



December 10, 2019
Medway Planning & Economic Development Board
Meeting

Choate Trail Way Definitive Subdivision
Plan Public Hearing

- Public Hearing Notice dated 11-21-19
- Abutter Notice dated 11-22-19
- Subdivision Application
- Development Impact Report
- Definitive Subdivision Plan dated 11-8-19 by Connorstone Engineering
- Historical Commission Demolition Approval dated 5-2-19
- SAC memo dated 12-3-19 to Town staff requesting review and comments
- PGC plan review comments dated 12-4-19

NOTE – Tetra Tech comments are forthcoming. I will email them to you upon receipt.



TOWN OF MEDWAY
Planning & Economic Development Board
155 Village Street
Medway, Massachusetts 02053

RECEIVED
NOV 21 2019
TOWN CLERK
Andy Rodenhiser, Chairman
Robert K. Tucker, Vice-Chairman
Thomas A. Gay, Clerk
Matthew J. Hayes, P.E.
Richard Di Iulio

November 21, 2019

PUBLIC HEARING NOTICE
Choate Trail Way Definitive Subdivision Plan
42 and 42R Highland Street

In accordance with the provisions of Chapter 41, Section 81A – 81GG, Massachusetts General Laws and the Planning and Economic Development Board's *Rules and Regulations for the Review and Approval of Land Subdivisions*, notice is given that the Planning & Economic Development Board will conduct a **public hearing on Tuesday, December 10, 2019 at 8:00 p.m. on the application of The Residences at Choate Trail, LLC of Nashua, NH for approval of a definitive subdivision plan for a proposed 4 lot residential subdivision at 42 and 42R Highland Street. The hearing will take place in Sanford Hall at Medway Town Hall, 155 Village Street, Medway, MA. The meeting room is accessible via elevator for individuals with physical disabilities.**

Owned by The Residences at Choate Trail, LLC, the 5.88 acre parcel (Medway Assessors Map 37, Parcels 67 & 64) is located on the north side of Highland Street, a Medway Scenic Road, in the Agricultural Residential I zoning district. The *Choate Trail Way Definitive Subdivision Plan* is dated November 8, 2019 and was prepared by Connorstone Engineering, Inc. of Northborough, MA. The plan shows the division of the property into four residential lots, one lot with the existing house at 42 Highland Street, and three new house lots with frontage on a proposed, 578' long permanent private road. The property includes wetlands under jurisdiction of the Medway Conservation Commission. The project may be subject to review under the Board's *Scenic Road Rules and Regulations*.

The application, plan and supporting documentation are available at the offices of the Medway Town Clerk and the Planning and Economic Development Board at Medway Town Hall, 155 Village Street and may be inspected during regular office hours. The documents have also been posted at the Board's web page at: <https://www.townofmedway.org/planning-economic-development-board/pages/current-applications-pedb-0>

Telephone: 508-533-3291 Fax: 508-321-4987
planningboard@townofmedway.org

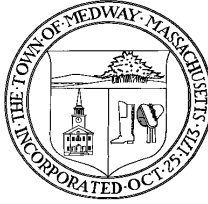
Interested persons or parties are invited to review the plan, attend the public hearing, and express their views. Written comments may be forwarded to the Board or emailed to: planningboard@townofmedway.org. Questions may be directed to the Planning and Economic Development office at 508-533-3291.

Andy Rodenhiser
Chairman

Legal ad to be published in the *Milford Daily News* on November 26 and December 2, 2019

cc: *Planning Boards* – Bellingham, Franklin, Holliston, Milford, Millis and Norfolk

Medway Town Officials/Departments – Board of Selectmen/Town Administrator, Board of Assessors, Board of Health, Building Commissioner/Zoning Enforcement Officer, Conservation Commission, Department of Public Works, Fire Department, Police Department, Treasurer/Collector.



TOWN OF MEDWAY
Planning & Economic Development Board
155 Village Street
Medway, Massachusetts 02053

Andy Rodenhiser, Chairman
Robert K. Tucker, Vice-Chairman
Thomas A. Gay, Clerk
Matthew J. Hayes, P.E.
Richard Di Iulio

November 22, 2019

ABUTTER NOTIFICATION of PUBLIC HEARING
Choate Trail Way Definitive Subdivision Plan
42 and 42R Highland Street

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You are receiving this notice because you are a party of interest or you own property located within 300' of the subject site. This is the only written notice you will receive from this Board regarding this proposal and its public hearing.

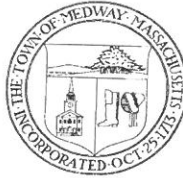
OVER ►

The application, definitive subdivision plan, and supporting documentation are available at the offices of the Medway Town Clerk and the Planning and Economic Development Board at Medway Town Hall, 155 Village Street and may be inspected during regular office hours. The documents have also been posted at the Board's web page at: <https://www.townofmedway.org/planning-economic-development-board/pages/current-applications-pedb-0>

Interested persons or parties are invited to review the plan, attend the public hearing, and express their views at the designated time and place. Written comments are encouraged and may be forwarded to the Board or emailed to: planningboard@townofmedway.org. Questions may be directed to the Planning and Economic Development office at 508-533-3291.

Andy Rodenhiser
Chairman

Legal ad to be published in the *Milford Daily News* on November 26 and December 2, 2019



Planning & Economic Development Board - Town of Medway, MA
LAND SUBDIVISION – FORM C

Application for Approval of a Definitive Subdivision Plan

INSTRUCTIONS TO APPLICANT/OWNER

This Application is made pursuant to the Medway Subdivision Rules and Regulations. Please complete this entire Application. Submit three signed originals of the Application, three copies of the Definitive Plan, two copies of the Traffic Study (if applicable), two copies of the Development Impact Report, two copies of the stormwater report/drainage calculations, and the appropriate Definitive Subdivision Plan Filing Fee and the advance on the Plan Review to the Planning and Economic Development Board office.

The Town's Planning and Engineering Consultants will review the Application, plan and associated submittals. You or your duly authorized Agent/Official Representative is expected to attend the Board meetings at which your Application will be considered to answer any questions and/or submit such additional information as the Board may request.

Your absence at meetings may result in a delay of the Board's review and action on the Definitive Subdivision Plan.

October 15, 2019

TO: The Planning & Economic Development Board of the Town of Medway, MA

The undersigned, being the Applicant as defined under Chapter 41, Section 81-L for approval of a Definitive Subdivision Plan, herewith submits this Definitive Subdivision Plan of property located in the Town of Medway and makes application to the Medway Planning & Economic Development Board for approval of such Definitive Subdivision Plan.

DEFINITIVE SUBDIVISION PLAN INFORMATION

Title of Plan: Choate Trail Way

Prepared by: Vito Colonna, P.E.

Firm Name: Connorstone Engineering, Inc.

Plan Date: November 8, 2019

A Preliminary Subdivision Plan ☒ was _____ was not filed prior to this Definitive Plan.

If filed, the date of filing of the Preliminary Subdivision Plan was: September 16, 2019

Date when the Preliminary Subdivision Plan was reviewed by the Board: October 8, 2019

The Preliminary Subdivision Plan was:

☒ reviewed and discussed

☐ approved as presented

☐ approved with the following modifications/conditions: _____

_____ disapproved for the following reasons: _____

_____ no action taken 5.88 acres

PROPERTY INFORMATION

Location Address: 42 & 42R Highland Street

The land shown on the plan is shown on Medway Assessor's Map 37 Parcel # 67 & 64

Total Acreage of Land to be Divided: _____

General Description of Property: Existing lot containing a single family house

Medway Zoning District Classification: AR-1

Frontage Requirement: 180 ft. Area Requirement: 44,000 sq. ft.

Scenic Road

Does any portion of this property have frontage on a Medway Scenic Road?

X Yes _____ No If yes, please name: Highland Street

Wetlands

Is any portion of the site within a Wetland Resource Area?

X Yes _____ No

Groundwater Protection

Is any portion of the site within a Groundwater Protection Overlay District?

_____ Yes X No

Flood Plain/Wetland Protection District

Is any portion of the site within the Flood Plain/Wetland Protection Overlay District?

_____ Yes X No

The owner's title to the land that is the subject matter of this application is derived under deed from: L. Dunton & K. Wade to Lock it up, LLC dated August 21, 2018 and recorded in Norfolk County Registry of Deeds, Book 36240 Page 221 or Land Court Certificate of Title Number n/a, Land Court Case Number _____, registered in the Norfolk County Land Registry District Volume _____, Page _____.

SUBDIVISION INFORMATION

Subdivision Name: Choate Trail Way

This is a: X Residential Subdivision _____ Non-Residential Subdivision

The plan shows the division of land into 4 building lots numbered 1 through 4 and 0 parcels not intended for building thereon.

The plan shows the following **existing** ways that are being proposed as lot frontage:

_____ as frontage for lot(s) _____

_____ as frontage for lot(s) _____

The plan shows the following **proposed** new ways that are being proposed as lot frontage:

Proposed Road _____ as frontage for lot(s) 1, 2, 3, 4

_____ as frontage for lot(s) _____

Total Length of Proposed New Roadway(s): 578 feet

Are the new roads proposed to be public or permanent private ways?

_____ Public ☒ Permanent Private Way

Proposed Utilities:

☒ Town Water _____ Well

_____ Town Sewer ☒ Septic

APPLICANT INFORMATION

Applicant's Name: The Residences at Choate Trail, LLC

Applicant's Address: 17 Goldfinch Lane

Nashua, NH 03062

Name of Primary Contact: Robert Pace

Telephone:

Office: 603-584-9990 Cell: _____

Email address: rpace100@outlook.com

_____ Please check here if the Applicant is the equitable owner (purchaser on a purchase and sales agreement.)

PROPERTY OWNER INFORMATION (if not applicant)

Property Owner Name: Same as applicant

Address: _____

Primary Contact: _____

Telephone: _____

Office: _____ Cell: _____

Email: _____

CONSULTANT INFORMATION

ENGINEER: Connorstone Engineering, Inc.

Address: 10 Southwest Cutoff, Suite 7

Northborough, MA 01532

Primary Contact: Michael Sullivan

Telephone: _____

Office: 508-393-9727 Cell: _____

Email: mjs@csei.net

SURVEYOR: Same as Engineer

Address: _____

Primary Contact: _____

Telephone: _____

Office: _____

Cell: _____

Email: _____

ATTORNEY: _____

Address: _____

Primary Contact: _____

Telephone: _____

Fax: _____

Email: _____

OFFICIAL REPRESENTATIVE INFORMATION

Name: Same as Applicant

Address: _____

Primary Contact: _____

Telephone: _____

Fax: _____

Email: _____

SIGNATURES

I hereby certify, under the pains and penalties of perjury, that the information contained in this application is true, accurate and complete to the best of my knowledge and belief. If applicable, I hereby authorize _____ to serve as my Agent/Official Representative to represent my interests before the Medway Planning & Economic Development Board with respect to this Definitive Subdivision Plan application.

I agree to abide by the Medway Rules and Regulations for the Review and Approval of Land Subdivisions and complete construction of the subdivision in accordance with the Rules and Regulations and the approved Definitive Subdivision Plan.

In submitting this application, I authorize members of the Planning & Economic Development Board, Town staff and agents, and members of the Design Review Committee and Open Space Committee to access the site during the plan review process.



Signature of Property Owner

11-15-19

Date

Signature of Applicant (if other than Property Owner)

Date

Signature of Agent/Official Representative

Date

DEFINITIVE SUBDIVISION PLAN FEES

Filing Fee - \$2,500 plus \$2.50/linear foot of street centerline proposed

Advance on Plan Review Fee - \$2,500

Submit 2 separate checks each made payable to: Town of Medway

Fee Schedule Approved - 11-9-06

FOR PED OFFICE USE ONLY:

Date Form C and Definitive Subdivision Plan Recvd by Medway PED office: _____

Definitive Subdivision Plan Filing Fee Paid: Amount: _____ Check # _____

Advance on Plan Review Fee Paid: Amount: _____ Check # _____

Date Form C & Definitive Subdivision Plan
Received by Town Clerk

Date Form C & Definitive Subdivision Plan
Received by Board of Health

LAND SUBDIVISION - FORM F

Development Impact Report (DIR) **PLANNING BOARD – Town of Medway, MA**

OVERVIEW

The DIR is intended to serve as a guide to the applicant in formulating their development proposal, as well as a guide to the Planning Board in evaluating the proposed Subdivision Plan in the context of existing conditions and the Town's planning efforts. The DIR should be prepared as early in the design process as possible, even if certain aspects are unknown at that time.

The DIR seeks to raise the broad range of issues generally association with a subdivision development plan in a form and in language that is understandable to the layperson. The DIR shall identify and assess development impacts that could possibly be avoided or mitigated if recognized early in the development process. Other portions of the DIR request information that will help the Town plan ahead to provide adequate services in the future.

The DIR shall be filed with an application for approval of a Preliminary and a Definitive Subdivision Plan. It shall clearly and methodically assess the relationship of the proposed development to the natural, physical, and social environment of the surrounding area. In preparing the DIR, a systematic interdisciplinary approach shall be utilized to include professionals in the natural and social sciences and environmental design arts.

Date

1. Name of Proposed Subdivision: Choate Trail Way
2. Location: 42 Highland Street
3. Name of Applicant (s): The Residences at Choate Trail Way, LLC
4. Brief Description of the Proposed Project: _____
4 Lot residential subdivision

5. Name of Individual Preparing this DIR Vito Colonna / Connorstone Engineering
Address: 10 Southwest Cutoff, Northborough, MA Phone: 508-393-9727

Professional Credentials: Professional Engineer MA#47635

SITE DESCRIPTION6. Total Site Acreage: 5.88

Approximate Acreage	At Present	After Completion
Meadow/brushland (<i>non-agricultural</i>)	0.5	2.68
Forested	4.93	1.8
Agricultural (<i>includes orchards, croplands, pasture</i>)	0	0
Wetlands	0.4	0.4
Water Surface Area	0	0
Flood Plain	0	0
Unvegetated (<i>rock, earth or fill</i>)	0	0
Roads, buildings and other impervious surfaces	0.05	1.0
Other (<i>indicate type</i>)	0	0
TOTAL	5.88	5.88

7. Present permitted and actual land use by percentage of the site.

Uses	Percentage
Industrial	
Commercial	
Residential	25%
Forest	75%
Agricultural	
Other (specify)	

8. List the zoning districts in which the site is located and indicate the percentage of the site in each district. *NOTE – Be sure to include overlay zoning districts.*

Zoning District	Percentage
AR-1	100%

9. Predominant soil type(s) on the site: Canton**Soil Drainage***(Use the U.S. Soil Conservation Service's definition)*

Soil Type	% of Site
Well drained	98%
Moderately well drained	
Poorly drained	2%

10. Are there any bedrock outcroppings on the site? ☐ Yes ☒ No

If yes, specify: _____

11. Approximate percentage of proposed site with slopes between:

Slope	% of Site
0 – 10%	94%
10 – 15%	5%
Greater than 15%	1%

12. In which of the Groundwater Protection Districts is the site located?

Zone(s) N/A

Proximity to a public well: 11,000 +/- feet

13. Does the project site contain any species of plant or animal life that is identified as rare or endangered? (*Consult the Massachusetts Heritage Program and the Medway Conservation Commission for information.*) ☐ Yes ☒ No

If yes, specify: _____

14. Are there any unusual site features such as trees larger than 30 inches, bogs, kettle ponds, eskers, drumlins, quarries, distinctive rock formations or granite bridges?

☐ Yes ☒ No

If yes, specify: _____

15. Are there any established foot paths running through the site or railroad right of ways? ☒ Yes ☐ No

If yes, please specify: Foot path from highland street to school property.

16. Is the site presently used by the community as an open space or recreation area? ☐ Yes ☒ No

If yes, please specify: _____

17. Does the site include scenic views or will the proposed development cause any scenic vistas to be obstructed from view? ☒ Yes ☐ No

If yes, please specify: _____

F-3

18. Are there wetlands, lakes, pond, streams or rivers within or contiguous to the site? ☒ Yes ☐ No

If yes, please specify: Wetlands located on-site

19. Is there any farmland or forest land on the site protected under Chapter 61A or 61B of the Massachusetts General Laws? ☐ Yes ☒ No

If yes, please specify:

20. Has the site ever been used for the disposal of hazardous waste? Has a 21E study been conducted for the site? ☐ Yes ☒ No

If yes, please specify:

21. Will the proposed activity require use and/or storage of hazardous materials, or generation of hazardous waste? ☐ Yes ☒ No

If yes, please specify:

22. Does the project location contain any buildings or sites of historic or archaeological significance? (Consult with the Medway Historical Commission) ☐ Yes ☒ No

If yes, please describe:

23. Is the project contiguous to or does it contain a building located in a national register historic district? ☐ Yes ☒ No

If yes, please describe:

CIRCULATION

24. What is the expected average weekday traffic and peak hour volumes to be generated by the proposed subdivision?

Average weekday traffic	38
Average peak hour volumes – morning	4
Average peak hour volumes - evening	4

25. Existing street(s) providing access to the proposed subdivision:

Please specify: Highland Street

26. Existing intersection(s) within 1000 feet of any access to the proposed development. Please specify intersection names: Summer Street

27. Location of existing sidewalks within 1000 feet of the proposed site: _____

Sidewalks on Summer Street

28. Location of proposed sidewalks and their connection to existing sidewalks:

None

29. Are there parcels of undeveloped land adjacent to the proposed site:

 Yes X No

Will access to these undeveloped parcels be provided from the proposed subdivision?

 Yes No

If yes, please describe: N/A

If no, please explain why: _____

UTILITIES AND MUNICIPAL SERVICES

30. What is the total number of dwelling units proposed? 4

31. What is the total number of bedrooms in the proposed subdivision? 16

32. Stormwater Management

A. Describe the nature, location and surface water body receiving current surface water of the site: _____

On-site wetland that flows to the north ultimately tributary to Chicken Brook

- B. Describe the how the proposed stormwater management system will operate and how the existing stormwater patterns will be altered: _____

On-site stormwater collection, detention, and treatment system including a large subsurface infiltration system and individual drywells. Discharges shall match the peak rate, volume, and pattern of runoff when compared to the existing conditions.

- C. Will a NPDS Permit be required? X Yes No

33. Please estimate the response time of the Fire Department to this site:

(Please consult with the Fire Department): 5 to 7 minutes

34. Schools

- A. Projected number of new school age children: 3

- B. Distance to nearest elementary school: 1 Mile

MEASURES TO MITIGATE IMPACTS - Please attach a brief description of the measures that haven been taken during subdivision design and will be taken during subdivision construction for each of the following:

- 35. Maximize stormwater infiltration and groundwater recharge
- 36. Prevent surface and groundwater contamination
- 37. Reduce detrimental impacts to water quality
- 38. Maintain slope stability and prevent erosion
- 39. Conserve energy
- 40. Preserve wetlands
- 41. Preserve wildlife habitats, outstanding ecological or botanical features
- 42. Protect scenic views
- 43. Retain natural landscape features
- 44. Design street layouts to facilitate southern orientation of houses
- 45. Use curvilinear street patterns
- 46. Promote pedestrian and bicycle access and safety
- 47. Reduce the number of mature trees to be removed
- 48. Provide green belt/buffer areas
- 49. Preserve historically important structures and features on the site
- 50. Retain natural valley flood storage areas
- 51. Minimize the extent of waterways altered or relocated
- 52. Reduce the volume of cut and fill
- 53. Minimize the visual prominence of man-made elements even if necessary for safety or orientation
- 54. Minimize municipal maintenance frequency and costs
- 55. Reduce building site frontages or driveway egresses onto primary or secondary streets

In describing each of the above, please use layman's terms where possible while still being accurate and comprehensive. Where appropriate, please use graphic illustrations. Identify data sources, reference materials and methodology used to determine all conclusions.

ATTACHMENT A – MEASURES TO MITIGATE IMPACTS

35. *Maximum stormwater infiltration and groundwater recharge.*

Proposed roadway has been directed to a large subsurface infiltration system sized in accordance with DEP Standards. The system will maximize infiltration to match the existing recharge conditions.

36. *Prevent surface and groundwater water contamination.*

Stormwater drainage from the roadway will be collected in deep sump hooded catch basins for pretreatment and directed to an infiltration system for recharge and treatment. The system will be designed to remove a minimum 80% of the TSS, and will be designed in full compliance with the Massachusetts Stormwater Handbook and Stormwater Standards to ensure protection to water quality.

37. *Reduce detrimental impacts to water quality.*

As noted above, the stormwater system will be designed to remove a minimum 80% of the TSS, and will be designed in full compliance with the Massachusetts Stormwater Handbook and Stormwater Standards to ensure protection to water quality.

38. *Maintain Slope Stability and Prevent Erosion*

Proposed vegetated slopes will be limited to 2 horizontal to 1 vertical, which will be dressed with minimum 6 inches of loam and stabilized with hydroseed including a tackifier. Any proposed slope greater than 2:1 will be treated with riprap protection. The existing topography is relatively flat with little need to create large cut or fill slopes requiring special slope protection. Construction period erosion control would be implements and provided in the final definitive subdivision plans.

39. *Conserve Energy*

The proposed development and new homes would be new construction meeting the current building codes for energy conservation.

40. *Preserve wetlands*

No wetlands or undisturbed areas within 25 feet of any wetland will be altered as part of the project, and sedimentation and erosion controls will be implemented during construction to mitigate potential temporary impacts.

41. *Preserve wildlife habitats, outstanding ecological or biological features*

The wetland areas onsite and the 25 foot buffer zone will remain unaltered, which will provide habitat for wildlife in the area. There are no mapped areas of estimated or priority habitats within the project limits.

42. *Protect scenic views*

The proposed project would not block or obstruct and existing scenic views or vistas. The existing frontage along Highland Street is currently developed with a single family home.

43. *Retain natural landscape features*

Existing vegetation will be preserved to the extent feasible, and all vegetation within 25 feet of the wetland will also be preserved.

44. *Design street layouts to facilitate southern orientation of houses.*

The proposed street layout options are limited due the on-site wetlands, but the street generally runs in an east west direction giving the opportunity to orient houses with a southern exposure.

45. *Use curvilinear street patterns*

The proposed street layout options are limited due the on-site wetlands, and utilizing a curvilinear roadway does not work with the existing site, topography, or wetlands resources.

46. *Promote pedestrian and bicycle access and safety*

A proposed sidewalk has been provided within the subdivision.

47. *Reduce the number of mature trees to be removed*

Mature trees would be preserved to the maximum extent feasible. Tree preservation would be reviewed in greater detail during the definitive design phase.

48. *Provide green belt/buffer areas*

A buffer area would be provided near the wetland area. This would provide a visual buffer and green area between the rear three houses and Highland Street.

49. Preserve historically important structures and features on the site

Not applicable, there are no known historic features on the subject site.

50. Retain natural valley flood storage areas

Not applicable, there are no valley flood storage areas on the subject site.

51. Minimize the extent of waterways altered or relocated

The proposed work will not require any filling of wetlands or waterways.

52. Reduce the volume of cut and fill

The amount of cut and fill has been reduced to the extent feasible. The proposed roadway does not require any large cuts or fills greater than six feet in height.

53. Minimize the visual prominence of man-made elements even if necessary for safety or orientation

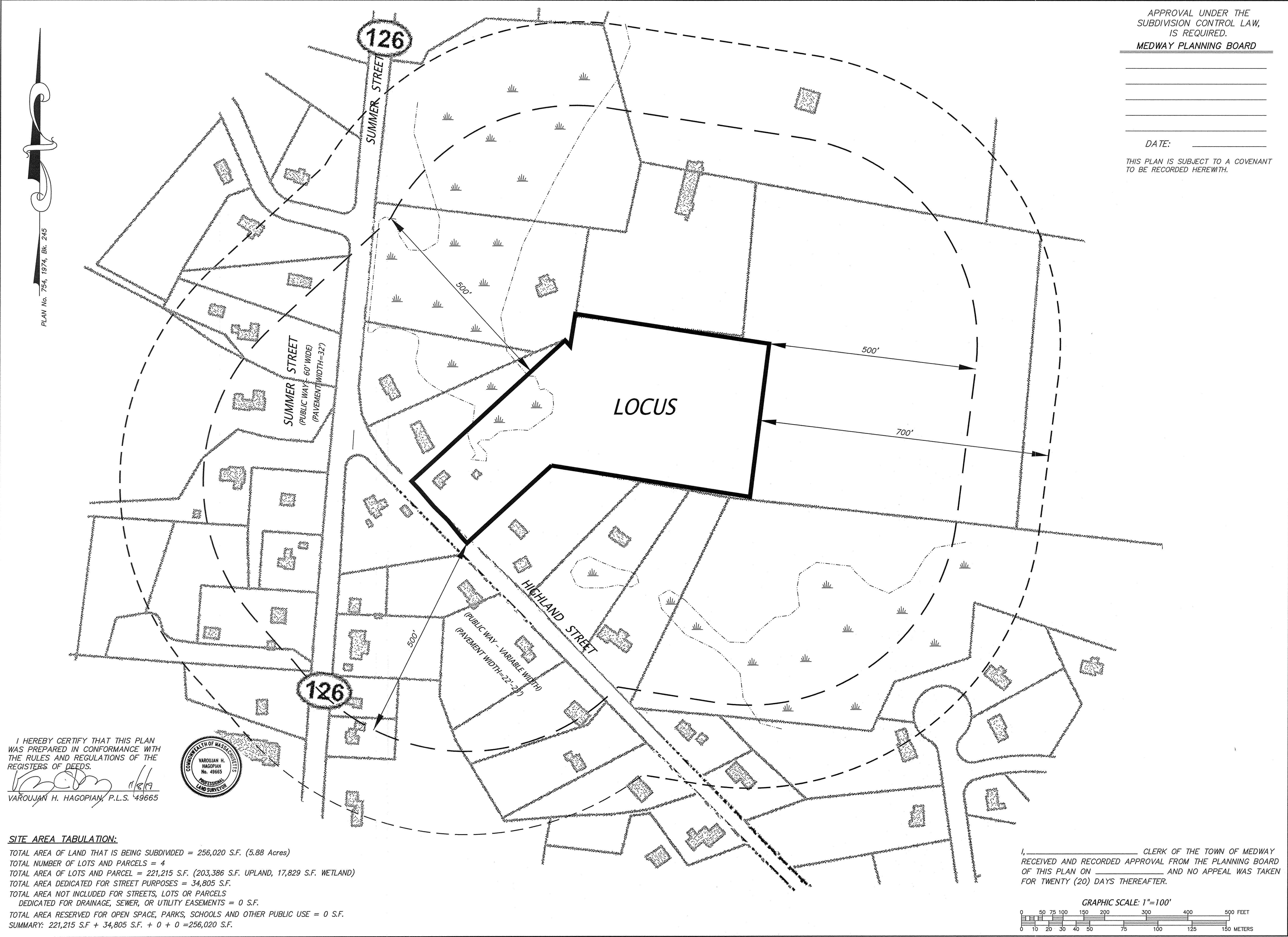
The majority of the development including three of the four lots would be clustered to the rear portion of the lot reducing the visual impact from Highland Street.

54. Minimize municipal maintenance frequency and costs

The proposed project would have minimal effect on municipal services. There would be a net increase in three single family houses, and the roadway would remain in private ownership. All future maintenance of the roadway would be the responsibility of the homeowners association.

55. Reduce building site frontages or driveway egresses onto primary or secondary streets

The existing conditions include a single family house with frontage on Highland Street. This would remain under the proposed condition, and no new lot frontage on Highland Street would be created. The three new house lots would have frontage on the proposed roadway.



APPROVAL UNDER THE
SUBDIVISION CONTROL LAW,
IS REQUIRED.
MEDWAY PLANNING BOARD

DATE: _____
THIS PLAN IS SUBJECT TO A COVENANT
TO BE RECORDED HEREWITH.

- GENERAL NOTES:
- OWNERS OF ADJOINING PROPERTIES ARE SHOWN ACCORDING TO CURRENT TOWN OF MEDWAY ASSESSORS RECORDS.
 - THIS PLAN IS BASED ON AN ON-THE-GROUND SURVEY BY CONNORSTONE ENGINEERING INC. PERFORMED IN MARCH 2018.
 - LEGAL STATUS OF EASEMENTS AND WAYS, NOT DETERMINED BY THIS SURVEY.
 - WETLANDS SHOWN HEREON WERE FLAGGED BY THREE OAKS ENVIRONMENTAL WETLAND CONSULTING AND LOCATED ON-THE-GROUND BY CONNORSTONE ENGINEERING INC.

SITE CONSTRUCTION NOTE:

1. ALL IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH MASS HIGHWAY HANDICAP REQUIREMENTS AND THE CURRENT ADA/AAAB REQUIREMENTS IN EFFECT AT THE TIME OF CONSTRUCTION.

ZONED: AR-1
AREA = 44,000 sf
FRONTAGE = 180 feet
SETBACKS: FRONT = 35 feet
SIDE = 15 feet
REAR = 15 feet

ASSESSOR MAP 37, LOT 67
OWNER / APPLICANT:
THE RESIDENCES AT CHOATE TRAIL, LLC
17 GOLDFINCH LANE
NASHUA, NH 03062

CONNORSTONE
ENGINEERING INC.
CIVIL ENGINEERS AND LAND SURVEYORS
10 SOUTHWEST CUTOFF, SUITE 7
NORTHBOROUGH, MASSACHUSETTS 01532
PHONE: 508-393-9727 FAX: 508-393-5242

DEFINITIVE SUBDIVISION PLAN
COVER SHEET
CHOATE TRAIL WAY
IN
MEDWAY, MASS.

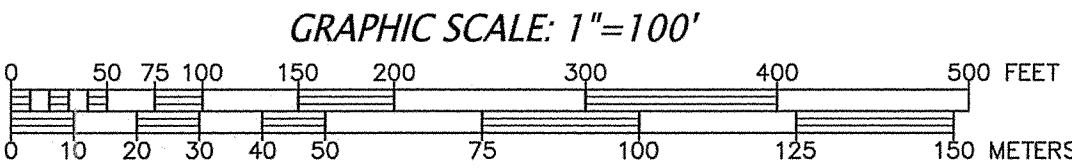
I HEREBY CERTIFY THAT THIS PLAN
WAS PREPARED IN CONFORMANCE WITH
THE RULES AND REGULATIONS OF THE
REGISTERS OF DEEDS.
VAROUJAN H. HAGOPIAN, P.L.S. 49665



SITE AREA TABULATION:

TOTAL AREA OF LAND THAT IS BEING SUBDIVIDED = 256,020 S.F. (5.88 Acres)
TOTAL NUMBER OF LOTS AND PARCELS = 4
TOTAL AREA OF LOTS AND PARCEL = 221,215 S.F. (203,386 S.F. UPLAND, 17,829 S.F. WETLAND)
TOTAL AREA DEDICATED FOR STREET PURPOSES = 34,805 S.F.
TOTAL AREA NOT INCLUDED FOR STREETS, LOTS OR PARCELS
DEDICATED FOR DRAINAGE, SEWER, OR UTILITY EASEMENTS = 0 S.F.
TOTAL AREA RESERVED FOR OPEN SPACE, PARKS, SCHOOLS AND OTHER PUBLIC USE = 0 S.F.
SUMMARY: 221,215 S.F. + 34,805 S.F. + 0 + 0 = 256,020 S.F.

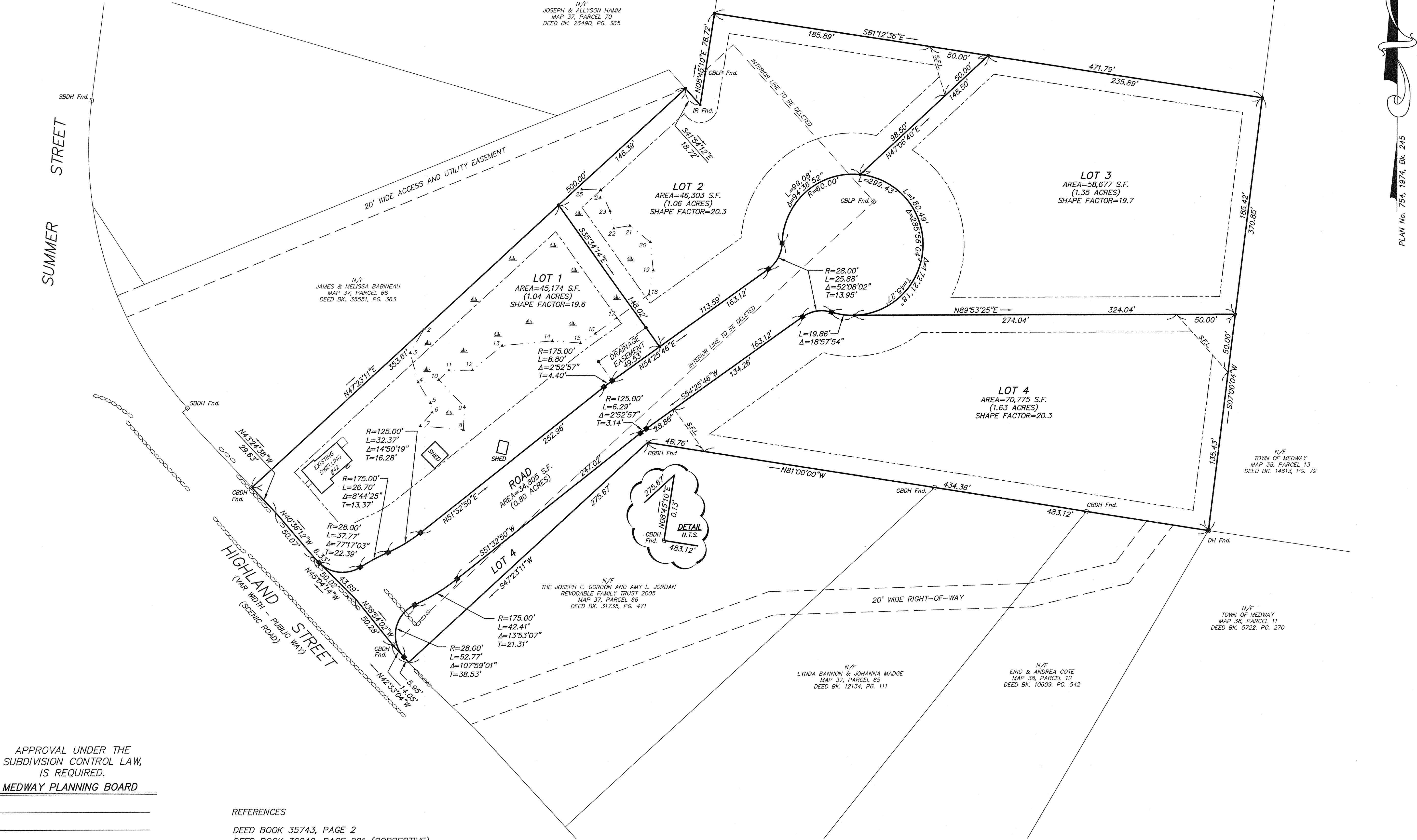
I, _____ CLERK OF THE TOWN OF MEDWAY
RECEIVED AND RECORDED APPROVAL FROM THE PLANNING BOARD
OF THIS PLAN ON _____ AND NO APPEAL WAS TAKEN
FOR TWENTY (20) DAYS THEREAFTER.



REVISED:	DESCRIPTION:
DRAWN BY: REM	CHECK BY: VC
DATE: NOVEMBER 8, 2019	
SCALE: AS SHOWN SHEET 1 OF 2	

MONUMENTS

- SBDH Fnd. STONE BOUND W. DRILL HOLE FOUND
- CBDH Fnd. CONCRETE BOUND W DRILL HOLE FOUND
- IP Fnd. IRON PIPE FOUND
- IR Fnd. IRON ROD FOUND
- CONCRETE BOUND TO BE SET
- IRON ROD/CAP TO BE SET



APPROVAL UNDER THE
SUBDIVISION CONTROL LAW,
IS REQUIRED.
MEDWAY PLANNING BOARD

DATE: _____

THIS PLAN IS SUBJECT TO A COVENANT
TO BE RECORDED HEREWITH.

REFERENCES

DEED BOOK 35743, PAGE 2
DEED BOOK 36240, PAGE 221 (CORRECTIVE)

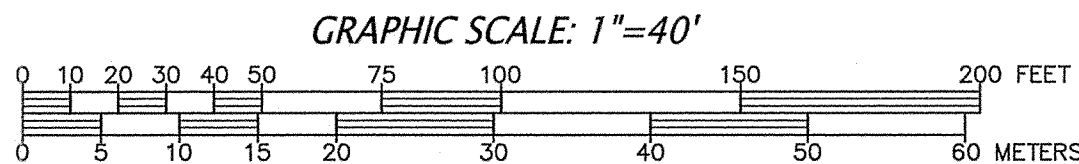
PLAN NUMBER 754 OF 1974, PLAN BOOK 245
PLAN NUMBER 715 OF 1976, PLAN BOOK 257
PLAN NUMBER 246 OF 1995, PLAN BOOK 429
PLAN NUMBER 248 OF 1980, PLAN BOOK 280
PLAN NUMBER 841 OF 1995, PLAN BOOK 435
PLAN NUMBER 842 OF 1995, PLAN BOOK 435
NORFOLK COUNTY REGISTRY OF DEEDS

I HEREBY CERTIFY THAT THIS PLAN
WAS PREPARED IN CONFORMANCE WITH
THE RULES AND REGULATIONS OF THE
REGISTERS OF DEEDS.

VAROUJAN H. HAGOPIAN, P.L.S. 49665



I, _____, CLERK OF THE TOWN OF MEDWAY
RECEIVED AND RECORDED APPROVAL FROM THE PLANNING BOARD
OF THIS PLAN ON _____ AND NO APPEAL WAS TAKEN
FOR TWENTY (20) DAYS THEREAFTER.



PLAN No. 754, 1974, Bk. 245

GENERAL NOTES:

- OWNERS OF ADJOINING PROPERTIES ARE SHOWN ACCORDING TO CURRENT TOWN OF MEDWAY ASSESSORS RECORDS.
- THIS PLAN IS BASED ON AN ON-THE-GROUND SURVEY BY CONNORSTONE ENGINEERING INC. PERFORMED IN MARCH 2018.
- LEGAL STATUS OF EASEMENTS AND WAYS, NOT DETERMINED BY THIS SURVEY.
- WETLANDS SHOWN HEREON WERE FLAGGED BY THREE OAKS ENVIRONMENTAL WETLAND CONSULTING AND LOCATED ON-THE-GROUND BY CONNORSTONE ENGINEERING INC.

ZONED: AR-1
AREA = 44,000 sf
FRONTAGE = 180 feet
SETBACKS: FRONT = 35 feet
SIDE = 15 feet
REAR = 15 feet

ASSESSOR MAP 37, LOT 67

OWNER / APPLICANT:

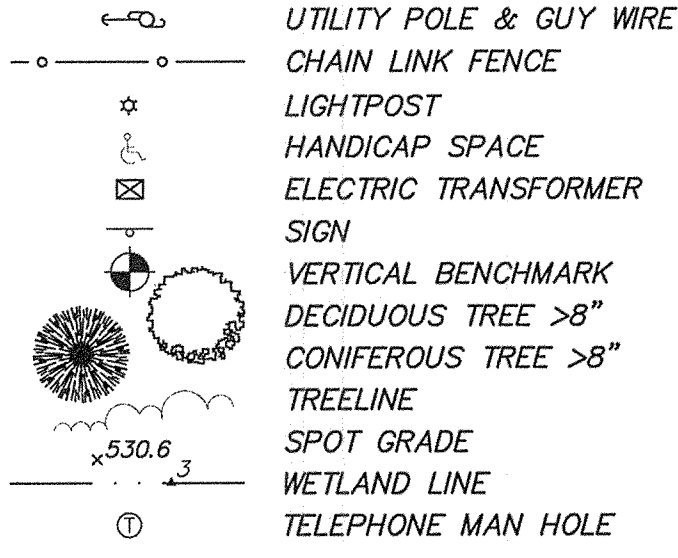
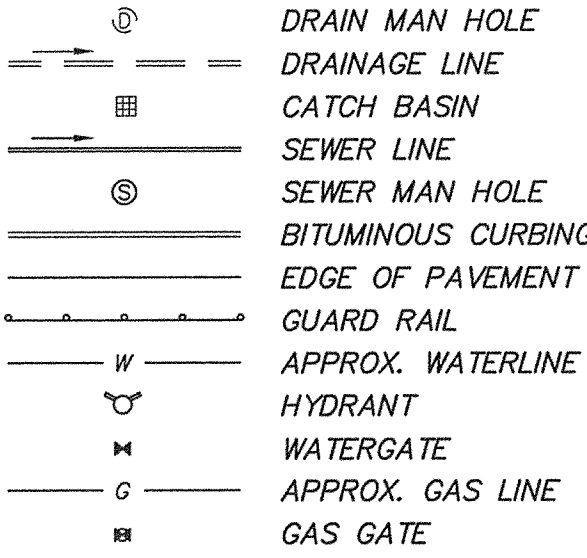
THE RESIDENCES AT CHOATE TRAIL, LLC
17 GOLDFINCH LANE
NASHUA, NH 03062

**CONNORSTONE
ENGINEERING INC.**
CIVIL ENGINEERS AND LAND SURVEYORS
10 SOUTHWEST CUTOFF, SUITE 7
NORTHBOROUGH, MASSACHUSETTS 01532
PHONE: 508-393-9727 FAX: 508-393-5242

**DEFINITIVE SUBDIVISION PLAN
LAND PLAN
CHOATE TRAIL WAY
IN
MEDWAY, MASS.**

REVISED:	DESCRIPTION:
DRAWN BY: REM	CHECK BY: VC
DATE: NOVEMBER 8, 2019	
SCALE: 1"=40'	SHEET 2 OF 2.

LEGEND



MONUMENTS

- SBDH Fnd. STONE BOUND W. DRILL HOLE FOUND
- CBDH Fnd. CONCRETE BOUND W. DRILL HOLE FOUND
- IP Fnd. IRON PIPE FOUND
- IR Fnd. IRON ROD FOUND

ROAD

D-1 (1/2/19)	EL.=254.5	D-3 (1/2/19)	EL.=256.0
0-8" Ap	SANDY LOAM 101R3/2	0-10" Ap	SANDY LOAM 101R3/2
8-28" Bw	LOAMY SAND 101R5/8	10-28" Bw	LOAMY SAND 101R5/8
28-45" C1	LOAMY SAND 2.51S/4	28-45" C1	LOAMY SAND 2.51S/4
NOTES AT 30" REFUSAL AT 62"		NOTES AT 42" NO REFUSAL	

D-2 (1/2/19)	EL.=254.8	D-4 (1/2/19)	EL.=254.0
0-8" Ap	SANDY LOAM 101R3/2	0-8" Ap	SANDY LOAM 101R3/2
8-30" Bw	LOAMY SAND 101R5/8	8-30" Bw	LOAMY SAND 101R5/8
30-70" C1	LOAMY SAND 2.51S/8	30-62" C1	LOAMY SAND 2.51S/4
70-68" C2	SANDY LOAM 2.51S/8	30-62" C1	LOAMY SAND 2.51S/4
NOTES AT 28" WATER AT 72"		NOTES AT 18" WATER AT 64"	

LOT 1

DTH-1 (7/8/19)		
0-9"	Ap	SANDY LOAM 101R3/2
9-35"	Bw	LOAMY SAND 101R6/8
35-57"	C1	LOAMY SAND 101R6/4
57-122"	C2	SANDY LOAM 2.5YS/4
MOTTLES AT 47" NO REFUSAL		

LOT 2

DTH-9 (7/8/19)		
0-6"	Ap	SANDY LOAM 101R3/2
6-32"	Bw	LOAMY SAND 101R6/8
32-112"	C1	LOAMY SAND 2.5YS/4
NOTES AT 94" NO REFUSAL		

LOT 3

DTH-13 (7/8/19)		
0-5"	Ap	SANDY LOAM 101R3/2
5-30"	Bw	LOAMY SAND 101R5/8
30-100"	C1	LOAMY SAND 2.5YS/4
NO MOTTLES OR WATER REFUSAL AT 100"		

LOT 4

DTH-5 (7/8/19)		
0-4"	Ap	SANDY LOAM 10YR3/2
4-25"	Bw	LOAMY SAND 10YR6/8
25-133"	C1	LOAMY SAND 2.5Y5/4
NOTTLES AT 95" NO REFUSAL		

DTH-2 (7/8/19)		
0-17"		FILL
17-35"	Bw	LOAMY SAND 101R5/8
35-56"	C1	LOAMY SAND 101R6/4
56-97"	C2	SANDY LOAM 2.51S/4
MOTTLES AT 46" REFUSAL AT 97"		

DTH-10 (7/8/19)		
0-6"	Ap	SANDY LOAM 101R3/2
6-32"	Bw	LOAMY SAND 101R6/8
32-109"	C1	LOAMY SAND 2.51S/4
MOTTLES AT 84" NO REFUSAL		

DTH-14 (7/8/19)		
0-6"	Ap	SANDY LOAM 101R3/2
6-35"	Bw	LOAMY SAND 101R8/8
35-105"	C1	LOAMY SAND 2.51S/4
NO MOTTLES OR WATER REFUSAL AT 105"		

DTH-6 (7/8/19)		
0-6"	Ap	SANDY LOAM 10YR3/2
6-27"	Bw	LOAMY SAND 10YR6/8
27-97"	C1	LOAMY SAND 2.5Y5/4
NO MOTILES OR WATER REFUSAL AT 97"		

DTH-3 (7/8/19)		
0-8"		FILL
9-23"	Bw	LOAMY SAND 101R6/8
23-92"	C1	SANDY LOAM 2.51S/4
MOTTLES AT 45" REFUSAL AT 92"		

DTH-11 (7/8/19)		
0-6"	Ap	SANDY LOAM 10YR3/2
6-24"	Bw	LOAMY SAND 10YR6/8
24-93"	C1	SANDY LOAM 2.5Y5/4
MOTTLES AT 84" NO REFUSAL		

DTH-15 (7/8/19)		
0-6"	Ap	SANDY LOAM 101R3/2
6-35"	Bw	LOAMY SAND 101R8/8
35-104"	C1	LOAMY SAND 2.51S/4
NO MOTTLES OR WATER REFUSAL AT 104"		

DTH-7 (7/8/19)		
0-7"	Ap	SANDY LOAM 101R3/2
7-31"	Bw	LOAMY SAND 101R5/8
31-112"	C1	LOAMY SAND 2.5YS/4
NOTES AT 81" NO REFUSAL		

DTH-4 (7/8/19)		
0-10"	Ap	SANDY LOAM 101R3/2
10-20"	Bw	LOAMY SAND 101R6/8
20-44"	C1	LOAMY SAND 101R6/4
44-113"	C2	SANDY LOAM 2.51S/4
MOTTLES AT 37" NO REFUSAL		

DTH-12 (7/8/19)		
0-5"	Ap	SANDY LOAM 10YR3/2
5-31"	Bw	LOAMY SAND 10YR6/8
31-88"	C1	LOAMY SAND 2.5Y5/4
NO MOTILES OR WATER REFUSAL AT 88"		

DTH-16 (7/8/19)		
0-6"	Ap	SANDY LOAM 101R3/2
6-27"	Bw	LOAMY SAND 101R5/8
27-81"	C1	LOAMY SAND 2.5YS/4
NO MOTTLES OR WATER REFUSAL AT 81"		

DTH-8 (7/8/19)		
0-5"	Ap	SANDY LOAM 101R3/2
5-26"	Bw	LOAMY SAND 101R5/8
26-61"	C1	FINE SAND 101R7/1
61-118"	C2	LOAMY SAND 2.51S/4
BOTTLES AT 77", WATER AT 102" NO REFUSAL		

PF-A (7/8/19)	DEPTH 66" 6 MP
PF-B (7/8/19)	DEPTH 52" 4 MP

PF-F (7/8/19)	DEPTH 66" 6 MP
PF-G (7/8/19)	DEPTH 48" 6 MP

PF-H (7/8/19)	DEPTH 48" 3 MP
PF-I (7/8/19)	DEPTH 54" 2 MP

PF-C (7/8/19)	DEPTH 49" 5 MP
PF-D (7/8/19)	DEPTH 51" 5 MP

ZONED: AR-1
AREA = 44,000 sf
FRONTAGE = 180 feet
SETBACKS: FRONT = 35 feet
SIDE = 15 feet
REAR = 15 feet

ASSESSOR MAP 37, LOT 67
OWNER / APPLICANT:
THE RESIDENCES AT CHOATE TRAIL, LLC
17 GOLDFINCH LANE
NASHUA, NH 03062

**CONNORSTONE
ENGINEERING INC.**
CIVIL ENGINEERS AND LAND SURVEYORS
10 SOUTHWEST CUTOFF, SUITE 7
NORTHBOROUGH, MASSACHUSETTS 01532
PHONE: 508-393-9727 FAX: 508-393-5242

**DEFINITIVE SUBDIVISION PLAN
EXISTING CONDITIONS
CHOATE TRAIL WAY
IN
MEDWAY, MASS.**

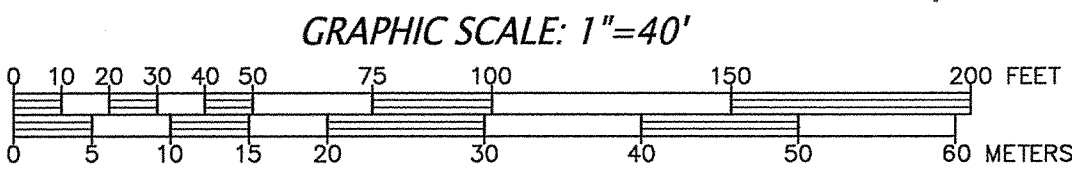
REVISED: DESCRIPTION:
DRAWN BY: REM CHECK BY: VC
DATE: NOVEMBER 8, 2019
SCALE: 1"=40' SHEET 1 OF 7

APPROVAL UNDER THE
SUBDIVISION CONTROL LAW,
IS REQUIRED.
MEDWAY PLANNING BOARD

DATE: _____

THIS PLAN IS SUBJECT TO A COVENANT
TO BE RECORDED HEREWITH.

I, _____ CLERK OF THE TOWN OF MEDWAY
RECEIVED AND RECORDED APPROVAL FROM THE PLANNING BOARD
OF THIS PLAN ON _____ AND NO APPEAL WAS TAKEN
FOR TWENTY (20) DAYS THEREAFTER.

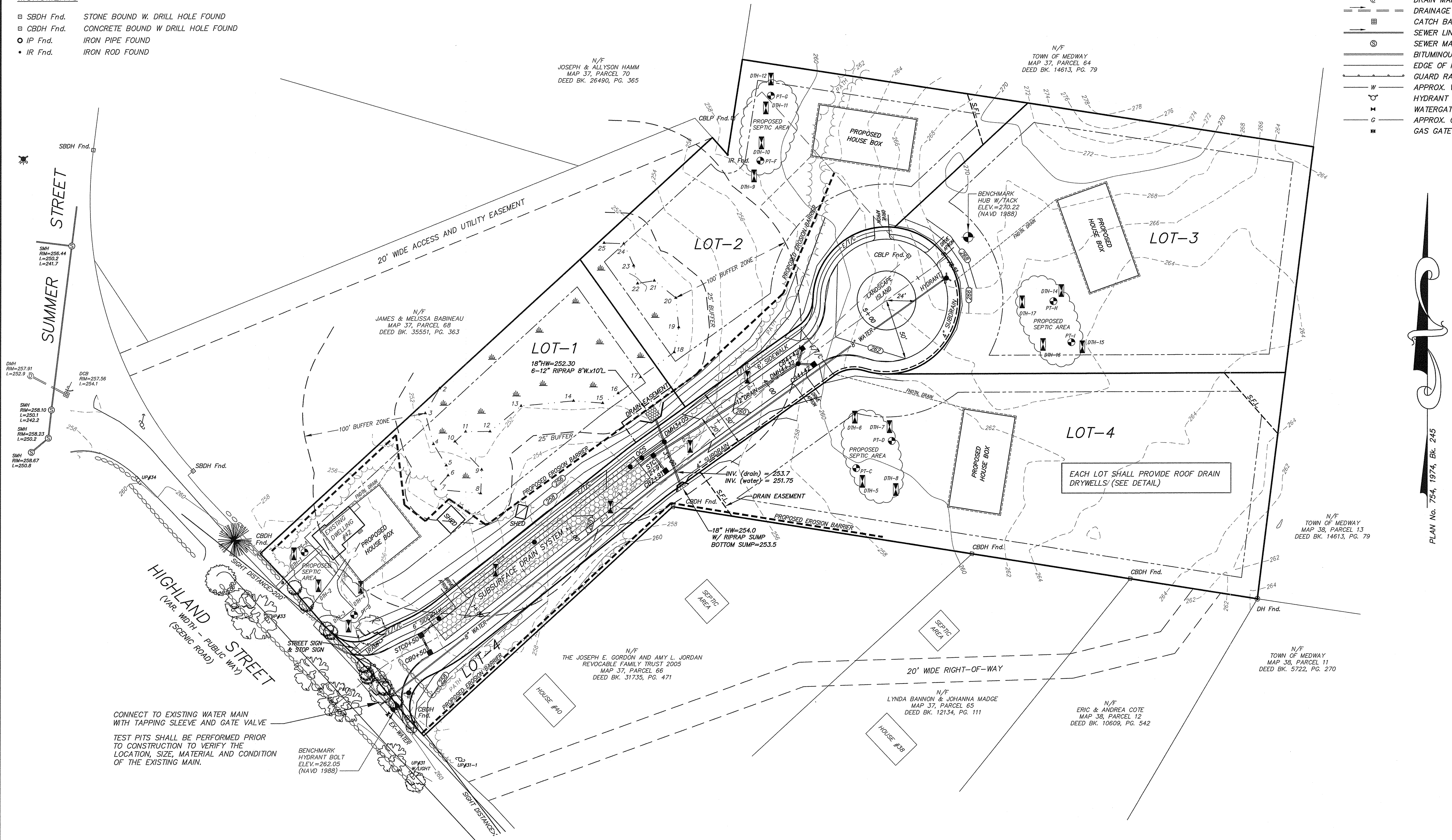


MONUMENTS

- SBDH Fnd. STONE BOUND W. DRILL HOLE FOUND
- CBDH Fnd. CONCRETE BOUND W DRILL HOLE FOUND
- IP Fnd. IRON PIPE FOUND
- IR Fnd. IRON ROD FOUND

LEGEND

- DRAIN MAN HOLE
- DRAINAGE LINE
- CATCH BASIN
- SEWER LINE
- SEWER MAN HOLE
- BITUMINOUS CURBING
- EDGE OF PAVEMENT
- GUARD RAIL
- APPROX. WATERLINE
- HYDRANT
- WATERGATE
- APPROX. GAS LINE
- GAS GATE
- UTILITY POLE & GUY WIRE
- CHAIN LINK FENCE
- LIGHTPOST
- HANDICAP SPACE
- ELECTRIC TRANSFORMER
- SIGN
- VERTICAL BENCHMARK
- DECIDUOUS TREE >8"
- CONIFEROUS TREE >8"
- TREELINE
- SPOT GRADE
- WETLAND LINE
- TELEPHONE MAN HOLE



ZONED: AR-1
AREA = 44,000 sf
FRONTAGE = 180 feet
SETBACKS: FRONT = 35 feet
SIDE = 15 feet
REAR = 15 feet

ASSESSOR MAP 37, LOT 67

OWNER / APPLICANT:
THE RESIDENCES AT CHOATE TRAIL, LLC
17 GOLDFINCH LANE
NASHUA, NH 03062

CONNORSTONE
ENGINEERING INC.

