the property. The property is located within the Town’s multifamily housing overlay district, adaptive use overlay district, and the groundwater protection district.

The proposed redevelopment of the existing building will include three dwelling units. Six parking spaces will be provided – 3 under the building and 3 surface. Vehicular access will be from Sanford Street. Stormwater management facilities will be installed on site as will landscaping, walkways, and retaining walls. The *Multi Family Housing Special Permit 143 Village Street* site plan is dated September 6, 2017, last revised October 27, 2017 and was prepared by Guerriere and Halnon of Franklin, MA

The proposed use and location require a groundwater protection district special permit pursuant to Section 5.6.3 of the *Medway Zoning Bylaw* and a multifamily housing special permit pursuant to Section 5.6.4 along with site plan review and approval pursuant to Section 3.5.

II. VOTE OF THE BOARD – After reviewing the application and information gathered during the public hearing and review process, the Medway Planning and Economic Development Board, on October 30, 2017, on a motion made by Robert Tucker and seconded by Richard Di Iulio, voted to approve with CONDITIONS a multifamily housing and groundwater protection district special permit and to approve with WAIVERS and CONDITIONS as specified herein, a site plan for the construction of a three unit, condominium development on the property at 143 Village Street as shown on the plan titled *Multi Family Housing Special Permit – 143 Village Street*, dated September 6, 2017, last revised October 27, 2017, drawn by Guerriere and Halnon of Franklin, MA, to be further revised as specified herein before endorsement and recording.

The motion was approved by a vote of five in favor and none opposed.

Planning & Economic Development Board Member	Vote
Richard Di Iulio	Yes
Matthew Hayes	Yes
Thomas A. Gay	Yes
Andy Rodenhiser	Yes
Robert Tucker	Yes

III. PROCEDURAL HISTORY

- A. September 6, 2017 – Application for special permit and site plan and associated materials filed with the Medway Planning & Economic Development Board and the Medway Town Clerk
- B. September 7, 2017 – Public hearing notice filed with the Town Clerk and posted at the Town of Medway web site.
- C. September 13, 2017 – Site plan information distributed to Town boards, committees and departments for review and comment.

- D. September 11, 2017 - Public hearing notice mailed to abutters by certified sent mail.
- E. September 12 & 18, 2017 - Public hearing notice advertised in *Milford Daily News*.
- F. September 26, 2017 - Public hearing commenced. The public hearing was continued to October 24 and again to October 30th, when the hearing was closed and a decision rendered.

IV. INDEX OF SITE PLAN DOCUMENTS

- A. The special permit application for the proposed development included the following plans, studies and information that were provided to the Planning and Economic Development Board at the time the application was filed on September 6, 2017.
 - 1. Multifamily Housing Special Permit application dated September 6, 2017 with Project Description, certified abutters' list, property ownership documentation, ZBA special permit from October 2004, groundwater protection district calculations dated September 6, 2017, and purchase and sale agreement dated August 11, 2017.
 - 2. *Multi Family Housing Special Permit – 143 Village Street* site plan dated September 6, 2017, prepared by Dale MacKinnon, P.E. of Guerriere & Halnon, Inc. of Franklin, MA.
 - 3. *Pre-Post Development Stormwater Narrative for 143 Village Street* prepared by Dale MacKinnon, P.E. of Guerriere & Halnon, Inc. of Franklin, MA dated September 6, 2017.
 - 4. Architectural drawings/floor plans dated 9/6/17 by JG Architects of Holliston, MA.
- B. During the course of the review, revised plans and a variety of other materials were submitted to the Board by the Applicant and its representatives:
 - 1. Property owner's authorization letter dated 9/9/17 allowing the Applicant to seek development permits for the subject property.
 - 2. *Multi Family Housing Special Permit – 143 Village Street* site plan dated September 6, 2017, revised October 10, 2017, last revised October 27, 2017 prepared by Dale MacKinnon, P.E. of Guerriere & Halnon, Inc. of Franklin, MA
 - 3. Requests for Waivers of the *Medway Site Plan Rules and Regulations*, prepared by Dale MacKinnon, P.E. of Guerriere and Halnon, dated September 7, 2017, October 10, 2017 and October 24, 2017
 - 4. Colonial Fencing brochure
 - 5. Techo-Bloc Stone brochure
 - 6. Guerriere & Halnon response letter dated 10/10/17 to the 9/19/17 Tetra Tech review letter.
 - 7. Guerriere & Halnon response letter dated 10/10/17 to the 9/19/17 PGC Associates review letter.

8. Updated *Pre-Post Development Stormwater Narrative for 143 Village Street* prepared by Dale MacKinnon, P.E. of Guerriere & Halnon, Inc. of Franklin, MA, received October 10, 2017
9. On-site car turning exhibit dated 10/10/17, prepared by Guerriere & Halnon, Inc. of Franklin, MA

C. Other documentation entered into the record

1. Design Review Committee review letter dated 9/20/17.
2. Review memorandum dated 9/18/17 from Fire Chief Jeff Lynch
3. Review comment letter dated 9/26/17 from Medway Police Sergeant Jeff Watson.
4. Tetra Tech plan review letter dated 9/19/17, revised 10/18/17.
5. PGC Associates plan review letter dated 9/19/17, revised 10/19/17.
6. A series of emails from Sean Reardon, P.E. of Tetra Tech, dated 10/27 and 10/30/17.

V. TESTIMONY - In addition to the site plan application materials as submitted and provided during the course of our review, the Planning and Economic Development Board heard and received verbal or written testimony from:

- Sean Reardon, P.E. of Tetra Tech, Inc., the Town's Consulting Engineer – Site plan review letters dated 9/19/17 and 10/18/17 and commentary provided throughout the public hearing process.
- Gino Carlucci, PGC Associates, the Town's Consulting Planner – Site plan review letters dated 9/19/17 and 10/19/17, and commentary provided throughout the public hearing process.
- Danell Baptiste, project engineer from Guerriere & Halnon for the Applicant
- Dale MacKinnon, P.E. from Guerriere & Halnon for the Applicant
- Rev. Msgr. Timothy Moran, St. Joseph's Catholic Church

VI. FINDINGS - The Planning and Economic Development Board, at its meeting on October 30, 2017, on a motion made by Robert Tucker, and seconded by Thomas Gay, voted to approve the following **FINDINGS** regarding the site plan and special permit application for 143 Village Street. The motion was approved by a vote of five in favor and none opposed.

MULTIFAMILY HOUSING SPECIAL PERMIT FINDINGS - The Board makes the following findings in relation to this application's compliance with Section 5.6.4 Multifamily Housing of the *Medway Zoning Bylaw*.

- 1) The subject property, located at 143 Village Street, is located within the Multifamily Housing Overlay District and therefore is eligible for a multifamily housing special permit. The site has more than 50' of frontage on Village Street and Sanford Street and therefore complies with the *Zoning Bylaw* requirement for a minimum of 50 feet of frontage on an existing street located within the Multifamily Housing Overlay District.
- 2) Village Street and Sanford Street have sufficient capacity to accommodate the additional traffic flow to be generated by three additional housing units in the subject development.

- 3) The size of the subject parcel is 5,868 sq. ft. It is a pre-existing, nonconforming parcel which does not meet the minimum lot size of 10,000 sq. ft. for the Village Commercial District. The setbacks also do not comply with those of the underlying zoning district (20' front and 10' side). However, as authorized by Section 5.6.4 C. 1. of the *Zoning Bylaw*, and for the purpose of this application, the Board hereby adjusts the setbacks and allowable minimum lot size. Further, this pre-existing, nonconforming building is eligible for a multifamily housing special permit as there is no increase in the building's dimensional nonconformity and the project can meet the open space and parking requirements of Section 5.6.4.
- 4) The 38' height of the pre-existing building is not proposed to be increased, so therefore complies with the maximum building height of 40'
- 5) The maximum density for a multifamily housing project is 12 units/acre before any density bonus. With its size of 0.1347 acres, the site is eligible for 1.6 dwelling units. The proposed development includes the rehabilitation of a 100+ year old building and the complete interior reconstruction of 2,858 sq. ft. for 3 residential units, so it qualifies for density bonuses offered in Section 5.6.4. The Affordable Housing requirements of Section 8.6 of the *Zoning Bylaw* do not apply to this development because of its small number of dwelling units. Therefore, the proposed 3 unit development complies with the density requirements of Section. 5.6.4.
- 6) 37% percent of the site is open yard area which meets the minimum required amount of 15%.
- 7) With 6 parking spaces, the project meets the requirements for 1.5 off-street parking spaces per unit plus .5 off-street parking spaces for visitor parking for every 2 dwelling units.
- 8) Town water and sewer service is presently available in both Village and Sanford Streets adjacent to the subject property.
- 9) The Multifamily Housing section of the *Zoning Bylaw* (Section 5.6.4) was first adopted by the Town in 2015 to encourage the provision of a diversity of housing types, to promote pedestrian oriented development, and to increase the number of affordable housing units in Medway. This development will include three apartment style condominium dwelling units to add much needed supply to Medway's housing stock. The site's location is within the Medway Village Commercial District and includes ready access to the Charles River, Town Hall and local convenience retail.
- 10) The 2009 Medway Master Plan encourages the provision of a diversity of housing options for households of all incomes and backgrounds. The amendment of the *Zoning Bylaw* in 2015 to add Section 5.6.4 Multifamily Housing under which this development is proposed is a direct response to the Master Plan housing goal #4 to provide needed changes to the *Zoning Bylaw*. The 2016 Medway Housing Production plan promotes the use of *Zoning Bylaw* provisions for the development of multifamily housing in appropriate locations. The 143 Village

Street development is an outstanding example of a modest scale multifamily housing development for Medway's Village Commercial District and the Medway Village Historic District.

- 11) The location of the 143 Village Street development is within the Village Commercial Zoning District and the multifamily use is allowed by special permit under Section 5.6.4 of the *Zoning Bylaw*. The site is nearby other multifamily buildings/developments (50+ units in Sanford Mill). The Board finds that this development is suitably located, is not detrimental to the neighborhood and does not significantly alter the character of the zoning district.

SITE PLAN RULES AND REGULATIONS FINDINGS – The Planning and Economic Development Board shall determine whether the proposed development is in conformance with the standards and criteria set forth in the *Site Plan Rules and Regulations*, unless specifically waived. In making its decision, the Planning and Economic Development Board shall determine the following:

- 12) Has internal circulation, queuing and egress been designed such that traffic safety is protected, access via minor streets servicing residential areas is minimized, and traffic backing up into the public way is minimized?
The site is situated at the southwest corner of Village and Sanford Streets. Access/egress is from Sanford Street only, so no minor streets are impacted. The parking spaces are all internal to the site – 3 surface and 3 within the building. Pursuant to Specific Condition M, no vehicular backing onto a public way is allowed.
- 13) Does the site plan show designs that minimize any departure from the character, materials, and scale of buildings in the vicinity as viewed from public ways and places?
The designs of the site and building have been reviewed by the Design Review Committee, a review letter has been provided and the Applicant has incorporated the recommendation changes. The setbacks of the building are comparable to others in the area and the materials and scale are appropriate for the site.
- 14) Is reasonable use made of building location, grading and vegetation to reduce the visible intrusion of structures, parking areas, outside storage or other outdoor service areas (e.g. waste removal) from public views or from (nearby) premises residentially used and zoned.
The building is located close to both Village and Sanford Streets with a grass area along the southern portion of the site. The stormwater management areas are located under the parking area and under the grass/yard area in the southwest portion of the site. There is no dumpster planned; each unit will have its own individual trash receptacles that will be stored indoors. A fence shall be installed along the western and southern boundaries of the site.
- 15) Is adequate access to each structure for fire and service equipment provided?
The site is situated at the southwest corner of Village and Sanford Streets. The St. Joseph's Church parking lot is immediately adjacent to the west of the subject site. The Fire Chief has reviewed the plans and determined that there is adequate access for fire and emergency service equipment.

- 16) Will the design and construction minimize, to the extent reasonably possible, the following environmental impacts?
- a) the volume of cut and fill;
 - b) the number of trees to be removed with particular care taken with mature trees and root systems;
 - c) the visual prominence of man-made elements not necessary for safety;
 - d) the removal of existing stone walls;
 - e) the visibility of building sites from existing streets;
 - f) the impacts on waterways and environmental resource areas;
 - g) soil pollution and erosion;
 - h) noise.

Since the project involves the renovation of an existing building on an already developed site, the impacts listed above are minimal. Cuts and fills are the minimum needed to expand the driveway. No significant trees are being removed, a portion of an existing stone wall is being removed to improve safe access to the site, the existing building is highly visible from the street but is being renovated and the aesthetics improved, a stormwater management system ensures minimal impacts on waterways and environmental resources, the minimal disturbance keeps soil pollution and erosion to a minimum, and the impact of construction noise will be minimized with limits on the hours of construction activity. (See General Condition C.).

- 17) Is pedestrian and vehicular safety both on the site and egressing from it maximized?

The site has been designed with an entrance/egress only on Sanford Street. The driveway width meets the minimum recommended by the Fire Chief. The southbound sight distance from the driveway is acceptable. The northbound sight distance is limited due to the driveway's location close to the intersection of Village and Sanford Street. During the course of review, the driveway location was adjusted southerly and reduced in width to the maximum extent possible from 36' to 30'. The project was reviewed for pedestrian and vehicular safety by the Fire Chief and the Town's Consulting Engineer and found to be adequate with Specific Condition M prohibiting rear facing vehicular exits from the premises onto Sanford Street. The sidewalk on Sanford Street will be reconstructed by the Town and the Applicant during the fall of 2017 and will enhance pedestrian access and safety.

- 18) Does the design and will the construction incorporate, to the maximum extent possible, the visual prominence of natural and historic features of the site?

While the site has no visually prominent natural features on it, its location is visually prominent at the corner of Village and Sanford Streets within the Medway Village National Register Historic District. The construction will result in an improved appearance due to both renovation of the building and the addition of landscaping to the site.

- 19) Does the lighting of structures and parking area avoid glare on adjoining properties and minimize light pollution within the town?

The lighting plan has been adjusted from the original proposal to ensure that there is no light glare outside the property boundaries.

- 20) Is the proposed limit of work area reasonable and does it protect sensitive environmental and/or cultural resources? The site plan as designed should not cause substantial or irrevocable damage to the environment, which damage could be avoided or ameliorated through an alternative development plan or mitigation measures.

The limit of work will encompass the entire site. Given the size and location of the site, this is reasonable. The primary environmental concern is stormwater runoff, and the site generally meets state and local stormwater management regulations. The building will be serviced by Town water and sewer. Any other environmental impacts will be less than would be expected from 3 single family houses on individual lots.

ADAPTIVE USE OVERLAY DISTRICT SITE STANDARDS – Section 5.6.4.B.1 of the *Zoning Bylaw* requires that multifamily housing developments that are located within the boundaries of Medway's Adaptive Use Overlay District (AUOD) also meet the Adaptive Use Site Development Standards which are articulated in Section 504-4 of the *AUOD Rules and Regulations*. The property located at 143 Village Street is located within the AUOD. The Board makes the following findings in relation to this application's compliance with the AUOD Site Development Standards.

- 21) Standard 504-4 B provides that an existing building must be restored or renovated to maintain, restore or enhance its architectural integrity. *The building is being completely renovated to create three residential units.*
- 22) Standard 504-4 C specifies that parking be located to the side or rear of the building and that the parking be screened from the public way. *The parking for 143 Village Street is located within the building and along the Sanford Street side of the building. Landscaping will be provided along the property's eastern boundary and a fence will be installed along the property's western boundary to provide screening.*
- 23) Standard 504-C indicates that parking areas shall include provisions for current or future shared and/or linked parking with adjacent properties when such linking can be accomplished without significant degradation of the character of the neighborhood. *The owner of the adjacent property at 151 Village Street and 4 Sanford Street is not receptive to providing access to link parking areas on the respective properties. Furthermore, linked parking is more appropriate for commercial properties.*
- 24) Standard 504-D specifies that lighting shall be of residential scale, architecturally compatible with the building, and shall be designed to ensure that no glare is produced on abutting properties or the public way. *The proposed lighting is appropriate for the residential use. The selection of lighting fixtures and light levels have been revised so as to not produce glare on abutting properties or the public way.*
- 25) Standard 504-E prohibits new curb cuts and expansion of existing curb unless the PEDB finds that such changes are necessary to ensure safe access. *The existing curb cut on Sanford Street is being adjusted and reduced in width to 30 feet to improve safety and sight lines.*

- 26) Standard 504-F provides that significant pedestrian and bicycle access (including bicycle parking) shall be provided. *There is an existing sidewalk on Village and Sanford Streets so both pedestrians and cyclists will be able to access the site. However, there is no provision for the installation of a bicycle rack on the premises. The Applicant has requested a waiver from the requirement to install a bicycle rack on the premises. See Waiver Request #5 of this decision. As this development is 100% residential, there is no need to provide for bicycle parking for consumers as would be the case with a commercial development. Storage of personal bicycles for residents/guests can be readily accomplished in the garage parking available for each unit.*
- 27) Standard 504-G specifies that a landscape plan is provided to maintain or enhance the residential character of the property and to provide screening for parking, loading and refuse storage facilities. *A landscaping plan is included in the plan set.*
- 28) Standard 504-I provides that at least two off-street parking spaces shall be provided for every residential unit in a building with one (1) or more residences. *The site plan for 143 Village Street shows a total of 6 on-site parking spaces. This meets the minimum required for 3 units.*

GROUNDWATER PROTECTION DISTRICT SPECIAL PERMIT FINDINGS

- 29) The area of the parcel within the Groundwater Protection District is 5,456.6 sq. ft. This comprises 93% of the site.
- 30) Post construction impervious coverage = 3,719 sq. ft. This comprises 63% of the site.
- 31) The proposed residential use is not prohibited by Section 5.6.3 of the *Zoning Bylaw*. New residential construction is a permitted use, subject to certain restrictions, within the Groundwater Protection District. As conditioned and noted below, the project will comply with those restrictions.
- 32) Storage of hazardous materials is prohibited unless in a free-standing container within a building. Storage of hazardous materials is not anticipated. In any case, as a precautionary measure, any hazardous materials that will be used at the facility will be identified and a list provided to the Board (*See Specific Condition N herein*). All storage and use of hazardous materials will be contained within the building. Any accidental spillage will also be contained within the building and any that enters the sewer system will be treated prior to being discharged to the municipal sewer system.
- 33) Fertilizers may be used on landscape material but will be the minimum necessary (*See Specific Condition N herein*). All storage will be contained within the building.
- 34) Any use of hazardous materials will occur within the building.
- 35) There will be no earth removal within six feet of the historical high groundwater level except for construction of the open stormwater basin that is receiving required pre-treatment as reviewed by the Town's Consulting Engineer.

- 36) Water control devices are prohibited unless they can be shown to prevent adverse impacts on groundwater. The stormwater management plans have been reviewed by the Town's Consulting Engineer to ensure that no adverse impacts will result.
- 37) The Town's Consulting Engineer has reviewed the planned stormwater management facilities to ensure that groundwater recharge does not degrade groundwater quality.
- 38) As required by Section 5.6.F. of the Zoning Bylaw, the plans were distributed to the Board of Health, Conservation Commission, Water and Sewer Commission, and Department of Public Services for review and comment to ensure that no adverse impacts on the quality or quantity of water available within the Groundwater Protection District, and that disturbance of the soils, topography, drainage, vegetation and other characteristics is minimized. Due to the planned stormwater management facilities, the proposed facility will reduce impacts on the quality of water available within the Groundwater Protection District.

VII. WAIVERS – At its October 30, 2017 meeting, the Planning and Economic Development Board, on a motion made by Robert Tucker and seconded by Richard Di Iulio, voted to approve waivers from the following provisions of the *Rules and Regulations for the Submission and Approval of Site Plans, as amended December 3, 2002, and the Adaptive Use Overlay District Rules and Regulations*. The Planning and Economic Development Board's action and reasons for granting each waiver request are listed below. All waivers are subject to the *Special and General Conditions of Approval*, which follow this section. The motion was approved unanimously by a vote of five in favor and none opposed.

SITE PLAN RULES AND REGULATIONS

- 1) **Section 204-3 A. 7. Development Impact Statement** - The Applicant shall submit a written *Development Impact Statement* which shall describe the potential and anticipated impacts of the proposed development, identify all positive and adverse impacts, and propose an acceptable program to prevent or mitigate adverse impacts.

At its discretion, the Planning Board, upon written request of the Applicant, and based on the Board's preliminary assessment of the scale and type of development proposed, may waive or modify the requirements for submission of any of the elements of the *Development Impact Statement*.

The *Development Impact Statement* shall consist of the following four elements – traffic, environmental, community and parking.

The Applicant has requested a full waiver from this requirement. The scale of the project is minimal and it is costly to prepare an impact report. The Town's Consulting Engineer has no objection to this alternative. Therefore, the Board APPROVES this waiver request.

- 2) **Section 204-4 Standards for Site Plan Preparation, B. Plan Scale** - The site plan shall be drawn at a scale of one (1) inch equals forty (40) feet or such other scale that has been approved in advance by the Planning Board and that clearly and adequately represents the proposed improvements.

The Applicant has requested a waiver from this requirement and used a 1" = 10' scale in lieu of the standard 1" = 40' scale. As the site is relatively small, this scale provides for a clearer and neater plan than can show more detail than a comparable plan at 1" = 40'. The Town's Consulting Engineer has no objection to this alternative. Therefore, the Board APPROVES this waiver request.

- 3) **Section 204-5 C. 3. Existing Landscape Inventory** - An *Existing Landscape Inventory* shall be prepared by a Professional Landscape Architect licensed in the Commonwealth of Massachusetts. This inventory shall include a "mapped" overview of existing landscape features and structures and a general inventory of major plant species including the specific identification of existing trees with a diameter of one (1) foot or greater at four (4) feet above grade.

Section 204-5 D7 – Landscape Architectural Plan –A *Landscape Architectural Plan* shall be prepared by a Landscape Architect licensed in the Commonwealth of Massachusetts. This *Plan* shall be prepared as an overlay of the existing conditions sheets and shall incorporate, whenever possible, the significant features of the existing site and topography, particularly existing trees with a diameter of one (1) foot or greater at four (4) feet above grade. The *Landscape Architectural Plan* shall indicate the areas slated for excavation; any woodlands, trees or other existing features or structures to be retained; all new plantings by common and Latin name including their proposed locations and sizes at the time of installation. Plan graphics for tree canopies shall reflect, as closely as possible, the actual canopy dimension of proposed tree plantings at the time of installation with a "lesser" intensity graphic used to represent potential canopy at maturity.

