

August 22, 2017
Medway Planning and Economic Development Board
155 Village Street
Medway, MA 02053

Members	Andy Rodenhiser	Bob Tucker	Tom Gay	Matt Hayes	Rich Di Iulio
Attendance	X	X	Absent with Notice	Absent with Notice	X

ALSO PRESENT:

- Gino Carlucci, PGC Associates
- Sean Reardon, Tetra Tech
- Amy Sutherland, Recording Secretary
- Susy Affleck-Childs, Planning and Economic Development Coordinator

The Chairman opened the meeting at 7:01pm.

ANR Plan - 11 & 13 Juniper Road:

The Board is in receipt of the following documents: **(See Attached)**

- ANR application and explanation
- ANR plan dated July 25, 2017 prepared by O’Driscoll Land Surveying Co.
- PGC review letter dated August 16, 2017.

The Chairman indicated that he had a business relationship in the past with Dan O’Driscoll but currently does not.

Consultant Carlucci reviewed the plan and informed Mr. O’Driscoll of the few minor deficiencies. The plan was revised to address the comments from Consultant Carlucci. Mr. Merrikin indicates that there was a swap of land due to a fence being installed over the lot line. The resolution was that the abutters agreed to create two equal parcels of land that each owner will swap.

On a motion made by Bob Tucker and seconded by Rich Di Iulio, the Board voted unanimously to endorse the revised ANR plan for 11 & 13 Juniper Rd dated August 22, 2017.

O’Brien & Son Site Plan – Construction Services Estimate

The Board is in receipt of the following document: **(See Attached)**

- Construction services estimate dated August 18, 2017 from Tetra Tech

On a motion made by Rich Di Iulio and seconded by Bob Tucker, the Board voted unanimously to accept the estimate in the amount of \$11,889 for O’Brien & Sons.

Consultant Reports:

The Haven Subdivision:

Sean Reardon reported that gravel has been installed at The Haven. The Chairman would like Steve Bouley to check if the gravel has been tested along with where it is coming from.

Reports:

- Consultant Carlucci informed all about a zoning reform bill at the state level in relation to requiring communities to have multifamily zoning by right.
- A representative from MAPC will have a brainstorming session with the new chairman of the Cultural Council. The Town is looking to reactivate the cultural council.
- The public hearing for the Oakland and Choate Park site plans will be Tuesday, September 5, 2017. The applications have been forwarded to the consultants for review.
- The MA Department of Housing and Community Development has approved the Urban Renewal Plan for the bottlecap lots.
- New owner of 143 Village Street met with the administrative staff and is looking to submit for a multifamily special permit in order to have a public hearing on Tuesday September 26, 2017.
- The Open Space and Recreation Plan Update Task Force will be holding a public forum on Monday, October 3, 2017.

Acceptance of Minutes:

August 17, 2017:

- The minutes from the August 8, 2017 meeting will be tabled until the next meeting.

Construction Report:

- A timeline for work completion was provided from Exelon. (See Attached)

Oakland Park Site Plan - Plan Review Estimate:

PGC Review Estimate: (See Attached)

On a motion made by Bob Tucker and seconded by Rich Di Iulio, the Board voted unanimously to approve the PGC plan review fee estimate of \$855.00 dated 8-22-17.

Tetra Tech Review Estimate: (See Attached)

On a motion made by Bob Tucker and seconded by Rich Di Iulio, the Board voted unanimously to approve the Tetra Tech plan review fee estimate of \$6,468.00 dated 8-22-17.

Paul Revere Estates – Public Hearing Continuation:

The Board is in receipt of the following documents: (See Attached)

- Email dated July 28, 017 from Barry Smith, Medway DPS Deputy Director
- Revised subdivision plan dated August 8, 2017.
- Letter dated August 9, 2017 from project engineer Dan Merrikin
- Collections of emails between Dan Merrikin and Fire Chief Jeff Lynch about paved cul-de-sac.

- Email dated August 14, 2017 from Sergeant Jeff Watson
- PGC review comments dated August 15, 2017.
- Tetra Tech review comments dated August 14, 2017 on the revised subdivision plan.
- Email communication dated August 18, 2017 from resident Bruce Hamblin.

Engineer Merrikin provided the Board with the following updates relative to the project:

- Reduced pavement width to 20 ft.
- Truck turning assessment has been provided.
- Revised plan shows all existing trees with a diameter of 24” or larger
- Existing road pavement widths have been added to the plan
- The landscaping in the center island in the cul de sac will be maintained by the owner of Lot 4 and will be on the plan. (A suggestion was made to change this to the owner of lot 3 as it is closer to the landscaped island.)
- Street trees were added with easements for utilities and grading.
- Met with DPS about the sewer moratorium. The moratorium will not affect the project.
- The applicant is requesting a waiver to use Cape Cod berm.
- The larger trees were shown in red on the plan.
- Met with the Conservation Commission and discussed the stormwater basin. It was recommended that the basin have a gated entrance with bar gate.
- A stop line, crosswalk and a “caution children” sign were added.
- The street lighting will need to be discussed further with DRC and the public safety officer.
- Parcel D will be a drainage parcel to be conveyed to the Town.
- Test pit locations were added.
- Landscape detail has been added.
- Hydro CAD calculations are shown.
- The signature stamp has been modified.
- Scale bars have been updated.
- The sewer laterals have been revised.

Dan Merrikin informed the Board that an email from Jeff Lynch indicated that he is concerned about reducing the radius of the cul de sac because he believes it could result in a delay in emergency apparatus getting into position. Chief Lynch has indicated the Fire Code also requires two means of egress for subdivisions. Mr. Merrikin reported that he had prepared a turning radius analysis for the road and the ability to maneuver the equipment, but the Chief still wants to see the larger radius.

The email from resident Bruce Hamblin was entered into the record and the Board reviewed the comments.

The Board would like the draft decision to be prepared for the next meeting.

Extension:

On a motion made by Rich Di Iulio and seconded by Bob Tucker, the Board voted unanimously to approve the applicant’s request to extend the deadline for action on Paul Revere Estates to September 30, 2017.

Continuation:

On a motion made by Rich Di Iulio and seconded by Bob Tucker, the Board voted unanimously to continue the hearing for Paul Revere Estates to September 12, 2017 at 7:00 pm.

Susy Affleck-Childs noted that Members Hayes and Gay will each complete a Mullins Rule Certification for missing this meeting so they can vote on the decision. They will review the video recording of the meeting.

Informal, Pre-Application Discussion - 179-181 Main Street Multifamily Housing Development

The Chair informed all that this is an informal meeting and no application has been submitted.

Dan Merrikin provided an overview of the project. He indicated that this is informal and the developer is seeking feedback. The initial concept plan had been for 32 units and it has been reduced to 24. This includes retaining the house and barn from 181 Main Street and renovating them into condo units. The intent is to work with the historical structures on site. The concept layout was shown which includes incorporating green space. **(See Attached)** There will be a total of 22 units in newly constructed buildings. The parking area was shown. The details regarding fencing and screening will be discussed once the application is officially submitted. The applicant would like to do an ANR plan to split off a portion of the property at 179 Main Street with the historic house on it. The property has good soils and there is and no indication of high ground water. The stormwater will be collected and dispersed by small underground infiltration chamber units. The larger trees will be located and flagged on site. There would be a connection to the Library on High which could allow access for library patrons to use some of the guest parking spaces at the back of the site. The proposed road width is 20 ft.

The Chairman responded that the project would be less dense if it could be decreased by four units.

Mr. Merrikin communicated that there is an economic balance needed to make this viable.

It was noted that there are options to be considered such as triplexes instead of duplexes. This would result in more green space.

There was a suggestion to change the alignment of the bulb at the top and also have some of the garages side loading.

Questions from residents:

Resident, Stephen Hope, 10 Mann Street:

He wanted to know if there would be public parking.

The applicant indicated that there would be public parking, if the road is not gated, there could be access to the Library.

Resident, Doug Heely, 8 Mann Street:

Mr. Heely indicated that there is a serious grading drop behind the library. He wanted to know

what fill is needed? He also wanted to know if the house at 179 Main is going to be saved.

Dan Merrikin responded that they have the ability to separate the existing house at 179 Main Street from the rest of the property and can put it on the market. It is in poor condition, he would like direction from the Town if they are interested in preservation. NOTE – This property is before the Historical Commission for possible demolition delay designation.

Resident David Maloney, 31 Lincoln St.:

Mr. Maloney asked if there anything preventing this from being rehabbed or fixed up? He also asked if the road could be extended up to Rt.109. He also wanted to know if the recent zone change has affected this area.

The Chairman responded that we want to preserve the old homes but hypothetically, you could buy this property, demolish the house and barn and have a six dwelling units in there. The economics of taking the old homes to save and restore is cost prohibitive for some developers.

Resident, Steve Wettengel, 182 Main Street:

Mr. Wettengel wanted to know how the Town will keep residents from using this as an access to the Library. His concerns are the children going to the library and the additional traffic.

There would be a gate and access would only be by the fire department, police etc.

Resident, Mrs. Wettengel, 182 Main Street:

Mrs. Wettengel wanted to know if the schools have been informed about this project. She is also concerned about the density. She also wanted to know if this warrants a traffic study.

The Chairman indicated that all those issues will be looked at once the application is submitted. In relation to the school, all meetings are public and agendas are sent as part of a distribution list.

Susy Affleck-Childs noted that the Board doesn't ask for a traffic study for developments under 30 units.

Tetra Tech Consultant Sean Reardon responded that the site distances in relation to volume, and safety will be reviewed and the applicant will have to meet the standards as set.

Resident Donald Fisher, 33 Lincoln Street:

Mr. Fisher wanted to know if the residents have a say on how these units will look in the back.

The Chairman noted that the DRC will do a review of the design aspects and this will be provided to the Board.

Resident, Nishan Kavajanian, 12 Winthrop St:

This resident wanted to know if 181 Main is a done deal?

The Chairman responded that he has no idea what is finalized with 181 Main Street.

Resident, Jeffrey Jackson, 16 Wellington Street:

Mr. Jackson wanted to know if this falls within the Rabbit Hill Historical District.

The Chairman responded that there is no special protection but it is just a designated area.

Resident, Stephen Hope, 10 Mann Street:

Mr. Hope wanted to know if the criteria set forth in the multifamily housing regulations will be met.

The Chairman responded that the criteria will need to be met and findings will be made within any decision that is made.

Resident, David Maloney, 31 Lincoln St.:

Mr. Maloney asked if the change in zoning came from what was approved two years ago. He feels this project will drop the values of the surrounding homes

The Chairman responded that the PEBD worked on zoning changes to create the multifamily overlay district. There were several open forums and hearings about the proposed zoning. The article was then voted at the town meeting. There was a visual preference survey done with many comments and suggestions. This is to promote affordable housing opportunities which the town needs.

**Informal, Pre-Application Discussion - Country Cottage Children's Center,
35 Summer Street**

Representatives of Country Cottage Children's Center were present to have an informal pre-application discussion – Robin and David Beaudreau, owners and project engineer Peter Bemis. This pertains to the forthcoming site plan for Country Cottage's relocation from its current location at 5 Summer Street (near Exelon) to 35/37 Summer Street, immediately south of Rustic Road where they will build a new facility.

The Board was informed that a child care center is an "exempt" use under the Massachusetts Zoning Act. The Board's review is limited to "reasonable regulations concerning the bulk and height or structures and determining yard sizes, lot area, setbacks, open space, parking and building coverage requirements.

The Board is in receipt of the following documents: **(See Attached)**

- Site Plan dated August 1, 2017 by Engineering Design Consultants.
- Collection of building floor plans and elevations
- Email communication dated July 27, 2017 from Stephanie Mercandetti regarding the review of exempt uses

Engineer, Peter Bemis was present to explain the project. Up to 39 children will be dropped off and picked up each day. There is enough parking for the staff. The applicant met with the Design Review Committee last night. The entrance will be on Rustic Road. There are two means of egress proposed – one on Rustic Road and one on Summer Street. The loading and unloading areas were shown. There is a concern expected from the adjacent neighborhood about motorists dodging the light at Summer and Milford Streets and cutting through the neighborhood to get to this property. There will be an ADA compliant sidewalk to site. The fire department has asked that the pavement width be 20 ft. Within the playground areas there will be three fences (chain links) for the different age groups. There will also be a larger 6 ft. fence (natural

color vinyl) around the entire back area. The applicant has not done test pits, but plans to. There are two low spots. The details of the stormwater were shown. The water will be collected and treated and will go through underground infiltration chambers on site. The lighting and landscaping was shown along with the dumpster which will have a vinyl fence around it.

The applicant indicated that they are looking to file the site plan application next week. It was suggested that they reach out to the abutting neighbors. They will also need to go to the Conservation Commission so they can act on the RDA. The applicant would like to be on the September 12, 2017 agenda.

The state regulations require there to be a bollard and chain at the entrances to the site to prevent others from parking on site after hours. There will also be a sign which will be reviewed by the DRC.

Adjourn:

On a motion made by Bob Tucker and seconded by Rich Di Iulio, the Board voted unanimously to adjourn the meeting.

The meeting was adjourned at 9:20 pm.

Respectfully Submitted,

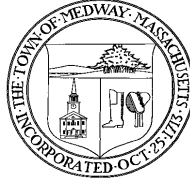


Amy Sutherland
Recording Secretary

Reviewed and edited,



Susan E. Affleck-Childs
Planning and Economic Development Coordinator



August 22, 2017
Medway Planning & Economic Development Board
Meeting

ANR Plan – 11 & 13 Juniper Road

- ANR application and explanation
- ANR plan dated July 25, 2017 prepared by O'Driscoll Land Surveying Co.
- PGC review letter dated August 16, 2017

Gino Carlucci has reviewed the plan. A few minor technical deficiencies have been noted and shared with Dan O'Driscoll. Dan will revise the plan and bring it with him to Tuesday's meeting.

**Application for Endorsement of Plan
Believed Not to Require Subdivision Approval (ANR)
Planning & Economic Development Board - Town of Medway, MA**

INSTRUCTIONS TO APPLICANT/OWNER

*This Application is made pursuant to the Medway Planning Board Subdivision Rules and Regulations.
Please complete this entire Application.*

Submit two (2) signed originals of this Application, one copy of the ANR Plan, and one Project Explanation to the Town Clerk who will date stamp both Applications.

Provide one original ANR Application date stamped by the Town Clerk, one Project Explanation, eight copies of the ANR Plan, an electronic version of the ANR plan and the appropriate ANR Filing Fee to the Medway Planning & Economic Development office.

The Applicant certifies that the information included in this Application is a true, complete and accurate representation of the facts regarding the property under consideration.

In submitting this application, the Applicant and Property Owner authorize the Planning & Economic Development Board and its agents to access the site during the plan review process.

The Town's Planning Consultant will review the Application, Project Explanation and ANR plan and provide a recommendation to the Planning & Economic Development Board. A copy of that letter will be provided to you.

***You or your duly authorized agent is expected to attend the Board meeting when the ANR Plan will be considered to answer any questions and/or submit such additional information as the Board may request.
Your absence may result in a delay in its review.***

AUG. 11, 2017

TO: The Planning & Economic Development Board of the Town of Medway, MA

The undersigned, wishing to record the accompanying plan of property in the Town of Medway and believing that the plan does not constitute a subdivision within the meaning of the Subdivision Control Law, herewith submits this Application and ANR Plan to the Medway Planning and Economic Development Board and requests its determination and endorsement that the Board's approval under the Subdivision Control Law is not required.

ANR PLAN INFORMATION

Plan Title: PLAN OF LAND IN MEDWAY, MA
Prepared by: O'DRISCOLL LAND SURVEYING CO, DANIEL A. O'DRISCOLL
~~File~~ or P.L.S registration #: 39050 Plan Date: JULY 25, 2017

PROPERTY INFORMATION

ANR Location Address: 11 & 13 JUNIPER ROAD
The land shown on the plan is shown on Medway Assessor's Map # 4 Parcel # 33 & 34
Total Acreage of Land to be Divided: 2.4 AC.
Subdivision Name (if applicable): _____

Medway Zoning District Classification: AR I

Frontage Requirement: 180' Area Requirement: 44,000 SF

Is the road on which this property has its frontage a designated **Medway Scenic Road**? No

The owner's title to the land that is the subject matter of this application is derived under deed from: RALPH COSTELLO to STEPHEN & SHARON BROVELLI dated _____ and recorded in Norfolk County Registry of Deeds, Book 10900 Page 150 or Land Court Certificate of Title Number _____, Land Court Case Number _____, registered in the Norfolk County Land Registry District Volume _____, Page _____.

APPLICANT INFORMATION

Applicant's Name: STEPHEN BROVELLI

Applicant's Signature: [Signature]

Address: 11 JUNIPER RD.
MEDWAY MA 02053

Telephone: _____ Email: _____

The Applicant hereby appoints DANIEL A. O'DRISCOLL to act as its Agent/ Official Representative for purposes of submitting this application for endorsement of this ANR Plan.

PROPERTY OWNER INFORMATION (if different than applicant)

Property Owner Name: STEPHEN & SHARON BROVELLI / PAUL & MARY

Owner's Signature: [Signature] [Signature]

Address: 11 & 13 JUNIPER RD. MEDWAY MA

Telephone: _____ Email: _____

ENGINEER or SURVEYOR INFORMATION

Name: DANIEL A. O'DRISCOLL O'DRISCOLL LAND

Address: SURVEYING CO. 46 COTTAGE ST.
MEDWAY MA

Telephone: 508-533-3314 Email: odlandsurvey@gmail.com

ATTORNEY INFORMATION

Name: _____

Address: _____

Telephone: _____ Email: _____

PROJECT EXPLANATION

Provide a cover letter with a detailed explanation of how you propose to divide the land, what land transaction will occur, and what land reconfiguration will result from the endorsement and recording of this ANR Plan.

APPROVAL NOT REQUIRED JUSTIFICATION

The Applicant believes that the Board's approval under the Subdivision Control Law is not required for the following reasons: (Check all that apply.)

- ☐ 1. The accompanying plan does not show a division of land.
- ☒ 2. Every lot shown on the plan has frontage as required by the Medway Zoning Bylaw. The frontage required by the Zoning Bylaw is located on JUNIPER RD. (name of way(s), which is:
- ☒ a. A public way. Date of street acceptance: _____
- ☐ b. A way certified by the Town Clerk as being maintained and used as a public way. (Attach Town Clerk's certification)
- ☒ c. A way shown on a definitive subdivision plan entitled CEDAR TRAIL ESTATES that was previously endorsed by the Planning and Economic Development Board on 8/24/93 and recorded at the Norfolk County Registry of Deeds on 8/27/93
- Provide detailed recording information: PL. BOOK 416 No. 563 OF 1993
- ☐ d. A private way in existence on the ground before 1952 when the Subdivision Control Law was adopted in the Town of Medway, which has, in the opinion of the Planning & Economic Development Board, adequate width, suitable grades, and adequate construction to provide vehicular access to the lot(s) for their intended purpose of _____ and to permit the installation of municipal services to serve the lot(s) and any buildings thereon.
- ☒ 3. The division of land shown on the accompanying plan is not a "subdivision" for the following reasons: TWO PARCELS CREATED FOR EXCHANGE

O'DRISCOLL LAND SURVEYING CO.

46 COTTAGE STREET
MEDWAY, MASSACHUSETTS 02053
Phone (508) 533-3314
Email: odlandsurvey@gmail.com

Re: Approval Not Required Subdivision Plan No. 11 & No. 13 Juniper Road

Dear Town of Medway Planning and Economic Development Board,

The following letter is to serve as a detailed explanation for the subdivision plan entitled " Plan of Land Medway, Massachusetts, dated July 25, 2017 prepared by this office.

While performing a pool as-built survey for Mr. Stephen Brovelli at 11 Juniper Road, it was discovered that some of the improvements on his property were encroaching upon the abutting property, 13 Juniper Road owned by Paul & Mary Bonarrigo. The agreed upon solution was to create two equal parcels of land that each owner will swap. Parcel A, as shown on the plan, will be deeded from Bonarrigo to Brovelli, and Parcel B will be deeded from Brovelli to Bonarrigo.

After Parcel A and Parcel B are conveyed, each entire lot conforms to all the dimensional requirements in the Medway Zoning By-Laws.

If you have any questions they will be answered at the public hearing.

Sincerely,



Daniel A. O'Driscoll
Professional Land Surveyor



LOT 16 A
(INCLUDES PARCEL A)
56,415 S.F.
L.S.F.=17.46

LOT 15 A
(INCLUDES PARCEL B)
48,794 S.F.
L.S.F.=21.77

THE PURPOSE OF THIS PLAN IS TO CREATE PARCEL A TO BE DEEDED FROM BONARRIGO TO BROVELLI, AND CREATE PARCEL B TO BE DEEDED FROM BROVELLI TO BONARRIGO.

PARCEL A AND PARCEL B ARE NOT CONSIDERED SEPARATE BUILDING LOTS.

L.S.F. DENOTES LOT SHAPE FACTOR (RATIO OF THE LOT PERIMETER SQUARED TO THE LOT AREA)

CBDH FND. DENOTES CONCRETE BOUND WITH DRILL HOLE FOUND

NOTES:

1. THERE ARE NO KNOWN DECISIONS FROM THE ZONING BOARD OF APPEALS ON THIS PROPERTY.
2. THE PROPERTY IS NOT CLASSIFIED AS CHAPTER 61A OR CHAPTER 61B.

RECORD OWNER: No. 11: STEPHEN J. & SHARON A. BROVELLI
No. 13: PAUL F. & MARY M. BONARRIGO

PREPARED FOR: STEPHEN J. BROVELLI

ASSESSORS REFERENCE: MAP 4 PARCELS 033 & 034

DEED REFERENCE: NORFOLK COUNTY REGISTRY OF DEEDS
BOOK 10900 PAGE 150 (BROVELLI)
BOOK 10909 PAGE 727 (BONARRIGO)


PLAN REFERENCES: PLAN BOOK 416 PLAN No. 563 OF 1993

ZONING DISTRICT: AR I

PLAN OF LAND
IN
MEDWAY , MASSACHUSETTS

SCALE: 1"=20'

JULY 25, 2017

 *O' DRISCOLL*
LAND SURVEYING Co.
LAND SURVEYING GPS MAPPING LAND CONSULTING
46 COTTAGE STREET MEDWAY, MASSACHUSETTS 02053 (508) 533-3314

46 COTTAGE STREET MEDWAY, MASSACHUSETTS 02053 (508) 533-3314

PHILIP D. & BARBARA L. VIBERT
BOOK 10984 PAGE 58

FILE No.1824

JOHN L. & MARIE K. FYANS
BOOK 29008 PAGE 62

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED
IN CONFORMANCE WITH THE RULES AND REGULATIONS
OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH
OF MASSACHUSETTS.

PROFESSIONAL LAND SURVEYOR
DATE



PGC ASSOCIATES, LLC.

1 Toni Lane
Franklin, MA 02038-2648
508.533.8106
gino@pgcassociates.com

MEMO TO: Medway Planning and Economic Development Board

FROM: Gino D. Carlucci, Jr.

DATE: August 16, 2017

RE: Brovelli-Bonarrigo ANR on Juniper Road

I have reviewed the ANR plan submitted for endorsement by Steven Brovelli of Medway. The plan was prepared by O'Driscoll Land Surveying Co. of Medway and is dated July 25, 2017. The plan proposes to adjust the lot line between two lots by exchanging unbuildable parcels of equal area in order to correct an encroachment of a pool facility. Both lots retain compliance with zoning. The property is within the AR-I district.

I have comments as follows:

1. The plan clearly meets the substantive and technical requirements for ANR endorsement.
2. The scale 1" = 20' rather than 1" = 40' provides more detail than the required 1" = 40'.
3. Section 3.2.3 requires that the zoning district be indicated and that minimum lot area, front, side and rear yard depths be shown. The zoning district was identified but the dimensional requirements were not shown.
4. Section 3.2.4 requires that the distance between structures and any new lot lines be shown. The distance to the new lot line from 13 Juniper Road is not shown.

I recommend that the technical deficiencies be corrected and that plan be endorsed by the Board.



August 22, 2017

**Medway Planning & Economic Development Board
Meeting**

O'Brien & Sons – Construction Services
Estimate

- Estimate dated August 18, 2017 from Tetra Tech for \$11,889



O'Brien & Sons Corporate Offices
Construction Administration Budget
August 17, 2017

Item No. ¹	Inspection	Site Visits	Hrs/Inspection ²	Rate	Total
1	Erosion Control/Sedimentation/SWPPP	6	3	\$95	\$1,710
2	Clearing & Grubbing	1	3	\$95	\$285
3	Subgrade/Staking	1	3	\$95	\$285
4	Drainage: Subsurface Infiltration Basin	2	3	\$95	\$570
5	Drainage: At-Grade Infiltration Basin	1	3	\$95	\$285
6	Drainage: Piped Infrastructure	1	3	\$95	\$285
7	Sewer Service	1	3	\$95	\$285
8	Private Utilities	1	3	\$95	\$285
9	Retaining Walls	2	3	\$95	\$570
10	Site Subbase Gravel/Fine Grading	1	3	\$95	\$285
11	Site Grading	1	3	\$95	\$285
12	Binder Course Paving	1	4	\$95	\$380
13	Curb/Berm	1	3	\$95	\$285
14	Adjust Castings	1	3	\$95	\$285
15	Top Course Paving	1	4	\$95	\$380
16	Landscape/Plantings	1	3	\$95	\$285
17	Bond Estimates	2	4	\$140	\$1,120
18	Punch List Inspections ³	2	5	\$140	\$1,400
19	As-Built Plans ⁴	2	4	\$140	\$1,120
20	Meetings	4	1	\$140	\$560
21	Admin	3	2	\$63	\$378
Subtotal					\$11,323
Expenses					5.0% \$566
TOTAL					\$11,889

Notes:

¹ Each item includes site visit, inspection and written report. If construction extends beyond June 30, 2018, this estimate will be revised to utilize updated TT/Town of Medway contract hourly rates.

² If installation schedule is longer than that assumed by engineer for any item above, or if additional inspections are required due to issues with the contract work, additional compensation may be required.

³ Punch List Inspections include a substantial completion inspection and punch list memo provided to the town. It also includes one final inspection to verify that comments from the punch list have been addressed and one revision to the Punch List if required.

