

**Tuesday November 13, 2018
Medway Planning and Economic Development Board
155 Village Street
Medway, MA 02053**

Members	Andy Rodenhiser	Bob Tucker	Tom Gay	Matt Hayes	Rich Di Iulio
Attendance	Absent with Notice	X	X	X	X

The meeting was is being broadcast and recorded by Medway Cable Access.

ALSO PRESENT:

Susy Affleck-Childs, Planning and Economic Development Coordinator
Planning Consultant Gino Carlucci, PGC Associates
Amy Sutherland, Recording Secretary

The Vice Chairman opened the meeting at 7:00 pm

There were no Citizen Comments.

Zoning Bylaw Amendment Public Hearing:

The Board is in receipt of the following documents: (See Attached)

- Public Hearing notice
- Draft Language to amend Section 3.2.B.4. re: use variances

On a motion made by Matt Hayes and seconded by Rich Di Iulio, the Board voted unanimously to open the public hearing for the Zoning Bylaw Amendment.

On a motion made by Rich Di Iulio and seconded by Matt Hayes, the Board voted unanimously to waive the reading of the public hearing for the Zoning Bylaw Amendment.

There were no residents to speak on the matter.

The Board was made aware that during the ZBL recodification in 2015, the use variance language was removed. This was not recognized and staff were under the assumption that use variances were allowed. The proposed amendment would return the use variance language to the Zoning Bylaw.

On a motion made by Rich Di Iulio and seconded by Matt Hayes, the Board voted unanimously to recommend the approval of Article 25 as presented.

On a motion made by Matt Hayes and seconded by Tom Gay, the Board voted unanimously to close the public hearing for the Zoning Bylaw Amendment hearing.

MEDWAY COMMUNITY CHURCH SITE PLAN ENDORSEMENT:

The Board was made aware that the Medway Community Church Site Plan received a Certificate of No Appeal from the Town Clerk. The applicant has paid half of the Tetra Tech construction services fee in the amount of \$3,793.00. Tetra Tech has still not received revised site plans for them to review. This will be placed as an agenda item for the meeting on November 27, 2018.

MILLSTONE BOND REDUCTION:

The Board is in receipt of the following document: **(See Attached)**

- Tetra Tech Bond Estimate from July 2017

Susy Affleck-Childs provided an updated bond estimate dated November 13th from Tetra Tech. She recommended that the Board not take any action on the Millstone Bond Reduction at this time. There continues to be concerns about the developer's upkeep and maintenance of the stormwater management system. Conservation Agent Bridget Graziano will be walking the trails next week and will provide an update. That will help determine whether the bond reduction can also include completed trail work.

MEETING MINUTES:

October 23, 2018:

On a motion made by Rich Di Iulio and seconded by Matt Hayes, the Board voted unanimously to approve the minutes of the October 23, 2018 meeting. (Member Gay abstained)

PUBLIC HEARING - 2 Marc Road Special Permit for Cultivation and Processing of Marijuana for Adult Recreational Use:

On a motion made by Matt Hayes and seconded by Rich Di Iulio, the Board voted unanimously to open the hearing for 2 Marc Road.

On a motion made by Rich Di Iulio and seconded by Matt Hayes, the Board voted unanimously to waive the reading of the hearing notice for 2 Marc Road.

The Board is in receipt of the following documents: **(See Attached)**

- Public Hearing Notice
- Special Permit Application
- PGC Review Comments dated 11-7-18
- Medical Marijuana Special Permit Decision dated 6-28-2016.
- Medical Marijuana Facility Site Plan for 2 Marc Road Endorsed 7-18-2016
- 11-5-18 email from neighbor John Lally re: noise concerns
- Amendment to CommCan Host Community Agreement dated 4-17-18.
- Original Host Community Agreement dated 5-16-2016.

The applicant for 2 Marc Road has submitted an application for a special permit for an Adult Recreational Marijuana Special Permit. This is only for a special permit and no separate site plan is needed as no changes are planned from the previously approved site plan for this site. There is

no need for engineering review by Tetra Tech. Planning Consultant Gino Carlucci has reviewed the application and documents.

Property and business owner Ellen Rosenfeld was present and explained that she proposes to use the existing two story 60,000 sq. ft. building. The proposed use pertains to the cultivation, manufacturing, processing, and packaging of marijuana for adult recreational use and the delivery of such products off site to retail marijuana establishments in other communities.

Andy Carballeria from Acentech provided the members with a packet of information relative to sound measurements which were taken on May 15, 2018 at the site during the period of 12:00 am thru 2:00 am. (**See Attached**) There was a handout which showed Google Earth noting the five locations where testing occurred. This was explained as a high frequency being (Hissy) and a low frequency being (Boomy). This was translated on a chart. The decibel is a log ratio which has a manageable scale (roughly 0 to 130 dB). Humans are able to hear 13 orders of magnitude. At night the site had 27 decibels. At station SM-1-MS3 10 it was 10 decibels below but it was in compliance. The mitigation used was an air cool chiller. The chiller runs 24/7. The chart of the octave band center frequency measured sound levels at 30 ft. from chiller, on rooftop along long side before and after noise controls. There was a significant reduction to main portion of chiller noise spectrum. This is in compliance with the noise standard.

Ms. Rosenfeld explained that another possible mitigation measure for the sound would be a wall.

Susy communicated that the Town has retained a professional sound consulting firm called "Noise" which is reviewing the current conditions and the noise mitigation measures. The report has not been provided to date. The report from the consultant firm will be forwarded to Ellen upon receipt. This is being done through the Town Administrator and the Board of Health office.

Resident, Mr. Lally:

Mr. Lally thanked Ellen Rosenfeld for the mitigation measures and reported it is a little quieter. The concern is that the report and testing was done on one day, but there are variations within a day. He has kept a log and there have been 92 days since the mitigation measures (sound blankets) were installed. Since mitigation, on seven of those days, the noise remained noticeable and 14 of those days it appeared detrimental. He is wondering how the noise will increase with a bigger facility. He asks if the permit could be conditioned that there be no increase in noise than the existing conditions.

Resident Leany Oliveria:

She was asking if there was a length of time when the test was done and is there a standard which needs to be met.

It was explained that this was a spot measurement from 12:00 am – 2:00am to get the quieter part of the day. There is no nation-wide standard. If there were a standard it would be 60 – 70 decibels which is not appropriate here. For this site it would be 28-29.

The PEDB would like a written memo on the status on the filing of the owner's application with the Massachusetts Cannabis Control Commission.

There was a question about what is being stored at 0 Marc Rd. Ellen explained that she has been

in touch with the Building Inspector and has a letter from his department. She will forward this to Susy.

There was a question about how many odor complaints were received. Ms. Rosenfeld indicated that there was only one complaint. She did communicate that you can smell it in the 2 Marc Road parking lot, but not up on Rt. 109.

Resident, Jane Studennie:

She was present to communicate her support of these types of facilities since it is a good service and will benefit the town and community.

On a motion made by Rich Di Iulio and seconded by Matt Hayes, the Board voted unanimously to continue the hearing for 2 Marc Road to November 27, 2018 at 7:30 pm.

Applegate – Amendment to Tri- Partite Agreement:

The Board is in receipt of the following: **(See Attached)**

- 11/17/18 email from Attorney Melissa McCarthy of KP Law with an update on the continuing negotiations on the amendment to the Applegate Tri-Partite Agreement.
- Revised draft amendment dated 11/7/18 provided in track changes mode to show revisions since the previous version.

The Board was made aware that the Attorney for Mr. Costello did get in communication with the Town's attorneys to inquire about if there are any funds left in the construction account. If so, he would like those applied to the \$1,000 escrow for the taxes/recording fee. The proposed amendment is in final form.

On a motion made by Rich Di Iulio and seconded by Matt Hayes, the Board voted unanimously to fund the most recent revision to the Tri-Partite Amendment dated November 7, 2018 as reviewed by Town Counsel.

**INFORMAL, SITE PLAN PRE-APPLICATION DISCUSSION
PROPOSED TOWN DPW BUILDING – Broad Street**

Medway Department of Public Services: (45 Broad Street)

Member Tucker recused himself at 8:25 pm. as he works for Compass Management which the Town has hired as the Owner's Project Manager (OPM).

Member Gay took over running the meeting.

Helene/Karl Architects, Inc. began the informal presentation by explaining the site plan which is for a 30,000 sq. ft. facility building for the DPS. The application will be filed as a major site plan. The applicant will need to go to the Conservation Commission since there are wetlands on site. There is also a meeting with department heads on November 19, 2018. The applicant will also be meeting with the Design Review Committee (December 3, 2018). The administrative offices will not be at this location but will remain at the middle school. The building will have three office spaces. The Board suggested the applicant have a conversation with the Town

Administrator about the utility area and the town land in relation to the rail road. There will be 29 parking spaces and 15 truck spaces. There will be a canopy over the staff parking lot in order to get the needed square footage required for a solar array. There may be grant funding for making this building energy efficient. There will be bays for material storage including patch, gravel, mulch and pea stone. There will also be a 60' by 90' area for the salt storage. There was discussion about the one way access into the site. The reasoning for this is due to the slope area and constraints due to the grade. The Board recommended that the applicant discuss this with the Fire Chief. The stormwater will be captured on site. It will be a closed system and the building roof run off will have its own recharge system. The stormwater system has not been fully designed yet. The snow removal will be in the areas around the edges on the flat back side of the site.

The project schedule included:

- Apply for site plan approval in early December.
- Completion of construction documents by the end of December.
- Bid going out in February
- Bids received back by the end of March or early April
- Shovels in ground end of May or beginning of June

There was a suggestion that the applicant host a neighborhood meeting prior to the filing. The applicant plans to submit the application in December with a public hearing in January. It was also recommended that the applicant meet with the Conservation Commission.

Member Tucker returned to the Vice Chairman seat at 9:23 pm.

APPOINTMENTS:

The Board is in receipt of the following documents: **(See Attached)**

- Resume of Rachel Wolff Lander

The DRC has an opening and two candidates have expressed an interest. Susy met with both and both have attended several DRC meeting. Susy noted that Rachel would be the great fit for the current needs of the Design Review Committee.

On a motion made by Matt Hayes and seconded by Tom Gay, the Board voted unanimously to recommend the appointment of Rachel Wolff Lander to the Design Review Committee through June 30, 2020.

CONSTRUCTION REPORTS:

The Board is in receipt of the following documents: **(See Attached)**

- CTS (9 Trotter Drive) – Report #2 (10-25-18).
- Medway Green (Main & Mechanic) – Report #8 (10-30-18)
- Medway Green (Main & Mechanic) – Report #9 (11-1-18)
- Merrimack Building Supply (20 Trotter Drive) – Report #17 (10-18-18)
- Merrimack Building Supply (20 Trotter Drive)-Report #18 (11-1-18)
- Merrimack Building Supply (20 Trotter Drive)-Report #20 (11-11-18)
- Exelon report from Beals and Thomas (10-17-18)

- Exelon monthly report, (10-29-18)
- BETA Daily Report on Exelon , 9-6-2018
- Country Cottage- Report #6, 8-10-18
- Country Cottage – Report #7, 8-24-18
- Country Cottage – Report #9 11-1-18
- Country Cottage – Report #8, 10-30-18

Susy reported that the engineering consultants from BETA Group will be preparing a bond estimate for Exelon; t want an occupancy permit for the administration building. The site inspection, punch list and bond estimate will be provided at the next meeting to be held on Tuesday, November 27, 2018.

SITE PLAN RULES AND REGULATIONS:

Administrative Section: (page 42)

In regards to construction changes, Susy reported that CED Director Barbara Saint Andre would prefer not to have the administrative site plan review team approve field changes for major and minor site plan projects.

208 -3 Plan Compliance:

The members discussed that performance bonds should not be allowed automatically. The Town is generally not in a position to complete improvements on private property. Include language that this is determined by the Board in its discretion.

208-4 Project Completion:

There should be a time limit that a site plan approval shall lapse after one year of grant if construction has not commenced except for good cause. Also add that approved site plans shall be completed by the applicant or its assignees within two years of the date of the plan endorsement unless otherwise specified in the site plan decision. For the Administrative Site Plan projects have a certificate of completion. It was suggested to delete section 208-5 on penalties since it is covered in the bylaw.

Administrative site plan projects do not need as-built plans signed by a Registered Professional Engineer.

It was suggested to give the final edited version to some of the engineers who are in front of the Board and see what their comments might be.

CORRESPONDENCE:

The Board is in receipt of the following documents: **(See attached)**

- The Board was made aware that Barbara Saint Andre made a presentation at a public forum on 40B on November 8, 2018. A copy of that presentation is provided.

FUTURE MEETING:

- Tuesday, November 27, 2018.

ADJOURN:

On a motion made by Rich Di Iulio and seconded by Matt Hayes, the Board voted unanimously to adjourn the meeting.

The meeting was adjourned at 10:00 pm.

Prepared by,

A handwritten signature in purple ink that reads "Amy Sutherland".

Amy Sutherland
Recording Secretary

Reviewed and edited by,

A handwritten signature in black ink that reads "Susan E. Affleck-Childs".

Susan E. Affleck-Childs
Planning and Economic Development Coordinator

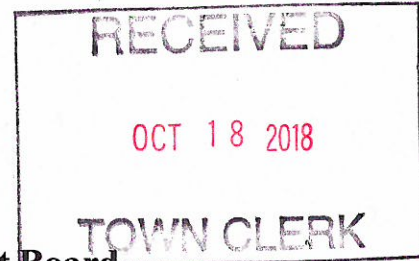


November 13, 2018
Medway Planning & Economic Development Board
Meeting

Zoning Bylaw Public Hearing

- Public Hearing notice
- Draft language to amend Section 3.2.B.4. re: use variances

The Medway ZBL has long included language allowing the ZBA to grant use variances. Town Counsel recently pointed out to CED staff that the ZBL did not include the use variance language. Apparently, when the ZBL recodification occurred in 2015, the use variance language was removed. Staff and counsel did not take note of that change and we have been operating under the belief that use variances were allowed. This proposed amendment would return the use variance language to the ZBL.



TOWN OF MEDWAY
Planning & Economic Development Board
155 Village Street
Medway, Massachusetts 02053

Andy Rodenhiser, Chairman
Robert K. Tucker, Vice-Chairman
Thomas A. Gay, Clerk
Matthew J. Hayes, P.E.
Richard Di Iulio

October 18, 2018

NOTICE OF PUBLIC HEARING
Proposed Amendments to Medway Zoning Bylaw
Tuesday, November 13, 2018

Pursuant to the *Medway Zoning Bylaw* and G.L. ch. 40A, §5, ***the Medway Planning and Economic Development Board will conduct a public hearing on Tuesday, November 13, 2018 at 7:00 p.m.*** to receive comments on a proposed amendment to the *Medway Zoning Bylaw*, last published May 30, 2018. The hearing will occur in Sanford Hall at Medway Town Hall, 155 Village ST, Medway, MA. The meeting room is accessible via elevator for individuals with physical disabilities.

The article has been prepared and submitted for inclusion on the warrant for consideration at the November 19, 2018 Fall Town Meeting. The subject matter of the proposed amendment is summarized below.

ARTICLE 25 - To see if the Town will vote to revise Section 3.2.B.4 Zoning Board of Appeals Powers to authorize the Zoning Board of Appeals to hear and decide on petitions for variances including those authorizing a use or activity not otherwise permitted in a particular zoning district.

The complete text of the proposed amendment is on file with the Town Clerk and the Planning offices at Medway Town Hall, 155 Village Street, Medway, MA and may be reviewed during regular business hours. The proposed amendment will be posted online at the Planning and Economic Development Board's web page at the Town's web site – <https://www.townofmedway.org/planning-economic-development-board>. For further information or questions, please contact the Medway Planning office at 508-533-3291.

Interested persons or parties are invited to review the proposed amendment, attend the public hearing, and express their views at the designated time and place. Written comments are encouraged and may be sent to the Medway Planning and Economic Development Board, 155 Village Street, Medway, MA 02053 or emailed to: planningboard@townofmedway.org. All written comments will be entered into the record during the hearing.

Andy Rodenhiser

Planning & Economic Development Board Chairman

To be published in the *Milford Daily News* - Monday October 29 and Tuesday November 6, 2018

Telephone: 508-533-3291

Fax: 508-321-4987

Email: planningboard@townofmedway.org

BSA Draft – October 15, 2018

Article 25 (Zoning Bylaw Amendment: Variances)

To see if the Town will vote to amend the Zoning Bylaw by revising Section 3.2.B.4 Zoning Board of Appeals Powers to read as follows, (added text is indicated in **bold**):

4. To hear and decide petitions for variances in accordance with G.L. c. 40A, §10, **including variances authorizing a use or activity not otherwise permitted in a particular zoning district.**

Or act in any manner related thereto.

PLANNING AND ECONOMIC DEVELOPMENT BOARD



November 13, 2018
Medway Planning & Economic Development Board
Meeting

MILLSTONE BOND REDUCTION

Millstone developer Steve Venincasa has requested a bond reduction. Roadway paving occurred on November 7th; Tetra Tech was present. Tetra Tech is in the process of preparing a bond reduction estimate to reflect completion of the roadway paving work. I will forward that to you upon receipt.

Attached is the last bond estimate for \$385,510 you approved in July 2017. I will forward the new Tetra Tech inspection report/punch list and updated bond estimate to you upon receipt.

- Tetra Tech bond estimate from July 2017

NOTE – There continue to be concerns about the developer's inadequate upkeep and maintenance of the stormwater management system. Tetra Tech's report should address this and I expect a memo from Conservation Agent Bridget Graziano early next week that I will share with you as well.

AMENDMENT #3
Performance Secured by Lender's Agreement
Millstone Village

Planning & Economic Development Board – Town of Medway, MA

WHEREAS, on the 24th day of April, 2015, the Town of Medway, acting through its Planning & Economic Development Board, (hereinafter referred to as "the Board") with an address of 155 Village Street, Medway, MA 02053, Millstone Builders, LLC ("Applicant") with an address of 1 Golden Court, P.O. Box 1205, Westborough, MA 0158, and Cornerstone Bank, successor by merger of Southbridge Savings Bank ("Lender") with an address of P.O. Box 370, Southbridge, MA 01550, entered into a Lender's Agreement to secure the construction of ways and installation of municipal services in accordance General Laws Chapter 41 Section 81U, and all other applicable provisions of the Subdivision Control Law and General Laws on the land shown on an approved Millstone Village Adult Retirement Community Planned Unit Development Plan dated October 15, 2013, last revised July 22, 2014, prepared by GLM Engineering of Holliston, MA showing the development of Parcels A and B at 129 Lovering Street, as recorded in the Norfolk County Registry of Deeds in Plan Book 632, pages 77 – 79 (hereinafter referred to as "the ARCPUD Plan"); and

WHEREAS, the Applicant, Board and Lender amended the Lender's Agreement on June 23, 2015; and

WHEREAS, the Applicant, Board and Lender further amended the Lender's Agreement on May 25, 2016; and

WHEREAS, the Applicant wishes to reduce the bond security to reflect the additional work completed in the Phase 1 and 2 areas since May of 2016; and

WHEREAS, the Board wishes to establish performance security to ensure construction of trails, paths and parking areas as shown on the Millstone ARCPUD plan; and

WHEREAS, the Applicant and Board now need to modify the Lender's Agreement as follows in order to adjust the security to ensure completion of the construction of ways and installation of municipal services and various other site improvements and amenities by:

1. reducing the Phase 1 performance security amount from \$180,021 to \$26,906 for the Phase 1 area in accordance with the bond reduction estimate prepared by Tetra Tech Engineering dated June 27, 2017 (as attached) and approved by the Board on July 11, 2017, and
2. reducing the Phase 2 performance security amount from \$439,285 to \$225,305 for the Phase 2 area in accordance with the bond estimate prepared by Tetra Tech Engineering dated June 27, 2017 (as attached) and approved by the Board on July 11, 2017; and
3. adding performance security in the amount of \$133,299 for the development of trails and parking in accordance with the bond estimate prepared by Tetra Tech Engineering dated June 27, 2017 (as attached) and approved by the Board on July 11, 2017;

for a combined total of \$385,510.

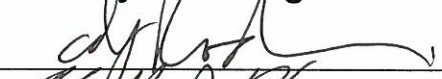
NOW, THEREFORE, the parties agree that the paragraph numbered 1 in the Lender's Agreement shall be further modified to read as follows:


1. The Applicant and Lender hereby bind and obligate themselves, their executors, administrators, devisees, heirs, successors and assigns to the Board in the sum of \$385,510 and have secured this obligation by the Lender retaining said sum of money from said principal sum otherwise due the Applicant ("Retained Funds") to be used to secure the performance by the Applicant of all covenants, conditions, agreements, terms and provisions contained in the following: the Subdivision Control Law (G.L. c. 41 §§ 81K-81GG); the Board's Rules and Regulations for the Review and Approval of Land Subdivisions applicable to this development; the application submitted for approval of this development; the special permit and all conditions of approval; the recommendations of the Board of Health; the ANR Plan and the ARCPUD Plan; all conditions subsequent to approval of this development due to any amendment, modification or revision of the special permit, ANR Plan or the ARCPUD Plan; all of the provisions set forth in this Agreement and any amendments thereto; and the following additional documents: _____ (hereinafter the "Approval Documents")."

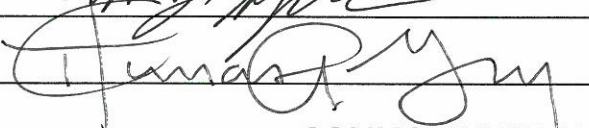
2. All other provisions of the original Lender's Agreement executed April 24, 2015 remain in effect.


IN WITNESS WHEREOF we have hereunto set our hands and seals this 25 day of July, 2017.

Medway Planning and Economic Development Board












Richard DiJulio

COMMONWEALTH OF MASSACHUSETTS

NORFOLK, SS

On this 25th day of July, 2017, before me, the undersigned notary public, personally appeared the following Members of the Medway Planning & Economic Development Board:

Andy Ridenhiser, Richard DiJulio, Thomas G. By

proved to me through satisfactory evidence of identification, which was (personal knowledge) (Massachusetts driver's license), to be the persons whose names are signed on the preceding document, and acknowledged to me that it was signed voluntarily for its stated purpose as members of the Medway Planning and Economic Development Board.



Notary Public
My commission expires: Aug 19, 2022

Millstone Builders, LLC

By: Steven F. Venincasa

Title/Position: Manager

Print name: Steven F. Venincasa

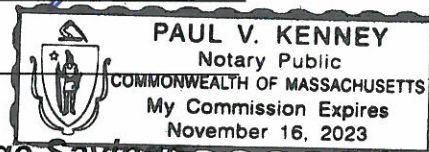
COMMONWEALTH OF MASSACHUSETTS

Norfolk, SS

On this 14th day of August, 2017, before me, the undersigned notary public, personally appeared the above-named Steven F. Venincasa, proved to me through satisfactory evidence of identification, which was (personal knowledge) (Massachusetts driver's license), to be the person whose name is signed on the preceding document, and acknowledged to me that it was signed voluntarily for its stated purpose as Manager of Millstone Builders, LLC.

Paul V. Kenney
Notary Public

My commission expires: _____



Cornerstone Bank successor by merger of Southbridge Savings

By: James Sandagato

Title/Position: VP Commercial Team Leader

Print name: James Sandagato

COMMONWEALTH OF MASSACHUSETTS

WORCESTER, SS

On this 20th day of July, 2017, before me, the undersigned notary public, personally appeared the above-named JAMES SANDAGATO, proved to me through satisfactory evidence of identification, which was (personal knowledge) (Massachusetts driver's license), to be the person whose name is signed on the preceding document, and acknowledged to me that it was signed voluntarily for its stated purpose as VP COMMERCIAL TEAM LEADER of Cornerstone Savings Bank.

Sheila M. Veideman
Notary Public

My commission expires: 9/5/19



July 20, 2017



Bond Estimate
Millstone Village (Phase I NEW²)
Medway, Massachusetts
June 27, 2017

Marlborough Technology Park
100 Nickerson Road
Marlborough, MA 01752
Tel 508.786.2200 Fax 508.786.2201

DESCRIPTION	QUANTITY	UNIT	UNIT COST	ENGINEERS ESTIMATE
HMA Top Course-Main Road	0	TON	\$110.00	\$0
HMA Top Course-Common Road	0	TON	\$110.00	\$0
HMA Top Course-Sidewalk	0	TON	\$110.00	\$0
HMA Binder Course-Sidewalk	0	TON	\$110.00	\$0
Gravel Borrow-Sidewalk	0	CY	\$40.00	\$0
Adjust Castings	0	EA	\$375.00	\$0
Vertical Granite Curb	0	FT	\$50.00	\$0
Cape Cod Berm	0	FT	\$6.00	\$0
Rehandled Topsoil	0	CY	\$30.00	\$0
Seed	0	SY	\$2.00	\$0
Sloped Granite Curb	0	FT	\$45.00	\$0
Line Striping (Binder)	0	LS	\$500.00	\$0
Line Striping (Top) ³	1	LS	\$4,000.00	\$4,000
Signage	0	EA	\$300.00	\$0
Landscaping ³	0	LS	\$20,000.00	\$0
Stormwater System Maintenance	1	LS	\$5,000.00	\$5,000
As-Built Plans	2,505	LF	\$5.00	\$12,525

Subtotal	\$21,525
25% Contingency	\$5,381
Total	\$26,906

Notes:

1. Unit prices are taken from the latest information provided on the MassDOT website and have been updated since our previous bond estimate submission. They utilize the MassDOT weighted bid prices (Combined - All Districts) for the time period 6/2016 - 6/2017. Quantities for Items shown in gray have changed since our previous bond estimate.
2. This bond estimate is based upon Phasing of the project as shown on updated Phasing Plan dated April 2, 2014.
3. This item has been updated to reflect current project Phasing as shown on updated Phasing Plan dated April 2, 2014.



Bond Estimate
Millstone Village (Phase II NEW²)
Medway, Massachusetts
June 27, 2017

Marlborough Technology Park
100 Nickerson Road
Marlborough, MA 01752
Tel 508.786.2200 Fax 508.786.2201

DESCRIPTION	QUANTITY	UNIT	UNIT COST	ENGINEERS ESTIMATE
Millstone Construction				
HMA Top Course-Main Road	346	TON	\$110.00	\$38,060
HMA Top Course-Common Road	117	TON	\$110.00	\$12,870
HMA Top Course-Sidewalk	71	TON	\$110.00	\$7,810
HMA Binder Course-Common Road	0	TON	\$110.00	\$0
HMA Binder Course-Sidewalk	42	TON	\$110.00	\$4,620
Gravel Borrow-Common Road	0	CY	\$40.00	\$0
Gravel Borrow-Sidewalk	162	CY	\$40.00	\$6,480
Fine Grading and Compacting	0	SY	\$4.00	\$0
Frame and Grate	0	EA	\$800.00	\$0
Frame and Cover	0	EA	\$750.00	\$0
Adjust Castings	41	EA	\$375.00	\$15,375
6" HDPE Pipe	0	FT	\$60.00	\$0
Electrical Services ³	0	LS	\$30,000.00	\$0
Vertical Granite Curb	132	FT	\$50.00	\$6,600
Cape Cod Berm	1,905	FT	\$6.00	\$11,430
Sloped Granite Curb	0	FT	\$45.00	\$0
Rehandled Topsoil	431	CY	\$30.00	\$12,930
Seed	2,587	SY	\$2.00	\$5,174
Line Striping (Top)	1	LS	\$2,000.00	\$2,000
Line Striping (Binder)	0	LS	\$2,000.00	\$0
Signage	3	EA	\$300.00	\$900
Landscaped Cul-De-Sac Island	1	LS	\$5,000.00	\$5,000
Landscaping ³	1	LS	\$30,000.00	\$30,000
Stormwater System Maintenance	1	LS	\$10,000.00	\$10,000
As-Built Plans	2,199	LF	\$5.00	\$10,995
Subtotal				\$180,244
25% Contingency				\$45,061
Total				\$225,305

Openspace Footpath/Parking Area				
Erosion & Sediment Controls	1	LS	\$5,000.00	\$5,000
Clearing & Grubbing ⁴	0.98	A	\$12,000.00	\$11,760
Openspace-Woodchip Trail	946	SY	\$11.50	\$10,879
Openspace-Gravel Parking Area	1	LS	\$18,000.00	\$18,000
Footbridge	122	LF	\$500.00	\$61,000
Subtotal				\$106,639
25% Contingency				\$26,660
Total				\$133,299

Notes:

1. Unit prices are taken from the latest information provided on the MassDOT website and have been updated since our previous bond estimate submission. They utilize the MassDOT weighted bid prices (Combined - All Districts) for the time period 6/2016 - 6/2017. Quantities for Items shown in gray have changed since our previous bond estimate.
2. This bond estimate is based upon Phasing of the project as shown on updated Phasing Plan dated April 2, 2014.
3. This item has been updated to reflect current project Phasing as shown on updated Phasing Plan dated April 2, 2014.
4. Openspace-Grass Trail is included in this item. Existing grass meadow shall be mowed to delineate the proposed walking trail.



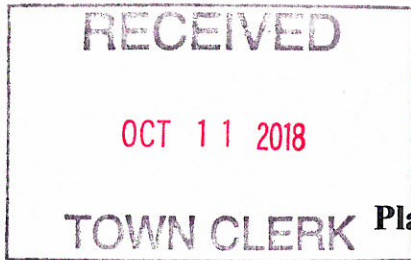
November 13, 2018

**Medway Planning & Economic Development Board
Meeting**

**2 Marc Road – Special Permit Public
Hearing – Cultivation and Processing of
Marijuana for Adult Recreational Use**

- Public Hearing Notice
- Special Permit Application
- PGC Review Comments dated 11-7-2018
- Medical Marijuana Special Permit Decision dated 6-28-2016
- Medical Marijuana Facility Site Plan for 2 Marc Road endorsed 7-18-2016
- 11-5-18 email from neighbor John Lally
- Amendment to CommCan Host Community Agreement dated 4-17-18
- Original Host Community Agreement dated 5-16-2016

NOTE – The Town has contracted with a professional sound consultant to evaluate the recently installed noise mitigation measures at the 2 Marc Road facility. That report has not yet been received.



TOWN OF MEDWAY
Planning & Economic Development Board
155 Village Street
Medway, Massachusetts 02053

Andy Rodenhiser, Chairman
Robert K. Tucker, Vice-Chairman
Thomas A. Gay, Clerk
Matthew J. Hayes, P.E.
Richard Di Iulio

October 9, 2018

NOTICE OF PUBLIC HEARING
2 Marc Road
Recreational Marijuana Establishment Special Permit

In accordance with the Medway Zoning Bylaw, Section 8.10 Recreational Marijuana and the provisions of Chapter 40A, Massachusetts General Laws, notice is given that ***the Medway Planning and Economic Development Board will conduct a Public Hearing on Tuesday, November 13, 2018 at 7:30 p.m. in the Sanford Room at Medway Town Hall, 155 Village Street to consider the application of Ellen Realty Trust of Millis, MA for approval of a special permit to operate a recreational marijuana establishment at 2 Marc Road.***

The applicant proposes to use the existing two story, 60,000 sq. ft. industrial building at 2 Marc Road (Parcel 33-001) located on the north side of Marc Road in the East Industrial zoning district. The 6.93 acre property is owned by Ellen Realty Trust of Millis, MA. NOTE - A medical marijuana special permit, site plan, and groundwater protection special permit were previously approved for this property on June 28, 2016. The proposed use pertains to the cultivation, manufacturing, processing, and packaging of marijuana for adult recreational use and the delivery of such products off site to retail marijuana establishments in other communities. A recreational marijuana retail facility is not proposed.

The application and associated documents are on file with the Medway Town Clerk and at the office of the Planning and Economic Development Board at Medway Town Hall, 155 Village Street and may be reviewed during regular business hours. The materials are also posted at the Planning and Economic Development Board's web page at: <https://www.townofmedway.org/planning-economic-development-board/pages/current-development-applications>

Interested persons are invited to review the application, attend the public hearing, and express their views at the designated time and place. The meeting room is accessible via elevator to individuals with physical disabilities. Questions should be directed to 508-533-3291. Written comments are encouraged and may be forwarded to: planningboard@townofmedway.org.

Andy Rodenhiser, Chairman

To be published in the *Milford Daily News*: Monday, October 29 and Tuesday, November 6, 2018

cc: *Planning Boards* – Bellingham, Franklin, Holliston, Milford, Millis and Norfolk

Medway Town Officials/Departments – Board of Selectmen/Town Administrator, Board of Assessors, Board of Health, Building Inspector/Zoning Enforcement Officer, Conservation Commission, Design Review Committee, Economic Development Committee, Fire Department, Police Department, Public Services Department, Town Clerk, and Treasurer/Collector

Telephone: 508-533-3291

Fax: 508-321-4987

planningboard@townofmedway.org

Merrikin Engineering, LLP

Consulting Engineers

730 MAIN STREET
SUITE 2C

MILLIS, MA 02054

TELEPHONE (508) 376-8883

October 9, 2018

Medway Planning and
Economic Development Board
Town of Medway
155 Village Street
Medway, MA 02053

Ref: 2 Marc Road
Proposed Recreational Marijuana Cultivation Facility
Application for Special Permit

Dear Members of the Board:

On behalf of the applicant, Ellen Realty Trust, we are pleased to submit the enclosed application for a Special Permit to add the cultivations, manufacturing and processing of recreational marijuana products to the existing medical marijuana cultivation facility at 2 Marc Road. The following is enclosed in support of the application:

- Two original applications for Special Permits;
- A certified abutters list;
- Two full-size and one 11x17 copies of the previously endorsed site plan;
- Two full-size and one 11x17 copies of floor plans for the facility;
- A statement under oath disclosing all of the owners of Commcan, Inc. the entity that will operate the site;
- A copy of the policies and procedures for delivery service; and
- A check in the amount of \$500.00 made payable to the Town of Medway for the application fee.

Please note the following:

- The name of the owner of the recreational marijuana facility is the Ellen Realty Trust. The entity that currently operates the facility is Commcan, Inc. They will continue to operate the facility for both medical and recreational marijuana products.
- The address of the owner and operator of the recreational marijuana facility is 730 Main Street, Millis, MA 02054.
- The proposed use will occur within an existing medical marijuana grow/processing facility at 2 Marc Road. The site includes a 60,000 s.f. two-story building, driveways, parking areas, utility systems and stormwater management systems. No changes are proposed to the site as part of this application.

We offer the following with respect to the requirements of Section 3.4.C (Special Permits) of the Zoning Bylaw:

- The proposed site is appropriate for the intended use since it is an existing medical marijuana cultivation facility. Except for the fact that the products are also proposed to be used for recreational purposes, the activities in the existing building and on the existing site will essentially remain unchanged.
- The existing site was specifically designed to accommodate a marijuana cultivation and processing facility and is appropriate for such uses.
- The proposed use of the existing facility will not create hazards to abutters, vehicles, pedestrians or the environment. The existing site, which was approved by the Medway PEDB, contains appropriate driveways, parking areas and stormwater management systems.
- Vehicular activity at the site is minimal. The Applicant previously reconstructed Marc Road as part of the approval of the medical marijuana facility. Vehicular access to and from the site is appropriate and reasonable and the site has easy access to Main Street, a major arterial roadway.
- The previously approved and constructed site is not detrimental to the adjoining properties.
- The proposed use of an existing marijuana cultivation facility for recreational products will not change the neighborhood or zoning district in any material way.
- The proposed use is consistent with the requirements of the Zoning Bylaw for recreational marijuana establishments.
- To our knowledge, the further utilization of commercial properties is consistent with the purposes of the Master Plan.
- The proposed use is consistent with the requirements of the zoning bylaw and will not be detrimental to the public good.

We offer the following with respect to the requirements of Section 8.10 of the Zoning Bylaw:

- The site is located in the East Industrial District.
- The use will be fully enclosed inside a permanent building that does not include any medical offices. The marijuana cultivation and processing activities inside the building are not visible from the outside of the building. The front of the building is readily visible from the building frontage.
- There are no public or private schools within 500 feet of the site.
- There will be no smoking, burning or consumption of any marijuana product on the site.
- There will not be a drive-thru service at the site.
- The existing signage will not change.
- The applicant proposes to cultivate, manufacture, process and package marijuana for recreational use. All of these activities already exist at the site for medical marijuana purposes.

Medway Planning and Economic Development Board
October 9, 2018
Page 3 of 3

Please do not hesitate to contact me if you have any questions or comments.

Sincerely,

MERRIKIN ENGINEERING, LLP

Daniel J. Merrikin P.E.
Partner

CC: File
Ellen Realty Trust (by email)



**Planning & Economic Development Board
Town of Medway, MA**

Application for Approval of Special Permit

INSTRUCTIONS TO APPLICANT/OWNER

This Application is made pursuant to the Medway Zoning Bylaw.

The Town's Planning and Engineering Consultants will review the Application and associated submittals and provide review letters to the Planning and Economic Development Board.

A copy of those review letters will be provided to you in advance of the meeting.

You and/or your duly authorized Agent/Official Representative are expected to attend the Board meeting at which your Application will be considered to answer any questions and/or submit such additional information as the Board may request.

Your absence may result in a delay the Board's review of the special permit application.

October 9, 2018

APPLICANT INFORMATION

Applicant's Name: Ellen Realty Trust

Mailing Address: 730 Main Street, Suite 2C

Millis, MA 02054

Name of Primary Contact: Ellen Rosenfeld

Telephone: Office: 508-376-2041 Cell: n/a

Email address: ellen@rosenfeld-law.com

☐ Please check here if the Applicant is the equitable owner (purchaser on a purchase and sales agreement.)

PROPERTY INFORMATION

Location Address: 2 Marc Road

The land shown on the plan is shown on Medway Assessor's Map # 33 as Parcel # 01

Size of Development Parcel(s): 6.93 acres

Development Name: 2 Marc Road

General Description of Property: The site contains an existing registered medical marijuana facility (RMMF) including a 60,000 s.f. building, parking lot, driveways, utility systems, stormwater management systems and other appurtenances.

Medway Zoning District Classification: East Industrial, Groundwater Protection District

TYPE OF SPECIAL PERMIT

As provided in the following Section(s) of the Medway Zoning Bylaw. List all that apply.

Section 8.10 to allow a Registered Marijuana Establishment (RME) that will engage in cultivation, manufacturing, processing, and packaging of marijuana for recreational use and the delivery of products to other RMEs.

PROPERTY OWNER INFORMATION (if not applicant)

Property Owner's Name: Ellen Realty Trust

Mailing Address: 730 Main Street

Millis, MA 02054

Primary Contact: Ellen Rosenfeld

Telephone:

Office: 508-376-2041

Cell: n/a

Email address: ellen@rosenfeld-law.com

OFFICIAL REPRESENTATIVE INFORMATION

Name: Daniel Merrikin, P.E., Merrikin Engineering, LLP

Address: 730 Main Street, Suite 2C

Millis, MA 02054

Telephone:

Office: 508-376-8883

Cell: 508-868-8353

Email address: dan@merrikinengineering.com

SIGNATURES

The undersigned, being the Applicant, herewith submits this application for a special permit(s) to the Medway Planning and Economic Development Board for review and action.

I hereby certify, under the pains and penalties of perjury, that the information contained in this application is a true, complete and accurate representation of the facts regarding the property under consideration.

(If applicable, I hereby authorize Daniel Merrikin to serve as my Agent/Official Representative to represent my interests before the Medway Planning & Economic Development Board with respect to this application.)

In submitting this application, I authorize the Board, its consultants and agents, Town staff, and members of the Design Review Committee and other Town boards and committees to access the site during the special permit review process.


Signature of Property Owner

10/9/2018
Date

Signature of Applicant (if other than Property Owner)

10/9/2018
Date


Signature of Agent/Official Representative

2018-10-09
Date

SPECIAL PERMIT APPLICATION/FILING FEES

There is no separate special permit application fee when the project also requires site plan review.

SPECIAL PERMIT APPLICATION CHECKLIST

It is understood that the applicant shall also file a corresponding application for Site Plan Review and Approval with all required submittals.

- X Complete and detailed narrative on how the proposed development project meets the special permit criteria included in the Medway Zoning Bylaw, SECTION 3.4 Special Permit Criteria AND any specific criteria included in the particular section(s) of the Zoning Bylaw for which a special permit is sought.



TOWN OF MEDWAY
BOARD OF ASSESSORS
155 VILLAGE STREET
MEDWAY, MA 02053
PHONE: 508-533-3203 FAX: 508-321-4981
www.townofmedway.org

RECEIVED
OCT - 3 2018
MEDWAY, MA 02053

REQUEST FOR ABUTTERS

Date of Request: October 3, 2018

Property owner: Ellen Realty Trust

Property location: 2 Marc Road

Parcel (property) ID: 33-01 33-001

Please specify: 100', 300' or 500' from subject parcel: 300'

THIS LIST IS REQUESTED FOR:

☒ Planning & Economic Development Board
☐ Zoning Board of Appeals
☐ Conservation Commission

REQUESTER INFORMATION:

Name: Dan Merrikin Email address: dan@merrikinengineering.com

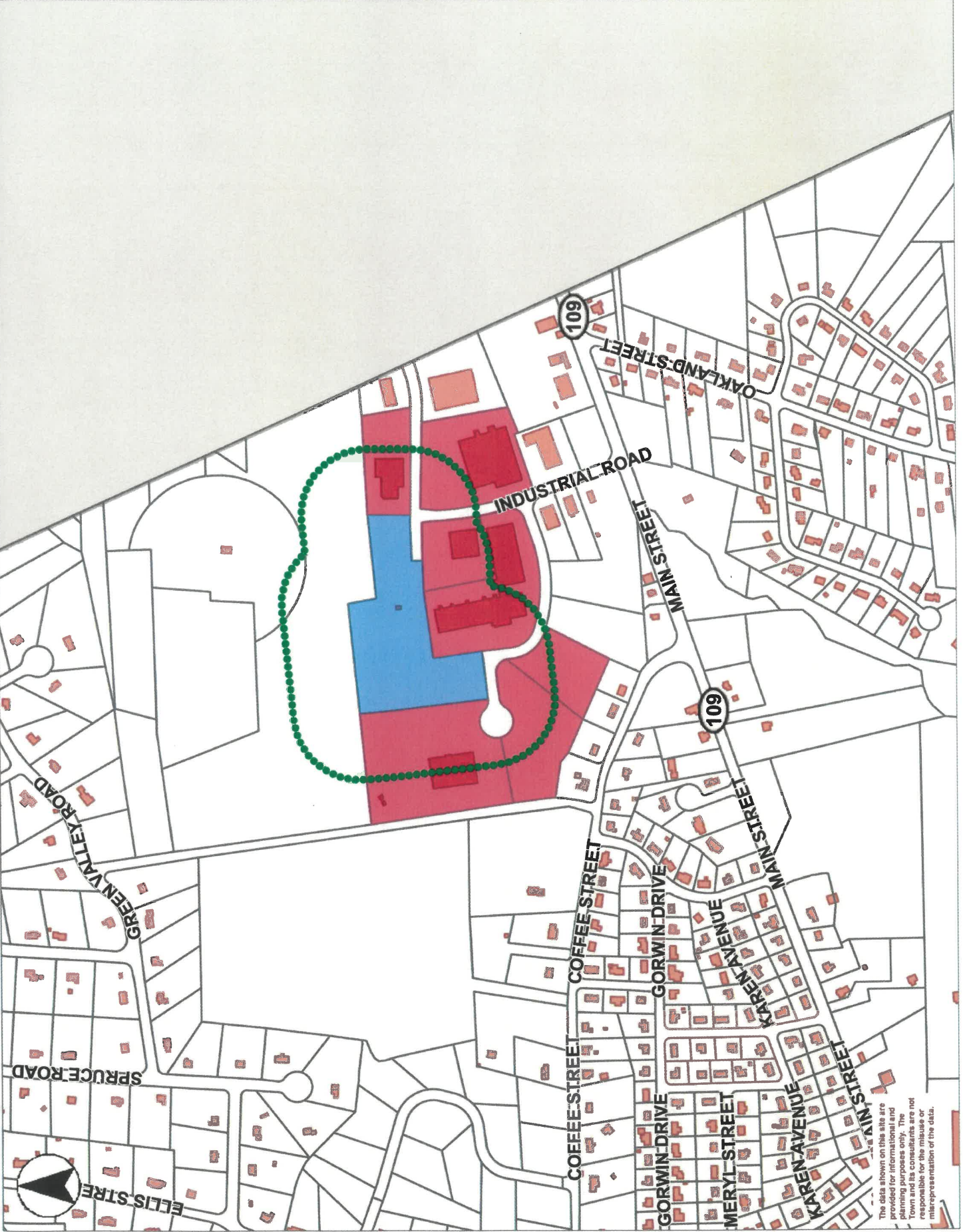
Address: 730 Main Street, Suite 2C
Millis, MA 02054

Phone: 508-868-8353

THERE IS A FEE OF \$15.00 DUE AT THE TIME OF REQUEST. THE LIST IS VALID FOR 90 DATE OF CERTIFICATION DATE. THE BOARD OF ASSESSORS RESERVES 10 WORKING DAYS TO PROVIDE ALL CERTIFIED LISTS OF ABUTTERS. ***IF YOU WISH TO HAVE THE LISTS MAILED BACK TO YOU, YOU MUST PROVIDE A SELF ADDRESSED STAMPED ENVELOPE LARGE ENOUGH FOR THREE SETS OF LABELS.***



- Fire Stations
- Police Stations
- Hospitals
- Town Hall
- Public Libraries
- Schools
- Ice Rinks
- Community Health Centers
- MBTA Commuter Rail
- Parcels
- MA Highways
- Interstate
- US Highway
- Numbered Routes
- Abutting Town names
- Abutting Towns
- Town Boundary
- Buildings MGIS
- Streets



Town of Medway, MA GIS

Printed on 10/03/2018 at 11:46 AM

0 800 1600 ft

33-001

Parcel ID: 33-001
ELLEN REALTY TRUST
ELLEN ROSENFELD, TR.
730 MAIN ST UNIT 2A
MILLIS, MA 02054

Parcel ID: 24-013
SOLARI TRUSTEE JOHN J JR
SOLARI TRUSTEE CAROLINE C
18 WINTHROP ST.
MEDWAY, MA 02053

Parcel ID: 24-014
REARDON WILLIAM F/BETTYE
WILLIAM F REARDON
89 MAIN ST SUITE 100
MEDWAY, MA 02053

Parcel ID: 32-026
NEK LLC
20533 SE EVERGREEN HIGHWAY
CAMAS, WA 98607

Parcel ID: 32-027
ELLEN REALTY TRUST
ELLEN ROSENFELD, TR.
730 MAIN ST UNIT 2A
MILLIS, MA 02054

Parcel ID: 32-028
ELLEN REALTY TRUST
ELLEN ROSENFELD, TR.
730 MAIN ST UNIT 2A
MILLIS, MA 02054

Parcel ID: 33-002
INDUSTRIAL PARK REALTY
P.O. BOX 368
DOVER, MA 02030

Parcel ID: 33-003
BIMBA PROPERTIES, INC
9 INDUSTRIAL PARK RD
MEDWAY, MA 02053

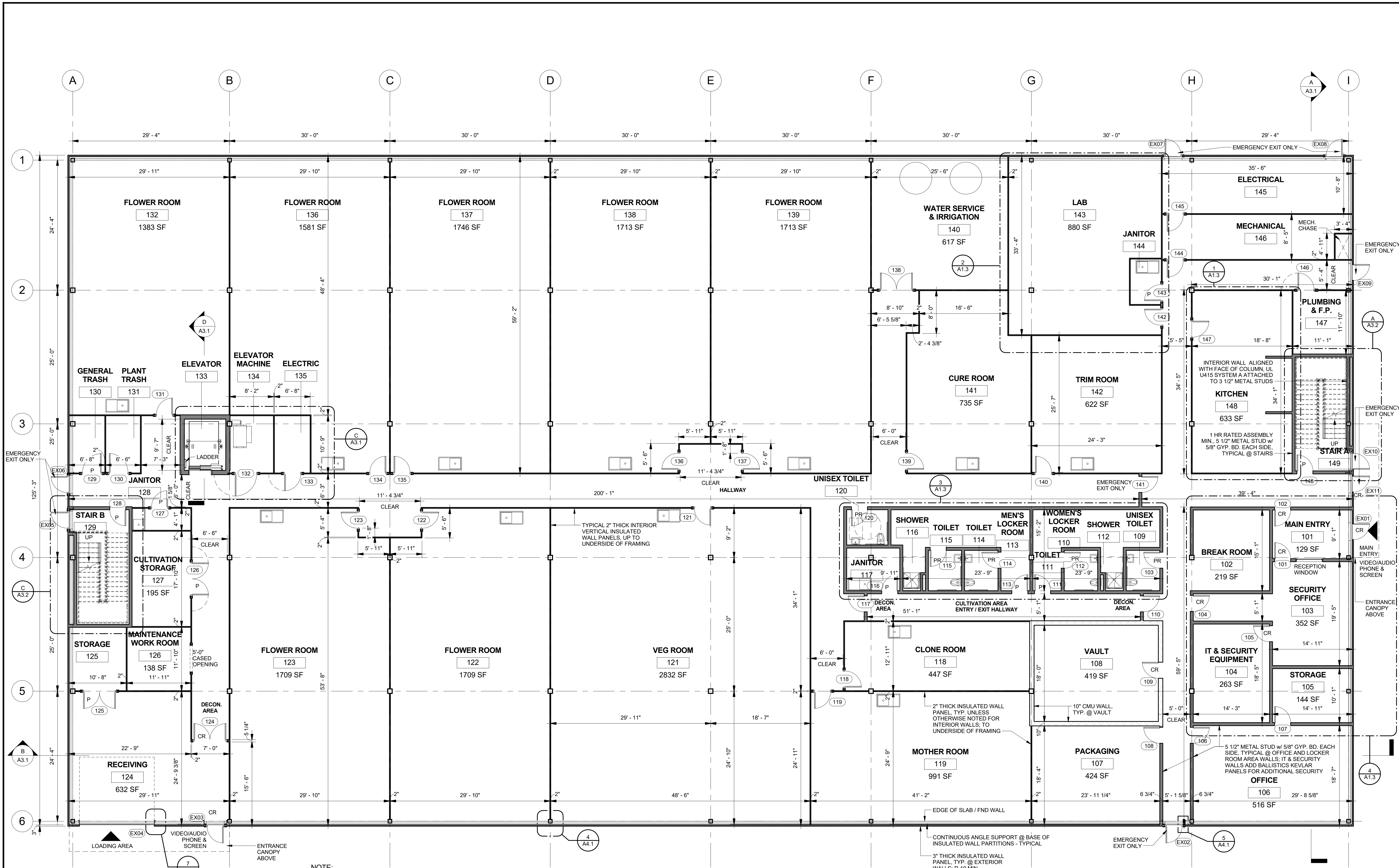
Parcel ID: 33-004
DART ASSOCIATES LIMITED
PARTNERSHIP
6 INDUSTRIAL PARK RD.
MEDWAY, MA 02053



THIS IS A CERTIFIED ABUTTERS LIST FROM THE TOWN OF MEDWAY.
WE CERTIFY THAT AT TIME OF LAST ASSESSMENT, THE NAMES AND
ADDRESSES OF ALL PROPERTY OWNERS, ARE ACCURATE.

J. M. M. M. 10/3/18
Office of the Board of Assessors Date

5/3/2016 2:35:43 PM



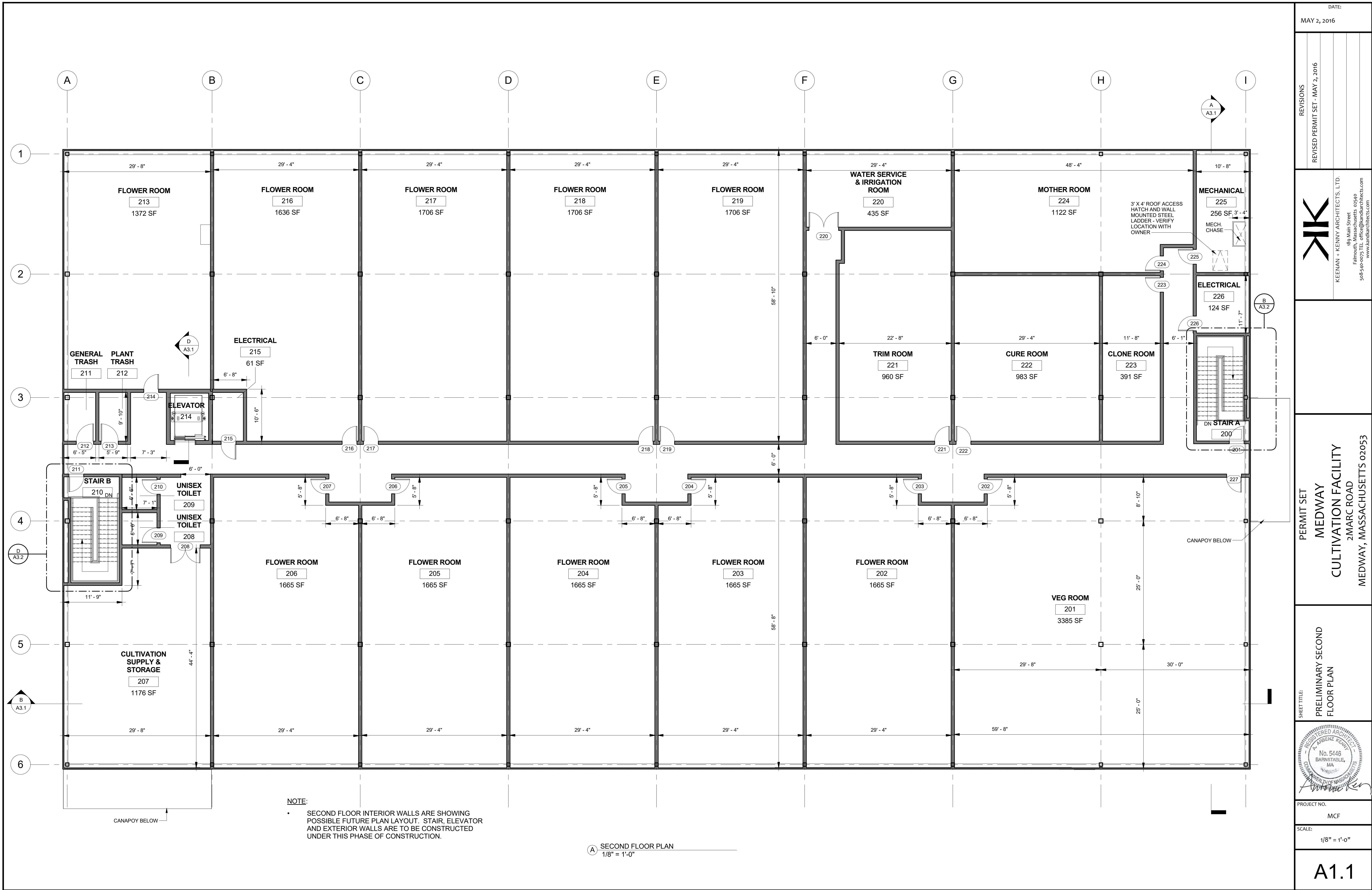
NOTE:

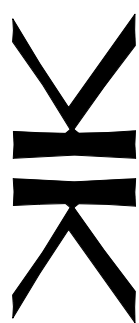

- SEE SHEET A3.1 FOR ELEVATOR SHAFT AND EQUIPMENT REQUIREMENTS; ALSO SEE OTIS ELEVATOR SHOP DRAWINGS.
- SEE SHEET A3.2 FOR STAIR SYSTEMS.
- ANY WOOD, PLYWOOD OR OSB USED IN THE CONSTRUCTION OF THIS PROJECT SHALL BE FIRE-RETARDANT-TREATED. EXCEPTIONS ARE INTERIOR TRIM, MILLWORK SUCH AS DOORS, DOOR FRAMES, WINDOW SASHES AND FRAMES, BLOCKING FOR HANDRAILS, MILLWORK AND CABINETS OR OTHERWISE ALLOWED BY CODE.