CIVIL ENGINEERS AND LAND SURVEYORS
10 SOUTHWEST CUTOFF, SUITE 7
NORTHBOROUGH, MASSACHUSETTS 01532
PHONE: 508-393-9727 FAX: 508-393-5242

DEFINITIVE SUBDIVISION PLAN
CONSTRUCTION PLAN
CHOATE TRAIL WAY
IN
MEDWAY, MASS.

REVISED:	DESCRIPTION:
DRAWN BY: REM	CHECK BY: VC
DATE: NOVEMBER 8, 2019	
SCALE: 1"=40'	SHEET 2 OF 7.

APPROVAL UNDER THE
SUBDIVISION CONTROL LAW,
IS REQUIRED.

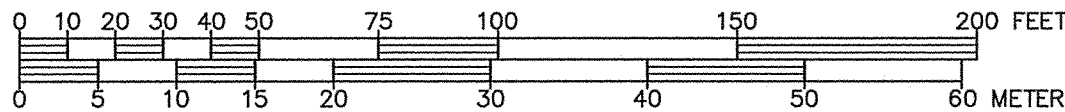
MEDWAY PLANNING BOARD

DATE: _____

I, _____ CLERK OF THE TOWN OF MEDWAY
RECEIVED AND RECORDED APPROVAL FROM THE PLANNING BOARD
OF THIS PLAN ON _____ AND NO APPEAL WAS TAKEN
FOR TWENTY (20) DAYS THEREAFTER.

THIS PLAN IS SUBJECT TO A COVENANT
TO BE RECORDED HEREWITH.

GRAPHIC SCALE: 1"=40'



MINIMUM OF 3 SPECIES TO BE PLANTED.
STAGGER LAYOUT SO THAT NO ONE SPECIES
SHALL BE PLANTED NEXT TO A LIKE SPECIES

SLOPED GRANITE CURBING
THROUGHOUT EXCEPT AS
NOTED AT BOUNDINGS.—

BENCHMARK
HUB W/TACK
ELEV.=270.22
(NAVD 1988)

LOT 3

PROPOSED HYDRANT WITH
8"X6" REDUCER,
GATE VALVE & THRUST BLOCK

LOT 4

NEIGHBORHOOD STREET CROSS SECTION
NOT TO SCALE

NOTE: WHEN HYDRANTS ARE PROPOSED ON THE SIDEWALK SIDE OF THE ROADWAY THE HYDRANT MUST BE LOCATED ALONG THE BACK OF WALK, WITHIN ROADWAY LAYOUT IN ACCORDANCE WITH CURRENT ADA/AAB STANDARDS.

APPROVAL UNDER THE
SUBDIVISION CONTROL LAW,
IS REQUIRED.
MEDWAY PLANNING BOARD

DATE: _____

THIS PLAN IS SUBJECT TO A COVENANT
TO BE RECORDED HEREWITH.

ZONED: AR-1
AREA = 44,000 sf
FRONTAGE = 180 feet
SETBACKS: FRONT = 35 feet
 SIDE = 15 feet
 REAR = 15 feet

ASSESSOR MAP 37, LOT 67

OWNER / APPLICANT:
THE RESIDENCES AT CHOATE TRAIL, LLC
17 GOLDFINCH LANE
NASHUA, NH 03062

**CONNORSTONE
ENGINEERING INC.**

CIVIL ENGINEERS AND LAND SURVEYORS
10 SOUTHWEST CUTOFF, SUITE 7
NORTHBOROUGH, MASSACHUSETTS 01532
PHONE: 508-393-9727 FAX: 508-393-5242

**DEFINITIVE SUBDIVISION PLAN
ROADWAY PLAN & PROFILE
CHOATE TRAIL WAY
IN
MEDWAY, MASS.**

REVISED:	DESCRIPTION:
DRAWN BY: REM	CHECK BY: VC
DATE: NOVEMBER 8, 2019	
SCALE: 1"=40'	SHEET 3 OF 7.

1. EXISTING UTILITY LINES SHOWN ON THIS DRAWING ARE FROM AVAILABLE INFORMATION AND ARE APPROXIMATE LOCATIONS. THE ENGINEER DOES NOT GUARANTEE THEIR ACCURACY OR THAT ALL UTILITIES AND SUBSURFACE STRUCTURES ARE SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE IDENTIFICATION OF ALL UTILITIES AND STRUCTURES, AS REQUIRED PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES WITH RECORD DATA SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY. THE CONTRACTOR SHALL CONTACT THE UTILITY COMPANIES AT 800-344-7233 (72 HOURS BEFORE DIGGING) AND OBTAIN DIGGING PERMITS. UTILITY LOCATIONS SHALL BE IDENTIFIED, AND TEST PITS SHALL BE UTILIZED FOR UTILITY CONNECTIONS.

2. ALL MATERIALS AND CONSTRUCTION PRACTICES SHALL BE IN CONFORMANCE WITH THE STANDARDS AND SPECIFICATIONS MEDWAY DEPARTMENT OF PUBLIC WORKS, OR THE LATEST EDITION OF THE MASSACHUSETTS HIGHWAY DEPARTMENT (MHD) CONSTRUCTION STANDARDS AND THE MHD "STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES", WHICHEVER IS MORE STRINGENT.

3. THE LAYOUT AND INSTALLATION OF ELECTRIC, GAS, TELEPHONE AND CATV UTILITY CONNECTIONS AND SERVICES SHALL IN ACCORDANCE WITH THE REQUIREMENTS OF THE RESPECTIVE UTILITY.

4. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE HIS WORK WITH THE APPROPRIATE HIGHWAY & UTILITY DEPARTMENTS. CONTRACTOR SHALL MAINTAIN ALL EXISTING AND NEWLY INSTALLED UTILITIES IN GOOD WORKING ORDER AND SHALL PROTECT THEM FROM DAMAGE AT ALL TIMES UNTIL THE WORK IS COMPLETED AND ACCEPTED.

5. WORK WITHIN THE HIGHWAY LAYOUT, IF APPLICABLE, SHALL CONFORM TO THE CONDITIONS OF THE PERMIT ISSUED BY THE MASSACHUSETTS HIGHWAY DEPARTMENT AND/OR LOCAL AUTHORITY AS APPROPRIATE.

6. THE CONTRACTOR SHALL UTILIZE ALL MEASURES AND MATERIALS NECESSARY TO ENSURE THE SAFETY OF ALL PERSONS AND PROPERTIES AT THE SITE DURING CONSTRUCTION. ALL EXCAVATIONS SHALL CONFORM TO CURRENT OSHA STANDARDS.

7. ALL SIGN SIZES AND MATERIAL SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC DEVICES" (MUTCD) AND THE OFFICE OF TRAFFIC OPERATIONS, FEDERAL HIGHWAY ADMINISTRATION, U.S. DEPARTMENT OF TRANSPORTATION.

8. ALL RAMPS, CURB CUTS, SIDEWALKS, AND ACCESSIBLE SPACES SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT REGULATIONS AND WITH ARCHITECTURAL ACCESS BOARD REGULATIONS (521 CMR 1-47).

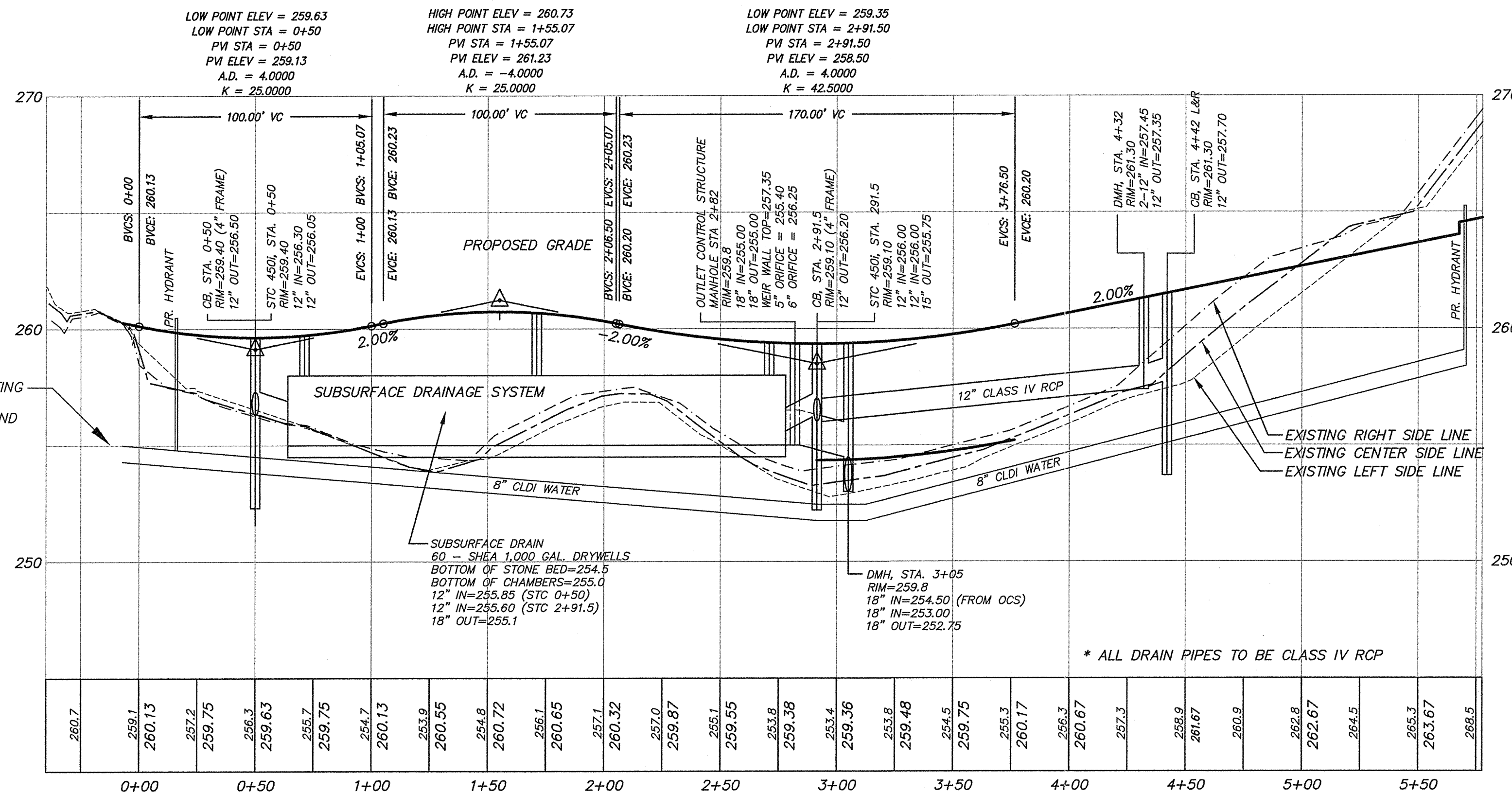
9. ALL EXCAVATION AND EARTHWORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE MASSACHUSETTS HIGHWAY DEPARTMENT (MHD) STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, SECTIONS 120, 140, 150, AND 170.

WATER MAINS, WITH HYDRANTS, VALVES AND OTHER FITTINGS, SHALL BE CONSTRUCTED AND INSTALLED WITHIN THE SUBDIVISION AS NECESSARY TO PROVIDE TO ALL LOTS THEREIN ADEQUATE WATER SUPPLY FOR DOMESTIC CONSUMPTION AND FIRE PROTECTION. THE CONSTRUCTION OF THE MEDWAY WATER RULES AND REGULATIONS, WHICH ARE UNDER THE JURISDICTION OF THE WATER AND SEWER DEPARTMENT. PROPER CONNECTIONS SHALL BE MADE WITH EXISTING PUBLIC WATER SYSTEMS. WATER LINES SHALL BE AT LEAST 6-INCH DIAMETER. CEMENT-LINED WATER LINES SHALL BE USED FOR ALL WATER LINES. THE MEDWAY WATER RULES AND REGULATIONS OF THE WATER AND SEWER DEPARTMENT SHALL BE FURNISHED WITH ADEQUATE VALVES AND APPURTENANCES TO THE SPECIFICATIONS OF THE TOWN OF MEDWAY WATER AND SEWER DEPARTMENT. MINIMUM FEET OF COVER SHALL BE PROVIDED OVER ALL PROPOSED WATER MAINS AND SERVICES. APPROPRIATE THRUST BLOCKING SHALL BE INSTALLED.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, TO KEEP ACCURATE MEASUREMENTS / RECORDS OF THE WATER MAIN AND SERVICE INSTALLATION INCLUDING DEPTH, LOCATION, MATERIALS, ETC.

NO DWELLING WILL BE CONSTRUCTED ON ANY LOT WITHOUT FIRST
SECURING FROM THE BOARD OF HEALTH THE DISPOSAL WORKS
CONSTRUCTION PERMIT REQUIRED BY TITLE 5 OF THE STATE
ENVIRONMENTAL CODE

ALL IMPROVEMENTS, RAMPS, CURB CUTS, SIDEWALKS, AND DRIVEWAY CROSSINGS SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT REGULATIONS AND WITH ARCHITECTURAL ACCESS BOARD REGULATIONS (521 CMR S 1-47) IN FORCE AND EFFECTIVE AT THE TIME OF CONSTRUCTION.



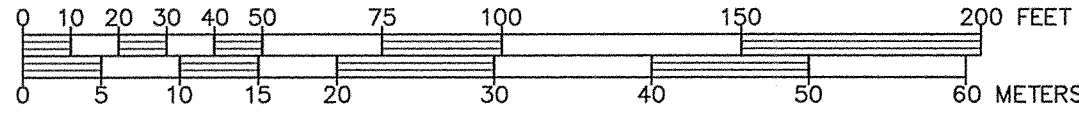
1"=40' HORIZONTAL
1"=4' VERTICAL

I, _____ CLERK OF THE TOWN OF MEDWAY
RECEIVED AND RECORDED APPROVAL FROM THE PLANNING BOARD
OF THIS PLAN ON _____ AND NO APPEAL WAS TAKEN
FOR TWENTY (20) DAYS THEREAFTER.

MONUMENTS

- SBDH Fnd. STONE BOUND W. DRILL HOLE FOUND
□ CBDH Fnd. CONCRETE BOUND W DRILL HOLE FOUND
● IP Fnd. IRON PIPE FOUND
• IR Fnd. IRON ROD FOUND

GRAPHIC SCALE: 1"=40'



N/F
JOSEPH & ALLYSON HAMM
MAP 37, PARCEL 70
DEED BK. 26490, PG. 365

20' WIDE ACCESS AND UTILITY EASEMENT

PROPOSED EROSION BARRIER
DURING CONSTRUCTION,
STAKED HAY BALES
(SEE DETAIL)

LOT 1 TO ACT AS TEMPORARY
STAGING AND STOCKPILE AREA

N/F
JAMES & MELISSA BABINEAU
MAP 37, PARCEL 68
DEED BK. 35551, PG. 363

LOT-1
18"HW=252.30
6-12" RIPRAP 8'W.X10'L.

LOT-2

LOT-3

LOT-4

SEPTIC AREA

SEPTIC AREA

N/F
THE JOSEPH E. GORDON AND AMY L. JORDAN
REVOCABLE FAMILY TRUST 2005
MAP 37, PARCEL 66
DEED BK. 31735, PG. 471

TEMPORARY STOCKPILE AREA

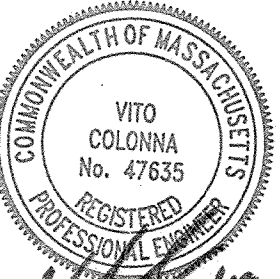
CLEARING AND GRADING LIMIT

LEGEND

- DRAIN MAN HOLE
—+— DRAINAGE LINE
—+— CATCH BASIN
—+— SEWER LINE
—+— SEWER MAN HOLE
—+— BITUMINOUS CURBING
—+— EDGE OF PAVEMENT
—+— GUARD RAIL
—+— APPROX. WATERLINE
—+— HYDRANT
—+— WATERGATE
—+— APPROX. GAS LINE
—+— GAS GATE

- UTILITY POLE & GUY WIRE
—+— CHAIN LINK FENCE
—+— LIGHTPOST
—+— HANDICAP SPACE
—+— ELECTRIC TRANSFORMER
—+— SIGN
—+— VERTICAL BENCHMARK
—+— DECIDUOUS TREE >8"
—+— CONIFEROUS TREE >8"
—+— TREELINE
—+— SPOT GRADE
—+— WETLAND LINE
—+— TELEPHONE MAN HOLE

PLAN No. 754, 1974, BK. 245



ZONED: AR-1
AREA = 44,000 sf
FRONTAGE = 180 feet
SETBACKS: FRONT = 35 feet
SIDE = 15 feet
REAR = 15 feet

EROSION AND SEDIMENTATION CONTROL NOTES:

- ALL WORK SHALL BE IN ACCORDANCE WITH THE ORDER OF CONDITIONS ISSUED BY THE TOWN OF MEDWAY CONSERVATION COMMISSION, AND THE PROJECT STORMWATER POLLUTION PREVENTION PLAN.
- PRIOR TO INITIATING CONSTRUCTION, ALL SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLANS AND DETAIL DRAWINGS.
- THIS PLAN DEPICTS THE MINIMUM REQUIRED SEDIMENTATION AND EROSION CONTROLS. THE CONTRACTOR SHALL EMPLOY ADDITIONAL SEDIMENTATION AND EROSION CONTROL MEASURES AS NECESSITATED BY SITE CONDITIONS, OR AS DIRECTED BY THE OWNER, THE OWNER'S REPRESENTATIVE, OR THE CONSERVATION COMMISSION TO ENSURE PROTECTION OF ALL WETLAND RESOURCES AND CONTROL SEDIMENT TRANSPORT. IF SEDIMENTATION PLUMES OCCUR, THE CONTRACTOR SHALL STOP WORK AND INSTALL ADDITIONAL SEDIMENTATION CONTROL DEVICES IMMEDIATELY TO PREVENT FURTHER SEDIMENTATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL TEMPORARY AND PERMANENT SEDIMENTATION AND EROSION CONTROLS UNTIL WORK IS COMPLETE AND ALL AREAS HAVE BEEN PERMANENTLY STABILIZED. AT SUCH TIME THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL SEDIMENTATION AND EROSION CONTROL MEASURES.
- THE CONTRACTOR SHALL INSPECT SEDIMENTATION AND EROSION CONTROLS ON A DAILY BASIS AND IMMEDIATELY AFTER EACH RAINFALL; REPAIRS SHALL BE MADE BY THE END OF THE WORKING DAY. ACCUMULATED SEDIMENT SHALL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR WHEN THE VOLUME REACHES 1/4 TO 1/2 THE HEIGHT OF STRAWBALE OR SEDIMENT TRAP, OR AS DIRECTED BY THE LOCAL AUTHORITY.
- SOIL STOCKPILES SHALL BE STABILIZED TO PREVENT EROSION, AND A PERIMETER SEDIMENT CONTROL BARRIER SHALL BE INSTALLED. NO MATERIALS SUBJECT TO EROSION SHALL BE STOCKPILED OVERNIGHT WITHIN 100 FEET OF A WETLAND UNLESS COVERED.
- TOPSOIL STOCKPILES AND DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR AT LEAST 7 DAYS WILL BE STABILIZED WITH A TEMPORARY SEED AND MULCH NO LATER THAN 7 DAYS FROM THE LAST CONSTRUCTION ACTIVITY IN THAT AREA. THE TEMPORARY SEED SHALL BE EROSION CONTROL MIX. DISTURBED PORTIONS OF THE SITE WHERE FINAL GRADE HAS BEEN MET AND CONSTRUCTION ACTIVITY CEASES SHALL BE STABILIZED WITH PERMANENT SEED NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY. THE PERMANENT SEED MIX CONSISTS OF BLUEGRASS, TALL FESCUE, AND ANNUAL RYE. PRIOR TO SEEDING, GROUND AGRICULTURAL LIMESTONE SHALL BE APPLIED AS REQUIRED. SEEDING SHALL BE NUTRIENT ENRICHED HYDROSEED AND CELLULOSE OR OTHER DEGRADABLE FIBERS CAPABLE OF RETAINING MOISTURE. IF NOT DURING THE GROWING SEASON, THESE AREAS SHALL BE MULCHED WITH STRAW AND SECURED.
- DEWATERING OPERATIONS, IF REQUIRED, SHALL DISCHARGE ONTO STABILIZED AREAS, AND ALL DISCHARGE WATER IS TO PASS THROUGH SEDIMENTATION CONTROL DEVICES TO PREVENT IMPACTS UPON WATER BODIES, BORDERING VEGETATED WETLANDS, DRAINAGE SYSTEMS AND ADJUTING PROPERTIES. AT A MINIMUM ALL DISCHARGES SHALL BE INTERCEPTED BY STRAWBALE CORRAL AND STRAWBALE CHECK DAMS SPACED 10' APART.
- STRAW WATTLES AND SILT FENCE SHALL BE INSTALLED ALONG THE EDGE OF PROPOSED DEVELOPMENT OR AS INDICATED ON THE PLANS. ADDITIONAL BARRIERS SHALL BE LOCATED AS CONDITIONS WARRANT, AND IN SOME AREAS WEED FREE BALE/SILT FENCING STRUCTURES MAY HAVE TO BE DUPLICATED AT REGULAR INTERVALS UP GRADIENT OF WETLANDS.
- STREET SWEEPING IN THE VICINITY OF THE PROJECT AREA SHALL BE PERFORMED AS NEEDED UNTIL THE PROJECT LIMITS HAVE BEEN STABILIZED. ALL SEDIMENT TRACKED ONTO PUBLIC RIGHT-OF-WAYS SHALL BE SWEEPED AT THE END OF EACH WORKING DAY.
- ALL EXISTING AND PROPOSED DRAINAGE SYSTEM INLETS, WHICH MAY RECEIVE STORMWATER FLOW FROM DISTURBED AREAS, SHALL BE PROVIDED WITH INLET PROTECTION (CATCH BASIN SILT SACKS). THE CONTRACTOR SHALL MAINTAIN THESE DEVICES PER THE MANUFACTURERS RECOMMENDATIONS UNTIL ALL WORK IS COMPLETED AND ALL AREAS HAVE BEEN ADEQUATELY STABILIZED.
- DUST CONTROL MEASURES SHALL BE IMPLEMENTED AND MAINTAINED PROPERLY THROUGHOUT DRY WEATHER PERIODS UNTIL ALL DISTURBED AREAS HAVE BEEN PERMANENTLY STABILIZED. METHODS FOR DUST CONTROL SHALL INCLUDE WATER SPRINKLING AND/OR OTHER METHODS APPROVED BY THE ENGINEER.
- ALL VEHICLES SHALL ENTER AND EXIT THE SIT VIA THE STABILIZED CONSTRUCTION ENTRANCE CONSISTING OF 2" TO 3" INCH CRUSHED STONE TO A DEPTH OF 6" FOR A MINIMUM OF THE FIRST 50 FEET FROM EXISTING PAVED STREETS. EXTEND THE PAD BEYOND 50 FEET AS NECESSARY BASED UPON FIELD CONDITIONS. IF THE SITE CONDITIONS ARE SUCH THAT THE GRAVEL PAD DOES NOT REMOVE THE MAJORITY OF THE MUD AND DEBRIS, THEN THE TIRES SHALL BE WASHED BEFORE ANY VEHICLES ENTER ADJACENT ROADWAYS. ALL WATER USED FOR TIRE WASHING SHALL BE COLLECTED AND TREATED PRIOR TO ENTERING THE DRAINAGE SYSTEM. THE CONTRACTOR SHALL INSPECT THE CONSTRUCTION ENTRANCE DAILY AND AFTER HEAVY USE.
- EQUIPMENT NOT IN USE SHALL NOT BE PARKED WITHIN WETLANDS OR BUFFER AREAS.

TEMPORARY EROSION CONTROL
PROVIDE SILT SACKS IN ALL
CATCH BASINS, UNTIL SITE IS
STABILIZED (SEE DETAIL).
PROVIDE STONE CONSTRUCTION
ENTRANCE UNTIL BINDER COURSE
PAVEMENT (SEE DETAIL).

APPROVAL UNDER THE
SUBDIVISION CONTROL LAW,
IS REQUIRED.
MEDWAY PLANNING BOARD

DATE:

I, _____ CLERK OF THE TOWN OF MEDWAY
RECEIVED AND RECORDED APPROVAL FROM THE PLANNING BOARD
OF THIS PLAN ON _____ AND NO APPEAL WAS TAKEN
FOR TWENTY (20) DAYS THEREAFTER.

THIS PLAN IS SUBJECT TO A COVENANT
TO BE RECORDED HEREWITH.

ASSESSOR MAP 37, LOT 67

OWNER / APPLICANT:

THE RESIDENCES AT CHOATE TRAIL, LLC
17 GOLDFINCH LANE
NASHUA, NH 03062

CONNORSTONE
ENGINEERING INC.

CIVIL ENGINEERS AND LAND SURVEYORS
10 SOUTHWEST CUTOFF, SUITE 7
NORTHBOROUGH, MASSACHUSETTS 01532
PHONE: 508-393-9727 FAX: 508-393-5242

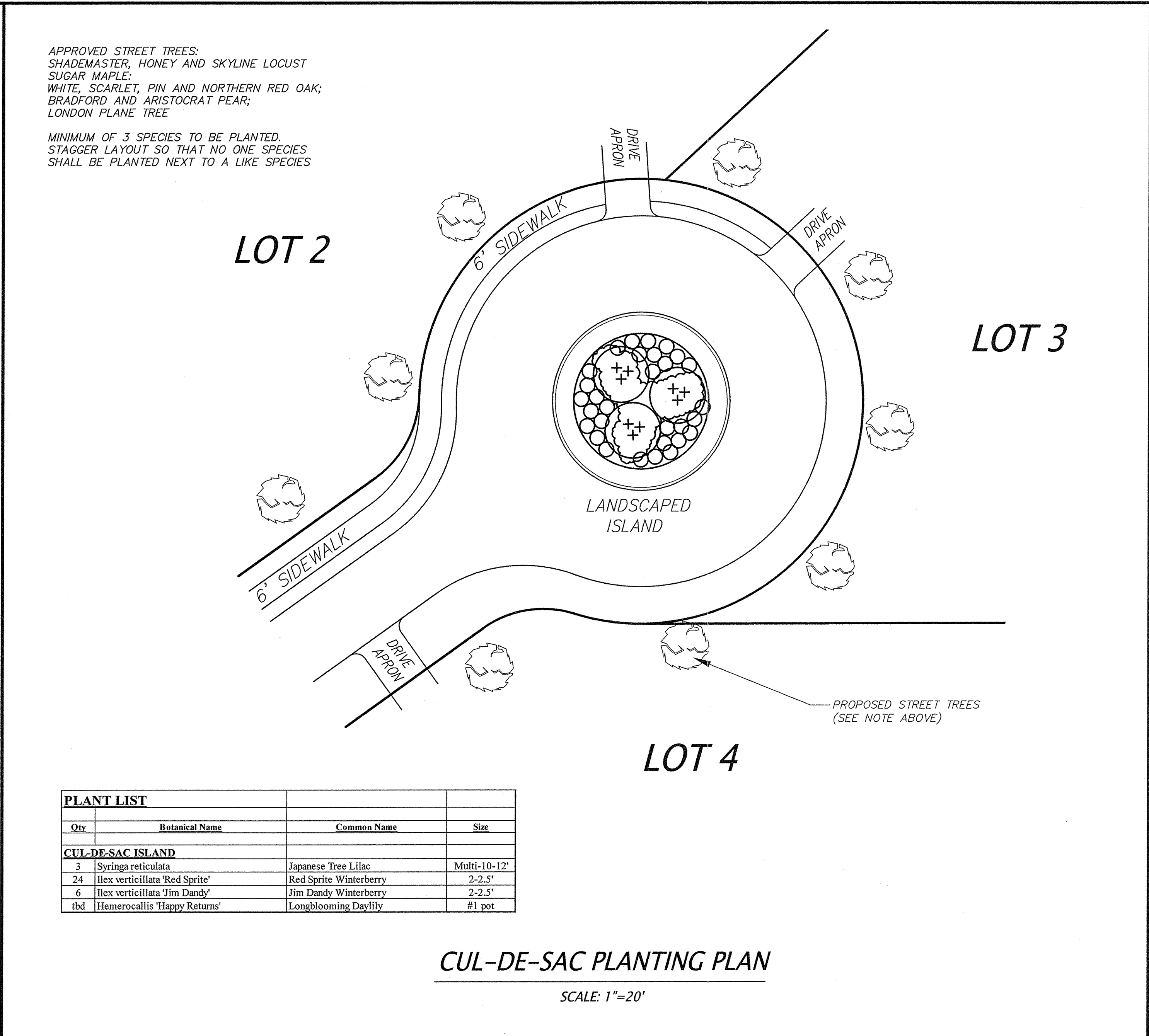
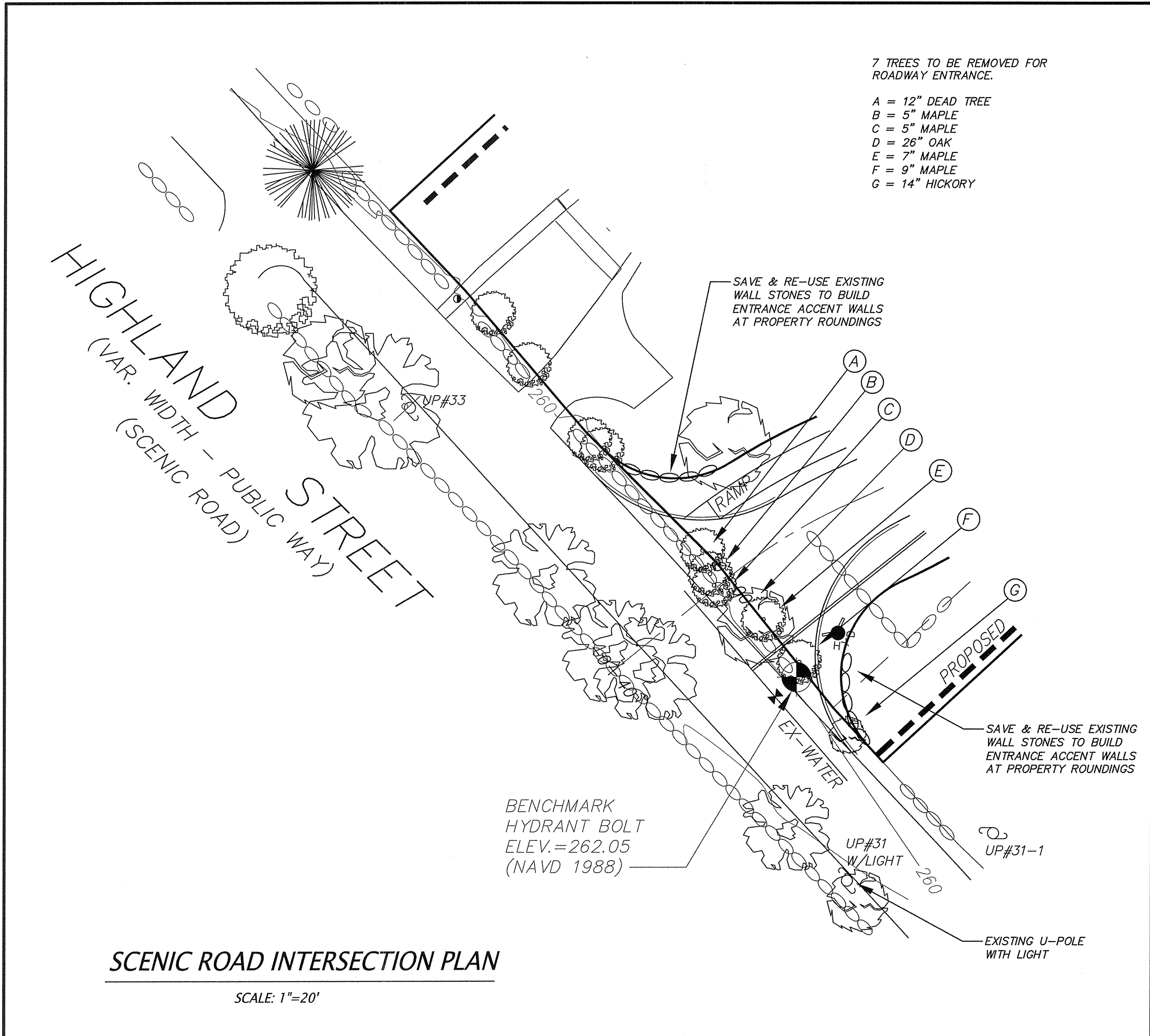
DEFINITIVE SUBDIVISION PLAN
EROSION CONTROL PLAN
CHOATE TRAIL WAY
IN
MEDWAY, MASS.

REVISION: DESCRIPTION:

DRAWN BY: REM CHECK BY: VC

DATE: NOVEMBER 8, 2019

SCALE: 1"=40' SHEET 4 OF 7.



APPROVAL UNDER THE SUBDIVISION CONTROL LAW, IS REQUIRED.

MEDWAY PLANNING BOARD

DATE: _____

THIS PLAN IS SUBJECT TO A COVENANT TO BE RECORDED HERewith.

ASSESSOR MAP 37, LOT 67

OWNER / APPLICANT:
THE RESIDENCES AT CHOATE TRAIL, LLC
17 GOLDFINCH LANE
NASHUA, NH 03062

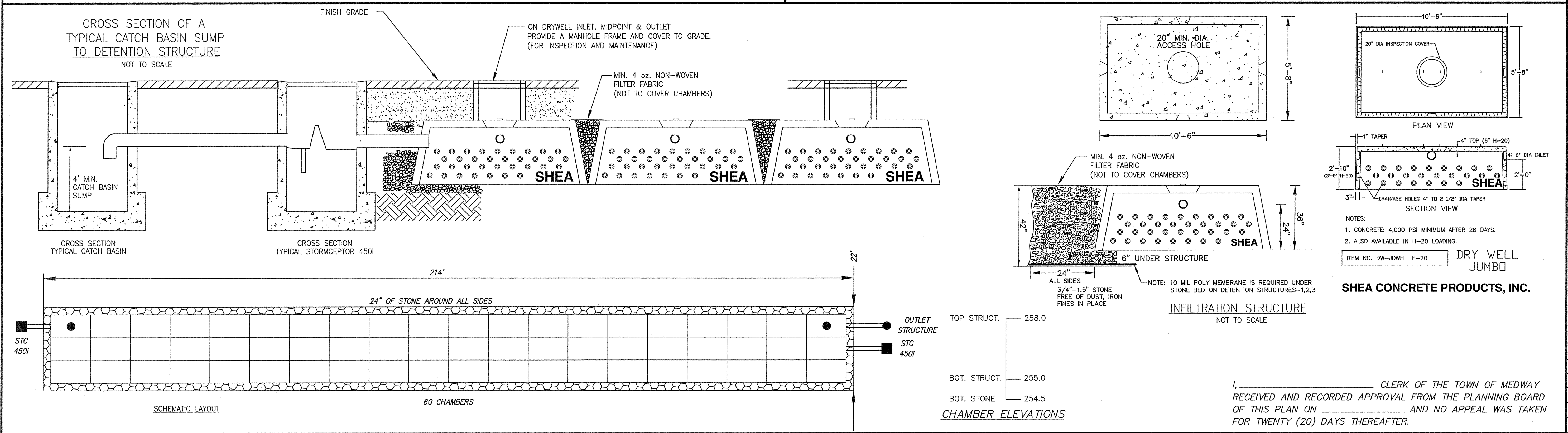
CONNORSTONE ENGINEERING INC.
CIVIL ENGINEERS AND LAND SURVEYORS
10 SOUTHWEST CUTOFF, SUITE 7
NORTHBOROUGH, MASSACHUSETTS 01532
PHONE: 508-393-9727 FAX: 508-393-5242

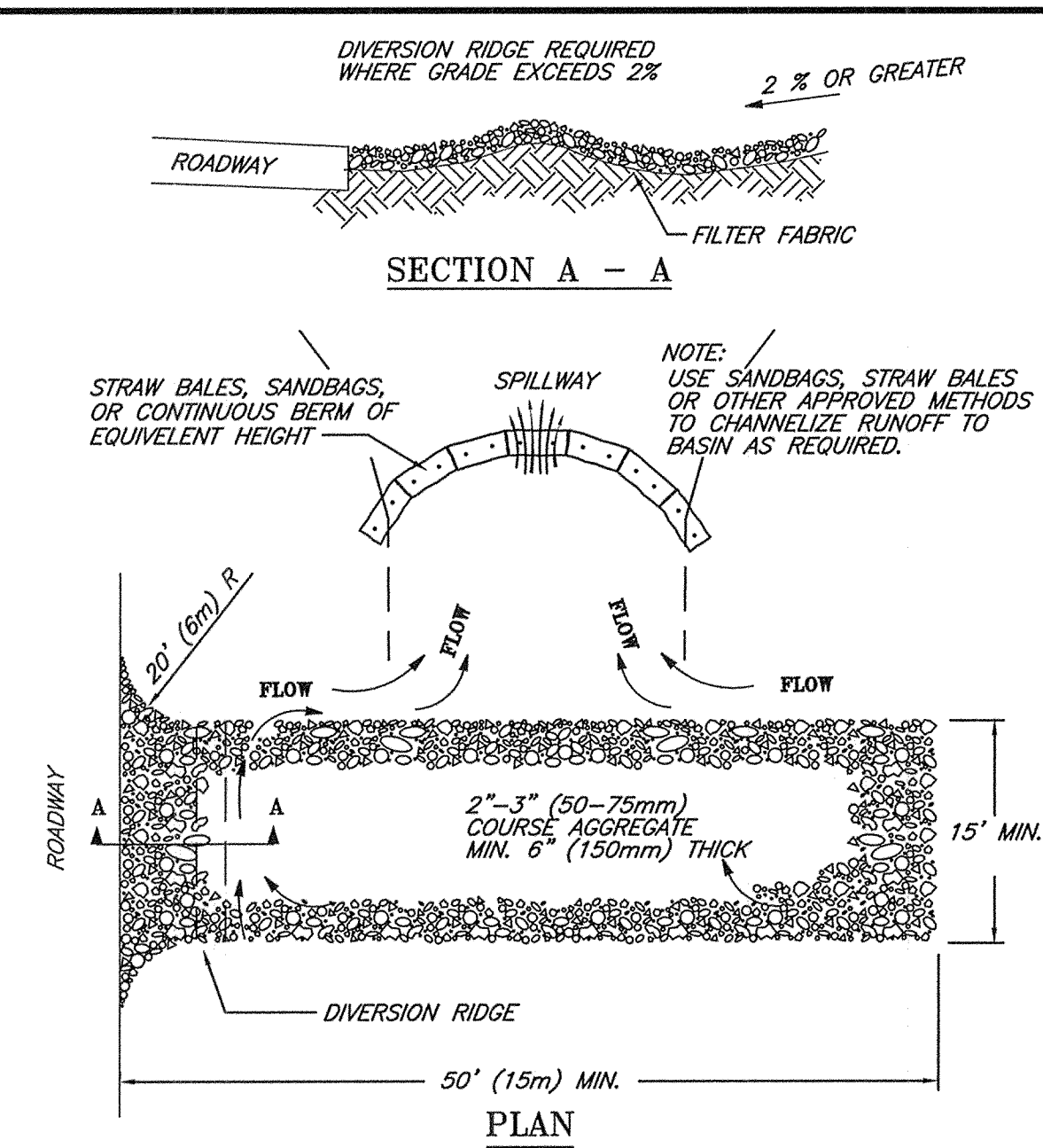
DEFINITIVE SUBDIVISION PLAN
SITE DETAIL PLAN
CHOATE TRAIL WAY
IN
MEDWAY, MASS.

REVISIONS:

NO.	DESCRIPTION
1	
2	
3	
4	
5	
6	
7	
8	
9	
10	

DRAWN BY: REM CHECK BY: VC
DATE: NOVEMBER 8, 2019
SCALE: 1"=40' SHEET 5 OF 7.



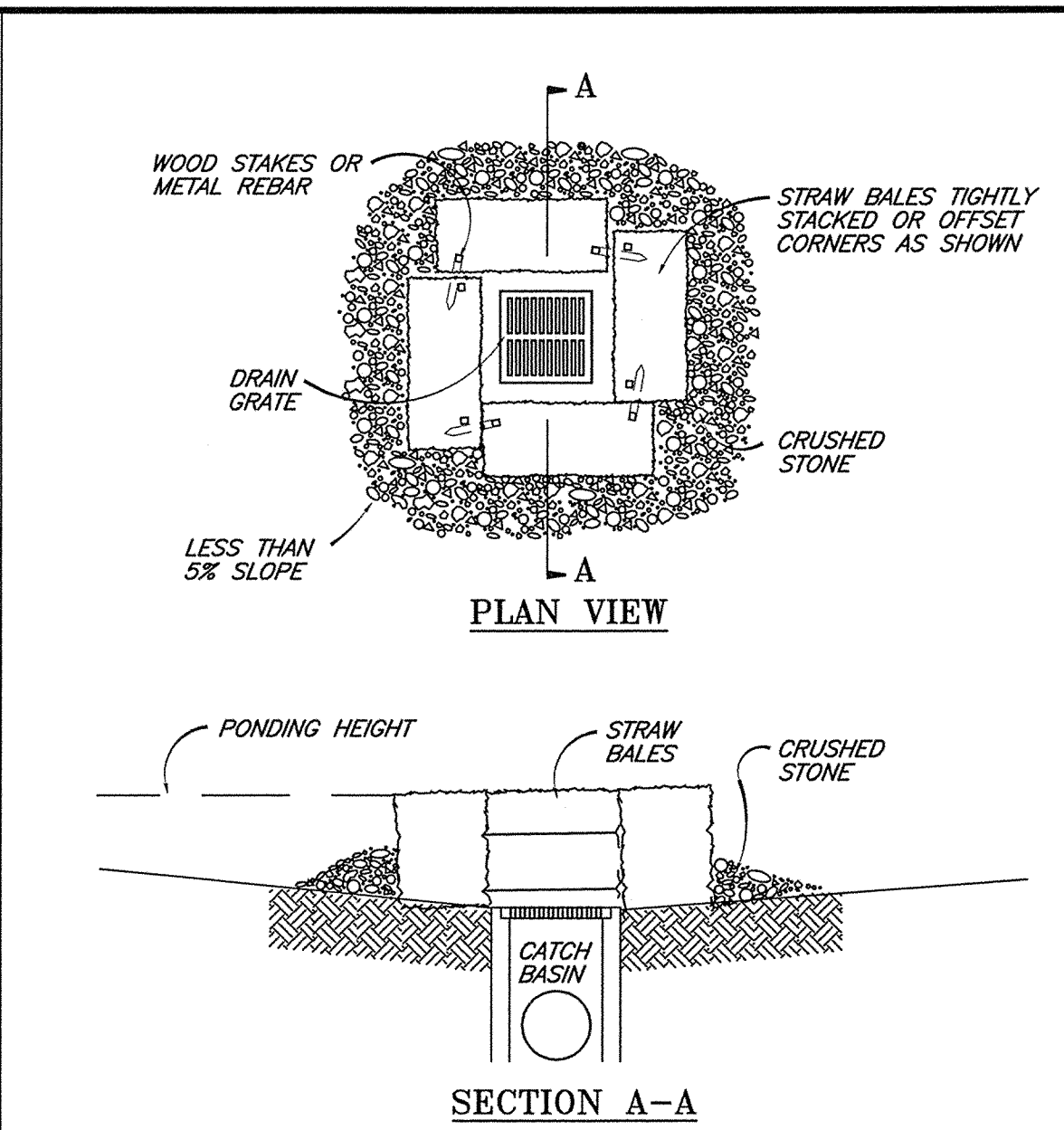


NOTES:

1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT

© 1994 JOHN MCCULLAH

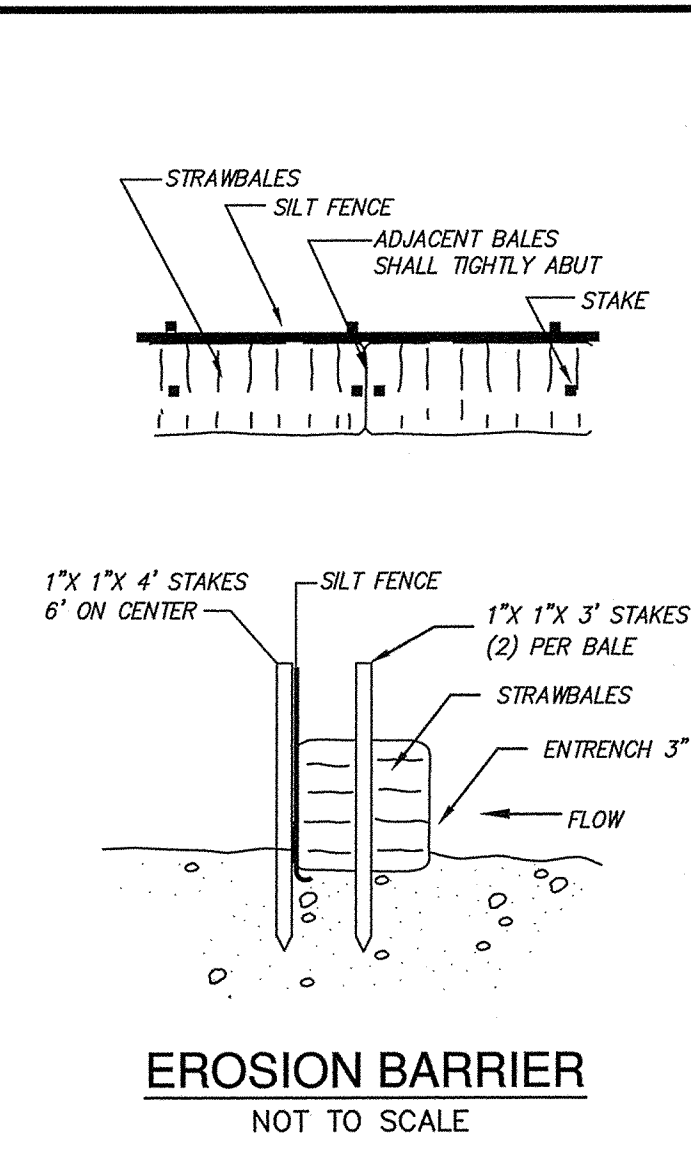


NOTES:

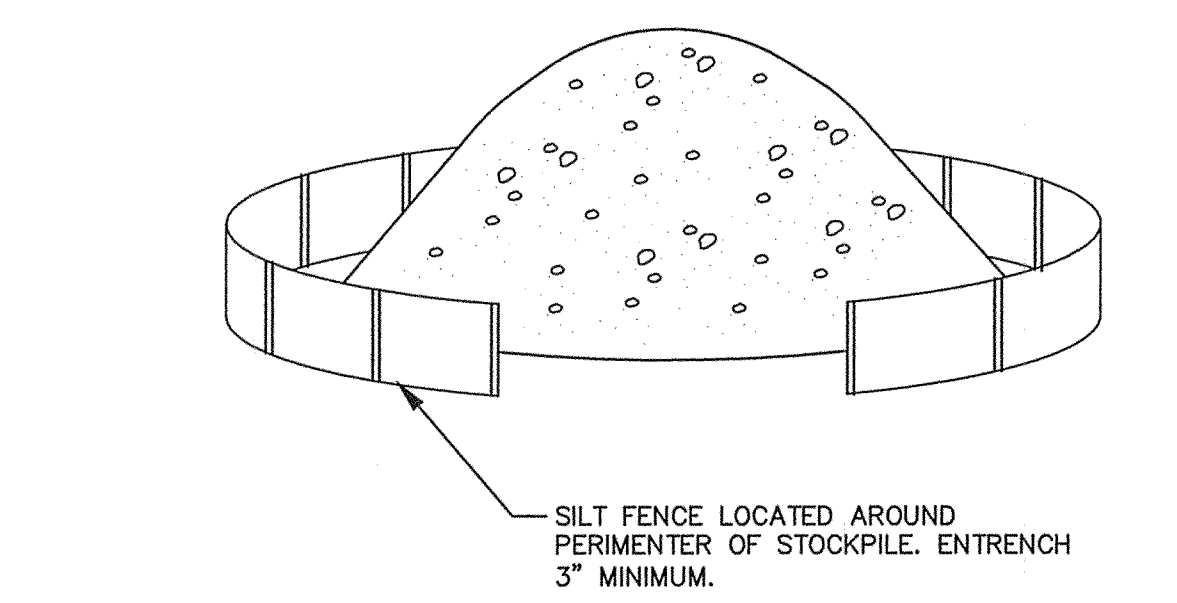
1. SEDIMENT BARRIERS ARE TO BE USED FOR SMALL, NEARLY LEVEL DRAINAGE AREAS. (LESS THAN 5%)

PLACE BALES WITH ENDS TIGHTLY ABUTTING. STONE BACKFILL WILL PREVENT EROSION OR FLOW AROUND THE BALES.

STRAW BALE/GRAVEL SEDIMENT BARRIER AT CATCH BASINS
NOT TO SCALE



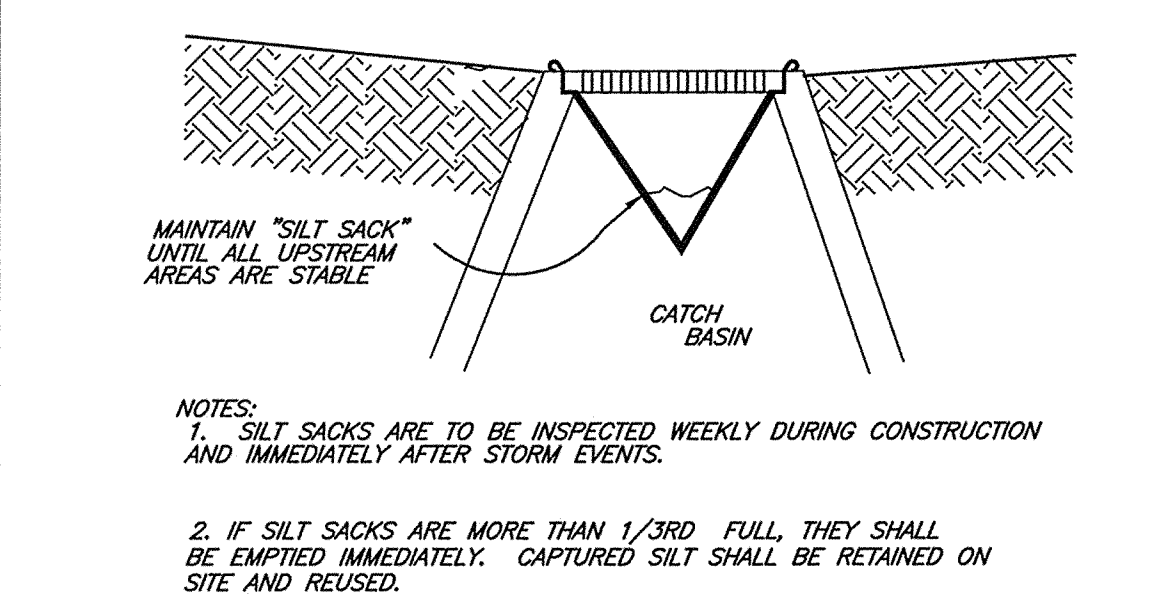
EROSION BARRIER
NOT TO SCALE



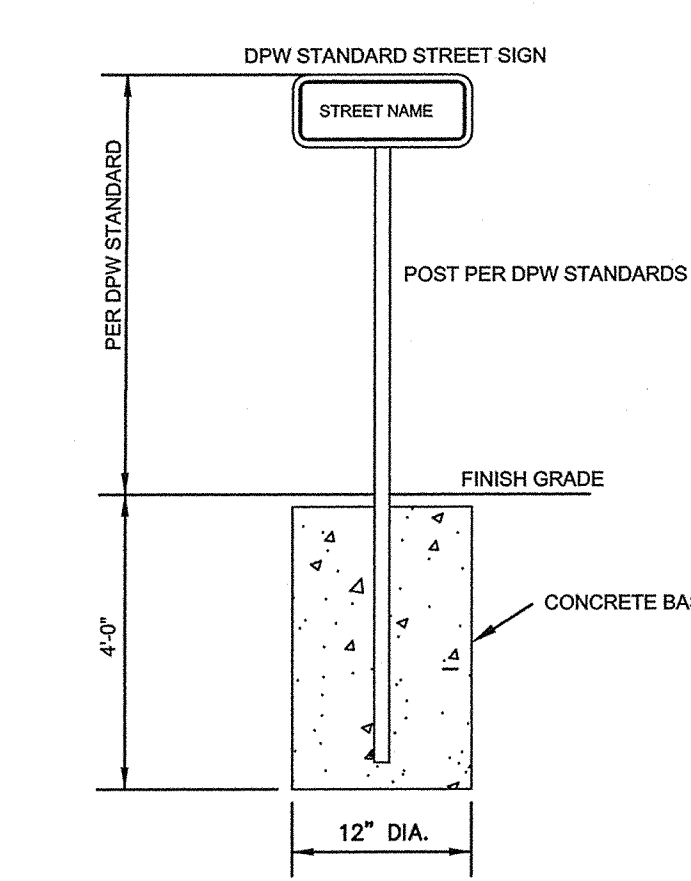
NOTES:

1. NO MATERIALS SUBJECT TO EROSION SHALL BE STOCKPILED OVERNIGHT WITHIN 100 FEET OF A WETLAND UNLESS COVERED.
2. STOCKPILES SHALL BE LOCATED ON DRY STABLE AREAS.
3. STOCKPILES TO REMAIN FOR GREATER THAN SEVEN DAYS SHALL BE STABILIZED WITH A TEMPORARY SEED MIXTURE.