The Applicant has requested waivers from these requirements. There are minimal landscape features on the site. As the site is so small and the project scale is modest, there is no added value in preparing an inventory of the existing landscape given the site's existing conditions. The Applicant proposes to have an experienced site designer prepare the landscape plan in lieu of a licensed landscape architect. Therefore, the Board APPROVES this waiver request.

- 4) **Section 205-3 Traffic. A. Curb Cuts. 6) Driveway Distance from Intersection** - Where a site occupies a corner of two (2) intersecting roads, the curb cut shall be as remote from the intersection as possible. No curb cut shall be located within fifty (50) feet of the point of tangency of the existing or proposed curb radius of that site.

The Applicant has requested a waiver from this requirement. The proposed entrance to the site from Sanford Street is located close to the intersection of Village and Sanford Streets. The Applicant has reduced the size of the driveway opening from its existing width of 36' down to 30', thus increasing the distance from the intersection as far as is practical given the property boundaries and site access requirements. Furthermore, the curb radius at the intersection has been reduced to help slow down vehicles turning southbound onto Sanford Street from Village Street and improve sight distance in order to help mitigate the proximity of the curb cut to the intersection. Therefore, the Board APPROVES this waiver request.

ADAPTIVE USE DISTRICT SITE DEVELOPMENT STANDARDS

- 5) **Section 504-4 F.** - Significant pedestrian and bicycle access (including bicycle parking) shall be provided.

The Applicant has requested a waiver from the bicycle parking portion of this regulation. Secure bicycle parking will be available in the lower level entry area and garage of each dwelling unit for residents. Bicycle parking for customers is not needed as the development is 100% residential. Therefore, the Board APPROVES this waiver.

- VIII. CONDITIONS** - The *Special and General Conditions* included in this Decision shall assure that the Board's approval of this site plan complies with the *Medway Zoning Bylaw*, Section 5.6.4, is consistent with *Site Plan Rules and Regulations*, that the comments of various Town boards and public officials have been adequately addressed, and that concerns of abutters and other community residents which were aired during the public hearing process have been carefully considered

SPECIFIC CONDITIONS OF APPROVAL

- A. Notwithstanding any future amendment of the *Medway Zoning Bylaw*, G.L. c.40A, or any other legislative act:
1. The maximum number of dwelling units to be constructed under this special permit shall be three.
 2. The tract(s) of land on which this ARCPUD is to be located shall not be altered or used except:
 - a) as granted by this special permit;
 - b) substantially as shown on the plan entitled 143 Village Street dated September 6, 2017, last revised October 27, 2017 to be further revised as referenced herein; and
 - c) in accordance with subsequent approved plans or amendments to this special permit.
 3. The tract of land and building shall not be used, sold, transferred or leased except in conformity with this special permit and shall not be further divided.
- B. **Plan Endorsement** - Within sixty (60) days after the Board has filed its *Decision* with the Town Clerk, the site plan set for 143 Village Street, dated September 6, 2017, last revised October 27, 2017, prepared by Guerriere & Halnon, Inc. of Franklin, MA and building elevations by JG Architects of Holliston, MA, shall be further revised to reflect all Conditions and required revisions, including those as follows, and shall be submitted to the Planning and Economic Development Board to review for compliance with the Board's *Decision*. (*Said plan is hereinafter referred to as the Plan*). Upon approval, the Applicant shall provide a Mylar of the revised Plan in its final form to the Board for its signature/endorsement prior to recording at the Norfolk County Registry of Deeds along with this decision. All Plan sheets shall be bound together in a complete set.

- C. **Cover Sheet Revisions** – Prior to plan endorsement, the Cover Sheet of the October 27, 2017 site plan shall be revised as follows:
1. Revised plan date shall be prominently displayed.
 2. Include the list of APPROVED Requests for Waivers
 3. Revise the Index List to include the architectural drawings by JG Architects.
 4. Add a Town Clerk's signature area for verification that the 20 day appeal period has expired.
 5. Add a note referencing this special permit and that it will be recorded with the plan at the Norfolk County Registry of Deeds
 6. Revise item #5 under Notes to indicate that the referenced "Board" is the Zoning Board of Appeals.
- D. **Other Plan Revisions** – Prior to plan endorsement, the following plan revisions shall be made to the October 27, 2017 site plan.
1. Incorporate a separator row into the Cultec system.
 2. Include the signature block for the Planning and Economic Development's Board's signature on all plan sheets including the building elevations.
 3. Label the 35' turning radius at the southwest corner of Sanford and Village Streets.
 4. Specify changes to the exterior appearance of the building per the recommendations of the Design Review Committee as follows:
 - a) Install or paint the shutters black
 - b) Paint the garage doors a contrasting color and/or provide a decorative trim or architecture feature that would provide some color contrast between the colors of the garage doors and the siding.
 - c) The block retaining wall shall be constructed using the Sandlewood color for the SEMMA style wall and the architectural style cap by Techo Bloc (or equivalent).
 - d) Install fencing along the western elevation of the site having a naturalized wood look with a non-white, matte finish. Use Scallop Hamilton fence by Colonial Fencing with a Dado Capstrip with 1" spacing (or equivalent)
 5. Show the installation of a "No Parking Here to Corner" sign on Sanford Street south of the driveway at the lot line. (Per the recommendation of the Medway Police Department.)
 6. Add a note that site grading and landscaping within 10 feet of Sanford Street shall be completed to be as low as possible so as to accomplish the best possible sight lines for vehicles exiting from the property. (Per the recommendation of the Medway Police Department.)
 7. Include a specification that the underground stormwater structures shall include a separator.
- E. **Open Space/Yard Area** - At least 15% of the site shall be retained as open space and/or yard area in perpetuity. This area shall be unpaved but may be landscaped or left natural, with the balance being trees, shrubs and grass suitable for the site. This area shall not be built upon but may include a play area. This requirement applies to the Applicant and its assigns and successors (*future condominium owners*) and shall be clearly specified in the various condominium documents.

- F. **Sidewalk Construction** – The Applicant’s portion of the sidewalk reconstruction to be undertaken along the west side of Sanford Street is the 30’ wide area at the driveway opening. The Applicant shall complete the work to the Town’s satisfaction before the occupancy permit is issued for the first condominium unit. Sidewalk construction shall meet ADA/AAB requirements.
- G. **Architectural and Site Design Details**
1. Before construction commences, the Applicant shall meet with the Design Review Committee with product samples to finalize plans for:
 - a) lighting fixtures for front entrance, rear walkway and stairs and recessed down lights above the garage doors
 - b) landscaping and/or fencing to screen the mechanical equipment located at the southwest corner of the property
 - c) conversion of 3 small round windows to larger openings or awning style windows
 - d) retaining wall, fencing, and stone wall work
 - e) painting the brick on the building’s north elevation where it appears a basement window was removed or reinstalling a window back in this location.
 2. Construction or reconstruction of stone walls on the Sanford Street frontage shall be completed in manner where the appearance is reminiscent of or compatible with the existing stone walls on the premises.
- H. The Declaration of Trust for the 143 Village Street Condominium shall include the following language: *“The construction and operation of the 143 Village Street Condominium is authorized by a Multifamily Housing Special Permit, Groundwater Protection District Special Permit and Site Plan Approval granted by the Medway Planning and Economic Development Board on October 30, 2017, a copy of which is available for inspection at the Town Clerk’s office and which is recorded at the Norfolk County Registry of Deeds.*
- I. **Water Conservation** – The development is relying on the Town’s public water system and the Town is being held to its Water Management Act Permit with the Mass Department of Environmental Protection. The Applicant shall incorporate the following water conservation measures for construction of the development: well water for landscape irrigation, rain-gauge controlled irrigation systems, low flow household fixtures, and conservation rated appliances.
- J. **Addresses** –The addresses for the condominium units shall be 143 Village Street, Units A, B and C as determined by the Medway Assessor upon consultation with the Fire and Police Chiefs.
- K. **Development Signage** – Any future development signage for this project shall comply with the sign regulations of the Medway *Zoning Bylaw*.
- L. **Drainage/Stormwater Management**

1. Prior to plan endorsement, the Applicant shall provide a memo summarizing how the stormwater design complies with each of the 10 Massachusetts stormwater standards to the Board for its review and approval.
2. Prior to plan endorsement, the Applicant shall provide a long term stormwater operations and maintenance plan to the Board for its review and approval.
3. Until transferred to the 143 Village Street Condominium Trust, the Applicant shall be responsible for keeping the constructed stormwater drainage system in a clean and well-functioning condition, and shall do nothing which would alter the drainage patterns or characteristics as indicated on the Plan approved herein without the express written approval of the Planning and Economic Development Board.
4. The stormwater drainage system shall be maintained by the Applicant and its successors and assigns and shall not be the Town's responsibility. It is the intent of the Planning and Economic Development Board and the Applicant that this stormwater system not be accepted by Town Meeting.
5. The Applicant and its successors and assigns (*future condominium owners*) shall maintain the stormwater management system in accordance with the approved operation and maintenance plan.
6. In the event a management company is engaged by the condominium association, the stormwater maintenance and operation plan shall be incorporated by reference in the management contract.
7. In the event that the Applicant, its successors, or agent fails to maintain the stormwater management system in accordance with the applicable guidelines for operation and maintenance, the Town may conduct such maintenance or repairs as the Town determines in its sole discretion are reasonably necessary, and the Applicant hereby consents to allow the town and its agents, employees and contractors entry onto the Property to implement the measures set forth in such guidelines. In the event the Town conducts such maintenance or repairs, the Applicant shall promptly reimburse the Town for all reasonable expenses associated therewith; if the Applicant fails to so reimburse the Town, the Town may place a lien on the site or any unit therein to secure such payment.

M. **Parking**

1. Residents and guests shall exit the premises facing out to Sanford Street. The backing out of vehicles onto Sanford Street shall be violation of this decision/permit. This requirement shall be clearly specified in the various condominium documents.
2. Parking or use of the parking area at 143 Village Street shall be limited only to vehicles for residents and their guests. The parking area may not be leased or made available to any other business for any purpose.

N. **Groundwater Protection**

1. Storage of hazardous materials is prohibited unless in a free-standing container within a building. Any hazardous materials that will be used on the premises shall be identified and a list provided to the Board. All use of hazardous materials shall be contained within the building. Any accidental spillage shall also be contained within the building and any that enters the sewer system shall be treated prior to being discharged to the municipal sewer system.
2. Any fertilizers used on landscape material anywhere on the site shall be the slow-release organic granular type, and only the absolute minimum necessary. All storage of fertilizers shall be contained within the building.
3. Outdoor storage anywhere on the site shall consist only of non-hazardous materials. Metal materials stored outside shall be under cover of a building or structure to prevent leaching of the metal into the groundwater.
4. There shall be no use of pesticides, herbicides, fungicides or insecticides anywhere on the exterior of the site.
5. Deicing materials shall be limited to calcium chloride or other deicer material approved by the Medway Department of Public Services.
6. Plowed snow for the site shall be stored only in the designated areas shown on the plan or taken off site in times of substantial storms.
7. The stormwater management facilities shall be maintained in accordance with the stormwater operations and maintenance plan.
8. All vehicles shall be parked/stored on the paved surface to ensure treatment of any leaks of fluids from the vehicles. There shall be no outdoor maintenance or cleaning of vehicles.
9. The Town reserves the right to periodically inspect the site to ensure compliance with these conditions.
10. Any future changes to roofing materials shall be reviewed by the Board and may necessitate an amendment to the Groundwater Protection District Special Permit to ensure that roofing materials do not result in negative impacts to the groundwater supply.

O. **Recording of Plans and Documents**

1. The Plan of Record associated with this special permit is: *Multi Family Housing Special Permit 143 Village Street*, last revised October 27, 2017 to be further revised as specified herein, prepared by Dale MacKinnon, P.E. of Guerriere and Halnon of Franklin, MA. with architectural drawings by JG Architects of Holliston, MA.
2. No construction shall begin on the site and no building permit shall be issued before the following documents/plans are recorded at the Norfolk County Registry of Deeds:
 - a) This special permit decision
 - b) The Plan of Record endorsed by the Planning and Economic Development Board

3. The following documents, which shall be in compliance with the conditions of this decision, shall be recorded at the Norfolk County Registry of Deeds prior to the issuance of an occupancy permit for the first dwelling unit.
 - a) 143 Village Street Condominium Master Deed
 - b) Declaration of Trust of 143 Village Street Condominium Trust
4. Within thirty days of recording, the Applicant or his assign shall provide the Planning and Economic Development Board with a receipt from the Norfolk County Registry of Deeds indicating that all documents have been duly recorded, or supply another alternative verification that such recording has occurred.

GENERAL CONDITIONS OF APPROVAL

- A. **Fees** - Prior to plan endorsement by the Planning and Economic Development Board, the Applicant shall pay:
1. the balance of any outstanding plan review fees owed to the Town for review of the site plan by the Town's engineering, planning or other consultants; and
 2. any construction inspection fee that may be required by the Planning and Economic Development Board; and
 3. any other outstanding expenses or obligations due the Town of Medway pertaining to this property, including real estate and personal property taxes and business licenses.

The Applicant's failure to pay these fees in their entirety shall be reason for the Planning and Economic Development Board to withhold plan endorsement.

- B. **Other Permits** – This permit does not relieve the Applicant from its responsibility to obtain, pay and comply with all other required federal, state and Town permits. The contractor for the Applicant or assigns shall obtain, pay and comply with all other required Town permits.
- C. **Restrictions on Construction Activities** – During construction, all local, state and federal laws shall be followed regarding noise, vibration, dust and blocking of town roads. The Applicant and its contractors shall at all times use all reasonable means to minimize inconvenience to abutters and residents in the general area. The following specific restrictions on construction activity shall apply.
1. **Construction Time** - Construction work at the site and in the building and the operation of construction equipment including truck/vehicular and machine start-up and movement shall commence no earlier than 7 a.m. and shall cease no later than 6 p.m. Monday – Saturday. No construction shall take place on Sundays or legal holidays without the advance approval of the Inspector of Buildings.

2. The Applicant shall take all measures necessary to ensure that no excessive dust leaves the premises during construction including use of water spray to wet down dusty surfaces.
3. There shall be no tracking of construction materials onto any public way. Daily sweeping of roadways adjacent to the site shall be done to ensure that any loose gravel/dirt is removed from the roadways and does not create hazardous or deleterious conditions for vehicles, pedestrians or abutting residents. In the event construction debris is carried onto a public way, the Applicant shall be responsible for all clean-up of the roadway which shall occur as soon as possible and in any event within twelve (12) hours of its occurrence.
4. The Applicant is responsible for having the contractor clean-up the construction site and the adjacent properties onto which construction debris may fall on a daily basis.
5. All erosion and siltation control measures shall be installed by the Applicant prior to the start of construction and observed by the Planning and Economic Development Board's consulting engineer and maintained in good repair throughout the construction period.
6. *Construction Traffic/Parking* – During construction, adequate provisions shall be made on-site for the parking, storing, and stacking of construction materials and vehicles. All parking for construction vehicles and construction related traffic shall be maintained on site. No parking of construction and construction related vehicles shall take place on adjacent public or private ways or interfere with the safe movement of persons and vehicles on adjacent properties or roadways.
7. *Noise* - Construction noise shall not exceed the noise standards as specified in the *Medway General Bylaws* and the *Medway Zoning Bylaw*, SECTION V. USE REGULATIONS, Sub-Section B. Area Standards, Paragraph 2. b). as may be amended.

D. ***Landscape Maintenance***

1. The site's landscaping shall be maintained in good condition throughout the life of the facility and to the same extent as shown on the endorsed Plan. Any shrubs, trees, bushes or other landscaping features shown on the Plan that die shall be replaced by the following spring.
2. Within 60 days after two years after the last occupancy permit is issued, the Town's Consulting Engineer or the Inspector of Buildings shall conduct an initial inspection of the landscaping to determine whether and which landscape items need replacement or removal and provide a report to the Board. At any time subsequent to this initial inspection, the Town's Consulting Engineer or the Inspector of Buildings may conduct further inspections of the landscaping to determine whether and which landscaping items need replacement or removal and provide a report to the Board. The Board may seek enforcement remedies with the Inspector of

Buildings/Zoning Enforcement Officer to ensure that the comprehensive landscaping plan is maintained.

E. **Snow Storage and Removal**

1. On-site snow storage shall not encroach upon nor prohibit the use of any parking spaces required by the *Zoning Bylaw*.
2. Accumulated snow which exceeds the capacity of the designated on-site snow storage areas shall be removed from the premises within 24 hours after the conclusion of the storm event.

F. **Right to Enter Property** – Duly authorized agent(s) of the Town of Medway shall have the right to enter upon the common areas of the condominium to ensure continued compliance with the terms and conditions of this special permit.

G. **Construction Oversight**

1. Construction Account
 - a) Inspection of infrastructure and utility construction, installation of site amenities including landscaping, and the review of legal documents by Town Counsel is required. Prior to plan endorsement, the Applicant shall establish a construction account with the Planning and Economic Development Board. The funds may be used at the Board's discretion to retain professional outside consultants to perform the items listed above as well as the following other tasks - inspect the site during construction/installation, identify what site plan work remains to be completed, prepare a bond estimate, conduct other reasonable inspections until the site work is completed and determined to be satisfactory, review as-built plans, and advise the Board as it prepares to issue a *Certificate of Site Plan Completion*).
 - b) Prior to plan endorsement, the Applicant shall pay an advance toward the cost of these services to the Town of Medway. The advance amount shall be determined by the Planning and Economic Development Board based on an estimate provided by the Town's Consulting Engineer.
 - c) Depending on the scope of professional outside consultant assistance that the Board may need, the Applicant shall provide supplemental payments to the project's construction inspection account, upon invoice from the Board.
 - d) Any funds remaining in the Applicant's construction inspection account after the *Certificate of Site Plan Completion* is issued shall be returned to the Applicant.
2. Planning and Economic Development Board members, its staff, consultants or other designated Town agents and staff shall have the right to inspect the site at any time, for compliance with the endorsed site plan and the provisions of this Decision.

3. The Department of Public Services will conduct inspections for any construction work occurring in the Town's right-of way in conjunction with the Town of Medway Street Opening/Roadway Access Permit.
4. The Applicant shall have a professional engineer licensed in the Commonwealth of Massachusetts conduct progress inspections of the construction of the approved site improvements. Inspections shall occur at least on a monthly basis. The engineer shall prepare a written report of each inspection and provide a copy to the Planning and Economic Development Board within 5 days of inspection.

H. **Plan Modification**

1. This Site Plan Approval is subject to all subsequent conditions that may be imposed by other Town departments, boards, agencies or commissions. Any changes to the site plan that may be required by the decisions of other Town boards, agencies or commissions shall be submitted to the Planning and Economic Development Board for review as site plan modifications.
2. Any work that deviates from an approved site plan shall be a violation of the *Medway Zoning Bylaw*, unless the Applicant requests approval of a plan modification pursuant to Section 3.5.2.A.3.c. and such approval is provided in writing by the Planning and Economic Development Board.
3. Whenever additional reviews by the Planning and Economic Development Board, its staff or consultants are necessary due to proposed site plan modifications, the Applicant shall be billed and be responsible for all supplemental costs including filing fees, plan review fees and all costs associated with another public hearing including legal notice and abutter notification. If the proposed revisions affect only specific limited aspects of the site, the Planning and Economic Development Board may reduce the scope of the required review and waive part of the filing and review fees.

I. **Plan Compliance**

1. The Applicant shall construct all improvements in compliance with the approved and endorsed site plan and any modifications thereto.
2. The Planning and Economic Development Board or its agent(s) shall use all legal options available to it, including referring any violation to the Building Commissioner/Zoning Enforcement Officer for appropriate enforcement action, to ensure compliance with the foregoing Conditions of Approval.
3. The Conditions of Approval are enforceable under Section 3.1. F. of the *Medway Zoning Bylaw* (non-criminal disposition) and violations or non-compliance are subject to the appropriate fine.

J. **Performance Security**

1. No occupancy permit shall be granted until the Planning and Economic Development Board has provided a written communication to the Inspector of Buildings/Zoning Enforcement Officer that the project, as constructed, conforms completely and fully to the approved site plan and

- that any conditions including construction of any required on and off-site improvements, have been satisfactorily completed OR that suitable security/performance guarantee has been provided to the Town of Medway, to the Planning and Economic Development Board's satisfaction, to cover the cost of all remaining work.
2. The Applicant shall propose a form of performance security which shall be of a source and in a form acceptable to the Planning and Economic Development Board, the Treasurer/Collector and Town Counsel. The Board may require that the performance guarantee be accompanied by an agreement which shall define the obligations of the developer and the performance guarantee company including:
 - a) the date by which the developer shall complete construction
 - b) a statement that the agreement does not expire until released in full by the Planning and Economic Development Board
 - c) procedures for collection upon default.
 3. The amount of the performance guarantee shall be equal to 100% of the amount that would be required for the Town of Medway to complete construction of the site infrastructure including installation of stormwater management facilities, utilities, services, pedestrian facilities and all site amenities and all mitigation measures as specified in the Plan that remain unfinished at the time the performance guarantee estimate is prepared if the developer failed to do so.
 4. The security amount shall be approved by the Planning and Economic Development Board based on an estimate provided by the Town's Consulting Engineer based on the latest weighted average bid prices issued by the Mass Highway Department. The estimate shall reflect the cost for the Town to complete the work as a public works project which may necessitate additional engineering, inspection, legal and administrative services, staff time and public bidding procedures. The estimate shall also include the cost to maintain the infrastructure in the event the developer fails to adequately perform such and the cost for the development of as-built plans. In determining the amount, the Board shall be guided by the following formula in setting the sum: estimate of the Town's Consulting Engineer of the cost to complete the work plus a twenty-five percent (25%) contingency.
 5. Final release of performance security is contingent on project completion.

K. Project Completion

1. Site plan approval shall lapse after one (1) year of the grant thereof if substantial use has not commenced except for good cause. The approved site plan shall be completed by the Applicant or its assignees within two (2) years of the date of plan endorsement. Upon receipt of a written request by the Applicant filed at least thirty (30) days prior to the date of expiration, the Planning and Economic Development Board may grant an extension for good cause. The request shall state the reasons for the extension and also the length of time requested. If no request for extension

is filed and approved, the site plan approval shall lapse and may be reestablished only after a new filing, hearing and decision.

2. Prior to issuance of the occupancy permit for the eighth dwelling unit, the Applicant shall secure a ***Certificate of Site Plan Completion*** from the Planning and Economic Development Board and provide the ***Certificate*** to the Inspector of Buildings. The ***Certificate*** serves as the Planning and Economic Development Board's confirmation that the completed work conforms to the approved site plan and any conditions and modifications thereto, including the construction of any required on and off-site improvements. The ***Certificate*** also serves to release any security/performance guarantee that has been provided to the Town of Medway. To secure a ***Certificate*** of Site Plan Completion, the Applicant shall:

- a) provide the Planning and Economic Development Board with written certification from a Professional Engineer registered in the Commonwealth of Massachusetts that all building and site work has been completed in strict compliance with the approved and endorsed site plan, and any modifications thereto; and
- b) submit an electronic version of an As-Built Plan, prepared by a registered Professional Land Surveyor or Engineer registered in the Commonwealth of Massachusetts, to the Planning and Economic Development Board for its review and approval. The As-Built Plan shall show actual as-built locations and conditions of all buildings and site work shown on the original site plan and any modifications thereto. The final As-Built Plan shall also be provided to the Town in CAD/GIS file format per MASS GIS specifications.