A FIRST FLOOR PLAN
1/8" = 1'-0"

DATE: MAY 2, 2016	
REVISIONS	
REVISED PERMIT SET - MAY 2, 2016	
KEENAN + KENNY ARCHITECTS, LTD. 48 Main Street Falmouth, Massachusetts 02540 508-540-0975 TEL. office@kandkarchitects.com www.kandkarchitects.com	
PERMIT SET MEDWAY CULTIVATION FACILITY 2 MARC ROAD MEDWAY, MASSACHUSETTS 02053	
SHEET TITLE: FIRST FLOOR PLAN	
PROJECT NO. MCF	
SCALE: 1/8" = 1'-0"	
A1.0	

5/3/2016 2:35:45 PM



DATE: MAY 2, 2016	
REVISIONS	REVISED PERMIT SET - MAY 2, 2016
 KEENAN + KENNY ARCHITECTS, LTD. 48 Main Street Falmouth, Massachusetts 02540 508-540-0075 TEL. office@kandkarchitects.com www.kandkarchitects.com	
PERMIT SET MEDWAY CULTIVATION FACILITY 2 MARC ROAD MEDWAY, MASSACHUSETTS 02053	
SHEET TITLE: PRELIMINARY SECOND FLOOR PLAN	
	
PROJECT NO. MCF	
SCALE: 1/8" = 1'-0"	
A1.1	

Statement of Ownership

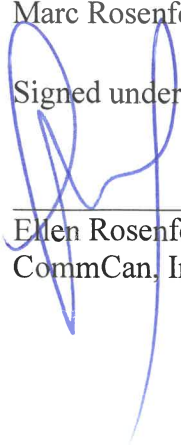
The undersigned, Ellen Rosenfeld, duly swears that CommCan, Inc's owners and shareholders are Ellen Rosenfeld, Jon Rosenfeld and Marc Rosenfeld, who reside at the following addresses:

Ellen Rosenfeld, 52 Woodland Road, Jamaica Plain, MA 02130

Jon Rosenfeld, 23 Ridgefield Circle, Boylston, MA 01505

Marc Rosenfeld, 7 Springdale Circle, Holliston, MA 01746

Signed under the pains and penalties of perjury this 8th day of October, 2018.



Ellen Rosenfeld,
CommCan, Inc, Pres.



730 Main Street, Suite 2A
Millis, MA 02054
Tel: 508 376 2041 Fax: 508 376 8563
Email: ellen@rosenfeld-law.com

TRANSPORTATION OF MARIJUANA

General Requirements

CommCan, Inc. (“CommCan”) will ensure that all transported marijuana and products are properly tracked through MJ Freeway. CommCan will only transport marijuana from its licensed facilities to other licensed Marijuana Establishments as permitted by CommCan’s license. In the event that any marijuana product is undeliverable or refused at the destination, CommCan will ensure that it will be transported back to CommCan’s originating facility.

CommCan will staff all vehicles transporting marijuana and marijuana products with at least two (2) CommCan agents, one of whom will remain in the vehicle at all times that the vehicle contains marijuana or marijuana products. Prior to departing, CommCan will make a video record of weighing, inventorying, and accounting for all marijuana products to be transported.

Within eight (8) hours after receiving the transported marijuana, CommCan will re-weigh, re-inventory, and account for, on video, all marijuana and marijuana products received. When videotaping the weighing, inventorying, and accounting of marijuana and marijuana products before transportation or after receipt, CommCan will ensure that the video shows each product being weighed, the weight, and the shipping manifest.

All marijuana products will be packaged in sealed, labeled, and tamper or child-resistant packaging prior to and during transportation.

All vehicles and transportation equipment used in the transportation of marijuana products requiring temperature control for safety will be designed, maintained, and equipped as necessary to provide adequate temperature control to prevent the marijuana products or edibles from becoming unsafe during transportation, consistent with applicable requirements pursuant to 21 CFR 1.908(c).

In the case of an emergency stop during the transportation of marijuana or marijuana products, CommCan will maintain a log describing the reason for the stop, the duration of the stop, the location of the stop, and any activities of personnel exiting the vehicle.

CommCan will ensure that all times and routes used for the transportation of marijuana or marijuana products are randomized and remain within the Commonwealth.

Reporting Requirements

Should any unusual discrepancy occur in weight or inventory, CommCan agents will document and report the discrepancy to the Commission and law enforcement authorities not more than twenty-four (24) hours after the discovery of such a discrepancy. CommCan agents will report to the Commission and law enforcement authorities any vehicle accidents, diversions, losses, or other reportable incidents that occur during transport, not more than twenty-four (24) hours after such accidents, diversions, losses, or other reportable incidents.

Vehicles

Any vehicle used to transport marijuana or marijuana products will be owned or leased by CommCan or a marijuana transporter, will be properly registered, inspected and insured in the Commonwealth, and equipped with an alarm system approved by the Commission. Said vehicle will be equipped with functioning heating and air conditioning systems appropriate for maintaining correct temperatures for storage of marijuana products. Marijuana products will not be visible from outside the vehicle.

Any vehicle used to transport marijuana products will not bear any markings indicating that the vehicle is being used to transport marijuana products nor shall said vehicle indicate the name "CommCan." No firearms will be located inside the vehicle or on any CommCan agent.

Storage Requirements

CommCan will transport marijuana and marijuana products in secure, locked storage compartments that are a part of the vehicle transporting the marijuana products and cannot be easily removed.

If and when CommCan transports marijuana or marijuana products to more than one Marijuana Establishment at a time, the marijuana and marijuana products for each marijuana establishment will be kept in a separate locked storage compartment during transportation and separate manifests will be maintained for each marijuana establishment. If and when CommCan is transporting marijuana and marijuana products to multiple marijuana establishments, CommCan will obtain permission from the Commission to adopt reasonable alternative safeguards.

Communications

Any vehicle used by CommCan to transport marijuana and marijuana products will contain a global positioning system (GPS) monitoring device that is: 1) not a mobile device that is easily removable; 2) attached to the vehicle at all times that the vehicle contains marijuana and marijuana products; and 3) monitored by CommCan during transport of marijuana and marijuana products. CommCan will obtain an inspection from the Commission prior to initial transportation of marijuana and marijuana products and after any alteration to the locked storage compartment.

Each CommCan agent transporting marijuana products will have access to a secure form of communication with personnel at CommCan at all times that the vehicle contains marijuana and marijuana products. CommCan will utilize either two-way digital or analog radio, cellular phones, or satellite phones for these purposes dependent upon the transportation area, base capabilities, cellular signal coverage, antenna coverage, and frequency of transportation.

Prior to and immediately after leaving CommCan premises, CommCan agents will use a secure form of communication to contact agents at the CommCan facility to test communications and GPS operability. In the event that communications or the GPS system fail while on route, the CommCan agents transporting marijuana or marijuana products will return to the originating CommCan location until the communication system or GPS system is once again operational.

Marijuana establishment agents transporting marijuana or marijuana products will contact the CommCan facility when stopping at and leaving any scheduled location, and regularly throughout the trip, at least every thirty (30) minutes.

CommCan will ensure that there is a CommCan agent assigned to monitoring the GPS unit and secure form of communication, who will log all official communications with marijuana establishment agents transporting marijuana products.

Manifests

All manifests used in the transportation of marijuana will be filled out by CommCan agents in triplicate, with the original manifest remaining with CommCan, a second copy provided to the destination marijuana establishment upon arrival, and a copy to be kept with the CommCan agent during transportation and returned to the marijuana establishment or marijuana transporter upon completion of the transportation. CommCan will securely transmit the manifest to the destination marijuana establishment via facsimile or email prior to departure.

Upon arrival at the destination marijuana establishment, CommCan's agents will compare the manifest produced by CommCan agent and the copy transmitted by facsimile or email to the destination marijuana establishment. Each manifest will include, at a minimum, the originating marijuana establishment name, address, and registration number; the names and registration numbers of the agents who transported the marijuana products; the name and registration number of the marijuana establishment agent who prepared the manifest; the destination marijuana establishment name, address, and registration number; a description of the marijuana and marijuana products being transported, including the weight and form or type of the product; the mileage of the transporting vehicle at departure from CommCan and mileage upon arrival at destination marijuana establishment, as well as mileage upon return to CommCan; the date and time of departure from CommCan and arrival at destination marijuana establishment for each transportation; a signature line for the marijuana establishment agent who receives the marijuana products; the weight and inventory before departure and upon receipt; the date and time that the transported products were re-weighed and re-inventoried; the name of the marijuana establishment agent at the destination marijuana establishment who re-weighed and re-inventoried products; and the vehicle make, model, and license plate number.

CommCan will maintain the manifest inside of the vehicle throughout the entire transportation process until delivery is complete. All transportation manifests will be retained by CommCan for a minimum of one (1) year and will be available for inspection by the Commission upon request.

Each agent transporting or otherwise handling marijuana or marijuana products for CommCan will be registered as a marijuana establishment agent and have a driver's license in good standing issued by the Massachusetts Registry of Motor Vehicles for all classes of vehicle the marijuana establishment agent will operate for CommCan prior to transporting or otherwise handling CommCan's marijuana or marijuana products.

All CommCan agents will carry their agent registration cards at all times when transporting marijuana or marijuana products for CommCan and will produce their registration cards to the Commission or law enforcement officials upon request.

Access

Representatives of the Commission, other Commonwealth agencies, and emergency responders responding in the course of an emergency will have access to all CommCan transportation vehicles as necessary.

PGC ASSOCIATES, INC.

1 Toni Lane
Franklin, MA 02038-2648
508.533.8106
gino@pgcassociates.com

November 7, 2018

Mr. Andy Rodenhiser, Chairman
Medway Planning Board
155 Village Street
Medway, MA 02053

RE: 2 MARC ROAD RECREATIONAL MARIJUANA SPECIAL PERMIT

Dear Mr. Rodenhiser:

I have reviewed the proposed applications for a special permit for a recreational marijuana cultivation facility. The owner/applicant is Ellen Realty Trust of Millis.

The proposal is to use the existing 2-story, 60,000 square foot building currently permitted and used for the cultivation of medical marijuana to also be used for the cultivation of recreational marijuana. The endorsed site plan for the medical marijuana facility was submitted along with the application and no changes are proposed to the site or the exterior of the building. The application was prepared by Merrikin Engineering, LLP of Millis. The property is located at 2 Marc Road in the East Industrial zoning district.

I have comments as follows:

ZONING

Use

1. The proposed facility to cultivate, manufacture, and process recreational marijuana qualifies as a Recreational Marijuana Establishment (RME) under Section 8.10 of the Zoning Bylaw.
2. The property is located within the East Industrial district, which is an eligible location for an RME.

General Requirements and Conditions

3. The application meets the general requirements for an RME specified in Section 8.10 E, including being contained within a proper building without residential uses or doctor's offices; is located more than 500 feet from a school; smoking, burning or consumption of marijuana products is not allowed and no drive-through service is provided.

Signage

4. No additional signage is proposed.

Contact Information

5. Specific contact information for Town officials was not provided but presumably that has already been provided for the medical marijuana operation.

Prohibition Against Nuisances

6. Section 8.10 H prohibits the creation of nuisances including but not limited to fumes, odors, vapors, and offensive noises. Since complaints about odors and noise have been made regarding the existing medical marijuana operation, the applicant should demonstrate how these existing nuisances will be addressed in a manner that such that they will not recur when the additional recreational marijuana operation takes place.

Openness of Premises

7. The existing building meets the requirements for “openness of premises” since no activities within the building are visible and the front of the building is clearly visible from the public street.

Special Permit Requirements

8. Section 8.10 J. 5. c. requires copies of all required licenses and permits for the RME to the applicant by the Commonwealth of Massachusetts to be included with the application. I did not see evidence of these.
9. Other required information including list of owners (signed under pains and penalties of perjury), parties in interest, transportation and delivery policies, and site plan were submitted.
10. Proposed security measures were not submitted but approved security measures are already in place for the medical marijuana operation.

Other


11. Except as noted above, the application complies with the procedures and conditions required in Section 8.10.
12. The PEDB shall specify hours of operations and any other conditions, limitations and safeguards that may be necessary or appropriate.
13. The applicant is required to file an annual report of its operations with the PEDB and other appropriate Town officials.
14. The special permit is not transferable to other owners.
15. All material, plants equipment and paraphernalia shall be removed within 6 months of ceasing operations or surrendering its state licenses.
16. A host community agreement is a requirement of the special permit.

Section 3.4 Special Permit Criteria

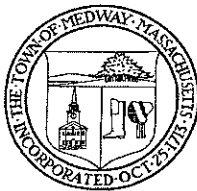
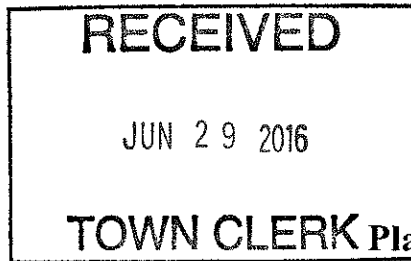
17. Since the medical marijuana operation already exists, all of the special permit criteria are met with the possible exception of 3.4 C. 5 regarding odors and noise, which need to be addressed.

If there are any questions about these comments, please call or email me.

Sincerely,

A handwritten signature in black ink, appearing to read "Gino D. Carlucci, Jr.", with a stylized flourish at the end.

Gino D. Carlucci, Jr.



TOWN OF MEDWAY

Planning & Economic Development Board

155 Village Street

Medway, Massachusetts 02053

*Andy Rodenhiser, Chairman
Robert K. Tucker, Vice-Chairman
Thomas A. Gay, Clerk
Matthew J. Hayes, P.E.
Richard Di Iulio*

June 28, 2016

SPECIAL PERMITS and SITE PLAN DECISION

Ellen Realty Trust/CommCan – 2 Marc Road

APPROVED with Waivers and Conditions

Decision Date: June 28, 2016

Name/Address of Applicant: Ellen Realty Trust
730 Main Street, Suite 2A
Millis, MA 02054

Name/Address of Property Owner: Ellen Realty Trust
730 Main Street, Suite 2A
Millis, MA 02054

Engineer: Merrikin Engineering, LLP
730 Main Street, Suite 2C
Millis, MA 02054

Site Plan: 2 Marc Road Site Plan of Land in Medway, MA
Dated March 30, 2016, last revised June 7, 2016

Location: 2 Marc Road, 19 Jayar Road and 21 Jayar Road

Assessors' Reference: 33-001, 24-015 and 24-016

Zoning District: Industrial I and Groundwater Protection District

I. PROJECT DESCRIPTION – The applicant proposes to construct a two story, 60,000 sq. ft. industrial facility and associated infrastructure on three parcels comprising 6.92 acres at 2 Marc Road, and 19 & 21 Jayar (*Medway Assessors' Parcels 33-001, 24-015 and 24-016*) on the north side of Marc Road in the Industrial I zoning district. A portion of the site includes wetlands resources within the jurisdiction of the Medway Conservation Commission. The property is also located within a groundwater protection district; the northern boundary of the property is approximately 600' from a Town of Medway public water supply well. The properties are owned by Ellen Realty Trust of Millis, MA.

The applicant proposes to develop the site and use the building to contain a registered medical marijuana cultivation and processing facility. That use requires a special permit, the location requires a groundwater protection district special permit, and the overall project requires site plan review and approval. The *2 Marc Road Site Plan of Land in Medway, MA* is dated March 30, 2016 and was prepared by Merrikin Engineering, LLP of Millis, MA. Building elevations were prepared by Keenan & Kenny Architects, LTD of Falmouth, MA.

Access and egress to the development will be from Marc Road which runs westerly off of Industrial Park Road which is off Main ST/Route 109. Proposed site work includes construction of the access/egress driveways, curbing, 35 off-street parking spaces, landscaping, lighting, sidewalk, installation of stormwater drainage facilities, connection to municipal sewer, and reconstruction of the privately owned portions of Marc Road.

II. VOTE OF THE BOARD – After reviewing the application and information gathered during the public hearing and review process, the Medway Planning and Economic Development Board, on June 28, 2016, on a motion made by Matthew Hayes and seconded by Richard Di Iulio, **voted to GRANT with CONDITIONS a groundwater protection special permit and a registered medical marijuana dispensary special permit and to APPROVE with WAIVERS and CONDITIONS** as specified herein, a site plan for the construction of a medical marijuana cultivation and processing facility and associated site improvements at 2 Marc Road as shown on *2 Marc Road Site Plan of Land in Medway, MA*, dated March 30, 2016, last revised June 7, 2016 to be further revised as specified herein.

The vote was approved by a vote of four in favor and one opposed.

Planning & Economic Development Board Member	Vote
Richard Di Iulio	Yes
Matthew Hayes	Yes
Thomas A. Gay	Yes
Andy Rodenhiser	Yes
Robert Tucker	NO

III. PROCEDURAL HISTORY

- A. April 4, 2016 – Special permit and site plan applications and associated materials filed with the Medway Planning & Economic Development Board and the Medway Town Clerk

- B. April 11, 2016 – Public hearing notice filed with the Town Clerk and posted at the Town of Medway web site.
- C. April 11, 2016 - Public hearing notice mailed to abutters by certified sent mail
- D. April 11, 2016 – Site plan information distributed to Town boards, committees and departments for review and comment.
- E. April 12 and April 19, 2016 - Public hearing notice advertised in *Milford Daily News*.
- F. April 26, 2016 - Public hearing commenced. The public hearing was continued to May 10, May 24, June 14, and June 28, 2016 when the hearing was closed and a decision rendered.

IV. INDEX OF SITE PLAN DOCUMENTS

- A. The site plan and special permit applications for the proposed CommCan medical marijuana cultivation and processing facility included the following plans, studies and information that were provided to the Planning and Economic Development Board at the time the application was filed:
 - 1. Site Plan Application dated April 1, 2016 and special permit application dated April 4, 2016 with Project Description and Development Impact Statement, property ownership documentation, and certified abutters' list.
 - 2. *2 Marc Road Site Plan of Land in Medway, MA*, dated January 26, 2016, prepared by Merrikin Engineering of Millis, MA
 - 3. *Stormwater Report for 2 Marc Road* including an operations and maintenance plan, dated March 30, 2016 prepared by Merrikin Engineering
 - 4. *Requests for Waivers from the Medway Site Plan Rules and Regulations*, received April 4, 2016 prepared by Merrikin Engineering
 - 5. Building Elevation (undated) and Floor Plans dated November 24, 2015 by Keenan and Kenney Architects, Ltd.
- B. During the course of the review, a variety of other materials were submitted to the Board by the applicant and its representatives:
 - 1. Supplemental Request for Waiver of the *Medway Site Plan Rules and Regulations*, prepared by Merrikin Engineering dated May 5, 2016 - Section 205-6 Curbing
 - 2. *2 Marc Road Site Plan of Land in Medway, MA*, dated January 26, 2016, REVISED May 18, 2016, prepared by Merrikin Engineering of Millis, MA
 - 3. Merrikin Engineering letter dated May 4, 2016 with varied attachments in response to the PGC review letter dated April 22, 2016 and comments received during the April 26, 2016 public hearing.
 - 4. Merrikin Engineering letter dated May 19, 2016 with varied attachments in response to Tetra Tech review letter dated May 5, 2016.
 - 5. *2 Marc Road Site Plan of Land in Medway, MA*, dated January 26, 2016, REVISED May 18, 2016, prepared by Merrikin Engineering of Millis, MA

6. 2 Marc Road Site Plan of Land in Medway, MA, dated January 26, 2016, REVISED June 7, 2016, prepared by Merrikin Engineering of Millis, MA
7. Merrikin Engineering letter dated June 7, 2016 with varied attachments in response to public hearing discussions.
8. Supplemental Request for Waiver of the *Medway Site Plan Rules and Regulations*, prepared by Merrikin Engineering dated May 25, 2016 - Section 205-6.G.1 Parking Spaces/Stalls
9. Revised building elevation from Keenan and Kenney Architects, Ltd. – not dated
10. Odor Management Info – Letter dated May 3, 2016 from CSI Engineering of Portsmouth, NH.
11. Proposed design - CommCan free-standing sign prepared by Signarama Walpole, undated
12. Water and Wastewater Management – Letter dated May 3, 2016 from CSI Engineering, Portsmouth, NH.
13. Cut sheet of a proposed bike rack by ULINE.
14. Business Entity Summary of CommCan Inc. from the Corporations Division of the Secretary of the Commonwealth of Massachusetts.
15. June 10, 2016 email communication from Building Commissioner Jack Mee indicating that the parking plan for the 2 Marc Road building meets the zoning requirements.
16. June 17, 2016 letter/Provisional Certificate of Registration for a Registered Medical Marijuana Dispensary from the Massachusetts Department of Public Health issued to CommCan, Inc. of Millis, MA.

C. Other Documentation

1. Mullins Rule Certification dated April 28, 2016 for Richard Di Iulio for the April 26, 2016 hearing
2. Mullins Rule Certification dated May 3, 2016 for Robert Tucker for the April 26, 2016 hearing
3. Mullins Rule Certification dated June 8, 2016 for Thomas Gay for the May 24, 2016 hearing
4. Host Community Agreement dated May 16 2016 between the Town of Medway and CommCan, Inc.
5. Review letter dated May 18, 2016 from the Medway Design Review Committee

V. **TESTIMONY** - In addition to the site plan application materials as submitted and provided during the course of our review, the Planning and Economic Development Board heard and received verbal or written testimony from:

- Sean Reardon, P.E. of Tetra Tech, Inc., the Town's Consulting Engineer – Site plan review letters dated May 5, 2016 and May 24, 2016
- Steve Bouley of Tetra Tech - Commentary throughout the public hearing process.
- Gino Carlucci, PGC Associates, the Town's Consulting Planner – Site plan review letter dated April 20, 2016 and commentary throughout the public hearing process.

- Ellen Rosenfeld, applicant
- Dan Merrikin, P.E. of Merrikin Engineering, engineer for the applicant
- Valerio Romano, VGR Law Firm, attorney for the applicant
- Antonia Kenny, Keenan & Kenny Architects, architect for the applicant
- Resident Charlie Myers, 9 Curtis Lane
- Resident Ann St. Vrain, 1 Causeway Street

VI. FINDINGS – The Planning and Economic Development Board must determine whether the proposed project constitutes a suitable development based on conformance with the various site development standards and criteria set forth in the *Site Plan Rules and Regulations*.

The Planning and Economic Development Board, at its meeting on June 28, 2016, on a motion made by Robert Tucker and seconded by Richard Di Iulio, voted to approve the following **FINDINGS** regarding the site plan and special permit applications for CommCan for 2 Marc Road. The motion was approved by a vote of five in favor and none opposed.

SITE PLAN RULES AND REGULATIONS FINDINGS – The Planning and Economic Development Board shall determine whether the proposed development is in conformance with the standards and criteria set forth in the *Rules and Regulations*, unless specifically waived. In making its decision, the Planning and Economic Development Board shall determine the following:

- (1) Has internal circulation, queuing and egress been designed such that traffic safety is protected, access via minor streets servicing residential areas is minimized, and traffic backing up into the public way is minimized?

The site has been designed with 360-degree circulation. The parking lot in front is of a standard design that is judged to be adequate for serving industrial and commercial uses. The site is within an industrial park with access directly from Route 109 so there is no access through minor streets serving residential areas. The entrance and exit drives are separate from the parking lot so there is no backing onto a public way.

- (2) Does the site plan show designs that minimize any departure from the character, materials, and scale of buildings in the vicinity as viewed from public ways and places?

The proposed building and site are of an industrial style, with the scale and materials similar to other buildings within the industrial park. While the design of the building is constrained by requirements specific to the proposed use as medical marijuana facility, the original design has been revised based on comments from the Design Review Committee so that its aesthetic impact has been improved.

- (3) Is reasonable use made of building location, grading and vegetation to reduce the visible intrusion of structures, parking areas, outside storage or other outdoor

service areas (e.g. waste removal) from public views or from (nearby) premises residentially used and zoned.

The building is replacing an earth processing and storage operation. The site is taking advantage of existing swales on the property as part of its stormwater management system. The proposed building and site work will be more stable. The parking area is at the front of the building to promote security. There is no outside storage or either materials or waste. While vegetation close to the building is limited by state imposed security requirements, six trees will be added around the parking lot and other low vegetation will be added to improve the site's aesthetics from the street and nearby residences.

- (4) Is adequate access to each structure for fire and service equipment provided?

The building has 360-degree circulation for access around its entire perimeter. The plans have been reviewed by the Fire Chief and found to be adequate, subject to the installation of an additional water hydrant to the rear of the site.

- (5) Will the design and construction minimize, to the extent reasonably possible, the following environmental impacts?

- a) the volume of cut and fill;
- b) the number of trees to be removed with particular care taken with mature trees and root systems;
- c) the visual prominence of man-made elements not necessary for safety;
- d) the removal of existing stone walls;
- e) the visibility of building sites from existing streets;
- f) the impacts on waterways and environmental resource areas;
- g) soil pollution and erosion;
- h) noise.

The site is currently used as an earth processing and storage facility. It is relatively flat so cuts and fills are minimal. There are no trees to be removed. There are no prominent man-made elements or stone walls on the site. The building design is similar to other buildings within the industrial park and typical for such buildings. The aesthetics of the original building design have been improved with the addition of windows and striping. The stormwater management system is making use of existing swales and is treating runoff from the parking lot and driveways to minimize impacts on waterways. The site plan has been reviewed by the Town's Consulting Engineer. Soil pollution and erosion will be reduced as the site will be stabilized with the proposed construction. Noise will also be reduced as the entire operations of the facility will be inside the building as opposed to the exterior operation currently on the site.

- (6) Is pedestrian and vehicular safety both on the site and egressing from it maximized?

Vehicular safety on and near the site has been maximized through a design with a driveway separate from the parking lot. There is no significant pedestrian use anticipated since no public access to the building is allowed. Pedestrian safety

within the parking lot is standard and is adequate due to minimal vehicular traffic.

- (7) Does the design and will the construction incorporate, to the maximum extent possible, the visual prominence of natural and historic features of the site?

There are no historic features on site. The construction does incorporate existing swales on the site into its stormwater management system.

- (8) Does the lighting of structures and parking area avoid glare on adjoining properties and minimize light pollution within the town?

A photometric plan has been submitted that demonstrates that there is no light trespass or glare off site. The fixtures are also shielded to minimize light pollution.

- (9) Is the proposed limit of work area reasonable and does it protect sensitive environmental and/or cultural resources? The site plan as designed should not cause substantial or irrevocable damage to the environment, which damage could be avoided or ameliorated through an alternative development plan or mitigation measures.

The limit of work is reasonable. It makes use of an already disturbed site and stabilizes it thus reducing damage to the environment.

GROUNDWATER PROTECTION DISTRICT SPECIAL PERMIT FINDINGS

- (10) New construction is a permitted use, subject to certain restrictions, within the Groundwater Protection District. As conditioned, and as noted below, the project will comply with those restrictions.
- (11) Storage of hazardous materials is prohibited unless in a free standing container within a building. The applicant has provided a list of hazardous materials that will be used in the facility and states that all storage and use will be contained within the building. Any accidental spillage will also be contained within the building and any that enters the sewer system will be treated prior to being discharged to the municipal sewer system.
- (12) Commercial fertilizers will be used for the growing of marijuana plants but all storage and use will be contained within the building.
- (13) The facility will handle toxic and hazardous materials. All use of hazardous materials will be contained within the building and as the risk of spillage during deliveries is low, the facility qualifies for a special permit. Operation and maintenance procedures are in place to prevent any accidental outdoor spillage from reaching groundwater.
- (14) Water control devices are prohibited unless they can be shown to prevent adverse impacts on groundwater. The stormwater management plans have been reviewed by the Town's Consulting Engineer to ensure that no adverse impacts will result.

- (15) The facility will render more than 2,500 square feet of the site impervious. The Town's Consulting Engineer has reviewed the stormwater management plan to ensure that groundwater recharge does not degrade groundwater quality.
- (16) As required by Section 5.6.F. of the Zoning Bylaw, the plans have been reviewed by the Board of Health, Conservation Commission, Water and Sewer Commission, and Department of Public Services to ensure that no adverse impacts on the quality or quantity of water available within the Groundwater Protection District, and that disturbance of the soils, topography, drainage, vegetation and other characteristics is minimized. The site is currently cleared and used for storing and processing earth materials and has no current drainage system. The proposed facility will reduce impacts on the quality of water available within the Groundwater Protection District.

***REGISTERED MEDICAL MARIJUANA DISPENSARY SPECIAL PERMIT
FINDINGS***

- (17) The proposed facility, as conditioned, is designed to minimize any adverse visual or economic impacts on abutters and other parties in interest.
- (18) As conditioned, the proposed facility will meet all the permitting requirements of all applicable agencies within the Commonwealth of Massachusetts and will be in compliance with all applicable state laws and regulations.
- (19) The applicant has satisfied all of the conditions and requirements of Sections 8.9 and 3.4 of the Zoning Bylaw.
- (20) The facility will be in a standalone building with no doctor's offices or other uses.
- (21) As proposed, the facility will operate 12 hours per day between 8:00 AM and 8:00 PM.
- (22) None of the uses listed in Section 8.9.E.5 of the Zoning Bylaw are located within 500 feet of the site of the proposed facility.
- (23) No drive-through service is proposed (and no public service of any kind is proposed).
- (24) The proposed signage is in compliance with Section 8.9.F. of the Zoning Bylaw
- (25) The applicant has provided the contact information for management staff and key holders.
- (26) The facility will be constructed and operated in strict compliance with Massachusetts Department of Public Health regulations, and thus not create nuisances to abutters.

- (27) The proposed facility complies with the openness of premises requirements of Section 8.9 I of the Zoning Bylaw since it is not open to the public and all operations are within the restricted building.
- (28) As conditioned, copies of required licenses and permits issued by the Commonwealth as well as individual names of owners, shareholders, partners, members, managers, directors, officers, or other similarly-situated individuals and entities will be provided.
- (29) Security measures including lighting, fencing, gates and alarms have been reviewed and approved by the Police Chief.
- (30) As conditioned, a copy of the policies/procedures for the transfer, acquisition, or sale of medical marijuana between approved RMD's will be provided.

GENERAL SPECIAL PERMIT FINDINGS

- (31) *The use is in harmony with the general purpose and intent of this Zoning Bylaw.*

The Registered Marijuana Dispensary section of the Zoning Bylaw was first adopted by the Town with the specific intent of allowing this type of facility in Medway. The stated purpose of Section 8.9 of the Zoning Bylaw is to address possible adverse public health and safety consequences and impacts on the quality of life related to this type of facility by providing for them in an appropriate place and under strict conditions, which are met by the proposed facility. Therefore, it meets the purpose of the Zoning Bylaw.

- (32) *The use is in an appropriate location and is not detrimental to the neighborhood and does not significantly alter the character of the zoning district.*

The proposed location for the facility is within the Industrial I district, in which the use is allowed by special permit. The site is not within 500 feet of any of the uses from which such facilities are prohibited. The design is an industrial style similar to other buildings within that district so the Board finds that it is in an appropriate location, does not alter the character of the zoning district, and the adverse effects of the development have been suitably addressed to reduce the impacts to the neighborhood.

- (33) *Adequate and appropriate facilities will be provided for the operation of the proposed use.*

As documented in the findings under *Site Plan Rules and Regulations* above, adequate and appropriate facilities have been provided for the operation of the facility. Its internal roadway system and stormwater management system have been reviewed by Town's Public Safety and Public Services staff and the Board's Consulting Engineer and found to be adequate.

- (34) *The proposed use will not be detrimental or otherwise offensive to the adjoining zoning districts and neighboring properties due to the effects of lighting, odors, smoke, noise, sewage, refuse materials, or visual or other nuisances.*

The building is replacing an earth processing and storage operation. The site is taking advantage of existing swales on the property as part of its stormwater management system. The proposed building and site work will be more stable. The parking area is at the front of the building to promote security. There is no outside storage of either materials or waste. While vegetation close to the building is limited by security requirements, six trees will be added around the parking lot and other low vegetation will be added to improve aesthetics from the public way and nearby residences. The applicant has supplied information about their odor management system. The Board finds that this criterion is met.

- (35) *The proposed use will not cause undue traffic congestion in the immediate area.*

The proposed facility is expected to have 30 employees and there is no public access so traffic is minimal and the industrial park road system is adequate to handle it. Furthermore, access is from Route 109 so there is no traffic impact on local residential roadways.

- (36) *The proposed use is consistent with the Medway Master Plan.*

The proposed facility is in compliance with Goals 1 and 6 of the Economic Development Goals and Objectives as follows: Goal 1: Maximize the area's economic resources and Goal 6: Attract new (and retain existing) businesses and increase the industrial/manufacturing base.

VII. WAIVERS – At its June 28, 2016 meeting, the Planning and Economic Development Board, on a motion made by Robert Tucker and seconded by Richard Di Iulio, voted to grant waivers from the following provisions of the *Rules and Regulations for the Submission and Approval of Site Plans, as amended December 3, 2002*. The Planning and Economic Development Board's action and reasons for granting each waiver request are listed below. All waivers are subject to the *Special and General Conditions of Approval*, which follow this section. The motion was approved by a vote of five in favor and none opposed.

SUBMITTAL REQUIREMENTS/PLAN CONTENTS

1. **Section 204 – 3.A.7.a. Traffic Impact Assessment** – A traffic impact report is required if a development project involves the addition of 30 or more parking spaces.

The applicant has proposed 35 parking spaces for the site and has requested that the requirement for a traffic impact assessment be waived as the project's scope will generate only employee and delivery traffic. Based on information from the Institute for Traffic Engineers, the expected average weekday trip generation is 65 trips at full operation. As the facility will only be involved in cultivation and processing without any retail sales, it will not generate any consumer traffic. The preparation of a traffic impact assessment is not expected to reveal any useful

information related to the site or the project's impacts. Therefore, the Board APPROVES this waiver request.

2. **Section 204-5 C. 3. Existing Landscape Inventory** - An *Existing Landscape Inventory* shall be prepared by a Professional Landscape Architect licensed in the Commonwealth of Massachusetts. This inventory shall include a "mapped" overview of existing landscape features and structures and a general inventory of major plant species including the specific identification of existing trees with a diameter of one (1) foot or greater at four (4) feet above grade.

The applicant has requested a waiver from this requirement as the site has been used for many years as a contractor's yard and to process earthen materials and is generally devoid of any landscape features and materials. There is no value in preparing an inventory of the existing landscape given the existing condition of the site with little landscape features to preserve. Therefore, the Board APPROVES this waiver request.

3. **Section 204-5 D. 7. Proposed Landscape Design** – A *Landscape Architectural Plan* shall be prepared by a Landscape Architect licensed in the Commonwealth of Massachusetts. This *Plan* shall be prepared as an overlay of the existing conditions sheets and shall incorporate, whenever possible, the significant features of the existing site and topography, particularly existing trees with a diameter of one (1) foot or greater at four (4) feet above grade. The *Landscape Architectural Plan* shall indicate the areas slated for excavation; any woodlands, trees or other existing features or structures to be retained; all new plantings by common and Latin name including their proposed locations and sizes at the time of installation. Plan graphics for tree canopies shall reflect, as closely as possible, the actual canopy dimension of proposed tree plantings at the time of installation with a "lesser" intensity graphic used to represent potential canopy at maturity.

The applicant has requested a waiver from this requirement and has provided a more limited landscape design instead. Any registered medical marijuana facility is subject to a permit from the Massachusetts Department of Public Health which has strict requirements that prohibit shrubs and trees from being planted in proximity to medical marijuana buildings in order to promote safety in and around the facility. Therefore, the Board APPROVES this waiver request.

DEVELOPMENT STANDARDS

4. **Section 205-6 G. 3) a) Parking Spaces/Stalls** - Car parking spaces/stalls shall be ten (10) feet by twenty (20) feet, except that handicap stalls shall be in accordance with the current ADA; standards.

The applicant has requested a waiver from this requirement and proposes instead to use a 9' by 18' size parking space which is compliant with Section 7.1.1.E 3. a. of the Medway Zoning Bylaw. This is an instance where the Site Plan Rules and Regulations are not consistent with the Zoning Bylaw. In those cases, the Zoning Bylaw prevails. Therefore, the Board APPROVES this waiver request.

5. **Section 205-6 H. Curbing** – The perimeter of the parking area shall be bounded with vertical granite curb or similar type of edge treatment to delineate the parking lot.

The applicant has requested a waiver from this requirement and proposes the use of Cape Cod berm instead. The applicant believes the proposed alternative curbing material is an appropriate method to delineate the boundary of the proposed parking lot and is consistent with the general industrial park area. The Board concurs with this assessment and APPROVES this waiver request.

- VIII. CONDITIONS** The *Special and General Conditions* included in this Decision shall assure that the Board's approval of this site plan is consistent with the *Site Plan Rules and Regulations*, that the comments of various Town boards and public officials have been adequately addressed, and that concerns of abutters and other town residents which were aired during the public hearing process have been carefully considered

SPECIFIC CONDITIONS OF APPROVAL

- A. **Plan Endorsement** - Within sixty (60) days after the Board has filed its *Decision* with the Town Clerk, the site plan set for 2 Marc Road dated March 30, 2016, last revised June 7, 2016, prepared by Merrikin Engineering shall be further revised to reflect all Conditions and required revisions, including those as follows, and shall be submitted to the Planning and Economic Development Board to review for compliance with the Board's *Decision*. (*Said plan is hereinafter referred to as the Plan*). Upon approval, the Applicant shall provide a Mylar set of the revised Plan in its final form to the Board for its signature/endorsement. All Plan sheets shall be bound together in a complete set.
- B. **Cover Sheet Revisions** – Prior to plan endorsement, the cover sheet of the June 7, 2016 site plan set shall be revised as follows:
1. list the APPROVED Requests for Waivers from the *Site Plan Rules and Regulations*
 2. add the building elevation plan by Keenan and Kenney to the Plan Index
 3. add the photometric plan to the Plan Index
 4. include a revision date
- C. **Other Plan Revisions** – Prior to plan endorsement, the following plan revisions shall be made to the June 7, 2016 Site Plan set.
1. Add a detail for one bike rack to be located on site to accommodate two bicycles.
 2. The building elevation plan shall be revised as follows and added to the plan set:
 - a) to be consistent with the site plan, in particular, with the landscaping plan and to not show a sidewalk in front of the building.
 - b) to specify materials
 - c) to modify the colors of the awning over the front entrance and the horizontal stripe at the top of the building so they are more noticeably different in color from that of the main building façade.
 - d) to include the name of the architectural firm and plan date

3. Add the photometric plan to the plan set
 4. Revise the site plan notes to indicate that any planned chain link fencing shall be black, vinyl coated.
 5. Light pole fixtures shall be noted as being black.
- D. **Odor Management** – An effective odor management system shall be maintained at all times such that odors from the cultivation and processing of marijuana on the premises shall comply with the provisions of Section 7.3 D of the Zoning Bylaw and shall not be evident off-site of the subject property.
- E. **Off-Site Mitigation** – The Applicant has agreed to the following:
1. To initiate actions to install a Development Sign on the property located at 8 Main Street (Parcel 33-007) owned by the Applicant. This sign shall specify the name of the industrial park and may include the names of businesses located within the park on Industrial Park Road, Jayar Road and Marc Road. The Medway Design Review Committee shall be consulted in the development of the proposed sign design. Any such sign is subject to and shall comply with the Section 7.2 of the Medway Zoning Bylaw. “Initiating actions” shall mean developing a design concept and securing a price quote for the sign, and contacting the business owners within the industrial park to contribute reasonably to the expense of construction, installation and future maintenance of the sign. If reasonably feasible, the Applicant shall coordinate the installation of said sign. In order to demonstrate that the sign installation is not reasonably feasible, the Applicant must provide documentation that all property owners within the industrial park were contacted in writing and that more than half have refused to contribute to the cost of the sign. This condition is also contingent on the Conservation Commission granting any necessary approvals for the sign installation, if necessary.
 2. To provide a 50’ roadway and utility easement along the entire length of the property line between parcel 32-027 (9 Marc Road) and parcel 32-026 (4 Marc Road) to its end at the Old County Layout, a north/south right of way running between Coffee Street and Green Valley Road. Prior to plan endorsement, the Applicant shall provide an easement plan and a proposed grant of easement document to the Town for review.
 3. By June 30, 2017, the Applicant shall bring the property at 0 Marc Road (Parcel 32-007) to a neat and orderly condition with trash and debris removed and all materials removed from the street right-of-way.
- F. Prior to plan endorsement, the applicant and the Medway Department of Public Services shall come to a resolution on the method of cross connection control for the operation of public and private water supplies within the medical marijuana cultivation and processing facility.

- G. **Limitations** – This medical marijuana dispensary special permit is limited to the operation of a cultivation and processing facility only. This permit does not authorize operation of a retail outlet for the sale of medical marijuana products.

GENERAL CONDITIONS OF APPROVAL

- A. **Fees** - Prior to site plan endorsement by the Planning and Economic Development Board, the Applicant shall pay:
1. the balance of any outstanding plan review fees owed to the Town for review of the site plan by the Town's engineering, planning or other consultants; and
 2. any construction inspection fee that may be required by the Planning and Economic Development Board; and
 3. any other outstanding expenses or obligations due the Town of Medway pertaining to this property, including real estate and personal property taxes and business licenses.

The Applicant's failure to pay these fees in their entirety shall be reason for the Planning and Economic Development Board to withhold plan endorsement.

- B. **Other Permits** – This permit does not relieve the applicant from its responsibility to obtain, pay and comply with all other required federal, state and Town permits. The contractor for the applicant or assigns shall obtain, pay and comply with all other required Town permits.
- C. **Document/Plan Recording** - Within thirty (30) days of recording the Decision and the associated Plan, the Applicant or his assign shall provide the Board with a receipt from the Norfolk County Registry of Deeds indicating that all documents have been duly recorded, or supply another alternative verification that such recording has occurred.
- D. **Restrictions on Construction Activities** – During construction, all local, state and federal laws shall be followed regarding noise, vibration, dust and blocking of town roads. The applicant and its contractors shall at all times use all reasonable means to minimize inconvenience to abutters and residents in the general area. The following specific restrictions on construction activity shall apply.
1. **Construction Time** - Construction work at the site and in the building and the operation of construction equipment including truck/vehicular and machine start-up and movement shall commence no earlier than 7 a.m. and shall cease no later than 6 p.m. Monday – Saturday. No construction shall take place on Sundays or legal holidays without the advance approval of the Inspector of Buildings.
 2. The applicant shall take all measures necessary to ensure that no excessive dust leaves the premises during construction including use of water spray to wet down dusty surfaces.
 3. There shall be no tracking of construction materials onto any public way. Daily sweeping of roadways adjacent to the site shall be done to ensure that any loose gravel/dirt is removed from the roadways and does not

create hazardous or deleterious conditions for vehicles, pedestrians or abutting residents. In the event construction debris is carried onto a public way, the Applicant shall be responsible for all clean-up of the roadway which shall occur as soon as possible and in any event within twelve (12) hours of its occurrence.

4. The Applicant is responsible for having the contractor clean-up the construction site and the adjacent properties onto which construction debris may fall on a daily basis.
5. All erosion and siltation control measures shall be installed by the Applicant prior to the start of construction and observed by the Planning and Economic Development Board's consulting engineer and maintained in good repair throughout the construction period.
6. *Construction Traffic/Parking* – During construction, adequate provisions shall be made on-site for the parking, storing, and stacking of construction materials and vehicles. All parking for construction vehicles and construction related traffic shall be maintained on site. No parking of construction and construction related vehicles shall take place on adjacent public or private ways or interfere with the safe movement of persons and vehicles on adjacent properties or roadways.
7. *Noise* - Construction noise shall not exceed the noise standards as specified in the *Medway Zoning Bylaw*, SECTION V. USE REGULATIONS, Sub-Section B. Area Standards, Paragraph 2. b).

E. ***Landscape Maintenance***

1. The site's landscaping shall be maintained in good condition throughout the life of the facility and to the same extent as shown on the endorsed Plan. Any shrubs, trees, bushes or other landscaping features shown on the Plan that die shall be replaced by the following spring.
2. Within 60 days after two years after the occupancy permit is issued, the Town's Consulting Engineer or the Inspector of Buildings shall conduct an initial inspection of the landscaping to determine whether and which landscape items need replacement or removal and provide a report to the Board. At any time subsequent to this initial inspection, the Town's Consulting Engineer or the Inspector of Buildings may conduct further inspections of the landscaping to determine whether and which landscaping items need replacement or removal and provide a report to the Board. The Board may seek enforcement remedies with the Inspector of Buildings/Zoning Enforcement Officer to ensure that the comprehensive landscaping plan is maintained.

F. ***Snow Storage and Removal***

1. On-site snow storage shall not encroach upon nor prohibit the use of any parking spaces required by the zoning bylaw.

2. Accumulated snow which exceeds the capacity of the designated snow storage areas on-site shall be removed from the premises within 24 hours after the conclusion of the storm event.

G. **Construction Oversight**

1. Construction Account

- a) Inspection of infrastructure and utility construction, installation of site amenities including landscaping, and the review of legal documents by Town Counsel is required. Prior to plan endorsement, the applicant shall establish a construction account with the Planning and Economic Development Board. The funds may be used at the Board's discretion to retain professional outside consultants to perform the items listed above as well as the following other tasks - inspect the site during construction/installation, identify what site plan work remains to be completed, prepare a bond estimate, conduct other reasonable inspections until the site work is completed and determined to be satisfactory, review as-built plans, and advise the Board as it prepares to issue a *Certificate of Site Plan Completion*).
 - b) Prior to plan endorsement, the Applicant shall pay an advance toward the cost of these services to the Town of Medway. The advance amount shall be determined by the Planning and Economic Development Board based on an estimate provided by the Town's Consulting Engineer.
 - c) Depending on the scope of professional outside consultant assistance that the Board may need, the Applicant shall provide supplemental payments to the project's construction inspection account, upon invoice from the Board.
 - d) Any funds remaining in the applicant's construction inspection account after the *Certificate of Site Plan Completion* is issued shall be returned to the applicant.
2. Planning and Economic Development Board members, its staff, consultants or other designated Town agents and staff shall have the right to inspect the site at any time, for compliance with the endorsed site plan and the provisions of this Decision.
 3. The Department of Public Services will conduct inspections for any construction work occurring in the Town's right-of way in conjunction with the Town of Medway Street Opening/Roadway Access Permit.
 4. The applicant shall have a professional engineer licensed in the Commonwealth of Massachusetts conduct progress inspections of the construction of the approved site improvements. Inspections shall occur at least on a monthly basis. The engineer shall prepare a written report of

each inspection and provide a copy to the Planning and Economic Development Board within 5 days of inspection.

H. ***Plan Modification***

1. This Site Plan Approval is subject to all subsequent conditions that may be imposed by other Town departments, boards, agencies or commissions. Any changes to the site plan that may be required by the decisions of other Town boards, agencies or commissions shall be submitted to the Planning and Economic Development Board for review as site plan modifications.
2. Any work that deviates from an approved site plan shall be a violation of the *Medway Zoning Bylaw*, unless the Applicant requests approval of a plan modification pursuant to Section 3.5.2.A.3.c. and such approval is provided in writing by the Planning and Economic Development Board.
3. Whenever additional reviews by the Planning and Economic Development Board, its staff or consultants are necessary due to proposed site plan modifications, the Applicant shall be billed and be responsible for all supplemental costs including filing fees, plan review fees and all costs associated with another public hearing including legal notice and abutter notification. If the proposed revisions affect only specific limited aspects of the site, the Planning and Economic Development Board may reduce the scope of the required review and waive part of the filing and review fees.

I. ***Plan Compliance***

1. The Applicant shall construct all improvements in compliance with the approved and endorsed site plan and any modifications thereto.
2. The Planning and Economic Development Board or its agent(s) shall use all legal options available to it, including referring any violation to the Building Commissioner/Zoning Enforcement Officer for appropriate enforcement action, to ensure compliance with the foregoing Conditions of Approval.
3. The Conditions of Approval are enforceable under Section 3.1. F. of the *Medway Zoning Bylaw* (non-criminal disposition) and violations or non-compliance are subject to the appropriate fine.

J. ***Performance Security***

1. No occupancy permit shall be granted until the Planning and Economic Development Board has provided a written communication to the Inspector of Buildings/Zoning Enforcement Officer that the project, as constructed, conforms completely and fully to the approved site plan and that any conditions including construction of any required on and off-site improvements, have been satisfactorily completed OR that suitable security/performance guarantee has been provided to the Town of Medway, to the Planning and Economic Development Board's satisfaction, to cover the cost of all remaining work.

2. The applicant shall propose a form of performance security which shall be of a source and in a form acceptable to the Planning and Economic Development Board, the Treasurer/Collector and Town Counsel. The Board may require that the performance guarantee be accompanied by an agreement which shall define the obligations of the developer and the performance guarantee company including:
 - a) the date by which the developer shall complete construction
 - b) a statement that the agreement does not expire until released in full by the Planning and Economic Development Board
 - c) procedures for collection upon default.
3. The amount of the performance guarantee shall be equal to 100% of the amount that would be required for the Town of Medway to complete construction of the site infrastructure including installation of stormwater management facilities, utilities, services, pedestrian facilities and all site amenities as specified in the Site Plan that remain unfinished at the time the performance guarantee estimate is prepared if the developer failed to do so.
4. The security amount shall be approved by the Planning and Economic Development Board based on an estimate provided by the Town's Consulting Engineer based on the latest weighted average bid prices issued by the Mass Highway Department. The estimate shall reflect the cost for the Town to complete the work as a public works project which may necessitate additional engineering, inspection, legal and administrative services, staff time and public bidding procedures. The estimate shall also include the cost to maintain the infrastructure in the event the developer fails to adequately perform such and the cost for the development of as-built plans. In determining the amount, the Board shall be guided by the following formula in setting the sum: estimate of the Town's Consulting Engineer of the cost to complete the work plus a twenty-five percent (25%) contingency.
5. Final release of performance security is contingent on project completion.

K. *Project Completion*

1. Site plan approval shall lapse after one (1) year of the grant thereof if substantial use has not commenced except for good cause. Approved site plans shall be completed by the applicant or its assignees within two (2) years of the date of plan endorsement. Upon receipt of a written request by the applicant filed at least thirty (30) days prior to the date of expiration, the Planning and Economic Development Board may grant an extension for good cause. The request shall state the reasons for the extension and also the length of time requested. If no request for extension is filed and approved, the site plan approval shall lapse and may be reestablished only after a new filing, hearing and decision.

2. Prior to issuance of a final occupancy permit, the Applicant shall secure a ***Certificate of Site Plan Completion*** from the Planning and Economic Development Board and provide the ***Certificate*** to the Inspector of Buildings. The ***Certificate*** serves as the Planning and Economic Development Board's confirmation that the completed work conforms to the approved site plan and any conditions and modifications thereto, including the construction of any required on and off-site improvements. The ***Certificate*** also serves to release any security/performance guarantee that has been provided to the Town of Medway. To secure a ***Certificate of Site Plan Completion***, the applicant shall:

- a) provide the Planning and Economic Development Board with written certification from a Professional Engineer registered in the Commonwealth of Massachusetts that all building and site work has been completed in strict compliance with the approved and endorsed site plan, and any modifications thereto; and
- b) submit an electronic version of an As-Built Plan, prepared by a registered Professional Land Surveyor or Engineer registered in the Commonwealth of Massachusetts, to the Planning and Economic Development Board for its review and approval. The As-Built Plan shall show actual as-built locations and conditions of all buildings and site work shown on the original site plan and any modifications thereto. The final As-Built Plan shall also be provided to the Town in CAD/GIS file format per MASS GIS specifications.

L. ***Construction Standards*** - All construction shall be completed in full compliance with all applicable local, state and federal laws, including but not limited to the Americans with Disabilities Act and the regulations of the Massachusetts Architectural Access Board for handicap accessibility.

M. ***Conflicts*** – If there is a conflict between the site plan and the Decision's Conditions of Approval, the Decision shall rule. If there is a conflict between this Decision and/or site plan and the Medway Zoning Bylaw, the Bylaw shall apply.

IX. APPEAL – Appeals if any, from this Decision shall be made to the court within twenty (20) days of the date the Decision is filed with the Town Clerk.


After the appeal period has expired, the applicant must obtain a certified notice from the Town Clerk that no appeals have been made and provide such certification to the Planning and Economic Development Board before plan endorsement.