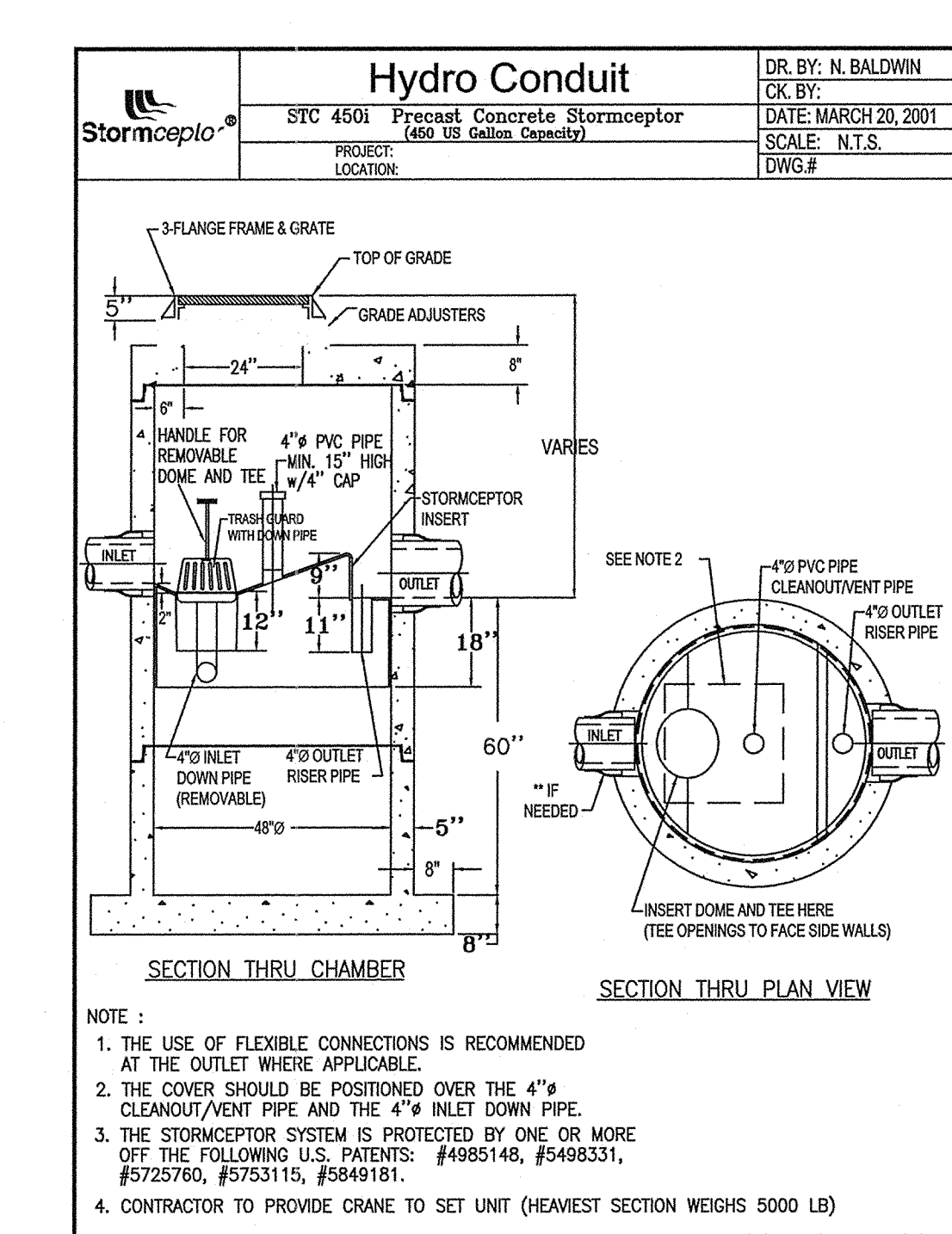
SOIL STOCKPILE DETAIL
NOT TO SCALE



SILT SACK OR EQUAL SEDIMENT CONTAINMENT SYSTEM
NOT TO SCALE

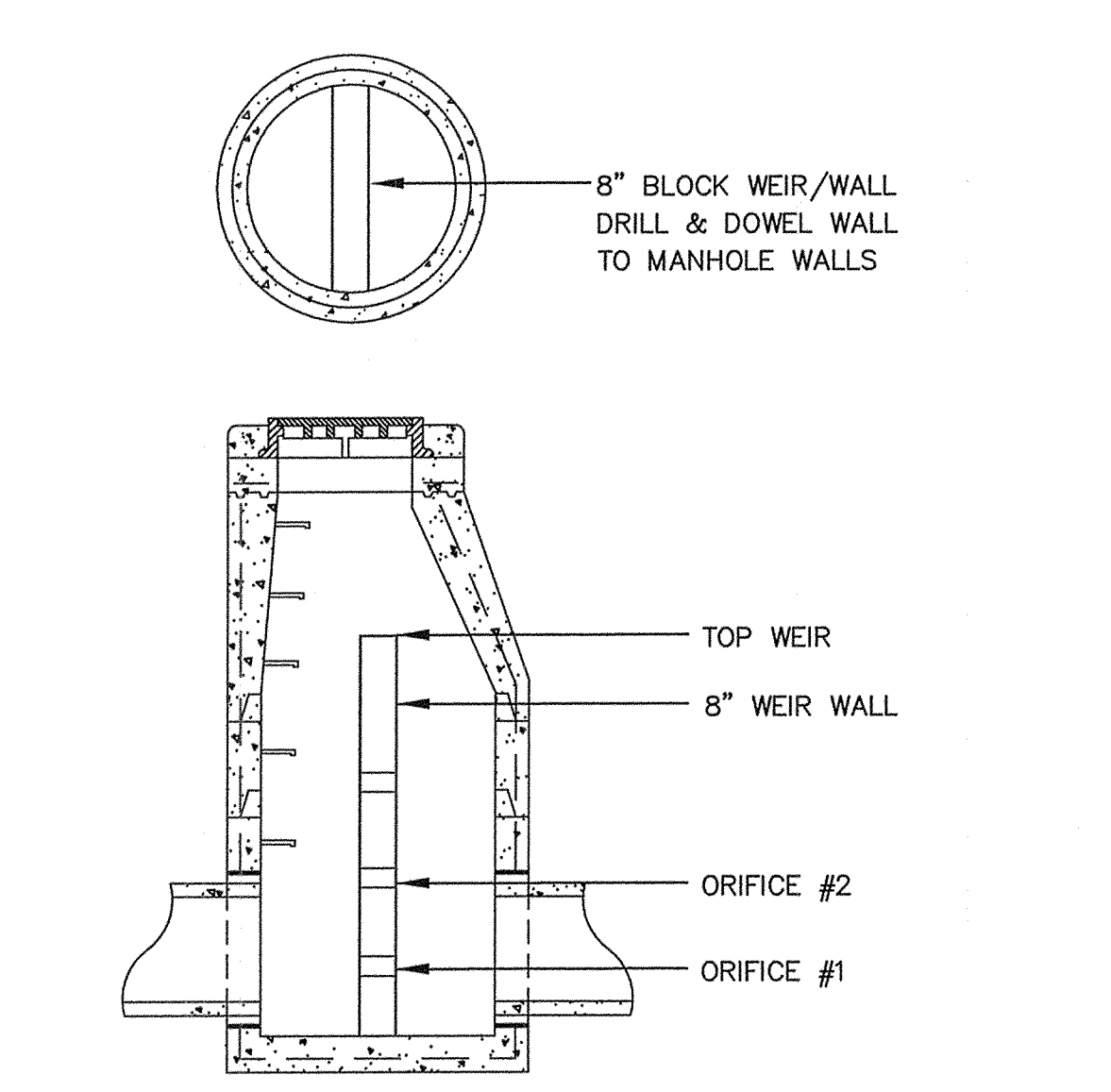


SIGN POST DETAIL
NOT TO SCALE

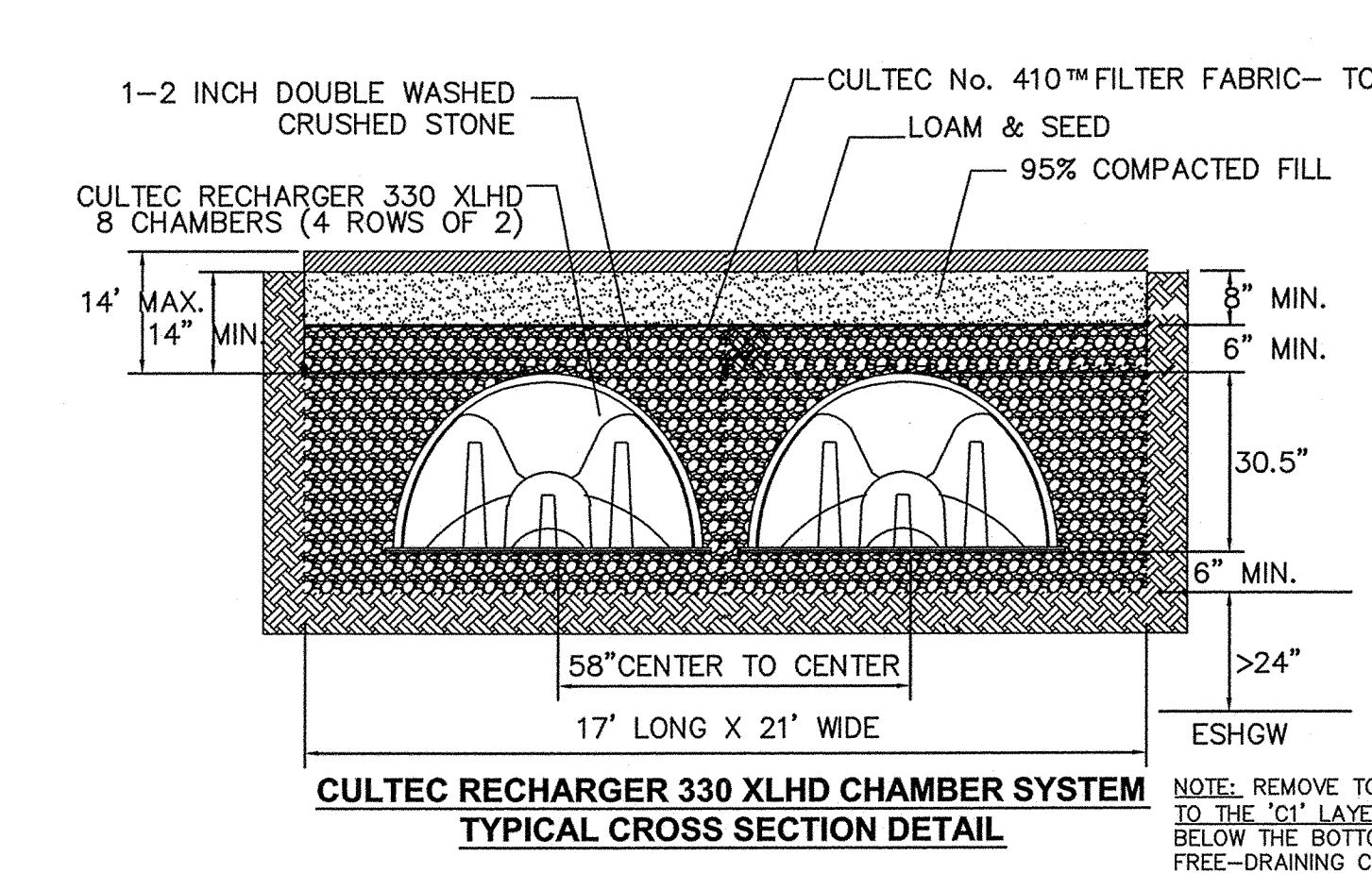


NOTE:

1. THE USE OF FLEXIBLE CONNECTIONS IS RECOMMENDED AT THE OUTLET WHERE APPLICABLE.
2. THE COVER SHOULD BE POSITIONED OVER THE 4" CLEANOUT/VENT PIPE AND THE 4" INLET DOWN PIPE.
3. THE STORMCEPTOR SYSTEM IS PROTECTED BY ONE OR MORE OF THE FOLLOWING U.S. PATENTS: #4985148, #5498331, #5725760, #5753115, #5849181.
4. CONTRACTOR TO PROVIDE CRANE TO SET UNIT (HEAVIEST SECTION WEIGHS 5000 LB)



OUTLET CONTROL STRUCTURE WEIR WALL DETAIL
NOT TO SCALE



NOTE: DRYWELLS CONSIST OF 8 CULTEC 330XL CHAMBERS WITH CAPACITY FOR A ROOF AREA OF 3,200 SQUARE FEET. FINAL DESIGN OF HOUSES SHALL PROVIDE FOR AT LEAST ONE CHAMBER PER 400 SQUARE FEET OF ROOF AREA.

NOTE: REMOVE TOP/SUBSOIL BELOW DRYWELL TO THE "G" LAYER. ANY FILL REQUIRED BELOW THE BOTTOM OF STONE SHALL BE FREE-DRAINING CLEAN SAND PER TOWN REQUIREMENTS.

CULTEC RECHARGER 330 XLHD CHAMBER SYSTEM TYPICAL CROSS SECTION DETAIL

APPROVAL UNDER THE
SUBDIVISION CONTROL LAW,
IS REQUIRED.
MEDWAY PLANNING BOARD

DATE: _____
THIS PLAN IS SUBJECT TO A COVENANT
TO BE RECORDED HEREWITH.

I, _____ CLERK OF THE TOWN OF MEDWAY
RECEIVED AND RECORDED APPROVAL FROM THE PLANNING BOARD
OF THIS PLAN ON _____ AND NO APPEAL WAS TAKEN
FOR TWENTY (20) DAYS THEREAFTER.

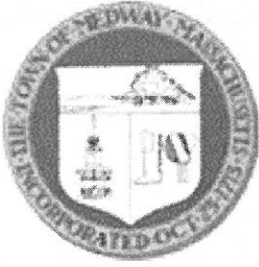


OWNER / APPLICANT:
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17 GOLDFINCH LANE
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CONNORSTONE ENGINEERING INC.
CIVIL ENGINEERS AND LAND SURVEYORS
10 SOUTHWEST CUTOFF, SUITE 7
NORTHBOROUGH, MASSACHUSETTS 01532
PHONE: 508-393-9727 FAX: 508-393-5242

**DEFINITIVE PLAN
CONSTRUCTION DETAILS
OF
CHOATE TRAIL WAY
IN
MEDWAY, MASS**

REVISED:	DESCRIPTION:
DRAWN BY: RM	CHECK BY: VC
DATE: NOVEMBER 8, 2019	
SCALE: NONE	SHEET 7 OF 7.



Medway Historical Commission

Town of Medway
155 Village Street
Medway, MA 02053

May 2, 2019

Mr. Bob Pace (by regular mail and e-mail)
Mr. David Spertner
The Residences at Choate Trail, LLC
11 Tanglewood
Nashua, NH 03062

(Rpace100@outlook.com) and (dspertner@gmail.com)

Re: 42 Highland Street, Medway, Notice of Intent to Demolish

Dear Mr. Pace and Mr. Spertner:

Thank you for coming to our meeting on May 1st as we considered your Application to Demolish A Building 75 or More Years Old, dated and signed by Mr. Jack Mee, Building Commissioner, on April 25, 2019, in reference to 42 Highland Street.

After review of several aspects of the house, its place in the surrounding neighborhood (the 'streetscape'), our previous review in 2016, its age (over 100 years), its lack of unique architectural design, and the fact that, though near the Rabbit Hill National Historic District, it is not located within it, the Historical Commission voted unanimously that the house is not historically significant to the Town of Medway. A formal hearing is not required. The application is approved by the Historical Commission, and no further action or consideration is necessary on our part.

Sincerely,

Medway Historical Commission
By its Chairman,
Jeanne Johnson

Cc: (by e-mail and regular mail) Jack Mee, Building Commissioner
(by e-mail and regular mail) Barbara Saint Andre,
Director, Community & Economic Development

Susan Affleck-Childs

From: Susan Affleck-Childs
Sent: Tuesday, December 03, 2019 1:16 PM
To: Michael Boynton; Barbara Saint Andre; Bridget Graziano; Joanne Russo; Jack Mee ; David Damico; Jeff Lynch (ChiefLynch@townofmedway.org); Mike Fasolino ; Allen Tingley ; Beth Hallal; Donna Greenwood; Peter Pelletier; Jeff Watson; 'Elizabeth Taglieri'
Subject: Choate Trail Way Definitive Subdivision Plan - Public Hearing begins December 10th - Comments Requested

Hi,

The Planning and Economic Development Board has received an application from the Residences at Choate Trail, LLC of Nashua, NH for approval of a definitive subdivision plan for a proposed 4 lot, private way subdivision at 42 and 42R Highland Street.

The Board will begin the required public hearing on Tuesday, December 10th at 8:00 p.m. Sanford Hall at Medway Town Hall.

The *Choate Trail Way Definitive Subdivision Plan* is dated November 8, 2019 and was prepared by Connorstone Engineering, Inc. of Northborough, MA. The plan shows the division of the 5.88 acre property into four residential lots, one lot with the existing house at 42 Highland Street, and three new house lots with frontage on a proposed 578' long permanent private roadway. The development will connect to Town water. The properties will include individual private septic systems. The property also includes wetlands under the jurisdiction of the Conservation Commission necessitating a Notice of Intent application and an application for Land Disturbance permit. The project may also be subject to the Town's *Scenic Road Rules and Regulations*.

The subdivision plan, application and associated documents are available for viewing and downloading at: <https://www.townofmedway.org/planning-economic-development-board/pages/choate-trail-way-definitive-subdivision-plan>

Please review the definitive subdivision plan and provide any comments to me by Tuesday, December 10, 2019 so they can be distributed to the Board, included in the public hearing record, and shared with the applicant and project engineer.

I have extra sets of the subdivision plan in my office and would be glad to provide one to you to assist in your review.

The Board's consulting engineer and consulting planner are reviewing the plan and will provide comments to the Board.

Thanks for your help and please let me know if you have any questions.

Susy

Susan E. Affleck-Childs
Planning and Economic Development Coordinator
Town of Medway

**155 Village Street
Medway, MA 02053
508-533-3291**

PGC ASSOCIATES, LLC

1 Toni Lane
Franklin, MA 02038-2648
508.533.8106
gino@pgcassociates.com

December 4, 2019

Mr. Andy Rodenhiser, Chairman
Medway Planning Board
155 Village Street
Medway, MA 02053

RE: Choate Trail Definitive Subdivision Plan

Dear Mr. Rodenhiser:

I have reviewed the definitive plan submitted by owner/applicant Lock it Up, LLC of Newton. The proposed work is to construct a neighborhood street in the form of cul-de-sac with 4 lots. The plan was prepared by Connorstone Engineering, Inc. of Northborough of and is dated November 8, 2019. I have comments as follows:

1. The proposed lots comply with zoning for area, frontage and lot shape factor. The lots also appear to meet the 50% upland requirement, but a calculation should be done for Lot 1 to document this.
2. The intersection with Highland Street is offset more than 150 feet from the Highland Street intersection with Summer Street.
3. Section 5.7.6 requires the Existing Conditions sheet to locate trees with a diameter greater than 12 inches. This was not done.
4. Section 5.7.15 requires easements on the subject parcel and abutting land as well as their purpose. A 20' wide right-of-way is shown on three abutting lots, but the purpose is not clear.
5. Section 7.9.6 (c) requires that subdivisions provide an extension to abutting undeveloped land. The Town of Medway owns the abutting land so a roadway extension is not necessary but a pedestrian extension to provide access to Choate Park should be considered. No such pedestrian path is shown on the plan. Understanding that the road is to remain private, a private easement and connection to Choate Trail for the residents of the subdivision could still be desirable.
6. Section 5.7.16 requires waiver requests to be listed on the cover page. This was not done.
7. Section 5.7.28 requires existing and proposed streetlight locations to be shown. This was not done. Section 7.21.1 requires streetlights at intersections and other places where the Traffic Safety Officer deems they are needed (end of cul-de-sac?). Section 7.21.7 encourages applicants to include individual post lights.

8. Section 5.11 requires subdivisions with frontage on scenic roads to comply with Scenic Road regulations. This appears to be the case, but a public hearing is required (which could be simultaneous with the subdivision hearing).
9. Section 7.13.3 requires sidewalks along the frontage of existing Town ways as well as within the subdivision. No sidewalk is proposed along the Highland Street frontage.
10. Section 7.22 notes the Board policy of maximizing opportunities for pedestrian connections and that the Board has the discretion to require easements across lots within the subdivision to connect the subdivision to nearby schools, playgrounds, parks or other areas (See Comment #5). Section 7.24.3 specifies that such easements shall be at least 20 feet wide.

If there are any questions about these comments, please call or e-mail me.

Sincerely,

A handwritten signature in black ink, appearing to read "Gino D. Carlucci, Jr.", with a stylized flourish at the end.

Gino D. Carlucci, Jr.



December 10, 2019

Ms. Susan E. Affleck-Childs
Medway Planning and Economic Development Coordinator
Medway Town Hall
155 Village Street
Medway, MA 02053

**Re: 42 Highland Street (Choate Trail Way)
Definitive Subdivision Review (Permanent Private Way)
Medway, Massachusetts**

Dear Ms. Affleck-Childs:

Tetra Tech (TT) has performed a review of the proposed Site Plan for the above-mentioned Project at the request of the Town of Medway Planning and Economic Development Board (PEDB). The proposed Project is located at 42 Highland Street in Medway, MA. Proposed Project includes the development of a 4-lot residential subdivision, appurtenant roadway, utilities, and stormwater drain infrastructure.

TT is in receipt of the following materials:

- A plan set (Plans) titled "Definitive Subdivision Plan, Choate Trail Way in Medway, Mass.", dated November 8, 2019, prepared by Connorstone Engineering, Inc (CEI).
- An Application for Approval of a Definitive Subdivision Plan, dated October 15, 2019.
- A stormwater report (Report) titled "Stormwater Report for Choate Trail Way Off Highland Street, Medway, MA" dated November 8, 2019, prepared by CEI.
- A Stormwater Pollution Prevention Plan (SWPPP) prepared by CEI.
- NRCS Soil Mapping and Test Pit Results prepared by CEI.

The Plans and accompanying materials were reviewed for conformance with Chapter 100 of the Town of Medway PEDB Rules and Regulations (Regulations) and good engineering practice. Review of the project for zoning, stormwater and wetland related issues was not completed as these reviews are conducted by other consultants/town permitting authorities.

DEFINITIVE SUBDIVISION REVIEW

1. The Applicant has not supplied a Development Impact Report. (Ch. 100 Section 5.5.11)
2. The Applicant has not supplied the required ANRAD determination from the Medway Conservation Commission (Conservation). (Ch. 100 Section 5.5.14)
3. A Certified List of Abutters within seven hundred feet (700') of the boundaries of the land shown in the subdivision has not been provided. (Ch. 100 Section 5.7.5)
4. Applicant has not provided zoning district information that falls within the locus of the plan. Zoning districts AR-I and AR-II are present along Highland Street, please add zoning districts if visible within the locus limit. (Ch. 100 Section 5.7.13)
5. The Applicant has not provided a cover sheet for the project with the required waiver requests shown. (Ch. 100 Section 5.7.16)

6. The Board signature block shall be titled "Planning and Economic Development Board". (Ch. 100 Section 5.7.18)
7. Provisions for street lighting have not been proposed. (Ch. 100 Section 5.7.28)
8. Proposed driveways have not been shown on the Plans. (Ch. 100 Section 5.7.30)
9. The project will meet the threshold of the Town of Medway Article XXVI - Stormwater Management and Land Disturbance Bylaw and will be required to address items listed in the Subdivision Regulations under the Bylaw. (Ch. 100 Section 7.3.1)
10. The proposed water main is located under the landscaped island which is prohibited. (Ch. 100 Section 7.6.2)
11. Notes shall be added to the Plans which ensure that no dwelling units can be constructed without first coordinating with the Medway Board of Health for the proposed septic systems. (Ch. 100 Section 7.6.2.e)
12. Utility poles are located on the opposite side of Highland Street and will require trenching and installation of the crossing of Highland Street below grade. The Plans shall specifically note that all electric/tel/data shall be installed underground including connections to existing utility poles. (Ch. 100 Section 7.6.2.g)
13. The Applicant has not proposed a spare conduit for the proposed electric/tel/data installation. (Ch. 100 Section 7.6.2.h)
14. The proposed project is creating four lots, the Regulations state a maximum of three lots shall be permitted for permanent private ways. (Ch. 100 Section 7.9.1.e)
15. The Applicant has not supplied curb radii at roadway intersection with Highland Street. (Ch. 100 Section 7.9.2.d)
16. A level slope area is required for the first 100-feet of roadway. The proposed roadway changes grade within the first 100-feet. (Ch. 100 Section 7.9.5.c)
17. The Applicant has not provided curb along the entire length of the roadway. Curb is shown in the plan view at the radii along the roadway alignment but does not appear to be included in the tangent sections. (Ch. 100 Section 7.10.2)
18. The driveway apron for Lot 4 is proposed within 14 feet of a catch basin. (Ch. 100 Section 7.11.2)
19. Proposed sidewalk ends at the intersection of Highland Street and does not extend across the frontage of Lot 1 and Lot 4. (Ch. 100 Section 7.13.3)
20. The Applicant has not proposed street lighting and should coordinate with Medway Public Safety Officer to determine if they are required. (Ch. 100 Section 7.21)

GENERAL COMMENTS

21. The applicant is proposing a dead-end water line at the end of the cul-de-sac. Applicant or design engineer should coordinate with Medway Department of Public Services to show that enough flow will exist to maintain water quality and adequate fire protection at the dead-end hydrant.
22. The Applicant shall confirm with Medway DPW if proposed tapping sleeve is an acceptable connection to the existing water main in Highland Street. In past projects a valve tree has been required at all new connections.

23. The Applicant shall coordinate with the Medway Public Safety Officer to determine if a painted "STOP" and stop line are required to be proposed.
24. Sheet 4 of the Plans shows 4 dashed polygons within the proposed roadway that do not have any description. If the polygons are proposed inlet protection, please relocate to show the polygons over the proposed catch basins.

These comments are offered as guides for use during the Town's review and additional comments may be generated during the course of review. The applicant shall be advised that any absence of comment shall not relieve him/her of the responsibility to comply with all applicable local, state and federal regulations for the Project. If you have any questions or comments, please feel free to contact us at (508) 786-2200.

Very truly yours,



Steven M. Bouley, P.E.
Senior Project Engineer



Bradley M. Picard, E.I.T.
Civil Engineer

P:\21583\143-21583-20008 (PEDB 42 HIGHLAND ST)\DOCS\42HIGHLAND-PEDBREV(2019-12-10).DOCX



December 10, 2019

**Medway Planning & Economic Development Board
Meeting**

**Evergreen Village Public Hearing
Multi-Family Special Permit, Site Plan
and Scenic Road Work Permit**

- Public Hearing Continuation Notice dated 11-13-19
- Revised Project Narrative dated 11-26-19
- Revised Evergreen Site Plan dated 11-20-19
- Revised Building Elevations dated 11-15-19
- Revised Waiver Requests dated 11-25-19
- PGC review letter of the revised site plan, dated 12-4-19

NOTE – Revised plan was submitted on 11-26-19. The review letter from Tetra Tech is forthcoming. I will send it to you upon receipt.



TOWN OF MEDWAY

Planning & Economic Development Board

155 Village Street

Medway, Massachusetts 02053


RECEIVED
NOV 13 2019
TOWN CLERK

*Andy Rodenhiser, Chairman
Robert K. Tucker, Vice-Chairman
Thomas A. Gay, Clerk
Matthew Hayes, P.E.
Richard Di Iulio*

MEMORANDUM

November 13, 2019

TO: Maryjane White, Town Clerk
Town of Medway Departments, Boards and Committees

FROM: Susy Affleck-Childs, Planning & Economic Development Coordinator 

RE: **Public Hearing Continuation: Evergreen Village Multifamily Development
(22 Evergreen Street)**
Continuation Date: Tuesday, December 10, 2019 at 8:30 p.m.
Location: Medway Town Hall – Sanford Hall, 155 Village Street

At its meeting on November 12, 2019, the Planning and Economic Development Board (PEDB) voted to continue the public hearing on the applications of Sampson Pond LLC of Medway, MA for a multi-family housing special permit, major site plan approval, and a scenic road work permit to develop a seven unit, townhouse condominium community and associated site improvements at 22 Evergreen Street to the December 10, 2019 PEDB meeting at 8:30 p.m. in Sanford Hall at Medway Town Hall, 155 Village Street. The meeting room is accessible via elevator to persons with physical disabilities.

The proposed development will include construction of one 4-unit townhouse building and one 3-unit townhouse building on the 1.44 acre site. One affordable dwelling unit will be provided. Access will be from a single curb cut from Evergreen Street. A total of 14, off-street parking spaces will be provided plus each unit will have a 2 car garage. Sub-surface stormwater management facilities will be installed on site as will landscaping, lighting, and a gardening area. Connections will be made to the existing Town sewer and water services in Evergreen Street. Construction work in the Town's Evergreen Street right-of way to create the new curb cut involves reconstructing portions of the existing stone wall. The site contains wetland resources under the jurisdiction of the Conservation Commission which will also handle the stormwater review. The site plan entitled *Evergreen Village* and dated September 5, 2019 was prepared by Ronald Tiberi, P.E. of Natick MA.

The applications, site plan and associated documents for the proposed Evergreen Village townhouse development are on file with the Medway Town Clerk and at the Community and Economic Development Department at Medway Town Hall, 155 Village Street, Medway, MA and may be reviewed during regular business hours. The materials have also been posted to the Planning and Economic Development Board's page at the Town's web site at <https://www.townofmedway.org/planning-economic-development-board/pages/current-applications-pedb-0>.

We expect to receive a revised site plan. Upon receipt, it will be posted at the Board's web page under Current Applications. Town staff, boards and committees are asked to provide comments on the proposed development and site plan by December 4th so that I can share them with the Board and the applicant and enter them into the public record during the December 10th hearing.

Please contact me if you have any questions. Thanks.

Telephone: 508-533-3291 Fax: 508-321-4987
planningboard@townofmedway.org

PROJECT NARATIVE DESCRIPTION & IMPACTS

NOVEMBER 2019

EVERGREEN VILLAGE

Working within the requirements of the multi-family special permit process by-law section 5.6.4 and it's departments and boards, we have provided a project that meets the requirements of the multi-family special permit with a project density of six units including an affordable dwelling unit, 24 parking spaces and services by town Water & Sewer facilities. A new water line with Hydrant shall be added along the driveway as well as a gravity sewer line.

The Multi-family project is located on the existing parcel of land at 22-24 Evergreen Street. The property originally consisted of a two family residentially developed parcels with an existing 1850 sf building located on the Northerly side of the property which has been razed to foundation in August of 2019.

The new development will be comprised of two buildings a three-unit townhouse structures. The buildings will have a footprint of approximately 4660 sf and be 2-½ stories in height, with two car garage space in front, and ground level patio's in the rear. The project currently proposes three five-bedroom and two three-bedroom units. The front buildings will front north towards Evergreen Street the others will front outward onto the driveways between them.

The primary access will be from Evergreen Street along a 150 foot common driveway. Additional parking is provided in the unit two car driveways for a total of 23 spaces.

The site will maintain landscapes and hardscapes to conform to the existing grading. Approximately 75% of the site is greenspace with a gardening area and open space areas at the corner of front and rear driveways. Lighting is minimized by wall mounted units affixed to the structures and motion activated units above garage doors and two small light posts at the parking. Lighting shall conform to requirements of Town of Medway Regulations.

Drainage from the site will flow to recharge chambers and treatment areas at the lower end of the property and will conform to the Storm-water regulations. Overall Stormwater runoff will be reduced.

The project may average some 25+ vehicle trips per day, the majority of which would head north to 109 a block away. A posted Stop sign will be placed at driveway exit to reduce any conflicts with thru traffic on Evergreen Street. The applicant wishes to petition the town for curbside refuse and recycling pickup or will institute private contractor for services. The development has the potential to maintain 3 children of school age.

The project will disturb a maximum of 33675 sf of parcels area. Landscaping will be embellished to create perimeter buffers and scenic rural neighborhood character. Several areas between streets and structures are also designated as open space areas for association uses.

EVERGREEN VILLAGE

22 EVERGREEN STREET
MEDWAY, MASSACHUSETTS

OWNER/APPLICANT:

SAMPSON POND LLC
P.O.BOX 5
MEDWAY, MA 02053

ARCHITECT:

DANIEL LEWIS AIA LLED AP
332 WHITNEY STREET
NORTHBOROUGH, MA 01532

LANDSCAPE DESIGN:

WDA DESIGN GROUP
31 EAST MAIN STREET
WESTBOROUGH MA 01581

SURVEY:

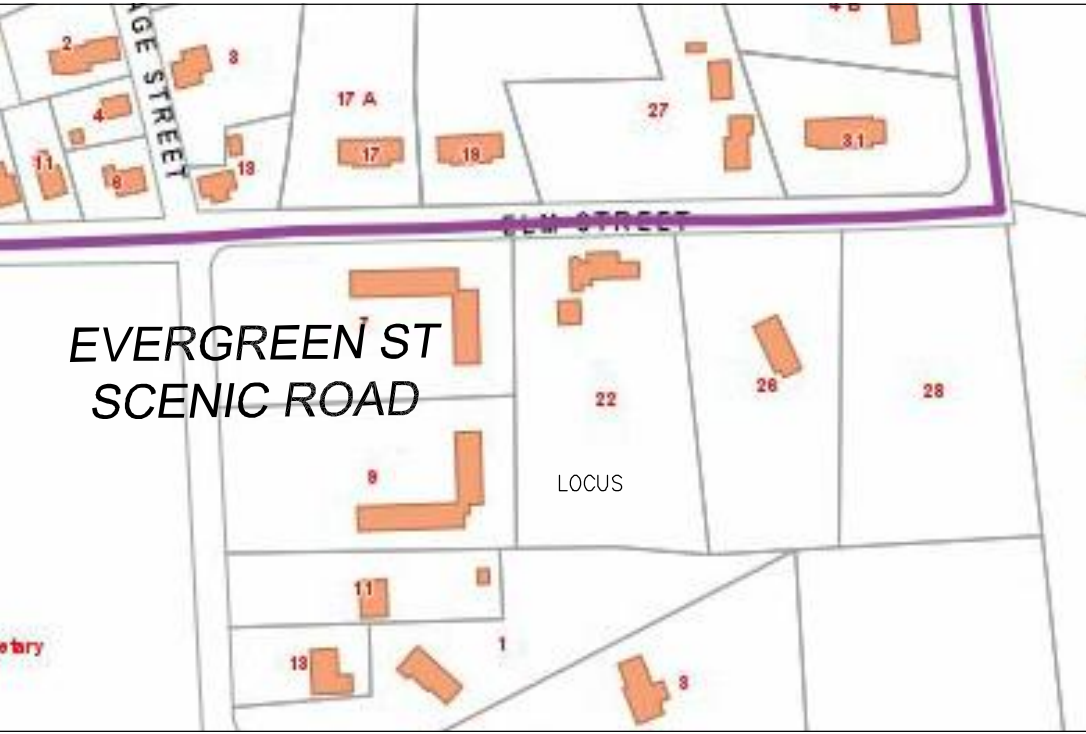
CHENEY ENGINEERING CO, INC.
53 MELLEEN STREET
NEEDHAM MA 02494

ENGINEER:

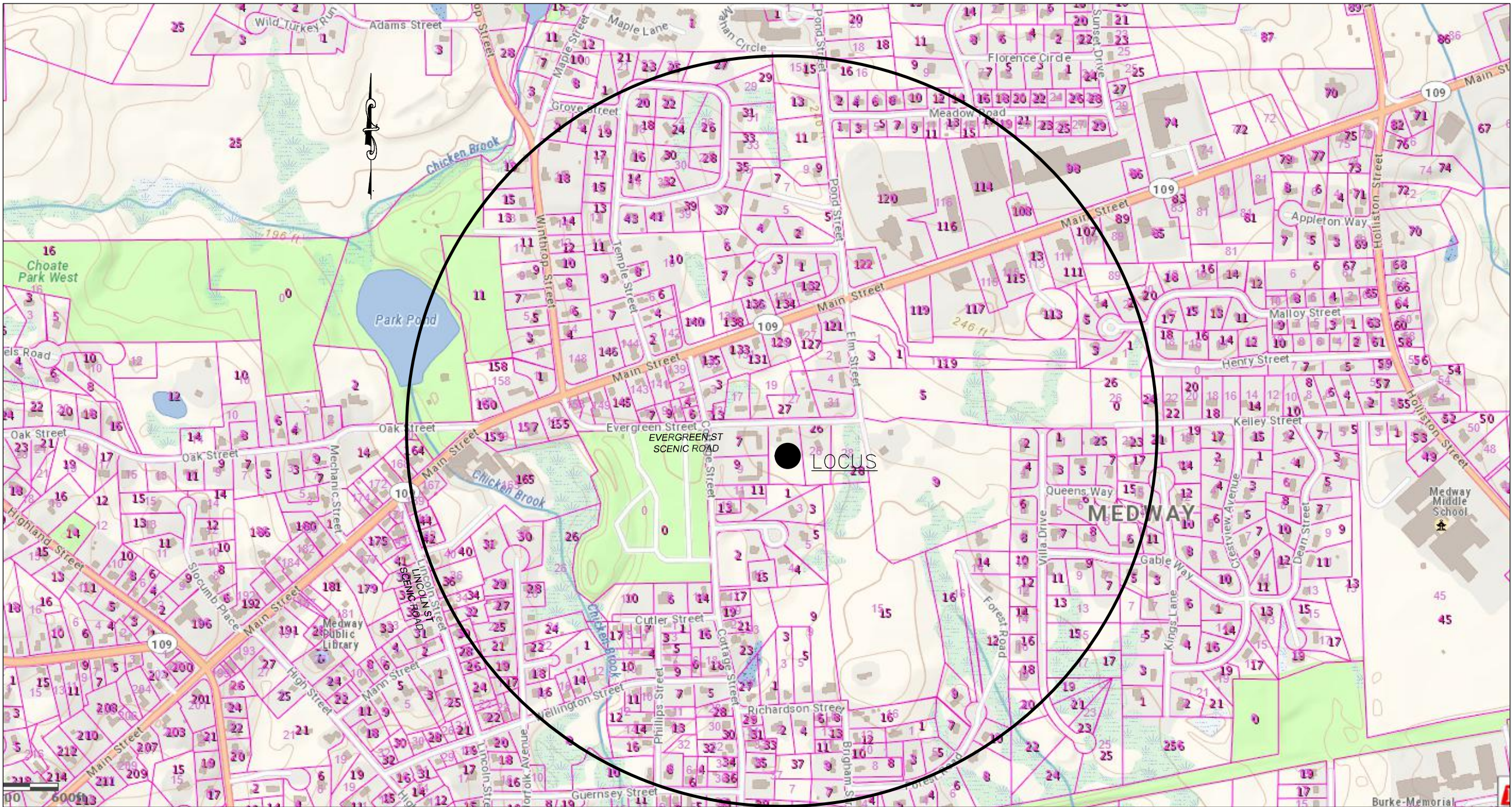
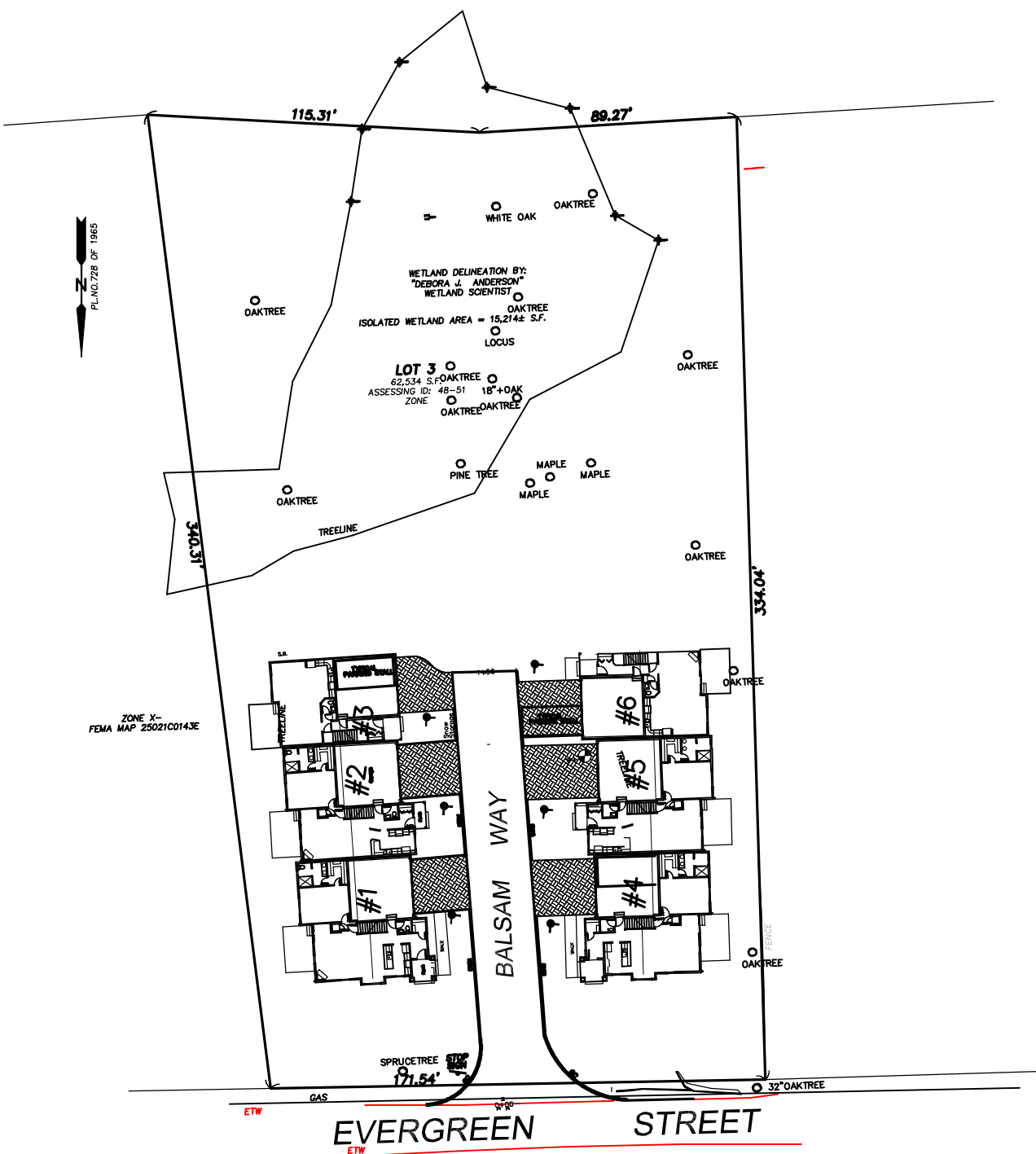
RONALD TIBERI P.E.
9 MASSACHUSETTS AVE.
NATICK MA 01760

APPROVED BY PLANNING BOARD

DATE:



ABUTTERS LOCUS MAP
1" = 200'



LOCUS MAP
1" = 300'

LOT 3
22 EVERGREEN STREET
ASSESSING ID: 48-51
ZONE: AR-2
DISTRICT

ZONING TABLE-AR-II RESIDENTIAL II DISTRICT

	REQUIRED	PROPOSED
LOT AREA	22500	62534
LOT FRONTAGE	150	171+
LOT WIDTH	NA	188+
FRONT SETBACK	35	35
SIDE SETBACK	15	15
REAR SETBACK	15	15
BLDG. HT.	40'	38'
LOT COVERAGE (BUILDINGS)	NA	16.5%
LOT COVERAGE (IMPERVIOUS)	NA	29.0%
PARKING	1.5/UNIT	2/UNIT

PLAN INDEX

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2ND FLOOR PLANS	A-4
SURVEYORS PLAN	

AUOD - Waivers REQUESTED -

AUOD Section 6.6.2

Subsection 604-4L - The Prohibition of curb cuts.

Section 604-47 - Requirement for bicycle parking. Bicycle parking is anticipated to be within the unit garages.

Site Plan Regulations

Section 205-2.2.3 90 Degree Intersection of driveway to street requirement. Proposed at 90 degree to provide better site layout

Section 205-2.2.6 Sidewalk requirement. Proposed no side walk in keeping with neighborhood streets and rural appearance.

Section 205-4 B perviousness testing requirement. certified soil evaluation were conducted as per industry norm.

Section 205-6 E Granite Curb requirement. Proposed curbing beyond driveway entrance is bituminous curbing.

Section 205-6 I Travel Lanes 24' wide, due to tight site conditions, travel lanes are reduced to 22', and parking located only driveways.

Section 205-9 Parking Shade trees- due to site constraints no off street parking areas are proposed.



MULTIFAMILY HOUSING TABLE

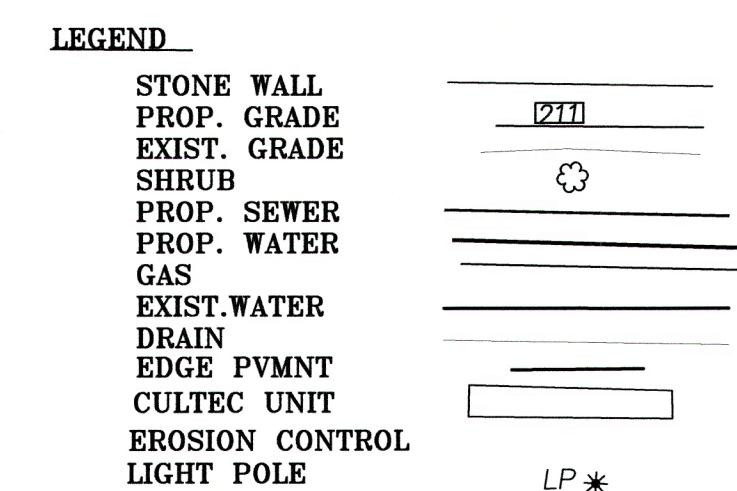
	REQUIRED	PROPOSED
LOT AREA	22500	62534
LOT FRONTAGE	50	171+
UNIT DENSITY	12	6
AFFORDABLE UNITS	1	1
BLDG. HT.	40'	38'
OPEN SPACE	15%	75%
PARKING SPACES	12	23

DATE ISSUED:

SEPT 5, 2019

DATE REVISED:

NOV 20, 2019



FOR REGISTRY USE

GENERAL SITE NOTES

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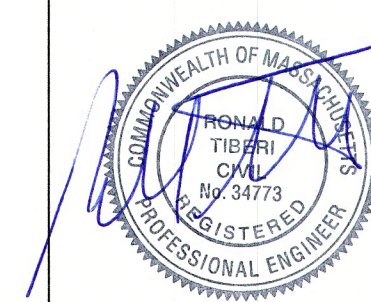
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APPROVED BY PLANNING BOARD

DATE: _____



REVISIONS

No.	DATE	DESCRIPTION
1.	11-22-19	TREE DIA'S AND INVENTORY

EXISTING CONDITIONS

PLAN

IN
MEDWAY, MASSACHUSETTS

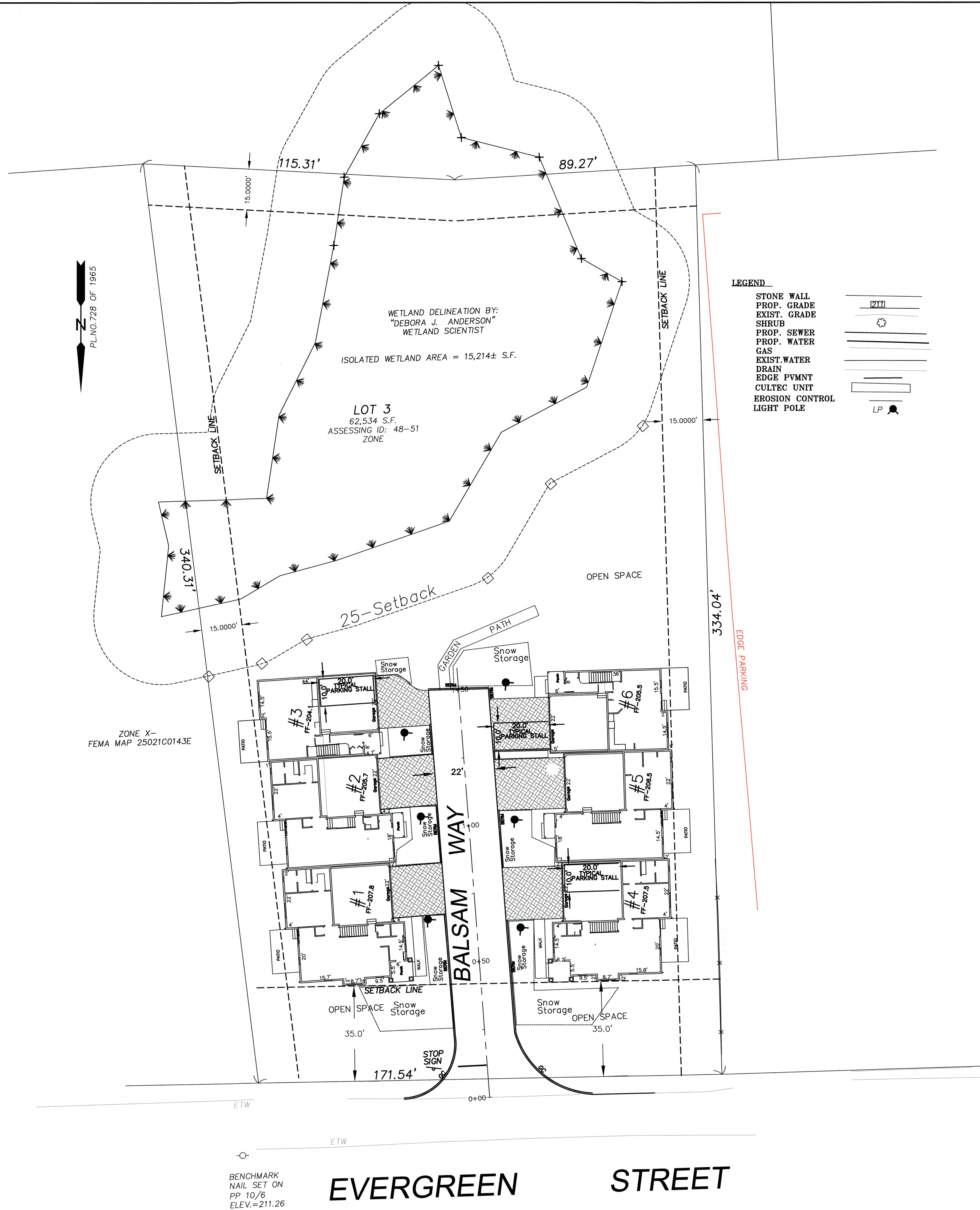
EVERGREEN VILLAGE
22 EVERGREEN STREET

PREPARED FOR:	SAMPSON POND LLC P.O. Box 5 MEDWAY MA 02053
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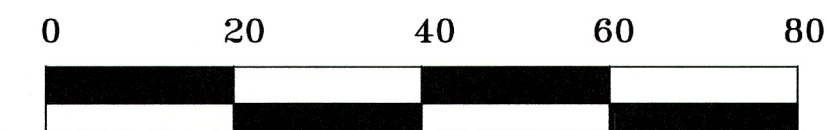
PREPARED By: **RONALD TIBERI P.E.**
9 MASSACHUSETTS AVE.
NATICK MA 01760

DRAWING SCALE: 1 inch = 20 feet

PROJECT NUMBER: 2616	
DATE: MARCH 2 2018	S-1



SNOW STORAGE:
MAXIMUM AREA REQUIRING SNOW STORAGE REMOVAL IS 5680 SF
SNOW STORAGE BASE AREA IS APPROXIMATELY 2605 SF.