⁴ This item includes review of As-Built Plans, review letter and coordination with the applicant to address any issues on the plans.



August 22, 2017
Medway Planning & Economic Development Board
Meeting

Construction Reports

- Timeline for Exelon project



August 22, 2017
Medway Planning & Economic Development Board
Meeting

Oakland Park Plan Review Estimate

UPDATED

~~Note – The electronic version of the Oakland Park site plan arrived Friday morning. I have forwarded it to PGC Associates and Tetra Tech to prepare a plan review cost estimate. I will forward those to you upon receipt from them.~~

- PGC plan review fee estimate of \$855 dated 8-22-17
- TT plan review fee estimate of \$6,468 dated 8-21-17

PGC ASSOCIATES, LLC

1 Toni Lane
Franklin, MA 02038-2648
508.533.8106
gino@pgcassociates.com

August 22, 2017

Mr. Andy Rodenhiser, Chairman
Medway Planning Board
155 Village Street
Medway, MA 02053

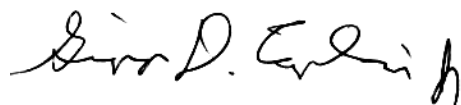
Dear Mr. Rodenhiser:

PGC Associates is pleased to present the following cost estimate to review and comment on the proposed site plan submitted by the Medway Town Administrator's Office. The proposal is to redevelop a portion of Oakland Park including associated parking, drainage, landscaping, etc. The plan was prepared by CBA Landscape Architects, LLC of Cambridge. The plan is dated August 17, 2017.

<u>Task</u>	<u>Hours</u>
Technical review and comment on initial submittal for compliance with zoning and site plan regulations	3.0
Attendance at Planning Board meetings/hearings	2.0
Review and comment on revised plans	1.5
Review and comment on draft Certificate of Action	2.5
Total	9.0
Cost Estimate (@\$95)	\$855.00

If there are any questions about this estimate, please call me.

Sincerely,



Gino D. Carlucci, Jr.



August 21, 2017

Ms. Susan E. Affleck-Childs
Medway Planning and Economic Development Coordinator
155 Village Street
Medway, MA 02053

**Re: Oakland Park Improvements
Site Plan Review
Medway, Massachusetts**

Dear Ms. Affleck-Childs:

We are pleased to submit this Proposal to the Town of Medway (the Client) for professional engineering services associated with the Oakland Park Improvements Site Plan Review in Medway, Massachusetts (the Project). The objective of our services is to review the site plan package and provide review comments as they relate to applicable Town of Medway Rules and Regulations, Department of Environmental Protection Stormwater Management Standards, and sound engineering practice. We have excluded from our scope, the review of the application package as it relates to the Town of Medway Zoning By-Laws which will be conducted by a separate consultant.

Scope of Services

The following specifically describes the Scope of Services to be completed:

Task 1 Site Visit

- A. Perform one (1) site visits to review the site and its surroundings;
- Budget Assumption: 1 Visit
2 hours @ \$140/hr = \$280
Total = \$280

Task 2 Design Review

- A. Review the Application for Major Site Plan Approval, and supporting documentation, and incorporate comments into review letter in item D below;
- Budget Assumption: 1 hour @ \$240/hr = \$240
1 hour @ \$140/hr = \$140
1 hour @ \$140/hr = \$140
Total = \$380
- B. Review the proposed Site Plans and incorporate comments into review letter in item D below;
- Budget Assumption: 2 hours @ \$240/hr = \$480
3 hours @ \$140/hr = \$420
3 hours @ \$140/hr = \$420
Total = \$900
- C. Review the Stormwater Report for compliance with the latest Massachusetts Department of Environmental Protection Stormwater Management Standards and good engineering practice and incorporate comments into review letter in item D below;
- Budget Assumption: 1 hours @ \$240/hr = \$240
4 hours @ \$140/hr = \$560
4 hours @ \$140/hr = \$560
Total = \$800

- D. Prepare a letter summarizing findings for presentation to the Town of Medway Planning and Economic Development Board;

- Budget Assumption: 2 hours @ \$240/hr = \$480
6 hours @ \$140/hr = \$840
Total = \$1,320

- E. Coordinate with applicant to address items in review letter and issue an updated letter upon receipt of modifications:

- Budget Assumption: 2 hours @ \$240/hr = \$480
4 hours @ \$140/hr = \$560
Total = \$1,040

Task 3 Meeting Attendance

- A. Participate in two (2) hearings/meetings with the Town of Medway Planning and Economic Development Board.

- Budget Assumption: 2 Meetings @ 3 hours per meeting = 9 Hours
6 hours @ \$240/hr = \$1,440
Total = \$1,440

Cost

Our cost for the above Scope of Services will be on a time and expenses basis in accordance with Tetra Tech's and existing Town of Medway contract rates. Direct expenses will be billed at a fixed fee of five (5) percent of labor costs. We suggest that you establish a budget identified below for these services, which will not be exceeded without your approval. Please be advised that this estimate is based on our current understanding of the Project needs and is for budget purposes only. The total cost of our services will depend greatly on the completeness and adequacy of the information provided.

The breakdown of this fee by task is as follows:

Task	Task Description	Fee
Task 1	Site Visit	\$280
Task 2	Design Review	\$4,440
Task 3	Meeting Attendance	\$1,440
	Labor Subtotal	\$6,160
	Expenses (5%)	\$308
Total Fee		\$6,468

Schedule

We are prepared to begin work immediately upon receipt of this executed Proposal. We recognize that timely performance of these services is an important element of this Proposal and will put forth our best effort, consistent with accepted professional practice, to comply with the project's needs. We are not responsible for delays in performance caused by circumstances beyond our control or which could not have reasonably been anticipated or prevented

General Terms and Conditions

This Proposal is subject to the existing Terms and Conditions signed by Tetra Tech and the Town of Medway. Should this proposal meet with your approval, please sign and return a copy to us for our files. Your signature provides full authorization for us to proceed. We look forward to working with you on this Project. Please contact us with any questions, or if you require additional information.

Very truly yours,



Sean P. Reardon, P.E.
Vice President



Steven M. Bouley, P.E.
Senior Project Engineer

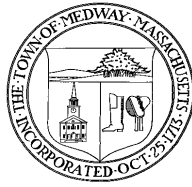
Date Approved by Medway Planning and Economic Development Board_____

Certified by:

Susan E. Affleck-Childs
Medway Planning and Economic Development Coordinator

Date

M:\SITE\BOULEY\MEDWAY_PEDB_OAKLAND PARK IMPROVEMENTS SITE PLAN REVIEW_2017-08-21.DOCX



August 22, 2017
Medway Planning & Economic Development Board
Meeting

Public Hearing Continuation
Paul Revere Estates Definitive Subdivision Plan
33 Main Street

- Email dated July 28, 2017 from Barry Smith, Deputy Director, Medway Department of Public Services
- Revised subdivision plan dated August 8, 2017
- Project engineer Dan Merrikin's letter dated August 9, 2017 in response to the consultants' previous review letters on the originally submitted subdivision plan (PGC & Tetra Tech)
- Collection of emails between Dan Merrikin and Fire Chief Jeff Lynch about the size of the paved cul-de-sac.
- Email dated August 14, 2017 from Sergeant Jeff Watson, Medway Police Department
- PGC review comments dated August 15, 2017 on the revised plan
- Tetra Tech review comments dated August 14, 2017 on the revised subdivision plan
- Email communication dated August 18, 2017 from resident Bruce Hamblin

Susan Affleck-Childs

From: Barry Smith
Sent: Friday, July 28, 2017 10:01 AM
To: Susan Affleck-Childs
Subject: Paul Revere

Good Morning Susy,

I meet with Dan Merrikin this morning and went over the sewer, they are fine with what they want to do. Any questions please let me know.

Thanks,

Barry Smith
DPS Deputy Director
45b Holliston Street
Medway, MA 02053
O 508-321-4930 M 774-285-0482 F 508-321-4985



www.townofmedway.org

[Facebook](#) [Twitter](#)

Please remember when writing or responding, the Massachusetts Secretary of State has determined that e-mail is a public record.

The information in this e-mail, including attachments, may contain privileged and confidential information intended only for the person(s) identified above. If you are not the intended recipient, you are hereby notified that any dissemination, copying or disclosure of this communication is strictly prohibited. Please discard this e-mail and any attachments and notify the sender immediately.

PAUL REVERE ESTATES

DEFINITIVE SUBDIVISION

PREPARED BY:
MERRIKIN ENGINEERING, LLP
730 MAIN STREET, SUITE 2C
MILLIS, MA 02054

PLAN
JUNE 9, 2017
LATEST REVISION: AUGUST 8, 2017

PREPARED FOR:
NOTWEN REALTY TRUST
33 FRUIT STREET
NORFOLK, MA 02056

FOR REGISTRY USE

SUBDIVISION STATISTICS

TOTAL LAND AREA: 492,621 S.F. ±
NUMBER OF LOTS: 5
NUMBER OF PARCELS: 2
TOTAL LOT/PARCEL AREA: 459,670 S.F. ±
LOT 1: 47,121 S.F. ±
LOT 2: 53,534 S.F. ±
LOT 3: 49,933 S.F. ±
LOT 4: 47,965 S.F. ±
LOT 5: 44,128 S.F. ±
PARCEL C: 216,988 S.F. ±
PARCEL E: 32,950 S.F. ±
TOTAL WETLAND AREA: 195,933 S.F. ±
TOTAL UPLAND AREA: 296,688 S.F. ±
TOTAL STREET AREA: 32,951 S.F. ±
TOTAL OPEN SPACE: 0 S.F.

SUBDIVISION NOTES:

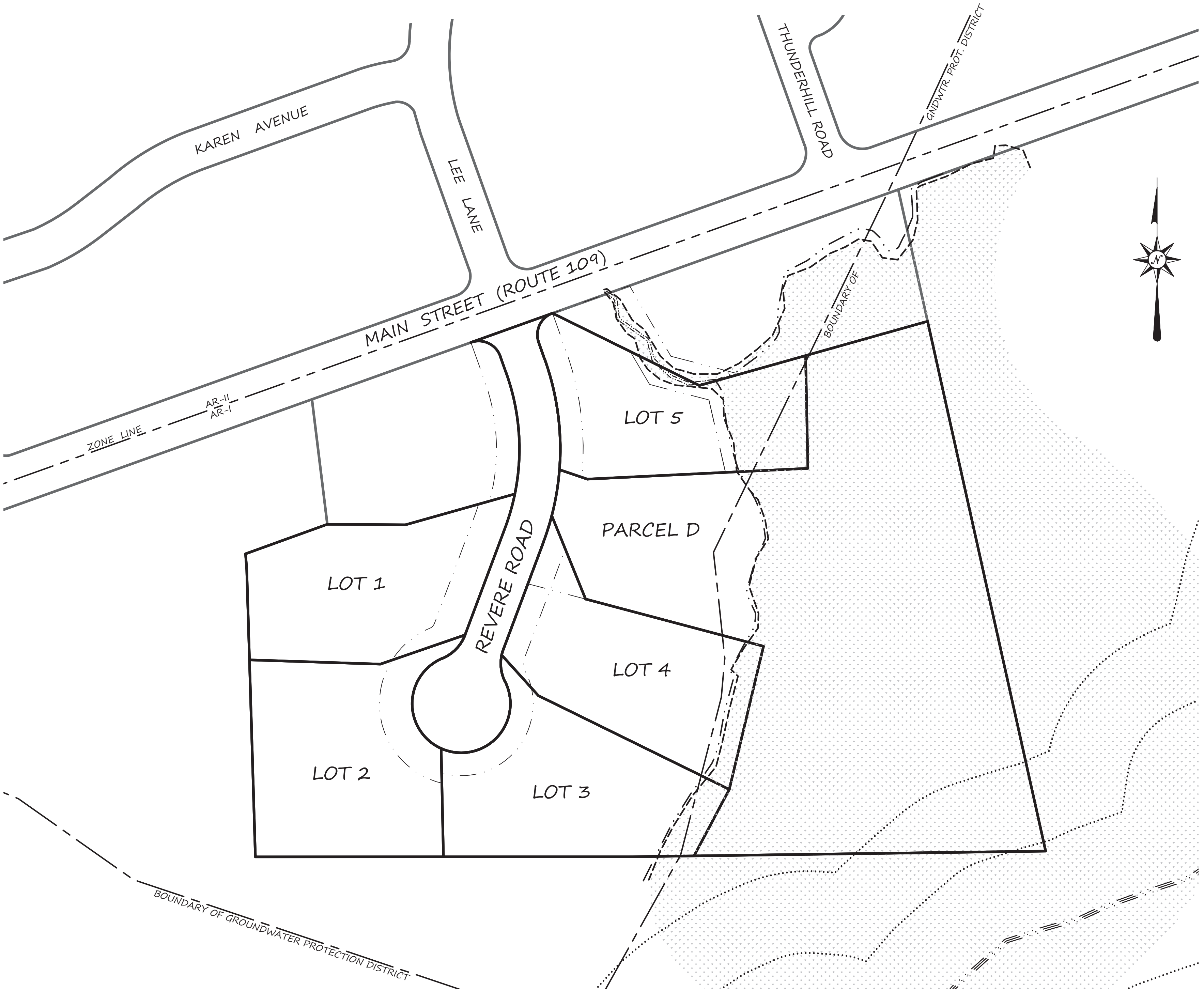
- ALL IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH MASS HIGHWAY HANDICAP REQUIREMENTS AND THE CURRENT ADA/AAAS REQUIREMENTS IN EFFECT AT THE TIME OF CONSTRUCTION.

WAIVER REQUESTS:

- 5.7.6 CONTENTS OF DEFINITIVE SUBDIVISION PLAN SET TO EXCLUDE THE LOCATIONS OF EXISTING TREES WITH A DIAMETER OF ONE FOOT (1") OR GREATER AT TWENTY-FOUR INCHES (24") ABOVE GRADE, EXCEPT HARDWOOD TREES OF TWENTY FOUR INCHES (24") OR GREATER DIAMETER AT FOUR FEET (4') ABOVE GRADE WITHIN THE AREA OF CONSTRUCTION.
- 7.7.2.p STORMWATER MANAGEMENT TO REDUCE THE SETBACK LIMIT OF STORMWATER BASINS FROM THIRTY FEET (30') TO TWENTY FEET (20').
- 7.9.6.e.1 TO ALLOW THE CUL-DE-SAC PAVED DIAMETER TO BE REDUCED TO 88 FEET.

PAYMENTS TO BE MADE:

- 7.13.3 SIDEWALKS
A PAYMENT WILL BE MADE TO THE TOWN OF MEDWAY IN LIEU OF SIDEWALK CONSTRUCTION ALONG EXISTING TOWN WAYS.



LOCUS
SCALE: 1" = 80'

ZONING DISTRICT:
AGRICULTURAL RESIDENTIAL I

ASSESSORS PARCEL:
MAP 41, PARCEL 35-1

OWNER/APPLICANT:
NOTWEN REALTY TRUST
33 FRUIT STREET
NORFOLK, MA 02056

I CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE THE PLANNING BOARD APPROVAL AND NO APPEAL HAS BEEN FILED IN THIS OFFICE.

TOWN CLERK

DATE

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

I CERTIFY THAT THIS SURVEY AND PLAN CONFORMS TO THE ETHICAL, PROCEDURAL AND TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.

PROFESSIONAL LAND SURVEYOR

CONDITIONALLY APPROVED IN ACCORDANCE WITH M.G.L. CHAPTER 41, SECTION 81U, BY DECISION DATED _____ AND FILED WITH TOWN CLERK ON _____, AND SUBJECT TO COVENANTS, CONDITIONS AND RESTRICTIONS SET FORTH IN A COVENANT DATED _____ TO BE RECORDED HERewith.

DATE APPROVED: _____

DATE ENDORSED: _____

TOWN OF MEDWAY PLANNING AND ECONOMIC DEVELOPMENT BOARD

PLAN SCALE: 1"=80'



PLAN DATE: JUNE 9, 2017

DATE
8/8/2017

REVISION
CHANGES PER BOARD CONSULTANTS

PAUL REVERE ESTATES
DEFINITIVE SUBDIVISION
COVER SHEET
PLAN OF LAND IN
MEDWAY, MA



Digitally signed by Daniel J. Merrikin, P.E.
Date: 2017.08.09 13:09:17
-04'00'

MERRIKIN
ENGINEERING, LLP

730 MAIN STREET, SUITE 2C
MILLIS, MA 02054
ph. 508-376-8883 fax 508-376-8823

D104-01

SHEET 1 OF 12

1. **SURVEY & PLAN REFERENCES:**
 - A. PROPERTY LINE AND TOPOGRAPHICAL SURVEY BY COLONIAL ENGINEERING AND ARE THE RESULT OF AN ON-THE-GROUND SURVEY.
 - B. REGISTRY REFERENCES:
 - PLAN REFERENCES:
PLAN BOOK 599, NO. 13
 - DEED REFERENCES:
BOOK 9237, PAGE 439
 - C. DATUM: NAVD88
 - D. A.N.R.PLAN DATED MAY 4, 2017 BY COLONIAL ENGINEERING, INC.
2. EXISTING UTILITY INFORMATION IS BASED ON BEST AVAILABLE RECORDS AND VISIBLE SURFACE FEATURES SUCH AS MANHOLES, CATCH BASINS, UTILITY POLES, HYDRANTS, VALVE BOXES, ETC.. EXISTING UTILITY INFORMATION DEPICTED ON THESE PLANS ARE NOT WARRANTED TO BE CORRECT AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING ALL LOCATIONS PRIOR TO COMMENCEMENT OF WORK.
3. FEATURES OUTSIDE OF THE SUBDIVISION SUCH AS ADJACENT STRUCTURES ARE APPROXIMATE ONLY AND BASED ON AVAILABLE AERIAL PHOTOGRAPHY.
4. THE DEVELOPER SHALL RETAIN FEE INTEREST IN THE ROADWAY RIGHT-OF-WAY AND WILL GRANT TO THE TOWN THE FEE IN SUCH ROADWAY RIGHT-OF-WAY AND DRAINAGE EASEMENTS.
5. THE NAME OF THE PROPOSED ROADWAY, REVERE ROAD, IS SUBJECT TO TOWN APPROVAL.
6. PARCEL D SHALL BE CONVEYED TO THE TOWN OF MEDWAY AT THE TIME OF STREET ACCEPTANCE.

1. WETLANDS BOUNDARIES WERE DELINEATED BY RUSSELL WALDRON AND HAVE NOT BEEN APPROVED BY THE CONSERVATION COMMISSION AS OF THE DATE OF THIS PLAN.

1. THE CONTRACTOR SHALL CONTACT DIGSAFE AT 811 PRIOR TO ANY EXCAVATION ACTIVITIES.
2. THE DEVELOPER SHALL OBTAIN A STREET OPENING PERMIT FROM THE TOWN OF MEDWAY, IF REQUIRED.
3. THE DEVELOPER SHALL BE RESPONSIBLE FOR PROVIDING THE REQUIRED STREET NAME AND STOP SIGNS IN ACCORDANCE WITH TOWN STANDARDS.
4. UNLESS OTHERWISE WAIVED IN THE DEFINITIVE SUBDIVISION APPROVAL, ALL CONSTRUCTION SHALL CONFORM TO THE SUBDIVISION REGULATIONS.
5. GRANITE THROAT STONES SHALL BE INSTALLED WITH ALL CATCH BASINS AGAINST A ROADWAY GUTTER/CURB LIFT.
6. GRANITE TRANSITION STONES SHALL BE PROVIDED BETWEEN ALL VERTICAL GRANITE (INCLUDING THROAT STONES) AND SLOPED BERM.
7. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE DESIGN OF ANY STRUCTURAL RETAINING WALLS (WALLS WITH AN EXPOSED FACE OF GREATER THAN 4"). DESIGN SHALL BE BY A REGISTERED STRUCTURAL ENGINEER AND SHALL BE STAMPED ACCORDINGLY.

1. DEPENDENCY ON FINANCING AND OTHER MARKET CONDITION ISSUES, CONSTRUCTION IS EXPECTED TO COMMENCE IN THE FALL OF 2017 WITH ROADWAY CONSTRUCTION COMPLETED TO BINDER COURSE BY THE SPRING OF 2018. HOUSE CONSTRUCTION IS EXPECTED TO OCCUR FROM THE SPRING OF 2018 THROUGH THE SPRING OF 2020, WITH FINAL ROADWAY CONSTRUCTION OCCURRING IN 2020-2021.
2. REFER TO THE NPDES SWPPP FOR A MORE DETAILED CONSTRUCTION SEQUENCE, WHICH IS GENERALLY AS FOLLOWS:
 - 2.1. INSTALLATION OF EROSION CONTROLS
 - 2.2. FLAGGING OF TREES FOR REMOVAL
 - 2.3. TREE CLEARING AND GRUBBING
 - 2.4. TOPSOIL STRIP AND STOCKPILE
 - 2.5. CUTS AND FILLS TO SUBGRADE
 - 2.6. INSTALLATION OF STORMWATER SYSTEM AND INFILTRATION BASIN
 - 2.7. INSTALLATION OF ROADWAY UTILITIES
 - 2.8. SUBGRADE AND INSTALL ROADWAY AND SIDEWALK GRAVEL
 - 2.9. INSTALL BINDER COURSE PAVEMENT, LOAM AND SEED SHOULDERS
 - 2.10. COMMENCE HOUSE CONSTRUCTION
 - 2.11. INSTALL TOP COURSE PAVEMENT

1. ALL PIPELINE LINEAR FOOTAGES REFERENCED IN THESE PLANS ARE HORIZONTAL DISTANCES AND DO NOT REFLECT THE SLOPED DISTANCE OF THE PIPELINE.
2. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE DESIGN OF ALL UNDERGROUND FIRE ALARM, GAS, ELECTRICAL, TELEPHONE, AND CABLE DISTRIBUTION SYSTEMS WITHIN THE ROADWAY RIGHT-OF-WAY. DESIGN SHALL INCLUDE THE APPROPRIATE CONDUIT RUNS AND JUNCTION BOX LOCATIONS. JUNCTION BOXES HAVE BEEN APPROXIMATELY SHOWN ON THE LOT CORNERS BUT SUCH LOCATIONS MAY BE CHANGED BY THE ELECTRIC COMPANY AT THE TIME OF CONSTRUCTION.
3. WATER MAINS SHALL BE CLASS 52 CEMENT LINED DUCTILE IRON PIPE. ALL BRASS GOODS FOR POTABLE WATER SYSTEMS TO BE LEAD FREE.
4. UNLESS OTHERWISE NOTED, DRAIN PIPING WITHIN THE RIGHT-OF-WAY SHALL BE CLASS IV REINFORCED CONCRETE PIPE (RCP) WITH O-RING SEAL JOINTS.
5. SEWER MAIN TO BE SDR35.
6. ALL WATER MAIN AND SERVICE COMPONENTS TO BE IN ACCORDANCE WITH THE TYPICAL REQUIREMENTS OF THE MEDWAY DPW.

- LEE LANE - 22'
- KAREN AVENUE - 24'
- CAROL LANE - 26'
- GORWIN DRIVE - 26'
- BEATRICE LANE - 26'
- COFFEE STREET - 24'
- THUNDER HILL ROAD - 20'
- MAIN STREET - 30'
- VERNON ROAD - 22'

SHEET 1 - COVER SHEET

SHEET 2 - NOTES, LOCUS, LEGEND

SHEET 3 - O&M PLAN

SHEET 4 - EXISTING C

SHEET 5 - LAYOUT PLAN

SHEET 6 - GRADING PLAN

SHEET 7 - ROAD PLAN & PROFILE

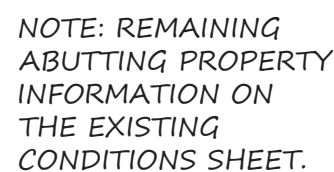
SHEET 8 - STORMWATER BASIN

SHEET 9 - DETAILS

SHEET 10 - DETAILS

SHEET 11 - DETAIL

SHEET 12 - DETAIL



LOCUS PLAN
SCALE: 1" = 200'

CB: EXISTING CATCH BASIN
 CB: PROP. SINGLE-CATCH CATCH BASIN
 CB: PROP. DOUBLE-CATCH CATCH BASIN
 CH: EXISTING CHOKER/TREATMENT UNIT
 DMH: DRAIN MANHOLE
 TR DR: TRENCH DRAIN
 INFIL TR: INFILTRATION TRENCH
 X P DRAIN PIPELINE
 RCP: REINFORCED CONCRETE PIPE
 PVC: POLYVINYL CHLORIDE PIPE
 SSMH: SEWER MANHOLE
 X S S SEWER PIPELINE
 OCO: SEWER SERVICE CLEANOUT
 W M WATER MAIN
 HYD HYDRANT
 GV: WATER GATE VALVE
 CS: WATER SERVICE CURB STOP
 MB: WATER SERVICE METER BOX
 G GAS PIPELINE
 L: LIGHT POLE
 U.P.: UTILITY POLE
 G.V. G. VALVE
 S.P.: TRAFFIC SIGNAL POLE
 252 EXISTING CONTOUR
 252 PROPOSED CONTOUR
 E.O.P. EDGE OF PAVEMENT
 V.B.B. INTEGRAL SLOPED BIT. BERM
 V.B.B. VERTICAL BITUMINOUS BERM
 S.G.B. SLOPED GRANITE CURB
 G.V. GRANITE CURB
 V.C.C. VERTICAL CONCRETE CURB
 E.C.B. EDGE CONCRETE SLAB
 G.V. GATE VALVE
 L.F. CHAIN LINK FENCE
 W.S.F. WOOD STOCKADE FENCE
 P.P.F. PICK FICKET FENCE
 G.B. GUARD RAIL
 C. HANDICAP CURB CUT

ZONING DISTRICT:
AGRICULTURAL RESIDENTIAL 1

ASSESSORS PARCEL:
MAP 41, PARCEL 35-1

OWNER/APPLICANT:
NOTWEN REALTY TRUST
33 FRUIT STREET
NORFOLK, MA 02056

I CERTIFY THAT 20 DAYS HAVE ELAPSED
SINCE THE PLANNING BOARD APPROVAL
AND NO APPEAL HAS BEEN FILED IN THIS
OFFICE.