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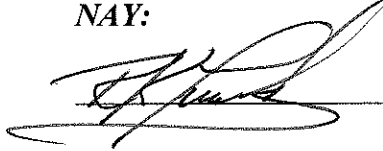
**Medway Planning and Economic Development Board
SITE PLAN and SPECIAL PERMITS DECISION
Ellen Realty Trust/CommCan – 2 Marc Road**

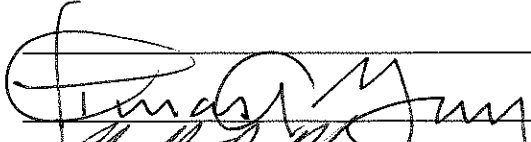
Approved by the Medway Planning & Economic Development Board: 6-28-2016


AYE:

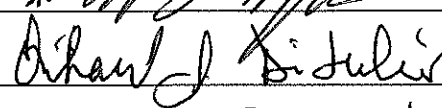


NAY:

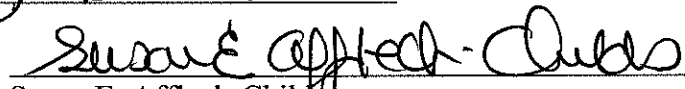








ATTEST:


Susan E. Affleck-Childs
Planning & Economic Development Coordinator

6-28-2016
Date

COPIES TO: Michael Boynton, Town Administrator
Michelle Grenier, Interim Conservation Agent
Donna Greenwood, Assessor
Beth Hallal, Health Agent
Tom Holder, Department of Public Services
Jeff Lynch, Fire Chief
Jack Mee, Inspector of Buildings and Zoning Enforcement Officer
Stephanie Mercandetti, Director of Community and Economic Development
Joanne Russo, Treasurer/Collector
Jeff Watson, Police Department
Ellen Rosenfeld, Ellen Realty Trust
Dan Merrikin, Merrikin Engineering
Steven Bouley, Tetra Tech
Gino Carlucci, PGC Associates

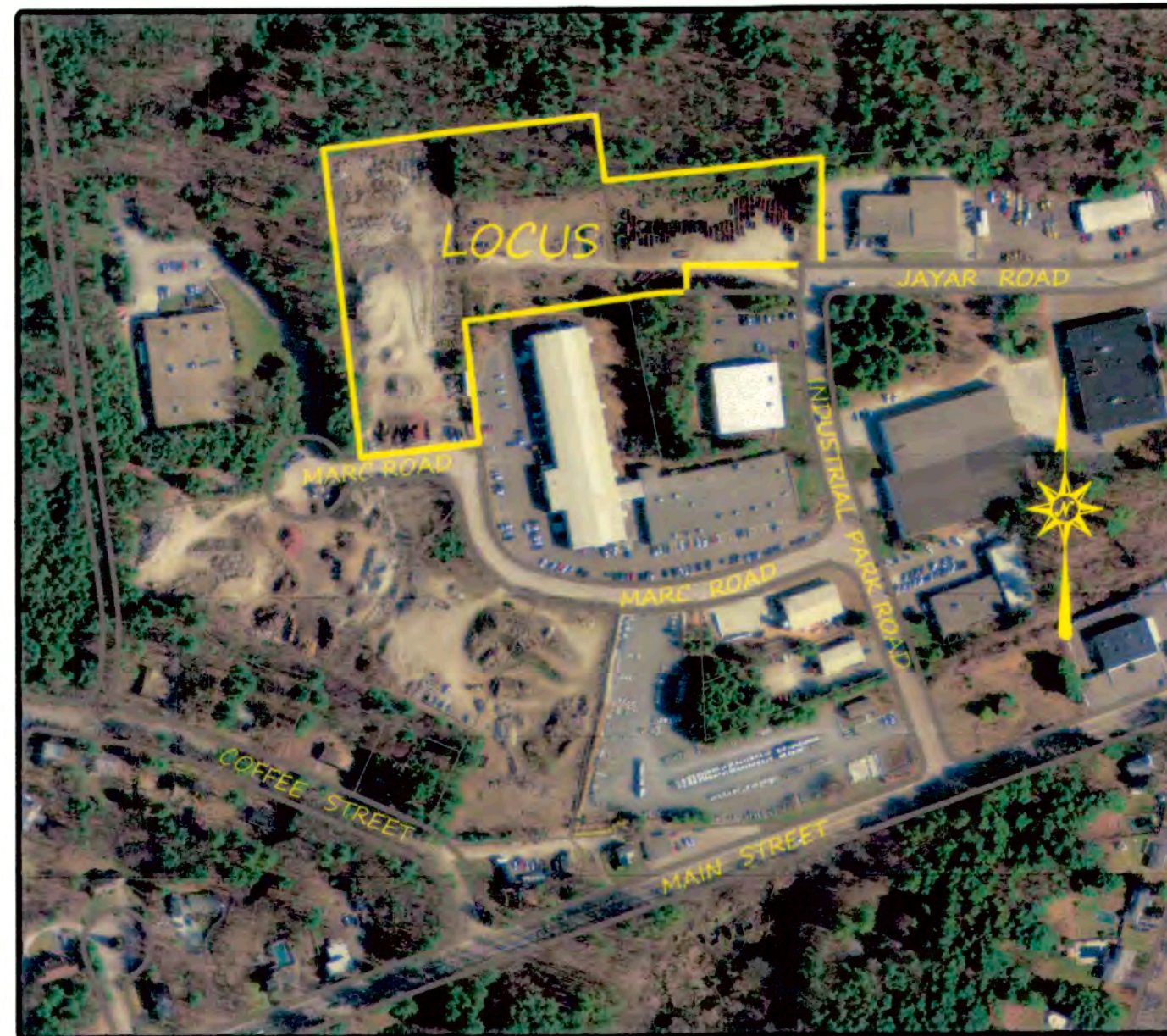
2 MARC ROAD SITE PLAN OF LAND IN MEDWAY, MASSACHUSETTS

PREPARED BY:
MERRIKIN ENGINEERING, LLP
730 MAIN STREET, SUITE 2C
MILLIS, MA 02054

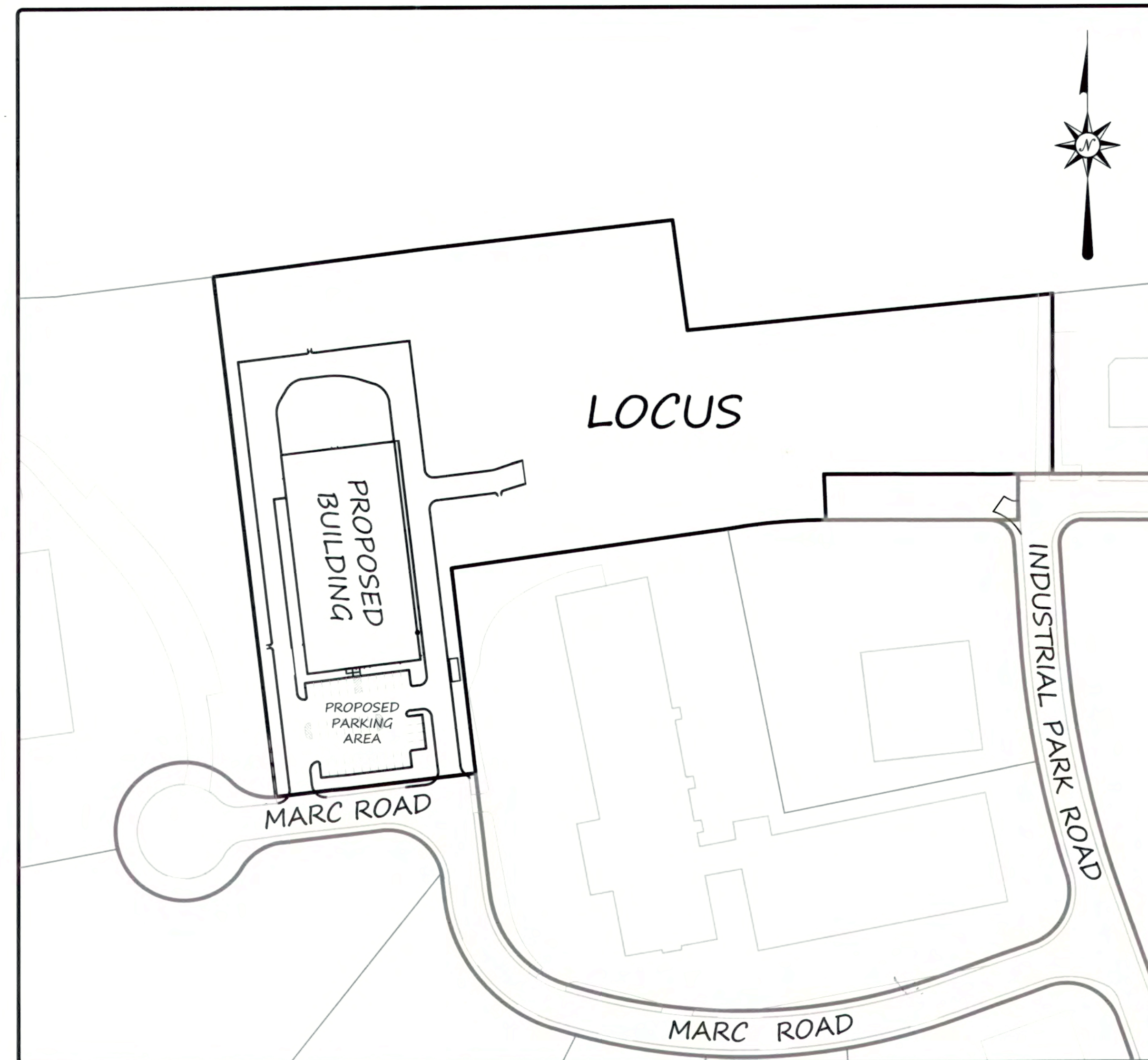
MARCH 30, 2016
Latest Revision: July 18, 2016

PREPARED FOR:
ELLEN REALTY TRUST
730 MAIN STREET
MILLIS, MA 02054

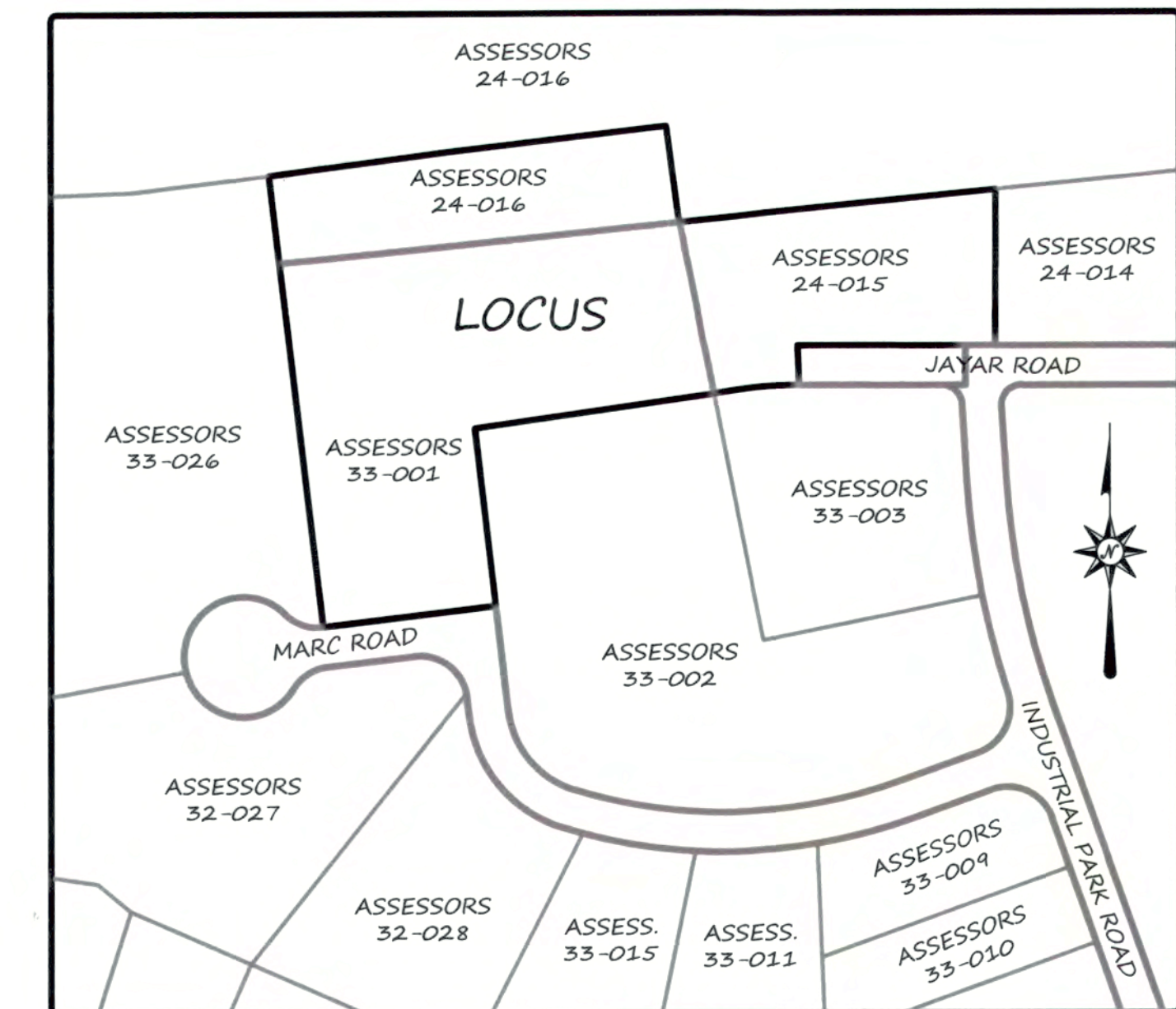
For Registry Use



2009 MASSGIS AERIAL LOCUS
SCALE: 1" = 300'



LOCUS
SCALE: 1" = 70'



ASSESSORS LOCUS
SCALE: 1" = 200'

SITE ADDRESS:
2 MARC ROAD

MAP AND PARCEL:
MAPS 24 & 33
PARCELS 24-015, 24-016, & 33-001

ZONING CLASSIFICATION:
INDUSTRIAL I

OVERLAY DISTRICTS:
GROUNDWATER PROTECTION DISTRICT

OWNER & APPLICANT:
ELLEN REALTY TRUST
730 MAIN STREET
MILLIS, MA 02054

DATE APPROVAL ISSUED: 6-28-16

PLAN ENDORSEMENT DATE: 7-26-16

[Signature]
MEDWAY PLANNING & ECONOMIC
DEVELOPMENT BOARD

I CERTIFY THAT THIS PLAN HAS BEEN
PREPARED IN CONFORMITY WITH THE RULES
AND REGULATIONS OF THE REGISTERS OF
DEEDS OF THE COMMONWEALTH OF
MASSACHUSETTS.

I CERTIFY THAT THIS SURVEY AND PLAN
CONFORMS TO THE ETHICAL, PROCEDURAL
AND TECHNICAL STANDARDS IN THE
COMMONWEALTH OF MASSACHUSETTS.

I HEREBY CERTIFY THAT THE PROPERTY
LINES SHOWN ON THIS PLAN ARE THE LINES
DIVIDING EXISTING OWNERSHIPS, AND THE
LINES OF THE STREETS AND WAYS SHOWN
ARE THOSE OF PUBLIC OR PRIVATE STREETS
OR WAYS ALREADY ESTABLISHED, AND THAT
NO NEW LINES FOR DIVISION OF EXISTING
OWNERSHIP OR FOR NEW WAYS ARE SHOWN.

[Signature]
REGISTERED LAND SURVEYOR

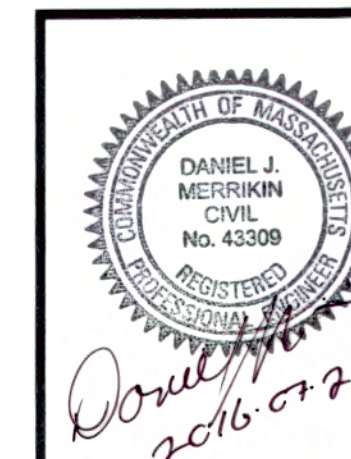


WAIVERS APPROVED:

- S.204-3.A.7.a FOR NO FULL TRAFFIC ASSESSMENT
- S.204-5.C.3: NOT TO HAVE TO INCLUDE AN "EXISTING LANDSCAPE INVENTORY" PREPARED BY A PROFESSIONAL LANDSCAPE ARCHITECT.
- S.204-5.D.7: NOT TO HAVE TO PROVIDE A LANDSCAPE ARCHITECTURAL PLAN PREPARED BY A PROFESSIONAL LANDSCAPE ARCHITECT.
- S.205-6.G.3.a: TO ALLOW PARKING SPACES TO BE 9'x18' PER THE ZONING BYLAW.
- S.205-6.H: TO ALLOW CAPE COD BERM AROUND PARKING AREAS.

PLAN INDEX

- SHEET 1 - COVER
- SHEET 2 - EXISTING CONDITIONS & EROSION CONTROL
- SHEET 3 - LAYOUT SHEET
- SHEET 4 - GRADING & UTILITY SHEET
- SHEET 5 - ROADWAY REPAVING SHEET
- SHEET 6 - DETAIL SHEET
- SHEET 7 - DETAIL SHEET
- SHEET 8 - DETAIL SHEET
- SHEET 9 - BUILDING RENDERING
- SHEET 10 - LIGHTING PLAN



**MERRIKIN
ENGINEERING, LLP**

730 MAIN STREET, SUITE 2C
MILLIS, MA 02054
ph. 508-376-8883 fax 508-376-8823

354-D63 SHEET 1 OF 10

PLAN SCALE: AS NOTED



PLAN DATE: MARCH 30, 2016

REVISION	DATE	BY
REVISIONS PER TOWN COMMENTS	2016-05-18	DJM
REVISIONS PER TOWN COMMENTS	2016-05-25	DJM
ADD FIRE HYDRANT & GENERATOR PAD	2016-06-07	DJM
PLANNING BOARD DECISION REVISIONS	2016-07-18	DJM

2 MARC ROAD
COVER SHEET
PLAN OF LAND
IN
MEDWAY, MA

GENERAL NOTES:

1. SURVEY & PLAN REFERENCES:
A. DEED REFERENCES:
BOOK 8379, PAGE 83
BOOK 18164, PAGE 320
B. PLAN REFERENCES:
PLAN BOOK 249 NO. 900
PLAN BOOK 300 NO. 955
PLAN BOOK 326 NO. 15145
PLAN BOOK 410 NO. 749
PLAN BOOK 454 NO. 94
2. DATUM: NAVD88
3. EXISTING UTILITY INFORMATION IS BASED ON BEST AVAILABLE RECORDS AND VISIBLE SURFACE FEATURES SUCH AS MANHOLES, CATCH BASINS, UTILITY POLES, HYDRANTS, VALVE BOXES, ETC... EXISTING UTILITY INFORMATION DEPICTED ON THESE PLANS ARE NOT WARRANTED TO BE CORRECT AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING ALL LOCATIONS PRIOR TO COMMENCEMENT OF WORK.
4. FEATURES OUTSIDE OF THE SITE SUCH AS ADJACENT STRUCTURES ARE APPROXIMATE ONLY AND BASED ON AVAILABLE AERIAL PHOTOGRAPHY.
5. THE LOCATION OF STORED MATERIALS AND STOCKPILES CHANGES REGULARLY.

CONSERVATION/EROSION & SEDIMENT CONTROL NOTES:

1. WETLANDS BOUNDARIES WERE DELINEATED BY RUSSELL WALDRON.
2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE EPA CONSTRUCTION GENERAL PERMIT, THE SWPPP PREPARED FOR THIS SITE AND ALL APPLICABLE PERMITS AND REGULATIONS.
3. THE DISCHARGE OF SEDIMENT OUTSIDE OF THE LIMIT OF WORK IS PROHIBITED. SHOULD THE SPECIFIED EROSION CONTROLS BE FOUND TO BE INADEQUATE, THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL MEASURES AS NEEDED INCLUDING ADDITIONAL ROWS OF PERIMETER CONTROLS, INSTALLATION OF DIVERSION BERMS AND THE INSTALLATION OF TEMPORARY SEDIMENT BASINS AT APPROPRIATE LOCATIONS.
4. EROSION CONTROLS AND CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.
5. CLEAN EXISTING ROADWAY CATCH BASINS PRIOR TO CONSTRUCTION.
6. EROSION CONTROLS AND CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN GOOD CONDITION UNTIL UPSLOPE AREAS ARE FULLY STABILIZED.
7. DOWNSTREAM CATCH BASINS SHALL BE PROTECTED WITH SILTSACS UNTIL UPTOWN AREAS ARE FULLY STABILIZED.
8. ADJACENT ROADS SHALL BE MAINTAINED IN A CLEAN CONDITION AND SHALL BE SWEEP AS NEEDED.

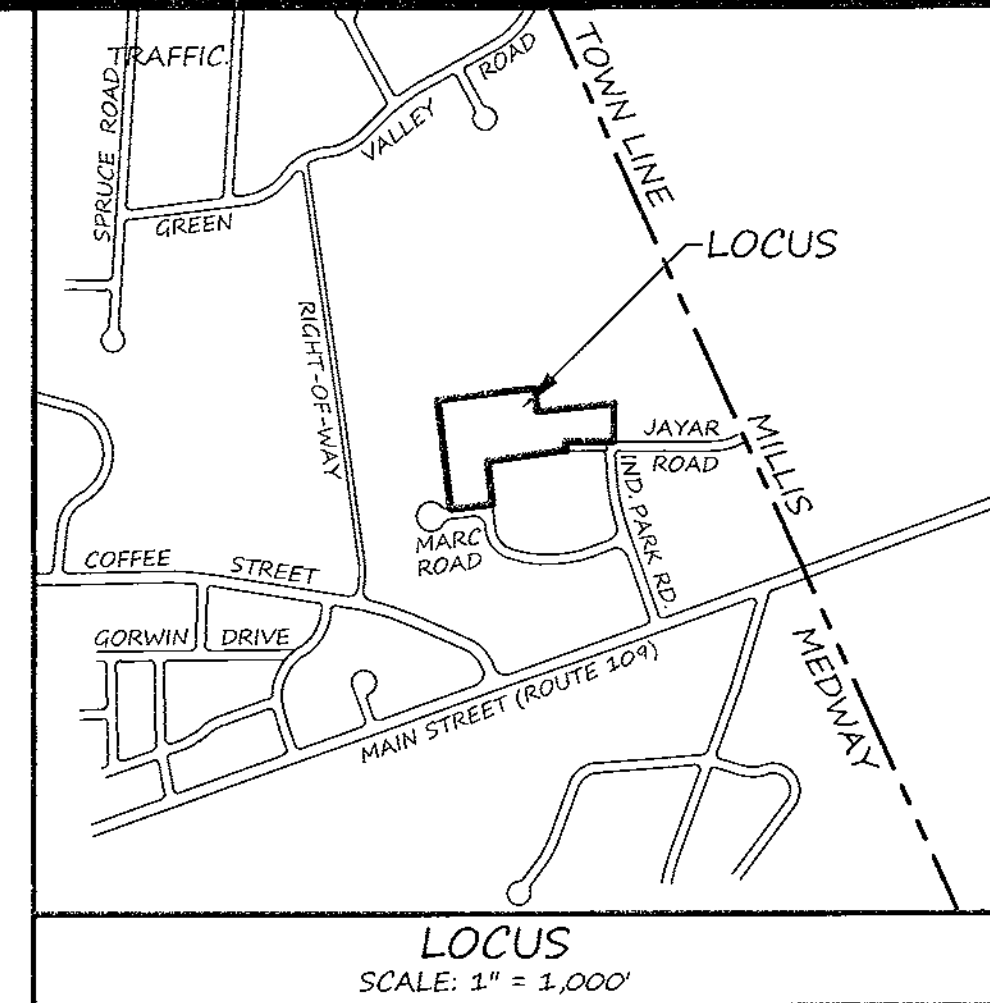
9. SWALE RECONSTRUCTION TO OCCUR DURING DRY SUMMER MONTHS.

CONSTRUCTION NOTES:

1. THE CONTRACTOR SHALL CONTACT DIGSAFE AT 811 PRIOR TO ANY EXCAVATION ACTIVITIES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF ANY STRUCTURAL RETAINING WALLS (WALLS WITH AN EXPOSED FACE OF GREATER THAN 4'). DESIGN SHALL BE BY A REGISTERED STRUCTURAL ENGINEER AND SHALL BE STAMPED ACCORDINGLY.

UTILITY NOTES:

1. ALL PIPELINE LINEAR FOOTAGES REFERENCED IN THESE PLANS ARE HORIZONTAL DISTANCES AND DO NOT REFLECT THE SLOPED DISTANCE OF THE PIPELINE.
2. THE DESIGN OF ALL UNDERGROUND FIRE ALARM, GAS, ELECTRICAL, TELEPHONE, AND CABLE DISTRIBUTION SYSTEMS ARE BY THE APPROPRIATE UTILITY COMPANY. PROSPECTIVE TRANSFORMER LOCATIONS HAVE BEEN APPROXIMATELY SHOWN.
3. WATER MAINS SHALL BE CLASS 52 CEMENT LINED DUCTILE IRON PIPE. ALL BRASS GOODS FOR POTABLE WATER SYSTEMS TO BE LEAD FREE.
4. UNLESS OTHERWISE NOTED, DRAIN PIPING SHALL BE HDPE PIPE RATED FOR H-20



SITE ADDRESS:
2 MARC ROAD

MAP AND PARCEL:
MAPS 24 & 33
PARCELS 24-015, 24-016, & 33-001

For Registry Use

ZONING CLASSIFICATION:
INDUSTRIAL I

OVERLAY DISTRICTS:
GROUNDWATER PROTECTION DISTRICT

OWNER & APPLICANT:
ELLEN REALTY TRUST
730 MAIN STREET
MILLIS, MA 02054

DATE APPROVAL ISSUED: 6-25-16

PLAN ENDORSEMENT DATE: 9-26-16

Handwritten signature of Paul J. Merrikin
MEDWAY PLANNING & ECONOMIC
DEVELOPMENT BOARD

PLAN SCALE: 1" = 40'

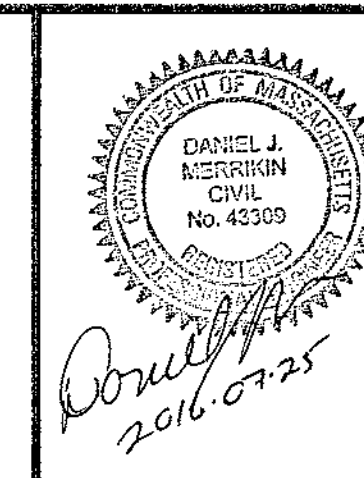
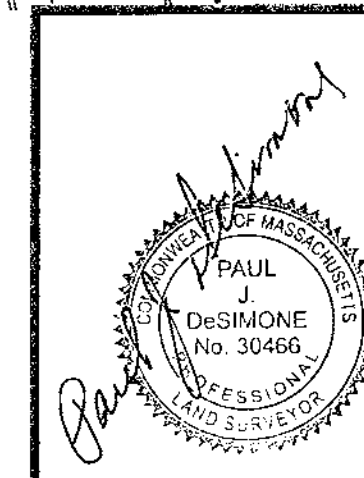
REVISION	DATE	BY
2016-05-18	DJM	
2016-05-25	DJM	
2016-06-07	DJM	
2016-07-18	DJM	

2 MARC ROAD
EXISTING CONDITIONS
PLAN OF LAND
IN
MEDWAY, MA

LEGEND & ABBREVIATIONS

- CB: EXISTING CATCH BASIN
- CB: PROP. SINGLE-GRATE CATCH BASIN
- CB: PROP. DOUBLE-GRATE CATCH BASIN
- STC: STORMCATCHER TREATMENT UNIT
- DMH: DRAIN MANHOLE
- TR: TR. TRENCH DRAIN
- INFIL: INFILTRATION TRENCH
- RCP: REINFORCED CONCRETE PIPE
- PVC: POLYVINYL CHLORIDE PIPE
- SMH: SEWER MANHOLE
- QCO: SEWER SERVICE CLEANOUT
- W: WATER MAIN
- HYD: HYDRANT
- W.G.V.: WATER GATE VALVE
- W.S.F.: WATER SERVICE CURB STOP
- M.B.: WATER SERVICE METER BOX
- G: GAS PIPELINE
- L.P.: LIGHT POLE
- U.P.: UTILITY POLE
- G.Y.: GUY WIRE
- S.P.: TRAFFIC SIGNAL POLE
- 252: EXISTING CONTOUR
- 252: PROPOSED CONTOUR
- E.O.P.: EDGE OF PAVEMENT
- C.B.: INTEGRAL SLOPED BIT. BERM
- V.B.B.: VERTICAL BITUMINOUS BERM
- S.G.C.: SLOPED GRANITE CURB
- V.G.C.: VERTICAL GRANITE CURB
- V.C.C.: VERTICAL CONCRETE CURB
- E.C.S.: EDGE CONCRETE SLAB
- G.V.: GATE VALVE
- C.L.F.: CHAIN LINK FENCE
- W.S.F.: WOOD STOCKADE FENCE
- P.P.F.: PVC PICKET FENCE
- G.R.: GUARD RAIL
- C.C.: HANDICAP CURB CUT

N/F DART ASSOCIATES LIMITED
6 INDUSTRIAL PARK ROAD
(ASSESSORS PARCEL 33-004)



MERRIKIN
ENGINEERING, LLP

730 MAIN STREET, SUITE 2C
MILLIS, MA 02054
Phone: 508-376-8883

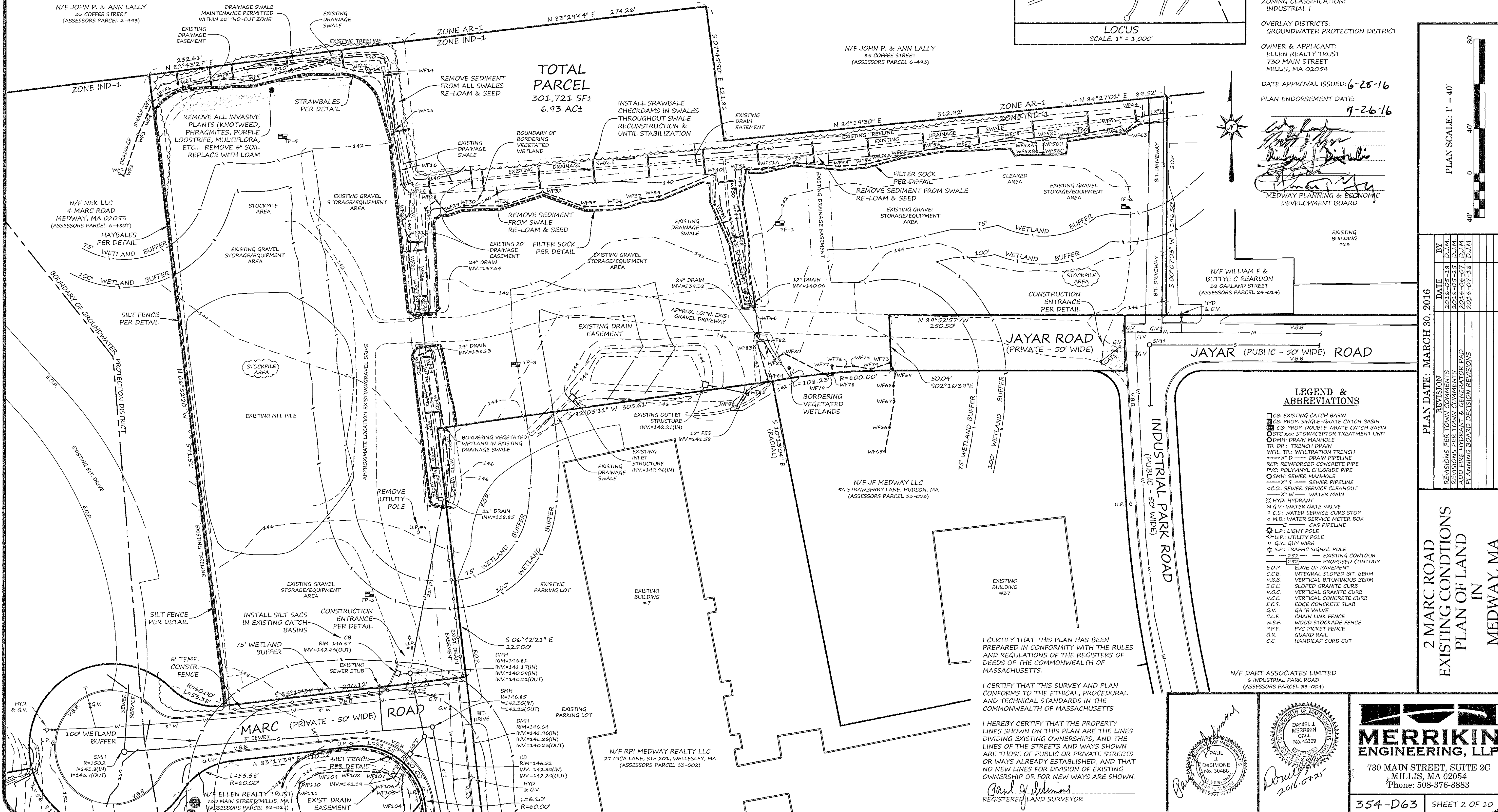
354-D63 SHEET 2 OF 10

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

I CERTIFY THAT THIS SURVEY AND PLAN CONFORMS TO THE ETHICAL, PROCEDURAL AND TECHNICAL STANDARDS IN THE COMMONWEALTH OF MASSACHUSETTS.

I HEREBY CERTIFY THAT THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE LINES DIVIDING EXISTING OWNERSHIPS, AND THE LINES OF THE STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED, AND THAT NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.

Handwritten signature of Paul J. Merrikin
REGISTERED LAND SURVEYOR



WETLAND RESTORATION AREA NOTES:

- RESERVE TOPSOIL EXCAVATED FROM SWALES TO USE AS TOPSOIL IN THE WETLAND RESTORATION AREA.
- EXCAVATE RESTORATION AREA TO 6 INCHES BELOW FINISHED GRADE.
- INSTALL SALVAGED LOAM.
- SEED BOTTOM OF RESTORATION AREA WITH WETLAND SEED MIX.
- PLANT A TOTAL OF 30 SHRUBS (12"-18" INSTALLATION HEIGHT) WITH A VARIETY OF THE FOLLOWING SPECIES:
 - SPECKLED ALDER
 - VIBURNUM
 - SWEET PEPPERBUSH
 - SOUTHERN ARROWWOOD

- INSTALL A 6" HIGH BERM BETWEEN THE RESTORATION AREA AND THE ADJACENT SWALES.
- EXISTING WOODY SHRUB SPECIMENS IN THE SWALE SYSTEMS MAY BE TRANSPLANTED INTO THE RESTORATION AREA IF APPROVED BY THE CONSERVATION AGENT.
- ALL PLANT SPECIES SHALL BE APPROVED BY THE CONSERVATION AGENT PRIOR TO INSTALLATION.
- RESTORATION AREA CONSTRUCTION SHALL BE INSPECTED BY A WETLAND SCIENTIST.

EXISTING SWALE MAINTENANCE NOTES:

- SWALE MAINTENANCE SHALL OCCUR DURING DRY PERIODS (JULY AND AUGUST) AND SHALL BE SCHEDULED TO AVOID SIGNIFICANT RAINFALL EVENTS.
- TEMPORARY STRAWBALE CHECKDAMS SHALL BE INSTALLED IN THE SWALE DURING SWALE DISTURBANCE.
- ALL EXISTING WOODY VEGETATION SHALL BE REMOVED FROM THE EXISTING SWALES, INCLUDING THE SIDESLOPES AND AREA ALONG THE DISTURBED SIDE OF THE SWALES.
- ALL EXISTING SEDIMENT SHALL BE REMOVED FROM THE BOTTOM OF THE EXISTING SWALES TO THE ORIGINAL LOAM LAYER AND TO THE INVERT OF ANY EXISTING PIPES.
- IN AREAS WHERE SIGNIFICANT INVASIVE PLANT SPECIES EXIST, REMOVE 6" OF SOIL AND REMOVE IT FROM THE SITE. REPLACE WITH 6" OF NEW LOAM.
- ALL DISTURBED SWALE BOTTOMS AND SIDES SHALL BE RE-SHAPED AND RE-LOAMED AS NEEDED.
- SWALE BOTTOMS AND ONE FOOT UP SIDESLOPES SHALL BE SEEDED WITH A WETLAND SEED MIX.
- SWALE SIDESLOPES ABOVE ONE FOOT AND ADJACENT SIDESLOPE AREAS SHALL BE SEEDED WITH A NATIVE WILDFLOWER SEED MIX.
- PERMANENT 4" HIGH CHECK DAMS SHALL BE INSTALLED AT 50' INTERVALS. CHECKDAMS SHALL BE COMPRISED OF A ROW OF 2-4" RIP-RAP, ONE FOOT WIDE.
- SWALES SHALL BE MAINTAINED IN ACCORDANCE WITH THE OPERATIONS AND MAINTENANCE PLAN AND SHALL BE REGULARLY MOWED AS SPECIFIED THEREIN.

UTILITY NOTES:

- DOMESTIC WATER SERVICE SHALL BE TYPE K COPPER IN ACCORDANCE WITH THE REQUIREMENTS OF THE MEDWAY SEWER AND WATER DEPARTMENT. THE PROJECT ARCHITECT SHALL VERIFY THE DOMESTIC, IRRIGATION AND FIRE WATER SERVICE PIPE SIZE REQUIREMENTS FOR THE BUILDING.
- DRAINAGE PIPING SHALL BE HDPE RATED FOR H2O LOADING. (ADS N12 OR EQUAL).
- SEWER SERVICE SHALL BE SDR35 PIPE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MEDWAY SEWER AND WATER DEPARTMENT. CLEANOUTS SHALL BE POSITIONED IN LANDSCAPE AREAS.
- THE ELECTRIC COMPANY SHALL DETERMINE THE FINAL LOCATION AND DESIGN OF THE ELECTRIC SERVICE AND TRANSFORMER (IF NEEDED). CONDUITS TO PROPOSED LIGHT POLES SHALL BE DESIGNED BY THE ARCHITECT.
- THE GAS COMPANY SHALL DETERMINE THE FINAL LOCATION AND DESIGN OF THE GAS SERVICE.
- PLUMBERS AND DRAIN LAYERS OF ESTABLISHED REPUTATION AND EXPERIENCE WILL BE LICENSED BY THE BOARD AS DRAIN LAYERS AUTHORIZED TO PERFORM THE WORK.

SITE ADDRESS:
2 MARC ROAD

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PARCELS 24-015, 24-016, & 33-001

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[Signature]
MEDWAY PLANNING & ECONOMIC
DEVELOPMENT BOARD

For Registry Use

PLAN SCALE: 1" = 40'

PLAN DATE: MARCH 30, 2016

2 MARC ROAD STORAGE

REVISION	DATE	BY
REVISIONS PER TOWN COMMENTS	2016-05-18	D.J.M.
REVISIONS PER TOWN COMMENTS	2016-05-25	D.J.M.
ADD FIRE HYDRANT & GENERATOR PAD	2016-06-07	D.J.M.
PLANNING BOARD DECISION REVISIONS	2016-07-28	D.J.M.

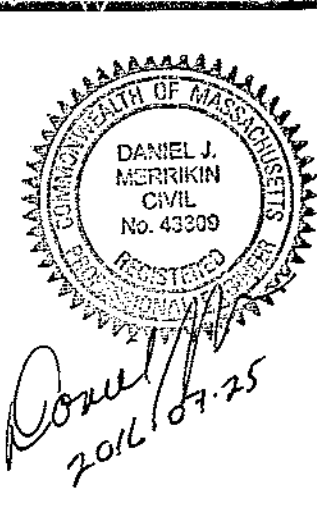
GRADING
PLAN OF LAND
IN
MEDWAY, MA

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

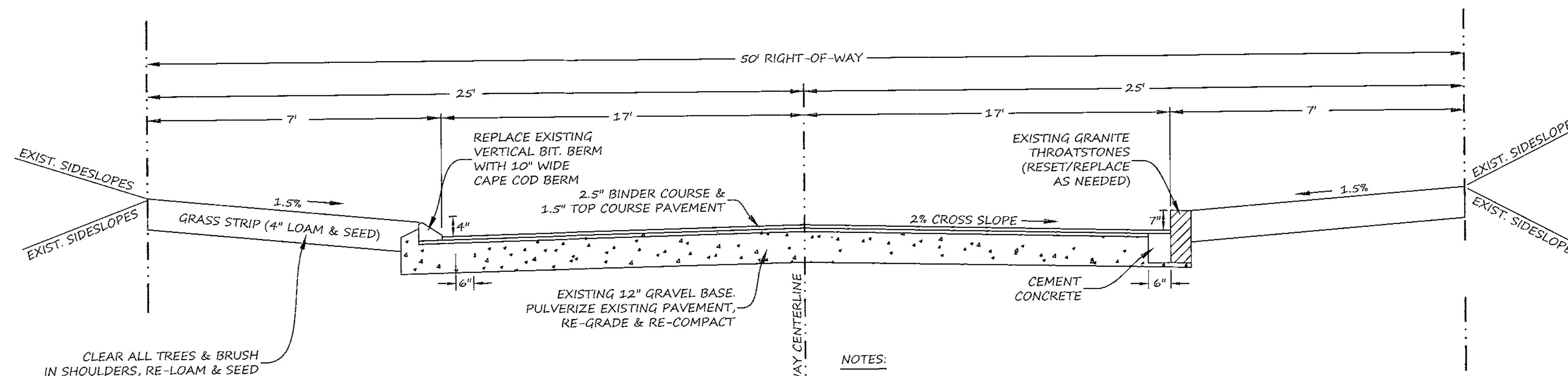
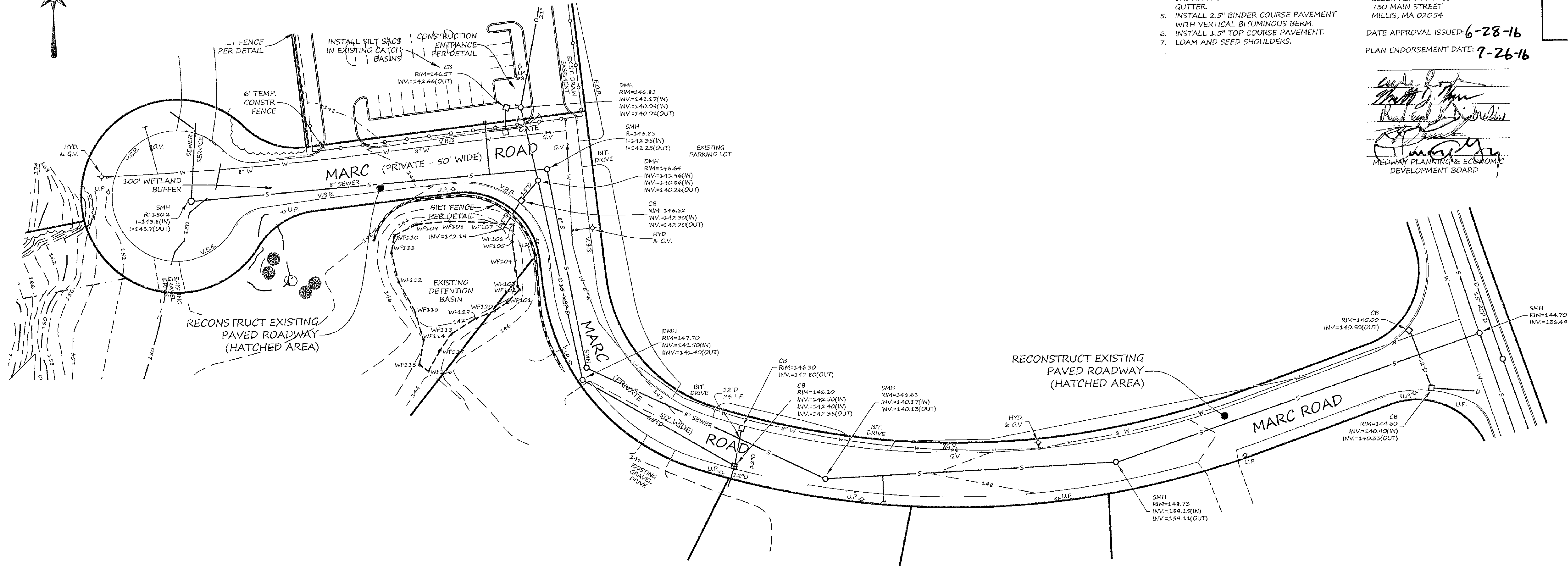
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[Signature]
REGISTERED LAND SURVEYOR



MERRIKIN ENGINEERING, LLP
730 MAIN STREET, SUITE 2C
MILLIS, MA 02054
Phone: 508-376-8883



NOTES:

1. INSTALL EROSION CONTROLS PER EXISTING CONDITIONS PLAN. INSTALL SILT SACS IN ALL EXISTING CATCH BASINS ALONG RECONSTRUCTED ROADWAY PORTION.
2. PULVERIZE EXISTING BINDER COURSE PAVEMENT AND BIT. BERM. RE-GRADE AND RE-COMPACT TO 95% PROCTOR DENSITY.
3. RE-SET ALL CASTINGS AND GRANITE THROAT STONES AS NEEDED TO NEW ROADWAY GRADES.

TYPICAL ROADWAY RECONSTRUCTION CROSS SECTION

(NO SCALE)

ROAD RECONSTRUCTION NOTES:

1. EXISTING BITUMINOUS BERM LOCATIONS TO BE OFFSET STAKED PRIOR TO RECONSTRUCTION.
2. ALL EXISTING CATCH BASINS TO BE PROTECTED WITH SILT SACS PRIOR TO RECONSTRUCTION.
3. EXISTING PAVED ROADWAY (MARC ROAD AND JAYAR ROAD) TO BE PULVERIZED, INCLUDING THE BITUMINOUS BERM.
4. GRAVEL TO BE REGRADED WITH A 2% CROWN FROM THE CENTERLINE TO EACH GUTTER.
5. INSTALL 2.5" BINDER COURSE PAVEMENT WITH VERTICAL BITUMINOUS BERM.
6. INSTALL 1.5" TOP COURSE PAVEMENT.
7. LOAM AND SEED SHOULDERS.

SITE ADDRESS:
2 MARC ROAD

MAP AND PARCEL:
MAPS 24 & 33
PARCELS 24-015, 24-016, & 33-001

ZONING CLASSIFICATION:
INDUSTRIAL I

OVERLAY DISTRICTS:
GROUNDWATER PROTECTION DISTRICT

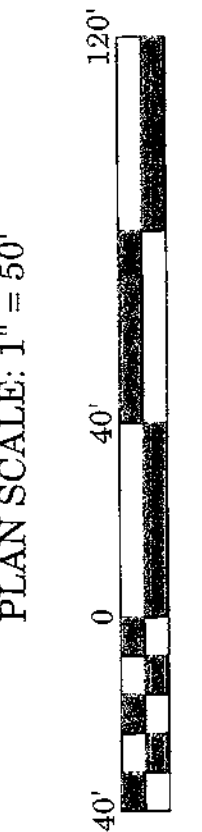
OWNER & APPLICANT:
ELLEN REALTY TRUST
730 MAIN STREET
MILLIS, MA 02054

DATE APPROVAL ISSUED: 6-28-16

PLAN ENDORSEMENT DATE: 7-26-16

[Signature]
MEDWAY PLANNING & ECONOMIC
DEVELOPMENT BOARD

For Registry Use



REVISION	DATE	BY
REVISIONS PER TOWN COMMENTS	2016-05-18	D.J.M.
REVISIONS PER TOWN COMMENTS	2016-05-25	D.J.M.
ADD FIRE HYDRANT & GENERATOR PAD	2016-06-07	D.J.M.
PLANNING BOARD DECISION REVISIONS	2016-07-18	D.J.M.

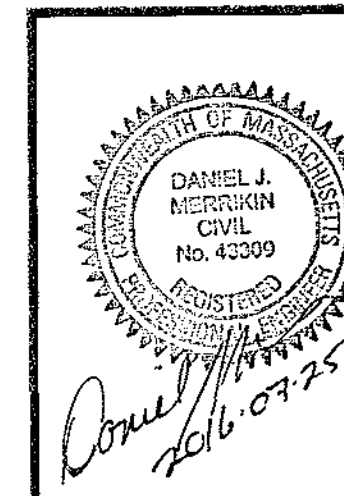
2 MARC ROAD
ROADWAY REPAVING
PLAN OF LAND
IN
MEDWAY, MA

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

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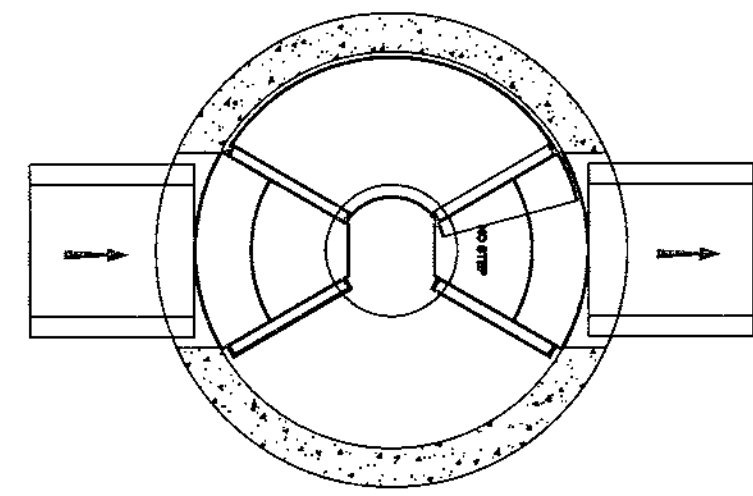
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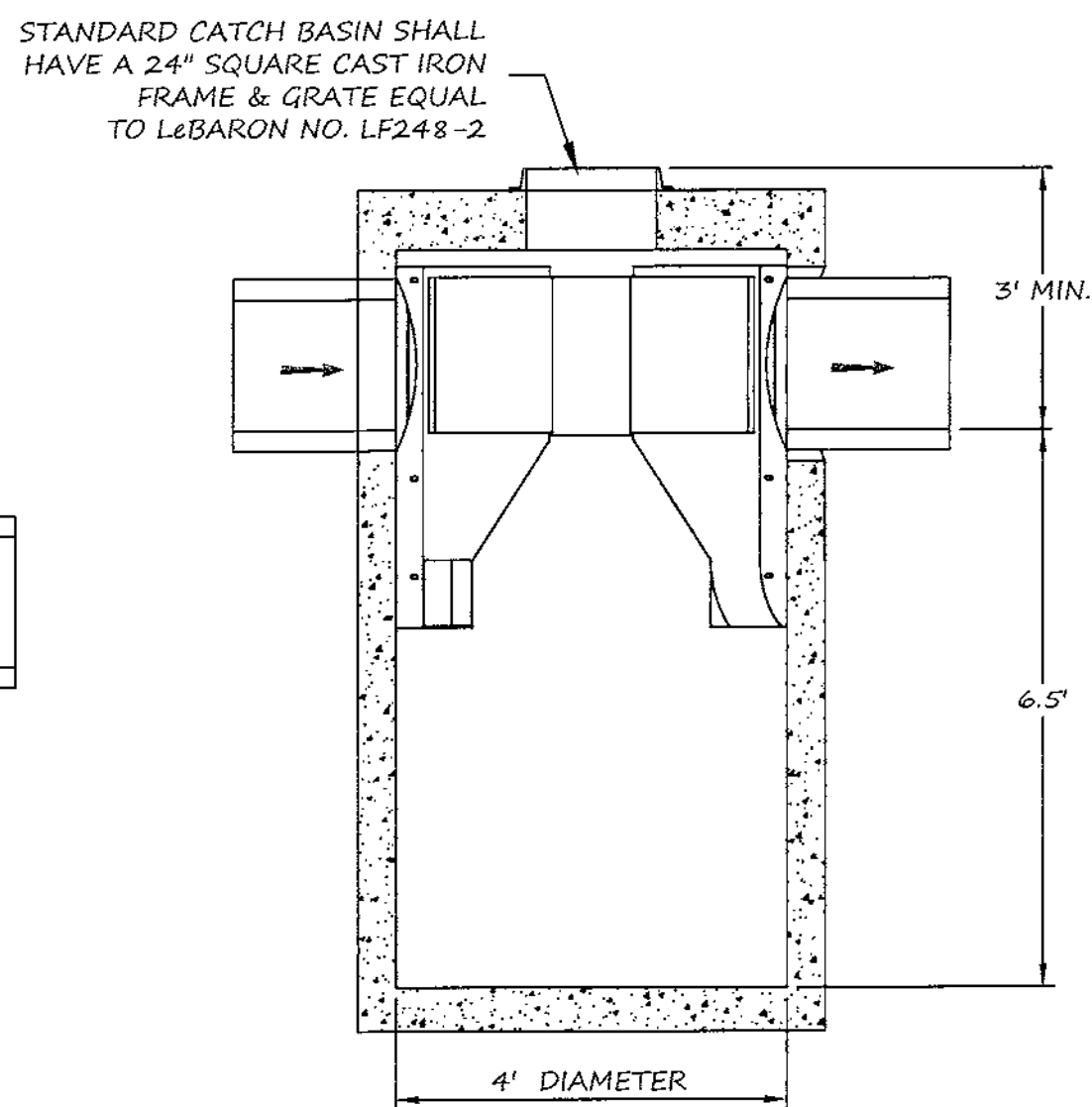


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ENGINEERING, LLP

730 MAIN STREET, SUITE 2C
MILLIS, MA 02054
Phone: 508-376-8883



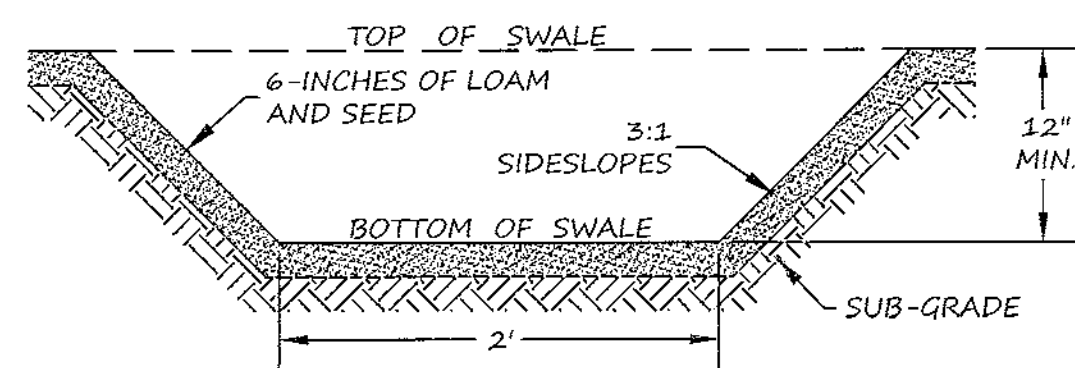
PLAN VIEW



PROFILE VIEW

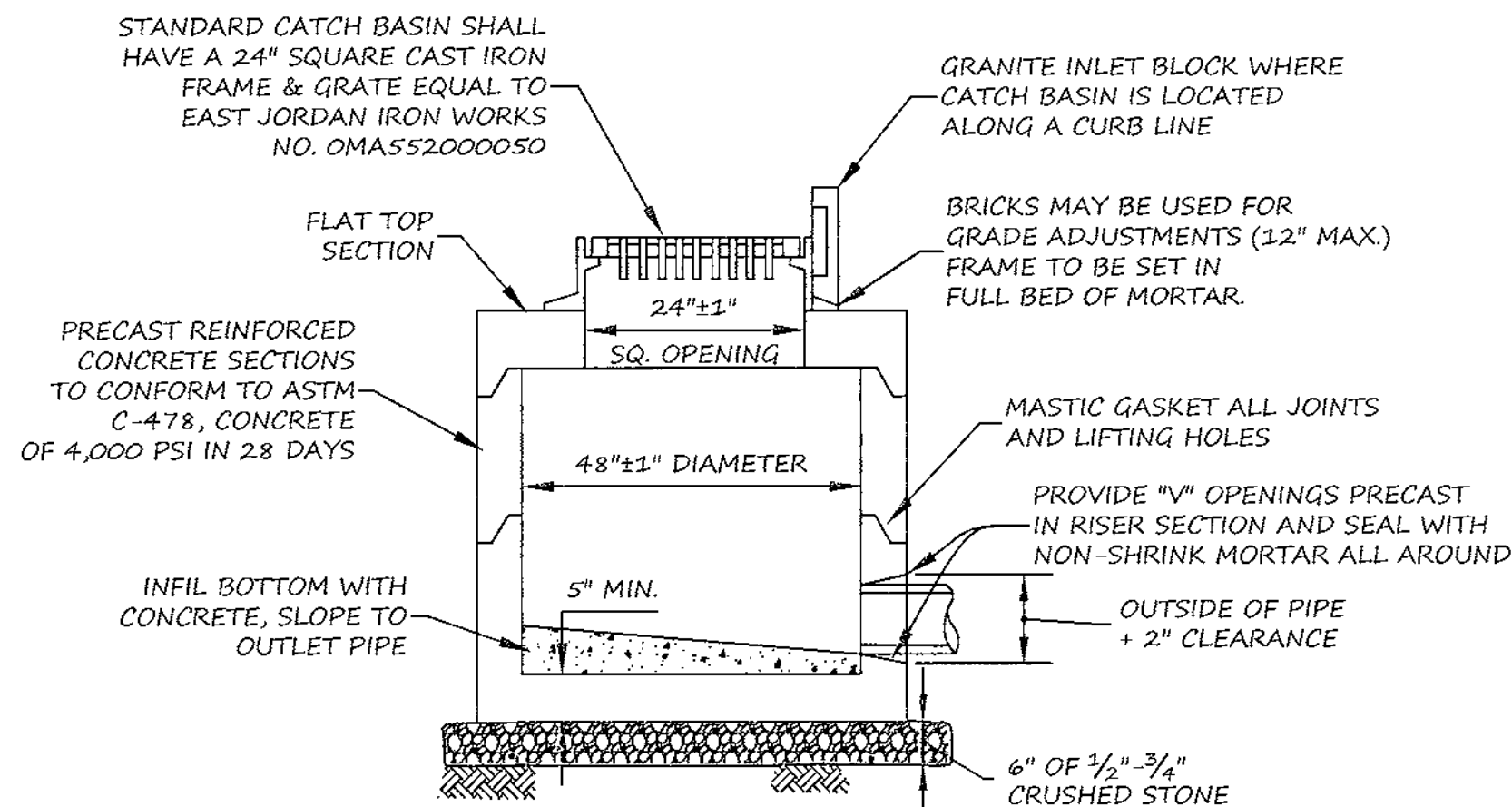
FIRST DEFENSE (4' OR 6' DIA. MODEL)

NOT TO SCALE



DRAINAGE SWALE DETAIL

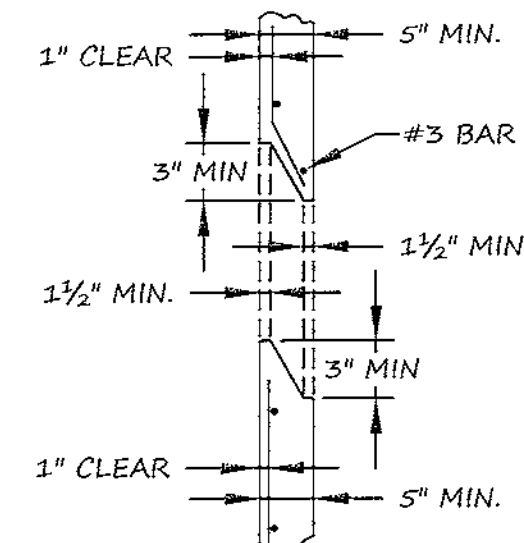
NOT TO SCALE



- NOTES:
1. NO BELL ENDS IN STRUCTURE. CONNECTIONS TO BE TIGHTLY SEALED WITH MORTAR.
 2. SUBSTITUTE FRAME AND GRATE SHALL BE MADE IN USA AND SHALL BE APPROVED BY THE ENGINEERING DEPARTMENT OR PLANNING BOARD PRIOR TO CONSTRUCTION.