FOR REGISTRY USE

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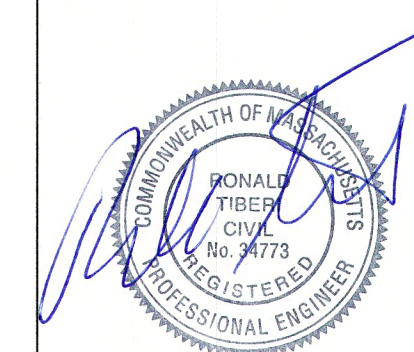
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APPROVED BY PLANNING BOARD

DATE:



REVISIONS

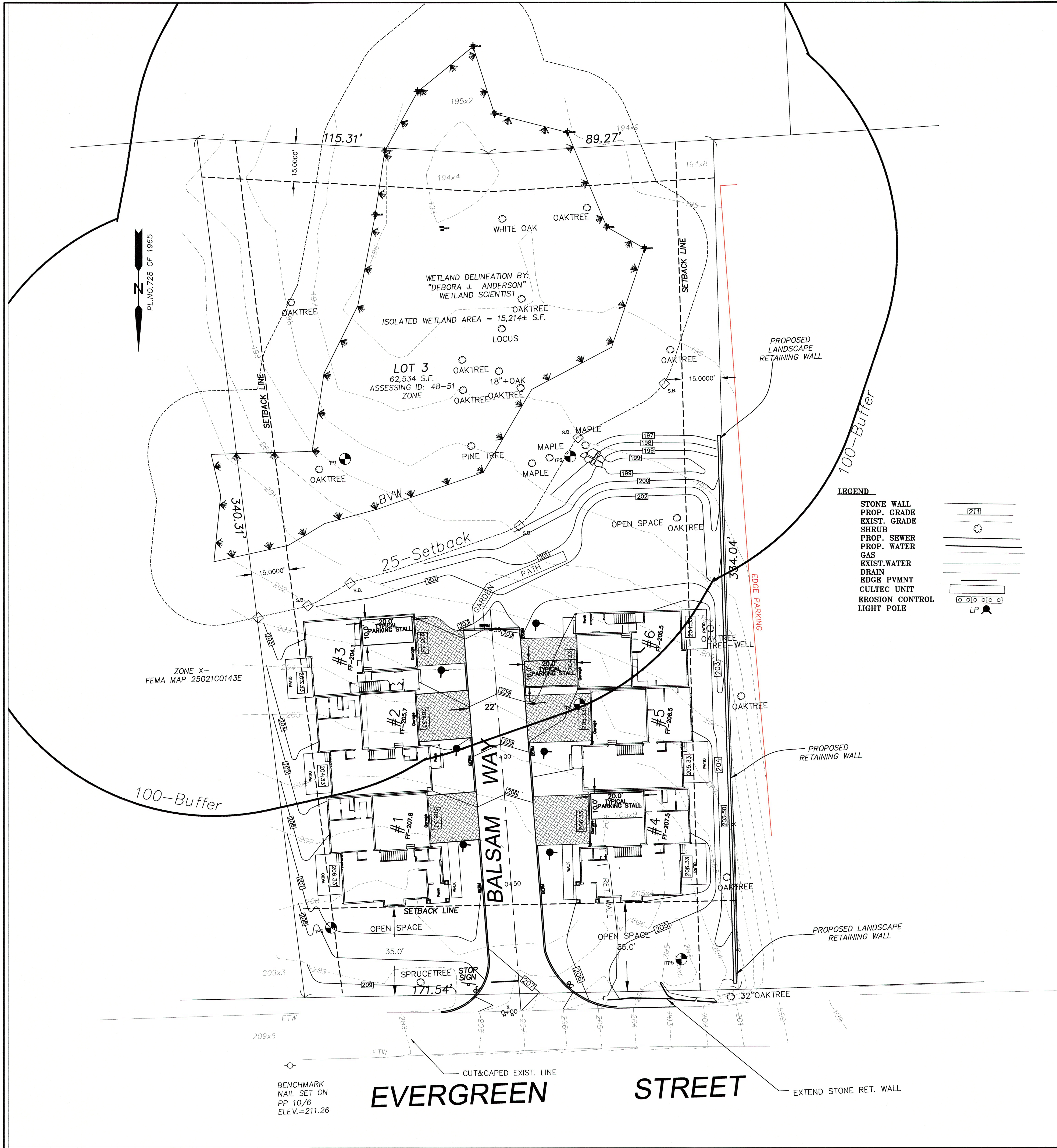
No.	DATE	DESCRIPTION
1.	11-24-19	TOWN COMMENTS

PROPOSED SITE LAYOUT PLAN IN MEDWAY, MASSACHUSETTS EVERGREEN VILLAGE 22 EVERGREEN STREET

PREPARED FOR: SAMPSON POND LLC
P.O. Box 5
MEDWAY MA 02053

PREPARED By: RONALD TIBERI P.E.
9 MASSACHUSETTS AVE.
NATICK MA 01760

DRAWING SCALE: 1 inch = 20 feet
PROJECT NUMBER: 2616
DATE: SEPT 2, 2019



FOR REGISTRY USE

GENERAL SITE NOTES

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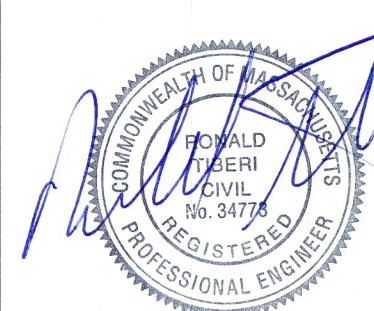
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APPROVED BY PLANNING BOARD

DATE: _____



REVISIONS

No.	DATE	DESCRIPTION
1.	11-24-19	TOWN COMMENTS

PROPOSED
SITE GRADING PLAN
IN
MEDWAY, MASSACHUSETTS

EVERGREEN VILLAGE
22 EVERGREEN STREET

PREPARED FOR: SAMPSON POND LLC
P.O. Box 5
MEDWAY MA 02053

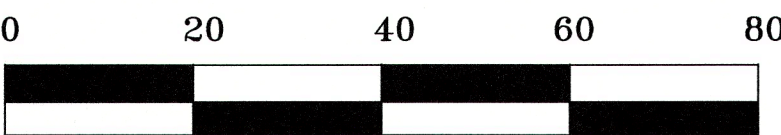
PREPARED BY: RONALD TIBERI P.E.
9 MASSACHUSETTS AVE.
NATICK MA 01760

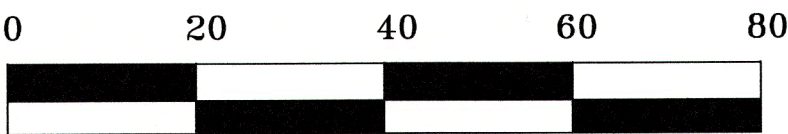
DRAWING SCALE: 1 inch = 20 feet

PROJECT NUMBER: 2616

DATE: SEPT 2, 2019

S-3





SCALE: 1Inch = 30H Feet
1Inch = 3H Feet

UTILITY NOTES:

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2) PROPERTY LINES TO BE VERIFIED BY CONTRACTOR.

3) ALL PROPOSED UTILITY SERVICES TO BE MADE IN ACCORDANCE WITH LOCAL REQUIREMENTS, INCLUDING TOWN OF MEDWAY WATER & SEWER REGULATIONS 2017 (OR LATEST EDITION).

4) STORMWATER PIPING SHALL BE HDPE RATED FOR H20 LOADING.

5) ELECTRICAL; COMPANY SHALL DETERMINE TRANSFORMER LOCATIONS AND FINAL UNDERGROUND WIRING.

6) FIRE WATER SERVICE SIZING TO BE PROVIDED BY SPRINKLER SYSTEM DESIGN ENGINEER.

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CONFLICTS.

DIG SAFE NOTE:

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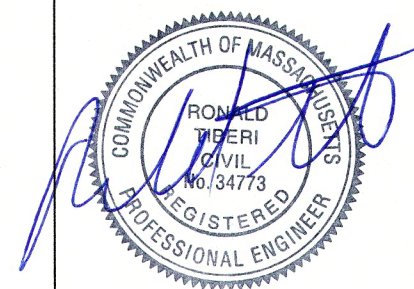
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OR FOR THE ESTABLISHMENT OF ANY PROPOSED CONSTRUCTION
UNLESS SAID CONSTRUCTION IS SHOWN HEREON.

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FOR THE PARTY STATED HEREON AND SHALL NOT BE USED B
ANY THIRD PARTY WITHOUT THE EXPRESSED WRITTEN PERMISS
OF RONALD TIBERI P.E.

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LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF
TITLE.

APPROVED BY PLANNING BOARD

DATE:



REVISIONS

No.	DATE	DESCRIPTION
1.	11-24-19	TOWN COMMENTS

PROPOSED
SITE UTILITIES
IN
MEDWAY, MASSACHUSETTS

EVERGREEN VILLAGE
22 EVERGREEN STREET

PREPARED FOR: SAMPSON POND LLC
P.O. Box 5
MEDWAY MA 02053

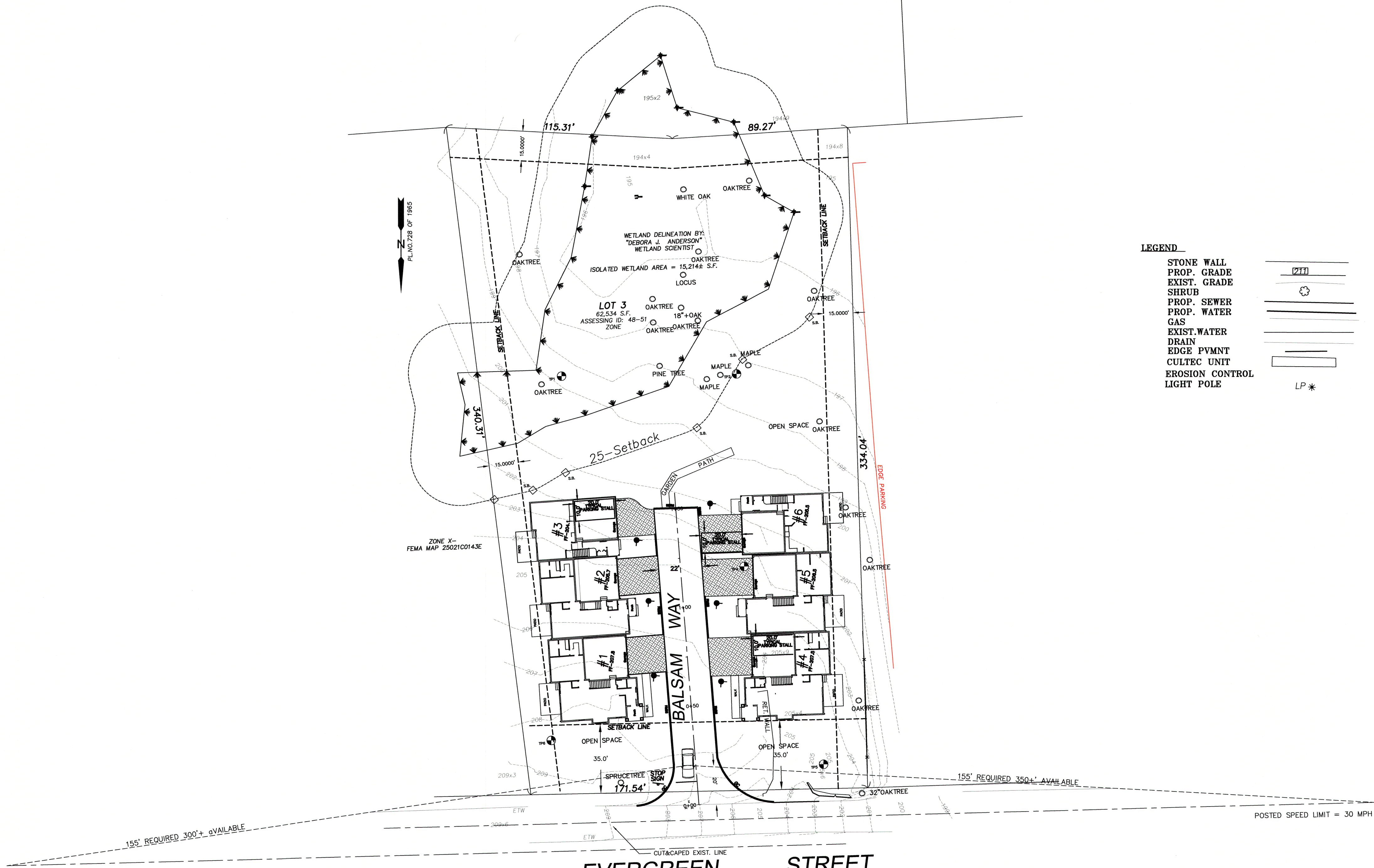
PREPARED By: **RONALD TIBERI P.E.**
9 MASSACHUSETTS AVE.
NATICK MA 01760

DRAWING SCALE: 1 inch = 20 feet

PROJECT NUMBER: 2616

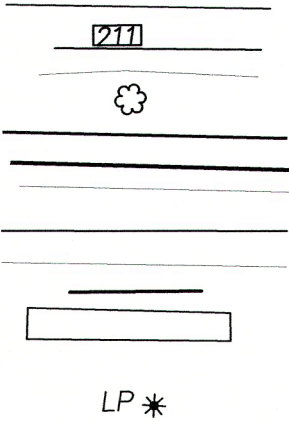
DATE: JAN2.2019

S-5



LEGEND

STONE WALL
PROP. GRADE
EXIST. GRADE
SHRUB
PROP. SEWER
PROP. WATER
GAS
EXIST. WATER
DRAIN
EDGE PVMNT
CULTEC UNIT
EROSION CONTROL
LIGHT POLE



FOR REGISTRY USE

GENERAL SITE NOTES

1. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT. WORKSHEET PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS, RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.
2. ALL WORK SHALL CONFORM TO LOCAL, COMMONWEALTH OF MASSACHUSETTS, AND OSHA STANDARDS AND GUIDELINES.
3. LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. ALL UTILITY SERVICE CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
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8. ALL CONCRETE AND BITUMINOUS PATCH AREAS TO MATCH EXISTING GRADES.
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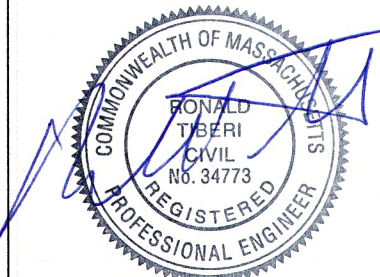
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APPROVED BY PLANNING BOARD

DATE:



REVISIONS

No.	DATE	DESCRIPTION
1.	11-24-19	TOWN REVIEW COMMENTS

PROPOSED
SIGHT DISTANCE PLAN
IN
MEDWAY, MASSACHUSETTS

EVERGREEN VILLAGE
22 EVERGREEN STREET

PREPARED FOR:
SAMPSON POND LLC
P.O. Box 5
MEDWAY MA 02053

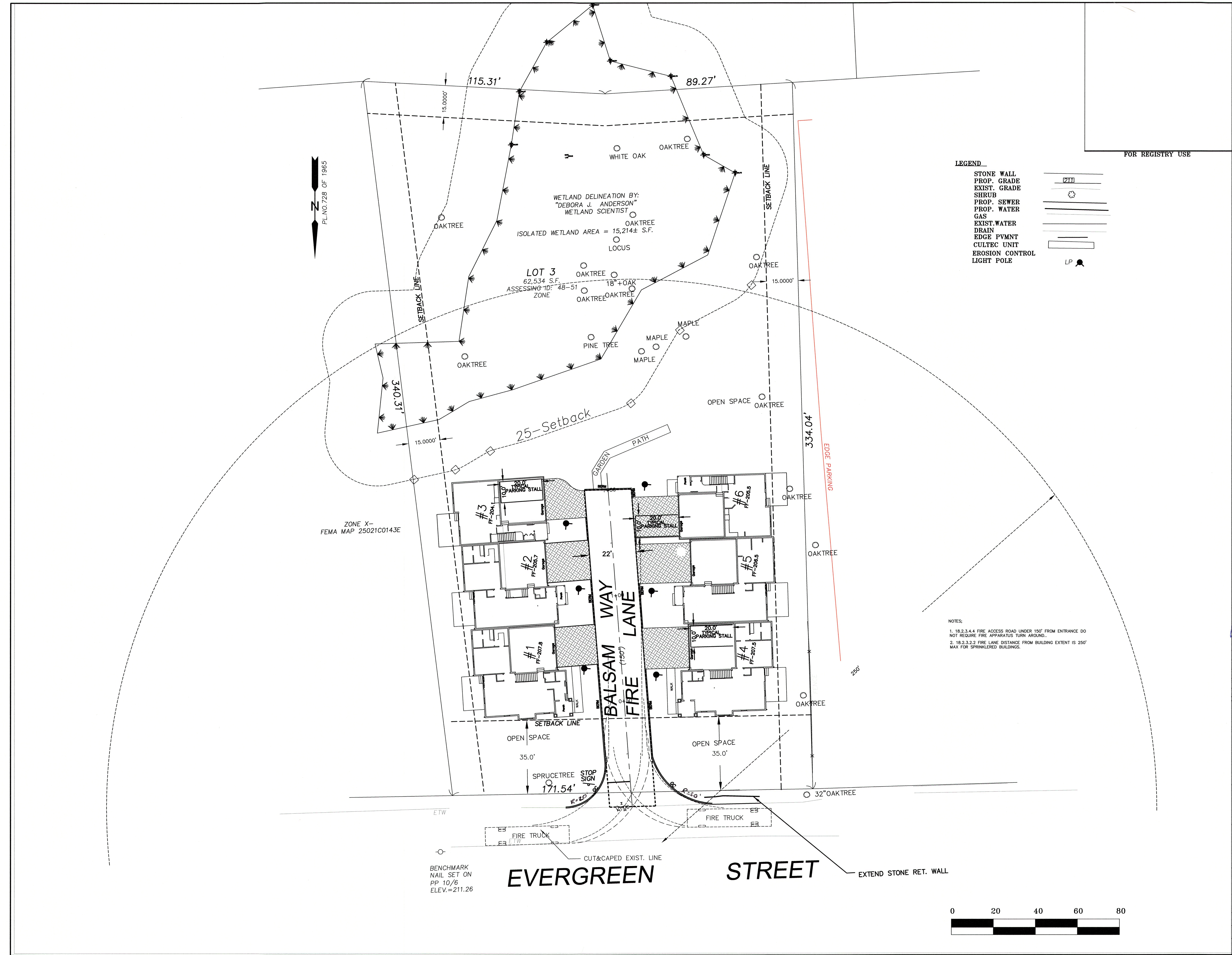
PREPARED By: RONALD TIBERI P.E.
9 MASSACHUSETTS AVE.
NATICK MA 01760

DRAWING SCALE: 1 inch = 30 feet

PROJECT NUMBER: 2616

DATE: SEPT 2.2019

S-6



- LEGEND**
- STONE WALL
 - PROP. GRADE
 - EXIST. GRADE
 - SHRUB
 - PROP. SEWER
 - PROP. WATER
 - GAS
 - EXIST. WATER
 - DRAIN
 - EDGE PVMNT
 - CULTEC UNIT
 - EROSION CONTROL
 - LIGHT POLE

FOR REGISTRY USE

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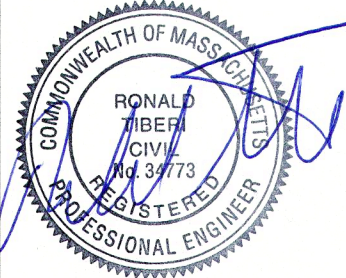
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APPROVED BY PLANNING BOARD
DATE:



REVISIONS		
No.	DATE	DESCRIPTION
1.	10-20-19	FIRE LANE ADJUSTMENT

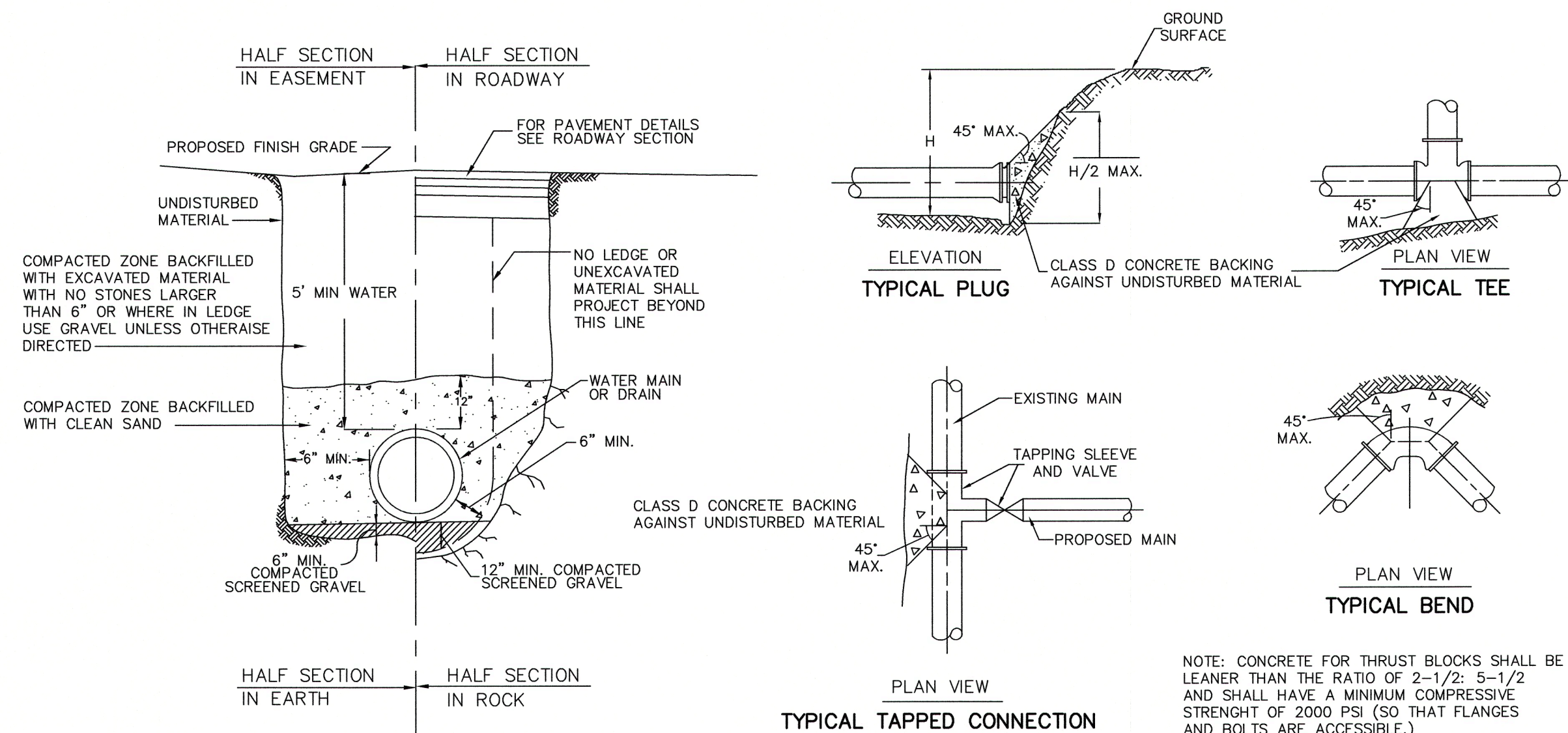
**PROPOSED EMERGENCY
VEHICLE ACCESS PLAN**
IN
MEDWAY, MASSACHUSETTS

**EVERGREEN VILLAGE
22 EVERGREEN STREET**

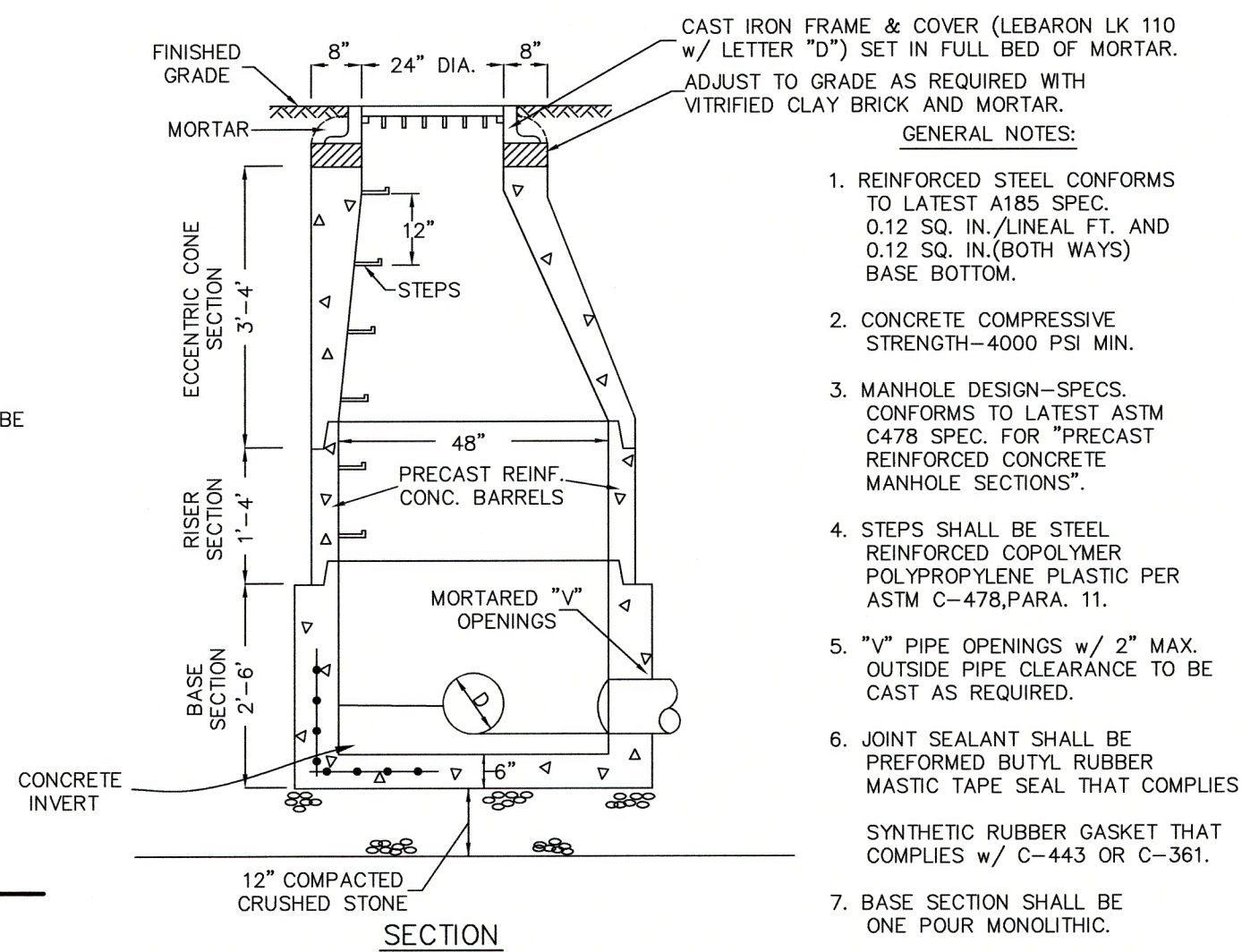
PREPARED FOR: **SAMPSON POND LLC**
P.O. Box 5
MEDWAY MA 02053

PREPARED By: **RONALD TIBERI P.E.**
9 MASSACHUSETTS AVE.
NATICK MA 01760

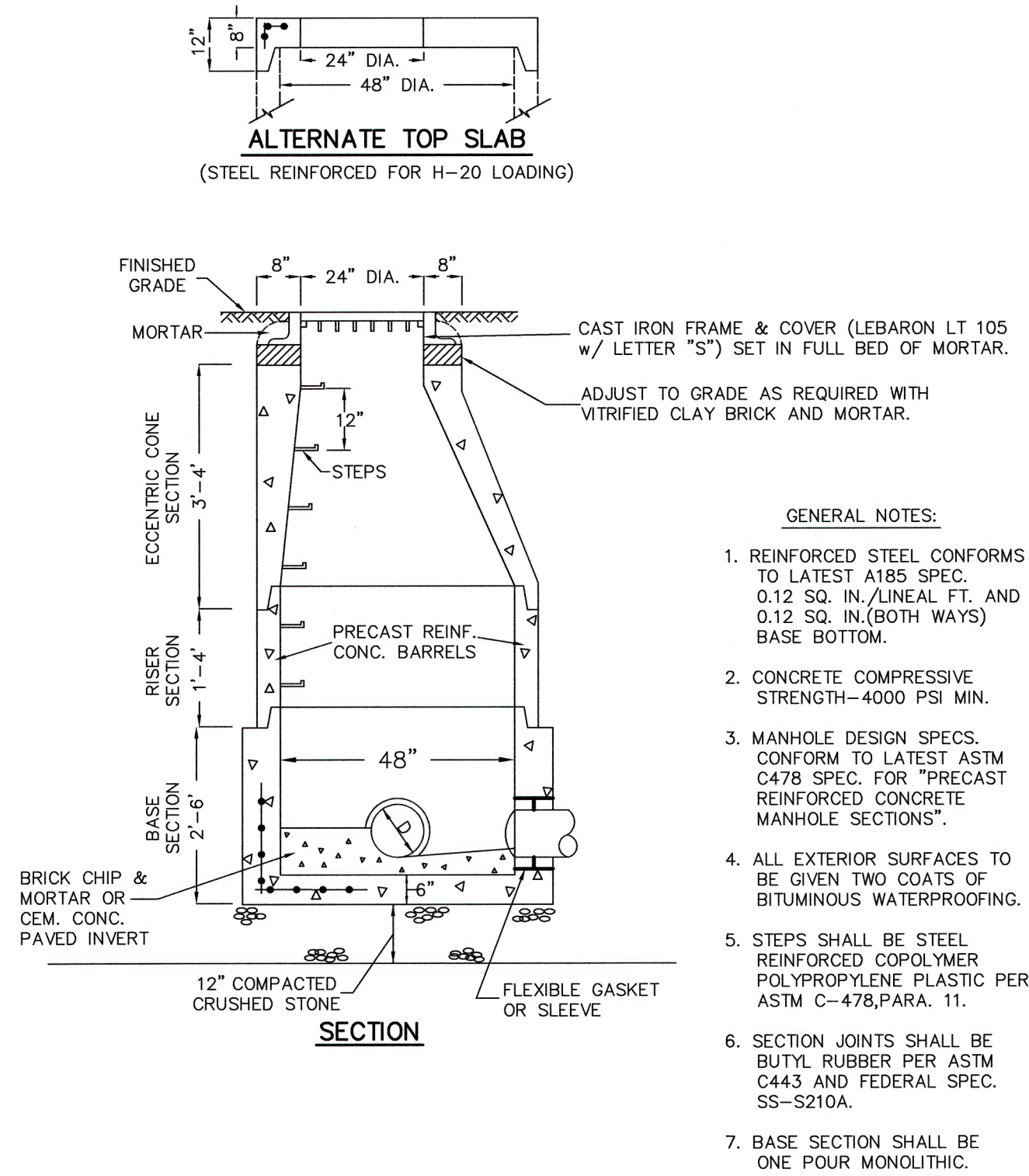
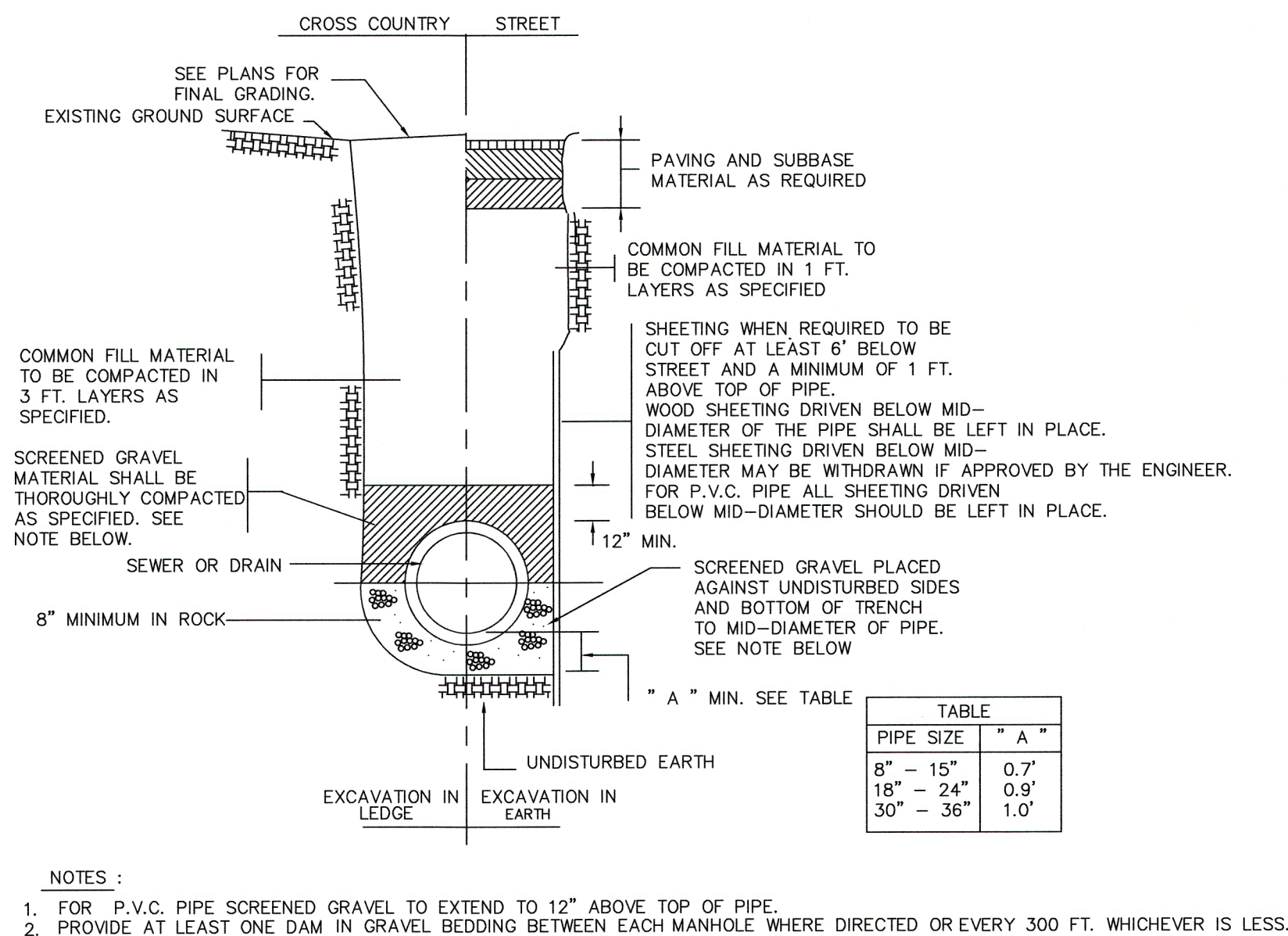
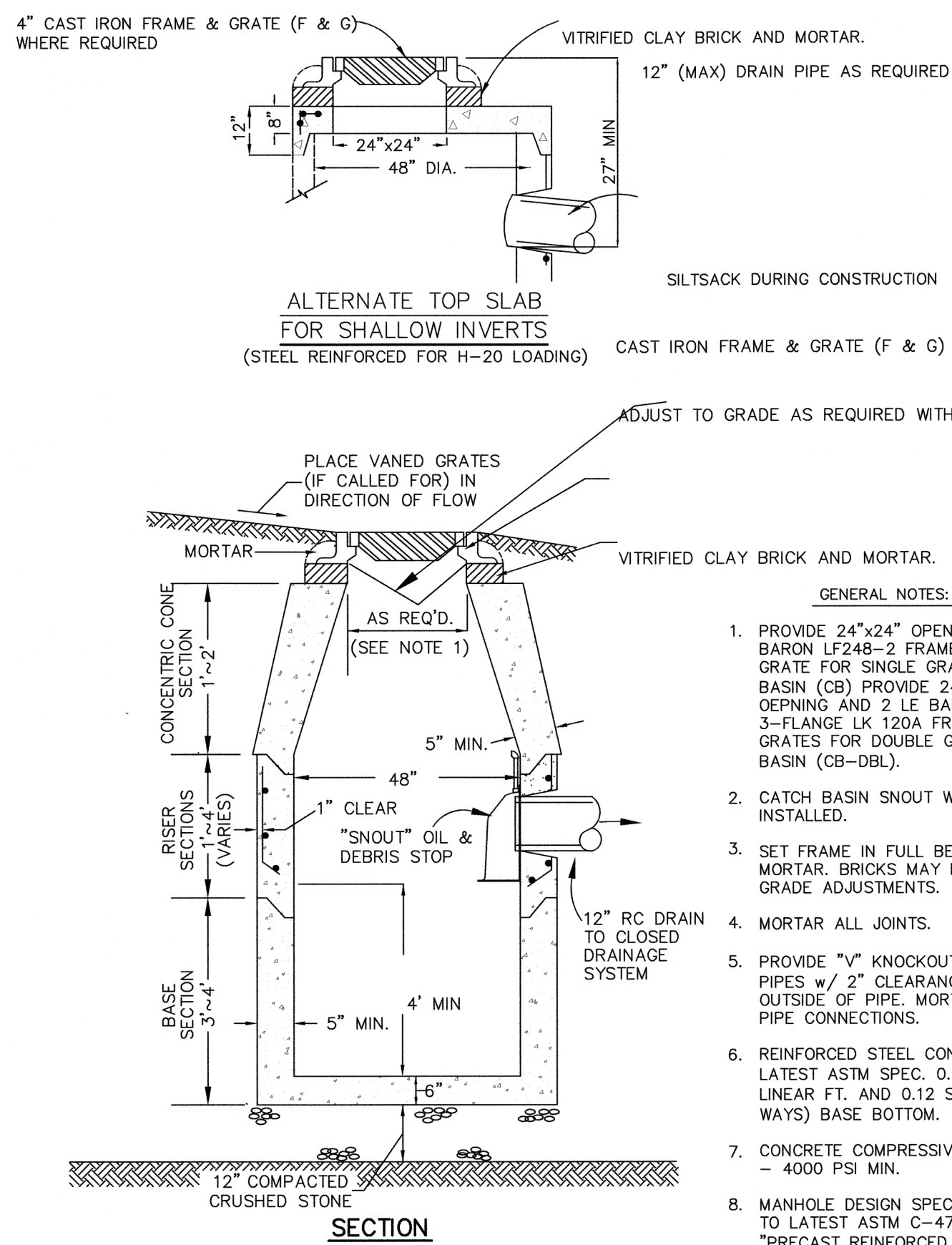
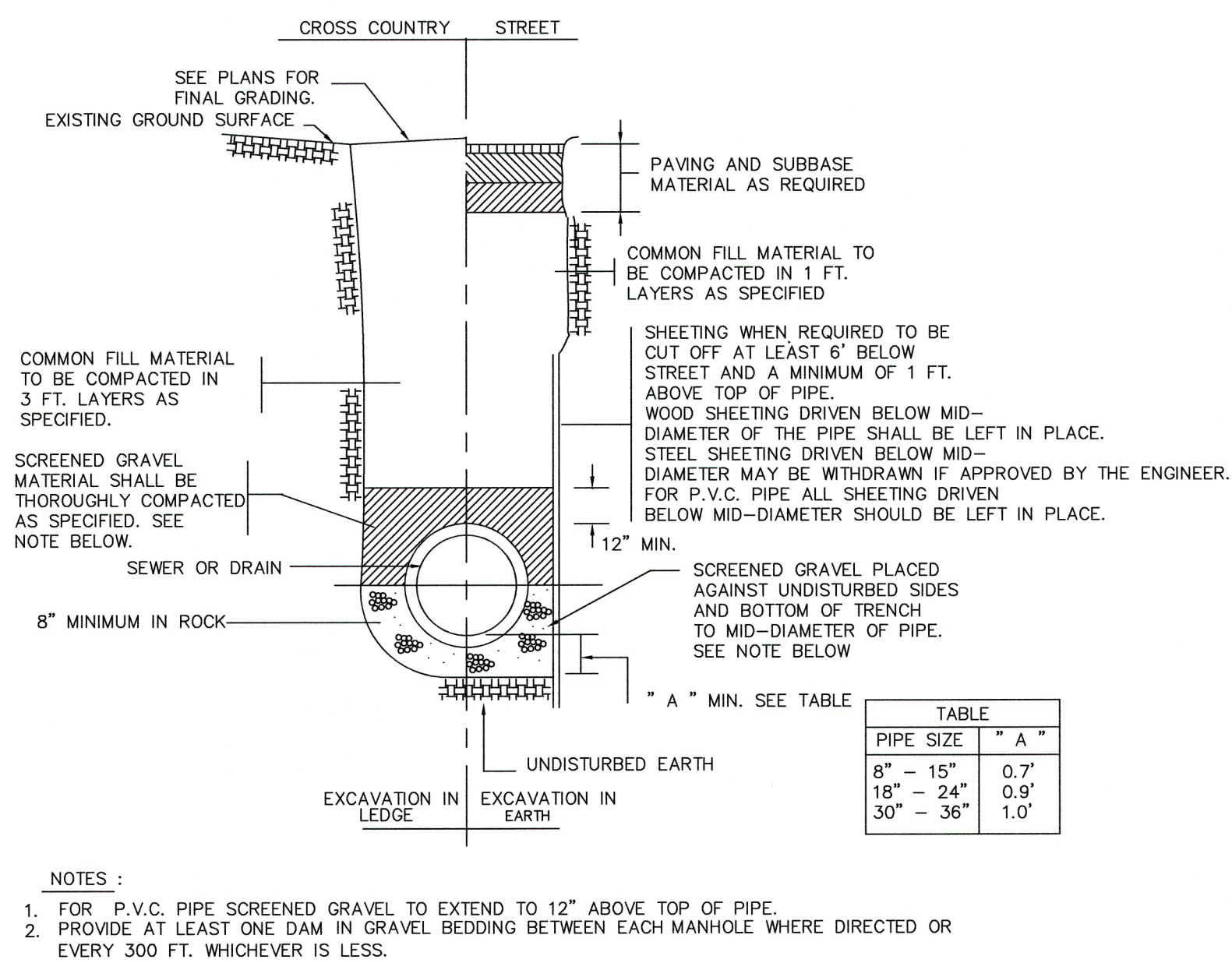
DRAWING SCALE: 1 inch = 20 feet
PROJECT NUMBER: 2616
DATE: JAN2.2019



BEARING AREAS OF THRUST BLOCKS (BEARING AREA IN SQUARE FT.)				
PIPE SIZE INCHES	1/4 BEND	1/8 BEND	1/16 BEND	PLUG TEES
6 AND 8	8	8	—	8
10 AND 12	22	13	8	16



**48" DIAMETER PRECAST DRAIN MANHOLE (DMH)
FOR PIPE DIAMETERS UP TO 24"**
NOT TO SCALE



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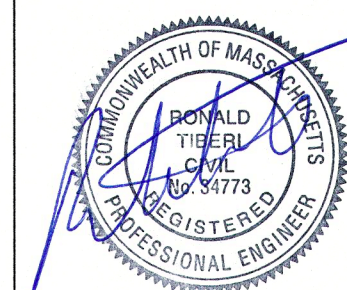
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APPROVED BY PLANNING BOARD

DATE:



REVISIONS

No.	DATE	DESCRIPTION

DETAILS

IN
MEDWAY, MASSACHUSETTS

EVERGREEN VILLAGE 22 EVERGREEN STREET

PREPARED FOR: **SAMPSON POND LLC**
P.O. Box 5
MEDWAY MA 02053

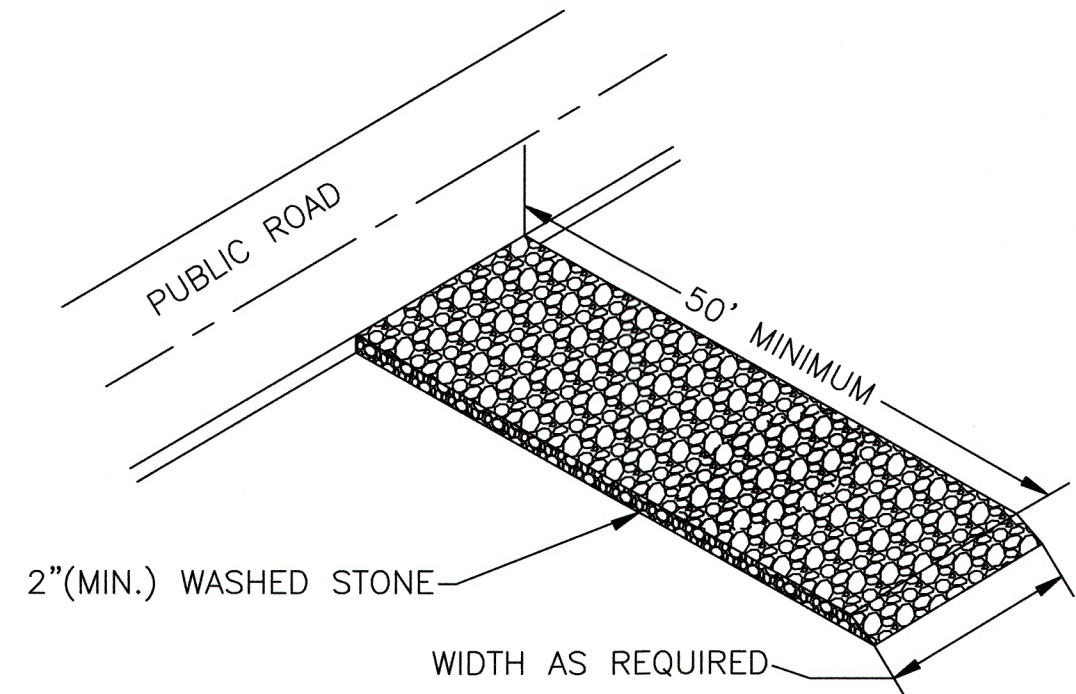
PREPARED By: **RONALD TIBERI P.E.**
9 MASSACHUSETTS AVE.
NATICK MA 01760

DRAWING SCALE: 1 inch = 20 feet

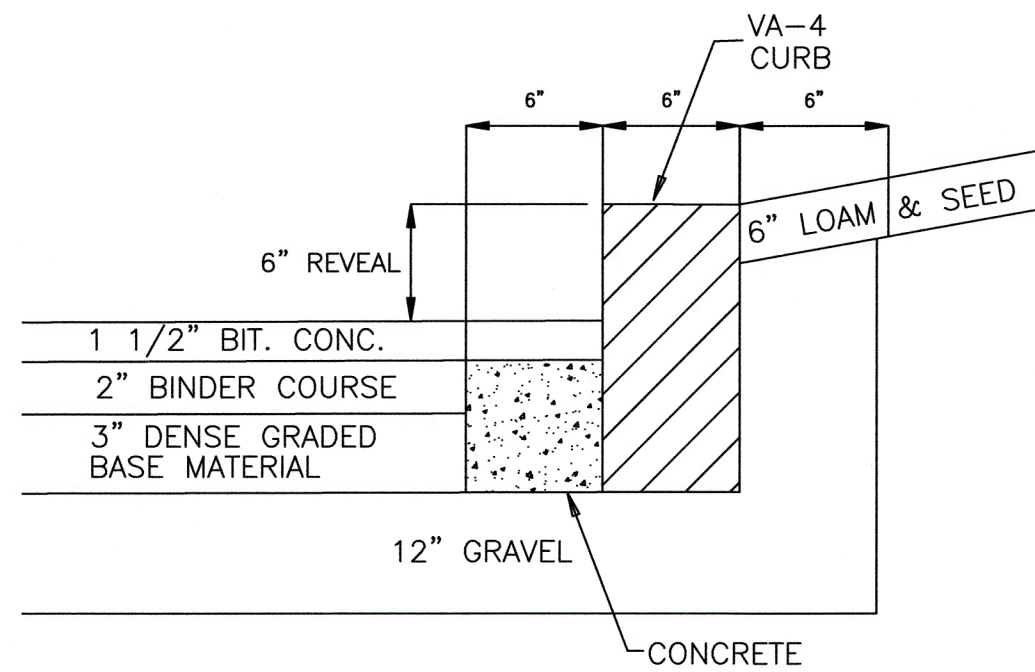
PROJECT NUMBER: 2616

DATE: SEPT 2.2019

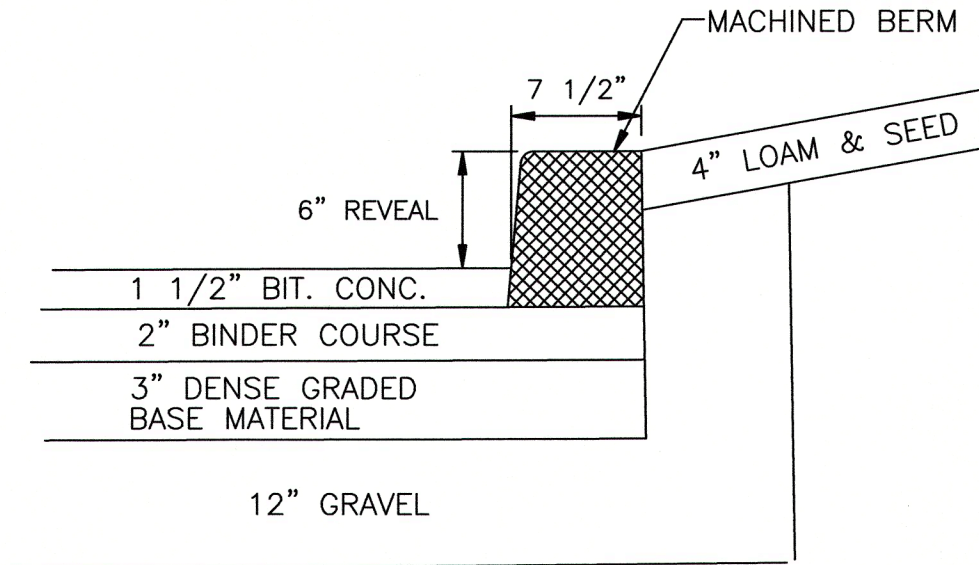
D-2



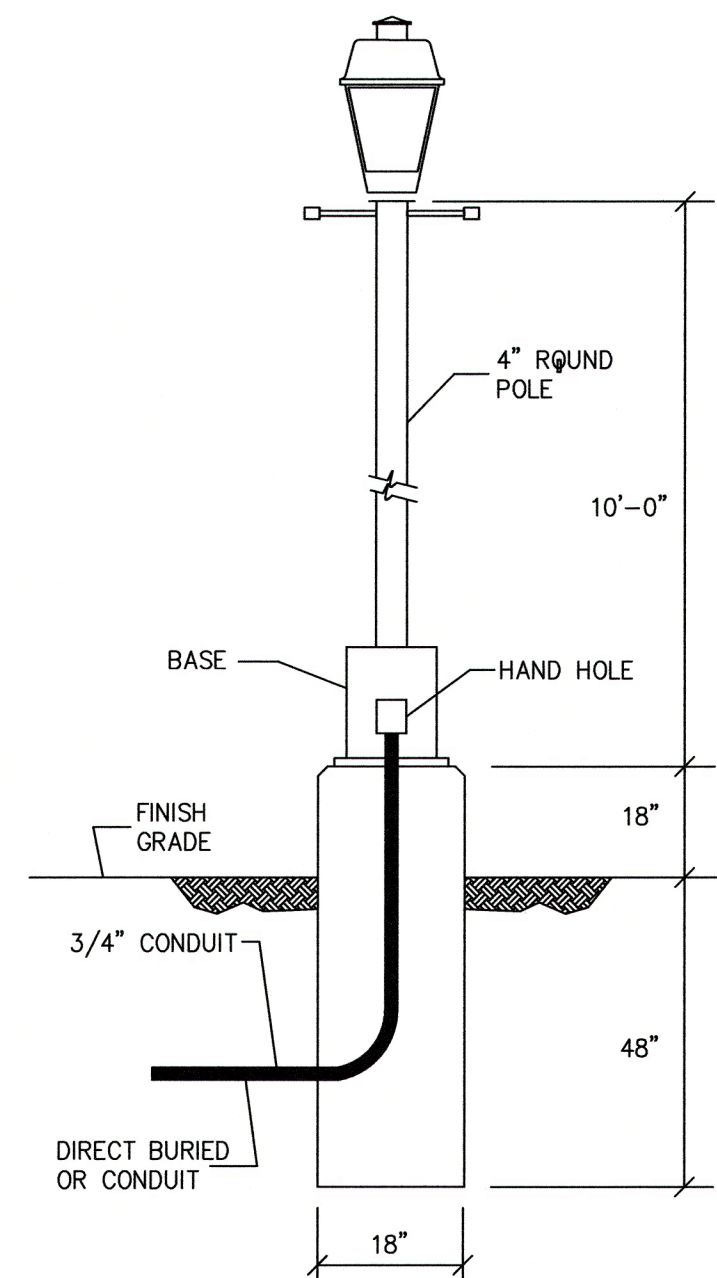
CONSTRUCTION ENTRANCE DETAIL
NOT TO SCALE



VERTICAL GRANITE CURB DETAIL
NOT TO SCALE

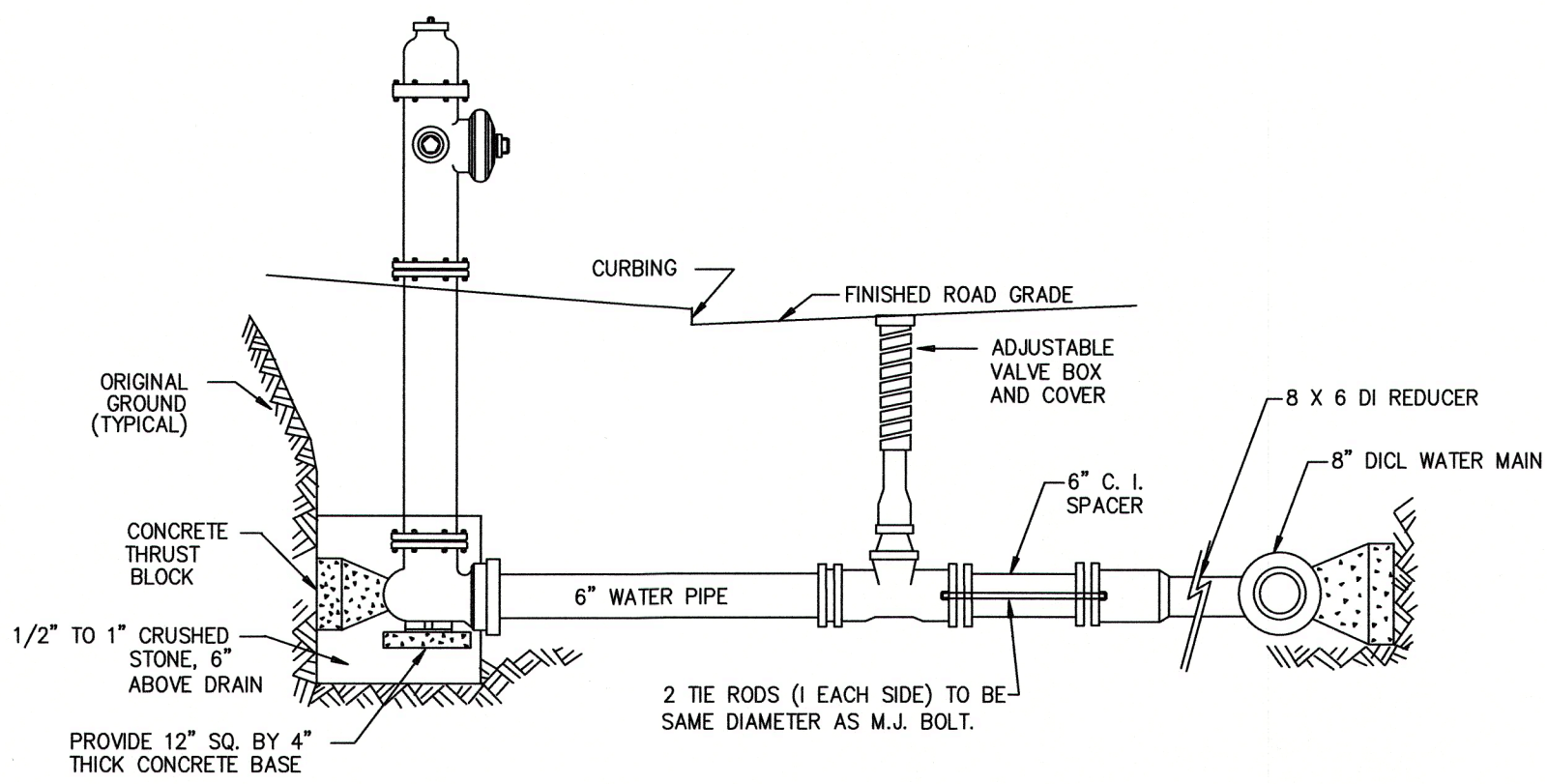


BITUMINOUS MACHINED BERM
NOT TO SCALE



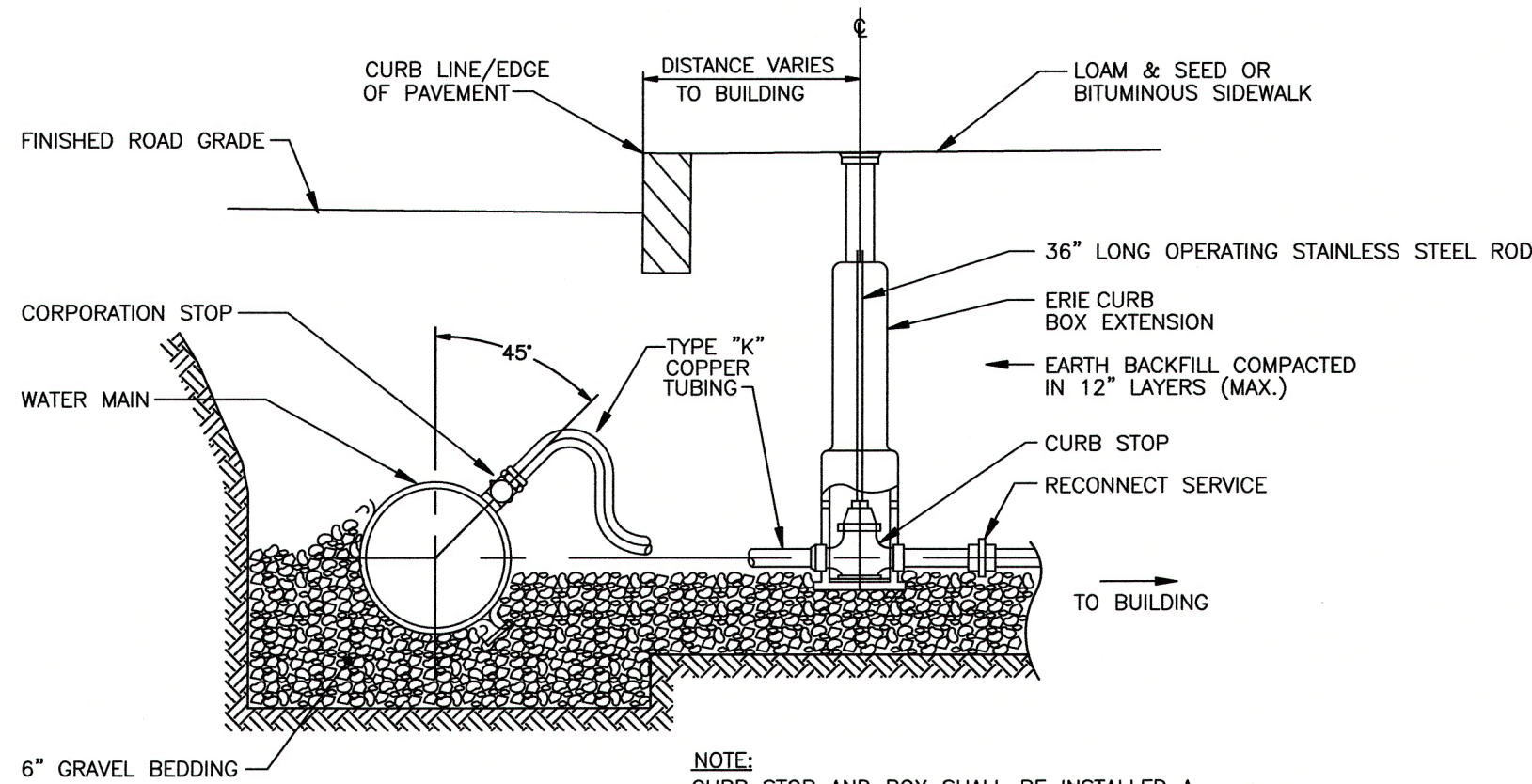
POLE LAMP (TYP)
N.T.S.