L. ***Construction Standards*** - All construction shall be completed in full compliance with all applicable local, state and federal laws, including but not limited to the Americans with Disabilities Act and the regulations of the Massachusetts Architectural Access Board for handicap accessibility.

M. ***Conflicts*** – If there is a conflict between the site plan and the Decision's Conditions of Approval, the Decision shall rule. If there is a conflict between this Decision and/or site plan and the Medway *Zoning Bylaw*, the Bylaw shall apply.

IX. APPEAL – Appeals if any, from this Decision shall be made to the court within twenty (20) days of the date the Decision is filed with the Town Clerk.

After the appeal period has expired, the Applicant must obtain a certified notice from the Town Clerk that no appeals have been made and provide such certification to the Planning and Economic Development Board before plan endorsement.

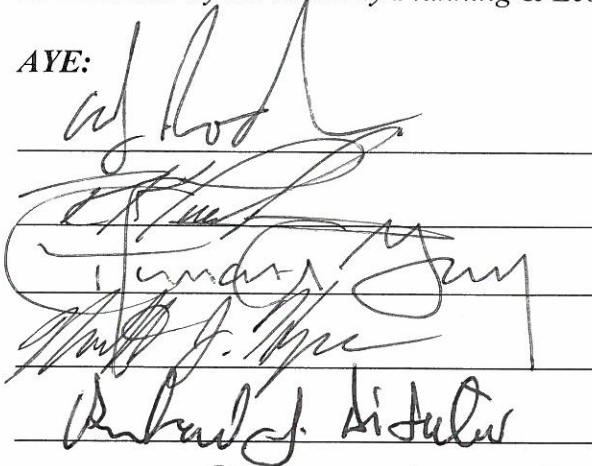
###

**Medway Planning and Economic Development Board
SITE PLAN and SPECIAL PERMIT DECISION
143 Village Street**

APPROVED by the Medway Planning & Economic Development Board: October 30, 2017

AYE:

NAY:



ATTEST:



Susan E. Affleck-Childs
Planning & Economic Development Coordinator

10-30-2017

Date

COPIES TO: Michael Boynton, Town Administrator
David D'Amico, Department of Public Services
Bridget Graziano, Conservation Agent
Donna Greenwood, Assessor
Beth Hallal, Health Agent
Jeff Lynch, Fire Chief
Jack Mee, Inspector of Buildings and Zoning Enforcement Officer
Stephanie Mercandetti, Director of Community and Economic Development
Joanne Russo, Treasurer/Collector
Jeff Watson, Police Department
N.E. Premier Properties, LLC
Dale MacKinnon, Guerriere & Halnon
Danell Baptiste, Guerriere & Halnon
Steven Bouley, Tetra Tech
Gino Carlucci, PGC Associates

MEDWAY TOWN CLERK

155 VILLAGE STREET
MEDWAY, MASSACHUSETTS 02053
(508) 533-3204 • Fax: (508) 533-3287
mwhite@townofmedway.org

MARYJANE WHITE, CMMC

CERTIFIED MASSACHUSETTS MUNICIPAL CLERK

JUSTICE OF THE PEACE

NOTARY PUBLIC

CERTIFICATE

*I, Town Clerk of the Town of Medway, hereby certify that the notice of the decision of the
Medway Planning and Economic Development Board,
has been received in the matter of*

***143 Village St.
N.E. Premier Properties, LLC***

It was received and filed in this office on the following:

October 31, 2017

*And no appeal was received during the next twenty days after such receipt and recording of said
decision.*

Dated at Medway, MA

A true copy

ATTEST.....

Asst. Town Clerk



TOWN OF MEDWAY
Planning & Economic Development Board
155 Village Street
Medway, Massachusetts 02053

Andy Rodenhiser, Chairman
Robert K. Tucker, Vice-Chairman
Thomas A. Gay, Clerk
Cranston (Chan) Rogers, P.E.
Karyl Spiller Walsh

**Request for Medway Treasurer/Collector's
Verification of Status of Paid Taxes**

Date: November 20, 2017

Applicant's Name: N.E. Premier Properties, LLC
Franklin, MA

Property Owner's Name: N.E. Premier Properties, LLC
Conveyance from Estate of Virginia Heavy to new
owner was recorded on 10/30/17

Subject Property Address: 143 Village Street

Map/Parcel Number(s): 60-092

Project Name: 143 Village Street Condominium

Type of Permit: Multifamily Housing and Groundwater Protection District
Special Permits and Site Plan

Please indicate the status of taxes/fees owed to the Town:

- ☒ By checking this box and with my signature below, I verify that all taxes/fees owed the Town of Medway for the subject property(s) noted above are **paid in full** as of this date.
- ☐ By checking this box and with my signature below, I verify that the applicant does not owe taxes/fees to the Town of Medway for other properties in Medway owned by the applicant.
- ☐ By checking this box and with my signature below, I verify that the **Town is owed taxes** for the subject property(s) noted above. Briefly explain on the lines below. Please attach a report that indicates what taxes/fees are owed and the respective amounts.



Signature

11/20/17

Date

Please complete and return to the Planning and Economic Development office.

MULTI FAMILY HOUSING
SPECIAL PERMIT
143 VILLAGE STREET
MEDWAY
MASSACHUSETTS

REVISED DATE: NOVEMBER 10, 2017

SEE DECISION FROM THE TOWN OF MEDWAY PLANNING AND ECONOMIC DEVELOPMENT BOARD DATED OCTOBER 30, 2017 VOTING TO APPROVE WITH WAIVERS AND CONDITIONS FOR MULTIFAMILY HOUSING AND GROUNDWATER PROTECTION PERMIT AND SITE PLAN DECISION 143 VILLAGE STREET



VICINITY MAP
1"=500'

NOTE:

- THIS LOT REFERS TO ASSESSOR MAP 60 LOT 92.
- THIS LOT IS LIES WITHIN THE FOLLOWING:
-ZONING DISTRICT: VILLAGE COMMERCIAL (VC)
-ADAPTIVE USE OVERLAY DISTRICT:MEDWAY VILLAGE AREA
-MULTI FAMILY OVERLAY DISTRICT
-HISTORIC DISTRICT: MEDWAY VILLAGE
- THIS SITE IS NOT IN A FLOOD HAZARD ZONE.
- A PORTION OF THIS SITE IS IN A GROUND WATER PROTECTION DISTRICT.
- SEE OPINION OF THE ZONING BOARD OF APPEALS FOR REQUEST FOR SPECIAL PERMIT 143 VILLAGE STREET, DECISION DATED OCTOBER 20, 2004, RECORDED IN DEED BK 21886 PG. 395.
- LEGAL REFERENCE DEED BK 20894 PAGE 320.
- HORIZONTAL DATUM: NAD83 (NA2011) (EPOCH 2010.00)
VERTICAL DATUM: NAVD88

WAIVERS GRANTED OCTOBER 30, 2017
MOTION WAS APPROVED BY UNANIMOUSLY BY A VOTE OF FIVE IN FAVOR AND NONE OPPOSED BY THE PLANNING AND ECONOMIC DEVELOPMENT BOARD:

- SECTION 204-3 A.7. DEVELOPMENT IMPACT STATEMENT-VOTED TO WAIVE THE REQUIREMENT OF SUBMITTING THE STATEMENT CONSISTING OF FOUR ELEMENTS- TRAFFIC, ENVIRONMENTAL, COMMUNITY AND PARKING.
- SECTION 204-4 STANDARDS FOR SITE PLAN PREPARATION, B. PLAN SCALE-VOTED TO WAIVE THE REQUIREMENT OF DRAWING SCALE BEING 1"=40FT. TO A DRAWING SCALE OF 1"=10FT. FOR PLAN CLARITY.
- SECTION 204-5 C. 3. EXISTING LANDSCAPE INVENTORY.- VOTED TO WAIVE THE REQUIREMENT OF MAPPING ALL TREES OF ONE FT. IN DIA. GREATER THAN 4 FT. ABOVE GRADE. NO TREES ARE BEING EFFECTED DUE TO APPROVING THE SITE PLAN UPGRADES.
- SECTION 204-5 D7- LANDSCAPE ARCHITECTURAL PLAN.- VOTED TO WAIVE THE REQUIREMENT OF PLAN PREPARED BY A REGISTERED LANDSCAPE ARCHITECT. SITE DESIGNER PREPARED LANDSCAPE PLAN.
- SECTION 205-3 TRAFFIC. A. CURB CUTS. 6) DRIVEWAY DISTANCE FROM INTERSECTION-VOTED TO WAIVE DISTANCES FROM INTERSECT TO CURB CUTS. REDUCED DRIVEWAY CURB CUT FROM 36' TO 30'. CURB RADIUS WAS REDUCED FOR SLOWING TRAFFIC AND IMPROVING SIGHT DISTANCE.
- SECTION 504-4 F. SIGNIFICANT PEDESTRIAN AND BICYCLE ACCESS- VOTED TO WAIVE THE REQUIREMENT OF BICYCLE RACK. BICYCLES PARKING AVAILABLE AT THE LOWER LEVEL ENTRY WAY AND IS 100% RESIDENTIAL, BICYCLE PARKING FOR CUSTOMERS IS NOT NEEDED.

UTILITIES ARE PLOTTED AS A COMPILATION OF RECORD DOCUMENTS, MARKINGS AND OTHER OBSERVED EVIDENCE TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES AND SHOULD BE CONSIDERED APPROXIMATE. LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY COMPLETELY AND RELIABLY DEPICTED. (ADDITIONAL UTILITIES, NOT EVIDENCED BY RECORD DOCUMENTS OR OBSERVED PHYSICAL EVIDENCE, MAY EXIST. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING AND CALL DIGSAFE AT 1(888)DIG-SAFE(7233).

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

INDEX

- COVER SHEET
- EXISTING CONDITIONS
- SITE PLAN AND LANDSCAPING
- GRADING, UTILITIES, AND EROSION CONTROL
- PHOTOMETRIC PLAN
- CONSTRUCTION DETAILS
- ARCHITECTURAL DRAWINGS PREPARED BY JG ARCHITECTS, HOLLISTON, MA.

TITLE PAGE
A-100 FLOOR PLAN, REFLECTIVE CEILING PLAN
A-101 FLOOR PLAN, REFLECTIVE CEILING PLAN, & FRAMING PLAN
A-102 FLOOR PLAN,REFLECTIVE CEILING PLAN, & FRAMING PLAN
A-200 SANFORD STREET ELEVATION
A-201 EXTERIOR RENDERING

CONDITIONS OF APPROVAL:

- THE MAXIMUM NUMBER OF DWELLING UNITS TO BE CONSTRUCTED UNDER THIS SPECIAL PERMIT SHALL BE THREE.
- THE TRACT(S) OF LAND ON WHICH THIS ARCPUD IS TO BE LOCATED SHALL NOT BE ALTERED OR USED EXCEPT:
A. AS GRANTED BY THIS SPECIAL PERMIT;
B. SUBSTANTIALLY AS SHOWN ON THE PLAN ENTITLED 143 VILLAGE STREET DATED SEPTEMBER 6, 2017, LAST REVISED OCTOBER 27, 2017 TO BE FURTHER REVISED AS REFERENCED HEREIN; AND
C. IN ACCORDANCE WITH SUBSEQUENT APPROVED PLANS OR AMENDMENTS TO THIS SPECIAL PERMIT.
- THE TRACT OF LAND AND BUILDING SHALL NOT BE USED, SOLD, TRANSFERRED OR LEASED EXCEPT IN CONFORMITY WITH THIS SPECIAL PERMIT AND SHALL NOT BE FURTHER DIVIDED.

"I, MARYJANE WHITE, CLERK OF THE TOWN OF MEDWAY, RECEIVED AND RECORDED FROM THE PLANNING BOARD COVENANT APPROVAL OF THIS PLAN ON NOVEMBER 1, 2017 AND NO APPEAL WAS TAKEN FOR TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SAME."

TOWN CLERK

DATE

JOB NO.
F4158

APPROVED DATE:
PLANNING AND ECONOMIC
DEVELOPMENT BOARD

DATE:
BEING A MAJORITY

PROFESSIONAL
LAND SURVEYOR

PROFESSIONAL
ENGINEER

OWNER: VIRGINIA L. HEAVEY
6 SANFORD STREET
MEDWAY, MA 02053
DEED BK. 20894 PG. 320

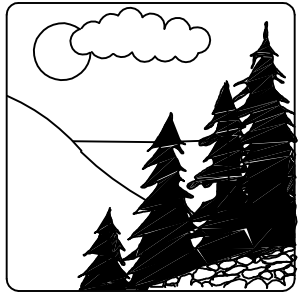
APPLICANT: N.E. PREMIER PROPERTIES, LLC
KEVIN TUCCERI, MANAGER
5 SHIELA LANE
FRANKLIN, MA 02038

LOCUS:

143 VILLAGE STREET
A.M. 60 LOT 92

REVISIONS

DATE	REVISED
10/10/17	PER TOWN COMMENTS
10/25/17	SIDEWALK,LIGHT SPILLAGE,MASSDOT DETAIL ISOLATOR ROW, SIGNATURE BLOCKS
10/27/17	WATER SERVICE, CAPE COD BERM MODIFY SIDEWALK
11/10/17	PER TOWN DECISION



Ph. (508) 528-3221
Fx. (508) 528-7921

Guerriere
&
Halnon, Inc.

Engineering & Land Surveying
55 WEST CENTRAL STREET
FRANKLIN, MA 02038
www.gandhengineering.com

COVER

MULTI FAMILY HOUSING
SPECIAL PERMIT
143 VILLAGE STREET
MEDWAY
MASSACHUSETTS

DATE
SEPTEMBER 6, 2017

SCALE
AS-NOTED

SHEET
1 OF 7

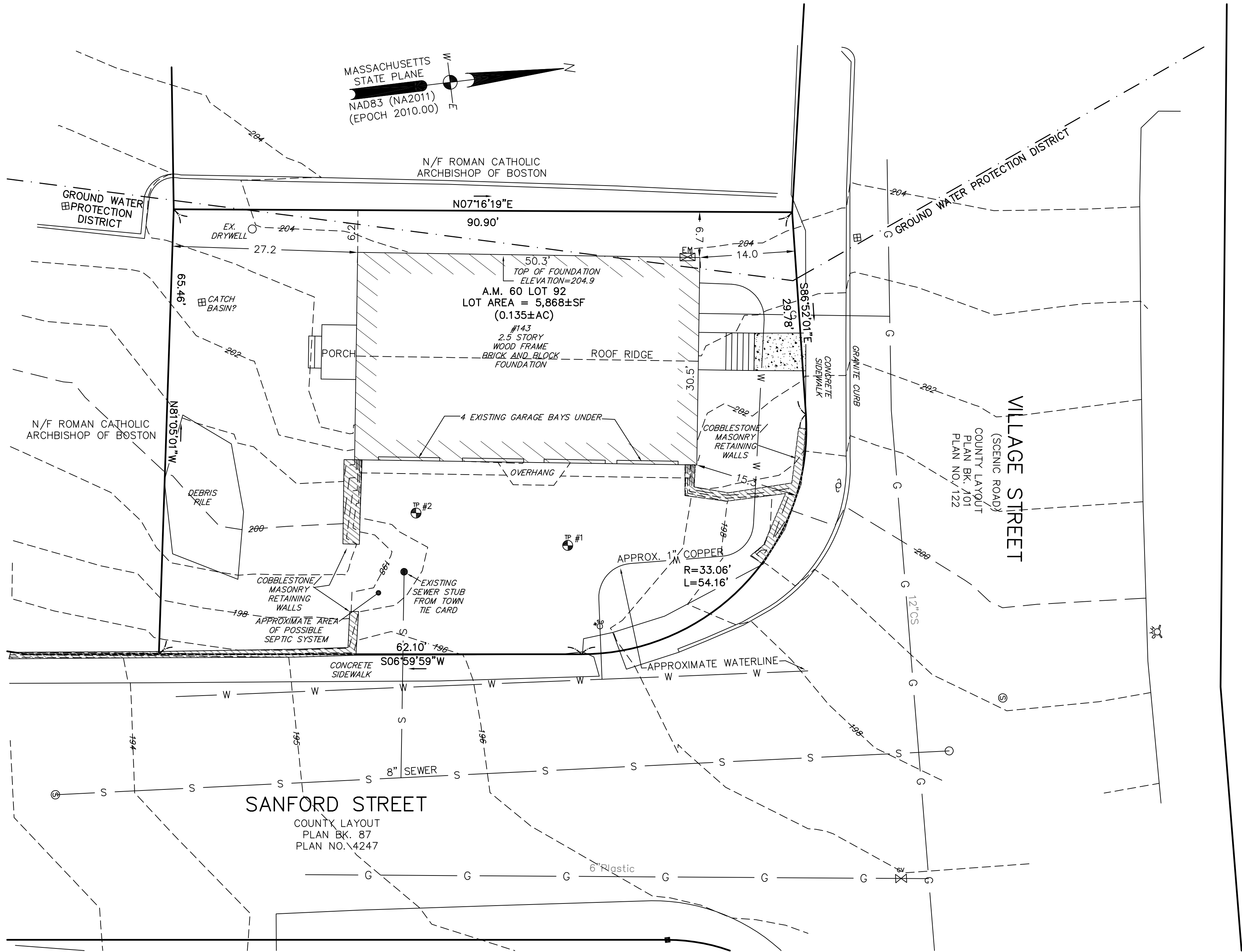
JOB NO.
F4158

TESTING INFORMATION

DATE: AUGUST 31, 2017

BY: MICHAEL HASSETT, SOIL EVALUATOR

DTH #1			DTH #2		
196.5	SANDY LOAM 10YR3/2	0-8"	196.5		0-36"
195.8	SANDY LOAM	8"-26"	193.5		F
194.3	10YR5/6	B		SAND & GRAVEL 10YR5/3	36"-84"
	STRATIFIED SAND & GRAVEL 10YR5/3	26"-84"			
189.5		C	189.5		C
REFUSAL AT 84" NO MOTTLES			REFUSAL AT 84" NO MOTTLES TOP AND SUB SOIL STRIPPED		



UTILITIES ARE PLOTTED AS A COMPILATION OF RECORD DOCUMENTS, MARKINGS, AND OTHER OBSERVED EVIDENCE TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES AND SHOULD BE CONSIDERED APPROXIMATE. LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY COMPLETELY AND RELIABLY DEPICTED. ADDITIONAL UTILITIES, NOT EVIDENCED BY RECORD DOCUMENTS OR OBSERVED PHYSICAL EVIDENCE, MAY EXIST. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING AND CALL DIGSAFE AT 1(888)DIG-SAFE(7233).

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APPROVED DATE:
PLANNING AND ECONOMIC
DEVELOPMENT BOARD

DATE: _____
BEING A MAJORITY

PROFESSIONAL
LAND SURVEYOR

PROFESSIONAL
ENGINEER

OWNER: VIRGINIA L. HEAVEY
6 SANFORD STREET
MEDWAY, MA 02053
DEED BK. 20894 PG. 320

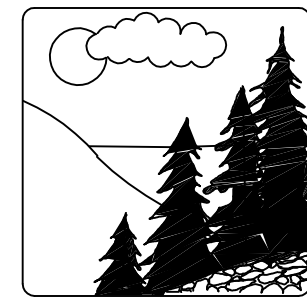
APPLICANT: N.E. PREMIER PROPERTIES, LLC
KEVIN TUCCERI, MANAGER
5 SHIELA LANE
FRANKLIN, MA 02038

LOCUS:

143 VILLAGE STREET
A.M. 60 LOT 92

REVISIONS

DATE	REVISED
10/10/17	PER TOWN COMMENTS
10/25/17	SIDEWALK, LIGHT SPILLAGE, MASSDOT DETAIL
	ISOLATOR ROW, SIGNATURE BLOCKS
10/27/17	WATER SERVICE, CAPE COD BERM
	MODIFY SIDEWALK
11/10/17	PER TOWN DECISION



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FRANKLIN, MA 02038

EXISTING CONDITIONS

MULTI FAMILY HOUSING
SPECIAL PERMIT
143 VILLAGE STREET
MEDWAY
MASSACHUSETTS

DATE
SEPTEMBER 6, 2017

SCALE
1"=10'

SHEET
2 OF 7

JOB NO.
F4158

JOB NO.
F4158































PLAN REFERENCES:

SEE PLAN DATED MARCH 7, 1927 BY A.
SCHUYLER CLAPP RECORDED IN
DEED BOOK 1735 PAGE 354

SEE COUNTY LAYOUT OF VILLAGE STREET IN
PLAN BOOK 101 PLAN NO. 122

SEE COUNTY LAYOUT OF SANFORD STREET IN
PLAN BOOK 87 PLAN NO. 4247

PLANTING LEGEND			
SYMBOL	NAME	SIZE	QUANTITY
	LITTLE LEAF LINDEN TILIA CORDATA	4" MIN. 2.5" GAL.	3
	ROSE OF SHARON HIBISCUS SYRIACUS	5 GAL.	7
	JUNIPER PLUMROSA COMPACTA	3 GAL.	14
	DAYLILY HEMERCALLIS 'HAPPY RETURNS'	3 GAL.	4
	DELAWARE VALLEY WHITE AZALEA RHODODENDRON 'DELAWARE VALLEY WHITE'	3 GAL.	3
	REDTWIG DOGWOOD CORNUS ALBA 'BAILHALO'	2-3ft. HIGH	5
	AMERICAN ARBORVITAE THUJA OCCIDENTALIS	3-4ft. HIGH	5
	GLORY JAPANESE HOLLY ILEX CRENATA 'GLORY'	3 GAL.	6

LEGEND			
	CATCH BASIN		PROPOSED LIGHT POLE
	DRAIN MANHOLE		UTILITY POLE
	ELECTRIC MANHOLE		GUY WIRE
	SEWER MANHOLE		SIGN
	GAS VALVE		SEWER LINE
	GAS SHUT OFF VALVE		DRAIN LINE
	WATERGATE		WATER LINE
	WATER SHUT OFF VALVE		GAS LINE
	FIRE HYDRANT		ELEC., TEL. CABLE
	VERTICAL CONC CURB		OVERHEAD WIRES
	RETAINING WALL		25' WETLAND BUFFER
	ABOVE FINISH GRADE		EDGE OF PAVEMENT
	ARBORVITAE		SPOT ELEVATION
	SHRUB		CLEAN OUT
	TREE		ELECTRIC METER