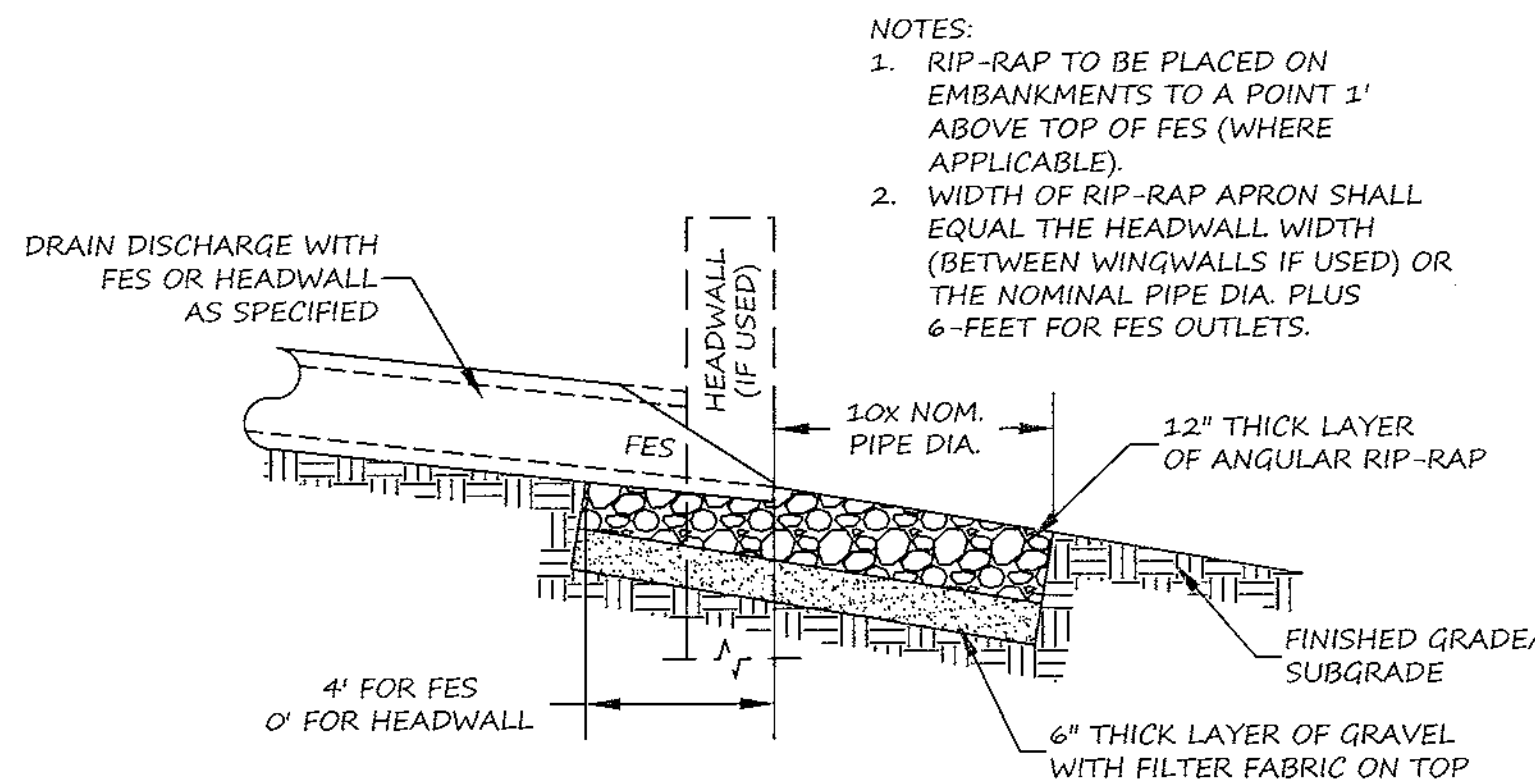
PRECAST CONCRETE CURB INLET

NOT TO SCALE



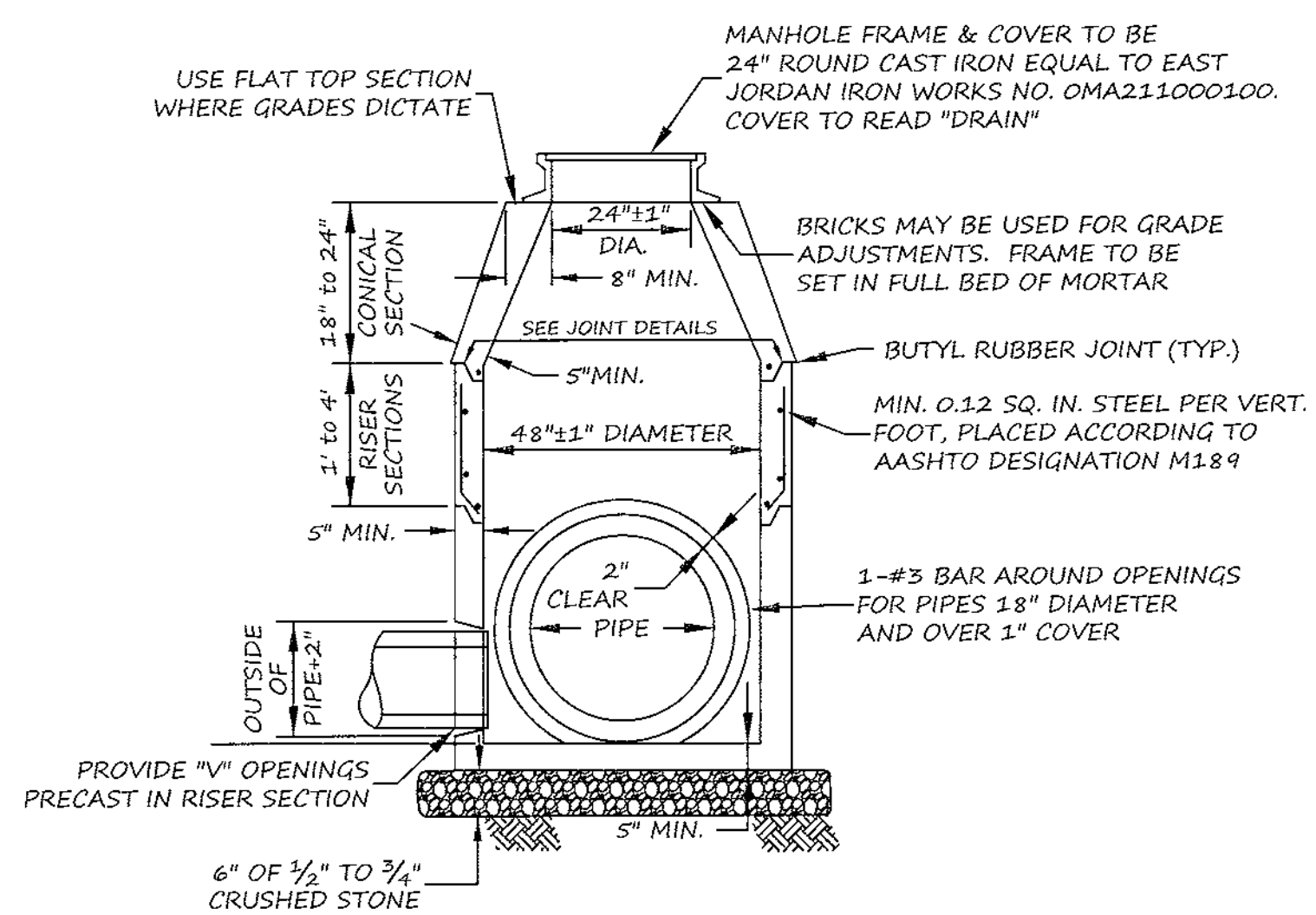
PRECAST STRUCTURE JOINT DETAILS

NOT TO SCALE



TYPICAL RIP-RAP APRON DETAIL

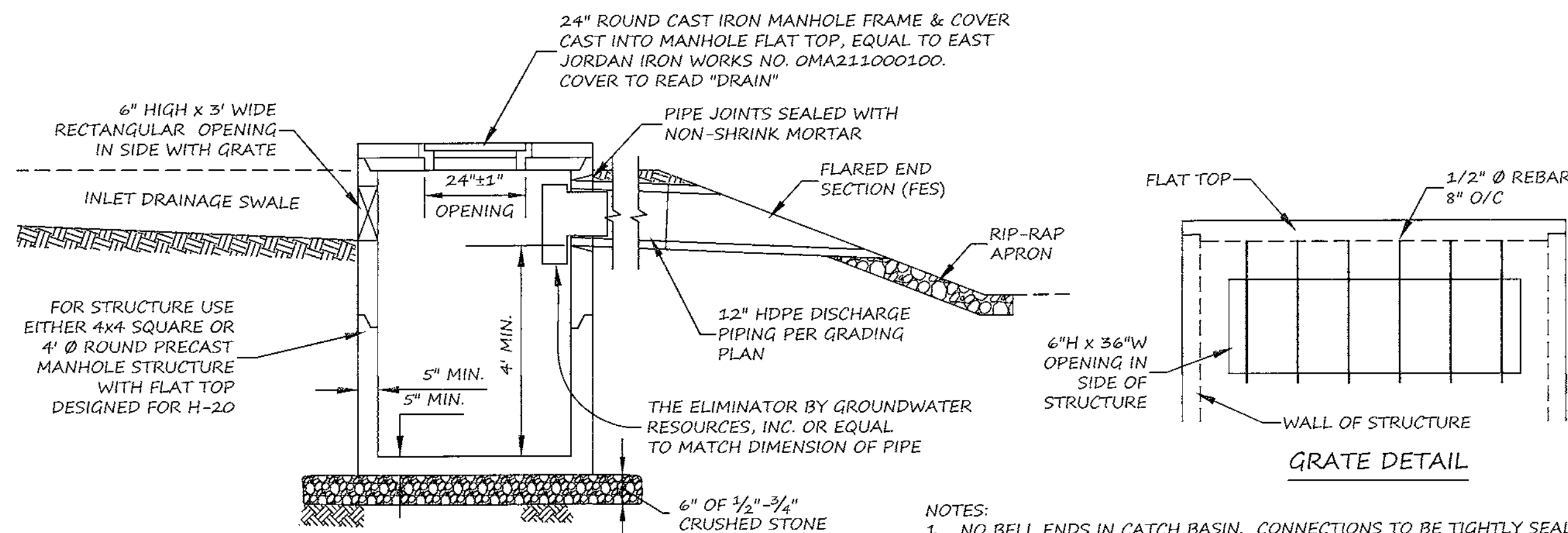
NOT TO SCALE



- NOTES:
1. MANHOLE DIAMETER SHALL BE INCREASED IF NUMBER, SIZE, AND CONFIGURATION OF INLET/OUTLET PIPING NECESSITATES A LARGER MANHOLE DIAMETER.
 2. SUBSTITUTE FRAME AND COVERS SHALL BE MADE IN USA AND SHALL BE APPROVED BY THE ENGINEERING DEPARTMENT OR PLANNING BOARD PRIOR TO CONSTRUCTION.

PRECAST CONCRETE MANHOLE

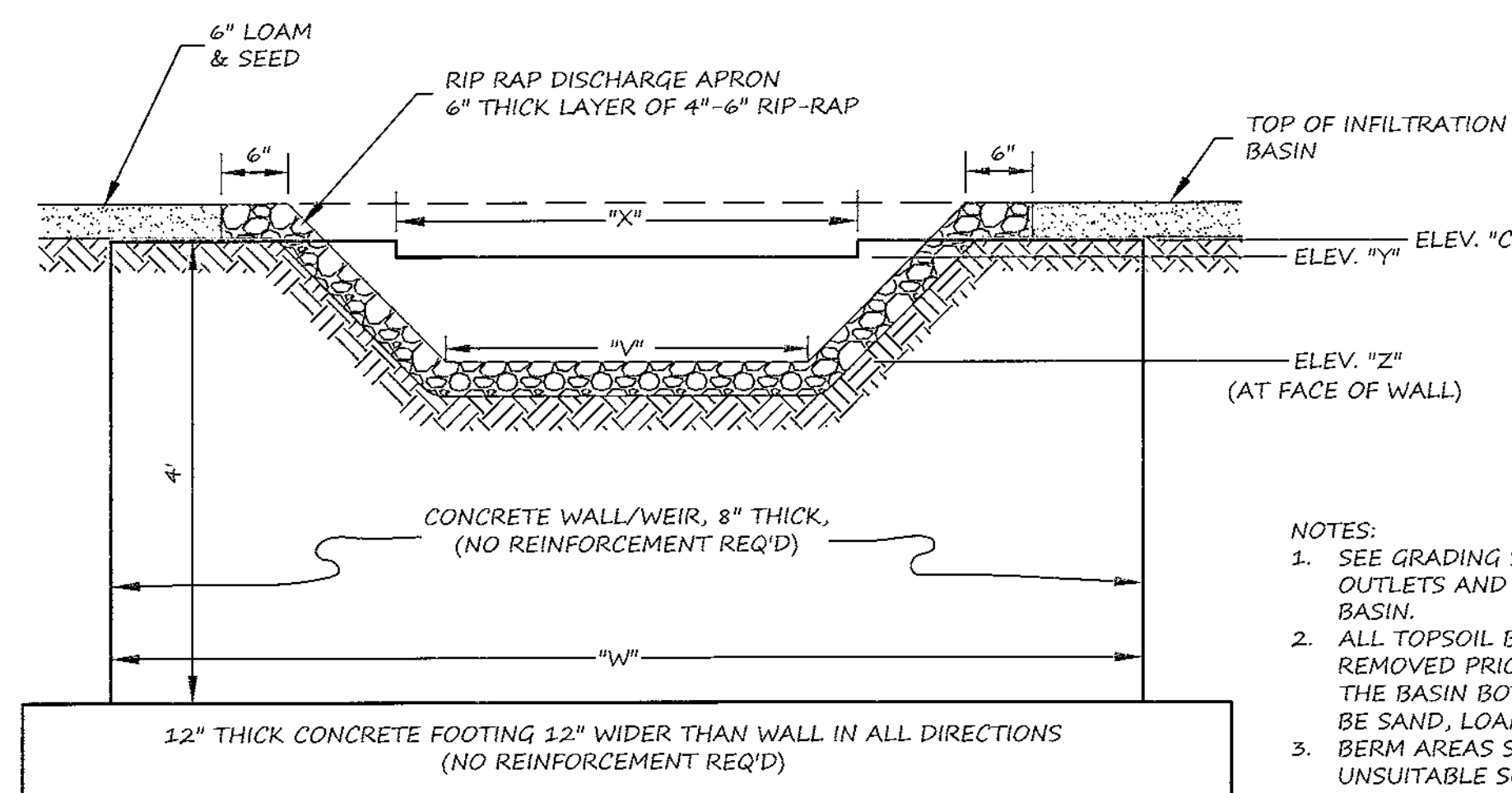
NOT TO SCALE



SECTION VIEW

PRECAST CONCRETE IN-SWALE CATCH BASIN

NOT TO SCALE



OUTLET WEIR AND RIP-RAP SWALE DETAIL

- NOTES:
1. SEE GRADING SHEETS AND PROFILE SHEETS FOR SIZE OF INLETS AND OUTLETS AND OTHER DIMENSIONAL REQUIREMENTS FOR EACH BASIN.
 2. ALL TOPSOIL BELOW THE BOTTOM OF THE BASIN SHALL BE REMOVED PRIOR TO BASIN CONSTRUCTION. FILL MATERIALS UNDER THE BASIN BOTTOM SHALL BE CLEAN GRAVEL. FILL FOR BERMS MAY BE SAND, LOAMY SAND OR SANDY LOAM. (TITLE V CLASSIFICATIONS).
 3. BERM AREAS SHALL BE REMOVED OF ALL TOPSOIL AND OTHER UNSUITABLE SOILS. BERM CORE SHALL CONSIST OF ORDINARY BORROW INSTALLED IN 12-INCH LIFTS TO A MINIMUM 93% PROCTOR DENSITY.

TYPICAL INFILTRATION BASIN CROSS-SECTION

NOT TO SCALE

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REGISTERED LAND SURVEYOR

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2 MARC ROAD

MAP AND PARCEL:
MAPS 24 & 33
PARCELS 24-015, 24-016, & 33-001

ZONING CLASSIFICATION:
INDUSTRIAL I

OVERLAY DISTRICTS:
GROUNDWATER PROTECTION DISTRICT

OWNER & APPLICANT:
ELLEN REALTY TRUST
730 MAIN STREET
MILLIS, MA 02054

DATE APPROVAL ISSUED: 6-28-16

PLAN ENDORSEMENT DATE: 7-26-16

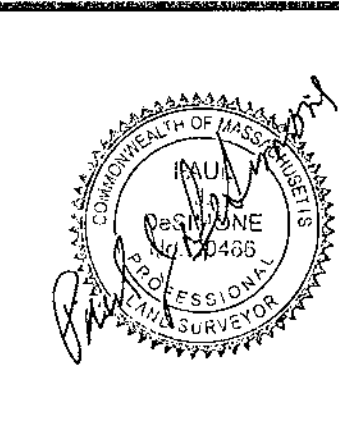
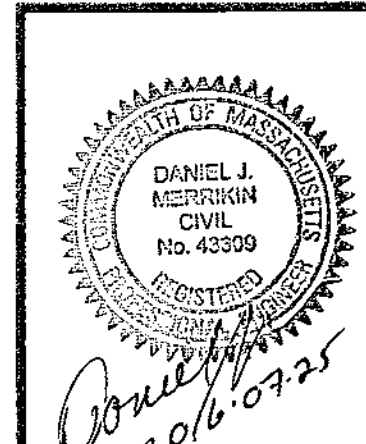
For Registry Use

PLAN SCALE: N.T.S.

PLAN DATE: MARCH 30, 2016

REVISION	DATE	BY
2016-05-18	DJM	
2016-05-25	DJM	
2016-06-07	DJM	
2016-07-28	DJM	

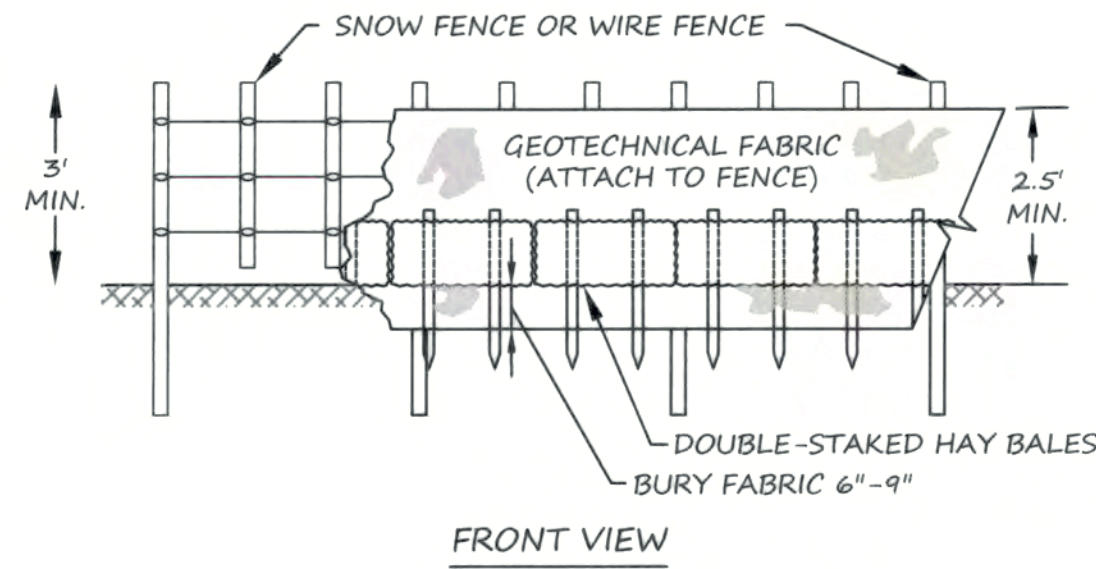
2 MARC ROAD
DETAILS
PLAN OF LAND
IN
MEDWAY, MA



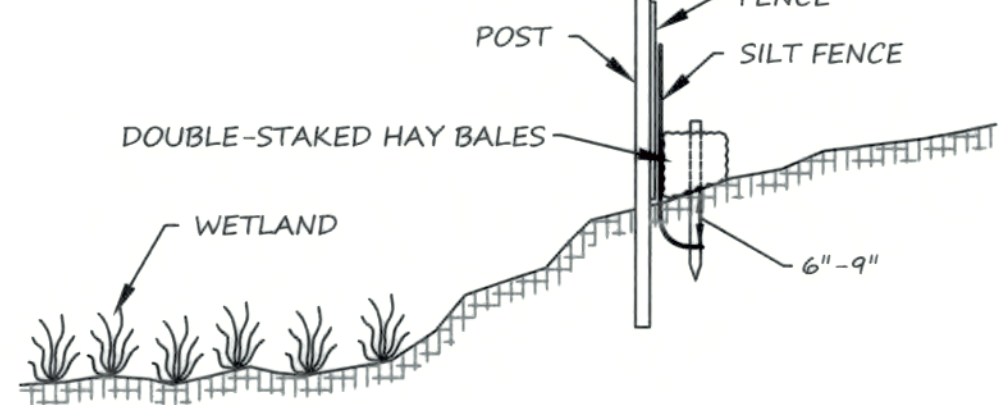
MERRIKIN
ENGINEERING, LLP

2 MILLISTON ROAD, SUITE 1C
MILLIS, MA 02054
ph. 508-376-8883 fax 508-376-8823

354-D63 SHEET 6 OF 10

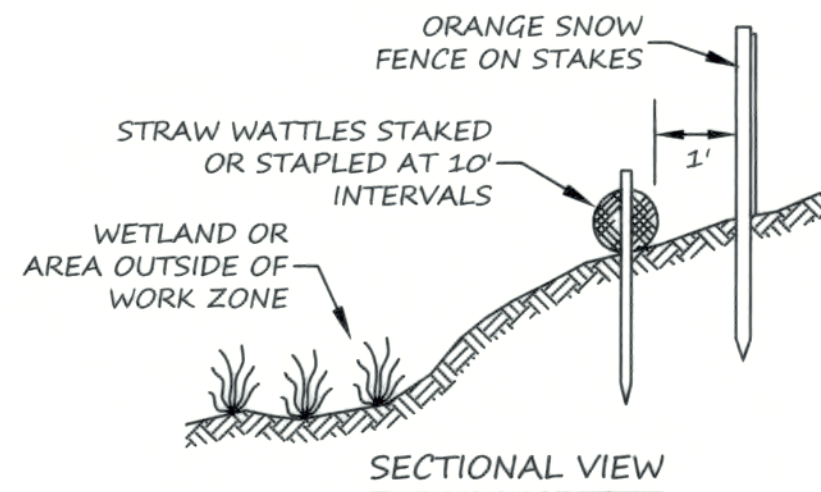


FRONT VIEW



SIDE VIEW

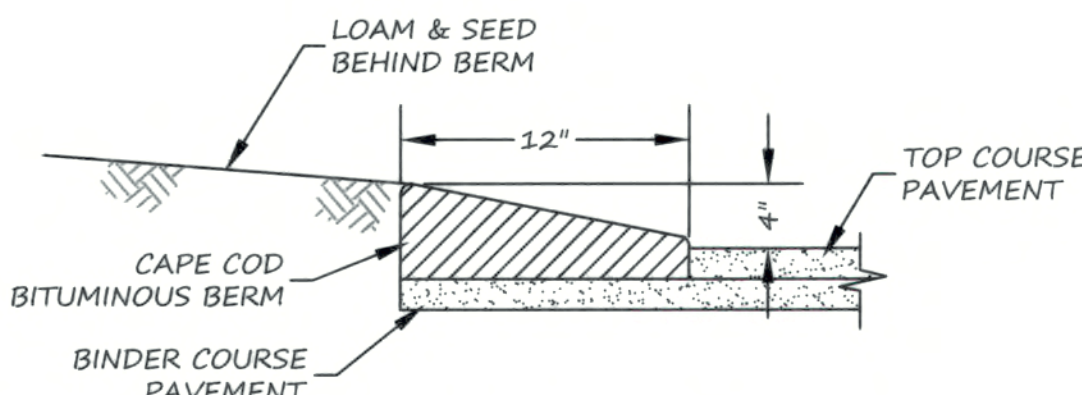
SILT FENCE & STRAWBALES DETAIL
NOT TO SCALE



NOTE: NON-BIODEGRADABLE SOCK SHELL FILLED WITH FILTER MEDIA (BIODEGRADABLE OR OTHERWISE). JOINTS SHALL BE OVERLAPPED BY AT LEAST TWO FEET. ORANGE SNOW FENCE IS ONLY NEEDED IF THERE IS EVIDENCE OF THE FILTER SOCK BEING BURIED BY CONSTRUCTION ACTIVITIES.

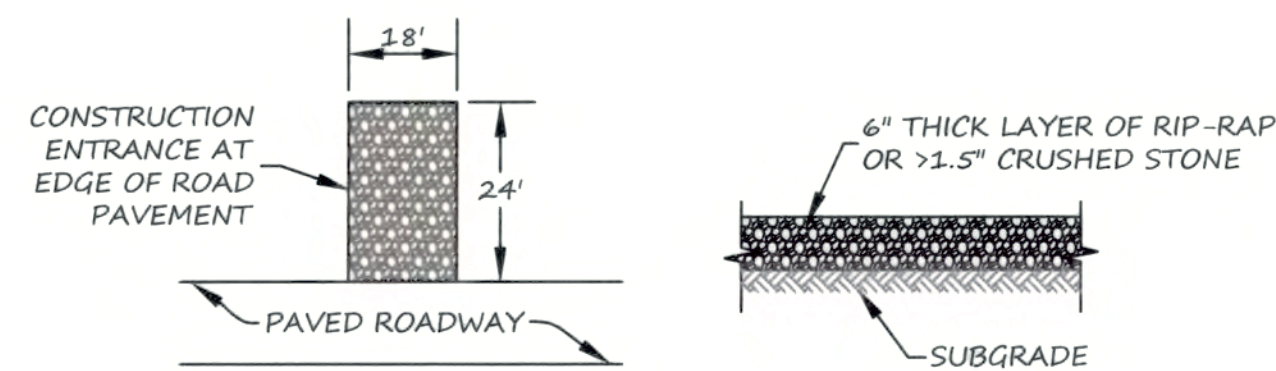
EROSION CONTROL
DETAIL (FILTER SOCK)

NOT TO SCALE



CAPE COD BERM DETAIL

(NO SCALE)



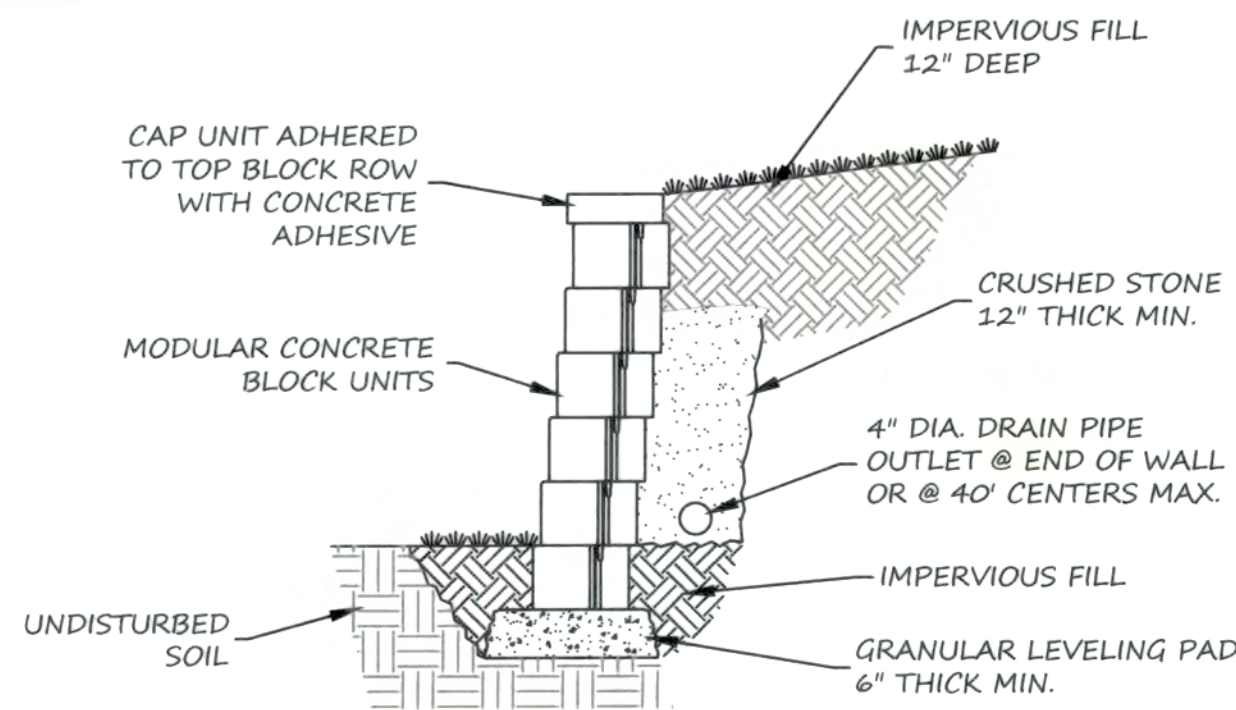
PLAN VIEW

SECTIONAL VIEW

- NOTES:
- ENTRANCE SHALL BE INSTALLED BEFORE ANY EXCAVATION WORK OCCURS ON-SITE.
 - ENTRANCE SHALL BE MAINTAINED IN GOOD CONTITION UNTIL A PAVED DRIVEWAY IS INSTALLED. REPLACE ENTRANCE IF FILLED WITH SOILS OR IF SOILS ARE BEING TRACKED ONTO ADJACENT ROADWAYS.

CONSTRUCTION ENTRANCE DETAIL

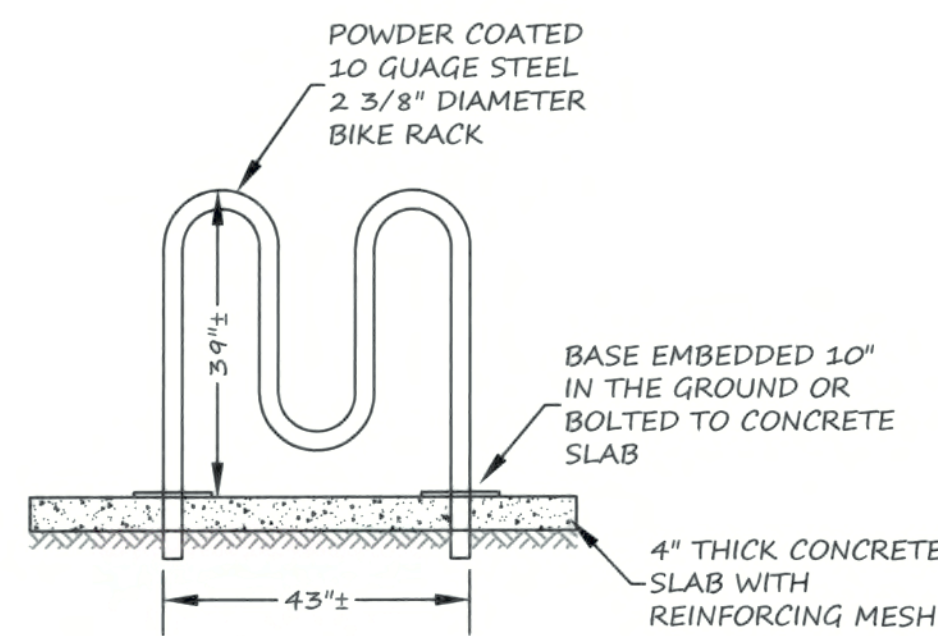
NOT TO SCALE



- NOTES:
- SMALL BLOCK UNITS SHALL BE THE SQUARE FOOT PRODUCT BY VERSA-LOK OR APPROVED EQUAL. WALL HEIGHT WITHOUT REINFORCEMENT SHALL BE LIMITED TO 3.5' EXPOSED FACE.
 - INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS.

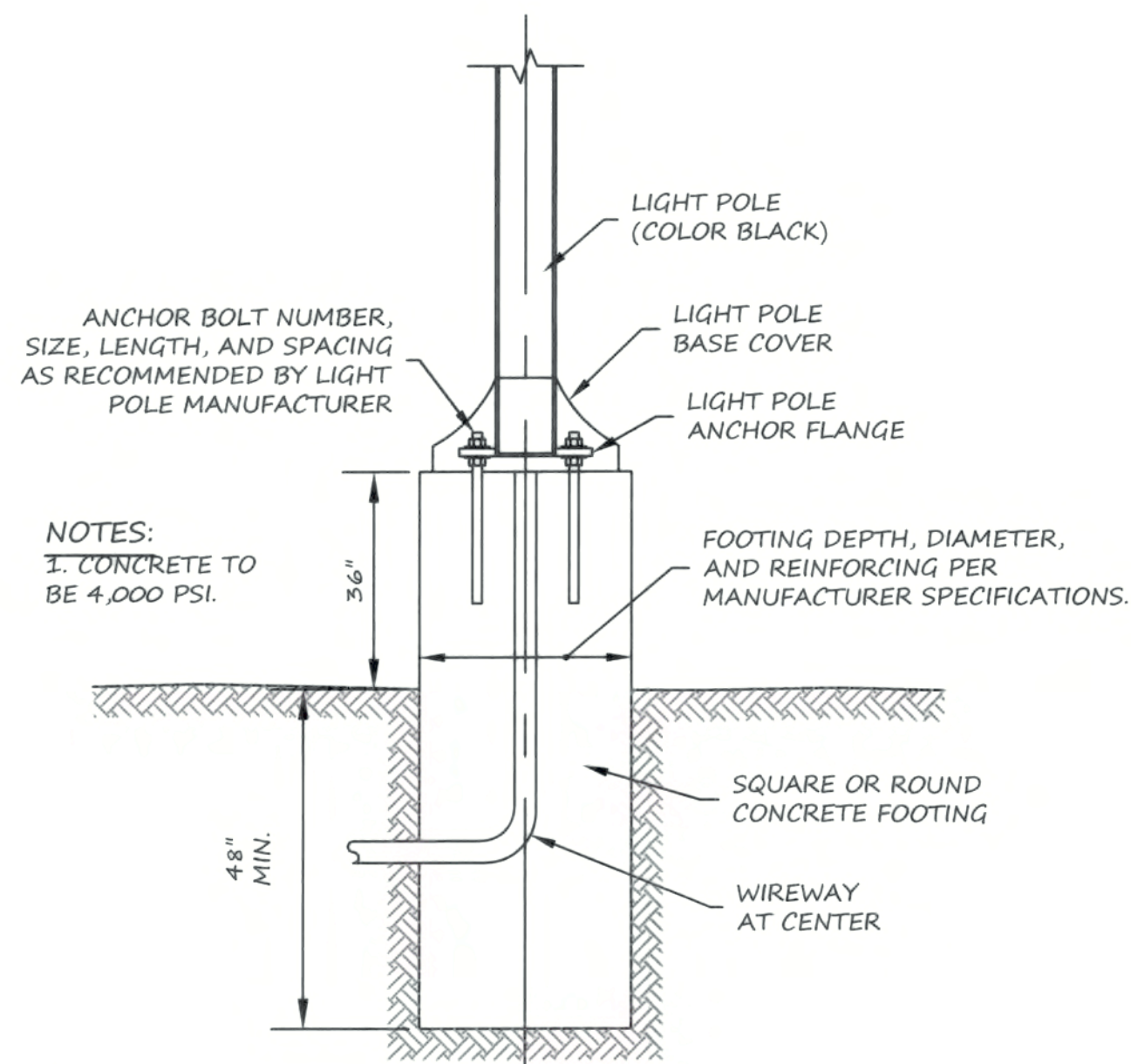
TYPICAL "SMALL BLOCK" RETAINING WALL

NOT TO SCALE



BIKE RACK DETAIL

(NO SCALE)



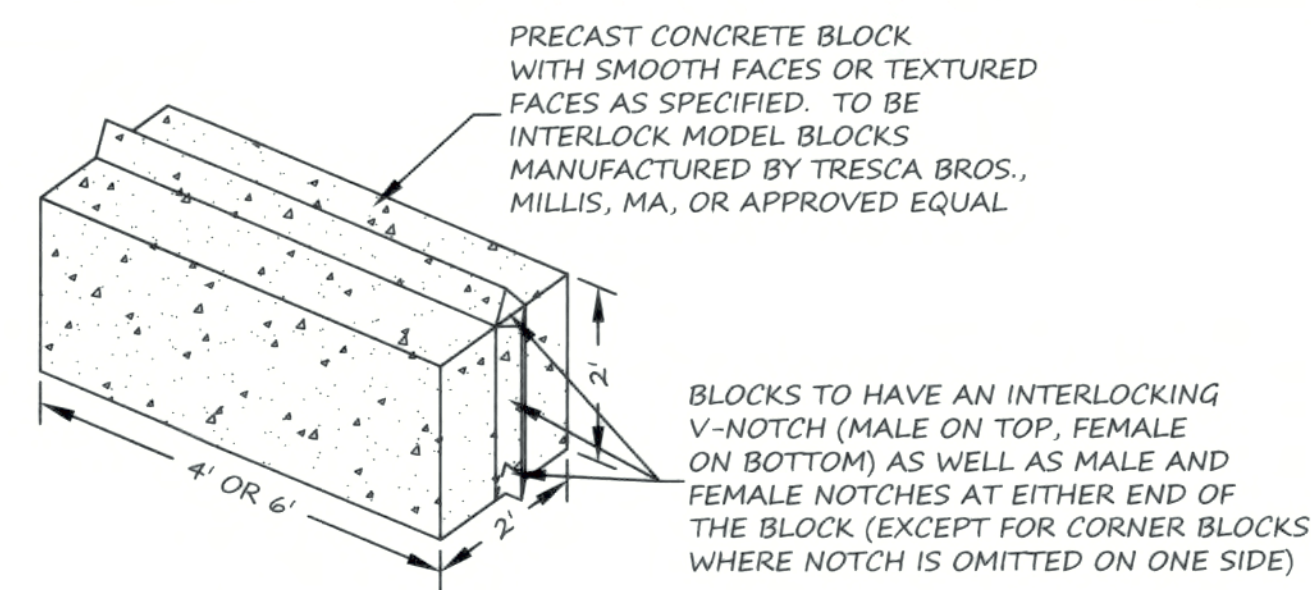
CONCRETE LIGHT POLE BASE DETAIL

(NO SCALE)

Luminaire Schedule				
Symbol	Qty	Label	Arrangement	Description
☐	2	LPA	SINGLE	LSI PWM-S-LED-HO-NW-UE, MOUNTED 10' A.G.
⊕	1	LPB	DOUBLE - 90°	VISIONAIRE EL2-3-T4-96LC-530-4000K (LED)
—	2,3	WPA	SINGLE WALL SCONCE	VISIONAIRE EL2-3-T4-96LC-530-4000K (LED)

LIGHTING FIXTURE SCHEDULE

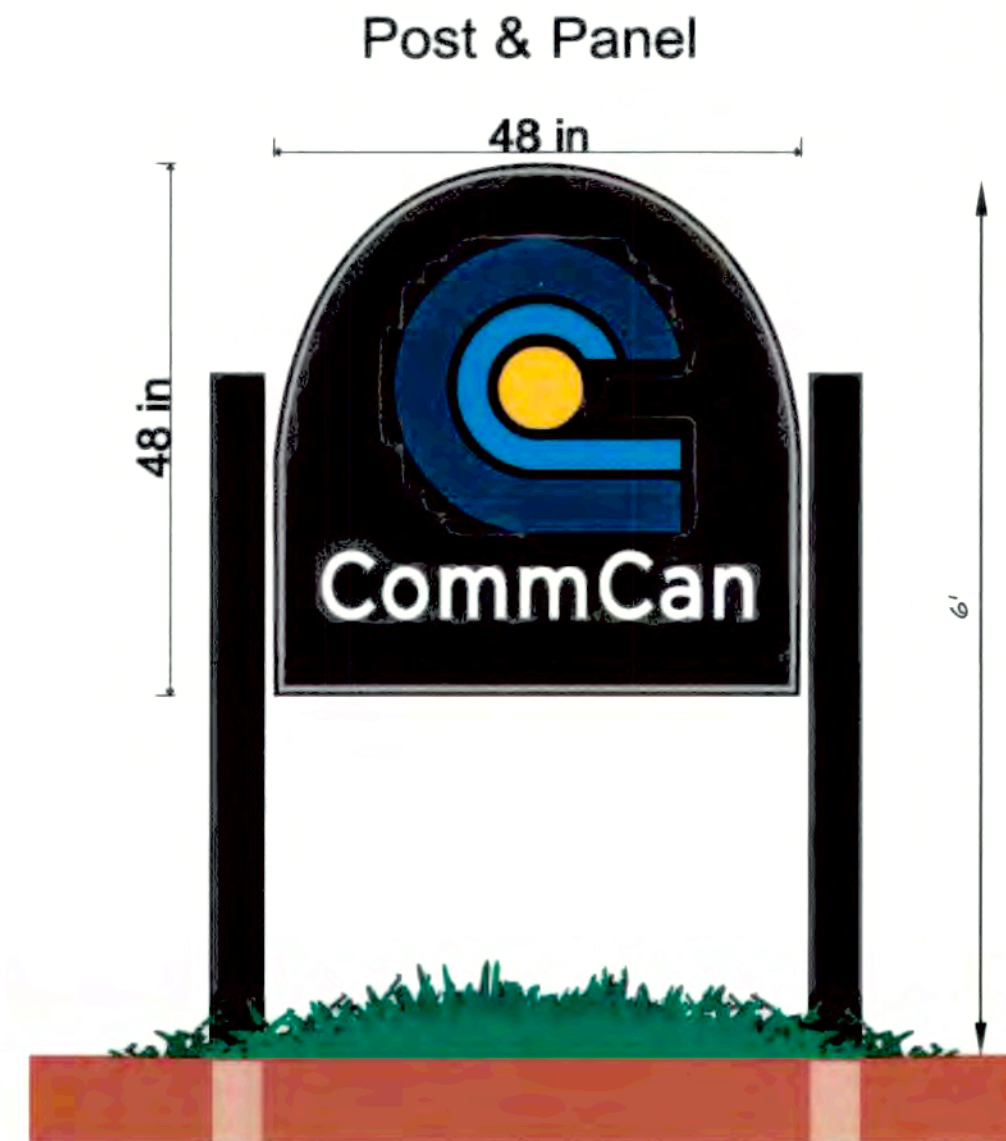
NOT TO SCALE



NOTE: PRECAST "CORNER" BLOCKS OF SIMILAR DIMENSIONS SHALL BE INTERLACED AT ALL CORNERS. PRECAST "T" BLOCKS OF SIMILAR DIMENSIONS SHALL BE INTERLACED AT ALL INTERSECTIONS.

CONCRETE BLOCK DETAIL

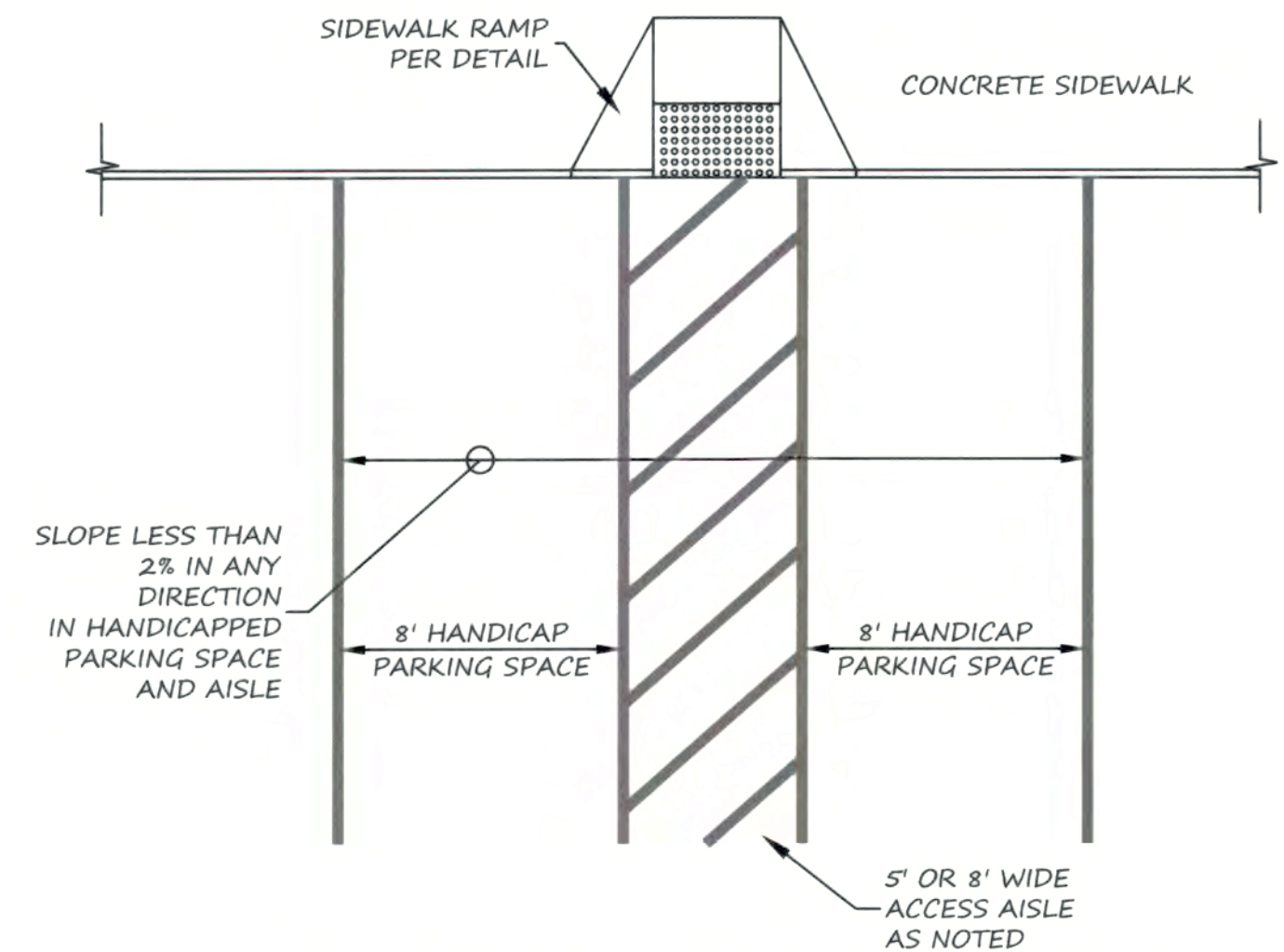
NOT TO SCALE



NOTE: SIGN TO BE ILLUMINATED WITH SPOTLIGHTS MOUNTED ON THE GROUND OR ON THE TOP OF THE SIGN.

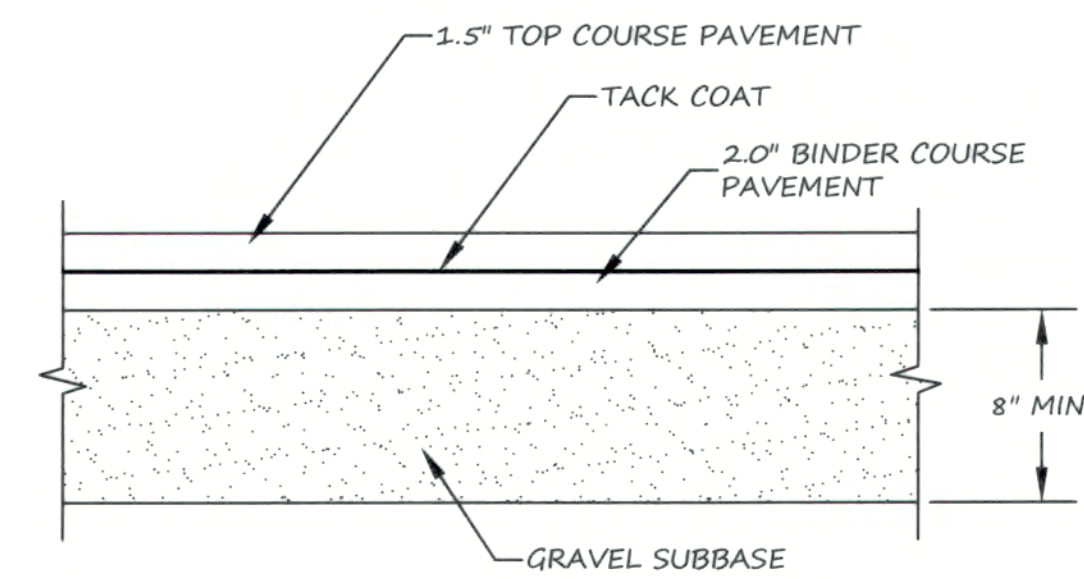
FREESTANDING SIGN DETAIL

NOT TO SCALE



TYPICAL HANDICAP PARKING DETAIL

(NO SCALE)



TYPICAL PARKING LOT PAVING SECTION

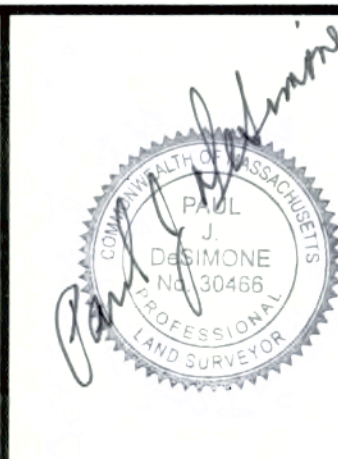
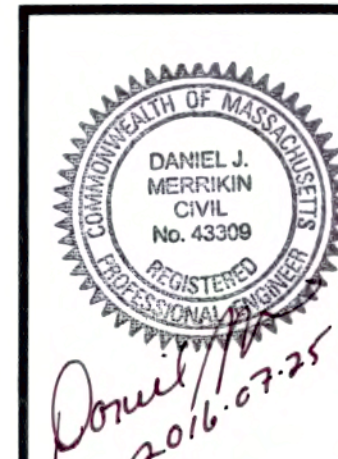
NOT TO SCALE

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REGISTERED LAND SURVEYOR



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2 MILLISTON ROAD, SUITE 1C
MILLIS, MA 02054
ph. 508-376-8883 fax 508-376-8823

354-D63 SHEET 7 OF 10

PLAN SCALE: N.T.S.