TYPE	MOUNT	VOLT	LAMP	CATALOG #	MANUFACTURER
II	POLE	120	39W	20LEDE10	VALIANT



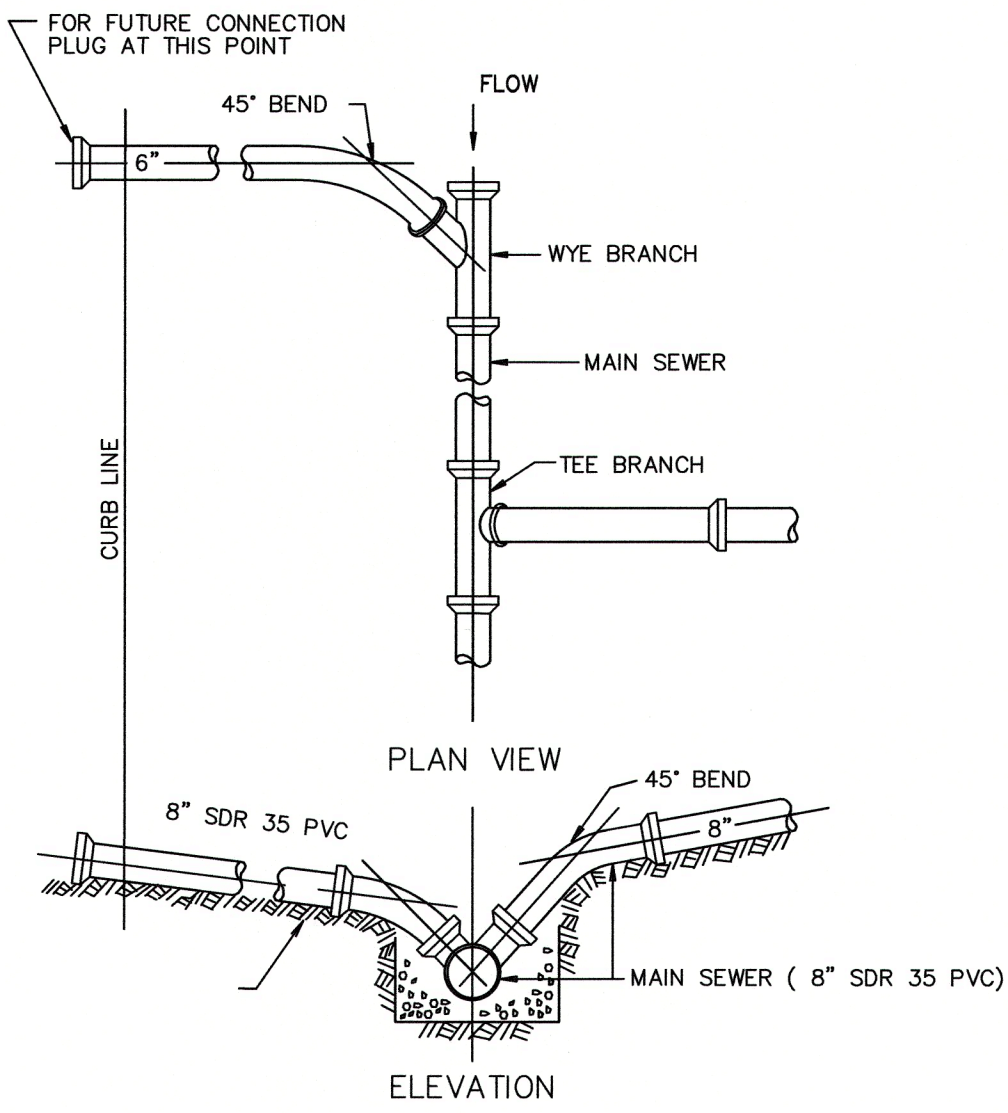
TYPICAL HYDRANT INSTALLATION
(NOT TO SCALE)

- NOTES:
1. ONLY MUELLER, AMERICAN-DARLING B-62-B OR U.S. PIPE METROPOLITAN HYDRANTS CAN BE USED.
 2. ALL WATER LINES WILL HAVE MEGA LUG OR EQUAL RESTRAINTS ON ALL UNRESTRAINED JOINTS.
 3. TIE RODS TO BE USED IN PLACE OF TRUST BLOCK BLOCKS IN FILL AREAS OR WHERE EXISTING SOIL LACKS SUFFICIENT BEARING STRENGTH.



TYPICAL HOUSE SERVICE CONNECTION
(NOT TO SCALE)

- NOTE:
1. ALL SERVICE CONNECTION FITTINGS SHALL BE BY THE MUELLER COMPANY.
 2. ALL WORK AND MATERIALS SHALL CONFORM TO STANDARDS AND SPECIFICATIONS OF THE TOWN OF MEDWAY'S DEPARTMENT OF PUBLIC WORKS.



SEWER SERVICE CONNECTION DETAIL
NOT TO SCALE

APPROVED BY PLANNING BOARD
DATE: _____



REVISIONS		
No.	DATE	DESCRIPTION

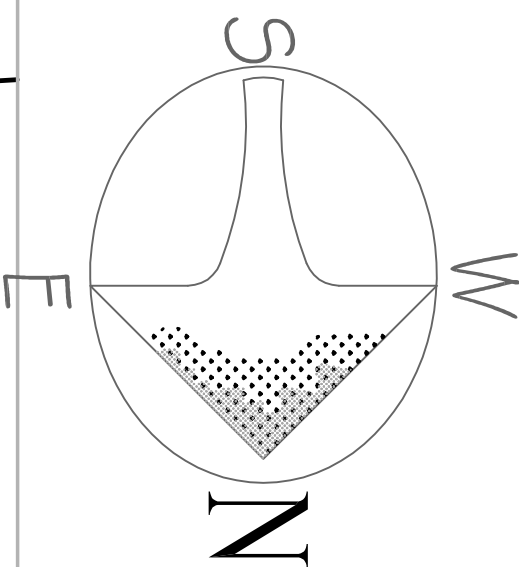
SITE DETAILS

EVERGREEN VILLAGE
22 EVERGREEN STREET

PREPARED FOR: **SAMPSON POND LLC**
P.O. Box 5
MEDWAY MA 02053

PREPARED By: **RONALD TIBERI P.E.**
9 MASSACHUSETTS AVE.
NATICK MA 01760

DRAWING SCALE: 1 inch = 20 feet
PROJECT NUMBER: 2616
DATE: NOV.2019



Luminaire Schedule							
Qty	Label	Arrangement	Lumens	Input Watts	LLF	BUG Rating	Description
6	SL5	SINGLE	2885	37.74	0.850	B2-U3-G2	HADCO TX132-G2-B-S-L-CAGE-FINIAL-FASTENER-FINISH-5-PHOTO-NA3 / MOUNTED TO 8FT POLE

Calculation Summary						
Label	Grid Height	Avg	Max	Min	Avg/Min	Max/Min
CalcPts_1	0	0.16	1.8	0.0	N.A.	N.A.
DRIVE LANE		0.89	1.8	0.1	8.90	18.00

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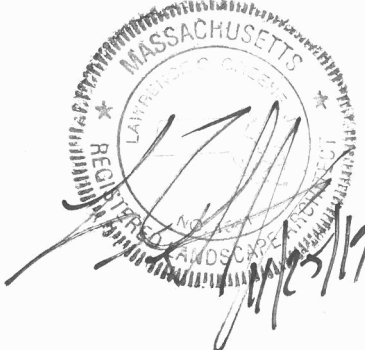
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APPROVED BY PLANNING BOARD

DATE: _____



REVISIONS

No.	DATE	DESCRIPTION
1.	09/02/19	Town comments
2.	11/04/19	Town comments
3.	11/25/19	Plan edits

PROPOSED SITE LIGHTING PLAN IN MEDWAY, MASSACHUSETTS

EVERGREEN VILLAGE
22 EVERGREEN STREET

PREPARED FOR: SAMPSON POND LLC
P.O. Box 5
MEDWAY MA 02053

PREPARED By: WDA DESIGN GROUP
31 EAST MAIN STREET
WESTBOROUGH, MA 01581

DRAWING SCALE: 1 inch = 20 feet

PROJECT NUMBER: 2616

DATE: MARCH 14.2019



Prelim. Elev.-View From Evergreen St. - Unit 1
Scale: 3/16" = 1'-0"



Preliminary Front Elevation - Units 1, 2 and 3
Scale: 3/16" = 1'-0"

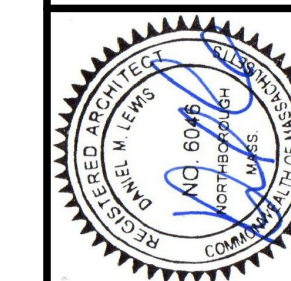


Preliminary Rear Elevation - Unit 3
Scale: 3/16" = 1'-0"



Preliminary Left Side Elevation - Units 3, 2 and 1
Scale: 3/16" = 1'-0"

DANIEL LEWIS, AIA
ARCHITECT
332 Whitney Street
Northborough, MA 01532
(508) 612-8771
daniel@charter.net www.daniellevsarhitect.com
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Preliminary Exterior Elevations	
Job Number	Date
1816	October 28, 2019
Drawn By	Revised
DML	Nov. 25, 2019

Proposed Condominiums
22 Evergreen Street
Medway, MA 02053
For Sampson Pond LLC, Medway, MA



Preliminary Left Side Elevation - Unit 4, 5 and 6

Scale: 3/16" = 1'-0"



Prelim. Elev.-View From Evergreen St. - Unit 6

Scale: 3/16" = 1'-0"



Preliminary Right Side Elevation - Units 6, 5 and 4

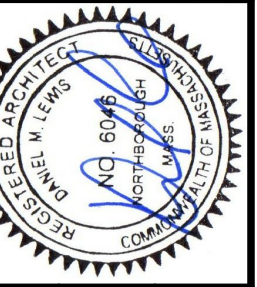
Scale: 3/16" = 1'-0"



Preliminary Rear Elevation - Unit 4

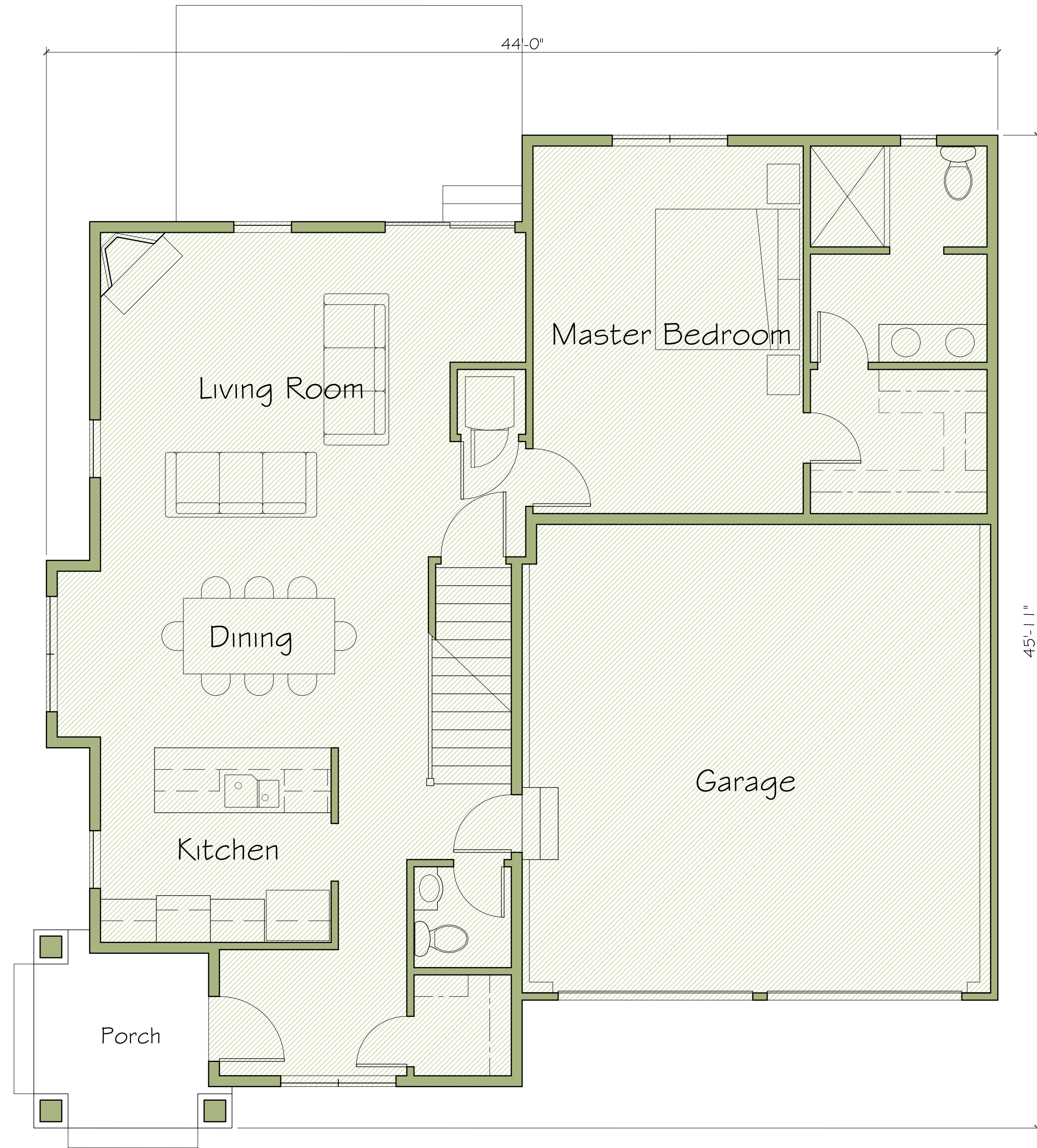
Scale: 3/16" = 1'-0"

DANIEL LEWIS, AIA
ARCHITECT
332 Whitney Street
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(508) 612-8771
daniel@lewisarchitect.com
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Preliminary Exterior Elevations	
Job Number 1816	Date October 28, 2019
Drawn By DML	Revised Nov. 25, 2019

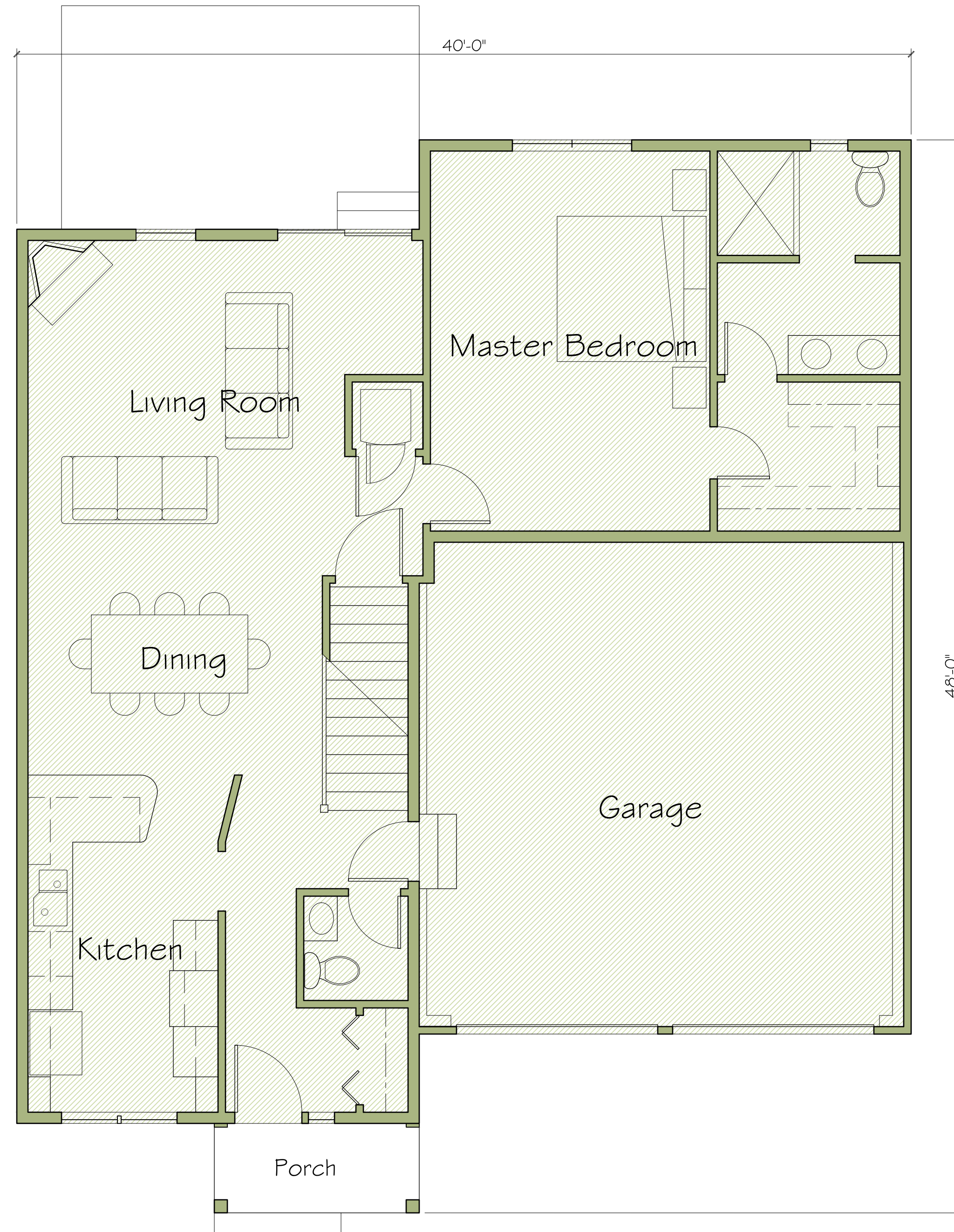
Proposed Condominiums
22 Evergreen Street
Medway, MA 02053
For Sampson Pond LLC, Medway, MA



Preliminary First Floor Plan - Unit Type C

Scale: 1/4" = 1'-0"

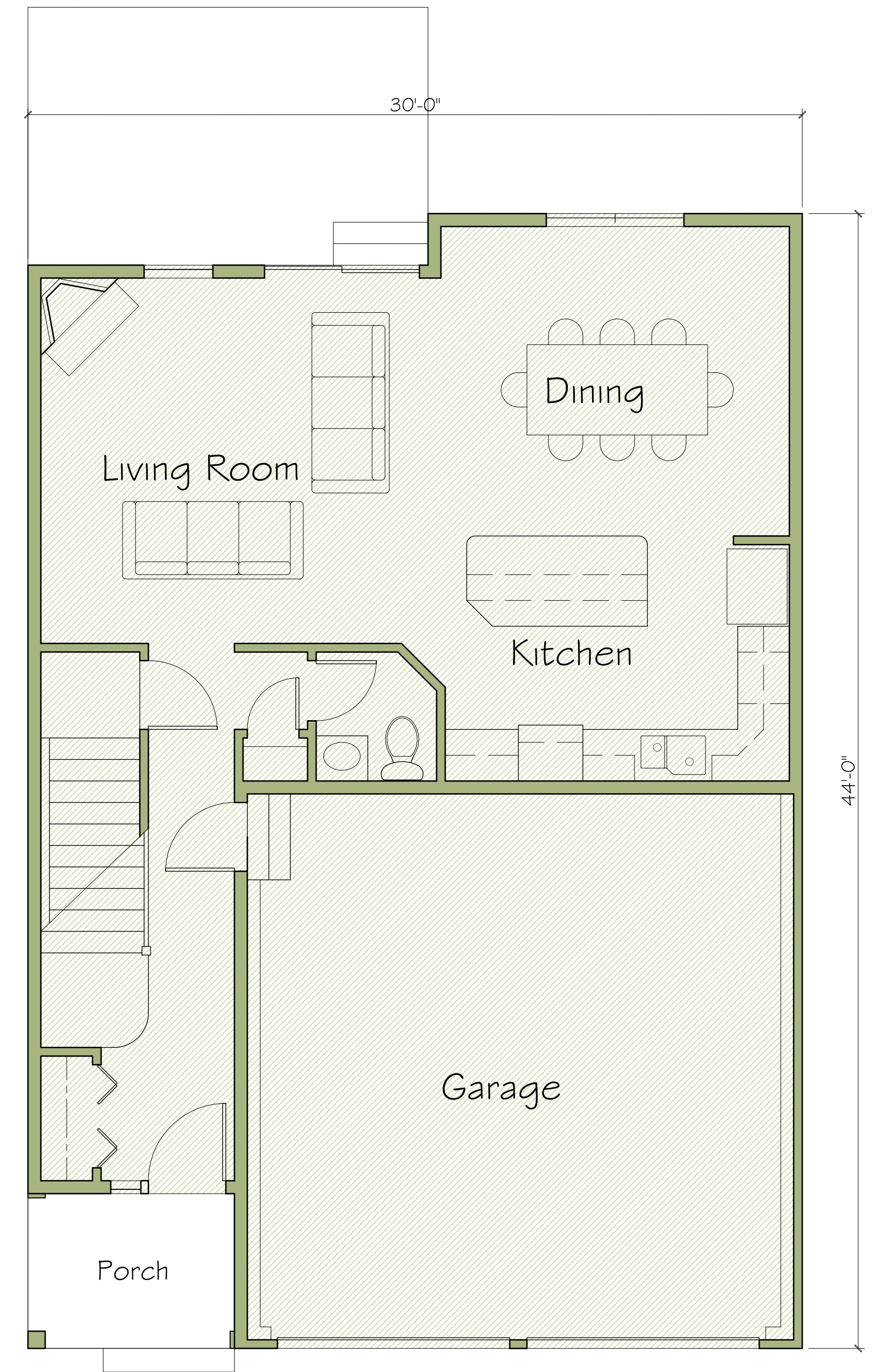
1170 SF



Preliminary First Floor Plan - Unit Type B

Scale: 1/4" = 1'-0"

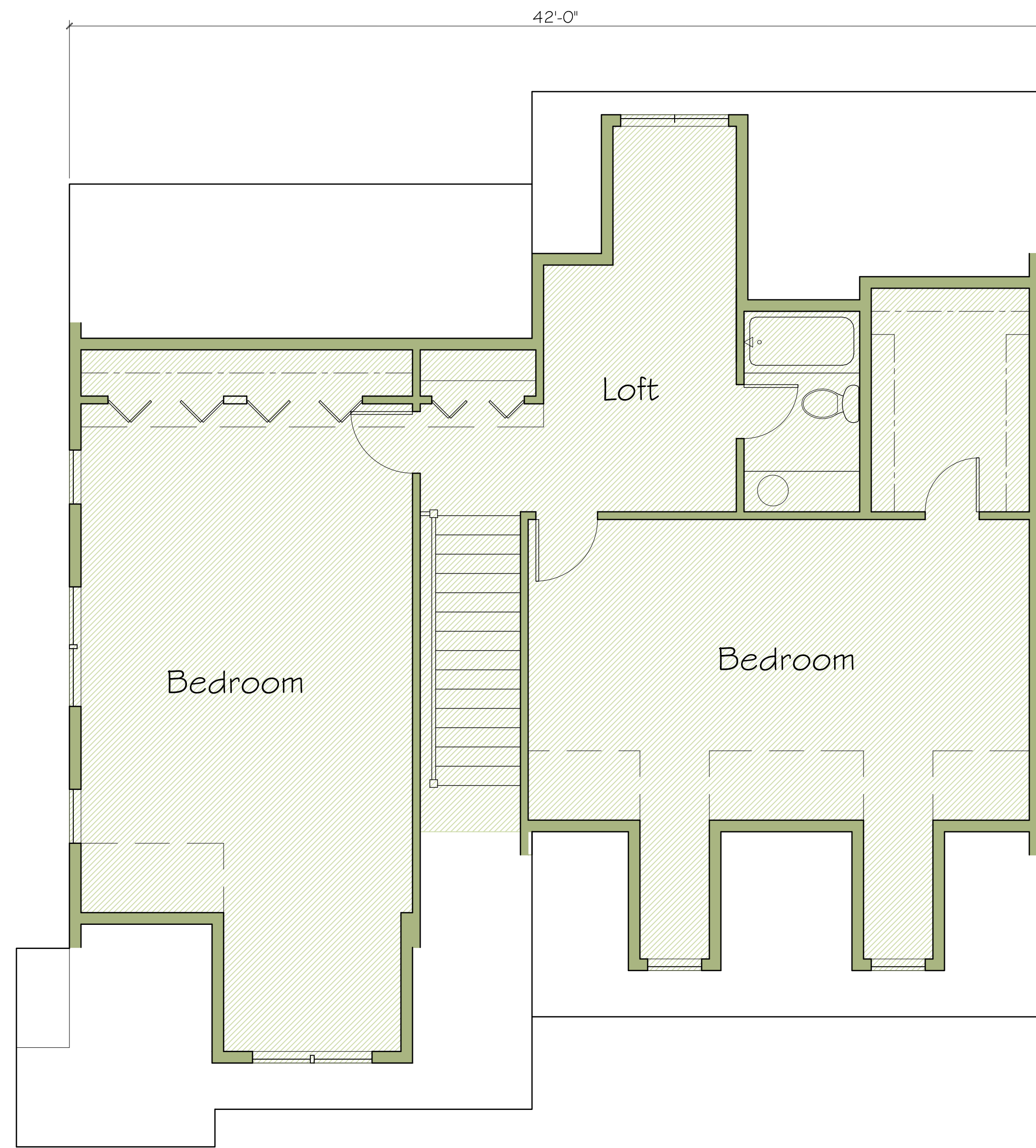
1106 SF



Preliminary First Floor Plan - Unit Type A

Scale: 1/4" = 1'-0"

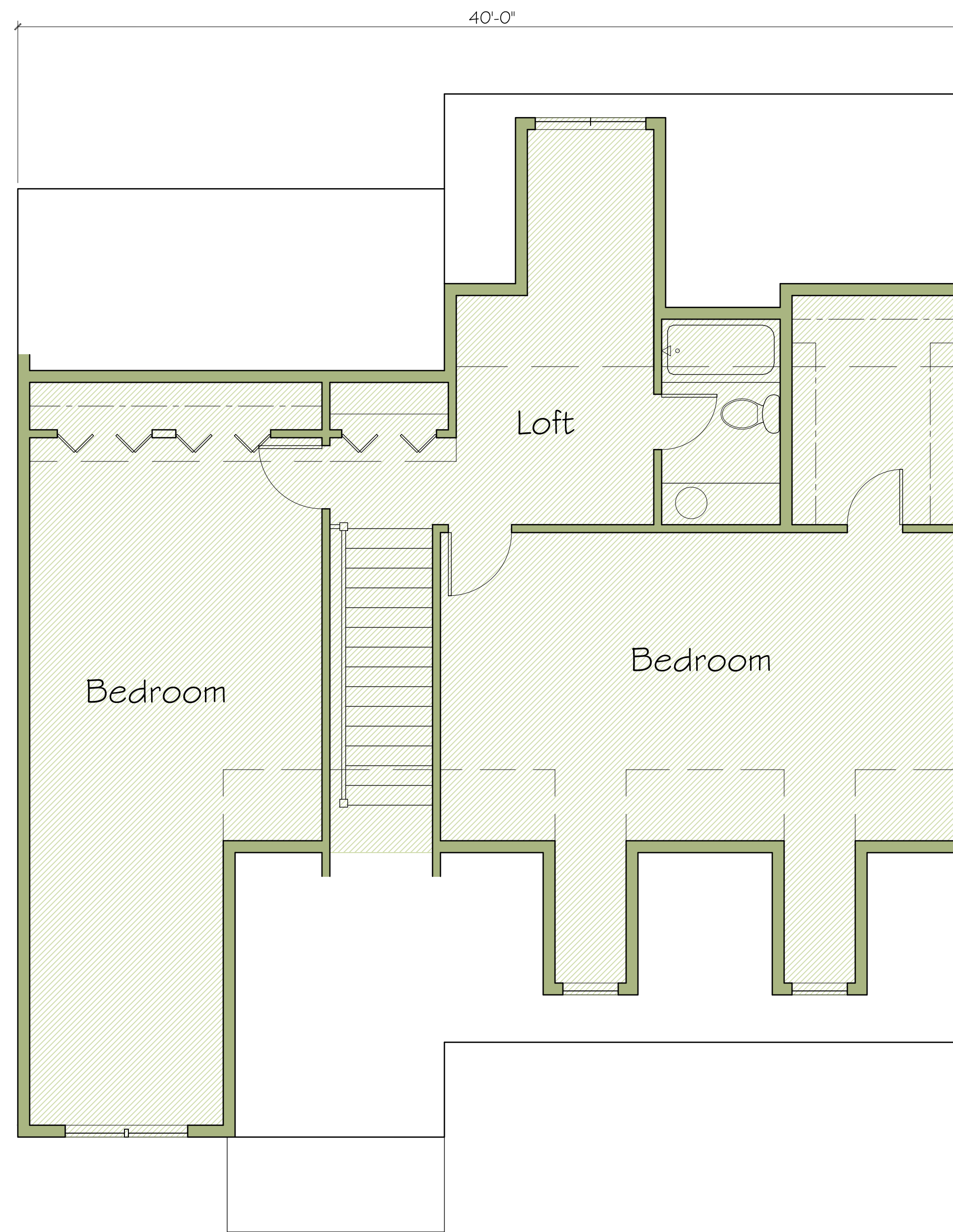
766 SF



Preliminary Second Floor Plan - Unit Type C

Scale: 1/4" = 1'-0"

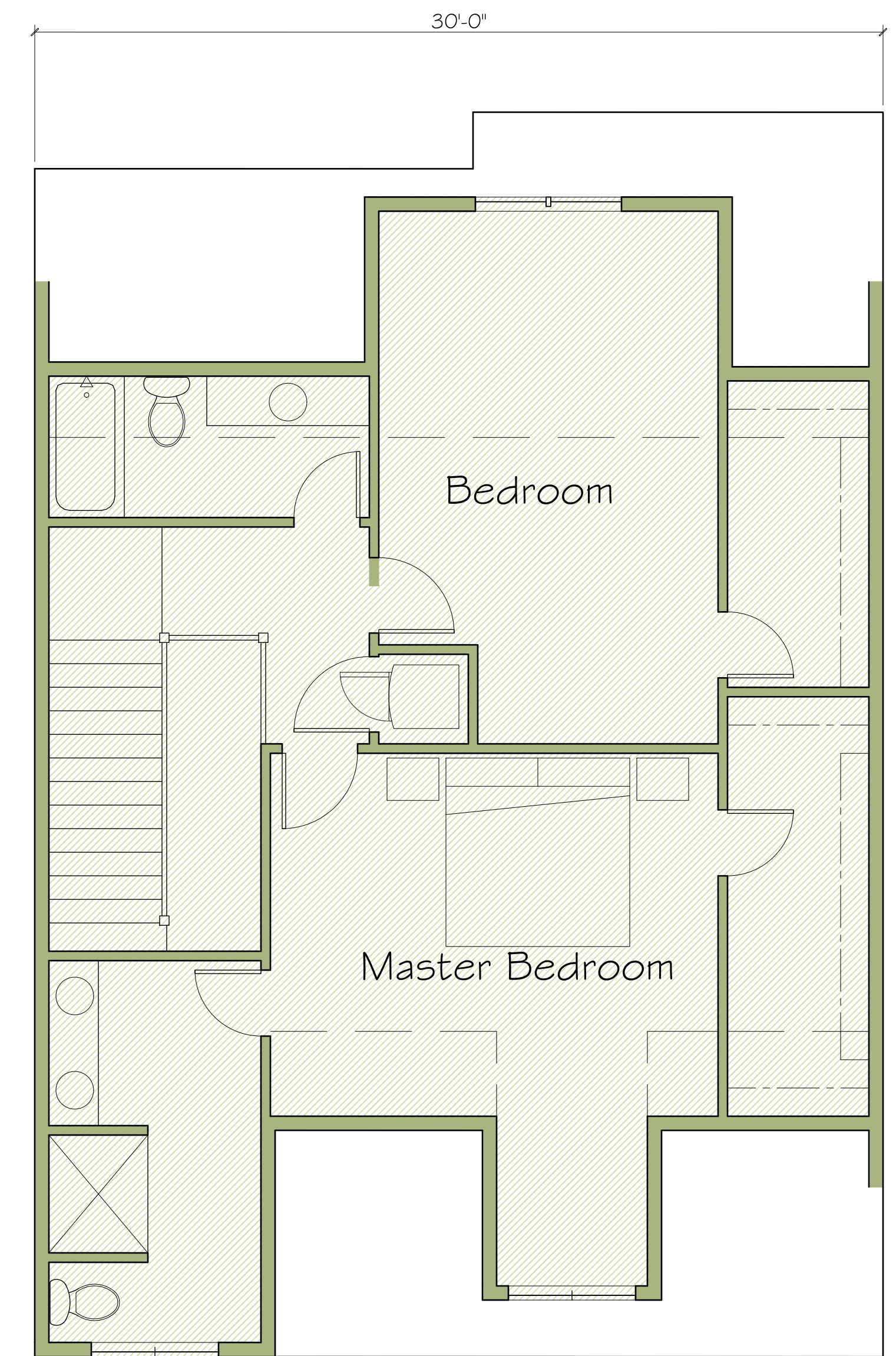
approx. 1123 SF



Preliminary Second Floor Plan - Unit Type B

Scale: 1/4" = 1'-0"

approx. 1068 SF

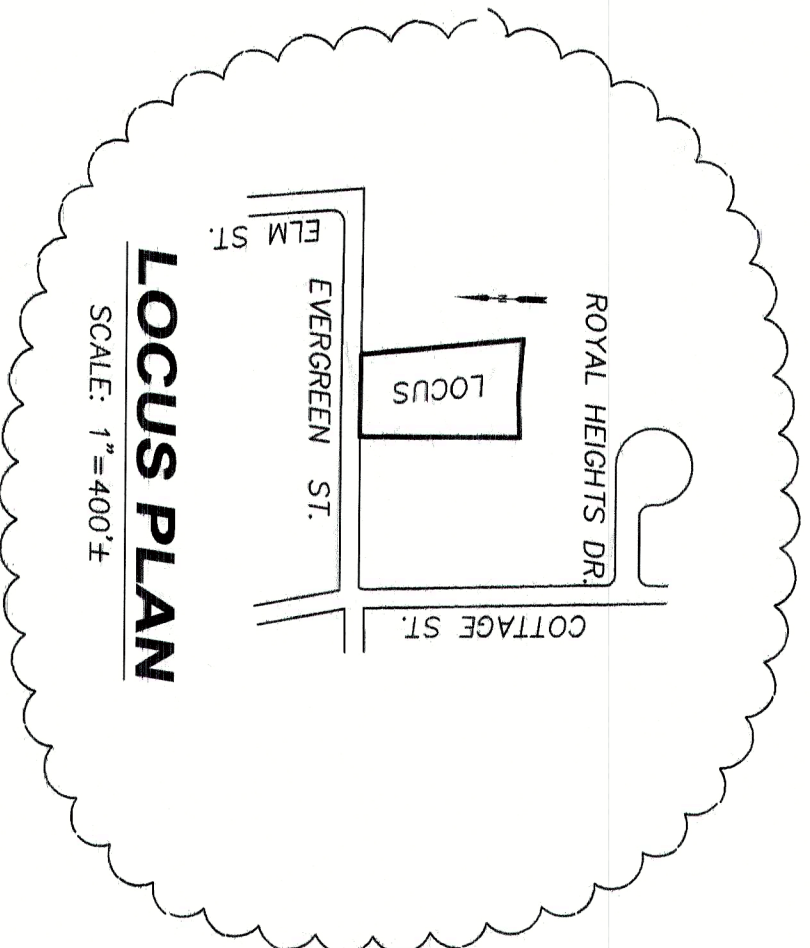


Preliminary Second Floor Plan - Unit Type A

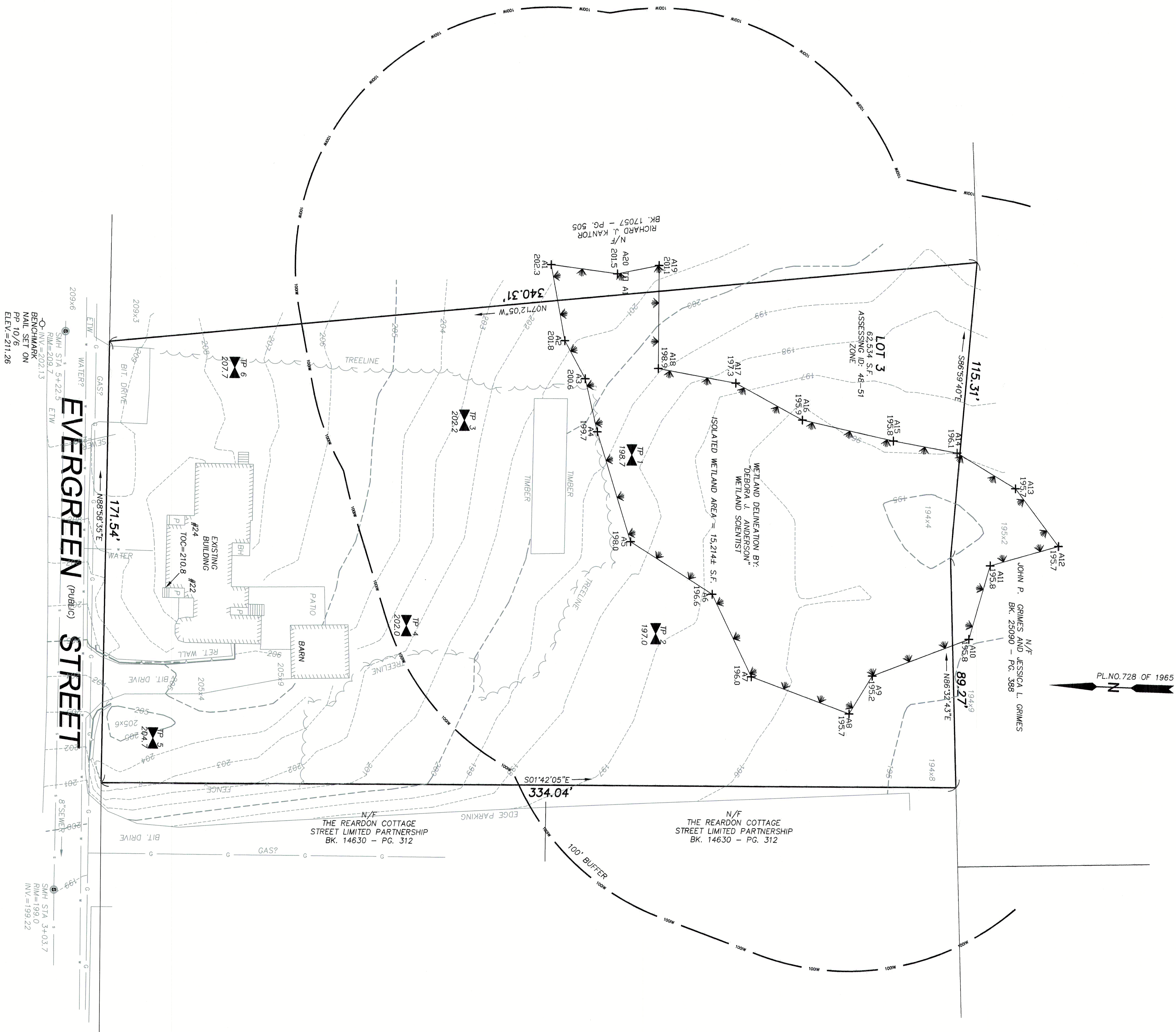
Scale: 1/4" = 1'-0"

approx. 955 SF

FOR REGISTRY USE ONLY



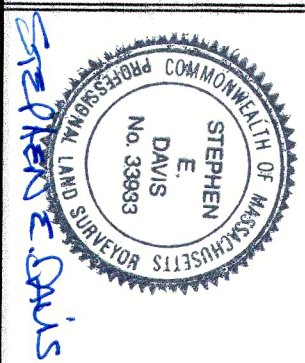
- NOTES:
- SUBJECT TO ANY STATEMENT OF FACT AN UP-TO-DATE ABSTRACT OF TITLE WOULD DISCLOSE.
 - SUBJECT TO ALL RIGHTS, EASEMENTS, COVENANTS OR RESTRICTIONS OF RECORD.
 - UNDERGROUND UTILITIES, STRUCTURES AND FACILITIES, IF ANY, HAVE BEEN SHOWN FROM SURFACE LOCATIONS AND RECORD. NO STATEMENTS OBTAINED FROM A FIELD SURVEY AND RECORD LOCATIONS HEREON. LOCATIONS OF UTILITIES ARE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHER UTILITIES EXISTENCE OF ARE NOT KNOWN, SIZE, TYPE AND LOCATION OF ALL UTILITIES AND STRUCTURES MUST BE VERIFIED BY PROPER AUTHORITIES PRIOR TO ANY AND ALL CONSTRUCTION. CALL TOLL FREE, DIG SAFE CALL CENTER AT 1-888-3444-7233 SEVENTY-TWO HOURS PRIOR TO ANY EXCAVATION.
 - ELEVATIONS ARE BASED ON RECORD SEWER DRAWING FOR EVERGREEN STREET.



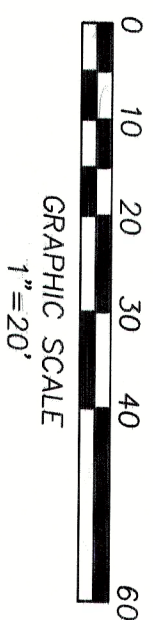
PROPERTY OWNER:
DAVID SHEA, III AND CYNTHIA A. SHEA
BK. 8482 - PG. 89

EXISTING CONDITIONS PLAN
#22 EVERGREEN STREET
MEDWAY, MASSACHUSETTS
NORFOLK COUNTY
AS PREPARED FOR
SAMPSON POND LLC

CHENEY
ENGINEERING CO., INC.
53 MELEN STREET
NEEDHAM, MA 02464
TEL. 781-444-2188



REV.	DATE	PROJECT #
6/12/19	7/19/2018	6098



I CERTIFY THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTRY OF DEEDS.
ALSO CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY PERFORMED ON 6/20/18, 7/5/18, 6/7/19 AND THE LATEST PLANS AND DEEDS OF RECORD.

Susan Affleck-Childs

From: Maria Varrichione <dreamhomesmv@gmail.com>
Sent: Friday, November 15, 2019 6:58 PM
To: Susan Affleck-Childs
Subject: Fwd: 22 Evergreen revised plans and elevations
Attachments: Evergreen A1 rendered 191115.pdf; Evergreen A1 bw 191115.pdf; Evergreen A2 191115.pdf; Evergreen A3 191115.pdf

Please forward to DRC for their input

----- Forwarded message -----

From: <danlewis@charter.net>
Date: Fri, Nov 15, 2019 at 4:55 PM
Subject: 22 Evergreen revised plans and elevations
To: dreamhomesmv@gmail.com <dreamhomesmv@gmail.com>

Hello Maria,

Here they are per the DRB requests except for one thing. They had asked for one of the units in the four unit building to be flipped, but when I looked at it further, it didn't make sense. If unit 4 is the unit towards the street, when you flip unit 6, there are still garage doors beside each other. The front doors are all separated from each other either way. But when I looked at the site plan, the original configuration is best. First of all, I'd rather have the garage doors on the high side where possible. The grading is better that way, Whenever the garage doors are on the low side, the grade has to drop more suddenly at the adjacent unit. Plus, the garage doors that are side by side are offset, front to back, and if I flip Unit 6, the garage doors almost align.

As mentioned, I did not change the column size on the color rendering, but I have changed them on the black and white. Please let me know if you need anything else.

Daniel Lewis AIA, LEED® AP

Architect

[332 Whitney Street](#)

[Northborough, MA 01532](#)

phone 508-612-8771

danlewis@charter.net

www.DanielLewisArchitect.com

--

Maria Varrichione

[dreamhomes](mailto:dreamhomesmv@gmail.com)mv@gmail.com

Mobile- 508-561-6048

RE/MAX Executive Realty

Platinum Club, Hall of Fame

& Lifetime Achievement Award Recipient



Prelim. Elev.-View From Evergreen St. - Unit 1
Scale: 3/16" = 1'-0"



Preliminary Front Elevation - Units 1, 2 and 3
Scale: 3/16" = 1'-0"



Preliminary Front Elevation - Units 4, 5, 6 and 7
Scale: 3/16" = 1'-0"



Preliminary Rear Elevation - Units 4, 5, 6 and 7
Scale: 3/16" = 1'-0"



Prelim. Elev.-View From Evergreen St. - Unit 1
 Scale: 3/16" = 1'-0"

Preliminary Front Elevation - Units 1, 2 and 3
 Scale: 3/16" = 1'-0"

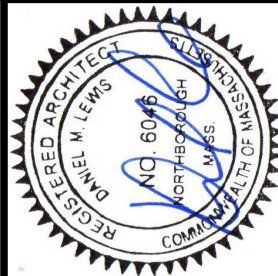


Preliminary Front Elevation - Units 4, 5, 6 and 7
 Scale: 3/16" = 1'-0"



Preliminary Rear Elevation - Units 4, 5, 6 and 7
 Scale: 3/16" = 1'-0"

DANIEL LEWIS, AIA
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 332 Whitney Street
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 danlewis@charter.net www.danlewisarchitect.com



Preliminary Exterior Elevations	
Job Number 1816	Date October 28, 2019
Drawn By DML	Revised Nov. 15, 2019

Proposed Condominiums
 22 Evergreen Street
 Medway, MA 02053
 For Sampson Pond LLC, Medway, MA



Preliminary First Floor Plan - Unit Type C

Scale: 1/4" = 1'-0"

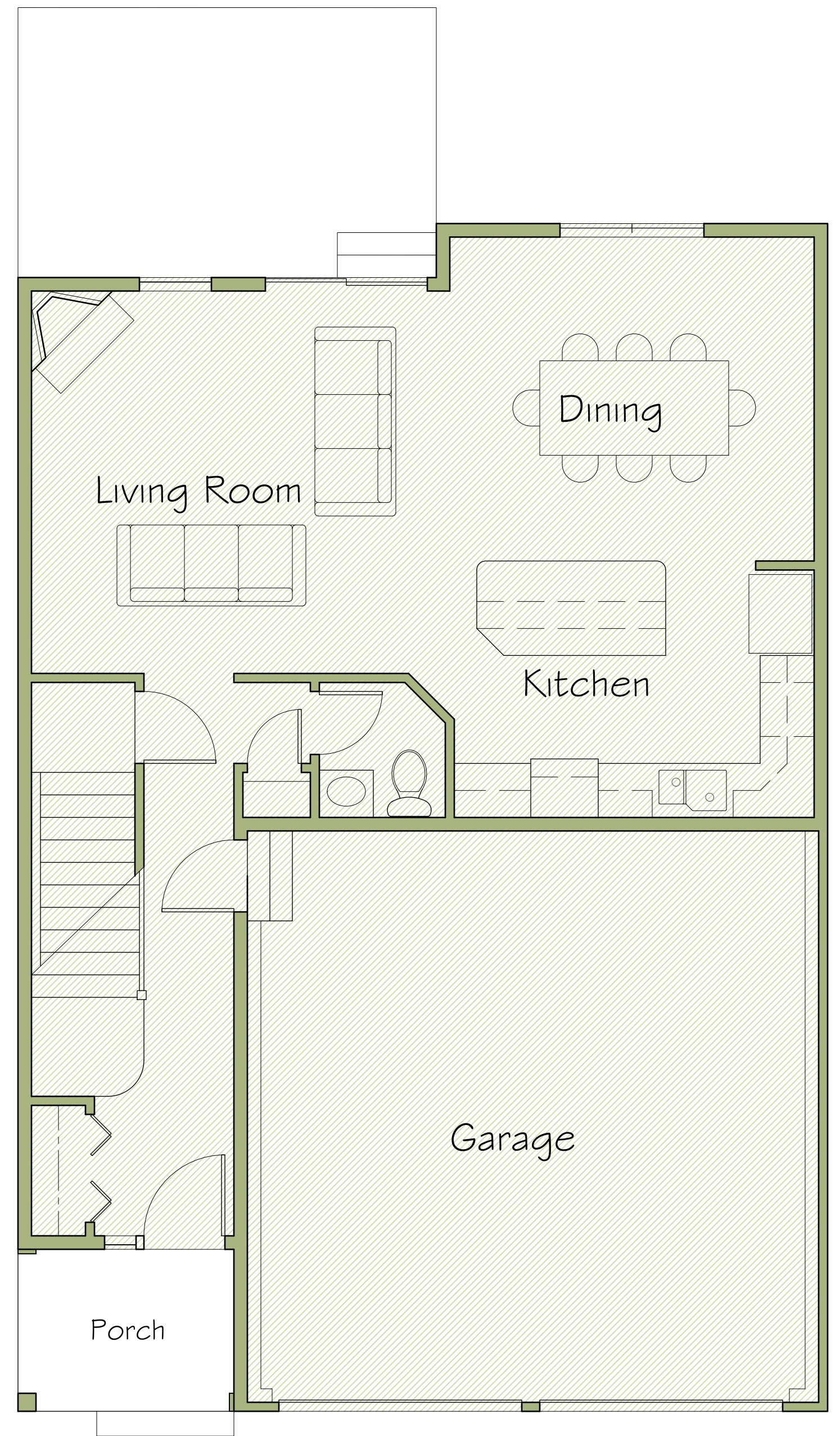
1170 SF



Preliminary First Floor Plan - Unit Type B

Scale: 1/4" = 1'-0"

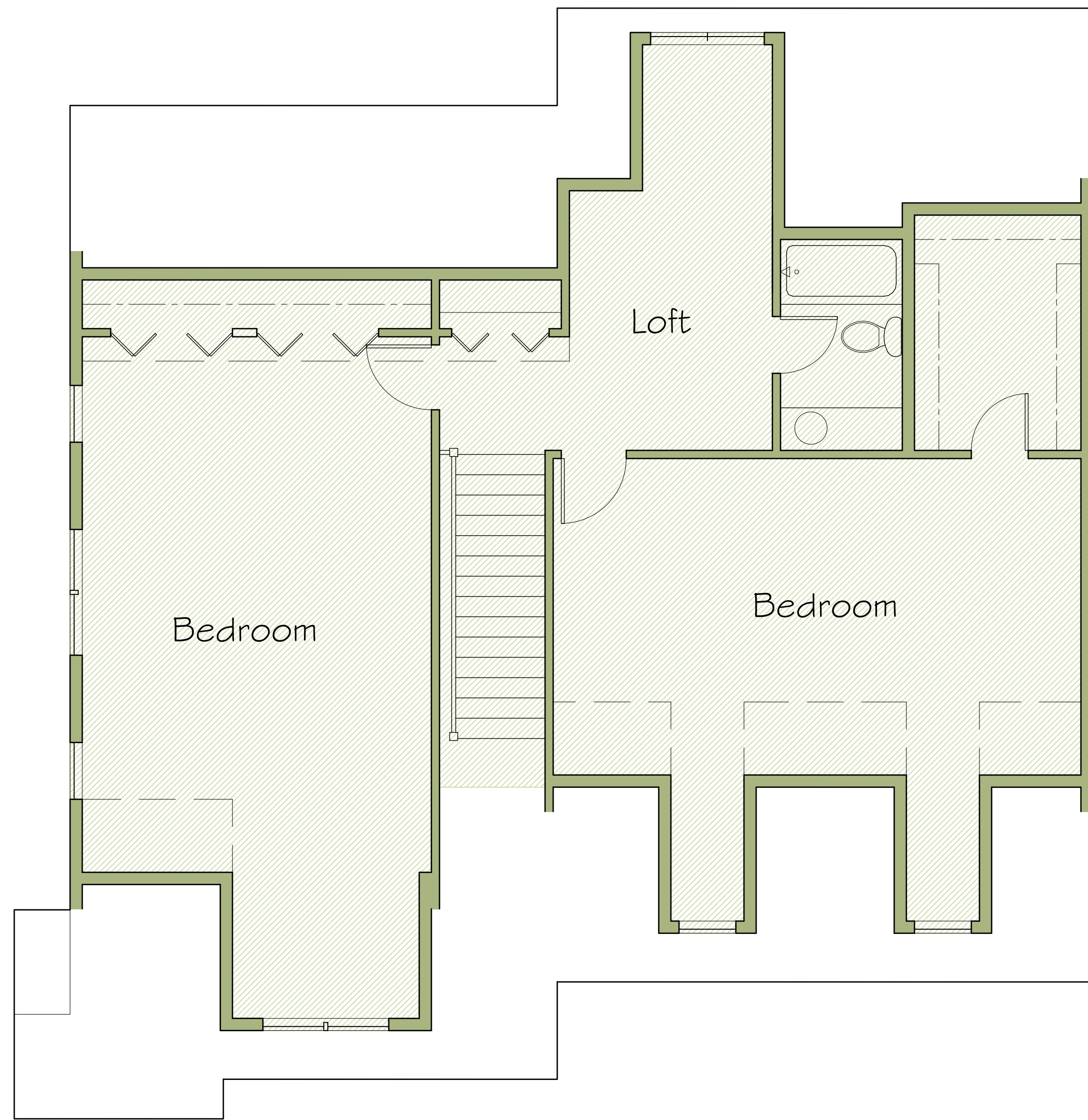
1106 SF



Preliminary First Floor Plan - Unit Type A

Scale: 1/4" = 1'-0"