TOWN CLERK

DATE _____

I CERTIFY THAT THIS PLAN HAS BEEN
PREPARED IN CONFORMITY WITH THE
RULES AND REGULATIONS OF THE
REGISTERS OF DEEDS OF THE
COMMONWEALTH OF MASSACHUSETTS.

I CERTIFY THAT THIS SURVEY AND PLAN
CONFORMS TO THE ETHICAL, PROCEDURAL
AND TECHNICAL STANDARDS FOR THE
PRACTICE OF LAND SURVEYING IN THE
COMMONWEALTH OF MASSACHUSETTS.

PROFESSIONAL LAND SURVEYOR

CONDITIONALLY APPROVED IN
ACCORDANCE WITH M.G.L. CHAPTER 41,
SECTION 81U, BY DECISION DATED
_____ AND FILED WITH TOWN
CLERK ON _____, AND
SUBJECT TO, COVENANTS, CONDITIONS
AND RESTRICTIONS SET FORTH IN A
COVENANT DATED _____ TO BE
RECORDED HEREWITH.

DATE APPROVED: _____

DATE ENDORSED: _____

TOWN OF MEDWAY PLANNING AND
ECONOMIC DEVELOPMENT BOARD

PLAN SCALE: 1" = 200'

PLAN DATE: JUNE 9, 2017

PLAN DATE: 6/1/01

REVISION

CHANGES PER BOARD CONSULTANTS

PAUL REVERE ESTATES
DEFINITIVE SUBDIVISION
NOTES, LOCUS, LEGEND
PLAN OF LAND IN
MEDWAY, MA



Digitally signed by Daniel J.
Merrikin, P.E.
Date: 2017.08.09 13:08:22
-04'00'



730 MAIN STREET, SUITE 2C
MILLIS, MA 02054
ph. 508-376-8883 fax 508-376-8823

D104-01

SHEET 2 OF 12

OPERATION AND MAINTENANCE PLAN

THIS OPERATIONS AND MAINTENANCE PLAN (HEREINAFTER REFERRED TO "O&M PLAN") IS PROVIDED TO ENSURE THE LONG-TERM MONITORING AND MAINTENANCE OF VARIOUS COMPONENTS OF THE PAUL REVERE ESTATES INFRASTRUCTURE. THIS O&M PLAN INCLUDES THE FOLLOWING PROVISIONS:

- 1.STORMWATER SYSTEM OPERATIONS AND MAINTENANCE
2.MISCELLANEOUS PROVISIONS
3.ACCIDENTAL SPILL AND EMERGENCY RESPONSE PLAN

THE "DEVELOPMENT" AND THE VARIOUS COMPONENTS WHICH ARE REFERENCED IN THIS O&M PLAN ARE DESCRIBED ON THE SITE PLAN REFERENCED BELOW.

REFERENCES

THIS O&M PLAN REFERENCES OTHER DOCUMENTS AS FOLLOWS:
SITE PLAN – PLANS ENTITLED "PAUL REVERE ESTATES DEFINITIVE SUBDIVISION PLAN" WITH AN ORIGINAL DATE OF JUNE 9, 2017 (AS MAY BE AMENDED), AND PREPARED BY MERRIKIN ENGINEERING, LLP, HEREINAFTER REFERRED TO AS THE "SITE PLAN".
STORMWATER REPORT – REPORT ENTITLED "PAUL REVERE ESTATES DEFINITIVE SUBDIVISION PLAN, 39 MAIN ST. MEDWAY, MA 02053" PREPARED BY MERRIKIN ENGINEERING, LLP WITH AN ORIGINAL DATE OF JUNE 9, 2017 (AS MAY BE AMENDED).

SITE DESCRIPTION

THE SITE CONSISTS OF FIVE PROPOSED RESIDENTIAL BUILDINGS LOCATED ON 11.31 ACRES OF LAND ON MAIN STREET IN MEDWAY AND INCLUDES ALL APPURTENANT UTILITY SYSTEMS, SEPTIC SYSTEMS LANDSCAPE AREAS, AND STORMWATER MANAGEMENT SYSTEMS. THOSE LAND AREAS ARE COLLECTIVELY REFERRED TO HEREIN AS THE "DEVELOPMENT."

SITE USAGE AND ACTIVITIES

SINGLE FAMILY RESIDENTIAL BUILDINGS AND ASSOCIATED APPURTENANCES.

PART 1: STORMWATER SYSTEM OPERATIONS AND MAINTENANCE

IN ORDER TO MAXIMIZE THE CONTINUED EFFECTIVENESS OF THE STORMWATER MANAGEMENT BMP'S FOR PAUL REVERE ESTATES, THE FOLLOWING OPERATION AND MAINTENANCE REQUIREMENTS APPLY TO ALL STORMWATER FACILITIES WITHIN THE EXTENTS OF THE DEVELOPMENT. THE STORMWATER FACILITIES ARE DEPICTED ON THE SITE PLAN AND ARE HEREINAFTER REFERRED TO AS THE "STORMWATER FACILITIES."

OPERATIONS AND MAINTENANCE RESPONSIBILITIES

THE OPERATOR OR ITS DESIGNEE SHALL BE RESPONSIBLE FOR IMPLEMENTING ALL OPERATIONS AND MAINTENANCE (O&M) RESPONSIBILITIES.

EASEMENT AREAS

THE DEVELOPMENT CONTAINS A STORMWATER EASEMENT ON LOTS 4 AND 5, AND AN OFF-SITE EASEMENT ON LOT B. THESE WILL BE CONVEYED TO THE TOWN OF MEDWAY.

COMMENCEMENT OF OPERATIONS AND MAINTENANCE RESPONSIBILITIES

OPERATIONS AND MAINTENANCE TASKS SHALL BE COMMENCED ONCE EACH RESPECTIVE STORMWATER FACILITY IS FULLY CONSTRUCTED AND IS RECEIVING RUNOFF FROM THE DEVELOPMENT.

OPERATIONS AND MAINTENANCE TASKS

DEEP SUMP CATCH BASINS:

1. DEEP SUMP CATCH BASINS SHALL BE INSPECTED MONTHLY DURING CONSTRUCTION ACTIVITIES AND ALL SEDIMENTS AND DEBRIS SHALL BE REMOVED FOUR TIMES PER YEAR UNLESS THE OWNER CAN DETERMINE THROUGH RECORDED OBSERVATIONS THAT SEDIMENT ACCUMULATION DOES NOT WARRANT SUCH FREQUENT CLEANINGS. IF DEEP SUMP CATCH BASIN CLEANING OCCURS LESS THAN FOUR TIMES PER YEAR, CLEANING SHALL OCCUR WHEN TWO FEET OF SEDIMENTS HAVE ACCUMULATED IN THE SUMP AND AT LEAST ONCE PER YEAR.
2. ALL SEDIMENTS AND HYDROCARBONS SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS.

SEDIMENT FOREBAYS:

1. SEDIMENT FOREBAYS SHALL BE INSPECTED AT LEAST FOUR TIMES PER YEAR TO INSURE PROPER OPERATION (DURING A STORM EVENT).
2. SEDIMENT FOREBAYS SHOULD BE MOWED AND ALL CLIPPINGS AND DEBRIS REMOVED AT LEAST TWICE PER YEAR. DEBRIS SHALL BE REMOVED AT MORE FREQUENT INTERVALS IF WARRANTED BY EXTREME WEATHER EVENTS.
3. SEDIMENT SHOULD BE REMOVED WHEN 3-INCHES OF SEDIMENT ACCUMULATES ANYWHERE IN THE FOREBAY.

STORMWATER INFILTRATION BASIN:

1. STORMWATER BASINS SHALL BE INSPECTED AT LEAST TWICE PER YEAR TO INSURE PROPER OPERATION (DURING A STORM EVENT).
2. INSPECTIONS SHALL INCLUDE ENSURING THAT INLET, OUTLET, AND SPLASH PAD RIP-RAP APRONS ARE IN GOOD CONDITION AND THAT THAT INTERIOR WALL SYSTEMS ARE IN GOOD CONDITION. DEFICIENCIES SHALL BE REMEDIED IMMEDIATELY.
3. INSPECTIONS SHALL INCLUDE AN OBSERVATION OF THE ACCUMULATION OF SEDIMENT IN THE BASIN. PRETREATMENT BMPs ARE INTENDED TO CAPTURE AND CONTAIN COARSE SEDIMENTS. SHOULD INDICATION OF SIGNIFICANT ACCUMULATION OF SEDIMENTS IN THE INFILTRATION BASIN BE OBSERVED, INCREASED FREQUENCY OF CLEANING OF THE PRECEDING SEDIMENT FOREBAY AND CATCH BASINS SHALL BE IMPLEMENTED.
4. INSPECTIONS SHALL INCLUDE ENSURING THAT OUTLET STRUCTURES ARE UNOBSTRUCTED AND FREE-FLOWING PER THE SITE PLAN DESIGN SPECIFICATIONS.
5. INSPECTIONS SHALL INCLUDE ENSURING THAT ALL BERMS ARE FULLY STABILIZED, STRUCTURALLY SOUND AND NOT ERODED. DEFICIENCIES SHALL BE REMEDIED IMMEDIATELY.
6. STORMWATER BASINS SHOULD BE MOWED AND ALL CLIPPINGS AND DEBRIS REMOVED AT LEAST TWICE PER YEAR. DEBRIS SHALL BE REMOVED AT MORE FREQUENT INTERVALS IF WARRANTED BY EXTREME WEATHER EVENTS. IF WETLAND VEGETATION GROWS AT THE BOTTOM OF THE STORMWATER BASIN, IT SHALL ONLY BE MOVED ONCE PER YEAR AT THE BEGINNING OF THE WINTER SEASON.
7. SEDIMENT SHOULD BE REMOVED AT LEAST ONCE EVERY 5 YEARS OR WHEN 2-INCHES OF SEDIMENT ACCUMULATES ANYWHERE IN THE BASIN AND DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS. TWO SEDIMENTATION MARKERS SHALL BE INSTALLED IN THE BASIN BY A REGISTERED LAND SURVEYORS WITH A CLEAR MARKING OF THE 2-INCH ACCUMULATION LINE. IT IS RECOMMENDED THAT STONE BOUNDS BE INSTALLED WITH CHISELED MARKS INDICATING THE LIMIT OF ACCUMULATION, ALTHOUGH OTHER SIMILARLY PERMANENT MARKING METHODS MAY BE UTILIZED.

STORMWATER PIPES, INLETS AND OUTFALLS:

1. ALL STORMWATER INLETS AND OUTFALLS SHALL BE INSPECTED TWICE PER YEAR.
2. TRASH, LEAVES, DEBRIS AND SEDIMENT SHALL BE REMOVED FROM INLETS AND OUTFALLS AS NEEDED TO KEEP THEM FREE FLOWING.
3. IF INSPECTIONS INDICATE THAT STORMWATER PIPELINES HAVE BECOME PARTIALLY OBSTRUCTED WITH TRASH, LEAVES, DEBRIS OR SEDIMENT, THE PIPELINES SHALL BE CLEANED BY WATER JET TRUCK AND THE OBSTRUCTIONS REMOVED AND DISPOSED OF.

THE VARIOUS OPERATIONS AND MAINTENANCE SCHEDULE REQUIREMENTS LISTED ABOVE MAY BE REDUCED IN FREQUENCY BY APPROVAL FROM THE TOWN. SHOULD SUCH PERMISSION BE DESIRED, THE OPERATOR SHALL PROVIDE DOCUMENTATION OF ACTUAL ON-SITE MAINTENANCE OBSERVATIONS BY A QUALIFIED SOURCE (ENGINEER OR OTHER QUALIFIED PERSON MEETING THE APPROVAL OF THE TOWN) DEMONSTRATING THAT THE PARTICULAR STORMWATER BMP IN QUESTION DOES NOT WARRANT THE SPECIFIED FREQUENCY OF INSPECTION OR MAINTENANCE ACTIVITIES.

ROOF RUNOFF INFILTRATION SYSTEMS:

ROOF RUNOFF INFILTRATION SYSTEMS SHALL BE MAINTAINED IN GOOD WORKING ORDER AT ALL TIMES BY EACH LOT OWNER. ANY SELLER WITHIN THE SUBDIVISION SHALL PROVIDE THE NEW OWNER WITH A BRIEF WRITTEN DESCRIPTION OF THE SYSTEM AND THE MAINTENANCE REQUIREMENTS OF THIS SECTION. GUTTERS AND DOWNSPOUTS SHALL BE MAINTAINED IN GOOD WORKING ORDER AT ALL TIMES. THE LOT OWNER SHALL INSPECT THE ROOF RUNOFF LEACHING SYSTEM ONCE PER CALENDAR YEAR SHORTLY AFTER A SMALL RAINSTORM EVENT TO ENSURE THAT WATER ACCUMULATION WITHIN THE ROOF RUNOFF LEACHING SYSTEM IS NOT EXCESSIVE. IT SHOULD BE NOTED THAT THESE SYSTEMS ARE GENERALLY DESIGNED TO OVERFLOW DURING STORM EVENTS LARGER THAN APPROXIMATELY 1.5-INCHES OF RAINFALL. DURING SMALL STORM EVENTS, THERE SHOULD BE NO OVERFLOW. OVERFLOW DURING SMALL STORM EVENTS IS LIKELY AN INDICATION OF A FAILED SYSTEM DUE TO CLOGGING OF THE SOILS AROUND THE SYSTEM OR MAY BE INDICATIVE OF A BLOCKED PIPE. IF THIS HAPPENS, THE LOT OWNER SHALL REPLACE THE SYSTEM IN ACCORDANCE WITH THE ORIGINAL DESIGN OR EFFECT AN APPROPRIATE REPAIR, IF IT IS DETERMINED THAT THIS REPAIR WILL ALLEVIATE THE PROBLEM.

REPORTING REQUIREMENTS

THE FOLLOWING DOCUMENTATION SHALL BE SUBMITTED NO LATER THAN DECEMBER 31ST OF EACH CALENDAR YEAR TO THE TOWN:

1. A STATEMENT, SIGNED BY AN AUTHORIZED REPRESENTATIVE OF THE OPERATOR INDICATING THAT THE REQUIREMENTS OF THIS O&M PLAN WERE PERFORMED DURING THE PREVIOUS CALENDAR YEAR. WHERE REQUIREMENTS WERE NOT MET, A SCHEDULE FOR THEIR COMPLETION SHALL BE PROVIDED AND A FOLLOW-UP STATEMENT SUBMITTED WHEN COMPLETE.
2. A LIST OF THE MAINTENANCE ACTIVITIES PERFORMED ALONG WITH THE APPROXIMATE DATE OF THE WORK.
3. A LIST OF THE INSPECTIONS PERFORMED ALONG WITH A STATEMENT BY EACH INSPECTOR SUMMARIZING THE RESULTS OF THE INSPECTIONS PERFORMED IN ACCORDANCE WITH THIS O&M PLAN.
4. COPIES OF APPURTENANT DOCUMENTATION SUPPORTING THE COMPLETION OF THE O&M RESPONSIBILITIES SUCH AS COPIES OF CONTRACTS AND/OR RECEIPTS WITH PARTIES ENGAGED TO PERFORM MAINTENANCE AND INSPECTION SERVICES.
5. A NOTATION REGARDING WHETHER THERE HAS BEEN ANY CHANGE IN THE NAME AND OR CONTACT INFORMATION FOR THE OPERATOR.

PUBLIC SAFETY FEATURES

THE STORMWATER SYSTEM HAS BEEN DESIGNED TO SAFELY COLLECT SURFACE RUNOFF FROM DEVELOPED AREAS (AS DESCRIBED ON THE SITE PLAN AND STORMWATER REPORT) BY PROVIDING COLLECTIONS SYSTEMS AT REGULAR INTERVALS TO PREVENT SURFACE FLOODING AND TO TREAT THAT RUNOFF IN ACCORDANCE WITH THE PROVISIONS OF THE MASSACHUSETTS STORMWATER MANAGEMENT STANDARDS AND HANDBOOK.

PART 2: MISCELLANEOUS PROVISIONS

GOOD HOUSEKEEPING CONTROLS

THE FOLLOWING GOOD HOUSEKEEPING MEASURES WILL BE IMPLEMENTED IN THE DAY-TO-DAY OPERATION OF THE DEVELOPMENT:
1. THE SITE WILL BE MAINTAINED IN A NEAT AND ORDERLY MANNER.
2. FERTILIZERS AND PESTICIDE APPLICATION ON THE LOTS SHALL BE IN ACCORDANCE WITH THIS PLAN.
3. ALL WASTE MATERIALS FROM THE DEVELOPMENT WILL BE COLLECTED IN DUMPSTERS AND REMOVED FROM THE SITE BY PROPERLY LICENSED DISPOSAL COMPANIES.

MANAGEMENT OF DEICING CHEMICALS AND SNOW

MANAGEMENT OF ON-SITE SNOW WILL BE AS FOLLOWS:
1. THE SITE SHALL BE PLOWED AS NEEDED TO MAINTAIN SAFE DRIVING CONDITIONS. SNOW WILL BE STORED IN WINDROWS ALONG PAVEMENT EDGES AND SHALL BE PILED IN LANDSCAPE STRIPS AS NEEDED.
2. SNOW WILL NOT BE PLOWED INTO PILES WHICH BLOCK OR OBSTRUCT STORMWATER MANAGEMENT FACILITIES.
3. SNOW WILL NOT BE PLOWED INTO PILES AT ROADWAY INTERSECTIONS SUCH THAT IT WOULD OBSTRUCT VISIBILITY FOR ENTERING OR EXITING VEHICLES.
4. DEICING CHEMICALS APPLICATION WILL BE AS LITTLE AS POSSIBLE WHILE PROVIDE A SAFE ENVIRONMENT FOR VEHICULAR OPERATION AND FUNCTION.

OPERATOR TRAINING

THE OPERATOR IS RESPONSIBLE FOR PROVIDING TRAINING FOR THE STAFF THAT WILL BE RESPONSIBLE FOR THE IMPLEMENTATION OF THIS O&M PLAN. SUCH TRAINING SHALL OCCUR AT LEAST ONCE ANNUALLY.

ILLICIT DISCHARGES

THE OPERATOR SHALL NOT ALLOW NON-STORMWATER DISCHARGES INTO THE DEVELOPMENT'S STORMWATER SYSTEM. ANY DISCOVERED NON-STORMWATER DISCHARGES INTO THE DEVELOPMENT'S STORMWATER SYSTEM SHALL BE IMMEDIATELY DISCONNECTED.

ESTIMATED OPERATIONS AND MAINTENANCE BUDGET

IT IS ESTIMATED THAT THE REGULAR ANNUAL MAINTENANCE TASKS DESCRIBED HEREIN WILL COST \$2,000 PER YEAR (2017 VALUE).

PART 3: ACCIDENTAL SPILL AND EMERGENCY RESPONSE PLAN

IN THE EVENT OF AN ACCIDENT WITHIN THE BOUNDARIES OF THE SITE, WHERE SIGNIFICANT GASOLINE OR OTHER PETROLEUM PRODUCTS OR OTHER HAZARDOUS MATERIALS ARE RELEASED, THE FOLLOWING PROCEDURE SHALL BE FOLLOWED IN THE ORDER NOTED.

1. AS QUICKLY AS POSSIBLE, ATTEMPT TO BLOCK THE NEAREST STORMWATER CATCH BASINS IF ON A ROADWAY, OR IF IN PROXIMITY TO WETLANDS, CREATE A BERM OF SOIL DOWNSLOPE OF THE SPILL.
2. IMMEDIATELY, AND WHILE THE CONTAINMENT MEASURES ARE IMPLEMENTED AS DESCRIBED ABOVE, NOTIFY THE FOLLOWING GOVERNMENTAL ENTITIES AND INFORM THEM OF THE TYPE OF SPILL THAT OCCURRED:
o MEDWAY FIRE DEPARTMENT AT 911,
o MEDWAY BOARD OF HEALTH AT 508-533-3206,
o MEDWAY CONSERVATION COMMISSION AT 508-533-3292,
o MASS. DEPARTMENT OF ENVIRONMENTAL PROTECTION (DEP) CENTRAL REGION AT (508) 792-7650 (ADDRESS IS 20 RIVERSIDE DRIVE, LAKEVILLE, MA 02347),
o NATIONAL RESPONSE CENTER (NRC) AT (800) 424-8802 (FOR SPILLS THAT REQUIRE SUCH NOTIFICATION PURSUANT TO 40 CFR PART 110, 40 CFR PART 117, AND 40 CR PART 302).
3. ONCE THE VARIOUS EMERGENCY RESPONSE TEAMS HAVE ARRIVED AT THE SITE AND IF THE SPILL OCCURS ON A LOT, THE OWNER SHALL FOLLOW THE INSTRUCTIONS OF THE VARIOUS GOVERNMENTAL ENTITIES, WHICH MAY INCLUDE THE FOLLOWING:
o A CLEAN UP FIRM MAY NEED TO BE IMMEDIATELY CONTACTED.
o IF THE HAZARDOUS MATERIALS HAVE ENTERED THE STORMWATER SYSTEM, PORTIONS OF IT MAY NEED TO BE CLEANED AND RESTORED PER THE DEP. ALL SUCH ACTIVITIES SHALL BE AS SPECIFIED BY THE DEP.

ZONING DISTRICT:
AGRICULTURAL RESIDENTIAL I

ASSESSORS PARCEL:
MAP 41, PARCEL 35-1

OWNER/APPLICANT:
NOTWEN REALTY TRUST
33 FRUIT STREET
NORFOLK, MA 02056

I CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE THE PLANNING BOARD APPROVAL AND NO APPEAL HAS BEEN FILED IN THIS OFFICE.

TOWN CLERK

DATE

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

I CERTIFY THAT THIS SURVEY AND PLAN CONFORMS TO THE ETHICAL, PROCEDURAL AND TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.

PROFESSIONAL LAND SURVEYOR

CONDITIONALLY APPROVED IN ACCORDANCE WITH M.G.L. CHAPTER 41A, SECTION 81U, BY DECISION DATED 8/10, BY DECISION DATED 8/10, AND FILED WITH TOWN CLERK ON 8/10, AND SUBJECT TO COVENANTS, CONDITIONS AND RESTRICTIONS SET FORTH IN A COVENANT DATED 8/10 TO BE RECORDED HEREWITH.

DATE APPROVED:

DATE ENDORSED:

TOWN OF MEDWAY PLANNING AND ECONOMIC DEVELOPMENT BOARD

FOR REGISTRY USE

PLAN SCALE: N.T.S.

PLAN DATE: JUNE 9, 2017

REVISION
CHANGES PER BOARD CONSULTANTS

PAUL REVERE ESTATES
DEFINITIVE SUBDIVISION
O&M
PLAN OF LAND IN
MEDWAY, MA



Digitally signed by Daniel J. Merrikin, P.E.
Date: 2017.08.09 13:07:43 -04'00'



730 MAIN STREET, SUITE 2C
MILLIS, MA 02054
ph. 508-376-8883 fax 508-376-8823

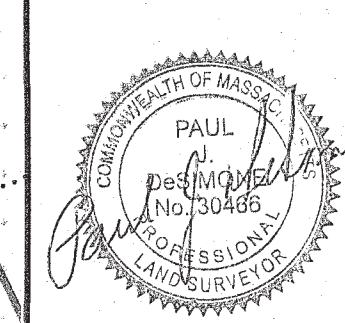
D104-01

SHEET 3 OF 12



D104-01 SHEET 4 OF 12

PAUL REVERE ESTATES
DEFINITIVE SUBDIVISION
EXISTING COND. &
EROSION PLAN OF LAND
IN MEDWAY, MA



D104-01	SHEET 5 OF 12
---------	---------------

[illegible]

PAUL REVERE ESTATES
DEFINITIVE SUBDIVISION
LAYOUT
PLAN OF LAND IN
MEDWAY, MA



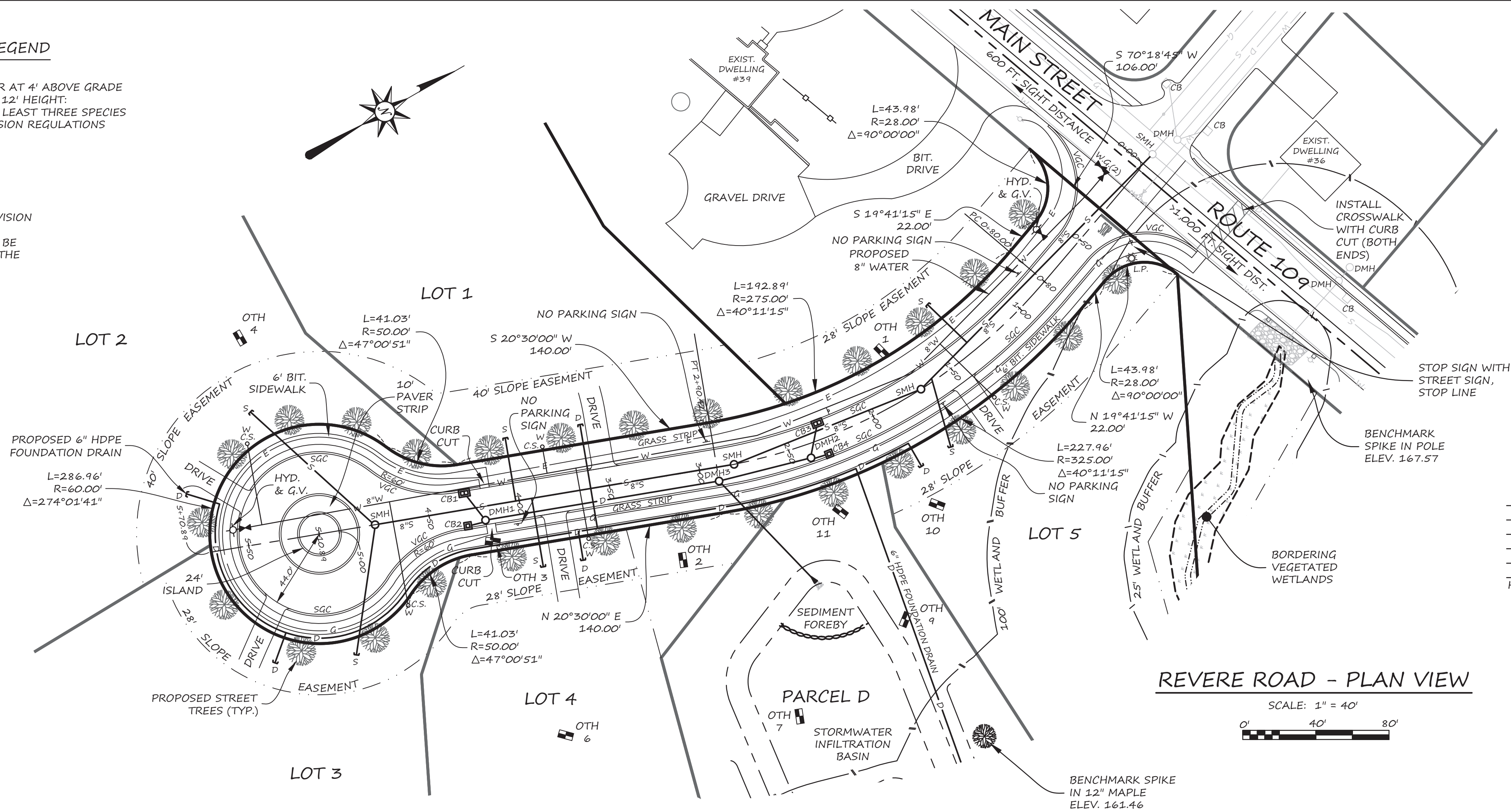
LANDSCAPE LEGEND



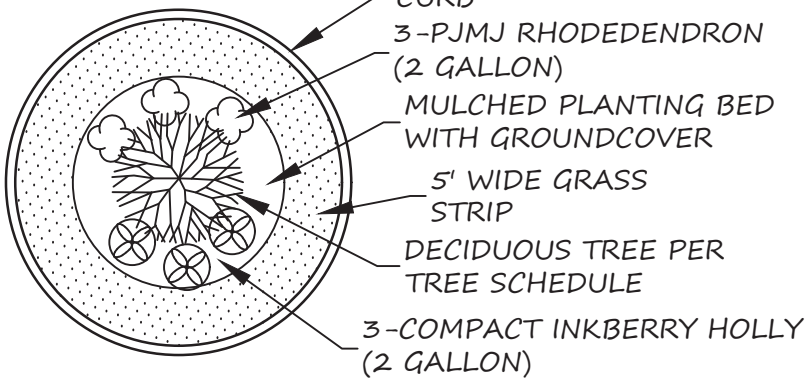
PROPOSED 2.5" CALIPER AT 4' ABOVE GRADE
DECIDUOUS TREE, MIN. 12' HEIGHT;
STAGGERED MIX OF AT LEAST THREE SPECIES
LISTED IN THE SUBDIVISION REGULATIONS
(SECTION 7.1.9.4).