PLAN DATE: MARCH 30, 2016

REVISION

DATE

BY

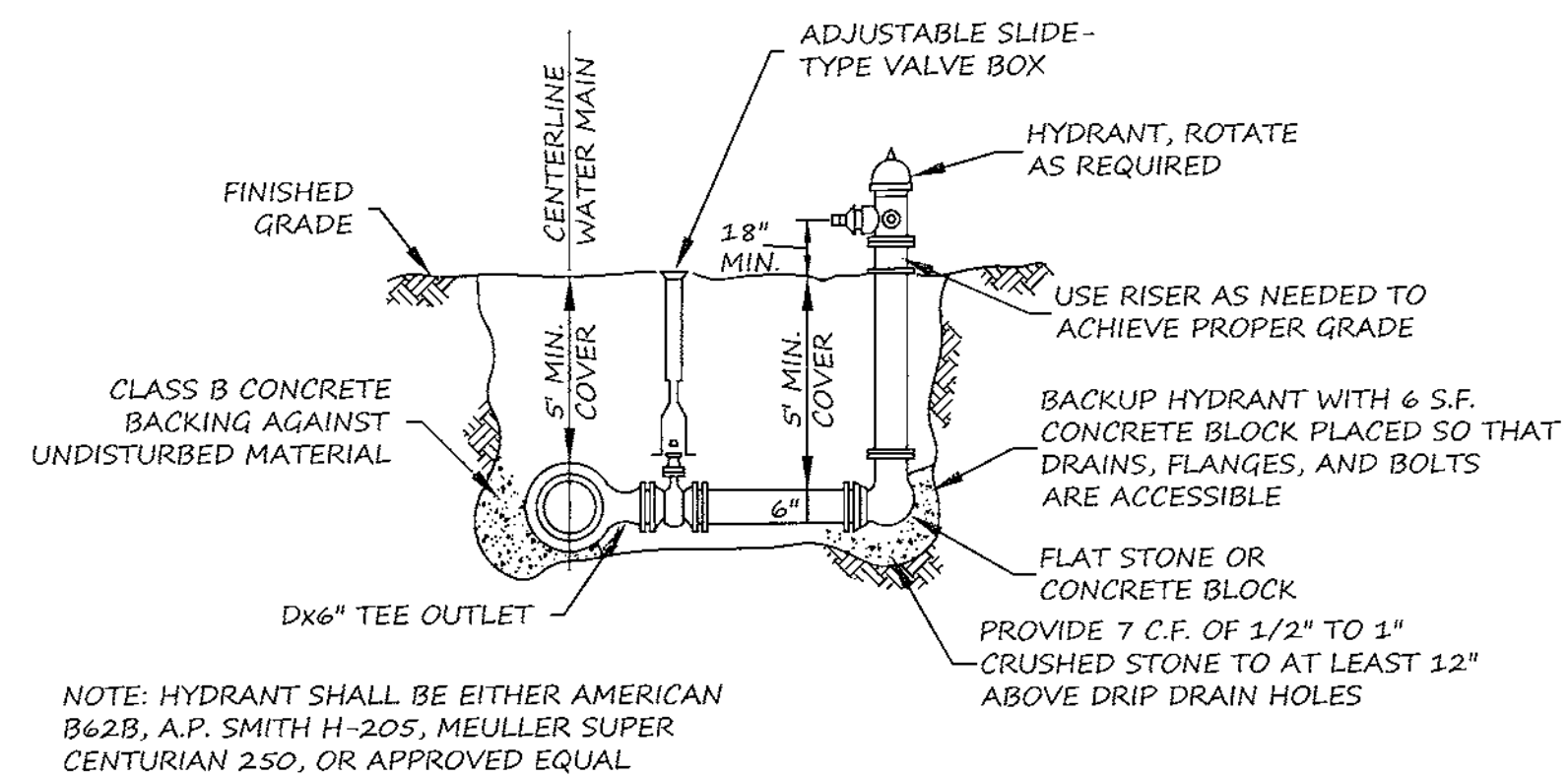
REVISIONS PER TOWN COMMENTS

2016-05-18 D.J.M.

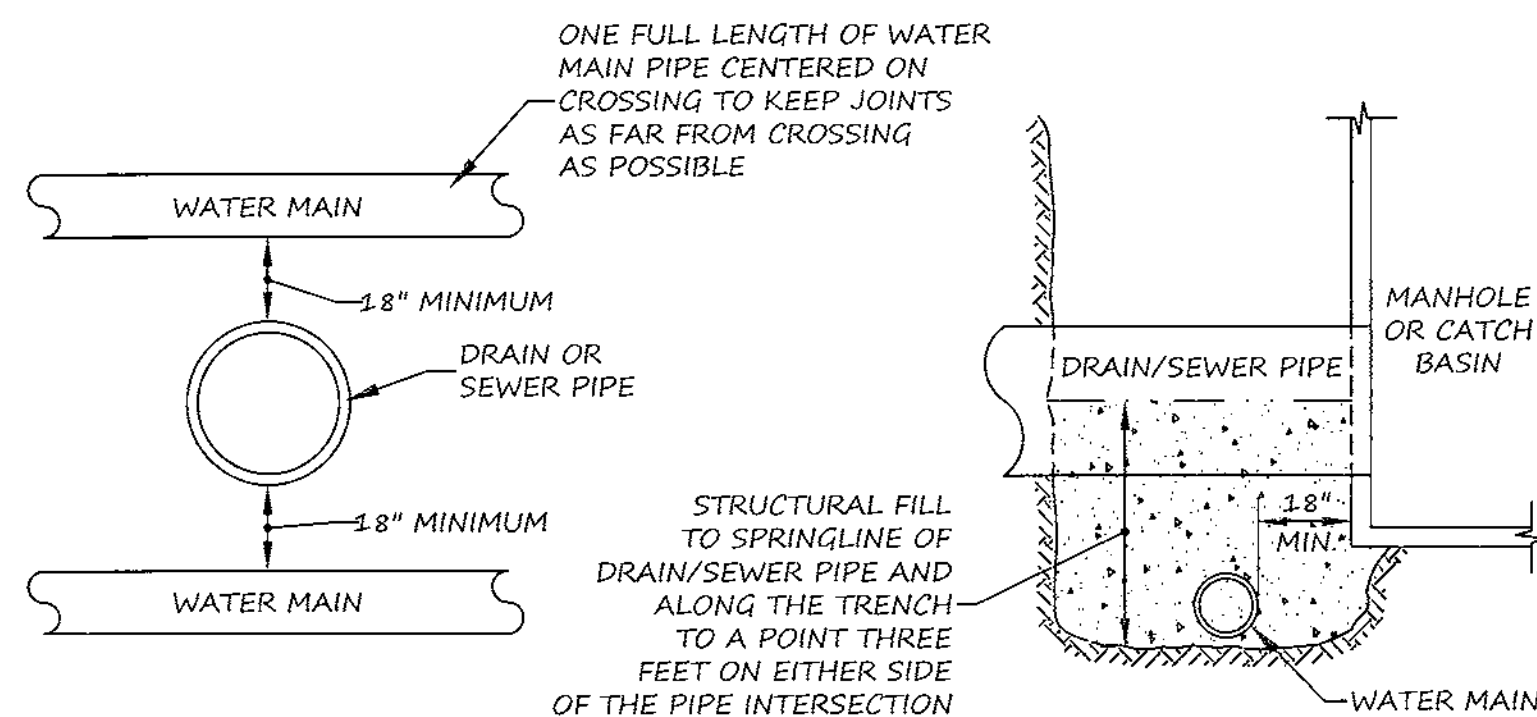
2016-05-25 D.J.M.

2016-07-18 D.J.M.

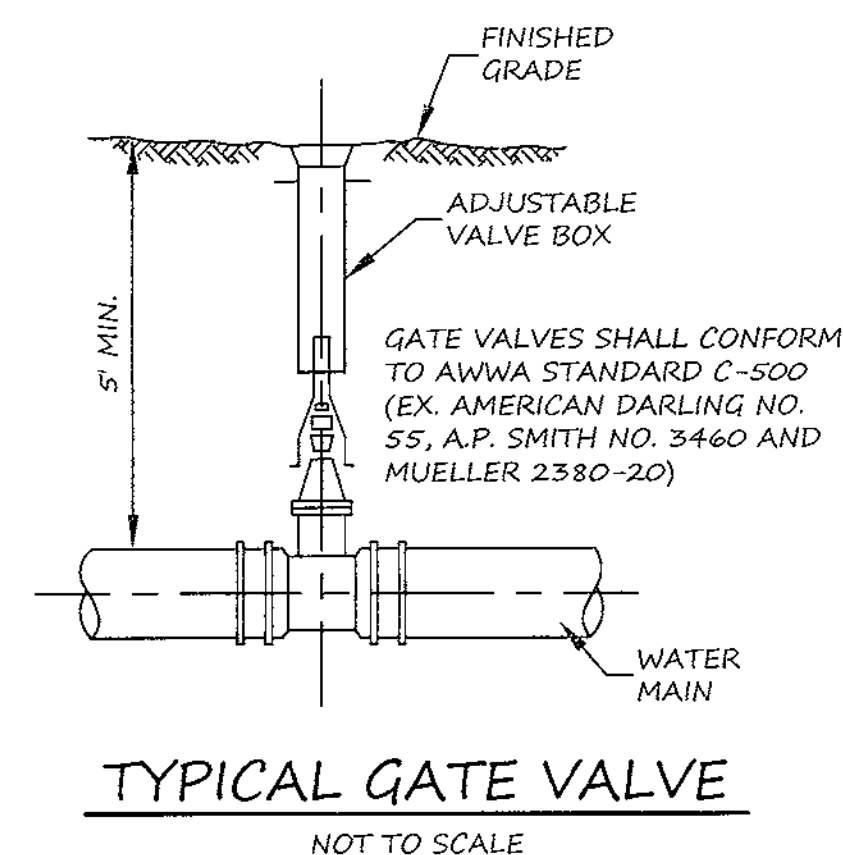
2016-07-18 D.J.M.



TYPICAL HYDRANT ASSEMBLY DETAIL
NOT TO SCALE



WATER MAIN CROSSING DETAIL
NOT TO SCALE



SITE ADDRESS:
2 MARC ROAD

MAP AND PARCEL:
MAPS 24 & 33
PARCELS 24-015, 24-016, & 33-001

ZONING CLASSIFICATION:
INDUSTRIAL I

OVERLAY DISTRICTS:
GROUNDWATER PROTECTION DISTRICT

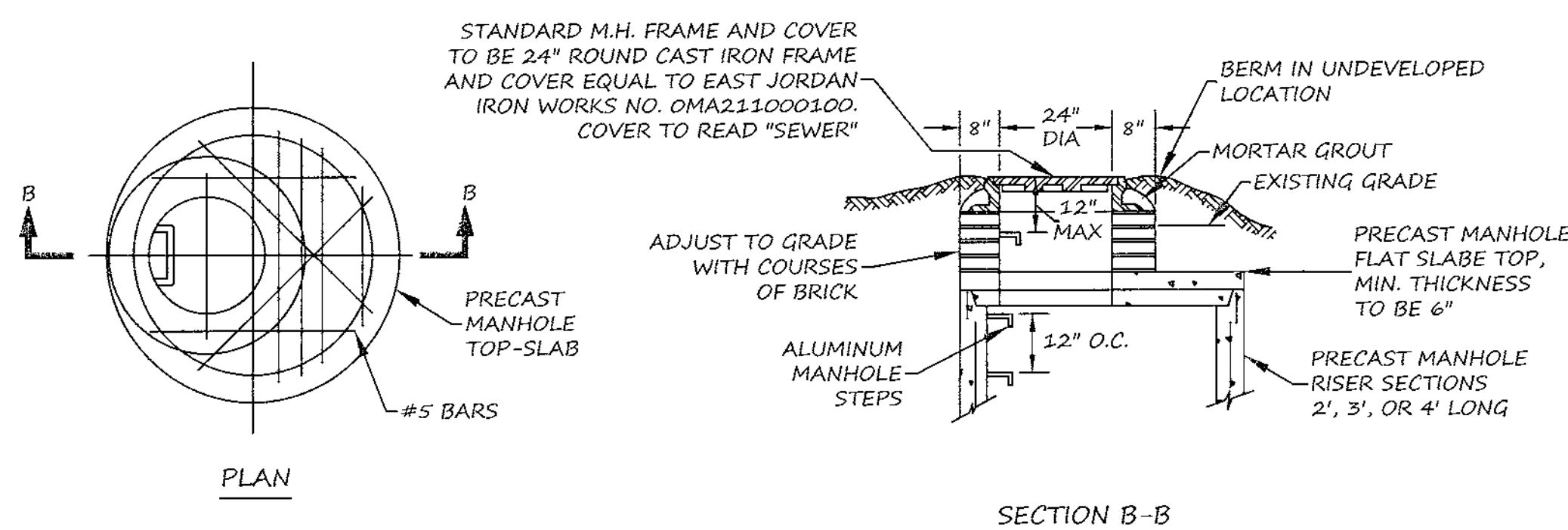
OWNER & APPLICANT:
ELLEN REALTY TRUST
750 MAIN STREET
MILLIS, MA 02054

DATE APPROVAL ISSUED: 6-28-16

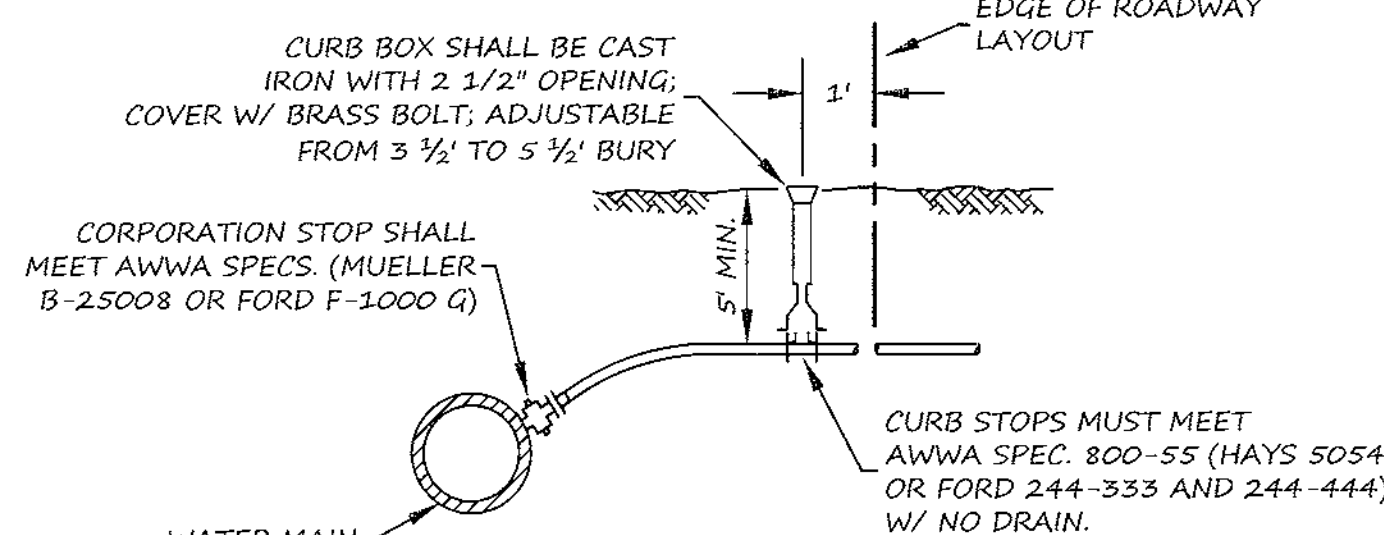
PLAN ENDORSEMENT DATE: 7-26-16

For Registry Use

Handwritten signatures and stamps:
MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD

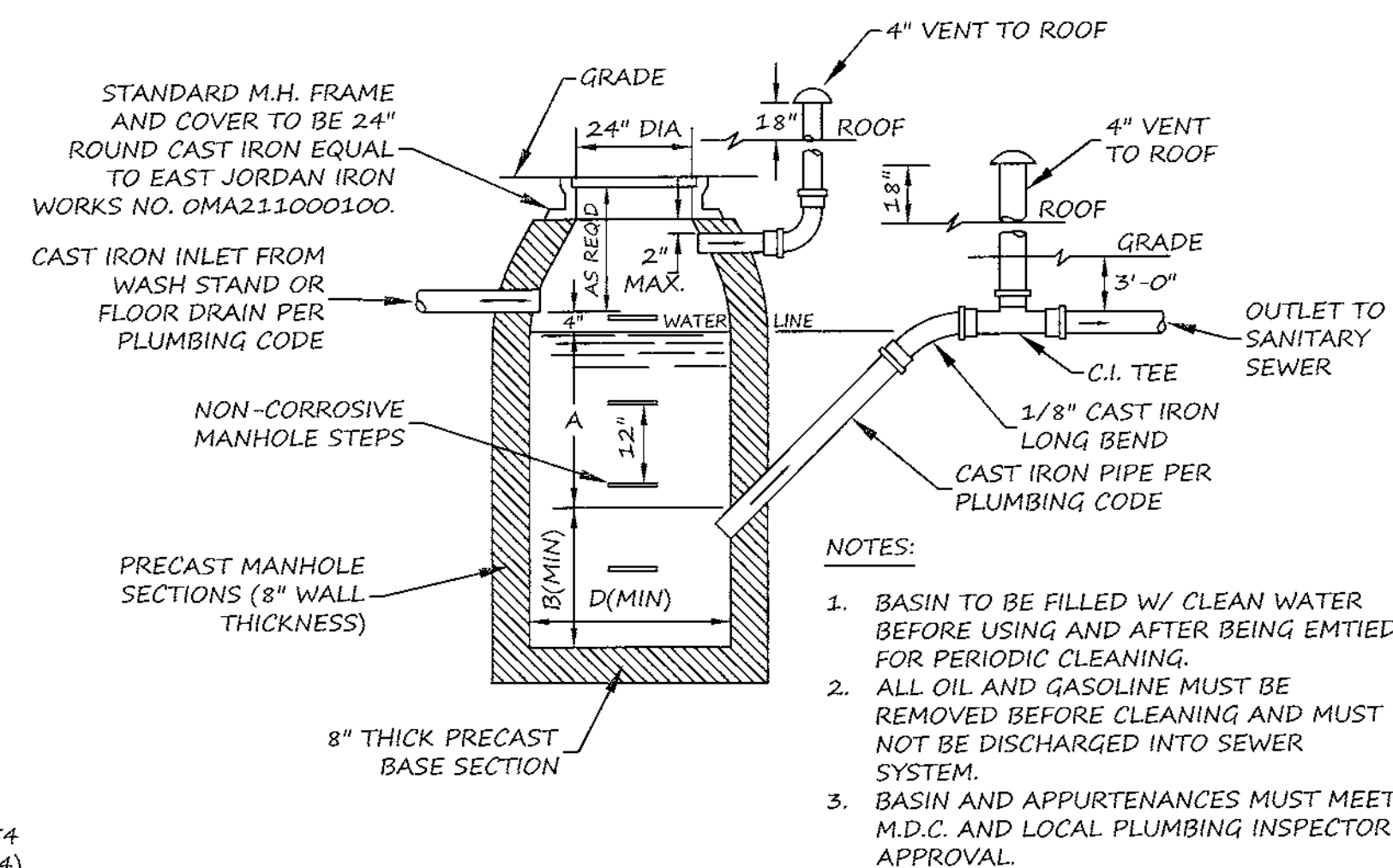


PRECAST MANHOLE FLAT TOP SECTION
NOT TO SCALE



- NOTES:
- COPPER TUBING SHALL MEET AWWA SPEC. 76-CR TYPE K OR FEDERAL SPEC. WWT-799 TYPE K.
 - 1 1/2-INCH AND LARGER SERVICES SHALL BE INSTALLED WITH A SADDLE.

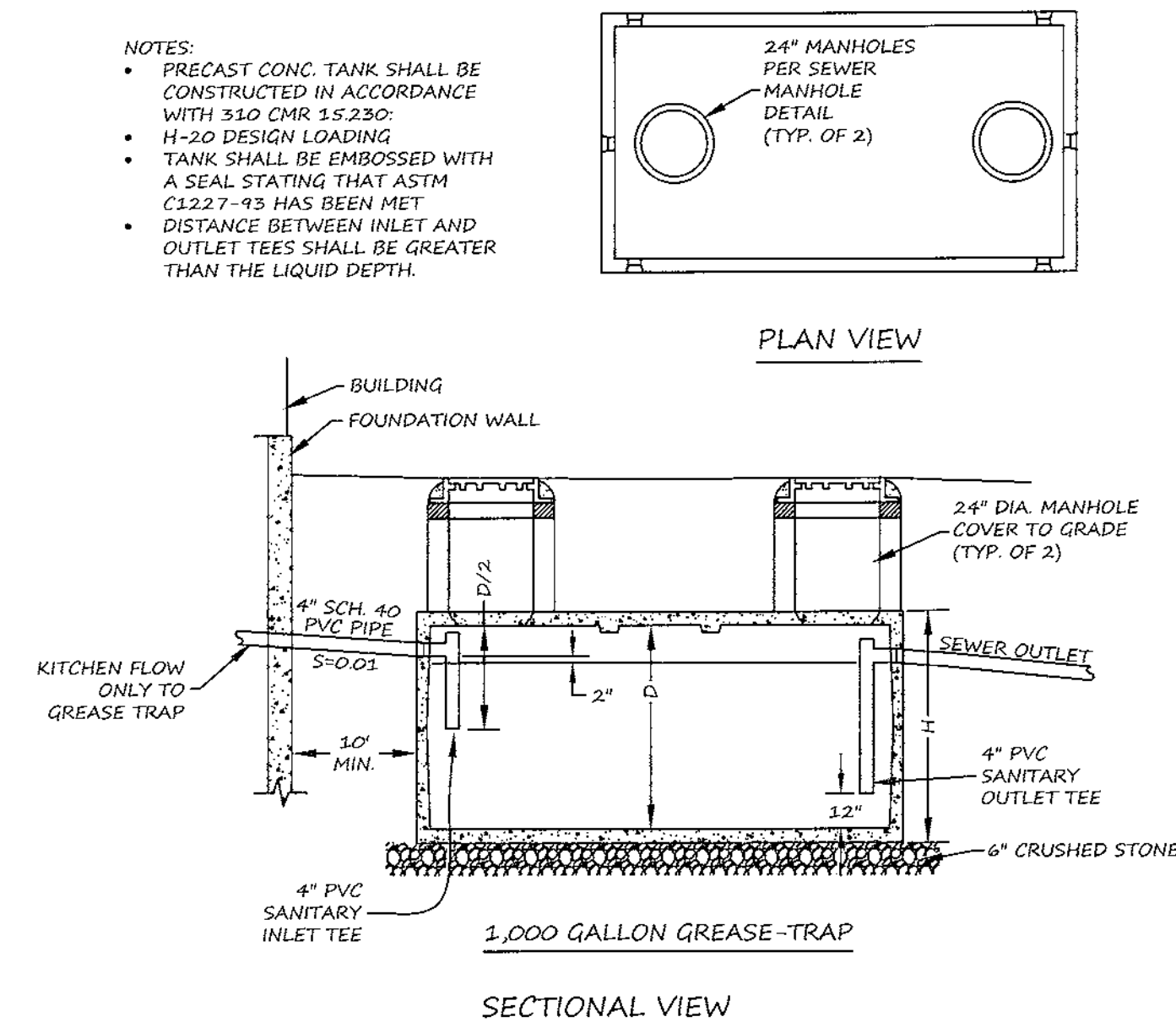
TYPICAL WATER SERVICE CONNECTION
NOT TO SCALE



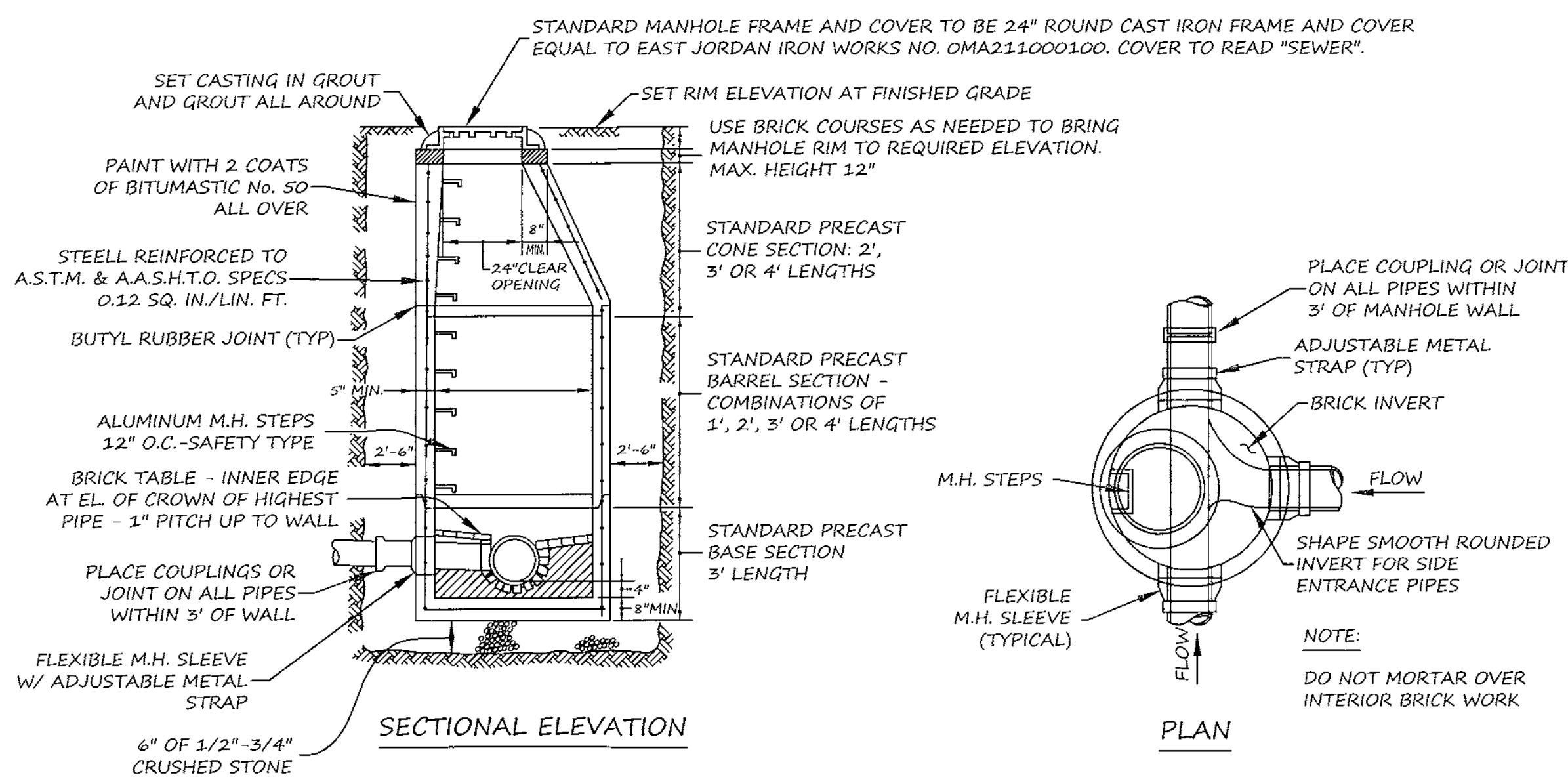
STANDARD GAS/OIL SEPARATOR DETAILS
NOT TO SCALE

INLET	D	A	B
4"	3'-6" DIA.	3'-0"	2'-6"
5"	3'-6" DIA.	3'-0"	3'-0"
	3'-6" x 3'-6"	4'-0"	3'-0"
	4'-0" x 4'-0"	3'-0"	2'-6"
	4'-0" x 4'-0"	3'-0"	2'-6"
6"	4'-0" DIA.	5'-0"	4'-6"
	4'-0" x 4'-0"	4'-0"	3'-6"
	4'-0" x 4'-0"	3'-6"	3'-0"
	5'-0" DIA.	3'-6"	2'-6"
8"	5'-0" DIA.	5'-0"	5'-0"
	5'-6" x 5'-6"	4'-6"	4'-0"
	6'-0" DIA.	4'-0"	3'-6"
	6'-0" x 6'-0"	3'-6"	3'-0"
	6'-6" x 6'-6"	3'-0"	2'-6"

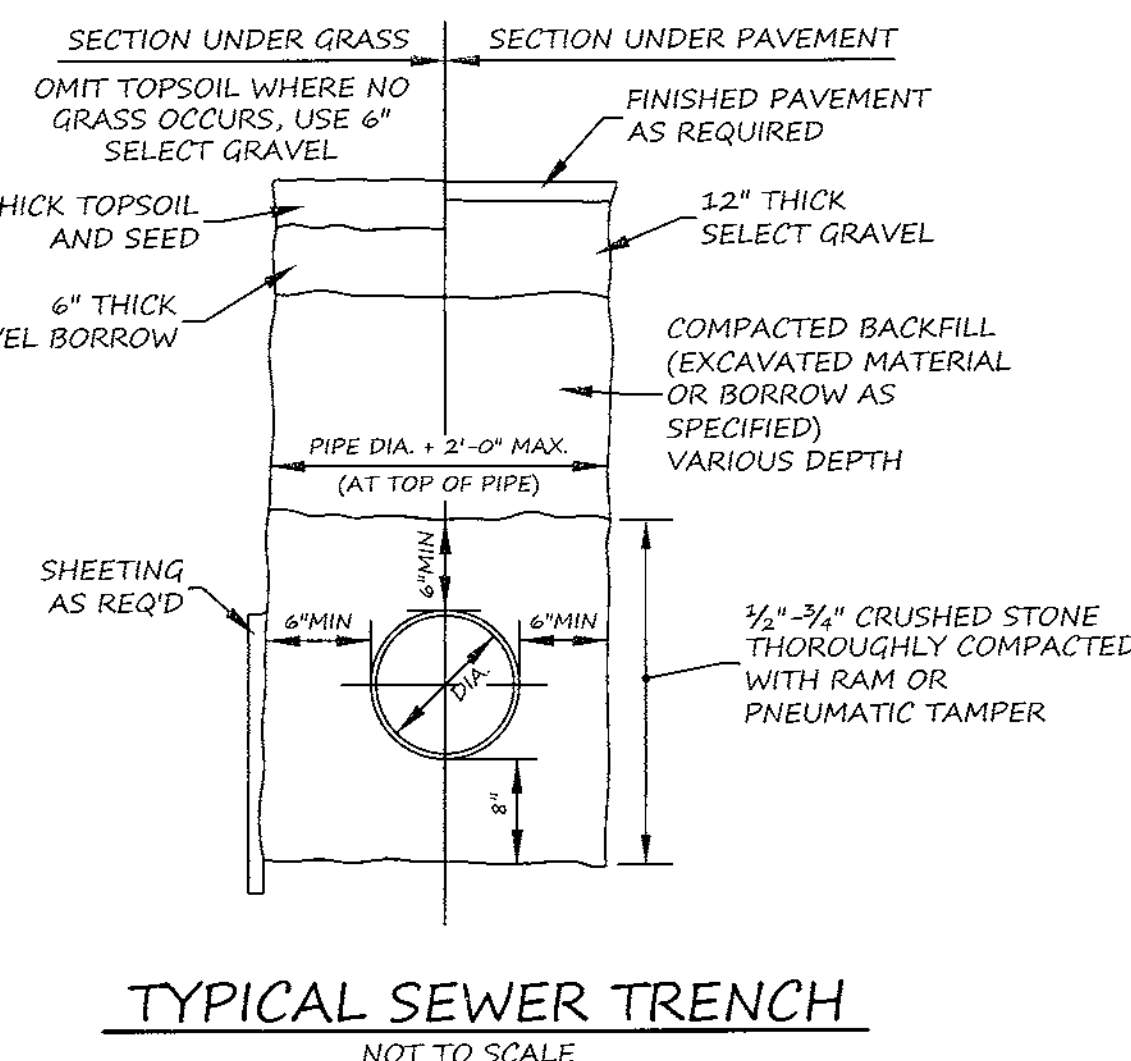
- TABLE NOTES:
- FOR INLETS LARGER THAN 8", THE DESIGN AND DIMENSION WILL BE DETERMINED FOR EACH PARTICULAR CASE.
 - CIRCULAR CATCH BASINS ARE RECOMMENDED.



GREASE TRAP DETAIL
NOT TO SCALE



TYPICAL PRECAST CONCRETE MANHOLE DETAILS
NOT TO SCALE

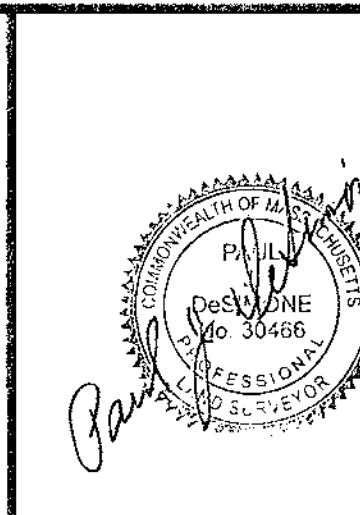
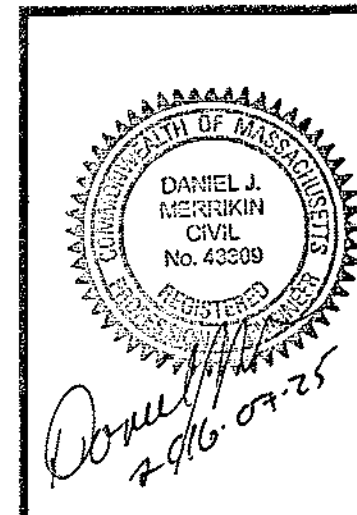


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Handwritten signature:
REGISTERED LAND SURVEYOR



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2 MILLISTON ROAD, SUITE 1C
MILLIS, MA 02054
ph. 508-376-8883 fax 508-376-8823

354-D63 SHEET 8 OF 10

PLAN DATE: MARCH 30, 2016

REVISIONS PER TOWN COMMENTS

2016-05-18 D.J.M.

2016-05-25 D.J.M.

2016-06-07 D.J.M.

2016-07-18 D.J.M.

PLAN SCALE: N.T.S.

2 MARC ROAD
DETAILS
PLAN OF LAND
IN
MEDWAY, MA



- MATERIALS LEGEND:**
- A. INSULATED METAL PANEL (I.M.P) EXTERIOR WALLS
 - B. METAL ROOF TRIM BY I.M.P. MANUFACTURER
 - C. PAINTED STRIPE ON I.M.P.
 - D. HOLLOW METAL DOORS
 - E. 3'-6" X 3'-6" WINDOWS, ALIGNED WITH I.M.P. SEAMS
 - F. CO2 TANK & FENCE
 - G. TRANSFORMER ON 8'-0 X 8'-0" CONCRETE PAD
 - H. CANVAS AWNING

For Registry Use

SITE ADDRESS:
2 MARC ROAD

MAP AND PARCEL:
MAPS 24 & 33
PARCELS 24-015, 24-016, & 33-001

ZONING CLASSIFICATION:
INDUSTRIAL I

OVERLAY DISTRICTS:
GROUNDWATER PROTECTION DISTRICT

OWNER & APPLICANT:
ELLEN REALTY TRUST
730 MAIN STREET
MILLIS, MA 02054

DATE APPROVAL ISSUED: 6-28-16

PLAN ENDORSEMENT DATE: 7-26-16

Paul J. Wilentz
MEDWAY PLANNING & ECONOMIC
DEVELOPMENT BOARD

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

I CERTIFY THAT THIS SURVEY AND PLAN CONFORMS TO THE ETHICAL, PROCEDURAL AND TECHNICAL STANDARDS IN THE COMMONWEALTH OF MASSACHUSETTS.

I HEREBY CERTIFY THAT THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE LINES DIVIDING EXISTING OWNERSHIPS, AND THE LINES OF THE STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED, AND THAT NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.

Paul J. Wilentz
REGISTERED LAND SURVEYOR



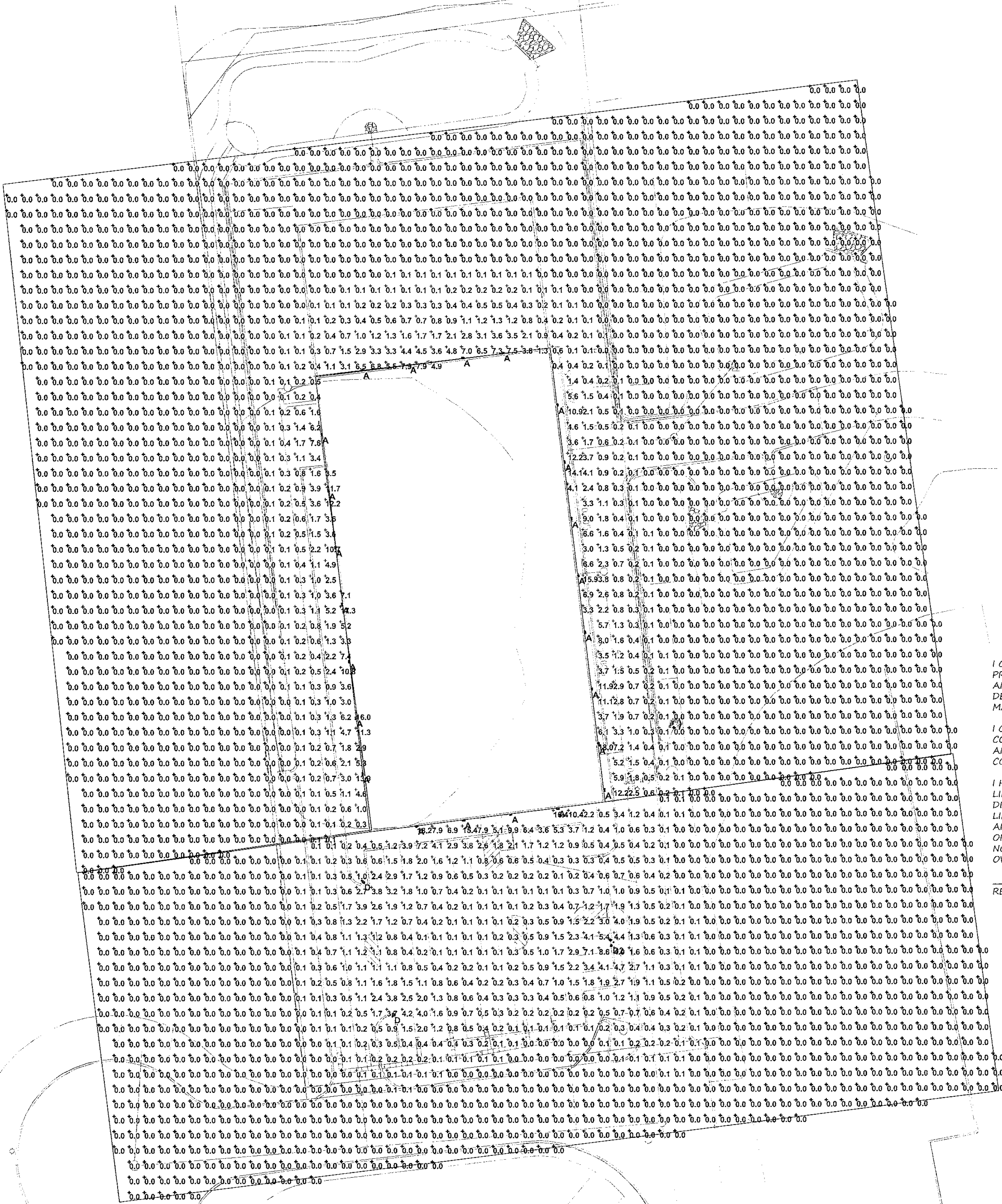
DATE: JULY 18, 2016	
REVISIONS	
For Registry Use	
SHEET TITLE: SITE RENDERING	
PROJECT NO. MCF	
SCALE:	
G-1	

KEENAN + KENNY ARCHITECTS, LTD.
189 Main Street
Falmouth, Massachusetts 02540
508-540-0075 TEL. office@kandkarchitects.com
www.kandkarchitects.com

ROSENFELD
MEDWAY
CULTIVATION FACILITY

2 MARC ROAD, MEDWAY, MASSACHUSETTS

Luminaire Schedule										
Label	Symbol	QTY	Manufacturer	Number Lamps	Lumens per Lamp	Wattage	Description	Filename	Catalog Number	LLF
A		23	LSI INDUSTRIES	1	4916	55.8	Building Lighting	PWM-S-LED-HO-NW-UE.ies	PWM-S-LED-HO-NW-UE	1
D		2	Visionaire Lighting LLC	1	4539	36.4	31-1/2 in.L. X 15 in.W. X 11-3/4 in.H. LED LUMINAIRE	VMX-1_T3_32LC_10_4K.IES	VMX-1-T3-32LC-3-4K-UNV	1
D2		1	Visionaire Lighting LLC	1	4539	72.8	31-1/2 in.L. X 15 in.W. X 11-3/4 in.H. LED LUMINAIRE	VMX-1_T3_32LC_10_4K.IES	VMX-1-T3-32LC-3-4K-UNV	1
			Visionaire Lighting LLC	1	4539	36.4	31-1/2 in.L. X 15 in.W. X 11-3/4 in.H. LED LUMINAIRE	VMX-1_T3_32LC_10_4K.IES	VMX-1-T3-32LC-3-4K-UNV	1
			Visionaire Lighting LLC	1	4539	36.4	31-1/2 in.L. X 15 in.W. X 11-3/4 in.H. LED LUMINAIRE	VMX-1_T3_32LC_10_4K.IES	VMX-1-T3-32LC-3-4K-UNV	1



For Registry Use

SITE ADDRESS:
2 MARC ROAD

MAP AND PARCEL:
MAPS 24 & 33
PARCELS 24-015, 24-016, & 33-001

ZONING CLASSIFICATION:
INDUSTRIAL I

OVERLAY DISTRICTS:
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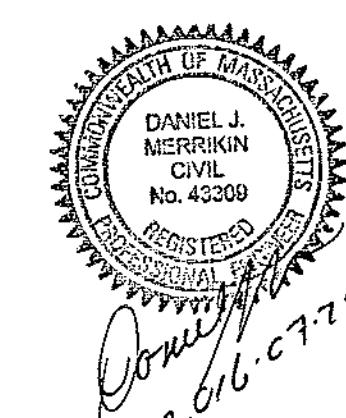
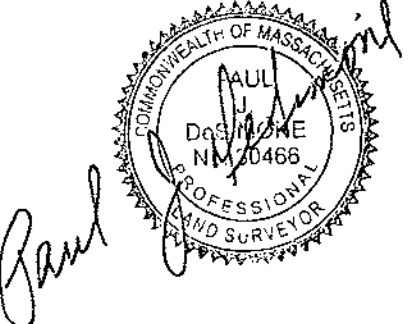
Paul J. Delmonico
MEDWAY PLANNING & ECONOMIC
DEVELOPMENT BOARD

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTRARS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

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Paul J. Delmonico
REGISTERED LAND SURVEYOR



Statistics							
Description	Symbol	Avg	Max/Min	Avg/Min	Avg/Max	Min	Max
Building Lighting	+	0.3 fc	N/A	N/A	0.0:1	0.0 fc	18.0 fc
Parking Lot Lighting	+	0.4 fc	N/A	N/A	0.0:1	0.0 fc	18.2 fc

Susan Affleck-Childs

From: Lally, John - 0666 - MITLL <jlally@ll.mit.edu>
Sent: Monday, November 05, 2018 7:34 PM
To: Susan Affleck-Childs
Subject: RE: Upcoming Public Hearing for 2 Marc Road - Adult Recreational Marijuana Special Permit Application

Hi Suzy,

Thank you and the board for keeping me in mind, I do appreciate that very much.

In general the noise levels observed at my house are considerably lower now than before the mitigation was installed.

However:

- 1.) Although rare, every once in a while the noise still exceeds the conspicuous level, i.e. it's readily apparent without focusing attention to it.
- 2.) And although after mitigation the noise level is usually not very conspicuous it's not uncommon for it to be louder than the background noise. Prior to the 2 Marc Rd facility, traffic on 109 usually set the background noise level not anything from the industrial park, especially after business hours.

So, have the following questions regarding the additions to 2 Marc Rd:

- 1.) Will there be any changes to the Existing-As-Built HVAC system, either quantity/capacity, type, operating profile etc?
 - a. I did see in the project summary the sentence that reads "No building expansion or changes to the site are planned". However, I didn't know if that applied to the Existing-As-Built HVAC system or the Maximum-As-Planned HVAC system. I seem to recall the Existing-As-Built HVAC system was a fraction of the Maximum-As-Planned.
- 2.) Can conditions be included in the permit that ensure noise levels from the 2 Marc Rd facility do not increase the Pre 2 Marc Rd facility noise levels from the Industrial Park? (i.e. noise levels from the Industrial Park with and without 2 Marc Rd operating are approximately the same).

As usual feel free to distribute the above as you see fit.

Thanks again,

-John

From: Susan Affleck-Childs <sachilds@townofmedway.org>
Sent: Monday, November 5, 2018 5:09 PM
To: Lally, John - 0666 - MITLL <jlally@ll.mit.edu>
Subject: Upcoming Public Hearing for 2 Marc Road - Adult Recreational Marijuana Special Permit Application

Hi John,

Wanted to let you know that there will be a hearing next week Tuesday night on the application for CommCan to add cultivation and processing of marijuana for adult, recreational uses. At 2 Marc Road. I noticed that you were not included on the list of abutters within 300 feet of the property and I knew you would want to be aware of this.

The Board specifically asked me to reach out to you. Have the installed sound mitigation measures been effective?

Thanks.

Susan E. Affleck-Childs
Planning and Economic Development Coordinator
Town of Medway
155 Village Street
Medway, MA 02053
508-533-3291

AMENDMENT
TO HOST COMMUNITY AGREEMENT
BY AND BETWEEN
TOWN OF MEDWAY
AND
COMMCAN, INC.

This Amendment is made and entered into this 17th day of April, 2018, by and between the Town of Medway, acting by and through its Board of Selectmen (hereinafter referred to as the "Town"), with a usual place of business at 155 Village Street, Medway, Massachusetts and CommCan, Inc., with a usual place of business at 730 Main Street, Millis, Massachusetts (hereinafter referred to as the "Operator").

WITNESSETH

WHEREAS, on May 16, 2016, the Town entered into a Host Community Agreement with the Operator (the "Agreement") with respect to the Operator's operation of a Registered Marijuana Dispensary cultivation and processing facility ("RMD") within the Town; and

WHEREAS, Section 18 of the Agreement allows for amendment of the Agreement by written document executed by the Parties; and

WHEREAS, the Operator intends to utilize the commercial space located at 2 Marc Road, Medway, MA (the "Premises") referenced in the Agreement for use as a RMD for the purposes of operating a non-medical marijuana establishment pursuant to the provisions of G. L. c. 94G; and

WHEREAS, the Operator intends to submit an application to the Cannabis Control Commission (the "Commission") for a license to operate as a non-medical marijuana establishment at the Premises; and

WHEREAS, this Amendment, together with the Agreement, shall constitute the stipulations of responsibilities between the Town as host community and the Operator pursuant to the provisions of G. L. c.94G, §3 for operation by the Operator of a non-medical marijuana cultivation establishment at the Premises.

NOW THEREFORE, in consideration of the mutual promises and covenants set forth herein, and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the Parties agree as follows:

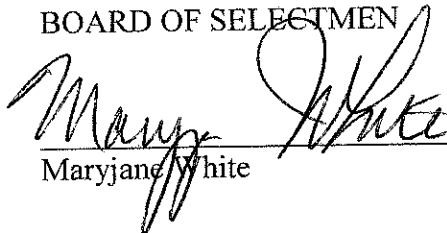
1. References to RMD in the Agreement shall be construed to apply to a Medical Marijuana Treatment Center operated by the Operator at the Premises and the terms of the Agreement and this Amendment shall remain applicable thereto regardless of how such facility may be characterized under applicable law, including but not limited to G.L. c.94G, G.L. c.94C, App. 1-17, and An Act for the Humanitarian Use of Marijuana, Chapter 269 of the Acts of 2012, subject to the registration and/or licensing process required by the Department of Public Health ("DPH") or Cannabis Control Commission ("CCC") or any other state entity.
2. Commencing on April 1, 2020 the Operator shall make payments to the Town in the amount of one hundred thousand dollars (\$100,000) in lieu of any local impact fees that would be authorized pursuant to G.L. c.94G, §3(d). These payments for the non-medical

cultivation shall be in addition to payments made under Paragraphs 1(b)-(d) and 2 of the Agreement, with a maximum of \$155,000.00 per year (not including amounts shown under 1(a) of the Agreement) on an annual basis.

3. The Agreement, including this amendment, shall extend for a period of five years from the effective date of this Amendment, being April 17, 2018, and shall automatically be reopened on the first day of the fourth (4th) year thereafter at which time the parties shall commence negotiation in good faith the terms of a successor agreement.
4. The Parties agree that if they are unable to reach an agreement on a successor Host Community Agreement, the terms of the Agreement as amended by this Amendment shall be incorporated into an interim successor agreement with a term of two (2) years and that the parties shall during that two year term negotiate a successor agreement for a term of five (5) years.
5. The parties agree that all other provisions of the Agreement shall remain the same and shall continue in full force and effect.
6. This Amendment, together with the Agreement, constitutes the entire agreement between the parties, with no other agreements other than those incorporated herein.
7. The Agreement and this Amendment shall be governed by, construed and enforced in accordance with the laws of the Commonwealth of Massachusetts and the CONTRACTOR submits to the jurisdiction of any of its appropriate courts for the adjudication of disputes arising out of this Agreement.

IN WITNESS WHEREOF, the parties hereto have executed this Amendment on the day and year first above written.

TOWN OF MEDWAY
BOARD OF SELECTMEN



Maryjane White

Richard D'Innocenzo

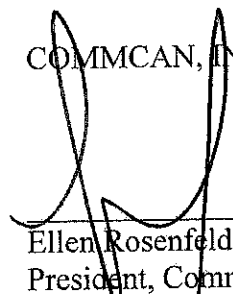
John Foresto

Glenn Trindade

Dennis Crowley

622657/MEDW/0299

COMMCAN, INC



Ellen Rosenfeld
President, CommCan, Inc.

Name: _____
Treasurer, CommCan, Inc.

COMMCAN, INC.

Host Community Agreement

Registered Marijuana Dispensary - Cultivation & Processing Facility

Medway, Massachusetts

This Host Community Benefit Agreement for a Registered Marijuana Dispensary cultivation and processing facility, ("RMD") is entered into this 16th day of May, 2016 by and between CommCan, Inc. a Massachusetts not-for-profit corporation formed under MGL ch.180 *et seq.* with a principal office address of 730 Main Street, Millis, Massachusetts 02054 ("OPERATOR") and the Town of Medway, a Massachusetts municipal corporation with a principal address of 155 Village Street, Medway, Massachusetts 02053 ("TOWN"). The obligations of OPERATOR and the TOWN recited herein are specifically contingent upon OPERATOR obtaining a Final Certificate of Registration for operation of a RMD in the TOWN from the Department of Public Health ("DPH") and upon OPERATOR obtaining municipal approvals for construction and operation of the RMD cultivation and processing facility from the TOWN.