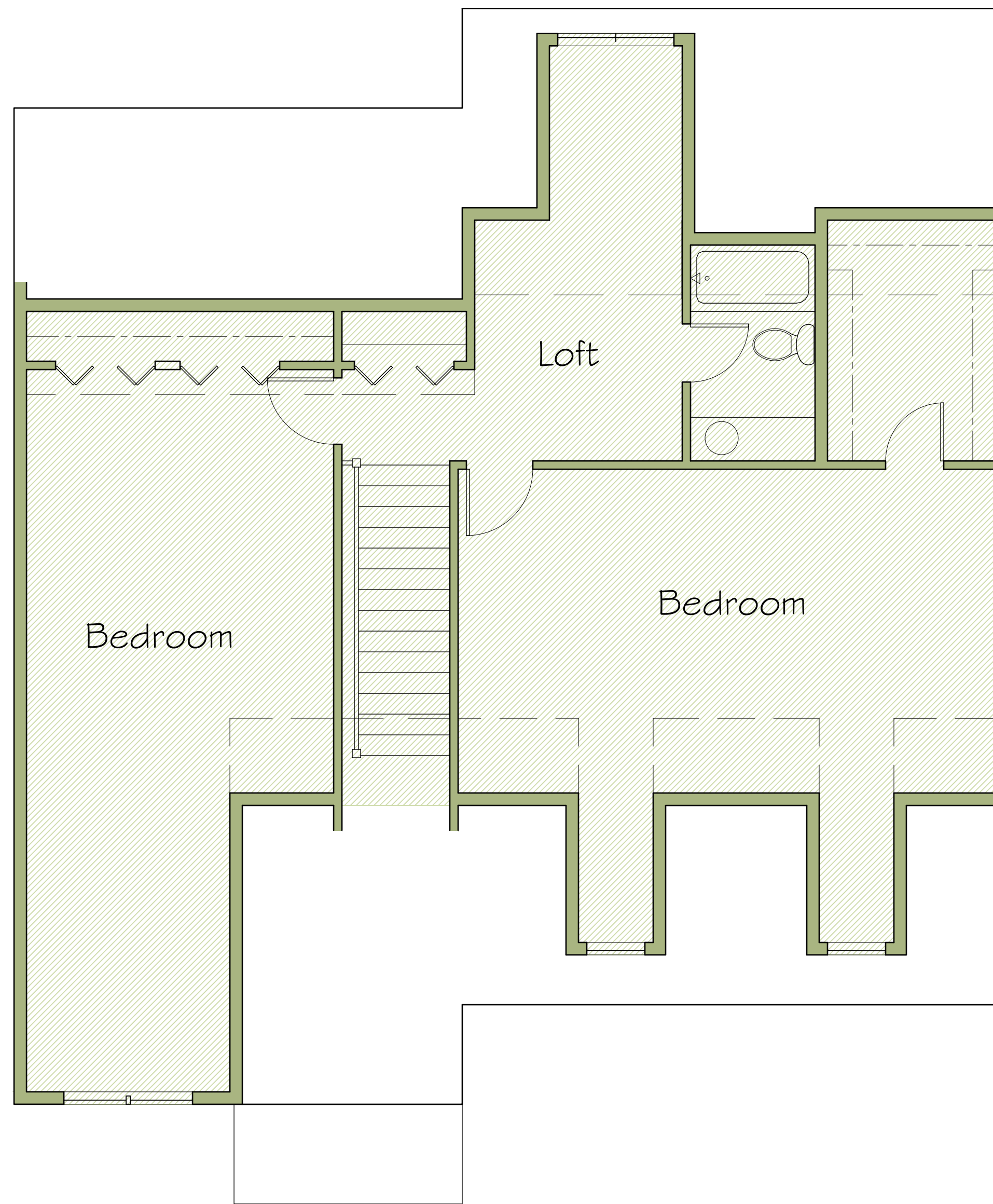
766 SF



Preliminary Second Floor Plan - Unit Type C

Scale: 1/4" = 1'-0"

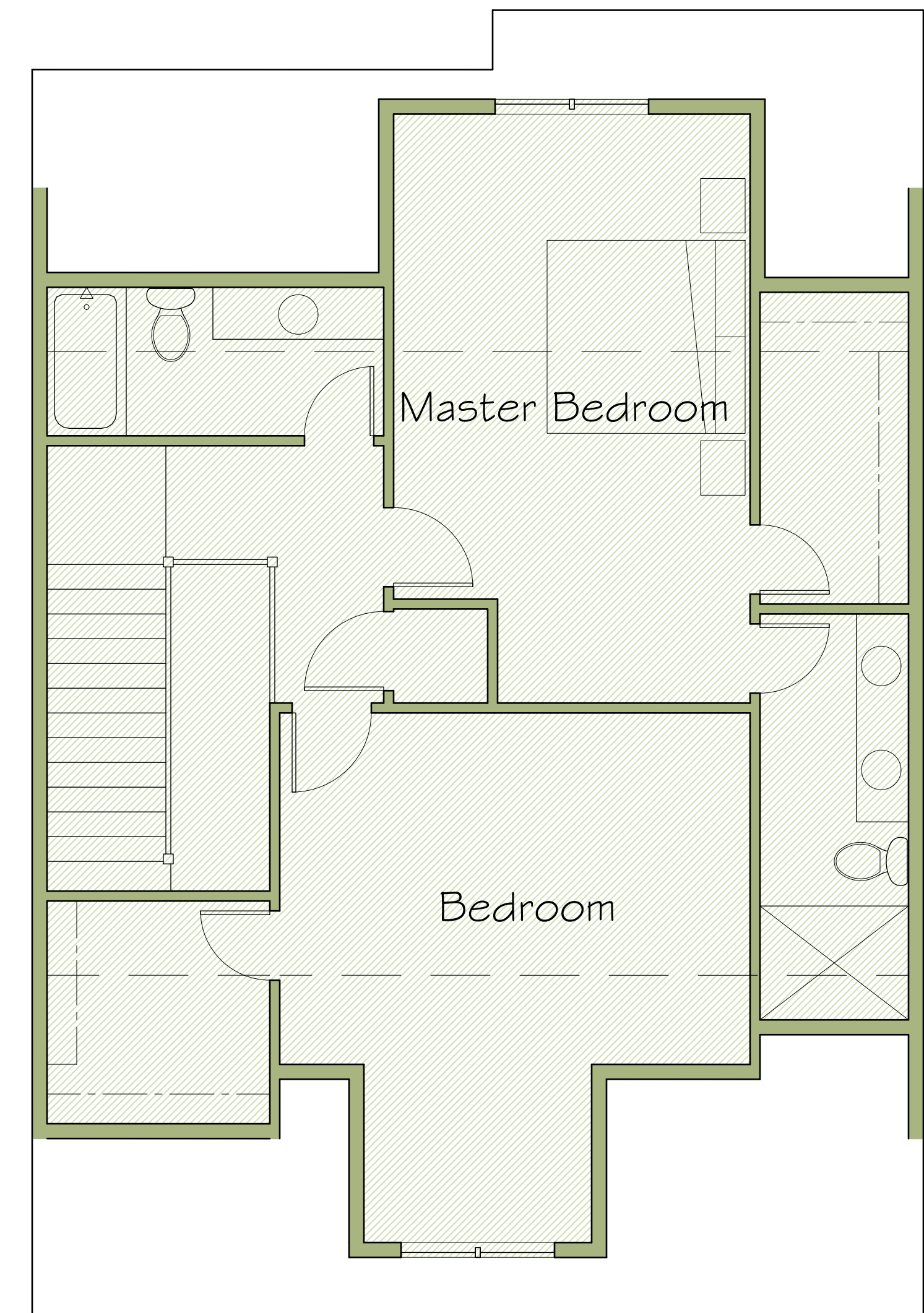
approx. 1123 SF



Preliminary Second Floor Plan - Unit Type B

Scale: 1/4" = 1'-0"

approx. 1068 SF



Preliminary Second Floor Plan - Unit Type A

Scale: 1/4" = 1'-0"

approx. 931 SF

Proposed Condominiums

22 Evergreen Street
Medway, MA 02053

For Sampson Pond LLC, Medway, MA

Preliminary Second Floor Plans

Job Number	Date
1816	March 8, 2019
Drawn By	Revised
DML	Nov. 15, 2019



DANIEL LEWIS, AIA
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(508) 612-8771
danlewis@charter.net www.danlewisarchitect.com

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Medway Planning and Economic Development Board
Request for Waiver from Site Plan Rules and Regulations
 Complete 1 form for each waiver request

Project Name:	Evergreen Village
Property Location:	22 Evergreen Street
Type of Project/Permit:	Multifamily Special Permit
Identify the number and title of the relevant Section of the Site Plan Rules and Regulations from which a waiver is sought.	Site Plan Rules & Regulations - Chapter 200 Section 205-3.B.6
Summarize the text of the relevant Section of the Rules and Regulations from which a waiver is requested.	Sidewalk Requirement
What aspect of the Regulation do you propose be waived?	Pedestrian Sidewalk installation
What do you propose instead?	None
Explanation/justification for the waiver request. Why is the waiver needed? Describe the extenuating circumstances that necessitate the waiver request.	In order maintain a smaller village appearance and in keeping with neighboring street appearance
What is the estimated value/cost savings to the applicant if the waiver is granted?	\$15,000
How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	It would compliment the rural neighborhood appearance
What is the impact on the development if this waiver is denied?	Would not complement appearances, Evergreen Street has no sidewalk
What are the design alternatives to granting this waiver?	Install walkways
Why is granting this waiver in the Town's best interest?	Aids in complimenting Scenic Rural road appearance
If this waiver is granted, what is the estimated cost savings and/or cost avoidance to the Town?	None
What mitigation measures do you propose to offset not complying with the particular Rule/Regulation?	None
What is the estimated value of the proposed mitigation measures?	\$0
Other Information?	
Waiver Request Prepared By:	Ronald Tiberi P.E.
Date:	11/20/2019
Questions?? - Please contact the Medway PED office at 508-533-3291.	

Medway Planning and Economic Development Board
Request for Waiver from Site Plan Rules and Regulations
 Complete 1 form for each waiver request

Project Name:	Evergreen Village
Property Location:	22 Evergreen Street
Type of Project/Permit:	Multifamily Special Permit
Identify the number and title of the relevant Section of the Site Plan Rules and Regulations from which a waiver is sought.	Site Plan Rules & Regulations - Chapter 200 Section 205-3.B.3
Summarize the text of the relevant Section of the Rules and Regulations from which a waiver is requested.	I. Driveway intersect at 90 degrees
What aspect of the Regulation do you propose be waived?	90 degree requirement
What do you propose instead?	93 degrees
Explanation/justification for the waiver request. Why is the waiver needed? Describe the extenuating circumstances that necessitate the waiver request.	In order to better conform to parcel shape
What is the estimated value/cost savings to the applicant if the waiver is granted?	\$5,000
How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	It would compliment the rural neighborhood appearance, and provides a more efficient layout
What is the impact on the development if this waiver is denied?	Would not complement appearances, would constrain exterior space at lower units
What are the design alternatives to granting this waiver?	No curb or Bituminous Berm
Why is granting this waiver in the Town's best interest?	Aids in complimenting layout & road appearance
If this waiver is granted, what is the estimated cost savings and/or cost avoidance to the Town?	None
What mitigation measures do you propose to offset not complying with the particular Rule/Regulation?	None
What is the estimated value of the proposed mitigation measures?	\$4,000
Other Information?	
Waiver Request Prepared By:	Ronald Tiberi P.E.
Date:	11/20/2019
Questions?? - Please contact the Medway PED office at 508-533-3291.	

Medway Planning and Economic Development Board
Request for Waiver from Site Plan Rules and Regulations
 Complete 1 form for each waiver request

Project Name:	Evergreen Village
Property Location:	22 Evergreen Street
Type of Project/Permit:	Multifamily Special Permit
Identify the number and title of the relevant Section of the Site Plan Rules and Regulations from which a waiver is sought.	Site Plan Rules & Regulations - Chapter 200 Section 205-4.B
Summarize the text of the relevant Section of the Rules and Regulations from which a waiver is requested.	Percolation Test Requirement
What aspect of the Regulation do you propose be waived?	Percolation testing
What do you propose instead?	None
Explanation/justification for the waiver request. Why is the waiver needed? Describe the extenuating circumstances that necessitate the waiver request.	Test pits and soil evaluations have been conducted as per industry norm
What is the estimated value/cost savings to the applicant if the waiver is granted?	\$3,000
How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	None
What is the impact on the development if this waiver is denied?	Minimizes soil disturbances prior to system installations
What are the design alternatives to granting this waiver?	Soils mapping and Certified Soil Evaluations
Why is granting this waiver in the Town's best interest?	None
If this waiver is granted, what is the estimated cost savings and/or cost avoidance to the Town?	None
What mitigation measures do you propose to offset not complying with the particular Rule/Regulation?	None
What is the estimated value of the proposed mitigation measures?	\$0
Other Information?	
Waiver Request Prepared By:	Ronald Tiberi P.E.
Date:	11/20/2019
Questions?? - Please contact the Medway PED office at 508-533-3291.	

Medway Planning and Economic Development Board
Request for Waiver from Site Plan Rules and Regulations
 Complete 1 form for each waiver request

Project Name:	Evergreen Village
Property Location:	22 Evergreen Street
Type of Project/Permit:	Multifamily Special Permit
Identify the number and title of the relevant Section of the Site Plan Rules and Regulations from which a waiver is sought.	Site Plan Rules & Regulations - Chapter 200 Section 205-6 H
Summarize the text of the relevant Section of the Rules and Regulations from which a waiver is requested.	I. Travel lane curbing shall be vertical granite curbing
What aspect of the Regulation do you propose be waived?	Granite Curbing
What do you propose instead?	Bituminous Berm
Explanation/justification for the waiver request. Why is the waiver needed? Describe the extenuating circumstances that necessitate the waiver request.	In order maintain a smaller village appearance
What is the estimated value/cost savings to the applicant if the waiver is granted?	\$5,000
How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	It would compliment the rural neighborhood appearance
What is the impact on the development if this waiver is denied?	Would not complement appearances, Evergreen Street has no curbing
What are the design alternatives to granting this waiver?	No curb or Bituminous Berm
Why is granting this waiver in the Town's best interest?	Aids in complimenting Scenic Rural road appearance
If this waiver is granted, what is the estimated cost savings and/or cost avoidance to the Town?	None
What mitigation measures do you propose to offset not complying with the particular Rule/Regulation?	None
What is the estimated value of the proposed mitigation measures?	\$8,000
Other Information?	
Waiver Request Prepared By:	Ronald Tiberi P.E.
Date:	3/4/2019
Questions?? - Please contact the Medway PED office at 508-533-3291.	

Medway Planning and Economic Development Board
Request for Waiver from Site Plan Rules and Regulations
 Complete 1 form for each waiver request

Project Name:	Evergreen Village
Property Location:	22 Evergreen Street
Type of Project/Permit:	Multifamily Special Permit
Identify the number and title of the relevant Section of the Site Plan Rules and Regulations from which a waiver is sought.	Site Plan Rules & Regulations - Chapter 200 Section 205-6 I
Summarize the text of the relevant Section of the Rules and Regulations from which a waiver is requested.	I. Travel lanes in the parking area shall be a minimum of twenty-four (24) feet wide
What aspect of the Regulation do you propose be waived?	Reduction of travel lane width
What do you propose instead?	Reduce Travel lanes to 22'
Explanation/justification for the waiver request. Why is the waiver needed? Describe the extenuating circumstances that necessitate the waiver request.	Reduce speeds in parking area, reduce impervious areas and maintain a smaller village appearance
What is the estimated value/cost savings to the applicant if the waiver is granted?	\$5,000
How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	Yes, it would minimize runoff, reduce traffic speeds and expanse of asphalt areas
What is the impact on the development if this waiver is denied?	Would require additional grading, along with drainage system changes and additional asphalt
What are the design alternatives to granting this waiver?	22' width
Why is granting this waiver in the Town's best interest?	Smaller drive would discourage pass thru traffic and turn arounds in lot
If this waiver is granted, what is the estimated cost savings and/or cost avoidance to the Town?	None
What mitigation measures do you propose to offset not complying with the particular Rule/Regulation?	Increase in Green space areas
What is the estimated value of the proposed mitigation measures?	Additional Green Space and sitting park \$8000
Other Information?	
Waiver Request Prepared By:	Ronald Tiberi P.E.
Date:	3/4/2019
Questions?? - Please contact the Medway PED office at 508-533-3291.	

Medway Planning and Economic Development Board
Request for Waiver from Site Plan Rules and Regulations
 Complete 1 form for each waiver request

Project Name:	Evergreen Village
Property Location:	22 Evergreen Street
Type of Project/Permit:	Multifamily Special Permit
Identify the number and title of the relevant Section of the Site Plan Rules and Regulations from which a waiver is sought.	Site Plan Rules & Regulations - Chapter 200 Section 205-9 C
Summarize the text of the relevant Section of the Rules and Regulations from which a waiver is requested.	Parking Areas - Internal landscape planted divisions (islands and peninsulas) shall be constructed within all parking lots to provide shading and buffering. At least one deciduous tree of a minimum two and one-half (2 1/2) inches caliper in diameter shall be provided for every six (6) parking spaces. Only trees providing shade to the parking area shall be counted as meeting this requirement. This requirement may be waived in lieu of the preservation of existing trees subject to approval by the Planning Board.
What aspect of the Regulation do you propose be waived?	Shade trees over Parking Ares
What do you propose instead?	Planting additional trees around property and screening areas
Explanation/justification for the waiver request. Why is the waiver needed? Describe the extenuating circumstances that necessitate the waiver request.	No designated parking areas beyond driveways
What is the estimated value/cost savings to the applicant if the waiver is granted?	None
How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	Not complimentary to driveways
What is the impact on the development if this waiver is denied?	Would require additional grading, along with drainage system changes and additional asphalt, may result in reduced parking
What are the design alternatives to granting this waiver?	Add trees to Screening areas
Why is granting this waiver in the Town's best interest?	Allows developer to provide parking to homeowner and drainage in Small site area
If this waiver is granted, what is the estimated cost savings and/or cost avoidance to the Town?	None
What mitigation measures do you propose to offset not complying with the particular Rule/Regulation?	Trees added elsewhere
What is the estimated value of the proposed mitigation measures?	None

Medway Planning and Economic Development Board
Request for Waiver from Site Plan Rules and Regulations
 Complete 1 form for each waiver request

Project Name:	Evergreen Village
Property Location:	22 Evergreen Street
Type of Project/Permit:	Multifamily Special Permit
Identify the number and title of the relevant Section of the Site Plan Rules and Regulations from which a waiver is sought.	AUOD - section 504-4E
Summarize the text of the relevant Section of the Rules and Regulations from which a waiver is requested.	Prohibition of new curb cuts
What aspect of the Regulation do you propose be waived?	waive requirement
What do you propose instead?	A new single Curb cut
Explanation/justification for the waiver request. Why is the waiver needed? Describe the extenuating circumstances that necessitate the waiver request.	Reduces Number of curbcuts and provides better line of sight in both directions
What is the estimated value/cost savings to the applicant if the waiver is granted?	\$1,000
How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	Yes it would help provide clearer site lines and reduce safety hazards
What is the impact on the development if this waiver is denied?	Project would require re-evaluation
What are the design alternatives to granting this waiver?	Two access roads at existing curbcuts
Why is granting this waiver in the Town's best interest?	reduction of curbcuts and better sightlines
If this waiver is granted, what is the estimated cost savings and/or cost avoidance to the Town?	None
What mitigation measures do you propose to offset not complying with the particular Rule/Regulation?	decrease in existing curb cuts
What is the estimated value of the proposed mitigation measures?	\$200
Other Information?	
Waiver Request Prepared By:	Ronald Tiberi P.E.
Date:	3/7/2019
Questions?? - Please contact the Medway PED office at 508-533-3291.	

Medway Planning and Economic Development Board
Request for Waiver from Site Plan Rules and Regulations
 Complete 1 form for each waiver request

Project Name:	Evergreen Village
Property Location:	22 Evergreen Street
Type of Project/Permit:	Multifamily Special Permit
Identify the number and title of the relevant Section of the Site Plan Rules and Regulations from which a waiver is sought.	AUOD - section 504-4F
Summarize the text of the relevant Section of the Rules and Regulations from which a waiver is requested.	Requirement to provide exterior Bicycle parking
What aspect of the Regulation do you propose be waived?	waive requirement
What do you propose instead?	Bike parking anticipated within buildings
Explanation/justification for the waiver request. Why is the waiver needed? Describe the extenuating circumstances that necessitate the waiver request.	Reduces clutter and maintenance
What is the estimated value/cost savings to the applicant if the waiver is granted?	\$1,000
How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	Yes it would help provide clearer site lines and reduce site clutter
What is the impact on the development if this waiver is denied?	None
What are the design alternatives to granting this waiver?	interior parking
Why is granting this waiver in the Town's best interest?	Less opportunity for theft
If this waiver is granted, what is the estimated cost savings and/or cost avoidance to the Town?	None
What mitigation measures do you propose to offset not complying with the particular Rule/Regulation?	Increase in Green space areas
What is the estimated value of the proposed mitigation measures?	\$200
Other Information?	
Waiver Request Prepared By:	Ronald Tiberi P.E.
Date:	3/7/2019
Questions?? - Please contact the Medway PED office at 508-533-3291.	

PGC ASSOCIATES, INC.

1 Toni Lane
Franklin, MA 02038-2648
508.533.8106
gino@pgcassociates.com

December 4, 2019

Mr. Andy Rodenhiser, Chairman
Medway Planning Board
155 Village Street
Medway, MA 02053

RE: EVERGREEN VILLAGE MULTIFAMILY SPECIAL PERMIT/SITE PLAN

Dear Mr. Rodenhiser:

I have reviewed the revised proposed multifamily housing special permit and site plan, for 6 (formerly 7) townhouse units on Evergreen Street. The applicant is Sampson Pond, LLC of Medway. The owners are John and Cynthia Shea of Carver, MA.

The proposal is to construct 6 townhouse units in a triplex building on each side of a driveway, including associated parking, drainage, landscaping, etc. The lot has 62,534 square feet. The plan was prepared by Ronald Tiberi of Natick. The plan is dated September 5, 2019, with a revision date of November 20, 2019.

The property is located at 22 Evergreen Street in the AR-II, and Multifamily Overlay zoning districts.

ZONING

Multifamily Housing (Section 5.6.4)

1. The site is within the Multifamily Housing Overlay District (Section 5.6.4) and thus eligible for a project.
2. The site has more than 50 feet of frontage on Evergreen Street, which has sufficient capacity to handle the additional traffic flow from 6 units. At 62,534, it also meets the minimum area requirement of 22,500 square feet
3. The plan now shows the buildings complying with the minimum setback of 35' from Evergreen Street. There is no longer a need to consider whether to adjust the dimensional requirements as allowed by Multifamily Housing bylaw via a 4/5 vote. The side and rear setbacks also meet the required 15 feet. Patios are shown within the side setbacks, but this is allowed.
4. The building heights are not shown specifically but the plans indicate they will be 38', under the maximum height limit of 40 feet.
5. The maximum density for multifamily projects is 12 units per acre. With 62,534 square feet (1.44 acres), the site is eligible for 12 units. At 6, the project is under the maximum.

6. The plans indicate that the proposed project comply with building coverage (16.5% vs. 30% allowed), and impervious surface (29% vs. 40% allowed), and parking (2 per unit vs. 1.5 required). However, the table on the cover sheet indicates no required building or impervious surface coverage requirement. The minimum open space or yard area (minimum required of 15%) is also met.
7. At 6 units, 10% (.6 rounded up to 1) of the units must be affordable. One affordable unit is required. There had been a house on the site which would have reduced the net increase to 5. However, Section 5.6.4 E. 7 requires historic properties determined to be a “historically significant building” by the Medway Historical Commission to not be demolished unless certain criteria are met. The original application had indicated that such a building would be razed. Therefore, the original application was withdrawn in order to demolish the house and submit a new application as a vacant site.

Other

8. No photometric plan for lighting has been provided to document that the project complies with the Section 7.1.2 (Outdoor Lighting) of the Bylaw. A photometric plan has now been provided and it complies with the bylaw.
9. No signage is shown on the plans. Any project development or other signs must be shown on the plan. The plans now show a decorative wall at the entrance and indicates that a sign will be on the wall, but no details of the sign are provided.
10. A stone wall is proposed to be reconstructed. Since Evergreen Street is a Scenic Road, an application has been filed to approve the wall reconstruction.

SITE PLAN REGULATIONS

(Note: Site plan issues that have been addressed above are not repeated in this section).

11. Section 204-5 B.1 requires a Site Context sheet indicating features within 2000 feet of the perimeter of the site. This was not provided, and no waiver was requested. **There is now a locus plan on the cover sheet showing the area within 2000 feet.**
12. Section 204-5 C (3) requires an Existing Landscape Inventory. This was not provided, and no waiver was requested. **There is now an inventory of trees over 18” caliper.**
13. Section 205-2 G & H require that ground floor facades have arcades, display windows, entry areas, canopies, awnings or other such features with pleasing aesthetics along 60% of their length and architectural features that provide visual interest at the pedestrian scale and detailing to avoid “massive aesthetic effects.” The elevations indicate that the buildings have some of these features, but clearly not along 60% of the façade. The most prominent and dominant architectural feature of the proposed buildings are garage doors. Perhaps adding some architectural interest to them would at least downplay their significance.
14. Section 205-6 H requires vertical granite curbing “or similar type of edge treatment to delineate the parking lot.” The plan indicates Cape Cod berm and a waiver was requested for this.

15. A waiver was requested to allow 22' for a driveway aisle rather than 24.'

GENERAL COMMENTS

16. The landscape plan appears to be adequate. It includes a row of arborvitaes along each side lot line as screening, as well as decorative plantings along the frontage and in front of each unit. The project also includes a community garden area.

17. The plans now show a split rail fence close to the front of the north east end of the site and a solid vinyl fence close to the building on the north west side of the site. The solid fence would significantly alter the view of the building from Evergreen Street that is shown on the renderings in the plans.

If there are any questions about these comments, please call or email me.

Sincerely,

A handwritten signature in black ink, appearing to read "Gino D. Carlucci, Jr.", with a stylized flourish at the end.

Gino D. Carlucci, Jr.



December 10, 2019
Medway Planning & Economic Development Board
Meeting

20 Broad Street Public Hearing
Multi-Family Special Permit, Site Plan
and Groundwater Protection District

- Public Hearing Continuation Notice
- GLM response letter dated 11-22-19 to the Board's consultants' previous plan review letters
- Revised site plan dated 11-20-19
- Email dated 11-24-19 from abutter Lisa Mitchell of 25 Broad Street
- DRC status letter dated 10-24-19
- Email dated 11-5-19 from DPW Director Dave D'Amico re: sidewalk on Broad Street
- PGC review letter regarding the revised site plan, dated 12-4-19
- TT review letter regarding the revised site plan, dated 12-4-19



TOWN OF MEDWAY
Planning & Economic Development Board
155 Village Street
Medway, Massachusetts 02053

*Andy Rodenhiser, Chairman
Robert K. Tucker, Vice-Chairman
Thomas A. Gay, Clerk
Matthew Hayes, P.E.
Richard Di Iulio*

MEMORANDUM

November 27, 2019

TO: Maryjane White, Town Clerk
Town of Medway Departments, Boards and Committees

FROM: Susy Affleck-Childs, Planning & Economic Development Coordinator

RE: **Public Hearing Continuation: 20 Broad Street Special Permit and Site Plan**
CONTINUATION DATE: Tuesday, December 10, 2019 at 9 p.m.
LOCATION: Medway Town Hall – Sanford Hall, 155 Village Street

At its meeting on November 26, 2019, the Planning and Economic Development Board (PEDB) voted to continue the public hearing on the applications of Village District Development LLC of Medway, MA for approval of a major site plan, a land disturbance permit, a multi-family housing special permit, and a groundwater protection district special permit to December 10, 2019 at 9 pm.

The applicant proposes to develop a 6 unit apartment at 20 Broad Street in the Village Commercial Zoning District. The property is also located in the Multi-Family Overlay District and the Groundwater Protection District. The 23,109 sq. ft. property (*Medway Assessors Map 60, Parcel 232*) is owned by Village District Development, LLC of Medway, MA.

The proposed development will include renovation of the existing three family building including a 270 sq. ft. addition and construction of a new three-family building for a total of six residential units. Access will be from a single curb cut from Broad Street. A total of 12 off-street, paved parking spaces will be provided. 40.9% of the site will have impervious surfaces. Stormwater management facilities will be installed. Landscaping and site lighting are also proposed. Connections will be made to the existing Town sewer and water services in Broad Street. The site plan entitled *Site Development Plan 20 Broad Street, Medway, MA* dated September 16, 2019, last revised November 22, 2019, was prepared by GLM Engineering Consultants of Holliston, MA.

The permit applications, site plan, and other associated documents are on file with the Medway Town Clerk and at the office of the Planning and Economic Development Board at Medway Town Hall, 155 Village Street and may be reviewed during regular business hours. The materials have also been posted to the Planning and Economic Development Board's web page at: <https://www.townofmedway.org/planning-economic-development-board/pages/20-broad-street-multifamily-housing-development>

A revised site plan was received on 11-26-19 and has been posted to the Board's web page above. Please review that revised plan set.

Please contact me if you have any questions. Thanks.

Telephone: 508-533-3291 Fax: 508-321-4987
planningboard@townofmedway.org

November 22, 2019

Medway Planning and Economic Development Board
Medway Town Hall
155 Village Street
Medway, MA 02053

**Re: 20 Broad Street
Multi-Family Special Permit Site Plan
Medway, MA**

Dear Board Members,

Our firm revised the project site plans for the above captioned project to address the comments from the Board, PGC Associates, Inc., dated October 16, 2019 and Tetra Tech dated October 18, 2019. The following is in response to the comments.

Board Comments:

- Revise Plan to include a raised landscape area to screen parking, See Sheet 4.
- New building rear walkway provide 4' wide striped lane to parking area.
- Infiltrate roof runoff from existing building.

Tetra Tech, Dated October 18, 2019:

SITE PLAN REVIEW:

1. Waiver Requested
2. Section 204-4.B States plan may be drawn at 1"=20'.
3. Elevation difference provide on Sheet 2, Note 5.
4. Revised See Sheet 1.
5. Revised See Sheet 2.
6. Revised See Sheet 2.
7. The board may condition the approval if the snow amounts exceed the snow storage areas, snow shall be removed from the site.
8. No hydrants proposed on the site.
9. Waiver Requested
10. Revised See Sheet 3.
11. Revised See Sheet 1.
12. See Fire Dept. Review
13. Revised See Sheet 3. Electric service to new building shall be underground.
14. No Comment
15. Waiver Requested
16. Revised See Sheet 2.

STORMWATER REVIEW:

MA DEP Stormwater Standards

See Revised Drainage Report

The proposed drainage system has been modified, eliminating the bio-retention areas and installing Stormceptor Catch Basins to achieve 44% removal and underground culvert recharge systems.

The existing house has been directed to the underground recharge systems.

17. No increase with house incorporated into the recharge system See Revised Report.

18. Revised Proprietary Treatment units proposed prior to infiltration.

19. Revised See Drainage Report

20. Revised See Drainage Report

21. Revised See Drainage Report

22. Revised See Drainage Report

Town Stormwater Regulations:

23. No comment

Town Stormwater Management and Land Disturbance Bylaw Review:

24. The application, plan set and Stormwater Operation & Maintenance Long Term Pollution Prevention Plan should be considered sufficient per the application submittal requirements.

The project applicable under administrative review.

25. Revised Erosion control extended. See Sheet 4.

General Stormwater Comments:

26. Revised Drainage Eliminated Bio Retention Areas.

27. There is a wall between the abutting property and the project site.

28. Revised Roof Runoff directed to infiltration. See Drainage Report

29. Revised No Bio Retention Areas

30. Revised See Drainage Report

General Comments:

31. No HC Spaces required.

32. No comment

33. Provide walk to parking with hatched no parking lane. See Sheet 3.

34. Revised to add sidewalk to roadway for new building See Sheet 3.

35. The finish grades will allow for six inches.

36. No stop sign per board discussion.

37. No well proposed

38. Revised

39. Revised See Sheet 5.

40. Revised

PGC Associates, Inc. Dated October 16, 2019:

Multifamily Housing (Section 5.6.4):

1. No comment

2. No Comment

3. No Comment

4. The building height on the zoning table is 34.5 feet.

5. No comment

6. No comment

7. No Comment
8. No signage proposed at this time.
9. The intent was the Sheet 2, provided sufficient information to meet the intent of the site context sheet.
If required we would request the board waiver this requirement.
10. Revised See Sheet 2.
11. Revised See Sheet 3.
12. Waiver Requested
13. No comment
14. No Comment

Enclosed herewith is the following for your review.

- Revised Site Plans
- Revised Drainage Report
- Stormwater Management Operation and Management Plan and Long Term Pollution Prevention Plan.

If you have any questions please contact our office

Thank you for your cooperation in this matter.

Yours truly,
GLM Engineering Consultants Inc.

Robert S. Truax
Project Manager/Design Eng.

SITE DEVELOPMENT PLAN
20 BROAD STREET
MEDWAY, MASSACHUSETTS

APPROVED BY
MEDWAY PLANNING AND ECONOMIC
DEVELOPMENT BOARD

DATE APPROVED: _____

DATE ENDORSED: _____

WAIVERS REQUESTED:

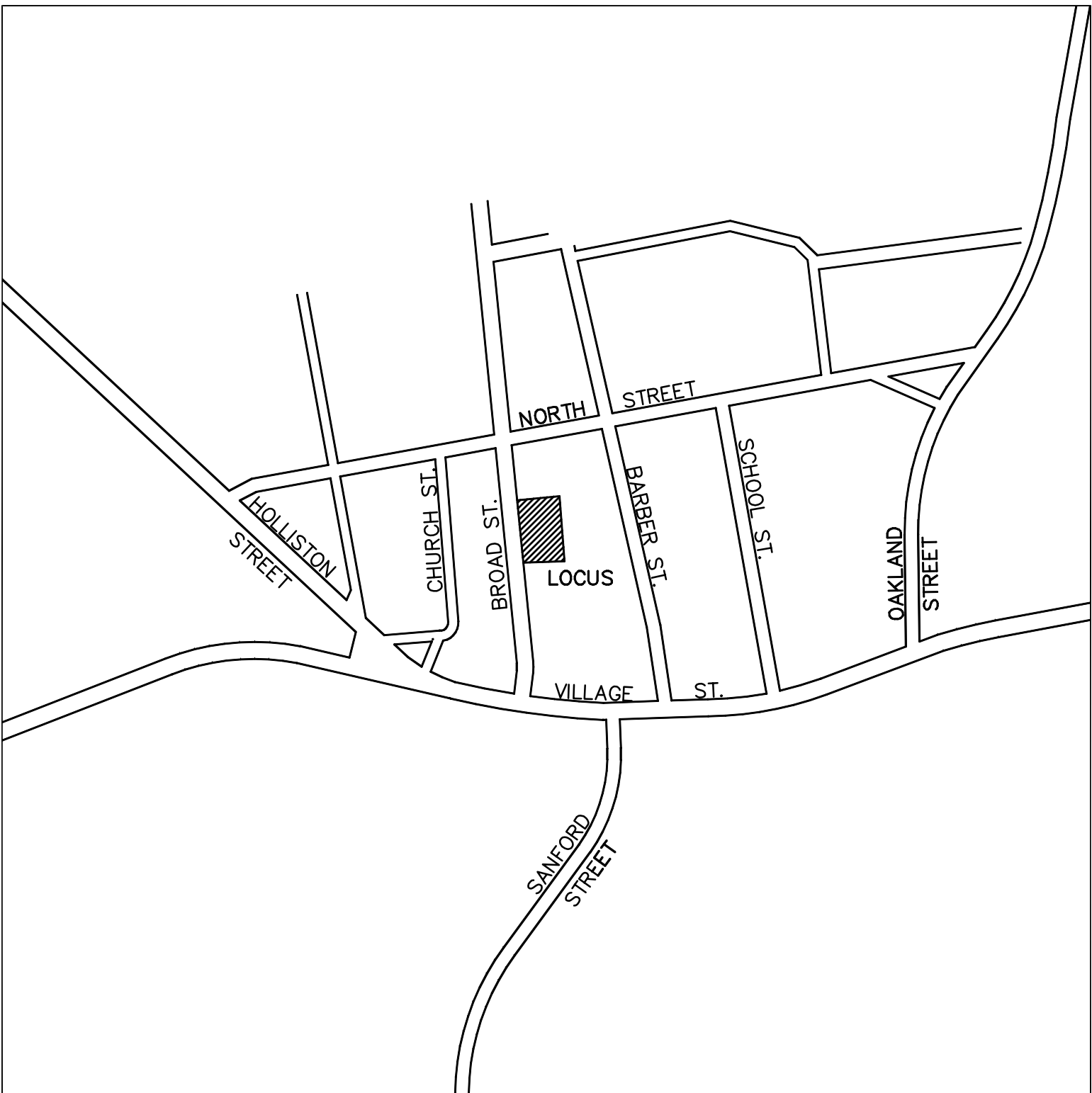
1. Section 204–3.A.7: Site Plans:
We are requesting the board waive the requirement for submission of a Development Impact Statement for the project.

2. Section 204–5.D.7: Site Plan Information Sheets:
We are requesting the board waive the requirement that the Landscape Plan be prepared by a licensed Landscape Architect.

3. Section 205–6. H. Curbing:
Request a waiver to construct the paved parking area with no curbing. The proposed drainage system allows runoff to drain via overland from the parking area to the proposed Bio–Retention/Rain Gardens.

DATE: SEPTEMBER 16, 2019
REVISED: NOVEMBER 22, 2019

- SURVEY NOTES:
1. THE EXISTING CONDITIONS AND PROPERTY LINE SURVEY WAS CONDUCTED BY A.S. ELIOT ASSOCIATES, P.O. BOX 85, HOPEDALE, MASSACHUSETTS.
2. SUBJECT TO ANY STATEMENT OF FACT AN UP–TO–DATE ABSTRACT OF TITLE WOULD DISCLOSE.
3. SUBJECT TO ALL RIGHTS, EASEMENTS, COVENANTS OR RESTRICTIONS OF RECORD.
4. UNDERGROUND UTILITIES, STRUCTURES AND FACILITIES, IF ANY, HAVE BEEN SHOWN FROM SURFACE LOCATIONS AND MEASUREMENTS OBTAINED FROM A FIELD SURVEY AND RECORD LOCATIONS. THEREFORE THEIR LOCATIONS MUST BE ONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHER UTILITIES WHICH THE EXISTENCE OF ARE NOT KNOW. SIZE TYPE AND LOCATION OF ALL UTILITIES MUST BE VERIFIED BY THE PROPER AUTHORITIES PRIOR TO ANY AND ALL CONSTRUCTION. CALL TOLL FREE DIG SAFE AT 1–888–DIG–SAFE, SEVENTY–TWO HOURS PRIOR TO EXCAVATION.
5. ELEVATIONS ON THIS PLAN ARE APPROXIMATE AND REFERENCE THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD 1929)
6. BENCHMARK #1 INFORMATION:
IN THE CENTER OF MEDWAY ON THE SOUTH SIDE OF VILLAGE STREET, 295. FEET SOUTH OF THE CENTERLINE IN FRONT OF A CATHOLIC CHURCH, 51.5 FEET FROM THE NORTHWEST CORNER, A GRANITE POST AT THE EAST SIDE OF WEST WALK TO CHURCH, AT THE STREET LIN (NO MARK) MASS DOT POINT ID: 14258; STATION NAME: CR 34.
7. APPROXIMATE LOCATION OF ZONE/ADAPTIVE USE OVERLAY DISTRICT BOUDARY LINE IS TAKEN FROM THE TOWN OF MEDWAY GIS MAP, AND SHOWN GRAPHICALLY.



LOCUS MAP
1"=400'

ZONING TABLE:		
	REQUIRED	PROPOSED
LOT AREA:	10,000 S.F.	23,109 S.F.
LOT FRONTAGE:		
Multi–Family Overlay	50 FT.	184.29 FT.
YARD SETBACKS:		
FRONT:	20 FT.	21.0 FT.
SIDE:	10 FT.	13.7 FT.
REAR:	10 FT.	25.0 FT.
BUILDING HEIGHT:	40' Max.	34.5 FT.
MAX LOT COVERAGE STRUCTURES:	80%	(4,035 sf) 17.5%
MAX. LOT COVERAGE TOTAL IMPERVIOUS:	N.A.	(9,446 sf) 40.9%

DWELLING UNITS ALLOWED:
Multi–Family Zoning: 12 Dwelling Units per 1 Acre

ALLOWABLE UNITS: 23,109 S.F. = 6 Dwelling Units

PARKING REQUIREMENTS:
Required: 2 Spaces Per Unit
(No handicap spaces required)

Provided: 12 Spaces

Prepared By:
GLM ENGINEERING
CONSULTANTS, INC.
19 EXCHANGE STREET
HOLLISTON, MASSACHUSETTS 01746
(508)429–1100 fax:(508)429–7160

Applicant:
VILLAGE DISTRICT DEVELOPMENT LLC
9A NORTH STREET
MEDWAY, MASSACHUSETTS 02053

ASSESSOR REFERENCE:
MAP 60, LOT 232

DEED REFERENCE:
NORFOLK COUNTY REGISTRY OF DEEDS

PLAN REFERENCE:
RECORDED IN MIDDLESEX SOUTH REGISTRY OF DEEDS
1. PLAN NO. 737 OF 1987, PL. BK. 355
2. PLAN NO. 71 OF 2008, PL. BK. 588
3. PLAN BK. 2272, PAGE 496
4. PLAN BK. D209, PAGE 900

ZONING CLASSIFICATION:
(VC) – VILLAGE COMMERCIAL
(MHOD) – MULTIFAMILY HOUSING OVERLAY DISTRICT
(AUOD) – ADAPTIVE USE OVERLAY DISTRICT
GROUNDWATER PROTECTION DISTRICT

ZONING INTENSITY RULATIONS:	
	REQUIRED
MIN LOT AREA:	10,000 S.F.
LOT FRONTAGE:	NA
MIN. FRONT SETBACK:	20 FT.
SIDE YARD SETBACK:	10 FT.
REAR YARD SETBACK:	10 FT.
MAX. BUILDING HEIGHT:	40 FT.
MAX. LOT COVERAGE:	80%

SHEET INDEX	
1	COVER
2	SITE CONTEXT/EXISTING CONDITIONS
3	LAYOUT PLAN / GRADING & DRAINAGE
4	LANDSCAPE & EROSION
5	DETAILS
6	DETAILS

JOB No.	16,529D
DATE:	SEPT 16, 2019
SCALE:	AS SHOWN
SHEET:	1 of 6
PLAN #:	27,355

SURVEY NOTES:

1. THE EXISTING CONDITIONS AND PROPERTY LINE SURVEY WAS CONDUCTED BY A.S. ELIOT ASSOCIATES, P.O. BOX 85, HOPEDALE, MASSACHUSETTS.
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5. ELEVATIONS ON THIS PLAN ARE APPROXIMATE AND REFERENCE THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD 1929). NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88) ELEVATION DIFFERENCE IS 0.80 FEET.
6. BENCHMARK #1 INFORMATION:
IN THE CENTER OF MEDWAY ON THE SOUTH SIDE OF VILLAGE STREET, 295. FEET SOUTH OF THE CENTERLINE IN FRONT OF A CATHOLIC CHURCH, 51.5 FEET FROM THE NORTHWEST CORNER, A GRANITE POST AT THE EAST SIDE OF WEST WALK TO CHURCH, AT THE STREET LIN (NO MARK) MASS DOT POINT ID: 14258; STATION NAME: CR 34.
7. APPROXIMATE LOCATION OF ZONE/ADAPTIVE USE OVERLAY DISTRICT BOUDARY LINE IS TAKEN FROM THE TOWN OF MEDWAY GIS MAP, AND SHOWN GRAPHICALLY.

ZONING CLASSIFICATION:

(VC) – VILLAGE COMMERCIAL
(MHOD) – MULTIFAMILY HOUSING OVERLAY DISTRICT
(AUOD) – ADAPTIVE USE OVERLAY DISTRICT
GROUNDWATER PROTECTION DISTRICT

ZONING INTENSITY RULATIONS:

MIN LOT AREA: 10,000 S.F.
LOT FRONTAGE: NA
MIN. FRONT SETBACK: 20 FT.
SIDE YARD SETBACK: 10 FT.
REAR YARD SETBACK: 10 FT.
MAX. BUILDING HEIGHT: 40 FT.
MAX. LOT COVERAGE: 80%

ASSESSOR REFERENCE:

MAP 60, LOT 232

DEED REFERENCE:

NORFOLK COUNTY REGISTRY OF DEEDS

PLAN REFERENCE:

RECORDED IN MIDDLESEX SOUTH REGISTRY OF DEEDS
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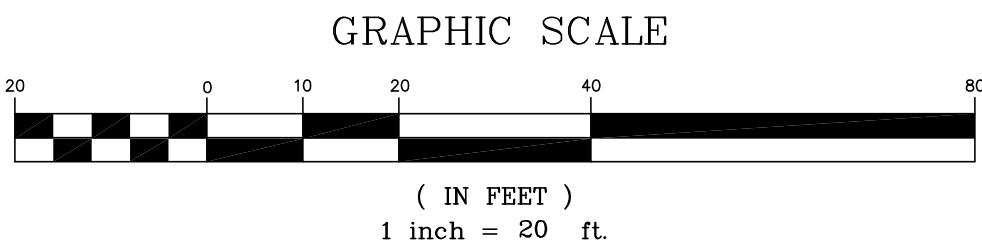
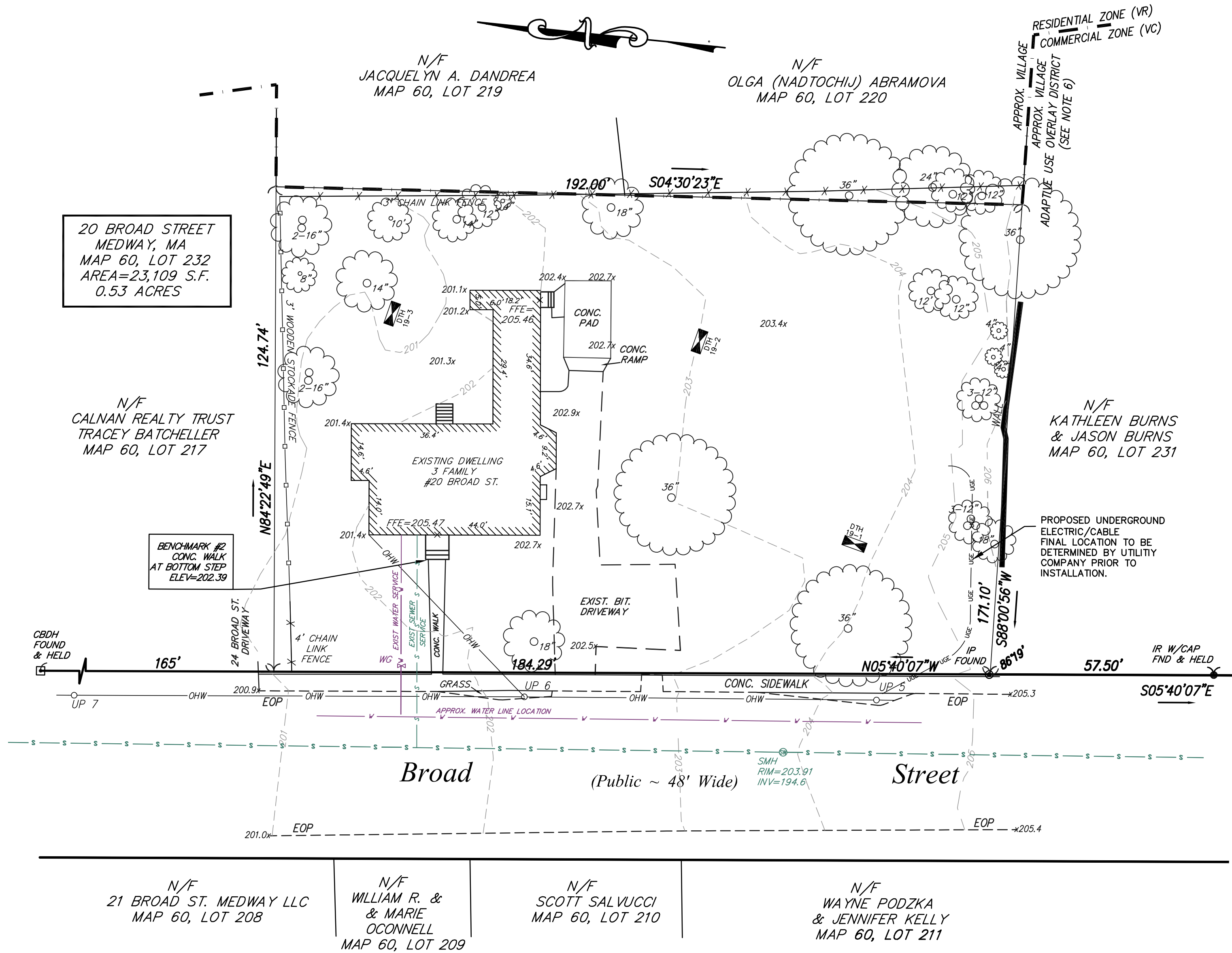
APPROVED BY
MEDWAY PLANNING AND ECONOMIC
DEVELOPMENT BOARD

DATE APPROVED: _____

DATE ENDORSED: _____

EXISTING LANDSCAPE INVENTORY:

Quantity	Size & Type
4	4" Deciduous Trees
1	8" Deciduous Tree
1	10" Deciduous Tree
9	12" Deciduous Trees
2	14" Deciduous Trees
2	16" Deciduous Trees
2	18" Deciduous Trees
1	18" Spruce Evergreen
2	36" Deciduous Trees



SITE DEVELOPMENT PLAN
20 BROAD STREET
MEDWAY, MASSACHUSETTS

PREPARED FOR:
VILLAGE DISTRICT DEVELOPMENT, LLC
9A NORTH STREET
MEDWAY, MASSACHUSETTS 02053

GLM Engineering
Consultants, Inc.
19 EXCHANGE STREET
HOLLISTON, MA 01746
P: 508-429-1100
F: 508-429-7160
www.GLMengineering.com

JOB No. 16,529

DATE: SEPT. 16, 2019

SCALE: 1"=20'

SHEET: 2 of 6

PLAN #: 27,355

SITE CONTEXT/EXISTING CONDITIONS

SOIL TEST DATA RESULTS

DEEP HOLE -- #19-1			DEEP HOLE -- 19-2			DEEP HOLE -- 19-3		
HORIZ DEPTH	DATE: 5/29/19 SOIL DESCRIPTION	ELEV.	HORIZ DEPTH	DATE: 5/29/19 SOIL DESCRIPTION	ELEV.	HORIZ DEPTH	DATE: 5/29/19 SOIL DESCRIPTION	ELEV.
0"	A SANDY LOAM 10YR3/2	203.8	0"	A SANDY LOAM 10YR3/2	203.0	0"	A SANDY LOAM 10YR3/2	200.9
4"	Bw SANDY LOAM 10YR5/6		4"	Bw SANDY LOAM 10YR5/6		4"	Bw SANDY LOAM 10YR5/6	
22"		202.0	22"		201.2	24"		198.9
	C1 SAND Med-Coarse 50% Gravel 2.5Y5/4			C1 SAND Med-Coarse 50% Gravel 2.5Y5/4			C1 SAND Med-Coarse 50% Gravel 2.5Y5/4	
74"		197.6	76"		196.7	72"		194.9
	C2 SAND Fine-Med Firm 10% Gravel 2.5Y5/3			C2 SAND Fine-Med Firm 10% Gravel 2.5Y5/3			C2 SAND Fine-Med Firm 10% Gravel 2.5Y5/3	
144"		191.8	130"		192.2	124"		190.6
128"	GROUNDWATER SEEPAGE OBSERVED	193.2		GROUNDWATER SEEPAGE OBSERVED			GROUNDWATER SEEPAGE OBSERVED	
74"	SOIL MOTTLING	197.6	76"	SOIL MOTTLING	196.7	72"	SOIL MOTTLING	194.9
	GROUNDWATER MONITORED			GROUNDWATER MONITORED			GROUNDWATER MONITORED	
74"	ESTIMATED SEASONAL HIGH GROUNDWATER	197.6	76"	ESTIMATED SEASONAL HIGH GROUNDWATER	196.7	72"	ESTIMATED SEASONAL HIGH GROUNDWATER	194.9

SURVEY NOTES:

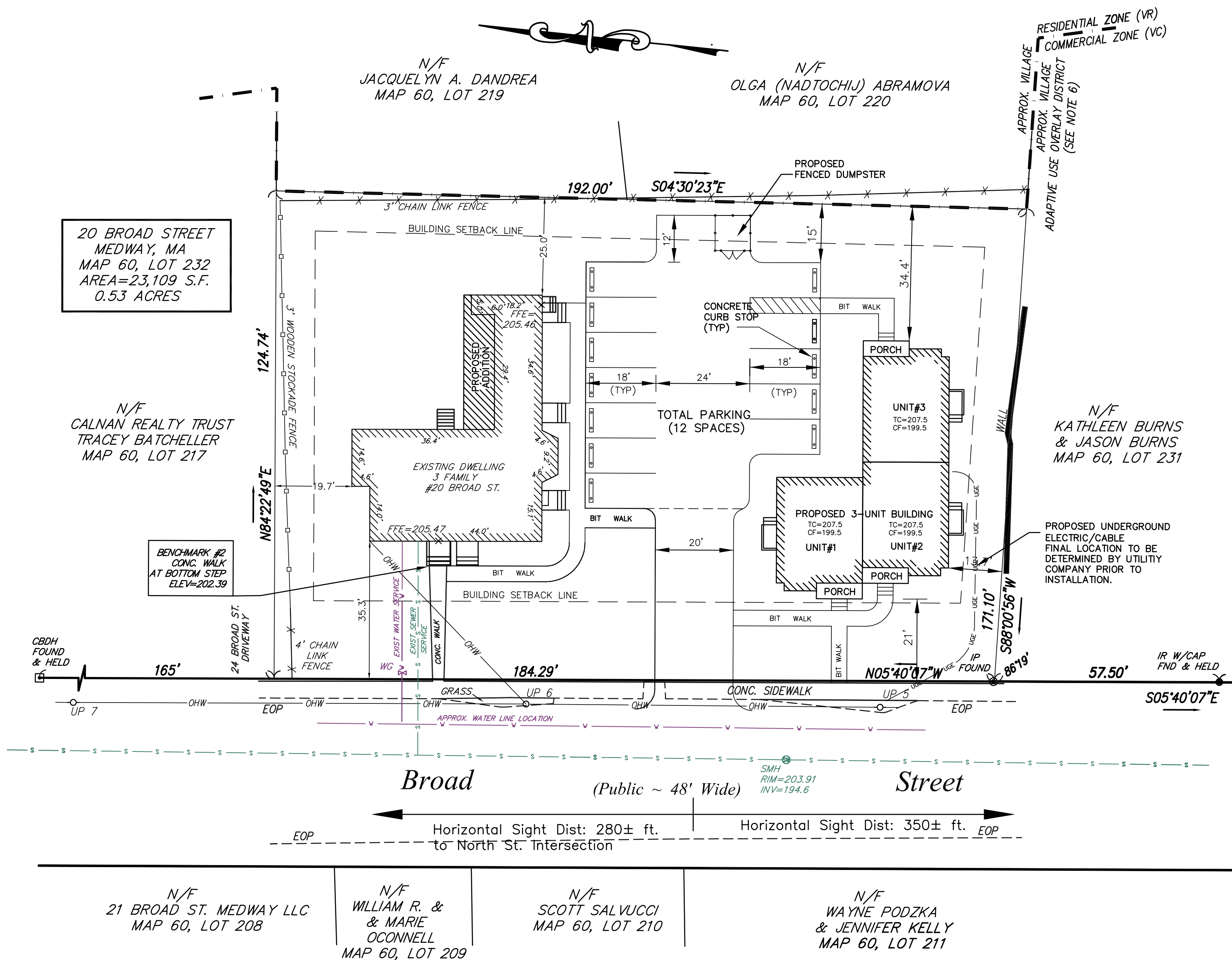
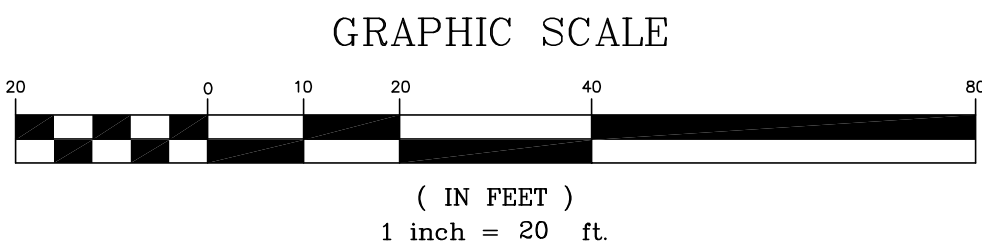
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APPROVED BY
MEDWAY PLANNING AND ECONOMIC
DEVELOPMENT BOARD

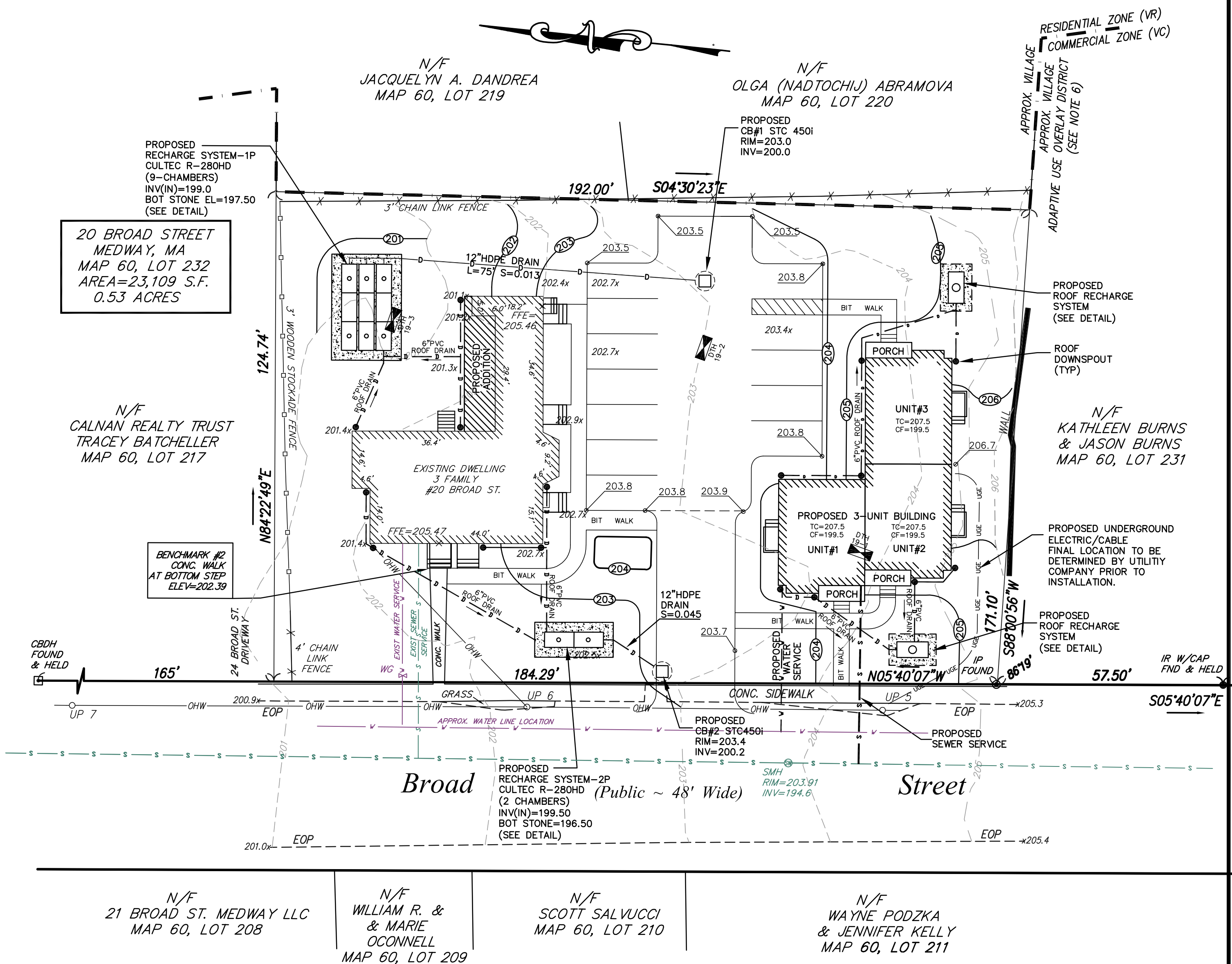
LEGEND

- SBDH [] - STONE BOUND DRILL HOLE
- IP [] - IRON PIN
- UP 6 - UTILITY POLE
- OHW - OVERHEAD WIRES
- 205 - EXISTING CONTOUR
- 202.9x - EXISTING SPOT ELEVATION
- EOP - EDGE OF PAVEMENT
- FFE=205.47 - FIRST FLOOR ELEVATION
- WG b= - EXISTING WATER GATE
- SMH [] - SEWER MANHOLE
- 203 - PROPOSED CONTOUR
- 203.6 - PROPOSED SPOT ELEVATION
- - - - - DRAIN LINE

DATE APPROVED: _____
DATE ENDORSED: _____

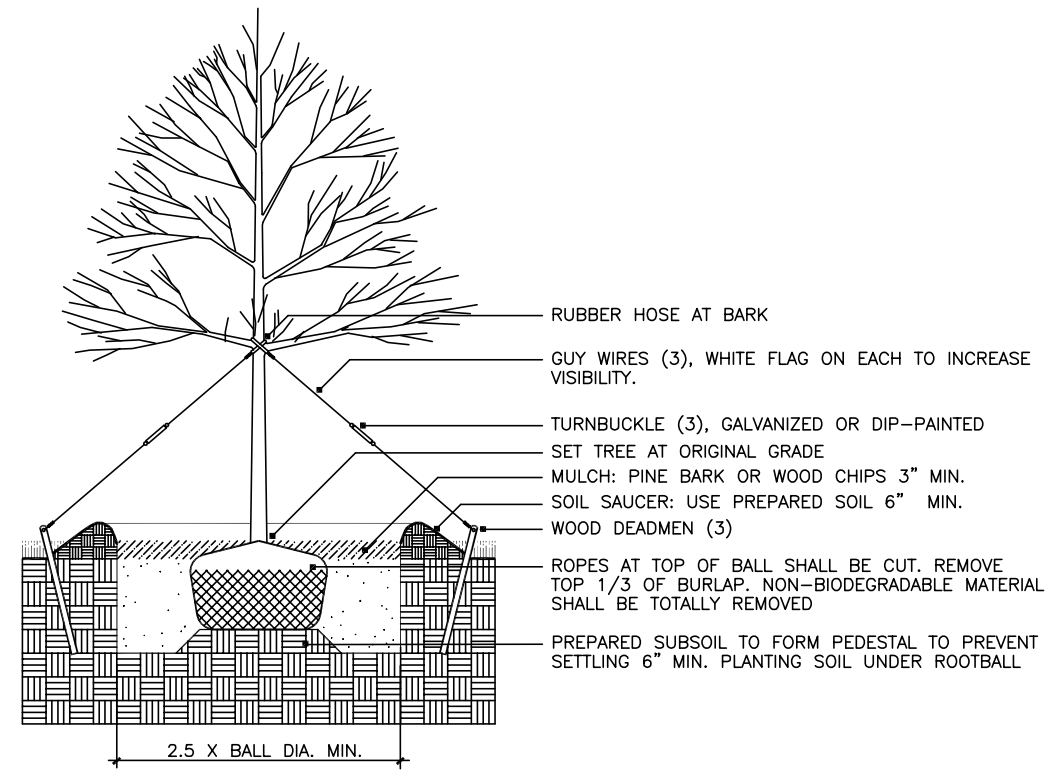


LOCATION & LAYOUT



GRADING & DRAINAGE

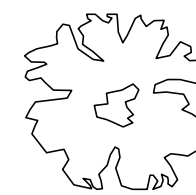
REVISIONS		DESCRIPTION					
No.	DATE	PLANNING BOARD REVIEW					
1	11/22/19						
JOYCE E. HASTINGS P.L.S.							
PAUL E. TRUAX, P.E.							
SITE DEVELOPMENT PLAN 20 BROAD STREET MEDWAY, MASSACHUSETTS							
PREPARED FOR: VILLAGE DISTRICT DEVELOPMENT, LLC 9A NORTH STREET MEDWAY, MASSACHUSETTS 02053							
GLM Engineering Consultants, Inc. 19 EXCHANGE STREET HOLLISTON, MA 01746 P: 508-429-1100 F: 508-429-7160 www.GLMengineering.com							
JOB No.		16,529					
DATE:		SEPT. 16, 2019					
SCALE:		1"=20'					
SHEET:		3 of 6					
PLAN #:		27,355					



TREE PLANTING DETAIL

NOT TO SCALE

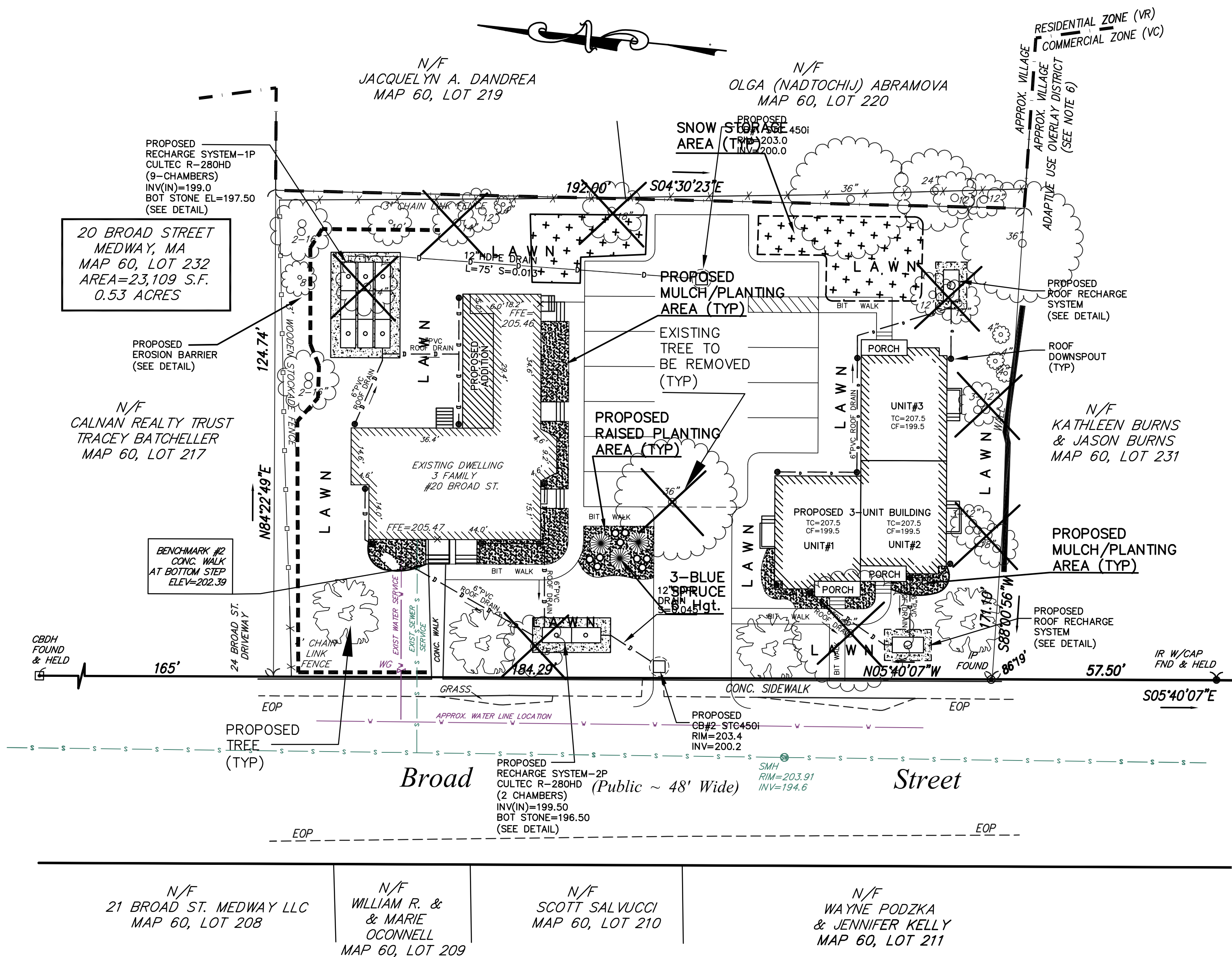
PLANTING LEGEND



Acer Saccharum - Sugar Maple
(12' Hght) (2 1/2" Cal)



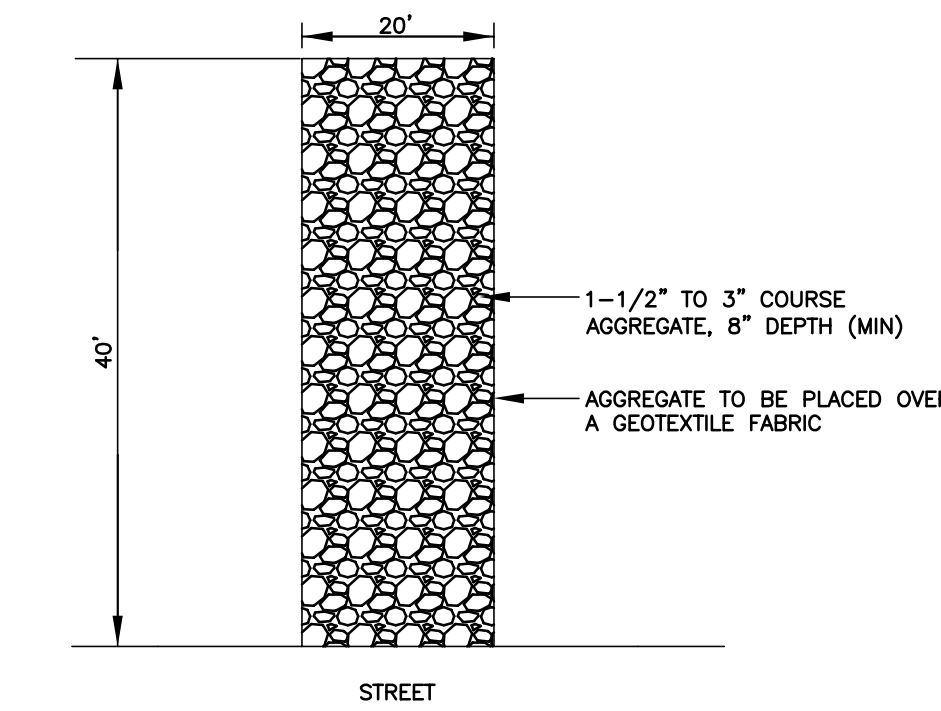
Picea Pungens - Blue Spruce
(6' Hght)



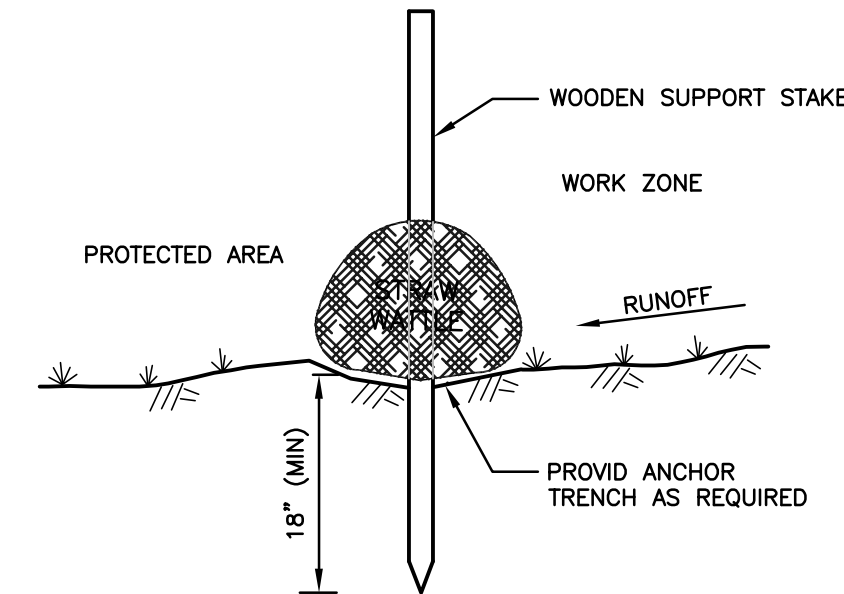
LANDSCAPE

APPROVED BY
MEDWAY PLANNING AND ECONOMIC
DEVELOPMENT BOARD

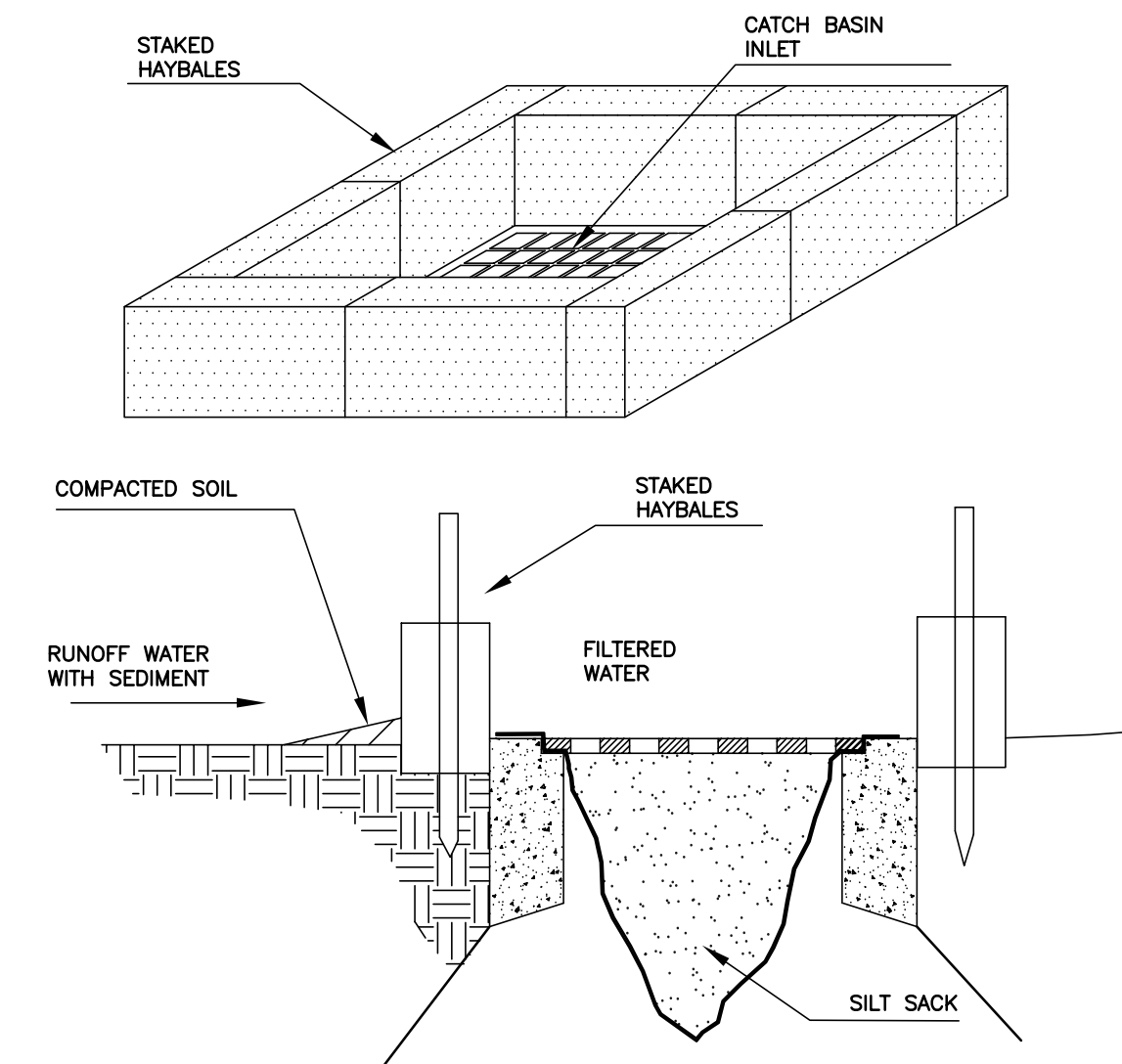
DATE APPROVED: _____
DATE ENDORSED: _____



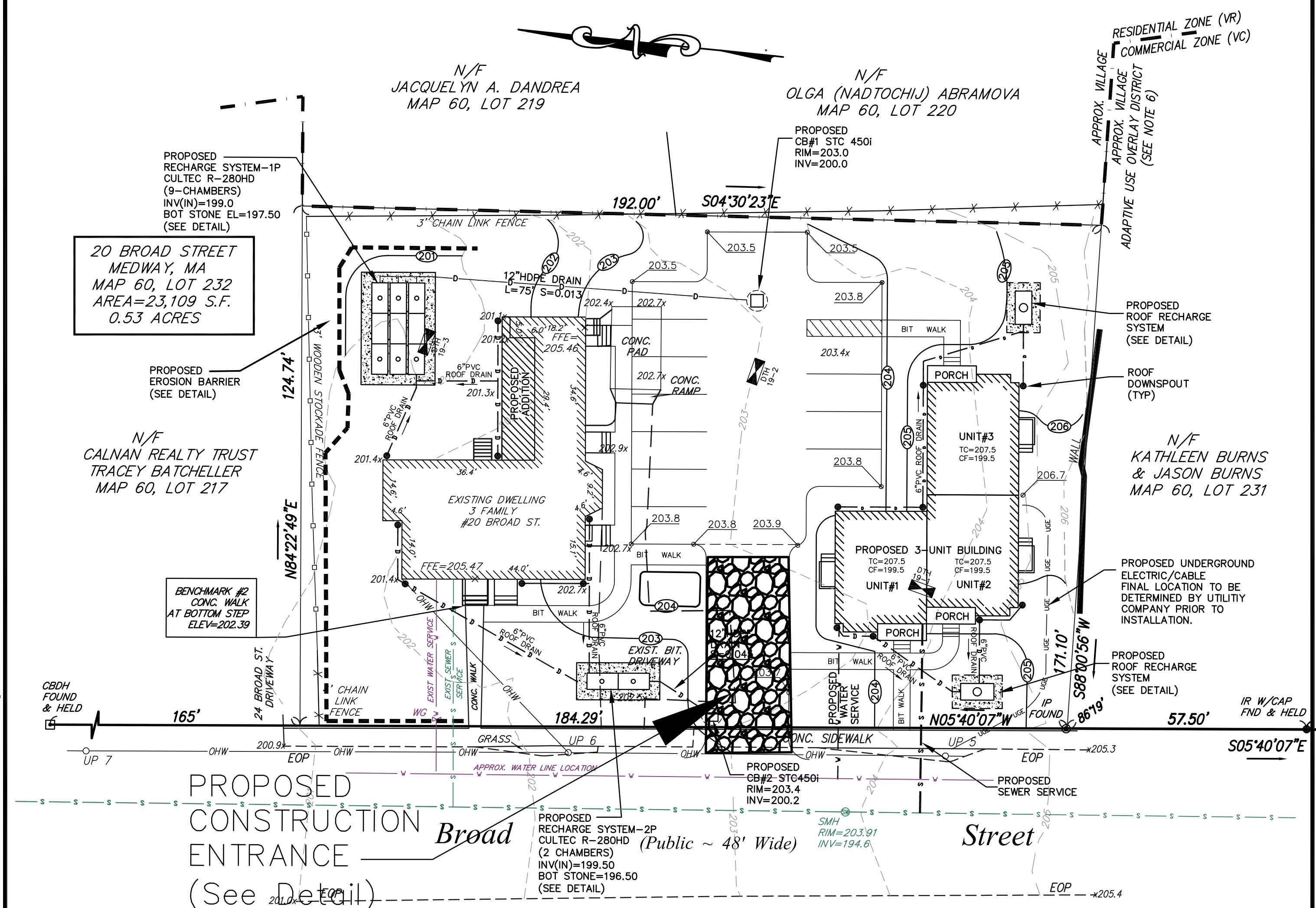
TRAP ROCK APRON
CONSTRUCTION ENTRANCE
NOT TO SCALE



STRAW WATTLE DETAIL
NOT TO SCALE



HAYBALE & SILT SACK CATCH BASIN INLET
NOT TO SCALE



PROPOSED
CONSTRUCTION
ENTRANCE
(See Detail)

EROSION CONTROL

REVISONS	DATE	DESCRIPTION
1	11/22/19	PLANNING BOARD REVIEW

JOYCE E. HASTINGS P.L.S.

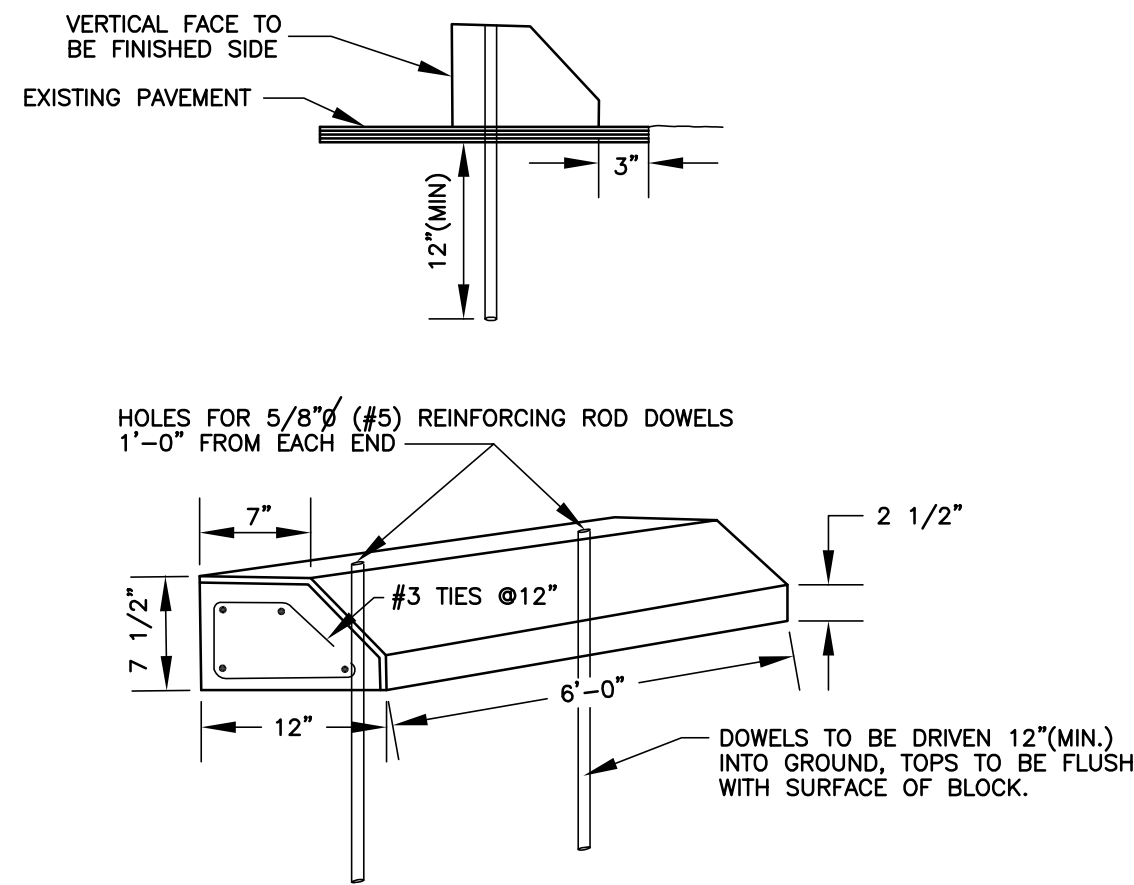
PAUL E. TRUAX, P.E.

SITE DEVELOPMENT PLAN 20 BROAD STREET MEDWAY, MASSACHUSETTS

PREPARED FOR:
VILLAGE DISTRICT DEVELOPMENT, LLC
9A NORTH STREET
MEDWAY, MASSACHUSETTS 02053

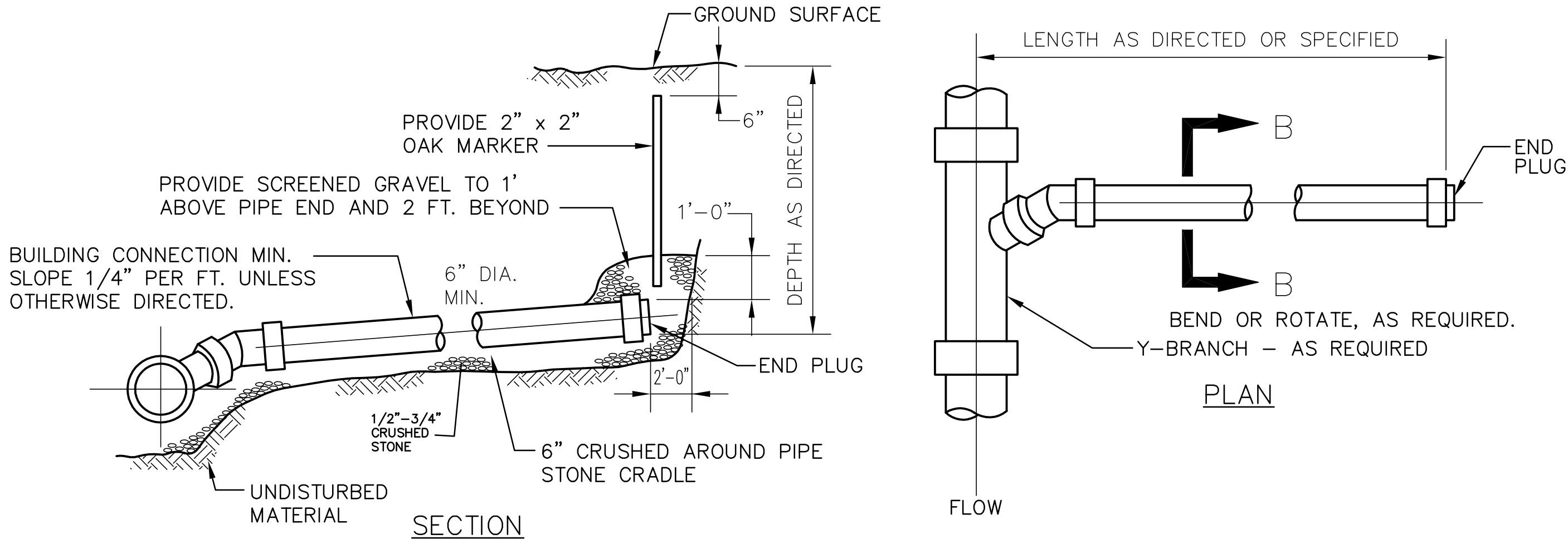
GLM Engineering
Consultants, Inc.
19 EXCHANGE STREET
HOLLISTON, MA 01746
P: 508-429-1100
F: 508-429-7160
www.GLMengineering.com

JOB No.	16,529
DATE:	SEPT. 16, 2019
SCALE:	1"=20'
SHEET:	4 of 6
PLAN #:	27,355



CONCRETE CURB STOP

NOT TO SCALE



TYPICAL BUILDING SEWER CONNECTION

NOT TO SCALE

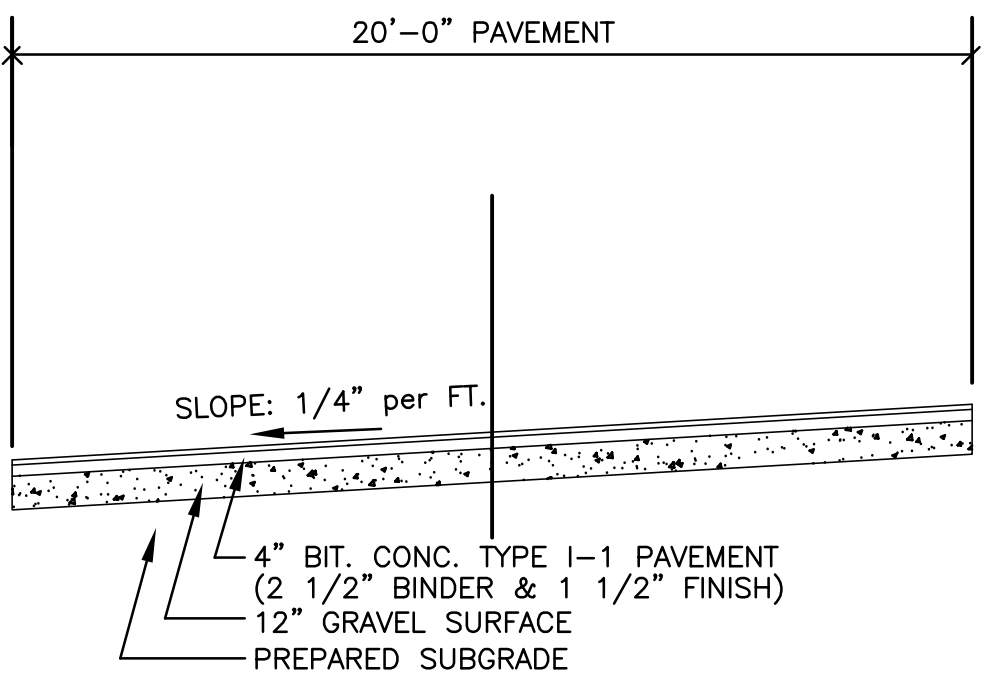
APPROVED BY
MEDWAY PLANNING AND ECONOMIC
DEVELOPMENT BOARD

DATE APPROVED: _____

DATE ENDORSED: _____

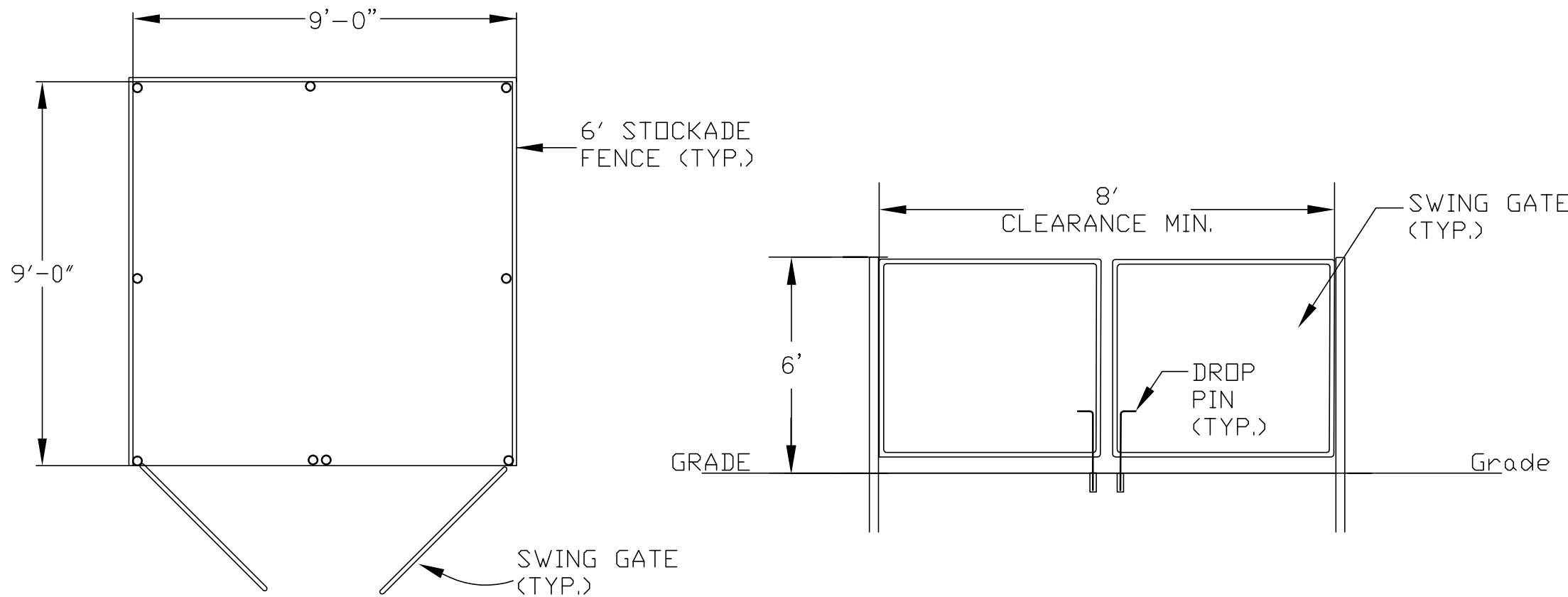
REVISIONS		DESCRIPTION
No.	DATE	PLANNING BOARD REVIEW
1	11/22/19	

PAUL E. TRUAX, P.E.



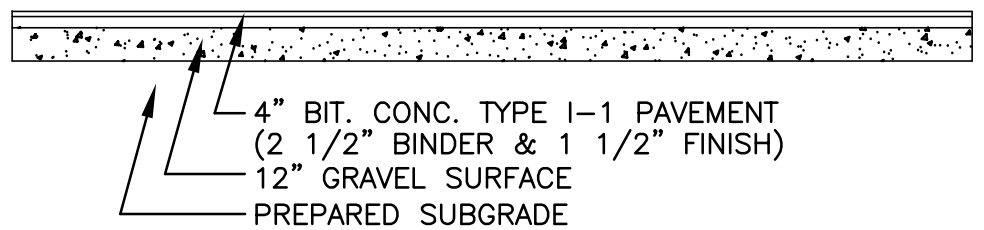
ENTRANCE DRIVE CROSS SECTION

NOT TO SCALE



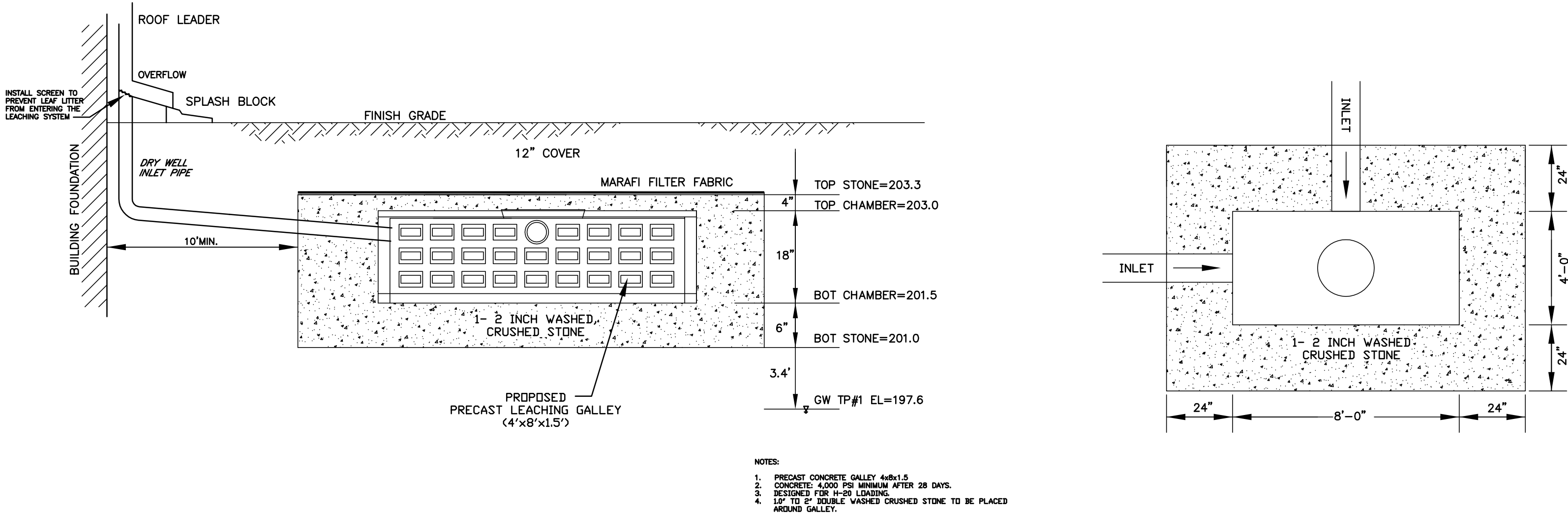
DUMPSTER SCREENING DETAIL

NOT TO SCALE



PAVEMENT CROSS SECTION

NOT TO SCALE



- NOTES:
1. PRECAST CONCRETE GALLEY 48x1.5
 2. CONCRETE 4,000 PSI MINIMUM AFTER 28 DAYS
 3. DESIGNED FOR H-20 LOADING
 4. 15" TO 6" DOUBLE WASHED CRUSHED STONE TO BE PLACED AROUND GALLEY

ROOF RECHARGE LEACHING SYSTEM DETAIL

NOT TO SCALE:

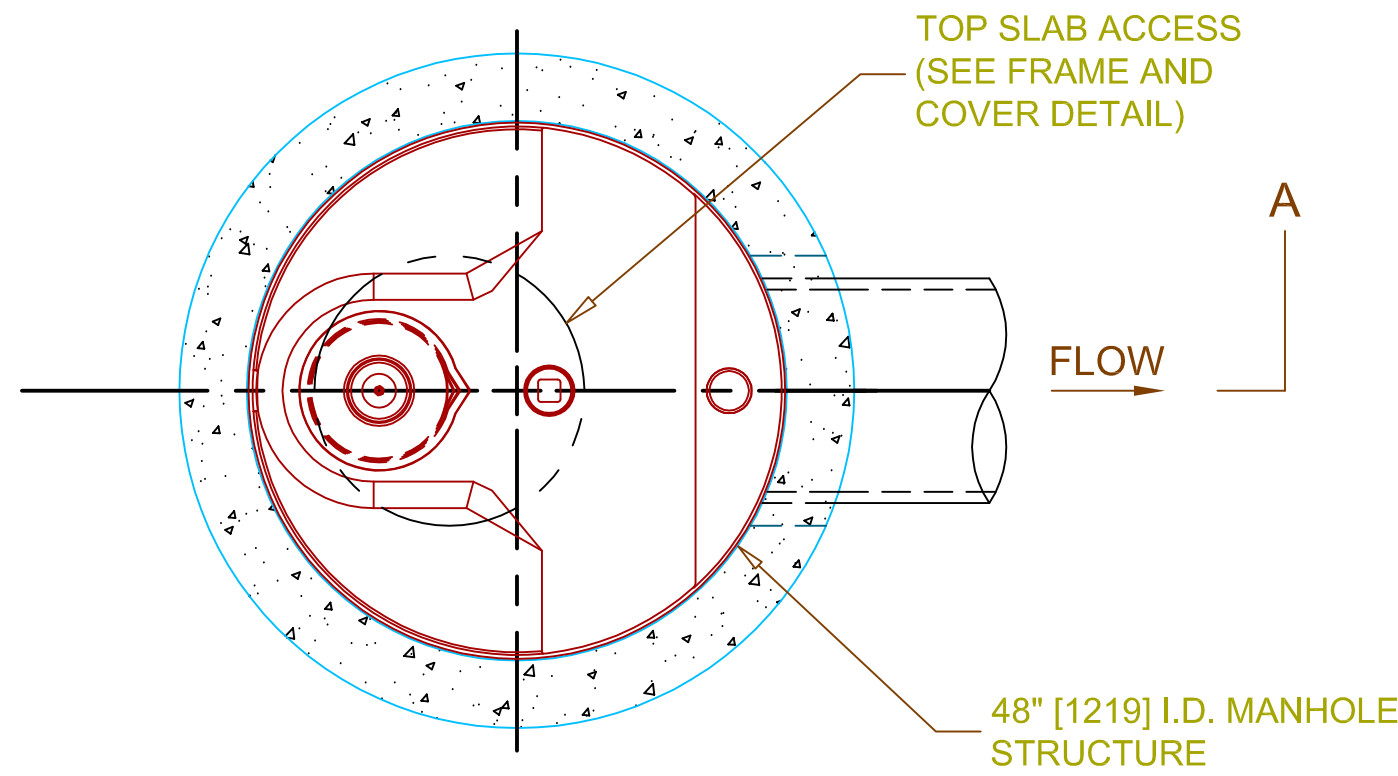
CONSTRUCTION DETAILS

SITE DEVELOPMENT PLAN
20 BROAD STREET
MEDWAY, MASSACHUSETTS

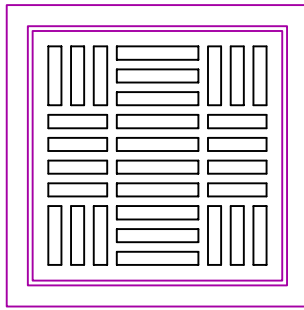
PREPARED FOR:
VILLAGE DISTRICT DEVELOPMENT, LLC
9A NORTH STREET
MEDWAY, MASSACHUSETTS 02053

GLM Engineering Consultants, Inc.
19 EXCHANGE STREET
HOLLISTON, MA 01746
P: 508-429-1100
F: 508-429-7160
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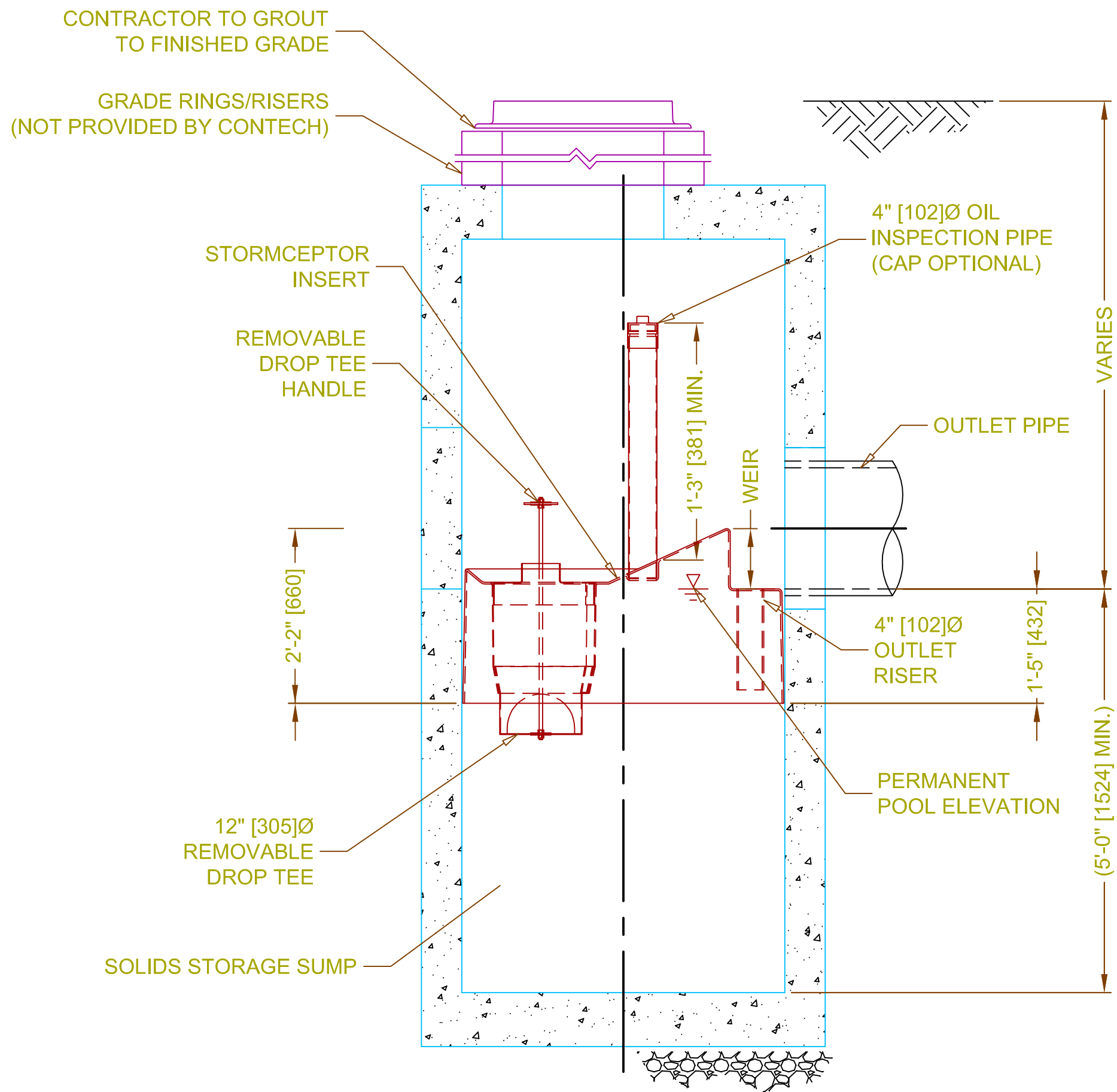
JOB No.	16,529
DATE:	SEPT. 16, 2019
SCALE:	AS SHOWN
SHEET:	5 of 6
PLAN #:	27,355



PLAN VIEW
TOP SLAB NOT SHOWN



FRAME AND GRATE
(MAY VARY)
NOT TO SCALE



SECTION A-A

Stormceptor®

STC450i
STORMCEPTOR
STANDARD DETAIL

CONTECH
ENGINEERED SOLUTIONS LLC

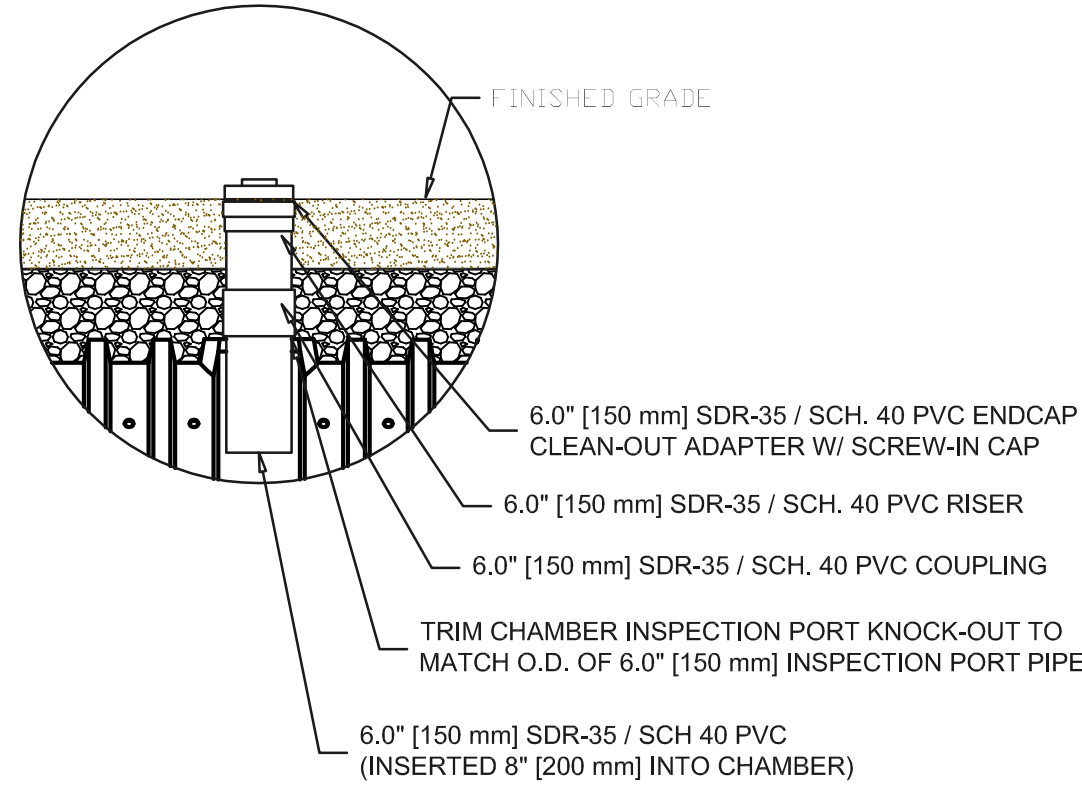
9025 Centre Pointe Dr., Suite 400, West Chester, OH 45399
800-338-1122 513-645-7000 513-645-7993 FAX

