

**Tuesday June 12, 2018**  
**Medway Planning and Economic Development Board**  
**155 Village Street**  
**Medway, MA 02053**

<b>Members</b>	<b>Andy Rodenhiser</b>	<b>Bob Tucker</b>	<b>Tom Gay</b>	<b>Matt Hayes</b>	<b>Rich Di Iulio</b>
<b>Attendance</b>	<b>X</b>	<b>Remote Participation</b>	<b>X</b>	<b>Absent</b>	<b>X</b>

**ALSO PRESENT:**

- Amy Sutherland, Recording Secretary
- Gino Carlucci, PGC Associates

The Chairman opened the meeting at 7:00 pm.

There were no Citizen Comments.

Member Bob Tucker was called on the telephone to participate remotely. (**See attached remote participation authorization.**)

Consultant Steve Bouley was contacted and he participated remotely as well.

**Public Hearing - Converting Technical Services Site Plan, 9 Trotter Dr.:**

The Board is in receipt of the following documents (**See Attached**)

- Public Hearing Notice dated May 21, 2018.
- Site Plan Application dated May 7, 2018.
- Project Description letter dated May 11, 2018.
- Site Plan dated March 26, 2018.
- Tetra Tech review letter dated May 6, 2018.
- PGC review letter dated May 6, 2018.
- Memo dated May 24, 2018 to town staff regarding review comments.
- Review Comments dated May 30, 2018 from Fire Chief Lynch.

**On a motion made by Rich Di Iulio and seconded by Tom Gay, the Board voted by roll call vote to waive the reading of the public hearing notice for 9 Trotter Drive.**

**Roll Call:**

<b>Rich Di Iulio</b>	<b>aye</b>
<b>Andy Rodenhiser</b>	<b>aye</b>
<b>Bob Tucker</b>	<b>aye</b>
<b>Tom Gay</b>	<b>aye</b>

The Chairman disclosed that he serves on the Medway Redevelopment Authority. The Urban Renewal Area under the Authority's jurisdiction includes this property. However, he has no financial interest in this application. He discussed this with Town Counsel who has indicated that there is not a conflict of interest.

Peter Bemis, project engineer from Engineering Design Consultants, presented the site plan for 9 Trotter Drive. It was communicated that the property is 1.1 acres and is located on the east side of Trotter Drive. This is in the 495 Business Park and is part of the west industrial zoning district. The property is owned by Mrs. Mele. The proposed project includes the construction of a 6,000 sq. ft. one-story building with parking and loading facilities for Converting Technical Services. This business is considered light manufacturing/warehouse.

Mr. Bemis reported that the site plan has been reviewed by the Design Review Committee. The applicant took their suggestions and will incorporate those into the plan. The plan shows 21 vehicle parking spaces. This is an end cap parcel with no wetlands on site. The water on site runs to the east. There were details added for utilities per the consultant's comment letter. The site will have two driveways. There will be four to five employees. Another change includes no curb stops but a 7 ft. sidewalk. The Board would like the turning radius checked by the Fire Chief. 100% of the roof run off will be infiltrated. There will also be a two system chamber for stormwater infiltration. The handicap access was shown. The Board was informed that there will be an easement for possible tie in for the future.

The following waivers are being sought from the *Site Plan Rules and Regulations*:

- 205-6 Parking G. Parking Spaces/Stalls shall not be located within 15 ft. of the front, side and rear property lines.
- Parking stalls shall be 10' x 20'
- 205-6 wheel stops – these provide obstructions within the parking field.
- 204-3 Planning Board submittal – the project scale and scope is small being only 6,000 s.f.
- 205.5-Site Plan Contents (c.3. existing landscape inventory) – the site is partially wooded.
- 204.4 –B. the site plan scale – the small size of project requires a larger scale to show the detail of the design.

Consultant Bouley responded that he has no issues with what is being proposed but wants further details on the two chamber infiltration system.

Mr. Bemis noted that there will be no light spill onto abutting properties. Cut off shields will be placed on the lights. The DRC reviewed the landscape plan and would like the screen of arborvitaes to remain. A stormwater operation and maintenance plan will be provided. A small traffic analysis was completed.

The Board recommended extending the depth of the parking stalls and eliminating the wheel stops as they tend to cause issues during winter months for snow plowing operations. The snow removal area needs to be noted on the plan. The applicant needs to provide test pit information for the site. It is suggested that a commentary be included in the decision about two different stormwater infiltration systems in the design, those being a Cultec Recharger System and Precast Concrete Flow Diffuser system. A more thorough explanation of the concrete flow diffuser system should be provided for the stormwater management of the parking area. An operation and



maintenance plan should be prepared and the forms submitted. An easement from the abutting property needs to be provided to access the sewer line which is further south on Trotter Drive.

Peter Bemis explained that the volume of traffic generated is light and the daily trips per day would be 16 -20 trips for a 6,000 s.f. building. Trotter Drive is posted for 25 m.p.h. The traffic in this area is generally generated by the businesses in the industrial park.

Peter Bemis indicated that he is aware of the Urban Renewal Plan and supports this project. He worked on designing the site with the intention of the adjacent area being developed.

Consultant Carlucci would like some trees added for shade in the parking area (island.) The parking calculations also need to be added. He noted that the photometric plans shows some light trespass onto the abutting street. The regulations do not allow for this.

Peter Bemis indicated he would make the noted revisions and would like the hearing continued.

**On a motion made by Rich Di Iulio and seconded by Tom Gay, the Board voted by roll call vote to continue the hearing to June 26, 2018 at 7:05 pm.**

**Roll Call:**

<b>Rich Di Iulio</b>	<b>aye</b>
<b>Andy Rodenhiser</b>	<b>aye</b>
<b>Bob Tucker</b>	<b>aye</b>
<b>Tom Gay</b>	<b>aye</b>

**Merrimack Building Supply:**

The Board was in receipt of the following documents (**See Attached**)

- Letter from Bob Poxon, project engineer from Guerriere and Halnon, dated June 4, 2018 explaining requested proposed changes.
- Updated plan showing proposed changes dated April 30 and June 4, 2018.
- Steve Bouley review email memo dated June 6, 2018.

Project Engineer Robert Poxon from Guerriere & Halnon was present and explained that the proposed change is to eliminate 4,400 sq. ft. of planned pavement to the west of the existing storage shed. Catch basins 2 and 6 will be relocated to the edge of existing pavement. The catch basin in the proposed loading dock area will be replaced with a trench drain. The location of the roof drain has been adjusted. This will be noted on the plan. Two manholes have been added since the sewer service needed to be adjusted from the existing and proposed buildings. It was reported that the Conservation Agent is in favor of this change since it results in less impervious surface.

Consultant Bouley would like to make sure the field change is noted in the operation and maintenance plan.

**On a motion made by Bob Tucker and seconded by Tom Gay, the Board voted by Roll Call Vote to approve the field change.**

**Roll Call:**

<b>Rich Di Iulio</b>	<b>aye</b>
<b>Andy Rodenhiser</b>	<b>aye</b>
<b>Bob Tucker</b>	<b>aye</b>

**Tom Gay** **aye**

**Other Business:**

### **Exelon Construction Services Change Order:**

Member Gay excused himself from the discussion regarding Exelon.

The Board is in receipt of the following documents: **(See Attached)**

- Change Order dated 6-5-18 from BETA Group for construction services for the Exelon expansion project.
- Exelon Construction Services Accounting Spreadsheet.

**On a motion made by Bob Tucker and seconded by Rich Di Iulio, the Board voted by Roll Call vote to approve the change order for Exelon for an additional \$6,350.**

### Roll Call:

<b>Rich Di Iulio</b>	<b>aye</b>
<b>Andy Rodenhiser</b>	<b>aye</b>
<b>Bob Tucker</b>	<b>aye</b>
<b>Tom Gay</b>	<b>abstained from voting</b>

**Milway Auto Site Plan Endorsement - 50 Adler Street:**

The Board is in receipt of the following documents (**See Attached**)

- Revised Site Plan dated June 5, 2018
- Tetra Tech sign off email dated June 6, 2018
- Verification dated May 6, 2018 from the Treasurer Collector's office that taxes are paid.
- Certificate of No Appeal from Town Clerk dated June 6, 2018.
- Construction Services invoice of \$8,657 dated May 23, 2018.

The Chairman indicated that all funds have been paid.

**On a motion made by Rich Di Iulio and seconded by Bob Tucker, the Board voted by Roll Call vote to endorse and hold the plan until all signatures are provided.**

## Roll Call:

<b>Rich Di Iulio</b>	<b>aye</b>
<b>Andy Rodenhiser</b>	<b>aye</b>
<b>Bob Tucker</b>	<b>aye</b>
<b>Tom Gay</b>	<b>no vote</b>

## CONSTRUCTION REPORTS:

The Board is in receipt of the following construction reports (**See Attached**)

- Tetra Tech Report #1 – Merrimack Building Supply May 9, 2018.
- BETA Report on Exelon Expansion Project – April 17, 20 & 25, 2018.
- Exelon Monthly Construction Update May 23, 2018.
- Beals and Thomas Progress Inspection Report #9 for Exelon – May 15, 2015.

### **CORRESPONDENCE:**

The Board is in receipt of the following documents (**See Attached**)

- 6-1-2018 PEDB Approval of Field Change for Medway Greens 176-178 Main Street.
- 6-1-18 PEDB memo to BOS to support contract extension for Tetra Tech.
- 6-1-18 Administrative Site Plan decision for PJ's Smoke "N" Grill 98 Main Street
- Collections of emails between Susy Affleck-Childs and John Shea of Needham Bank regarding Applegate performance security.

### **PEDB Meeting Minutes:**

#### **May 21, 2018:**

On a motion made by Rich Di Iulio and seconded by Bob Tucker, the Board voted by roll call vote to approve the minutes from the May 21, 2018 meeting.

#### **Roll Call:**

Rich Di Iulio	aye
Andy Rodenhiser	aye
Bob Tucker	aye
Tom Gay	aye

### **FUTURE MEETING:**

- Tuesday, June 26, 2018.

### **ADJOURN:**

On a motion made by Rich Di Iulio and seconded by Tom Gay, the Board voted unanimously to adjourn the meeting.

#### **Roll Call:**

Rich Di Iulio	aye
Andy Rodenhiser	aye
Bob Tucker	aye
Tom Gay	aye

The meeting was adjourned at 7:52 pm.

Prepared by,



Amy Sutherland  
Recording Secretary

Reviewed and edited by,



Susan E. Affleck-Childs  
Planning and Economic Development Coordinator



## Town of Medway

### Remote Participation Request

I, Robert K. Tucker (print name), hereby request to participate remote meeting of the Planning & Eco Dev. Board (Board/Committee/Commission) to be held on June 12, 2018 (date). I certify to the Chair that my absence is the result of one or more of the following factors which make my physical presence unreasonable:

- ☐ (1) Personal Illness or Disability ☐ (2) A Family or Other Emergency  
☐ (3) Military Service ☒ (4) Geographic Distance (Employee/Resident/Board Business)

Explanation: Working out of the area

During the meeting, I will be at the following location:

Springfield, MA  
Address

Phone Number

Robert K. Tucker  
Signature of Member

6-7-2018  
Date

Please sign and return to Chair

Request received by Andy Rodenhiser  
Chair (please print)

6-7-2018  
Date

Method of Participation cell phone/speaker-phone (e.g. speakerphone, video conference, etc.)

Request Approved ☒ Request Denied\* ☐



**June 12, 2018**  
**Medway Planning & Economic Development Board**  
**Meeting**

**Converting Technical Services Site Plan**

- Public Hearing Notice dated May 21, 2018
- Site Plan Application dated May 7, 2018
- Project Description letter dated May 11, 2018
- Waiver Requests dated May 11, 2018
- Site Plan dated March 26, 2018
- Tetra Tech review letter dated May 6, 2018
- PGC review letter dated May 6, 2018
- Memo dated May 24, 2018 to Town staff requesting review comments
- Review Comments dated May 30, 2018 from Fire Chief Jeff Lynch



**TOWN OF MEDWAY**  
**Planning & Economic Development Board**  
155 Village Street  
Medway, Massachusetts 02053

*Andy Rodenhiser, Chairman*  
*Robert K. Tucker, Vice-Chairman*  
*Thomas A. Gay, Clerk*  
*Matthew J. Hayes, P.E.*  
*Richard Di Iulio*

May 21, 2018

***Converting Technical Services Site Plan***  
***9 Trotter Drive***  
***NOTICE OF PUBLIC HEARING – June 12, 2018***

In accordance with the Medway Zoning Bylaw, Section 3.5 Site Plan Review, and certain provisions of Chapter 40A, Massachusetts General Laws, notice is given that the ***Medway Planning and Economic Development Board will conduct a Public Hearing on Tuesday, June 12, 2018 at 7:05 p.m. at Medway Town Hall, 155 Village Street, Medway, MA to consider the application of CTS Property Management of Franklin, MA for approval of a major site plan for a building construction project at 9 Trotter Drive.***

The subject property is 1.14 acres and is located on the east side of Trotter Drive in the 495 Business Park in the West Industrial zoning district. The parcel, shown on the Medway Assessors Map as #54-004-0004, is owned by Marguerite Mele of Medway, MA.

The proposed project includes construction of a 6,000 sq. ft. one-story building with associated parking and loading facilities for Converting Technical Services, a light manufacturing/warehouse business. The site plan shows parking for 21 vehicles, landscaping, stormwater drainage facilities, site and building lighting, and connections to municipal water and sewer. Site access/egress is planned with two curb cuts on Trotter Drive.

The plan is titled *9 Trotter Drive Site Plan*, is dated March 26, 2018 and was prepared by Engineering Design Consultants, Inc. of Southborough, MA.

The application, proposed site plan, building elevations, stormwater report and other supporting documents were filed with the Town on May 18, 2018 and are on file with the Medway Town Clerk and the Planning and Economic Development office at Medway Town Hall, 155 Village Street, Medway, MA and may be reviewed during regular business hours, Monday - Thursday from 7:30 a.m. to 4:30 p.m. and Fridays from 7:30 a.m. to 12:30 p.m. The site plan and application documents will be available for viewing at the Board's web page at:

<https://www.townofmedway.org/planning-economic-development-board/pages/recent-development-applications>.

Interested persons or parties are invited to review the plan, attend the public hearing, and express their views at the designated time and place. Written comments are encouraged and may be forwarded to [planningboard@townofmedway.org](mailto:planningboard@townofmedway.org). All comments will be entered into the record during the public hearing. Questions should be directed to the Planning and Economic Development office at 508-533-3291.

Andy Rodenhiser, Chairman

To be published in the *Milford Daily News*:

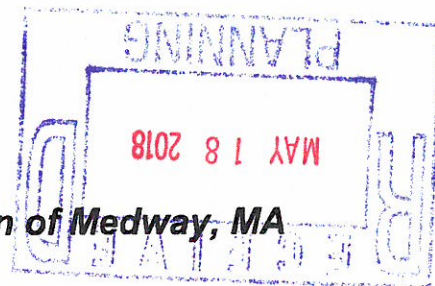
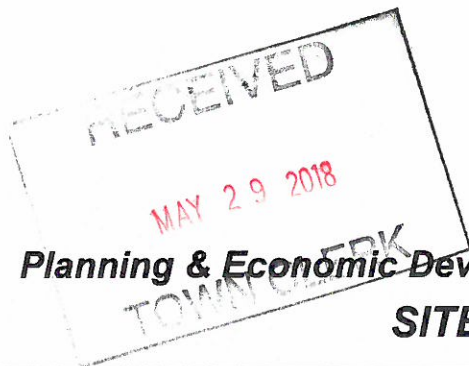
Tuesday, May 29, 2018

Monday, June 4, 2018

cc: *Planning Boards* – Bellingham, Franklin, Holliston, Milford, Millis and Norfolk

*Medway Town Officials/Departments* – Board of Selectmen/Town Administrator, Board of Assessors, Board of Health, Building Inspector/Zoning Enforcement Officer, Conservation Commission, Design Review Committee, Economic Development Committee, Fire Department, Police Department, Department of Public Services, Treasurer/Collector.





**Planning & Economic Development Board - Town of Medway, MA**  
**SITE PLAN REVIEW**

**Application for Major Site Plan Approval**

**INSTRUCTIONS TO APPLICANT/OWNER**

This Application is made pursuant to the Medway Zoning Bylaw and  
The Board's Rules and Regulations for the Submission and Review of Site Plans

The Town's Planning and Engineering Consultants will review the Application and the proposed  
Site Plan and provide review letters to the Planning and Economic Development Board.

A copy of those review letters will be provided to you in advance of the meeting.

You and/or your duly authorized Agent/Official Representative are expected to attend the  
Board meetings at which your Application will be considered to answer any questions and/or  
submit such additional information as the Board may request.

Your absence at hearings may result in a delay in the Board's review of the site plan.

5-7, 2018

**APPLICANT INFORMATION**

Applicant's Name: CTS PROPERTY MANAGEMENT

Mailing Address: 430 FRANKLIN VILLAGE DR. SUITE 177  
FRANKLIN, MA 02038

Name of Primary Contact: STEVE FISK

Telephone:  
Office: 508-520-6895 x100  
Cell: 617-640-7213

Email address: sfisk@convertingtechservices.com

☐ Please check here if the Applicant is the equitable owner (purchaser on a purchase and sales agreement.)

**MAJOR SITE PLAN INFORMATION**

Development Name: 9 TROTTER DRIVE SITE PLAN

Plan Title: SITE PLAN

Plan Date: MARCH 26, 2018

Prepared by:  
Name: WALTER LEWINSKI, PE  
Firm: ENGINEERING DESIGN CONSULTANTS INC.  
Phone #: 508-490-0225  
Email: planning@edcma.com



**PROPERTY INFORMATION**

Location Address: 9 TROTTER DRIVE

The land shown on the plan is shown on Medway Assessor's Map # 54 as Parcel # 004

Total Acreage of Land Area: 49529 S.F.

General Description of Property: SLIGHTLY OVER 1 AC. LAND SOUTH RTE 109  
ON EAST SIDE OF TROTTER DRIVE. PROPOSAL TO CONSTRUCT  
6,000 SF 1-STORY BUILDING WITH 20 PARKING SPACES +  
2-LOADING DOCKS

Medway Zoning District Classification: WEST INDUSTRIAL

Current Use of Property: VACANT AND PARTIALLY WOODED

Length of Existing Frontage: 370 FT. On what street? TROTTER DRIVE

Setbacks for Existing Structure (if applicable)

Front: 57.4'  
Back: 34.5'  
Side: 62.2'  
Side: 129.8'

**Scenic Road**

Does any portion of this property have frontage on a Medway Scenic Road?

☐ Yes ☒ No If yes, please name street: \_\_\_\_\_

**Historic District**

Is any portion of this property located within a Medway National Register Historic District? NO

☐ Yes - Rabbit Hill

☐ Yes - Medway Village

**Wetlands**

Is any portion of the property within a Wetland Resource Area? ☐ Yes ☒ No

**Groundwater Protection**

Is any portion of the property within a Groundwater Protection District? ☐ Yes ☒ No

**Flood Plain**

Is any portion of the property within a Designated Flood Plain? ☐ Yes ☒ No

**Zoning Board of Appeals**

Will this project require a variance or special permit?

☐ Yes ☒ No

Explanation: \_\_\_\_\_

**PROPOSED DEVELOPMENT PROJECT INFORMATION**Development Name: 9 TROTTER DRIVE

A Major Site Plan is any commercial, industrial, institutional, multi-family, or municipal project which involves:

- a. New construction; or
- b. Alteration, reconstruction, or renovation work that will result in a change in the outside appearance of an existing building or premises, visible from a public or private street or way; or
- c. A change of use of a building or buildings or premises:

AND which includes one or more the following: (Please check all that apply.)

- ☒ New Construction - 2,500 or more sq. ft. of "gross floor area"
- ☒ New Construction - Construction of a new building or addition requiring 15 or more parking spaces
- ☐ Change in Use requiring the construction of 15 or more parking spaces
- ☐ Change in Parking Area - The construction, expansion, redesign or alteration of an existing parking area involving the addition of 15 or more new parking spaces
- ☐ Other - Any use or structure, or expansion thereof, exempt under MGL, c. 40A, s.3, but only if one or more of the above criteria is met.

**PROPERTY OWNER INFORMATION (if not applicant)**Property Owner's Name: MARGUERITE E. MELEMailing Address: 203 MAIN ST.  
MEDWAY, MA 02053

Primary Contact: \_\_\_\_\_

Telephone: \_\_\_\_\_  
Office: \_\_\_\_\_ Cell: \_\_\_\_\_

Email address: \_\_\_\_\_

The owner's title to the land that is the subject matter of this application is derived under deed from: STANLEY + RUTH GEREL to MARGUERITE E. MELE dated 9/24/1979 and recorded in Norfolk County Registry of Deeds, Book 5655 Page 568 or Land Court Certificate of Title Number \_\_\_\_\_, Land Court Case Number \_\_\_\_\_, registered in the Norfolk County Land Registry District Volume \_\_\_\_\_, Page \_\_\_\_\_.

**CONSULTANT INFORMATION****ENGINEER:** WALTER LEWINSKI, PE ENGINEERING DESIGN  
CONSULTANTS INC.Mailing Address: 32 TURNPIKE RD.  
SOUTH BORO, MA 01772Primary Contact: PETER BEMISTelephone: \_\_\_\_\_  
Office: 508-480-0775 Cell: 508-380-9922Email address: pbemis@edcma.comRegistered P.E. License #: WALTER LEWINSKI PE #32327



**SURVEYOR:**

Mailing Address:

Primary Contact:

Telephone:

Office: Cell:

Email Address:

Registered P.L.S. License #:

**ARCHITECT:**

Mailing Address:

Primary Contact:

Telephone:

Office:

Cell:

Email address:

Registered Architect License #:

**LANDSCAPE ARCHITECT/DESIGNER:**

Mailing Address:

Primary Contact:

Telephone:

Office:

Cell:

Email address:

Registered Landscape Architect License #:

**ATTORNEY:**

Mailing Address:

Primary Contact:

Telephone:

Office:

Cell:

Email address:

**OFFICIAL REPRESENTATIVE INFORMATION**

Name: PETER BEMIS, EDC  
Address: 32 TURNPIKE RD.  
SOUTH BORO, MA 01772  
Telephone: \_\_\_\_\_  
Office: 508-420-0725 Cell: 508-380-9722  
Email address: pbemis@edcma.com

**SIGNATURES**

The undersigned, being the Applicant for approval of a Major Site Plan Project, herewith submits this application and Site Plan to the Medway Planning and Economic Development Board for review and approval. I hereby certify, under the pains and penalties of perjury, that the information contained in this application is a true, complete and accurate representation of the facts regarding the property and proposed development under consideration.

(If applicable, I hereby authorize PETER BEMIS to serve as my Agent/Official Representative to represent my interests before the Medway Planning & Economic Development Board with respect to this application.)

In submitting this application, I authorize the Board, its consultants and agents, Town staff, and members of the Design Review Committee to access the site during the plan review process.

I understand that pursuant to MGL 53G, the Medway Planning and Economic Development Board may retain outside professional consultants to review this application and that I am responsible for the costs associated with such reviews.

I understand that the Planning and Economic Development Board, its agents, staff, consultants, and other Town staff and committees may request additional information which I am responsible for providing to assist them in reviewing the proposed development.

Muel L. Melo POA  
Signature of Property Owner

5-11-18

Date

[Signature]  
Signature of Applicant (if other than Property Owner)

5/11/18

Date

[Signature]  
Signature of Agent/Official Representative

5/11/18

Date

**MAJOR SITE PLAN FEES****Filing Fee**

For projects up to 4,999 sq. ft./gross floor area = \$ 750 plus \$ .25/sq. ft.  
For projects of 5,000 – 9,999 sq. ft./gross floor area = \$1,000 plus \$ .25/sq. ft.  
For projects of 10,000 – 14,999 sq. ft./gross floor area = \$1,500 plus \$ .25/sq. ft.  
For projects of 15,000 sq. ft. or more/gross floor area = \$1,500 plus \$ .25/sq. ft.

**Advance on Plan Review Fee**

For projects up to 4,999 sq. ft./gross floor area = \$1,000 deposit  
For projects of 5,000 – 9,999 sq. ft./gross floor area = \$1,500 deposit  
For projects of 10,000 – 14,999 sq. ft./gross floor area = \$2,000 deposit  
For projects of 15,000 sq. ft. or more/gross floor area = \$2,500 deposit

**Submit 2 separate checks each made payable to: Town of Medway**



May 11, 2018

Planning Board  
Town Hall  
Medway, Massachusetts

RE: 9 Trotter Drive  
Medway, Massachusetts  
EDC Job No.: 3583

Attn Board Members:

Project Description

The proposed project is located on the easterly Trotter Drive, just south of Route 109, directly across from the Cybex International building at 10 Trotter Drive.

The project consists of constructing a 6,000 square foot building with associated parking and loading facilities for a light manufacturing/warehouse business to be operated by Converting Technical Services who are currently located in Franklin, MA. There will be approximately eight to ten employee's, operating the business during normal business hours from 8:00 a.m. to 6:00 p.m. the project should be completed 6 months after the construction start date. The existing site consists of 49,529 s.f. of a mostly wooded property with municipal sewer and water available, along with natural gas, communication and electric services.

An underground infiltration system is proposed for the roof runoff as well as a system to treat the stormwater runoff from the paved parking areas and infiltrate that runoff as well. The parking lot is graded so that no runoff from the project will enter Trotter Drive. Five pole-mounted lights are proposed with no light spilling onto abutting properties. Twenty-one parking spaces are proposed including one accessible space as well as a loading area for tractor-trailers. Street trees are proposed as well as screening the parking area from the adjacent parcel. There will be one entrance/exit for cars and to accommodate the turning radii of a tractor-trailer, and an additional exit for cars only. A screened dumpster will be provided for refuse storage and disposal. We look forward to the opportunity to present these Site Plans for Site Plan Review by the Board at your next available meeting date. Thank you for your consideration of this application.

Very truly yours,

ENGINEERING DESIGN CONSULTANTS, INC.



Peter Bemis

May 11, 2018

Planning Board  
Town Hall  
Medway, Massachusetts

RE: 9 Trotter Drive  
Medway, Massachusetts  
EDC Job No.: 3583

Attn Board Members:

In regard to the volume of traffic generated for the above referenced site, the average daily trips per day according to the ITE Trip Generation Data, 10<sup>th</sup> Edition for a warehouse (light manufacturing) would be 2.74 per 1,000 square feet. In this case the 6,000 s.f. building would generate approximately 16-20 trips per day.

Trotter Drive is posted for 25 m.p.h., the stopping sight distance required by ASSHTO is approximately 150 ft. at this posted speed and the sight distance along Trotter Drive with the planned driveway work to the north is approximately 250 ft. and to the south is over 400 ft.

In light of the minimal traffic volume generated by the proposed project and considering the 36 ft. width of Trotter Drive and safe sight distance, along with Trotter Drive being used generally by the businesses along the street, the proposed project has a minimal impact on traffic.

Very truly yours,


ENGINEERING DESIGN CONSULTANTS, INC.



Peter Bemis




**Medway Planning and Economic Development Board**  
**Request for Waiver from Site Plan Rules and Regulations**  
 Complete 1 form for each waiver request

<b>Project Name:</b>	9 Trotter Drive
<b>Property Location:</b>	9 Trotter Drive, Medway, MA
<b>Type of Project/Permit:</b>	Major Site Plan
Identify the number and title of the relevant Section of the Site Plan Rules and Regulations from which a waiver is sought.	204-A Standards for Site Plan Preparation
Summarize the text of the relevant Section of the Rules and Regulations from which a waiver is requested.	B. The site plan shall be drawn at a scale of 1"=40'
What aspect of the Regulation do you propose be waived?	1"=40'
What do you propose instead?	1"=20' + 1"=10'
Explanation/justification for the waiver request. Why is the waiver needed? Describe the extenuating circumstances that necessitate the waiver request.	The small size of the project requires a larger scale to show the detail of the design.
What is the estimated value/cost savings to the applicant if the waiver is granted?	NO SAVINGS
How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	BETTER CLARITY OF PROJECT INFO.
What is the impact on the development if this waiver is denied?	NO IMPACT
What are the design alternatives to granting this waiver?	PLOT DRAWINGS AT 40 SCALE
Why is granting this waiver in the Town's best interest?	BETTER CLARITY OF PROJECT INFO.
If this waiver is granted, what is the estimated cost savings and/or cost avoidance to the Town?	NO COST
What mitigation measures do you propose to offset not complying with the particular Rule/Regulation?	NO MITIGATION
What is the estimated value of the proposed mitigation measures?	NO VALUE
Other Information?	
Waiver Request Prepared By:	
Date:	5-11-18
Questions?? - Please contact the Medway PED office at 508-533-3291.	

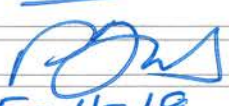


**Medway Planning and Economic Development Board**  
**Request for Waiver from Site Plan Rules and Regulations**  
 Complete 1 form for each waiver request

<b>Project Name:</b>	9 Trotter Drive
<b>Property Location:</b>	9 Trotter Drive, Medway, MA
<b>Type of Project/Permit:</b>	Major Site Plan
Identify the number and title of the relevant Section of the Site Plan Rules and Regulations from which a waiver is sought.	204-5 Site Plan Contents
Summarize the text of the relevant Section of the Rules and Regulations from which a waiver is requested.	C.3. Existing Landscape Inventory
What aspect of the Regulation do you propose be waived?	EXISTING LANDSCAPE INVENTORY
What do you propose instead?	EXISTING CONDITIONS AS PRESENTED
Explanation/justification for the waiver request. Why is the waiver needed? Describe the extenuating circumstances that necessitate the waiver request.	SITE PARTIALLY WOODED WITH NO SIGNIFICANT OR REDEEMING VEGETATIONS NEEDING IDENTIFICATION OR PROTECTION
What is the estimated value/cost savings to the applicant if the waiver is granted?	NOMINAL VALUE
How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	TREE SALE RETAINED AT WORK LIMITS
What is the impact on the development if this waiver is denied?	NO CHANGE
What are the design alternatives to granting this waiver?	NO CHANGE
Why is granting this waiver in the Town's best interest?	NO NEGATIVE IMPACT FROM WAIVER
If this waiver is granted, what is the estimated cost savings and/or cost avoidance to the Town?	NO COST
What mitigation measures do you propose to offset not complying with the particular Rule/Regulation?	SUPPLEMENTAL PLANTINGS PROVIDED AT STREET & ALONG WORK LIMIT
What is the estimated value of the proposed mitigation measures?	\$15K
Other Information?	
Waiver Request Prepared By:	
Date:	5-11-19
Questions?? - Please contact the Medway PED office at 508-533-3291.	




**Medway Planning and Economic Development Board**  
**Request for Waiver from Site Plan Rules and Regulations**  
 Complete 1 form for each waiver request

<b>Project Name:</b>	9 Trotter Drive
<b>Property Location:</b>	9 Trotter Drive, Medway, MA
<b>Type of Project/Permit:</b>	Major Site Plan
Identify the number and title of the relevant Section of the Site Plan Rules and Regulations from which a waiver is sought.	205-6 Parking
Summarize the text of the relevant Section of the Rules and Regulations from which a waiver is requested.	G. Parking Spaces/Stalls
What aspect of the Regulation do you propose be waived?	3a) Stalls shall be 10' x 20'
What do you propose instead?	9' x 18' + Angle stalls
Explanation/justification for the waiver request. Why is the waiver needed? Describe the extenuating circumstances that necessitate the waiver request.	CREATING ONE-WAY TRAVEL FLOW PARKING SPACES ARE SUFFICIENTLY SIZED TO ACCOMMODATE DEVELOPMENT
What is the estimated value/cost savings to the applicant if the waiver is granted?	NOMINAL COST
How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	LESS ASPHALT REQUIRED
What is the impact on the development if this waiver is denied?	ADDITIONAL ASPHALT
What are the design alternatives to granting this waiver?	RECONFIGURATION OF PARKING FIELD
Why is granting this waiver in the Town's best interest?	EQUAL DESIGN WITH LESS IMPERVIOUS AREA
If this waiver is granted, what is the estimated cost savings and/or cost avoidance to the Town?	NOMINAL SAVINGS
What mitigation measures do you propose to offset not complying with the particular Rule/Regulation?	ADDED OPEN LAND
What is the estimated value of the proposed mitigation measures?	NOMINAL VALUE
Other Information?	
Waiver Request Prepared By:	
Date:	5-11-18
Questions?? - Please contact the Medway PED office at 508-533-3291.	




**Medway Planning and Economic Development Board**  
**Request for Waiver from Site Plan Rules and Regulations**  
 Complete 1 form for each waiver request

<b>Project Name:</b>	9 Trotter Drive
<b>Property Location:</b>	9 Trotter Drive, Medway, MA
<b>Type of Project/Permit:</b>	Major Site Plan
Identify the number and title of the relevant Section of the Site Plan Rules and Regulations from which a waiver is sought.	205-6 Parking
Summarize the text of the relevant Section of the Rules and Regulations from which a waiver is requested.	G. Parking Spaces/stalls
What aspect of the Regulation do you propose be waived?	3b. Wheel stops
What do you propose instead?	Cape Cod Berms + Integral Concrete Walk + Curb
Explanation/justification for the waiver request. Why is the waiver needed? Describe the extenuating circumstances that necessitate the waiver request.	WHEEL STOPS IMPOSE OBSTRUCTIONS WITHIN PARKING FIELD
What is the estimated value/cost savings to the applicant if the waiver is granted?	\$2500
How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	ELIMINATES OBSTRUCTIONS, PROVIDES FOR BETTER SNOW REMOVAL AND SITE MANAGEMENT
What is the impact on the development if this waiver is denied?	LESS DESIRABLE SITE CONDITION
What are the design alternatives to granting this waiver?	NONE
Why is granting this waiver in the Town's best interest?	NO ADVERSE IMPACT TO TOWN
If this waiver is granted, what is the estimated cost savings and/or cost avoidance to the Town?	NONE
What mitigation measures do you propose to offset not complying with the particular Rule/Regulation?	NONE
What is the estimated value of the proposed mitigation measures?	NONE
Other Information?	
Waiver Request Prepared By:	
Date:	5-11-19
Questions?? - Please contact the Medway PED office at 508-533-3291.	




**Medway Planning and Economic Development Board**  
**Request for Waiver from Site Plan Rules and Regulations**  
 Complete 1 form for each waiver request

<b>Project Name:</b>	9 Trotter Drive
<b>Property Location:</b>	9 Trotter Drive, Medway, MA
<b>Type of Project/Permit:</b>	Major Site Plan
Identify the number and title of the relevant Section of the Site Plan Rules and Regulations from which a waiver is sought.	205-6 Parking G. Parking Spaces/Stalls
Summarize the text of the relevant Section of the Rules and Regulations from which a waiver is requested.	4b. The stalls shall not be located within 15' of the front, side & rear property lines
What aspect of the Regulation do you propose be waived?	
What do you propose instead?	10' Min. to the side property line.
Explanation/justification for the waiver request. Why is the waiver needed? Describe the extenuating circumstances that necessitate the waiver request.	LOADING ZONE LIMITS FOR TRUCK TRAVEL TO AVOID PARKED VEHICLES. SCREENING PROVIDED ALONG LOTLINE
What is the estimated value/cost savings to the applicant if the waiver is granted?	NOMINAL COST
How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	ADD MORE IMPERVIOUS AREA
What is the impact on the development if this waiver is denied?	INCREASE ASPHALT WITHIN LOADING AREA
What are the design alternatives to granting this waiver?	" " " " "
Why is granting this waiver in the Town's best interest?	REDUCE IMPERVIOUS LIMITS
If this waiver is granted, what is the estimated cost savings and/or cost avoidance to the Town?	NO COST
What mitigation measures do you propose to offset not complying with the particular Rule/Regulation?	SCREENING ALONG LOT LINE
What is the estimated value of the proposed mitigation measures?	\$7K
Other Information?	
Waiver Request Prepared By:	
Date:	5-11-18
Questions?? - Please contact the Medway PED office at 508-533-3291.	



**Medway Planning and Economic Development Board**  
**Request for Waiver from Site Plan Rules and Regulations**  
 Complete 1 form for each waiver request

<b>Project Name:</b>	9 Trotter Drive
<b>Property Location:</b>	9 Trotter Drive, Medway, MA
<b>Type of Project/Permit:</b>	Major Site Plan
Identify the number and title of the relevant Section of the Site Plan Rules and Regulations from which a waiver is sought.	204-3 Planning Board Submittals
Summarize the text of the relevant Section of the Rules and Regulations from which a waiver is requested.	A.7. A written Development Impact Statement.
What aspect of the Regulation do you propose be waived?	ALL SECTIONS EXCEPT TRAFFIC
What do you propose instead?	ADDRESS TRAFFIC WITH NARRATIVE
Explanation/justification for the waiver request. Why is the waiver needed? Describe the extenuating circumstances that necessitate the waiver request.	PROJECT SCALE + SCOPE IS SMALL BEING ONLY 6,000 SF ON ABOUT 1 AC. TRAFFIC IS ADDRESSED.
What is the estimated value/cost savings to the applicant if the waiver is granted?	\$2500
How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	NO ADVERSE IMPACTS FROM NOT ADDRESSING REMAINING SECTIONS OF A.7
What is the impact on the development if this waiver is denied?	NO IMPACT TO PROJECT
What are the design alternatives to granting this waiver?	DESIGN WILL NOT CHANGE AS A RESULT
Why is granting this waiver in the Town's best interest?	PROJECT HAS MINIMAL IMPACT
If this waiver is granted, what is the estimated cost savings and/or cost avoidance to the Town?	NO COST
What mitigation measures do you propose to offset not complying with the particular Rule/Regulation?	DESIGN UNCHANGED
What is the estimated value of the proposed mitigation measures?	NO VALUE
Other Information?	
Waiver Request Prepared By:	
Date:	5-11-18
Questions?? - Please contact the Medway PED office at 508-533-3291.	



# 9 TROTTER DRIVE

## A SITE PLAN

### IN

## MEDWAY, MASSACHUSETTS

### (NORFOLK COUNTY)

**OWNER:**

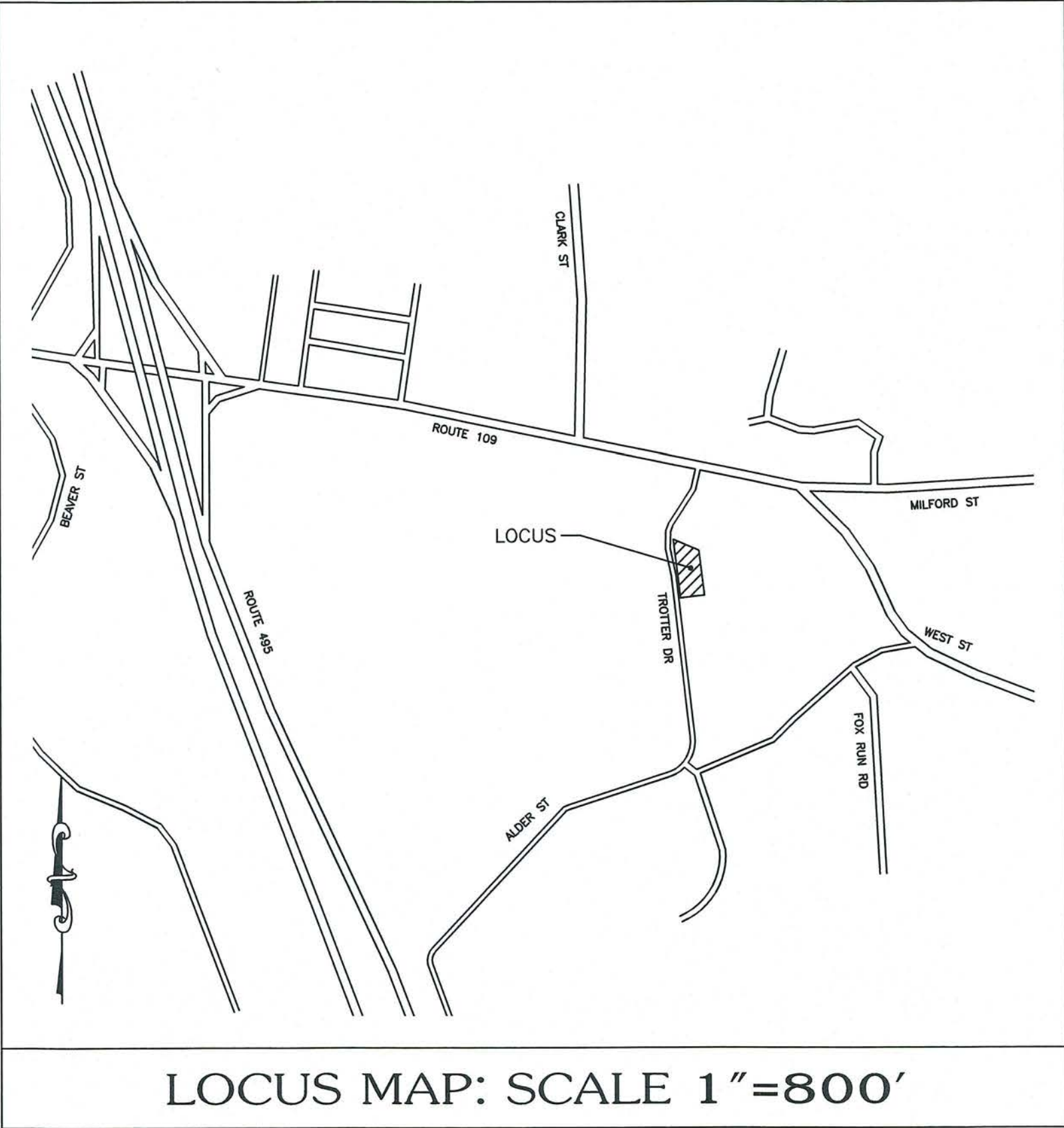
MARGUERITE K. MELE  
203 MAIN STREET  
MEDWAY, MASSACHUSETTS 02053

**APPLICANT:**

CTS PROPERTY MANAGEMENT  
430 FRANKLIN VILLAGE DRIVE - SUITE 177  
FRANKLIN, MASSACHUSETTS 02038

**ENGINEER:**

ENGINEERING DESIGN CONSULTANTS, INC.  
32 TURNPIKE ROAD  
SOUTHBOROUGH, MASSACHUSETTS 01772



MARCH 26, 2018

WAIVERS FROM SITE PLAN RULES AND REGULATIONS

- 1) SECTION 204-3 PLANNING BOARD SUBMITTALS, A. 7. DEVELOPMENT IMPACT REPORT
- 2) SECTION 204-4 STANDARDS FOR SITE PLAN PREPARATION - B
- 3) SECTION 204-5 SITE PLAN CONTENTS C. 3. EXISTING LANDSCAPE INVENTORY
- 4) SECTION 205-6 PARKING, G. PARKING SPACES AND STALLS, 3. a
- 5) SECTION 205-6 PARKING, G. PARKING SPACES AND STALLS, 3. b
- 6) SECTION 205-6 PARKING, G. PARKING SPACES AND STALLS, 4. b

WAIVER FROM ZONING BYLAW

- 1) SECTION 7.1.1 OFF-STREET PARKING AND LOADING, I. BICYCLE PARKING

SHEET LIST:

SITE PLANS

- |   |                        |
|---|------------------------|
| 0 | COVER SHEET            |
| 1 | EXISTING CONDITIONS    |
| 2 | PROPOSED LAYOUT        |
| 3 | GRADING & UTILITIES    |
| 4 | LIGHTING & LANDSCAPING |
| 5 | DETAILS                |

STORMWATER PLANS

- |   |                         |
|---|-------------------------|
| 1 | STORMWATER (SWPPP) PLAN |
|---|-------------------------|

ARCHITECTURAL PLANS

- |     |                |
|-----|----------------|
| S-1 | FLOOR PLAN     |
| S-2 | ELEVATION PLAN |

APPROVED BY:  
MEDWAY PLANNING & ECONOMIC  
DEVELOPMENT BOARD

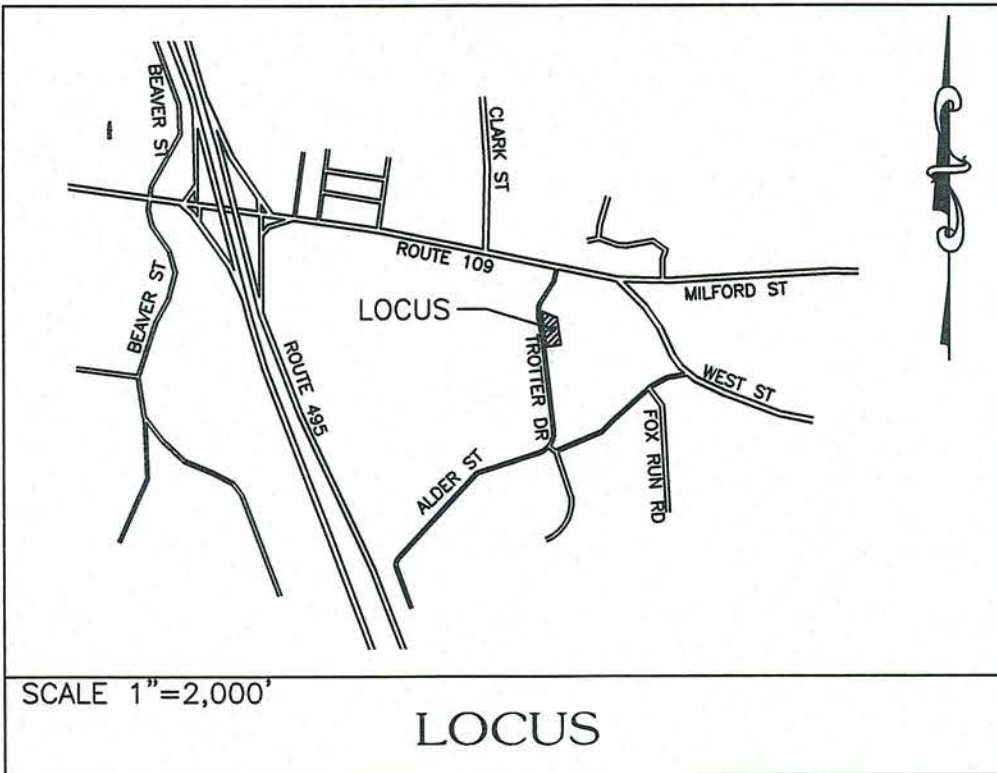
DATE: \_\_\_\_\_

CERTIFICATE OF VOTE

SEE CERTIFICATE OF VOTE FOR SITE PLAN APPROVAL DATED, MAY , 2018 FOR PLAN ENTITLED, '9 TROTTER DRIVE, A SITE PLAN IN MEDWAY MASSACHUSETTS,' FROM THE MEDWAY PLANNING BOARD, VOTED TO APPROVE WITH STANDARD CONDITIONS.



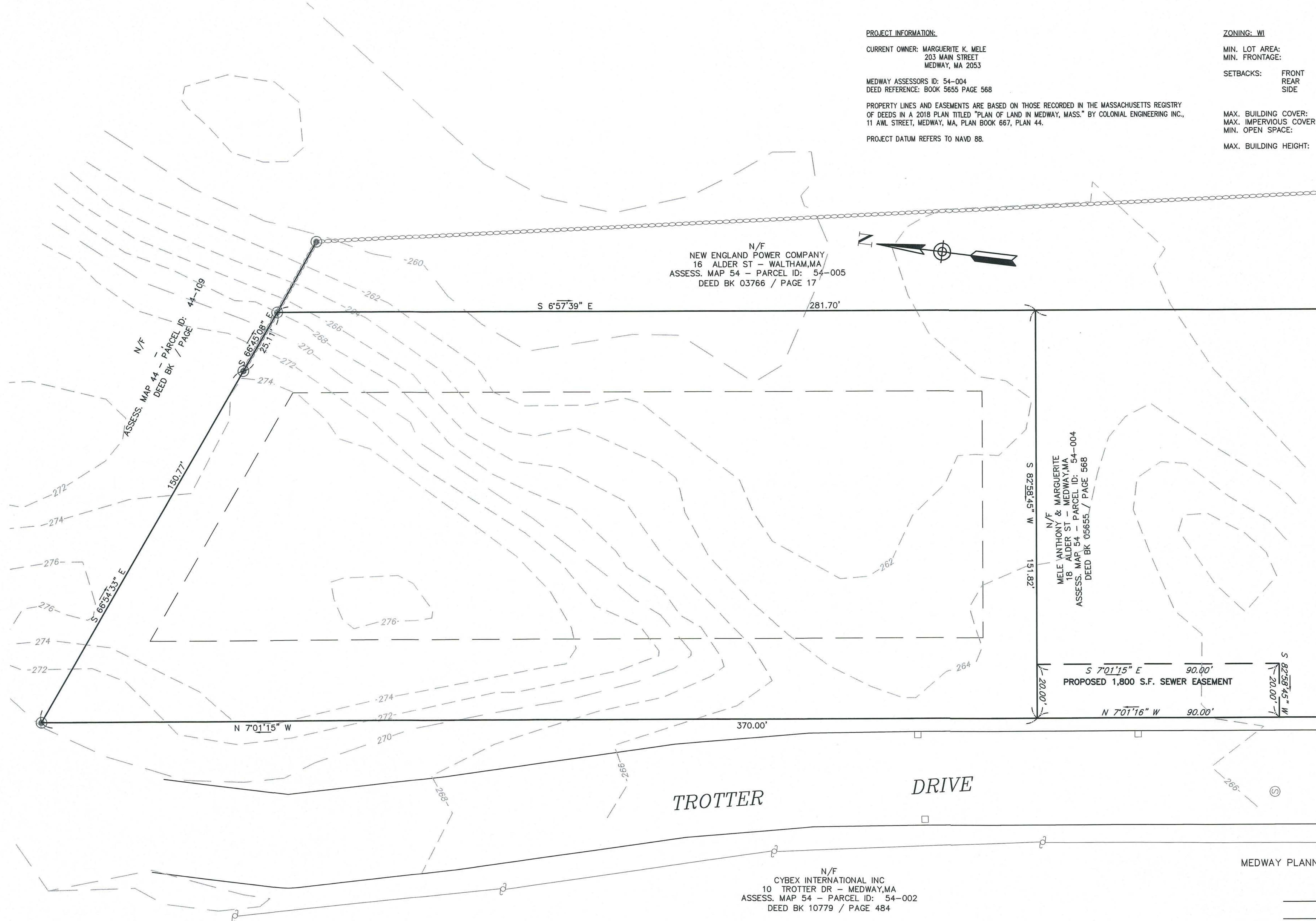
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NOTE:  
UNDERGROUND UTILITY LOCATIONS ARE  
NOT GUARANTEED.

IT SHALL BE THE RESPONSIBILITY OF THE  
CONTRACTOR TO VERIFY LOCATIONS AND  
ELEVATIONS OF EXISTING UTILITIES PRIOR  
TO COMMENCEMENT OF ANY CONSTRUCTION

DIGSAFE IS TO BE NOTIFIED 72 BUSINESS  
HOURS IN ADVANCE OF CONSTRUCTION.  
CALL DIGSAFE AT 811



#### PROJECT INFORMATION:

CURRENT OWNER: MARGUERITE K. MELE  
203 MAIN STREET  
MEDWAY, MA 02053

MEDWAY ASSESSORS ID: 54-004  
DEED REFERENCE: BOOK 5655 PAGE 568

PROPERTY LINES AND EASEMENTS ARE BASED ON THOSE RECORDED IN THE MASSACHUSETTS REGISTRY  
OF DEEDS IN A 2018 PLAN TITLED "PLAN OF LAND IN MEDWAY, MASS." BY COLONIAL ENGINEERING INC.,  
11 AUL STREET, MEDWAY, MA, PLAN BOOK 667, PLAN 44.

PROJECT DATUM REFERS TO NAVD 88.

#### ZONING: W1

MIN. LOT AREA: 40,000 S.F.  
MIN. FRONTAGE: 100 FT.

SETBACKS: FRONT 30 FT.  
REAR 20 FT.  
SIDE 30 FT.

MAX. BUILDING COVER: NA  
MAX. IMPERVIOUS COVER: 80%  
MIN. OPEN SPACE: 20%  
MAX. BUILDING HEIGHT: 60 FT.

REQUIRED	EXISTING	PROPOSED
40,000 S.F.	49,529±S.F.	
100 FT.	370.00±FT.	
30 FT.	NA	57.4± FT.
20 FT.	NA	34.5± FT.
30 FT.	NA	62.2± FT.
NA	0%	13%
80%	0%	48%
20%	100%	52%
NA	NA	<60 FT.