ZONING INFORMATION
VILLAGE COMMERCIAL

	REQUIRED	EXISTING
AREA	10,000SF	5,868±SF.
FRONTAGE	N/A	146.04'
FRONT YARD	20'	13.9'±
SIDE YARD	10'	6.2'±
REAR YARD	10'	N/A
LOT COVERAGE		
BUILDINGS	80%	28%
LOT COVERAGE		
AREA	N/A	N/A

PARKING INFORMATION

4 UNITS PROPOSED
1.5 PARKING SPACES PER UNIT= 6 SPACES REQUIRED

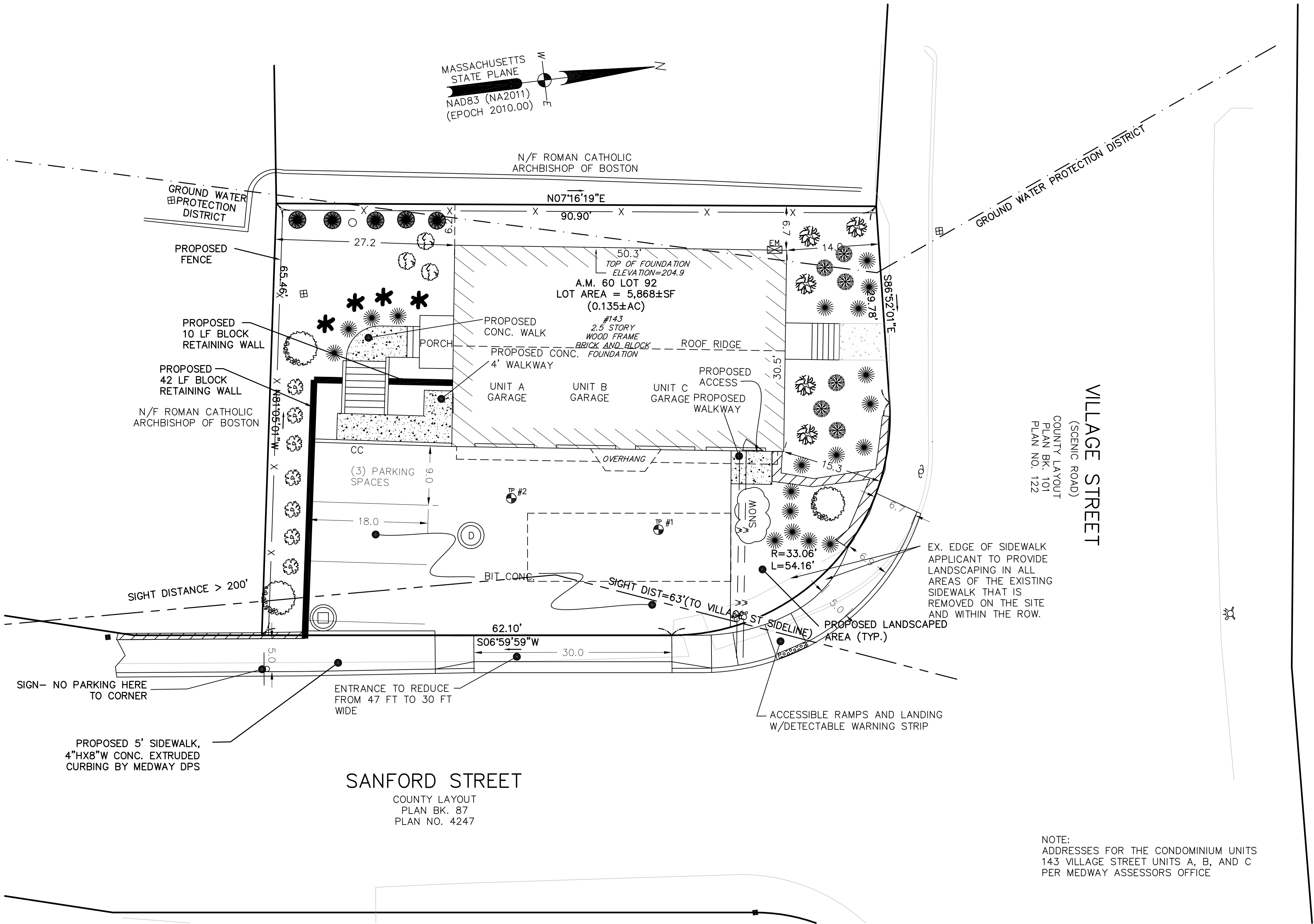
PROVIDED PARKING
GARAGE PARKING FOR 3 UNITS= 3 SPACES
DESIGNATED OUTDOOR PARKING = 3 SPACES
TOTAL PROVIDED PARKING = 6 SPACES

NOTES

- THIS LAND IS ZONED VILLAGE COMMERCIAL
- THIS LAND IS WITHIN THE MEDWAY VILLAGE OVERLAY DISTRICT.
- THIS SITE IS NOT IN A FLOOD HAZARD ZONE.
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES IN THE FIELD. ANY DISCREPANCY WITH THE PLANS SHOULD BE REPORTED TO THE DESIGN ENGINEER UPON DISCOVERY.
- REFER TO MEDWAY ASSESSORS MAP 60 LOTS 092.
- VILLAGE STREET IS DESIGNATED AS A SCENIC ROAD.
- THE NORTH WESTERLY PORTION OF THE LOT IS WITHIN THE GROUND WATER PROTECTION DISTRICT.
- ALL EROSION CONTROL DEVICES SHALL BE IN PLACE PRIOR TO CONSTRUCTION.
- THE OWNER/APPLICANT SHALL LIMIT CONSTRUCTION DEBRIS AND MATERIALS ON THE SITE. IN THE EVENT THAT DEBRIS IS CARRIED ONTO A PUBLIC WAY, THE OWNER/APPLICANT SHALL BE RESPONSIBLE FOR ALL CLEANUP OF THE ROADWAY.

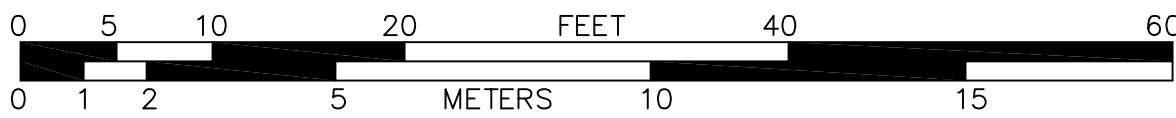
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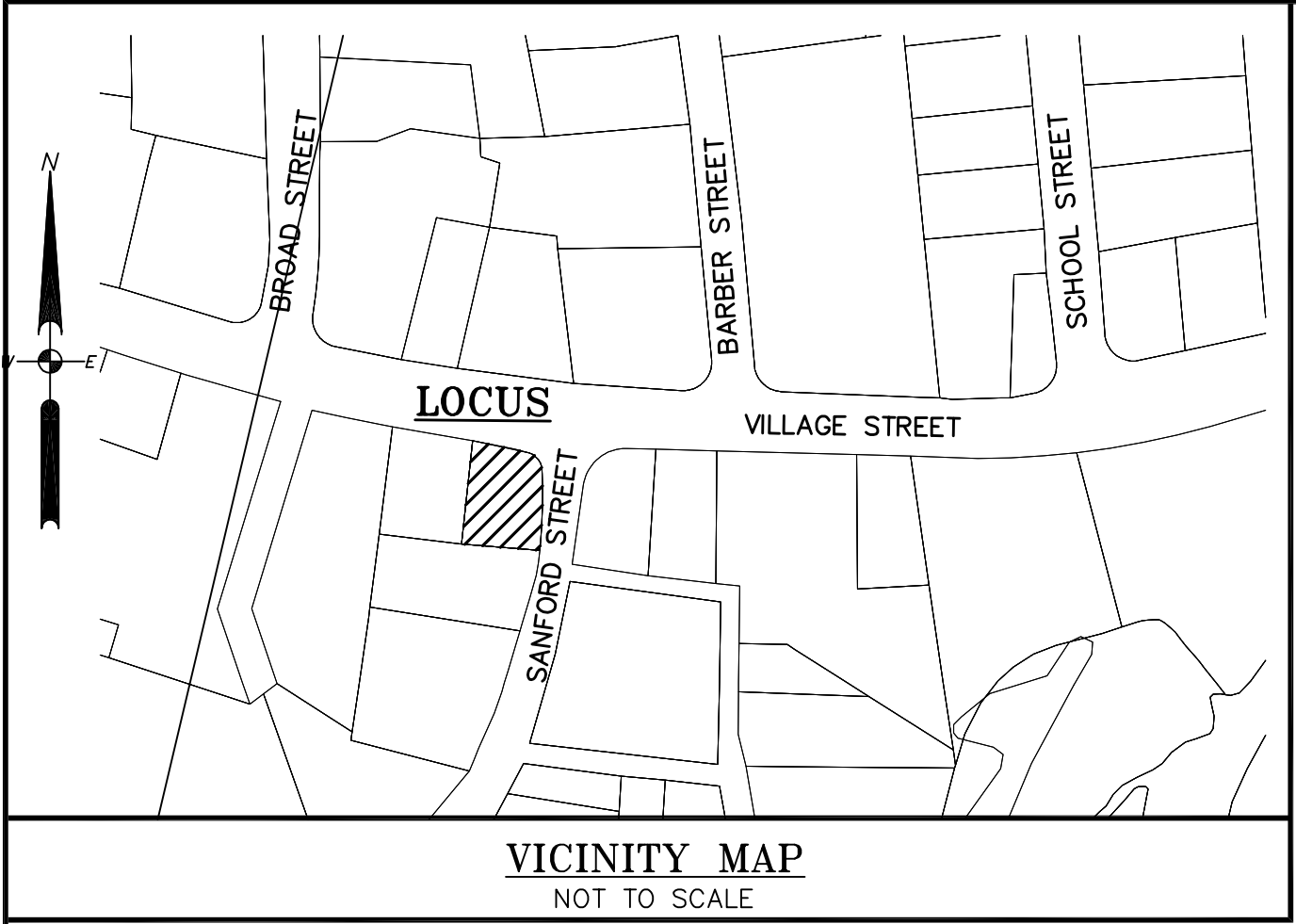


BUILDING NOTES PER DESIGN
REVIEW COMMITTEE

- INSTALL OR PAINT SHUTTERS BLACK.
- PAINT THE GARAGE DOORS A CONTRASTING COLOR OR PROVIDE A DECORATIVE TRIM OR ARCHITECTURAL FEATURE THAT WOULD PROVIDED SOME COLOR CONTRAST BETWEEN THE COLORS OF THE GARAGE DOORS AND THE SIDING.
- THE BLOCK RETAINING WALL SHALL BE CONSTRUCTED USING THE SANDLEWOOD COLOR FOR THE SEMMA STYLE WALL AND THE ARCHITECTURAL STYLE CAP BY TECO BLOC, OR EQUIVALENT.
- FENCING TO BE INSTALLED SHALL HAVE A NATURALIZED WOOD LOOK WITH A NON-WHITE, MATTE FINISH. USE SCALLOP HAMILTON FENCE BY COLONIAL FENCING WITH A DADO CAPSTRIP WITH 1" SPACING OR EQUIVALENT.



JOB NO. F4158		
APPROVED DATE: PLANNING AND ECONOMIC DEVELOPMENT BOARD		
DATE: _____ BEING A MAJORITY		
PROFESSIONAL LAND SURVEYOR	PROFESSIONAL ENGINEER	
OWNER: VIRGINIA L. HEAVEY 6 SANFORD STREET MEDWAY, MA 02053 DEED BK. 20894 PG. 320		APPLICANT: N.E. PREMIER PROPERTIES, LLC KEVIN TUCCERI, MANAGER 5 SHIELA LANE FRANKLIN, MA 02038
LOCUS: 143 VILLAGE STREET A.M. 60 LOT 92		
REVISIONS		
DATE	REVISED	
10/10/17	PER TOWN COMMENTS	
10/25/17	SIDEWALK, LIGHT SPILLAGE, MASSDOT DETAIL	
10/27/17	ISOLATOR ROW, SIGNATURE BLOCKS	
11/10/17	WATER SERVICE, CAPE COD BERM	
	MODIFY SIDEWALK	
	PER TOWN DECISION	
 Ph. (508) 528-3221 Fx. (508) 528-7921 www.gandhengineering.com		
SITE LAYOUT & LANDSCAPING PLAN		
MULTI FAMILY HOUSING SPECIAL PERMIT 143 VILLAGE STREET MEDWAY MASSACHUSETTS		
DATE SEPTEMBER 6, 2017	SCALE 1"=10'	
SHEET 3 OF 7	JOB NO. F4158	



LEGEND	
	CATCH BASIN
	DRAIN MANHOLE
	ELECTRIC MANHOLE
	SEWER MANHOLE
	GAS VALVE
	GAS SHUT OFF VALVE
	WATERGATE
	WATER SHUT OFF VALVE
	FIRE HYDRANT
	VERTICAL CONC CURB
	RETAINING WALL
	ABOVE FINISH GRADE
	ARBORVITAE
	SHRUB
	TREE
	PROPOSED LIGHT POLE
	UTILITY POLE
	GUY WIRE
	SIGN
	SEWER LINE
	DRAIN LINE
	WATER LINE
	GAS LINE
	ELEC., TEL. CABLE
	OVERHEAD WIRES
	25' WETLAND BUFFER
	EDGE OF PAVEMENT
	SPOT ELEVATION
	CLEAN OUT
	ELECTRIC METER
	SILT BAG

ZONING INFORMATION VILLAGE COMMERCIAL

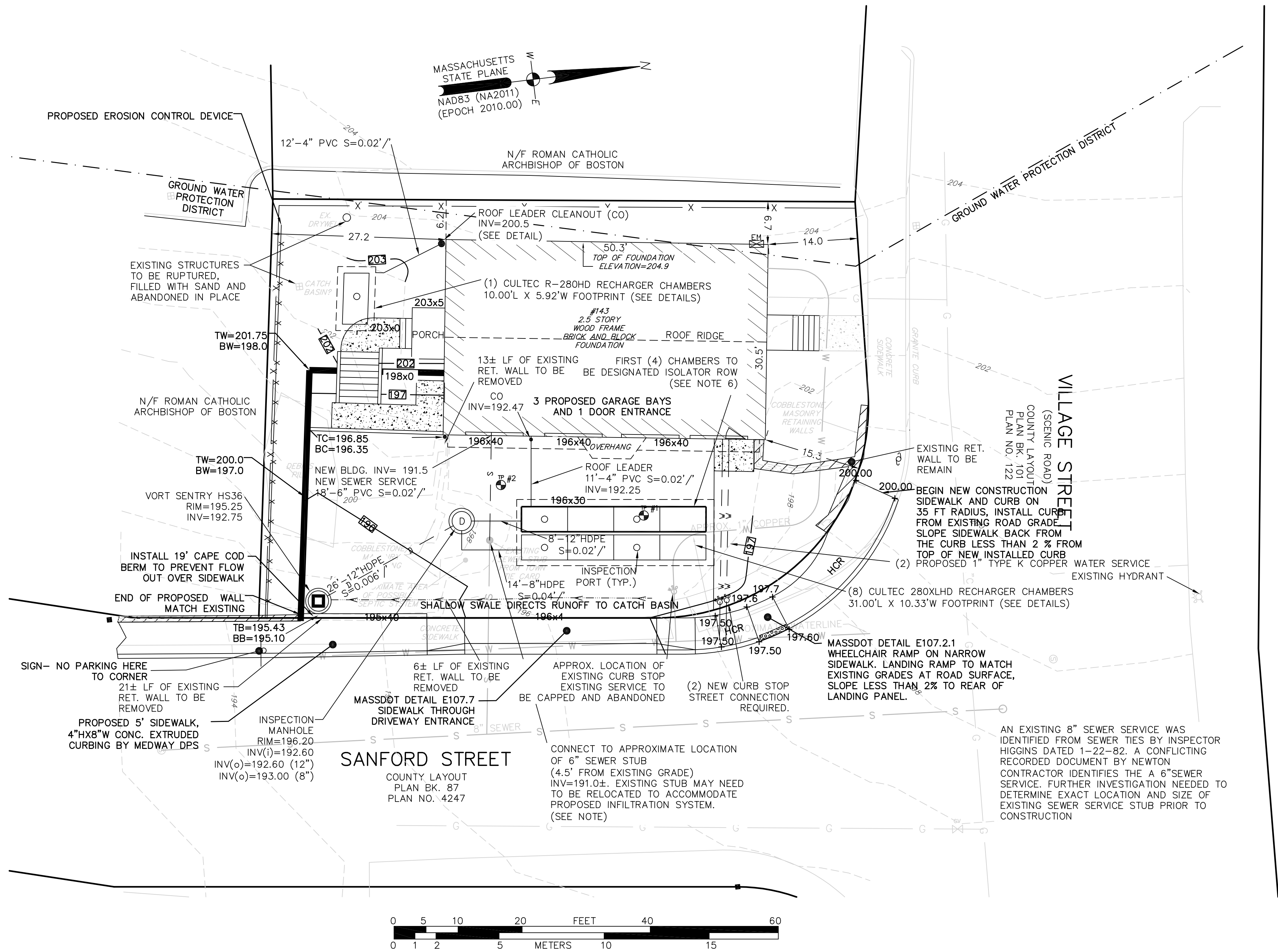
	REQUIRED	EXISTING
AREA	10,000SF	5,868±SF.
FRONTAGE	N/A	N/A
FRONT YARD	20'	13.9'±
SIDE YARD	10'	6.2'±
REAR YARD	10'	N/A
LOT COVERAGE	80%	28%
BUILDINGS		
LOT COVERAGE		
AREA	N/A	N/A

NOTES

- THIS LAND IS ZONED VILLAGE COMMERCIAL.
- THIS LAND IS WITHIN THE MEDWAY VILLAGE OVERLAY DISTRICT.
- THIS SITE IS NOT IN A FLOOD HAZARD ZONE.
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES IN THE FIELD. ANY DISCREPANCY WITH THE PLANS SHOULD BE REPORTED TO THE DESIGN ENGINEER UPON DISCOVERY.
- REFER TO MEDWAY ASSESSORS MAP 60 LOTS 092.
- VILLAGE STREET IS DESIGNATED AS A SCENIC ROAD.
- THE NORTH WESTERLY PORTION OF THE LOT IS WITHIN THE GROUND WATER PROTECTION DISTRICT.
- ALL EROSION CONTROL DEVICES SHALL BE IN PLACE PRIOR TO CONSTRUCTION.
- THE OWNER/APPLICANT SHALL LIMIT CONSTRUCTION DEBRIS AND MATERIALS ON THE SITE. IN THE EVENT THAT DEBRIS IS CARRIED ONTO A PUBLIC WAY, THE OWNER/APPLICANT SHALL BE RESPONSIBLE FOR ALL CLEANUP OF THE ROADWAY.
- SIDEWALK & CURBING CONSTRUCTION TO BE COMPLETED BY MEDWAY DPS.

UTILITIES ARE PLOTTED AS A COMPILATION OF RECORD DOCUMENTS, MARKINGS AND OTHER OBSERVED EVIDENCE TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES AND SHOULD BE CONSIDERED APPROXIMATE. LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY COMPLETELY AND RELIABLY DETECTED. ADDITIONAL UTILITIES, NOT EVIDENCED BY RECORD DOCUMENTS OR OBSERVED PHYSICAL EVIDENCE, MAY EXIST. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING AND CALL DIGSAFE AT 1(888)DIG-SAFE[7233].

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.



STORM DRAINAGE NOTES

SPECIAL CONSIDERATION FOR INLET CONTROLS FOR EROSION COLLECTION BEFORE ENTERING DRAINAGE SYSTEM:

- INSTALL SILT SACKS.
- BARRIER AROUND CATCH BASIN, MULCH SOCK OR EQUAL
- INSTALL SILT SACK IN CATCH BASINS UNTIL CONSTRUCTION IS COMPLETE.
- INSPECTIONS BEFORE AND AFTER STORM EVENTS ARE REQUIRED TO INSURE ADEQUACY OF EROSION CONTROL MEASURES.
- CONTRACTOR & ARCHITECT ARE TO VERIFY SITE UTILITIES PRIOR TO DESIGN & CONSTRUCTION.
- THE DESIGNATED ISOLATOR ROW SHALL BE WRAPPED WITH 410 NON-WOVEN GEOTEXTILE AND 66 WOVEN GEOTEXTILE PER MANUFACTURE SPECIFICATION. NO INTERNAL MANIFOLDS TO BE INSTALLED.

GRADING NOTE:

SITE GRADING AND LANDSCAPING WITHIN 10 FT. OF SANFORD STREET SHALL BE COMPLETED TO BE AS LOW AS POSSIBLE SO AS TO ACCOMPLISH THE BEST POSSIBLE SIGHT LINES FOR VEHICLES EXISTING FROM THE PROPERTY. PER MEDWAY POLICE DEPT.

JOB NO.
F4158

APPROVED DATE:
PLANNING AND ECONOMIC
DEVELOPMENT BOARD

DATE: _____
BEING A MAJORITY

PROFESSIONAL
LAND SURVEYOR

PROFESSIONAL
ENGINEER

OWNER:
VIRGINIA L. HEAVEY
6 SANFORD STREET
MEDWAY, MA 02053
DEED BK. 20894 PG. 320

APPLICANT:
N.E. PREMIER PROPERTIES, LLC
KEVIN TUCCERI, MANAGER
5 SHIELA LANE
FRANKLIN, MA 02038

LOCUS:
143 VILLAGE STREET
A.M. 60 LOT 92

REVISIONS

DATE	REVISED
10/10/17	PER TOWN COMMENTS
10/25/17	SIDEWALK, LIGHT SPILLAGE, MASSDOT DETAIL
	ISOLATOR ROW, SIGNATURE BLOCKS
10/27/17	WATER SERVICE, CAPE COD BERM
	MODIFY SIDEWALK
11/10/17	PER TOWN DECISION

**Guerriere
&
Halnon, Inc.**
Engineering & Land Surveying
Ph. (508) 528-3221
Fx. (508) 528-7921
www.gandahengineering.com

GRADING, UTILITY AND
EROSION CONTROL PLAN

MULTI FAMILY HOUSING
SPECIAL PERMIT
143 VILLAGE STREET
MEDWAY
MASSACHUSETTS

DATE SEPTEMBER 6, 2017	SCALE 1"=10'
SHEET 4 OF 7	JOB NO. F4158

CULTEC RECHARGER® 280HD SPECIFICATIONS

GENERAL

CULTEC RECHARGER 280HD CHAMBERS ARE DESIGNED FOR UNDERGROUND STORMWATER MANAGEMENT. THE CHAMBERS MAY BE USED FOR RETENTION, RECHARGING, DETENTION OR CONTROLLING THE FLOW OF ON-SITE STORMWATER RUNOFF.