LANDSCAPE NOTES:

1. TREES SHALL BE INSTALLED IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS.
2. ALTERNATE TREE SPECIES MAY BE SUBSTITUTED IF APPROVED BY THE TREE WARDEN.



CUL-DE-SAC ISLAND PLANTINGS:



FOR REGISTRY USE

ZONING DISTRICT:
AGRICULTURAL RESIDENTIAL I

ASSESSORS PARCEL:
MAP 41, PARCEL 35-1

OWNER/APPLICANT:
NOTWEN REALTY TRUST
33 FRUIT STREET
NORFOLK, MA 02056

I CERTIFY THAT 20 DAYS HAVE ELAPSED
SINCE THE PLANNING BOARD APPROVAL
AND NO APPEAL HAS BEEN FILED IN THIS
OFFICE.

TOWN CLERK

DATE

I CERTIFY THAT THIS PLAN HAS BEEN
PREPARED IN CONFORMITY WITH THE
RULES AND REGULATIONS OF THE
REGISTERS OF DEEDS OF THE
COMMONWEALTH OF MASSACHUSETTS.

I CERTIFY THAT THIS SURVEY AND PLAN
CONFORMS TO THE ETHICAL, PROCEDURAL
AND TECHNICAL STANDARDS FOR THE
PRACTICE OF LAND SURVEYING IN THE
COMMONWEALTH OF MASSACHUSETTS.

PROFESSIONAL LAND SURVEYOR

CONDITIONALLY APPROVED IN
ACCORDANCE WITH M.G.L. CHAPTER 41,
SECTION 81U, BY DECISION DATED
AND FILED WITH TOWN
CLERK ON , AND
SUBJECT TO COVENANTS, CONDITIONS
AND RESTRICTIONS SET FORTH IN A
COVENANT DATED TO BE
RECORDED HEREWITH.

DATE APPROVED:

DATE ENDORSED:

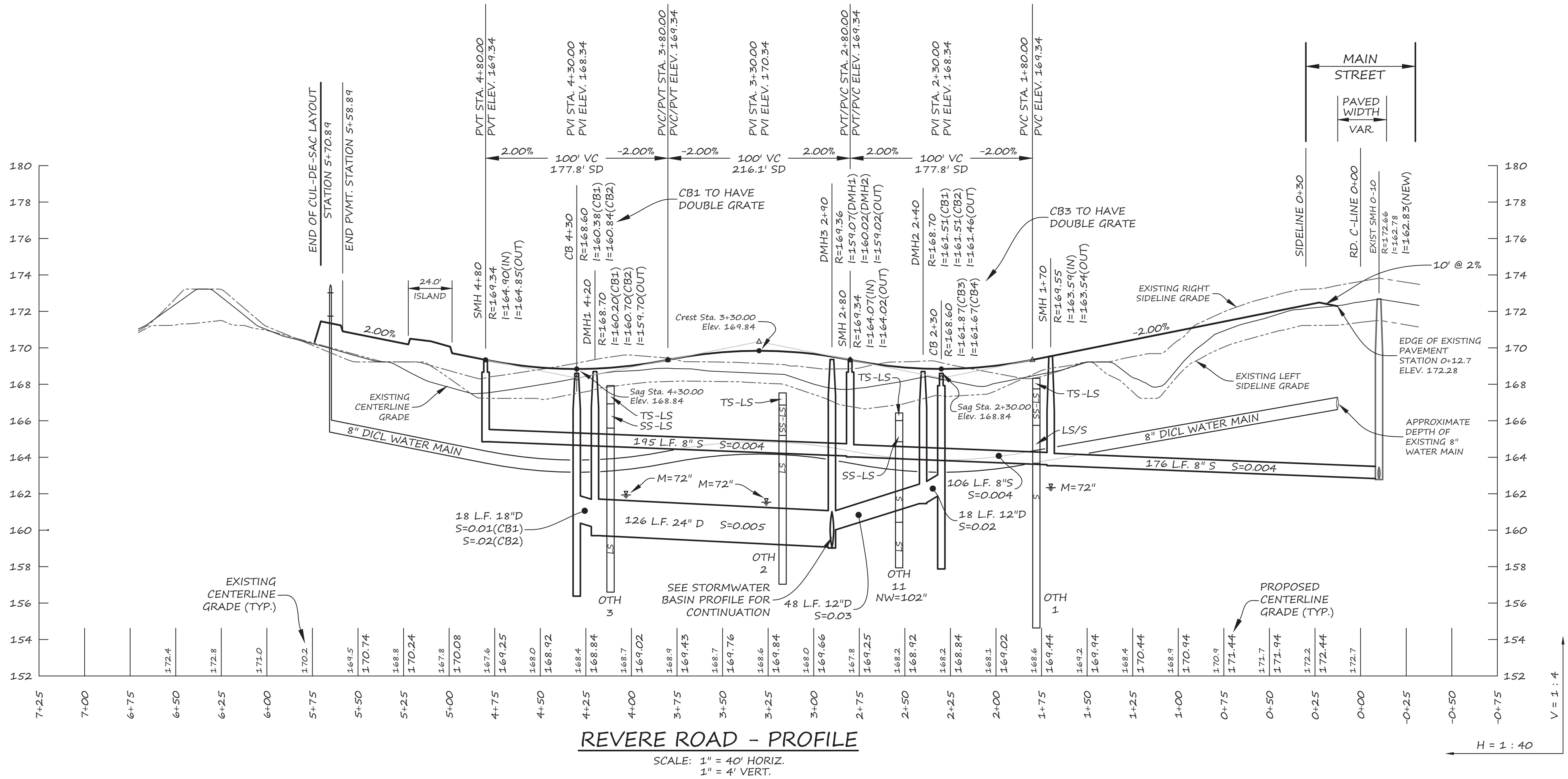
TOWN OF MEDWAY PLANNING AND
ECONOMIC DEVELOPMENT BOARD

PLAN SCALE: AS NOTED

PLAN DATE: JUNE 9, 2017

REVISION
CHANGES PER BOARD CONSULTANTS

PAUL REVERE ESTATES
DEFINITIVE SUBDIVISION
ROAD PLAN & PROFILE
PLAN OF LAND IN
MEDWAY, MA



PROFILE LEGEND

ABBREV.

M-XX"
WT-XX"
WP-XX"
NW-XX"
R-XX"
TS
SS
S
LS
SL

DESCRIPTION

REDOX (MOTTLES) AT XX-INCHES
STANDING WATER AT XX-INCHES
WEeping WATER AT XX-INCHES
NO GROUNDWATER INDICATORS
REFUSAL AT XX-INCHES
TOPSOIL
SUBSOIL
SAND
LOAMY SAND
SANDY LOAM



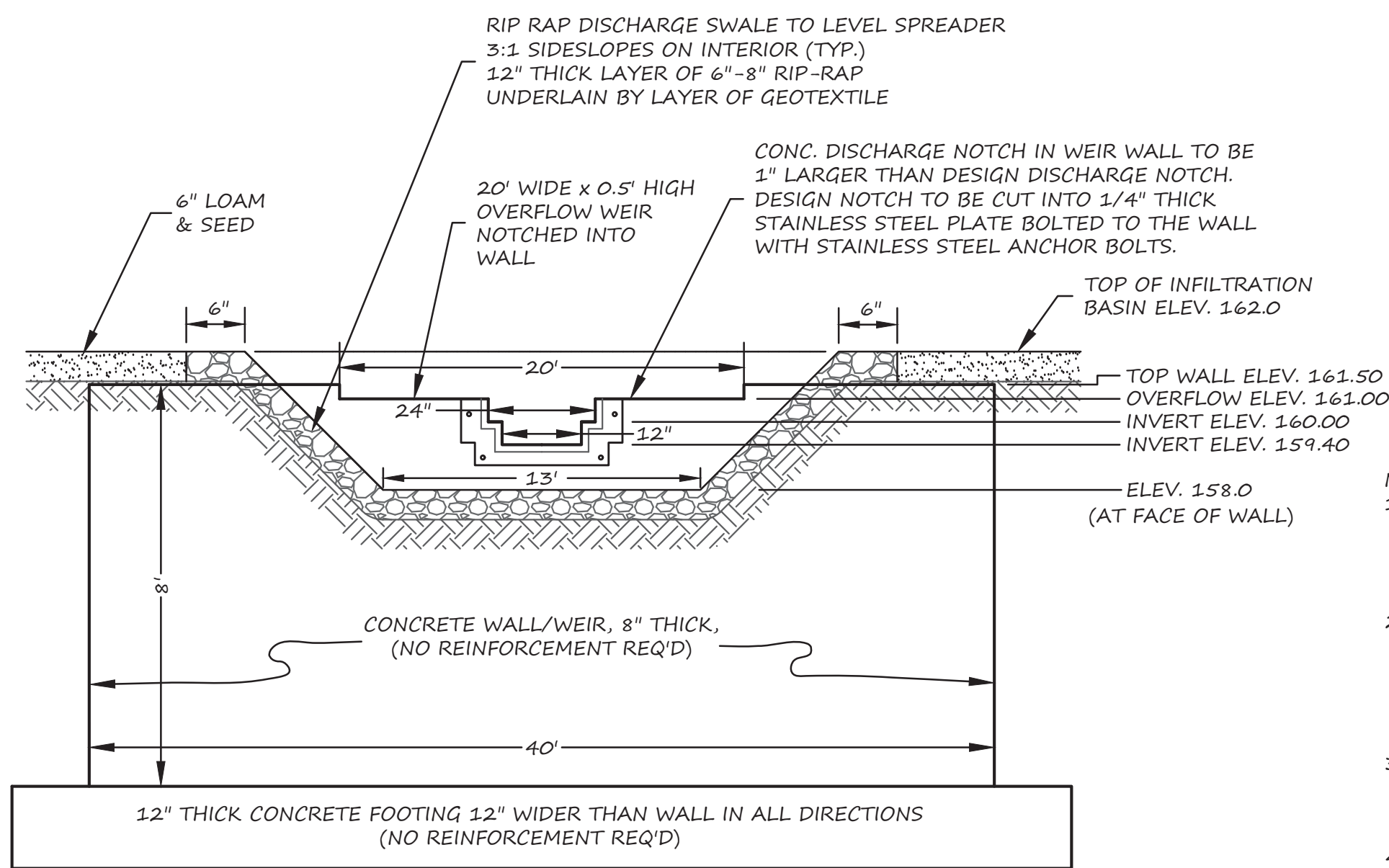
Digitally signed by Daniel J.
Merrikin, P.E.
Date: 2017.08.09 13:05:18
-04'00'



730 MAIN STREET, SUITE 2C
MILLIS, MA 02054
ph. 508-376-8883 fax 508-376-8823

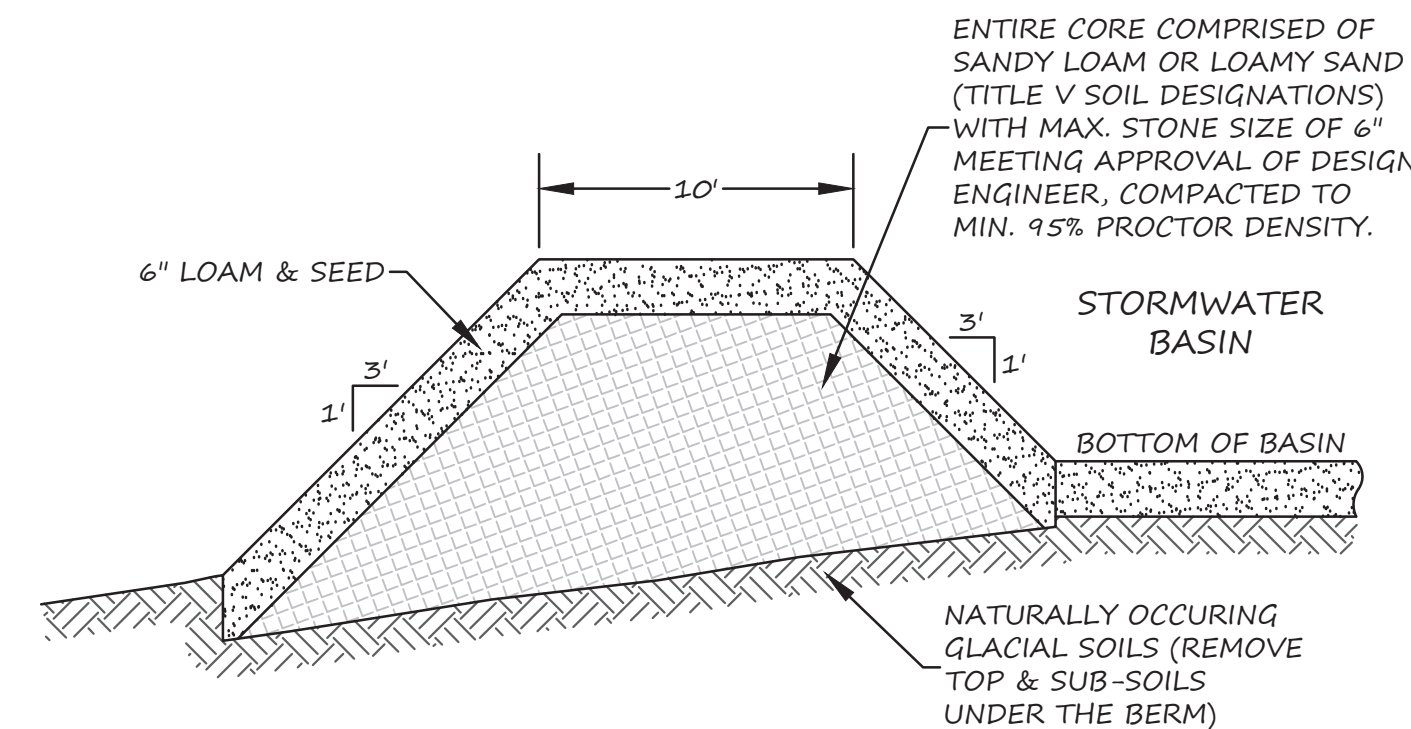
D104-01

SHEET 7 OF 12



INFILTRATION BASIN OUTLET WEIR AND RIP-RAP SWALE DETAIL

NOT TO SCALE



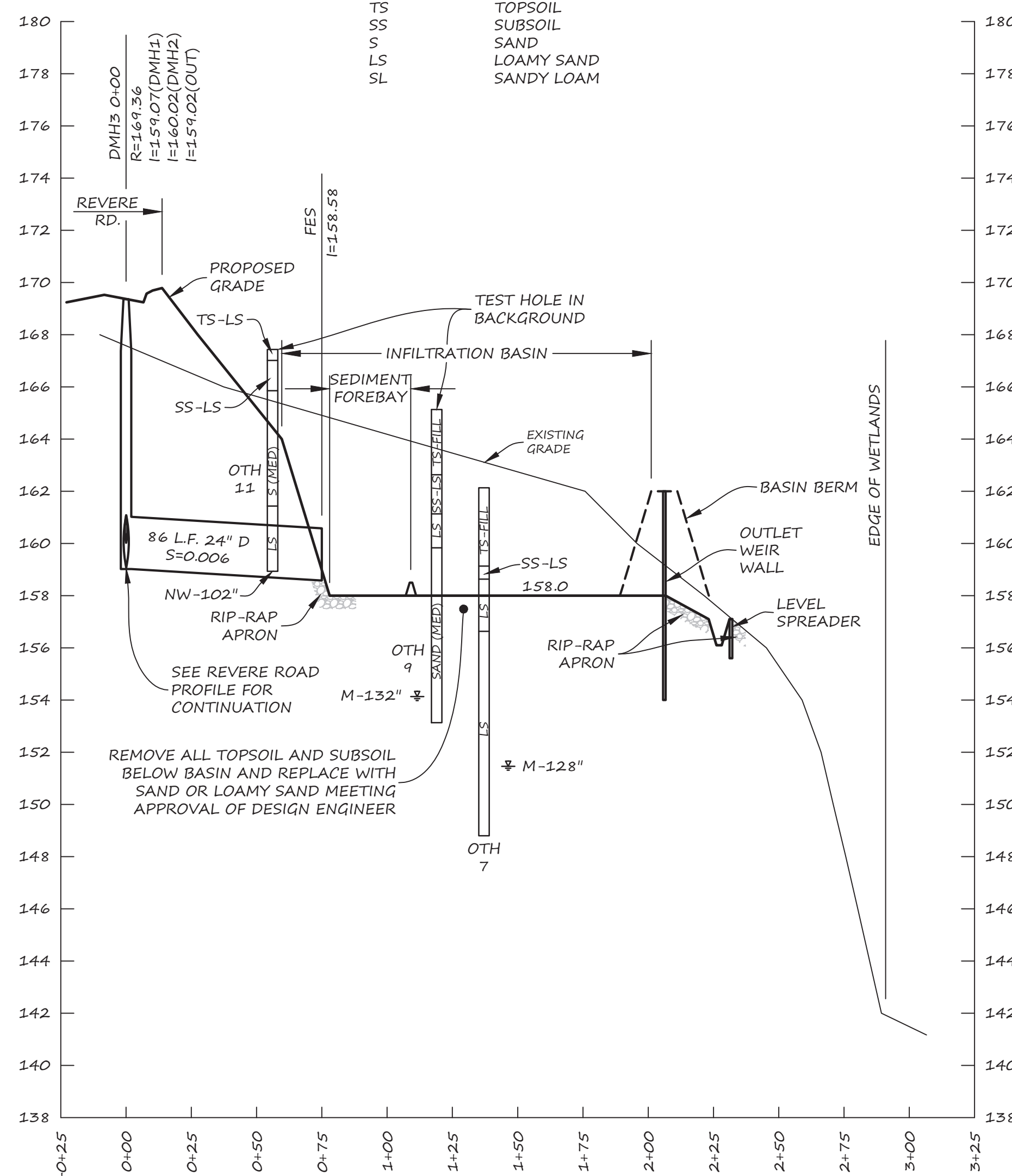
INFILTRATION BASIN BERM DETAIL

NOT TO SCALE

- NOTES:
- SEE GRADING SHEETS AND PROFILE SHEETS FOR SIZE OF INLETS AND OUTLETS, OUTLET STRUCTURE SPECIFICATIONS, ELEVATION OF BOTTOM OF BASIN, ELEVATION OF TOP OF BASIN, SLOPE OF SIDESLOPES, AND OTHER DIMENSIONAL REQUIREMENTS FOR EACH BASIN.
 - ALL TOPSOIL AND SUBSOIL BELOW THE BOTTOM OF THE BASIN SHALL BE REMOVED PRIOR TO BASIN CONSTRUCTION. FILL MATERIALS UNDER THE BASIN BOTTOM SHALL BE SAND OR LOAMY SAND MEETING THE APPROVAL OF THE DESIGN ENGINEER. FILL FOR BERMS MAY BE SAND, LOAMY SAND OR SANDY LOAM MEETING THE APPROVAL OF THE DESIGN ENGINEER (TITLE V CLASSIFICATIONS).
 - BERM AREAS SHALL BE REMOVED OF ALL TOP AND SUB-SOIL AND OTHER UNSUITABLE SOILS. BERM CORE SHALL CONSIST OF ORDINARY BORROW INSTALLED IN 12-INCH LIFTS TO A MINIMUM 93% PROCTOR DENSITY.
 - BOTTOM OF INFILTRATION BASINS TO BE FLAT AT THE SPECIFIED ELEVATIONS.

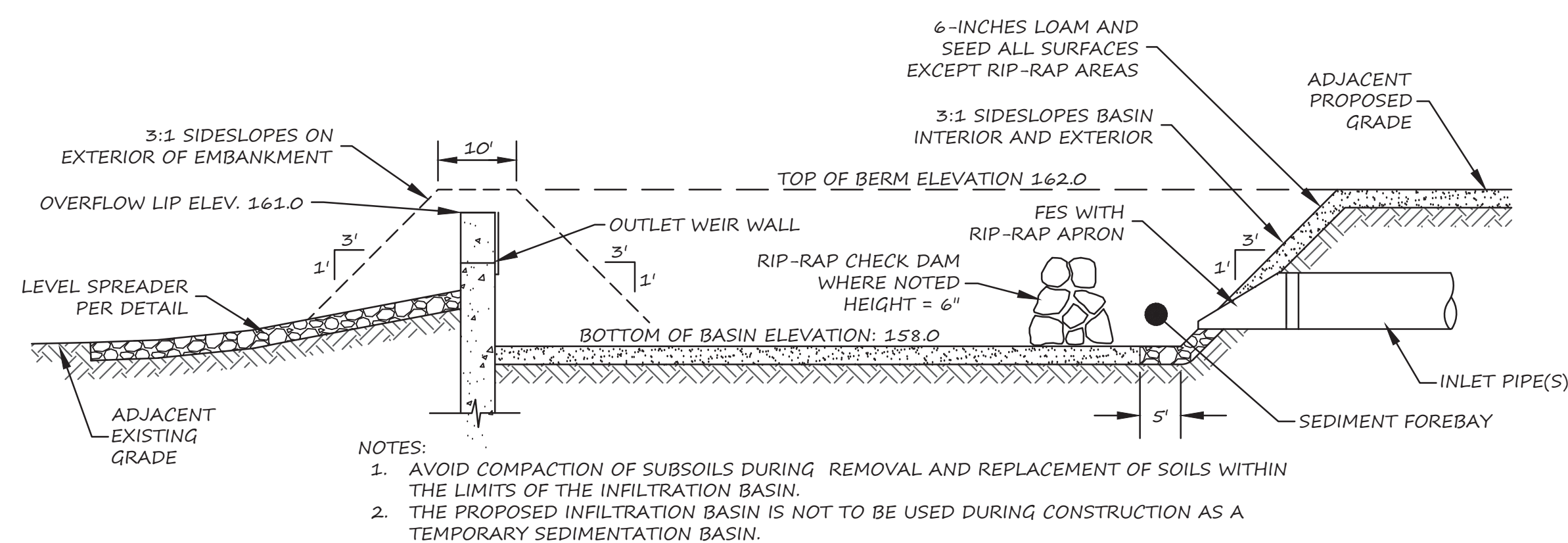
PROFILE LEGEND

ABBREV.	DESCRIPTION
M-XX"	REDOX (MOTTLES) AT XX-INCHES
WT-XX"	STANDING WATER AT XX-INCHES
WP-XX"	WEeping WATER AT XX-INCHES
NW-XX"	NO GROUNDWATER INDICATORS
R-XX"	REFUSAL AT XX-INCHES
TS	TOPSOIL
SS	SUBSOIL
S	SAND
LS	LOAMY SAND
SL	SANDY LOAM



STORMWATER BASIN - PROFILE

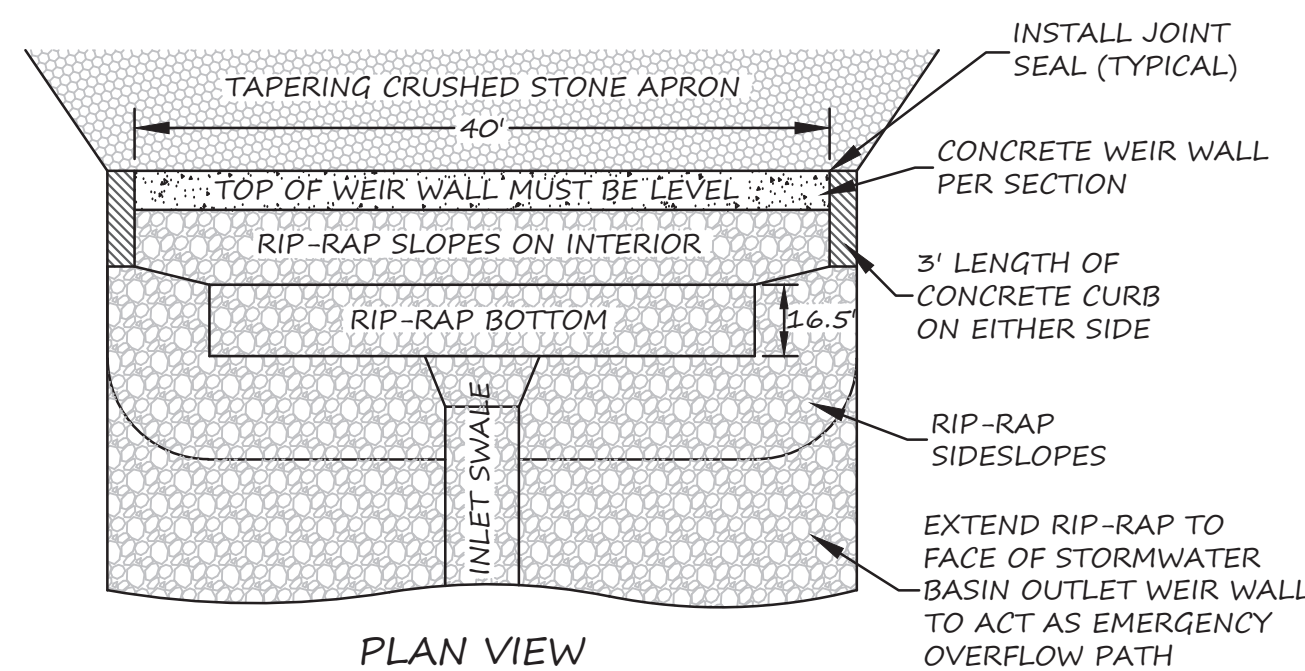
SCALE: 1" = 40' HORIZ.
1" = 4' VERT.