STORMCEPTOR DESIGN NOTES
THE STANDARD STC450i CONFIGURATION WITH ROUND, SOLID FRAME AND COVER, AND INLET PIPE IS SHOWN. ALTERNATE CONFIGURATIONS ARE AVAILABLE AND ARE LISTED BELOW. SOME CONFIGURATIONS MAY BE COMBINED TO SUIT SITE REQUIREMENTS.
CONFIGURATION DESCRIPTION
GRATED INLET ONLY (NO INLET PIPE)

- GENERAL NOTES:
- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
 - FOR SITE SPECIFIC DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. www.contechES.com
 - STORMCEPTOR WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
 - STORMCEPTOR STRUCTURE SHALL MEET AASHTO H20 LOAD RATING, ASSUMING EARTH COVER OF 0'-2' (010), AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M300 AND BE CAST WITH THE CONTECH LOGO.
 - STORMCEPTOR STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C478 AND AASHTO LOAD FACTOR DESIGN METHOD.
 - ALTERNATE UNITS ARE SHOWN IN MILLIMETERS (mm).
- INSTALLATION NOTES:
- ANY SUB-BASE, BACKFILL, DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
 - CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE STORMCEPTOR MANHOLE STRUCTURE.
 - CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLE STRUCTURE.
 - CONTRACTOR TO PROVIDE, INSTALL, AND GROUT INLET AND OUTLET PIPE(S). MATCH PIPE INVERTS WITH ELEVATIONS SHOWN. ALL PIPE CENTERLINES TO MATCH PIPE OPENING CENTERLINES.
 - CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

CATCH BASIN - STC450i STORMCEPTOR STANDARD DETAIL

NOT TO SCALE:

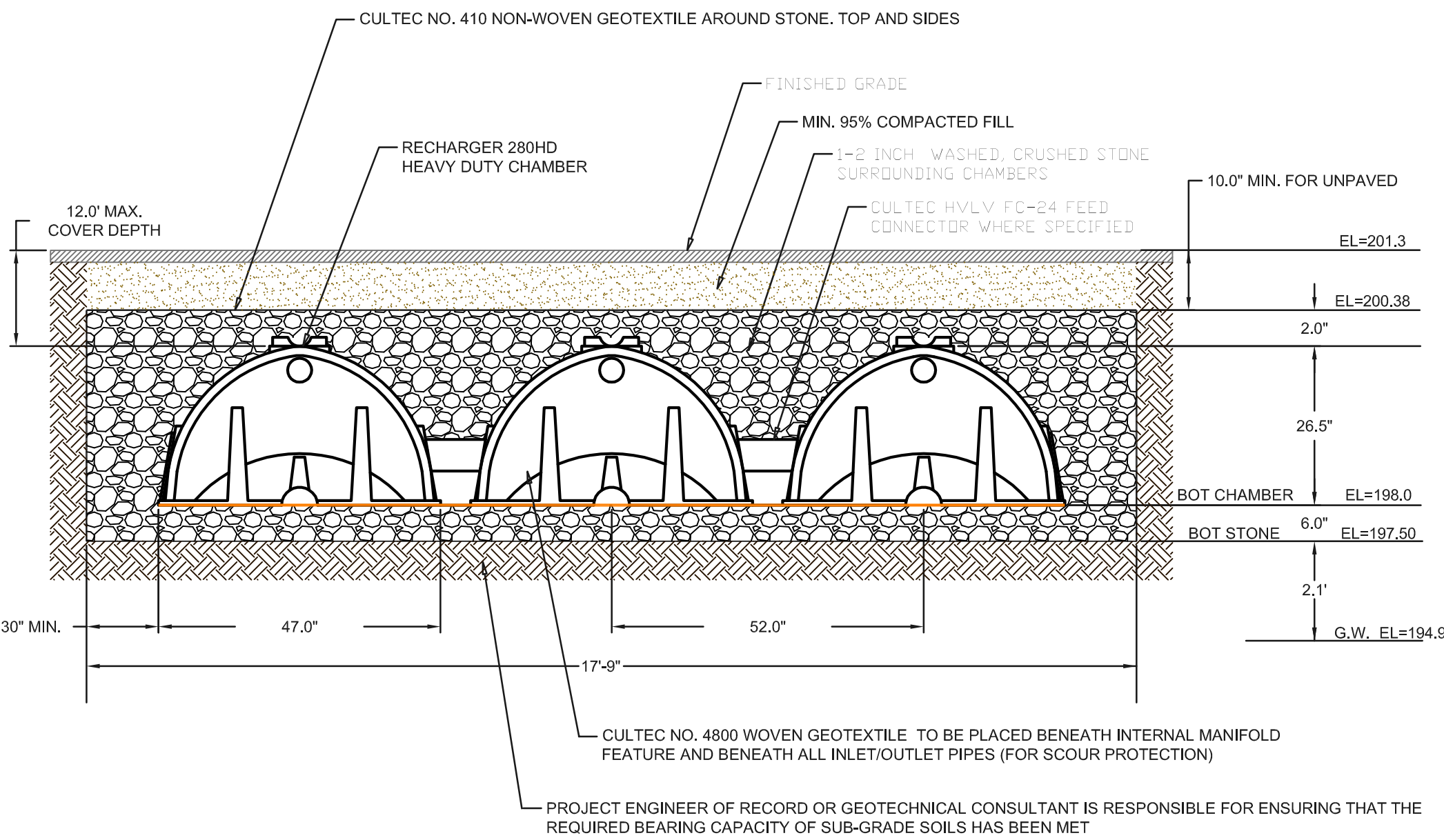


RECHARGE SYSTEM CLEANOUT DETAIL

NOT TO SCALE:

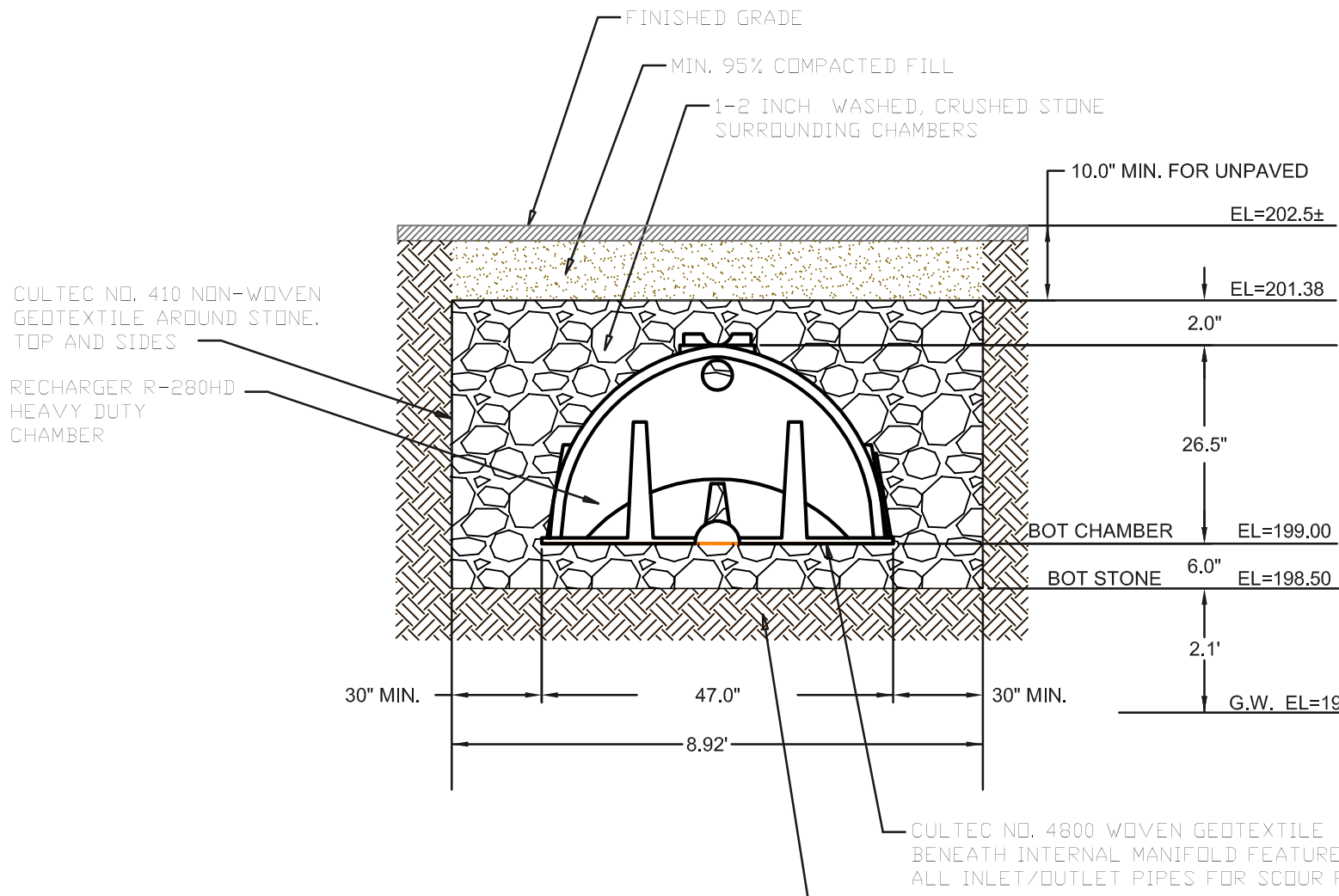
APPROVED BY
MEDWAY PLANNING AND ECONOMIC
DEVELOPMENT BOARD

DATE APPROVED: _____
DATE ENDORSED: _____



RECHARGE SYSTEM-1P STANDARD DETAIL

NOT TO SCALE:



RECHARGE SYSTEM-2P STANDARD DETAIL

NOT TO SCALE:

No.	DATE	REVISIONS	
		DESCRIPTION	PLANNING BOARD REVIEW
1	11/22/19		

PAUL E. TRUJAX, P.E.

SITE DEVELOPMENT PLAN
20 BROAD STREET
MEDWAY, MASSACHUSETTS

PREPARED FOR:
VILLAGE DISTRICT DEVELOPMENT, LLC
9A NORTH STREET
MEDWAY, MASSACHUSETTS 02053

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F: 508-429-7160
www.GLMengineering.com

JOB No.	16,529
DATE:	SEPT. 16, 2019
SCALE:	AS SHOWN
SHEET:	6 of 6
PLAN #:	27,355

DETAILS

Susan Affleck-Childs

From: Lisa Mitchell <LMitchell@radiofrequency.com>
Sent: Sunday, November 24, 2019 10:08 PM
To: Planning Board
Subject: Variance for 20 Broad St.

11/24

I live at 25 Broad St and I have strong objections to allowing a variance to allow an additional structure to be built on the lot at 20 Broad. The neighborhood is already rental property heavy, with some properties basically a disgrace. I've owned my home 27 years and spent considerable money trying to maintain, and improve, my investment. It's been a disappointment not seeing my neighborhood improve at the same pace as the rest of the town.

Allowing a variance for a second structure, to maximize the new owners rental income, will not maximize the value of the property of the remaining homeowners. He stated at the original planning meeting he owned 2 other properties in the neighborhood. 9 North and 6 Pine do not speak well for how he maintains his other rental property - or what he thinks of our neighborhood. Both properties are in poor condition.

I have had trouble with flooding in my basement, as has both my neighbors on either side. Opposite 20 and 22 Broad (owner-occupied rental property) actually have the only real yards on this section of street. These drainage ditches on the plans will neither be attractive or desirable. It would only take a 1/4" of still water and it will be nothing more than a mosquito incubator. With the water problem the street has - today both Broad and Peach were rivers - this will not be a solution to the drainage and will be a health risk as well.

I hope the other neighbors I've Spoken to will also voice their concerns/objections. I don't actually grasp how this plan could be given consideration. I'm hoping this plan to build a second 3-bedroom/3-family structure on this 1/2 lot will be denied.



Town of Medway
DESIGN REVIEW COMMITTEE
155 Village Street
Medway MA 02053
508-533-3291
drc@townofmedway.org

October 24, 2019

TO: Medway Planning and Economic Development Board
FROM: Matthew Buckley, Chairman
RE: DRC Comments – Village District Development LLC - Site plan review
20 Broad Street

Dear Members of the Medway Planning and Economic Development Board,

The Medway Design Review Committee [DRC] is pleased to provide a status letter for the proposed multi-family residential development at 20 Broad Street. The DRC met with property owner Steve Brody and project architect Brett Thibault on October 7th, 2019. During this meeting the DRC reviewed a presentation of building elevations and site plan. The DRC provided feedback and recommendations to the applicant during the meeting. These were received as positive changes that the applicant will consider including in the next iteration of plans. The DRC provides these recommendations as follows:

- Incorporate similar architectural features on the new building to create a more cohesive appearance with the existing building. These include windows with 2 over 2 mullions, angled sides on the bump outs similar to the original building, and more developed entryways at each side. That is, each side of the new building has a sliding glass exterior door that should incorporate a covered porch or awning. These will break-up the long sides of the building and allow for greater functionality.
- Consider a different color for the new building. Dark gray was discussed as a good alternative.
- Each apartment unit should include an outside storage area that is screened for the storage of items like bicycles or children's toys.
- Sidewalks should be included around both sides of the parking area to allow access to each unit from a paved surface.
- Dumpster enclosure should be tall enough to screen the full height of dumpster.
- Explore boundary of property line with the abutter to the north and install a privacy fence to screen yard space at 20 Broad from adjacent parking area.
- The DRC suggested that additional three dimensional renderings be prepared for the further revised site plan.

The DRC is pleased with the overall design of the proposed buildings and site. The DRC remains available to review any of these changes and will gladly provide feedback in the most effective manner that will assist these proceedings.

Sincerely,

Matthew Buckley
Chairman

Susan Affleck-Childs

From: David Damico
Sent: Tuesday, November 05, 2019 8:04 AM
To: Susan Affleck-Childs
Subject: RE: Sidewalk in front of 20 Broad Street

Susy,

There are no immediate plans to redo the sidewalk and doing one section only probably isn't a great solution. When we redo, it would be cape cod berm and asphalt deck. My last job was running at about \$110 per foot for labor, materials, equipment and police details.

My standard ask is also for easements at the street to allow for construction of an infiltration unit by the Town for future use.

I'm also going to send you a response on the sewer capacity you requested a while ago. It's been bounced around some, but I think we have a response now for the Boards consideration to be generally applied to these projects.

Thanks,

Dave
Medway DPW Director
508-533-3275
Check us out on-line at www.townofmedway.org

Please remember when writing or responding, the Massachusetts Secretary of State has determined that e-mail is a public record.

The information in this e-mail, including attachments, may contain privileged and confidential information intended only for the person(s) identified above. If you are not the intended recipient, you are hereby notified that any dissemination, copying or disclosure of this communication is strictly prohibited. Please discard this e-mail and any attachments and notify the sender immediately.

From: Susan Affleck-Childs
Sent: Monday, November 04, 2019 5:04 PM
To: David Damico
Subject: Sidewalk in front of 20 Broad Street

Hi,

We are reviewing Steve Brody's proposal for 20 Broad Street to renovate the existing 3 family and add a new structure with +3 units to the south in what looks like an empty lot.

The sidewalk in front is in pretty rough shape. It runs about 185'.

The PEDB has the authority to have them replace the sidewalk as part of this project. The question is what would you want him to do. Are there any plans to redo Broad Street sidewalks anytime soon? Would it be better to have him do a "payment in lieu of construction"? If so, I would like to know what type of curb, sidewalk, etc. so I can have TT price it.

Thanks.

Susan E. Affleck-Childs
Planning and Economic Development Coordinator

**Town of Medway
155 Village Street
Medway, MA 02053
508-533-3291**

PGC ASSOCIATES, INC.

1 Toni Lane
Franklin, MA 02038-2648
508.533.8106
gino@pgcassociates.com

December 4, 2019

Mr. Andy Rodenhiser, Chairman
Medway Planning Board
155 Village Street
Medway, MA 02053

RE: 20 BROAD STREET REVISED MULTIFAMILY SPECIAL PERMIT/SITE PLAN

Dear Mr. Rodenhiser:

I have reviewed the revised proposed multifamily housing special permit and site plan, for two three-unit buildings at 20 Broad Street. The owner/applicant is Village District Development, LLC of Medway.

The proposal is to renovate an existing 3-unit building and add a second 3-unit along with associated parking, drainage, lighting, and landscaping. The plan was prepared by GLM Engineering Consultants, Inc. of Holliston. The plan is dated September 16, 2019, with a revision date of November 22, 2019.

I have comments as follows:

ZONING

Multifamily Housing (Section 5.6.4)

1. The site is within the Multifamily Housing Overlay District (Section 5.6.4) and thus eligible for a project. **OK**.
2. The site has more than 50 feet of frontage on Broad Street, which has sufficient capacity to handle the additional traffic flow from 6 units. At 23,109 square feet, it also meets the minimum area requirement of 10,000 square feet. **OK**
3. The plans show setbacks of 21 from Broad Street, 13.7 from the side and 25 feet from the rear lot lines. The setbacks for the VC district are 20 feet from the front and 10 feet from the side and rear. **OK**
4. The building heights shown on the plans are now 34.5' (previously 30.8') which is still under the maximum height limit of 40 feet. **OK**
5. The maximum density (before any density bonuses) for multifamily projects is 12 units per acre. With .53 acres, the site is eligible for 6 units (rounded down from 6.3). **OK**
6. The plans indicate that the plans comply with building coverage (17.5% vs. 80% allowed), and parking (12 spaces vs 12 required).

Other

7. The photometric plan for lighting has been provided to document that the project complies with the Section 7.1.2 (Outdoor Lighting) of the Bylaw. However, the labeling is a bit unclear but it appears that there is light spillage onto the portion of the entrance driveway that is within the street right-of-way. **No new photometric plan has been provided.**
8. No signage is shown on the plans.

SITE PLAN REGULATIONS

(Note: Site plan issues that have been addressed above are not repeated in this section).

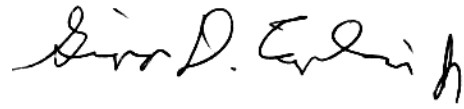
9. Section 204-5 B.1 requires a Site Context sheet indicating features within 2000 feet of the perimeter of the site. This was not provided and no waiver was requested. **This has still not been provided.**
10. Section 204-5 C (3) requires an Existing Landscape Inventory. This was not provided and a waiver was requested. **An Existing Landscape Inventory has now been provided.**
11. Section 204-5 D (14) requires horizontal sight distances at entrances to be shown. This was not done, and no waiver was requested. **Sight distances are now shown on the plans.**
12. Section 205-6 H requires vertical granite curbing “or similar type of edge treatment to delineate the parking lot.” The plan indicates no berm and a waiver is requested.
13. Section 205-9 provides standards for trees and landscaping. Parking lots are required to have 1 tree per 6 spaces, and only trees that shade parking spaces are counted for this requirement. In this instance, 2 trees are required. It appears that this requirement is met with an existing tree to the rear of the parking lot and a new tree to be planted in front of it. **The new tree on the west side of the parking lot has been replaced with a raised planting bed on the edge of the parking lot. The planting bed will provide better screening of the parking lot. The tree requirement may be met by a tree on the northeast side of the parking lot**

GENERAL COMMENTS

14. The project meets the requirement for 2 parking spaces per unit, or 12 spaces.
15. There is now a sidewalk extending from the building on the southern end of the lot connecting to the sidewalk on Broad Street.

If there are any questions about these comments, please call or email me.

Sincerely,

A handwritten signature in black ink, appearing to read "Gino D. Carlucci, Jr.", with a stylized flourish at the end.

Gino D. Carlucci, Jr.



October 18, 2019
(revised December 4, 2019)

Ms. Susan E. Affleck-Childs
Medway Planning and Economic Development Coordinator
Medway Town Hall
155 Village Street
Medway, MA 02053

**Re: 20 Broad Street
Multi-Family Special Permit Site Plan Review
20 Broad Street
Medway, Massachusetts**

Dear Ms. Affleck-Childs:

Tetra Tech (TT) has performed a review of the proposed Site Plan for the above-mentioned Project at the request of the Town of Medway Planning and Economic Development Board (PEDB). The proposed Project is located at 20 Broad Street in Medway, MA. Proposed Project includes renovation of existing three family dwelling, and construction of a new three family building with associated driveways, parking, utilities and drain infrastructure.

TT is in receipt of the following materials:

- A plan (Plans) set titled "Site Development Plan, 20 Broad Street, Medway, Massachusetts", dated September 16, 2019, prepared by GLM Engineering Consultants, Inc. (GLM).
- A stormwater report (Stormwater Report) titled "Stormwater Management Report, Site Plan of Land, 20 Broad Street, Medway, Massachusetts", dated September 16, 2019, prepared by GLM.
- A set of architectural plans, dated August 15, 2018, prepared by Brett Thibault Architect (BTA).
- A photometric plan, dated September 19, 2019, prepared by BTA.
- A Multifamily Housing Special Permit Application, dated September 19, 2019, prepared by GLM.
- An Application for Major Site Plan Approval, dated September 19, 2019, prepared by GLM.
- A Land Disturbance Permit Application, dated September 16, 2019, prepared by GLM.
- A waiver request letter, dated September 16, 2019, prepared by GLM.
- A project description, dated September 16, 2019, prepared by GLM.
- A Public Hearing Notice (DRAFT), dated September 24, 2019, prepared by GLM.

The Plans and accompanying materials were reviewed for conformance with Chapter 200 of the Town of Medway PEDB Rules and Regulations (Regulations) MA DEP Stormwater Management Standards (Standards), Town of Medway Stormwater Standards and good engineering practice. Review of the project for zoning and wetland related issues was not completed as these reviews are conducted by separate consultants/town agencies.

TT 12/4/19 Update

The Applicant has supplied TT with a revised submission addressing comments provided in our previous letter including the following documents:

- A plan (Plans) set titled "Site Development Plan, 20 Broad Street, Medway, Massachusetts", dated September 16, 2019, revised November 22, 2019, prepared by GLM.
- A stormwater report (Stormwater Report) titled "Stormwater Management Report, Site Plan of Land, 20 Broad Street, Medway, Massachusetts" and Stormwater Operation and Maintenance Plan titled "Stormwater Management Operation and Maintenance Plan and Long-Term Pollution Prevention Plan" dated September 16, 2019, revised November 22, 2019, prepared by GLM.
- A Response to Comments letter dated November 22, 2019, prepared by GLM.

The revised Plans and supporting information were reviewed against our previous comment letter (October 18, 2019) and comments have been tracked accordingly. Text shown in gray represents information contained in previous correspondence while new information is shown in black text.

SITE PLAN REVIEW

1. The Applicant has not supplied a written Development Impact Assessment (DIA). A waiver has been requested from this Requirement. (Ch. 200 §204-3.A.7)
 - *GLM 11/22/19 Response: Waiver Requested.*
 - TT 12/4/19 Update: No action necessary until PEDB decision on Waivers.
2. The Plans submitted by the Applicant are drawn at a 1" = 20' scale, as opposed to the 1" = 40 scale required by the Regulations. However, due to the size of the project, the drawing scale used is sufficient. (Ch. 200 §204-4.B)
 - *GLM 11/22/19 Response: Section 204-4.B states plan may be drawn at 1"=20'.*
 - TT 12/4/19 Update: In our opinion, this item has been resolved.
3. The Plans reference the National Geodetic Vertical Datum of 1929 (NGVD29), as opposed to the North American Vertical Datum of 1988 (NAVD88) required by the Regulations. (Ch. 200 §204-4.D)
 - *GLM 11/22/19 Response: Elevation difference provided on Sheet 2, Note 5.*
 - TT 12/4/19 Update: We do not believe an equation is sufficient to meet this regulation and request the Applicant provide all elevation data in the correct datum.
4. List of requested waivers are not shown on the cover sheet. (Ch. 200 §204-5.A)
 - *GLM 11/22/19 Response: Revised, See Sheet 1.*
 - TT 12/4/19 Update: In our opinion, this item has been resolved.
5. The Applicant has not supplied an Existing Landscape Inventory. (Ch. 200 §204-5.C.3)
 - *GLM 11/22/19 Response: Revised, See Sheet 2.*
 - TT 12/4/19 Update: In our opinion, this item has been resolved.
6. Locations of the existing sewer service and existing water main in Broad Street are not provided on the Plans. (Ch. 200 §204-5.C.5)
 - *GLM 11/22/19 Response: Revised, See Sheet 2.*
 - TT 12/4/19 Update: In our opinion, this item has been resolved.
7. We anticipate the snow storage areas provided on the Plan may not be sufficient to serve the site. Additionally, we anticipate snow from the lot may be placed on or over the property line along the eastern end of the parking lot. (Ch. 200 §204-5.D.3)

- *GLM 11/22/19 Response: The board may condition the approval if the snow amounts exceed the snow storage areas, snow shall be removed from the site.*
 - TT 12/4/19 Update: We recommend the PEDB Condition this item in the Decision for the Project.
8. There are no proposed hydrants at the site. We recommend the Applicant coordinate with the Medway Fire Chief to determine if hydrants are required or if the proposed dwellings will be sprinklered per applicable fire codes. (Ch. 200 §204-5.D.6)
- *GLM 11/22/19 Response: No hydrants proposed on the site.*
 - TT 12/4/19 Update: The Applicant shall provide confirmation that hydrants are not required at the site or are not specifically required by code.
9. The proposed landscape plan has not been stamped by a licensed Landscape Architect. A waiver has been requested from this requirement. (Ch. 200 §204-5.D.7)
- *GLM 11/22/19 Response: Waiver Requested.*
 - TT 12/4/19 Update: No action necessary until PEDB decision on Waivers.
10. The Applicant shall provide horizontal sight distances at the intersection of the project's proposed driveway and Village Street. (Ch. 200 §204-5.D.14)
- *GLM 11/22/19 Response: Revised, See Sheet 3.*
 - TT 12/4/19 Update: In our opinion, this item has been resolved.
11. The Applicant shall provide proposed building heights and parking spaces, including ADA parking spaces, to the Zoning Table on the Plans. (Ch. 200 §204-5.D.15)
- *GLM 11/22/19 Response: Revised, See Sheet 1.*
 - TT 12/4/19 Update: In our opinion, this item has been resolved.
12. Location of fire alarm boxes and fire truck turning movements are not provided on the Plans. Confirmation of review of plan from Medway Fire Chief recommended. (Ch. 200 §204-5.D.16)
- *GLM 11/22/19 Response: See Fire Dept. Review.*
 - TT 12/4/19 Update: TT has not been provided the review from the Medway Fire Department.
13. The Applicant has not specified proposed electric connection from the site to the source located on Broad Street. It must be noted that all connections are to be located underground and this requirement should be clearly noted on the plans. We also recommend the Applicant install underground electric service for the existing dwelling. (Ch. 200 §205-5)
- *GLM 11/22/19 Response: Revised, See Sheet 3. Electric Service to new building shall be underground.*
 - TT 12/4/19 Update: In our opinion, this item has been resolved.
14. The Applicant is proposing 9' x 18' standard parking stalls which do not comply with the Regulations. However, the size proposed is sufficient to serve a development of this type and is standard amongst the industry. (Ch. 200 §205-6.G.3.a)
- *GLM 11/22/19 Response: No Comment.*

- TT 12/4/19 Update: In our opinion, this item has been resolved.
- 15. No curb has been proposed around the parking lot. A waiver has been requested from this requirement. (Ch. 200 §205-7.H)
 - *GLM 11/22/19 Response: Waiver Requested.*
 - TT 12/4/19 Update: No action necessary until PEDB decision on Waivers.
- 16. The Applicant has not provided existing tree inventory of the site and thus cannot determine if tree replacement is necessary or how many trees will be required to be replaced. (Ch. 200 §205-9.F)
 - *GLM 11/22/19 Response: Revised, See Sheet 2.*
 - TT 12/4/19 Update: In our opinion, this item has been resolved.

STORMWATER REVIEW

MA DEP Stormwater Standards

- 17. Although minimal, the post-development runoff rate (0.02 cfs) from the 2-year event is greater than the pre-development rate (0.01 cfs) as provided in the "Comparison of Peak Runoff Rates" table in the Stormwater Report. (Standard 2)
 - *GLM 11/22/19 Response: No increase with house incorporated into the recharge system, See Revised Report.*
 - TT 12/4/19 Update: In our opinion, this item has been resolved.
- 18. The site is located within the Zone II and within soils with rapid infiltration rates. The Applicant shall provide documentation that minimum 44% TSS pre-treatment has been satisfied. (Standard 3)
 - *GLM 11/22/19 Response: Revised Proprietary Treatment units proposed prior to infiltration.*
 - TT 12/4/19 Update: We recommend the Applicant provide third party testing of the proprietary units proposed. Tested efficiencies shall be used in the TSS removal spreadsheet.
- 19. The Applicant has not supplied a Long-Term Pollution Prevention Plan. (Standard 4)
 - *GLM 11/22/19 Response: Revised See Drainage Report.*
 - TT 12/4/19 Update: In our opinion, this item has been resolved.
- 20. The Applicant has not supplied TSS removal worksheets or any calculations to determine if proper TSS removal has been accounted for prior to discharge to the Bio-Retention areas. (Standard 4)
 - *GLM 11/22/19 Response: Revised See Drainage Report.*
 - TT 12/4/19 Update: See update at Comment 18.
- 21. Site is in the Zone II and is located in soils with rapid recharge rates which requires additional water quality volume be provided in treatment BMP's. (Standard 4)
 - *GLM 11/22/19 Response: Revised See Drainage Report.*
 - TT 12/4/19 Update: In our opinion, this item has been resolved.
- 22. The project is located in the Zone II which is considered a critical area. (Standard 6)
 - *GLM 11/22/19 Response: Revised See Drainage Report.*

- TT 12/4/19 Update: In our opinion, this item has been resolved.

Town Stormwater Regulations (Ch. 200 §205-4)

23. The project meets the Regulations.
- *GLM 11/22/19 Response: No comment.*
 - TT 12/4/19 Update: In our opinion, this item has been resolved.

Town Stormwater Management and Land Disturbance Bylaw Review (Article 26)

24. The Applicant has not specifically addressed the Bylaw. We recommend the Applicant review the Bylaw and provide narrative and necessary plans for determining applicability with the Bylaw.
- *GLM 11/22/19 Response: The application, plan set and Stormwater Operation & Maintenance Long Term Pollution Prevention Plan should be considered sufficient per the application submittal requirements.*
 - TT 12/4/19 Update: The proposed project is considered under Administrative Review and we believe the Plans and accompanying information adequately address requirements of the Bylaw. In our opinion, this item has been resolved.
25. Additional erosion control barrier may be required along the west side of the site along Broad Street as a portion of the proposed developed portion of the site appears to flow toward the street.
- *GLM 11/22/19 Response: Revised erosion control extended. See Sheet 4.*
 - TT 12/4/19 Update: In our opinion, this item has been resolved.

General Stormwater Comments

26. The Applicant has modeled the soil media in the Bio-Retention Areas with a void ratio of 35%. That void ratio is typically used in modeling crushed stone and should be revised to reflect the actual soil conditions proposed.
- *GLM 11/22/19 Response: Revised Drainage Eliminated Bio Retention Areas.*
 - TT 12/4/19 Update: In our opinion, this item has been resolved.
27. It appears off-site areas to the south and east may discharge onto the property. It appears this flow may be tributary to the proposed Bio-Retention Area #1 and should be accounted for in the analysis.
- *GLM 11/22/19 Response: There is a wall between the abutting property and the project site.*
 - TT 12/4/19 Update: In our opinion, this item has been resolved.
28. Although not specifically required, we believe a proposed roof recharge system is practicable for installation for the existing dwelling since it is being renovated.
- *GLM 11/22/19 Response: Revised Roof Runoff directed to infiltration. See Drainage Report.*
 - TT 12/4/19 Update: In our opinion, this item has been resolved.
29. We recommend installation of signage to prevent snow storage in the Bio-Retention areas.
- *GLM 11/22/19 Response: Revised, No Bio Retention Areas.*
 - TT 12/4/19 Update: In our opinion, this item has been resolved.

30. Pre- and post-development drainage figures are missing from the Stormwater Report and should be provided.
- *GLM 11/22/19 Response: Revised, See Drainage Report.*
 - TT 12/4/19 Update: In our opinion, this item has been resolved.

GENERAL COMMENTS

31. ADA compliant spaces have not been proposed in the Plans. Confirm with zoning requirements to determine the amount of van-accessible parking spots that shall be provided.
- *GLM 11/22/19 Response: No HC Spaces required.*
 - TT 12/4/19 Update: In our opinion, this item has been resolved.
32. We do not recommend use of wheel stops as they tend to cause issues, particularly related to snow plowing. We recommend providing curbed sidewalks which are approximately 7 feet in depth to account for potential bumper overhang.
- *GLM 11/22/19 Response: No comment.*
 - TT 12/4/19 Update: This item was discussed at a previous PEDB meeting. In our opinion, this item has been resolved.
33. We recommend sidewalk be installed along the southern portion of the proposed parking, the sidewalk section that is currently proposed extends to only one space and it is anticipated pedestrians will walk over grass to get to that sidewalk once they park.
- *GLM 11/22/19 Response: Provide walk to parking with hatched no parking lane. See Sheet 3.*
 - TT 12/4/19 Update: In our opinion, this item has been resolved.
34. Existing concrete sidewalk located along the frontage of the property is in poor condition. We recommend the Applicant coordinate with the Town regarding replacement of the sidewalk. We also anticipate the town safety officer may require accessible ramps on either side of the entrance driveway. Additionally, we recommend connecting the proposed dwelling units to the sidewalk along the roadway.
- *GLM 11/22/19 Response: Revised to add sidewalk to roadway for new building. See Sheet 3.*
 - TT 12/4/19 Update: In our opinion, this item has been resolved.
35. Applicant to confirm if proposed filling against the existing dwelling will not cause ground surface to be within six inches of the sill/siding on the dwelling or as building code requires.
- *GLM 11/22/19 Response: The finish grades will allow for six inches.*
 - TT 12/4/19 Update: In our opinion, this item has been resolved.
36. Consistent with other projects of this size and type, we recommend the Applicant propose a stop line and stop signage at the egress from the site or as recommended by the Town's Safety Officer.
- *GLM 11/22/19 Response: No stop sign per board discussion.*
 - TT 12/4/19 Update: In our opinion, this item has been resolved.

37. Please provide proposed location for irrigation well if irrigation is to be provided for landscaped areas. Town water shall not be used to irrigate the site.
- *GLM 11/22/19 Response: No well proposed.*
 - TT 12/4/19 Update: We recommend the Applicant acknowledge that municipal water supply will not be used for irrigation at the site.
38. Please update the "Medway Planning Board" signature block to read "Medway Planning and Economic Development Board". We do not anticipate the need for the "Board of Selectmen's" signature block and it may be removed.
- *GLM 11/22/19 Response: Revised.*
 - TT 12/4/19 Update: In our opinion, this item has been resolved.
39. The Applicant should provide details of proposed dumpster enclosure.
- *GLM 11/22/19 Response: Revised, See Sheet 5.*
 - TT 12/4/19 Update: Detail has been provided. We recommend the Applicant confirm with Medway Design Review Committee if stockade type fencing is sufficient.
40. The Grading and Drainage Plan shows the proposed water service labeled as proposed sewer service.
- *GLM 11/22/19 Response: Revised.*
 - TT 12/4/19 Update: In our opinion, this item has been resolved.

ADDITIONAL COMMENTS

41. Since the subsurface infiltration systems proposed will be accepting flow from the parking areas and driveway, we recommend the Applicant propose Cultec Separator Row with appropriate access manhole to ensure the systems can be actively maintained.

These comments are offered as guides for use during the Town's review and additional comments may be generated during the course of review. The Applicant shall be advised that any absence of comment shall not relieve him/her of the responsibility to comply with all applicable local, state and federal regulations for the Project. If you have any questions or comments, please feel free to contact us at (508) 786-2200.

Very truly yours,



Steven M. Bouley, P.E.
Senior Project Engineer



Bradley M. Picard, E.I.T.
Civil Engineer

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December 10, 2019

**Medway Planning & Economic Development Board
Meeting**

**Consulting Planner Services Proposal to
Identify Sites for Cottage Community**

- PGC Proposal dated 12-6-19
- MAPC Scope of Work for Living Little 2

We discussed this briefly at the last PEDB meeting. One component of the Living Little 2 project is to develop a new sub-section on Cottage Communities to be included in Section 8 - Special Regulations of the Medway Zoning Bylaw. I envision this as a special permit option with

There is funding available for this in the Consulting Services line item of the PED FY 20 budget.

PGC ASSOCIATES, LLC

1 Toni Lane
Franklin, MA 02038-2648
508.533.8106
gino@pgcassociates.com

December 6, 2019

Mr. Andy Rodenhiser, Chairman
Medway Planning Board
155 Village Street
Medway, MA 02053

RE: MEDWAY COTTAGE COMMUNITY SITE REVIEW

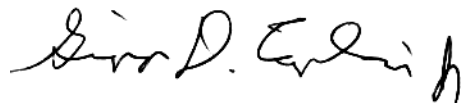
Dear Mr. Rodenhiser:

PGC Associates is pleased to present the following cost estimate to review potential locations within Medway for a cottage community. The review would focus on sites where such a community would be compatible with surrounding neighborhood or be sufficiently screened from it. Access to utilities and services will also be considered. This is anticipated to be an initial high-level review and any additional review or analysis will be prepared subsequently if warranted.

<u>Task</u>	<u>Hours</u>
Review and comment on initial findings	3.0
Discussion at Planning Board	0.5
Total	3.5
TOTAL ESTIMATE (@\$100)	\$350.00

If there are any questions about this estimate, please call me.

Sincerely,



Gino D. Carlucci, Jr.

SouthWest Advisory Planning Committee (SWAP) Three Rivers Interlocal Council (TRIC) Living Little Phase 2 Scope of Work, Revised December 10, 2019

Context and Project Summary

This scope of work defines the tasks and deliverables associated with the second phase of the Living Little project for the South West Advisory Planning Committee (SWAP) and Three Rivers Interlocal Council (TRIC) subregions. Like many municipalities throughout the region, communities in these subregions are experiencing increased housing demand, particularly from seniors looking to downsize and younger householders seeking starter homes. This demand often goes unmet in small towns and suburban communities where much of the housing stock consists of larger, single-family detached homes, and where there are often significant development constraints, such as high land costs, permitting, infrastructure, construction costs, and neighborhood opposition.

The first phase of the Living Little project, completed in the summer of 2018, considered the potential of smaller homes as a contextually appropriate option to address these housing needs, particularly for communities with more suburban land use patterns and open space priorities. The project was undertaken in partnership with five partner municipalities in the SWAP and TRIC subregions: Foxborough, Medfield, Medway, Sherborn, and Stoughton. The first phase of the project studied four Living Little housing typologies, including detached accessory dwelling units, cottage housing developments, tiny houses, and tiny house villages. The project featured an analysis of each typology's history and relevant case studies, an assessment of barriers to development, and an investigation into common community concerns associated with these typologies.

This second phase of the Living Little project will build on previous work in three key ways:

- Due to their small size, Living Little typologies can be more naturally affordable than larger, single-family housing. Beyond this natural affordability, partner municipalities have identified the need to understand how more formal affordability requirements could be incorporated into Living Little typologies to ensure that they meet the needs of low- and moderate-income households. MAPC will research deed-restricted Affordable Living Little case studies to better understand the mechanisms available to ensure long-term affordability of these housing types.
- The first Living Little report surveyed partner municipalities' zoning bylaws and noted zoning districts in which cottage-style development could potentially occur, as well as restrictions in those districts that might preclude this type of housing. In this second phase, MAPC will build on the previous analysis by developing specific zoning recommendations and draft language for cottage housing zoning for Medway, one of the Living Little partner municipalities. Medway has identified cottage housing as a housing type that could fill a gap in the town's housing supply, and this work will position Medway to move towards implementing zoning changes that will enable cottage housing. MAPC will also produce an annotated version of the recommendations that will highlight general best practices and considerations for cottage zoning, which will benefit partner municipalities that also may wish to consider zoning for this type of housing.

- The first Living Little project identified barriers and success factors for each of the Living Little typologies that it covered. To more broadly disseminate this information, address misconceptions about Living Little, and build support for these housing types as viable alternatives to the large-scale single-family homes often found in these communities, MAPC will develop a Living Little digital toolkit. This digital toolkit will include content from phase 1 and phase 2 of the SWAP/TRIC Living Little project, such as information on development barriers and common community concerns, a searchable database of strategies to address them, and downloadable materials to promote public awareness of Living Little. It will also include content from, and be coordinated with, the South Shore Living Little project, which will focus on “missing middle” multifamily housing typologies.

The Towns of Medway, Medfield, Foxborough, and Sherborn are committed to proceeding with this work. The project will be guided by a Working Group comprised of representatives from each partner municipality. The Working Group will meet three times over the course of the project to provide input and review materials.

The project is funded by MAPC’s Technical Assistance Program (TAP); \$500 each from the Towns of Foxborough, Medfield, and Medway; and in-kind staff time from the Town of Sherborn.

Partners and Responsibilities

Sarah Raposa, AICP, Medfield Town Planner, will be the primary contact for the SWAP/TRIC towns participating in the project. Susan Affleck-Childs, Medway Planning & Economic Development Coordinator, will be the primary contact for the Town of Medway. Alexis Smith, Senior Housing Planner, will be the primary contact for MAPC. Other MAPC staff will provide additional support as needed.

The project will be guided by a working group made up of representatives from each of the participating towns.

The Towns will offer assistance throughout the planning process by:

- Identifying members of the Working Group
- Coordinating outreach with the Working Group
- Attending Working Group meetings
- Reviewing presentations, drafts, and other materials provided by MAPC as needed
- Providing context regarding relevant history and zoning, such as cluster zoning or open space residential districts, as needed to inform the general bylaw recommendations

The primary contact for the SWAP/TRIC towns will provide additional support by working with the subregional coordinators to confirm Working Group members; conducting outreach and coordinating logistics for Working Group meetings; soliciting and consolidating partner input and reviews as needed; and serving as the primary point of contact for MAPC and for partner communities. The primary contact for the Town of Medway will be responsible for sharing background information about the Medway’s current bylaw, sharing Medway-specific project content with others in town as needed, and soliciting and consolidating feedback to share with MAPC and the working group.

Deliverables

This planning process will produce the following deliverables:

- Memorandum summarizing research of Affordability restrictions for Living Little typologies

- Zoning best practices for cottage bylaws; specific zoning recommendations for a draft cottage bylaw for Medway
- Living Little digital toolkit incorporating content from SWAP/TRIC Living Little Phases 1 and 2, South Shore Coalition Living Little

Project Work Plan

1. Project Start-Up

- *Working Group Formation and Kick-off Call.* MAPC will facilitate a start-up call with the participating municipalities to review scope, deliverables, schedule, and goals, and to confirm Working Group members. The Project Manager will work with subregional coordinators and lead project partner Sarah Raposa of Medfield to finalize any changes to the previous project Working Group.
- *Existing Conditions and Review of Previous Work.* Each of the participating municipalities is responsible for providing the Project Manager with any updates regarding their town's housing policy, zoning, or recent housing development since the previous Living Little study. MAPC staff will review previous documents and studies to gain an understanding of existing conditions in the partner towns.

2. Affordability

- *Tools to ensure long-term affordability of Living Little typologies.* The MAPC project team will investigate a variety of mechanisms to ensure affordability of Living Little housing typologies studied in the previous phase. These may include 40R and 40R Starter Home zoning, increased affordability requirements in cluster zoning ordinances, and affordability incentives for ADUs. This work will focus on long-term affordability through deed restrictions. Research will be summarized in a memo and discussed with project partners at the first working group meeting.
- *Working Group Meeting (1 of 3).* Lead project partner Sarah Raposa will conduct outreach for this and all Working Group meetings. The focus of this first meeting will be on findings from the affordability research and planning for an engagement event (see task 5).

3. Cottage Zoning Recommendations and Draft Language

- *Review of Zoning Bylaw.* MAPC will review Medway's current zoning bylaw and will conduct interview(s) with town planners and other town staff as needed to understand the context and goals for cottage zoning in Medway.
- *Best practices zoning research.* MAPC will build on the research from the first phase of the project, focusing specifically on best practices for drafting and implementing zoning that facilitates cottage housing.
- *Cottage Zoning Recommendations.* Based on the previous tasks, MAPC will draft zoning recommendations for a cottage bylaw in Medway. This subtask includes one round of revisions based on feedback from the town; the primary town contact will be responsible for soliciting and consolidating feedback from town staff as needed and discussing with MAPC via phone call.
- *Best Practices Bylaw Recommendations.* In addition to the specific recommendations for Medway, MAPC will produce an annotated version of the recommendations or some other document that will highlight general best practices and considerations for cottage zoning, which will benefit partner municipalities that also may wish to consider zoning for this type of housing.
- *Draft Cottage Zoning Language.* MAPC will develop the recommendations from the previous subtask into draft zoning language for a cottage bylaw in Medway. This subtask includes one round of revisions based on feedback from the town; the primary town contact will be responsible for soliciting and consolidating feedback

from town staff as needed. To continue to advance the zoning when this phase of the project is complete, Medway may apply to MAPC for additional support for outreach and engagement with decision-makers and residents.

- *Working Group Meeting (2 of 3)*. At this meeting the Working Group will review and discuss the cottage zoning recommendations, including both the Medway-specific recommendations and general best practice recommendations.

4. Digital Toolkit

- *Toolkit design*. The Living Little digital toolkit will more broadly disseminate Living Little research, address misconceptions about Living Little, and build support for these housing types as viable alternatives to large-scale single-family homes often found in these communities. The toolkit will include content from the previous phase of the SWAP/TRIC Living Little research, as well as content from the current South Shore Coalition subregion Living Little project.
- *Working Group Meeting (3 of 3)*. The Working Group will review and discuss a working version of the digital toolkit. This may be a joint meeting with the Working Group from the corresponding South Shore Living Little project.

5. Engagement

- *Engagement Materials*. Throughout the project, MAPC will develop materials that can be used by all project partners to promote Living Little. These materials will employ a user-friendly, easily digestible approach to demystify Living Little. The materials will mirror and support the content of the digital toolkit and could include topics such as: intro to Living Little, benefits, addressing concerns, local examples, debunking myths, or strategies to encourage Living Little typologies.
- *Engagement activity*. MAPC will facilitate an engagement activity, the content and format which will be determined with input from the Working Group. This could take the form of a panel or presentation followed by a discussion.

The following table summarizes tasks associated with each of the above elements and is organized by hours allotted, budget, and timeframe.

Project Budget

	Task Description	Hours	Budget	Timeframe
Task 1	Project Startup	7	\$630	August
	Existing conditions and review of previous work	5		
	Working group formation and kickoff call	2		
Task 2	Affordability	53	\$4,770	Sept - Nov
	Tools to ensure long-term affordability	35		
	Summary memo of research	10		
	Working group meeting (1 of 3)	8		November
Task 3	Cottage Zoning	96	\$8,640	Oct - Jan
	Review of Medway zoning bylaw	10		
	Best practices research	10		
	Recommendations for Medway cottage zoning	24		
	Best practices bylaw recommendations	12		
	Draft cottage zoning language	32		
	Working group meeting (2 of 3)	8		January
Task 3	Digital Toolkit	95	\$8,550	Jan - April

Toolkit design and creation (joint deliverable with South Shore Living Little)	87		
Working group meeting (3 of 3)	8		March
Task 5 Outreach and engagement	68	\$6,120	Throughout
LL educational materials	35		
Engagement activity and prep	25		February
Summary memo of engagement activities	8		
Other		\$3,271	
Project management		\$2,871	
Travel		\$400	
Total	319	\$31,981	Aug - April

Project Objectives

Project Connection to MetroFuture

MetroFuture, MAPC's plan for our region, serves as a guide for the agency's work related to smart growth and regional collaboration. The plan comprises 65 specific goals for the year 2030, several of which will be advanced by this project.

- Goal #6: High-quality design will help compact development to enhance the region's character and livability.
- Goal#13: Families looking for suburban single-family homes will have a greater choice of smaller homes in more traditional neighborhood settings.
- Goal #14: An increasing share of the housing in each municipality will be affordable to working-class families and fixed-income seniors.
- Goal #18: The region's seniors will have more housing choices and opportunities to downsize while staying in their community.

Equity Outcomes

- Information to support addressing barriers to achieving community diversity through housing supply
- Ultimately, increased and varied housing opportunities for a range of household types and incomes in the SWAP and TRIC subregions

Scope Approved

Michael Boynton
Town Administrator, Medway, MA

Date: _____

statement

VILLAGE GREEN LANDSCAPE & LAWN CARE SERVICES, INC.

94 Bartzak Drive
HOLLISTON, MASSACHUSETTS 01746

Telephone (877) 429-3875
Fax (508) 429-9260

Rodenhiser Excavating, Inc
70 Bartzak Dr
Holliston, Ma 01746

ACCOUNT NO.	DATE
3391	04/01/19
TOTAL AMOUNT DUE	
\$ 15,550.00	

Due Upon Receipt

AMOUNT ENCLOSED \$ _____

Services Rendered At: APPLEGATE FARMS DEVELOPEMENT
Applegate Farms Rd
Medway MA 02053

RETURN THIS PORTION WITH PAYMENT

Page # 1

REMIT TO:

PREVIOUS BALANCE ►

9,250.00

DATE	DESCRIPTION	AMOUNT
03/02/19	Snow Plowing 2.1"	600.00
03/02/19	Shoveling	250.00
03/02/19	Salt Application	600.00
03/04/19	Snow Plowing 15.8"	2,465.00
03/04/19	Shoveling (completed on 3/5)	1,035.00
03/04/19	Salt Application	600.00
03/10/19	Salt Application	600.00
03/10/19	Scrape and Icemelt Walkways	150.00

Current

Over 30

Over 60

Over 90

TOTAL AMOUNT DUE

6,300.00

9,250.00

\$ 15,550.00

MESSAGES / COMMENTS

Thank You

**VILLAGE GREEN LANDSCAPE
& LAWN CARE SERVICES, INC.**

VILLAGE GREEN LANDSCAPE
94 Bartzak Dr.
Holliston, MA 01746
(508) 429-3875

HISTORY REPORT FOR CUSTOMER # 3391

PROPERTY NAME: APPLEGATE...

HISTORY STARTING AT: 09/01/18

Page 1 DATE PRINTED: 07/18/19

Line #	Date	Debits	Credits	Code	Descript
1	02/07/19			N	Previous Balance
3	02/07/19	600.00		D	Salt Application
4	02/12/19	600.00		D	Salt Application
5	02/12/19	900.00		D	Snow Plowing 4.6"
6	02/12/19	375.00		D	Shoveling
7	02/13/19	600.00		D	Salt Application
8	02/14/19	600.00		D	Salt Application
9	02/18/19	900.00		D	Snow Plowing 4.3"
10	02/18/19	600.00		D	Salt Application
11	02/21/19	600.00		D	Snow Plowing 1.7"
12	02/21/19	250.00		D	Shoveling
13	02/21/19	600.00		D	Salt Application
14	02/25/19	600.00		D	Salt Application
15	02/25/19	150.00		D	Ice Melt Application
16	02/28/19	900.00		D	Snow Plowing 4.2"
17	02/28/19	375.00		D	Shoveling
18	02/28/19	600.00		D	Salt Application
21	03/02/19	600.00		D	Snow Plowing 2.1"
22	03/02/19	250.00		D	Shoveling
23	03/02/19	600.00		D	Salt Application
24	03/04/19	2465.00		D	Snow Plowing 15.8"
25	03/04/19	1035.00		D	Shoveling (completed on 3/5)
26	03/04/19	600.00		D	Salt Application
27	03/10/19	600.00		D	Salt Application
28	03/10/19	150.00		D	Scrape and Icemelt Walkways
32	04/04/19		9250.00	C	Payment
36	05/28/19		2332.50	C	Winter Discount (15%)
Totals:		15550.00	11582.50		

Invoice
Assigned

Balance: 3967.50

*+ Totals do not include this entry since this is a summary of transactions under the previous billing method
** Does NOT Include previous balance
*** Debits + Previous Balance + Unbilled Tax - Credits

Contract 15,550
 <9,250> Payment
 <2,332.50> Winter discount

 3967.50
 <2567.50> unknown?
 payment

 Bal due: 1,400.00

**VILLAGE GREEN LANDSCAPE
& LAWN CARE SERVICES, INC.**

94 Bartzak Drive
HOLLISTON, MASSACHUSETTS 01746

Telephone (877) 429-3875
Fax (508) 429-9260

Rodenhiser Excavating, Inc
70 Bartzak Dr
Holliston, Ma 01746

Services Rendered At: 15 APPLGATE RD
15 Applegate Rd
Medway MA 02053


RETURN THIS PORTION WITH PAYMENT

Page # 1

REMIT TO:

PREVIOUS BALANCE ▶

1,400.00

DATE		DESCRIPTION			AMOUNT
		 PAST DUE PLEASE! DAN			1,400.00
Current		Over 30	Over 60	Over 90	TOTAL AMOUNT DUE
				1,400.00	\$ 1,400.00

\$ 1,400.00
Thank You

**VILLAGE GREEN LANDSCAPE
& LAWN CARE SERVICES, INC.**

PRODUCT 12255 USE WITH COMPANION 771 DU-O-VUE ENVELOPE

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RODENHISER EXCAVATING, INC.

70 BARTZAK DRIVE
HOLLISTON, MA 01746

O: 508-429-9553 F: 508-429-9561

Date	INVOICE
10/8/2019	RX3-100819

Bill To:
Needham Bank John T Shea 1063 Great Plain Avenue Needham, MA 02492

Site Location:
Medway, MA

DESCRIPTION	P.O.	Processed By
		LM
AMOUNT		
TRUAX CATCH BASIN CLEANING		834.75
15% GC FEE		125.21
\$13,217.50 2018-2019 VILLAGE GREEN SNOW PLOWING CONTRACT		0.00
15% GC FEE		1,982.63
STREET SWEEPING ONSITE BY RODENHISER EXCAVATING, INC.		
MOBILIZATION		150.00
SKID STEER WITH BROOM AND GROUNDMAN		1,290.00
TRUCKING - ONE TON DUMP TRUCK		125.00

	Total	\$4,507.59
	Payments/Credits	\$0.00
	Balance Due	\$4,507.59