CHAMBER PARAMETERS

1. THE CHAMBERS WILL BE MANUFACTURED BY CULTEC, INC. OF BROOKFIELD, CT. (203-775-4416 OR 1-800-428-5832)
2. THE CHAMBER WILL BE VACUUM THERMOFORMED OF BLACK POLYETHYLENE.
3. THE CHAMBER WILL BE ARCHED IN SHAPE.
4. THE CHAMBER WILL BE OPEN-BOTTOMED.
5. THE CHAMBER WILL BE JOINED USING AN INTERLOCKING OVERLAPPING RIB METHOD. CONNECTIONS MUST BE FULLY SHOULDERED OVERLAPPING RIBS, HAVING NO SEPARATE COUPLINGS OR SEPARATE END WALLS.
6. THE NOMINAL CHAMBER DIMENSIONS OF THE CULTEC RECHARGER 280HD SHALL BE 26.5 INCHES (673 mm) TALL, 47 INCHES (1194 mm) WIDE AND 8 FEET (2.44 m) LONG. THE INSTALLED LENGTH OF A JOINED RECHARGER 280HD SHALL BE 7 FEET (2.13 m).
7. MAXIMUM INLET OPENING ON THE CHAMBER END WALL IS 18 INCHES (450 mm).
8. THE CHAMBER WILL HAVE TWO SIDE PORTALS TO ACCEPT CULTEC HVLV® FC-24 FEED CONNECTORS TO CREATE AN INTERNAL MANIFOLD. NOMINAL INSIDE DIMENSIONS OF THE SIDE PORTAL SHALL HAVE A WIDTH OF 11.25" (286 mm) AND HEIGHT OF 11.5" (292 mm). THE SIDE PORTAL CAN ACCEPT A MAXIMUM OUTER DIAMETER (O.D.) PIPE SIZE OF 12.25 INCHES (311 mm).
9. THE NOMINAL CHAMBER DIMENSIONS OF THE CULTEC HVLV® FC-24 FEED CONNECTOR SHALL BE 12 INCHES (305 mm) TALL, 18 INCHES (406 mm) WIDE AND 24.2 INCHES (614 mm) LONG.
10. THE NOMINAL STORAGE VOLUME OF THE RECHARGER 280HD CHAMBER WILL BE 6.079 FT³ / FT (0.595 m³ / m) - WITHOUT STONE. THE NOMINAL STORAGE VOLUME OF A JOINED RECHARGER 280HD SHALL BE 42.553 FT³ / UNIT (1.205 m³ / UNIT) - WITHOUT STONE.
11. THE NOMINAL STORAGE VOLUME OF THE HVLV FC-24 FEED CONNECTOR WILL BE 0.913 FT³ / FT (0.085 m³ / m) - WITHOUT STONE.
12. THE RECHARGER 280HD CHAMBER WILL HAVE EIGHTY-TWO DISCHARGE HOLES BORED INTO THE SIDEWALLS OF THE UNITS CORE TO PROMOTE LATERAL CONVEYANCE OF WATER.
13. THE RECHARGER 280HD CHAMBER SHALL HAVE 15 CORRUGATIONS.
14. THE ENDWALL OF THE CHAMBER, WHEN PRESENT, WILL BE AN INTEGRAL PART OF THE CONTINUOUSLY FORMED UNIT. SEPARATE END PLATES CANNOT BE USED WITH THIS UNIT.
15. THE RECHARGER 280HD STAND ALONE UNIT MUST BE FORMED AS A WHOLE CHAMBER HAVING TWO FULLY FORMED INTEGRAL END WALLS AND HAVING NO SEPARATE END PLATES OR SEPARATE END WALLS.
16. THE RECHARGER 280HD STARTER UNIT MUST BE FORMED AS A WHOLE CHAMBER HAVING ONE FULLY FORMED INTEGRAL END WALL AND ONE PARTIALLY FORMED INTEGRAL END WALL WITH A LOWER TRANSFER OPENING OF 9 INCHES (229 mm) HIGH X 35 INCHES (889 mm) WIDE.
17. THE RECHARGER 280HD INTERMEDIATE UNIT MUST BE FORMED AS A WHOLE CHAMBER HAVING ONE FULLY OPEN ENDWALL AND ONE PARTIALLY FORMED INTEGRAL END WALL WITH A LOWER TRANSFER OPENING OF 9 INCHES (229 mm) HIGH X 35 INCHES (889 mm) WIDE.
18. THE RECHARGER 280HD END UNIT MUST BE FORMED AS A WHOLE CHAMBER HAVING ONE FULLY FORMED INTEGRAL END WALL AND ONE FULLY OPEN END WALL AND HAVING NO SEPARATE END PLATES OR END WALLS.
19. THE HVLV FC-24 FEED CONNECTOR MUST BE FORMED AS A WHOLE CHAMBER HAVING TWO OPEN END WALLS AND HAVING NO SEPARATE END PLATES OR SEPARATE END WALLS. THE UNIT WILL FIT INTO THE SIDE PORTALS OF THE RECHARGER 280HD AND ACT AS CROSS FEED CONNECTIONS.
20. CHAMBERS MUST HAVE HORIZONTAL STIFFENING FLEX REDUCTION STEPS BETWEEN THE RIBS.
21. HEAVY DUTY UNITS ARE DESIGNATED BY A COLORED STRIPE FORMED INTO THE PART ALONG THE LENGTH OF THE CHAMBER.
22. THE CHAMBER WILL HAVE A RAISED INTEGRAL CAP LOCATED ON TOP OF THE ARCH IN THE CENTER OF EACH UNIT TO BE USED AS AN OPTIONAL INSPECTION PORT OR CLEAN-OUT.
23. THE UNITS MAY BE TRIMMED TO CUSTOM LENGTHS BY CUTTING BACK TO ANY CORRUGATION.
24. THE CHAMBER SHALL BE MANUFACTURED IN AN IN AN ISO 9001:2008 CERTIFIED FACILITY
25. THE CHAMBER WILL BE DESIGNED TO WITHSTAND TRAFFIC LOADS WHEN INSTALLED ACCORDING TO CULTECS INSTALLATION INSTRUCTIONS.
26. MAXIMUM ALLOWED COVER OVER TOP OF UNIT SHALL BE 12 FEET (3.65 m).

CULTEC HVLV® FC-24 FEED CONNECTOR PRODUCT SPECIFICATIONS

GENERAL

CULTEC HVLV FC-24 FEED CONNECTORS ARE DESIGNED TO CREATE AN INTERNAL MANIFOLD FOR CULTEC RECHARGER 280HD STORMWATER CHAMBERS.

CHAMBER PARAMETERS

1. THE CHAMBERS WILL BE MANUFACTURED BY CULTEC, INC. OF BROOKFIELD, CT. (203-775-4416 OR 1-800-428-5832)
2. THE CHAMBER WILL BE VACUUM THERMOFORMED OF BLACK HIGH MOLECULAR WEIGHT HIGH DENSITY POLYETHYLENE (HDPE).
3. THE CHAMBER WILL BE ARCHED IN SHAPE.
4. THE CHAMBER WILL BE OPEN-BOTTOMED.
5. THE NOMINAL CHAMBER DIMENSIONS OF THE CULTEC HVLV FC-24 FEED CONNECTOR SHALL BE 12 INCHES (305 mm) TALL, 18 INCHES (406 mm) WIDE AND 24.2 INCHES (614 mm) LONG.
6. THE NOMINAL STORAGE VOLUME OF THE HVLV FC-24 FEED CONNECTOR WILL BE 0.913 FT³ / FT (0.085 m³ / m) - WITHOUT STONE.
7. THE HVLV FC-24 FEED CONNECTOR CHAMBER SHALL HAVE 2 CORRUGATIONS.
8. THE HVLV FC-24 FEED CONNECTOR MUST BE FORMED AS A WHOLE CHAMBER HAVING TWO OPEN END WALLS AND HAVING NO SEPARATE END PLATES OR SEPARATE END WALLS. THE UNIT WILL FIT INTO THE SIDE PORTALS OF THE CULTEC RECHARGER STORMWATER CHAMBER AND ACT AS CROSS FEED CONNECTIONS CREATING AN INTERNAL MANIFOLD.
9. THE CHAMBER WILL BE DESIGNED TO WITHSTAND TRAFFIC LOADS WHEN INSTALLED ACCORDING TO CULTECS RECOMMENDED INSTALLATION INSTRUCTIONS.
10. THE CHAMBER SHALL BE MANUFACTURED IN AN ISO 9001:2008 CERTIFIED FACILITY.

CULTEC NO. 20L™ POLYETHYLENE LINER

GENERAL

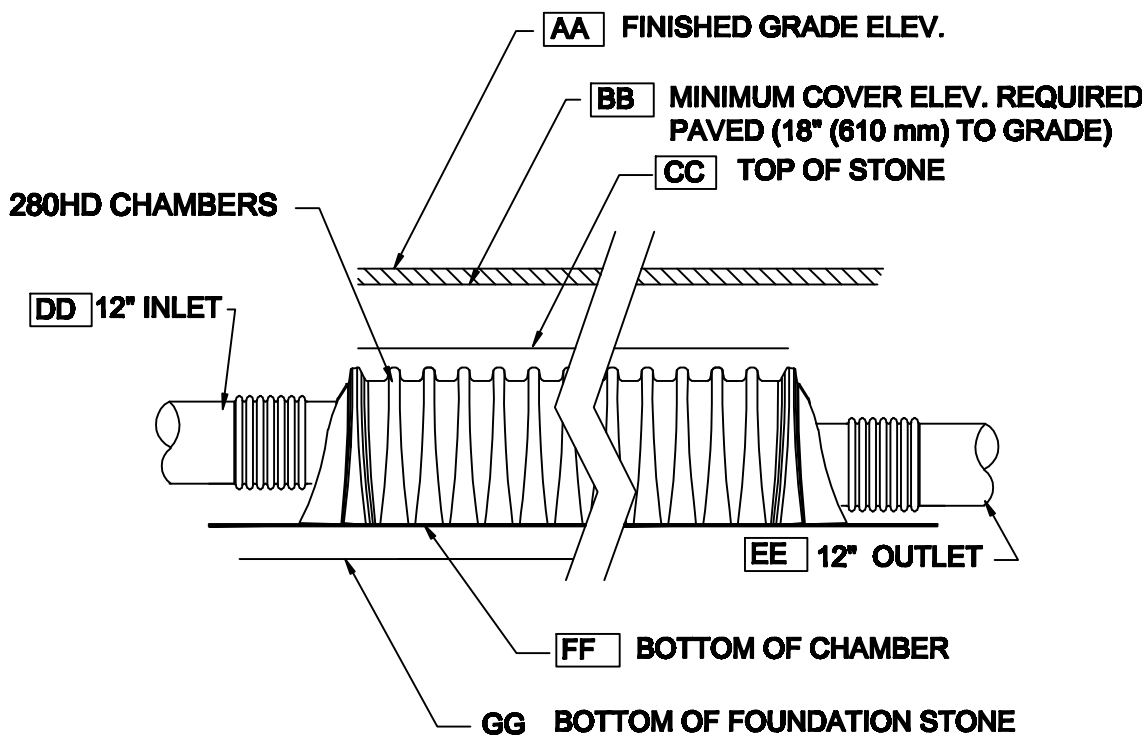
CULTEC NO.™ 20L POLYETHYLENE LINER IS DESIGNED AS AN IMPERVIOUS UNDERLAYMENT TO PREVENT SCOURING OF THE STONE BASE CAUSED BY WATER MOVEMENT WITHIN THE CULTEC SYSTEM. CULTEC NO. 20L POLYETHYLENE LINER IS TO BE PLACED BENEATH HVLV FC-24 FEED CONNECTORS WHEN UTILIZING INTERNAL MANIFOLD AND BENEATH ALL INLET PIPES.

LINER PARAMETERS

1. THE LINER WILL BE PROVIDED BY CULTEC, INC. OF BROOKFIELD, CT. (203-775-4416 OR 1-800-428-5832)
2. THE LINER WILL BE BLACK IN APPEARANCE.
3. THE LINER WILL HAVE A NOMINAL THICKNESS OF 20 MIL (0.51 mm).
4. THE LINER WILL HAVE A WEIGHT OF 93 LBS/MSF (453 g/m²).
5. THE LINER WILL HAVE A TENSILE STRENGTH @ BREAK 1" (2.54 cm) OF 75 LBS (334 n) PER ASTM D6693 TESTING METHOD.
6. THE LINER WILL HAVE AN ELONGATION AT BREAK OF 800% PER ASTM D6693 TESTING METHOD.
7. THE LINER WILL HAVE A TEAR RESISTANCE OF 11 LBF (49 n) PER ASTM D1004 TESTING METHOD.
8. THE LINER WILL HAVE A HYDROSTATIC RESISTANCE OF 100 PSI (689 kpa) PER ASTM D781 TESTING METHOD
9. THE LINER WILL HAVE A PUNCTURE RESISTANCE OF 30 LBF (133 n) PER ASTM D4833 TESTING METHOD.
10. THE LINER WILL HAVE A VOLATILE LOSS OF <1% PER ASTM D1203 TESTING METHOD.
11. THE LINER WILL HAVE A DIMENSIONAL STABILITY OF <2% PER ASTM D1204 TESTING METHOD.
12. THE LINER WILL HAVE A MAXIMUM USE TEMPERATURE OF 180° F (82° C).
13. THE LINER WILL HAVE A MINIMUM USE TEMPERATURE OF -70° F (-57° C).
14. THE LINER WILL HAVE A PERM RATING OF 0.041 U.S. PERMS (0.027 METRIC PERMS) PER ASTM E96 METHOD.
15. THE LINER WILL CONSIST OF A BLENDED LINEAR POLYETHYLENE.
16. THE LINER WILL NOT CONTAIN PLASTICIZERS.

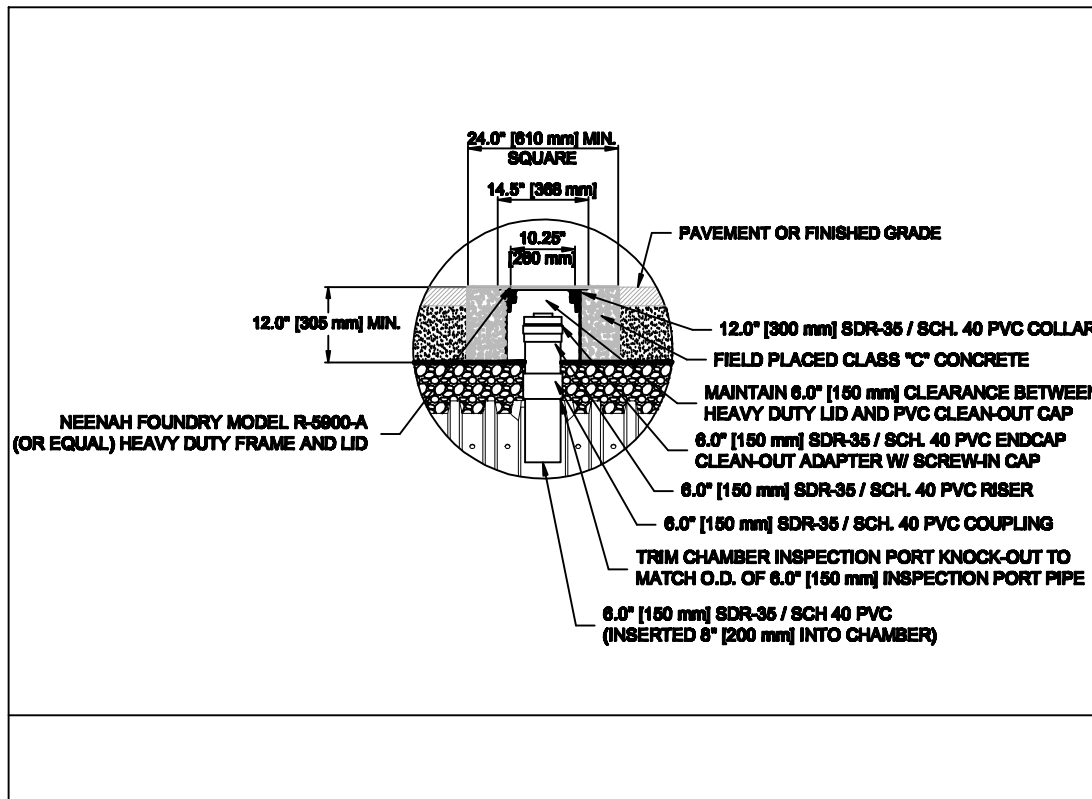
GENERAL EROSION CONTROL AND CONSTRUCTION NOTES

1. THE LIMITS OF ALL CLEARING, GRADING AND DISTURBANCE SHALL BE KEPT TO A MINIMUM WITHIN THE PROPOSED AREA OF CONSTRUCTION. ALL AREAS OUTSIDE THE LIMITS OF DISTURBANCE SHALL REMAIN TOTALLY UNDISTURBED.
2. INSPECT ALL SEDIMENT AND EROSION CONTROL MEASURES AT LEAST ONCE PER WEEK AND WITHIN 24 HOURS AFTER EVERY RAINFALL EVENT.
3. MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES OR REPLACE AS REQUIRED TO ASSURE PROPER FUNCTION.
4. CONTRACTOR SHALL IMMEDIATELY REPAIR ANY AND ALL EROSION AND SEDIMENT CONTROLS FOUND TO BE FAULTY.
5. ANY AND ALL DEBRIS AND LITTER WHICH ACCUMULATES IN THE BASINS SHALL BE REMOVED WEEKLY.
6. THE CONTRACTOR SHALL IMPLEMENT ALL REASONABLE EROSION AND SEDIMENT CONTROLS PRIOR TO THE ACTUAL COMMENCEMENT OF CONSTRUCTION ACTIVITIES INCLUDING THE CLEARING AND/OR GRUBBING OF ANY PORTION OF THE PROPERTY. THESE MEASURES SHALL BE MAINTAINED IN EFFECT THROUGHOUT THE ENTIRE CONSTRUCTION PHASE, OR UNTIL THE SITE HAS BECOME STABILIZED WITH AN ADEQUATE VEGETATIVE COVER.
7. SEDIMENT BUILD UP BEHIND FILTERMITT SHALL BE MONITORED AND BE REMOVED WHENEVER IT HAS ACCUMULATED TO FOUR INCHES IN DEPTH.
8. CATCH BASINS SHALL BE PROTECTED WITH SILT FILTERS (SILT SACKS). INSPECT SEDIMENT FILTERS AT LEAST ONCE PER WEEK AND WITHIN 24 HOURS AFTER RAINFALL THAT PRODUCES RUNOFF.
9. CLEAN OR REPLACE FILTERS WITHIN 24 HOURS OF INSPECTION WHEN SEDIMENT REACHES ONE HALF OF THE FILTER SACK DEPTH. CATCH BASINS SHALL BE PROTECTED BY SEDIMENT FILTERS THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS ARE THOROUGHLY STABILIZED. SUMPS SHALL BE CLEANED WHENEVER SEDIMENT HAS ACCUMULATED TO A DEPTH OF 24 INCHES AND IMMEDIATELY FOLLOWING INSTALLATION OF PERMANENT PAVEMENT.
10. THE CONTRACTOR SHALL MAINTAIN AN ADEQUATE STOCKPILE OF EROSION CONTROL MATERIALS ON-SITE AT ALL TIMES FOR EMERGENCY OR ROUTINE REPLACEMENT AND SHALL INCLUDE MATERIALS TO REPAIR OR REPLACE SILT FENCE, MULCH SOCK, STONE FILTER DIKES OR ANY OTHER DEVICES PLANNED FOR USE DURING CONSTRUCTION.
11. THE CONTRACTOR IS TO INSPECT ALL CONTROLS NO LESS THAN WEEKLY, AND IN ANTICIPATION OF RAINFALL EVENTS EXPECTED TO EXCEED 1/2 INCH IN DEPTH. ALL DEFICIENCIES NOTED DURING SAID INSPECTION SHALL BE REPAIRED IMMEDIATELY AND IN NO CASE SHALL A DEFICIENCY BE ALLOWED TO GO UNCORRECTED DURING A RAINFALL EVENT. THE EROSION CONTROL DEVICES SHALL BE MAINTAINED, REINFORCED, OR REPLACED IF NECESSARY. ALL ACCUMULATED SEDIMENTS AND OTHER MATERIALS COLLECTED
12. BY THE SEDIMENTATION CONTROL SYSTEMS SHALL BE REMOVED AS NECESSARY TO INSURE PROPER FUNCTION OF SYSTEMS AND DISPOSED OF IN A MANNER THAT IS CONSISTENT WITH THE INTENT OF THIS PLAN, IN AN UPLAND AREA.
13. TEMPORARY EARTH OR STONE DIKES, DRAINAGE SWALES AND/OR TEMPORARY SLOPE DRAINS SHALL BE INSTALLED WHERE OFF-SITE OR ON-SITE RUNOFF IS SUFFICIENT ENOUGH SUCH THAT IT WILL BE NECESSARY TO DIVERT THE FLOW AROUND THE SITE OR PREVENT EROSION WITHIN THE LIMITS OF WORK.
14. STORM DRAIN INLET PROTECTION SHALL BE USED FOR ALL EXISTING AND PROPOSED CATCH BASINS IN THE PROJECT AREA. PRIOR TO COMPLETION OF THE PROJECT, ALL CATCH BASINS WITHIN THE PROJECT AREA SHALL BE CLEANED.
15. ALL DISTURBED EARTH SLOPES AREA TO BE STABILIZED WITH PERMANENT VEGETATIVE COVER, TO BE ESTABLISHED AS SOON AS POSSIBLE. DISTURBED AREAS THAT ARE NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL RECEIVE A PERMANENT OR TEMPORARY VEGETATIVE COVER AS SOON AS FINAL CONTOURS ARE ESTABLISHED. TEMPORARY VEGETATIVE COVER IS TO BE ESTABLISHED ON ALL DISTURBED AREAS WHERE CONSTRUCTION ACTIVITIES WILL NOT REQUIRE ADDITIONAL DISTURBANCE FOR PERIOD OF 30 DAYS OR MORE. IF THE SEASON PREVENTS THE ESTABLISHMENT OF VEGETATIVE COVER, DISTURBED AREAS SHALL BE MULCHED AND THEN SEEDED AS SOON AS WEATHER CONDITIONS ALLOW.
16. THERE SHALL BE NO DIRECT DISCHARGE OF DEWATERING OPERATIONS INTO ANY DRAINAGE SYSTEM UNLESS THIS DISCHARGE IS CLEAN AND FREE OF SETTLEABLE SOLIDS. ANY DEWATERING DISCHARGE CONTAINING SETTLEABLE SOLIDS (SEDIMENTS) SHALL BE PASSED THROUGH A SEDIMENTATION CONTROL DEVICE(FILTER BAG) TO REMOVE THESE SOLIDS. THE CONTRACTOR IS TO MAINTAIN SAID SEDIMENT CONTROL DEVICE THROUGHOUT THE ENTIRE DEWATERING OPERATION AND REPAIR DEFICIENCIES IMMEDIATELY.
17. SOIL STOCKPILE AREAS FOR CONSTRUCTION MATERIALS SHALL BE LOCATED OUTSIDE WETLAND AREAS AND ASSOCIATED BUFFERS.
18. ALL PLANTINGS SHALL BE ACCOMPLISHED BY THE CONTRACTOR AS EARLY AS THE POSSIBLE UPON COMPLETION OF GRADING AND CONSTRUCTION.
19. ALL PLANTINGS SHALL BE WATERED AND MAINTAINED BY THE CONTRACTOR TO ENSURE SURVIVAL.
20. EROSION CONTROL SHALL REMAIN IN PLACE UNTIL THE CERTIFICATE OF COMPLETION IS ISSUED