#### LEGEND

BIT CONC	BITUMINOUS CONCRETE
CB	BORING
CO	CATCHBASIN
CLF	CLEAN OUT
CONC	CHAIN LINK FENCE
CW	CONCRETE
DMH	CROSSWALK
D	DRAIN MANHOLE
ELEC	DRAIN LINE
EMH	ELECTRIC
ECB	ELECTRIC MANHOLE
FD	EROSION CONTROL BARRIER
GG	FOUNDATION DRAIN
GAS	GAS GATE
HC	GAS LINE
HYD	GAS GATE
INV	HANDICAPPED RAMP
LP	INVERT
MH	LIGHT POLE
PVC	MANHOLE
RCP	POLY-VINYL-CHLORIDE
RD	REINFORCED CONCRETE PIPE
S	ROOF DRAIN
SMH	SEWER LINE
S	SEWER MANHOLE
SB/DH	SEWER MANHOLE
TELE	SEWER MANHOLE
TMH	SEWER MANHOLE
TRANS	STONE BOUND/DRILLHOLE
VGC	TELEPHONE LINE
WG	TELEPHONE MANHOLE
W	TEST PIT
W	TRANSFORMER
W	VERTICAL GRANITE CURB
W	WATER GATE
W	WATER LINE
W	WETLAND FLAG

SITE PLAN REVIEW  
MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD

#### CERTIFICATE OF VOTE

SEE CERTIFICATE OF VOTE FOR SITE PLAN APPROVAL DATED, APRIL XX, 2018 FOR PLAN  
ENTITLED, '15 TROTTER DRIVE, A SITE PLAN IN MEDWAY MASSACHUSETTS,' FROM THE  
MEDWAY PLANNING BOARD, VOTED TO APPROVE WITH STANDARD CONDITIONS.

DATE: \_\_\_\_\_

ALL RIGHTS RESERVED

ENGINEERING DESIGN CONSULTANTS, INC. SHALL NOT BE  
RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS,  
TECHNIQUES, OR PROCEDURES UTILIZED BY THE  
CONTRACTOR, NOR FOR THE SAFETY OF PUBLIC OR  
CONTRACTOR'S EMPLOYEES; OR FOR THE FAILURE OF THE  
CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE  
WITH THE CONTRACT DOCUMENTS.

ENGINEERING DESIGN CONSULTANTS, INC.'S LIABILITY FOR  
THIS PLAN IS LIMITED TO THE EXTENT OF ITS FEE LESS  
THIRD PARTY COSTS.

DRAWN BY: ZRB  
CHECKED BY: PSB  
APPROVED BY: WML

REVISIONS:  
0 3/26/18 SITE PLAN REVIEW  
DATE DESCRIPTION



PREPARED BY:



Engineering Design Consultants, Inc.  
32 Turnpike Road  
Southborough, Massachusetts  
ph: (508) 480-0225 fax: (800) 832-5781

PROJECT:

SITE PLAN  
9 TROTTER DRIVE  
MEDWAY, MASSACHUSETTS 02053

TITLE:

EXISTING CONDITIONS

SITE PLAN

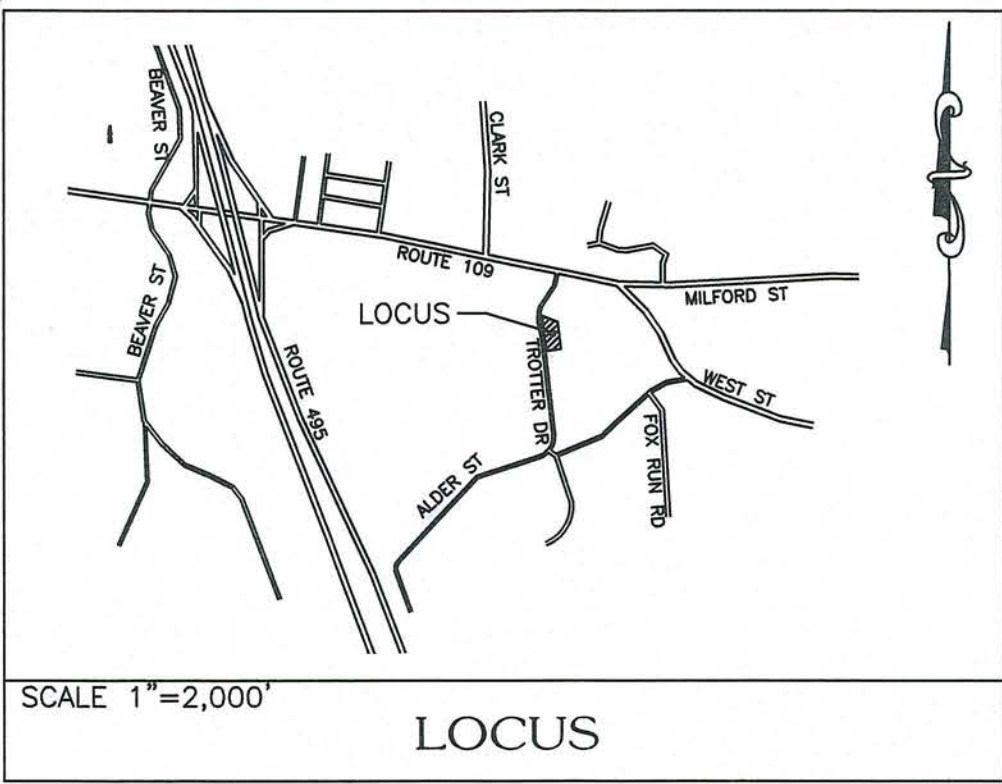
OWNER: MARGUERITE K. MELE  
203 MAIN STREET  
MEDWAY, MASSACHUSETTS 02053

APPLICANT: CTS PROPERTY MANAGEMENT  
430 FRANKLIN VILLAGE DRIVE - SUITE 177  
FRANKLIN, MASSACHUSETTS 02038

FILE NO: 3583  
EXISTING CONDITIONS  
DATE: MARCH 26, 2018  
PLAN NUMBER: 2 of 6  
2



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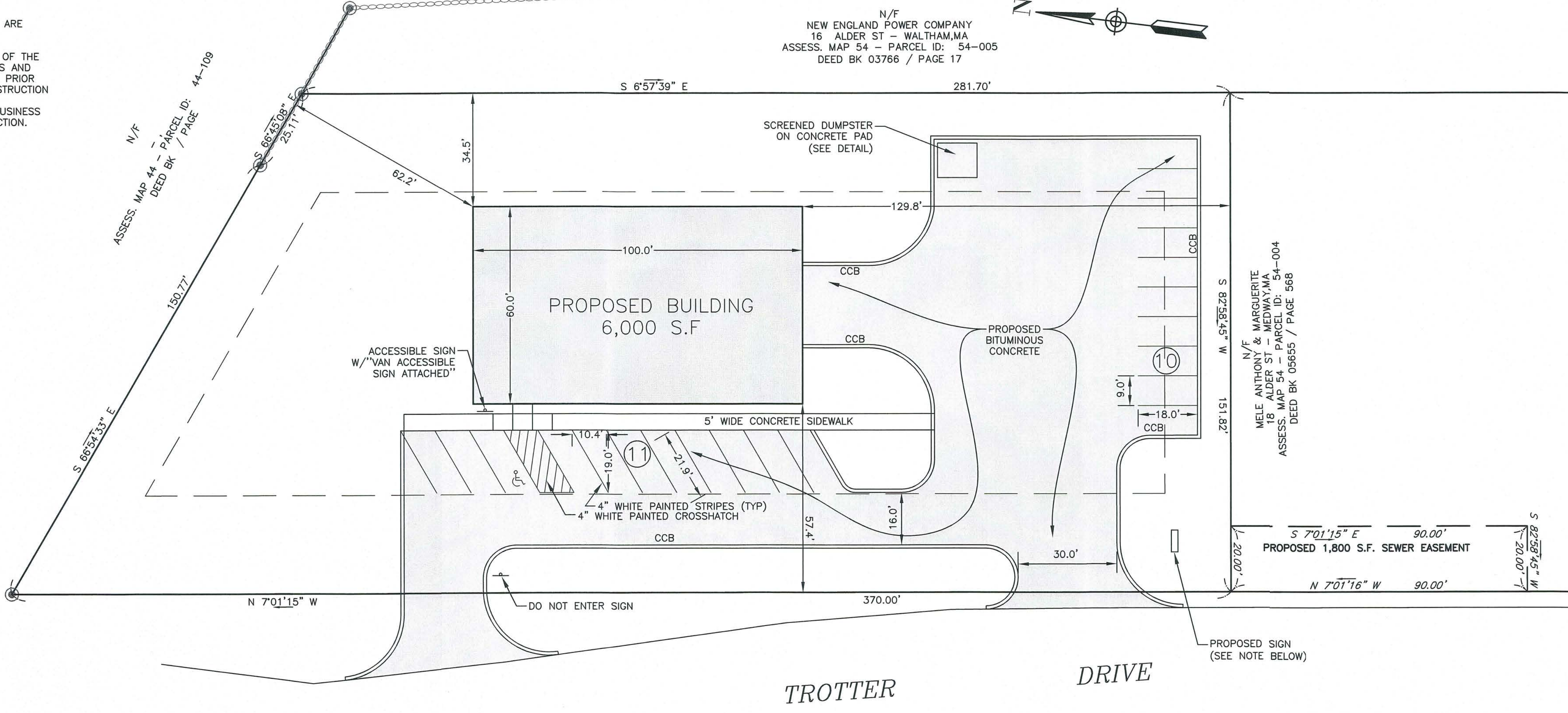
NOTE:  
UNDERGROUND UTILITY LOCATIONS ARE NOT GUARANTEED.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION

DIGSAFE IS TO BE NOTIFIED 72 BUSINESS HOURS IN ADVANCE OF CONSTRUCTION. CALL DIGSAFE AT 811



N/F  
ASSESS. MAP 44 - PARCEL ID: 44-109  
DEED BK / PAGE



N/F  
NEW ENGLAND POWER COMPANY  
16 ALDER ST - WALTHAM, MA  
ASSESS. MAP 54 - PARCEL ID: 54-005  
DEED BK 03766 / PAGE 17

N/F  
MELE ANTHONY & MARGUERITE  
18 ALDER ST - MEDWAY, MA  
ASSESS. MAP 54 - PARCEL ID: 54-004  
DEED BK 05655 / PAGE 568

PROJECT INFORMATION:

CURRENT OWNER: MARGUERITE K. MELE  
203 MAIN STREET  
MEDWAY, MA 02053

MEDWAY ASSESSORS ID: 54-004

PROPERTY LINES AND EASEMENTS ARE BASED ON THOSE RECORDED IN THE MASSACHUSETTS REGISTRY OF DEEDS IN A 2018 PLAN TITLED "PLAN OF LAND IN MEDWAY, MASS." BY COLONIAL ENGINEERING INC., 11 AML STREET, MEDWAY, MA, PLAN BOOK 667, PLAN 44.

PROJECT DATUM REFERS TO NAVD 88.

ZONING: W1		REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA:		40,000 S.F.	49,528±S.F.	
MIN. FRONTAGE:		100 FT.	370.00±FT.	
SETBACKS:	FRONT	30 FT.	NA	57.4± FT.
	REAR	20 FT.	NA	34.5± FT.
	SIDE	30 FT.	NA	62.2± FT.
MAX. BUILDING COVER:	NA	0%	13%	
MAX. IMPERVIOUS COVER:	80%	0%	48%	
MIN. OPEN SPACE:	20%	100%	52%	
MAX. BUILDING HEIGHT:	60 FT.	NA	<60 FT.	

LEGEND

BIT CONC	BITUMINOUS CONCRETE
BORING	BORING
CB	CATCHBASIN
CCB	CAPE COD BERM
CO	CLEAN OUT
CLF	CHAIN LINK FENCE
CONC	CONCRETE
CW	CROSSWALK
DMH	DRAIN MANHOLE
D	DRAIN LINE
ELEC	ELECTRIC
EMH	ELECTRIC MANHOLE
ECB	EROSION CONTROL BARRIER
FD	FOUNDATION DRAIN
GG	GAS GATE
GG	GAS LINE
GG	GAS GATE
HC	HANDICAPPED RAMP
HYD	HYDRANT
INV	INVERT
LP	LIGHT POLE
MH	MANHOLE
PVC	POLY-VINYL-CHLORIDE
RCP	REINFORCED CONCRETE PIPE
RD	ROAD
S	SEWER LINE
SMH	SEWER MANHOLE
S	STONE BOUND/DRILLHOLE
SB/DH	STONE BOUND/DRILLHOLE
TELE	TELEPHONE LINE
TMH	TELEPHONE MANHOLE
TRANS	TRANSFORMER
VGC	VERTICAL GRANITE CURB
WG	WATER GATE
W	WATER LINE
W	WETLAND FLAG

SITE PLAN REVIEW  
MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD

DATE: \_\_\_\_\_

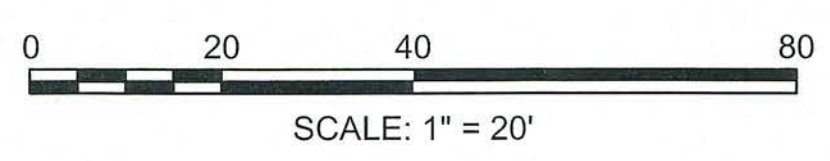
SIGN NOTE:

PROPOSED SIGN SHALL BE 6'-8" LONG BY 3'-0" HIGH BY 2'-0" MONUMENT SIGN SETBACK 10'-0" FROM PROPERTY LINES. BASIS FOR SIGN DESIGN IS WEST INDUSTRIAL GROUND MONUMENT SIGN AS ALLOWED PER SIGN BYLAW HAVING MAXIMUM SIZE OF 20.0 SF. PER SIDE FOR A 2 SIDED SIGN. A TWO SIDED 20.0 SF. PER SIDE SIGN IS PROPOSED.

SNOW STORAGE IS LIMITED ALONG THE PERIMETER OF THE PARKING AREA LIMITS AND AS SUCH WILL REQUIRE PERIODIC REMOVAL SHOULD SNOWFALL EVENTS EXCEED STORAGE LIMITS. WHEN SNOW ACCUMULATION EXCEEDS STORAGE CAPACITY IT SHALL BE REMOVED FROM THE SITE AND DISPOSED OF WITH A LICENSED FACILITY.

CERTIFICATE OF VOTE

SEE CERTIFICATE OF VOTE FOR SITE PLAN APPROVAL DATED, MAY , 2018 FOR PLAN ENTITLED, '9 TROTTER DRIVE, A SITE PLAN IN MEDWAY MASSACHUSETTS,' FROM THE MEDWAY PLANNING BOARD, VOTED TO APPROVE WITH STANDARD CONDITIONS.



N/F  
CYBEX INTERNATIONAL INC  
10 TROTTER DR - MEDWAY, MA  
ASSESS. MAP 54 - PARCEL ID: 54-002  
DEED BK 10779 / PAGE 484

ALL RIGHTS RESERVED

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ENGINEERING DESIGN CONSULTANTS, INC. SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, OR PROCEDURES UTILIZED BY THE CONTRACTOR, NOR FOR THE SAFETY OF PUBLIC OR CONTRACTORS EMPLOYEES; OR FOR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

ENGINEERING DESIGN CONSULTANTS, INC.'S LIABILITY FOR THIS PLAN IS LIMITED TO THE EXTENT OF ITS FEE LESS THIRD PARTY COSTS.

DRWN BY:	ZRB	0	3/26/18	SITE PLAN REVIEW	
CHK'D BY:	PSB			DESCRIPTION	
APPR'D BY:	WML				



PREPARED BY:

Engineering Design Consultants, Inc.  
32 Turnpike Road  
Southborough, Massachusetts  
ph:(508) 480-0225 fax:(508)932-5781

PROJECT:

SITE PLAN  
9 TROTTER DRIVE  
MEDWAY, MASSACHUSETTS 02053

TITLE:

PROPOSED LAYOUT  
SITE PLAN

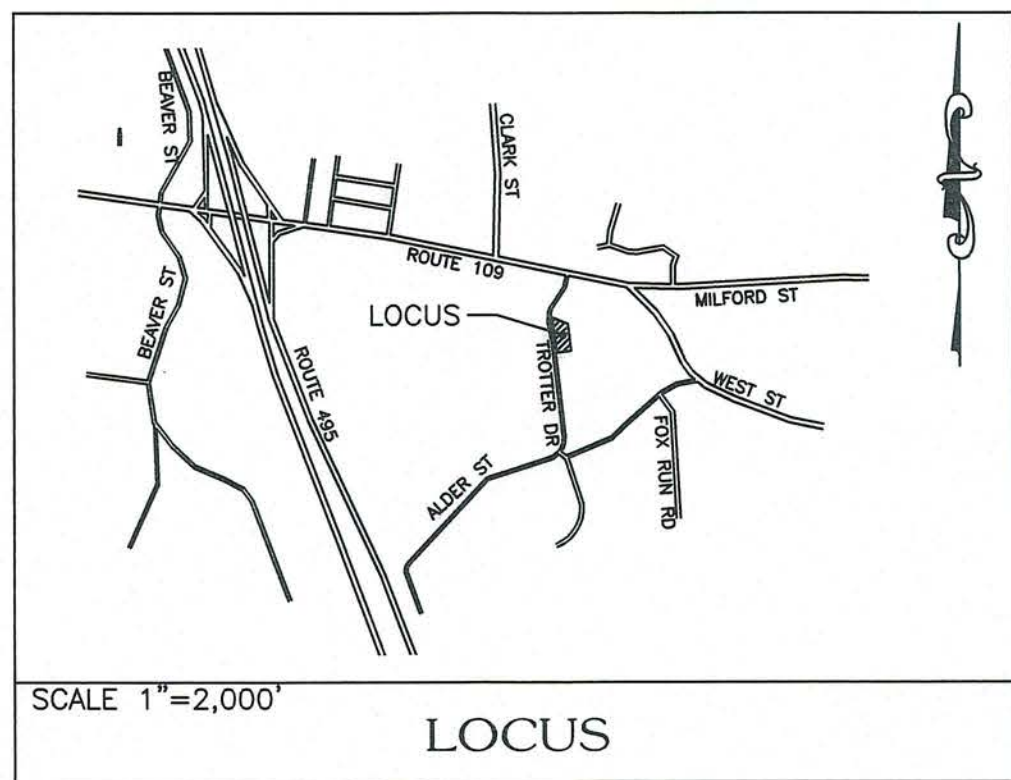
OWNER: MARGUERITE K. MELE  
203 MAIN STREET  
MEDWAY, MASSACHUSETTS 02053

APPLICANT: CTS PROPERTY MANAGEMENT  
430 FRANKLIN VILLAGE DRIVE - SUITE 177  
FRANKLIN, MASSACHUSETTS 02038

FILE NO: 3583  
PROPOSED LAYOUT  
DATE: MARCH 26, 2018  
PLAN NUMBER: 3 of 6  
3

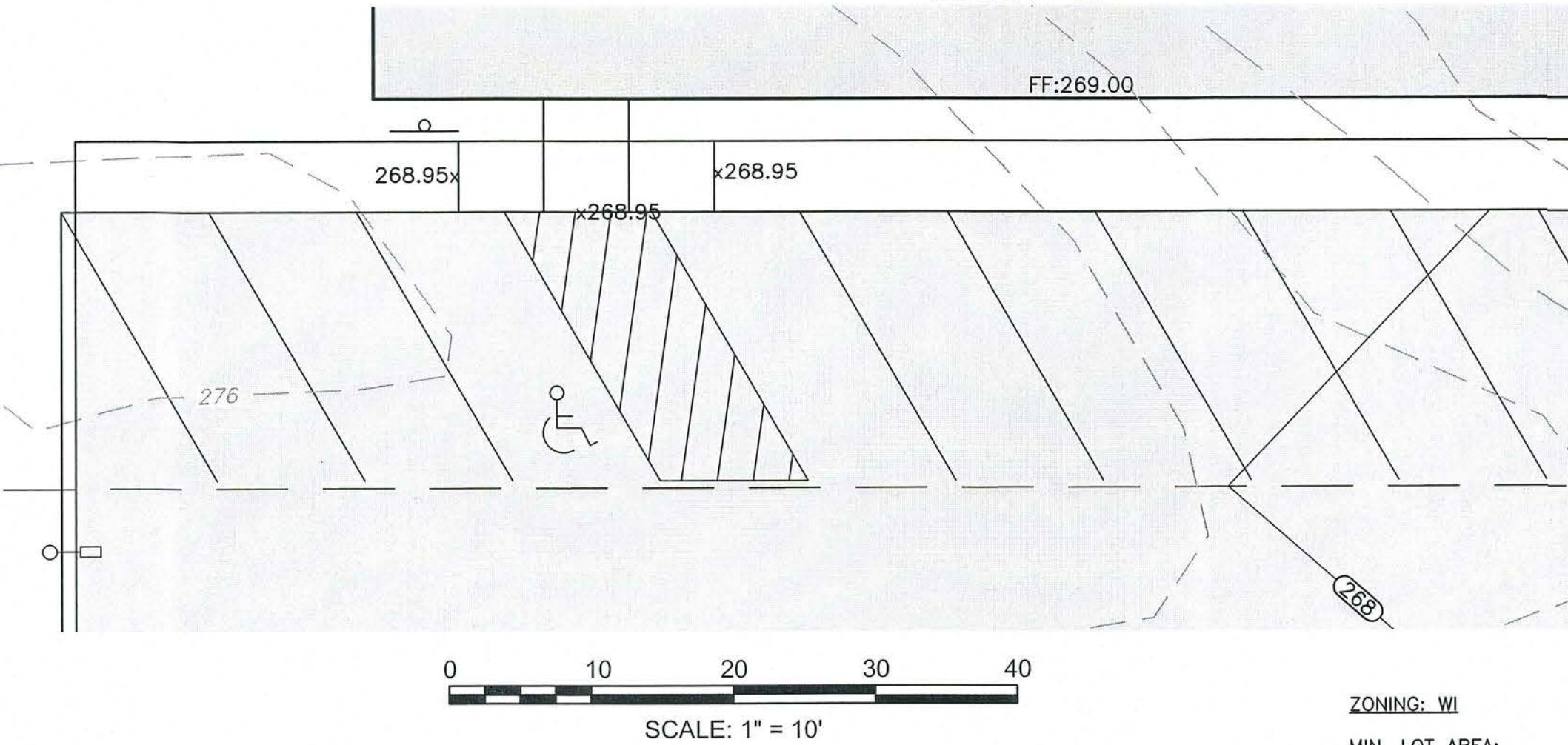
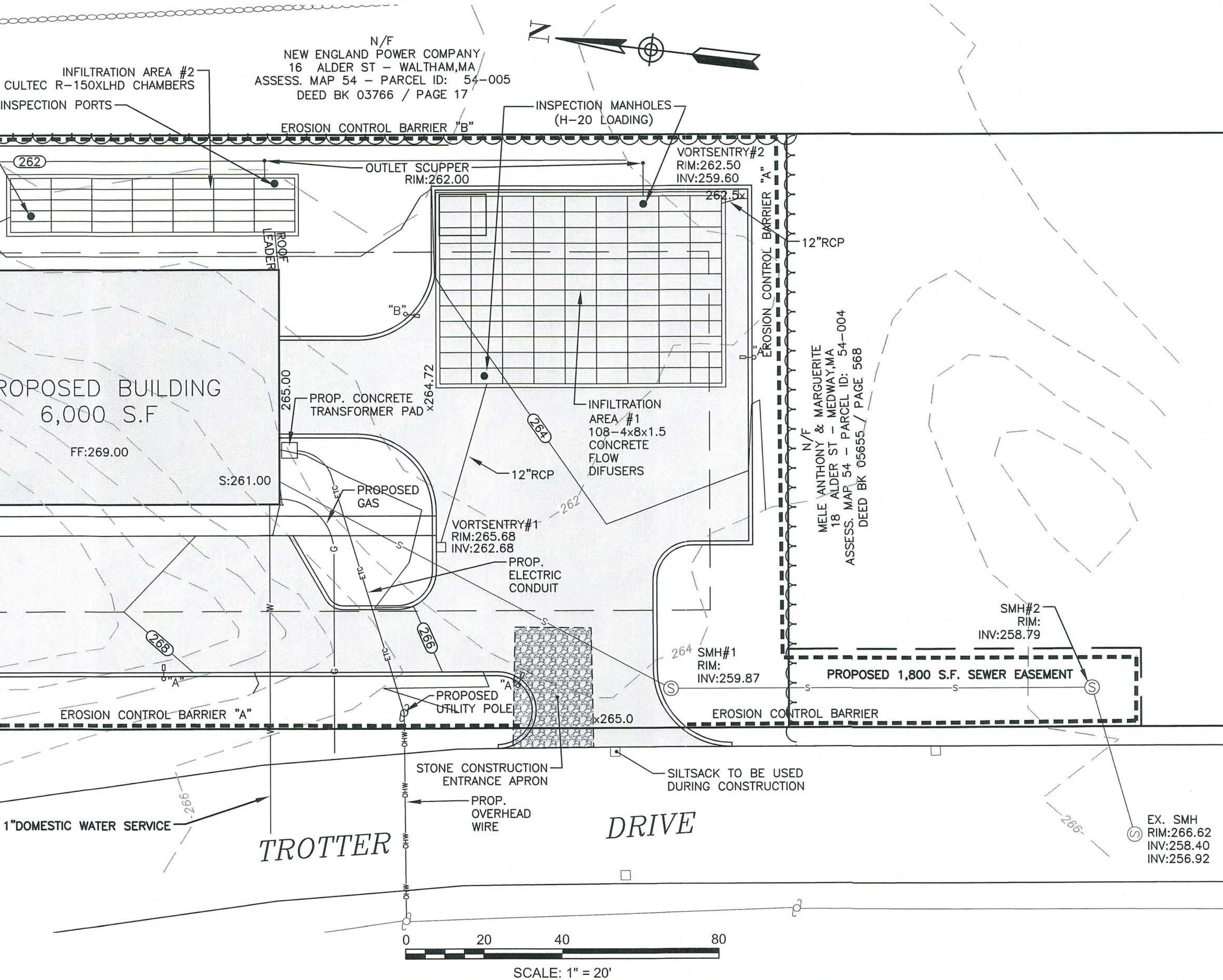
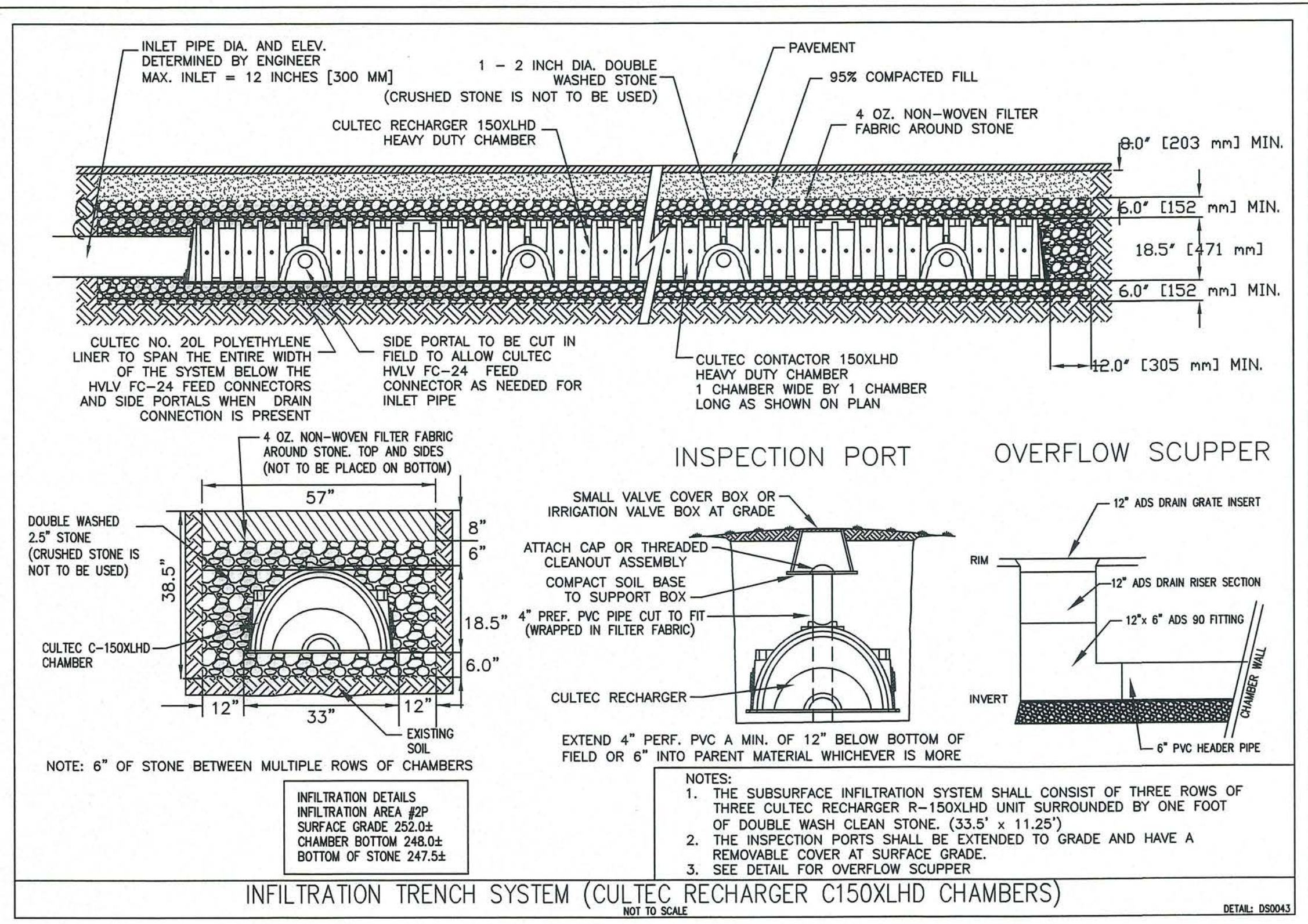
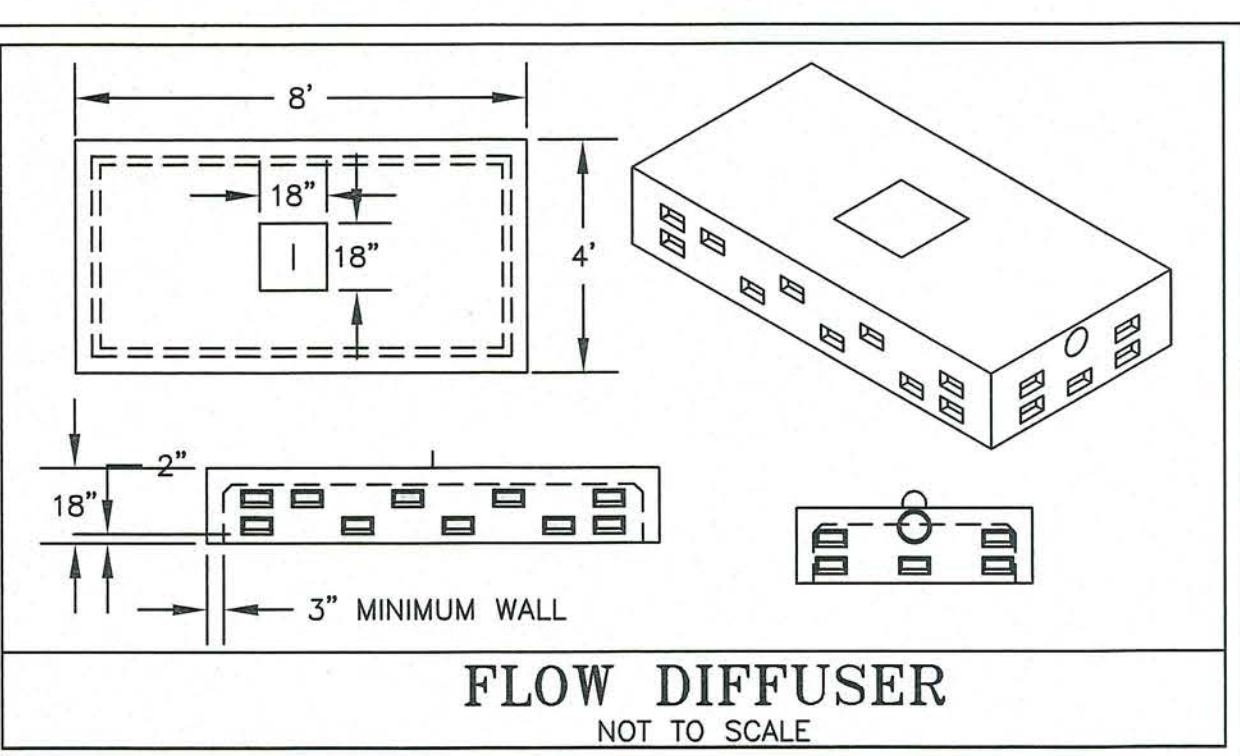


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SCALE 1"=2,000'

LOCUS



INFILTRATION AREAS					
AREA	SIZE	BOTTOM ELEVATION	OUTLET	TYPE	
			SIZE	INVERT	
			OUT		
1	74'x50' (108 units)	259.50	8"	260.30	DIFFUSER
2	75'x15.75' (35 units)	260.00	8"	260.80	CULTEC 150

ZONING: W1			
MIN. LOT AREA:	40,000 S.F.	REQUIRED	40,000 S.F.
MIN. FRONTAGE:	100 FT.	EXISTING	370.00± FT.
SETBACKS:		PROPOSED	
FRONT	30 FT.	NA	57.4± FT.
REAR	20 FT.	NA	34.5± FT.
SIDE	30 FT.	NA	62.2± FT.
MAX. BUILDING COVER:	NA	0%	13%
MAX. IMPERVIOUS COVER:	80%	0%	48%
MIN. OPEN SPACE:	20%	100%	52%
MAX. BUILDING HEIGHT:	60 FT.	NA	<60 FT.

NOTE: UNDERGROUND UTILITY LOCATIONS ARE NOT GUARANTEED.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION.

DIGSAFE IS TO BE NOTIFIED 72 BUSINESS HOURS IN ADVANCE OF CONSTRUCTION. CALL DIGSAFE AT 811.



**PROJECT INFORMATION:**

CURRENT OWNER: MARGUERITE K. MELE  
203 MAIN STREET  
MEDWAY, MA 02053

MEDWAY ASSESSORS ID: 54-004  
DEED REFERENCE: BOOK 5655 PAGE 568

PROPERTY LINES AND EASEMENTS ARE BASED ON THOSE RECORDED IN THE MASSACHUSETTS REGISTRY OF DEEDS IN A 2018 PLAN TITLED "PLAN OF LAND IN MEDWAY, MASS." BY COLONIAL ENGINEERING, INC., 11 AML STREET, MEDWAY, MA, PLAN BOOK 667, PLAN 44.

PROJECT DATUM REFERS TO NAVD 88.

**CONSTRUCTION NOTES**

- THE CONTRACTOR SHALL REPORT TO THE OWNER AND ENGINEER ANY SIGNIFICANT VARIATIONS IN EXISTING SITE CONDITIONS FROM THOSE SHOWN ON THESE PLANS. ANY PROPOSED REVISIONS TO THE WORK, IF REQUIRED BY THESE SITE CONDITIONS, SHALL NOT BE UNDERTAKEN UNTIL REVIEWED BY THE OWNER AND THE ENGINEER.
- THE CONTRACTOR SHALL NOTIFY THE RELEVANT TOWN DEPARTMENTS AT LEAST 48 HOURS IN ADVANCE OF ANY REQUIRED INSPECTIONS.
- IN ORDER TO PROTECT THE PUBLIC SAFETY DURING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING AT ALL TIMES NECESSARY SAFETY DEVICES AND PERSONNEL, WARNING LIGHTS, BARRICADES, AND POLICE DETAILS.
- THE CONTRACTOR SHALL REGULARLY INSPECT THE PERIMETER OF THE PROPERTY TO CLEAN UP AND REMOVE LOOSE CONSTRUCTION.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSTITUTE EROSION CONTROL MEASURES ON AN AS NECESSARY BASIS, SUCH THAT EXCESSIVE SOIL EROSION DOES NOT OCCUR. MEASURES SHALL INCLUDE HAY BALE DIKES ALONG THE PERIMETER OF CUTS AND FILLS, MULCHING, AND PLANTING OF DISTURBED AREAS AS SOON AS PRACTICABLE.
- AT THE END OF CONSTRUCTION THE CONTRACTOR SHALL REMOVE ALL CONSTRUCTION DEBRIS AND SURPLUS MATERIALS FROM THE SITE. A THOROUGH INSPECTION OF THE WORK PERIMETER IS TO BE MADE AND ALL DISCARDED MATERIALS, BLOWN OR WATER CARRIED DEBRIS, SHALL BE COLLECTED AND REMOVED.
- AT THE END OF CONSTRUCTION, AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED, THE CONTRACTOR SHALL CLEAN THE SUMPS OF ALL CATCH BASINS AND THE INVERTS OF ALL DRAIN.
- THE LOCATION OF UNDERGROUND UTILITIES AS REPRESENTED ON THESE PLANS IS BASED UPON PLANS AND INFORMATION PROVIDED BY THE RESPECTIVE UTILITY COMPANIES OR MUNICIPAL DEPARTMENTS SUPPLEMENTED BY FIELD IDENTIFICATION WHEREVER POSSIBLE. NO WARRANTY IS MADE AS TO THE ACCURACY OF THESE LOCATIONS OR THAT ALL UNDERGROUND UTILITIES ARE SHOWN. THE CONTRACTOR IS TO CONTACT DIG SAFE AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION. DIG SAFE TELEPHONE NUMBER IS 811.
- THE CONTRACTOR IS TO VERIFY THE LOCATION, SIZE, AND DEPTH OF EXISTING UTILITIES PRIOR TO TAPPING INTO, CROSSING OR EXTENDING THEM. IF THE PROPOSED WORK POSES A CONFLICT WITH THE EXISTING UTILITIES, THE ENGINEER IS TO BE NOTIFIED PRIOR TO THE CONTRACTOR CONTINUING.
- ALL REINFORCED CONCRETE PIPE IS TO BE CLASS III WHEN GREATER THAN 36" OF COVER EXISTS. LESS THAN 36" SHALL BE CLASS V RCP. ALL PVC SANITARY SEWER IS TO BE SDR 35 WITH RUBBER RING JOINTS. ALL PVC STORM DRAIN (PERFORATED OR SOLID) SHALL BE SDR 35. ADS TYPE N12 POLYETHYLENE PIPE OR APPROVED EQUAL; EXCEPT FOR ROOF DRAINS WHICH SHALL BE DUCTILE IRON. WATER MAIN IS TO BE CLASS 52 CEMENT LINED DUCTILE IRON.
- THE TOWN OF MEDWAY DEPARTMENT OF PUBLIC WORKS IS TO BE NOTIFIED PRIOR TO THE START OF WORK ON TROTTER DRIVE.
- STANDARD PAVEMENT AREAS SHALL HAVE 12 INCHES OF GOOD, CLEAN BANK-RUN GRAVEL, CONFORMING TO MDPW M10.31, WITH NO STONES LARGER THAN 3" IN DIAMETER AND SHALL BE PLACED AND ROLLED WITH AT LEAST A TEN TON ROLLER. THE SURFACES SHALL BE WET DURING ROLLING TO BIND THE MATERIAL. ALL STONES OF 4" DIAMETER OR LARGER SHALL BE REMOVED FROM THE SUB-BASE PRIOR TO PLACING BASE MATERIAL.
- STANDARD PAVEMENT AREAS SHALL BE PAVED TO A THICKNESS OF 3" MEASURED AFTER COMPACTION, WITH A 2.5" BINDER COURSE AND 1" TOP COURSE OF CLASS I BITUMINOUS CONCRETE PAVEMENT, TYPE I-1.
- THE AGGREGATE SHALL BE COMPOSED, MIXED AND LAID HOT IN TWO COURSES AS SPECIFIED IN THE "COMMONWEALTH OF MASSACHUSETTS STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGES", 1988 EDITION SECTION 460 FOR CLASS I BITUMINOUS CONCRETE PAVEMENT, AS SPECIFICALLY SET FORTH IN SECTION 460.20 AND 460.82.
- ANY EXISTING PAVEMENT REMOVED FOR UTILITY TRENCH EXCAVATION OUTSIDE "LIMIT OF WORK" AREAS OR OTHERWISE DAMAGED DURING CONSTRUCTION, SHALL BE REPLACED WITH A FULL DEPTH OF PAVEMENT SECTION AS SHOWN ON THE TRENCH PATCHING DETAIL INDICATED HEREON.
- EROSION CONTROL GRASS MIXTURE (SIDE SLOPE GREATER THAN 4 HORIZONTAL TO 1 VERTICAL) FOLLOWING COMPLETION OF GRADING. THE FOLLOWING SEED MIX SHALL BE APPLIED:

TYPE OF SEED	% BY WEIGHT
CREeping RED FESCUE	30
TALL FESCUE	30
WHITE DUTCH CLOVER	30
RED TOP	10

SEED AT THE RATE OF 2#/2,000 S'F  
USE THE ABOVE MIX AT THE RATE OF 50#/ACRE AND WITH 1/2 BUSHEL/ACRE OF WINTER RYE
- ALL DISTURBED AREAS ARE TO BE LOAMED AND SEEDING WITH A MINIMUM OF 4" OF TOP SOIL. SPREAD EVENLY THROUGHOUT. PROVIDE EROSION CONTROL MEASURES AS NECESSARY TO PROVIDE SLOPE STABILITY UNTIL VEGETATION IS ESTABLISHED.
- ALL STUMPS, TOP SOIL, SUB SOIL AND OTHER DELETERIOUS MATERIALS ARE TO BE REMOVED FROM THE PROPOSED BUILDING AND PAVING AREAS.

**SITE PLAN REVIEW**  
MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD

DATE: \_\_\_\_\_

**CERTIFICATE OF VOTE**

SEE CERTIFICATE OF VOTE FOR SITE PLAN APPROVAL DATED, MAY, 2018 FOR PLAN ENTITLED, '9 TROTTER DRIVE, A SITE PLAN IN MEDWAY MASSACHUSETTS,' FROM THE MEDWAY PLANNING BOARD, VOTED TO APPROVE WITH STANDARD CONDITIONS.

ENGINEERING DESIGN CONSULTANTS, INC. SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, OR PROCEDURES UTILIZED BY THE CONTRACTOR, NOR FOR THE SAFETY OF PUBLIC OR CONTRACTOR EMPLOYEES, OR FOR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

ENGINEERING DESIGN CONSULTANTS, INC.'S LIABILITY FOR THIS PLAN IS LIMITED TO THE EXTENT OF ITS FEE LESS THIRD PARTY COSTS.

DESIGN BY: ZRB  
CHECK BY: PSD  
APPROVED BY: WML

REVISIONS

REV #	DATE	DESCRIPTION
0	3/26/18	SITE PLAN REVIEW



PREPARED BY:



Engineering Design Consultants, Inc.  
32 Turnpike Road  
Southborough, Massachusetts  
ph:(508) 480-0225 fax:(800)832-5781

PROJECT:

SITE PLAN  
9 TROTTER DRIVE  
MEDWAY, MASSACHUSETTS 02053

TITLE:

GRADING & UTILITIES  
SITE PLAN

OWNER:

MARGUERITE K. MELE  
203 MAIN STREET  
MEDWAY, MASSACHUSETTS 02053

APPLICANT:

CTS PROPERTY MANAGEMENT  
430 FRANKLIN VILLAGE DRIVE - SUITE 177  
FRANKLIN, MASSACHUSETTS 02038

FILE NO: 3583

GRADING & UTILITIES

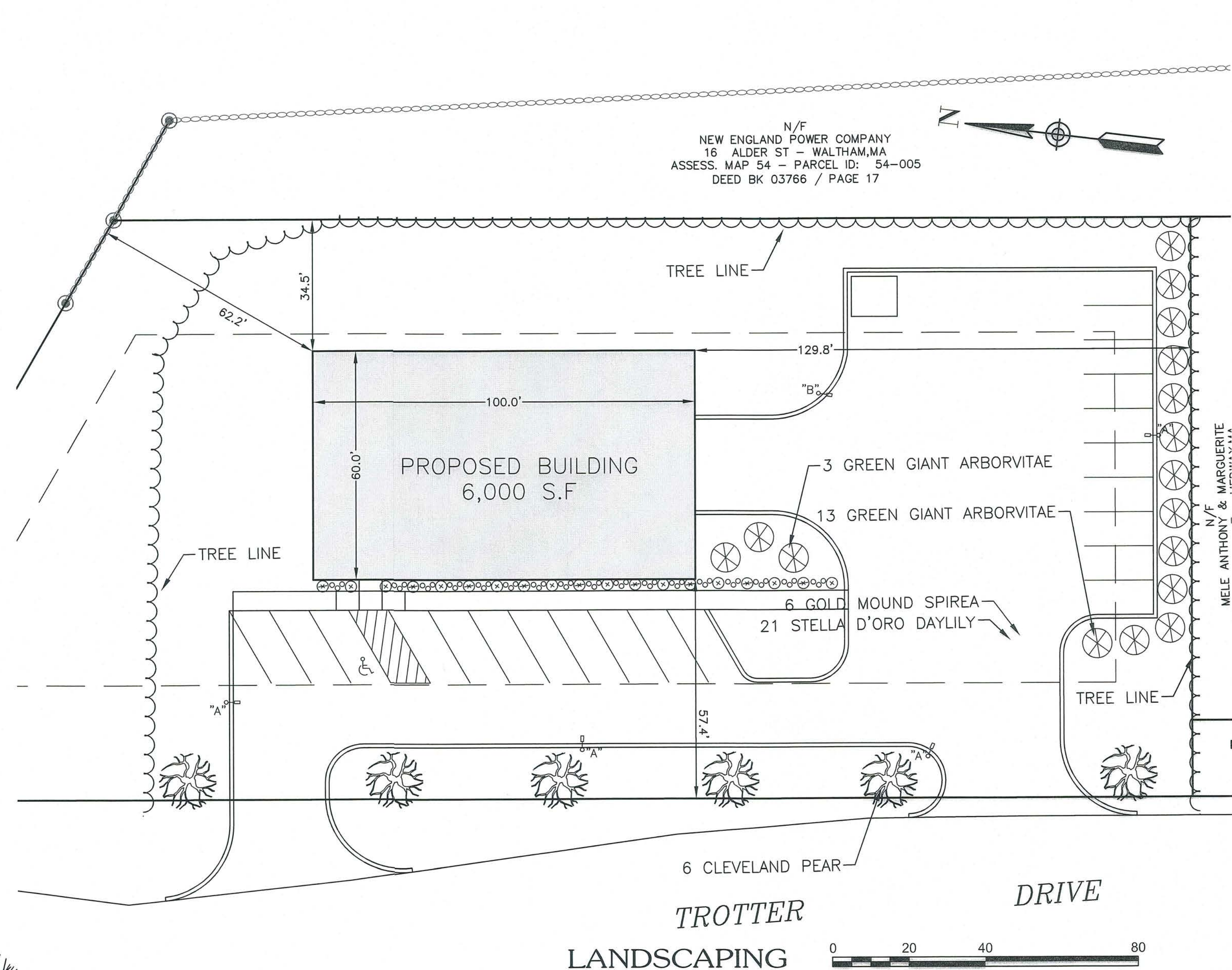
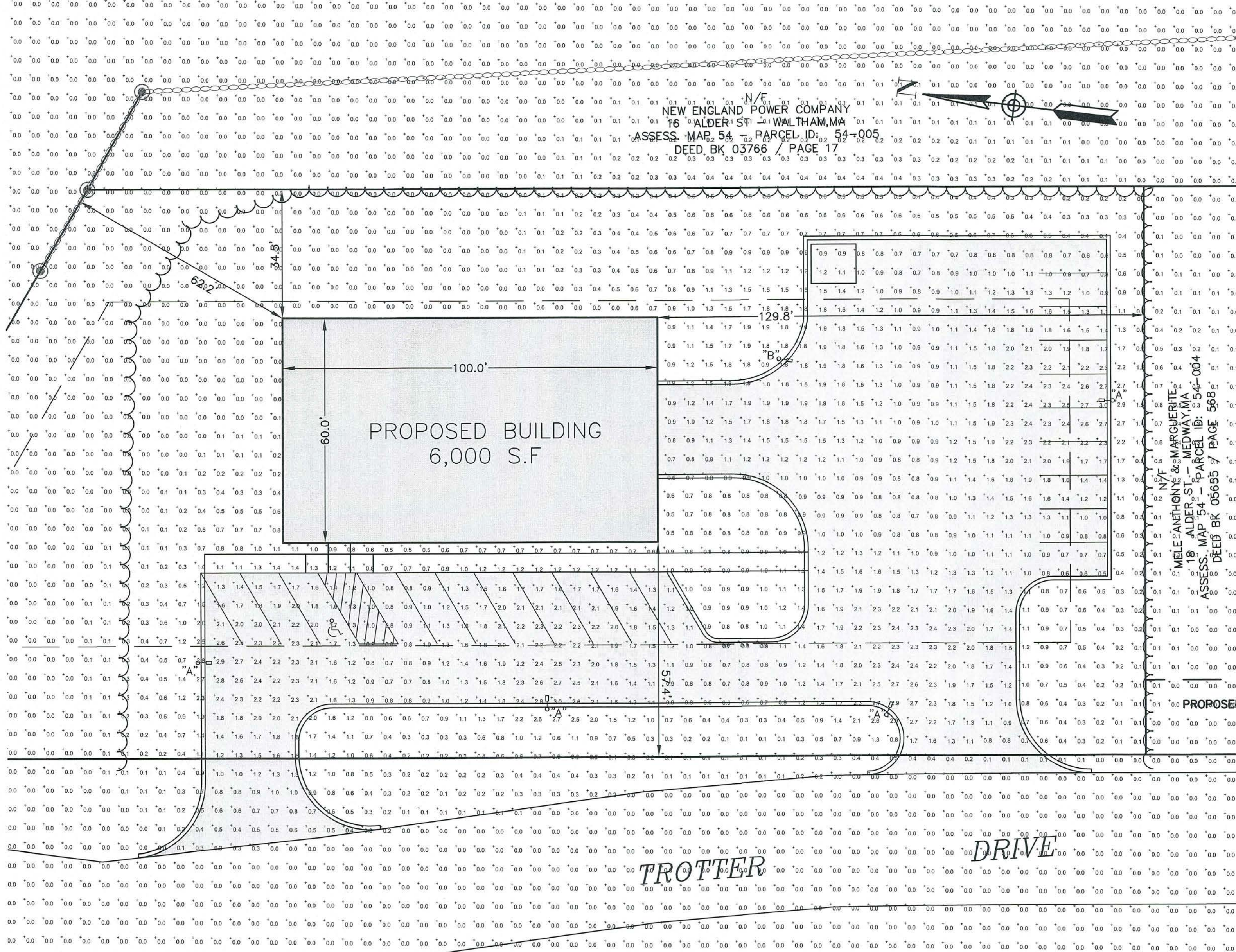
DATE: MARCH 26, 2018

PLAN NUMBER

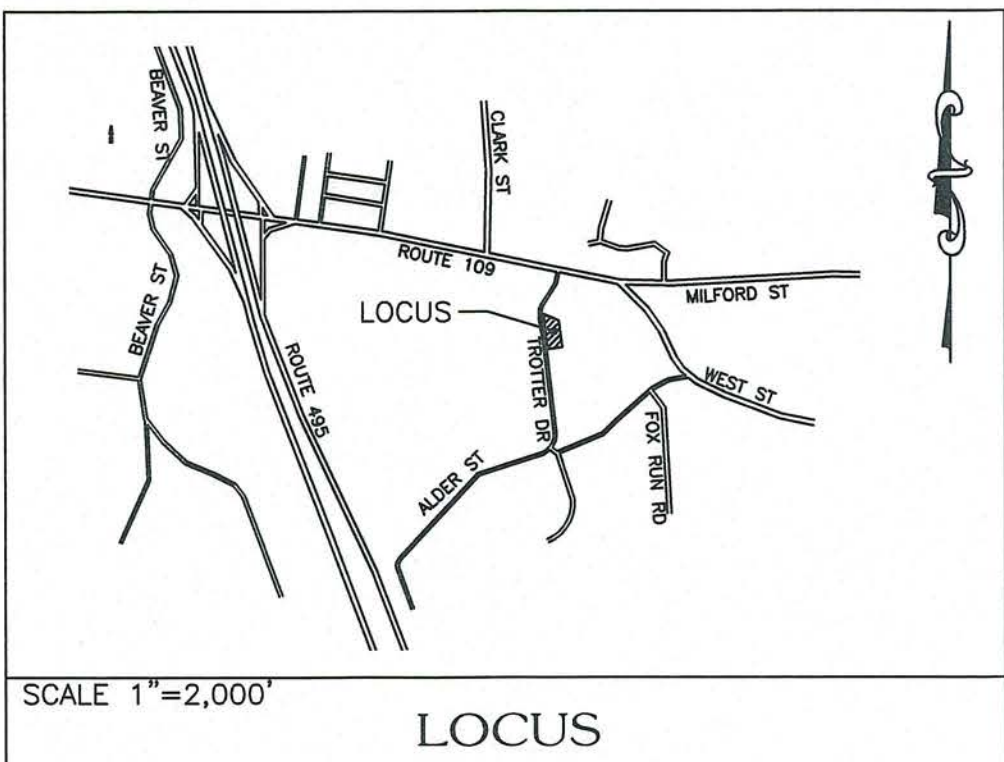
4 of 6

4





Schedule							
Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Wattage
A	4	Lithonia Lighting	DSX0 LED P4 40K TFTM MVOLT HS	DSX0 LED P4 40K TFTM MVOLT with houseside shield	LED	1	92
B	1	Lithonia Lighting	DSX0 LED P4 40K T5M MVOLT	DSX0 LED P4 40K T5M MVOLT	LED	1	92



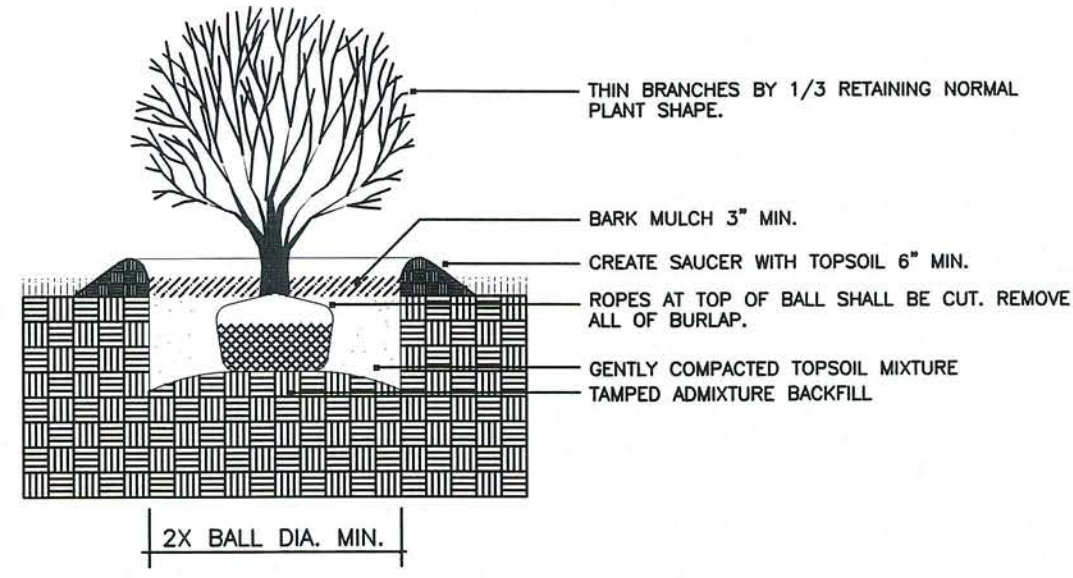
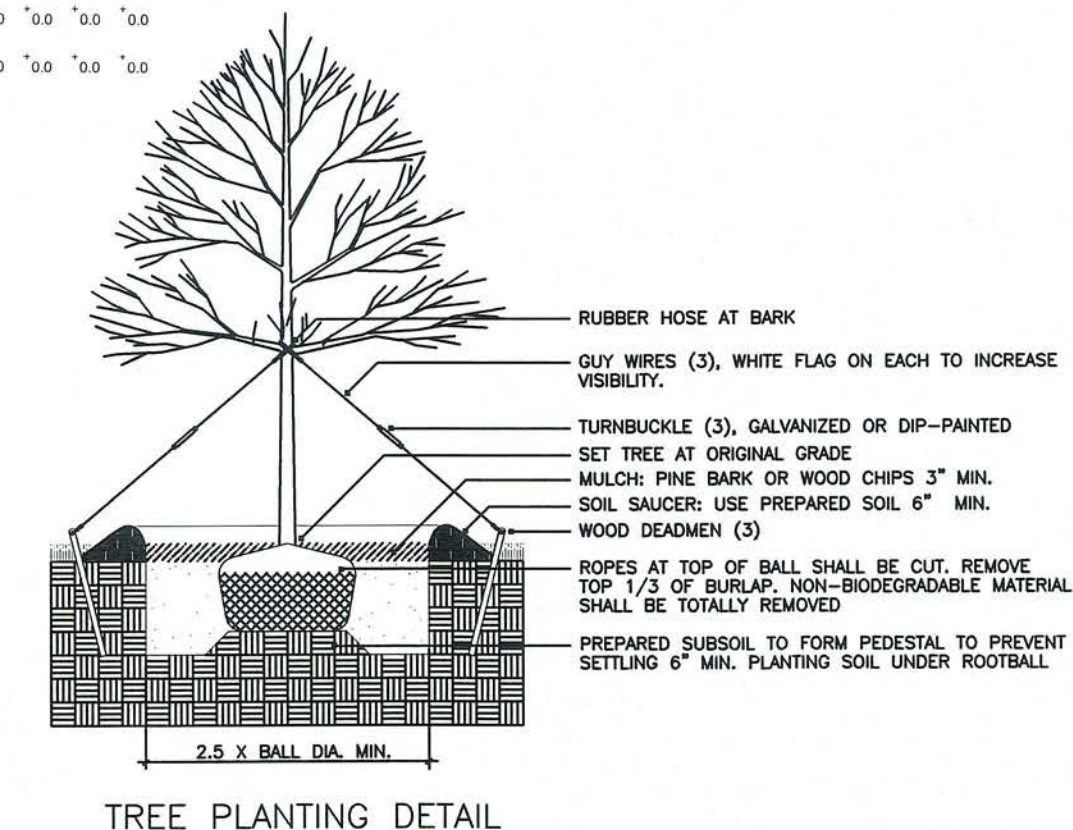
Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking Area	+	1.5 fc	3.0 fc	0.5 fc	6.0:1	3.0:1
Spill	+	0.1 fc	2.9 fc	0.0 fc	N/A	N/A

NOTE:  
LIGHTS ARE MOUNTED ON POLES AT 20 FT HIGH.