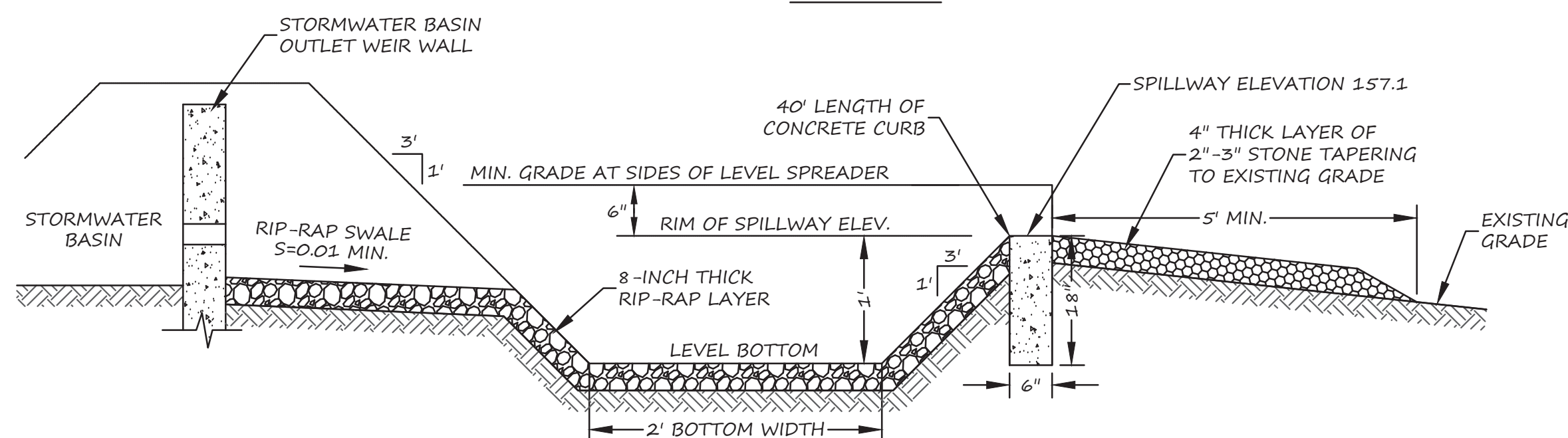
TYPICAL BASIN CROSS SECTION

NOT TO SCALE

- NOTES:
- WEIR LIP SHALL FOLLOW EXISTING GRADES AS CLOSELY AS POSSIBLE.



PLAN VIEW



LEVEL SPREADER DETAIL

NOT TO SCALE

ZONING DISTRICT:
AGRICULTURAL RESIDENTIAL I

ASSESSORS PARCEL:
MAP 41, PARCEL 35-1

OWNER/APPLICANT:
NOTWEN REALTY TRUST
33 FRUIT STREET
NORFOLK, MA 02056

I CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE THE PLANNING BOARD APPROVAL AND NO APPEAL HAS BEEN FILED IN THIS OFFICE.

TOWN CLERK

DATE

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

I CERTIFY THAT THIS SURVEY AND PLAN CONFORMS TO THE ETHICAL, PROCEDURAL AND TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.

PROFESSIONAL LAND SURVEYOR

CONDITIONALLY APPROVED IN ACCORDANCE WITH M.G.L. CHAPTER 41, SECTION 81U, BY DECISION DATED AND FILED WITH TOWN CLERK ON AND SUBJECT TO COVENANTS, CONDITIONS AND RESTRICTIONS SET FORTH IN A COVENANT DATED TO BE RECORDED HERewith.

DATE APPROVED:

DATE ENDORSED:

TOWN OF MEDWAY PLANNING AND ECONOMIC DEVELOPMENT BOARD



Digitally signed by Daniel J. Merrikin, P.E.
Date: 2017.08.09 13:04:49 -04'00'

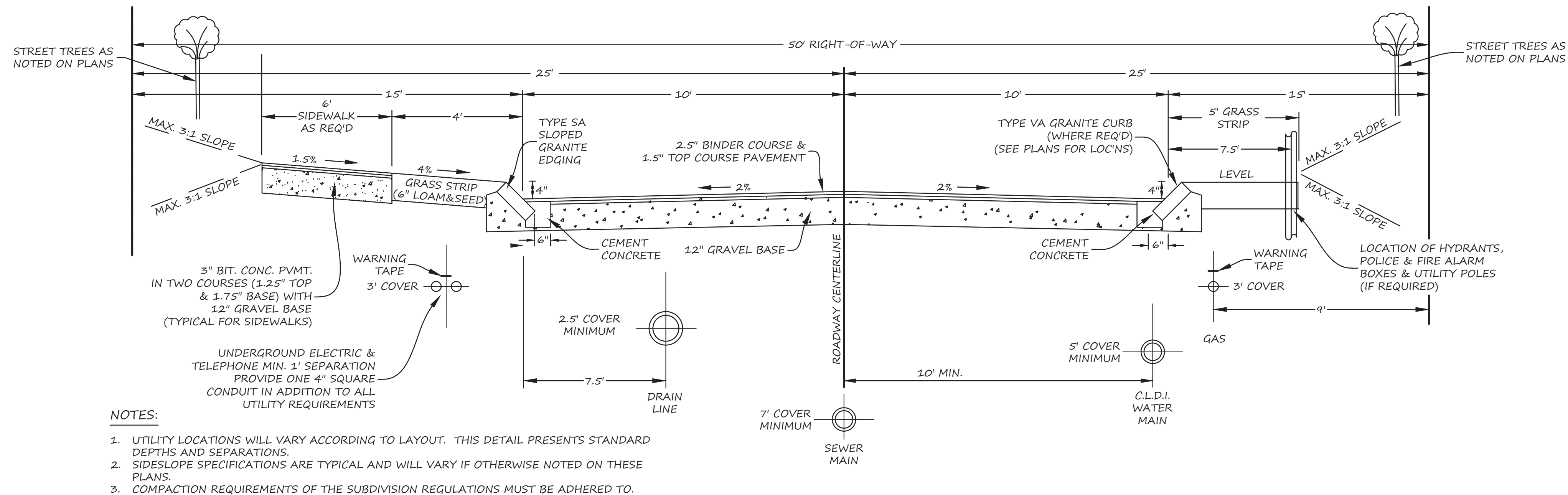


730 MAIN STREET, SUITE 2C
MILLIS, MA 02054
ph. 508-376-8883 fax 508-376-8823

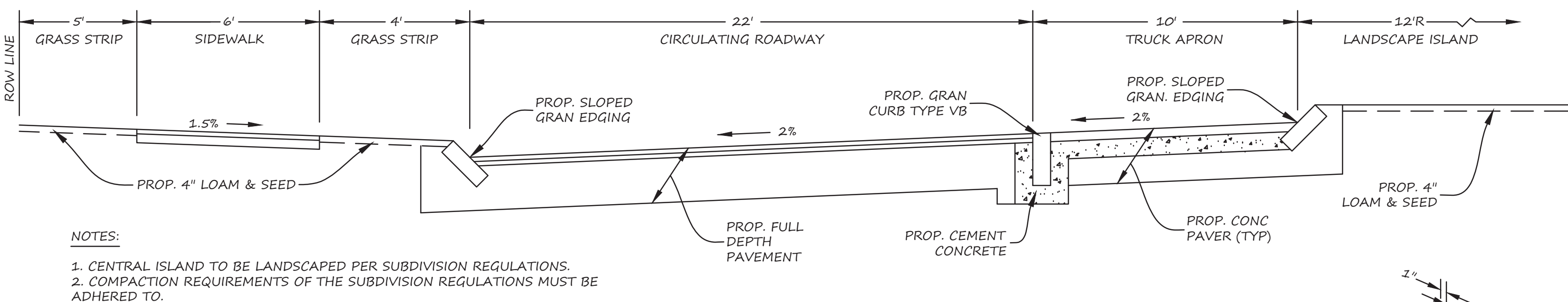
D104-01 SHEET 8 OF 12

PLAN SCALE: AS NOTED

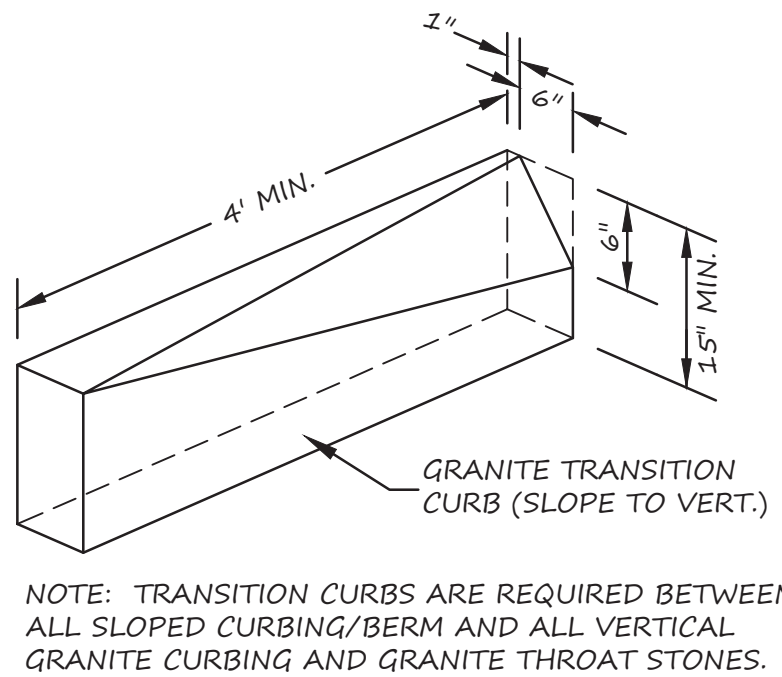
PAUL REVERE ESTATES
DEFINITIVE SUBDIVISION
STORMWATER BASIN
PLAN OF LAND IN
MEDWAY, MA



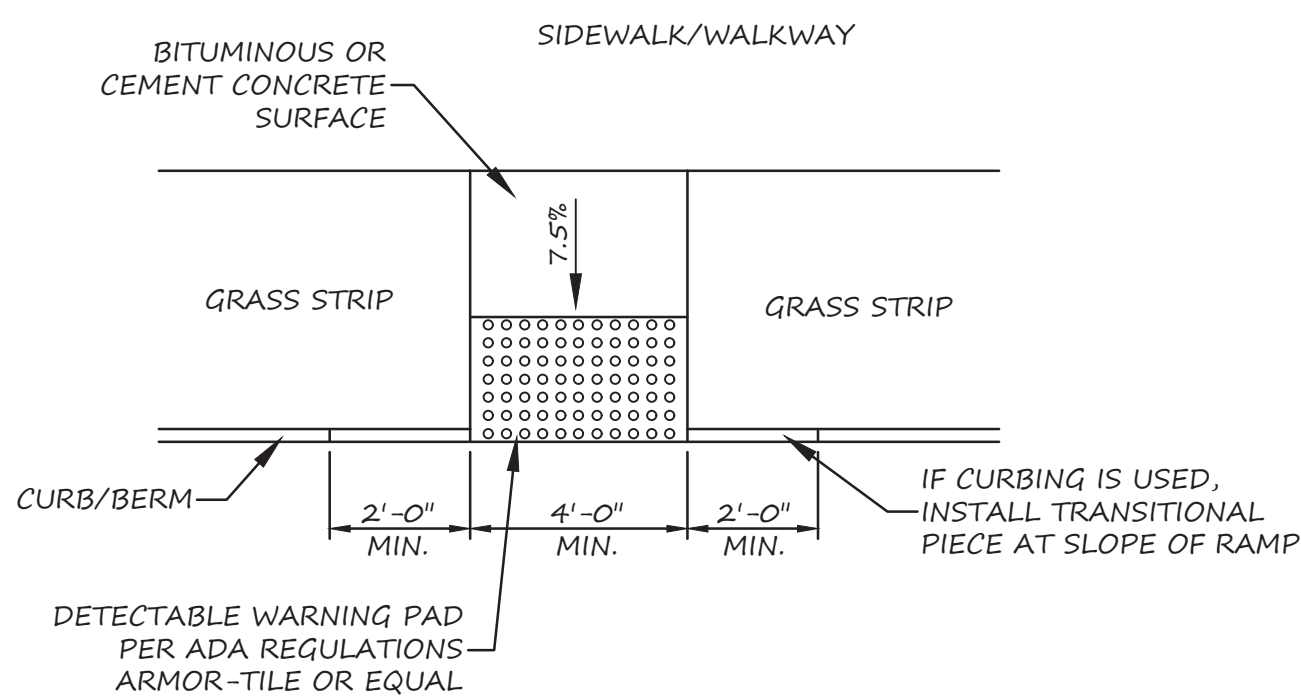
TYPICAL ROADWAY CROSS SECTION
(NOT TO SCALE)



TYPICAL CUL-DE-SAC CROSS SECTION
(NOT TO SCALE)

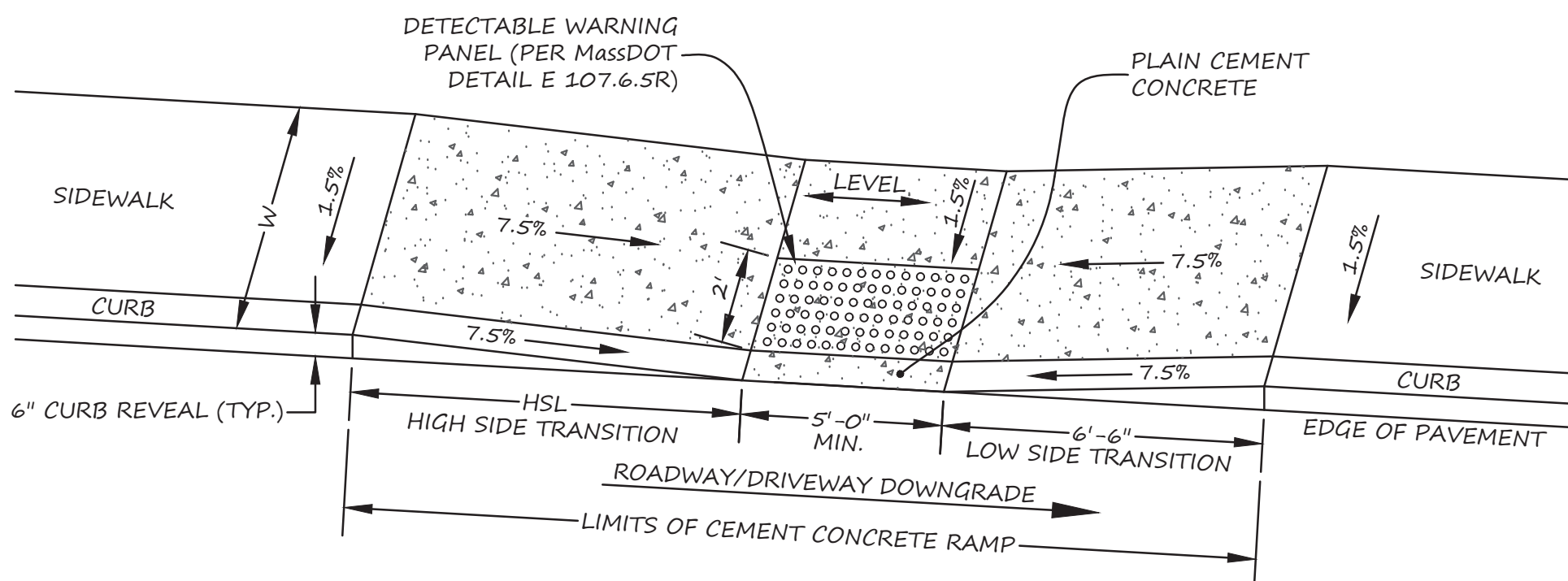


GRANITE TRANSITION CURB DETAIL
(NOT TO SCALE)



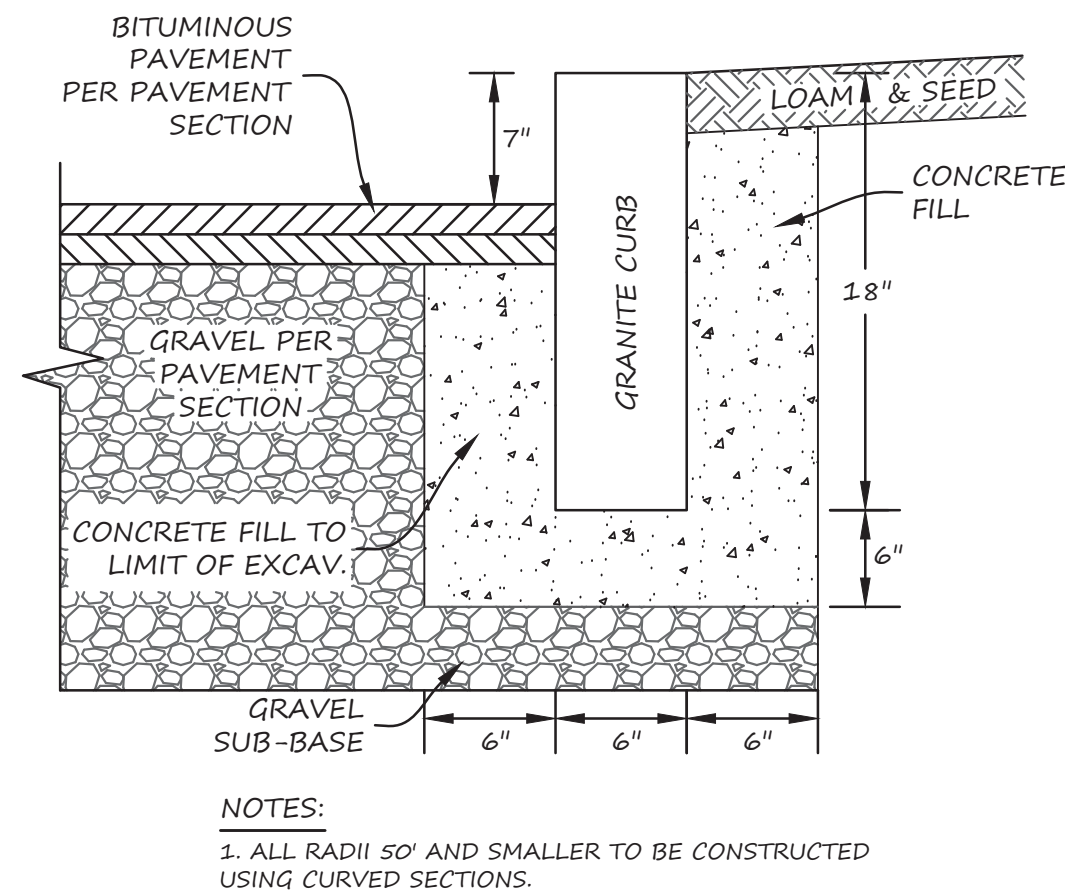
- NOTES:
1. WHEEL CHAIR RAMPS SHALL COMPLY WITH CURRENT ARCHITECTURAL ACCESS BOARD REQUIREMENTS AT THE TIME OF CONSTRUCTION.

TYPICAL SIDEWALK CURB CUT DETAIL
(NOT TO SCALE)

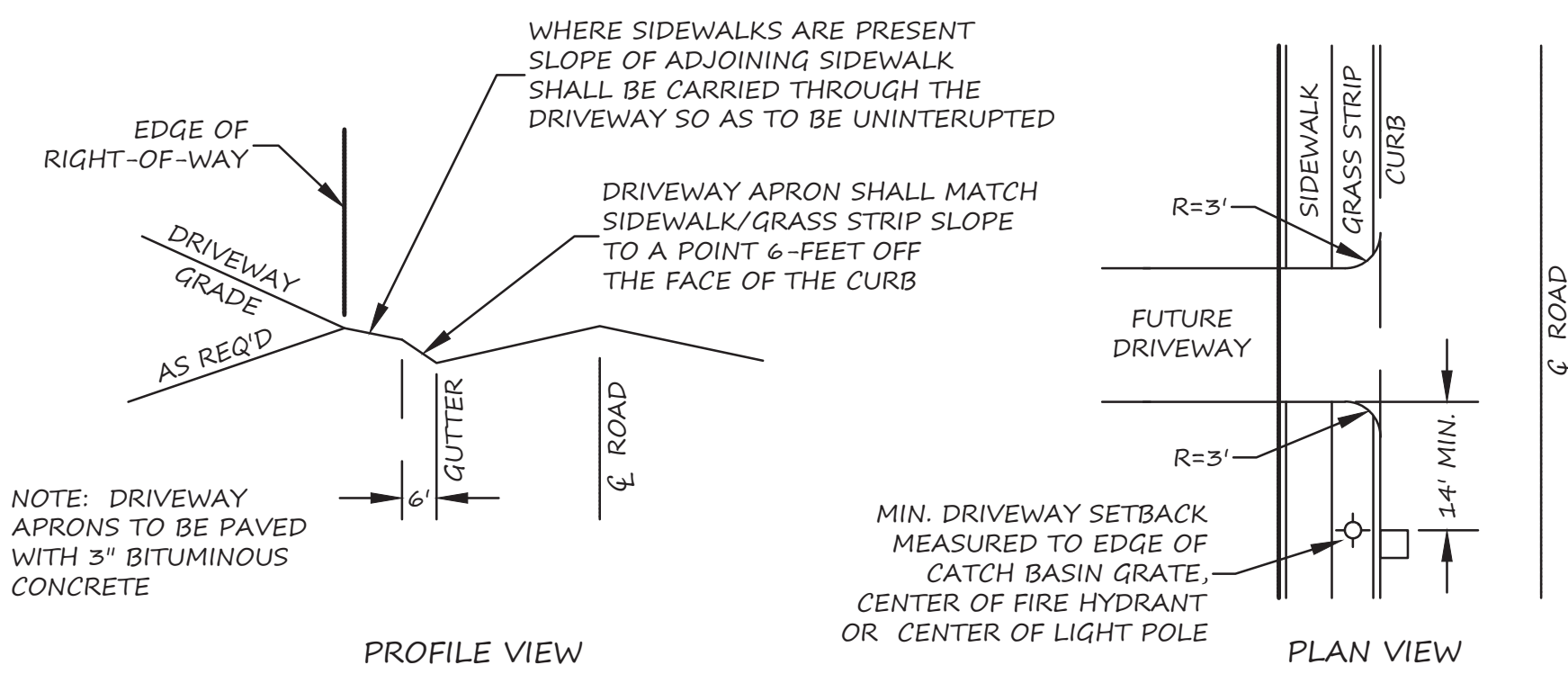


- CONSTRUCTION NOTES:
1. SLOPE TOLERANCE FOR CONSTRUCTION = +/- 0.5%.
 2. ROADWAY/DRIVEWAY, GUTTER AND FIRST 6" OF SIDEWALK TO BE ADJUSTED FOR FIELD CONDITIONS.
 3. RAMP CONSTRUCTION SHALL BE IN ACCORDANCE WITH AAB REQUIREMENTS, MassDOT SPECIFICATIONS, AND MassDOT STANDARD DETAILS.