WHEREAS, OPERATOR has submitted three (3) applications to operate RMDs in the Commonwealth of Massachusetts, consisting of one (1) cultivation facility in Medway and three (3) retail locations in communities other than Medway;

WHEREAS, OPERATOR intends to locate a RMD cultivation and processing facility at 2 Marc Road, Medway, in accordance with regulations issued by the DPH and zoning by-laws issued by the TOWN;

WHEREAS, OPERATOR has obtained a letter of support from the TOWN for the siting and operation of a RMD cultivation and processing facility in the TOWN;

WHEREAS, OPERATOR intends to provide certain benefits to the TOWN in the event that OPERATOR obtains a Final Certificate of Registration to operate a RMD cultivation and processing facility in the TOWN and has received all state and local approvals, and begins providing marijuana for medical use to patients, their caregivers, the public, or other RMDs:

NOW, THEREFORE, in consideration of the above, OPERATOR offers the TOWN and the TOWN accepts this Host Community Agreement in accordance with MGL ch.44 §53A:

1. In the event that OPERATOR obtains a Final Certificate of Registration from DPH for the operation of a RMD cultivation and processing facility in the TOWN and receives any and all necessary and required permits and licenses issuable by the TOWN, which said permits and/or licenses allow OPERATOR to locate, occupy and operate the RMD cultivation and processing facility in the TOWN, then OPERATOR agrees to provide the TOWN with the following benefits:
 - a. Self-contained Breathing Apparatus (SCBA) devices for the fire department, with a total value of two hundred sixty-three thousand two-hundred dollars (\$263,200). This gift will be provided in four (4) equal annual installments of sixty-five thousand eight hundred (\$65,800), commencing on August 1, 2017 ("Payment Commencement Date"), with the following three (3) payments due on or before that anniversary date;
 - b. A Youth Activity Program through the Medway Public Library funding at the rate of ten thousand dollars (\$10,000) per year, with such gift commencing on February 1, 2018, and provided annually thereafter for the duration of this Agreement;

- c. School Department health and substance abuse prevention curriculum funding at the rate of ten thousand dollars (\$10,000) per year, with such gift commencing on February 1, 2018, and provided annually thereafter for the duration of this Agreement; and
 - d. Department of Public Services Department of Transportation ("DPS DOT") Drug Testing Program Funding at the rate of ten thousand dollars (\$10,000) per year, with such gift commencing on February 1, 2018, and provided annually thereafter for the duration of this Agreement.
2. In addition to the items identified above in Paragraphs 1 (a)-(d), OPERATOR shall provide an annual financial contribution of twenty-five thousand dollars (\$25,000) to the Town for any municipal purpose, provided that such payments shall commence on February 1, 2018, and shall continue on an annual basis thereafter, with each annual gift to be made on or before February 1st of each year for the duration of this agreement.
 3. Notwithstanding the gifts identified above in Paragraphs 1 and 2, at all times during the term of this Agreement, real property, owned or operated by OPERATOR shall be treated as taxable, and all applicable real estate and personal property and excise taxes for that property shall be paid either directly by OPERATOR or by its landlord. OPERATOR shall not challenge the taxability of such property and shall not submit an application for any statutory exemption from such taxes, except to ensure that the property is assessed at the fair cash value of such property as described in M.G.L. c. 59 §38.
 4. Notwithstanding Paragraph 3 above: (a) if real and/or personal property owned or operated by OPERATOR is determined to be exempt for taxation or partially exempt, or (b) if the value of such property is abated with the effect of reducing or eliminating the tax which would otherwise be paid if assessed at the fair cash value of such property as described in M.G.L. c. 59 §38, then OPERATOR shall pay to the TOWN an amount which when added to the taxes, if any, paid on such property, shall be equal to the taxes which would have been payable on such property at fair cash value and at the otherwise applicable tax rate, if there had been no abatement or exemption. The payment described in this Paragraph 4 shall be in addition to the payments made by OPERATOR under Paragraphs 1(a)-(d) and 2 of this Agreement.
 5. In the event that OPERATOR becomes eligible for status as a charitable organization and a related decrease or elimination of real property taxes, and tax revenue from OPERATOR's cultivation and processing facility located in the TOWN is reduced or eliminated, OPERATOR will continue to make the assessed, fair cash value tax payment directly to the TOWN as an additional payment under this Agreement.
 6. If the TOWN receives other payments from OPERATOR (other than additional voluntary payments made by OPERATOR including property taxes under Paragraphs 3, 4 and 5 above) or from the Department of Revenue or any other source, the funds for which have been collected by assessment against OPERATOR, including but not limited to taxes imposed by an act of the Massachusetts Legislature, or a mandate from the TOWN for said payments, the amounts due from OPERATOR to the TOWN under Paragraphs 1(a)-(d) and 2 this Agreement shall be reduced by the amount of such other payments.

7. OPERATOR will endeavor to hire local, qualified employees to the extent consistent with law and with the demands of OPERATOR's business. OPERATOR will also endeavor in a good faith, legal and non-discriminatory manner to use local vendors and suppliers where possible.
8. OPERATOR shall coordinate with the Medway Police Department in the development and implementation of required security measures, under 105 CMR 725.110 and otherwise, including in determining the placement of exterior security cameras. OPERATOR will maintain a cooperative relationship with the Medway Police Department, including but not limited to periodic meetings to review operational concerns and communication to Medway Police Department of any suspicious activities on the site.
9. It shall be the responsibility of the OPERATOR, as a condition in the special permit process and herein, to make repairs and improvements to Marc Road, included but not limited to drainage, surface, lighting, and safety improvements, as identified as necessary by the Town's consulting engineer and Department of Public Services.
10. The purpose of this Agreement is to assist the TOWN in addressing any public health, safety and other effects or impacts the RMD cultivation and processing facility may have on the TOWN. The TOWN shall use the above-referenced payments in its sole discretion consistent with the purpose of this Agreement, which may include allocating a portion of said payments for community wellness programs, educational programs, parks and recreation, public safety, and other efforts and initiatives for the support of the health of the citizens of the TOWN. However, the TOWN is under no obligation to use the foregoing payments in any particular manner.
11. The obligations of OPERATOR and the TOWN recited herein are contingent upon the issuance of a Final Certificate of Registration by the DPH to OPERATOR to operate a RMD cultivation and processing facility in the TOWN, and OPERATOR conducting operations in TOWN.
12. This Agreement shall terminate at the time that any of the following occurs: the TOWN notifies OPERATOR of the TOWN's termination of this Agreement; the TOWN notifies OPERATOR of the TOWN's termination of this Agreement for CAUSE (to be defined); OPERATOR ceases to operate a RMD cultivation and processing facility in the TOWN; OPERATOR ceases to operate a RMD in the Commonwealth. CAUSE shall be defined as if OPERATOR violates any laws of the Commonwealth with respect to the operation of a RMD, and such violation remains uncured for sixty (60) days; or if OPERATOR fails to make payments to the TOWN as required under this Agreement, and such failure remains uncured for sixty (60) days.
13. This Agreement is binding upon the parties hereto, their successors, assigns and legal representatives. OPERATOR shall not assign, sublet or otherwise transfer this Agreement, in whole or in part, without the prior written consent of the Town, which consent shall not be unreasonably withheld.
14. OPERATOR shall comply with all laws, rules, regulations and orders applicable to the work provided pursuant to this Agreement, such provisions being incorporated herein by reference,

and shall be responsible for obtaining all necessary licenses, permits, and approvals required for the performance of such work.

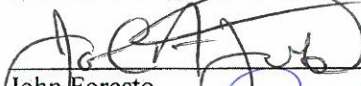
15. Should TOWN enter into an agreement with any other RMD for siting in TOWN at material terms more favorable to that RMD than the terms of this Agreement are to OPERATOR, specifically requiring cash payments or gifts which are less on an annual basis than those described in this Agreement in Paragraphs 1(a)-(d) and 2, and not considering other terms of this Agreement, the OPERATOR shall have the opportunity to request that this agreement be reopened to discuss the specific term or terms in question for the purpose of providing a level playing field.
16. Any and all notices, or other communications required or permitted under this Agreement shall be in writing and delivered postage prepaid mail, return receipt requested; by hand; by registered or certified mail; or by other reputable delivery services, to the Parties at the addresses set forth on the first page of this Agreement or furnished from time to time in writing hereafter by one party to the other party. Any such notices or correspondence shall be deemed given when so delivered by hand, if so mailed, when deposited with the USPS or, if sent by private overnight or other delivery service, when deposited with such delivery service.
17. If any term or condition of this Agreement or any application thereof shall to any extent be held invalid, illegal or unenforceable, then the validity, legality, and enforceability of the remaining terms and conditions of this Agreement shall not be deemed affected thereby unless one or both of the Parties would be substantially or materially prejudiced.
18. This Agreement, including all documents incorporated therein by reference, constitutes the entire integrated agreement between the parties with respect to the matters described. This Agreement supersedes all prior agreements, negotiation and representations, either written or oral and it shall not be modified or amended except by a written document executed by the Parties hereto.
19. This Agreement shall be for a period of five (5) years, and shall automatically be reopened for negotiations on the first day of the fourth (4th) year after the Payment Commencement Date (August 1, 2017) to discuss renewal possibilities. The Parties agree that if they are unable to reach an agreement on a successor Host Community Agreement, the terms of this Agreement shall continue for two (2) additional years.

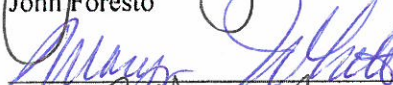
[REMAINDER OF THIS PAGE INTENTIONALLY LEFT BLANK]

20. In the event that the non-medical use of marijuana is authorized under the laws of the Commonwealth, and OPERATOR cultivates marijuana at its facility in TOWN, that is sold for non-medical purposes, OPERATOR agrees to gift to the TOWN annually on August 1 payments in an amount of one percent (1%) of OPERATOR's gross revenues generated by the OPERATOR's production of marijuana that is sold for non-medical use, subtracted by payments made under Paragraphs 1(b)-(d) and 2 of this Agreement, with a maximum of \$155,000.00 per year, on an annual basis, where such amount of \$155,000.00 shall include the payments under Paragraphs 1(b)-(d) and 2.

Agreed to by CommCan, Inc. and the Town of Medway, Massachusetts as of the 16th day of May, 2016.

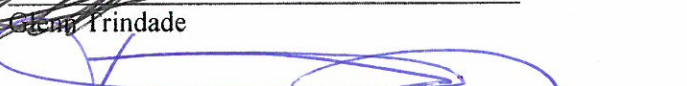
FOR THE TOWN OF MEDWAY, ITS
BOARD OF SELECTMEN:


John Foresto

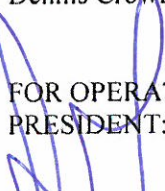

Maryjane White


Richard D'Innocenzo


Glenn Trindade


Dennis Crowley

FOR OPERATOR COMMCAN, INC, ITS
PRESIDENT:


Ellen Rosenfeld
President, CommCan, Inc.

TREASURER:


Treasurer, CommCan, Inc.

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Agreed to by CommCan, Inc. and the Town of Medway, Massachusetts as of the ____ day of _____, 2016.

FOR THE TOWN OF MEDWAY, ITS
BOARD OF SELECTMEN:

John Foresto

Maryjane White

Richard D'Innocenzo

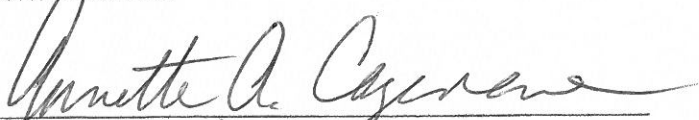
Glenn Trindade

Dennis Crowley

FOR OPERATOR COMMCAN, INC, ITS
PRESIDENT:

Ellen Rosenfeld
President, CommCan, Inc.

TREASURER:



ANNETTE A. CAZENAVE
Treasurer, CommCan, Inc.



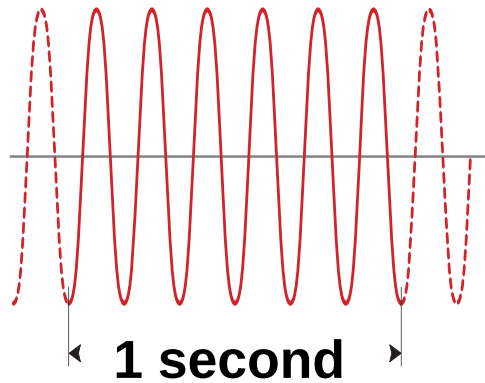
Amplitude

- Sound pressure [Pa] -> sound pressure level [dB]
- Humans can hear ~ 13 orders of magnitude
- Decibel (dB) is a ***log ratio***
 - Unitless
 - Manageable scale (roughly 0 to 130 dB)
 - Better matches perception (loudness)
 - “pressure level” and “power level”

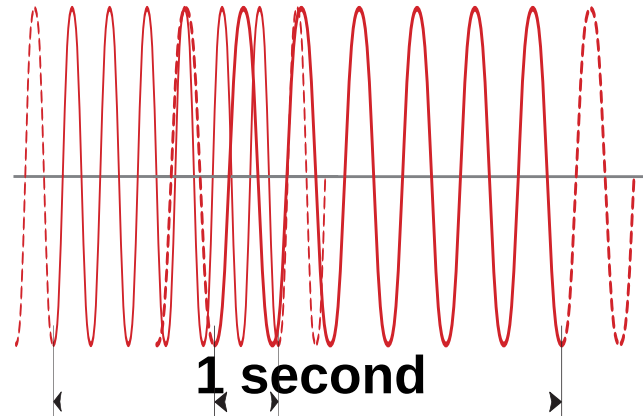


Frequency

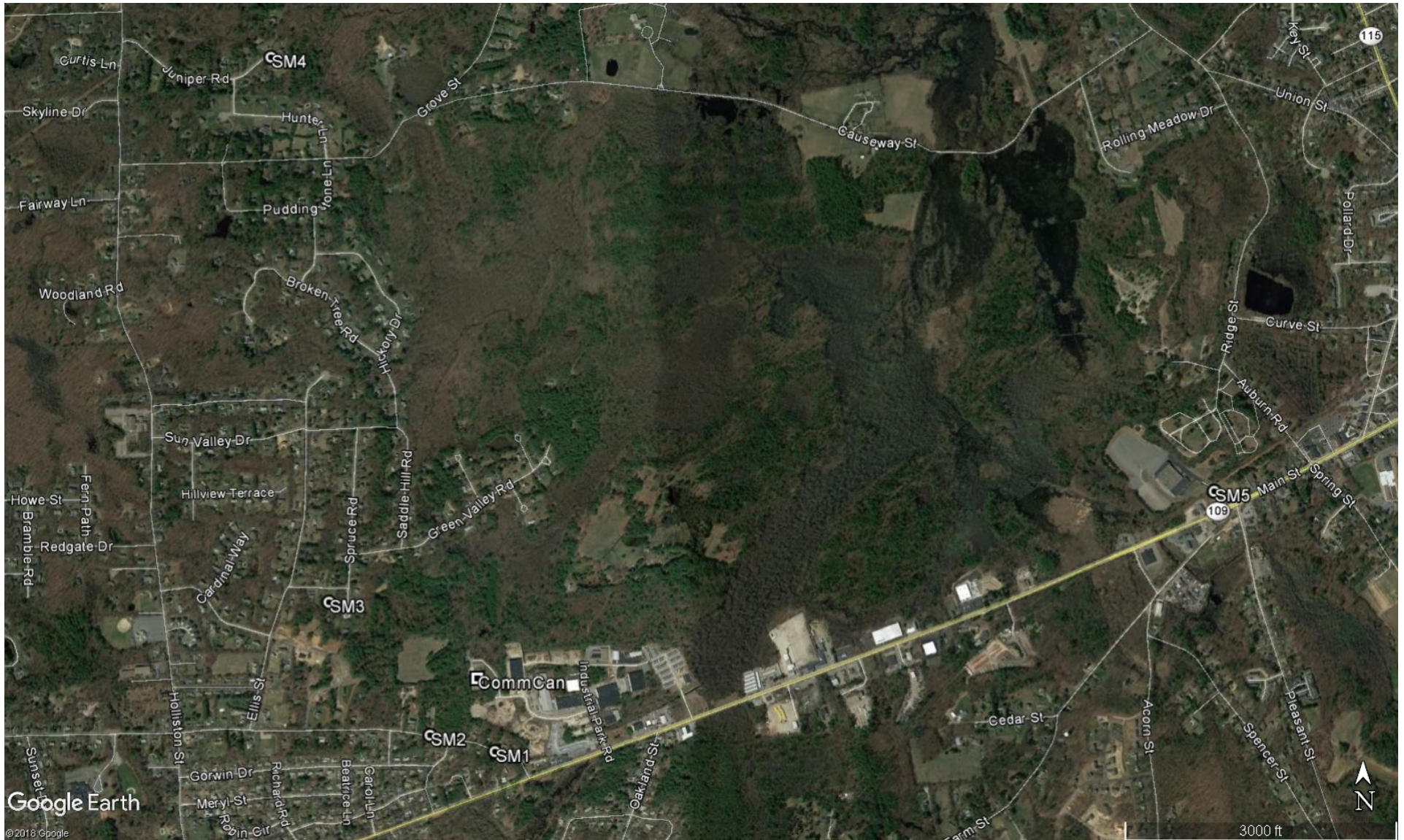
High Frequency
("Hissy")



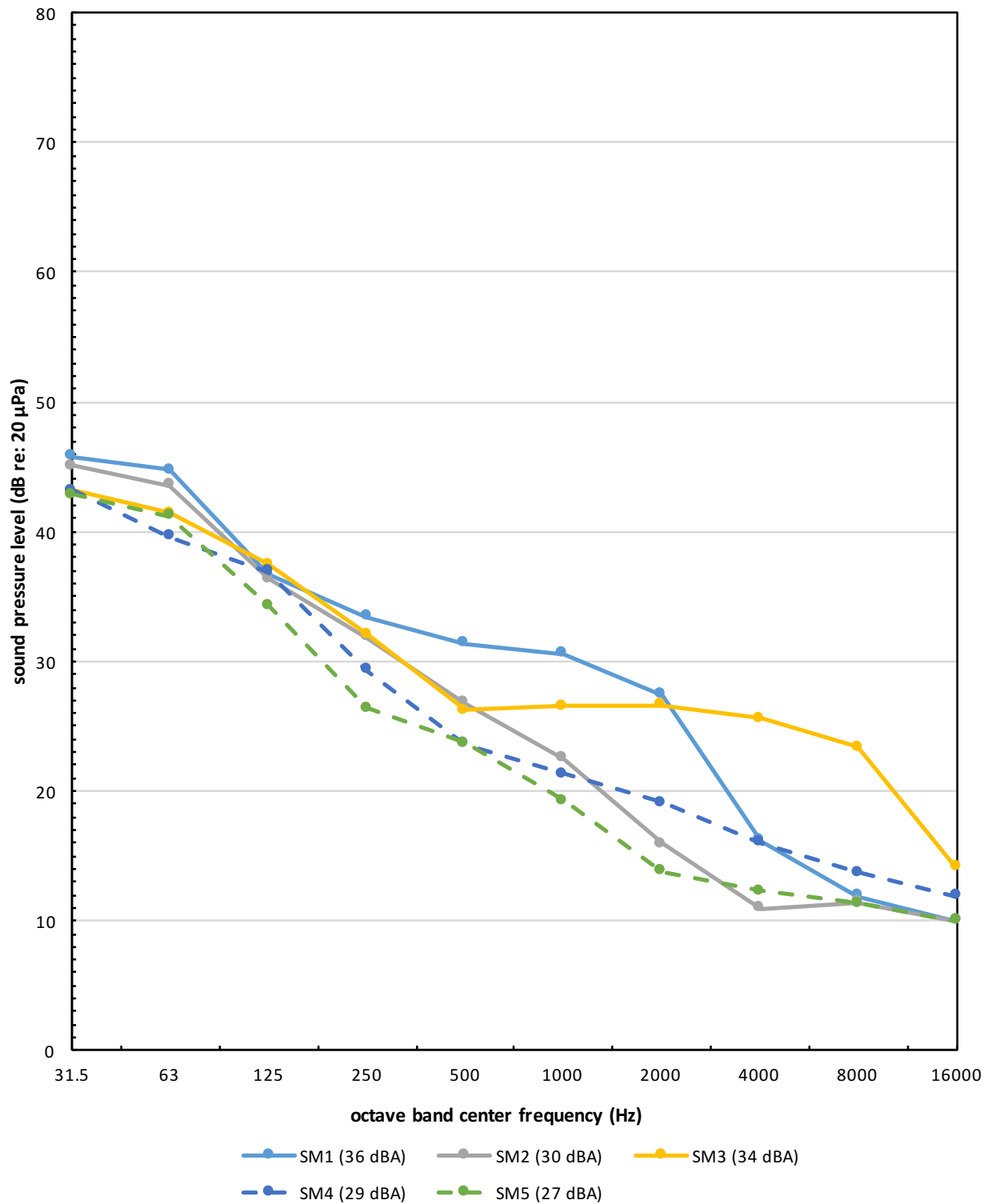
Low Frequency
("Boomy")



$$\text{Frequency (Hz)} = \frac{\text{cycles}}{\text{second}}$$

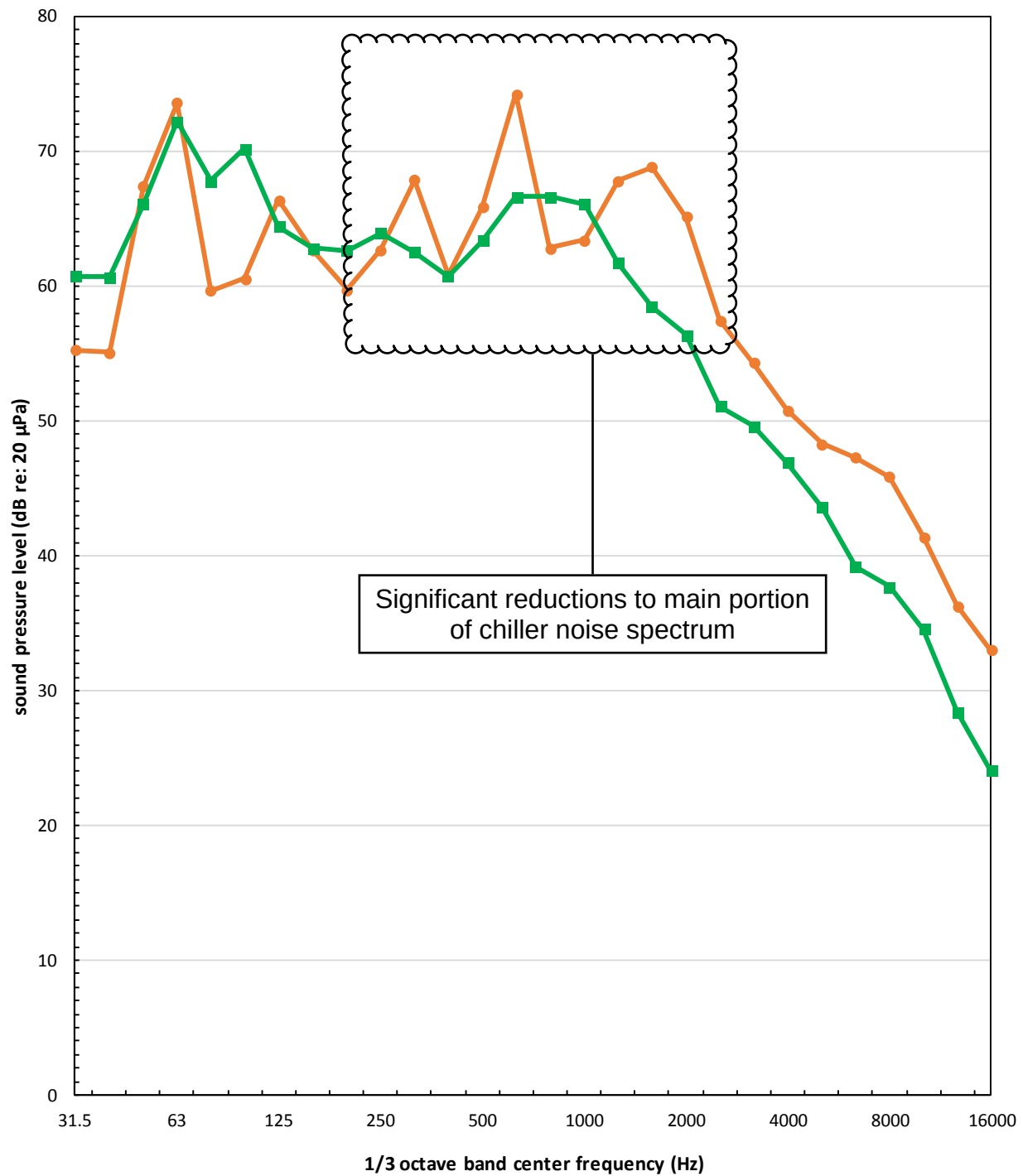


Sound measurement locations (SM1- SM5)

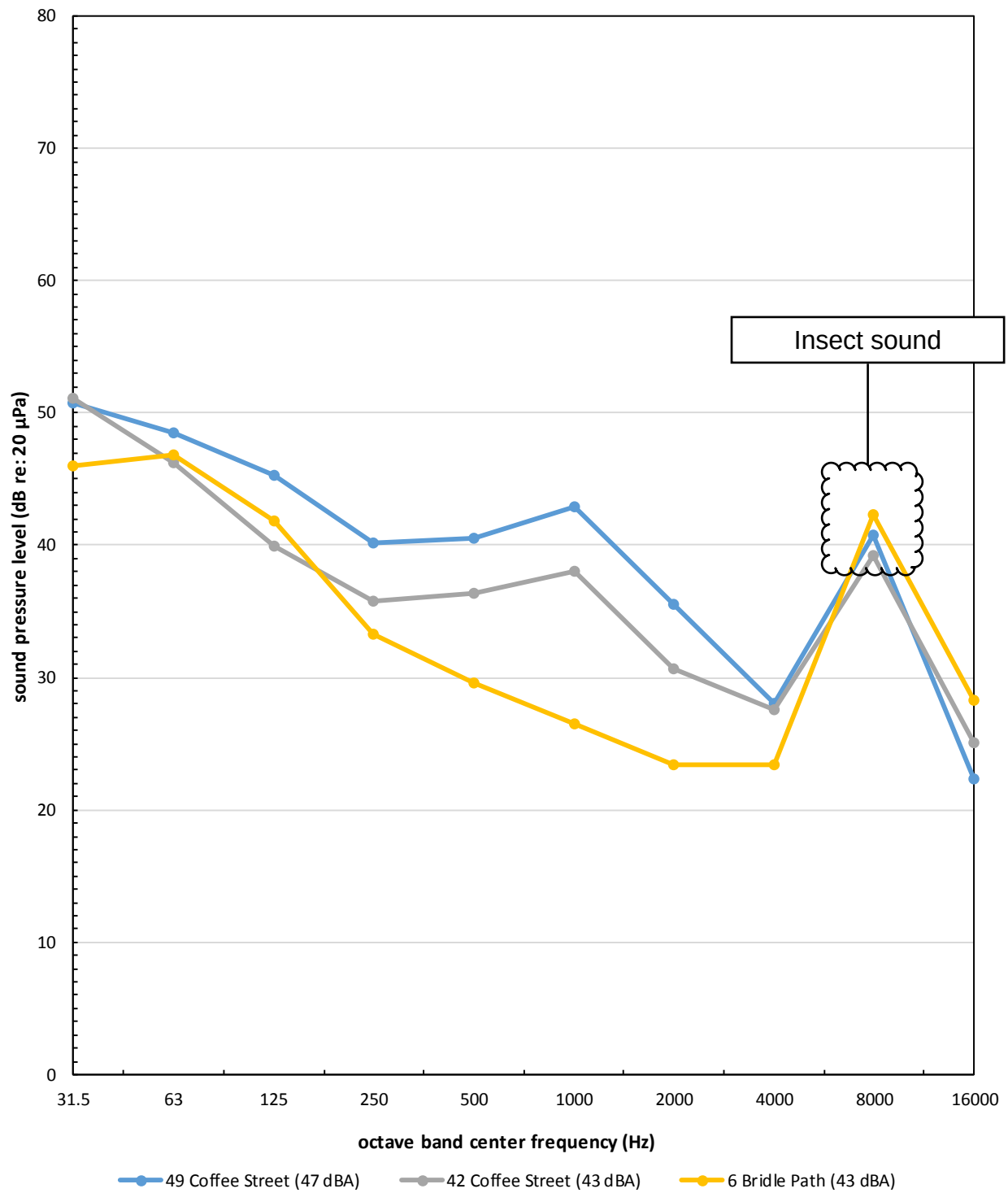


Late-night sound levels measured in community surrounding CommCan

from May 15, 2018 report



Measured sound levels at 30 ft from chiller, on rooftop along long side,
before and after noise controls



Daytime sound levels measured in community surrounding CommCan

from September 10, 2018 report



November 13, 2018
Medway Planning & Economic Development Board
Meeting

Applegate Subdivision – Amendment to
Tri-Partite Agreement

- 11/7/18 email from attorney Melissa McCarthy of KP Law with an update on the continuing negotiations on the amendment to the Applegate Tri-Partite Agreement.
- Revised draft amendment dated 11/7/18 provided in TRACK CHANGES mode to show revisions since the previous version.

I recommend the PEDB sign this version of the amendment to the Applegate Tri-Partite Agreement.

Susan Affleck-Childs

From: Melissa P. McCarthy <MMcCarthy@k-plaw.com>
Sent: Wednesday, November 07, 2018 4:10 PM
To: Susan Affleck-Childs; Carolyn M. Murray
Cc: Barbara Saint Andre
Subject: RE: Medway: Applegate Farms Tri-Partite Agreement
Attachments: KP-#651267-v1-MEDW_Applegate_First_Amendment_to_Tripartite_as_of_11_7_18.DOCX; First Amendement to Tripartiate as of 11.7.18 with track changes.docx

Susy,

We received additional minor comments from the bank and Mr. Costello which are reflected on the attached. I am attaching a track change version which shows the changes from the version that Carolyn sent on October 19, 2018 and a clean version.

Mr. Costello's attorney also asked if there were any funds left in the cash account that he funded and replenished for road construction. If there are, he asked that those funds be applied to the \$1,000 escrow for the taxes/recording fee. Is there a cash account and, if so, are there any funds remaining?

Setting aside that remaining question, I believe the Amendment is in final form.

Please let me know if you have any questions.

Thank you,

Melissa P. McCarthy, Esq.

KP | LAW

101 Arch Street, 12th Floor

Boston, MA 02110

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mmccarthy@k-plaw.com

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From: Susan Affleck-Childs [mailto:sachilds@townofmedway.org]
Sent: Tuesday, November 06, 2018 11:55 AM
To: Carolyn M. Murray <CMurray@k-plaw.com>
Cc: Barbara Saint Andre <bsaintandre@townofmedway.org>; Melissa P. McCarthy <MMcCarthy@k-plaw.com>
Subject: RE: Medway: Applegate Farms Tri-Partite Agreement

Hi all,

Just checking in to see if there are any updates on the amendment to the Applegate Farms Tri-Partite Agreement??

Did you have a chance to consider my comment included in my last email to you on October 22 re: securing conveyance documents from Mr. Costello for Applegate Road?

Susan E. Affleck-Childs
Planning and Economic Development Coordinator
Town of Medway
155 Village Street
Medway, MA 02053
508-533-3291

From: Susan Affleck-Childs
Sent: Monday, October 22, 2018 7:57 AM
To: 'Carolyn M. Murray'
Cc: Barbara Saint Andre; Melissa P. McCarthy
Subject: RE: Medway: Applegate Farms Tri-Partite Agreement

Thanks so much.

Had another thought on all this . . what about conveyance of the road and the various drainage and utility easements to the Town!?!? Seems like we should get all those from Mr. Costello as well!?!?

Susan E. Affleck-Childs
Planning and Economic Development Coordinator
Town of Medway
155 Village Street
Medway, MA 02053
508-533-3291

From: Carolyn M. Murray [<mailto:CMurray@k-plaw.com>]
Sent: Friday, October 19, 2018 2:06 PM
To: Susan Affleck-Childs
Cc: Barbara Saint Andre; Melissa P. McCarthy
Subject: Medway: Applegate Farms Tri-Partite Agreement

All,

Attached is a further revised Tri-Partite Agreement for Applegate Farms Subdivision. We received revisions from attorneys for the bank and developer, which then caused some inconsistencies within the agreement as to when the Bank and Developer are released from their obligations.

We have further revised the agreement to state that the developer is released upon executing this agreement and deed for parcel A and payment of \$1,000 in current and prospective taxes. The funds for taxes will be held in escrow by us and used to pay taxes when owed, until the deed is recorded. The Bank will be released from its obligations upon completion of the work, up to the amount of available funds, or upon turning over the available funds to the Town, whichever occurs sooner.

Please review and let me know if you have any questions or concerns. Meanwhile, in the interest of moving this along, we will share this draft with the attorneys for the bank and developer.

Thank you,

Carolyn M. Murray, Esq.

KP | LAW

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**FIRST AMENDMENT TO TRI-PARTITE AGREEMENT TO SECURE
CONSTRUCTION OF WAYS AND INSTALLATION OF MUNICIPAL SERVICES FOR
APPELEGATE FARM SUBDIVISION**

THIS FIRST AMENDMENT TO TRI-PARTITE AGREEMENT (“First Amendment”) is entered into as of ~~October~~November __, 2018, by and between the Town of Medway, acting through its Planning & Economic Development Board, with an address of 155 Village Street, Medway, Massachusetts 02053 (hereinafter referred to as the “Board”), Ralph M. Costello, Trustee of Cedar Trail Trust u/d/t October 15, 1992, and recorded with the Norfolk Registry of Deeds in Book 9591, Page 536 (“Developer”) and Needham Bank, with an address of 1063 Great Plain Avenue, Needham, Massachusetts 02492 (the “Bank”), collectively referred to as the “Parties.”

WHEREAS, the Parties entered into a tri-partite agreement entitled “Land Subdivision – Form O, Performance Secured by Lender’s Agreement” on February 10, 2016 (the “Tri-Partite Agreement”) to secure the construction of ways and installation of municipal services in accordance with G.L. c. 41, §81U, and all other applicable rules and regulations, in the Applegate Subdivision shown on a subdivision plan entitled “Amended Definitive Subdivision ‘Applegate Farm’ Medway, Massachusetts” prepared by GLM Engineering Consultants, Inc., dated February 20, 2013 and recorded with the Norfolk County Registry of Deeds in Plan Book 635 Page 26 (the “Subdivision”), whereby Developer and Bank bound and obligated themselves, jointly and severally, to the Town in the amount of Two Hundred Ninety Thousand Nine Hundred Sixty-Nine Dollars (\$290,969.00) (“Available Funds”) to insure the completion by the Developer of the construction of ways and installation of municipal services;

WHEREAS, pursuant to Section 2 of the Tri-Partite Agreement the Developer was required to complete the construction of ways and the installation of municipal services in the Subdivision by October 22, 2017;

WHEREAS, the construction of ways and the installation of municipal services in the Subdivision was not completed by October 22, 2017;

WHEREAS, the Bank has agreed to arrange for and fund the completion of the required construction of ways and the installation of municipal services in the Subdivision by a third party general contractor selected by the Bank (the “Contractor”) provided that such funding shall be limited to the extent of the Available Funds;

WHEREAS, the Developer agrees to allow the Bank to arrange for the completion of the required construction of ways and the installation of municipal services in the Subdivision by a third party and to take any action necessary to cooperate with the Bank to facilitate such undertaking;

NOW THEREFORE, for good and valuable consideration, the adequacy and receipt of which are hereby acknowledged, the Parties hereby agree to amend the 2016 Tri-Partite Agreement as follows:

1. The scope of work to complete the construction of ways and installation of municipal services in the Subdivision as prioritized by the Board is attached hereto as Exhibit A ("Scope of Work"). The Bank shall retain the Contractor to perform the Scope of Work provided that the payments by the Bank to the Contractor for the Scope of Work shall be limited to the extent of the Available Funds. The Bank shall ensure that the work listed in the Scope of Work shall be completed in the order of priority and shall not be modified, unless the Parties agree to such modification in writing.

2. The Bank shall use reasonable efforts to complete as much of the Scope of Work as possible to the extent of the Available Funds and to avoid waste of the Available Funds. The Bank shall direct its selected Contractor(s) to perform the work items listed on the Scope of Work in the order of priority as established by the Board in Exhibit A. Prior to the commencement of work, the Bank shall submit to the Board a copy of the cost estimate(s) for the Scope of Work (or items within the Scope of Work) from the Contractor(s) to whom the Bank intends to select to perform the work. Thereafter, the Bank shall submit on a monthly basis copies of all invoices with an itemization of the work performed pursuant to said invoices.

3. The work undertaken by the Contractor shall be inspected by the Board's engineering consultant, Tetra Tech. The Bank shall fund the services of Tetra Tech in the amount of \$10,194.00 (the "Tetra Tech Costs") pursuant to G.L c. 44, §53G, and such funds shall be received by the Board no later than two weeks after the commencement of work by the Bank's selected Contractor(s). The Tetra Tech Costs, once paid for by the Bank, shall reduce the amount of Available Funds.

4. A consulting engineer, registered in the Commonwealth of Massachusetts (the "Consulting Engineer"), shall be retained and paid for by the Bank (the "Consulting Engineer's Costs") to certify as to the completion of the Scope of Work which shall be subject to approval by the Board in consultation with Tetra Tech. Any payment by the Bank of the Consulting Engineer's Costs shall reduce the amount of Available Funds.

5. The Bank shall receive a "credit" which reduces its obligations under the Tri-Partite Agreement for every dollar that it applies from the Available Funds to the Scope of Work, the Tetra Tech Payment, the Consulting Engineer's Costs or any other costs which may arise in connection with the Scope of Work (provided that such costs have been approved by the Board in writing which writing may be in email format from an authorized member of the Board). The Bank shall provide copies of paid invoices to the Board on at least a monthly basis.

6. The Bank shall assume responsibility for the on-going maintenance and upkeep of the Subdivision's roadway and infrastructure, including the stormwater management facilities, in accordance with the Subdivision's Operation and Maintenance Plan until such time as the roads are accepted as Town ways by Town Meeting. ~~Upon such occurrence, the Bank and the Developer, subject only to compliance with paragraphs 7 and 9 herein, shall be relieved and released from any further obligations under the Tripartite Agreement as amended and shall have no further responsibility for the completion of the Scope of Work, provided that at no time shall Bank's responsibility for such maintenance and upkeep and expenditure of funds exceed the Available Funds.~~

7. The Bank shall provide the Town with street acceptance plans in accordance with the Medway Subdivision Rules and Regulations.

8. Upon substantial completion of the Scope of Work as certified by the Consulting Engineer and upon confirmation by Tetra Tech, the Board and the Bank may agree that any remaining Available Funds may be advanced to the Town in lieu of completion of additional work that may be required for the construction of ways and the installation of municipal services in the Subdivision beyond the Scope of Work. ~~Upon such occurrence, the Bank and the Developer, subject only to compliance with paragraphs 7 and 9 herein, shall have no further responsibility for the completion of the Scope of Work under the Tripartite Agreement as amended.~~

9. Upon the execution of this First Amendment, Developer will provide the necessary Quitclaim Deed to convey the street and drainage parcel, known as Parcel A as shown on the Subdivision Plan, also identified as Assessors Map 32, Parcel 016 and known as 0 Applegate Road to the Town of Medway, in the form attached hereto as Exhibit B. Developer also shall deposit an amount of \$1,000.00 with the Board's legal counsel to be held in escrow for payment of currently owed and anticipated property taxes relative to the drainage parcel and the recording fee to record said Quitclaim Deed with the Norfolk Registry of Deeds and following acceptance of ~~the Town wayssaid parcels~~ by Town Meeting, the Town shall record said Quitclaim Deed with said Registry and return to the Bank any of said escrow amount in excess of the amount required to pay said taxes and recording fee which would otherwise be due to the Developer.

10. Upon the earlier of the acceptance of the road by Town Meeting or the advance of all remaining Available Funds by the Bank to the Town and receipt of which shall be acknowledged by the Town, ~~the~~ Bank and the Developer shall be deemed relieved and released from any further obligations under the Tripartite Agreement as amended, subject only to their respective compliance with paragraphs 7 and 9 herein.

11. The time for the completion of the construction of ways and installation of municipal services under the Tri-Partite Agreement shall be extended to one year from the date of this Agreement.

12. Ralph M. Costello, Trustee of the Cedar Trail Trust u/d/t October 15, 1992, and recorded with the Norfolk Registry of Deeds in Book 9591, Page 536 (the "Trust") hereby certifies as follows: (a) that he is the sole Trustee of the Trust; (b) that the Trust is in full force and effect as of the date hereof and has not been altered, amended, revoked or terminated except as appears of record; (c) the Trustee of the Trust has the authority to act and have full and absolute power under said Trust to convey any interest in real estate and improvements thereon held in said Trust, and to subject the Trust property to the covenants set forth herein, and no purchaser or third party shall be bound to inquire whether the Trustee has said power or is properly exercising said power or to see to the application of any trust asset paid to the Trustee for a conveyance thereof; (d) that the Trustee has been duly authorized and directed by all beneficiaries of the Trust to make and convey the above described covenants to the Town of Medway and to take any action,

execute and deliver any instrument, certificate of other documents, necessary to consummate the foregoing on behalf of the Trust; (e) that there are no facts which constitute conditions precedent to acts by the Trustee or which are in any other manner germane to the affairs of the Trust; and (f) that no beneficiary is a corporation selling all or substantially all of its Massachusetts assets, or personal representative of an estate subject to estate tax liens, or is now deceased, and all the beneficiaries of said Trust who are natural persons, if any, are of full age.

13. In all other respects, the Tri-Partite Agreement remains in full force and effect.

[Signature Pages Follow]

IN WITNESS WHEREOF we have hereunto set our hands and seals as of the date first written above.

**TOWN OF MEDWAY
PLANNING & ECONOMIC DEVELOPMENT BOARD**

COMMONWEALTH OF MASSACHUSETTS

NORFOLK, SS

On this _____ day of _____, 2018, before me, the undersigned notary public, personally appeared the following Members of the Town of Medway Planning & Economic Development Board _____

_____ proved to me through satisfactory evidence of identification which was personal knowledge, to be the persons whose names are signed on the preceding document, and acknowledged to me that it was signed voluntarily for its stated purpose.

Notary Public
My Commission expires:

DEVELOPER

Ralph M. Costello, Trustee of Cedar Trail Trust

COMMONWEALTH OF MASSACHUSETTS

NORFOLK, SS

On this _____ day of _____, 2018, before me, the undersigned notary public, personally appeared Ralph M. Costello, in his capacity as Trustee of Cedar Trail Trust proved to me through satisfactory evidence of identification which was (personal knowledge) (Massachusetts' driver's license) to be the person whose name is signed on the preceding document, and acknowledged to me that he signed voluntarily for its stated purpose.

Notary Public
My Commission expires:

NEEDHAM BANK

By: _____
Joseph Campanelli
Its: President

COMMONWEALTH OF MASSACHUSETTS

NORFOLK, SS

On this _____ day of _____, 2018, before me, the undersigned notary public, personally appeared Joseph Campanelli, President of Needham Bank, proved to me through satisfactory evidence of identification which was (personal knowledge) (Massachusetts' driver's license) to be the person whose name is signed on the preceding document, and acknowledged to me that he signed voluntarily for its stated purpose.

Notary Public
My Commission expires:

EXHIBIT A – SCOPE OF WORK

TRI-PARTITE AGREEMENT FOR APPELATE FARM SUBDIVISION

EXHIBIT B – QUITCLAIM DEED



November 13, 2018
Medway Planning & Economic Development Board
Meeting

New Medway DPS Building
46 Broad Street
Informal, Pre-application Site Plan
Discussion

- Preliminary site plan dated 11/8/18

Attending will be Bryan Jarvis from Compass Project Management (Owner's Project Manager,) Gregg Yanchenko from HKA (Architect), and Peter Glick from SMMA Engineering.

Please note that Bob Tucker, who works for Compass Project Management, will need to recuse himself from participating in this agenda item discussion.



MEDWAY NEW DEPARTMENT OF
PUBLIC SERVICES FACILITY
PERSPECTIVE DRAWING



MEDWAY GIS MAP
SCALE: 1"=500'



USGS MAP
SCALE: 1"=2,000'

LIST OF DRAWINGS:

- C-001 COVER SHEET
- C-100 SITE CONTEXT SHEET *not issued*
- C-101 EXISTING CONDITIONS PLAN I (BY SMMA)
- C-102 EXISTING CONDITIONS PLAN II (BY SMMA)
- C-111 SITE PREPARATION PLAN I (BY SMMA) *not issued*
- C-112 SITE PREPARATION PLAN II (BY SMMA) *not issued*
- C-121 LAYOUT & MATERIALS PLAN (BY SMMA)
- C-131 GRADING AND UTILITIES PLAN I (BY SMMA)
- C-132 GRADING AND UTILITIES PLAN II (BY SMMA)
- C-501 DETAILS I (BY SMMA) *not issued*
- C-502 DETAILS II (BY SMMA) *not issued*
- C-503 DETAILS III (BY SMMA) *not issued*
- C-504 DETAILS IV (BY SMMA) *not issued*
- L-101 LANDSCAPE PLAN (BY HKA) *not issued*
- A-101 FIRST FLOOR PLAN (BY HKA)
- A-102 SECOND FLOOR PLAN AND LOWER ROOF PLAN (BY HKA)
- A-301 EXTERIOR ELEVATIONS SHEET 1 (BY HKA)
- A-302 EXTERIOR ELEVATIONS SHEET 2 (BY HKA)
- E-101 ELECTRICAL SITE PLAN *not issued*



TOWN OF
MEDWAY
NEW DPW FACILITY

OWNER:
TOWN OF MEDWAY
155 VILLAGE STREET
MEDWAY, MA 02053

ARCHITECT:
HELENE • KARL
Architects, Inc.
61 Skyfields Drive, Groton, Massachusetts 01450

CIVIL ENGINEER:
SYMME, MAINI & McKEE ASSOCIATES
1000 MASSACHUSETTS AVENUE
CAMBRIDGE, MA 02138

STRUCTURAL ENGINEER:
SYMME, MAINI & McKEE ASSOCIATES
1000 MASSACHUSETTS AVENUE
CAMBRIDGE, MA 02138

MECHANICAL ENGINEER:
SEAMAN ENGINEERING CORP.
22 WEST STREET, UNIT C
MILLBURY, MA 01527

ELECTRICAL ENGINEER:
DOWR J. MURPHY, JR. ELECTRICAL
CONSTRUCTION AND ENGINEERING, INC.
379 LIBERTY STREET
ROCKLAND, MA 02370

11/08/18	ISSUED FOR PRE-APPLICATION MEETING VI PLANNING BOARD
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REV	DATE	DESCRIPTION
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DATE	
SCALE	AS NOTED
DRAWN BY	ACO
CHECKED BY	PSG
PROJECT NO.	18043.00

BUILDING:

SHEET TITLE:

COVER
SHEET

DRAWING NO.

C-001

PROGRESS SET - NOT FOR CONSTRUCTION



MEDWAY NEW DEPARTMENT OF
PUBLIC SERVICES FACILITY
PERSPECTIVE DRAWING



MEDWAY GIS MAP
SCALE: 1"=500'



USGS MAP
SCALE: 1"=2,000'

LIST OF DRAWINGS:

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MEDWAY
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155 VILLAGE STREET
MEDWAY, MA 02053

ARCHITECT:
HELENE • KARL
Architects, Inc.
61 Skyfields Drive, Groton, Massachusetts 01450

CIVIL ENGINEER:
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1000 MASSACHUSETTS AVENUE
CAMBRIDGE, MA 02138

STRUCTURAL ENGINEER:
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1000 MASSACHUSETTS AVENUE
CAMBRIDGE, MA 02138

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22 WEST STREET, UNIT C
MILLBURY, MA 01527

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CONSTRUCTION AND ENGINEERING, INC.
379 LIBERTY STREET
ROCKLAND, MA 02370

11/08/18	ISSUED FOR PRE-APPLICATION MEETING VI PLANNING BOARD
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REV	DATE	DESCRIPTION
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DRAWN BY	ACO
CHECKED BY	PSG
PROJECT NO.	18043.00

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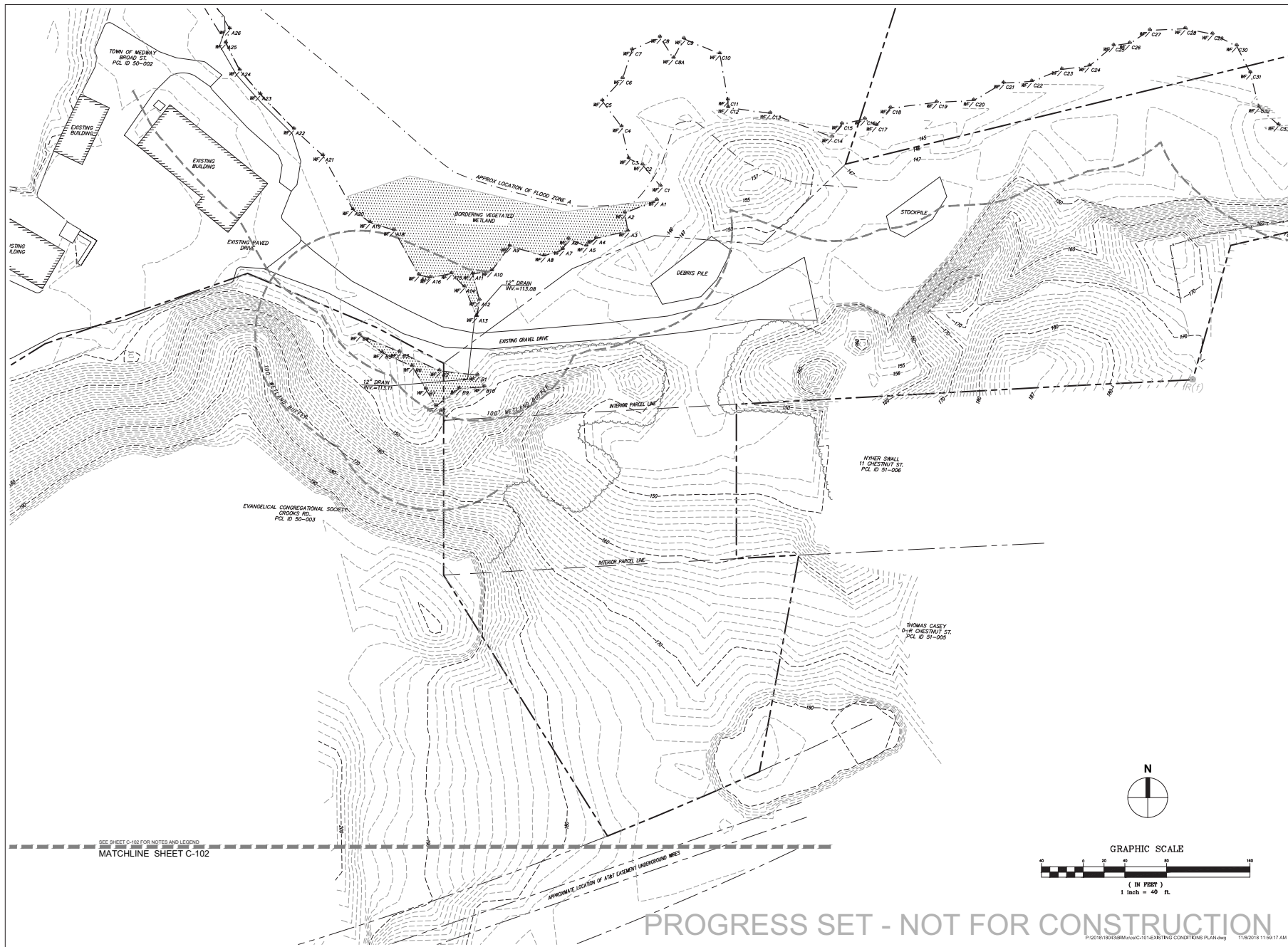
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COVER
SHEET

DRAWING NO.

C-001

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TOWN OF MEDWAY

NEW DPW FACILITY

OWNER:

TOWN OF MEDWAY
155 VILLAGE STREET
MEDWAY, MA 02053

ARCHITECT:

HELENE • KARL
Architects, Inc.
61 Skyfield Drive, Grafton, Massachusetts 01460

CIVIL ENGINEER:

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1000 MASSACHUSETTS AVENUE
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STRUCTURAL ENGINEER:

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CAMBRIDGE, MA 02138

MECHANICAL ENGINEER:

SEAMAN ENGINEERING CORP.
22 WEST STREET, UNIT C
MILLBURY, MA 01527

ELECTRICAL ENGINEER:

JOHN J. MURPHY, JR. ELECTRICAL
CONSTRUCTION AND ENGINEERING, INC.
379 LIBERTY STREET
ROCKLAND, MA 02370

11/08/18 ISSUED FOR PRE-APPLICATION
MEETING WITH TOWN BOARD

REV DATE DESCRIPTION

DATE

SCALE 1" = 40'

DRAWN BY ACO

CHECKED BY PSG

PROJECT NO. 18043.00

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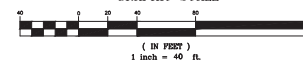
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CONDITIONS
PLAN I

DRAWING NO.

C-101



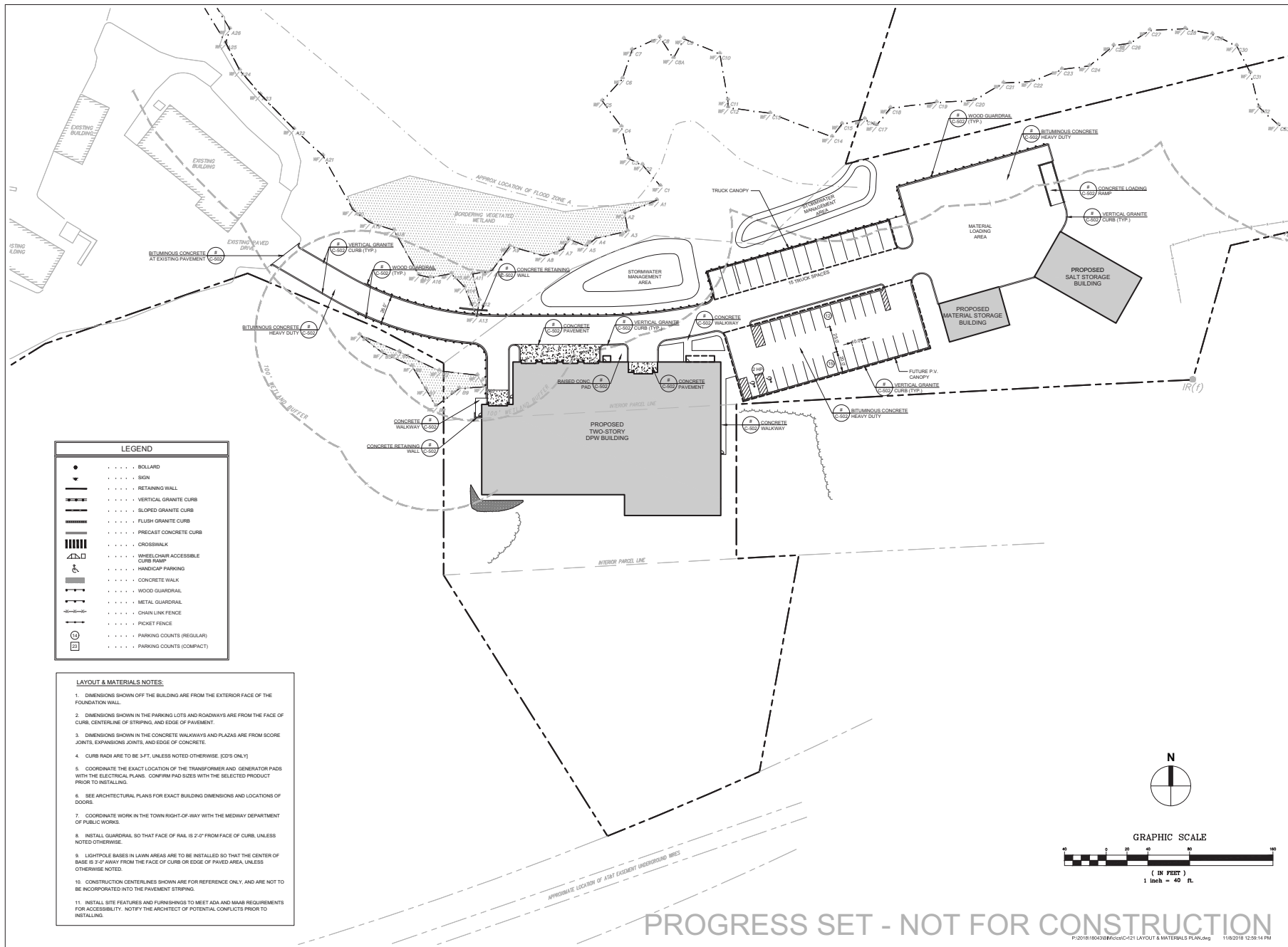
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PROGRESS SET - NOT FOR CONSTRUCTION

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C-102



TOWN OF MEDWAY

NEW DPW FACILITY

OWNER:
TOWN OF MEDWAY
155 VILLAGE STREET
MEDWAY, MA 02053

ARCHITECT:
HELENE • KARL
Architects, Inc.
61 Skyfield Drive, Groton, Massachusetts 01470

CIVIL ENGINEER:
SYMMES, MAINI & McKEE ASSOCIATES
1000 MASSACHUSETTS AVENUE
CAMBRIDGE, MA 02138

STRUCTURAL ENGINEER:
SYMMES, MAINI & McKEE ASSOCIATES
1000 MASSACHUSETTS AVENUE
CAMBRIDGE, MA 02138

MECHANICAL ENGINEER:
SEAMAN ENGINEERING CORP.
22 WEST STREET, UNIT C
MILLBURY, MA 01527

ELECTRICAL ENGINEER:
JOHN J. MURPHY, JR. ELECTRICAL
CONSTRUCTION AND ENGINEERING, INC.
379 LIBERTY STREET
ROCKLAND, MA 02370

STAMP

11/08/18 ISSUED FOR PRE-APPLICATION
MEETING REVIEWING BOARD

REV DATE DESCRIPTION

DATE

SCALE 1" = 40'

DRAWN BY ACO

CHECKED BY PSG

PROJECT NO. 18043.00

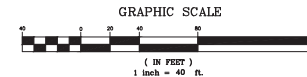
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SHEET TITLE:

LAYOUT &
MATERIALS
PLAN

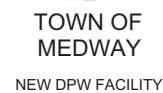
DRAWING NO.