NOTE:  
UNDERGROUND UTILITY LOCATIONS ARE NOT GUARANTEED.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION.

DIGSAFE IS TO BE NOTIFIED 72 BUSINESS HOURS IN ADVANCE OF CONSTRUCTION. CALL DIGSAFE AT 811



NOTES:  
1. SOIL MIX SHOULD BE A MIXTURE OF SAND, COMPOST AND SOIL.

- 40% SAND
- 20-30% TOPSOIL
- 30-40% COMPOST

SAND COMPONENT	
Sieve Size	Percent Passing
2-inch	100
3/4-in.	70-80
1/4-in.	50-80
U.S. No. 40	15-40
U.S. No. 200	0-3

PLANT LIST			
QUANTITY	COMMON NAME	LATIN NAME	SIZE
TREES			
6	CLEVELAND PEAR	PYRUS CALLERYANA	2-2.5" CAL.
16	GREEN GIANT ARBORVITAE	THUJA PLICATA	5'-6" B&B
SHRUBS			
10	GOLD MOUND SPIREA	SPIREA JAPONICA 'GOLD MOUND'	2 GALLON
9	DWARF HAMELEN GRASS	PENNISTUM ALOPEUROIDES	2 GALLON
PERENNIALS			
51	STELLA D'ORO SPRUCE	HEMEROCALLIS 'STELLA D'ORO'	1 GALLON

SITE PLAN REVIEW  
MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD

CERTIFICATE OF VOTE

SEE CERTIFICATE OF VOTE FOR SITE PLAN APPROVAL DATED, MAY 1, 2018 FOR PLAN ENTITLED, '9 TROTTER DRIVE, A SITE PLAN IN MEDWAY MASSACHUSETTS', FROM THE MEDWAY PLANNING BOARD, VOTED TO APPROVE WITH STANDARD CONDITIONS.

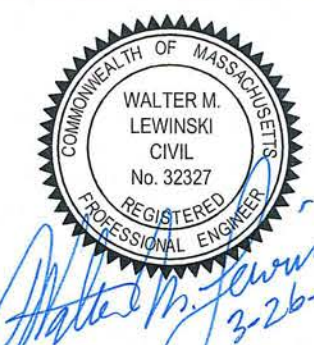
DATE: \_\_\_\_\_

ENGINEERING DESIGN CONSULTANTS, INC. SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, OR PROCEDURES UTILIZED BY THE CONTRACTOR, NOR FOR THE SAFETY OF PUBLIC OR CONTRACTORS EMPLOYEES, OR FOR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

ENGINEERING DESIGN CONSULTANTS, INC.'S LIABILITY FOR THIS PLAN IS LIMITED TO THE EXTENT OF ITS FEE LESS THIRD PARTY COSTS.

DRWN BY: ZRB  
CHKD BY: PSB  
APPROV BY: WML

REVISIONS:	DATE	DESCRIPTION
0	3/26/18	SITE PLAN REVIEW



Engineering Design Consultants, Inc.  
32 Tumpike Road  
Southborough, Massachusetts  
ph:(508) 480-0225 fax:(800)832-5781

SITE PLAN  
9 TROTTER DRIVE  
MEDWAY, MASSACHUSETTS 02053

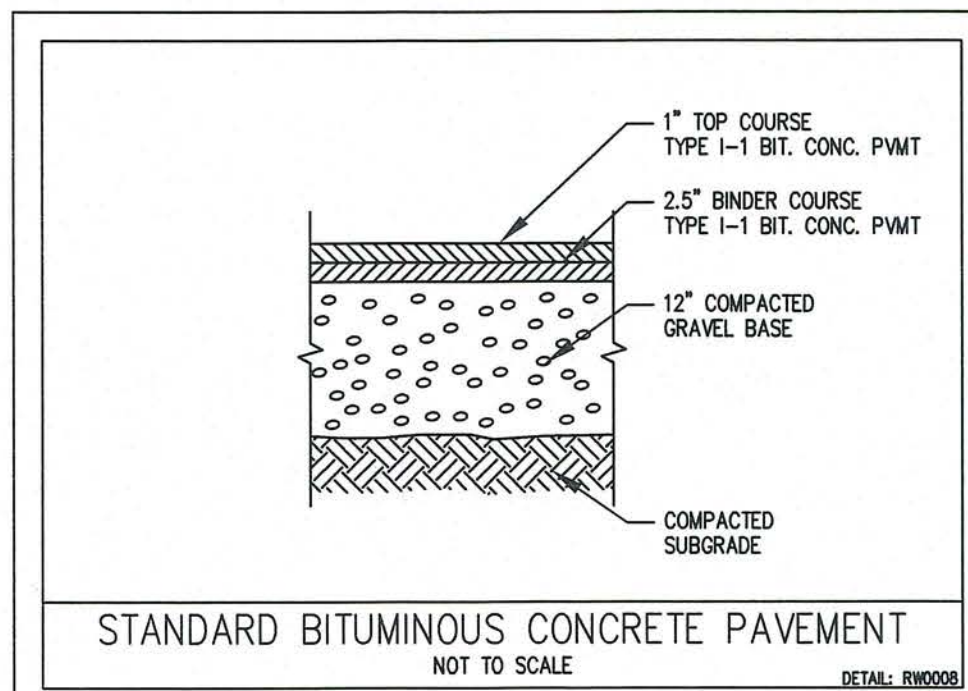
TITLE: LIGHTING & LANDSCAPING  
SITE PLAN  
OWNER: MARGUERITE K. MELE  
203 MAIN STREET  
MEDWAY, MASSACHUSETTS 02053  
APPLICANT: CTS PROPERTY MANAGEMENT  
430 FRANKLIN VILLAGE DRIVE - SUITE 177  
FRANKLIN, MASSACHUSETTS 02038

FILE NO: 3583  
LIGHTING & LANDSCAPING  
DATE: MARCH 26, 2018  
PLAN NUMBER: 5 of 6

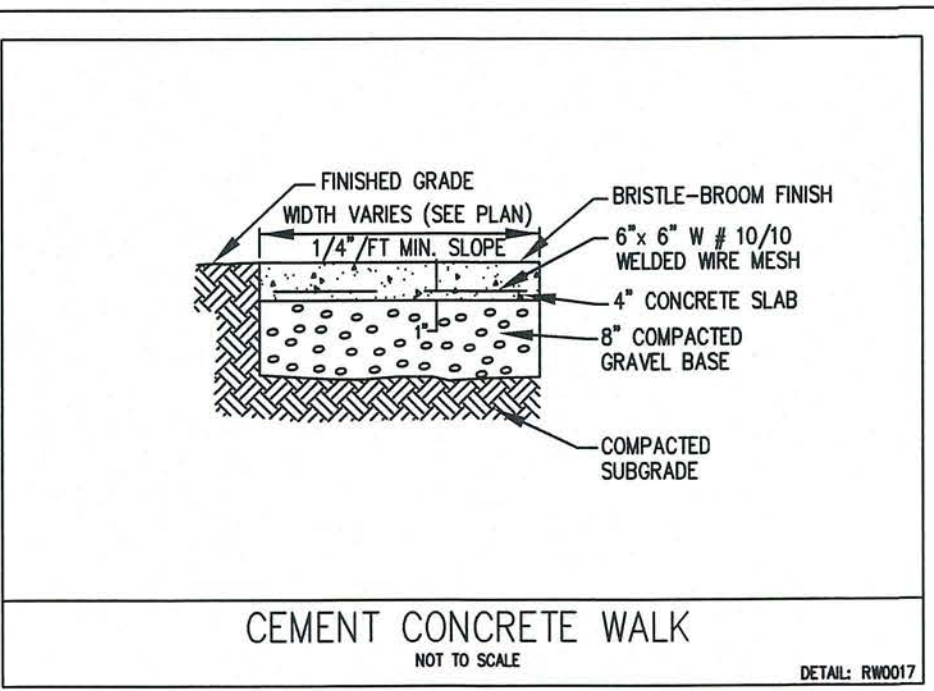


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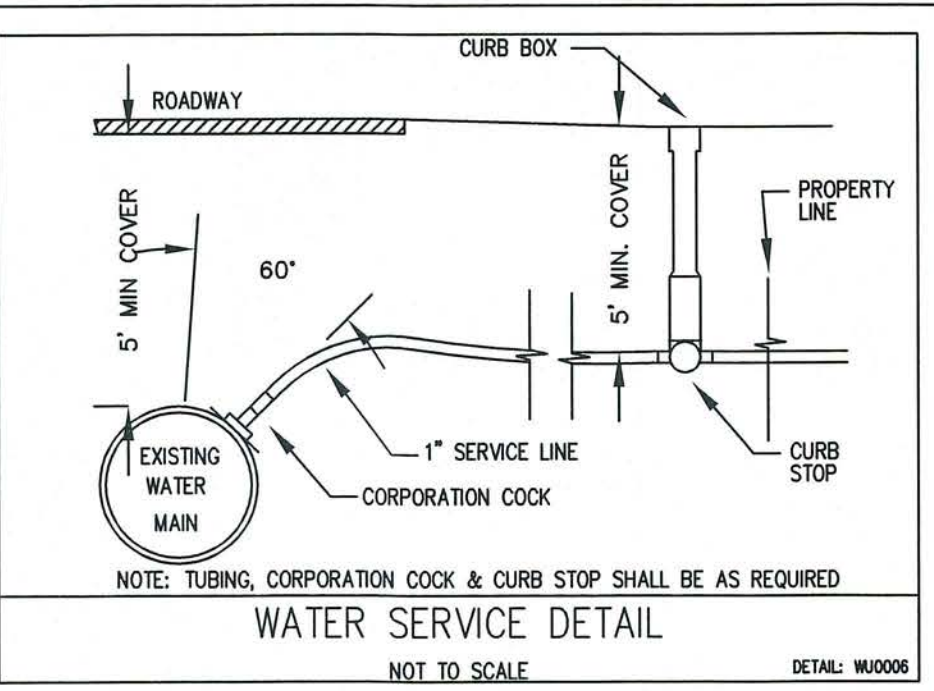
ALL RIGHTS RESERVED  
NO PART OF THIS DOCUMENT MAY BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF ENGINEERING DESIGN CONSULTANTS, INC. SHALL BE UNDER THEIR OWN RISK AND UNLAWFUL.



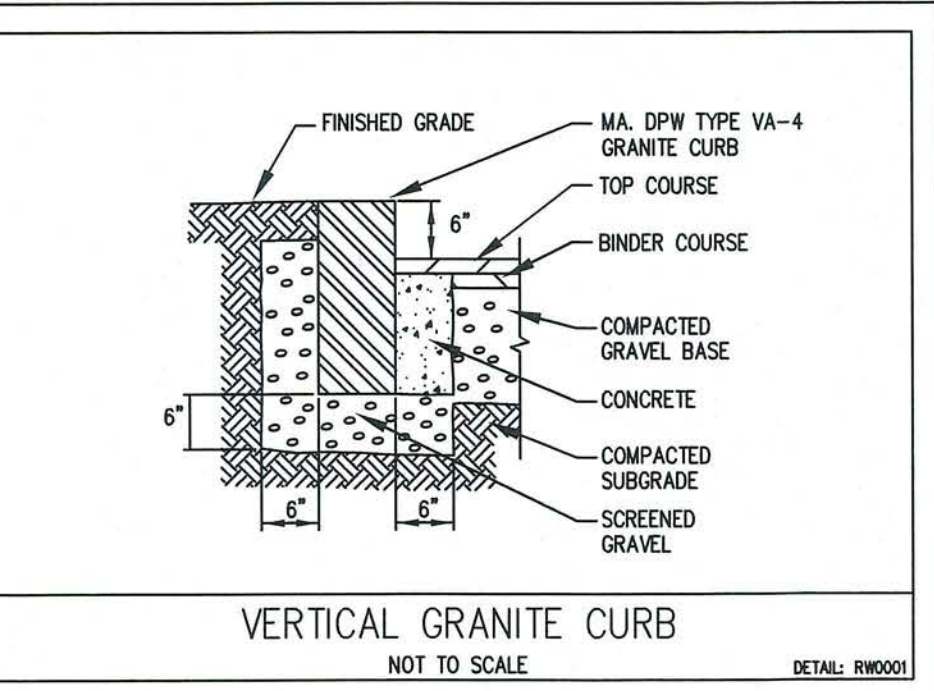
STANDARD BITUMINOUS CONCRETE PAVEMENT  
NOT TO SCALE  
DETAIL: RW0008



CEMENT CONCRETE WALK  
NOT TO SCALE  
DETAIL: RW0017



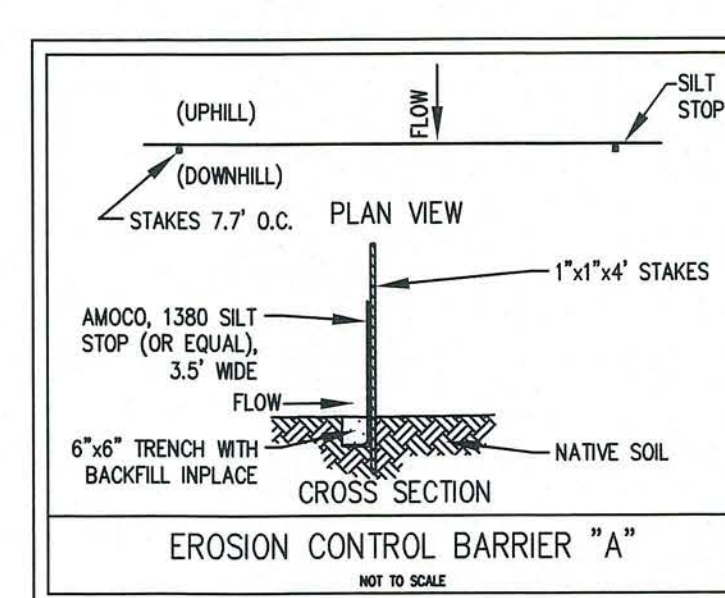
WATER SERVICE DETAIL  
NOT TO SCALE  
DETAIL: W00005



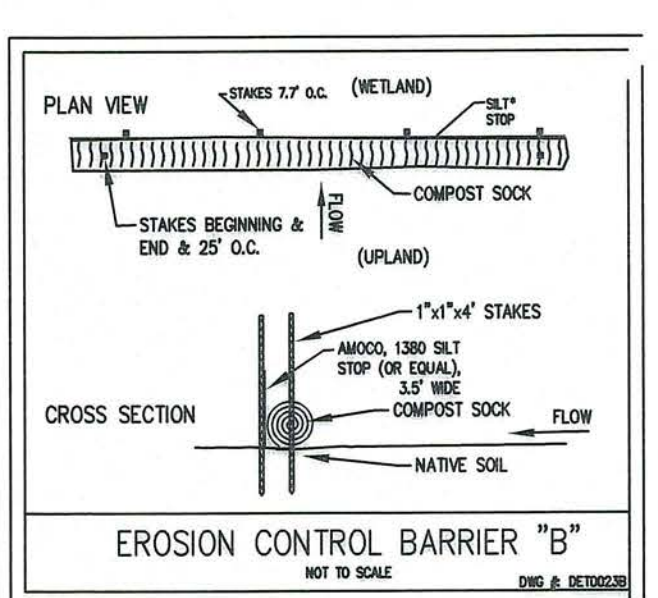
VERTICAL GRANITE CURB  
NOT TO SCALE  
DETAIL: RW0001

1. EROSION CONTROL MEASURES (SEE DETAILS) SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION AS INDICATED.  
2. MEASURES SHALL BE TAKEN TO LIMIT THE TRACKING OF MATERIAL FROM THE SITE ONTO RUSTIC ROAD AND SUMMER STREET.  
3. DUST SHALL BE CONTROLLED BY SPRINKLING OR OTHER APPROVED MEASURES AS NECESSARY.  
4. THROUGHOUT CONSTRUCTION, ALL DISTURBED AREAS SHALL BE LOAMED AND SEEDED AND MULCHED AS SOON AS PRACTICABLE IN ORDER TO AVOID OVERLAND TRANSPORT OF SEDIMENT.  
5. EROSION CONTROL MEASURES ARE TO BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND PARTICULARLY AFTER SIGNIFICANT RAINFALL. DILAPIDATED HAYBALES AND SILT STOP SHALL BE REPLACED AS REQUIRED TO MAINTAIN THE INTEGRITY OF THE BARRIER.  
6. WITH SLOPES STABILIZED AND FINAL INSPECTION COMPLETE, THE EROSION CONTROL BARRIER SHALL BE REMOVED AND PROPERLY DISPOSED OFF-SITE.

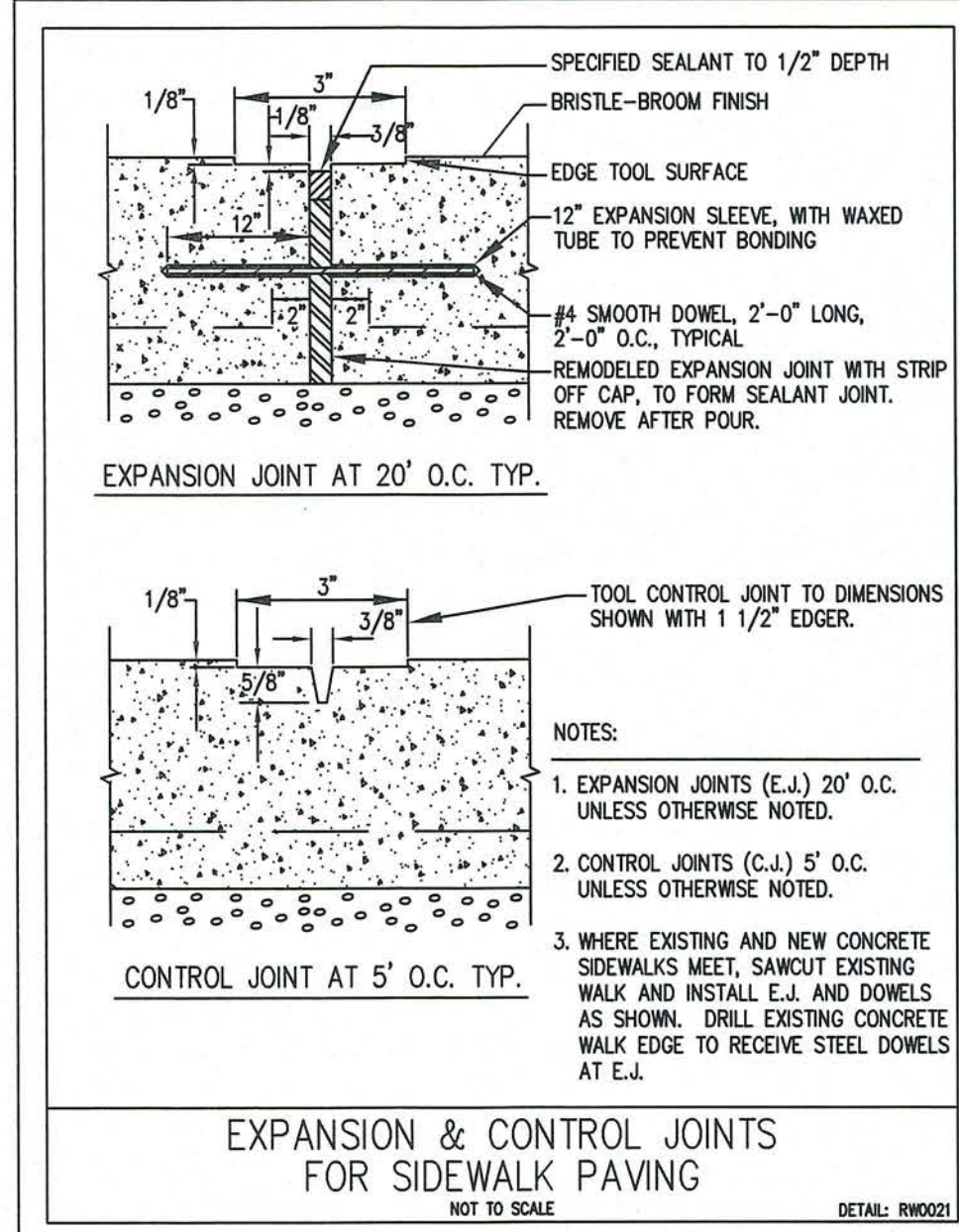
SEDIMENTATION & EROSION  
CONTROL METHODS &  
PROCEDURES  
DETAIL: EC0002



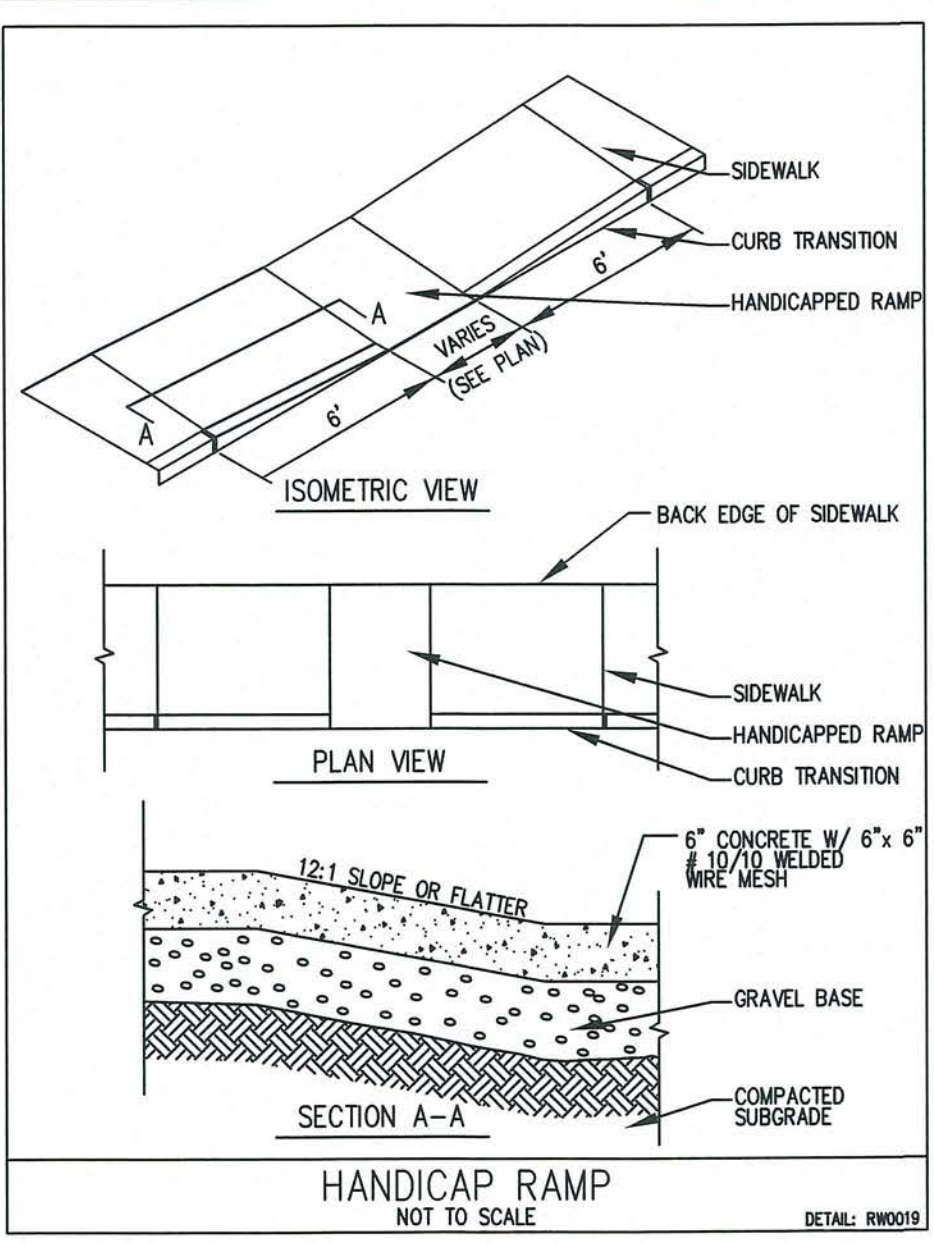
EROSION CONTROL BARRIER "A"  
NOT TO SCALE



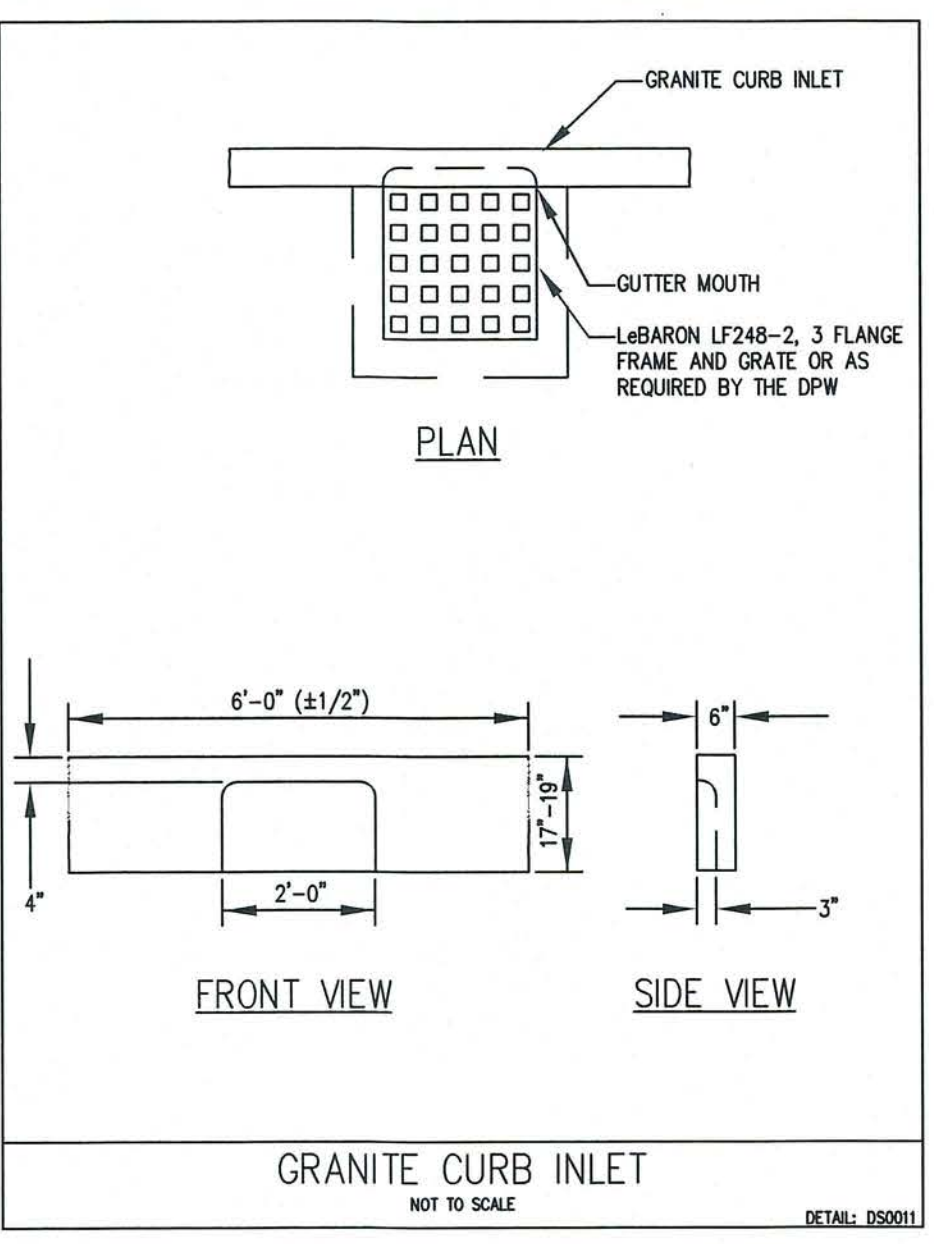
EROSION CONTROL BARRIER "B"  
NOT TO SCALE  
DETAIL: EC0003



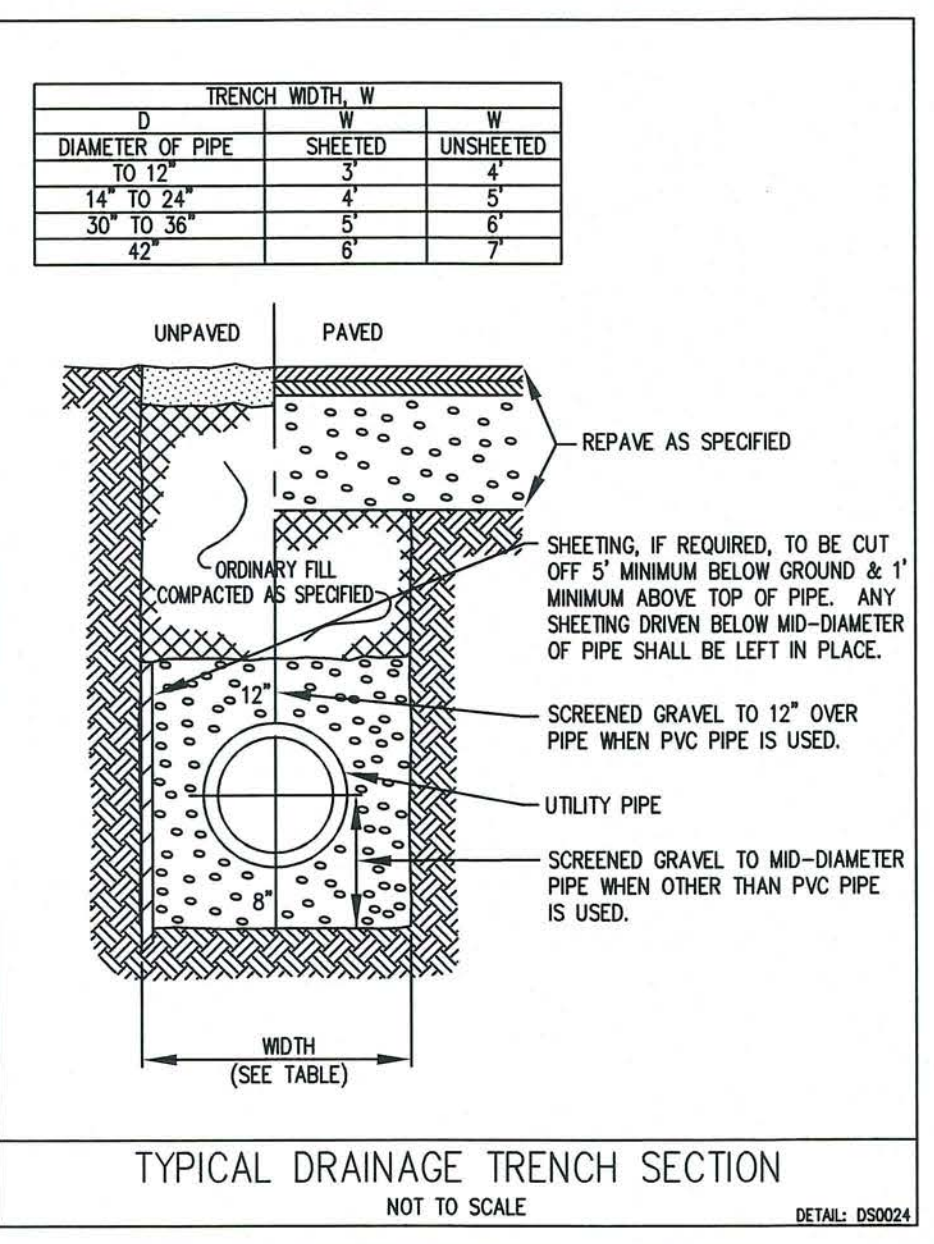
EXPANSION & CONTROL JOINTS  
FOR SIDEWALK PAVING  
NOT TO SCALE  
DETAIL: RW0021



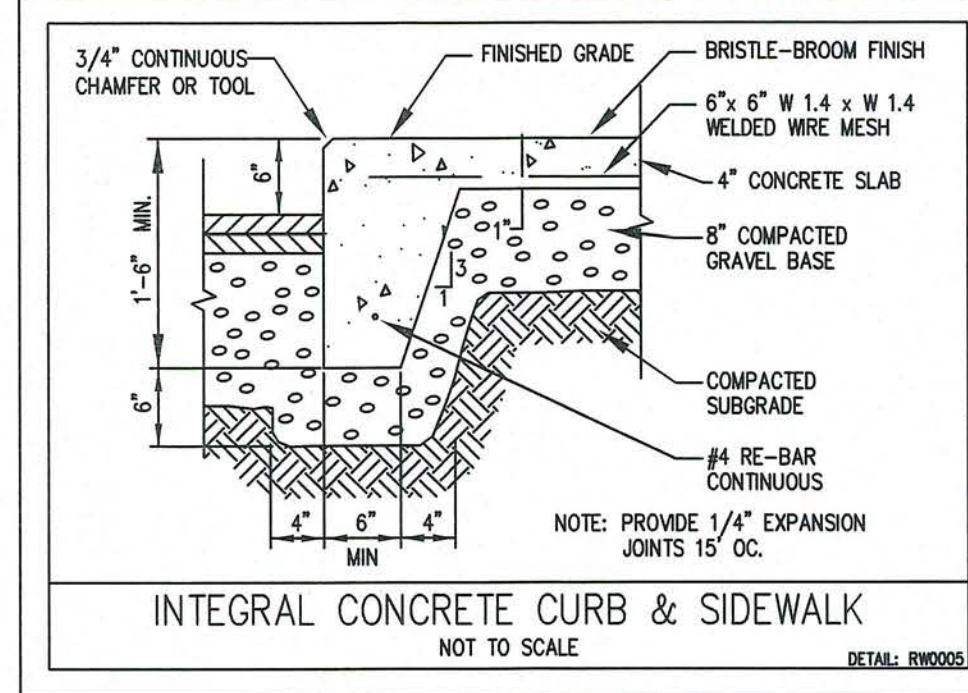
HANDICAP RAMP  
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DETAIL: RW0019



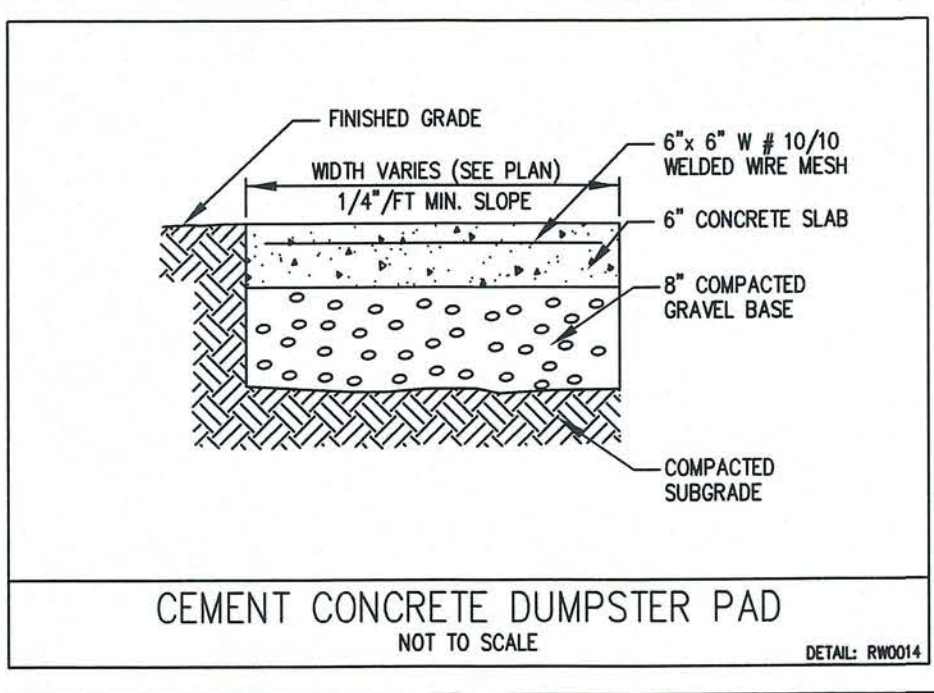
GRANITE CURB INLET  
NOT TO SCALE  
DETAIL: DS0011



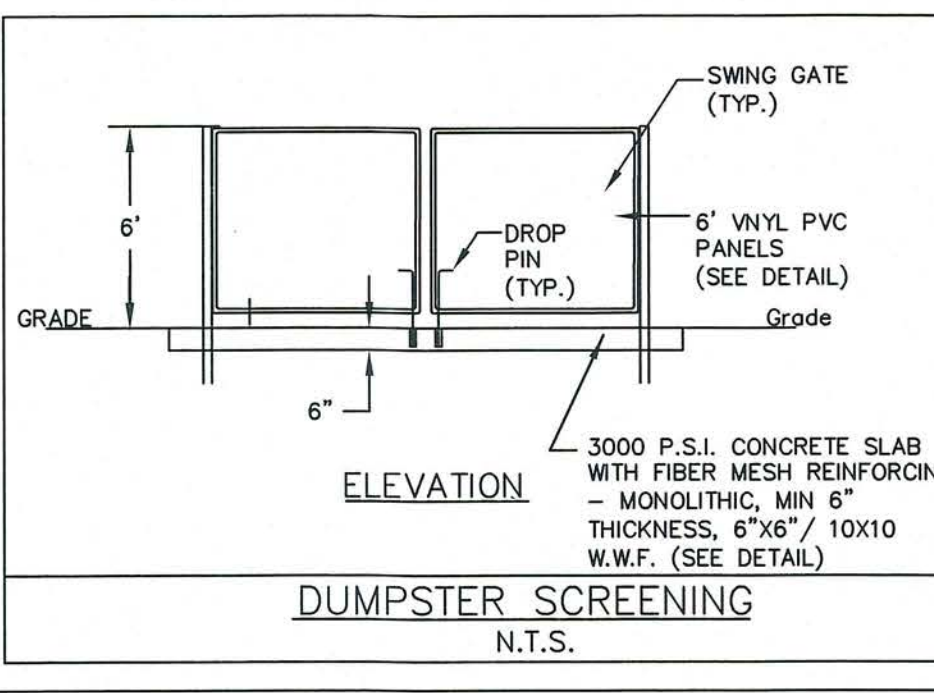
TYPICAL DRAINAGE TRENCH SECTION  
NOT TO SCALE  
DETAIL: DS0024



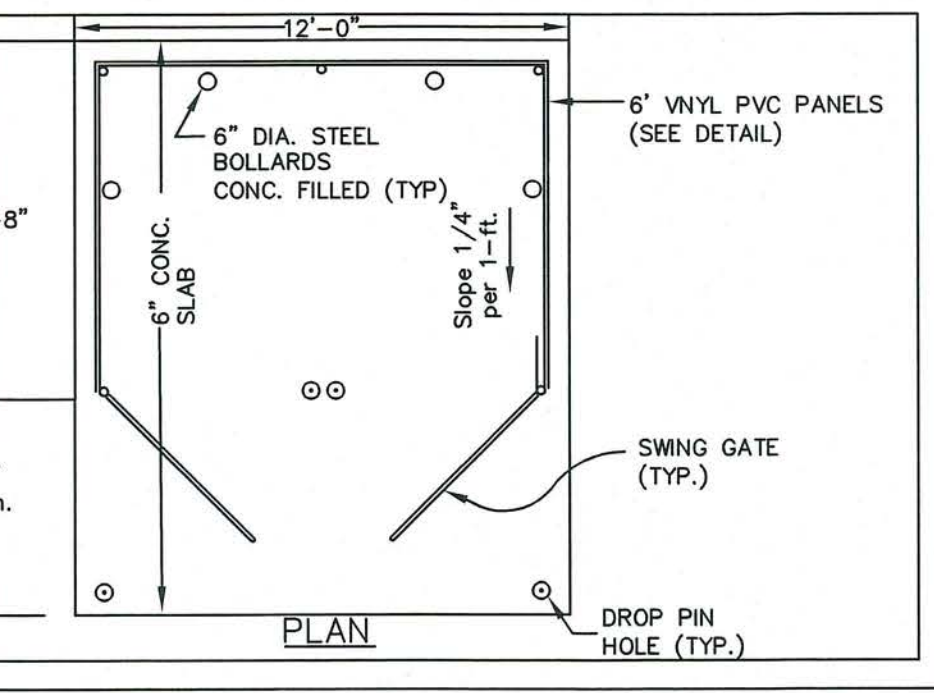
INTEGRAL CONCRETE CURB & SIDEWALK  
NOT TO SCALE  
DETAIL: RW0005



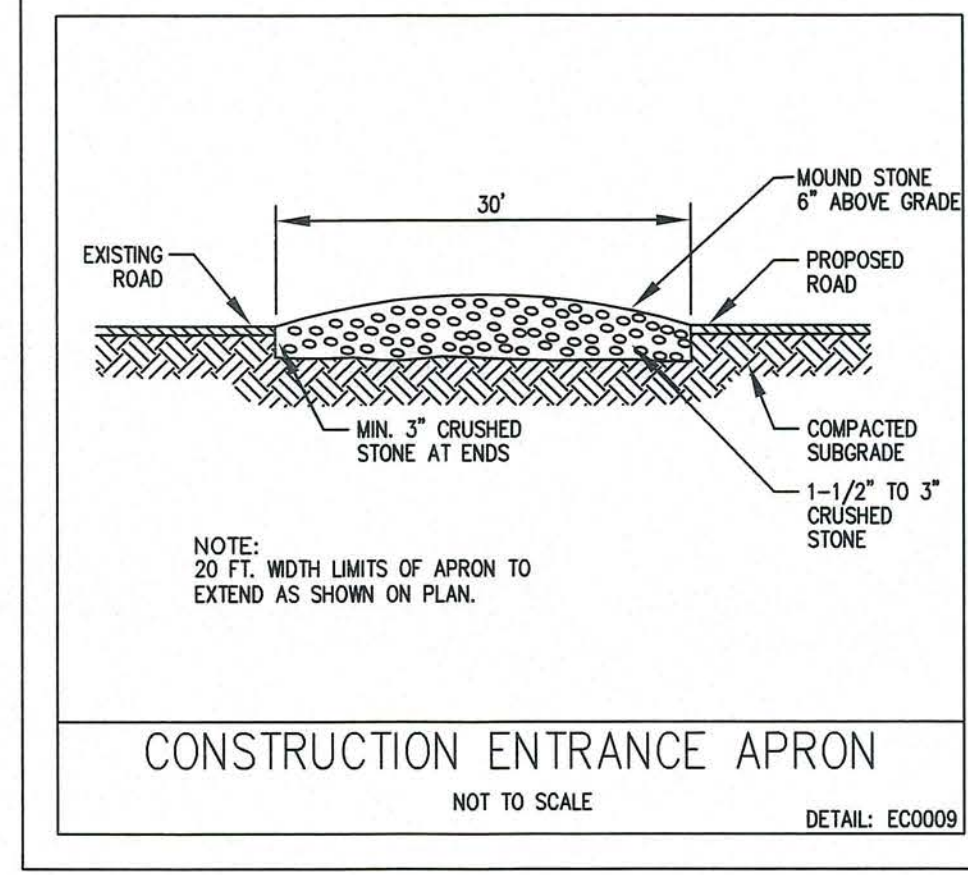
CEMENT CONCRETE DUMPSTER PAD  
NOT TO SCALE  
DETAIL: RW0014



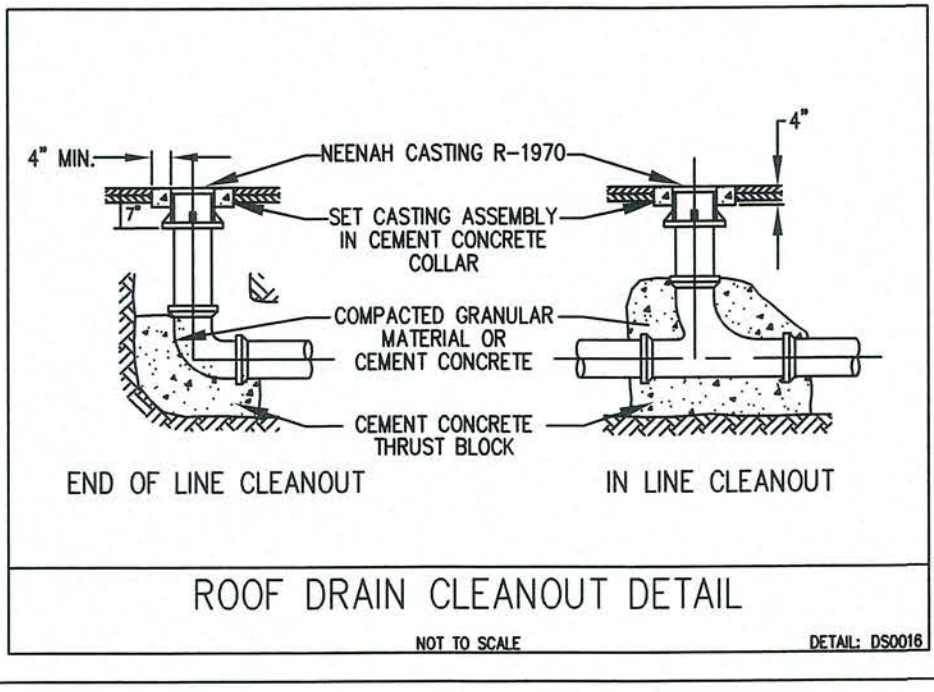
DUMPSTER SCREENING  
N.T.S.  
DETAIL: DS0011



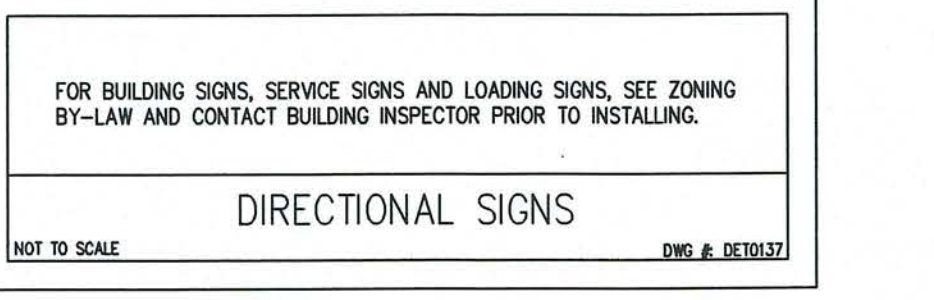
DUMPSTER SCREENING  
N.T.S.  
DETAIL: DS0011



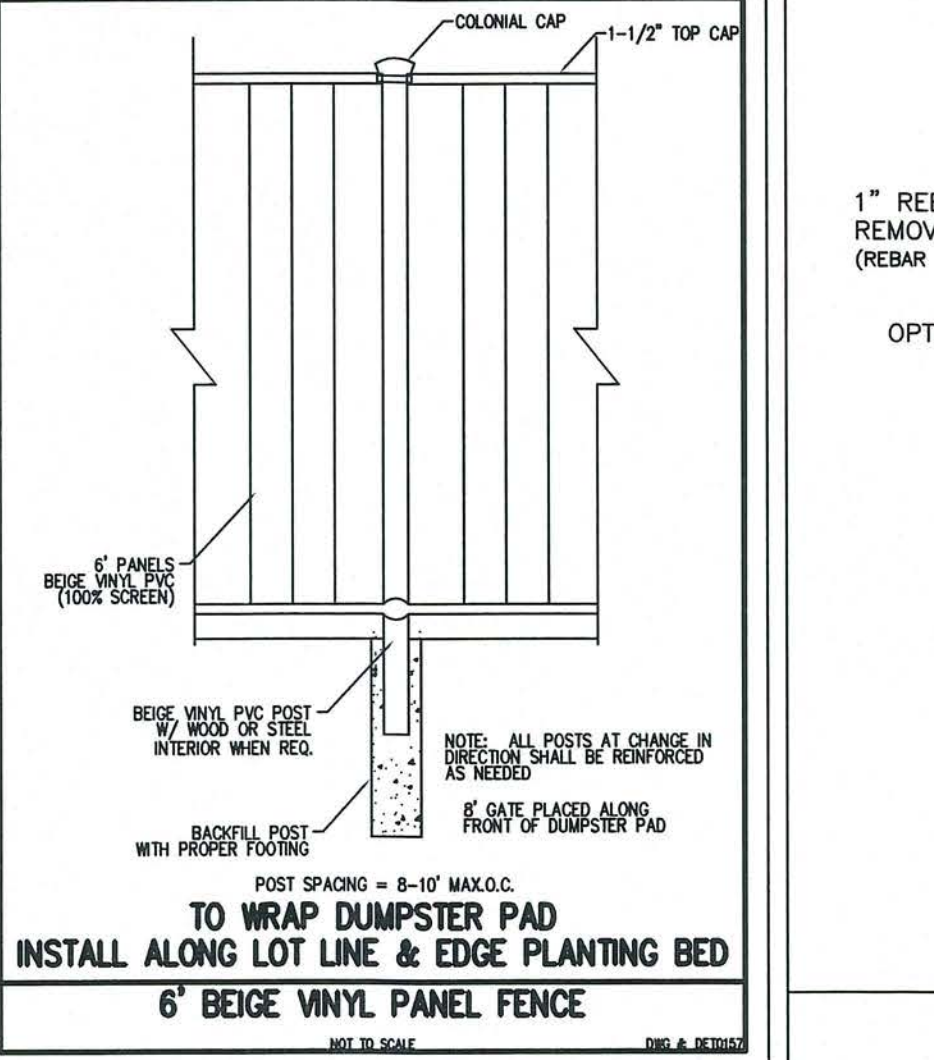
CONSTRUCTION ENTRANCE APRON  
NOT TO SCALE  
DETAIL: EC0009



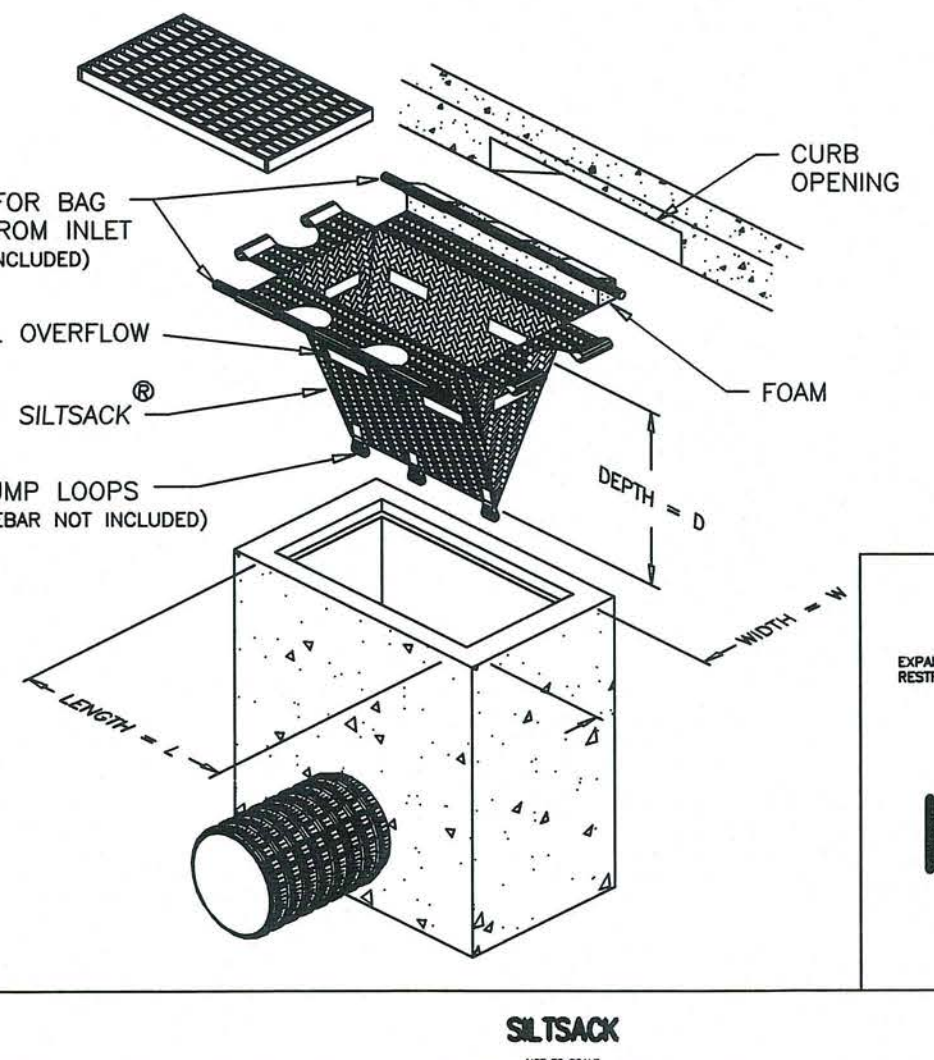
ROOF DRAIN CLEANOUT DETAIL  
NOT TO SCALE  
DETAIL: DS0008



DIRECTIONAL SIGNS  
NOT TO SCALE  
DETAIL: DS0037



6" BEIGE VINYL PANEL FENCE  
NOT TO SCALE  
DETAIL: DS0037



SILTSACK  
NOT TO SCALE

**SILTSACK®**  
SPECIFICATIONS  
NOTE: THE SILTSACK® WILL BE MANUFACTURED FROM A WOVEN POLYPROPYLENE FABRIC THAT MEETS OR EXCEEDS THE FOLLOWING SPECIFICATIONS.  
**REGULAR FLOW SILTSACK®**  
(FOR AREAS OF LOW TO MODERATE PRECIPITATION AND RUN-OFF)  
PROPERTIES TEST METHOD UNITS  
GRAB TENSILE STRENGTH ASTM D-4632 300 LBS  
GRAB TENSILE ELONGATION ASTM D-4632 20 %  
PUNCTURE ASTM D-4633 120 LBS  
MULLEN BURST ASTM D-3786 800 PSI  
TRAPZOID TEAR ASTM D-4633 45 LBS  
UV RESISTANCE ASTM D-4355 80 %  
APPARENT OPENING SIZE ASTM D-4751 40 US SEVE  
FLOW RATE ASTM D-4491 40 GAL/MIN/20 FT  
PERMITTIVITY ASTM D-4491 0.55 SEC -1  
**HI-FLOW SILTSACK®**  
(FOR AREAS OF MODERATE TO HEAVY PRECIPITATION AND RUN-OFF)  
PROPERTIES TEST METHOD UNITS  
GRAB TENSILE STRENGTH ASTM D-4632 285 LBS  
GRAB TENSILE ELONGATION ASTM D-4632 20 %  
PUNCTURE ASTM D-4633 135 LBS  
MULLEN BURST ASTM D-3786 420 PSI  
TRAPZOID TEAR ASTM D-4633 45 LBS  
UV RESISTANCE ASTM D-4355 90 %  
APPARENT OPENING SIZE ASTM D-4751 200 US SEVE  
FLOW RATE ASTM D-4491 200 GAL/MIN/20 FT  
PERMITTIVITY ASTM D-4491 1.5 SEC -1  
**OIL-ABSORBANT SILTSACK®**  
(FOR AREAS WHERE THERE IS A CONCERN FOR OIL RUN-OFF OR SPILLS)  
DEPENDING ON YOUR PARTICULAR APPLICATION, THE SILTSACK® CAN BE MADE FROM EITHER ONE OF THE ABOVE FABRICS WITH AN OIL-ABSORBANT PILLION INSERT OR, MADE COMPLETELY FROM AN OIL-ABSORBANT SILTSACK®, WITH A WOVEN PILLION INSERT.