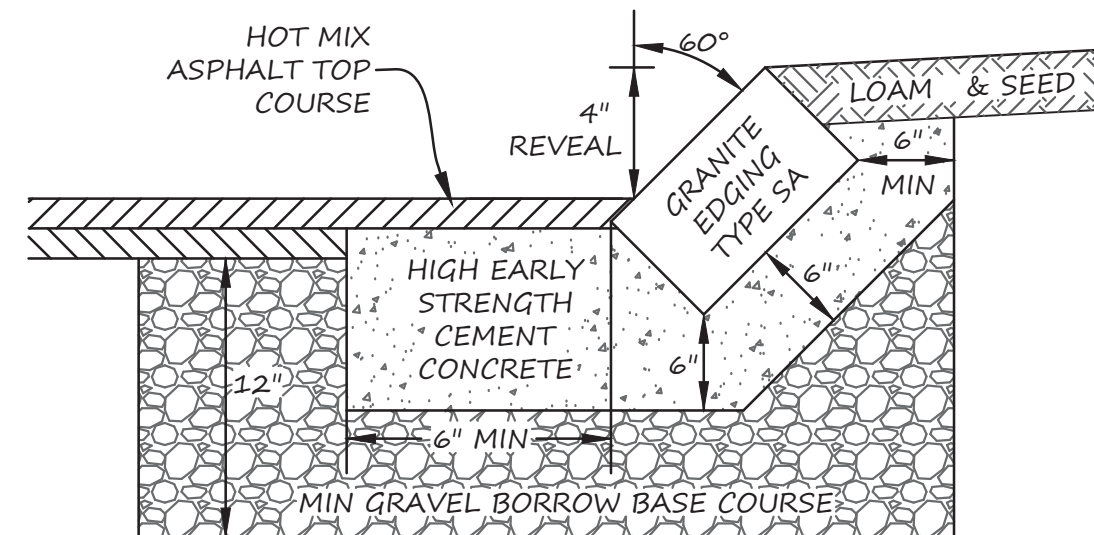
CURB CUT - EXISTING CONCRETE SIDEWALK
NOT TO SCALE



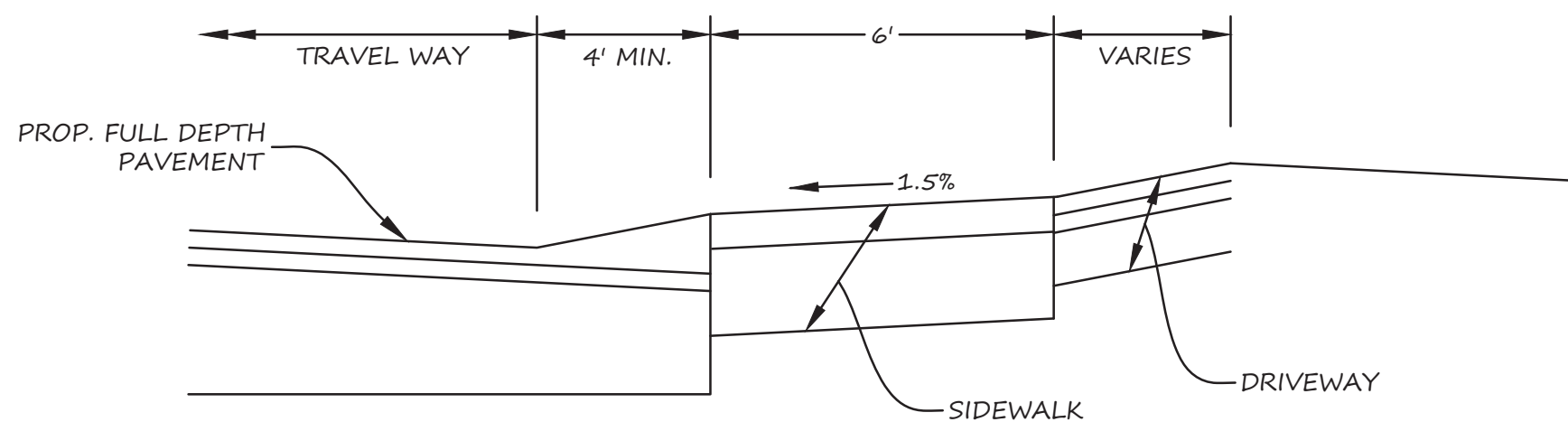
VERTICAL GRANITE CURB DETAIL
(NOT TO SCALE)



TYPICAL DRIVEWAY APRON DETAIL
(NOT TO SCALE)



SLOPED GRANITE EDGING
(NOT TO SCALE)



- NOTE: DRIVEWAY SHALL BE SLOPED TO MEET BACK OF SIDEWALK FINISHED GRADE.

TYPICAL DRIVEWAY WITH SIDEWALK
NOT TO SCALE

ZONING DISTRICT:
AGRICULTURAL RESIDENTIAL I

ASSESSORS PARCEL:
MAP 41, PARCEL 35-1

OWNER/APPLICANT:
NOTWEN REALTY TRUST
33 FRUIT STREET
NORFOLK, MA 02056

I CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE THE PLANNING BOARD APPROVAL AND NO APPEAL HAS BEEN FILED IN THIS OFFICE.

TOWN CLERK

DATE

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

I CERTIFY THAT THIS SURVEY AND PLAN CONFORMS TO THE ETHICAL, PROCEDURAL AND TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.

PROFESSIONAL LAND SURVEYOR

CONDITIONALLY APPROVED IN ACCORDANCE WITH M.G.L. CHAPTER 41, SECTION 81U, BY DECISION DATED AND FILED WITH TOWN CLERK ON AND SUBJECT TO COVENANTS, CONDITIONS AND RESTRICTIONS SET FORTH IN A COVENANT DATED TO BE RECORDED HEREWITH.

DATE APPROVED: _____

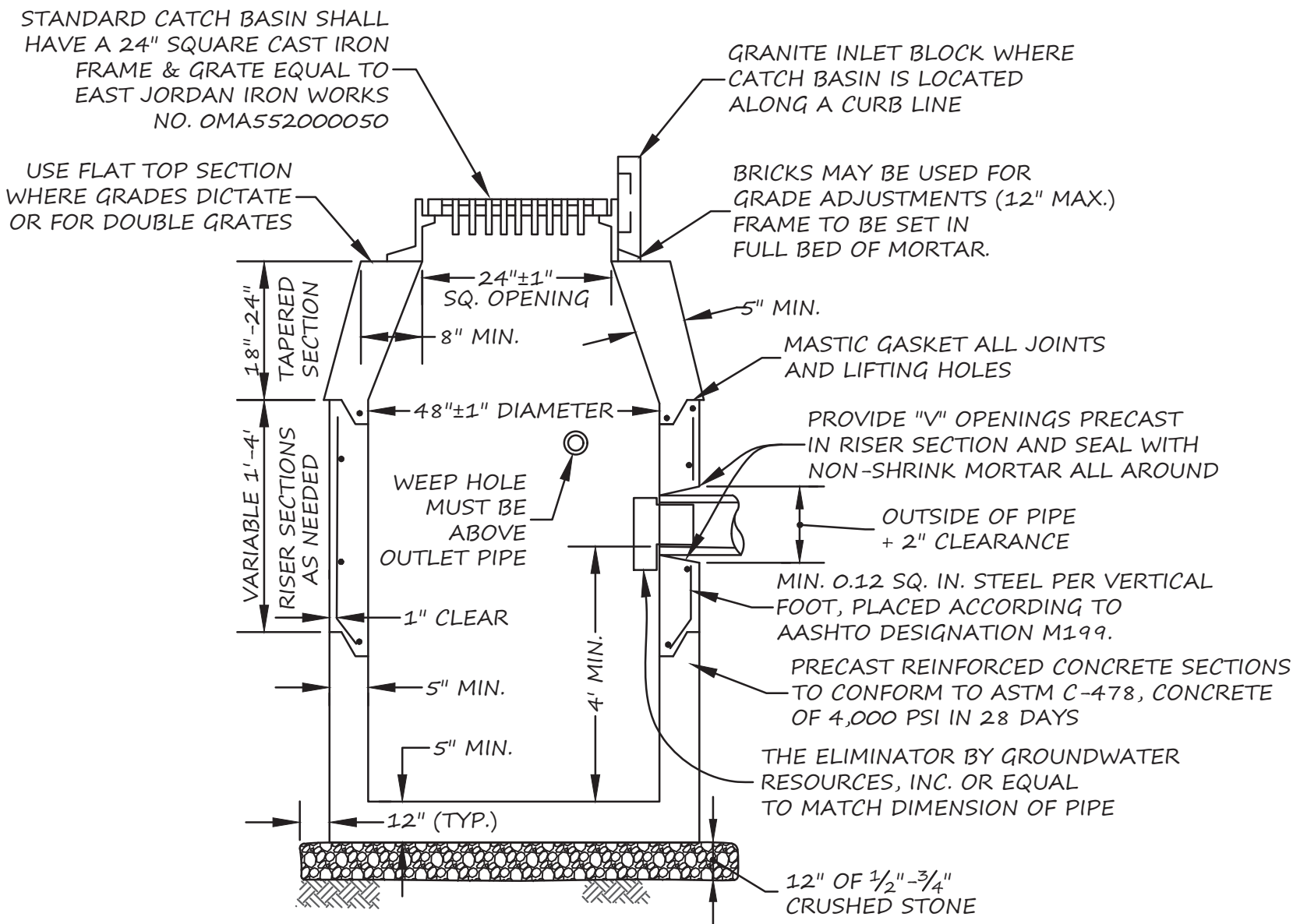
DATE ENDORSED: _____

TOWN OF MEDWAY PLANNING AND ECONOMIC DEVELOPMENT BOARD



MERRIKIN ENGINEERING, LLP

730 MAIN STREET, SUITE 2C
MILLIS, MA 02054
ph. 508-376-8883 fax 508-376-8823

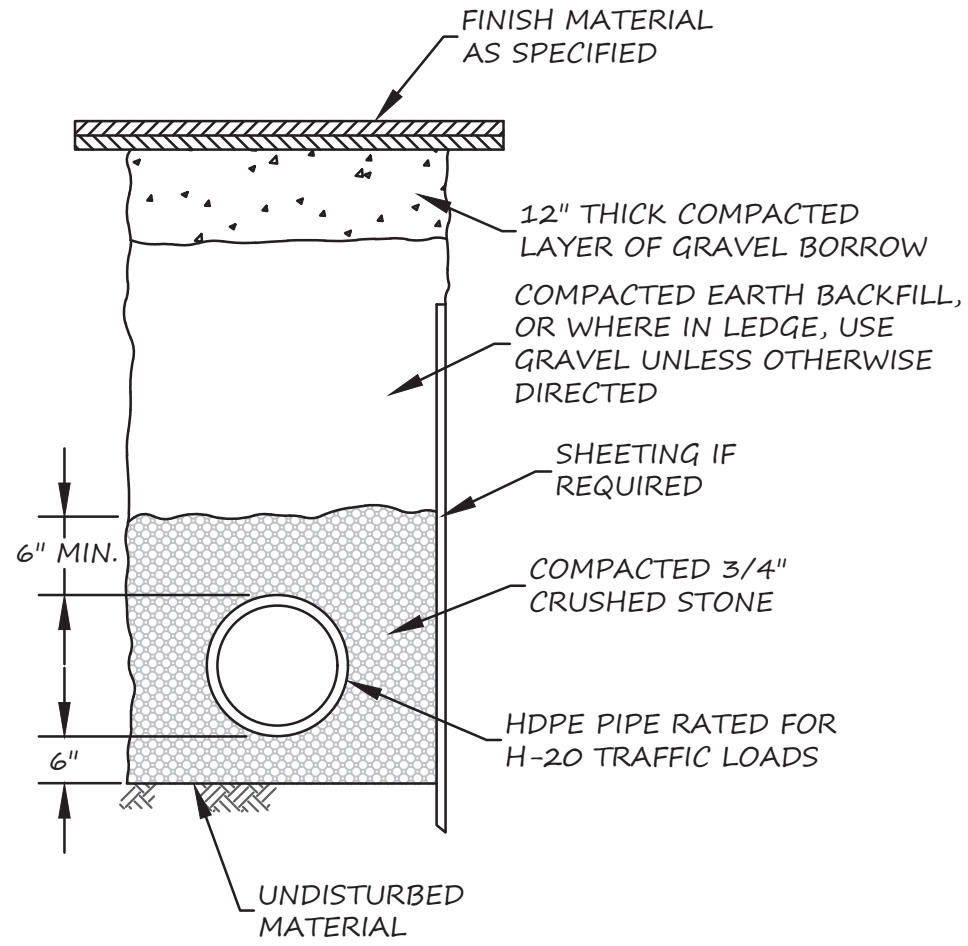


NOTES:

1. NO BELL ENDS IN CATCH BASIN. CONNECTIONS TO BE TIGHTLY SEALED WITH MORTAR.
2. SUBSTITUTE FRAME AND GRATE SHALL BE MADE IN USA AND SHALL BE APPROVED BY THE ENGINEERING DEPARTMENT OR PLANNING BOARD PRIOR TO CONSTRUCTION.
3. PROVIDE 5" DIAMETER STRUCTURE WITH FLAT TOP WITH RECTANGULAR OPENING FOR DOUBLE GRATES, WHICH SHALL BE EAST JORDAN IRON WORKS NO. OMA544000002 WITH GRATES EQUAL TO ABOVE-SPECIFICATION.
4. ALL SECTIONS SHALL BE DESIGNED FOR HS-20 LOADING.

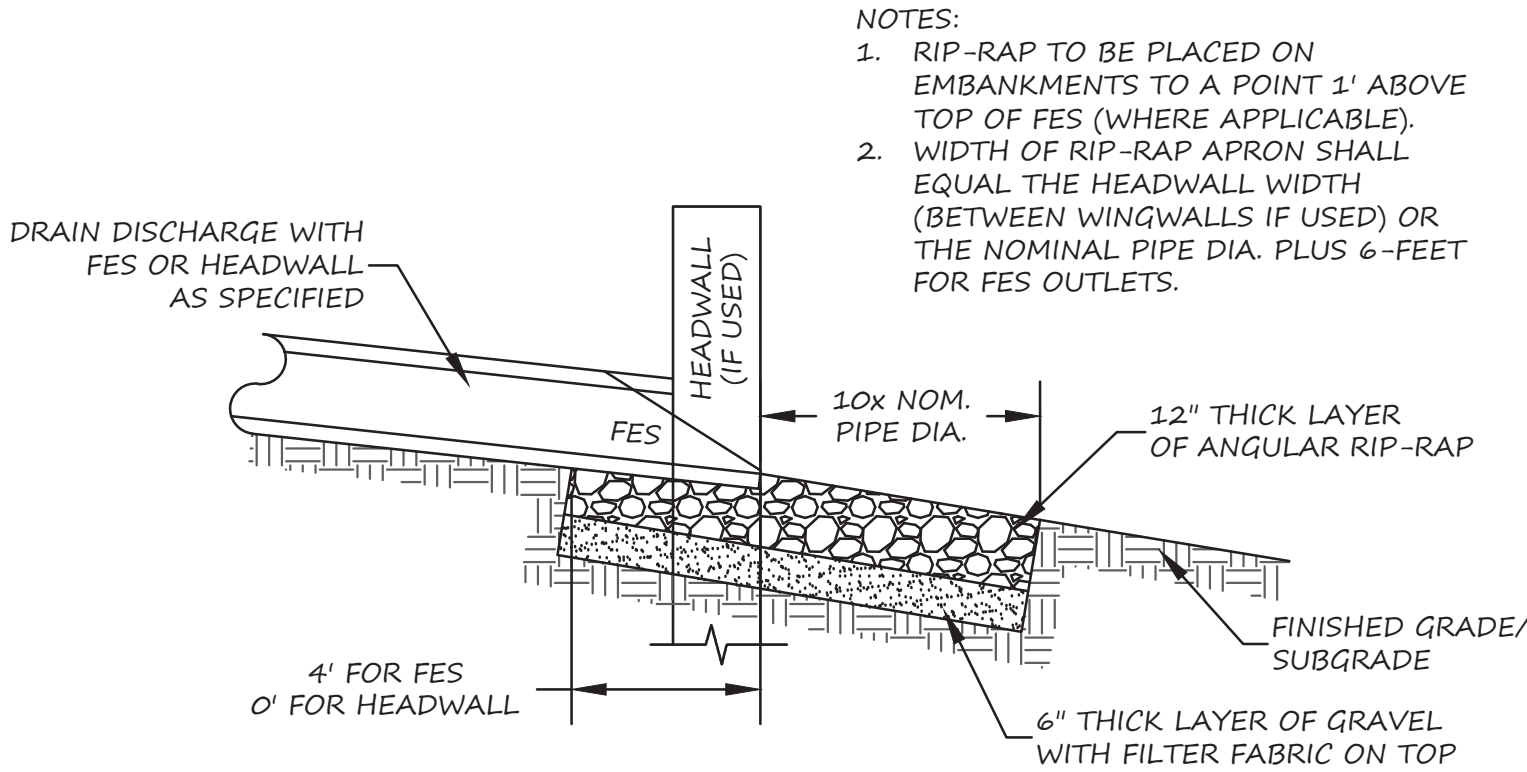
PRECAST CONCRETE CATCH BASIN

NOT TO SCALE



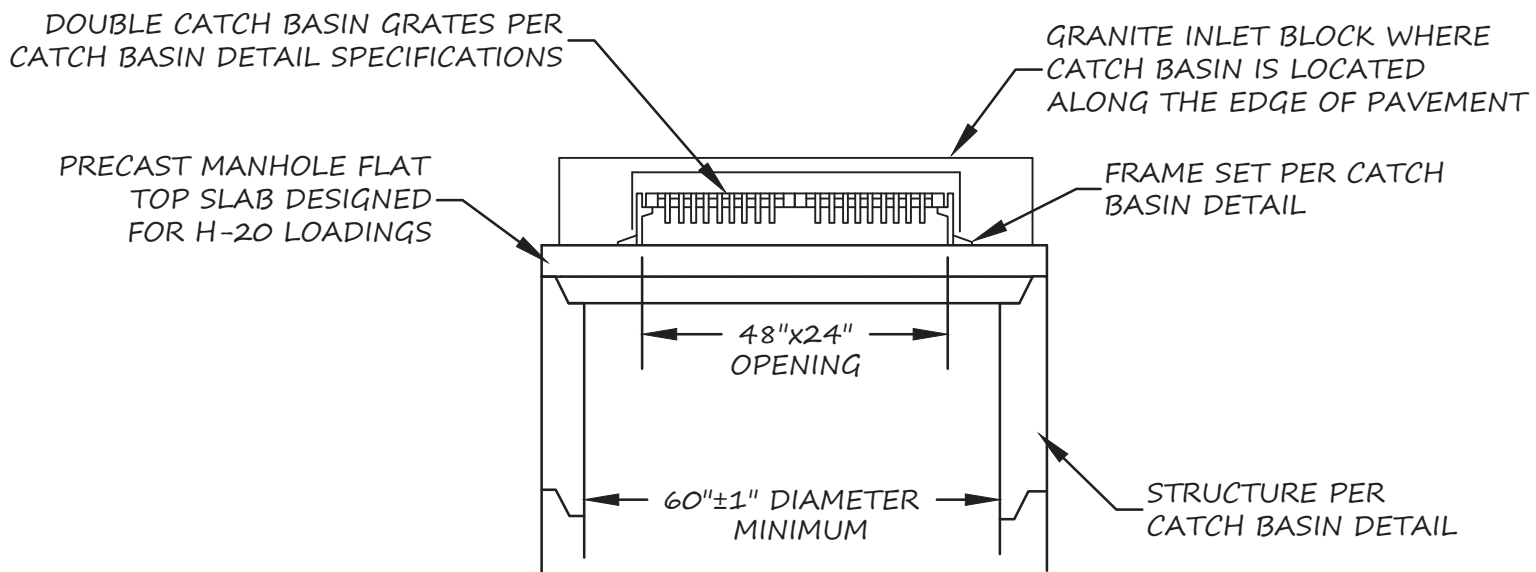
TYPICAL DRAIN TRENCH

(NO SCALE)



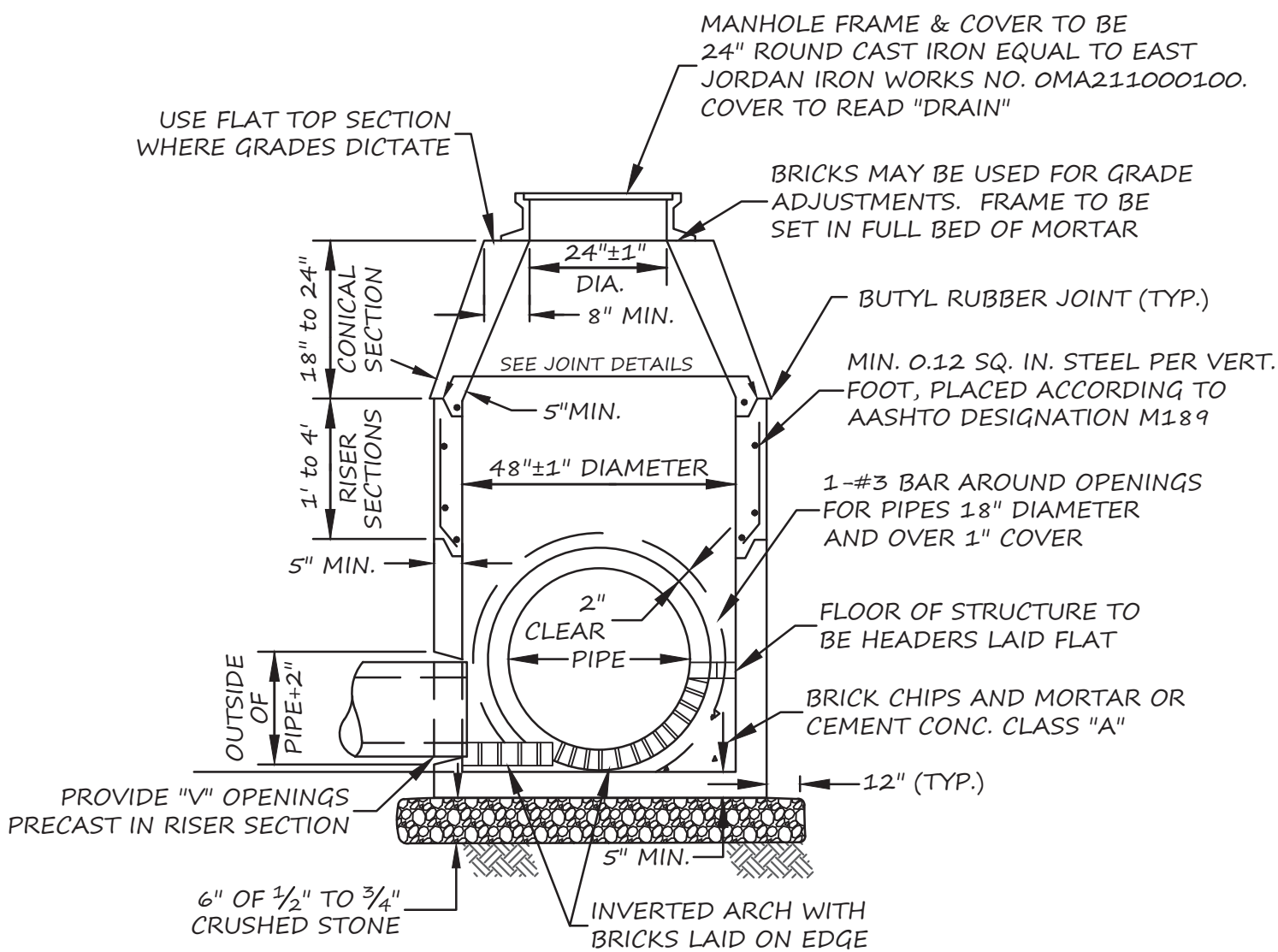
TYPICAL RIP-RAP APRON DETAIL

NOT TO SCALE



CATCH BASIN DOUBLE GRATE DETAIL

NOT TO SCALE



NOTES:

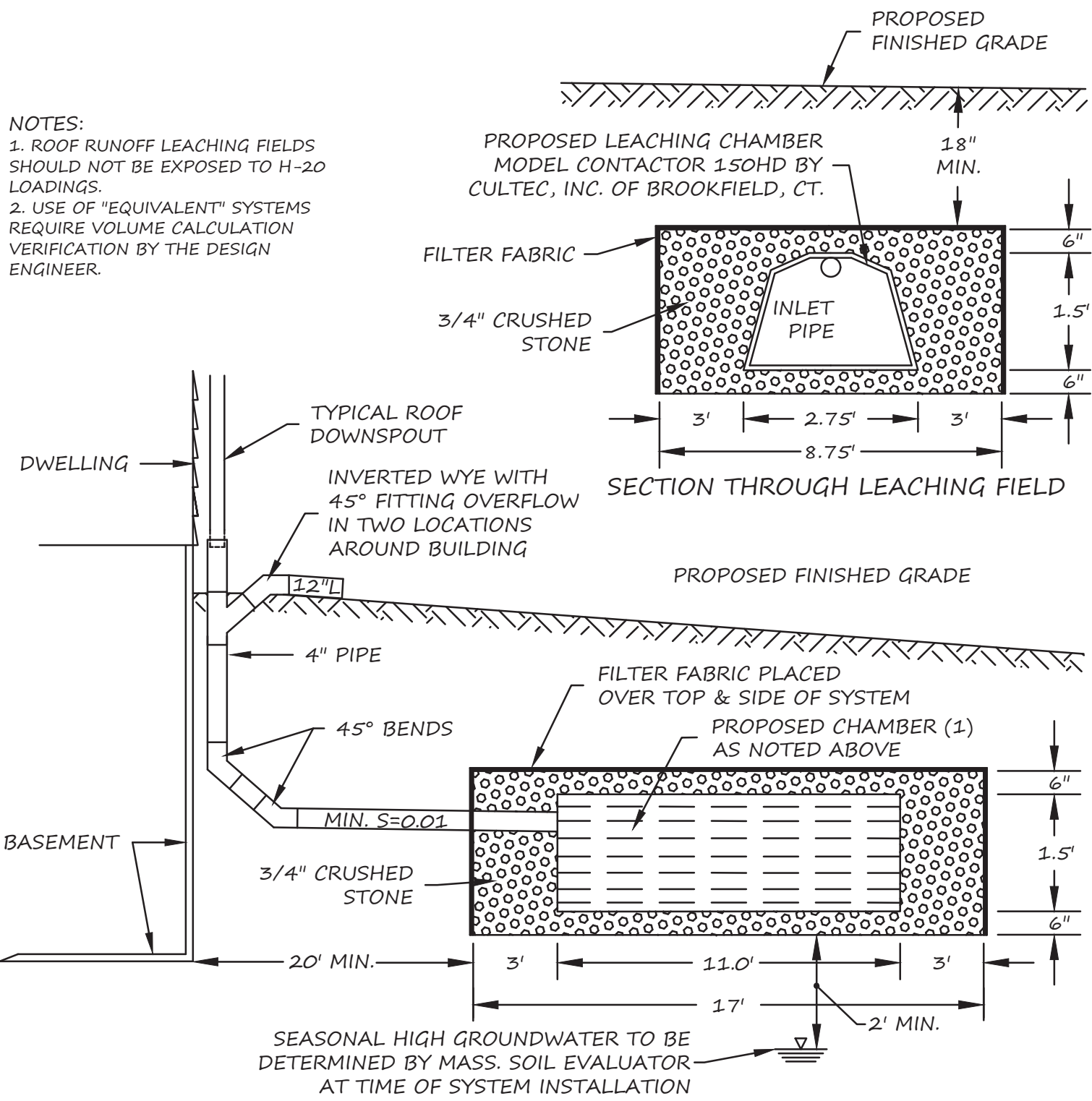
1. MANHOLE DIAMETER SHALL BE INCREASED IF NUMBER, SIZE, AND CONFIGURATION OF INLET/OUTLET PIPING NECESSITATES A LARGER MANHOLE DIAMETER.
2. SUBSTITUTE FRAME AND COVERS SHALL BE MADE IN USA AND SHALL BE APPROVED BY THE ENGINEERING DEPARTMENT OR PLANNING BOARD PRIOR TO CONSTRUCTION.