INTERIM EROSION CONTROL AND CONSTRUCTION SEQUENCE

1. INSTALL EROSION CONTROL BARRIERS AND HAVE ENGINEER INSPECT AND PREPARE LETTER.
2. RAZE THE EXISTING BUILDINGS, PAVEMENT, WALKWAYS, ETC CLEAR SITE OF ALL TREES DESIGNATED TO BE REMOVED.
3. CONSTRUCT A TEMPORARY BASIN TO COLLECT RUNOFF DURING CONSTRUCTION.
4. STOCKPILE LOAM, OR REMOVE LOAM.
5. INSTALL PIPES FOR DRAINAGE SYSTEMS. INSTALL DISCHARGE POINT ON EACH SYSTEM.
6. BRING SITE TO SUB-GRADE.
7. ALL SLOPES ALONG THE PROPERTY LINES SHALL BE MULCHED TEMPORARILY, IF DISTURBED.
8. TEMPORARY STONE (3/4" - 1 1/2") SHALL BE PLACED AT THE PROJECT ENTRANCE WHEN ACCESSING EXISTING PAVEMENT. SWEEPING IS REQUIRED IF FINES ARE OBSERVED IN THE PARKING LOT OR PUBLIC WAYS.
9. ALL DISTURBED AREAS NOT TREATED WITH PERMANENT LOAM AND SEED SHALL BE COVERED WITH MULCH, OR OTHER EROSION CONTROL DEVICE.
10. ALL CONSTRUCTION GRADES IN THE INTERIM SHALL BE SLOPED TO FLOW INTO THE TEMPORARY BASIN, WHERE POSSIBLE.
11. THE SITE MITIGATION OF EROSION IN THOSE AREAS TO BE LANDSCAPED OR MULCHED SHALL BE TO INSTALL AS SOON AS POSSIBLE.
12. CLEAN ALL SEDIMENT OUT OF TEMPORARY BASIN AND INSTALL CLEAN FILL PER PLAN SPECIFICATIONS PRIOR TO FINAL GRADING AND SURFACE STABILIZATION.
13. THE SUBSURFACE DRAINAGE SYSTEM SHALL BE INSTALLED PRIOR TO PAVEMENT INSTALLATION. PROPER FILTER/FABRIC SHALL BE PLACED AT INLETS TO KEEP THE STORM DRAINAGE CLEAN OF DEBRIS.
14. ONCE THE CURB IS INSTALLED, THE PERMANENT MULCH AND LANDSCAPING SHALL BE INSTALLED.
15. SEDIMENT CONTROL SHALL REMAIN IN PLACE UNTIL THE SITE IS STABILIZED.
16. CLEAN ALL ON SITE CATCH BASINS, MANHOLES, PIPING, TEMPORARY BASIN, AND INFILTRATION CHAMBERS. INSTALL SILT BAGS AT EACH CATCH BASIN.
17. KEEP SITE SWEEP AND MAINTAINED PER STORMWATER MANAGEMENT PLAN.



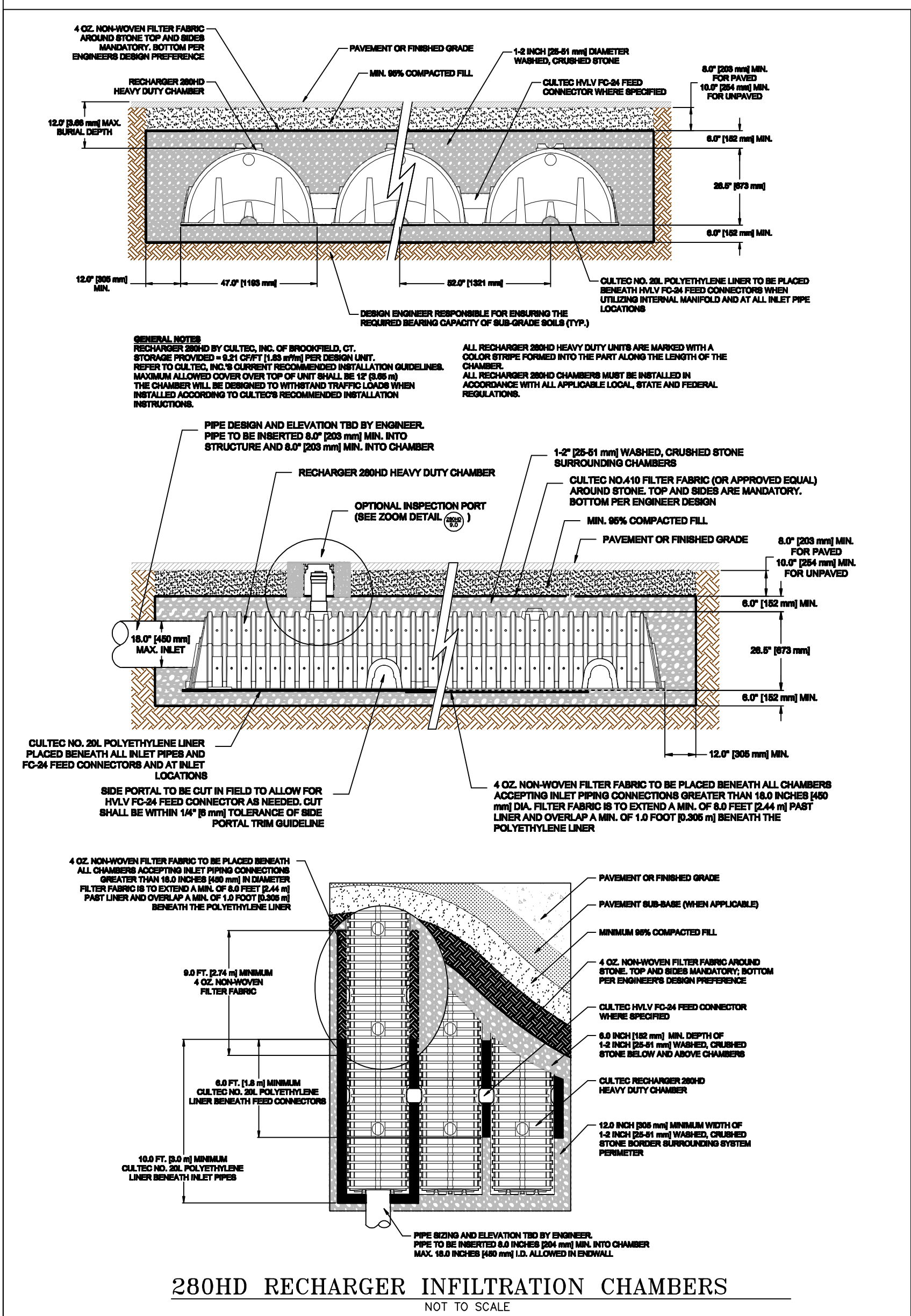
INSPECTION PORT
NOT TO SCALE

	8 UNIT CULTEC RECHARGER 280HD SYSTEM	ELEV.
AA	FINISHED GRADE ELEV.	195.88
BB	MINIMUM COVER ELEV. (PAVEMENT)	195.63
CC	TOP OF STONE	194.96
DD	12" INLET	192.44
EE	12" OUTLET	N/A
FF	BOTTOM OF CHAMBER	192.25
GG	BOTTOM OF FOUNDATION STONE	191.75

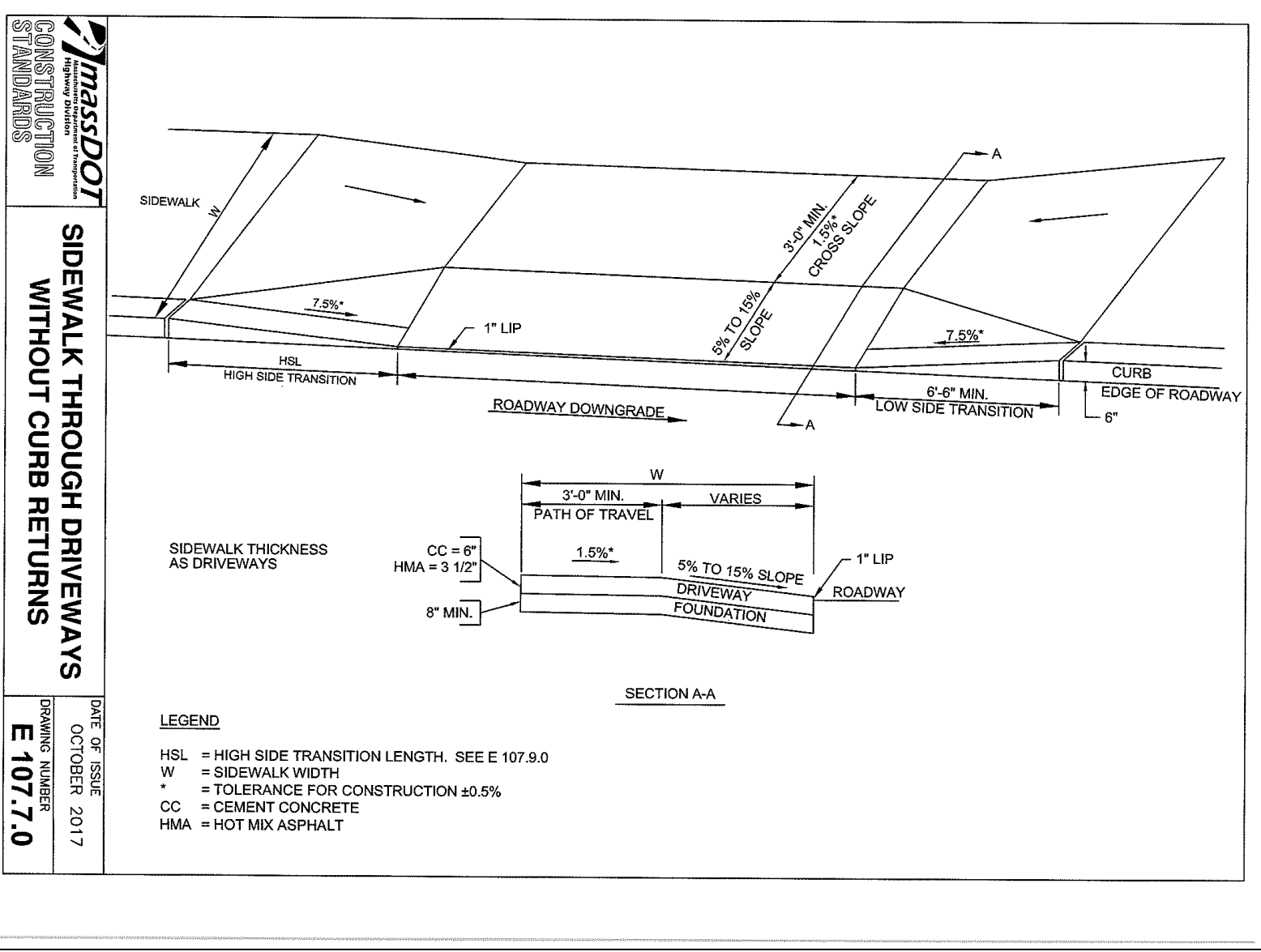
ELEVATIONS

	1 UNIT CULTEC RECHARGER 280HD SYSTEM	ELEV.
AA	FINISHED GRADE ELEV.	202.25
BB	MINIMUM COVER ELEV. (GRASS)	202.04
CC	TOP OF STONE	201.21
DD	12" INLET	200.25
EE	12" OUTLET (OVERFLOW SPOUT)	205.50
FF	BOTTOM OF CHAMBER	198.50
GG	BOTTOM OF FOUNDATION STONE	198.00

ELEVATIONS



280HD RECHARGER INFILTRATION CHAMBERS
NOT TO SCALE



MASSDOT E 107.7.0
SIDEWALK THROUGH DRIVEWAYS
WITHOUT CURB RETURN DETAIL

NOT TO SCALE

APPROVED DATE:
PLANNING AND ECONOMIC
DEVELOPMENT BOARD

DATE:
BEING A MAJORITY

PROFESSIONAL
LAND SURVEYOR

PROFESSIONAL
ENGINEER

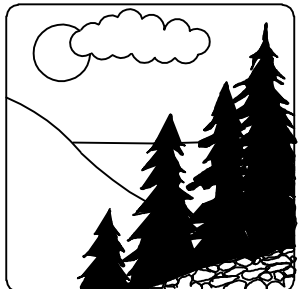
APPLICANT:
ROBERT CARLUCCI
AND JEFF SWANN
P.O. BOX F
FRANKLIN, MA. 02038

LOCUS:

143 VILLAGE STREET
A.M. 60 LOT 92

REVISIONS

DATE	REVISED
10/10/17	PER TOWN COMMENTS
10/25/17	SIDEWALK, LIGHT SPILLAGE, MASSDOT DETAIL
10/27/17	ISOLATOR ROW, SIGNATURE BLOCKS
11/10/17	WATER SERVICE, CAPE COD BERM MODIFY SIDEWALK PER TOWN DECISION



Guerriere
&
Halnon, Inc.

Engineering & Land Surveying
55 WEST CENTRAL STREET
FRANKLIN, MA 02038
Ph. (508) 528-3221
Fx. (508) 528-7921
www.guerriereandhalnon.com

CONSTRUCTION DETAILS

MULTI FAMILY HOUSING
SPECIAL PERMIT
143 VILLAGE STREET
MEDWAY
MASSACHUSETTS

DATE
SEPTEMBER 6, 2017
SHEET
7 OF 7

SCALE
1"=10'
JOB NO.
F4158

Susan Affleck-Childs

From: N.E. Premier Properties, LLC <nepreprop@gmail.com>
Sent: Tuesday, November 21, 2017 1:12 PM
To: Susan Affleck-Childs
Subject: Re: 143 Village Street

Hi Susy,

We thought the meeting went well last night and we appreciate all you've done to help us get to this point.

With regards to the outstanding balance relating to the construction observation services we would like to the town to help in justifying the total amount billed. We have been tracking inspections with Tectra and there's been about 20 hours of inspections so far, and we've believe that's being generous taking into account some travel time. We know there are 4 inspections left (grading, storm, binder, top course) along with the as built plan review.

If take the 20 hours of inspections along with the pre-construction meeting we're at close to \$2.1K. With the 4 inspections left if they took 5 hours each with I don't think they will that would be another \$2K. Then that leaves the as built plan review which is estimated for 8 hours totaling \$1,120. We don't believe it will take 8 hours to review the as built plan, however, if it did we would be at a total of approx. \$5.2K.

We don't have any issues paying for the inspection services, however, we want to ensure we're not paying for services that haven't or won't happen as we're on a tight budget. Who can we talk to about the charges associated with the inspections?

Have a great Thanksgiving as well and all your help.

Thanks,
Kevin

On Tue, Nov 21, 2017 at 8:19 AM, Susan Affleck-Childs <sachilds@townofmedway.org> wrote:

Good morning,

Thanks for attending last night's DRC meeting.

Reminder that you need to pay the balance of the construction observation services invoice. You had indicated that it would be paid this week. The amount due is \$4,378.

Town Hall be closed on Thursday and Friday this week and most likely will close by 1 pm on Wednesday.

Take care. Happy Thanksgiving. Thanks for turning this building into something wonderful.

Susy

Susan E. Affleck-Childs

Planning and Economic Development Coordinator

Town of Medway

[155 Village Street](#)

[Medway, MA 02053](#)

[508-533-3291](#)

sachilds@townofmedway.org

Town of Medway – *A Massachusetts Green Community*

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--

Regards,

N.E. Premier Properties, LLC

Franklin, MA 02038

BJ Carlucci: (774) 248-4321

Jeff Swahn: (508) 889-6177

Kevin Tucceri: (508) 212-6535

Email: nepreprop@gmail.com



**November 28, 2017
Medway Planning & Economic Development Board
Meeting**

Construction Reports
UPDATED

The following documents are provided for your review:

143 Village Street – Request approval of a field change to eliminate an interior walkway

- Series of emails
- Site plan modification












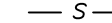



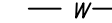

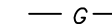

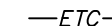

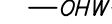

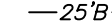






143 Village Street – Tetra Tech inspection reports

- Report #3 – 11/8/17
- Report #4 – 11/10/17
- Report #5 – 11/14/17
- Report #6 – 11/17/17
- Report #7 – 11/20/17

Excelon

- Beals and Thomas Progress report – 11/20/17

PLANTING LEGEND			
SYMBOL	NAME	SIZE	QUANTITY
	LITTLE LEAF LINDEN TILIA CORDATA	4" MIN. 2.5" GAL.	3
	ROSE OF SHARON HIBISCUS SYRIACUS	5 GAL.	7
	JUNIPER PLUMROSA COMPACTA	3 GAL.	14
	DAYLILY HEMERCALLIS 'HAPPY RETURNS'	3 GAL.	4
	DELAWARE VALLEY WHITE AZALEA RHODODENDRON 'DELAWARE VALLEY WHITE'	3 GAL.	3
	REDTWIG DOGWOOD CORNUS ALBA 'BAILHALO'	2-3ft. HIGH	5
	AMERICAN ARBORVITAE THUJA OCCIDENTALIS	3-4ft. HIGH	5
	GLORY JAPANESE HOLLY ILEX CRENATA 'GLORY'	3 GAL.	6

LEGEND			
	CATCH BASIN		PROPOSED LIGHT POLE
	DRAIN MANHOLE		UTILITY POLE
	ELECTRIC MANHOLE		GUY WIRE
	SEWER MANHOLE		SIGN
	GAS VALVE		SEWER LINE
	GAS SHUT OFF VALVE		DRAIN LINE
	WATERGATE		WATER LINE
	WATER SHUT OFF VALVE		GAS LINE
	FIRE HYDRANT		ELEC., TEL. CABLE
	VERTICAL CONC CURB		OVERHEAD WIRES
	RETAINING WALL		25' WETLAND BUFFER
	ABOVE FINISH GRADE		EDGE OF PAVEMENT
	ARBORVITAE		SPOT ELEVATION
	SHRUB		CLEAN OUT
	TREE		ELECTRIC METER

ZONING INFORMATION
VILLAGE COMMERCIAL

	REQUIRED	EXISTING
AREA	10,000SF	5,868±SF.
FRONTAGE	N/A	146.04'
FRONT YARD	20'	13.9'±
SIDE YARD	10'	6.2'±
REAR YARD	10'	N/A
LOT COVERAGE	80%	28%
BUILDINGS LOT COVERAGE	N/A	N/A
AREA	N/A	N/A

PARKING INFORMATION

4 UNITS PROPOSED
1.5 PARKING SPACES PER UNIT= 6 SPACES REQUIRED

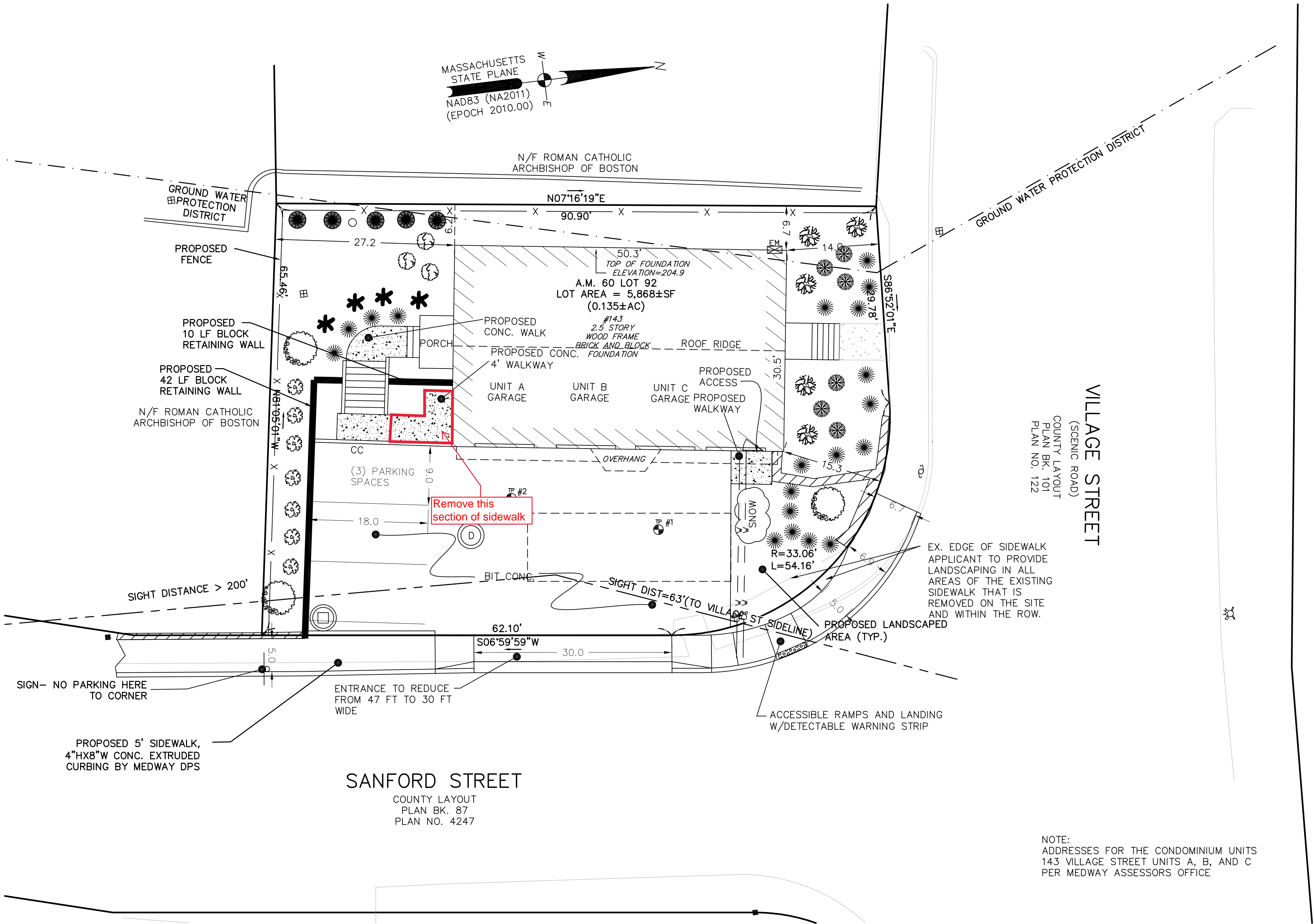
PROVIDED PARKING
GARAGE PARKING FOR 3 UNITS= 3 SPACES
DESIGNATED OUTDOOR PARKING = 3 SPACES
TOTAL PROVIDED PARKING = 6 SPACES

NOTES

- THIS LAND IS ZONED VILLAGE COMMERCIAL
- THIS LAND IS WITHIN THE MEDWAY VILLAGE OVERLAY DISTRICT.
- THIS SITE IS NOT IN A FLOOD HAZARD ZONE.
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES IN THE FIELD. ANY DISCREPANCY WITH THE PLANS SHOULD BE REPORTED TO THE DESIGN ENGINEER UPON DISCOVERY.
- REFER TO MEDWAY ASSESSORS MAP 60 LOTS 092.
- VILLAGE STREET IS DESIGNATED AS A SCENIC ROAD.
- THE NORTH WESTERLY PORTION OF THE LOT IS WITHIN THE GROUND WATER PROTECTION DISTRICT.
- ALL EROSION CONTROL DEVICES SHALL BE IN PLACE PRIOR TO CONSTRUCTION.
- THE OWNER/APPLICANT SHALL LIMIT CONSTRUCTION DEBRIS AND MATERIALS ON THE SITE. IN THE EVENT THAT DEBRIS IS CARRIED ONTO A PUBLIC WAY, THE OWNER/APPLICANT SHALL BE RESPONSIBLE FOR ALL CLEANUP OF THE ROADWAY.