**VORTSENTRY HS DESIGN NOTES**  
#### RATED TREATMENT CAPACITY IS SHOWN IN THE TABLE BELOW, OR PER LOCAL REGULATIONS. MAXIMUM HYDRAULIC INTERNAL BYPASS CAPACITY VARIES. CONTACT YOUR CONTECH REPRESENTATIVE FOR ADDITIONAL INFORMATION.  
THE STANDARD SOLID COVER CONFIGURATION IS SHOWN. ALTERNATE CONFIGURATIONS ARE AVAILABLE AND ARE LISTED BELOW.

VORTSENTRY HS GENERAL INFORMATION														
Model	Manhole Diameter (ID)	Total Treatment Flow Rate	Typical Total Distance Rim to Outside Bottom	Typical Distance Rim to Invert	Typical Depth Below Invert	Approximate Minimum Distance Rim to Invert	Maximum Pipe Diameter (ID)							
	FT	mm	CFS	L/S	FT	m	FT	m	IN	mm				
HS36	3	900	0.55	15.6	10.16	3.10	4.98	1.24	5.58	1702	3.00	0.91	18	450
HS36	4	1200	1.20	34.0	15.22	4.54	6.50	1.63	6.75	2057	4.00	1.22	24	600
HS60	6	1800	2.20	62.2	18.15	6.01	8.50	2.18	7.30	2428	6.00	1.47	30	750
HS60	8	2400	3.70	104.0	18.50	6.01	8.50	2.18	7.30	2428	8.00	2.03	36	900
HS84	7	2100	3.50	105.0	18.50	6.01	8.50	2.18	7.30	2428	7.00	1.92	42	1050
HS84	8	2400	4.10	120.4	18.50	6.01	8.50	2.18	7.30	2428	8.00	2.03	48	1200

**SITE SPECIFIC DATA REQUIREMENTS**  
STRUCTURE ID  
WATER QUALITY FLOW RATE (CFS)  
PEAK FLOW RATE (CFS)  
RETURN PERIOD OF PEAK FLOW (YRS)  
PIPE DATA: I.E. MATERIAL DIAMETER  
INLET PIPE 1  
OUTLET PIPE  
RIM ELEVATION  
ANTI-FLOTATION BALLAST WIDTH HEIGHT  
NOTES/SPECIAL REQUIREMENTS:  
\* PER ENGINEER OF RECORD

**CONTECH**  
ENGINEERED SOLUTIONS LLC  
2025 Centre Pointe Dr., Suite 400, West Chester, OH 45380  
937-338-1127 937-415-7000 937-415-7000 FAX

**VORTSENTRY HS STANDARD DETAIL**  
DETAIL: DS0040

ENGINEERING DESIGN CONSULTANTS, INC. SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, OR PROCEDURES UTILIZED BY THE CONTRACTOR, NOR FOR THE SAFETY OF PUBLIC OR CONTRACTOR'S EMPLOYEES, OR FOR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.  
ENGINEERING DESIGN CONSULTANTS, INC.'S LIABILITY FOR THIS PLAN IS LIMITED TO THE EXTENT OF ITS FEE LESS THIRD PARTY COSTS.

REVISIONS:	DATE	DESCRIPTION
0	3/26/18	SITE PLAN REVIEW
1		

DRAWN BY: ZEB	CHECKED BY: PSE	APPROVED BY: WML
---------------	-----------------	------------------

ENGINEERING DESIGN CONSULTANTS, INC.  
32 Turnpike Road  
Southborough, Massachusetts  
ph: (508) 480-0225 fax: (800) 832-5781

SITE PLAN  
9 TROTTER DRIVE  
MEDWAY, MASSACHUSETTS 02053

OWNER: MARGUERITE K. MELE  
203 MAIN STREET  
MEDWAY, MASSACHUSETTS 02053

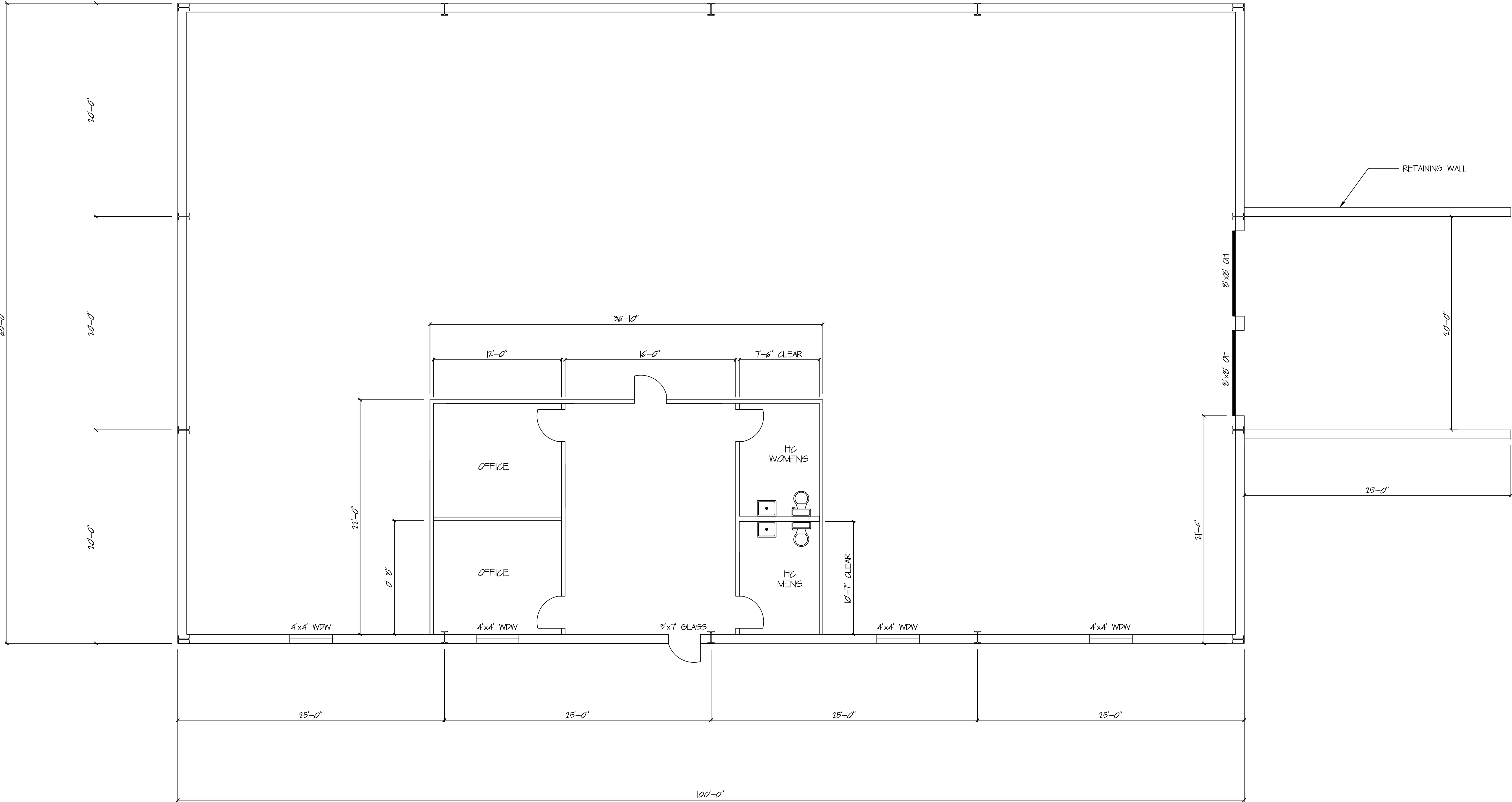
APPLICANT: CTS PROPERTY MANAGEMENT  
430 FRANKLIN VILLAGE DRIVE - SUITE 177  
FRANKLIN, MASSACHUSETTS 02038

FILE NO: 3083  
DATE: MARCH 26, 2018  
PLAN NUMBER: 6 of 6









FLOOR PLAN

General Notes		
TED GREENLAW 183 COLUMBIA STREET HANOVER, MA		
No.	Revision/Issue	Date

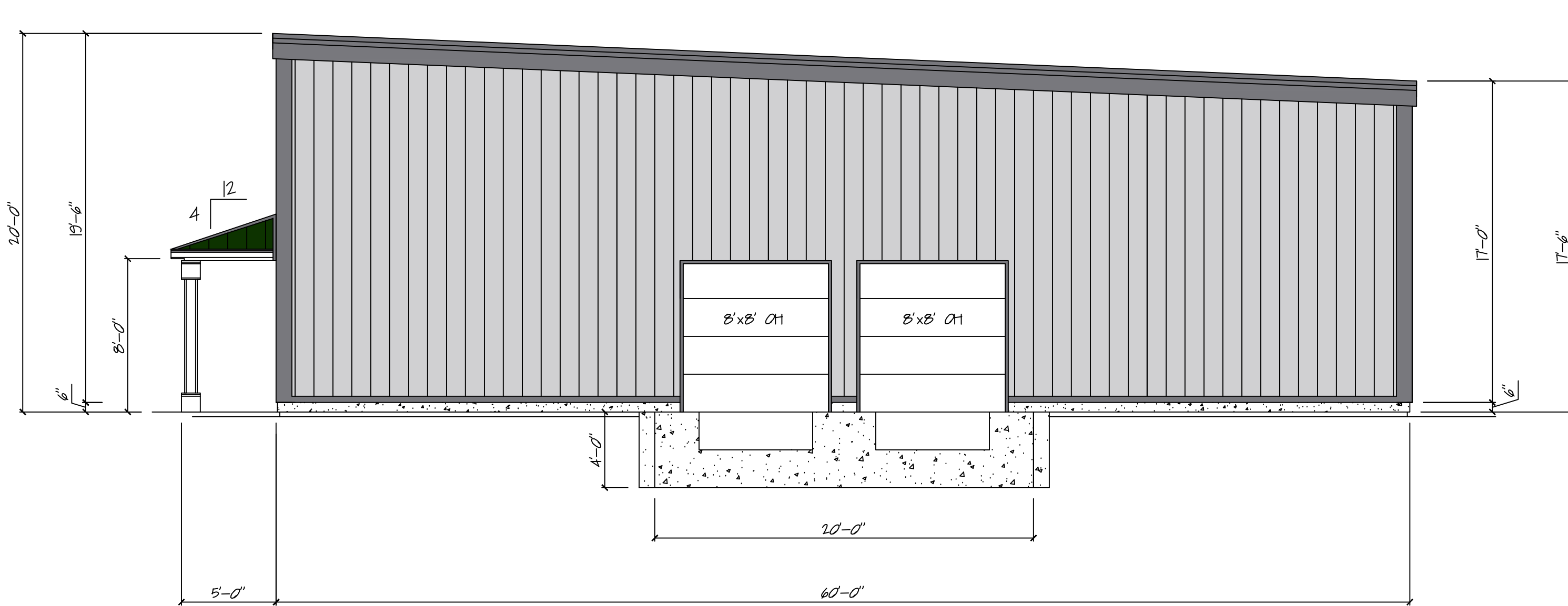
Firm Name and Address		
PRIGGEN STEEL 133 FRANKLIN STREET WRENTHAM, MA		

Project Name and Address		
CTS 430 FRANKLIN VILLAGE DR FRANKLIN, MA		

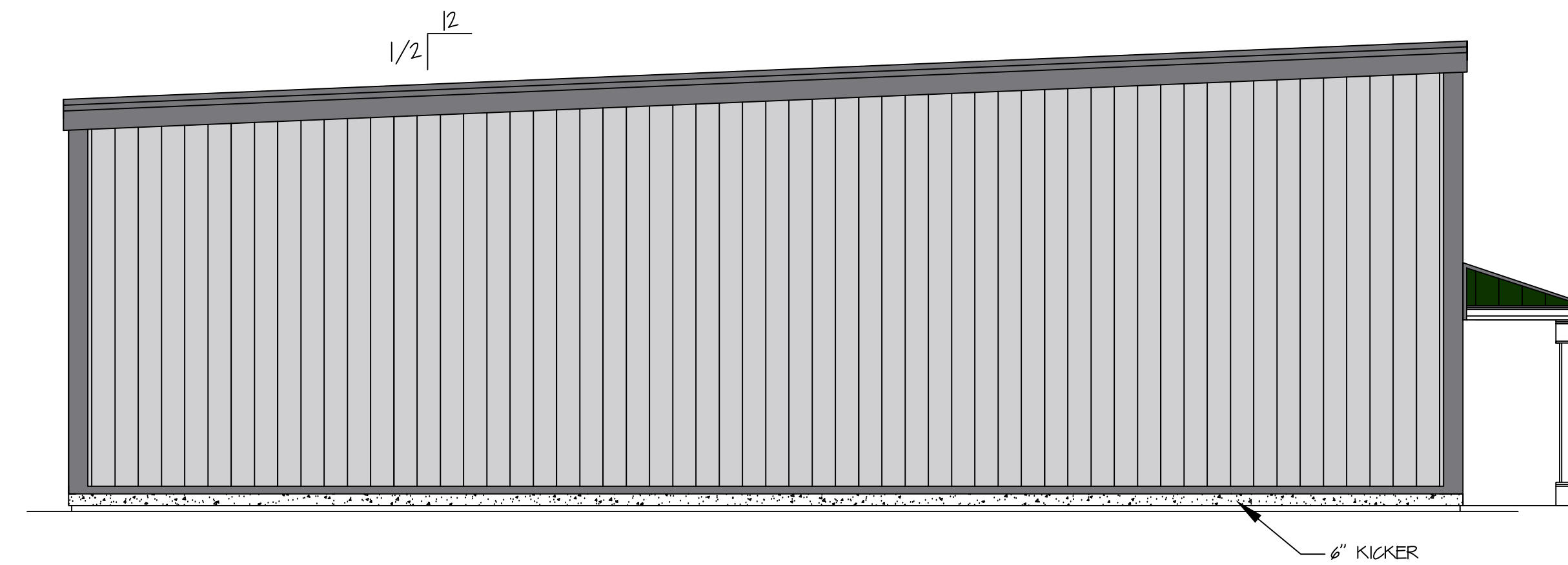
Project	Sheet
FLOOR	S-1
Date 4/16/18	
Scale 3/16" = 1'-0"	



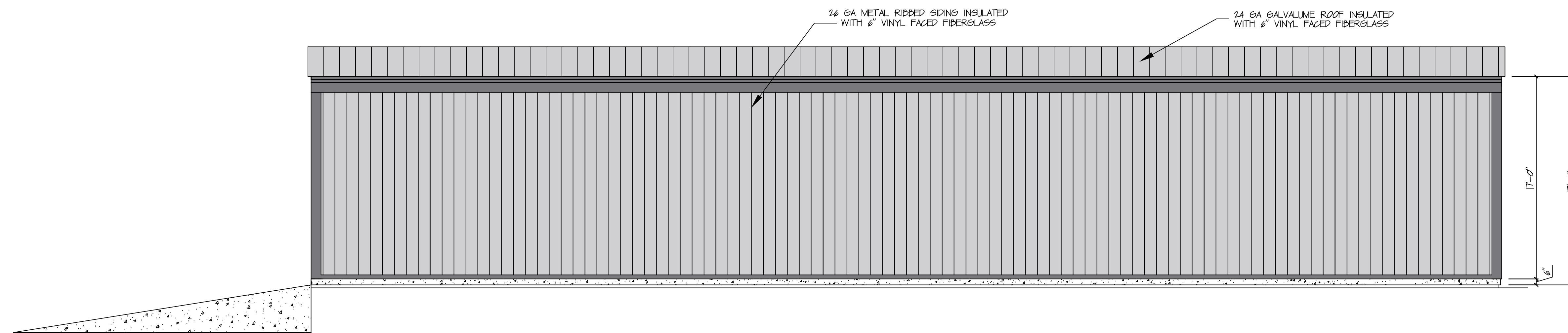
FRONT ELEVATION



RIGHT ELEVATION



LEFT ELEVATION



REAR ELEVATION

General Notes

TED GREENLAW  
183 COLUMBIA STREET  
HANOVER, MA

No.	Revision/Issue	Date

Firm Name and Address  
PRIGGEN STEEL  
133 FRANKLIN STREET  
WRENTHAM, MA

Project Name and Address  
CTS  
430 FRANKLIN VILLAGE DR  
FRANKLIN, MA

Project	Sheet
ELEVATION	S-2
Date	4/16/18
Scale	3/16" = 1'-0"



June 6, 2018

Ms. Susan E. Affleck-Childs  
Medway Planning and Economic Development Coordinator  
Medway Town Hall  
155 Village Street  
Medway, MA 02053

**Re: Converting Technical Services  
Site Plan Review  
9 Trotter Drive  
Medway, Massachusetts**

Dear Ms. Affleck-Childs:

Tetra Tech (TT) has performed a review of the proposed Site Plan for the above-mentioned Project at the request of the Town of Medway Planning and Economic Development Board (PEDB). The proposed Project is located at 9 Trotter Drive in Medway, MA. Proposed Project includes construction of a 6,000 sf light manufacturing/warehouse building with associated parking, utilities and drain infrastructure.

TT is in receipt of the following materials:

- A plan (Plans) set titled "9 Trotter Drive, A Site Plan in Medway, Massachusetts (Norfolk County)", dated March 26, 2018, prepared by Engineering Design Consultants, Inc. (EDC).
- A stormwater management report (Stormwater Report) titled "Stormwater Calculations for 15 Trotter Drive a Site Development located in Medway, Massachusetts 02053" dated March 26, 2018, prepared by EDC.
- Waiver requests from Site Plan Rules and Regulations, dated May 11, 2018, prepared by EDC.
- A Cover Letter and Traffic Letter both dated May 11, 2018, prepared by EDC.
- An Application for Major Site Plan Approval, dated May 7, 2018, prepared by EDC.
- A Certified Abutters List, certified date of March 26, 2018 by Medway Board of Assessors.

The Plans, Stormwater Report and accompanying materials were reviewed for conformance with Chapter 200 of the Town of Medway PEDB Rules and Regulations (Regulations), MA DEP Stormwater Management Standards (Standards), additional applicable town standards and good engineering practice. Review of the project for zoning and wetland related issues was not completed as these reviews are conducted by separate consultants/town agencies.

**The following items were found to be inconsistent with current Town of Medway PEDB Site Plan Review Regulations (Chapter 200). Reference to applicable regulation requirement is given in parentheses following each comment.**

- 1) The applicant has not supplied a written Development Impact Statement. A waiver has been requested from this Regulation. (Ch. 200 §204-3.A.7)
- 2) The Plans are drawn at a scale of 1"=20', Regulations require 1"=40'. However, the plans as drawn are sufficient to adequately show the proposed work. A waiver has been requested from this Regulation. Waivers have been granted from this Regulation on previously approved projects. (Ch. 200 §204-4.B)

- 3) Project assessors map and parcel number and zoning district classification are not shown on the cover sheet. (Ch. 200 §204-5.A)
- 4) Existing utilities have not been shown on the Existing Conditions Plan. (Ch. 200 §204-5.C.1)
- 5) The applicant has not supplied an Existing Landscape Inventory. A waiver has been requested from this Regulation. (Ch. 200 §204-5.C.3)
- 6) Setbacks from property lines to proposed parking limits and curb radii have not been included on the Plans. (Ch. 200 §204-5.D.2)
- 7) The applicant has not included dimensioning of the proposed north exit driveway, loading dock and loading maneuvering area. (Ch. 200 §204-5.D.3)
- 8) Proposed landscape plan does not appear to be designed by a registered landscape architect and does not include existing landscape inventory, particularly along the property boundaries. There are notes (Spirea and Daylily) included in the plan that are not pointing to the correct location. (Ch. 200 §204-5.D.7)
- 9) Color Renderings of the site have not been submitted. (Ch. 200 §204-5.D.9)
- 10) Horizontal sight distances are not shown on the Plan. (Ch. 200 §204-5.D.14)
- 11) The applicant has not supplied parking information on the zoning table. (Ch. 200 §204-5.D.15)
- 12) Existing or proposed hydrants have not been included on the Plans. Truck turning template should be run on the site to determine if fire apparatus can maneuver sufficiently. Confirmation from Medway Fire Chief recommended. (Ch. 200 §204-5.D.16)
- 13) The applicant is proposing two curb cuts to access the site. Regulations recommend one per street frontage. (Ch. 200 §205-3.A.2.a)
- 14) The applicant is proposing cape cod berm in lieu of vertical granite curbing, which does not comply with the Regulations. (Ch. 200 §205-3.B.6)
- 15) Designated employee parking areas have not been shown on the Plans. (Ch. 200 §205-6.C)
- 16) The applicant is proposing 9' x 18' standard parking stalls which do not comply with the Regulations. A waiver has been requested from this Regulation. (Ch. 200 §205-6.G.3.a)
- 17) Wheel stops are required in parking stalls abutting sidewalks. However, we recommend extending the depth of the parking stalls and eliminating wheel stops as they tend to cause issues during winter months during snow plowing operations. A waiver has been requested from this Regulation. (Ch. 200 §205-6.G.3.b)
- 18) Parking stalls are located within the fifteen foot minimum parking setback. Parking shall not be located within 15-feet of front-side or rear property lines. A waiver has been requested from this Regulation. (Ch. 200 §205-6.G.4.b)
- 19) The final space located along the southern parking area does not include the required "maneuvering strip". (Ch. 200 §205-6.G.4.d)
- 20) The applicant has not shown proposed snow removal areas on the Plans. A note exists however it should be graphically shown in areas where the snow will be placed. (Ch. 200 §205-7)

- 21) Proposed foot-candle readings exceed the minimum allowed by the Regulation at the property lines. Light spill onto neighboring properties should not occur at the site from proposed lighting. (Ch. 200 §205-8)
- 22) The applicant has not provided existing tree inventory of the site and thus cannot determine if tree replacement is necessary or how many trees will be required to be replaced. (Ch. 200 §205-9.F)

**The following items were found to not be in conformance with MA DEP Storm Water Management Standards and/or Town stormwater standards.**

MA DEP Stormwater Management Standards

- 23) Proposed runoff in the 2-year event for the “West” design point is greater than existing. Post development peak runoff for all storms required must be less than pre-development conditions. (Standard 2)
- 24) The applicant has not provided test pit information for the Site. Test pit information is required to confirm hydrologic soil groups and ground water elevation at the proposed recharge locations. (Standard 3)

PEDB Stormwater Regulations (Ch. 200 §205-4)

- 25) The applicant has not provided test pit information for the proposed recharge areas. (Ch. 200 §205-4.B)

Town Stormwater Bylaw (Article XXVI)

- 26) We recommend the applicant provide a narrative documenting compliance with “Article XXVI Stormwater Management and Land Disturbance” of the Town of Medway General Bylaws.

General Stormwater Comments

- 27) Two types of subsurface infiltration BMPs are proposed for the Project, a Cultec Recharger system and Precast Concrete Flow Diffuser system. We recommend the applicant provide commentary on the decision to place two different systems in the design.
- 28) We recommend the applicant provide greater detail on the Concrete Flow Diffuser system proposed for stormwater management of the parking area. It is unclear if the diffusers are placed on crushed stone, wrapped with fabric or if an “Isolator Row” or “Separator Row” type of TSS removal treatment can be incorporated into the design. We also recommend adding manhole at each inlet point for ease of inspection and maintenance. Inspections ports will also be required throughout the limits of the BMP.
- 29) We recommend the applicant provide O&M Plan and appurtenant inspection/maintenance log forms in the Stormwater Report to properly direct post-construction maintenance personnel on inspecting and maintaining the stormwater system. Maintenance requirements should be clearly stated on the forms.

**The following is a list of general items that TT recommends the applicant take into consideration prior to the next submission:**

- 30) We recommend the applicant provide written confirmation from abutting property owner of proposed sewer easement. Furthermore, it is unclear why the easement is necessary as a connection could be made directly from SMH #1 to the existing manhole located in Trotter Drive. If



it is to limit disturbance to the right-of-way, a perpendicular connection should be made from SMH #2 to the existing manhole.

31) We recommend the applicant label proposed vertical granite curb at both curb cuts on the Plan.

These comments are offered as guides for use during the Town's review and additional comments are likely to be generated during the course of review. If you have any questions or comments, please feel free to contact us at (508) 786-2200.

Very truly yours,



Steven M. Bouley, P.E.  
Senior Project Engineer

P:\21583\143-21583-18008 (CONVERTING TECHNICAL SERVICES)\DOCS\CTS-PEDBREV(2018-06-06).DOCX

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**PGC ASSOCIATES, LLC.**

1 Toni Lane  
Franklin, MA 02038-2648  
508.533.8106  
gino@pgcassociates.com

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June 6, 2017

Mr. Andy Rodenhiser, Chairman  
Medway Planning Board  
155 Village Street  
Medway, MA 02053

**RE: Converting Technical Services (TS Site Plan**

Dear Mr. Rodenhiser:

I have reviewed the proposed site plan submitted on behalf of applicant CTS Property Management of Franklin. The owner is Marguerite Mele. The proposed work is to construct a 6000 square-foot building and associated parking, drainage, landscaping, lighting, etc. on a lot of 49,529. The plan was prepared by Engineering Design Consultants, Inc. of Southborough and is dated March 25, 2018. I have comments as follows:

**Zoning**

1. The proposed primary uses are for light manufacturing and warehouse. This is allowed in the West Industrial zoning district, and the proposed development appears to comply with the Zoning Bylaw.
2. The plan proposes 20 parking spaces, including 1 van-accessible handicapped space, and 19 standard parking spaces. No parking calculation was provided. The Zoning Bylaw requires 1 space per 300 square feet of office space and 1 space per 2 employees and 1 per 1000 square feet of manufacturing or warehouse space. The proposed building has 264 square feet of office space and the maximum number of employees expected is 10. Therefore 1 space is required for the office space, 5 for the ten employees and 6 for the square footage of the building for a total of 12 spaces required.
3. Section 7.1.2 states that light trespass onto any abutting street or lot is not permitted. There is light trespass ranging from .1 to .8 foot-candles on 3 sides of the lot.
4. The dimensional requirements of Table 2 of Section 6 limit impervious coverage to 80% of the lot and requires 20% open space. The plan documents that it meets these requirements with 52% open space and 48% impervious surface.
5. The plans show a location for a monument sign. The proposed dimensions of 20 feet per side comply with the maximum size requirements of 40 square feet total as well as the required setback of 10 feet. No height off the ground is shown but the maximum height is 6 feet. No landscaping is shown at the base of the sign (and the sign is not shown on the landscape plan). The building elevations do not show a building sign.

6. Section 7.1.1 G requires parking not be located in front of the building unless no reasonable alternative exists.
7. Under Section 7.1.1 I, a bicycle parking spot is required unless the PEDB waives this requirement. The waiver is requested.

### **Site Plan Rules and Regulations**

8. Section 204.3 A. (7) requires a Development Impact Report. Most elements are only applicable to projects with 30 or more parking spaces so mostly not applicable to this project. A waiver is requested but a letter describing minimal traffic generation is provided.
9. Section 204-5 B. requires a Site Context Sheet. This was not provided.
10. Section 204-5 C. (3). The Existing Conditions Sheet also does not include an Existing Landscape Inventory prepared by a Landscape Architect. A waiver is requested based on the lack of significant landscape features on the site.
11. Section 204-5 D. (3) requires dimensions of proposed improvements. This was not provided for some features, including the northerly entrance drive, loading zone area, maneuvering area and other features.
12. Section 204-5 D. (7) requires that a landscape architect prepare the landscape plan. A landscape plan was provided but there is no indication it was prepared by a landscape architect.
13. Section 204-5 D. (12) requires a signage plan indicating the design, location, materials, dimensions and lighting. As stated above, a monument sign location and dimensions are indicated on the plan, but no other details are provided. There is no indication of a building sign.
14. Section 204-5 D. (13) requires a lighting plan. As stated above, no lighting plan has been provided, but it shows light trespass onto abutting properties.
15. Section 204-5 (14) requires horizontal sight distances be show on the plan. This information was not provided.
16. Section 204-5 (16) requires information about fire prevention and suppression. This was not provided.
17. Section 205-3 D requires pedestrian-friendly sidewalks in front of site. This is not provided and no waiver is requested.
18. Section 205-6 G. (3)(b) requires wheel stops where a parking space abuts a walkway. A waiver is requested to allow a curb instead.

19. Section 205-6 G. (4)(d) requires a 12' x 20' turning area at the end of the parking row. This is not provided and no waiver is requested.
20. Section 205-6 (H) requires vertical granite curbing "or similar" around the perimeter of a parking lot. The plan proposes Cape Cod berm.
21. Section 205-9 C requires that there be substantial landscaped islands within parking lots to reduce the "sea of asphalt" effect. More specifically, Section 209-6 C requires at least 1 deciduous tree per 6 spaces and only trees that provide shade to the parking area are to count toward this requirement. With 20 spaces, 4 trees are required. The trees proposed along the front of the property likely meet this requirement (at least when grown), but consideration should be given to adding trees in the islands at the ends of the parking rows.

### **General Comments**

22. The plan appears to meet the criteria specified in Section 203-9 C.

If there are any questions about these comments, please call or e-mail me.

Sincerely,

A handwritten signature in black ink, appearing to read "Gino D. Carlucci, Jr.", with a stylized flourish at the end.

Gino D. Carlucci, Jr.

## Susan Affleck-Childs

---

**From:** Susan Affleck-Childs  
**Sent:** Thursday, May 24, 2018 11:20 AM  
**To:** Bridget Graziano; David Damico; Jack Mee ; Beth Hallal; Jeff Lynch; Jeff Watson; Allen Tingley ; Joanne Russo; Donna Greenwood  
**Cc:** Michael Boynton; Barbara Saint Andre; Mackenzie Leahy; Paul Yorkis; Andy Rodenhiser; Allison Potter  
**Subject:** Site Plan Application - Converting Technical Services, 9 Trotter Drive  
**Attachments:** CTS - 9 Trotter Drive Site Plan Set.pdf

Good morning,

The PEDB has received an application from CTS Property Management of Franklin MA for approval of a major site plan for a building construction project at 9 Trotter Drive.

The Board will begin its public hearing on June 12, 2018 at 7:05 p.m.

The subject property is 1+ acres and is located in the 495 Business Park (West Industrial zoning district). It is a recently created parcel (#54-004-0004) resulting from the division of the Mele property on the east side of Trotter Drive. The property is located within the Oak Grove urban renewal area.

The proposed project includes construction of a 6,000 sq. ft. one-story building with associated parking and loading facilities for Converting Technical Services, a light manufacturing/warehouse business presently located in Franklin.

The plan is titled *9 Trotter Drive Site Plan*, is dated March 26, 2018 and was prepared by Engineering Design Consultants, Inc. of Southborough, MA. The plan shows parking for 21 vehicles, landscaping, stormwater drainage facilities, site and building lighting, and connections to municipal water and sewer. Site access/egress is planned with 2 curb cuts on Trotter Drive. See attached site plan.

***The Board asks that you review and comment on the proposed project. Please forward any comments to me by June 7<sup>th</sup> so that I may provide them to the Board for the June 12<sup>th</sup> hearing.*** Thanks.

Please let me know if you have any questions.

Cheers!

Susy

Susan E. Affleck-Childs  
Planning and Economic Development Coordinator

Town of Medway  
155 Village Street  
Medway, MA 02053  
508-533-3291  
[sachilds@townofmedway.org](mailto:sachilds@townofmedway.org)

Town of Medway – *A Massachusetts Green Community*

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## Susan Affleck-Childs

---

**From:** Jeff Lynch  
**Sent:** Wednesday, May 30, 2018 9:34 AM  
**To:** Susan Affleck-Childs  
**Subject:** RE: Site Plan Application - Converting Technical Services, 9 Trotter Drive

Susy, At this time I have no comments regarding this project as there are 2 sides of access to the building. Thank you. Jeff

---

**From:** Susan Affleck-Childs  
**Sent:** Thursday, May 24, 2018 11:20 AM  
**To:** Bridget Graziano; David Damico; Jack Mee; Beth Hallal; Jeff Lynch; Jeff Watson; Chief Tingley; Joanne Russo; Donna Greenwood  
**Cc:** Michael Boynton; Barbara Saint Andre; Mackenzie Leahy; Paul Yorkis; Andy Rodenhiser; Allison Potter  
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Please let me know if you have any questions.

Cheers!

Susy

Susan E. Affleck-Childs  
Planning and Economic Development Coordinator

Town of Medway  
155 Village Street



Medway, MA 02053  
508-533-3291  
[sachilds@townofmedway.org](mailto:sachilds@townofmedway.org)

Town of Medway – *A Massachusetts Green Community*

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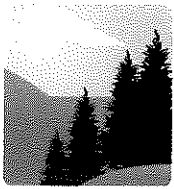


**June 12, 2018**  
**Medway Planning & Economic Development Board**  
**Meeting**

**UPDATED – June 8, 2018**

**Merrimack Building Supply**  
**Construction Field Change**

- Letter from Bob Poxon, project engineer from Guerriere and Halnon, dated June 4, 2018, explaining requested proposed changes
- Updated plan showing proposed changes dated April 30 and June 4, 2018.
- Steve Bouley review email memo dated June 6, 2018
- **Revised plan dated June 7, 2018 received June 8<sup>th</sup> to address Steve Bouley's email comments. This revised plan has been forwarded to Steve for further review. This change also needs ConCom approval; the applicant has not yet initiated that process.**



# Guerriere & Halnon, Inc.

ENGINEERING & LAND SURVEYING  
[www.gandhengineering.com](http://www.gandhengineering.com)

*Est. 1972*

**Milford Office**

333 West Street, P. O. Box 235  
Milford, MA 01757-0235  
(508) 473-6630/Fax (508) 473-8243

**Franklin Office**

55 West Central Street  
Franklin, MA 02038-2101  
(508) 528-3221/Fax (508) 528-7921

**Whitinsville Office**

1029 Providence Road  
Whitinsville, MA 01588-2121  
(508) 234-6834/Fax (508) 234-6723

June 4, 2018

Susan Affleck-Childs  
Medway Planning & Economic Dev. Coordinator  
Medway Town Hall  
155 Village Street  
Medway, MA 02053

RE: Merrimack Building Supply, Medway, MA  
Proposed Changes to the Approved Site Plan

Dear Ms. Affleck-Childs:

On behalf of the applicant, Merrimack Building Supply, we are seeking approval for the following changes to the approved Site Plan.

1. Eliminate the additional pavement to the west of the existing storage shed, while maintaining the existing edge of pavement and installing curbing. This will provide a net reduction in pavement of 4,400 s.f..
2. Proposed catch basins 2 and 6 will be relocated to the edge of the existing pavement.
3. The catch basin in the proposed loading dock doesn't work and has been replaced with a trench drain.
4. The location of the roof drain has been adjusted to handle just the addition, and the drain for the existing building has been revised.
5. We have also needed to adjust the sewer services from both the existing and proposed buildings so as to have adequate cover over the pipes. Two manholes have been added.

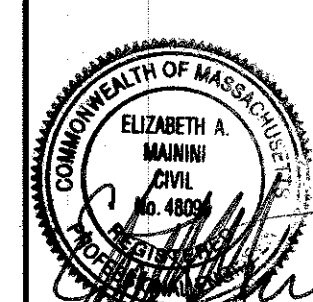
If you have any questions or additional comments, please do not hesitate to contact us.

Sincerely,

Robert J. Poxon  
Project Engineer

*Guerriere & Halnon, Inc.*  
Engineering & Land Surveying





APPROVED DATE: 7/7  
PLANNING BOARD

SIGNATURE DATE: \_\_\_\_\_  
BEING A MAJORITY

CONSTRUCTION ON THIS LOT IS SUBJECT TO ANY EASEMENTS,  
RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS OR OTHER  
LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF  
THE TITLE.

**"WARNING"**  
EXISTING UTILITY LINES INDICATED OR NOTED ON THESE  
DRAWINGS ARE SHOWN AS OBTAINED FROM EXISTING INFORMATION  
AND ARE ONLY APPROXIMATE IN LOCATION. THE CONTRACTOR  
SHALL TAKE CAUTION IN THESE AREAS TO AVOID DAMAGE TO  
EXISTING UTILITY LINES AND/OR HARM TO PERSONNEL ENGAGED  
IN WORKING IN THESE AREAS.  
CALL "DIG SAFE" 1-888-DIG-SAFE (1-888-344-7233).

EXISTING LINES OTHER THAN THOSE INDICATED ON THESE DRAWINGS MAY BE ON THE SITE. THE CONTRACTOR IS WARNED TO PROCEED WITH CAUTION WITH ALL WORK, ESPECIALLY EXCAVATION WORK, AND TO MAKE ALL POSSIBLE INVESTIGATION AS TO POSSIBLE UNMARKED UTILITY LINES.

## NOTES

9	6/4/18	SEWER SERVICES FROM EXIST. & PROP. BLDGS	RJ
8	4/30/18	REMOVE PROPOSED WESTERN EDGE OF PAVEMENT	RJ
7	12/11/17	ADJUST DRAINAGE IN WESTERN PAVED AREAS	RJ
6	10/5/17	FINAL REVISIONS PRIOR TO ENDORSEMENT	RJ
5	6/15/17	REV. PER DECISION LETTER	PM
4	6/6/17	REV. PER COMMENT LETTER 6/12/17	PM
3	5/25/17	REV. DRAINAGE PER EMAIL 6-6-17	PM
2	4/25/17	REVISED PER COMMENTS.	PM
1	3/23/17	ADDED BANK FLAGS.	PM
##	DATE	DESCRIPTION	INI

OWNER

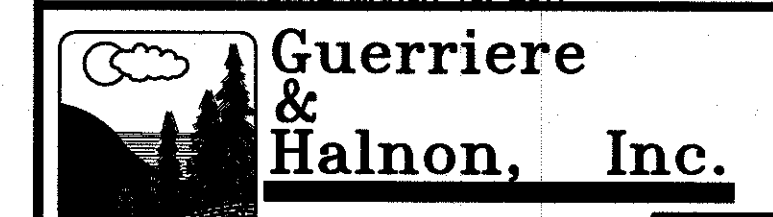
MERRIMACK BUILDING SUPPLY  
20 TROTTER DRIVE  
MEDWAY MA

20 TROTTER DRIVE

"MERRIMACK BUILDING  
SUPPLY"

GRADING & UTILITIES  
SITE  
PLAN OF LAND  
IN  
**MEDWAY, MA**

SCALE: ONE INCH EQUALS 30 FEET  
DATE: MARCH 10, 2017



Engineering & Land Surveying  
333 WEST STREET, MILFORD, MASS. 01757  
(508) 473-6630 FAX: (508) 473-8243

G-8542

## Susan Affleck-Childs

---

**From:** Bouley, Steven <Steven.Bouley@tetrattech.com>  
**Sent:** Thursday, June 07, 2018 9:12 AM  
**To:** Bob Poxon; Susan Affleck-Childs  
**Subject:** RE: Merrimack Building Supplies

Bob, I have the following comments below:

1. We have no issue with the reduction in pavement. It reduces impervious area and reduces impact to the riverfront area and adds additional factor of safety into the stormwater system design. However, Conservation should probably be made aware of the change as stated in our meeting on-site a few months ago.
2. The proposed plan shows the roof drain from the existing shed now connecting into the parking lot drain system. During the original review process this was spoken about and since the shed has a metal roof and the site is in the Zone II/Groundwater Protection District (GPD) it was preferred that the roof drains be properly pre-treated (sand filter, rain garden or similar) prior to infiltration. Also, clean roof runoff can be directly discharged, co-mingling it with surface runoff adds to required treatment volumes in basins making them larger. In lieu of routing that roof drain to the front of the site, consider placing a rain garden at the rear/sides of the existing shed where proposed pavement is being removed. Conservation should be made aware of these changes.
3. Additionally, the cover letter states the existing main building roof drain system has been disconnected from discharging to the proposed rain garden in this iteration of the plan. As stated above, the existing building contains a metal roof and should be pre-treated prior to recharge in the Zone II/GPD.
4. The proposed berm line to the rear (west side) of the existing shed has an odd alignment, I'm not sure what the intention of it is. Why not terminate it at the southwest corner of the shed?
5. We have no issue with the sewer changes.

Susy, the disconnection of the roof drains in the manner shown on the modified plan constitutes a change that we believe the board would have to discuss particularly due to the site being in the Zone II/GPD. I suggest the applicant reconsider the proposal since connecting the roof drains/adding a rain garden is a relatively minor construction item and will provide greater benefit to the groundwater as compared to existing condition.

Please let me know if you need anything else, thanks.

Steve

**Steven M. Bouley, P.E. | Senior Project Engineer**  
Direct: 508.786.2382 | Main: 508.786.2200 | Fax: 508.786.2201  
[steven.bouley@tetrattech.com](mailto:steven.bouley@tetrattech.com)

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**From:** Bob Poxon [mailto:rpoxon@gandhengineering.com]  
**Sent:** Tuesday, June 05, 2018 10:51 AM  
**To:** Susan Affleck-Childs <sachilds@townofmedway.org>  
**Cc:** Bouley, Steven <Steven.Bouley@tetrattech.com>  
**Subject:** RE: Merrimack Building Supplies

Hi Suzy,

Here is the filing. I will have the hard copies delivered shortly.

---

**From:** Susan Affleck-Childs <[sachilds@townofmedway.org](mailto:sachilds@townofmedway.org)>  
**Sent:** Monday, June 4, 2018 2:27 PM  
**To:** Bob Poxon <[rpoxon@gandhengineering.com](mailto:rpoxon@gandhengineering.com)>  
**Subject:** RE: Merrimack Building Supplies

Hi Bob,

Hi Bob,

I need two full size prints and one 11x 17 print plus a pdf of course.

Please provide a written description of what you are proposing to change and why.

The next PEDB mtg is Tuesday, June 12<sup>th</sup>. I can put this on the agenda.

Susy

Susan E. Affleck-Childs  
Planning and Economic Development Coordinator

Town of Medway  
155 Village Street  
Medway, MA 02053  
508-533-3291  
[sachilds@townofmedway.org](mailto:sachilds@townofmedway.org)

Town of Medway – *A Massachusetts Green Community*

*Please remember when writing or responding, the Massachusetts Secretary of State has determined that e-mail is a public record.*

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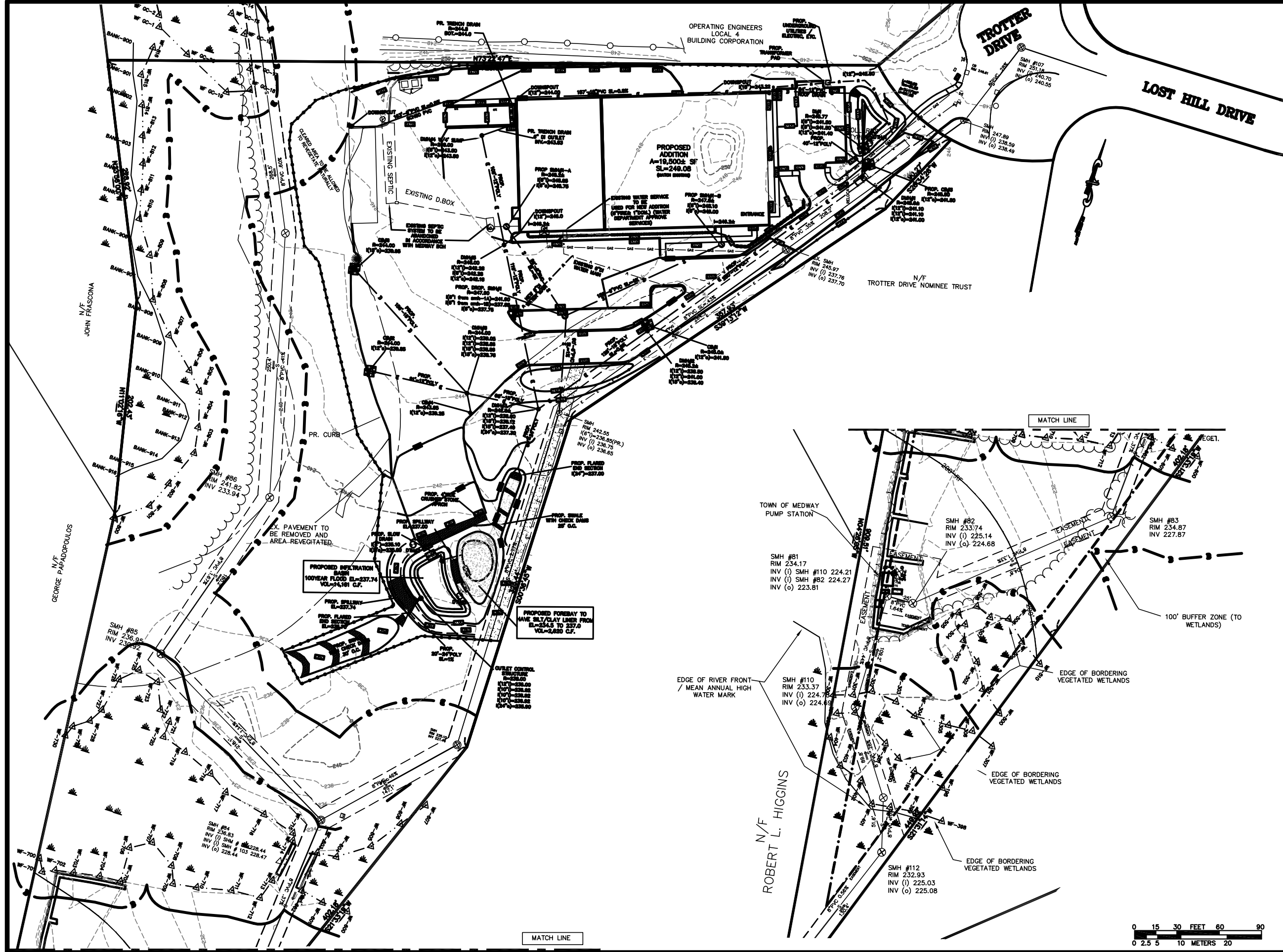
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**From:** Bob Poxon [<mailto:rpoxon@gandhengineering.com>]  
**Sent:** Monday, June 04, 2018 2:23 PM  
**To:** Susan Affleck-Childs  
**Subject:** Merrimack Building Supplies

Hi Suzy,

I almost forgot about getting revised copies of the plan to you before the meeting. I probably won't have a stamped copy before tomorrow morning. How many prints do you need?  
I will send a pdf directly to Steve Bouley.





DATE: \_\_\_\_\_

APPROVED DATE: \_\_\_\_\_

SIGNATURE DATE: \_\_\_\_\_

CONSTRUCTION ON THIS LOT IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

EXISTING UTILITY LINES INDICATED OR NOTED ON THESE DRAWINGS ARE SHOWN AS OBTAINED FROM EXISTING INFORMATION AND ARE ONLY APPROXIMATE IN LOCATION. THE CONTRACTOR SHALL TAKE CAUTION IN THESE AREAS TO AVOID DAMAGE TO EXISTING UTILITY LINES AND/OR HARM TO PERSONNEL ENGAGED IN WORKING IN THESE AREAS.