PRECAST CONCRETE MANHOLE

NOT TO SCALE

NOTES:

1. ROOF RUNOFF LEACHING FIELDS SHOULD NOT BE EXPOSED TO H-20 LOADINGS.
2. USE OF "EQUIVALENT" SYSTEMS REQUIRE VOLUME CALCULATION VERIFICATION BY THE DESIGN ENGINEER.



DESIGN NOTES:

1. THIS ROOF RUNOFF LEACHING SYSTEM WAS DESIGNED TO CAPTURE 1-INCH OF RUNOFF FROM THE ENTIRE ROOF OF EACH PROPOSED HOUSE (WHICH IS ASSUMED TO BE 2,000 S.F.) HOUSES WITH LARGER ROOF AREAS SHALL INCREASE THE SIZE OF THE SYSTEM PROPORTIONATELY AFTER CONSULTATION WITH THE DESIGN ENGINEER.
2. PIPING FOR THE ROOF DOWNSPOUT COLLECTION SYSTEM MAY BE SCHEDULE 40 PVC OR HDPE.
3. ALL ROOF RUNOFF SHALL BE PIPED INTO THE ROOF RUNOFF INFILTRATION SYSTEM.

ROOF RUNOFF INFILTRATION SYSTEM

NOT TO SCALE

ZONING DISTRICT:
AGRICULTURAL RESIDENTIAL I

ASSESSORS PARCEL:
MAP 41, PARCEL 35-1

OWNER/APPLICANT:
NOTWEN REALTY TRUST
33 FRUIT STREET
NORFOLK, MA 02056

I CERTIFY THAT 20 DAYS HAVE ELAPSED
SINCE THE PLANNING BOARD APPROVAL
AND NO APPEAL HAS BEEN FILED IN THIS
OFFICE.

TOWN CLERK

DATE

I CERTIFY THAT THIS PLAN HAS BEEN
PREPARED IN CONFORMITY WITH THE
RULES AND REGULATIONS OF THE
REGISTERS OF DEEDS OF THE
COMMONWEALTH OF MASSACHUSETTS.

I CERTIFY THAT THIS SURVEY AND PLAN
CONFORMS TO THE ETHICAL, PROCEDURAL
AND TECHNICAL STANDARDS FOR THE
PRACTICE OF LAND SURVEYING IN THE
COMMONWEALTH OF MASSACHUSETTS.

PROFESSIONAL LAND SURVEYOR

CONDITIONALLY APPROVED IN
ACCORDANCE WITH M.G.L. CHAPTER 41,
SECTION 81U, BY DECISION DATED
8/8/2017 AND FILED WITH TOWN
CLERK ON 8/8/2017, AND
SUBJECT TO COVENANTS, CONDITIONS
AND RESTRICTIONS SET FORTH IN A
COVENANT DATED 8/8/2017 TO BE
RECORDED HEREWITH.

DATE APPROVED: 8/8/2017

DATE ENDORSED: 8/8/2017

TOWN OF MEDWAY PLANNING AND
ECONOMIC DEVELOPMENT BOARD



Digitally signed by Daniel J.
Merrikin, P.E.
Date: 2017.08.09 13:03:57 -0400



730 MAIN STREET, SUITE 2C
MILLIS, MA 02054
ph. 508-376-8883 fax 508-376-8823

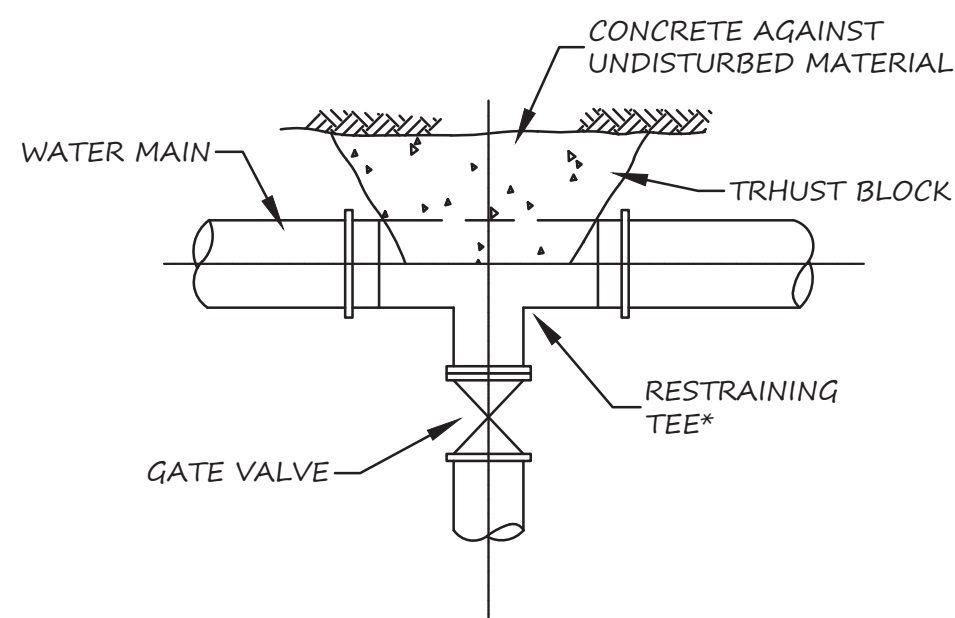
D104-01

SHEET 10 OF 12

PLAN SCALE: N.T.S.

PLAN DATE: JUNE 9, 2017

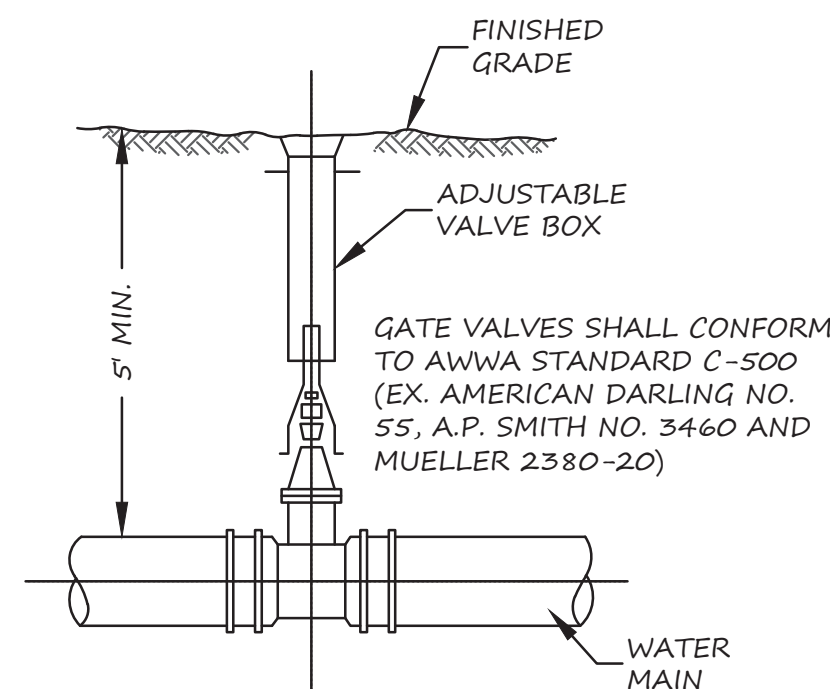
PAUL REVERE ESTATES
DEFINITIVE SUBDIVISION
DETAILS
PLAN OF LAND IN
MEDWAY, MA



NOTE: MECHANICAL JOINT RESTRAINT SYSTEMS SUCH AS "MEGALUG" MAY BE USED SUBJECT TO APPROVAL BY THE DEPARTMENT OF PUBLIC WORKS/ENGINEERING DEPT.

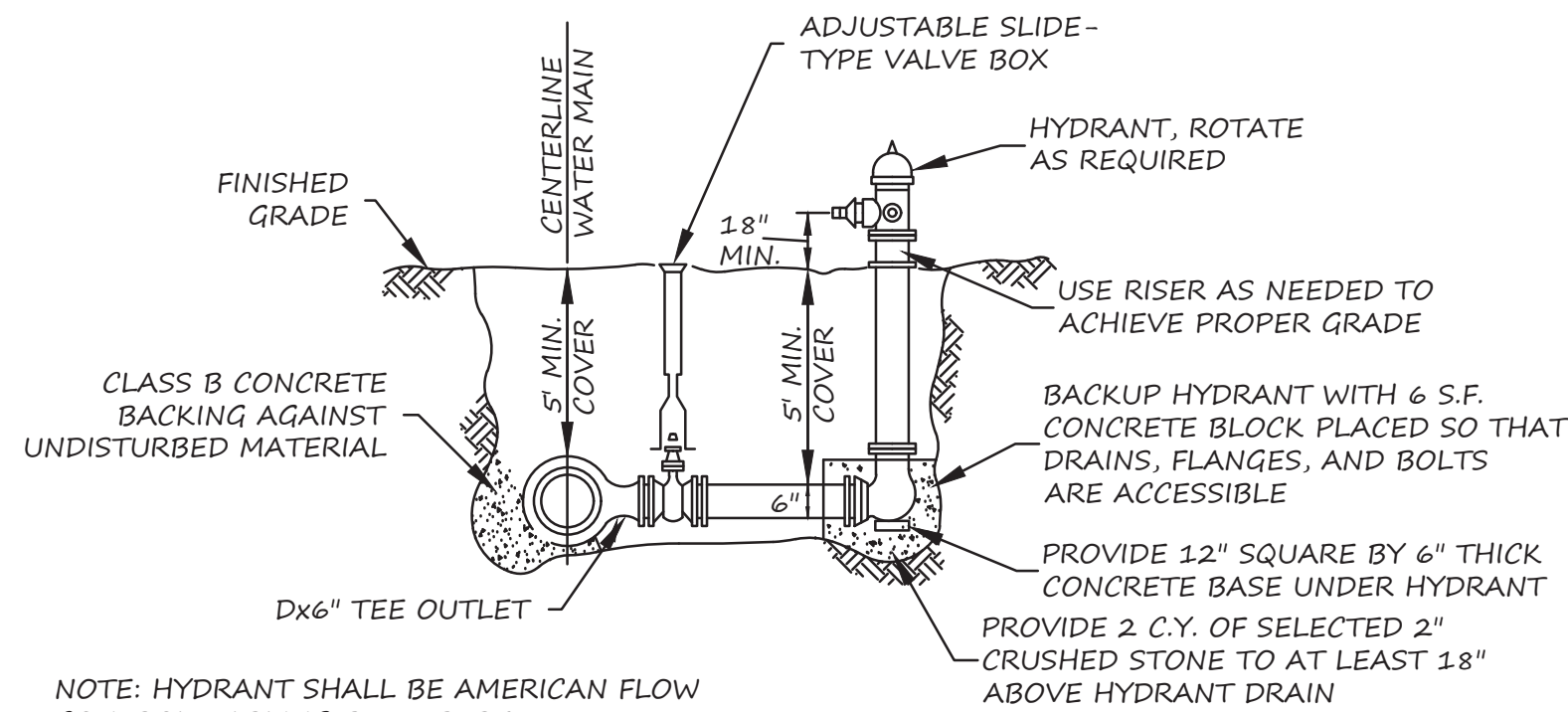
TYPICAL LATERAL GATE VALVE CONNECTION DETAILS

NOT TO SCALE



TYPICAL GATE VALVE

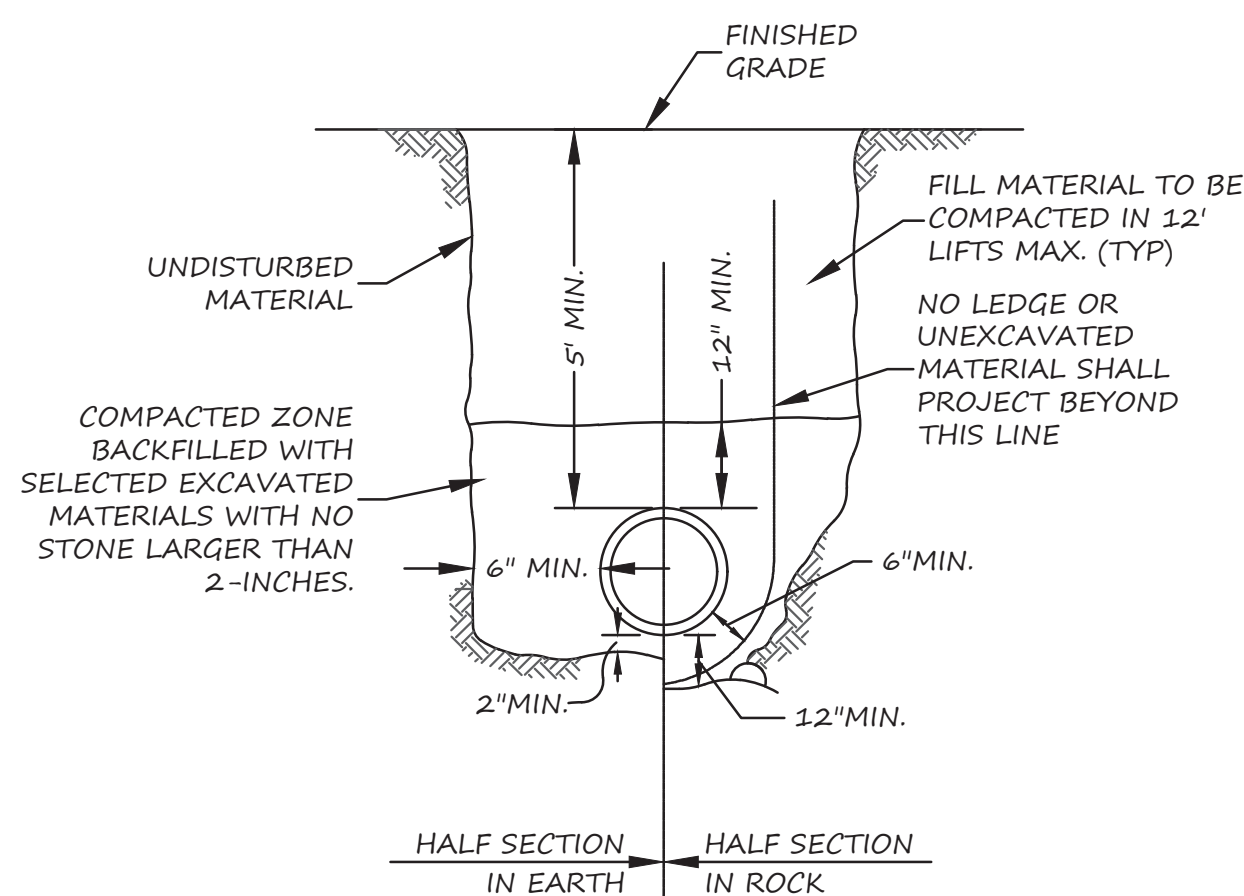
NOT TO SCALE



NOTE: HYDRANT SHALL BE AMERICAN FLOW CONTROL DARLING B-84-B, RED

TYPICAL HYDRANT ASSEMBLY DETAIL

NOT TO SCALE

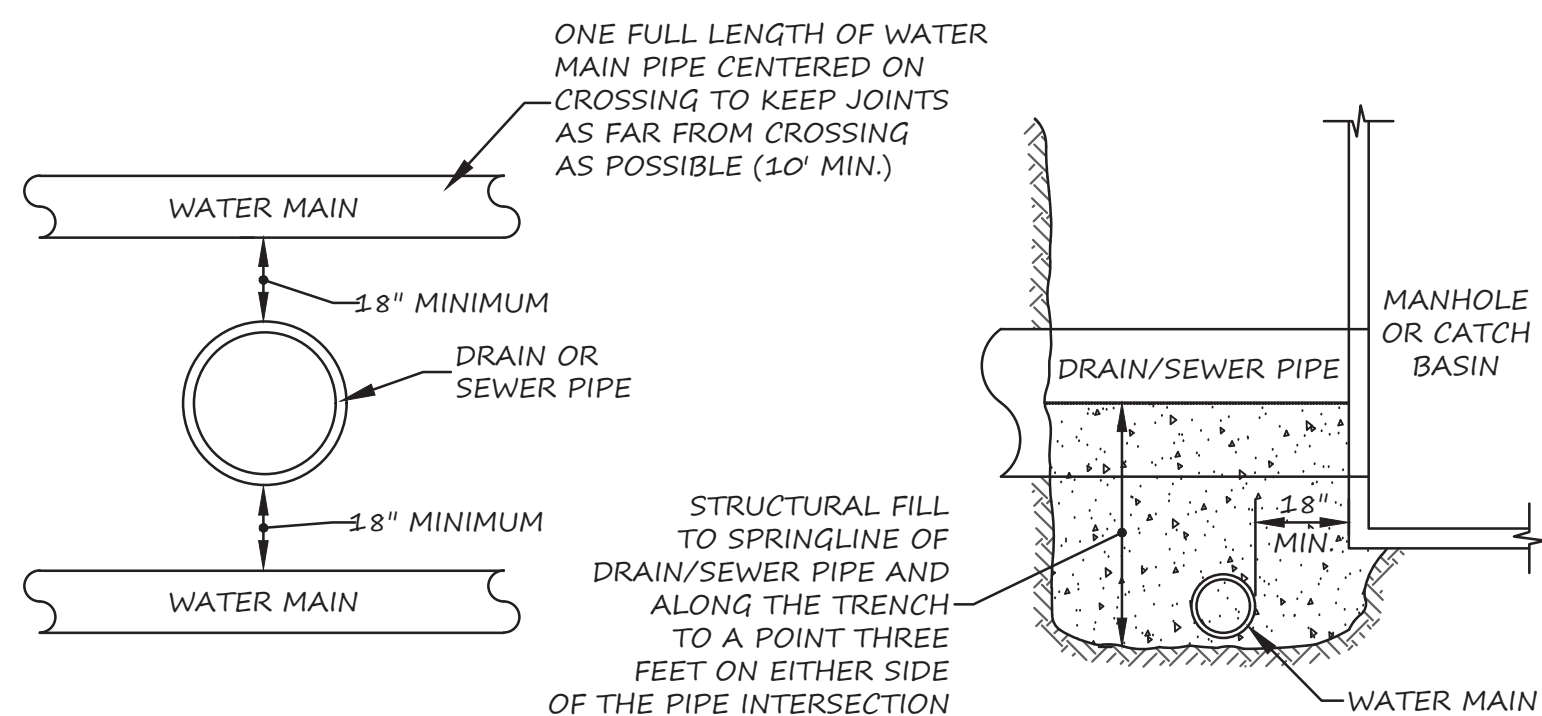


WATER MAIN TRENCH DETAIL

NOT TO SCALE

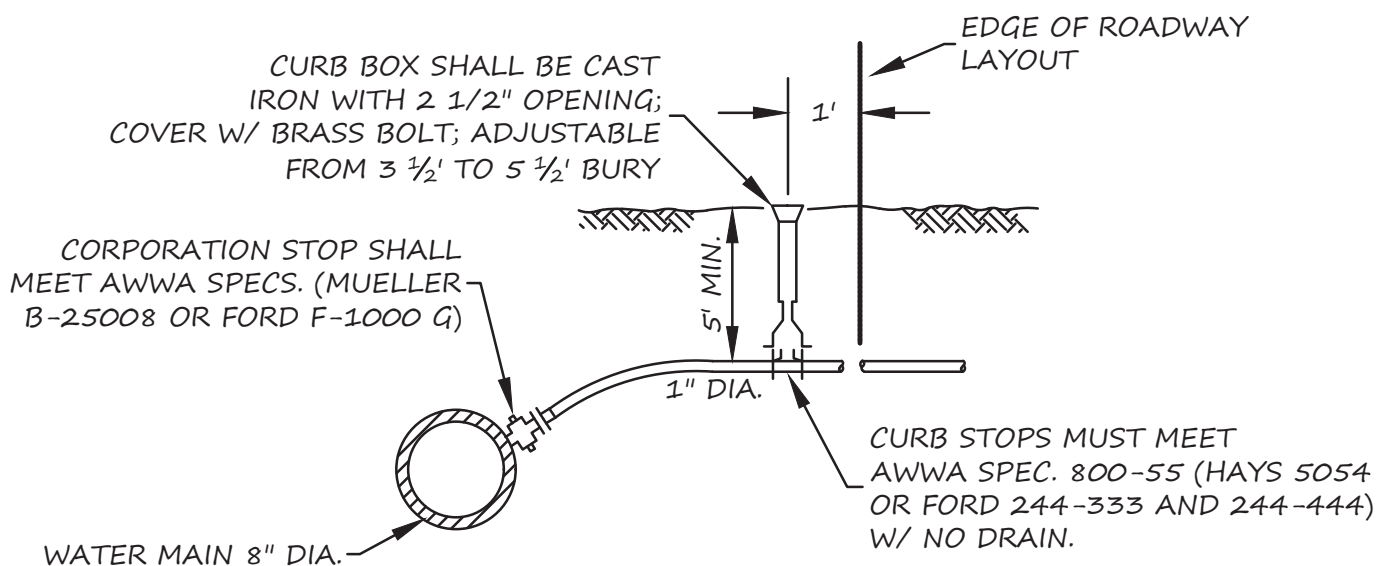
NOTES:

- FOR LOCATIONS WHERE LEDGE IS NOT ENCOUNTERED IN TRENCH, PIPE CAN LAY ON UNDISTURBED EARTH, OR ON SAND BEDDING CONSISTANT WITH AWWA GUIDELINES.
- FOR LOCATIONS WHERE LEDGE IS ENCOUNTERED, SAND BEDDING SHALL BE MINIMUM OF 12" THICK UNDER PIPE.
- FILL MATERIAL SHALL BE COMPACTED TO 95% PROCTOR DENSITY.



WATER MAIN CROSSING DETAIL

NOT TO SCALE

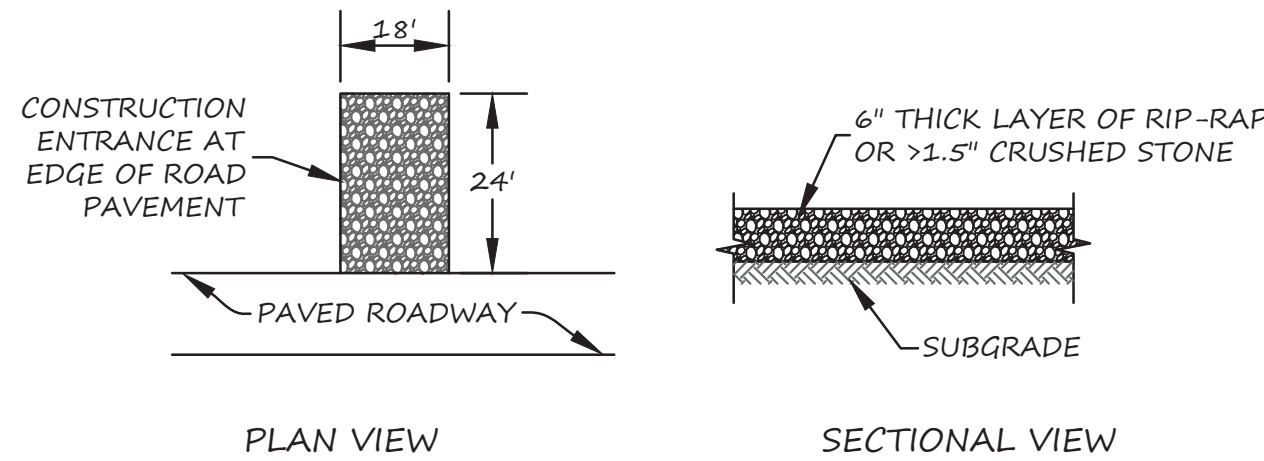


NOTES:

- COPPER TUBING SHALL MEET AWWA SPEC. 76-CR TYPE K OR FEDERAL SPEC. WWT-799 TYPE K AND BE THICKNESS CLASS 52.
- 1 1/2-INCH AND LARGER SERVICES SHALL BE INSTALLED WITH A SADDLE.
- POLYETHYLENE PLASTIC PIPE ALLOWED BETWEEN HOUSE AND CURB STOP.