UTILITIES ARE PLOTTED AS A COMPILATION OF RECORD DOCUMENTS, MARKINGS AND OTHER OBSERVED EVIDENCE TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES AND SHOULD BE CONSIDERED APPROXIMATE. LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY COMPLETELY AND RELIABLY DEPICTED. ADDITIONAL UTILITIES, NOT EVIDENCED BY RECORD DOCUMENTS OR OBSERVED PHYSICAL EVIDENCE, MAY EXIST. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING AND CALL DIGSAFE AT 1(888)DIG-SAFE[7233].

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

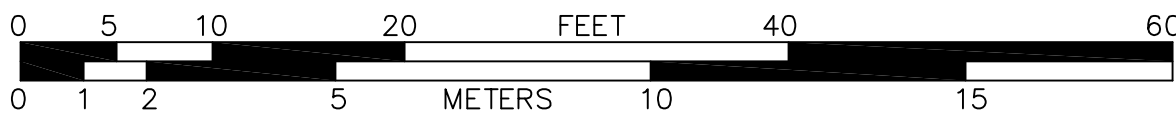


SANFORD STREET

COUNTY LAYOUT
PLAN BK. 87
PLAN NO. 4247

BUILDING NOTES PER DESIGN
REVIEW COMMITTEE

- INSTALL OR PAINT SHUTTERS BLACK.
- PAINT THE GARAGE DOORS A CONTRASTING COLOR OR PROVIDE A DECORATIVE TRIM OR ARCHITECTURAL FEATURE THAT WOULD PROVIDED SOME COLOR CONTRAST BETWEEN THE COLORS OF THE GARAGE DOORS AND THE SIDING.
- THE BLOCK RETAINING WALL SHALL BE CONSTRUCTED USING THE SANDLEWOOD COLOR FOR THE SEMMA STYLE WALL AND THE ARCHITECTURAL STYLE CAP BY TECO BLOC, OR EQUIVALENT.
- FENCING TO BE INSTALLED SHALL HAVE A NATURALIZED WOOD LOOK WITH A NON-WHITE, MATTIE FINISH. USE SCALLOP HAMILTON FENCE BY COLONIAL FENCING WITH A DADO CAPSTRIP WITH 1" SPACING OR EQUIVALENT.



VILLAGE STREET
(SCENIC ROAD)
COUNTY LAYOUT
PLAN BK. 101
PLAN NO. 122

NOTE:
ADDRESSES FOR THE CONDOMINIUM UNITS
143 VILLAGE STREET UNITS A, B, AND C
PER MEDWAY ASSESSORS OFFICE

APPROVED DATE:
PLANNING AND ECONOMIC
DEVELOPMENT BOARD

DATE: _____
BEING A MAJORITY

PROFESSIONAL
LAND SURVEYOR

PROFESSIONAL
ENGINEER

OWNER:
VIRGINIA L. HEAVEY
6 SANFORD STREET
MEDWAY, MA 02053
DEED BK. 20894 PG. 320

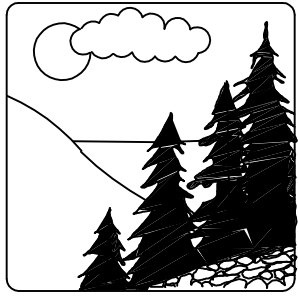
APPLICANT:
N.E. PREMIER PROPERTIES, LLC
KEVIN TUCCERI, MANAGER
5 SHIELA LANE
FRANKLIN, MA 02038

LOCUS:

143 VILLAGE STREET
A.M. 60 LOT 92

REVISIONS

DATE	REVISED
10/10/17	PER TOWN COMMENTS
10/25/17	SIDEWALK, LIGHT SPILLAGE, MASSDOT DETAIL
10/27/17	ISOLATOR ROW, SIGNATURE BLOCKS
11/10/17	WATER SERVICE, CAPE COD BERM
	MODIFY SIDEWALK
	PER TOWN DECISION



Ph. (508) 528-3221
Fx. (508) 528-7921

Guerriere
&
Halnon, Inc.

Engineering & Land Surveying
55 WEST CENTRAL STREET
FRANKLIN, MA 02038

SITE LAYOUT &
LANDSCAPING PLAN

MULTI FAMILY HOUSING
SPECIAL PERMIT
143 VILLAGE STREET
MEDWAY
MASSACHUSETTS

DATE
SEPTEMBER 6, 2017

SCALE
1"=10'

SHEET
3 OF 7

JOB NO.
F4158

JOB NO.
F4158

Susan Affleck-Childs

From: Susan Affleck-Childs
Sent: Thursday, November 16, 2017 10:38 AM
To: 'Bouley, Steven'
Cc: nepreprop@gmail.com
Subject: RE: 143-Village Street - Potential Layout Change

Steve,

I believe the proposed change to eliminate the sidewalk constitutes a suitable field change.

Steve, let's inform the PEDB at its next meeting on 11-28 during your construction report.

This of course, should be reflected in the as-built plan to be provided upon project completion.

Best regards,

Susy

Susan E. Affleck-Childs
Planning and Economic Development Coordinator

Town of Medway
155 Village Street
Medway, MA 02053
508-533-3291
sachilds@townofmedway.org

Town of Medway – *A Massachusetts Green Community*

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From: Bouley, Steven [mailto:Steven.Bouley@tetrattech.com]
Sent: Thursday, November 16, 2017 9:22 AM
To: Susan Affleck-Childs
Cc: nepreprop@gmail.com
Subject: 143-Village Street - Potential Layout Change

Hi Susy, I received a call from BJ Carlucci stating they would like to remove the sidewalk located on the southern side of the building (see attached plan). The door that was once planned there is not being built due to the field stone foundation and modifications that may compromise the foundation (they do have proposed egress converting the northernmost garage door to a standard door). I would consider this a field change but let me know if it constitutes a plan modification. The sidewalk isn't needed and does not affect the overall site plan and reduces impervious cover.

BJ, please respond if the plan and what I stated above is not what we spoke of on the phone.

Steve

Steven M. Bouley, P.E. | Senior Project Engineer

Direct: 508.786.2382 | Main: 508.786.2200 | Fax: 508.786.2201
steven.bouley@tetrattech.com

Tetra Tech, Inc. | United States Infrastructure (USI) Division

Marlborough Technology Park | 100 Nickerson Road, Suite 200 | Marlborough, MA 01752 www.tetrattech.com

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Tetra Tech
100 Nickerson Road, Suite 200
Marlborough, MA 01752

FIELD REPORT

Project 143 Village Street	Date 11/8/2017	Report No. 3
Location 143 Village Street, Medway, MA	Project No. 143-21583-17013	Sheet 1 of 2
Contractor LDS Design, Inc.	Weather A.M. SUNNY P.M.	Temperature A.M. 40° P.M.

FIELD OBSERVATIONS

On Wednesday, November 8, 2017, Steven M. Bouley, P.E. from Tetra Tech (TT) visited the project site to inspect the current condition of the site and check on construction progress. The following report outlines observations made during the site visit.

1. Observations

- A. Contractor in the process of installing proposed Cultec Chamber system. Trench has been excavated to proposed elevation and bedded with 1 ½" washed stone per the approved Plans. Woven filter fabric was installed beneath the Separator Row chambers. Separator Row wrapped in non-woven filter fabric as well as sides and top of the excavation. System was backfilled with 1 ½" washed stone per the Plans.
- B. TT, Engineer, Contractor, Town Safety Officer Jeffrey Watson and Town Highway Superintendent Jack Tucker met on-site to discuss 35' radius at intersection of Village and Sanford Street. Engineer installed pins in roadway of proposed face of curb to help the project team visualize the radius. It was determined by all parties that the proposed 35' radius will be satisfactory. Town to complete sidewalk work next week.
- C. Contractor installing proposed Cultec Roof Infiltration Chamber on upper portion of the site. Excavation filled with 1 ½" washed stone, chamber installed and trench wrapped with non-woven filter fabric, backfilled with 1 ½" washed crushed stone.
- D. Contractor has installed sod along western property boundary. Contractor plans to complete landscaping on upper portion of the site tomorrow. TT asked that no tall landscaping be placed on north side of building adjacent to Village Street to ensure traffic queued on Sanford Street has proper sight lines west along Village Street.

CONTRACTOR'S FORCE AND EQUIPMENT					WORK DONE BY OTHERS	
Sup't	1	Bulldozer		Asphalt Paver	Dept. or Company	Description of Work
Foreman		Backhoe		Asphalt Reclaimer	Guerrier & Halnon	Survey Layout
Laborers	1	Loader		Vib. Roller		
Drivers		Rubber Tire Backhoe/Loader		Static Roller		
Oper. Engr.		Skid Steer		Vib. Walk Comp.		
Carpenters		Hoeram		Compressor		
Masons		Excavator	1	Jack Hammer		
Iron Workers		Grader		Power Saw		
Electricians		Crane		Conc. Vib.		
Flagpersons		Scraper		Tack Truck		
Surveyors		Conc. Mixer				
		Conc. Truck			OFFICIAL VISITORS TO JOB	
		Pickup Truck	1		Sgt. Jeffrey Watson	Medway Safety Officer
		Tri-Axle Dump Truck			Jack Tucker	DPS Highway Super
		Trailer Dump Truck				
		Mini Excavator	1			
Police Details: N/A					RESIDENT REPRESENTATIVE FORCE	
Contractor's Hours of Work: 7:00 A.M. to 6:00 P.M.					Name	Time on-site
					Steven M. Bouley, P.E.	8:00 A.M. – 11:00 A.M.

NOTE: Please use reverse side for remarks and sketches

Project 143 Village Street	Date 11/8/2017	Report No. 3
Location 143 Village Street, Medway, MA	Project No. 143-21583-17013	Sheet 2 of 2

FIELD OBSERVATIONS CONTINUED

2. Schedule
 - A. The contractor plans to complete much of the site work in next two weeks. TT will inspect as needed within that time frame.
3. New Action Items
 - A. N/A
4. Previous Open Action Items
 - A. Engineer to layout proposed 35' radius at corner of Village and Sanford Streets for review by TT, Engineer and Town. **TT Update: This item has been addressed to our satisfaction.**
5. Materials Delivered to Site Since Last Inspection:
 - A. N/A

Tetra Tech
100 Nickerson Road, Suite 200
Marlborough, MA 01752

FIELD REPORT

Project 143 Village Street	Date 11/10/2017	Report No. 4
Location 143 Village Street, Medway, MA	Project No. 143-21583-17013	Sheet 1 of 2
Contractor LDS Design, Inc.	Weather A.M. SUNNY P.M.	Temperature A.M. 35° P.M.

FIELD OBSERVATIONS

On Friday, November 10, 2017, Steven M. Bouley, P.E. from Tetra Tech (TT) visited the project site to inspect the current condition of the site and check on construction progress. The following report outlines observations made during the site visit.

1. Observations

- A. Contractor in the process of installing proposed Cultec Chamber system particularly the proposed access manhole and appurtenant piping. Inspection ports also installed in both lines of chambers. Contractor excavated for proposed manhole and bedded the excavation with crushed stone. Manhole was set with proposed invert elevations at proposed design elevations. Contractor connected 12" HDPE pipe to separator row and manhole as well as 8" HDPE overflow pipe from remaining chambers to manhole. 12" HDPE pipe extended to proposed VortSentry Inlet location and stubbed up above grade. VortSentry unit has approximate 4 week lead time and will be installed at a later date. (See Photo 1-2)
- B. Sewer service installed after drainage installation. 4" service extended to the east in order to avoid conflict with the drainage piping. (See Photo 3)
- C. Contractor installed proposed landscaping in general conformance with the proposed plan. Number of plants remain as proposed but will be installed in more aesthetically pleasing arrangements than what is shown on the plan. TT directed the contractor to not place tall shrubs and trees within the sight distance lines of drivers taking turns from Sanford Street onto Village Street. (See Photo 4-5)

CONTRACTOR'S FORCE AND EQUIPMENT					WORK DONE BY OTHERS	
Sup't	1	Bulldozer		Asphalt Paver	Dept. or Company	Description of Work
Foreman		Backhoe		Asphalt Reclaimer		
Laborers	1	Loader		Vib. Roller		
Drivers		Rubber Tire Backhoe/Loader		Static Roller		
Oper. Engr.		Skid Steer		Vib. Walk Comp.		
Carpenters		Hoeram		Compressor		
Masons		Excavator	1	Jack Hammer		
Iron Workers		Grader		Power Saw	1	
Electricians		Crane		Conc. Vib.		
Flagpersons		Scraper		Tack Truck		
Surveyors		Conc. Mixer				
		Conc. Truck				
		Pickup Truck	1			
		Tri-Axle Dump Truck				
		Trailer Dump Truck				
		Mini Excavator	1			
Police Details: N/A					RESIDENT REPRESENTATIVE FORCE	
Contractor's Hours of Work: 7:00 A.M. to 6:00 P.M.					Name	Time on-site
					Steven M. Bouley, P.E.	9:00 A.M. – 10:00 A.M.

NOTE: Please use reverse side for remarks and sketches

Project 143 Village Street	Date 11/10/2017	Report No. 4
Location 143 Village Street, Medway, MA	Project No. 143-21583-17013	Sheet 2 of 2

FIELD OBSERVATIONS CONTINUED

2. Schedule
 - A. The contractor plans to complete much of the site work in next two weeks. TT will inspect as needed within that time frame.
3. New Action Items
 - A. N/A
4. Previous Open Action Items
 - A. N/A
5. Materials Delivered to Site Since Last Inspection:
 - A. Precast Concrete Drain Manhole
 - B. HDPE Pipe
 - C. Washed Crushed Stone

Photos

Photo 1



Photo 2



Photo 3



Photo 4



Photo 5



Tetra Tech
100 Nickerson Road, Suite 200
Marlborough, MA 01752

FIELD REPORT

Project 143 Village Street	Date 11/14/2017	Report No. 5
Location 143 Village Street, Medway, MA	Project No. 143-21583-17013	Sheet 1 of 2
Contractor LDS Design, Inc.	Weather A.M. CLOUDY P.M.	Temperature A.M. 40° P.M.

FIELD OBSERVATIONS

On Tuesday, November 14, 2017, Steven M. Bouley, P.E. from Tetra Tech (TT) visited the project site to inspect the current condition of the site and check on construction progress. The following report outlines observations made during the site visit.

1. Observations

- A. Contractor in the process of installing proposed water services. Existing water main (12" Blue PVC) located in alignment with Sanford Street at existing centerline of the roadway. Contractor sawcut the roadway, excavated trench to below the existing water main invert and bed the excavation in sand. (See Photo 1-2)
- B. Water service installation consisted of two tapping sleeves located approximately 24" apart and appurtenant corporation stops and 1" copper tubing. Curb stops were installed at the property line and shutoff stems extended to above grade. Excavation as backfilled with flowable fill within the roadway layout and plated. Trench will be paved tomorrow once flowable fill dries out. Water department on-site for inspection during installation. (See Photo 3-5)
- C. Site being rough graded and compacted in preparation for fine grading and subsequent binder paving. (See Photo 6)

CONTRACTOR'S FORCE AND EQUIPMENT					WORK DONE BY OTHERS	
Sup't	1	Bulldozer		Asphalt Paver	Dept. or Company	Description of Work
Foreman		Backhoe		Asphalt Reclaimer		
Laborers	2	Loader		Vib. Roller		
Drivers		Rubber Tire Backhoe/Loader		Static Roller		
Oper. Engr.		Skid Steer		Vib. Walk Comp.		
Carpenters		Hoeram		Compressor		
Masons		Excavator	1	Jack Hammer		
Iron Workers		Grader		Power Saw	1	
Electricians		Crane		Conc. Vib.		
Flagpersons		Scraper		Tack Truck		
Surveyors		Conc. Mixer				
		Conc. Truck	1		OFFICIAL VISITORS TO JOB	
		Pickup Truck	1		Medway Water Dept.	
		Tri-Axle Dump Truck				
		Trailer Dump Truck				
		Mini Excavator	1			
Police Details: N/A					RESIDENT REPRESENTATIVE FORCE	
Contractor's Hours of Work: 7:00 A.M. to 6:00 P.M.					Name	Time on-site
					Steven M. Bouley, P.E.	10:00 A.M. – 10:30 A.M.

NOTE: Please use reverse side for remarks and sketches

Project 143 Village Street	Date 11/14/2017	Report No. 5
Location 143 Village Street, Medway, MA	Project No. 143-21583-17013	Sheet 2 of 2

FIELD OBSERVATIONS CONTINUED

2. Schedule
 - A. The contractor plans to complete much of the site work in next two weeks. TT will inspect as needed within that time frame.
3. New Action Items
 - A. N/A
4. Previous Open Action Items
 - A. N/A
5. Materials Delivered to Site Since Last Inspection:
 - A. Corporation/Curb Stops and shutoff gate
 - B. Tapping Sleeves
 - C. 1" Copper Tubing

Photos

Photo 1



Photo 2



Photo 3



Photo 4



Photo 5



Photo 6



Tetra Tech
100 Nickerson Road, Suite 200
Marlborough, MA 01752

FIELD REPORT

Project 143 Village Street	Date 11/17/2017	Report No. 6
Location 143 Village Street, Medway, MA	Project No. 143-21583-17013	Sheet 1 of 2
Contractor LDS Design, Inc.	Weather A.M. CLOUDY P.M.	Temperature A.M. 40° P.M.

FIELD OBSERVATIONS

On Friday, November 17, 2017, Steven M. Bouley, P.E. from Tetra Tech (TT) visited the project site to inspect the current condition of the site and check on construction progress. The following report outlines observations made during the site visit.

1. Observations

- A. Contractor not working today. The site has been backfilled with dense graded crushed stone and compacted. Castings and inspection ports have been raised to above rough grading. (See Photo 1-2)
- B. Work on the granite retaining wall on the adjacent property appears to have been completed. However, curb and sidewalk work does not yet appear to have started. Additionally, sidewalk and curb along the project frontage has not yet commenced and remains barricaded. (See Photo 3-4)
- C. Contractor will continue site work after proposed retaining wall has been installed.

CONTRACTOR'S FORCE AND EQUIPMENT					WORK DONE BY OTHERS	
Sup't		Bulldozer		Asphalt Paver	Dept. or Company	Description of Work
Foreman		Backhoe		Asphalt Reclaimer		
Laborers		Loader		Vib. Roller		
Drivers		Rubber Tire Backhoe/Loader		Static Roller		
Oper. Engr.		Skid Steer		Vib. Walk Comp.		
Carpenters		Hoeram		Compressor		
Masons		Excavator		Jack Hammer		
Iron Workers		Grader		Power Saw		
Electricians		Crane		Conc. Vib.		
Flagpersons		Scraper		Tack Truck		
Surveyors		Conc. Mixer				
		Conc. Truck			OFFICIAL VISITORS TO JOB	
		Pickup Truck				
		Tri-Axle Dump Truck				
		Trailer Dump Truck				
		Mini Excavator				
Police Details: N/A					RESIDENT REPRESENTATIVE FORCE	
Contractor's Hours of Work: 7:00 A.M. to 6:00 P.M.					Name	Time on-site
					Steven M. Bouley, P.E.	9:00 A.M. – 9:30 A.M.

NOTE: Please use reverse side for remarks and sketches

Project 143 Village Street	Date 11/17/2017	Report No. 6
Location 143 Village Street, Medway, MA	Project No. 143-21583-17013	Sheet 2 of 2

FIELD OBSERVATIONS CONTINUED

2. Schedule
 - A. The contractor plans to complete much of the site work in next two weeks. TT will inspect as needed within that time frame.
3. New Action Items
 - A. N/A
4. Previous Open Action Items
 - A. N/A
5. Materials Delivered to Site Since Last Inspection:
 - A. N/A

Photos

Photo 1



Photo 2



Photo 1



Photo 2



Tetra Tech
100 Nickerson Road, Suite 200
Marlborough, MA 01752

FIELD REPORT

Project 143 Village Street	Date 11/20/2017	Report No. 7
Location 143 Village Street, Medway, MA	Project No. 143-21583-17013	Sheet 1 of 2
Contractor LDS Design, Inc.	Weather A.M. SUNNY P.M.	Temperature A.M. 35° P.M.

FIELD OBSERVATIONS

On Monday, November 20, 2017, Steven M. Bouley, P.E. from Tetra Tech (TT) visited the project site to inspect the current condition of the site and check on construction progress. The following report outlines observations made during the site visit.