EXISTING LINES OTHER THAN THOSE INDICATED ON THESE DRAWINGS MAY BE ON THE SITE. THE CONTRACTOR IS WARNED TO PROCEED WITH CAUTION WITH ALL WORK, ESPECIALLY EXCAVATION WORK, AND TO MAKE ALL POSSIBLE INVESTIGATIONS AS TO POSSIBLE UNMARKED UTILITY LINES.

NOTES

#	DATE	DESCRIPTION	INIT
0	6/7/18	PER COMMENTS	RJP
9	6/4/18	SEWER SERVICES FROM EXIST. & PROP. BLDGS	RJP
8	4/30/18	REMOVE PROPOSED WESTERN EDGE OF PAVEMENT	RJP
7	12/11/17	ADJUST DRAINAGE IN WESTERN PAVED AREAS	RJP
6	10/5/17	FINAL REVISIONS PRIOR TO ENDORSEMENT	RJP
5	6/15/17	REV. PER DECISION LETTER	PML
4	6/6/17	REV. PER COMMENT LETTER 6/12/17	PML
3	5/25/17	REV. DRAINAGE PER EMAIL 6-6-17.	PML
2	4/25/17	REVISED PER COMMENTS.	PML
1	3/23/17	ADDED BANK FLAGS.	PML

OWNER

MERRIMACK BUILDING SUPPLY  
20 TROTTER DRIVE  
MEDWAY MA

20 TROTTER DRIVE

"MERRIMACK BUILDING  
SUPPLY"

GRADING & UTILITIES  
SITE  
PLAN OF LAND  
IN  
MEDWAY, MA

SCALE: ONE INCH EQUALS 30 FEET  
DATE: MARCH 10, 2017

**Guerriere  
& Halnon, Inc.**  
Engineering & Land Surveying  
333 WEST STREET, MILFORD, MASS. 01757  
(508) 473-6630 FAX: (508) 473-8243

SHEET  
C-4  
P. 01



**June 12, 2018**  
**Medway Planning & Economic Development Board**  
**Meeting**

**Exelon Construction Services Change**  
**Order**

- Change Order dated 6-5-18 from BETA Group for Exelon expansion project
- Project Accounting Spreadsheet

Current balance in the Exelon construction account is \$2527.75. See attached accounting spreadsheet. The Exelon change order is for \$6,350.

This will need to go to the Town Administrator's office and probably the BOS for approval.



[illegible]

**AMENDMENT NO. 1**  
**TO**  
**AGREEMENT FOR PROFESSIONAL SERVICES**

Between

**Town of Medway, MA**  
**155 Village Street**  
**Medway, MA 02053**

And

**BETA GROUP, INC.**  
**6 Blackstone Valley Place**  
**Lincoln, RI 02865**

For

**Construction Administration**  
**Exelon Expansion Project**

THIS AMENDMENT No. 1 made this \_\_\_\_ day of \_\_\_\_\_, 2018, between the **Town of Medway**, Massachusetts, hereinafter called the “TOWN”, and **BETA Group, Inc.**, hereinafter called the “CONSULTANT”, amends the “AGREEMENT” BETWEEN the TOWN and the CONSULTANT for the Construction Administration for the Exelon Expansion Project, dated September 6, 2016, hereafter called the “PROJECT”.

WHEREAS, during the design phase of the PROJECT, an increased level of effort on the part of the CONSULTANT is sought by the TOWN to continue construction administration through completion of the PROJECT, and

WHEREAS, TOWN and CONSULTANT have mutually agreed to proceed with these efforts;

AND WHEREAS, TOWN and CONSULTANT agree that the level of compensation for Construction Administration Services allowed for in the present AGREEMENT needs to be modified;

NOW THEREFORE, in consideration of the mutual agreements hereinafter contained, the parties hereto agree as follows:

- A.) Amend – **AMEND EXHIBIT A – ENGINEERING SCOPE OF SERVICES** as follows:

Additional effort is required to continue the construction administration services related to conducting routine and scheduled inspections of the construction as noted in bullet No.2. The original scope of work anticipated 10 site visits to conduct inspection of on-going construction. To date BETA staff has conducted 12 site visits related primarily to subsurface utility work and grading of subbase. Inspections have required more site visits than originally anticipated due to the inefficiencies in scheduling of the site work construction as related to the overall plant construction. It is anticipated that eight (8) additional site visits will be required to complete inspections for:

- Completion of roadway sub-base
- Roadway Paving
- Grading of stormwater BMP's
- Installation of sound barrier walls
- Completion of landscaping/fencing/lighting

An additional \$6,350 is requested for this effort. As included in the original contract, BETA will participate in a final walk through and prepare a punch list. BETA will also review and comment on as-built plans.

B) Amend – ARTICLE VI – PAYMENT BY THE TOWN FOR CONSULTANT SERVICES as follows:

Delete "\$11,600" and replace with "\$17,950."

.....

All terms and conditions of the AGREEMENT remain in full force except as specifically modified by this AMENDMENT No. 1.

IN WITNESS WHEREOF the parties hereto have executed copies of this Agreement the day and year first above written.

Consultant  
of Selectmen

Town of Medway by its Board

\_\_\_\_\_  
For  
By its duly authorized representative

\_\_\_\_\_  
Maryjane White, Chairman

Date: \_\_\_\_\_

Date: \_\_\_\_\_

Approved as to availability of funds:

Approved as to form:

\_\_\_\_\_  
Town Accountant

\_\_\_\_\_  
Town Counsel

\_\_\_\_\_  
Account Number



**June 12, 2018**  
**Medway Planning & Economic Development Board**  
**Meeting**

**Milway Auto Site Plan Endorsement**

- Revised Site Plan dated June 5, 2018
- Tetra Tech sign off email dated June 6, 2018
- Site Plan decision dated May 8, 2018
- Verification dated May 6, 2018 from the Medway Treasurer/Collector's office that taxes are paid
- Certificate of No Appeal from Town Clerk dated June 6, 2018
- Construction Services invoice of \$8,657 dated May 23, 2018

The only remaining item before plan endorsement is for the applicant to pay the construction services invoice. As of 9 am on 6-7-18, he had not done so. You should not sign the site plan unless the funds are paid.

NOTE – As this site plan does not have to be recorded, the plan provided to you for signature is paper vs. MYLAR.





**TOWN OF MEDWAY**  
**Planning & Economic Development Board**  
155 Village Street  
Medway, Massachusetts 02053

RECEIVED

MAY - 9 2018

TOWN CLERK

*Andy Rodenhiser, Chairman*  
*Robert K. Tucker, Vice-Chairman*  
*Thomas A. Gay, Clerk*  
*Matthew J. Hayes, P.E.*  
*Richard Di Iulio*

May 8, 2018

***Major Site Plan Review Decision***  
***Milway Auto – 50 Alder Street***  
***APPROVED with Waivers and Conditions***

**Decision Date:** May 8, 2018

**Name/Address of Applicant:** Alder Street Realty, LLC  
119 Milford ST.  
Medway, MA 02053

**Name/Address of Property Owner:** Alder Street Realty, LLC  
119 Milford ST.  
Medway, MA 02053

**Project Location:** 50 Alder Street

**Assessors' Reference:** 63-001-0001

**Zoning District:** West Industrial (formerly known as Industrial III)

**Engineer:** Grady Consulting, Inc.  
71 Evergreen ST. Suite 1  
Kingston, MA 02364

**Site Plan:** *Proposed 3,250 Sq. Ft. Commercial Building for 50 Alder ST*  
Medway, MA  
Dated March 30, 2016, last revised April 2, 2018



**TOWN OF MEDWAY**  
**Planning & Economic Development Board**  
155 Village Street  
Medway, Massachusetts 02053

*Andy Rodenhiser, Chairman  
Robert K. Tucker, Vice-Chairman  
Thomas A. Gay, Clerk  
Matthew J. Hayes, P.E.  
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***Zoning District:*** West Industrial (formerly known as Industrial III)

***Engineer:*** Grady Consulting, Inc.  
71 Evergreen ST. Suite 1  
Kingston, MA 02364

***Site Plan:*** *Proposed 3,250 Sq. Ft. Commercial Building for 50 Alder ST*  
Medway, MA  
Dated March 30, 2016, last revised April 2, 2018

**I. PROJECT DESCRIPTION** – The proposed project includes construction of a 3,250 sq. ft., one-story building for automobile sales and service with three garage bays and office space. The site plan shows a 7,774 sq. ft. parking lot for 17 parking spaces, landscaping, stormwater drainage facilities, and connections to municipal water and sewer. Site access/egress is planned with 2 curb cuts on Alder Street. The parcel is 1.03 acres. 60% of the property is located in Medway; the remaining portion of the property is located in Milford, MA. Approximately 12,900 sq. ft. of the parcel will be cleared for construction of the building, drainage system and parking.

A portion of the site lies within the 100' buffer zone of wetlands resources and is subject to review by the Medway Conservation Commission.

**II. VOTE OF THE BOARD** – After reviewing the application and information gathered during the public hearing and review process, the Medway Planning and Economic Development Board, on May 8, 2018, on a motion made by Robert Tucker and seconded by Richard Di Iulio, **voted to approve with WAIVERS and CONDITIONS** as specified herein, a site plan for the construction of an approximately 3,250 sq. ft. building and site improvements at 50 Alder Street as shown on *Proposed 3,250 sq. ft. Commercial Building for 50 Alder Street* prepared by Grady Consulting, of Kingston, MA, dated March 30, 2016, last revised April 2, 2018, to be further revised as specified herein.

All members voting on this Certificate of Action were present at all sessions of the public hearing or have provided a certification pursuant to General Laws c. 39 section 23D.

The motion was approved by a vote of 4 in favor and 0 opposed.

<b>Planning &amp; Economic Development Board Member</b>	<b>Vote</b>
Richard Di Iulio	Yes
Matthew Hayes	Yes
Thomas A. Gay	Absent
Andy Rodenhiser	Yes
Robert Tucker	Yes

### **III. PROCEDURAL HISTORY**

- A. January 11, 2019 - Site plan application and associated materials filed with the Medway Planning & Economic Development Board and the Medway Town Clerk
- B. January 18, 2018 – Site plan public hearing notice filed with the Town Clerk and posted at the Town of Medway web site.
- C. January 19, 2018 – Site plan information distributed to Town boards, committees and departments for review and comment.
- D. January 22, 2018 – Site plan public hearing notice mailed to abutters by certified sent mail.
- E. January 30 and February 5, 2018 - Site plan public hearing notice advertised in *Milford Daily News*.

- F. February 13, 2018 - Site plan public hearing commenced. The public hearing was continued to February 27, March 27, April 24<sup>th</sup> and May 8, 2018 when the hearing was closed and a decision rendered.
- G. March 22, 2018 - Applicant requested and Board approved (March 27, 2018) an extension of the action deadline to May 11, 2018.

#### **IV. INDEX OF SITE PLAN DOCUMENTS**

- A. The site plan application for the proposed Milway Auto project included the following plans, studies and information that were provided to the Planning and Economic Development Board at the time the application was filed:
  - 1. Major Site Plan Application dated January 11, 2018 with Project Description, Development Impact report, property owners' authorization, purchase and sale agreement, and certified abutters' list.
  - 2. *Proposed 3,250 Sq. Ft. Commercial Building for 50 Alder Street* site plan dated March 30, 2016, last revised August 22, 2016, prepared by Grady Consulting of Kingston, MA.
  - 3. *Stormwater Management Design Calculations dated March 30, 2016* prepared by Grady Consulting of Kingston, MA
  - 3. *Requests for Waivers from the Medway Site Plan Rules and Regulations*, prepared by Grady Consulting of Kingston, MA, dated August 22, 2018
  - 4. Building Elevations for Milway Auto dated November 2018 prepared by Clinton Design Architects of Holliston, MA
- B. During the course of the public hearing and review, a variety of other materials were submitted to the Board by the applicant and its representatives:
  - 1. Paul Seaberg of Grady Consulting, engineering consultant for the applicant – Letter dated February 21, 2018 in response to Tetra Tech, PGC and Medway Design Review Committee review comments.
  - 2. Paul Seaberg of Grady Consulting, engineering consultant for the applicant – Letter dated March 21, 2018 with revised plan plus Hantush mounding information, pipe/grate sizing analysis (25 year and 100 year storms) dated February 20, 2018, and TSS Removal Calculation Worksheet prepared 2-29-18.
  - 3. Lighting plan and specifications dated March 14, 2018 by Reflex Lighting of Boston, MA.
  - 4. *Proposed 3,250 Sq. Ft. Commercial Building* site plan dated March 30, 2016 revised March 19, 2018 prepared by Grady Consulting of Kingston, MA.
  - 5. Supplemental waiver request from the *Site Plan Rules and Regulations*, submitted March 22, 2018, prepared by Grady Consulting
  - 6. Paul Seaberg of Grady Consulting, engineering consultant for applicant – letter dated April 2, 2018 with revised site plan and information.
  - 7. *Proposed 3,250 Sq. Ft. Commercial Building* site plan dated March 30, 2016, revised April 2, 2018 prepared by Grady Consulting of Kingston, MA.

8. Letter dated April 19, 2018 from Christopher Davidson, PE from ESI regarding outdoor lighting. 30, 2016.
  9. Revised building façade drawings by Clinton Design Architects received April 17, 2018.
  10. Supplemental waiver requests from the *Site Plan Rules and Regulations*, submitted May 3, 2018, prepared by Grady Consulting
- C. All documents and exhibits received during the public hearing are contained in the Planning and Economic Development Board's project file.

**V. TESTIMONY** - In addition to the site plan application materials as submitted and provided during the course of the Board's review, the Board also received verbal or written testimony from:

- Steve Bouley, P.E. of Tetra Tech, Inc., the Town's Consulting Engineer – Site plan review letters dated February 8 and March 28, 2018 and commentary throughout the public hearing process.
- Gino Carlucci, PGC Associates, the Town's Consulting Planner – Site plan review letter dated February 6, 2018 and commentary throughout the public hearing process.
- Review letter from the Medway Design Review Committee dated February 7, 2018
- Fire Chief Jeff Lynch – Emails dated March 5 and March 12, 2018
- Susy Affleck-Childs – Emails dated March 6, 2018 to applicant Phil Anza re: uplands requirements and installation of American flag mural on building façade.
- Zoning Board of Appeals decision dated February 7, 2018 granting a use variance for automotive sales and service and a dimensional variance to allow a front yard setback of 24.9' instead of the standard 30'.
- Conservation Commission Order of Conditions for the subject property, dated August 29, 2016

**VI. FINDINGS** – In making its findings and reaching the decision described herein, the Board is guided by Board's *Site Plan Rules and Regulations*, and the *Medway Zoning Bylaw*. The Board also considered evidence and testimony presented at the public hearings and comments submitted by Town departments, boards and committees as well as the Board's peer review consultants and residents placed in the public record during the course of the hearings.

The Planning and Economic Development Board, at its meeting on May 8, 2018, on a motion made by Robert Tucker and seconded by Richard Di Iulio, voted to approve the following **FINDINGS** regarding the site plan and special permit applications for the Milway Auto building and site at 50 Alder Street. The motion was approved by a vote of 4 in favor and 0 opposed.

**Site Plan Rules and Regulations Findings** – The Planning and Economic Development Board shall determine whether the proposed development is in conformance with the standards and criteria set forth in the *Site Plan Rules and Regulations*, unless specifically waived. In making its decision, the Planning and Economic Development Board shall determine the following:

- (1) Has internal circulation, queuing and egress been designed such that traffic safety is protected, access via minor streets servicing residential areas is minimized, and traffic backing up into the public way is minimized?

*Ingress and egress is off Alder Street, an industrial roadway designed to handle this type of facility. Two curb cuts are provided which will facilitate internal site movement. There are no residential properties abutting the subject parcel.*

- (2) Does the site plan show designs that minimize any departure from the character, materials, and scale of buildings in the vicinity as viewed from public ways and places?

*The proposed building and site are in an industrial style and scale with materials similar to other buildings within the industrial park. The building design has been positively reviewed by the Design Review Committee and is acceptable for its location.*

- (3) Is reasonable use made of building location, grading and vegetation to reduce the visible intrusion of structures, parking areas, outside storage or other outdoor service areas (e.g. waste removal) from public views or from (nearby) premises residentially used and zoned.

*No outside dumpster is planned. Trash will be stored inside the building in standard trash containers which was determined to be acceptable to the Medway Fire chief. The property immediately surrounding the building is industrially zoned or bordered by Interstate 495 so there are no impacts on residentially used or zoned property.*

- (4) Is adequate access to each structure for fire and service equipment provided?

*The building is accessible from three sides. There are 264' linear feet of frontage along Alder Street. The site plan was provided to the Fire Chief and no negative comments have been received.*

- (5) Will the design and construction minimize, to the extent reasonably possible, the following environmental impacts?

- a) the volume of cut and fill;
- b) the number of trees to be removed with particular care taken with mature trees and root systems;
- c) the visual prominence of man-made elements not necessary for safety;
- d) the removal of existing stone walls;
- e) the visibility of building sites from existing streets;
- f) the impacts on waterways and environmental resource areas;
- g) soil pollution and erosion;
- h) noise.

*The volume of cut and fill is the minimum necessary to construct the building and associated facilities. Large trees on site have been identified but much of the site needs to be cleared in order to accommodate the building, parking and drainage system. The proposed stormwater drainage system has been reviewed by the*



*Town's Consulting Engineer and has been determined to be adequate to protect waterways and environmental resources. Appropriate soil pollution and erosion controls have been incorporated into the plan. The Conservation Commission has issued an Order of Conditions for the project due to its location near wetlands resources.*

- (6) Is pedestrian and vehicular safety both on the site and egressing from it maximized?

*The entrance and egress to the site and its parking and loading facilities have been designed for safe operation and to minimize conflict. A sidewalk already exists along Alder Street. The turning movements for the loading area have been identified and reviewed by the Town's Consulting Engineer and found to be acceptable.*

- (7) Does the design and will the construction incorporate, to the maximum extent possible, the visual prominence of natural and historic features of the site?

*There are no visually prominent natural or historic features on site.*

- (8) Does the lighting of structures and parking area avoid glare on adjoining properties and minimize light pollution within the town?

*Site lighting does not produce glare to adjoining properties. .*

- (9) Is the proposed limit of work area reasonable and does it protect sensitive environmental and/or cultural resources? The site plan as designed should not cause substantial or irrevocable damage to the environment, which damage could be avoided or ameliorated through an alternative development plan or mitigation measures.

*The limit of work is reasonable for the proposed facility. The environmental resources on site have been reviewed by the Conservation Commission and are protected through an Order of Conditions dated August 29, 2016.*

**VII. WAIVERS** – At its May 8, 2018 meeting, the Planning and Economic Development Board, on a motion made by Robert Tucker and seconded by Richard Di Iulio, voted to grant waivers from the following provisions of the *Rules and Regulations for the Submission and Approval of Site Plans, as amended December 3, 2002*. The Planning and Economic Development Board's action and reasons for granting each waiver request are listed below. All waivers are subject to the *Special and General Conditions of Approval*, which follow this section.

The motion was approved by a vote of 4 in favor and 0 opposed.

1. **Section 204-4 B. Standards for Site Plan Preparation** - The site plan shall be drawn at a scale of 1" = 40'.

*The applicant has requested a waiver from this plan scale requirement and instead has proposed a scale of 1" = 20'. The developed portion of the site consists of approximately 15,000 sq. ft. The site plan would be difficult to read at*

*a scale of 1"=40'. The revised scale results in a more efficient review and construction process as the plan would be clearer, more readable and more accurately interpreted. Therefore, the Board APPROVES this waiver request.*

2. **Section 204-5 C. 3. Existing Landscape Inventory** - An *Existing Landscape Inventory* shall be prepared by a Professional Landscape Architect licensed in the Commonwealth of Massachusetts. This inventory shall include a "mapped" overview of existing landscape features and structures and a general inventory of major plant species including the specific identification of existing trees with a diameter of one (1) foot or greater at four (4) feet above grade.

*The applicant has requested a waiver from the full extent of this requirement as the planned developed portion of the site consists of roughly 13,000 sq. ft. of wooded area that has to be cleared to accommodate the building, drainage and parking. Instead, the applicant has provided an inventory of trees with a diameter of 18" or greater which is shown on the revised existing conditions sheet in the revised plan dated March 19, 2018. A landscaping plan has been provided which will enhance the site. Therefore, the Board APPROVES this waiver request.*

3. **Section 204-5 D. 7 Landscape Architectural Plan** - A *Landscape Architectural Plan* shall be prepared by a Landscape Architect licensed in the Commonwealth of Massachusetts. This *Plan* shall be prepared as an overlay of the existing conditions sheets and shall incorporate, whenever possible, the significant features of the existing site and topography, particularly existing trees with a diameter of one (1) foot or greater at four (4) feet above grade. The *Landscape Architectural Plan* shall indicate the areas slated for excavation; any woodlands, trees or other existing features or structures to be retained; all new plantings by common and Latin name including their proposed locations and sizes at the time of installation. Plan graphics for tree canopies shall reflect, as closely as possible, the actual canopy dimension of proposed tree plantings at the time of installation with a "lesser" intensity graphic used to represent potential canopy at maturity.

*The applicant has requested a waiver from this requirement. Due to the small scale of the site and the amount of clearing needed to construct the building, parking and drainage system, the area for planting is extremely limited. A limited scope of planned landscaping has been provided both as part of the site plan and in conjunction with the Order of Conditions. Therefore, the Board APPROVES this waiver request.*

4. **Section 205-3 Traffic – B. Internal Site Driveways, 2.** No part of any driveway shall be located within fifteen (15) feet of a side property line.

*The applicant has requested a waiver from this regulation and proposes a 5' 1" setback from the eastern side property line for the internal driveway. Due to the wetlands on the property and the shape of the lot, the amount of land available for parking and driveways is limited. Without the reduced setback, the project will not meet the zoning bylaw requirements for the minimum number of parking spaces. The abutting properties are the right-of-way for Interstate 495 on the west*

*and a stone wall with undeveloped woods and wetlands on the east so there are no expected impacts on abutters.*

5. **Section 205-6 Parking - G. Parking Spaces & Stalls, 3. a)** - Car parking spaces/stalls shall be ten (10) feet by twenty (20) feet, except that handicap stalls shall be in accordance with the current ADA standards. Each handicapped space/stall must be identified on the ground surface and by a sign.

*The applicant has requested waiver from this regulation and has proposed parking space stalls at a size of 9' by 18' which is the allowed minimum standard parking space size per Section 7.1.1. E. 3. a. of the Medway Zoning Bylaw. Smaller parking spaces reduces the overall size needed for the parking area and the amount of impervious surface area. Without the reduced parking space size, the project will not meet the Zoning Bylaw requirements for the number of parking spaces. Therefore, the Board APPROVES this request.*

6. **Section 205-6 Parking - G. Parking Spaces & Stalls, 4. b)** - Stalls shall not be located within 15' of the front, side or rear property lines.

*The applicant has requested a waiver from this setback standard for the parking stalls located closest to the eastern and western property lines. The applicant has proposed a 1' 8" setback from the side property lines instead of the standard 15' setback. Without the reduced setback, the project will not meet the zoning bylaw requirements for the minimum number of parking spaces. The Town's consulting engineer has no objection to this waiver. The abutting properties are the right-of-way for Interstate 495 on the west and a stone wall with undeveloped woods and wetlands on the east so there are no expected impacts on abutters. Therefore, the Board APPROVES this waiver.*

7. **Section 205 - 6 Parking - G. Parking Spaces & Stalls, 4. d)** After the last parking stall in any dead end row not adjacent to a travel lane parallel to the car stall, there shall be a twelve (12) foot long and twenty (20) foot wide turning area beyond the travel lane to allow proper maneuvering.

*The applicant has requested a waiver from this requirement to allow for a vehicular turning area of 5' x 24'. Due to the wetlands on the property and the shape of the lot, the amount of land available for parking is limited. Without the reduced setback, the project will not meet the zoning bylaw requirements for the minimum number of parking spaces. Only employees will be moving vehicles within the site so as to manage this small area most efficiently. Therefore, the Board APPROVES this waiver.*

8. **Section 205 – 9 Trees and Landscaping – Buffers, Parking Areas, Screening, Trees, Tree-Replacement, Tree Size.**

*The applicant has requested a waiver from this entire section of the Site Plan Rules and Regulations and has proposed landscaping as shown on the revised site plan dated April 2, 2018. The developed portion of the site is compact due to the wetlands on the property and the shape of the lot. In consideration of the nature*

*of the lot and its location, the alternative landscaping plan is acceptable. Therefore, the Board APPROVES this waiver.*

9. **Section 205 – 3 A. Curb Cuts, 2.** Curb cuts on public ways shall be minimized.  
a) Curb cuts for contiguous commercial areas may be limited to one per street frontage unless compelling safety benefits or other siting considerations are demonstrated by the applicant.

*The applicant has designed the site to include two curb cuts onto Alder Street; one existing curb cut to the site and one additional opening. The additional opening is needed for emergency access and safe vehicular movements within the parking area. The Board's Consulting Engineer does not oppose this waiver request due to the site location and use of property. Therefore, the Board APPROVES this waiver.*

10. **Section 205 - 6 H. Curbing** – The perimeter of the parking area shall be bounded with vertical granite curb or similar type of edge treatment to delineate the parking lot.

*The applicant proposes to use Cape Cod berm in lieu of granite curbing around the perimeter of the parking area. Granite curbing is very expensive and is not necessary for this site. The applicant believes the proposed alternative curbing material is an appropriate method to delineate the boundary of the proposed parking lot, is consistent with the general industrial park area and will appropriately improve the site. The Board has approved this same waiver request for other recent site plan projects in the 495 Business Park area.*

**VIII. CONDITIONS** The *Special and General Conditions* included in this Decision shall assure that the Board's approval of this site plan is consistent with the *Site Plan Rules and Regulations*, that the comments of various Town boards and public officials have been adequately addressed, and that concerns of abutters and other town residents which were aired during the public hearing process have been carefully considered

### **SPECIFIC CONDITIONS OF APPROVAL**

- A. **Plan Endorsement** - Within sixty (60) days after the Board has filed its *Decision* with the Town Clerk, the site plan for the project at 50 Alder Street dated March 30, 2016, last revised April 2, 2018 prepared by Grady Consulting, Inc. of Kingston, MA and Clinton Design Architects of Holliston, MA shall be further revised to reflect all Conditions and required revisions, including those as follows, and submitted to the Planning and Economic Development Board to review for compliance with the Board's *Decision*. (*Said plan is hereinafter referred to as the Plan*). The Applicant shall provide a set of the revised Plan in its final form to the Board for its signature/endorsement. All plan sheets shall be bound together in a complete set.
- B. **Cover Sheet Revisions** – Prior to plan endorsement, the cover sheet of the *Proposed 3,250 Sq. Ft. Commercial Building Site Plan* dated March 30, 2016, last revised April 2, 2018 shall be further revised to:

1. List the **approved** waivers from the *Site Plan Rules and Regulations* as specified herein.
  2. Reference the February 2018 ZBA use and dimensional variance decision.
  3. Update the information re: the record owner of the property
  4. Revise the Sheet Index List to add a reference to the building elevation and floor plan drawings by Clinton Design Architects and the Lighting Plan by ReflexLighting.
- C. **Other Plan Revisions** – Prior to plan endorsement, the following plan revisions shall be made to the *Proposed 3,250 Sq. Ft. Commercial Building Site Plan* dated March 30, 2017, last revised April 2, 2018.
1. Plan shall be revised to indicate that asphalt parking surfaces shall have a minimum of 3 ½ inch depth bituminous concrete surface.
  2. The most recent set of building elevation and floor plan drawings by Clinton Design Architects and the Lighting Plan by ReflexLighting shall be added to the site plan set to make it complete.
  3. Landscaping detail on Sheet 6 of the site plan set shall be revised to indicate that lemon thyme grass will be used instead of juniper plants.
  4. Add a Stormtech Isolator Row and a weir manhole to the drainage design in order to prevent premature failure of the system due to sediment loading.
  5. Show handicapped ramps to both curb cuts on Alder Street on the site plan and provide a detail showing compliant ramps per state and federal law.
- D. **Use Limitations** – Parking or use of the parking area on site at 50 Alder Street shall be limited only to vehicles for Milway Auto, its employees, deliveries and customers. The parking area may not be leased or made available to any other business for any purpose.
- E. **Site Access** – Access to the site is provided from Alder Street. The applicant shall instruct its employees, delivery companies and customers to use only Trotter Drive and not the portion of Alder Street east of Trotter Drive to access the property. Any printed or electronic marketing materials that provide directions to the Milway Auto site shall indicate the Trotter Drive route. Delivery vehicles shall park temporarily within the on-site parking area and not park on Alder Street. Wreckers accessing the property to deliver vehicles for service shall use the on-site driveway/parking area to the maximum extent possible and use the least possible amount of Alder Street for drop off.
- F. **Parking** – No parking on Alder Street is allowed for Milway Auto, its employees, customers and vehicles to be serviced.
- G. **Trash Removal** – Trash removal shall be scheduled to occur only between 7 am and 6 pm. Trash and recycling containers are to be kept inside the building and rolled out as needed for pick up. If the need develops in the future to have an outside dumpster, it shall be fully enclosed by wood appearance vinyl fencing of sufficient height to fully screen and conceal the dumpster equipment. The siting of such dumpster on the property shall be subject to Administrative Site Plan

review through the Town of Medway Community and Economic Development Department.

- H. ***Stormwater Management Operations and Maintenance Plan*** - The applicant and any future property owner has ongoing and perpetual responsibility and obligation to carry out the Post Construction Stormwater Operations and Maintenance Plan included as pages 71 – 73 in the Stormwater Management Design Calculations report dated March 30, 2016 prepared by Grady Consulting, Inc.
- I. ***Signage*** - A concept drawing of a proposed wall sign has been shared with the Design Review Committee and its planned position on the building is shown on the site plan. The applicant shall secure the required sign permit from the Medway Building Department which shall include review by the Design Review Committee before the permit is issued as specified in Section 7.2.6.3 Sign Regulation of the *Zoning Bylaw*.
- J. ***Lighting***
  - 1. Lighting shall not result in any light spillage off the property. This may be accomplished through the addition of light shields, the lowering and/or relocating of light fixtures, and other suitable measures.
  - 2. LED lights shall be of a lower color temperature [2700-3000K] to provide a more natural appearance.

## **GENERAL CONDITIONS OF APPROVAL**

- A. ***Fees*** - Prior to site plan endorsement by the Planning and Economic Development Board, the Applicant shall pay:
  - 1. the balance of any outstanding plan review fees owed to the Town for review of the site plan by the Town's engineering, planning or other consultants; and
  - 2. any construction inspection fee that may be required by the Planning and Economic Development Board; and
  - 3. any other outstanding expenses or obligations due the Town of Medway pertaining to this property, including real estate and personal property taxes and business licenses.

The Applicant's failure to pay these fees in their entirety shall be reason for the Planning and Economic Development Board to withhold plan endorsement.
- B. ***Other Permits*** – This permit does not relieve the applicant from its responsibility to obtain, pay and comply with all other required federal, state and Town permits. The contractor for the applicant or assigns shall obtain, pay and comply with all other required Town permits.
- C. ***Restrictions on Construction Activities*** – During construction, all local, state and federal laws shall be followed regarding noise, vibration, dust and blocking of town roads. The applicant and its contractors shall at all times use all reasonable means to minimize inconvenience to abutters and residents in the general area. The following specific restrictions on construction activity shall apply.



1. *Construction Time* - Construction work at the site and in the building and the operation of construction equipment including truck/vehicular and machine start-up and movement shall commence no earlier than 7 a.m. and shall cease no later than 6 p.m. Monday – Saturday. No construction shall take place on Sundays or legal holidays without the advance approval of the Inspector of Buildings.
2. *Neighborhood Relations* – The applicant shall notify neighbors in the general area around the site when site work and construction are scheduled to begin and provide a phone number for them to use for questions and concerns that arise during construction.
3. The applicant shall take all measures necessary to ensure that no excessive dust leaves the premises during construction including use of water spray to wet down dusty surfaces.
4. There shall be no tracking of construction materials onto any public way. Daily sweeping of roadways adjacent to the site shall be done to ensure that any loose gravel/dirt is removed from the roadways and does not create hazardous or deleterious conditions for vehicles, pedestrians or abutting residents. In the event construction debris is carried onto a public way, the Applicant shall be responsible for all clean-up of the roadway which shall occur as soon as possible and in any event within twelve (12) hours of its occurrence.
5. The Applicant is responsible for having the contractor clean-up the construction site and the adjacent properties onto which construction debris may fall on a daily basis.
6. All erosion and siltation control measures shall be installed by the Applicant prior to the start of construction and observed by the Planning and Economic Development Board's consulting engineer and maintained in good repair throughout the construction period.
7. *Construction Traffic/Parking* – During construction, adequate provisions shall be made on-site for the parking, storing, and stacking of construction materials and vehicles. All parking for construction vehicles and construction related traffic shall be maintained on site. No parking of construction and construction related vehicles shall take place on adjacent public or private ways or interfere with the safe movement of persons and vehicles on adjacent properties or roadways.
8. *Noise* - Construction noise shall not exceed the noise standards as specified in the *Zoning Bylaw*, Section 7.3.C.2. Environmental Standards.

D. ***Landscape Maintenance***

1. The site's landscaping shall be maintained in good condition throughout the life of the facility and to the same extent as shown on the endorsed Plan. Any shrubs, trees, bushes or other landscaping features shown on the Plan that die shall be replaced by the following spring.

2. Within 60 days after two years after the occupancy permit is issued, the Town's Consulting Engineer or the Inspector of Buildings shall conduct an initial inspection of the landscaping to determine whether and which landscape items need replacement or removal and provide a report to the Board. At any time subsequent to this initial inspection, the Town's Consulting Engineer or the Inspector of Buildings may conduct further inspections of the landscaping to determine whether and which landscaping items need replacement or removal and provide a report to the Board. The Board may seek enforcement remedies with the Inspector of Buildings/Zoning Enforcement Officer to ensure that the comprehensive landscaping plan is maintained.

E. ***Snow Storage and Removal***

1. On-site snow storage shall not encroach upon nor prohibit the use of any parking spaces required by the *Zoning Bylaw*.
2. The applicant shall make the fullest possible effort to remove accumulated snow which exceeds the capacity of the designated on-site snow storage areas from the premises within 48 hours after the conclusion of a storm event.

F. ***Construction Oversight***

1. Construction Account

- a) Inspection of infrastructure and utility construction, installation of site amenities including landscaping, and the review of legal documents by Town Counsel is required. Prior to plan endorsement, the applicant shall establish a construction account with the Planning and Economic Development Board. The funds may be used at the Board's discretion to retain professional outside consultants to perform the items listed above as well as the following other tasks - inspect the site during construction/installation, identify what site plan work remains to be completed, prepare a bond estimate, conduct other reasonable inspections until the site work is completed and determined to be satisfactory, review as-built plans, and advise the Board as it prepares to issue a *Certificate of Site Plan Completion*).
- b) Prior to plan endorsement, the Applicant shall pay an advance toward the cost of these services to the Town of Medway. The advance amount shall be determined by the Planning and Economic Development Board based on an estimate provided by the Town's Consulting Engineer.
- c) Depending on the scope of professional outside consultant assistance that the Board may need, the Applicant shall provide supplemental payments to the project's construction inspection account, upon invoice from the Board.
- d) Any funds remaining in the applicant's construction inspection account after the *Certificate of Site Plan Completion* is issued shall be returned to the applicant.

2. Pre-Construction Meeting - Prior to the commencement of any work on the Property, the Applicant and the site general contractor shall attend a preconstruction conference with Planning and Economic Development Coordinator, the Building Commissioner, Department of Public Services Director, the Conservation Agent, the Town's Consulting Engineer and other Town staff or Applicant's representatives as may be determined. The general contractor shall request such conference at least one week prior to commencing any work on the property by contacting the Planning and Economic Development office.
3. Planning and Economic Development Board members, its staff, consultants or other designated Town agents and staff shall have the right to inspect the site at any time, for compliance with the endorsed site plan and the provisions of this Decision.
4. The Department of Public Services will conduct inspections for any construction work occurring in the Town's right-of way in conjunction with the Town of Medway Street Opening/Roadway Access Permit.
5. The applicant shall have a professional engineer licensed in the Commonwealth of Massachusetts conduct progress inspections of the construction of the approved site improvements. Inspections shall occur at least on a monthly basis. The engineer shall prepare a written report of each inspection and provide a copy to the Planning and Economic Development Board within 5 days of inspection.

**G. *Modification of Plan and/or Decision***

1. This site plan approval is subject to all subsequent conditions that may be imposed by other Town departments, boards, agencies or commissions. Any changes to the site plan that may be required by the decisions of other Town boards, agencies or commissions shall be submitted to the Planning and Economic Development Board for review as site plan modifications.
2. Any work that deviates from the approved site plan or this Decision shall be a violation of the *Medway Zoning Bylaw*, unless the Applicant requests approval of a plan modification pursuant to Section 3.5.2.A.3.c. and such approval is provided in writing by the Planning and Economic Development Board.
3. Whenever additional reviews by the Planning and Economic Development Board, its staff or consultants are necessary due to proposed site plan modifications, the Applicant shall be billed and be responsible for all supplemental costs including filing fees, plan review fees and all costs associated with another public hearing including legal notice and abutter notification. If the proposed revisions affect only specific limited aspects of the site, the Planning and Economic Development Board may reduce the scope of the required review and waive part of the filing and review fees.

**H. *Compliance with Plan and Decision***

1. The Applicant shall construct all improvements in compliance with the approved and endorsed site plan and this Decision any modifications thereto.
2. The Planning and Economic Development Board or its agent(s) shall use all legal options available to it, including referring any violation to the Building Commissioner/Zoning Enforcement Officer for appropriate enforcement action, to ensure compliance with the foregoing Conditions of Approval.
3. The Conditions of Approval are enforceable under Section 3.1. F. of the *Medway Zoning Bylaw* (non-criminal disposition) and violations or non-compliance are subject to the appropriate fine.

**I. *Performance Security***

1. No occupancy permit for the building shall be granted until the Planning and Economic Development Board has provided a written communication to the Inspector of Buildings/Zoning Enforcement Officer that the project, as constructed, conforms completely and fully to the approved site plan and that any conditions including construction of any required on and off-site improvements, have been satisfactorily completed OR that suitable security/performance guarantee has been provided to the Town of Medway, to the Planning and Economic Development Board's satisfaction, to cover the cost of all remaining work.
2. If performance security is needed, the applicant shall propose a form of performance security which shall be of a source and in a form acceptable to the Planning and Economic Development Board, the Treasurer/Collector and Town Counsel. The Board requires that the performance guarantee be accompanied by an agreement which shall define the obligations of the developer and the performance guarantee company including:
  - a) the date by which the developer shall complete construction
  - b) a statement that the agreement does not expire until released in full by the Planning and Economic Development Board
  - c) procedures for collection upon default.
3. The amount of the performance guarantee shall be equal to 100% of the amount that would be required for the Town of Medway to complete construction of the site infrastructure including installation of stormwater management facilities, utilities, services, parking, pedestrian facilities and all site amenities as specified in the Site Plan that remain unfinished at the time the performance guarantee estimate is prepared if the developer failed to do so.
4. The security amount shall be approved by the Planning and Economic Development Board based on an estimate provided by the Town's Consulting Engineer based on the latest weighted average bid prices issued by the Mass Highway Department. The estimate shall reflect the cost for the Town to complete the work as a public works project which may necessitate additional engineering, inspection, legal and administrative services, staff time and

public bidding procedures. The estimate shall also include the cost to maintain the infrastructure in the event the developer fails to adequately perform such and the cost for the development of as-built plans. In determining the amount, the Board shall be guided by the following formula in setting the sum: estimate of the Town's Consulting Engineer of the cost to complete the work plus a twenty-five percent (25%) contingency.

5. Final release of performance security is contingent on project completion.

J. ***Project Completion***

1. Site plan and special permit approval shall lapse after one (1) year of the grant thereof if substantial use has not commenced except for good cause. Approved site plans shall be completed by the applicant or its assignees within two (2) years of the date of plan endorsement. Upon receipt of a written request by the applicant filed at least thirty (30) days prior to the date of expiration, the Planning and Economic Development Board may grant an extension for good cause. The request shall state the reasons for the extension and also the length of time requested. If no request for extension is filed and approved, the site plan approval shall lapse and may be reestablished only after a new filing, hearing and decision.
2. Prior to issuance of a final occupancy permit, the Applicant shall secure a ***Certificate of Site Plan Completion*** from the Planning and Economic Development Board and provide the ***Certificate*** to the Inspector of Buildings. The ***Certificate*** serves as the Planning and Economic Development Board's confirmation that the completed work conforms to the approved site plan and any conditions and modifications thereto, including the construction of any required on and off-site improvements. The ***Certificate*** also serves to release any security/performance guarantee that has been provided to the Town of Medway. To secure a ***Certificate*** of Site Plan Completion, the applicant shall:
  - a) provide the Planning and Economic Development Board with written certification from a Professional Engineer registered in the Commonwealth of Massachusetts that all building and site work has been completed in strict compliance with the approved and endorsed site plan, and any modifications thereto; and
  - b) submit an electronic version of an As-Built Plan, prepared by a registered Professional Land Surveyor or Engineer registered in the Commonwealth of Massachusetts, to the Planning and Economic Development Board for its review and approval. The As-Built Plan shall show actual as-built locations and conditions of all buildings and site work shown on the original site plan and any modifications thereto. The final As-Built Plan shall also be provided to the Town in CAD/GIS file format per MASS GIS specifications.

K. ***Construction Standards*** - All construction shall be completed in full compliance with all applicable local, state and federal laws, including but not limited to the

Americans with Disabilities Act and the regulations of the Massachusetts Architectural Access Board for handicap accessibility.

- L. **Conflicts** – If there is a conflict between the site plan and the Decision's Conditions of Approval, the Decision shall rule. If there is a conflict between this Decision and/or site plan and the Medway Zoning Bylaw, the Bylaw shall apply.

**IX. APPEAL** – Appeals if any, from this Decision shall be made to the court within twenty (20) days of the date the Decision is filed with the Town Clerk.

After the appeal period has expired, the applicant must obtain a certified notice from the Town Clerk that no appeals have been made and provide such certification to the Planning and Economic Development Board before plan endorsement.

###



**Medway Planning and Economic Development Board**  
**SITE PLAN DECISION**  
**Milway Auto, 50 Alder Street**

*APPROVED with Waivers and Conditions by the Medway Planning & Economic Development Board: May 8, 2018*

**AYE:**

**NAY:**

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**ATTEST:**

\_\_\_\_\_  
Susan E. Affleck-Childs  
Planning & Economic Development Coordinator

\_\_\_\_\_  
Date

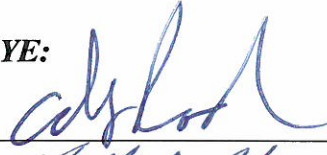

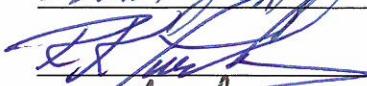
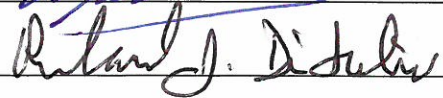
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Beth Hallal, Health Agent  
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Jack Mee, Inspector of Buildings and Zoning Enforcement Officer  
Joanne Russo, Treasurer/Collector  
Barbara Saint Andre, Director of Community and Economic Development  
Jeff Watson, Police Department Safety Officer  
Phil Anza, Alder Street Realty LLC  
Paul Seaberg, Grady Consulting Inc.  
Steven Bouley, Tetra Tech  
Gino Carlucci, PGC Associates

**Medway Planning and Economic Development Board**  
**SITE PLAN DECISION**  
**Milway Auto, 50 Alder Street**

*APPROVED with Waivers and Conditions by the Medway Planning & Economic Development Board: May 8, 2018*

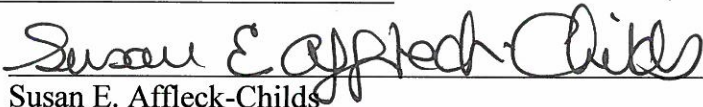
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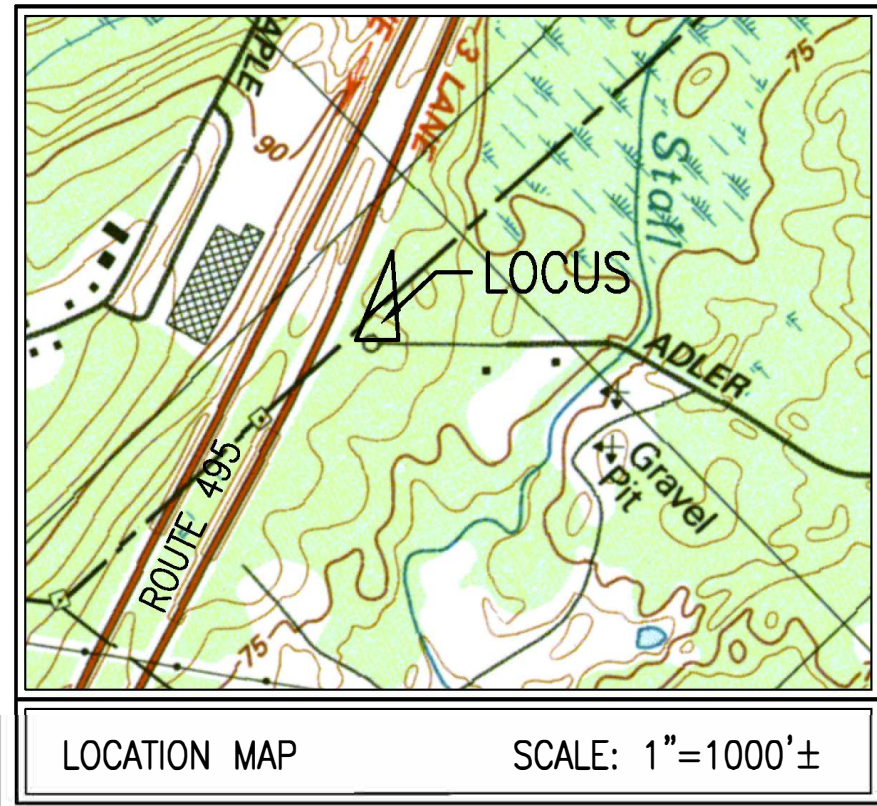
**ATTEST:**

  
Susan E. Affleck-Childs  
Planning & Economic Development Coordinator

May 8, 2018  
Date

**COPIES TO:** Michael Boynton, Town Administrator  
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Paul Seaberg, Grady Consulting Inc.  
Steven Bouley, Tetra Tech  
Gino Carlucci, PGC Associates





ZONING DATA

DISTRICT: INDUSTRIAL III  
USE: \*AUTOMOTIVE SALES AND SERVICE

	REQUIRED	PROVIDED
LOT AREA	40,000 S.F.	44,989 S.F.
LOT FRONTAGE	NA	244.52 FT
LOT WIDTH	100 FT	196.58 FT

	REQUIRED	PROPOSED
FRONT YARD	30 FT	*24.9 FT
SIDE YARD	20 FT	23.5 FT
REAR YARD	30 FT	56.0 FT

	REQUIRED	PROPOSED
MAX LOT COVERAGE	17,995 S.F. (40%)	3,250 S.F. (7.2%)
IMPERVIOUS COVERAGE		11,024 S.F. (24.5%)

PARKING:  
VEHICLE REPAIR SHOPS: 1 SPACE PER 300 S.F. GROSS FLOOR AREA PLUS  
2 SPACES PER SERVICE BAY

	REQUIRED	PROPOSED
3,250 S.F./ 300 G.F.A. + 2(3 SERVICE BAY) =	17 SPACES	17 SPACES
PARKING SPACE = 9' x 18'		

ZONING BOARD OF APPEALS - VARIANCES GRANTED - SEE DECISION DATED FEBRUARY 7, 2018

SECTION 5.4 - TO GRANT THE USE OF AN AUTOMOTIVE SALES AND SERVICE BUSINESS  
WITHIN THE INDUSTRIAL III ZONING DISTRICT

SECTION 6.1 - REDUCTION IN THE REQUIRED FRONT SETBACK OF 30 FT TO 24.9 FT

TOWN OF MEDWAY PLANNING &  
ECONOMIC DEVELOPMENT BOARD

SIGNATURES

APPROVAL DATE

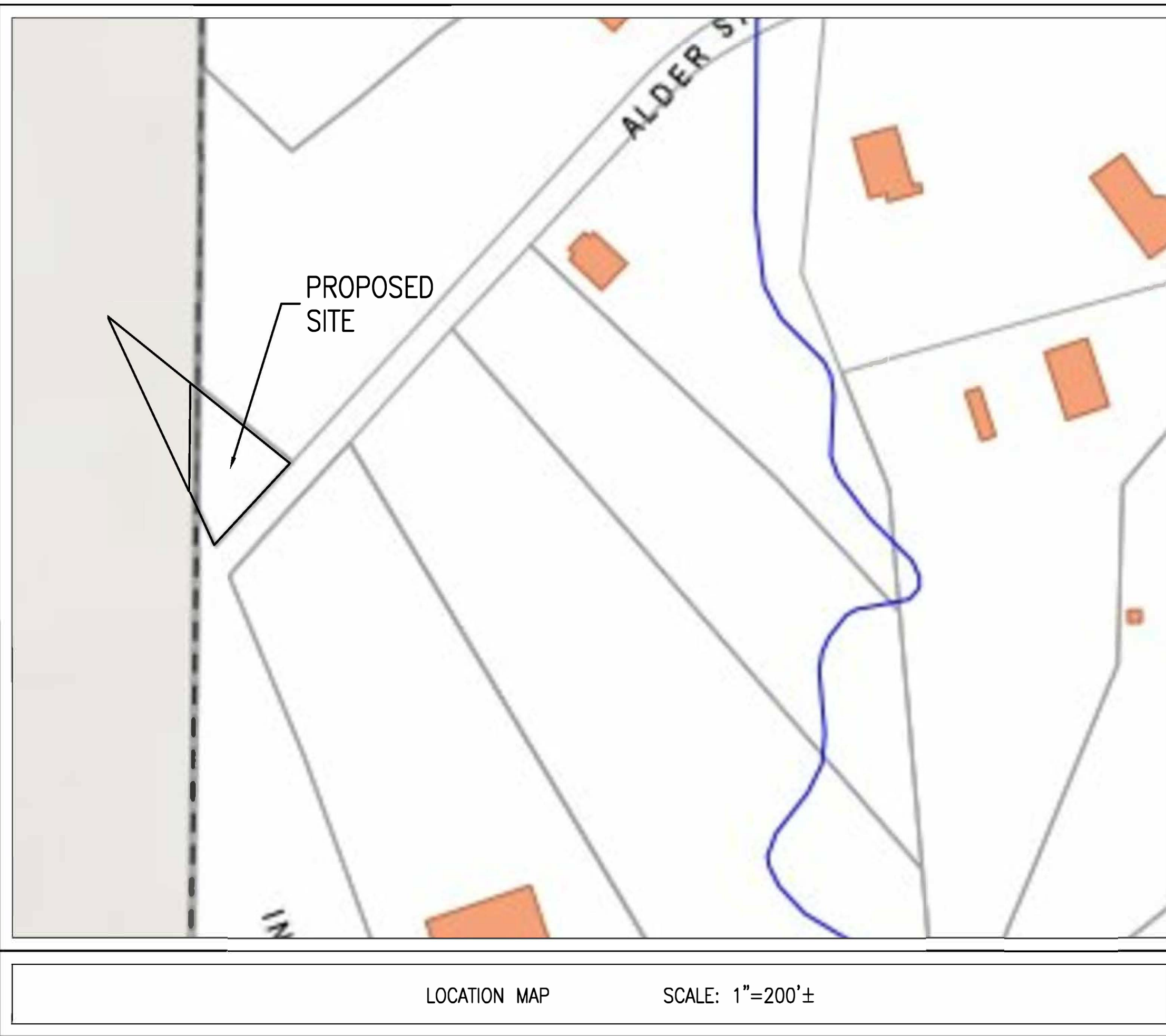
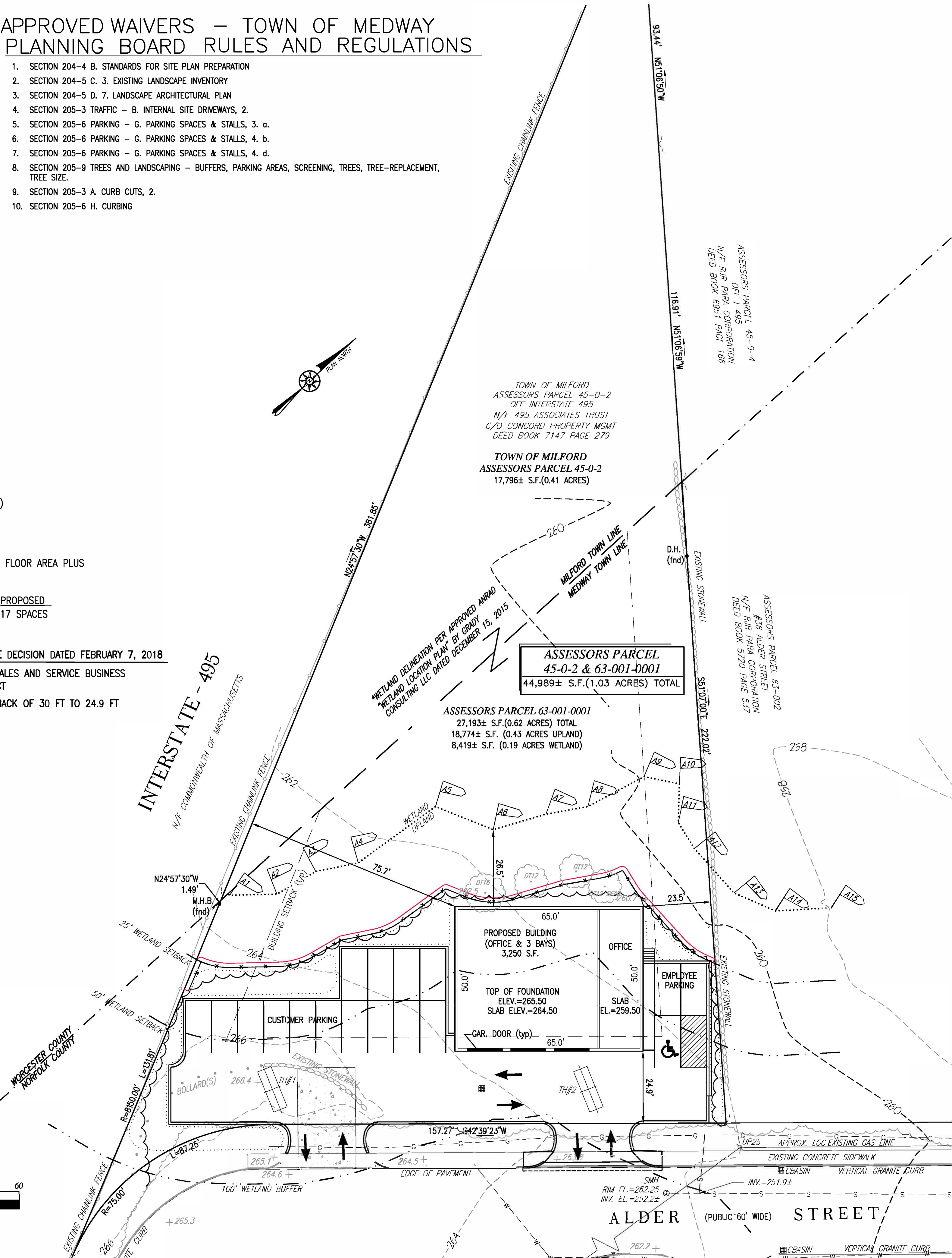
ENDORSEMENT DATE