C-121



PROGRESS SET - NOT FOR CONSTRUCTION

P:\2018\18043\BIM\c-121 LAYOUT & MATERIALS PLAN.dwg 11/8/2018 12:58:14 PM



ARCHITECT:
 **HELENE • KARL**
Architects, Inc.
61 Skyfields Drive, Groton, Massachusetts 01450

STRUCTURAL ENGINEER:
SYMMES, MAINI & McKEE ASSOCIATES
1000 MASSACHUSETTS AVENUE
CAMBRIDGE, MA 02138

ELECTRICAL ENGINEER:
JOHN J. MURPHY, JR. ELECTRICAL
CONSTRUCTION AND ENGINEERING, INC.
379 LIBERTY STREET
ROCKLAND, MA 02370

STAMP

	11/08/18	ISSUED FOR PRE-APPLICATION MEETING WITH PLANNING BOARD
REV	DATE	DESCRIPTION

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SCALE	1" = 40'
DRAWN BY	ACO
CHECKED BY	PSG
PROJECT NO.	18043.00

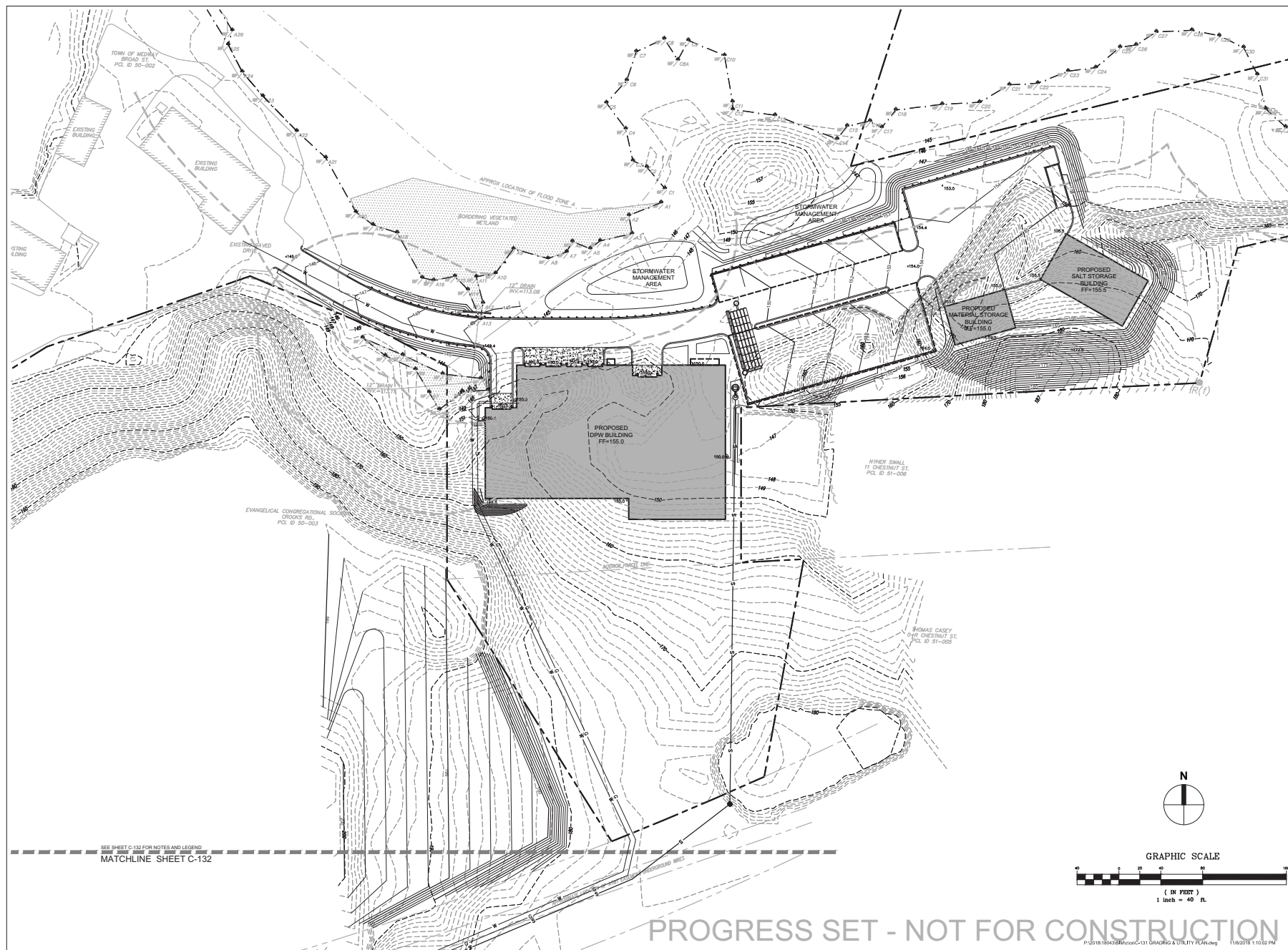
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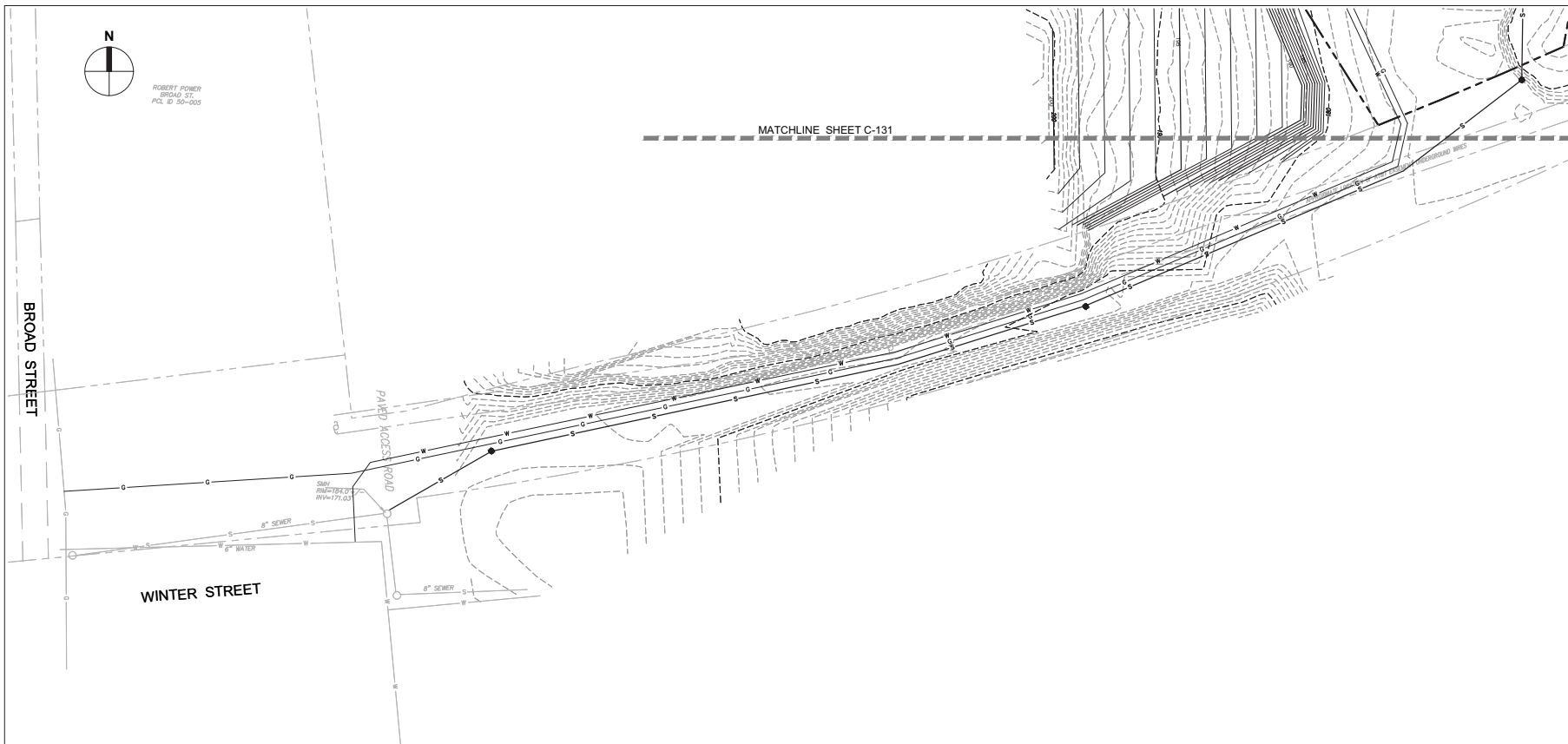
SHEET TITLE:

GRADING &
UTILITY
PLAN I

DRAWING NO.

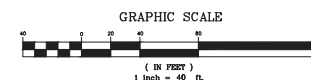
C-131





LEGEND			
	FLARED END SECTION		DRY WELL
	WATER GATE		SPOT GRADE
	TRENCH DRAIN		CONTOUR
	SEWER MANHOLE		TOP OF CURB
	DRAIN MANHOLE		BOTTOM OF CURB
	TELEPHONE MANHOLE		FINISH FLOOR ELEVATION
	ELECTRIC MANHOLE		RIM ELEVATION
	CATCH BASIN		INVERT ELEVATION
	HYDRANT		RIPRAP
	WATER LINE		CORRUGATED METAL PIPE
	DRAIN LINE		POLYVINYL CHLORIDE PIPE
	SEWER LINE		REINFORCED CONCRETE PIPE
	GAS LINE		CORRUGATED POLYETHYLENE PIPE
	ELECTRIC LINE		CEMENT LINE DUCTILE IRON PIPE
	TELEPHONE LINE		POST INDICATOR VALVE
	DOMESTIC SERVICE		ROOF DRAIN
	FIRE PROTECTION SERVICE		CAST IRON
	FORCE MAIN		DRAIN INLET
	ROOF DRAIN		CLEAN OUT
	OIL WATER SEPARATOR		LIMIT OF WORK

PROGRESS SET - NOT FOR CONSTRUCTION



TOWN OF MEDWAY NEW DPW FACILITY

OWNER:
TOWN OF MEDWAY
155 VILLAGE STREET
MEDWAY, MA 02053

ARCHITECT:
HELENE • KARL
Architects, Inc.
61 Skyfields Drive, Grafton, Massachusetts 01450

CIVIL ENGINEER:
SYMMES, MAINI & MCKEE ASSOCIATES
1000 MASSACHUSETTS AVENUE
CAMBRIDGE, MA 02138

STRUCTURAL ENGINEER:
SYMMES, MAINI & MCKEE ASSOCIATES
1000 MASSACHUSETTS AVENUE
CAMBRIDGE, MA 02138

MECHANICAL ENGINEER:
SEAMAN ENGINEERING CORP.
22 WEST STREET, UNIT C
MILLBURY, MA 01527

ELECTRICAL ENGINEER:
JOHN J. MURPHY, JR. ELECTRICAL
CONSTRUCTION AND ENGINEERING, INC.
379 LIBERTY STREET
ROCKLAND, MA 02370

STAMP

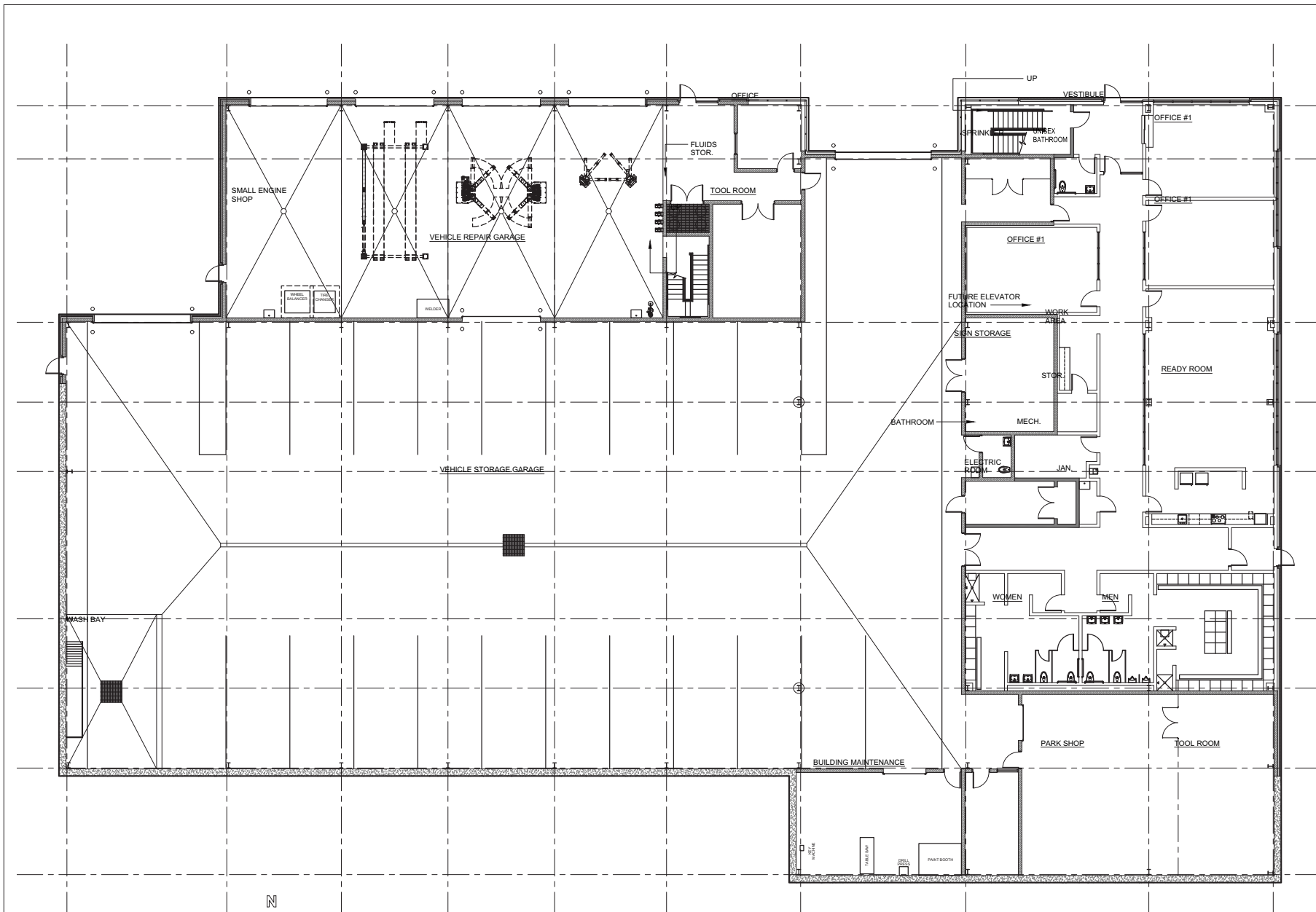
11/08/18 ISSUED FOR PRE-APPLICATION
SUBJECTING VISIONING BOARD

REV	DATE	DESCRIPTION

DATE
SCALE 1" = 40'
DRAWN BY ACO
CHECKED BY PSG
PROJECT NO. 18043.00
BUILDING:
SHEET TITLE:
GRADING &
UTILITY
PLAN II

DRAWING NO.
C-132

P:\2018\18043\BIM\CD\C-131 GRADING & UTILITY PLAN.dwg 11/8/2018 1:10:28 PM



1 FIRST FLOOR PLAN
SCALE: 1/8"=1'-0"



PROGRESS SET - NOT FOR CONSTRUCTION



TOWN OF MEDWAY

NEW DPW FACILITY

OWNER:

TOWN OF MEDWAY
155 VILLAGE STREET
MEDWAY, MA 02053

ARCHITECT:

HELENE • KARL
Architects, Inc.
61 Skyfield Drive, Grafton, Massachusetts 01450

CIVIL ENGINEER:

SYMMES, MAINI & McKEE ASSOCIATES
1000 MASSACHUSETTS AVENUE
CAMBRIDGE, MA 02138

STRUCTURAL ENGINEER:

SYMMES, MAINI & McKEE ASSOCIATES
1000 MASSACHUSETTS AVENUE
CAMBRIDGE, MA 02138

MECHANICAL ENGINEER:

SEAMAN ENGINEERING CORP.
22 WEST STREET, UNIT C
MILLBURY, MA 01527

ELECTRICAL ENGINEER:

JOHN J. MURPHY, JR., ELECTRICAL
CONSTRUCTION AND ENGINEERING, INC.
379 LIBERTY STREET
ROCKLAND, MA 02370

REV	DATE	DESCRIPTION
1	11/08/18	ISSUED FOR PRE-APPLICATION MEETING WITH TOWN BOARD

DATE	1/8" = 1'-0"
SCALE	
DRAWN BY	ACO
CHECKED BY	PSG
PROJECT NO.	18043.00

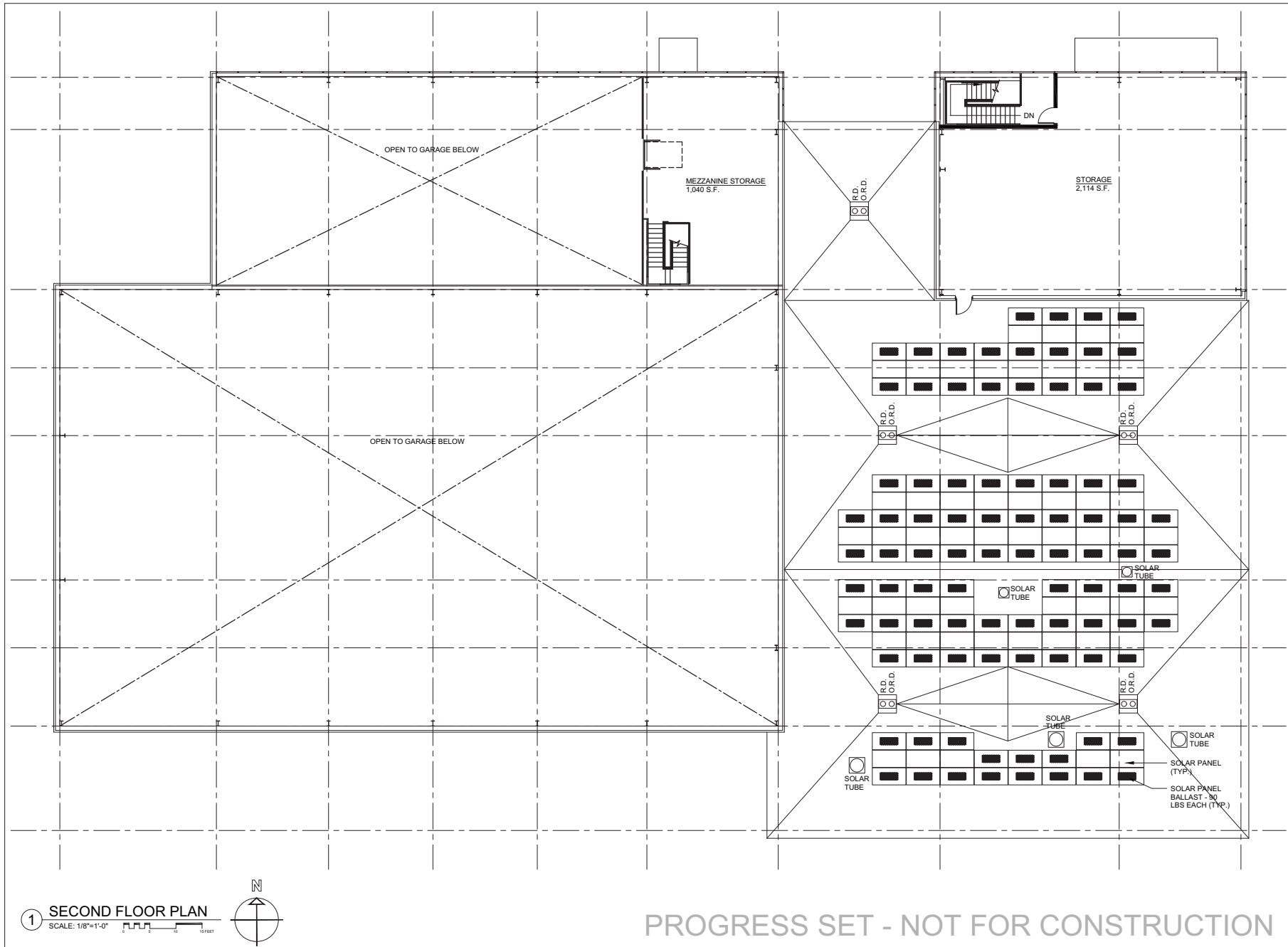
BUILDING:

SHEET TITLE:

FIRST FLOOR PLAN

DRAWING NO.

A-101



TOWN OF MEDWAY

NEW DPW FACILITY

OWNER:
TOWN OF MEDWAY
155 VILLAGE STREET
MEDWAY, MA 02053

ARCHITECT:
HELENE • KARL
Architects, Inc.
61 Skyfield Drive, Grafton, Massachusetts 01460

CIVIL ENGINEER:
SYMME, MAINI & MCKEE ASSOCIATES
1000 MASSACHUSETTS AVENUE
CAMBRIDGE, MA 02138

STRUCTURAL ENGINEER:
SYMME, MAINI & MCKEE ASSOCIATES
1000 MASSACHUSETTS AVENUE
CAMBRIDGE, MA 02138

MECHANICAL ENGINEER:
SEAMAN ENGINEERING CORP.
22 WEST STREET, UNIT C
MILLBURY, MA 01527

ELECTRICAL ENGINEER:
EDWARD J. MURPHY, JR. ELECTRICAL
CONSTRUCTION AND ENGINEERING, INC.
379 LIBERTY STREET
ROCKLAND, MA 02370

REV	DATE	DESCRIPTION
11/08/18	ISSUED FOR PRE-APPLICATION MEETING VULNERABILITY BOARD	

DATE	
SCALE	1/8" = 1'-0"
DRAWN BY	ACO
CHECKED BY	PSG
PROJECT NO.	18043.00

BUILDING:

SHEET TITLE:

SECOND FLOOR AND
LOWER ROOF PLAN

DRAWING NO.
A-102

PROGRESS SET - NOT FOR CONSTRUCTION



TOWN OF MEDWAY

NEW DPW FACILITY

OWNER:
TOWN OF MEDWAY
155 VILLAGE STREET
MEDWAY, MA 02053

ARCHITECT:
HELENE • KARL
Architects, Inc.
61 Skyfield Drive, Groton, Massachusetts 01450

CIVIL ENGINEER:
SYMME, MAINI & McKEE ASSOCIATES
1000 MASSACHUSETTS AVENUE
CAMBRIDGE, MA 02138

STRUCTURAL ENGINEER:
SYMME, MAINI & McKEE ASSOCIATES
1000 MASSACHUSETTS AVENUE
CAMBRIDGE, MA 02138

MECHANICAL ENGINEER:
SEAMAN ENGINEERING CORP.
22 WEST STREET, UNIT C
MILLBURY, MA 01527

ELECTRICAL ENGINEER:
DOWR J. MURPHY, JR. ELECTRICAL
CONSTRUCTION AND ENGINEERING, INC.
379 LIBERTY STREET
ROCKLAND, MA 02370

REV	DATE	DESCRIPTION
11/08/18		ISSUED FOR PRE-APPLICATION MEETING VILLAGE PLANNING BOARD

DATE	SCALE	1/8" = 1'-0"
	DRAWN BY	ACO
	CHECKED BY	PSG
	PROJECT NO.	18043.00

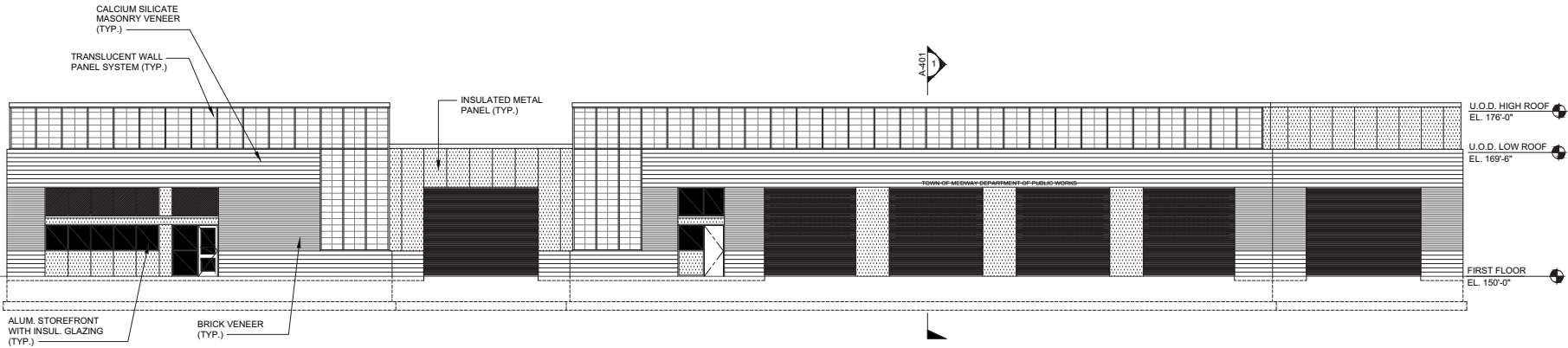
BUILDING:

SHEET TITLE:

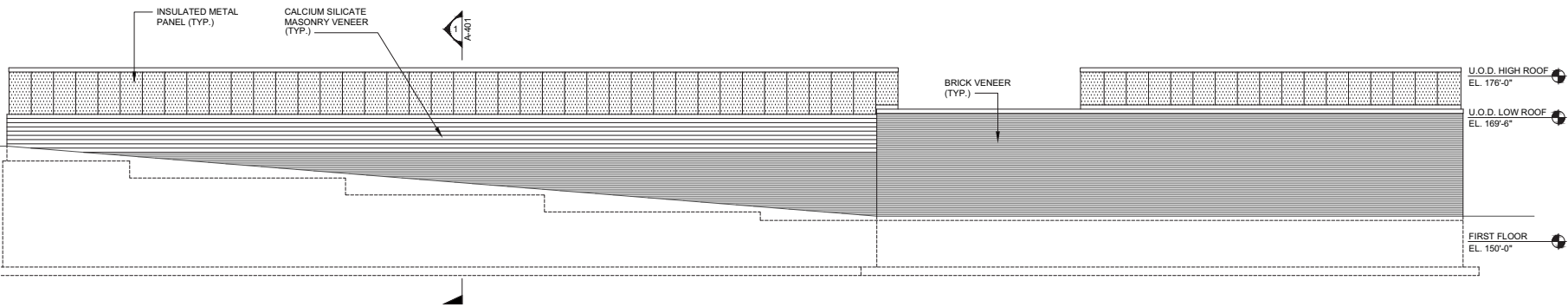
EXTERIOR
ELEVATIONS
SHEET 1

DRAWING NO.

A-301

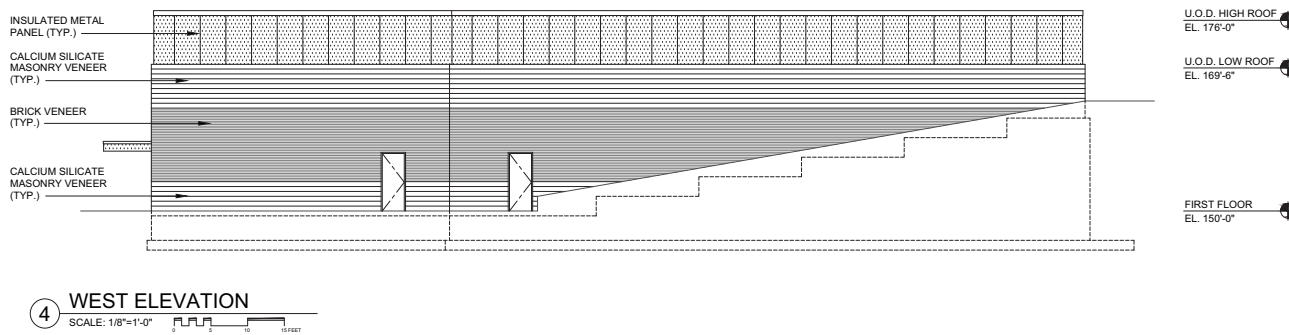
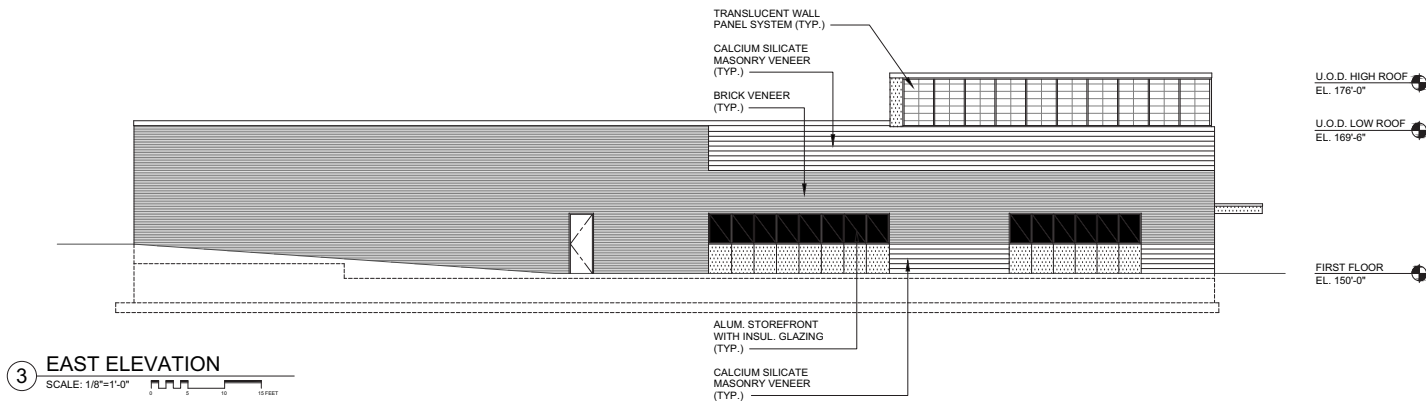


1 NORTH ELEVATION
SCALE: 1/8"=1'-0"



2 SOUTH ELEVATION
SCALE: 1/8"=1'-0"

PROGRESS SET - NOT FOR CONSTRUCTION



TOWN OF MEDWAY

NEW DPW FACILITY

OWNER:
TOWN OF MEDWAY
155 VILLAGE STREET
MEDWAY, MA 02053

ARCHITECT:
HELENE • KARL
Architects, Inc.
61 Skyfield Drive, Grafton, Massachusetts 01460

CIVIL ENGINEER:
SYMMES, MAINI & MCKEE ASSOCIATES
1000 MASSACHUSETTS AVENUE
CAMBRIDGE, MA 02138

STRUCTURAL ENGINEER:
SYMMES, MAINI & MCKEE ASSOCIATES
1000 MASSACHUSETTS AVENUE
CAMBRIDGE, MA 02138

MECHANICAL ENGINEER:
SEAMAN ENGINEERING CORP.
22 WEST STREET, UNIT C
MILLBURY, MA 01527

ELECTRICAL ENGINEER:
DOWR J. MURPHY, JR. ELECTRICAL
CONSTRUCTION AND ENGINEERING, INC.
379 LIBERTY STREET
ROCKLAND, MA 02370

REV	DATE	DESCRIPTION
	11/08/18	ISSUED FOR PRE-APPLICATION MEETING W/PLANNING BOARD

DATE	
SCALE	1/8" = 1'-0"
DRAWN BY	ACO
CHECKED BY	PSG
PROJECT NO.	18043.00

BUILDING:

SHEET TITLE:

**EXTERIOR
ELEVATIONS
SHEET 2**

DRAWING NO.

A-302

PROGRESS SET - NOT FOR CONSTRUCTION



November 13, 2018
Medway Planning & Economic Development Board
Meeting

APPOINTMENT TO THE DESIGN
REVIEW COMMITTEE

- Resume of Rachel Wolff Lander

The DRC has an opening. Two candidates expressed interest in the position and have met with the DRC. Rachel Wolff Lander is the recommended individual.

Rachel is teaching a class Tuesday night and will stop by the PEDB meeting after 8:30 pm to meet you.

I recommend the PEDB appoint Rachel Wolff Lander to the Design Review Committee for a term through June 30, 2020.

Susan Affleck-Childs

From: RACHEL LANDER <wolfflander@comcast.net>
Sent: Monday, July 09, 2018 2:36 PM
To: Planning Board
Subject: Medway Design Review
Attachments: RWL resume.pdf

Good afternoon,

I am interested in learning more about the Medway Design Review volunteer position you are looking to fill.

A little about me, I am an Art Director for a local conservation organization. I have over 20 years experience as a graphic designer in various industries: fortune 500 companies, advertising agencies, publishing companies, design firms, and my freelance work has ranged from non-profit to medical equipment companies.

My resume is attached. I look forward to hearing from you to learn more about this opportunity.

Best,

RACHEL WOLFF LANDER

508-533-5011

Rachel Wolff Lander Art Direction and Design

3 Richard Road • Medway, MA 02053 • 508-533-5011 • wolfflander@comcast.net • www.wolfflander.com

Summary

A highly dedicated art director with 23 years experience in creative profession. A passion for fresh and original creative solutions. A hands-on approach to the entire creative process means that each project is created with the utmost attention from concept to final delivery. A strong communicator with the ability to convey ideas clearly to clients as well as to designers, copywriters and web developers.

Accomplished in all phases of design, print production and project management. Advanced knowledge of MAC, OS, Adobe Suite, QuarkXpress, Email Marketing, Image DataBase Management System.

Design Experience

New England Wild Flower Society Framingham, MA Art Director, Production and Publications Manager 2008–Present

- Project management of all graphic design jobs for the Society
- Collaborates with various departments on job scheduling, budgets, concepts and design
- Works closely with printers to get the best quality printing, while working within budget
- Leads Society's Visual Resource Committee to catalog photo library and update formats
- Manages and works closely with the image database specialist
- Leader of re-branding for Society Membership Magazine
- Responsible for interpretive and retail plant sales signage in the botanical garden
- Custom designed Society branded products
- Hires and manages photographers, designers on a project basis

Self Employed Medway, MA Freelance Graphic Designer 1990–Present

Past Clients:

- Art House Greetings
- Burlington Group
- Brigham & Women's Hospital
- Commonwealth Creative Associates
- Educational Development Center (EDC)
- ETC. Home Designs
- Fit2Play
- Griffin Publishing Company
- Hotel@MIT
- Manasian, Inc.
- Massachusetts Bar Association
- Mass Society for the Prevention of Cruelty to Children
- Medical Records Institute
- New England Wild Flower Society
- Northeastern University
- Puritan Food Company
- Save Our Heritage
- Sudbury Valley Trustees
- Sunshine Farm
- Sybase, Inc.
- The Spilled Pint Studio
- The Walden Woods Project

Design Experience

Commonwealth Creative Associates **Framingham, MA** **Senior Art Director** **1999–2001**

- Responsibilities included concept development, client and account manager meetings for input and presentation
 - Project management and direction for a team of designers
 - Creative lead for all non-profit business
-

Ruby Shoes Studio **Wellesley, MA** **Senior Communications Designer** **1998-1999**

- Working with the Creative Director in the research and execution of design concepts
 - Creating corporate collateral with a cohesive look for advertisements and promotions
 - Project management duties (including finalizing digital files for printing, color proofing, and press approvals)
-

Advance Placement Agency **Contract Graphic Designer** **1997-1998**

Clients:

- Banta Publishing
 - Gilstpur Exhibit Group
 - Sybase Inc.
 - The Robbins Company
-

Griffin Publishing Company **Rockland, MA** **Art Director** **1993-1997**

- Layout design for five monthly trade newspapers
- Designed advertisements and marketing material for advertiser's promotions
- Created corporate sales, and marketing collateral
- Managed and supervised in-house designers, hired and directed freelancers
- Oversaw print production, press approvals and printing bids

Education**Massachusetts College of Art
Boston, MA**

- Continuing Education in Graphic Design, 2D and 3D Fine Arts
-

**New England School of Art and Design
Boston, MA**

- Graphic Design Certificate
-

**Quincy Community College
Quincy, MA**

- Liberal Arts in Humanities
-

**Butera School of Art
Boston, MA**

- Certificate in Graphic Design and Painting
-

**Other Skills, Interests
and Hobbies**

- 200 hour Certified Vinyasa Yoga Instructor
- Level 1 Reiki Practitioner
- Level 1 MovNat Certified Instructor
- Artist, dabbling in charcoal drawing, writing and illustrating a children's book
- Charitable event committee member and hosting to raise money and awareness for food pantries and animal shelters. Involved with local government campaigns.
- Avid gardener and environmentalist



November 13, 2018
Medway Planning & Economic Development Board
Meeting

CONSTRUCTION REPORTS

- CTS Site Plan, 9 Trotter Drive – Report #2, 10-25-18
- Merrimack Site Plan, 20 Trotter Drive
Report #17, 10-18-18
Report #18, 10-25-18
Report #19, 11-1-18
Report #20, 11-11-18
- Exelon report from Beals & Thomas, 10-17-2018
- Exelon monthly report, 10-29-18
- **BETA Daily report on Exelon, 9-6-2018**
- Country Cottage – Report #6, 8-10-18
- Country Cottage – Report #7, 8-24-18
- Country Cottage – Report #9, 11-1-18
- Medway Green – Report #8, 10-30-18
- Medway Green- Report #9, 11-1-18

Tetra Tech
100 Nickerson Road, Suite 200
Marlborough, MA 01752

FIELD REPORT

Project Converting Technical Services Facility	Date 10/25/2018	Report No. 2
Location 9 Trotter Drive, Medway, MA	Project No. 143-21583-18008	Sheet 1 of 2
Contractor Barrows Contracting (Site Contractor)	Weather A.M. CLOUDY, 58% HUMID.	Temperature A.M. 40°F

FIELD OBSERVATIONS

On Wednesday, October 25, 2018, Bradley Picard from Tetra Tech (TT) visited the project location to inspect the current condition of the site and monitor construction progress. The following report outlines observations made during the site visit.

1. Observations

- A. General site conditions: dry ground surface that is relatively firm with some softer areas. Construction entrance from Trotter Dr. is stabilized with rock material. Silt fence barrier (SFB) is installed around the site perimeter and is in good condition. Filter socks are placed just inside the SFB and were observed on the E side of the property. A filter bag was observed in an existing catch basin on the northbound side of Trotter Dr. The Trotter Dr. roadway has light sediment tracking due to construction traffic.
- B. Building foundation is in place and laborers are placing concrete blocks along the front of the building.
- C. Sewer manhole is set and buried adjacent to stabilized construction entrance. Trench for sewer line is being excavated, with screened gravel base in place. Steel plates have been placed on Trotter Dr. where tie-in occurred.
- D. Trench for water line is open, Contractor waiting for Town approval to continue excavating the trench towards the building. Steel plates have been placed on Trotter Dr. where tie-in occurred.

CONTRACTOR'S FORCE AND EQUIPMENT						WORK DONE BY OTHERS	
Sup't		Bulldozer		Asphalt Paver		Dept. or Company	Description of Work
Foreman	1	Backhoe		Asphalt Reclaimer		Bostonian Brick and Stone	Placement of CMU Blocks
Laborers	6	Loader	1	Vib. Roller			
Drivers		Rubber Tire Backhoe/Loader		Static Roller			
Oper. Engr.	1	Skid Steer		Vib. Walk Comp.			
Carpenters		Hoeram		Compressor			
Masons		Excavator	2	Jack Hammer			
Iron Workers		Grader		Power Saw			
Electricians		Crane		Conc. Vib.			
Flagpersons		Scraper		Tack Truck			
Surveyors		Conc. Mixer		Man Lift			
Roofers		Conc. Truck		Skidder		OFFICIAL VISITORS TO JOB	
Mechanical/HVAC		Conc. Pump Truck					
		Pickup Truck					
		Tri-Axle Dump Truck	1				
		Trailer Dump Truck					
Police Details: N/A						RESIDENT REPRESENTATIVE FORCE	
Contractor's Hours of Work: 7:00 A.M. to 6:00 P.M.						Name	Time on-site
						Bradley Picard	8:45 A.M. – 9:30 P.M.

NOTE: Please use reverse side for remarks and sketches

Project Converting Technical Services Facility	Date 10/25/2018	Report No. 2
Location 9 Trotter Drive, Medway, MA	Project No. 143-21583-18008	Sheet 2 of 2

FIELD OBSERVATIONS CONTINUED

2. Schedule

- A. Inspections for water line and sewer line will be conducted today (10/25). After inspection, water and sewer lines will be placed up to the building by the end of the day.
- B. Paving is anticipated within 2 to 3 weeks. Within that time, site grading and installation of concrete flow diffusers will need to be completed per the plans.

3. New Action Items

- A. N/A

4. Previous Open Action Items

- A. N/A

5. Materials Delivered to Site Since Last Inspection:

- A. CMU Blocks
- B. Screened Gravel
- C. Fill Material for Trenches
- D. Steel Plates

Tetra Tech
100 Nickerson Road, Suite 200
Marlborough, MA 01752

FIELD REPORT

Project Merrimack Building Supply	Date 10/18/2018	Report No. 17
Location 20 Trotter Drive, Medway, MA	Project No. 143-21583-17004	Sheet 1 of 2
Contractor Barrows Contracting (Site Contractor)	Weather A.M. SUNNY, WINDY, 47% HUMIDITY	Temperature A.M. 40°F

FIELD OBSERVATIONS

On Thursday, October 18, 2018, David Homan from Tetra Tech (TT) visited the project location to inspect the current condition of the site and monitor construction progress. The following report outlines observations made during the site visit.

1. Observations

- A. General site conditions: Damp to wet conditions sitewide. Relatively firm to somewhat softened unpaved construction areas are prevalent across the site. Considerable erosion/vehicle tracking onto existing site driveway with minor carry over to Trotter Dr. Silt fence barrier (SFB) is installed around the site perimeter. Filter socks are placed just inside the SFB. Both are intact and in good condition. Numerous areas of stockpiled soil, sand, gravel, stumps, rock and asphalt were noted across portions of the site, as were construction materials and heavy equipment.
- B. Building construction is ongoing, though no work activities are presently taking place. The remaining unfinished area of the building addition floor has now been poured with concrete.

CONTRACTOR'S FORCE AND EQUIPMENT						WORK DONE BY OTHERS	
Sup't	1	Bulldozer		Asphalt Paver		Dept. or Company	Description of Work
Foreman		Backhoe		Asphalt Reclaimer		Dennis DiGiando	Oversight
Laborers	1	Loader	1	Vib. Roller			
Drivers		Rubber Tire Backhoe/Loader	1	Static Roller			
Oper. Engr.	2	Skid Steer		Vib. Walk Comp.			
Carpenters		Hoeram		Compressor			
Masons		Excavator	1	Jack Hammer			
Iron Workers		Grader		Power Saw			
Electricians		Crane		Conc. Vib.			
Flagpersons		Scraper		Tack Truck			
Surveyors		Conc. Mixer		Man Lift	1+		
Roofers		Conc. Truck		Telehandler		OFFICIAL VISITORS TO JOB	
Mechanical/HVAC		Conc. Pump Truck		Drill rig (drilling/blasting)			
Plumbers		Pickup Truck		Mechanical Sweeper	1		
Pipe Fitters		Tri-Axle Dump Truck					
Carpenters		Trailer Dump Truck					
Police Details: N/A						RESIDENT REPRESENTATIVE FORCE	
Contractor's Hours of Work: 7:00 A.M. to 6:00 P.M.						Name	Time on-site
						David Homan	8:40 A.M. – 9:20 A.M.

NOTE: Please use reverse side for remarks and sketches

Project Merrimack Building Supply	Date 10/18/2018	Report No. 17
Location 20 Trotter Drive, Medway, MA	Project No. 143-21583-17004	Sheet 2 of 2

FIELD OBSERVATIONS CONTINUED

- C. The site contractor is currently backfilling and compacting around the newly constructed and completed loading dock ramp walls at the NW corner of the existing building. Existing site fill material is being used for backfilling. The area just NNW of the NNW loading dock ramp wall is undergoing preparations to continue the 6" poly drain line that will connect the rooftop stormwater drain system at the materials storage shed to the 12" poly drain line currently capped off at the existing building's NW corner.
- D. No further progress has been made on the rain garden, drainage swales, forebay or infiltration basin. The remaining construction of these areas is likely to be subcontracted to a landscape and hardscape specialist. Currently the forebay is partially filled with stormwater.
- E. The site water and fire suppression lines are complete with testing, including chlorination performed yesterday (10/17). Town of Medway has requested a second test be conducted approximately 48 hours after the first; scheduled for tomorrow (10/19). Note: the sewer line from SMH-1 to SMH-1A has been encased in concrete where it intersects the newly installed 6" fire suppression line. The sewer line encasement extends about 10-12' on either side of the fire suppression line crossing.
- F. A small trench excavation advanced previously along the SSE side of the building addition from the new single door back to the gas pipe stub (recently installed) is still awaiting further pipe line construction. The trench has been lined with sand for underground installation and continuation of the recently installed above ground gas line from the existing gas meter to the gas pipe stub.

2. Schedule

- A. A second test of newly installed water & fire suppression lines is expected on Friday (10/19).
- B. Ongoing load out of fill and debris (namely boulders, stumps and asphalt).
- C. Further backfilling and compacting of loading dock construction area (remainder of this week and possibly into next week).
- D. Continued construction of subsurface rooftop stormwater drain line from materials storage shed at NNW area of site to the rain garden.

3. New Action Items

- A. N/A

4. Previous Open Action Items

- A. Amend plan to install DMH-1 considering discovery of underground utilities at location of proposed installation. Note: Installation of structure is still on hold and under consideration. The communications provider is allegedly not amenable to the idea of relocating the communications lines in the way of DMH-1 and the remaining drain line connecting DMH-2 to DMH-1.
- B. Water leak at SSE side of existing building discovered recently during shallow exploratory test pit has been discovered and fixed (replaced old water service line with new).

5. Materials Delivered to Site Since Last Inspection:

- A. Concrete/building construction materials

Tetra Tech
100 Nickerson Road, Suite 200
Marlborough, MA 01752

FIELD REPORT

Project Merrimack Building Supply	Date 10/25/2018	Report No. 18
Location 20 Trotter Drive, Medway, MA	Project No. 143-21583-17004	Sheet 1 of 2
Contractor Barrows Contracting (Site Contractor)	Weather P.M. SUNNY, BREEZY, 43% HUMIDITY	Temperature P.M. 50°F

FIELD OBSERVATIONS

On Thursday, October 25, 2018, David Homan from Tetra Tech (TT) visited the project location to inspect the current condition of the site and monitor construction progress. The following report outlines observations made during the site visit.

1. Observations

- A. General site conditions: Damp to wet conditions sitewide (some standing water). Relatively firm to somewhat softened unpaved construction areas are prevalent across the site. Considerable erosion/vehicle tracking onto existing site driveway with minor carry over to Trotter Dr. Silt fence barrier (SFB) is installed around the site perimeter. Filter socks are placed just inside the SFB. Both are intact and in good condition. Numerous areas of stockpiled soil, gravel, concrete, rock and asphalt were noted across portions of the site, as were construction materials and heavy equipment.
- B. Building construction is ongoing, though no work activities are presently taking place. Installation of sheathing on the addition ENE and SSE (towards the ESE corner) walls is in progress.
- C. More site spoils (boulders, stumps, fill, etc...) have been removed for offsite disposal/recycling. Loam is currently being stockpiled in the vicinity of the forebay and infiltration basin by the landscape contractor. Construction of the crushed stone apron NNW of the forebay and infiltration basin is in progress.

CONTRACTOR'S FORCE AND EQUIPMENT						WORK DONE BY OTHERS	
Sup't	1	Bulldozer		Asphalt Paver		Dept. or Company	Description of Work
Foreman		Backhoe		Asphalt Reclaimer		Dennis DiGiando	Oversight
Laborers	2+	Loader	1	Vib. Roller		R.P. Marzilli	Landscaping/loam
Drivers		Rubber Tire Backhoe/Loader		Static Roller			
Oper. Engr.	1	Skid Steer		Vib. Walk Comp.			
Carpenters		Hoeram		Compressor			
Masons		Excavator	1	Jack Hammer			
Iron Workers		Grader		Power Saw			
Electricians		Crane		Conc. Vib.			
Flagpersons		Scraper		Tack Truck			
Surveyors		Conc. Mixer		Man Lift	1+		
Roofers		Conc. Truck		Telehandler		OFFICIAL VISITORS TO JOB	
Mechanical/HVAC		Conc. Pump Truck		Drill rig (drilling/blasting)			
Plumbers		Pickup Truck	3+	Mechanical Sweeper	1		
Pipe Fitters		Tri-Axle Dump Truck					
Carpenters		Trailer Dump Truck					
Police Details: N/A						RESIDENT REPRESENTATIVE FORCE	
Contractor's Hours of Work: 7:00 A.M. to 6:00 P.M.						Name	Time on-site
						David Homan	2:20 P.M. – 3:25 P.M.

NOTE: Please use reverse side for remarks and sketches

Project Merrimack Building Supply	Date 10/25/2018	Report No. 18
Location 20 Trotter Drive, Medway, MA	Project No. 143-21583-17004	Sheet 2 of 2

FIELD OBSERVATIONS CONTINUED

- D. The site contractor has completed the installation of DMH-4 with sump, the remaining run of 12" poly drain pipe from DMH-5 to DMH-4, the 6" trench drain outlet pipe from the loading dock ramp to DMH-4 and the remaining 6" poly drain pipe from the materials storage shed to the NNW corner of the existing building where it transitions to 12" poly drain pipe. The structure and all piping were backfilled with appropriate crushed stone prior to backfill and compaction of onsite fill material.
- E. The former concrete septic tank was removed and broken up earlier this week (currently stockpiled with asphalt and other site spoils to be removed). Town of Medway Board of Health department was present during removal of the septic tank.
- F. Water introduced to the new site water and fire suppression lines failed the second part of the first test following chlorination and flushing. A second test will be performed in the coming days.

2. Schedule

- A. Tomorrow (10/26), plumbers/gasfitters are expected to complete installation of underground portion of gas line previously started on SSE side of existing building from gas meter to a point along the new addition.
- B. Landscaping is anticipated to begin this Friday (10/26) and Saturday (10/27), weather permitting.
- C. On Saturday (10/27), the site contractor expects to install additional sections of 12" poly drain pipe from a point where left off previously towards proposed DMH-1, weather permitting.
- D. Further water testing is anticipated for Friday (10/26) and Monday (10/29).
- E. Delivery of trench drain system expected for Monday (10/29) with installation expected mid-week next week.
- F. Deliveries of dense grade base course material are expected for Monday (10/29) and Tuesday (10/30).
- G. Engineer of record is expected back onsite Tuesday (10/30) for addition layout work.
- H. Grinding of existing pavement is expected to begin Monday (11/5) with binder paving anticipated for Friday (11/9) and/or Saturday (11/10)
- I. Site contractor is expecting to continue removing spoils and grading site as needed prior to paving activities.

3. New Action Items

- A. N/A

4. Previous Open Action Items

- A. Amend plan to install DMH-1 considering discovery of underground utilities at location of proposed installation. Note: Installation of structure is still on hold and under consideration. The communications provider is allegedly not amenable to the idea of relocating the communications lines in the way of DMH-1 and the remaining drain line connecting DMH-2 to DMH-1.
- B. Water leak at SSE side of existing building discovered recently during shallow exploratory test pit has been discovered and fixed (replaced old water service line with new).

5. Materials Delivered to Site Since Last Inspection:

- A. Loam
- B. Building construction materials

Tetra Tech
100 Nickerson Road, Suite 200
Marlborough, MA 01752

FIELD REPORT

Project Merrimack Building Supply	Date 11/1/2018	Report No. 19
Location 20 Trotter Drive, Medway, MA	Project No. 143-21583-17004	Sheet 1 of 3
Contractor Barrows Contracting (Site Contractor)	Weather P.M. SUN & CLOUDS, CALM, 79% HUMIDITY	Temperature P.M. 63°F

FIELD OBSERVATIONS

On Thursday, November 1, 2018, David Homan from Tetra Tech (TT) visited the project location to inspect the current condition of the site and monitor construction progress. The following report outlines observations made during the site visit.