1. Observations

- A. Contractor not working today. The contractor has partially installed the proposed retaining wall. Wall bedded with crushed stone and geogrid used to tie the wall into the slope behind. Wall has not yet been backfilled. (See Photo 1-3)
- B. The southeast corner of the building foundation wall appears to be in disrepair. The proposed retaining wall ties into this location and stones appear to be dry laid with no grout at the connection between the retaining wall and foundation wall. Additionally, a boulder is protruding from the face of the wall which may cause issues with maneuverability on a tight site and may be hit during snow plowing operations potentially damaging the field stone foundation wall. We recommend cutting or splitting this stone flush with the face of wall to prevent it from dislodging in the future. (See Photo 4)

CONTRACTOR'S FORCE AND EQUIPMENT					WORK DONE BY OTHERS	
Sup't		Bulldozer		Asphalt Paver	Dept. or Company	Description of Work
Foreman		Backhoe		Asphalt Reclaimer		
Laborers		Loader		Vib. Roller		
Drivers		Rubber Tire Backhoe/Loader		Static Roller		
Oper. Engr.		Skid Steer		Vib. Walk Comp.		
Carpenters		Hoeram		Compressor		
Masons		Excavator		Jack Hammer		
Iron Workers		Grader		Power Saw		
Electricians		Crane		Conc. Vib.		
Flagpersons		Scraper		Tack Truck		
Surveyors		Conc. Mixer				
		Conc. Truck			OFFICIAL VISITORS TO JOB	
		Pickup Truck				
		Tri-Axle Dump Truck				
		Trailer Dump Truck				
		Mini Excavator				
Police Details: N/A					RESIDENT REPRESENTATIVE FORCE	
Contractor's Hours of Work: 7:00 A.M. to 6:00 P.M.					Name	Time on-site
					Steven M. Bouley, P.E.	9:00 A.M. – 9:30 A.M.

NOTE: Please use reverse side for remarks and sketches

Project 143 Village Street	Date 11/20/2017	Report No. 7
Location 143 Village Street, Medway, MA	Project No. 143-21583-17013	Sheet 2 of 2

FIELD OBSERVATIONS CONTINUED

2. Schedule
 - A. The contractor plans to complete much of the site work in next two weeks. TT will inspect as needed within that time frame.
3. New Action Items
 - A. N/A
4. Previous Open Action Items
 - A. N/A
5. Materials Delivered to Site Since Last Inspection:
 - A. Modular Block Retaining Wall

Photos

Photo 1



Photo 2



Photo 1



Photo 2





BEALS + THOMAS

BEALS AND THOMAS, INC.
Reservoir Corporate Center
144 Turnpike Road
Southborough, MA 01772-210



PROGRESS INSPECTION REPORT

Inspection Date: 11/15/2017

Inspector: Eric J. Las, PE, LEED AP, Beals and Thomas, Inc.

Inspection Report Number: 3

PERMIT COMPLIANCE

Proceeding per approved site plan?

YES ☒ NO ☐ If not, note area and explain:

This report has been prepared in compliance with Specific Condition IX.M.4 of the Site Plan Decision, dated July 26, 2016

Project Name:

West Medway II

Location: Medway, MA

B+T Job#: 1422.10

Local Approvals: Order of Conditions DEP File No. 216-0879, Site Plan Decision, Host Community Agreement

Introduction:

Exelon West Medway II LLC respectfully submits this construction progress inspection report for the West Medway II project. The purpose of this report is to document the in-progress work with respect to the approved site plans and associated conditions for the Planning and Economic Development Board. This report summarizes noteworthy activities conducted on site from October 12, 2017 to November 17, 2017. Please also refer to the enclosed Photo Log.

For limited areas of the site not observed by Beals and Thomas, items denoted herein with an () are based on Exelon's Erosion Control Inspection Reports.

Current Work Activities, Comments, and Observations:

- Foundation framing and pouring for turbine, acoustic walls, and caissons, are in progress in the central portion of the site.
- Excavation and installation of the new gas line connecting the site to the existing distribution line to north is in progress.
- An additional laydown area within the approved limit of work has been created north of the construction offices to provide more area for incoming materials. The proposed laydown area remains fallow and outside established limits-of-work.
- Concrete pouring for the Metering and Regulating Station is in progress in the northern portion of the site.
- A new HDPE pipe has been installed to replace an existing culvert at the proposed switch yard connecting to the existing outlet on West Street.
- Excavation and installation of new water and sewer connecting from West Street has commenced.
- One of the two turbines is now on site, and is located in the construction parking area, awaiting installation.
- Various soil stockpiles are actively stabilized via tarps and seeding where necessary.
- Silt fences and straw bales are being routinely monitored and maintained as needed.
- *Silt sacks in the catch basins in Summer Street are being routinely monitored and maintained as needed.
- 24/7 security details remain in place at site entrance.

Authorized Signature

11/20/17

Date

PROPERTY OWNER:

Exelon West Medway II, LLC

Attn: Todd Cutler, Esq.

Associate General Counsel

Phone: 610-765-5602

Email: todd.cutler@exeloncorp.com

Attn: Pete Callahan,

Project Director

Phone: 617-381-2332

Email: Pete.Callahan@constellation.com

Attn: Doug Blakeley,

Environmental Monitor

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TOWN OF MEDWAY

Attn: Michael E. Boynton,

Town Administrator

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Attn: Bridget Graziano,

Conservation Agent

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Email: bgraziano@townofmedway.org

Attn: Susan Affleck-Childs, Planning &

Economic Development Coordinator

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Email: sachilds@townofmedway.org

ENVIRONMENTAL CONSULTANTS

Beals and Thomas, Inc.

Attn: Eric J. Las, PE, LEED AP

Principal

Phone: 508-366-0560

Email: elas@bealsandthomas.com

Epsilon Associates, Inc.

Attn: Jeremy Fennell, PWS, CWS, CESSWI

Senior Scientist

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Email: jfennell@epsilonassociates.com

**BEALS + THOMAS****Exelon Generation**

PHOTOGRAPHIC LOG

Client Name:Exelon West
Medway II**Photo:** West Medway II**Location:** Medway, MA**Project No:**

1422.10

**Photo
No: 1****Date:**
11/17/17**Description:**

Aerial view of site
looking north.
Various concrete
pours for
foundations in
progress.



**Client Name:**Exelon West
Medway II**Photo:** West Medway II**Location:** Medway, MA**Project No:**



1422.10



**Photo
No: 2****Date:**
11/17/17**Description:**

Aerial view of site
looking south.
Phase II
construction
continues. Current
state of the
proposed additional
laydown area (the
field to the right of
the construction
area).



Client Name: Exelon West Medway II		Photo: West Medway II Location: Medway, MA	Project No: 1422.10
Photo No: 3	Date: 11/17/17		
Description: Aerial view of site looking east. Additional active laydown area within the approved limit of work has been created to the left of the construction offices. Currently the active laydown area contains a stockpile of precast concrete stormwater structures.			
Client Name: Exelon West Medway II		Photo: West Medway II Location: Medway, MA	Project No: 1422.10
Photo No: 4	Date: 11/15/17		
Description: Aerial view of site looking west. Various material stockpiles have been created throughout the site. Soil stockpiles not in use are covered in tarps or are seeded.			

Client Name: Exelon West Medway II		Photo: West Medway II Location: Medway, MA	Project No: 1422.10
Photo No: 5	Date: 11/15/17		
Description: Forms for concrete pours are in place for concrete footings, foundations, and caissons in the central portion of the site.			
Client Name: Exelon West Medway II		Photo: West Medway II Location: Medway, MA	Project No: 1422.10
Photo No: 6	Date: 11/15/17		
Description: A new HDPE pipe has been installed to replace the existing clay pipe culvert at the proposed switch yard.			

Client Name: Exelon West Medway II		Photo: West Medway II Location: Medway, MA	Project No: 1422.10
Photo No: 7	Date: 11/15/17		
Description: The new gas service lateral has been installed to the north of the site. Picture viewed to the north.			
Client Name: Exelon West Medway II		Photo: West Medway II Location: Medway, MA	Project No: 1422.10
Photo No: 8	Date: 11/15/17		
Description: Concrete foundation construction for the Metering and Regulating Station to the north of the site is in progress.			



November 28, 2017
Medway Planning & Economic Development Board
Meeting

Zoning for May 2018 Town Meeting
Updated November 27, 2017

- Calendar for May 2018 Town Meeting. Note that the warrant opens on January 8 and closes on February 2, 2018
- **Updated master list of possible/needed zoning bylaw amendments.**

Our in-house zoning team (Stephanie Mercandetti, Jack Mee, Mackenzie Leahy and me) met Monday, November 27th to review the above noted master list. The attached list includes **blue highlighted items** that are our priorities for the May 2018 town meeting and one **orange highlighted item** that is a priority for a special winter town meeting.

Ideas for Zoning & General Bylaw Work - 11/27/17

		Comments	Notes
	ZONING BYLAW IDEAS		
	NEW ZONING DISTRICTS		
1	Create a new Traditional Neighborhood Development overlay district for new construction that would allow for more dense, Smart Growth type neighborhood - similar to neighborhoods like Ye Olde Village Square in Medfield on east side of Route 27/south of Route 109. Not the same level of density as 40R but denser than what we allow now.	This would be good for the Cassidy property behind Medway Commons. Look at Smart Growth report by Gino Carlucci from several years ago.	Recommend waiting until Town's sewer/water capacity issues are resolved. Also, need to talk with the Cassidy family to see about their long term ideas for the property.
2	Create an Early Suburban Zoning District with dimensional requirements to more closely match what exists on the ground.	This would be suitable for Brentwood and other smaller lot, early post WWII subdivisions. Areas are currently zoned ARII. Reduce minimum lot size, frontage and setbacks.	
3	Zoning for Oak Grove	Part of Urban Renewal Plan. New mixed use overlay district.	High priority for Stephanie
4	Create a new industrial zone for west side of West ST	Not to include ground mounted solar. Boundaries? Similar to Industrial I (East Medway Industrial Park for uses?)	Stephanie will discuss with EDC
	ZONING MAP REVISIONS		
5	Continue to clean-up zoning district boundary lines to coincide with parcel lines	North side of Lovering Street is last area to focus on.	Perhaps just rezone entire area to ARII. Talk with Carl Rice.
6	Rezone a portion of the west side of West Street north of Route 126 from ARII to some form of industrial.	EDC does not want ground mounted solar to be allowed in this area.	Stephanie will discuss with EDC
7	Expand boundaries of Industrial I zoning district (East Medway industrial park)		Low Priority
8	Establish another Village Commercial district on Main Street/Route 109 from Medway Mill west toward the Community Church		Low Priority

		Comments	Notes
	DEFINITIONS - Section 2		
9	Refine definition of 2 family/duplex	Are a 2 family and duplex the same thing? Do we want/need to distinguish between the two? Horizontal vs. vertical separation? Should there be some measure of extent of the connection between the two units??	Also establish special regulations in a new Section 8.15 to address appearance, parking, open space, curb cuts, height, etc.
10	Kennel - Differentiate between animals as pets and/or home based business vs. a full commercial operation	Further discussion needed with Animal Control Officer and Board of Health. ZBA mentioned this as something of interest to them.	
11	Establish a definition for "incidental accessory objects"		
12	Refine definition of "outside storage" to also include conex type containers or other form of storage structure		Also establish special regulations in a new Section 7.1.4 to address screening, % of parcel to be used for outdoor storage, etc.
13	Add definitions for taxi service, limousine service, and other business uses as may be recommended by the EDC	Also determine where such uses would be allowed. Amend Table 1 accordingly.	Stephanie will check with EDC to see if/how they want to pursue this.
14	Add definition for "bulk storage"	Determine where such uses would be allowed if at all. Amend Table 1 accordingly.	
	ADMINISTRATION - Section 3		
15	Establish a new sub-section for a Certificate of Zoning Compliance	Discuss pros/cons of this with PEDB and Jack Mee	
16	Add a new sub-section to reference Design Review Guidelines		
	ZBA - Section 3.2		
17	Do we want to continue to allow USE Variances?	Discuss with ZBA. One approach is to keep Use Variances but establish some limitations on their use.	

		Comments	Notes
	SITE PLAN REVIEW - Section 3.5		
18	Add land disturbance and curb cut/street opening as a trigger for some level of site plan review		
19	Add requirement for sidewalk construction along frontages for projects seeking site plan approval	Discuss with PEDB	
20	Add other items to list of things triggering Administrative Site Plan Review	Discuss with PEDB	
21	ZONING DISTRICT BOUNDARIES - Section 4.4	Are streets zoned? Question raised by Fran and Mackenzie	
	SECTION 5 - USE REGULATIONS		
	SCHEDULE OF USES - Section 5.4 (Table 1)		
22	New industrial/business district for west side of West ST	If created, determine by-right and special permit uses.	Stephanie to discuss with EDC.
23	Change adult uses from by-right to special permit	Discuss with PEDB	
24	Outside storage as an accessory use in business and industrial districts. Address use of tractor trailers/conex type containers for product storage (permanent and seasonal)	Establish some limitations tied to % of lot. Certain % of lot by right; anything over by special permit. Then add some special regulations to address screening of outside storage.	
25	Move 5.4.1 re special permits in Commercial I to a new Section 8.14 Mixed Use		
26	Determine where newly defined terms would be allowed by right, by special permit, or prohibited.		
27	Add 2 family/duplex by special permit in Village Commercial District		

		Comments	Notes
	SECTION 6 - DIMENSIONAL REGULATIONS		
	Section 6.2 General Provisions		
34	Revisit requirement included in recodified bylaw - "An owner shall provide a means of access for vehicles from the frontage to a principal building for emergency services, for deliveries and for off-street parking."	Do you want to require that access to a parcel has to be from its frontage?? What about from a common driveway?	Lower priority
Section 6.3 Accessory Structures/Buildings/Appurtenances		New sub-section	
35	Specify what accessory structures/buildings and incidental accessory objects can be included in the standard setback areas and what setbacks would apply	Items to be considered - fences, bus shelters, sheds, mailboxes, light posts, flagpoles, driveways, etc. Review this list.	
36	Allow sheds less than 10' by 12' to be closer than 15' to side and back property lines.	Suggested by Jack Mee. See Walpole bylaw.	
37	Require that sheds and stored boats, trailers, swimming pools, etc. cannot be located within the front setback area of any lot	Suggested by Jack Mee. See Walpole bylaw.	
38	Specify minimum distance of edge of driveway to property line or a minimum distance between driveways		

		Comments	Notes
	SECTION 7 GENERAL REGULATIONS		
	OFF STREET PARKING and LOADING REGULATIONS - Section 7.1.1		
39	Update parking standards especially for industrial uses	Stephanie M	Fall 2018
40	Add parking provisions for future reserve parking	Stephanie M	Fall 2018
41	Address off-premises parking issues		Fall 2018
	FENCES - New Section 7.1.3		
42	Fences - Require shorter fence height (3') in front to at least the front setback line or a certain distance if there are no minimum setbacks	Recommended by Jack Mee	
43	Refer to General Bylaw		
44	Regulations to address safety and sight lines		
45	OUTSIDE STORAGE - New Section 7.1.4	Add special regulations to address screening of outside storage areas and dumpsters	Establish some limitations tied to % of lot. Certain % of lot by right; anything over by special permit. Then add some special regulations to address screening of outside storage.
46	SIGN REGULATIONS - Section 7.2	Simplify and possibly convert to a general bylaw to establish timeline to sunset pre-existing, non-conforming signs. Look at window signs, temporary signs, signs required by state law - Lottery, Auto Inspection, etc. Adjust amount of allowed sign surface area for wall signs to correspond to distance from street	High priority for Stephanie.

		Comments	Notes
	ENVIRONMENTAL STANDARDS - Section 7.3	Check with Tetra Tech for help!	
47	Remove/update many of the outdated environmental standards	Further research needed on what to replace with.	Fall 2018
48	Revisit noise	Revise noise language in ZBL to apply to business settings. Add GBL language for residential noise issues	
	SECTION 8. SPECIAL REGULATIONS		
	INFILL HOUSING - Section 8.1		
49	Infill Affordable Housing - Revise to allow for splits of land to create a nonconforming lot that could only be used for affordable housing	Need to discuss with Town Counsel. ?? on legality	TBD
50	REGISTERED MARIJUANA FACILITY (Medical Marijuana) - Section 8.9	Consider adjusting text to allow for a medical marijuana facility to be located closer than 500' to another medical marijuana facility.	Need to check with MA Dept of Public Health to see if the minimum 500' distance is a State regulation?
51	NON-MEDICAL MARIJUANA - Section 8.10	Non-binding referendum vote on 5/16/17 resulted in a 2:1 opposition to retail recreational marijuana in Medway. Current moratorium concludes 6-30-2018.	Work on this - Remove moratorium and have replacement language in place for a special town meeting before April 1st.
52	ADULT USES - New Section 8.11	Change from by right to special permit. Recommendation from Stephanie	Spring 2018

		Comments	Notes
	COMMON DRIVEWAYS - New Section 8.12		
53	Add regulations for Common Driveways. Allow by right or special permit? NOTE - Common driveways are NOT private roadways. They provide access only, not frontage.	New sub-section to address criteria and basic standards for common driveways. We already have a definition for common driveways.	Spring 2018
54	BACK LOT ZONING - New Section 8.13	New sub-section to provide special permit option to allow a house to be built on an oversized parcel with insufficient frontage - include "driveway standards". This option would remove need for a full subdivision process. We could include provisions for stormwater management.	
55	MIXED USE - New Section 8.14	Move Section 5.4.1 Special Permits in Commercial I to this location and revise.	
56	TWO-FAMILY/DUPLEXES - New Section 8.15	Establish special permit criteria for two-family houses/duplexes. Remove requirement in Table 1 that the exterior has to have the appearance of a single-family dwelling.	
57	DRIVE-THRU FACILITIES - New Section 8.16	Establish special permit criteria for drive-thrus	Drive-thrus are only allowed by special permit in BI
58	GROUND MOUNTED SOLAR - New Section 8.17	New sub-section to provide a special permit option for large scale solar on undeveloped back lands in ARI. Need to discuss with Energy Committee	

GENERAL BYLAW IDEAS			
		Comments	Notes
A	Revise existing general bylaw and/or establish some stronger property maintenance regulations to address junk, dilapidation, blight, accumulated unregistered vehicles, collections of debris, etc.	Need input from Jack. Property maintenance is an optional part of the Building Code but it pertains to structures, not sites. Is BOS interested in something like this? What do we presently have to address this? BOH statute??	Staff recommends the PEDB discuss this with Jack, Health Agent Beth Hallal, and the BOS.
B	Establish start and stop times for construction work	Of interest to Bridget Graziano and Jack Mee. Bob Tucker says there are state laws that address this. Difficult to enforce. Testing is expensive. Suggested by Jack Mee	We have a draft. Needs work.
C	Regulate the amount of and quality of fill being brought onto development sites.		We have a draft based on the Salisbury bylaw. Needs thorough discussion and vetting. Will Bridget be lead on this?
D	Revise general bylaw to increase required fence height around pools to 4' to be consistent with state law.		Discussed at 12/8/15 PEDB mtg. Jack to take lead on this.
E	Revise EDC bylaw to allow for non-resident property owners to be a member of the EDC	Stephanie to discuss with EDC	Low priority
F	Noise bylaw	Need to revisit. PEDB was not OK with removing existing noise standards from ZBL. Do we need both general bylaw and zoning bylaw?	
G	Scenic Road bylaw	Take part of the Scenic Road Rules & Regs and turn into a bylaw. Broaden scope beyond the limited scope of the state statute.	
H	Establish bylaw to promote universal accessibility and visitability of dwelling units	Suggested by Sue Rorke at 7/20/15 meeting	Something for a Disability Commission to consider
	<i>updated 11-27-17</i>		
	Staff priorities for May 2018 Town Meeting		
	Priority for winter 2018 Town Meeting/Vote		

Town of Medway

Fiscal Year 2019 Budget and 2018 Town Meeting Calendars

Date	Activity	Charter Ref.
Sep. 18	Town Administrator Issues Capital Improvement Plan (CIP) Instructions	5-2-6
Sept. 19	Board of Selectmen (BOS) Issues Budget Calendar	7-2-1
Oct. 2	Town Administrator/Finance Director Issue Five (5) Year Revenue and Expense Budget	7-2-3/7-4-1
Oct. 6	CIP Submitted to Town Administrator – Includes Status of Previously Approved Projects Plus Proposed New Projects	5-2-6
Oct. 9-27	Town Administrator/Finance Dir. Review CIP w/ Dept. Mgrs.	
Oct. 16	Board of Selectmen (BOS) Issues Policy Statement for FY18 Budget	7-2-4
Nov. 1	Proposed CIP and Capital Budget Submitted to Capital Improvement Planning Committee (CIPC)	
Nov. 2- Jan. 12	CIPC Reviews and Ranks Projects	
Dec. 4	Town Administrator/Finance Director Issues Budget Instructions to Dept. Heads and Committee Chairs	7-2-4
Dec. 29	Departmental Operating Budget Submissions Due to Town Admin.	7-2-5
Jan. 2 -Feb. 9	Town Administrator/Finance Director Review Department Budgets	
Jan. 8	Annual Town Meeting Warrant Opens	
Jan. 15-Feb. 1	CIPC Prepares Five Year Schedule of Capital Projects	5-2-6
Feb. 1	Capital Budget Completed by CIPC	
Feb. 2	ATM Warrant Closes	
Feb. 5	ATM Warrant Compiled	
Feb. 5	CIPC Presents Capital Budget and Capital Plan to BOS	
Feb. 6-9	Legal Review of Warrant	
Feb. 7	School Department Budget Submitted to Town Administrator and BOS	
Feb. 12	Town Administrator Submits Proposed Comprehensive Operating and Capital Budgets to BOS	7-2-6
Feb. 20 -Mar. 19	BOS Reviews Operating and Capital Budgets	
Feb. 20	BOS Reviews and Approves Warrant	
Mar. 5	BOS Adopts and Recommends Warrant to FinCom (except zoning)	7-2-9
Mar. 13	PEDB Holds Public Hearing on Proposed Zoning Bylaw Changes	
Mar. 15	PEDB Submits Public Hearing Outcome/Recommendations to BOS	
Mar. 15	FinCom Submits Public Hearing Notice to Milford Daily News (4 business days prior to advertisement in paper)	
Mar. 19	BOS Votes Recommendations on Zoning Warrant Articles	
Mar. 19-20	BOS Adopts and Transmits Proposed Operating and Capital Budgets to FinCom; Advises of Zoning Article Recommendations	
Mar. 21	Public Hearing Notice Appears in Milford Daily News	
Mar. 21-Apr. 18	FinCom Reviews Operating and Capital Budgets and Prepares Town Meeting Recommendations	
Apr. 18	Fincom Holds Public Hearing	2-5-2/7-2-10
Apr. 19	FinCom Recommends Final Budget and Warrant	7-2-10
Apr. 23	Warrant Submitted to Publisher	
Apr. 30	Warrant Posted on Web, Residents Notified	
May 21	Annual Town Meeting; Approval of Upcoming Year's Budgets	