APPROVED WAIVERS - TOWN OF MEDWAY  
PLANNING BOARD RULES AND REGULATIONS

1. SECTION 204-4 B. STANDARDS FOR SITE PLAN PREPARATION
2. SECTION 204-5 C. 3. EXISTING LANDSCAPE INVENTORY
3. SECTION 204-5 D. 7. LANDSCAPE ARCHITECTURAL PLAN
4. SECTION 205-3 TRAFFIC - B. INTERNAL SITE DRIVEWAYS, 2.
5. SECTION 205-6 PARKING - G. PARKING SPACES & STALLS, 3. a.
6. SECTION 205-6 PARKING - G. PARKING SPACES & STALLS, 4. b.
7. SECTION 205-6 PARKING - G. PARKING SPACES & STALLS, 4. d.
8. SECTION 205-9 TREES AND LANDSCAPING - BUFFERS, PARKING AREAS, SCREENING, TREES, TREE-REPLACEMENT, TREE SIZE.
9. SECTION 205-3 A. CURB CUTS, 2.
10. SECTION 205-6 H. CURBING

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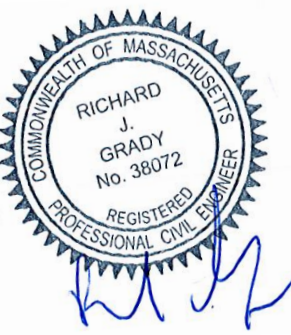


RECORD OWNER:  
ASSESSOR PARCEL 63-001-0001

ALDER STREET REALTY LLC  
119 MILFORD STREET  
MEDWAY, MA 02053  
LC CERTIFICATE No. 194055  
LOT 2 - LC PLAN No. 32712A

TOWN OF MILFORD  
ASSESSORS PARCEL 45-0-2

ALDER STREET REALTY LLC  
119 MILFORD STREET  
MEDWAY, MA 02053  
LC CERTIFICATE No. 17616  
LOT 5 - LC PLAN No. 32802A



PLAN REFERENCES:

1. PLAN No. 834 OF 1977, PLAN BOOK 263
2. PLAN No. 180 OF 1997, PLAN BOOK 464
3. PLAN No. 24 OF 2006, PLAN BOOK 559
4. LAND COURT PLAN No. 32712A
5. LAND COURT PLAN No. 32802A

SHEET INDEX

SHEET 1	COVER
SHEET 2	EXISTING CONDITIONS
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SHEET 5	DRAINAGE DETAILS
SHEET 6	DETAILS
SHEET 7	DETAILS
SHEET 8	DETAILS
SHEET 9	PHOTOMETRIC PLAN
SHEET A0	BUILDING ELEVATION & FLOOR PLANS
SHEET A0.1	BUILDING ELEVATION & FLOOR PLANS
SHEET A1	BUILDING ELEVATION & FLOOR PLANS
SHEET A2	BUILDING ELEVATION & FLOOR PLANS
SHEET A3	BUILDING ELEVATION & FLOOR PLANS

REVISIONS	
6/27/16	CONSERVATION COMMISSION COMMENTS
8/5/16	CONSERVATION COMMISSION COMMENTS
8/15/16	CONSERVATION COMMISSION COMMENTS
8/22/16	REQUEST FOR WAIVERS
3/19/18	REVIEW ENGINEER/PLANNING BOARD COMMENTS
4/2/18	REVIEW ENGINEER/PLANNING BOARD COMMENTS
6/4/18	REVIEW ENGINEER/PLANNING BOARD DECISION

PROPOSED  
3,250 S.F. COMMERCIAL BUILDING  
SITE PLAN

#50 ALDER STREET  
MEDWAY, MASSACHUSETTS

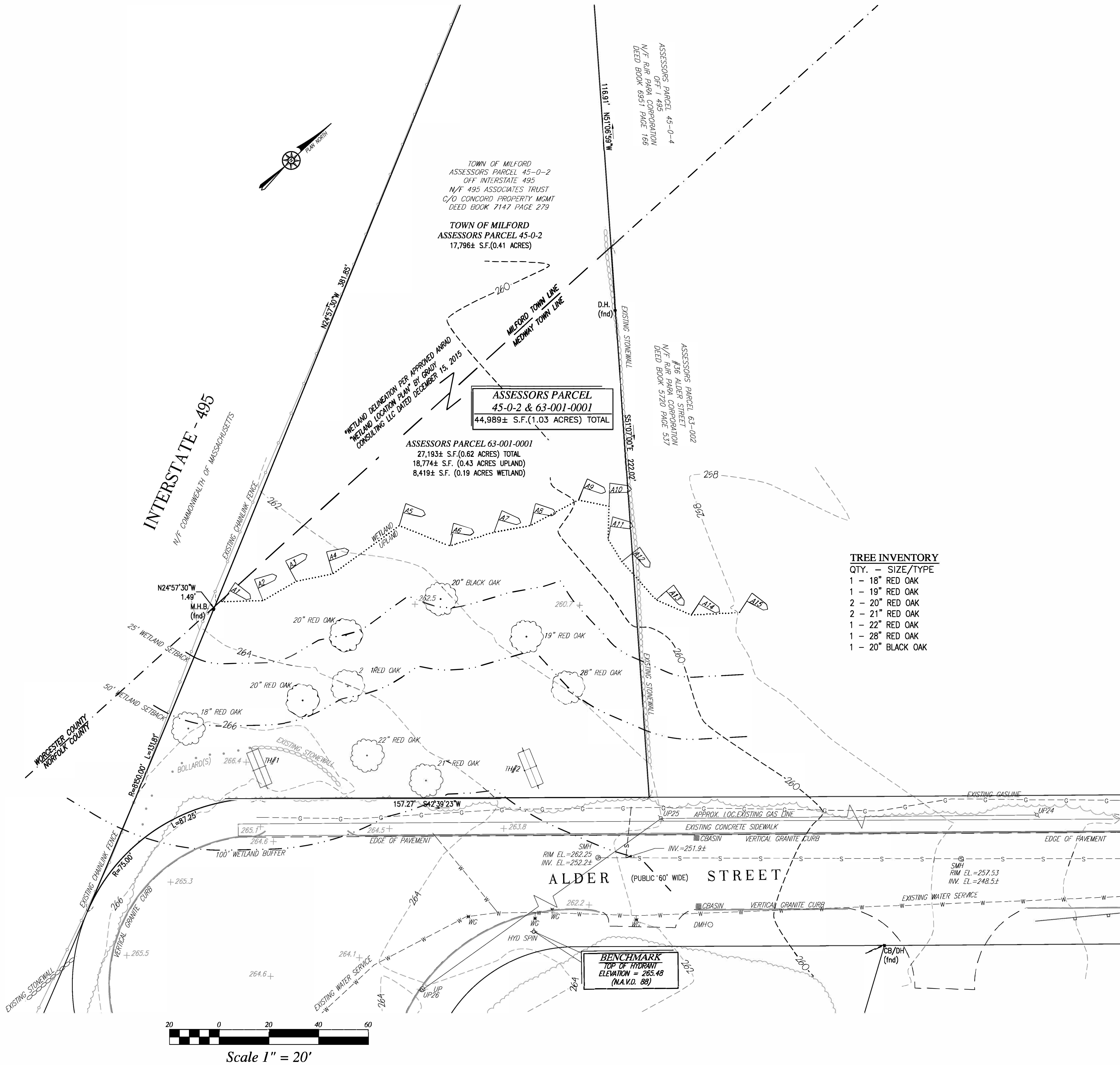
PREPARED FOR:  
ALDER STREET REALTY LLC  
119 MILFORD STREET  
MEDWAY, MA 02053

MARCH 30, 2016  
SCALE: AS SHOWN  
JOB No. 15-307

**GRADY CONSULTING, L.L.C.**  
Civil Engineers and Land Surveyors  
71 Evergreen Street, Suite 1, Kingston, MA 02364  
Phone (781) 585-2300 Fax (781) 585-2378



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#### NOTES:

1. PROPERTY LINE, STREET LINE AND OWNER INFORMATION WAS COMPILED FROM RECORDS ON FILE AT THE NORFOLK COUNTY REGISTRY OF DEEDS AND THE TOWN OF MEDWAY ASSESSORS DEPARTMENT.
2. TOPOGRAPHY INFORMATION SHOWN ON THIS PLAN IS BASED UPON AN ON THE GROUND SURVEY PERFORMED BY GRADY CONSULTING, L.L.C. OCTOBER 2015.
3. ALL ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988.
4. EXISTING WETLANDS DELINEATED BY ECO TERRA DESIGN GROUP, LLC
5. THE SITE IS NOT LOCATED IN AN AQUIFER PROTECTION ZONE II.
6. SUBJECT SITE IS IN THE INDUSTRIAL III (IND-III) ZONE AS DEPICTED ON THE TOWN OF MEDWAY ZONING MAP.
7. EXISTING UTILITIES, WHERE SHOWN, HAVE BEEN COMPILED BASED ON OBSERVED ABOVE GROUND EVIDENCE ONLY AND ARE TO BE CONSIDERED APPROXIMATE. GRADY CONSULTING, L.L.C. DOES NOT GUARANTEE THE LOCATION OF THE UNDERGROUND UTILITIES SHOWN OR THAT ALL EXISTING UTILITIES AND/OR SUBSURFACE STRUCTURES ARE SHOWN.

#### FLOOD NOTE:

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS LOCATED IN ZONE "X" AS DEPICTED ON FLOOD INSURANCE RATE MAP, COMMUNITY PANEL No. 250243 0138E, WHICH BEARS AN EFFECTIVE DATE OF JULY 17, 2012, AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

TOWN OF MEDWAY PLANNING &  
ECONOMIC DEVELOPMENT BOARD

SIGNATURES

APPROVAL DATE

ENDORSEMENT DATE

REVISIONS	
6/27/16	CONSERVATION COMMISSION COMMENTS
8/5/16	CONSERVATION COMMISSION COMMENTS
8/15/16	CONSERVATION COMMISSION COMMENTS
8/22/16	REQUEST FOR WAIVERS
3/19/18	REVIEW ENGINEER/PLANNING BOARD COMMENTS
4/2/18	REVIEW ENGINEER/PLANNING BOARD COMMENTS
6/4/18	REVIEW ENGINEER/PLANNING BOARD DECISION

## SITE PLAN

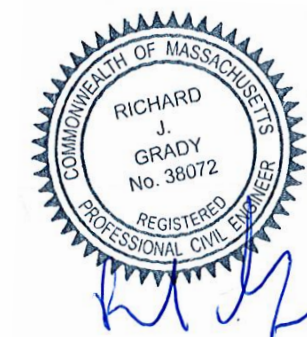
### EXISTING CONDITIONS

#### #50 ALDER STREET

#### MEDWAY, MASSACHUSETTS

PREPARED FOR:  
ALDER STREET REALTY LLC  
119 MILFORD STREET  
MEDWAY, MA 02053

MARCH 30, 2016  
SCALE: 1"=20'  
JOB No. 15-307

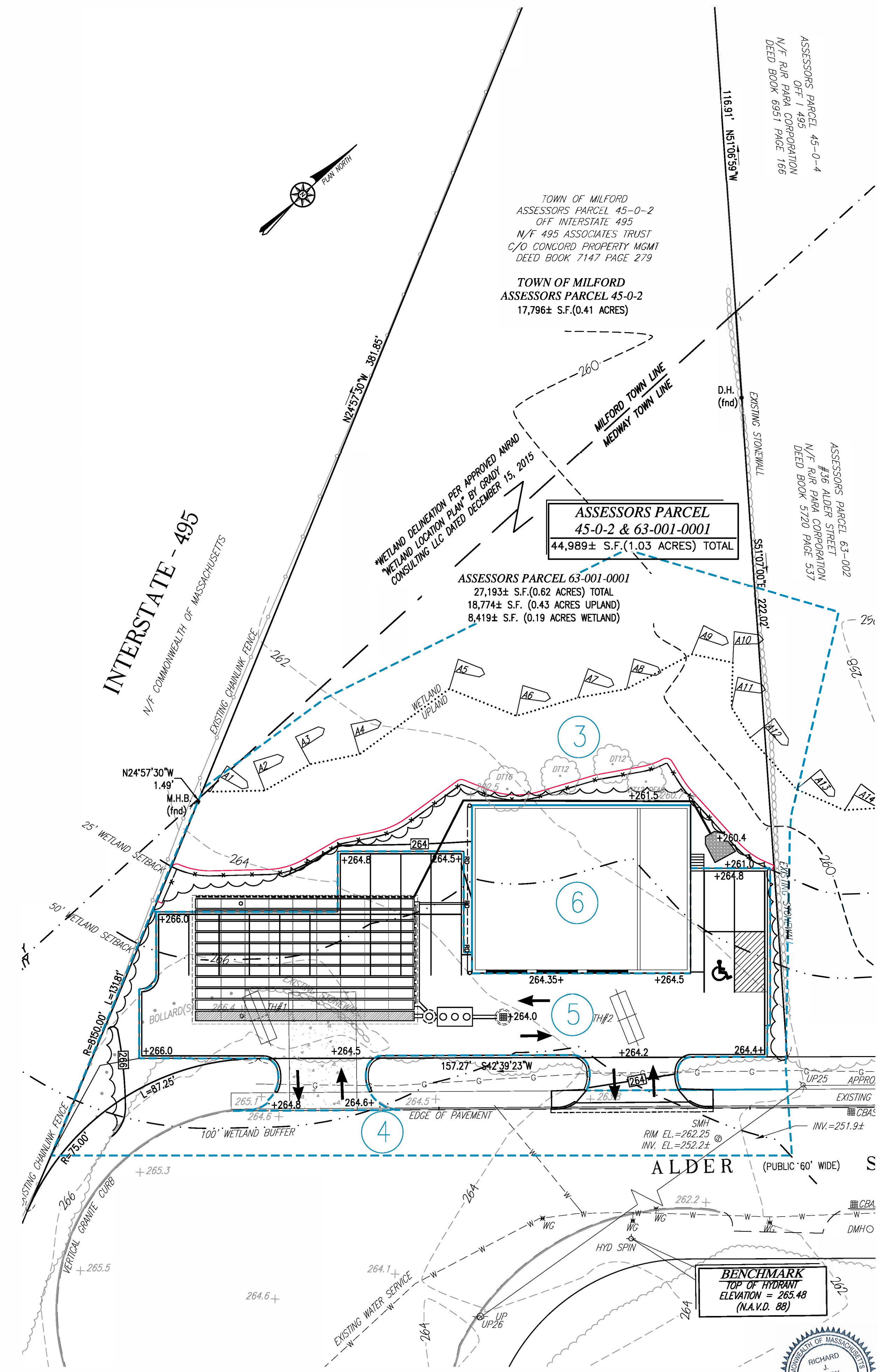
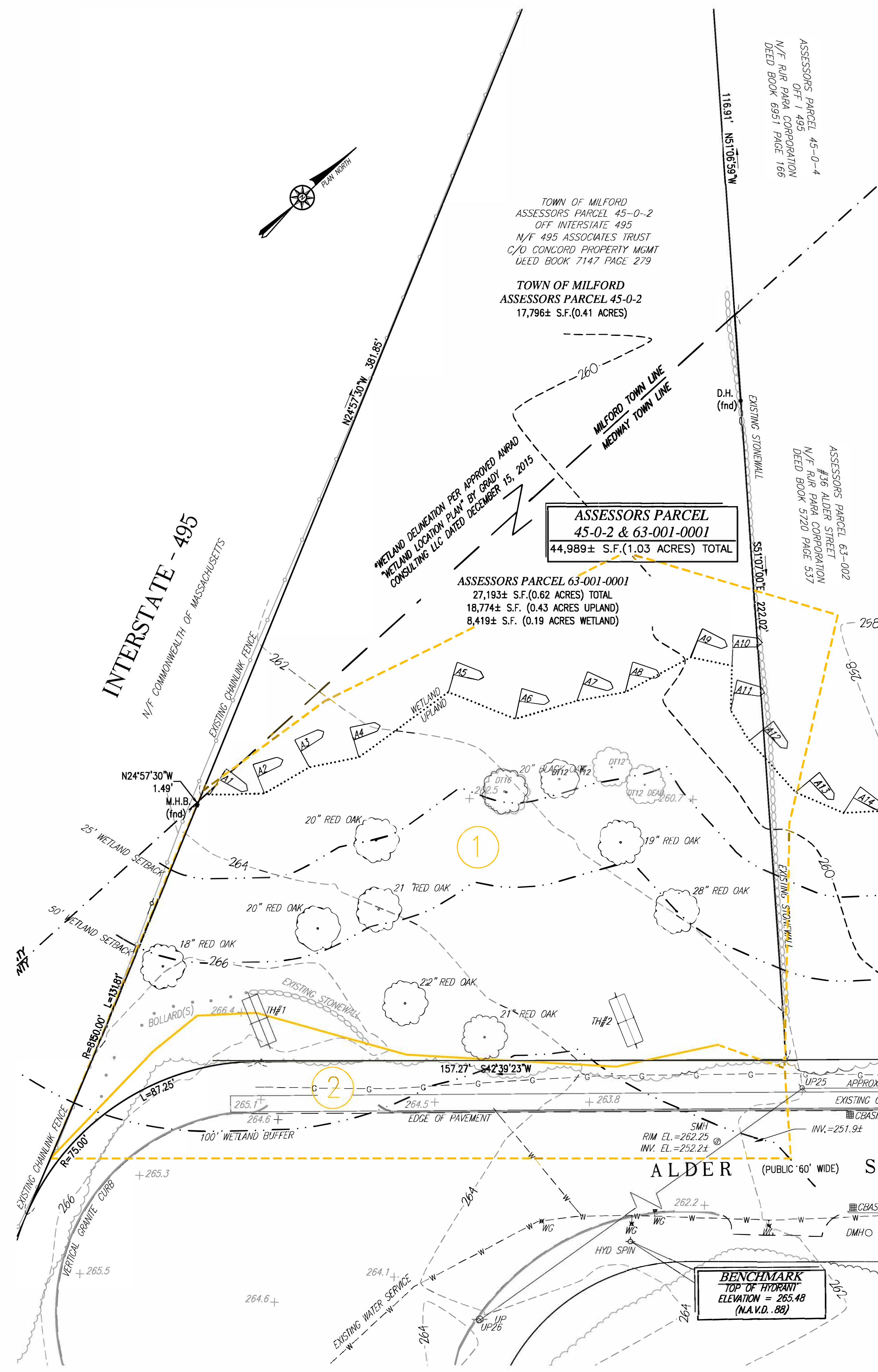


**GRADY CONSULTING, L.L.C.**  
Civil Engineers and Land Surveyors  
71 Evergreen Street, Suite 1, Kingston, MA 02364  
Phone (781) 585-2300 Fax (781) 585-2378







TOWN OF MEDWAY PLANNING &  
ECONOMIC DEVELOPMENT BOARD

**SIGNATURES**

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# SITE PLAN

## DRAINAGE

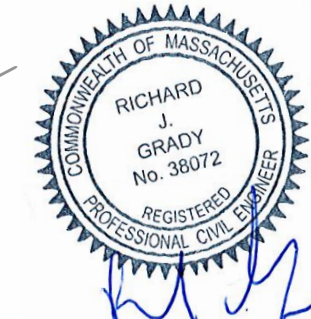
#50 ALDER STREET  
MEDWAY, MASSACHUSETTS

PREPARED FOR:  
ALDER STREET REALTY LLC  
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STEP 1) INSPECT ISOLATOR ROW FOR SEDIMENT

- A. INSPECTION PORTS (IF PRESENT)
  - A.1. REMOVE/OPEN LID ON NYLON/PLAST NILINE DRAIN
  - A.2. REMOVE AND CLEAN FLEXFORM FILTER IF INSTALLED
  - A.3. USING A FLASHLIGHT AND STADIA ROD, MEASURE DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG
  - A.4. LOWER A CAMERA INTO ISOLATOR ROW FOR VISUAL INSPECTION OF SEDIMENT LEVELS (OPTIONAL)
    - IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2; IF NOT, PROCEED TO STEP 3.
- B. ALL ISOLATOR ROWS
  - B.1. REMOVE COVER FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW
  - B.2. USING A FLASHLIGHT, INSPECT DOWN THE ISOLATOR ROW THROUGH OUTLET PIPE
    - 1) MIRRORS ON POLES OR CAMERAS MAY BE USED TO AVOID A CONFINED SPACE ENTRY
    - 1) FOLLOW OSHA REGULATIONS FOR CONFINED SPACE ENTRY IF ENTERING MANHOLE
  - B.3. IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2; IF NOT, PROCEED TO STEP 3.

STEP 2) CLEAN OUT ISOLATOR ROW USING THE JETVAC PROCESS

- A. FIXED CULTIVATOR CLEANING NOZZLE WITH REAR FACING SPREAD OF 45° (1.1 m) OR MORE IS PREFERRED
- B. APPLY MULTIPLE PASSES OF JETVAC UNTIL BACKFLUSH WATER IS CLEAN
- C. VACUUM STRUCTURE SUMP AS REQUIRED

STEP 3) REPLACE ALL COVERS, GRATERS, FILTERS, AND LIDS; RECORD OBSERVATIONS AND ACTIONS.

STEP 4) INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.

1. INSPECT EVERY 6 MONTHS DURING THE FIRST YEAR OF OPERATION. ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER ELEVATIONS.
2. CONDUCT JETTING AND VACTORING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.



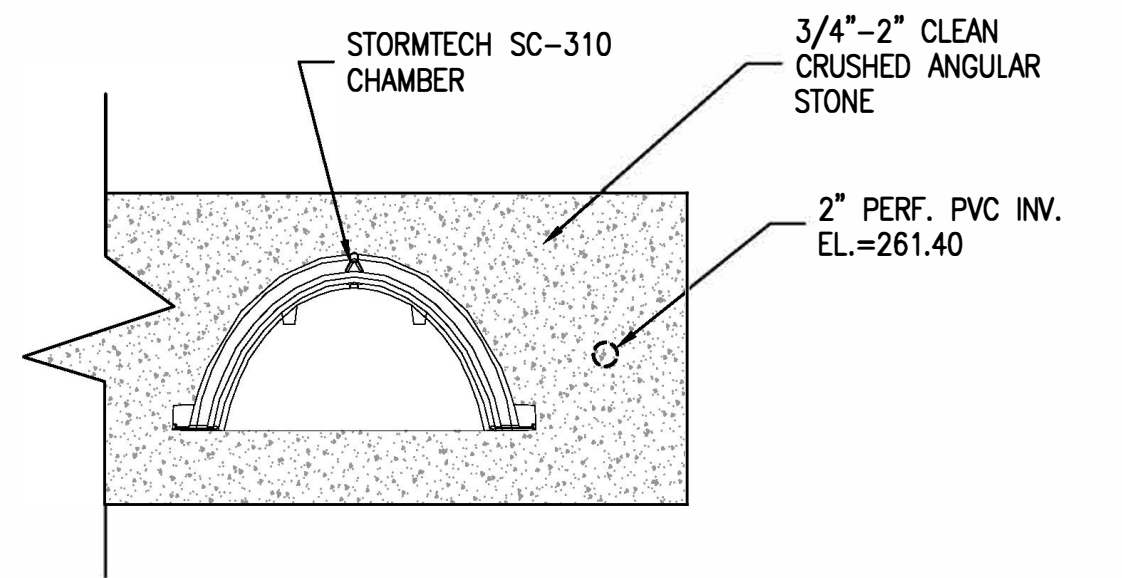
	MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	<b>FINAL FILL:</b> FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER	ANY SOIL/ROCK MATERIALS, NATIVE SOILS, OR PER ENGINEER'S PLANS, CHECK PLANS FOR PAVEMENT SUBGRADE REQUIREMENTS.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	<b>INITIAL FILL:</b> FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDEDMENT STONE ('B' LAYER) TO 18" (460 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, <35% FINES OR PROCESSED AGGREGATE.  MOST PAVEMENT SUBBASE MATERIALS CAN BE USED IN LIEU OF THIS LAYER.	ASHTO M145 <sup>1</sup> A-1, A-2, A-3  OR  ASHTO M43 <sup>2</sup>  3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 12" (300 mm) OF MATERIAL, OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS (N) (150 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 96% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 lbs (53 kN). DYNAMIC FORCE NOT TO EXCEED 20,000 lbs (89 kN).
B	<b>EMBEDEDMENT STONE:</b> FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	CLEAN, CRUSHED, ANGULAR STONE	ASHTO M43 <sup>2</sup> 3, 357, 4, 467, 5, 56, 57	NO COMPACTION REQUIRED.
A	<b>FOUNDATION STONE:</b> FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	CLEAN, CRUSHED, ANGULAR STONE	ASHTO M43 <sup>2</sup> 3, 357, 4, 467, 5, 56, 57	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. <sup>11</sup>

PLEASE NOTE:

- 1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M30) STONE".
- 2. STORMTRENCH COMPACTION REQUIREMENTS ARE MET FOR #1 LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 6" (150 mm) [MAX] LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
- 3. WHEN THE STORMTRENCH IS TO BE USED FOR STAFF AND DESIGN, THE STORMTRENCH SHALL BE CONSTRUCTED TO THE SPECIFIED FINISH ELEVATION. THE FINISH GRADE SURFACE SHALL BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTRENCH FOR COMPACTION REQUIREMENTS.



1. SC-310 CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2418 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS", OR ASTM F2922 "STANDARD SPECIFICATION FOR POLYETHYLENE (PE) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
2. SC-310 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
3. "ACCEPTABLE FILL MATERIALS" TABLE ABOVE PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS FOR FOUNDATION, EMBEDMENT, AND FILL MATERIALS.
4. THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
5. PERMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
6. ONCE LAYER 'C' IS PLACED, ANY SOLID MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'D' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.

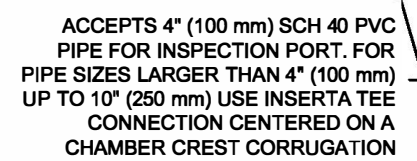


(NOT TO SCALE)



(NOT TO SCALE)

## NTS



ACCEPTS 4" (100 mm) SCH 40 PVC  
PIPE FOR INSPECTION PORT. FOR  
PIPE SIZES LARGER THAN 4" (100 mm)  
UP TO 10" (250 mm) USE INSERTA TEE  
CONNECTION CENTERED ON A  
CHAMBER CREST CORRUGATION



**NOMINAL CHAMBER SPECIFICATIONS**  
**SIZE (W X H X INSTALLED LENGTH)**  
**CHAMBER STORAGE**  
**MINIMUM INSTALLED STORAGE\***  
**WEIGHT**

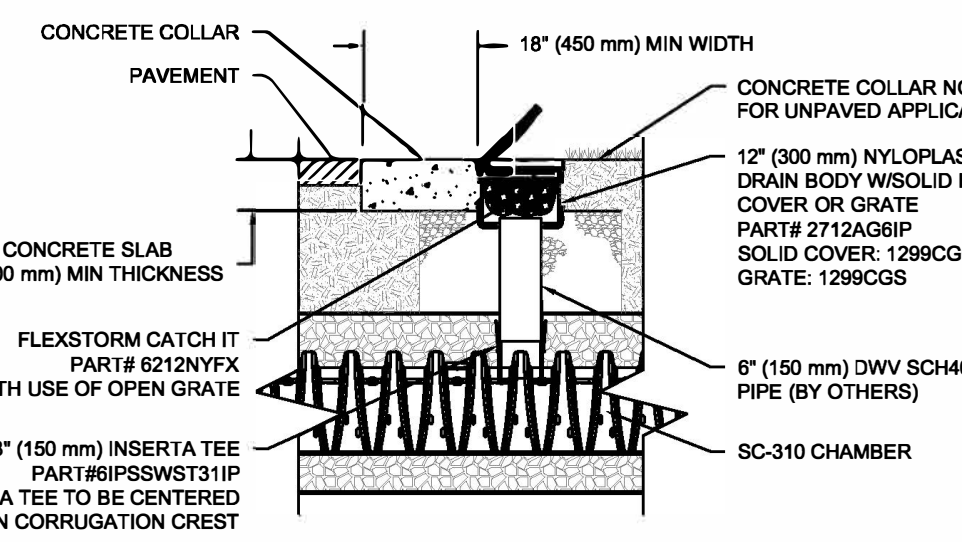
\*ASSUMES 6" (152 mm) ABOVE, BELOW, AND BETWEEN CHAMBERS

ALL STUBS, EXCEPT FOR THE SC310EPE12B ARE PLACED AT BOTTOM OF END CAP SUCH THAT THE OUTSIDE DIAMETER OF THE STUB IS FLUSH WITH THE BOTTOM OF THE END CAP. FOR ADDITIONAL INFORMATION CONTACT STORMTECH AT 1-888-692-2694.

\* FOR THE SC310EPE12B THE 12" (300 mm) STUB LIES BELOW THE BOTTOM OF THE END CAP APPROXIMATELY 0.25" (6 mm).  
BACKFILL MATERIAL SHOULD BE REMOVED FROM BELOW THE N-12 STUB SO THAT THE FITTING SITS LEVEL.

NOTE: ALL DIMENSIONS ARE NOMINAL

NOTE: ALL DIMENSIONS ARE NOMINAL



## NTS

T.H.#1

T.H.#1	
EL. <u>266.2</u>	
0"-24" FILL	264.20
24"-30" A SANDY LOAM	263.70
30"-60" B LOAMY SAND	261.20
60"-126" C LOAMY SAND	255.70
D=10'-6" WEAVING 8'-0" (EL.=258.20)	

T.H.#2	
EL. 263.5	
0"-12" A SANDY LOAM	262.50
12"-32" B LOAMY SAND	260.83
32"-132" C LOAMY SAND	
D=11'-0" MOTTLING ⑥ 6'-0" (EL.=257.50)	252.50

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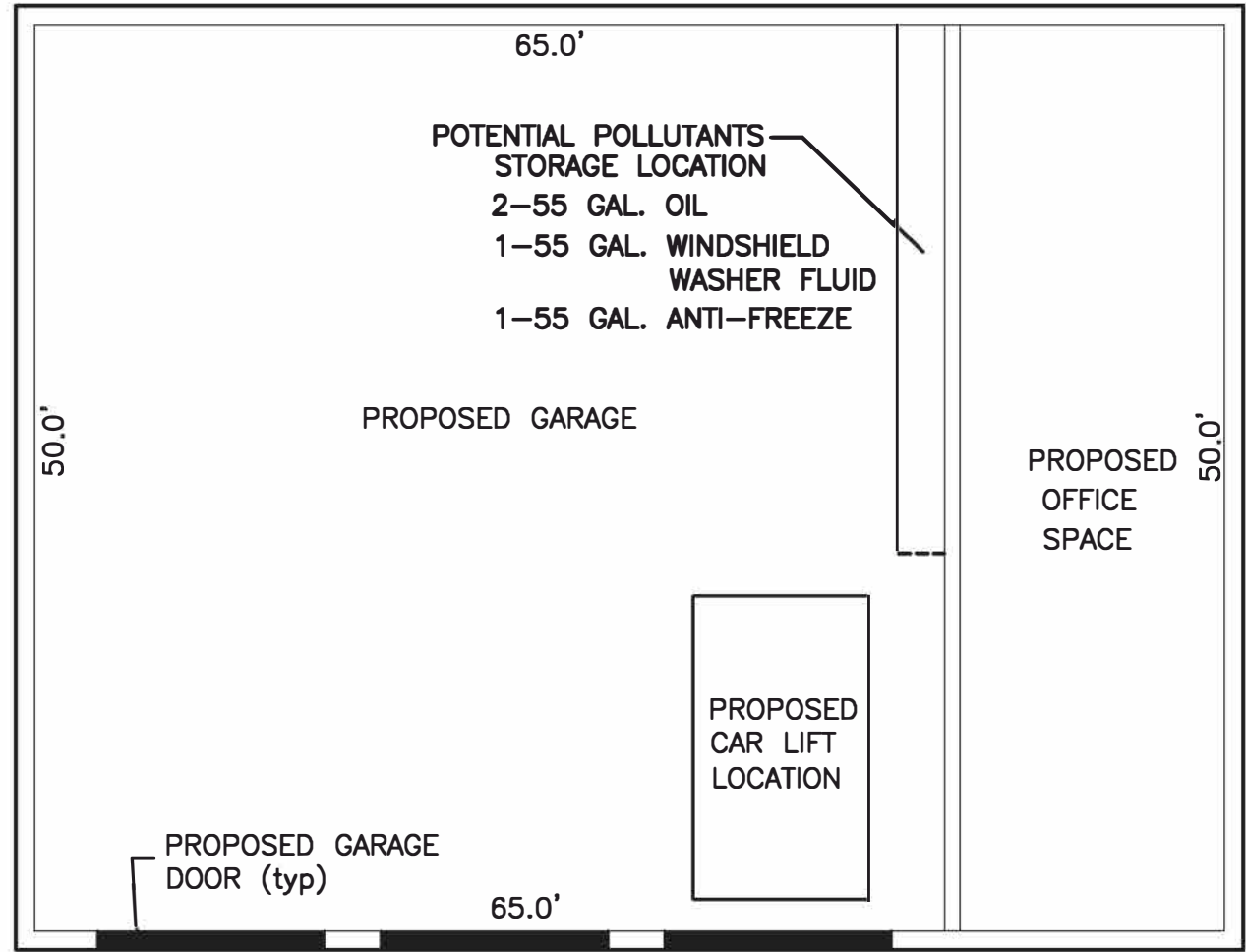


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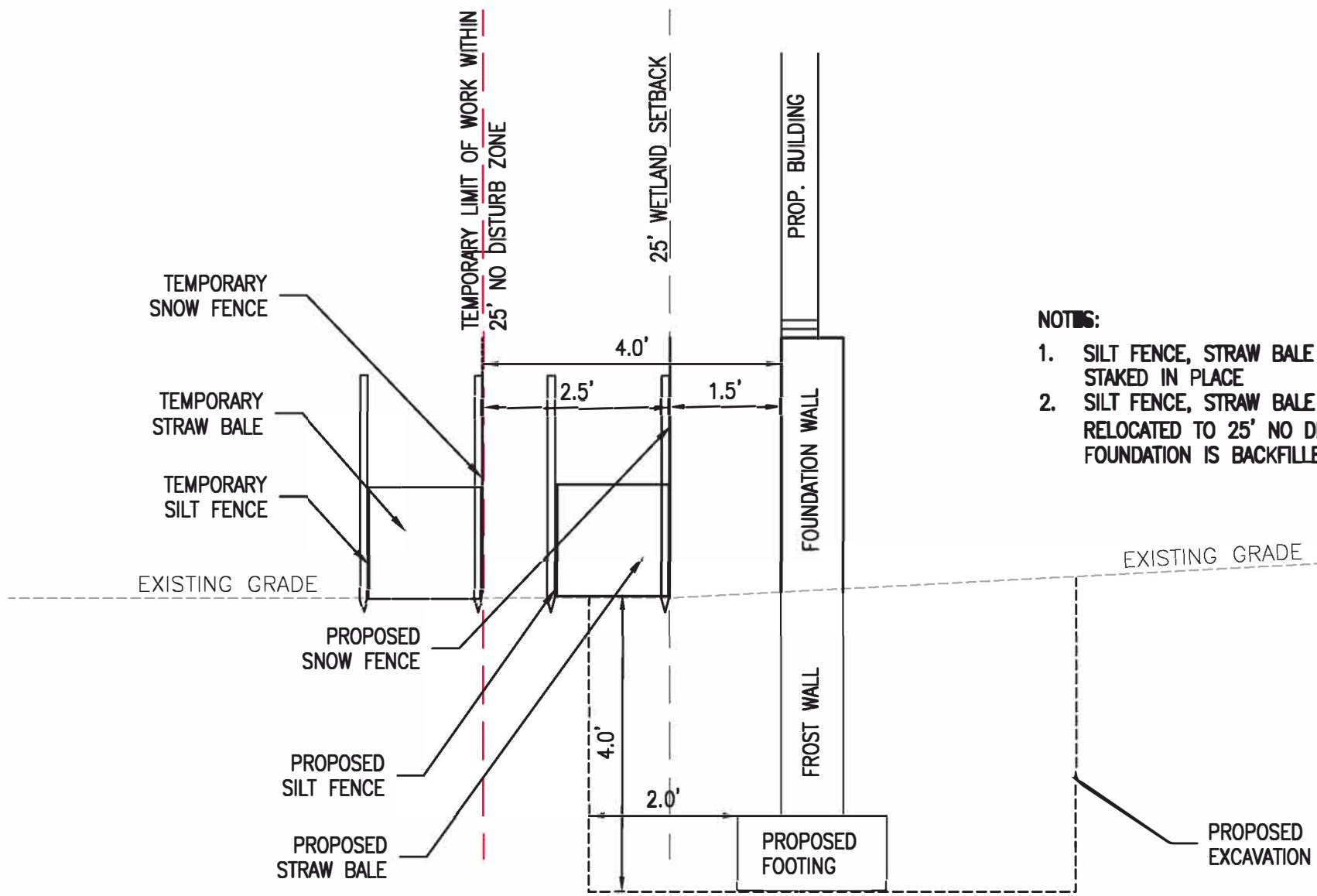
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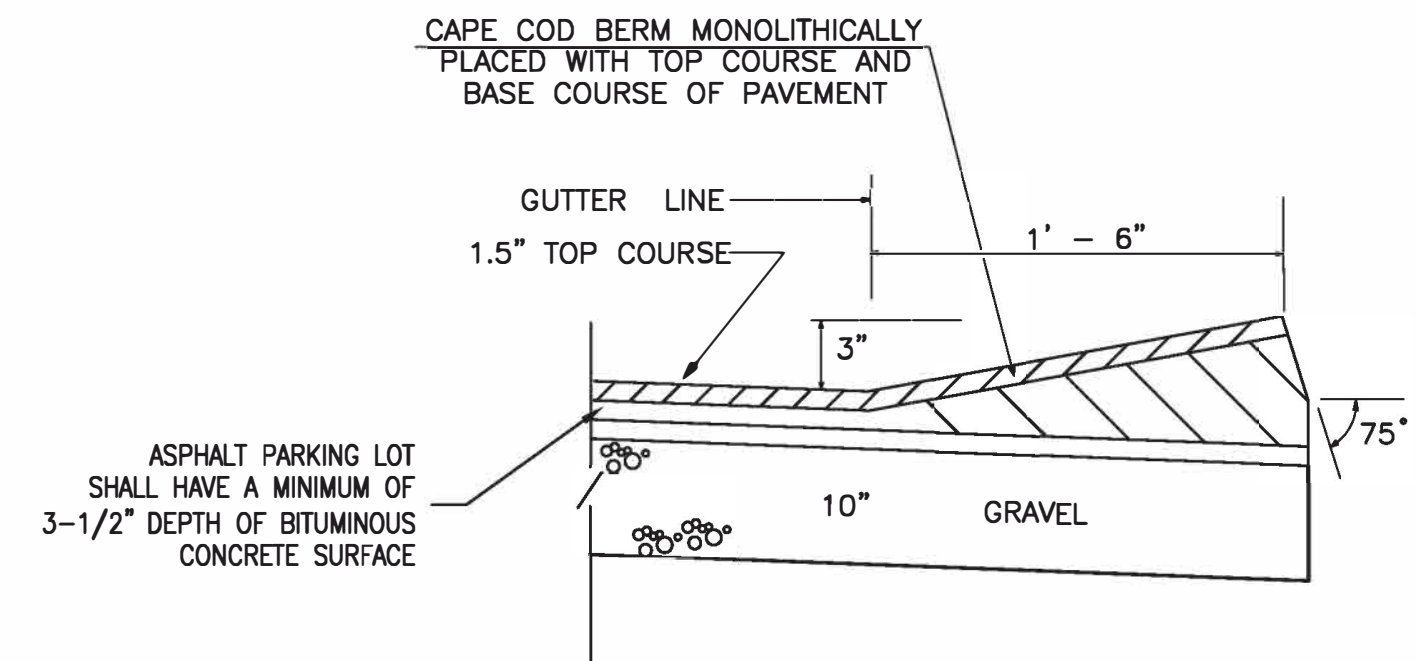
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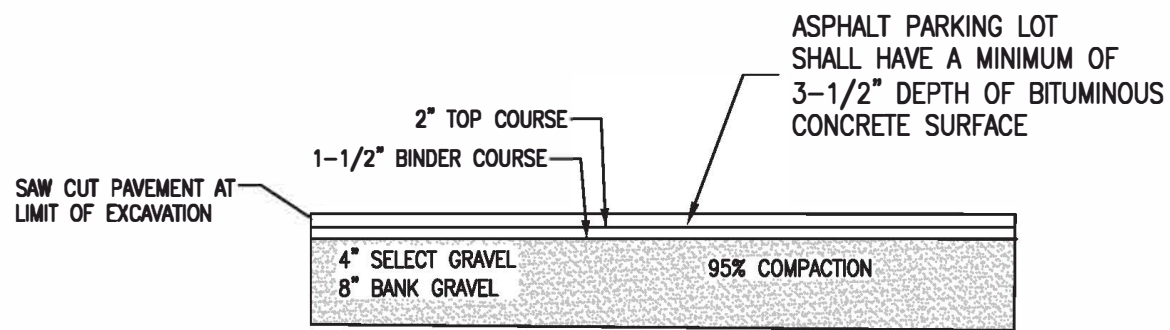
POTENTIAL POLLUTANTS STORAGE DETAIL  
(NOT TO SCALE)



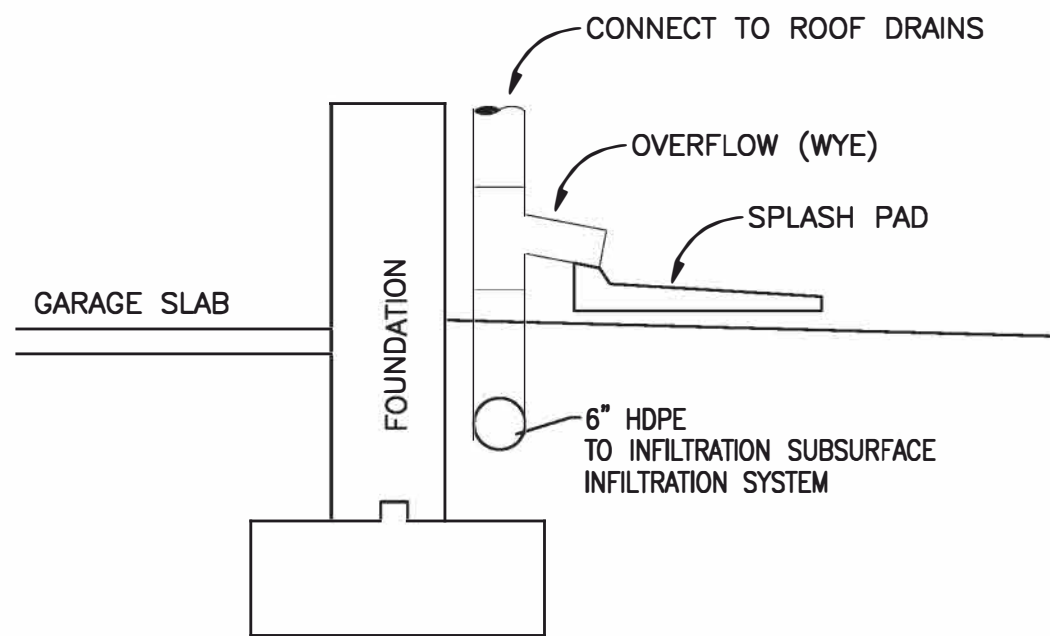
FOUNDATION CONSTRUCTION DETAIL  
SCALE 1"=1'



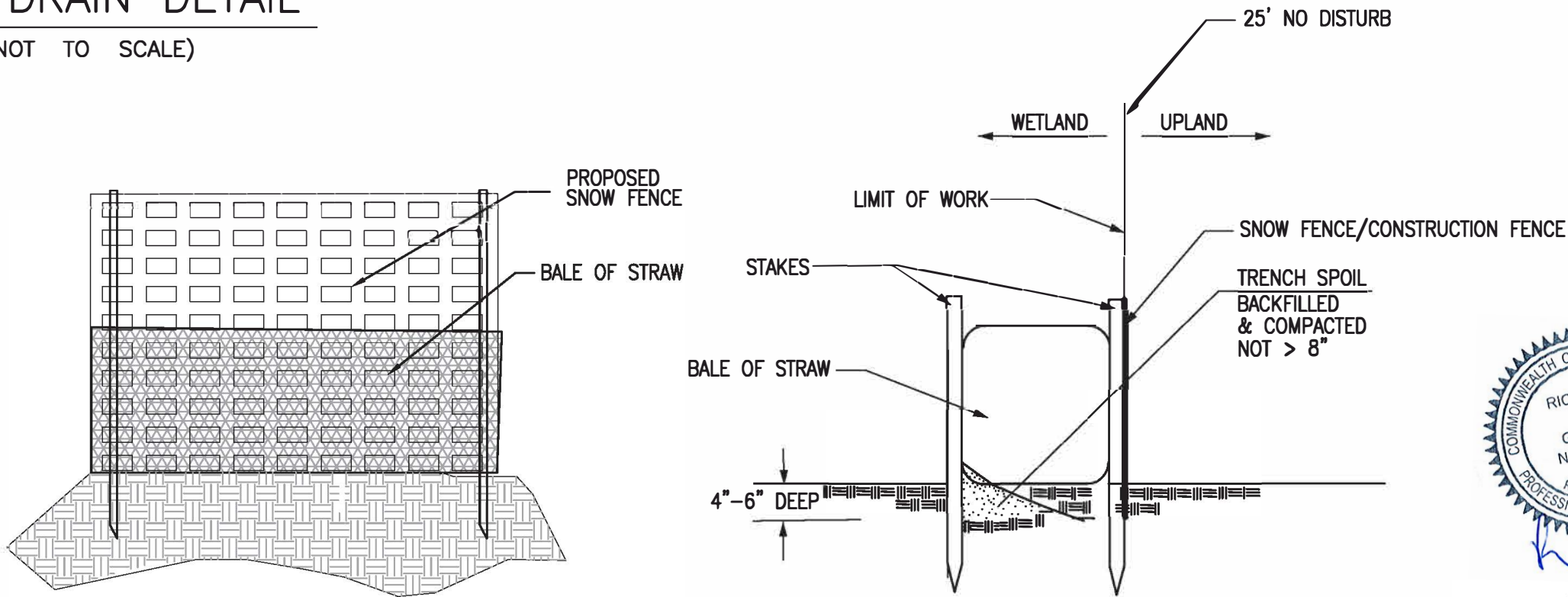
CAPE COD BERM DETAIL  
(NOT TO SCALE)



PAVED SECTION  
(NOT TO SCALE)



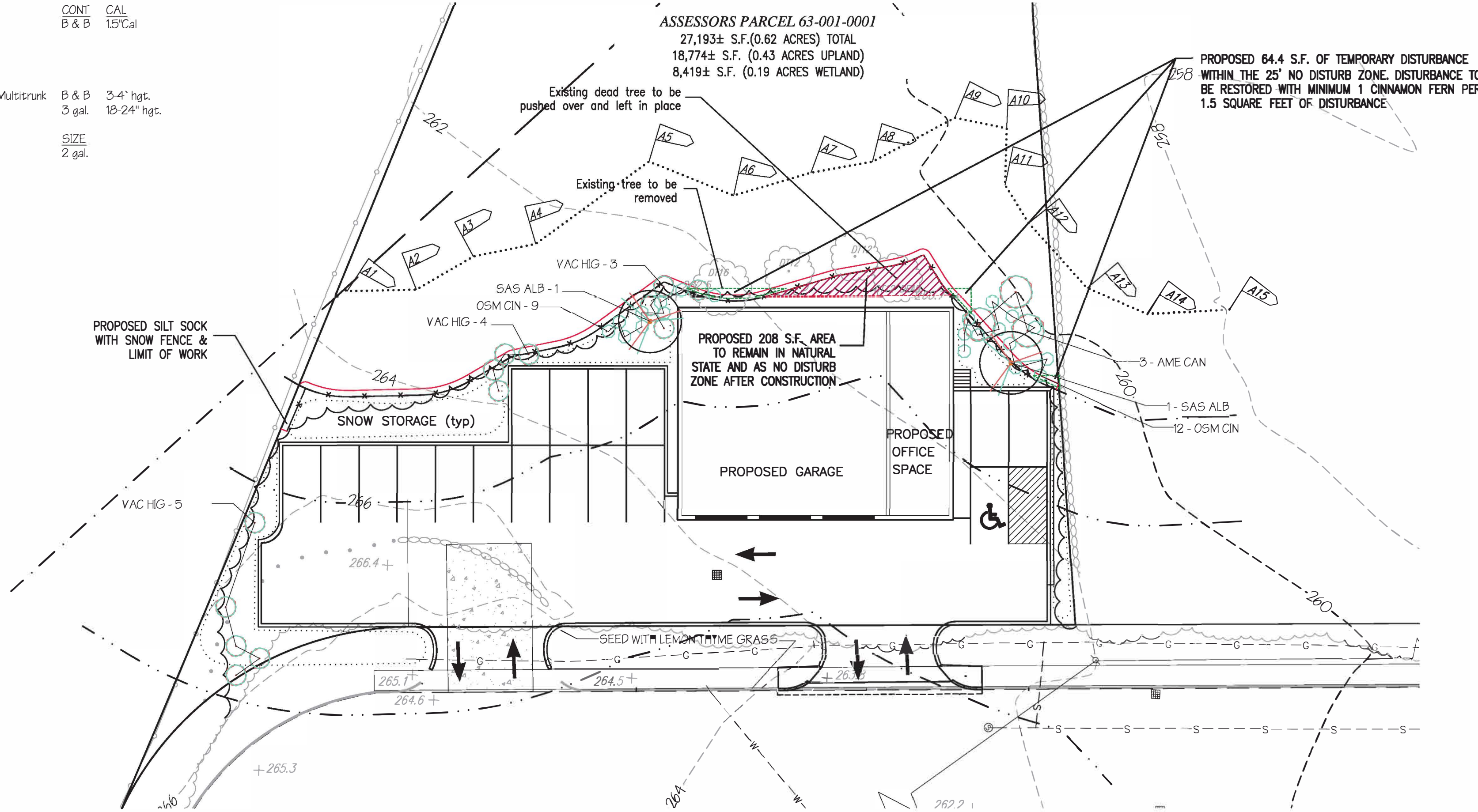
ROOF DRAIN DETAIL  
(NOT TO SCALE)



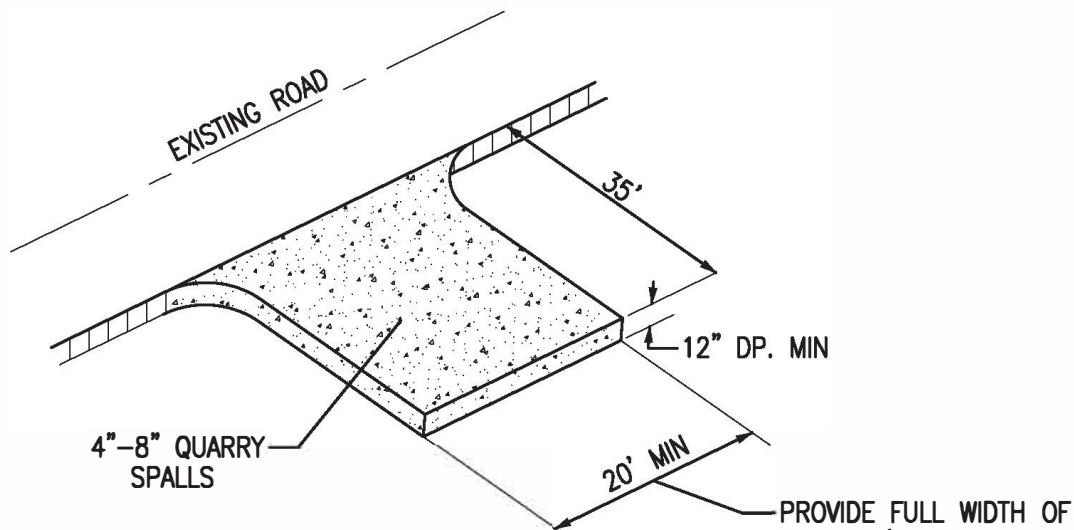
SILT FENCE STRAW BALE AND SNOW FENCE DETAIL  
NOT TO SCALE

PLANT\_SCHEDULE

TREES	QTY	BOTANICAL NAME / COMMON NAME	CONT	CAL
SAS ALB	2	Sassafras albidum / Sassafras	B & B	15' Cal
SHRUBS	QTY	BOTANICAL NAME / COMMON NAME		
AME CAN	3	Amelanchier canadensis / Shadblow Serviceberry Multistrunk	B & B	3-4\" hgt.
VAC HIG	13	Vaccinium corymbosum / Highbush Blueberry	3 gal.	18-24\" hgt.
FERMS	QTY	BOTANICAL NAME / COMMON NAME	SIZE	
OSM CIN	21	Osmunda cinnamomea / Cinnamon Fern	2 gal.	