1. Observations

- A. General site conditions: Damp to wet conditions sitewide (some standing water). Relatively firm to somewhat softened unpaved construction areas are prevalent across the site. Considerable erosion/vehicle tracking onto existing site driveway with minor carry over to Trotter Dr. Silt fence barrier (SFB) is installed around the site perimeter. Filter socks are placed just inside the SFB. Both are intact and in good condition except at a small area near the central region of the site (see letter I.). Numerous areas of stockpiled soil, gravel, concrete, rock and asphalt were noted across portions of the site, as were construction materials and heavy equipment.
- B. Building construction is ongoing, though primarily carpentry including the ongoing installation of sheathing on the addition ENE and SSE (towards the ESE corner) walls, which is in the final stages.
- C. Currently the site contractor is cutting down the grade in the region of the proposed landscape island S of the building (existing & addition). Portions of the proposed driveway near the proposed landscape island, and the proposed customer parking area have been graded and compacted via vibratory roller. Site spoils (boulders, stumps, fill, etc...) continue to be removed for offsite disposal/recycling or reused onsite (where appropriate).

CONTRACTOR'S FORCE AND EQUIPMENT						WORK DONE BY OTHERS	
Sup't		Bulldozer	1	Asphalt Paver		Dept. or Company	Description of Work
Foreman		Backhoe		Asphalt Reclaimer		Carpenters	Sheathing/walls
Laborers	1+	Loader	1	Vib. Roller	1	Fence contractor	Guardrail at loading dock
Drivers		Rubber Tire Backhoe/Loader		Static Roller			
Oper. Engr.	1	Skid Steer		Vib. Walk Comp.	1		
Carpenters	2	Hoeram		Compressor			
Masons		Excavator	1	Jack Hammer			
Iron Workers		Grader		Power Saw			
Electricians		Crane		Conc. Vib.			
Flagpersons		Scraper		Tack Truck			
Surveyors		Conc. Mixer		Man Lift	1+		
Roofers		Conc. Truck		Telehandler		OFFICIAL VISITORS TO JOB	
Mechanical/HVAC		Conc. Pump Truck		Drill rig (drilling/blasting)			
Plumbers		Pickup Truck	2+	Mechanical Sweeper	1		
Pipe Fitters		Tri-Axle Dump Truck					
Carpenters		Trailer Dump Truck					
Police Details: N/A						RESIDENT REPRESENTATIVE FORCE	
Contractor's Hours of Work: 7:00 A.M. to 6:00 P.M.						Name	Time on-site
						David Homan	12:30 P.M. – 1:50 P.M.

NOTE: Please use reverse side for remarks and sketches

Project Merrimack Building Supply	Date 11/1/2018	Report No. 19
Location 20 Trotter Drive, Medway, MA	Project No. 143-21583-17004	Sheet 2 of 3

FIELD OBSERVATIONS CONTINUED

- D. A fence/guardrail contractor has been engaged and is presently installing wood guardrail on metal posts alongside the loading dock ramp concrete retaining walls. The trench drain system is installed at the base of the loading dock ramp below the existing overhead door and is partially backfilled with sand.
- E. The landscape contractor has spread loam in and around the swales, forebay and infiltration basin. Work was performed last Thursday through Saturday per the site contractor. Construction of the crushed stone apron NNW of the forebay and infiltration basin is still in progress. Currently, the forebay and infiltration basin are partially filled with water.
- F. The site contractor has installed two additional 20' lengths of 12" poly drain pipe onto the pipe run from DMH-2 to proposed DMH-1. There is a steel road plate in place over the current end of the run with an estimated 100' more to go before making the connection to DMH-1. Piping has been backfilled with appropriate crushed stone prior to backfill and compaction of onsite fill material.
- G. The plumbers/gasfitters have completed installation of the underground portion of gas line previously started on the SSE side of the existing building from the gas meter to a point along the new addition. The metal gas pipe has been surrounded in sand and partially backfilled with site fill material, which has been placed along the addition SSE wall extending about 12' out from the building to raise the grade for future continuation of existing stone retaining wall. Additional lengths of the metal gas pipe are expected to be backfilled in the same manner as further grading takes place.
- H. Water introduced to the new site water and fire suppression lines failed the second part of the second test following chlorination and flushing procedures. The first part of the second test was performed on Friday (10/26), the results of which passed. The second part of the second test was performed Monday (10/29) and like the second part of the first test, failed to meet acceptable standards.
- I. A tractor trailer has been removed from the central region of the site, where the removal of existing portions of asphalt and clearing of brush has taken place to create a riverfront disturbance area with hydro seeded wildlife mix. Presently the SFB and compost filter socks have been removed in the area to permit access for work activities. The SFB and straw wattle are expected to be put back in place in the near future.

2. Schedule

- A. Further water testing is anticipated for Friday (11/2) and Monday (11/5).
- B. Grinding of existing pavement is expected to begin Tuesday (11/6) with binder paving anticipated for Friday (11/9) and/or Saturday (11/10).
- C. Engineer of record is expected back onsite Tuesday (11/6) or Wednesday (11/7) for addition layout work.
- D. Site contractor is expecting to continue removing spoils and grading site as needed prior to paving activities.

3. New Action Items

- A. The site contractor has encountered an issue regarding elevation difference between both proposed building addition entrances on ENE side and the proposed customer parking area as it relates to the construction of the proposed sidewalk and handicap ramp access. Site contractor and engineer of record are working to resolve the problem.

Project Merrimack Building Supply	Date 11/1/2018	Report No. 19
Location 20 Trotter Drive, Medway, MA	Project No. 143-21583-17004	Sheet 3 of 3
FIELD OBSERVATIONS CONTINUED		

4. Previous Open Action Items

- A. Amend plan to install DMH-1 considering discovery of underground utilities at location of proposed installation. Note: Installation of structure is still on hold and under consideration. The communications provider is allegedly not amenable to the idea of relocating the communications lines in the way of DMH-1 and the remaining drain line connecting DMH-2 to DMH-1.
- B. Water leak at SSE side of existing building discovered recently during shallow exploratory test pit has been discovered and fixed (replaced old water service line with new).

5. Materials Delivered to Site Since Last Inspection:

- A. Loam
- B. Building construction materials
- C. Trench drain
- D. Dense grade base course material (today) for use in planned future sub-grading activities

Tetra Tech
100 Nickerson Road, Suite 200
Marlborough, MA 01752

FIELD REPORT

Project Merrimack Building Supply	Date 11/11/2018	Report No. 20
Location 20 Trotter Drive, Medway, MA	Project No. 143-21583-17004	Sheet 1 of 2
Contractor Barrows Contracting (Site Contractor)	Weather A.M. SUNNY	Temperature A.M. 45°F

FIELD OBSERVATIONS

On Sunday, November 11, 2018, Steven M. Bouley, P.E. from Tetra Tech (TT) visited the project location to inspect the current condition of the site and monitor construction progress. The following report outlines observations made during the site visit.

1. Observations

- A. General site conditions: Damp to wet conditions sitewide (some standing water). Relatively firm to somewhat softened unpaved construction areas are prevalent across the site. Considerable erosion/vehicle tracking onto existing site driveway with minor carry over to Trotter Dr. Silt fence barrier (SFB) is installed around the site perimeter. Filter socks are placed just inside the SFB. Numerous areas of stockpiled soil, gravel, concrete, rock and asphalt were noted across portions of the site, as were construction materials and heavy equipment.
- B. Contractor in process of installing binder course throughout the parking lot. The site had been previously reclaimed, regraded and compacted. However, several soft ground conditions exist particularly in the area of the driveway adjacent to the southeast corner of the proposed addition east toward the rain garden. It is expected these areas will have to be cut out and repaired at a later date, the on-site general contractor was made aware of this and is ok with the expected repairs. The contractor is placing approximately 2 ½" (loose) of bituminous binder material to achieve a final compacted depth of approximately two (2) inches.

CONTRACTOR'S FORCE AND EQUIPMENT						WORK DONE BY OTHERS	
Sup't	1	Bulldozer		Asphalt Paver	1	Dept. or Company	Description of Work
Foreman	1	Backhoe		Asphalt Reclaimer		Milinzazzo	Binder Course
Laborers	4+	Loader		Vib. Roller	2		
Drivers	7	Rubber Tire Backhoe/Loader		Static Roller			
Oper. Engr.	1	Skid Steer		Vib. Walk Comp.	1		
Carpenters		Hoeram		Compressor			
Masons		Excavator		Jack Hammer			
Iron Workers		Grader		Power Saw			
Electricians		Crane		Conc. Vib.			
Flagpersons		Scraper		Tack Truck			
Surveyors		Conc. Mixer		Man Lift			
Roofers		Conc. Truck		Telehandler		OFFICIAL VISITORS TO JOB	
Mechanical/HVAC		Conc. Pump Truck		Drill rig (drilling/blasting)			
Plumbers		Pickup Truck		Mechanical Sweeper			
Pipe Fitters		Tri-Axle Dump Truck	7				
Carpenters		Trailer Dump Truck					
Police Details: N/A						RESIDENT REPRESENTATIVE FORCE	
Contractor's Hours of Work: 7:00 A.M. to 6:00 P.M.						Name	Time on-site
						Steven M. Bouley, P.E.	10:00 A.M. – 11:30 P.M.

NOTE: Please use reverse side for remarks and sketches

Project Merrimack Building Supply	Date 11/11/2018	Report No. 20
Location 20 Trotter Drive, Medway, MA	Project No. 143-21583-17004	Sheet 2 of 2
FIELD OBSERVATIONS CONTINUED		

- C. Contractor not paving the entire site as previously proposed. Proposed full depth paving taking place east of a line made from the southwest corner of the proposed loading dock to the western edge of the proposed parking island. All areas west of this line will remain as existing. In order to revise the paving some of the proposed grading needed to be adjusted. The adjusted grading does appear to provide positive drainage and maintain proposed drainage patterns.
- D. The proposed infiltration basin has been loamed and stormwater is contained within at the time of inspection. Seeding is expected to occur in the spring along with all other landscaping.

2. Schedule

- A. TT will inspect the site as needed throughout the expected down time in the winter.

3. New Action Items

- A. N/A

4. Previous Open Action Items

- A. Amend plan to install DMH-1 considering discovery of underground utilities at location of proposed installation. Note: Installation of structure is still on hold and under consideration. The communications provider is allegedly not amenable to the idea of relocating the communications lines in the way of DMH-1 and the remaining drain line connecting DMH-2 to DMH-1.
- B. Water leak at SSE side of existing building discovered recently during shallow exploratory test pit has been discovered and fixed (replaced old water service line with new).
- C. The site contractor has encountered an issue regarding elevation difference between both proposed building addition entrances on ENE side and the proposed customer parking area as it relates to the construction of the proposed sidewalk and handicap ramp access. Site contractor and engineer of record are working to resolve the problem.

5. Materials Delivered to Site Since Last Inspection:

- A. Bituminous Concrete Asphalt Binder



BEALS + THOMAS

BEALS AND THOMAS, INC.
Reservoir Corporate Center
144 Turnpike Road
Southborough, MA 01772-210



PROGRESS INSPECTION REPORT

Inspection Date: 10/17/2018

Inspector: Eric J. Las, PE, LEED AP, Beals and Thomas, Inc.

Inspection Report Number: 14

PERMIT COMPLIANCE

Proceeding per approved site plan?

YES ☒ NO ☐ If not, note area and explain:

This report has been prepared in compliance with Specific Condition IX.M.4 of the Site Plan Decision, dated July 26, 2016

Project Name:

West Medway II

Location: Medway, MA

B+T Job#: 1422.10

Local Approvals: Order of Conditions DEP File No. 216-0879, Site Plan Decision, Host Community Agreement

Introduction:

Exelon West Medway II LLC respectfully submits this construction progress inspection report for the West Medway II project. The purpose of this report is to document the in-progress work with respect to the approved site plans and associated conditions for the Planning and Economic Development Board. This report summarizes noteworthy activities conducted on site from September 21, 2018 to October 17, 2018. Please also refer to the enclosed Photo Log.

For limited areas of the site not observed by Beals and Thomas, items denoted herein with an () are based on Exelon's Erosion Control Inspection Reports.

Current Work Activities, Comments, and Observations:

- Grading of Infiltration Basin-01 in the southern central portion of the site is complete.
- Finish grading and loaming of the central portion of the site is in progress.
- Installation of insulation for the demineralized and raw water tanks is in progress.
- Installation of the acoustic barriers around the power block is in progress.
- Installation of the acoustic barrier around Compressor Station is in progress.
- Installation of the ammonia tank enclosure is in progress.
- Installation of fuel piping and electrical wiring throughout the central portion of the site is in progress.
- Installation of guardrails along site driveways is in progress throughout the site.
- Concrete pours have diminished with only a few small miscellaneous pours remaining.
- Various components of the power generating system are being plumbed and wired.
- Various soil stockpiles are actively stabilized via tarps and seeding where necessary.
- *Silt fences, straw bales, and straw wattles are being routinely monitored and maintained as needed.
- *Silt sacks in the catch basins in Summer Street are being routinely monitored and maintained as needed.
- *24/7 security details remain in place at site entrance.


Authorized Signature

10/17/18

Date

PROPERTY OWNER:

Exelon West Medway II, LLC

Attn: Todd Cutler, Esq.
Associate General Counsel

Phone: 610-765-5602

Email: todd.cutler@exeloncorp.com

Attn: Pete Callahan,
Project Director

Phone: 617-381-2332

Email: Pete.Callahan@constellation.com

Attn: Doug Blakeley,
Environmental Monitor

Phone: 518-265-7354

Email: doug.blakeley@aptim.com

TOWN OF MEDWAY

Attn: Michael E. Boynton,
Town Administrator

Phone: 508-533-3264

Email: mboynton@townofmedway.org

Attn: Bridget Graziano,
Conservation Agent

Phone: 508-533-3292

Email: bgraziano@townofmedway.org

Attn: Susan Affleck-Childs, Planning &
Economic Development Coordinator

Phone: 508-533-3291

Email: sachilds@townofmedway.org

ENVIRONMENTAL CONSULTANTS

Beals and Thomas, Inc.

Attn: Eric J. Las, PE, LEED AP
Principal

Phone: 508-366-0560

Email: elas@bealsandthomas.com

Epsilon Associates, Inc.

Attn: Michael Howard
Principal & Manager

Phone: 978-461-6247

Email: mhoward@epsilonassociates.com

**BEALS + THOMAS****Exelon Generation**

PHOTOGRAPHIC LOG

Client Name:Exelon West
Medway II**Photo:** West Medway II**Location:** Medway, MA**Project No:**

1422.10

**Photo
No: 1****Date:**
10/14/18**Description:**

Aerial view facing southeast.

Work continues in the central portion of the site. Acoustic barriers, guardrails, and wiring installation as well as final grading and loaming are in progress.

**Client Name:**Exelon West
Medway II**Photo:** West Medway II**Location:** Medway, MA**Project No:**



1422.10



**Photo
No: 2****Date:**
10/14/18**Description:**

Aerial view facing northwest.

Grading of Infiltration Basin-01 complete.



Client Name: Exelon West Medway II		Photo: West Medway II Location: Medway, MA	Project No: 1422.10
Photo No: 3	Date: 10/17/18		
Description: View facing south. Final grading and loaming in the central portion of the site are in progress.			
Client Name: Exelon West Medway II		Photo: West Medway II Location: Medway, MA	Project No: 1422.10
Photo No: 4	Date: 10/17/18		
Description: View facing northwest. Installation of the acoustic barriers around power block is in progress in the central portion of the site.			

Client Name: Exelon West Medway II		Photo: West Medway II Location: Medway, MA	Project No: 1422.10
Photo No: 5	Date: 10/17/18		
Description: View facing southwest. Installation of guardrails along site driveways is in progress throughout the site.			
Client Name: Exelon West Medway II		Photo: West Medway II Location: Medway, MA	Project No: 1422.10
Photo No: 6	Date: 10/17/18		
Description: View facing northeast. Installation of insulation for the demineralized and raw water tanks is in progress.			

Susan Affleck-Childs

From: Rodgers, Mark J:(BSC) <Mark.Rodgers@exeloncorp.com>
Sent: Monday, October 29, 2018 8:40 PM
To: Rodgers, Mark J:(BSC)
Subject: Monthly Construction Update: Exelon Generation Medway Peaker Project

Exelon Generation Medway Peaker Project: Monthly Construction Update, 10/26/18

Recent construction and site activities have included:

- Grading of Infiltration Basin-01 in the southern central portion of the site is complete.
- Finish grading and loaming of the central portion of the site is in progress.
- Installation of insulation for the demineralized and raw water tanks is in progress.
- Installation of the acoustic barriers around the power block is in progress.
- Installation of the acoustic barrier around Compressor Station is in progress.
- Installation of the ammonia tank enclosure is in progress.
- Installation of fuel piping and electrical wiring throughout the central portion of the site is in progress.
- Installation of guardrails along site driveways is in progress throughout the site.
- Concrete pours have diminished with only a few small miscellaneous pours remaining.
- Various components of the power generating system are being plumbed and wired.
- Various soil stockpiles are actively stabilized via tarps and seeding where necessary.
- Silt fences, straw bales, and straw wattles are being routinely monitored and maintained as needed.
- Silt sacks in the catch basins in Summer Street are being routinely monitored and maintained as needed.
- 24/7 security details remain in place at site entrance.



Aerial view facing southeast. Work continues in the central portion of the site.

Acoustic barriers, guardrails, and wiring installation as well as final grading and loaming are in progress.



View facing northeast. Installation of insulation for the water tanks is in progress.

Construction updates are also posted to our project website: www.medwayenergy.com.

Please note, you are receiving this because you signed up to receive our monthly construction updates. If you wish to no longer receive these emails, please reply and write Unsubscribe in the subject line.

Thank you for your interest in our project. If you ever have any questions, concerns, or complaints, we have a 24x7 hotline you can call: 508-321-7311. We respond to all calls within 24 hours. Alternatively, you can use our online contact form, we also respond to those inquiries within 24 hours, that link is:
<http://www.medwayenergy.com/submit-project-construction-message>.

You can also feel free to reach out directly to me at the contact information below.

Thank you.

Best,

Mark

Mark Rodgers



Manager, Generation Communications – NE Region

617-381-2214 (desk)

617-699-6327 (cell)

mark.rodgers@exeloncorp.com

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RESIDENT'S DAILY REPORT

CLIENT: Town of Medway, MA		DATE: September 6, 2018 PAGE: 1 of 1																
CONTRACT: Exelon Power Facility		DAY OF WEEK: S M T W T F S <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>																
CONTRACT NO. NA	BETA Project No. 5491	<table border="1" style="width: 100%; border-collapse: collapse;"><thead><tr><th></th><th style="width: 50%;">AM</th><th style="width: 50%;">PM</th></tr></thead><tbody><tr><td style="width: 30%;">Weather</td><td>clear</td><td></td></tr><tr><td>Temp. Range (°F)</td><td>85</td><td></td></tr></tbody></table>			AM	PM	Weather	clear		Temp. Range (°F)	85							
	AM	PM																
Weather	clear																	
Temp. Range (°F)	85																	
LOCATION: 9 Summer Street, Medway, MA		Contractor's Hours of Work: _____ to _____																
CONTRACTOR: Gemma Power Systems		BETA Resident's Onsite Hours: 10:00 to 11:00																
SUBCONTRACTORS WORKING ONSITE:		<table border="1" style="width: 100%; border-collapse: collapse;"><thead><tr><th style="width: 60%;">VISITORS TO JOB SITE:</th><th style="width: 20%;">Arrival</th><th style="width: 20%;">Departure</th></tr></thead><tbody><tr><td>(1) Bond Brothers (Excavation)</td><td></td><td></td></tr><tr><td>(2)</td><td></td><td></td></tr><tr><td>(3)</td><td></td><td></td></tr><tr><td>(4)</td><td></td><td></td></tr></tbody></table>		VISITORS TO JOB SITE:	Arrival	Departure	(1) Bond Brothers (Excavation)			(2)			(3)			(4)		
VISITORS TO JOB SITE:	Arrival	Departure																
(1) Bond Brothers (Excavation)																		
(2)																		
(3)																		
(4)																		
DESCRIPTION OF WORK PERFORMED / SUMMARY:																		
BETA was called to be on on site to review site progress.																		
Met with Matt Slaven, Project Engineer, Exelon Power who provided tour of the work.																		
Installation of perimeter sound barrier 95% complete, installation trim and retaining clips ongoing																		
Reviewed large Infiltration basin grading in progress, appears satisfactory to location and cross section.																		
No progress on the rain garden. Awaiting more favorable planting weather.																		
Restoration of the temporary staging area to the east of site approx. 80% complete.																		
Liner for containment berm north of site in place. Base grading appears complete.																		
General observations of drainage structure frames and covers at finish grade were satisfactory.																		
FOR CONTINUATION SEE PAGE: _____ OF _____																		

BETA GROUP, INC. - Resident Representative

Joe DiPilato, Construction Manager

(Printed Name and Title)

(Signature)

Tetra Tech
100 Nickerson Road, Suite 200
Marlborough, MA 01752

FIELD REPORT

Project Country Cottage Children's Center	Date 8/10/2018	Report No. 6
Location 35 Summer Street, Medway, MA	Project No. 143-21583-17012	Sheet 1 of 2
Contractor Barrows Contracting (Site Contractor)	Weather A.M. MOSTLY SUNNY, LIGHT BREEZE, 58% RH	Temperature A.M. 81°F

FIELD OBSERVATIONS

On Friday, August 10, 2018, David Homan from Tetra Tech (TT) visited the project location to inspect the current condition of the site and monitor construction progress. The following report outlines observations made during the site visit.

1. Observations

- A. General site conditions: mostly dry to wet ground surface; firm with some softer (wet) areas. Construction entrance off Summer St. is stabilized with rock material. Site is well maintained/organized. Silt fence barrier (SFB) is installed around the site perimeter except where recent work has been performed to construct the two new site entrances. Filter socks are placed just inside the SFB and were observed on all sides but the E side. A filter bag is in place at an existing catch basin on the northbound side of Summer St. The Summer St. roadway has negligible sediment tracking from construction traffic.
- B. Several stockpiles were observed across the site consisting of site soils, ¾" minus gravel, asphalt, boulders, a few tree stumps and minimal solid waste.
- C. Both entry/exit routes (one off Summer St. & one off Rustic Rd.) are now cut in and rough graded. Demolition of existing sidewalk at both entry/exit points took place on 8/6 & 8/7 (granite curbstone still in place at Summer St. entrance). Proposed paved portions of the site have been rough graded over the past several days with 3" minus gravel underlying ¾" minus gravel for a total approximate thickness of 12" of base material. Proposed paved portions of the site have been compacted with a 10-ton vibrating roller.

CONTRACTOR'S FORCE AND EQUIPMENT						WORK DONE BY OTHERS	
Sup't		Bulldozer		Asphalt Paver		Dept. or Company	Description of Work
Foreman		Backhoe	1	Asphalt Reclaimer		Fire Suppression	Sprinkler system install
Laborers	1	Loader		Vib. Roller	1	Electrician	Wiring, exterior mounting blocks
Drivers		Rubber Tire Backhoe/Loader		Static Roller			
Oper. Engr.	1	Skid Steer		Vib. Walk Comp.	1		
Carpenters		Hoeram		Compressor			
Masons		Excavator	2	Jack Hammer			
Iron Workers		Grader		Power Saw			
Electricians	1+	Crane		Conc. Vib.			
Flagpersons		Scraper		Tack Truck			
Surveyors		Conc. Mixer		Man Lift			
Roofers		Conc. Truck				OFFICIAL VISITORS TO JOB	
Mechanical/HVAC		Conc. Pump Truck					
Fire suppression	1+	Pickup Truck	5				
		Tri-Axle Dump Truck					
		Trailer Dump Truck					
Police Details: N/A						RESIDENT REPRESENTATIVE FORCE	
Contractor's Hours of Work: 7:00 A.M. to 6:00 P.M.						Name	Time on-site
						David Homan	10:15 A.M. – 11:15 A.M.

NOTE: Please use reverse side for remarks and sketches

Project Country Cottage Children's Center	Date 8/10/2018	Report No. 6
Location 35 Summer Street, Medway, MA	Project No. 143-21583-17012	Sheet 2 of 2

FIELD OBSERVATIONS CONTINUED

- D. Contractor has begun excavation of the proposed rain garden at the SSE portion of the site and plans to continue excavation and construction of infiltration area #1 into next week.
- E. The new building is mostly complete on the exterior with trim (mounting blocks) currently being applied to the exterior sides. Sprinkler system installation and other interior work is currently taking place inside the building.
- F. Three lamp post bases for general site lighting are now installed with electric conduit and grounding rods in place (waiting on schedule of concrete flatwork, at which point lamp post bases will be poured and completed). Water gate is now installed onsite roughly 6' W of recently relocated hydrant. Vortsentry HS unit (previously installed) is now finished at the surface with steel frame set in mortar and grated cover in place with silt sack installed.

2. Schedule

- A. Contractor expects to extend and/or slightly change angle of pipe extending from end of infiltration area #3 to proposed overflow scupper today so location of overflow scupper will be outside proposed children's play area and inside driveway curbing. Overflow scupper will be constructed of 12" ADS pipe with 12" drain grate insert installed flush with grade.
- B. ¾" minus gravel to be applied under proposed paved areas of the site ahead of grading activities which are anticipated for Monday (8/13). Installation of binder course of bituminous concrete has been scheduled for Tuesday (8/14).
- C. Curbing contractor is anticipated to make modifications (per plan) to existing and proposed site entrances (cutting, removing, installing granite curbstone). Work is to take place upon completion of binder pavement.
- D. Concrete contractor is anticipated to perform concrete flatwork for construction of handicap ramp sections on sidewalk at Summer St. & Rustic Rd. entrances upon completion of town sidewalk granite curb installation.
- E. Contractor has partially laid out extent of proposed site pavement with marking paint and stakes.
- F. Contractor anticipates the removal of construction debris including stockpiled boulders, asphalt and solid waste/tires to occur in the near future.
- G. Pending final decision on location of perimeter fencing on S side of site, contractor may relocate or remove section of erosion control barriers for access and grading in the near future.

3. New Action Items

- A. N/A

4. Previous Open Action Items

- A. Tt requests copies from contractor of testing/inspection reports for sewer and domestic water lines. Tt **awaiting receipt of reports.**
- B. Complete fire service line installation in 6" steel pipe. **Contractor has completed 6" fire service installation with water main tie in.**

5. Materials Delivered to Site Since Last Inspection:

- A. Gravel (3" minus and ¾" minus)
- B. Building/construction materials related to new site building
- C. Lamp post base forms and overflow scupper materials

Tetra Tech
100 Nickerson Road, Suite 200
Marlborough, MA 01752

FIELD REPORT

Project Country Cottage Children's Center	Date 8/14/2018	Report No. 7
Location 35 Summer Street, Medway, MA	Project No. 143-21583-17012	Sheet 1 of 3
Contractor Barrows Contracting (Site Contractor)	Weather A.M. CLOUDY, LIGHT FOG, CALM, 98% RH	Temperature A.M. 76°F

FIELD OBSERVATIONS

On Tuesday, August 14, 2018, David Homan from Tetra Tech (TT) visited the project location to inspect the current condition of the site and monitor construction progress. The following report outlines observations made during the site visit.

1. Observations

- A. General site conditions: moist to wet with areas of standing water from precipitation within past 24-hours. Site surfaces are firm (where prepared for asphalt) to soft (native fill/subgrade). Construction entrance off Summer St. is stabilized with rock material and has minimal sediment tracking onto roadway. Newly opened up entrance off Rustic Rd. has moderate vehicle tracking due to current paving activities. Site is well maintained/organized. Silt fence barrier (SFB) is installed around the site perimeter except where recent work has been performed to construct the two new site entrances and an approximate 60' section along the S end of the site. Filter socks are placed just inside the SFB and were observed on all sides but the E side and where SFB has been removed. A filter bag is in place at an existing catch basin on the northbound side of Summer St. as well as the Vortsentry HS unit.
- B. Several stockpiles were observed across the site consisting of site soils, ¾" minus gravel, asphalt, boulders, a few tree stumps and minimal solid waste.
- C. The new building is mostly complete on the exterior. Sprinkler system installation and other interior work is currently taking place inside the building.

CONTRACTOR'S FORCE AND EQUIPMENT						WORK DONE BY OTHERS	
Sup't		Bulldozer		Asphalt Paver	3	Dept. or Company	Description of Work
Foreman		Backhoe		Asphalt Reclaimer		Professional Fire Systems, Inc.	Sprinkler system install
Laborers	1	Loader		Vib. Roller	5	Giroux Electrical Contractors, Inc.	Wiring
Drivers	2	Rubber Tire Backhoe/Loader		Static Roller			
Oper. Engr.	1	Skid Steer	1	Vib. Walk Comp.	1		
Carpenters		Hoeram		Compressor			
Masons		Excavator	1	Jack Hammer			
Iron Workers		Grader	1	Power Saw			
Electricians	1+	Crane		Conc. Vib.			
Flagpersons		Scraper		Tack Truck			
Surveyors		Conc. Mixer		Man Lift			
Roofers		Conc. Truck				OFFICIAL VISITORS TO JOB	
Mechanical/HVAC		Conc. Pump Truck					
Fire suppression	1+	Pickup Truck	5+				
Paving crew	6	Tri-Axle Dump Truck	2				
		Trailer Dump Truck					
Police Details: N/A						RESIDENT REPRESENTATIVE FORCE	
Contractor's Hours of Work: 7:00 A.M. to 6:00 P.M.						Name	Time on-site
						David Homan	8:15 A.M. – 11:00 A.M.

NOTE: Please use reverse side for remarks and sketches

Project Country Cottage Children's Center	Date 8/14/2018	Report No. 7
Location 35 Summer Street, Medway, MA	Project No. 143-21583-17012	Sheet 2 of 3

FIELD OBSERVATIONS CONTINUED

- D. Both entry/exit routes (one off Summer St. & one off Rustic Rd.) have been cut in (8/6 & 8/7) and graded to finished base elevation. Granite curbstone at newly constructed Summer St. entrance was cut and removed yesterday (8/13) by the contractor (curbstone at new Rustic Rd. entrance was removed previously). Proposed paved portions of the site have been compacted with a 10-ton vibrating roller.
- E. Drain pipe and overflow scupper at end of infiltration area #3 are now installed and complete after slight modification to drain pipe length/angle was performed to locate 12" vertical ADS drain pipe and corresponding 12" drain grate insert outside children's play area and inside driveway curbing. Overflow scupper is now located roughly 8' W of Vortsentry HS unit.
- F. Contractor has continued to advance excavation (currently down roughly 3' from surrounding grade) for proposed rain garden at SSE area of site with soils stockpiled adjacent to excavation.
- G. Contractor has removed a roughly 60' section of SFB along the S end of the property and has extended native/fill material towards the S property line in preparation for future perimeter fence installation.
- H. Grading and final compacting activities were performed yesterday (8/13) via motor grader and vibratory smooth drum roller. Paving contractor performed light scraping of base material around new building this morning to accommodate 2" binder pavement.
- I. Paving contractor is currently applying and compacting binder course of bituminous concrete across the site. Extent of proposed paved areas has been laid out with marking paint and stakes. Upon arrival, one binder pavement run was already installed from newly constructed Summer St. entrance to roughly the NE corner of the new building. Two tri-axel dump trucks with loads of hot mix asphalt have come and gone this morning with second round of dump trucks returning to site at 8:55am and 9:10am to load hot mix into asphalt paver. Asphalt is being applied at an approximate thickness of 2". Third round dump truck arrives back onsite at 10:12am to load asphalt paver while paving crew continues to spread and compact pavement. An additional partial dump truck load of bituminous concrete is needed to complete the binder course for the site, which is currently about 90% complete.

2. Schedule

- A. Curbing contractor is anticipated to make modifications (per plan) to existing and proposed site entrances (installing granite curbstone). Work is to take place upon completion of binder pavement.
- B. Concrete contractor is anticipated to perform concrete flatwork for construction of handicap ramp sections on sidewalk at Summer St. & Rustic Rd. entrances upon completion of town sidewalk granite curb installation.
- C. Contractor anticipates the removal of construction debris including stockpiled boulders, asphalt and solid waste/tires to occur in the near future.

3. New Action Items

- A. N/A

4. Previous Open Action Items

- A. Tt requests copies from contractor of testing/inspection reports for sewer and domestic water lines. **Tt awaiting receipt of reports.**

Project Country Cottage Children's Center	Date 8/14/2018	Report No. 7
Location 35 Summer Street, Medway, MA	Project No. 143-21583-17012	Sheet 3 of 3

FIELD OBSERVATIONS CONTINUED

5. Materials Delivered to Site Since Last Inspection:

- A. Building/construction materials related to new site building

Tetra Tech
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FIELD REPORT

Project Country Cottage Children's Center	Date 11/01/2018	Report No. 9
Location 35 Summer Street, Medway, MA	Project No. 143-21583-17012	Sheet 1 of 2
Contractor Barrows Contracting (Site Contractor)	Weather A.M. MOSTLY CLOUDY P.M. MOSTLY CLOUDY	Temperature A.M. 50°F P.M. 55°F

FIELD OBSERVATIONS

On Thursday, November 1, 2018, Steven M. Bouley, P.E. from Tetra Tech (TT) visited the project location to inspect the current condition of the site and monitor construction progress. The following report outlines observations made during the site visit.

1. Observations

- A. Contractor in process of installing top course of parking lot pavement. Contractor installing approximately 2" of bituminous asphalt top course to achieve a desired average depth of 1 1/2" across the paved area of the parking lot. The parking lot was swept, and tack coat applied as well as one level course run along the sidewalk adjacent to the building.
- B. The site work is generally complete with loam and seed placed and some of the landscaping. A punch list inspection will be required to determine full extent of project completion.
- C. The contractor removed all ADA accessible ramps since they had not been installed completed correctly. They will be re-installed at a later date.

CONTRACTOR'S FORCE AND EQUIPMENT						WORK DONE BY OTHERS	
Sup't	1	Bulldozer		Asphalt Paver	1	Dept. or Company	Description of Work
Foreman	1	Backhoe		Asphalt Reclaimer		Milinzazzo Paving Corp.	Top Course Pavement
Laborers	4	Loader		Vib. Roller	1		
Drivers		Rubber Tire Backhoe/Loader		Static Roller	1		
Oper. Engr.	2	Skid Steer	1	Vib. Walk Comp.	1		
Carpenters		Hoeram		Compressor			
Masons		Excavator		Jack Hammer			
Iron Workers		Grader		Power Saw			
Electricians		Crane		Conc. Vib.			
Flagpersons		Scraper		Tack Wagon	1		
Surveyors		Conc. Mixer		Man Lift			
Roofers		Conc. Truck				OFFICIAL VISITORS TO JOB	
Mechanical/HVAC		Conc. Pump Truck					
Fire suppression		Pickup Truck					
Paving crew		Tri-Axle Dump Truck	2				
		Trailer Dump Truck					
Police Details: 1						RESIDENT REPRESENTATIVE FORCE	
Contractor's Hours of Work: 7:00 A.M. to 6:00 P.M.						Name	Time on-site
						Steven M. Bouley, P.E.	8:00 A.M. – 1:30 P.M.

NOTE: Please use reverse side for remarks and sketches

Project Country Cottage Children's Center	Date 11/01/2018	Report No. 9
Location 35 Summer Street, Medway, MA	Project No. 143-21583-17012	Sheet 2 of 2

FIELD OBSERVATIONS CONTINUED

2. Schedule

- A. Contractor will contact TT for further inspections at the site.

3. New Action Items

- A. N/A

4. Previous Open Action Items

- A. Tt requests copies from contractor of testing/inspection reports for sewer and domestic water lines. **Tt awaiting receipt of reports.**

5. Materials Delivered to Site Since Last Inspection:

- A. N/A

Tetra Tech
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Marlborough, MA 01752

FIELD REPORT

Project Medway Greens	Date 10/30/2018	Report No. 8
Location Mechanic Street/Main Street, Medway, MA	Project No. 143-21583-17002	Sheet 1 of 2
Contractor Mark Heavner – Cortland Pine, LLC Sal Santucci - Santucci Construction Corp.	Weather A.M. P.M. CLOUDY	Temperature A.M. P.M. 45°

FIELD OBSERVATIONS

On Tuesday, October 30, 2018 Bradley M. Picard, E.I.T. from Tetra Tech (TT) visited the project site to inspect the current condition of the site and check on construction progress. The following report outlines observations made during the site visit.

1. Observations
 - A. Curb has been installed along Mechanic Street and Route 109, proposed sidewalk on Mechanic Street prepared for concrete pour (Photo 1-2). Sidewalk was intended to be poured today (10/30) but has been rescheduled for Thursday (11/1). Sidewalk will be poured with 4,000 psi concrete mix with expansion joints installed every six (6) panels to match the existing concrete sidewalks along Route 109.
 - B. Compost filter tube by the gravel drive off Mechanic Street is experiencing damage and should be replaced (Photo 3).

CONTRACTOR'S FORCE AND EQUIPMENT					WORK DONE BY OTHERS	
Sup't	1	Bulldozer		Asphalt Paver	Dept. or Company	Description of Work
Foreman		Backhoe		Asphalt Reclaimer		
Laborers	2	Loader		Vib. Roller		
Drivers		Rubber Tire Backhoe/Loader	1	Static Roller		
Oper. Engr.	1	Skid Steer		Vib. Walk Comp.		
Carpenters		Hoeram		Compressor		
Masons		Excavator		Jack Hammer		
Iron Workers		Grader		Power Saw		
Electricians		Crane		Conc. Vib.		
Flagpersons		Scraper		Tack Truck		
Surveyors		Conc. Mixer				
		Conc. Truck			OFFICIAL VISITORS TO JOB	
		Pickup Truck				
		Tri-Axle Dump Truck				
		Trailer Dump Truck				
Police Details: N/A					RESIDENT REPRESENTATIVE FORCE	
Contractor's Hours of Work: 7:00 A.M. to 6:00 P.M.					Name	Time on-site
					Steven M. Bouley, P.E.	9:30 A.M. – 10:00 A.M.

Project Medway Greens	Date 10/30/2018	Report No. 8
Location Mechanic Street/Main Street, Medway, MA	Project No. 143-21583-17002	Sheet 2 of 2

FIELD OBSERVATIONS CONTINUED

2. Schedule
 - A. Proposed sidewalk to be poured Thursday (11/1) at 12:00 PM
3. New Action Items
 - A. N/A
4. Previous Open Action Items
 - A. N/A
5. Materials Delivered to Site Since Last Inspection:
 - A. N/A

Photos

Photo 1



Photo 2



Photo 3



Tetra Tech
100 Nickerson Road, Suite 200
Marlborough, MA 01752

FIELD REPORT

Project Medway Greens	Date 11/01/2018	Report No. 9
Location Mechanic Street/Main Street, Medway, MA	Project No. 143-21583-17002	Sheet 1 of 2
Contractor Mark Heavner – Cortland Pine, LLC Sal Santucci - Santucci Construction Corp.	Weather A.M. P.M. CLOUDY	Temperature A.M. P.M. 55°

FIELD OBSERVATIONS

On Thursday, November 1, 2018 Steven M. Bouley, P.E. from Tetra Tech (TT) visited the project site to inspect the current condition of the site and check on construction progress. The following report outlines observations made during the site visit.

1. Observations

- A. The contractor is installing proposed cement concrete sidewalk along Mechanic Street frontage from the intersection of Main Street to the site entrance. Sidewalk poured with 4,000 psi concrete mix, expansion joints installed every six (6) panels and troweled joints on all 4 sides of each panel to match the existing concrete sidewalks along Route 109.
- B. An issue arose during the pour at the northern end of the sidewalk at the intersection with the site driveway. The ADA accessible ramp was not formed properly, and the transition curb was not set to the correct pitch ($\pm 12\%$ vs required 8.33% max.). The ramp and associated curb will be required to be replaced per applicable ADA standards.

CONTRACTOR'S FORCE AND EQUIPMENT						WORK DONE BY OTHERS	
Sup't	1	Bulldozer		Asphalt Paver		Dept. or Company	Description of Work
Foreman	1	Backhoe		Asphalt Reclaimer		Carlucci Concrete	Flatwork
Laborers	3	Loader		Vib. Roller			
Drivers		Rubber Tire Backhoe/Loader		Static Roller			
Oper. Engr.		Skid Steer		Vib. Walk Comp.			
Carpenters		Hoeram		Compressor			
Masons		Excavator		Jack Hammer			
Iron Workers		Grader		Power Saw			
Electricians		Crane		Conc. Vib.			
Flagpersons		Scraper		Tack Truck			
Surveyors		Conc. Mixer					
		Conc. Truck	2			OFFICIAL VISITORS TO JOB	
		Pickup Truck					
		Tri-Axle Dump Truck					
		Trailer Dump Truck					
Police Details: N/A						RESIDENT REPRESENTATIVE FORCE	
Contractor's Hours of Work: 7:00 A.M. to 6:00 P.M.						Name	Time on-site
						Steven M. Bouley, P.E.	1:30 P.M. – 4:30 P.M.

Project Medway Greens	Date 11/01/2018	Report No. 9
Location Mechanic Street/Main Street, Medway, MA	Project No. 143-21583-17002	Sheet 2 of 2

FIELD OBSERVATIONS CONTINUED

2. Schedule
 - A. Contractor will contact TT as needed throughout the remaining portion of the construction.
3. New Action Items
 - A. Contractor to replace accessible ramp to ensure it was installed per applicable regulations.
4. Previous Open Action Items
 - A. N/A
5. Materials Delivered to Site Since Last Inspection:
 - A. N/A

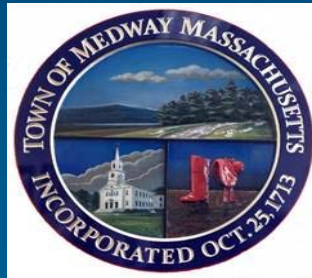


November 13, 2018
Medway Planning & Economic Development Board
Meeting

COMMUNICATIONS

- 40B Presentation by Barbara Saint Andre from 11-8-18 Public Forum

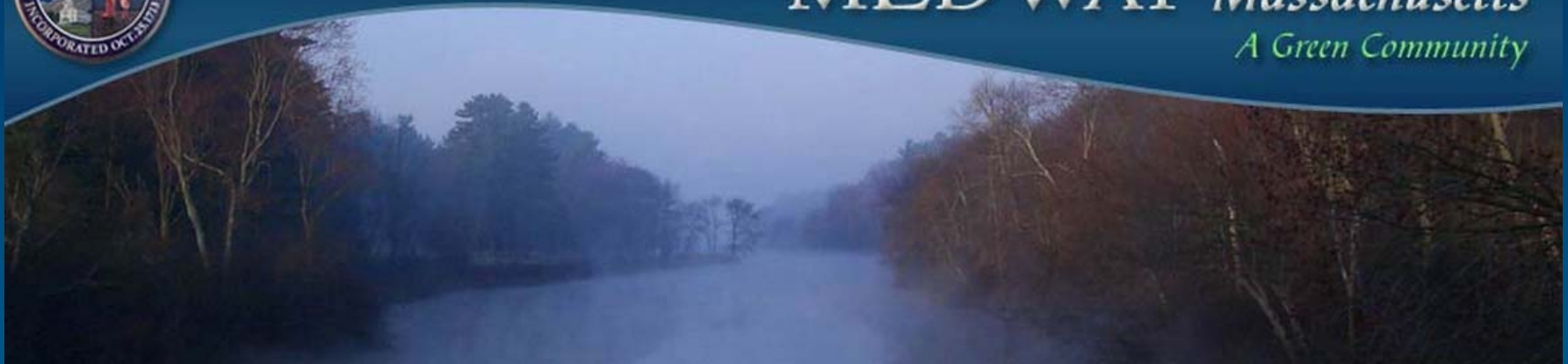
TOWN OF MEDWAY AFFORDABLE HOUSING COMPREHENSIVE PERMITS



November 8, 2018



Town of
MEDWAY *Massachusetts*
A Green Community



CHAPTER 40B

- 1969 – General Laws chapter 40B sections 20-23 enacted by legislature
- Since then, there have been only minor modifications, such as to the definitions
- Clarifications have been made by regulations enacted by DHCD
- 2010 – Ballot question to repeal chapter 40B sections 20-23 fails to obtain majority vote

CHAPTER 40B

**Chapter 40B is not going away,
the Town must deal with it**

40B Basics

Chapter 40B allows a qualified applicant to apply for a “comprehensive permit” to construct low and/or moderate income housing (referred to as “affordable housing”) unless the town has met one of the statutory minima for affordable housing, or is in a “safe harbor”

40B Basics

- At least 25% of the units must be low and moderate income units to apply for comprehensive permit
- Who is eligible for the affordable units? A household whose income does not exceed 80% of the area median income

40B Basics

- Comprehensive permit applications filed with the Zoning Board of Appeals (ZBA)
- The applicant may request waivers of any local regulations or bylaws, such as zoning bylaws, Board of Health regulations, stormwater bylaw, Planning and Economic Development Board and DPS regulations
- State and federal laws and regs apply

Standards

The ZBA may deny an application for a comprehensive permit if the Town has met one of the two statutory affordable housing minima (or is in a safe harbor)

Standards

If not, the ZBA may deny or impose conditions based on local regulations only if the local regulations are “consistent with local needs”

This is a term of art

It means that the local regulations must be reasonable in view of the regional need for affordable housing

Appeals

Decisions denying comprehensive permits, or imposing conditions that the applicant claims render the project uneconomic, are appealed to the Housing Appeals Committee (HAC), which rarely upholds the ZBA

Appeals

The burden of proof is on the ZBA to show that local health, safety, planning, or other concerns outweigh the need for affordable housing

The need for affordable housing typically weighs heavily, so this is a difficult burden for a city or town to prove

MINIMUM REQUIREMENTS

Town must meet one of the following:

- Low or moderate income housing exists which is in excess of 10% of the housing units in latest federal decennial census
- Low or moderate income housing exists on sites comprising 1 ½ % or more of total land area zoned for residential, commercial or industrial use (GLAM)

CURRENT HOUSING

Town is currently at 8.17%

- Town has 4,603 housing units according to 2010 federal census
- Town has 376 low and moderate income housing units according to the DHCD Subsidized Housing Inventory (SHI)
- Millstone Village has 8 affordable units not yet counted on SHI

CURRENT HOUSING

Town needs 77 additional affordable housing units to reach 10% **according to 2010 census**

However, the 2020 census is just around the corner, and the number of housing units in the Town has increased since 2010

As a result, the Town will need more affordable units to meet the 10% minimum

PROJECTIONS

- Town has 4,603 housing units according to 2010 federal census
- Town added about 210 additional housing units 2010 through 2017
- Based on recent experience, estimate 50 units per year as normal growth
- Other large developments may increase the number of new units – estimate 100

PROJECTIONS

Current housing units:	4,603
Estimated additional by 2020:	450
Total housing units 2020:	<u>5,053</u>
10% requirement:	506
Current units:	384
Needed:	<u>122</u>
Assumes no affordable units are lost	

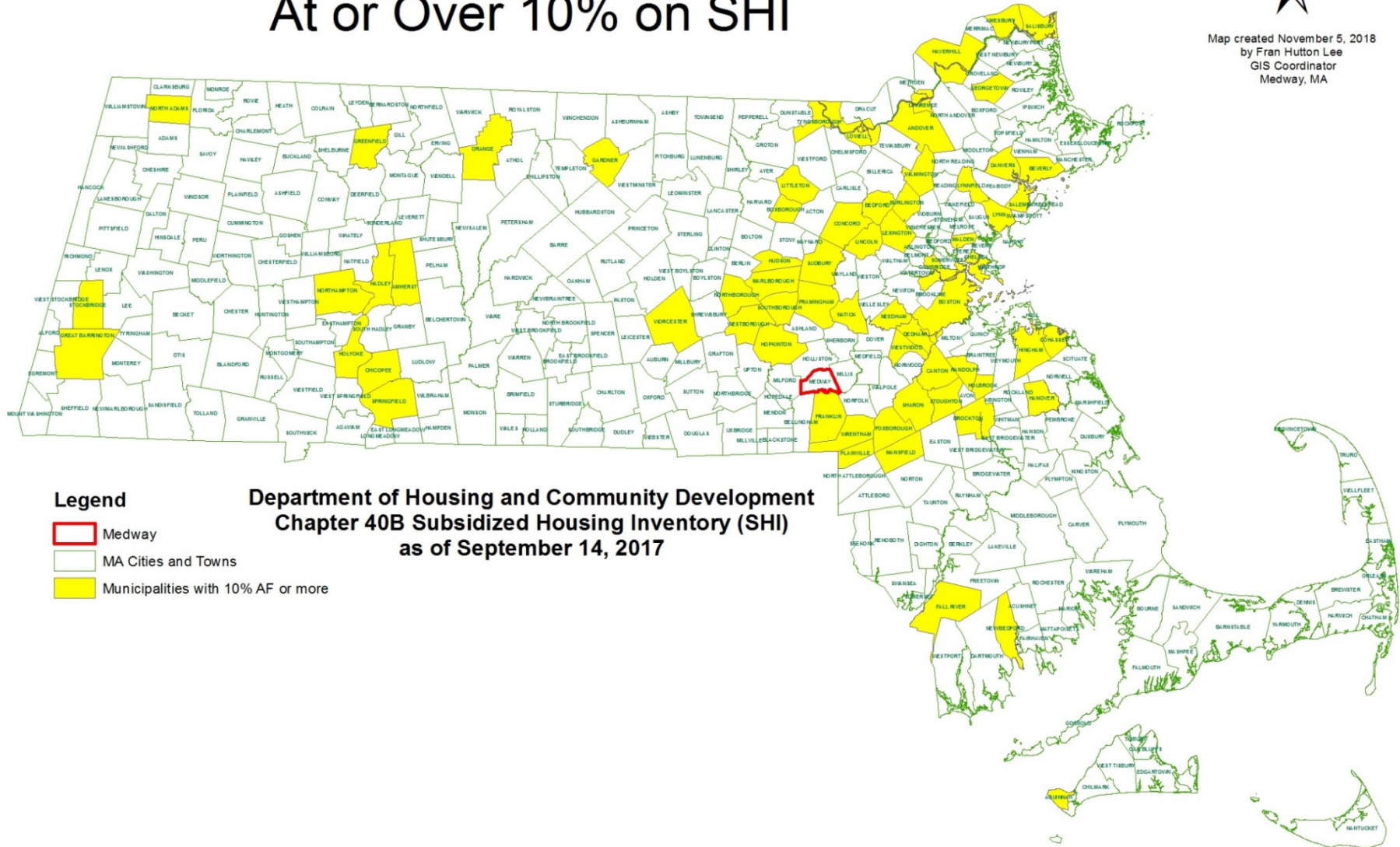
How Do We Get There?

- For rental developments, all units count toward the 10%
- For ownership units, only the affordable units count toward the 10%
- Only subsidized units as defined by chapter 40B are counted

Massachusetts Municipalities At or Over 10% on SHI



Map created November 5, 2018
by Fran Hutton Lee
GIS Coordinator
Medway, MA



SAFE HARBORS

DHCD regulations provide for other safe harbors:

- Housing Production Plan (HPP) compliance
- Recent progress
- Large projects
- Related applications

Housing Production Plan

- ❖ Medway has an approved HPP
- ❖ If the Town grants approval of 23 affordable units in a calendar year, it can apply for a one year safe harbor
- ❖ A safe harbor means that the ZBA can deny any application for a comprehensive permit during the safe harbor period

Glen Brook

- ❖ In August of 2017, the ZBA granted a comprehensive permit to Metrowest Collaborative for 48 affordable housing units on West Street
- ❖ This was consistent with the HPP, and the Town was granted a safe harbor

Glen Brook

- ❖ On August 16, 2018, the ZBA granted an additional 44 units of affordable housing to Metrowest Collaborative
- ❖ As a result, the Town is in a safe harbor until August 15, 2019
- ❖ This is the Town's opportunity to obtain a "friendly" 40B to reach its required 10%

Safe Harbor

- If the Town does not achieve another safe harbor by August 15, 2019, any qualified developer can apply for a comprehensive permit on any site in Town
- There is no limit on the number of applications
- The date of the application determines if a safe harbor applies

Other Safe Harbors

- Large projects: The ZBA can deny an application for more than 200 housing units (municipalities between 2,500 and 5,000 total housing units)
- Recent progress: ZBA can deny application if the number of SHI units created in the Town in the last 12 months is 2% or more of the Town's total units (93 units)

Potential Developments

68 Lovering Street: 56 apartments

42 Highland Street: 160 apartments

39 Main Street: 190 apartments

N.B. These are all in conceptual stage, no applications have been filed and no town approvals granted

Potential Developments

- All three potential developers have approached the Town regarding a “friendly” application
- During the safe harbor, the Town has greater control over the development

NEXT STEPS

- Potential developers have each had preliminary discussions with town officials and held a neighborhood meeting
- A developer may file an application with the Board of Selectmen under the Local Initiative Program (LIP)
- The Board of Selectmen will hold a public hearing on any LIP application

NEXT STEPS

- If the Board of Selectmen approves the LIP, application will be filed with DHCD
- DHCD will review the application and determine whether to issue a Project Eligibility Letter (PEL)
- Only if and when a PEL letter is issued may the developer file an application for a comprehensive permit with the ZBA

ZBA PROCESS

- ZBA must hold a public hearing with notice to abutters, newspaper publication, and posting on the Town website
- The public, Town officials and boards may submit testimony to ZBA
- ZBA can hire experts, at the applicant's expense, to review technical issues such as traffic and stormwater

ZBA PROCESS

- ZBA may impose conditions to mitigate any potential adverse impacts from the development
- If the Town reaches the state-mandated 10% affordable housing units during safe harbor, it does not have to grant any further comprehensive permits

CHAPTER 40R

- Another option is chapter 40R, the so-called “smart growth” statute
- Chapter 40R development must be on an eligible site
- Eligible sites include those in proximity to schools, transit stations, areas of concentrated development

CHAPTER 40R

- Zoning bylaw amendment
- The zoning must allow the primary residential use by right, subject only to site plan review
- Board of Selectmen submits an application to DHCD to approve the smart growth district, must meet density, affordable housing, etc.

CHAPTER 40R

- If DHCD approves, the proposed zoning amendments must be adopted by town meeting through the usual process
- This includes a public hearing by the PEDB prior to town meeting
- Town meeting must approve by a 2/3 vote
- DHCD then gives final approval

CHAPTER 40R

- The state provides financial incentives for municipalities that enact chapter 40R zoning districts
- \$3,000 per Bonus Unit at building permit
- Bonus units are those in excess of the maximum number of housing units that could feasibly be developed as-of-right under the existing zoning

CHAPTER 40R

- Incentive Units Payment upon approval of zoning

Up to 20 units: \$10,000

21 to 100 \$75,000

101 to 200 \$200,000

201 to 500 \$350,000

501 or more \$600,000

Questions?