PROPOSED TEMPORARY DISTURBANCE AND LANDSCAPE PLANTING DETAIL  
SCALE 1" = 10'



CRUSHED STONE CONSTRUCTION APRON  
(NOT TO SCALE)

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SITE PLAN  
DETAILS

#50 ALDER STREET  
MEDWAY, MASSACHUSETTS

PREPARED FOR:  
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119 MILFORD STREET  
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SANITARY SEWER MANHOLE

PRECAST GASOLINE TRAP CATCH BASIN  
(NOT TO SCALE)

## TRENCH EXCAVATION DETAIL

NOTES:

FOR INLETS LARGER THAN 10" THE DESIGN AND DIMENSIONS WILL BE DETERMINED FOR EACH PARTICULAR CASE  
PRE-CAST SEPARATORS ARE TO HAVE ALL SPECIFIED HOLES EITHER CORE-BORED OR CAST IN PLACE.

ALL INLET TRAPS TO BE  
PROVIDED IN ACCORDANCE  
WITH 248 CMR 2.00

ALUMINUM OR PLASTIC CO.  
WROUGHT IRON STEPS CAN  
USED.

SECTION B-B

SECTION A-A

DETAIL – SILT TRAP, EROSION CONTROL PAD  
(NOT TO SCALE)

TYPICAL SERVICE CONNECTION  
(NOT TO SCALE)

INLET	D	A	B	INLET	D	A	B
4"	3'-6"Ø	3'-0"	2'-6"	8"	5'-0"Ø	6'-0"	5'-0"
5"	3'-6"Ø 3'-6"x 3'-6" 4'-0" 4'-0"x 4'-0" 4'-6"	5'-0" 4'-0" 3'-8" 3'-0" 3'-0"	4'-0" 3'-0" 3'-0" 2'-6" 2'-6"	10"	5'-6"x 5'-6" 6'-0"Ø 6'-0"x 6'-0" 6'-6"Ø 6'-6"x 6'-6"	4'-6" 3'-0" 3'-0" 3'-6" 3'-0"	4'-0" 3'-6" 2'-6" 3'-0" 2'-6"
6"	4'-0"Ø 4'-0"x 4'-0" 4'-6"Ø 4'-6"x 4'-6" 5'-0"Ø 5'-0"x 5'-0"	5'-0" 4'-0" 4'-0" 3'-6" 3'-6" 3'-0"	4'-6" 3'-6" 3'-6" 3'-0" 3'-0" 2'-6"	10"	5'-6"Ø 6'-0"x 6'-0" 6'-0"Ø 6'-6"x 6'-6"	7'-6" 5'-6" 6'-6" 5'-0"	6'-6" 4'-6" 5'-6" 4'-0"

### GENERAL CONSTRUCTION NOTES

BASIN TO BE LOCATED OUTSIDE OF BUILDING  
WHERE POSSIBLE,COVER TO HAVE A CENTER HOLE.

A TIGHT COVER MUST BE USED IF BASIN IS LOCATED INSIDE OF BUILDING.

OPENING SHALL BE NOT LESS THAN 24" DIA.

THE CATCH BASIN SHALL BE SO LOCATED AND  
CONSTRUCTED THAT SURFACE WATER SHALL BE EXCLUDED.

INLET PIPE SHALL BE AT LEAST FOUR  
INCHES ABOVE NORMAL WATER LINE.

WHERE SUBJECT TO FROST OR CRUSHING CONDITIONS,  
OUTLET SHALL BE AT LEAST THREE FEET BELOW THE  
SURFACE.

THE NEW CATCH BASIN MUST BE FILLED WITH CLEAN WATER BEFORE USING,  
AND AFTER BEING EMPTIED FOR  
PERIODIC CLEANING.

M.D.C. TRAP  
OIL/GREASE SEPARATOR

(NOT TO SCALE)

## NOTES

1. CALL DIG SAFE 1-888-344-7233 AT LEAST 4 DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
2. NOTIFY TOWN PRIOR TO BACKFILLING SEWER OR WATER SERVICES.
3. LOCATIONS OF UNDERGROUND UTILITIES ARE FROM RECORD INFORMATION AND ARE NOT WARRANTED.
4. THE CONTRACTOR SHALL COMPLY WITH WATER DEPT. AND SEWER DEPT. REQUIREMENTS.

## SEWER NOTES

1. THE CONNECTION AT THE EXISTING SEWER LINE IS TO BE AS DIRECTED BY THE D.P.W.
2. CONSTRUCTION MATERIALS AND METHODS SHALL CONFORM TO TOWN OF MEDWAY AND STATE OF MASSACHUSETTS STANDARDS AND REQUIREMENTS.
3. DEWATERING OF TRENCH, IF REQUIRED, SHOULD BE CONDUCTED IN CONFORMITY WITH LOCAL REGULATIONS.
4. PRIOR TO ANY CONSTRUCTION, A SEWER CONSTRUCTION PERMIT MUST BE OBTAINED BY THE CONTRACTOR FROM THE TOWN OF MEDWAY, SEWER DEPARTMENT.
5. SEWER PIPES TO BE 6" PVC ASTM D3034SD - R35 OR AS OTHERWISE NOTED.
6. CONTRACTOR SHALL NOTIFY THE TOWN OF MEDWAY SEWER DIVISION OF TIMING OF CONSTRUCTION TO INSURE THERE IS NO INTERFERENCE WITH THE OPERATIONS OF THE EXISTING SEWER FORCE MAIN.
7. SURPLUS EXCAVATION MATERIAL TO BE HAULED OFF AND LEGALLY DISPOSED OF BY CONTRACTOR.
8. THERE SHALL BE NO FIELD CHANGES TO THIS PLAN WITHOUT PRIOR NOTIFICATION OF BOTH THE DESIGN ENGINEER AND THE TOWN OF MEDWAY SEWER DIVISION.
9. THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO BACKFILLING SO THAT AN "AS-BUILT" PLAN MAY BE COMPILED AND SUBMITTED TO THE TOWN OF MEDWAY.
10. ALL INTERIOR PLUMBING CHANGES SHALL BE MADE BY A LICENSED PLUMBER AND IN FULL COMPLIANCE WITH ALL STATE AND LOCAL PLUMBING CODE REQUIREMENTS.
11. CONTRACTOR IS TO RESTORE TO ORIGINAL CONDITION ANY UTILITIES OR IMPROVEMENTS DAMAGED DURING CONSTRUCTION INCLUDING LOAMING AND SEEDING OF LAWNS.
12. CONTRACTOR TO VERIFY SEWER STUB ELEVATION.

ALL OIL AND GASOLINE MUST BE REMOVED BEFORE  
CLEANING OUT THE BASIN, AND MUST NOT BE  
DISCHARGED INTO THE SEWER THROUGH OTHER FIXTURES.

**SPECIFICATIONS FOR COVERING SPECIAL CASES OR CONDITIONS, SHALL BE APPROVED BY THE LOCAL AUTHORITIES.**

WROUGHT IRON STEPS SHALL BE SPACED ABOUT 18" APART.

BOTH VENTS SHALL BE EXTENDED INDEPENDENTLY 18"  
ABOVE THE ROOF, OR AS APPROVED BY THE LOCAL  
AUTHORITIES  
(Outlet pipe to be 45 degree angle)

CONTRACTOR SHALL VERIFY SEWER LOCATION AND ELEVATIONS PRIOR TO  
INSTALLATION

NOTE: SILT SACKS SHALL BE INSPECTED WEEKLY AND SILT SHALL BE REMOVED WHEN ACCUMULATED TO ALLOW CATCH BASIN TO FUNCTION PROPERLY.

SILT SACK

(NOT TO SCALE)

TOWN OF MEDWAY PLANNING &  
ECONOMIC DEVELOPMENT BOARD

**SIGNATURES**

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## SITE PLAN

### DETAILS

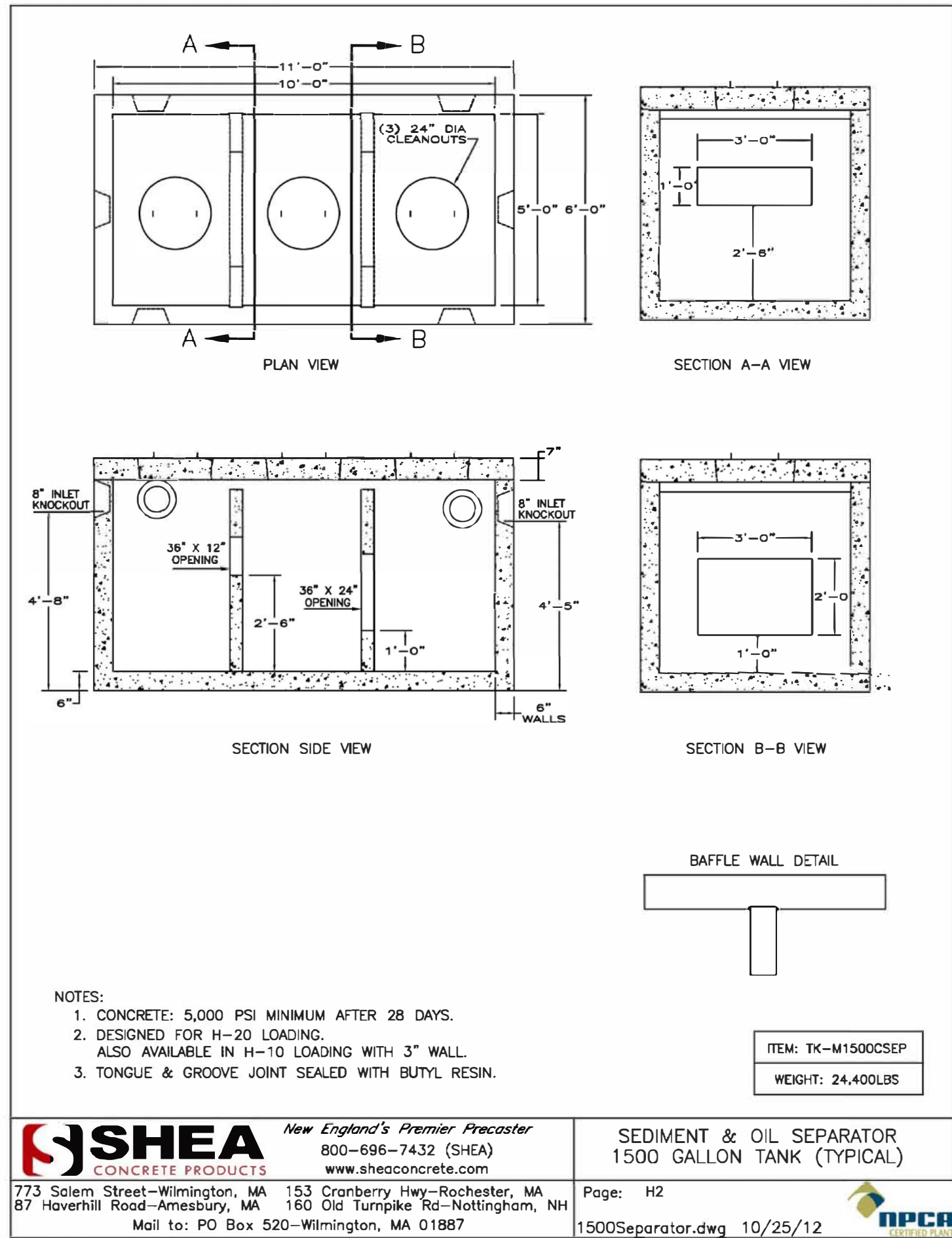
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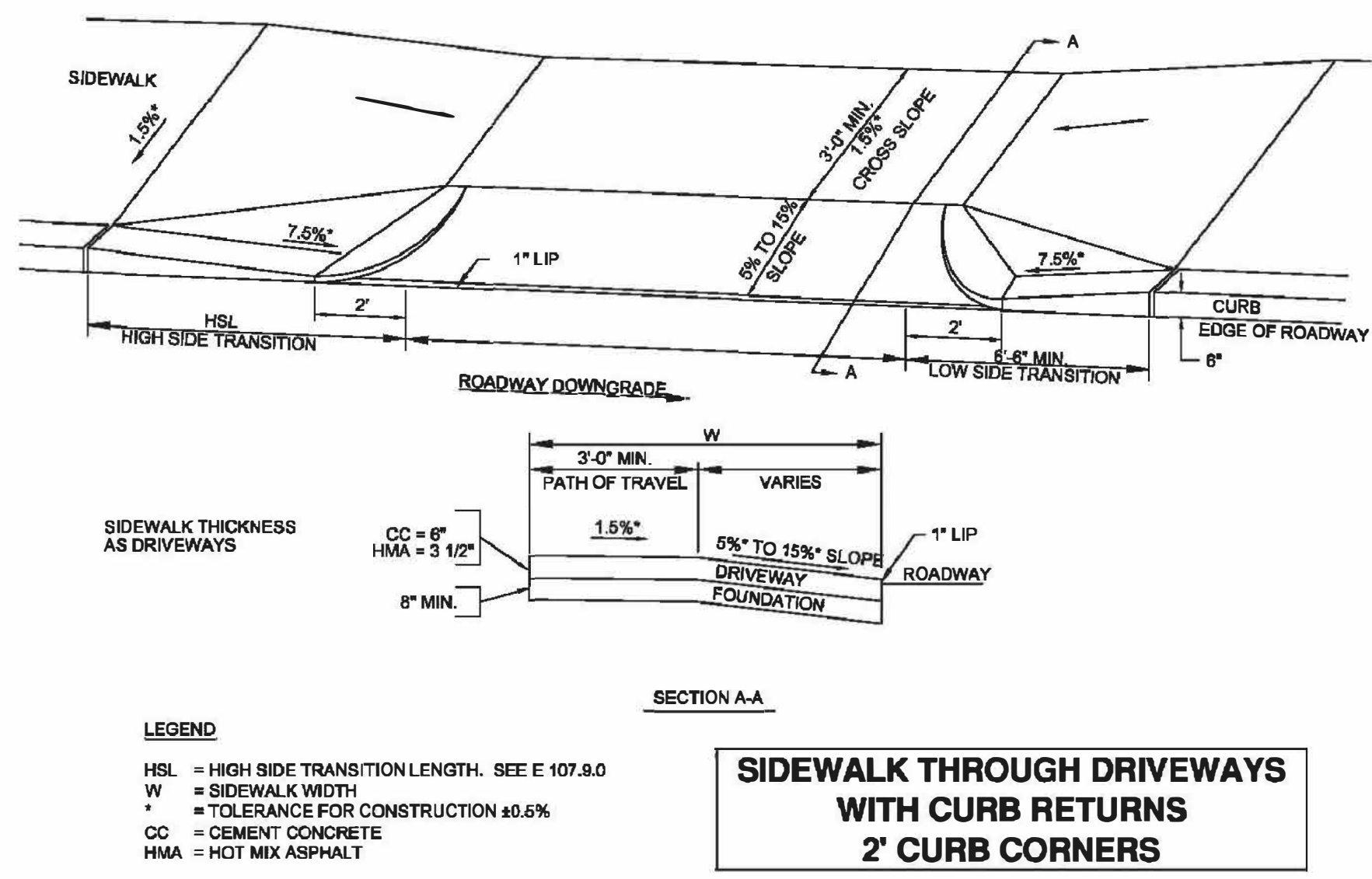
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www.sheaconcrete.com  
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153 Cranberry Hwy-Rochester, MA 01501  
87 Haverhill Road-Amesbury, MA 01821  
180 Old Turnpike Rd-Nottingham, NH 03255  
Mail to: PO Box 520-Wilmington, MA 01887

SEDIMENT & OIL SEPARATOR  
1500 GALLON TANK (TYPICAL)  
Page: H2  
1500Separator.dwg 10/25/12

SEDIMENT AND OIL SEPARATOR DETAIL  
(NOT TO SCALE)

- NOTES:
1. PRECAST CONCRETE UNITS TO CONFORM TO THE MASS HIGHWAY SECTION M4.02.14
  2. 4000 PSI MINIMUM COMPRESSIVE STRENGTH
  3. PRECAST UNITS TO BE HS-20 LOADING
  4. EXTERIOR SURFACES TO BE SEALED W/ COLD APPLIED BITUMINOUS SEALER
  5. CASTINGS FOR FRAME, GRATES, COVERS & HOODS TO CONFORM TO ASTM A48, GRADE 30 MINIMUM & COATED WITH APPROVED BLACK ASPHALTUM.

PRECAST CONCRETE MANHOLE  
(NOT TO SCALE)

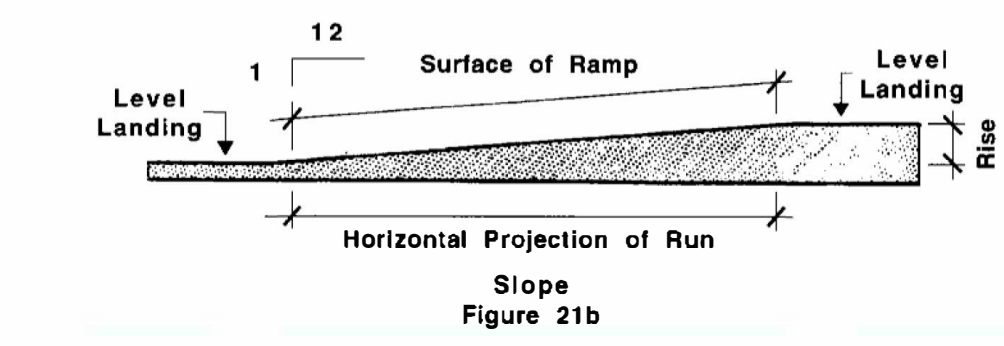


\*HANDICAP RAMPS SHALL BE COMPLIANT WITH BOTH STATE AND FEDERAL LAW

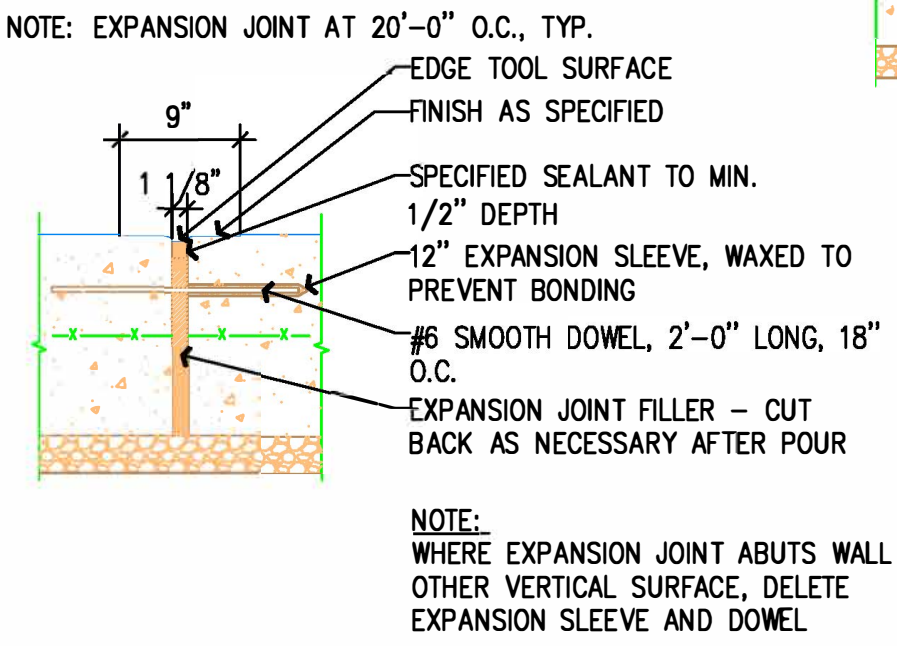
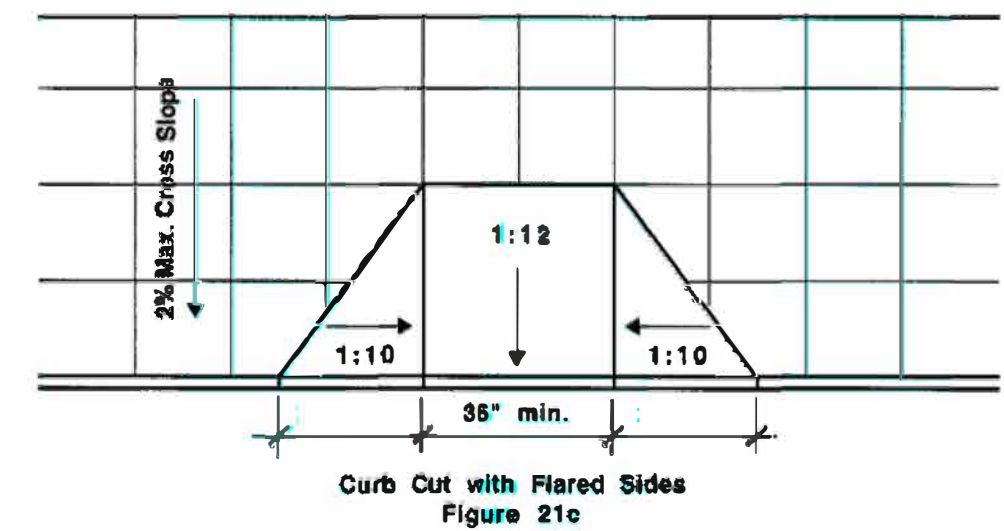
WHEELCHAIR RAMP - DRIVEWAY  
(NOT TO SCALE)

ROADWAY PROFILE GRADE	* HIGH SIDE TRANSITION LENGTH
%	ENGLISH UNITS
=0%	6'-6"
>0% TO 1%	7'-8"
>1% TO 2%	9'-0"
>2% TO 3%	11'-0"
>3% TO 4%	14'-0"
>4% TO 5%	15'-0" Max

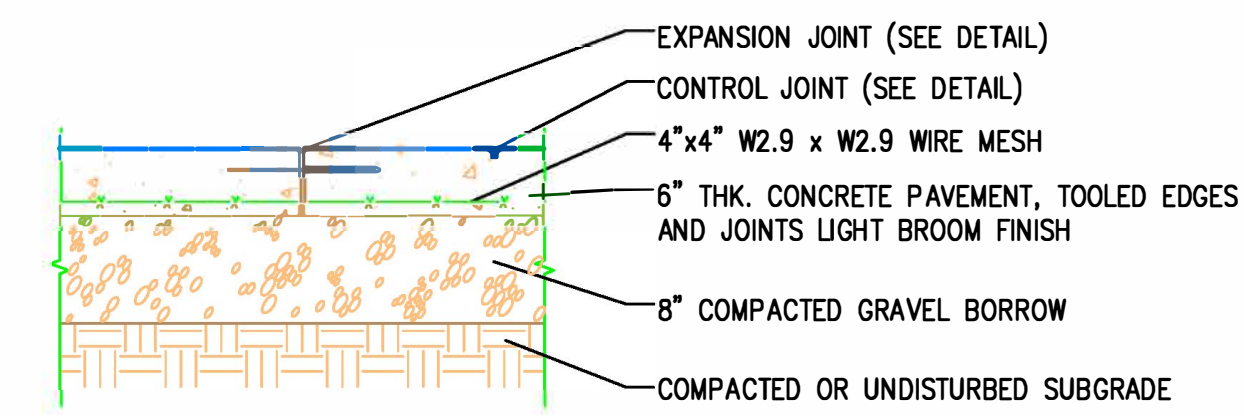
NOTE:  
\* BASED ON A DESIGN SLOPE OF 7.5% AND A REVEAL OF 6".



21.7 FLARED SIDES  
Sides of curb cuts shall extend at least 24 inches (24" = 610mm) at the curb. The maximum slope of the flare is one-in-ten (1:10) (10%). Curbing at the flared sides must blend with the slope of the flared sides. See Fig. 21c.



CONCRETE WALK - BROOM FINISH/TOOL EDGE  
(NOT TO SCALE)



TYPICAL SIDEWALK AND GRANITE CURB SECTION  
(NOT TO SCALE)

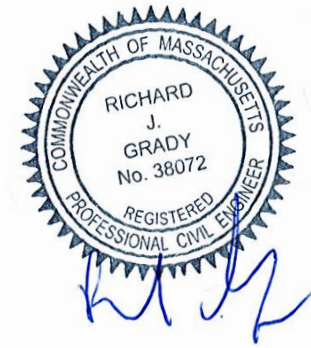
TOWN OF MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD

SIGNATURES

APPROVAL DATE

ENDORSEMENT DATE

REVISIONS	
6/27/16	CONSERVATION COMMISSION COMMENTS
8/5/16	CONSERVATION COMMISSION COMMENTS
8/15/16	CONSERVATION COMMISSION COMMENTS
8/22/16	REQUEST FOR WAIVERS
3/19/18	REVIEW ENGINEER/PLANNING BOARD COMMENTS
4/2/18	REVIEW ENGINEER/PLANNING BOARD COMMENTS
6/4/18	REVIEW ENGINEER/PLANNING BOARD DECISION



**SITE PLAN**  
DETAILS  
#50 ALDER STREET  
MEDWAY, MASSACHUSETTS

PREPARED FOR:  
ALDER STREET REALTY LLC  
119 MILFORD STREET  
MEDWAY, MA 02053

MARCH 30, 2016  
SCALE: AS SHOWN  
JOB No. 15-307

**Grady Consulting, L.L.C.**  
Civil Engineers and Land Surveyors  
71 Evergreen Street, Suite 1, Kingston, MA 02364  
Phone (781) 585-2300 Fax (781) 585-2378



Submitted by Reflex Lighting Group, Inc. Job Name: 51 ALDER STREET Notes: BUILDING LEFT AND RIGHT Catalog Number: XTOR3B Type: BOST18-115344

**DESCRIPTION**

The patented Lumark Crosstour™ LED Wall Pack Series of luminaires provides an architectural style with super bright, energy efficient LEDs. The low-profile, rugged die-cast aluminum construction, universal back box, stainless steel hardware along with a sealed and gasketed optical compartment, make the Crosstour™ impervious to contaminants. The Crosstour wall luminaire is ideal for wall surface, inverted mount for landscape/wayway illumination, posttop/stand, site lighting, floodlight and low level pathway illumination including stairs. Typical applications include building entrances, multi-use facilities, apartment buildings, institutions, schools, stairways and loading docks test.

**SPECIFICATION FEATURES**

**Construction**  
Slim, low-profile LED design with rugged one-piece, die-cast aluminum hinged removable door and back box. Matching housing styles incorporate both a small and medium design. The small housing is available in 12W, 18W and 26W. The medium housing is available in the 38W model. Patented secure lock hinge feature allows for safe and easy tool-less electrical connections with the supplied push-in connector. Back box includes three half-inch, NPT threaded conduit entry points. The universal back box supports both the small and medium forms and mounts to standard 5/16" to 4" round and octagonal, 4" square, single gang and masonry junction boxes. Key hole gasket allows for adaptation to junction box or wall. External fin design extracts heat from the fixture surface. One-piece silicone gasket seals door and back box. Minimum 6" wide pole for site lighting application. Not recommended for car wash applications.

**Optical**  
Silicone sealed optical LED chamber incorporates a custom engineered mirrored anodized reflector providing high-efficiency illumination. Optical assembly includes impervious tempered glass and meets IESNA requirements for full cutoff compliance. Available in seven lumen packages: 500K, 400K and 300K CCT.

**Electrical**  
LED driver is mounted to the die-cast housing for optimal heat sinking. LED thermal management system incorporates both conduction and natural convection to transfer heat rapidly away from the LED source. 12W, 18W, 26W and 38W series operate in -40°C to 40°C (-40°F to 104°F). High ambient 50°C models available. Crosstour™ luminaires maintain greater than 85% of initial light output after 72,000 hours of operation. Three entry points allow for three-branch wiring. Back box is an authorized application.

**Finish**  
Crosstour is protected with a Super durable TQC carbon bronze or summi white polyester powder coat paint. Super durable TQC powder coat paint finishes withstand extreme climate conditions while providing optimal color and gloss retention of the installed life.

**Warranty**  
Five-year warranty.

**APPLICATIONS:**  
WALL / SURFACE  
POST / STAIR  
LOW LEVEL  
FLOODLIGHT  
INVERTED  
SITE LIGHTING

**Dimensions:** 12W, 18W, 26W, 38W. 5.34" (137mm) 8" (203mm). 12W, 18W, 26W, 38W. 5.34" (137mm) 8" (203mm). 12W, 18W, 26W, 38W. 5.34" (137mm) 8" (203mm). 12W, 18W, 26W, 38W. 5.34" (137mm) 8" (203mm).

**CERTIFICATION DATA**  
UL94 V-0 Location Listed  
ASTM D3028 Compliant  
ROHS Compliant  
NOM Compliant  
NOM Complete Models  
IP68 Ingress Protection Rated  
Type 24 Compliant  
Only Luminaire Conversion ("DualFit")

**TECHNICAL DATA**  
40°C Maximum Ambient Temperature  
External Supply Wiring 90°C Min. Minimum

**EPA**  
Effective Projected Area (Sq. Ft.)  
XTOR3B, XTOR3B, XTOR3B, XTOR3B

**SHIPPING DATA:**  
Approximate Net Weight:  
37 - 5.25 lbs. (1.7 - 2.4 kg.)

**Submitted On:** May 4, 2018

Submitted by Reflex Lighting Group, Inc. Job Name: 51 ALDER STREET Notes: BUILDING LEFT AND RIGHT Catalog Number: XTOR3B Type: BOST18-115344

**POWER AND LUMENS BY FIXTURE MODEL**

LED Information	XTOR3B	XTOR3B-W	XTOR3B-Y	XTOR3B-W	XTOR3B-Y	XTOR3B-W	XTOR3B-Y	XTOR3B-W	XTOR3B-Y	XTOR3B-W	XTOR3B-Y
Delivered Lumens (lm)	1,418	1,396	1,327	2,135	2,103	1,997	2,751	2,710	2,675	4,269	4,205
Delivered Lumens (lm)	1,005	990	948	1,495	1,472	1,399	2,099	2,068	1,995	3,168	3,121
RUG Rating	B1-10-00	B1-10-00	B1-10-00	B1-10-00	B1-10-00	B1-10-00	B1-10-00	B1-10-00	B1-10-00	B2-10-00	B2-10-00
CR (Ra)	90	90	90	90	90	90	90	90	90	90	90
Power Consumption (Watt)	12W	12W	12W	18W	18W	18W	26W	26W	26W	38W	38W

**LUMEN MAINTENANCE**

Ambient Temperature	TM 21 Lumen Maintenance (72,000 Hours)	Theoretical L70 (Hours)
25°C	> 90%	255,000
40°C	> 85%	234,000
50°C	> 80%	215,000
XTOR3B Model		
25°C	> 89%	245,000
40°C	> 85%	212,000
50°C	> 80%	195,000
XTOR3B Model		
25°C	> 89%	245,000
40°C	> 85%	212,000
50°C	> 80%	195,000
XTOR3B Model		
25°C	> 89%	222,000
40°C	> 85%	198,000
50°C	> 80%	184,000

**CURRENT DRAW**

Voltage	XTOR3B	XTOR3B-W	XTOR3B-Y	XTOR3B
180V	0.002A	0.05A	0.02A	0.04A
208V	0.002A	0.05A	0.02A	0.04A
240V	0.002A	0.05A	0.02A	0.04A
277V	0.002A	0.05A	0.02A	0.04A
347V	0.002A	0.05A	0.02A	0.04A

**Submitted On:** May 4, 2018

Submitted by Reflex Lighting Group, Inc. Job Name: 51 ALDER STREET Notes: BUILDING LEFT AND RIGHT Catalog Number: XTOR3B Type: BOST18-115344

**ORDERING INFORMATION**

Sample Number: XTOR3B-WV-PC1	LED Kelvin Color	Housing Color	Options (Add as Suffix)	Accessories (Order Separately)
XTOR3B-Small Door, 12W XTOR3B-Small Door, 18W XTOR3B-Small Door, 26W	Warm White, 3000K Warm White, 4000K Warm White, 5000K	Black/White Black/White Black/White	PC1/Photoresistant 120V PC1/Photoresistant 120V PC1/Photoresistant 120V	WGXTOR3B-WV-PC1 WGXTOR3B-WV-PC1 WGXTOR3B-WV-PC1

**STOCK ORDERING INFORMATION**

12W Series	18W Series	26W Series	38W Series
XTOR3B-Small Door, 12W XTOR3B-Small Door, 18W XTOR3B-Small Door, 26W	XTOR3B-WV-PC1, 18W, 4000K, 120V PC, Carbon Bronze XTOR3B-WV-PC1, 18W, 4000K, 120V PC, Carbon Bronze XTOR3B-WV-PC1, 18W, 4000K, 120V PC, Carbon Bronze	XTOR3B-WV-PC1, 26W, 4000K, 120V PC, Carbon Bronze XTOR3B-WV-PC1, 26W, 4000K, 120V PC, Carbon Bronze XTOR3B-WV-PC1, 26W, 4000K, 120V PC, Carbon Bronze	XTOR3B-WV-PC1, 38W, 4000K, 120V PC, Carbon Bronze XTOR3B-WV-PC1, 38W, 4000K, 120V PC, Carbon Bronze XTOR3B-WV-PC1, 38W, 4000K, 120V PC, Carbon Bronze

**ORDERING INFORMATION**

Sample Number: XTOR3B-WV-PC1	LED Kelvin Color	Housing Color	Options (Add as Suffix)	Accessories (Order Separately)
XTOR3B-Small Door, 12W XTOR3B-Small Door, 18W XTOR3B-Small Door, 26W	Warm White, 3000K Warm White, 4000K Warm White, 5000K	Black/White Black/White Black/White	PC1/Photoresistant 120V PC1/Photoresistant 120V PC1/Photoresistant 120V	WGXTOR3B-WV-PC1 WGXTOR3B-WV-PC1 WGXTOR3B-WV-PC1

**STOCK ORDERING INFORMATION**

12W Series	18W Series	26W Series	38W Series
XTOR3B-Small Door, 12W XTOR3B-Small Door, 18W XTOR3B-Small Door, 26W	XTOR3B-WV-PC1, 18W, 4000K, 120V PC, Carbon Bronze XTOR3B-WV-PC1, 18W, 4000K, 120V PC, Carbon Bronze XTOR3B-WV-PC1, 18W, 4000K, 120V PC, Carbon Bronze	XTOR3B-WV-PC1, 26W, 4000K, 120V PC, Carbon Bronze XTOR3B-WV-PC1, 26W, 4000K, 120V PC, Carbon Bronze XTOR3B-WV-PC1, 26W, 4000K, 120V PC, Carbon Bronze	XTOR3B-WV-PC1, 38W, 4000K, 120V PC, Carbon Bronze XTOR3B-WV-PC1, 38W, 4000K, 120V PC, Carbon Bronze XTOR3B-WV-PC1, 38W, 4000K, 120V PC, Carbon Bronze

**Submitted On:** May 4, 2018

Submitted by Reflex Lighting Group, Inc. Job Name: 51 ALDER STREET Notes: BUILDING LEFT AND RIGHT Catalog Number: XTOR2B Type: BOST18-115344

**DESCRIPTION**

The patented Lumark Crosstour™ LED Wall Pack Series of luminaires provides an architectural style with super bright, energy efficient LEDs. The low-profile, rugged die-cast aluminum construction, universal back box, stainless steel hardware along with a sealed and gasketed optical compartment, make the Crosstour™ impervious to contaminants. The Crosstour wall luminaire is ideal for wall surface, inverted mount for landscape/wayway illumination, posttop/stand, site lighting, floodlight and low level pathway illumination including stairs. Typical applications include building entrances, multi-use facilities, apartment buildings, institutions, schools, stairways and loading docks test.

**SPECIFICATION FEATURES**

**Construction**  
Slim, low-profile LED design with rugged one-piece, die-cast aluminum hinged removable door and back box. Matching housing styles incorporate both a small and medium design. The small housing is available in 12W, 18W and 26W. The medium housing is available in the 38W model. Patented secure lock hinge feature allows for safe and easy tool-less electrical connections with the supplied push-in connector. Back box includes three half-inch, NPT threaded conduit entry points. The universal back box supports both the small and medium forms and mounts to standard 5/16" to 4" round and octagonal, 4" square, single gang and masonry junction boxes. Key hole gasket allows for adaptation to junction box or wall. External fin design extracts heat from the fixture surface. One-piece silicone gasket seals door and back box. Minimum 6" wide pole for site lighting application. Not recommended for car wash applications.

**Optical**  
Silicone sealed optical LED chamber incorporates a custom engineered mirrored anodized reflector providing high-efficiency illumination. Optical assembly includes impervious tempered glass and meets IESNA requirements for full cutoff compliance. Available in seven lumen packages: 500K, 400K and 300K CCT.

**Electrical**  
LED driver is mounted to the die-cast housing for optimal heat sinking. LED thermal management system incorporates both conduction and natural convection to transfer heat rapidly away from the LED source. 12W, 18W, 26W and 38W series operate in -40°C to 40°C (-40°F to 104°F). High ambient 50°C models available. Crosstour™ luminaires maintain greater than 85% of initial light output after 72,000 hours of operation. Three entry points allow for three-branch wiring. Back box is an authorized application.

**Finish**  
Crosstour is protected with a Super durable TQC carbon bronze or summi white polyester powder coat paint. Super durable TQC powder coat paint finishes withstand extreme climate conditions while providing optimal color and gloss retention of the installed life.

**Warranty**  
Five-year warranty.

**APPLICATIONS:**  
WALL / SURFACE  
POST / STAIR  
LOW LEVEL  
FLOODLIGHT  
INVERTED  
SITE LIGHTING

**Dimensions:** 12W, 18W, 26W, 38W. 5.34" (137mm) 8" (203mm). 12W, 18W, 26W, 38W. 5.34" (137mm) 8" (203mm). 12W, 18W, 26W, 38W. 5.34" (137mm) 8" (203mm). 12W, 18W, 26W, 38W. 5.34" (137mm) 8" (203mm).

**CERTIFICATION DATA**  
UL94 V-0 Location Listed  
ASTM D3028 Compliant  
ROHS Compliant  
NOM Compliant  
NOM Complete Models  
IP68 Ingress Protection Rated  
Type 24 Compliant  
Only Luminaire Conversion ("DualFit")

**TECHNICAL DATA**  
40°C Maximum Ambient Temperature  
External Supply Wiring 90°C Min. Minimum

**EPA**  
Effective Projected Area (Sq. Ft.)  
XTOR2B, XTOR2B, XTOR2B, XTOR2B

**SHIPPING DATA:**  
Approximate Net Weight:  
37 - 5.25 lbs. (1.7 - 2.4 kg.)

**Submitted On:** May 4, 2018

**Luminaire Schedule**

Symbol	Qty	Label	Arrangement	Description
1	2	LUMARK 3	SINGLE	XTOR3B
2	2	LUMARK 3	SINGLE	XTOR2B

**Calculation Summary**

Label	Units	Avg	Max	Min	Avg/Min	Max/Min
SITE Planar	Fc	0.16	6.9	0.0	N.A.	N.A.
PARKING LOT	Fc	0.74	6.9	0.0	N.A.	N.A.

**Submitted On:** May 4, 2018

Submitted by Reflex Lighting Group, Inc. Job Name: 51 ALDER STREET Notes: BUILDING LEFT AND RIGHT Catalog Number: XTOR2B Type: BOST18-115344

**POWER AND LUMENS BY FIXTURE MODEL**

LED Information	XTOR2B	XTOR2B-W	XTOR2B-Y	XTOR2B-W	XTOR2B-Y	XTOR2B-W	XTOR2B-Y	XTOR2B-W	XTOR2B-Y	XTOR2B-W	XTOR2B-Y
Delivered Lumens (lm)	1,418	1,396	1,327	2,135	2,103	1,997	2,751	2,710	2,675	4,269	4,205
Delivered Lumens (lm)	1,005	990	948	1,495	1,472	1,399	2,099	2,068	1,995	3,168	3,121
RUG Rating	B1-10-00	B1-10-00	B1-10-00	B1-10-00	B1-10-00	B1-10-00	B1-10-00	B1-10-00	B1-10-00	B2-10-00	B2-10-00
CR (Ra)	90	90	90	90	90	90	90	90	90	90	90
Power Consumption (Watt)	12W	12W	12W	18W	18W	18W	26W	26W	26W	38W	38W

**LUMEN MAINTENANCE**

Ambient Temperature	TM 21 Lumen Maintenance (72,000 Hours)	Theoretical L70 (Hours)
25°C	> 90%	255,000
40°C	> 85%	234,000
50°C	> 80%	215,000
XTOR2B Model		
25°C	> 89%	245,000
40°C	> 85%	212,000
50°C	> 80%	195,000
XTOR2B Model		
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40°C	> 85%	212,000
50°C	> 80%	195,000
XTOR2B Model		
25°C	> 89%	222,000
40°C	> 85%	198,000
50°C	> 80%	184,000

**CURRENT DRAW**

Voltage	XTOR2B	XTOR2B-W	XTOR2B-Y	XTOR2B
180V	0.002A	0.05A	0.02A	0.04A
208V	0.002A	0.05A	0.02A	0.04A
240V	0.002A	0.05A	0.02A	0.04A
277V	0.002A	0.05A	0.02A	0.04A
347V	0.002A	0.05A	0.02A	0.04A

**Submitted On:** May 4, 2018

**TOWN OF MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD**

**SIGNATURES**

**APPROVAL DATE**

**ENDORSEMENT DATE**

**REVISIONS**

REVISIONS	COMMENTS
6/27/16	CONSERVATION COMMISSION COMMENTS
8/5/16	CONSERVATION COMMISSION COMMENTS
8/15/16	CONSERVATION COMMISSION COMMENTS
8/22/16	REQUEST FOR WAIVERS
3/19/18	REVIEW ENGINEER/PLANNING BOARD COMMENTS
4/2/18	REVIEW ENGINEER/PLANNING BOARD COMMENTS
6/4/18	REVIEW ENGINEER/PLANNING BOARD DECISION

**SITE PLAN DETAILS**

**#50 ALDER STREET**

**MEDWAY, MASSACHUSETTS**

**PREPARED FOR:**  
ALDER STREET REALTY LLC  
119 MILFORD STREET  
MEDWAY, MA 02053

**MARCH 30, 2016**  
SCALE: AS SHOWN  
JOB No. 15-307

**GRADY CONSULTING, L.L.C.**  
Civil Engineers and Land Surveyors  
71 Evergreen Street, Suite 1, Kingston, MA 02364  
Phone (781) 585-2300 Fax (781) 585-2378

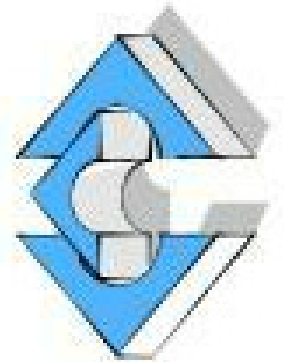
**Submitted On:** May 4, 2018

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ARCHITECTS

P.O. Box 6587  
Holliston, MA 01746  
V 774-233-0176  
www.clintondesign.com

MILWAY AUTO

51 ADLER STREET  
MEDWAY MA

Drawn By	Author
Checked	Checker
Project	5/23/18
Revisions	

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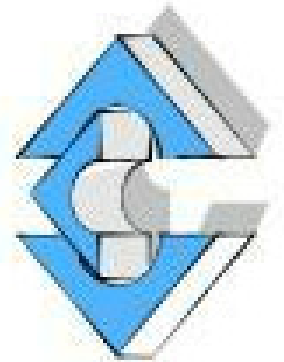


3 D VIEWS

Scale:

AO





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MILWAY AUTO

51 ADLER STREET  
MEDWAY MA

Drawn By	Author
Checked	Checker
Project	5/25/18
Revisions	

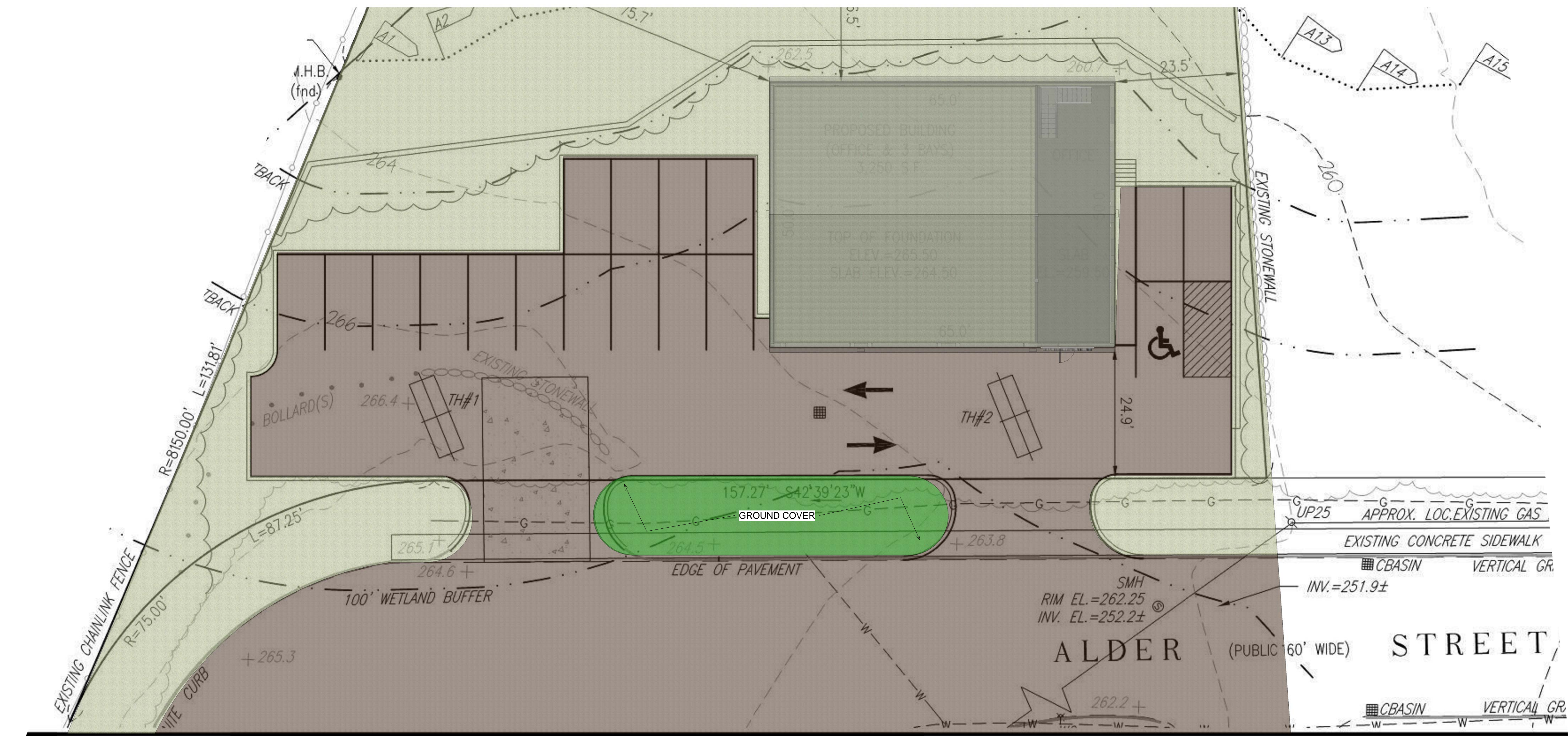
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SITE PLAN

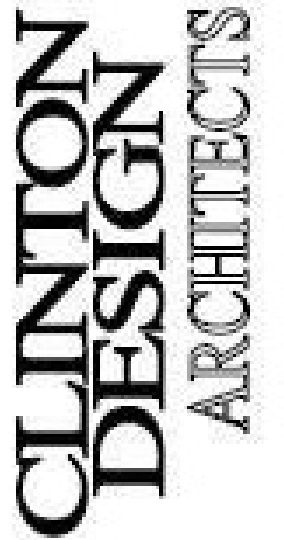
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AO.1



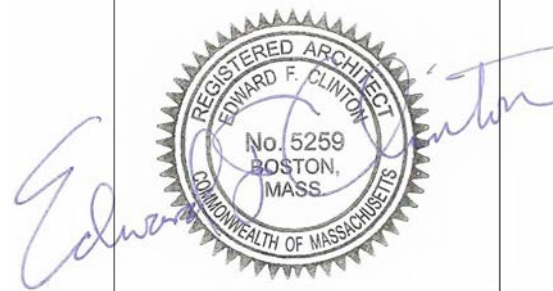
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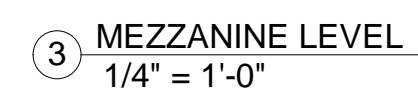


MILWAY AUTO  
51 ADLER STREET  
MEDWAY MA

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A1



① Level 1  
1/4" = 1'-0"

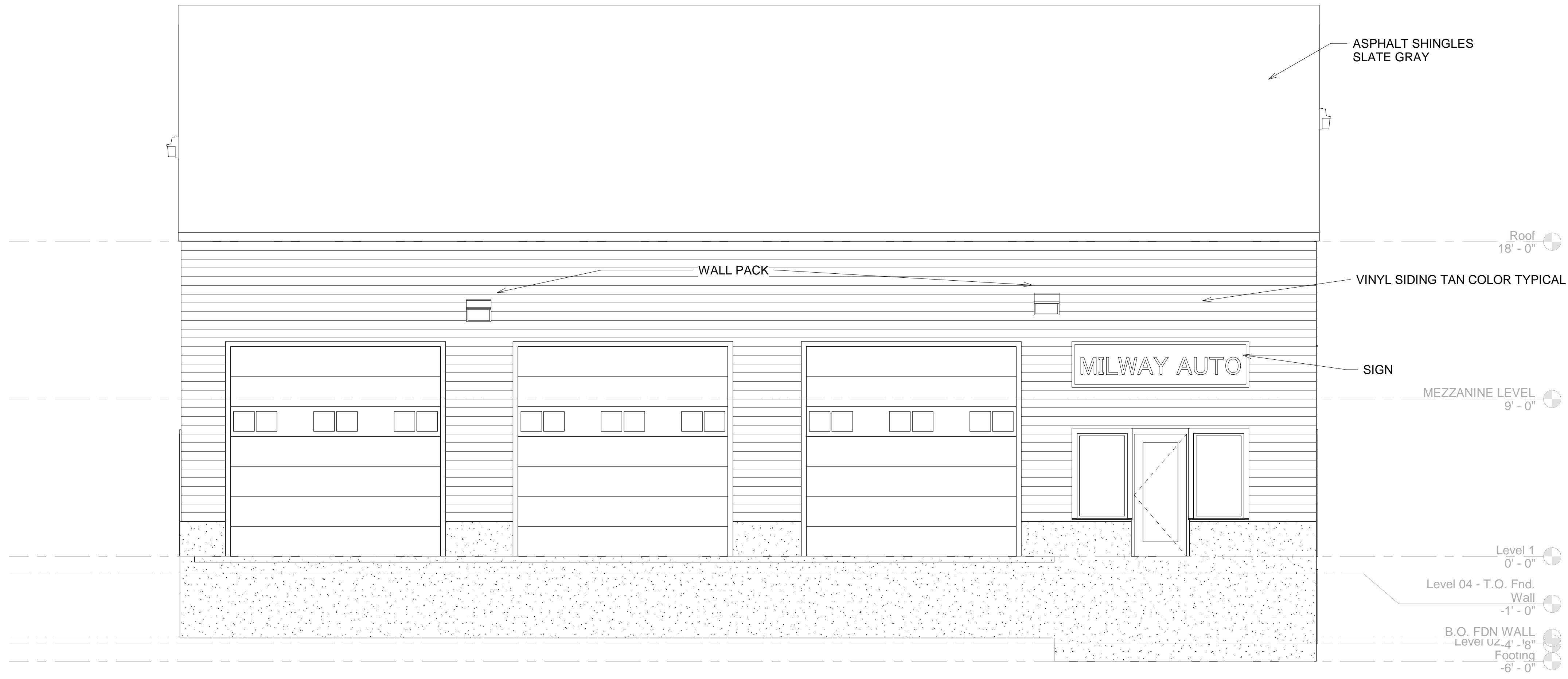
② BASEMENT  
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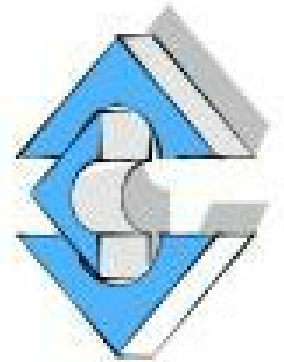
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② East  
1/4" = 1'-0"



① South  
1/4" = 1'-0"



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V 774-233-0176  
www.clintondesign.com

MILWAY AUTO  
51 ADLER STREET  
MEDWAY MA

Drawn By	EFC
Checked	EFC
Project	52518
Revisions	

5/25/2018 9:35:44 AM

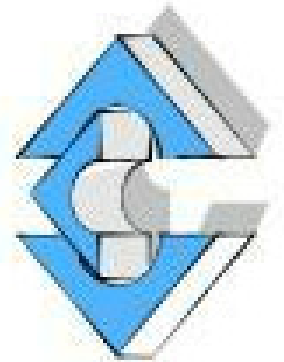


ELEVATIONS

Scale: 1/4" = 1'-0"

A2





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MILWAY AUTO

51 ADLER STREET  
MEDWAY MA

Drawn By	Author
Checked	Checker
Project	5/25/18
Revisions	

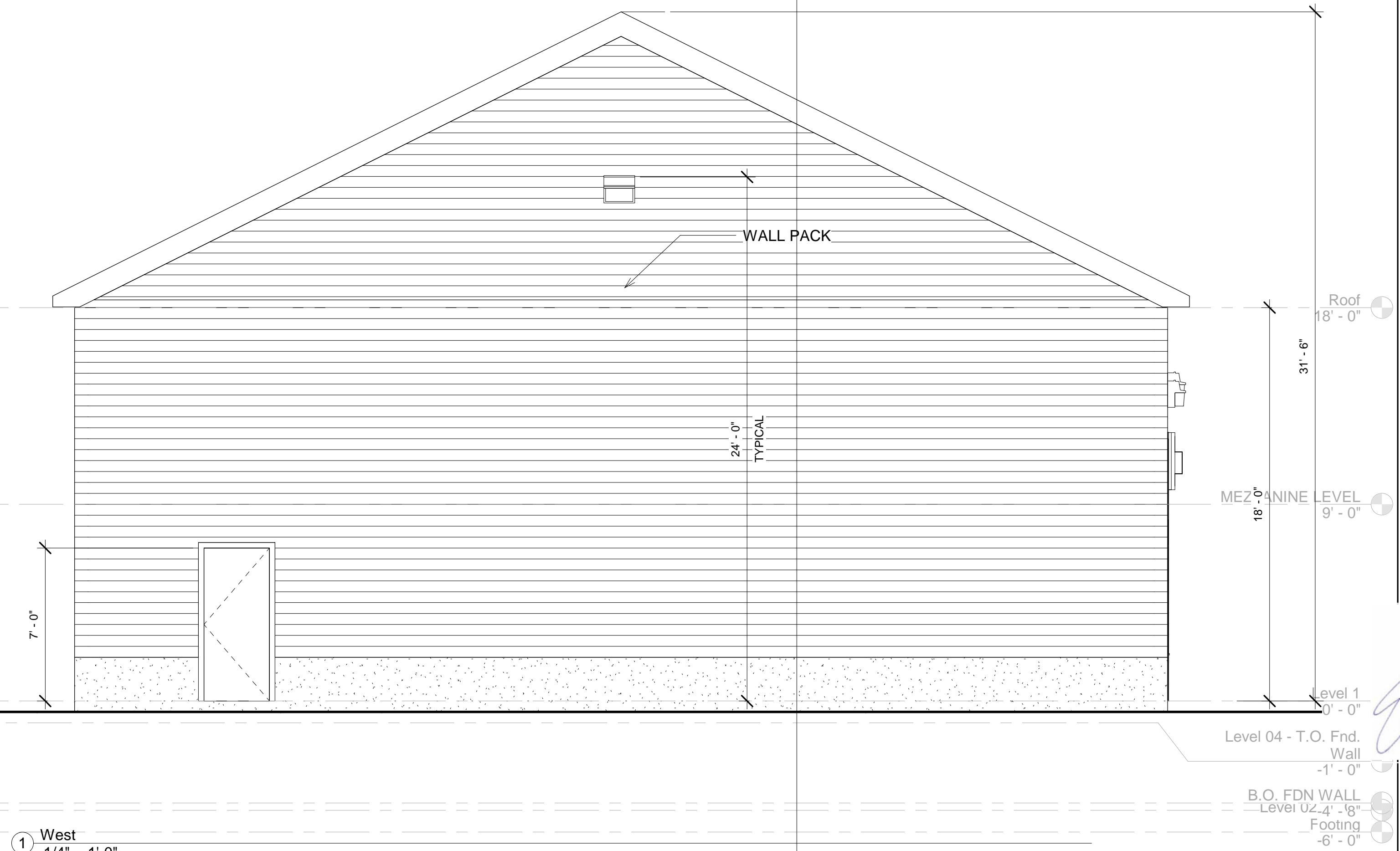
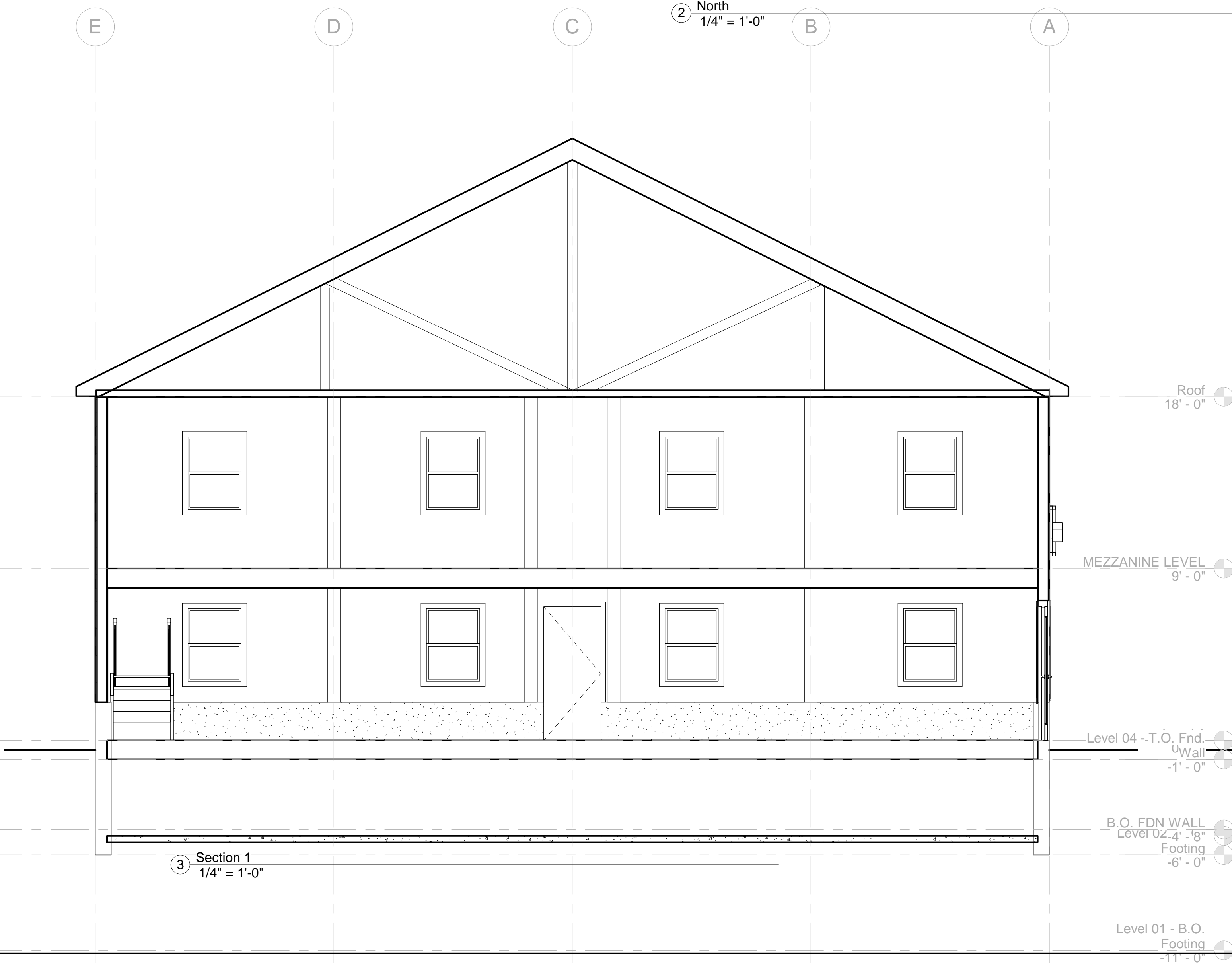
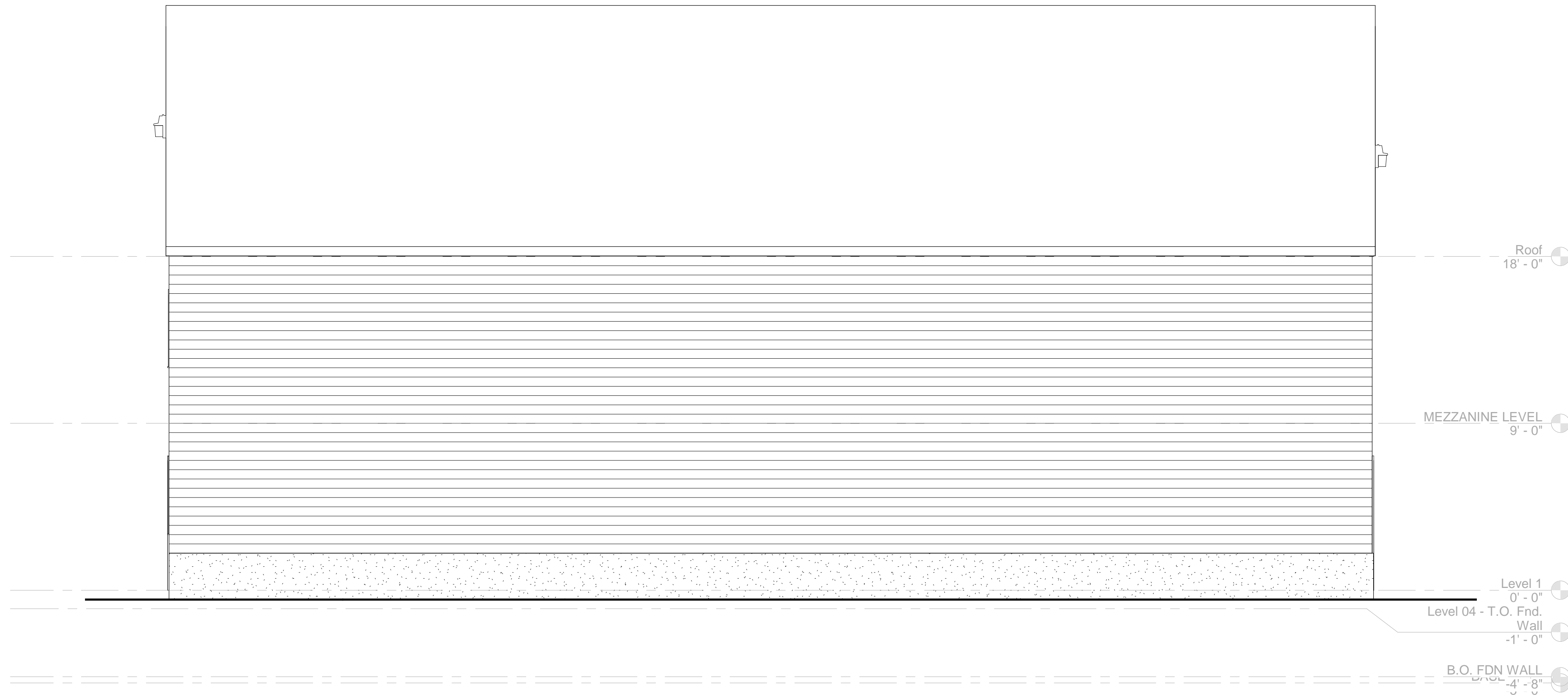
5/25/2018 9:35:45 AM



ELEVATIONS

Scale: 1/4" = 1'-0"

A3





## Susan Affleck-Childs

---

**From:** Bouley, Steven <Steven.Bouley@tetrattech.com>  
**Sent:** Wednesday, June 06, 2018 12:54 PM  
**To:** Susan Affleck-Childs  
**Subject:** RE: milway auto - site plan endorsement

Hi Susy,

I reviewed the updated plans against the decision and all items have been completed. Please let me know if you need anything else, thanks.

Steve

**Steven M. Bouley, P.E. | Senior Project Engineer**  
Direct: 508.786.2382 | Main: 508.786.2200 | Fax: 508.786.2201  
[steven.bouley@tetrattech.com](mailto:steven.bouley@tetrattech.com)

PLEASE NOTE: This message, including any attachments, may include privileged, confidential and/or inside information. Any distribution or use of this communication by anyone other than the intended recipient is strictly prohibited and may be unlawful. If you are not the intended recipient, please notify the sender by replying to this message and then delete it from your system.

---

**From:** Susan Affleck-Childs [mailto:sachilds@townofmedway.org]  
**Sent:** Tuesday, June 05, 2018 4:25 PM  
**To:** Bouley, Steven <Steven.Bouley@tetrattech.com>  
**Subject:** milway auto - site plan endorsement

Hi,

See attached revised plan just in from Paul Seaberg at Grady.

Please send me a completely memo indicating that you have reviewed and it includes everything noted in the decision.

Thanks.

*Susy*

Susan E. Affleck-Childs  
Planning and Economic Development Coordinator

Town of Medway  
155 Village Street  
Medway, MA 02053  
508-533-3291  
[sachilds@townofmedway.org](mailto:sachilds@townofmedway.org)

Town of Medway – *A Massachusetts Green Community*

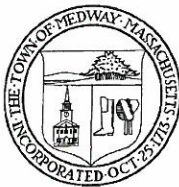
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**TOWN OF MEDWAY**  
**Planning & Economic Development Board**  
155 Village Street  
Medway, Massachusetts 02053

*Andy Rodenhiser, Chairman*  
*Robert K. Tucker, Vice-Chairman*  
*Thomas A. Gay, Clerk*  
*Cranston (Chan) Rogers, P.E.*  
*Karyl Spiller Walsh*

**Request for Medway Treasurer/Collector's  
Verification of Status of Paid Taxes**

**Date:** June 5, 2018

**Applicant's Name:** Alder ST Realty, LLC

**Subject Property Address:** 50 Alder Street

**Map/Parcel Number(s):** 63-001-001

**Project Name:** Milway Auto

**Type of Permit:** Major Site Plan Endorsement

**Please indicate the status of taxes/fees owed to the Town:**

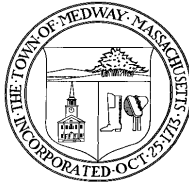
- ☒ By checking this box and with my signature below, I verify that all taxes owed the Town of Medway for the subject property(s) noted above are **paid in full** as of this date.
- ☐ By checking this box and with my signature below, I verify that all taxes owed the Town of Medway for other properties owned by the applicant noted above are **paid in full** as of this date.
- ☐ By checking this box and with my signature below, I verify that the **Town is owed taxes** on properties owned by the above noted applicant. Briefly explain on the lines below. Please attach a report that indicates the property address, what taxes are owed, and the respective amounts.

*Karyl Spiller Walsh*  
Signature

*6/6/2018*  
Date

**Please complete and return to the Planning and Economic Development office.**





**TOWN OF MEDWAY**  
**Planning & Economic Development Board**  
155 Village Street  
Medway, Massachusetts 02053

*Andy Rodenhiser, Chairman  
Robert K. Tucker, Vice-Chairman  
Thomas A. Gay, Clerk  
Matthew J. Hayes, P.E.  
Richard Di Iulio*

May 23, 2018

Mr. Phil Anza  
Alder Street Realty LLC  
119 Milford Street  
Medway, MA 02053

RE: Milway Auto Site Plan – Construction Services

Dear Phil,

As specified in the Milway Auto site plan decision, one of the requirements that must be completed before the Planning and Economic Development Board will officially “endorse” the site plan is for the Applicant to fund the Construction Account for this project. The Board has determined that the assistance of outside consultants is needed to provide construction observation and inspection services for the infrastructure and site improvements components of the Milway Auto project at 50 Alder Street. The primary outside consultant will be Tetra Tech, the Town’s Consulting Engineer. The Board may determine that it needs other consultants and will engage them if needed.

Funds in the Milway Auto Construction Account will be used to pay for Tetra Tech’s services which will include:

- Pre-construction meetings/consultations
- Site inspections during construction
- On-going inspections of the functioning of the stormwater system throughout construction
- Preparation of inspection reports
- Meetings with developer and/or contractors as needed
- Preparation of bond estimates and reductions
- Attendance at Planning & Economic Development Board mtgs. as needed
- Consultations with residents/neighbors during construction if needed
- Inspections for punch list and project completion
- Review of as-built plans
- Other meetings as appropriate
- Expenses - travel, telephone, copying, blueprints, etc.

508-533-3291

[planningboard@townofmedway.org](mailto:planningboard@townofmedway.org)



Tetra Tech has prepared an estimate for its construction inspection services for your project. Attached is a copy of their estimate in the amount of \$8,657 dated May 16, 2018. The estimate was approved by the Board at its May 22, 2018 meeting. Attached is an invoice for \$8,657.

Please be advised that the Board may also retain the services of Town Counsel Mark Reich of KP Law to provide legal services/advice if needed during project construction and completion. You are responsible for providing additional Construction Account funds if the Town's cost for outside consultants is greater than the fees you have paid into the account. The Planning and Economic Development office will keep you apprised of the status of the Milway Auto construction account and will invoice you for additional funds if necessary. Any balance remaining at the end of the project will be refunded to you.

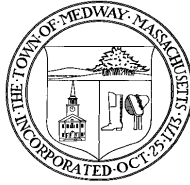
Thank you for your attention to this matter. Please contact me if you have any questions. ***Please note that the Board must receive a payment of \$8,657 for the Construction Account prior to its endorsement of the Milway Auto site plan.***

Sincerely,

A handwritten signature in black ink, appearing to read "Susan E. Affleck-Childs", with a stylized flourish at the end.

Susan E. Affleck-Childs  
Planning and Economic Development Coordinator





**TOWN OF MEDWAY**  
**Planning & Economic Development Board**  
155 Village Street  
Medway, Massachusetts 02053

*Andy Rodenhiser, Chairman*  
*Robert K. Tucker, Vice-Chairman*  
*Thomas A. Gay, Clerk*  
*Matthew J. Hayes, P.E.*  
*Richard Di Iulio*

***INVOICE***

May 23, 2018

Mr. Phil Anza  
Alder Street Realty LLC  
119 Milford Street  
Medway, MA 02053

RE: Milway Auto Site Plan – Construction Services

For professional construction observation services to be provided by Tetra Tech, Inc. for the Milway Auto project at 50 Alder Street.

***Tetra Tech Fee Estimate      \$8,657***

***Make check payable to:      Town of Medway***

Please mail or drop off check to:  
Medway Planning & Economic Development  
155 Village Street  
Medway, MA 02053





**June 12, 2018**  
**Medway Planning & Economic Development Board**  
**Meeting**

**Construction Reports**

- Tetra Tech Report #1 – Merrimack Building Supply – May 9, 2018
- BETA Reports on Exelon Expansion Project – April 17, 20 & 25, 2018
- Exelon Monthly Construction Update – May 23, 2018
- Beals and Thomas Progress Inspection Report #9 for Exelon – May 15, 2015



Tetra Tech  
100 Nickerson Road, Suite 200  
Marlborough, MA 01752

# FIELD REPORT

Project Merrimack Building Supply	Date 5/9/2018	Report No. 1
Location 20 Trotter Drive, Medway, MA	Project No. 143-21583-17004	Sheet 1 of 2
Contractor Barrows Contracting (Site Contractor)	Weather P.M. MOSTLY SUNNY, LIGHT BREEZE, DRY	Temperature P.M. 84°F

## FIELD OBSERVATIONS

On Wednesday, May 9, 2018, David Homan from Tetra Tech (TT) visited the project location to inspect the current condition of the site and monitor construction progress. The following report outlines observations made during the site visit.

### 1. Observations

- A. General site conditions: dry to damp ground surface that is relatively firm. Entrance off driveway from Trotter Dr. is mostly clear. Silt fence barrier (SFB) is installed around the site perimeter. Filter socks are placed just inside the SFB. Both are intact and in good condition. Numerous areas of stockpiled soil, sand and gravel were noted across the NNE portion of the site, as were construction materials including rebar, HDPE drain pipe and PVC conduit. Precast concrete utility structures were noted in a couple areas roughly S of the existing building.
- B. Footings and foundation work is currently underway at the proposed building addition. Presently the foundation is complete on the N side and about 75% of the E side. Styrofoam insulation board is in place along the interior foundation walls. Footings are constructed with rebar installed for the remaining portion of the E side wall. Formwork for footings on S and W side walls are in place and ready for concrete pour. 5 or more roughly square excavations up to several feet deep are open within the proposed building addition footprint for additional footings.

CONTRACTOR'S FORCE AND EQUIPMENT						WORK DONE BY OTHERS	
Sup't	1	Bulldozer	1	Asphalt Paver		Dept. or Company	Description of Work
Foreman		Backhoe		Asphalt Reclaimer		Dennis DiGiando Corp.	Oversight
Laborers		Loader		Vib. Roller			
Drivers		Rubber Tire Backhoe/Loader		Static Roller			
Oper. Engr.	1	Skid Steer		Vib. Walk Comp.	1		
Carpenters		Hoeram		Compressor			
Masons		Excavator	1	Jack Hammer			
Iron Workers		Grader		Power Saw			
Electricians		Crane		Conc. Vib.			
Flagpersons		Scraper		Tack Truck			
Surveyors		Conc. Mixer		Man Lift			
Roofers		Conc. Truck				OFFICIAL VISITORS TO JOB	
Mechanical/HVAC		Conc. Pump Truck					
		Pickup Truck	2				
		Tri-Axle Dump Truck					
		Trailer Dump Truck					
Police Details: N/A						RESIDENT REPRESENTATIVE FORCE	
Contractor's Hours of Work: 7:00 A.M. to 6:00 P.M.						Name	Time on-site
						David Homan	2:55 A.M. – 3:50 P.M.

NOTE: Please use reverse side for remarks and sketches



Project Merrimack Building Supply	Date 5/9/2018	Report No. 1
Location 20 Trotter Drive, Medway, MA	Project No. 143-21583-17004	Sheet 2 of 2

## **FIELD OBSERVATIONS CONTINUED**

- C. The proposed swale with check dams, infiltration basin and forebay at the SE portion of the property have all been partially excavated (February).
- D. The site contractor has completed the installation of a 15" HDPE drain pipe running WSW to ENE along the NNW side of the proposed new addition with 4 roof drain cleanouts in place and connected. Just beyond the NNE corner of the proposed addition, the 15" drain pipe is reduced to 12" HDPE drain pipe. The drain pipe system is currently capped off at the NNE corner of the existing building where it meets the proposed addition foundation and extends roughly 25' ENE of the NNE corner of the proposed addition. Note: The drain pipe at the NNE corner of the proposed addition was installed approximately 4" higher in elevation than plan specification due to the presence of a large boulder underlying a portion of the N side footing/foundation wall. The drain pipe and associated downspout cleanout connections were backfilled with  $\frac{3}{4}$ " gravel, then existing site fill material before compaction and installation of a foundation layer of sand for a temporary electrical conduit trench.
- E. The site contractor is presently excavating within the proposed building addition footprint at the NNE corner where permanent electrical conduit and telecommunications trenches will enter the building. The electrical contractor is expected to be onsite tomorrow completing the temporary electric lines and a portion of the permanent electric lines. Shortly thereafter the sizing and installation of a proposed new transformer pad with transformer is expected to take place, replacing an existing transformer located outside the ESE corner of the existing building (within current proposed addition footprint). Subsequent to the installation of the new transformer, electric utility provider is expected to run electric lines from the street to the new transformer and energize. The site contractor anticipates additional tree work to be performed to allow access to the street from the transformer.

### **2. Schedule**

- A. Building foundation contractor is expected to continue footing/foundation work tomorrow.
- B. Site contractor may begin excavation of proposed rain garden near NE property corner by the end of this week.

### **3. New Action Items**

- A. N/A

### **4. Previous Open Action Items**

- A. N/A

### **5. Materials Delivered to Site Since Last Inspection:**

- A. N/A





ENGINEERING SUCCESS TOGETHER

## MEMORANDUM

Date: May 25 2018  
To: Ms. Susan Affleck-Childs  
From: William P. McGrath, P.E. BETA Project #: 5491  
Subject: Exelon Site Plan Review

The following is an update on progress for the period March 31, 2018 through April 27, 2018.

- o Site inspections for drainage installation and site grading on 4/17/2018, 4/20/2018 and 4/25/2018. Daily reports attached.
- o Coordination with Doug Blakely regarding construction activities and schedule.



Ref: Document1















## **Susan Affleck-Childs**

---

**From:** Rodgers, Mark J:(BSC) <Mark.Rodgers@exeloncorp.com>  
**Sent:** Wednesday, May 23, 2018 2:51 PM  
**To:** Rodgers, Mark J:(BSC)  
**Subject:** Monthly Construction Update: Exelon Generation Medway Peaker Project

### **Exelon Generation Medway Peaker Project: Monthly Construction Update, 5/22/18**

Recent construction and site activities have included:

- Central portion of the site around the energy generating structures has been brought to finished grade with crushed stone.
- Concrete pours have diminished with only a few remaining structures in the central portion of the site.
- Light pole caissons have been installed throughout the central portion of the site.
- Fuel piping caissons have been installed in the northern central portion of the site.
- Interior finish work continues on the Admin Building.
- The demineralized water tank and raw water tank installations are complete. Tanks await completion of painting and testing.
- Workers continue to erect and weld the fuel oil tank.
- Ammonia tank installation is complete.
- Air inlet ducts installation for turbine units are complete.
- Various components of the power generating system are now set on foundations and are being aligned.
- Exhaust stacks have been installed to the full design height and construction scaffolding is being removed.
- The heat exchanger support installations are structurally complete and appurtenances to the cooling fan units, personnel walk platforms, and cable trays are being set atop the supports.
- Final fence installation began around structures at the Metering & Regulating Station
- Electric utility installation at the Metering & Regulating Station will be completed in late spring to connect to the adjacent existing transformer.
- Concrete washout station in the southeastern portion of the gravel/soil stockpile is being routinely monitored and maintained as needed.
- Various soil stockpiles are actively stabilized via tarps and seeding where necessary.
- Silt fences, straw bales, and straw wattles are being routinely monitored and maintained as needed.
- Silt sacks in the catch basins in Summer Street are being routinely monitored and maintained as needed.
- 24/7 security details remain in place at site entrance.





*Aerial view facing east. Stack and air inlet duct installation is complete.*



*The central portion of the site around the energy generating structures has been brought up to finished grade with crushed stone placed on top of geotextile fabric over the compacted process gravel base.*

Construction updates are also posted to our project website: [www.medwayenergy.com](http://www.medwayenergy.com).

*Please note, you are receiving this because you signed up to receive our monthly construction updates. If you wish to no longer receive these emails, please reply and write Unsubscribe in the subject line.*

**Thank you for your interest in our project. If you ever have any questions, concerns, or complaints, we have a 24x7 hotline you can call: 508-321-7311. We respond to all calls within 24 hours. Alternatively, you can use our online contact form, we also respond to those inquiries within 24 hours, that link is:**  
<http://www.medwayenergy.com/submit-project-construction-message>.

You can also feel free to reach out directly to me at the contact information below.



Thank you.

Best,

Mark

Mark Rodgers



Manager, Generation Communications – NE Region

617-699-6327

[mark.rodgers@exeloncorp.com](mailto:mark.rodgers@exeloncorp.com)

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# BEALS + THOMAS

BEALS AND THOMAS, INC.  
Reservoir Corporate Center  
144 Turnpike Road  
Southborough, MA 01772-210



## PROGRESS INSPECTION REPORT

**Inspection Date:** 5/15/2018

**Inspector:** Eric J. Las, PE, LEED AP, Beals and Thomas, Inc.

**Inspection Report Number:** 9

### PERMIT COMPLIANCE

**Proceeding per approved site plan?**

YES ☒ NO ☐ If not, note area and explain:

This report has been prepared in compliance with Specific Condition IX.M.4 of the Site Plan Decision, dated July 26, 2016

**Project Name:**

**West Medway II**

**Location:** Medway, MA

**B+T Job#:** 1422.10

**Local Approvals:** Order of Conditions DEP File No. 216-0879, Site Plan Decision, Host Community Agreement

### Introduction:

Exelon West Medway II LLC respectfully submits this construction progress inspection report for the West Medway II project. The purpose of this report is to document the in-progress work with respect to the approved site plans and associated conditions for the Planning and Economic Development Board. This report summarizes noteworthy activities conducted on site from April 18, 2018 to May 15, 2018. Please also refer to the enclosed Photo Log.

\*For limited areas of the site not observed by Beals and Thomas, items denoted herein with an (\*) are based on Exelon's Erosion Control Inspection Reports.

### Current Work Activities, Comments, and Observations:

- Central portion of the site around the energy generating structures has been brought to finished grade with crushed stone.
- Concrete pours have diminished with only a few remaining structures in the central portion of the site.
- Light pole caissons have been installed throughout the central portion of the site.
- Fuel piping caissons have been installed in the northern central portion of the site.
- Interior finish work continues on the Admin Building.
- The demineralized water tank and raw water tank installations are complete. Tanks await completion of painting and testing.
- Workers continue to erect and weld the fuel oil tank.
- Ammonia tank installation is complete.
- Air inlet ducts installation for turbine units are complete.
- Various components of the power generating system are now set on foundations and are being aligned.
- Exhaust stacks have been installed to the full design height and construction scaffolding is being removed.
- The heat exchanger support installations are structurally complete and appurtenances to the cooling fan units, personnel walk platforms, and cable trays are being set atop the supports.
- Final fence installation began around structures at the Metering & Regulating Station
- Electric utility installation at the Metering & Regulating Station will be completed in late spring to connect to the adjacent existing transformer.
- \*Concrete washout station in the southeastern portion of the gravel/soil stockpile is being routinely monitored and maintained as needed.
- Various soil stockpiles are actively stabilized via tarps and seeding where necessary.
- \*Silt fences, straw bales, and straw wattles are being routinely monitored and maintained as needed.
- \*Silt sacks in the catch basins in Summer Street are being routinely monitored and maintained as needed.
- 24/7 security details remain in place at site entrance.

  
Authorized Signature

5/15/18

Date

### PROPERTY OWNER:

Exelon West Medway II, LLC

Attn: Todd Cutler, Esq.  
Associate General Counsel

Phone: 610-765-5602

Email: [todd.cutler@exeloncorp.com](mailto:todd.cutler@exeloncorp.com)

Attn: Pete Callahan,  
Project Director

Phone: 617-381-2332

Email: [Pete.Callahan@constellation.com](mailto:Pete.Callahan@constellation.com)

Attn: Doug Blakeley,  
Environmental Monitor

Phone: 518-265-7354

Email: [doug.blakeley@aptim.com](mailto:doug.blakeley@aptim.com)

### TOWN OF MEDWAY

Attn: Michael E. Boynton,  
Town Administrator

Phone: 508-533-3264

Email: [mboynton@townofmedway.org](mailto:mboynton@townofmedway.org)

Attn: Bridget Graziano,  
Conservation Agent

Phone: 508-533-3292

Email: [bgraziano@townofmedway.org](mailto:bgraziano@townofmedway.org)

Attn: Susan Affleck-Childs, Planning &  
Economic Development Coordinator

Phone: 508-533-3291

Email: [sachilds@townofmedway.org](mailto:sachilds@townofmedway.org)

### ENVIRONMENTAL CONSULTANTS

Beals and Thomas, Inc.

Attn: Eric J. Las, PE, LEED AP  
Principal

Phone: 508-366-0560

Email: [elas@bealsandthomas.com](mailto:elas@bealsandthomas.com)

Epsilon Associates, Inc.

Attn: Michael Howard  
Principal & Manager

Phone: 978-461-6247

Email: [mhoward@epsilonassociates.com](mailto:mhoward@epsilonassociates.com)



**BEALS + THOMAS****Exelon Generation**

# PHOTOGRAPHIC LOG

**Client Name:**Exelon West  
Medway II**Photo:** West Medway II**Location:** Medway, MA**Project No:**

1422.10



**Photo  
No: 1****Date:**  
5/14/18**Description:**Aerial view facing  
north.Installation of  
appurtenances to  
the heat exchangers  
is in progress in the  
central portion of the  
site.

(right-side of photo)



**Client Name:**Exelon West  
Medway II**Photo:** West Medway II**Location:** Medway, MA**Project No:**

1422.10

**Photo  
No: 2****Date:**  
5/14/18**Description:**Aerial view facing  
east.Stack and air inlet  
duct installation is  
complete.  
Temporary  
construction  
scaffolding from the  
main exhaust stacks  
is being removed.

<b>Client Name:</b> Exelon West Medway II		<b>Photo:</b> West Medway II <b>Location:</b> Medway, MA	<b>Project No:</b> 1422.10
<b>Photo No:</b> 3	<b>Date:</b> 5/15/18		
<b>Description:</b>  View facing northeast.  Work continues to erect and weld the fuel oil tank. Walls are erected to full height and the top is being installed.			
<b>Client Name:</b> Exelon West Medway II		<b>Photo:</b> West Medway II <b>Location:</b> Medway, MA	<b>Project No:</b> 1422.10
<b>Photo No:</b> 4	<b>Date:</b> 5/15/18		
<b>Description:</b>  View facing south.  Fuel piping caissons have been installed throughout the northern central portion of the site.			



<b>Client Name:</b> Exelon West Medway II		<b>Photo:</b> West Medway II <b>Location:</b> Medway, MA	<b>Project No:</b> 1422.10
<b>Photo No:</b> 5	<b>Date:</b> 5/15/18		
<b>Description:</b>  View facing southwest.  Central portion of the site around the energy generating structures has been brought up to finished grade with crushed stone placed on top of geotextile fabric over the compacted process gravel base.			
<b>Client Name:</b> Exelon West Medway II		<b>Photo:</b> West Medway II <b>Location:</b> Medway, MA	<b>Project No:</b> 1422.10
<b>Photo No:</b> 6	<b>Date:</b> 5/15/18		
<b>Description:</b>  View facing northeast.  The ammonia tank has been set on its footers in the containment.			



**June 12, 2018**  
**Medway Planning & Economic Development Board**  
**Meeting**

**Correspondence**

- 6-1-2018 PEDB approval of Field Change Order for Medway Greens, 176-178 Main Street
- 6-1-18 PEDB memo to BOS to support contract extension for Tetra Tech. Will be considered at 6-18-18 BOS meeting
- 6-1-2018 Administrative site plan decision for PJ's Smoke 'N' Grill, 98 Main Street
- Collection of emails between Susy Affleck-Childs and John Shea of Needham Bank re: Applegate performance security





**TOWN OF MEDWAY**  
**Planning & Economic Development Board**  
155 Village Street  
Medway, Massachusetts 02053

*Susan E. Affleck-Childs*  
*Planning and Economic Development Coordinator*

June 1, 2018

Mr. Mark Heavner  
Heavner Construction, Inc.  
838 Washington St  
Holliston, MA 01746

Dear Mr. Heavner

Thank you for meeting with the Planning and Economic Development Board on May 22, 2018 regarding the Medway Green multifamily housing development to be constructed at the northeast corner of Main and Mechanic Streets on the property at 176 and 178 Main Street. A total of eight townhouse dwelling units were previously authorized by special permit from the Board on May 21, 2017. On February 20, 2018, the Board approved an extension of the deadline to initiate construction to September 21, 2018 and to complete the project by December 21, 2019.

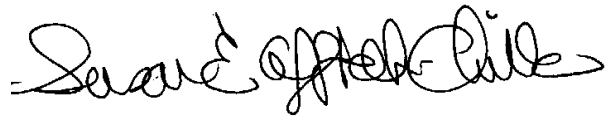
You have contacted the Board requesting a construction field change. You have proposed making an adjustment in the height of the top of concrete for the poured concrete foundation wall for the Medway Green building facing Main Street. You wish to reduce the height of the foundation wall from 10' 4" to 8'. This will reduce the first floor elevation of the building from 6' above grade so it will be closer to the existing sidewalk grades on Main Street. In turn, this adjustment will decrease the number of front steps from the Main Street sidewalk to the front doors from ten or more risers to six. The height of the basement ceiling is also reduced to eight feet. No changes are planned to the garage slab grades or any of the drainage improvements.

You provided a drawing from SFGstudios of Reading, MA to the Board at the May 22 meeting. (*See Attached*) This was reviewed by the Board and Tetra Tech, the Town's engineering consultant. The Board voted to approve your request. Of course, all changes must also comply with the Building Code and be approved by the Medway Building Department.

If you have any questions, please do not hesitate to contact me at (508) 533-3291.

Thank you for undertaking the Medway Green multifamily housing development. We look forward to watching as construction progresses. We believe this project will be a wonderful enhancement to the neighborhood and provide additional housing diversity for the Medway community.

Best regards,

A handwritten signature in black ink, reading "Susan E. Affleck-Childs". The signature is fluid and cursive, with the first name "Susan" being the most prominent.

Susan E. Affleck-Childs  
Planning and Economic Development coordinator

cc: Steve Bouley, Tetra Tech  
Jack Mee, Building Commissioner



# SFGstudios

Architectural Design Services

72 Minot Street

Reading, MA 01867

781.956.9773 cell

SFGstudios@msn.com

## Building Code Information

Occupancy / Use : RESIDENTIAL USE GROUP R-3: TOWNHOUSES

Climate: 5a

Ground Snow Live Load (Pg) : 40

Basic Wind Speed (Vult): 129

Type of Construction : TYPE VB

Sprinklers Req'd : NFPA 13D

Stories / Height : 2.5 / 38'-0"

All construction methods are to comply with:

International Residential Code 2015 (IRC) with MA Amendments (780 CMR 51.00)

International Fire Code 2015 (IFC)

International Mechanical Code 2015 (IMC)

International Fuel & Gas Code 2015 (IFGC) with 248 CMR: Board of State Examiners of Plumbers and Gas Fitters.

International Pumbers Code 2015 (IPC) with 248 CMR 10.00: Uniform State Plumbing Code

International Electrical Code 2015 (IEC) with 527 CMR 12.00: Massachusetts Electrical Code (Amendments)

International Energy Efficiency Code 2015 (IEEC)

## Zoning Information

ZONE AR - II

PARCEL ID 47-036

LOT SIZE: 26,136 SF

04/04/2017 ZBA APPROVAL

04/24/2018 PERMIT SUBMITTAL

PROJECT

# Medway Green

176 Main Street  
Medway, Massachusetts

PREPARED FOR

Heavner Construction, Inc  
838 Washington St  
Holliston, MA 01746

Mark-up Plan prepared by Mark Heavner

for Planning Board meeting 5/22/2018





**TOWN OF MEDWAY**  
**Department of Community and Economic Development**  
155 Village Street - Medway, Massachusetts 02053  
508-533-3291  
[planningboard@townofmedway.org](mailto:planningboard@townofmedway.org)

June 1, 2018

**ADMINISTRATIVE SITE PLAN DECISION**  
**PJ's Smoke 'N' Grill – Smoker Enclosure**  
**98 Main Street (112 Main Street mailing address)**  
**APPROVED with CONDITIONS**

PJ's Smoke 'N' Grille has requested Site Plan Approval under Section 3.5.3.A.3. Administrative Site Plan Review of the *Medway Zoning Bylaw*.

- I. **PROJECT LOCATION** – The subject location is at 98 Main Street (*Medway map and parcel #40-055*) with a 112 Main Street mailing address in the Medway Place Shopping Center. The proposed work is to be carried out on the paved surface behind the building which PJ's Smoke 'N' Grill occupies.
- II. **DESCRIPTION of PROPOSED WORK** – The application pertains to the construction of a 24' long by 10' wide open air enclosure for an existing outdoor smoker unit on a trailer along with associated hood exhaust and sprinkler systems. The enclosure is to be fabricated from 30 gauge corrugated galvanized steel roof panels. The enclosure will be accessed only by PJ's employees for cooking and for the delivery and storage of wood fuel for the smokers. The enclosure includes two utility doors for employee access - one door along the southern wall for access from the kitchen to carry food to the smokers and one door on the eastern end primarily for wood deliveries. The enclosure will also include a set of gates on the western end to access the trailer and smokers for removal for off-site use.
- III. **PROCEDURAL HISTORY**
  - A. *May 24, 2018* – An application for administrative site plan review was filed with the Medway Building Department and Community and Economic Development office.
  - B. *May 30, 2018* - The application was filed with the Town Clerk
  - C. *May 31, 2018* - A meeting was held with the Medway Administrative Site Plan Review Team (Building Commissioner Jack Mee, Planning and Economic Development Coordinator Susan Affleck-Childs, and Director of Community and Economic Development Barbara Saint Andre) to review PJ's administrative site plan application and associated materials.
- IV. **INDEX OF SITE PLAN DOCUMENTS** – The following materials were provided for review:
  - A. Administrative Site Plan Review Application dated May 21, 2018 (and supporting documentation) for PJ's Smoke "N" Grille, at 112 Main Street, Medway, MA
  - B. Drawings prepared by Beau Designs, Bridgewater, MA, Sheets T-1, A-1 and A-2 (Smoker Enclosure Plan and Notes) dated 5-22-18.



**V. FINDINGS**

- A. Administrative site plan review is required for this project pursuant to *the Medway Zoning Bylaw* Section 3.5.3.A.3.
- B. The purpose of constructing the enclosure is to control the smoke and odors from the smoker, to mitigate impacts on abutting and nearby properties and uses.
- C. The proposed enclosure was reviewed by the Town Fire Chief and incorporates requirements of the Fire Code.

**VI. DECISION** – At its meeting on May 31, 2018, the Medway Administrative Site Plan Review Team approved the proposed installation of an enclosure for an outdoor smoker pre-as described in the administrative site plan review application and as shown on Drawings prepared by Beau Designs, Bridgewater, MA, Sheets T-1, A-1 and A-2 (Smoker Enclosure Plan and Notes) dated 5-22-18 subject to the conditions below.

**VII. SPECIFIC CONDITIONS OF APPROVAL** – Administrative approval of this site plan application is subject to the following specific conditions:

- A. The plan shall be revised to specify the planned location of the dumpster(s) used by PJ's Smoke 'N' Grill.
- B. In lieu of the proposed shiny silver materials for the enclosure, the applicant is encouraged to use alternative colors for the corrugated steel roof panels and other exterior walls. The selected colors should be similar and/or complementary to the main building.
- C. The gates on the western end of the enclosure shall remain closed at all times except when the trailer is being removed for off-site use. These doors shall have signage stating *"Doors to remain closed during cooking operations at all times"*.
- D. A maximum of one cord of wood may be stored within the enclosure at any time.
- E. No storage is allowed outside of the enclosure except for wood which shall be brought inside the enclosure within twelve hours of delivery.
- F. Remove the statement of *"no sprinkler required"* from the plan as it has been determined that a sprinkler system is in-fact required.
- G. The applicant shall provide the revised plan to the Town for endorsement by the Administrative Site Plan Review Team. Add a box on the Title Sheet for signatures, approval date and endorsement date.

**H. Construction Activities**

- 1. *Commencement* – Installation shall not begin until after the Building Department has issued a building permit for the enclosure.
- 2. *Time* - Construction work at the site shall commence no earlier than 7 a.m. and shall cease no later than 7 p.m. No construction shall take place on Sundays or legal holidays unless authorized in advance by the Medway Building Commissioner.
- 3. *Construction Materials/Debris* - There shall be no tracking of construction materials/debris onto any public way. Sweeping of the site shall be done as needed to ensure that loose gravel/dirt does not create hazardous or deleterious conditions for vehicles, pedestrians, business customers and nearby neighborhood residents.

**I. Compliance**

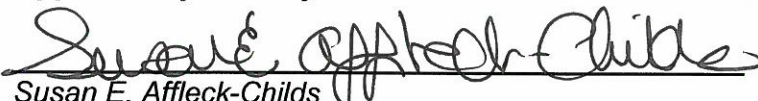
1. Any construction work that deviates from this decision shall be a violation of the Zoning Bylaw. The Town and its agents may use all legal options available to it, including referring any violation to the Building Commissioner/Zoning Enforcement Officer for appropriate enforcement action, to ensure compliance with this decision and its conditions.
2. This decision is enforceable under Section 3.1 of the Medway Zoning Bylaw.
3. The Building Department will inspect the enclosure within thirty days of its installation to ensure that it has been installed in accordance with the approved site plan.

- J. Schedule for Project Completion** – This approval shall lapse after three months of the grant thereof if substantial work has not commenced except for good cause. Construction shall be completed by the applicant or its assignees within six months of the date of this decision.

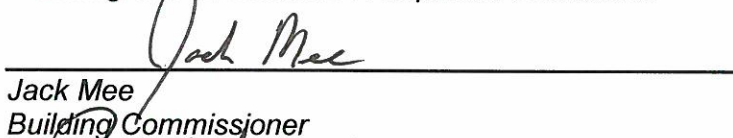
Upon receipt of a written request by the applicant filed at least thirty days prior to the date of expiration, the Administrative Site Plan Review Team may grant an extension for good cause. The request shall state the reasons for the extension and also the length of time requested. If no request for extension is filed and approved, this approval shall lapse and may be reestablished only after a new filing and decision have occurred.

**VIII. APPEAL** - Any person aggrieved by this Administrative Site Plan Review decision may appeal such to the Planning & Economic Development Board.

**Approved by Medway Administrative Site Plan Review Team: June 1, 2018**



Susan E. Affleck-Childs  
Planning and Economic Development Coordinator



Jack Mee  
Building Commissioner



Barbara J. Saint Andre  
Director of Community and Economic Development

**COPIES TO:** Donna Greenwood, Principal Assessor  
David D'Amico, DPS  
Michael Boynton, Town Administrator  
Chief Jeff Lynch, Fire Department  
Jack Mee, Building Commissioner  
Barbara Saint Andre, Director of Community and Economic Development  
Chief Allen Tingley, Police Department  
Paul & Julie Rogers, PJ's Smoke 'N' Grill  
Paul Beaulieu, Beaus Designs  
Jim Griffin, Diversified Funding/Medway Realty LLC





**TOWN OF MEDWAY**  
**Planning & Economic Development Board**  
155 Village Street  
Medway, Massachusetts 02053

**MEMORANDUM**

June 5, 2018

TO: Board of Selectmen  
FROM: Andy Rodenhiser, Chairman  
Planning and Economic Development Board  
RE: Tetra Tech contract extension

The Planning and Economic Development Board heartily supports a two year extension of the Town's contract with Tetra Tech for on-call engineering services. We urge the Board of Selectmen to approve such extension at its meeting on June 18, 2018.

Tetra Tech, and in particular its engineers Steve Bouley and Sean Reardon, have served the Planning and Economic Development Board superbly over the past ten years. The firm provides both plan review and construction inspection services for the various development projects for which the Board reviews plans and issues approvals and permits. We are pleased with their work, their affability, their communication skills, and their common sense approach to development planning and construction.

Tetra Tech has also provided consulting services to the ZBA, Conservation Commission and DPS. In fact, any Town department, board or committee may use Tetra Tech under this broad umbrella contract.

We are pleased that the proposed contract holds the current FY 18 pricing for FY19 and includes a modest 2% increase for FY20.

We highly recommend that the BOS authorize the contract extension with Tetra Tech for a two year period through June 30, 2020.

## Susan Affleck-Childs

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**From:** Susan Affleck-Childs  
**Sent:** Tuesday, May 22, 2018 12:52 PM  
**To:** 'John T. Shea'  
**Cc:** Bill Rodenhiser; Ralph Costello  
**Subject:** RE: Surety for Applegate Farm Subdivision

Dear Mr. Shea,

Thank you for your email note in response to the April 30<sup>th</sup> letter to Mr. Costello regarding the needed adjustment in performance security for the Applegate subdivision.

Perhaps some clarification is needed. You do not need the Board's authorization to undertake a review of the revised scope of work as outlined in the Tetra Tech punch list or to obtain cost estimates for that work. Nor do you need the Board's permission to proceed with the needed work. Nor is the Board, at this time, requesting that the Bank provide the funds to the Town to complete the subdivision infrastructure and off-site improvements.

The April 30<sup>th</sup> letter was and continues to be a notification that Mr. Costello must provide additional performance security to the Town in the amount of \$128,552 by June 29, 2018 in order to increase the level of performance security to \$419,521, the value of the March 7, 2018 bond estimate. Mr. Costello can meet that obligation through an amendment to the existing tri-party agreement, or any of the other forms of performance security authorized under G.L. Chapter 41, Section 81U.

Best regards,

*Susy Affleck-Childs*

Susan E. Affleck-Childs  
Planning and Economic Development Coordinator

Town of Medway  
155 Village Street  
Medway, MA 02053  
508-533-3291  
[sachilds@townofmedway.org](mailto:sachilds@townofmedway.org)

Town of Medway – *A Massachusetts Green Community*

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**From:** John T. Shea [mailto:jshea@NeedhamBank.com]  
**Sent:** Monday, May 21, 2018 11:01 AM  
**To:** Susan Affleck-Childs  
**Cc:** Bill Rodenhiser; Ralph Costello  
**Subject:** RE: Surety for Applegate Farm Subdivision

Dear Ms. Affleck-Childs,

Thank you for keeping me apprised of the developments regarding the Applegate Farm Inspection & Punchlist. I have gone through the report from Tetra Tech and have some questions and ongoing concerns that I need to delve into.

While the Bank is more than willing to immediately live up to its commitment set forth in the existing tri-party agreement, we would like the opportunity to undertake a more thorough review and get a more informed understanding of the current and ongoing site issues.

As you are aware, the Bank has contracted Bill Rodenhiser to liaison with the Town on the Banks' behalf for matters concerning this tri-partite agreement. Now that the road scope of work has been re-estimated, with increased costs and additional line items added, the Bank would like to review the scope of work and obtain estimates from 3<sup>rd</sup> party contractors to understand how much work can actually get done based on our \$290,969 commitment obligation under the tri-partite agreement.

This task can be undertaken immediately as 3<sup>rd</sup> party resources are in place. However, this review work and construction estimates will require at least 45 days to complete. The cost of this work is estimated to be in the \$25,000 - \$35,000 range and the Bank would request that these funds be counted toward the "contingency" line item contained within the tri-partite agreement.

The Bank fully understands that the Town is well within its rights to request that the Bank provide the \$290,969 payment immediately to the Town so that you can contract the road construction work at your direction and work with, or without, the developer to complete the tasks at hand. However, the Bank is more than willing to see if there can be more to be gained by fully vetting the scope of work with 3<sup>rd</sup> party contractors that would provide the services needed to complete the road.

Please review this request with the board members and let us know if you can support our request to look into the cost of the work required for Applegate Road to see if we can get more done for the same amount of money given the anticipated shortfall of funding for the scope of work.

Best regards,

John Shea

John T. Shea | SVP - Managed Assets | P: 781-474-5862 | F: 781-474-5957  
**Needham Bank** | 1063 Great Plain Avenue, Needham, MA 02492

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**From:** Susan Affleck-Childs [mailto:sachilds@townofmedway.org]  
**Sent:** Monday, April 30, 2018 4:50 PM  
**To:** Ralph Costello

**Cc:** John T. Shea; Bill Rodenhiser  
**Subject:** Surety for Applegate Farm Subdivision

**External Email:** The e-mail below is from an external source and did not originate from Needham Bank.

Hi Ralph,

Please see the attached letter and referenced inspection report/punch list/bond estimate re: the Board's decision to adjust the performance surety for the Applegate Farm subdivision.

Please advise if you wish to adjust the tri-party agreement or provide the required supplemental funds via other means.

Best regards,

*Susy Affleck-Childs*

Susan E. Affleck-Childs  
Planning and Economic Development Coordinator

Town of Medway  
155 Village Street  
Medway, MA 02053  
508-533-3291  
[sachilds@townofmedway.org](mailto:sachilds@townofmedway.org)

Town of Medway – *A Massachusetts Green Community*

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