TYPICAL WATER SERVICE CONNECTION

NOT TO SCALE

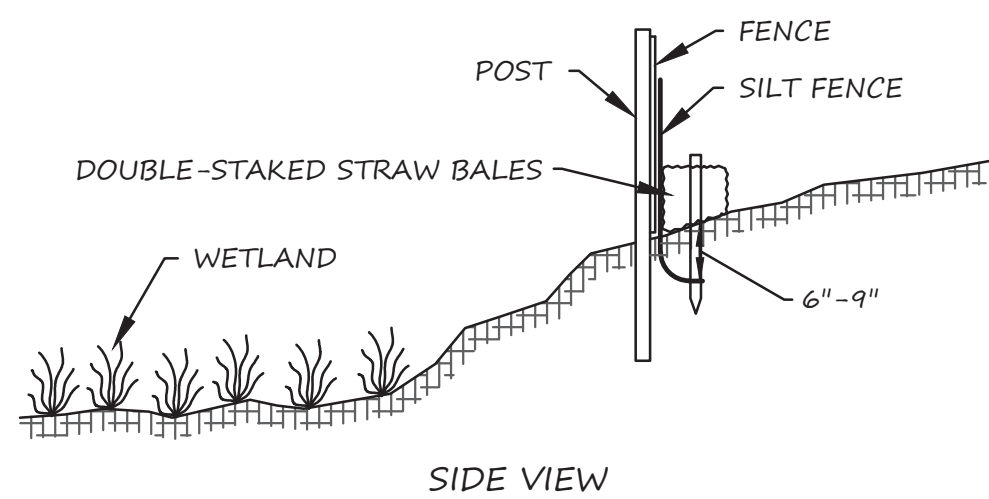
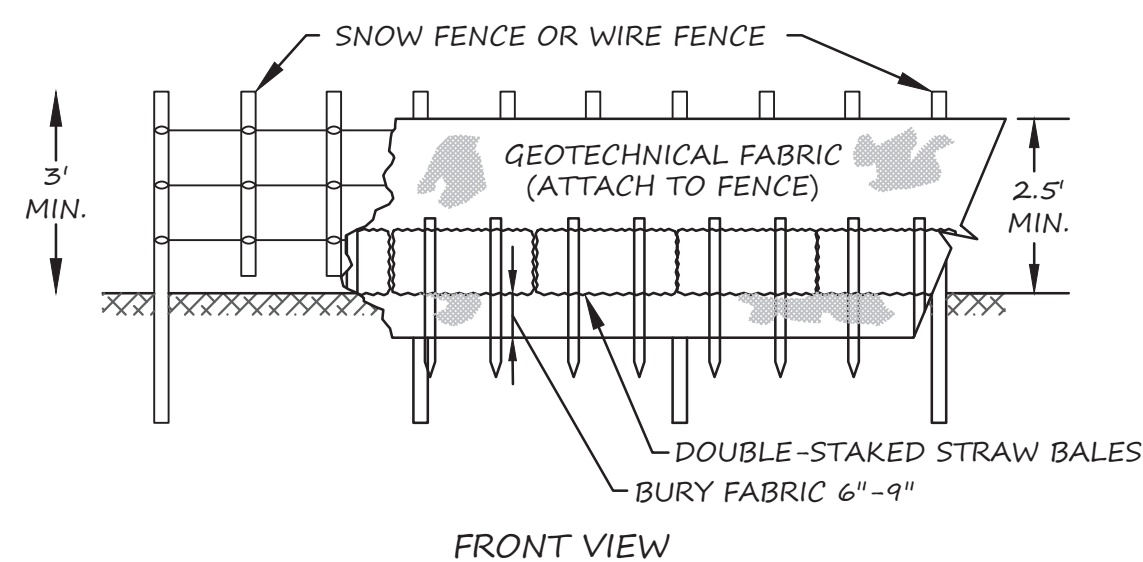


NOTES:

- ENTRANCE SHALL BE INSTALLED BEFORE ANY EXCAVATION WORK OCCURS ON-SITE.
- ENTRANCE SHALL BE MAINTAINED IN GOOD CONTITION UNTIL A PAVED DRIVEWAY IS INSTALLED. REPLACE ENTRANCE IF FILLED WITH SOILS OR IF SOILS ARE BEING TRACKED ONTO ADJACENT ROADWAYS.

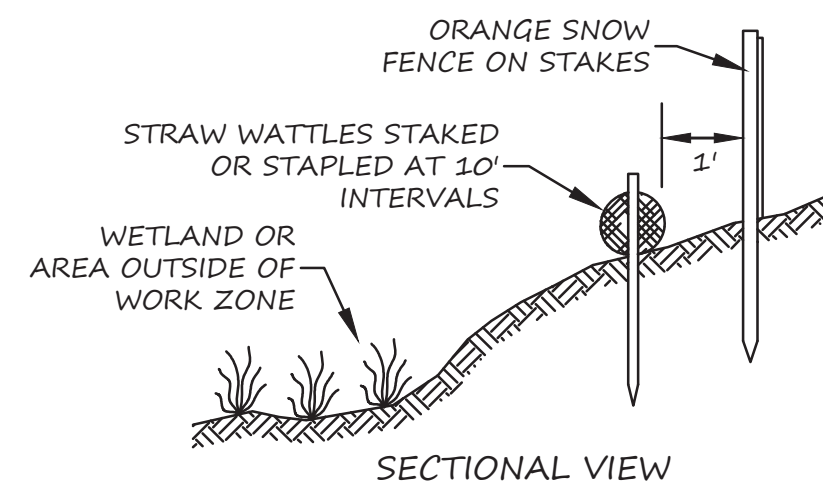
CONSTRUCTION ENTRANCE DETAIL

NOT TO SCALE



SILT FENCE & STRAW-BALES DETAIL

NOT TO SCALE



NOTE: NON-BIODEGRADABLE SOCK SHELL FILLED WITH FILTER MEDIA (BIODEGRADABLE OR OTHERWISE). JOINTS SHALL BE OVERLAPPED BY AT LEAST TWO FEET. ORANGE SNOW FENCE IS ONLY NEEDED IF THERE IS EVIDENCE OF THE COMPOST SOCK BEING BURIED BY CONSTRUCTION ACTIVITIES.

EROSION CONTROL DETAIL (COMPOST SOCK)

NOT TO SCALE

ZONING DISTRICT:
AGRICULTURAL RESIDENTIAL I

ASSESSORS PARCEL:
MAP 41, PARCEL 35-1

OWNER/APPLICANT:
NOTWEN REALTY TRUST
33 FRUIT STREET
NORFOLK, MA 02056

I CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE THE PLANNING BOARD APPROVAL AND NO APPEAL HAS BEEN FILED IN THIS OFFICE.

TOWN CLERK

DATE

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

I CERTIFY THAT THIS SURVEY AND PLAN CONFORMS TO THE ETHICAL, PROCEDURAL AND TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.

PROFESSIONAL LAND SURVEYOR

CONDITIONALLY APPROVED IN ACCORDANCE WITH M.G.L. CHAPTER 41, SECTION 81U, BY DECISION DATED _____ AND FILED WITH TOWN CLERK ON _____, AND SUBJECT TO COVENANTS, CONDITIONS AND RESTRICTIONS SET FORTH IN A COVENANT DATED _____ TO BE RECORDED HEREWITH.

DATE APPROVED: _____

DATE ENDORSED: _____

TOWN OF MEDWAY PLANNING AND ECONOMIC DEVELOPMENT BOARD



Digitally signed by Daniel J. Merrikin, P.E.
Date: 2017.08.09 13:03:33 -04'00'

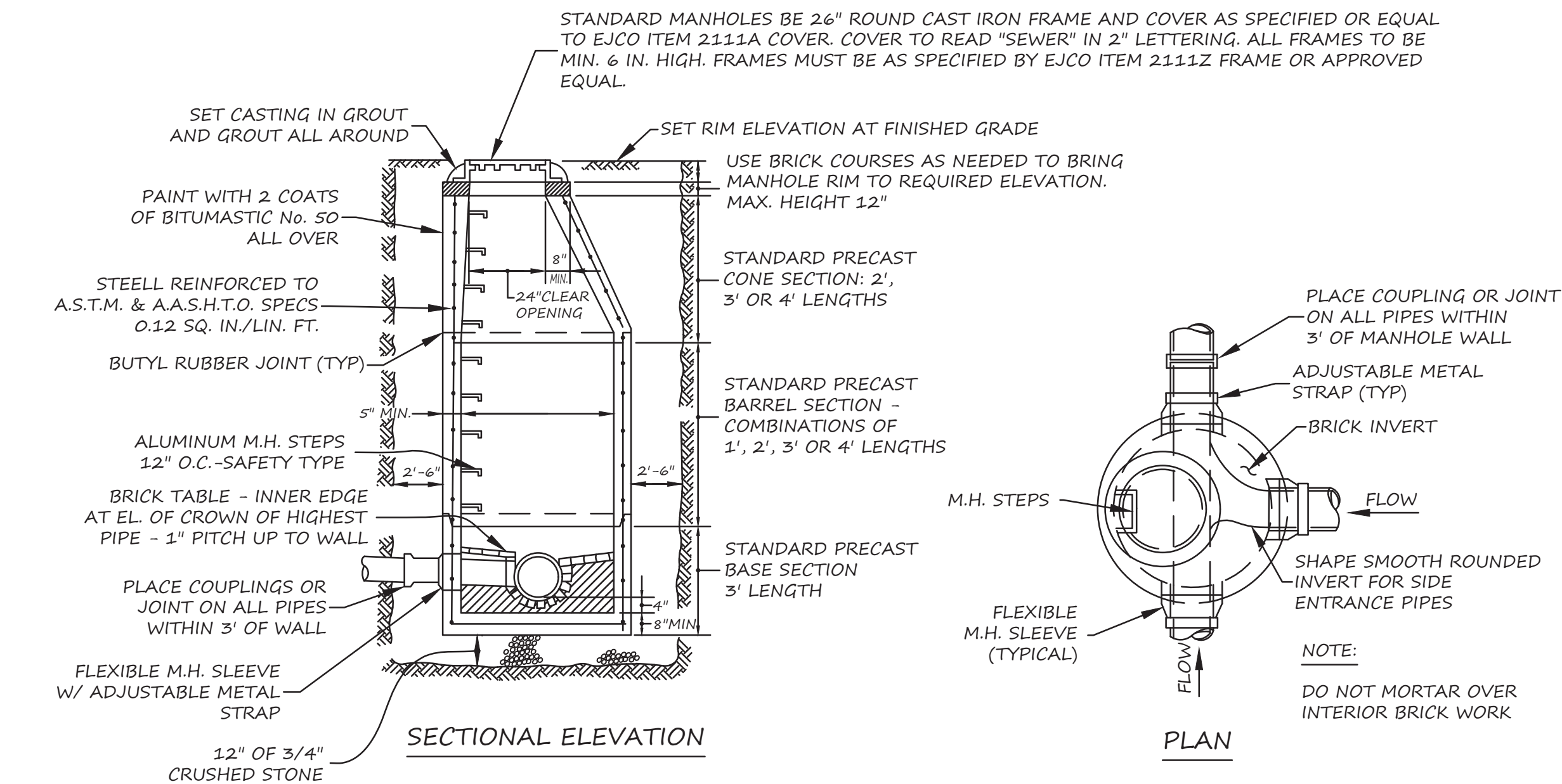
MERRIKIN ENGINEERING, LLP

730 MAIN STREET, SUITE 2C
MILLIS, MA 02054
ph. 508-376-8883 fax 508-376-8823

D104-01

SHEET 11 OF 12

PLAN SCALE: N.T.S.

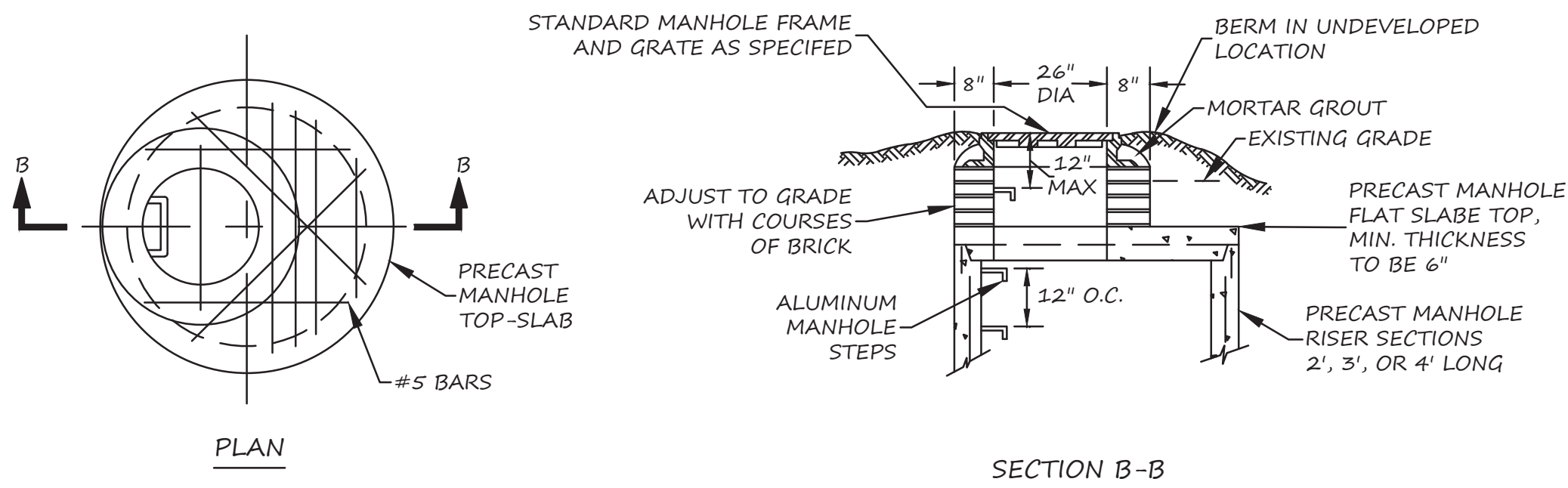


TYPICAL PRECAST CONCRETE MANHOLE DETAILS

NOT TO SCALE

NOTES:

1. TYPICAL SANITARY MANHOLE TO BE 4' IN DIAMETER.
2. 5'-0" DIA. FOR ALL MANHOLE DEPTHS GREATER THAN 12' OR WHEN ORDERED BY THE ENGINEER.
3. 6" MIN. WALL THICKNESS AND 7" MIN. BASE THICKNESS WITH 5'-0" DIA. MANHOLES.
4. INNER EDGE OF BRICK TABLE TO BE AT ELEVATION OF CROWN OF TOP OF PIPE.
5. DESIGN LOAD - HS20.
6. ALL INVERTS SHALL BE 4,000 PSI CEMENT CONCRETE IN VOID AREAS AND RED SEWER BRICK CONSTRUCTION.
7. INVERTS SHALL NOT BE BUILT ABOVE GRADE. ALL INVERTS SHALL BE BUILT IN PLACE WITH ALL PIPES INSTALLED.

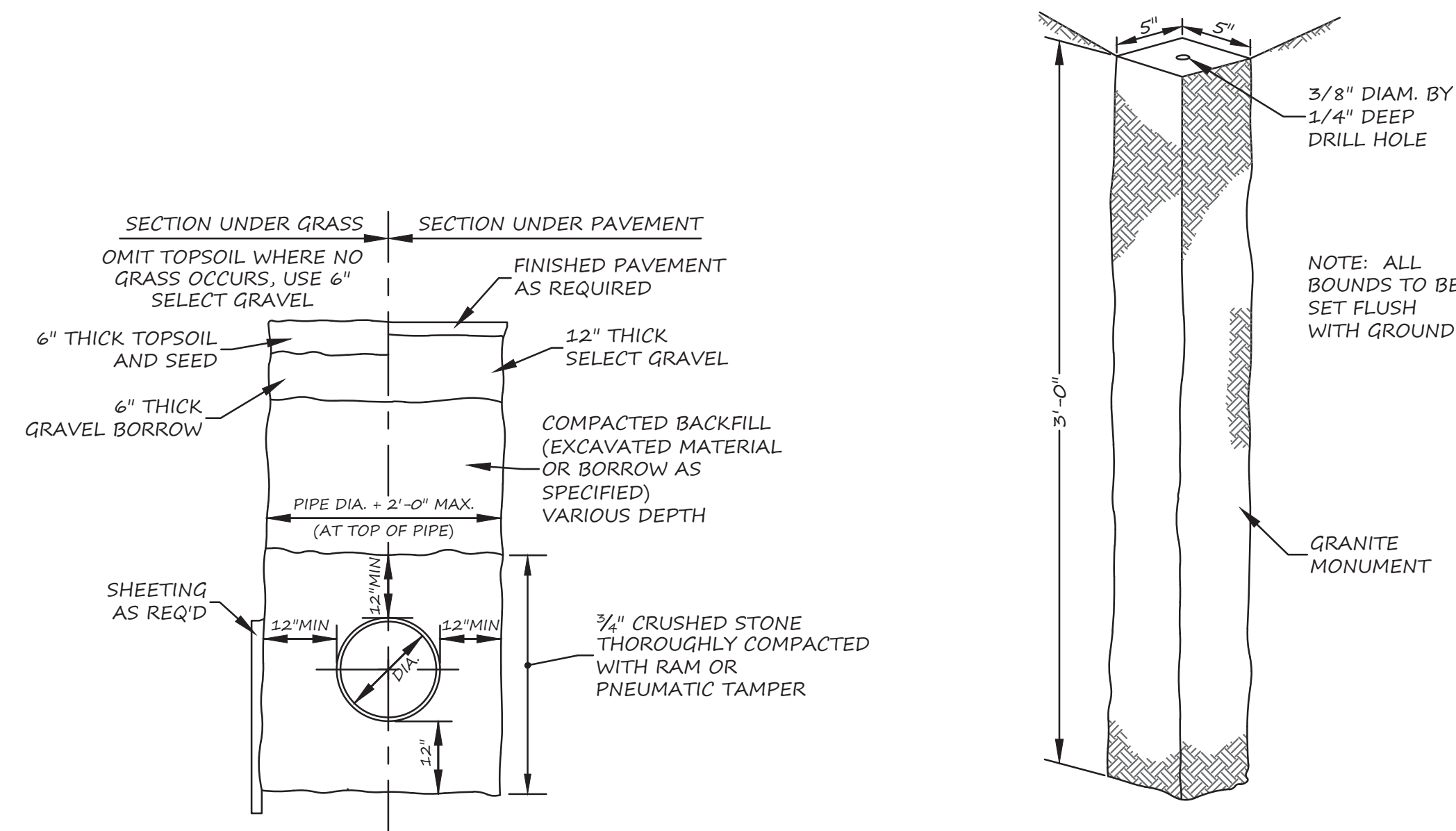


NOTE:

FOR ALL USE WHERE SHALLOW INSTALLATION DOES NOT PERMIT THE USE OF A CONE TYPE SECTION OR AS DIRECTED.

PRECAST MANHOLE FLAT TOP SECTION

NOT TO SCALE

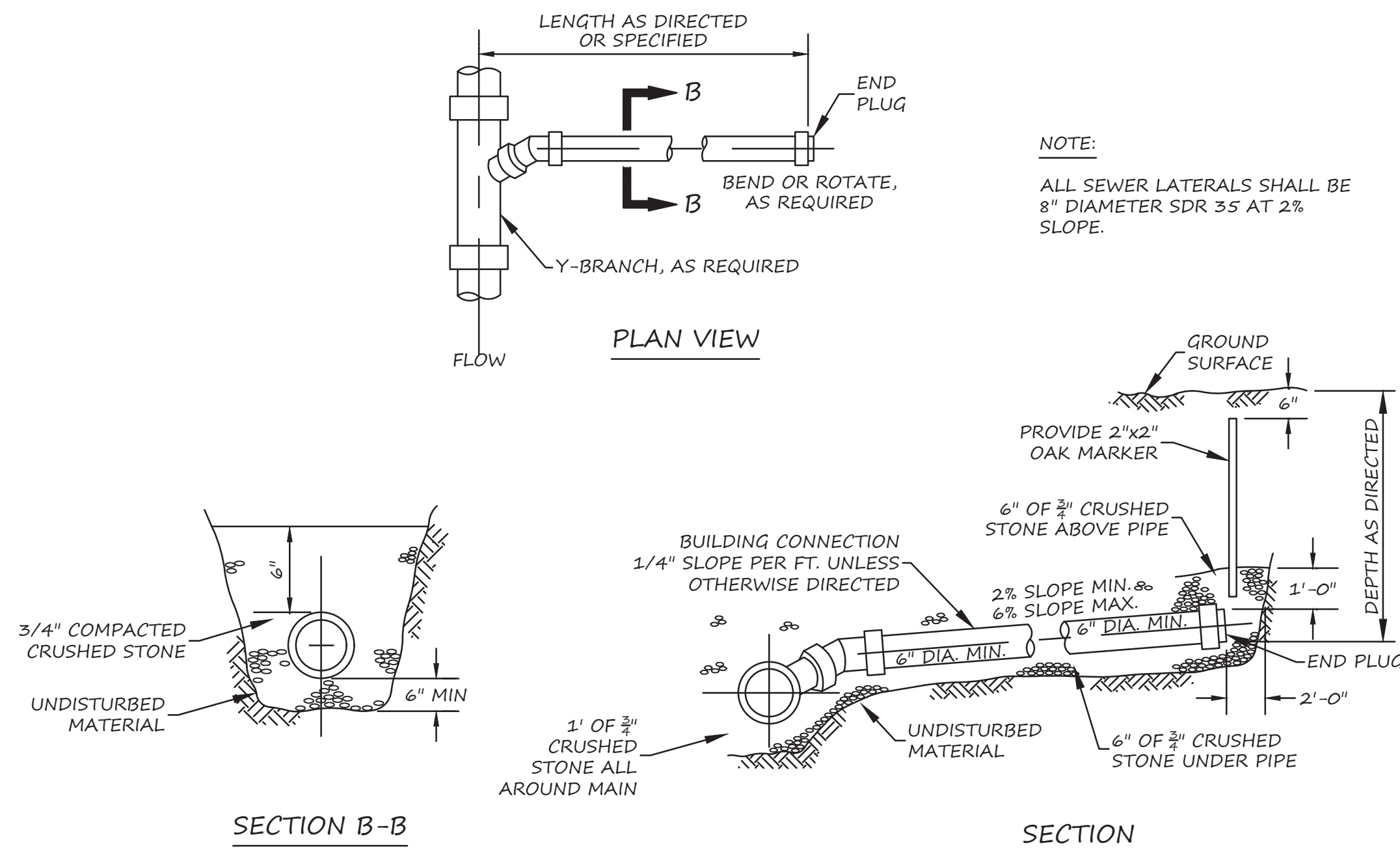


TYPICAL SEWER TRENCH

NOT TO SCALE

GRANITE MONUMENT DETAIL

NOT TO SCALE

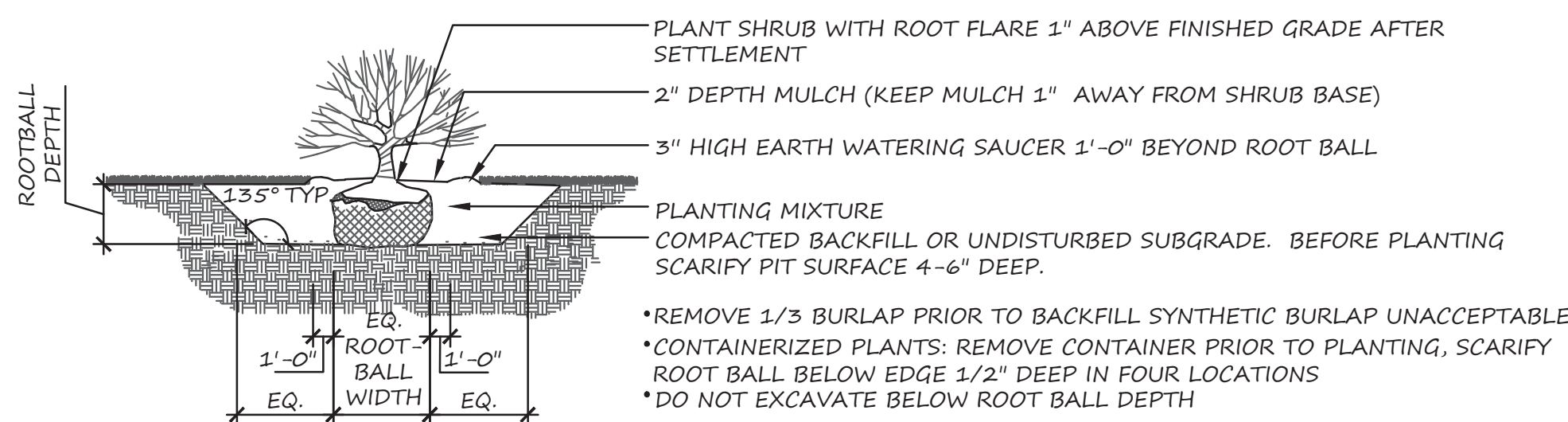


SECTION B-B

TYPICAL BUILDING SEWER SERVICE CONNECTION

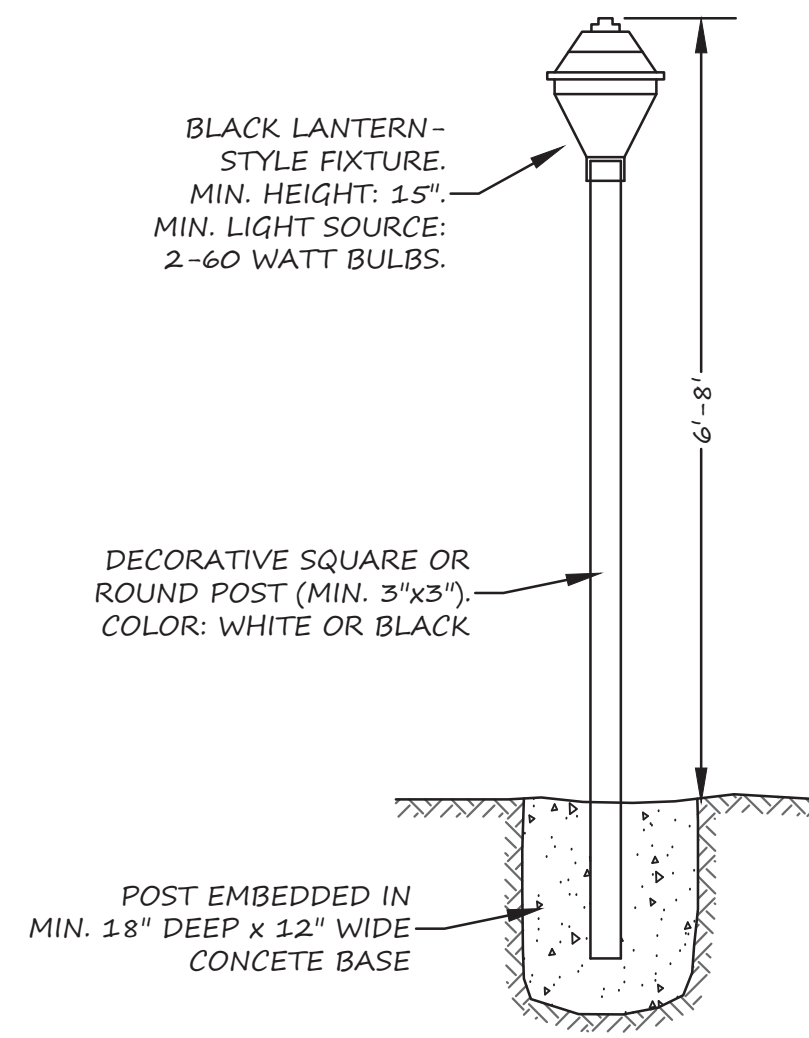
NOT TO SCALE

- LOOSE OR CRACKED ROOT BALLS ARE UNACCEPTABLE
- PLACE ROOT BALL ON UNDISTURBED SUBGRADE
- EXCAVATE TO REQUIRED DEPTH AND BACKFILL WITH PLANTING MIX
- RAISE AND REPLANT SHRUBS THAT SETTLE AFTER PLANTING & WATERING
- SET SHRUBS PLUMB
- FLOOD WATERING SAUCER TWICE IN FIRST 24 HOURS AFTER PLANTING.



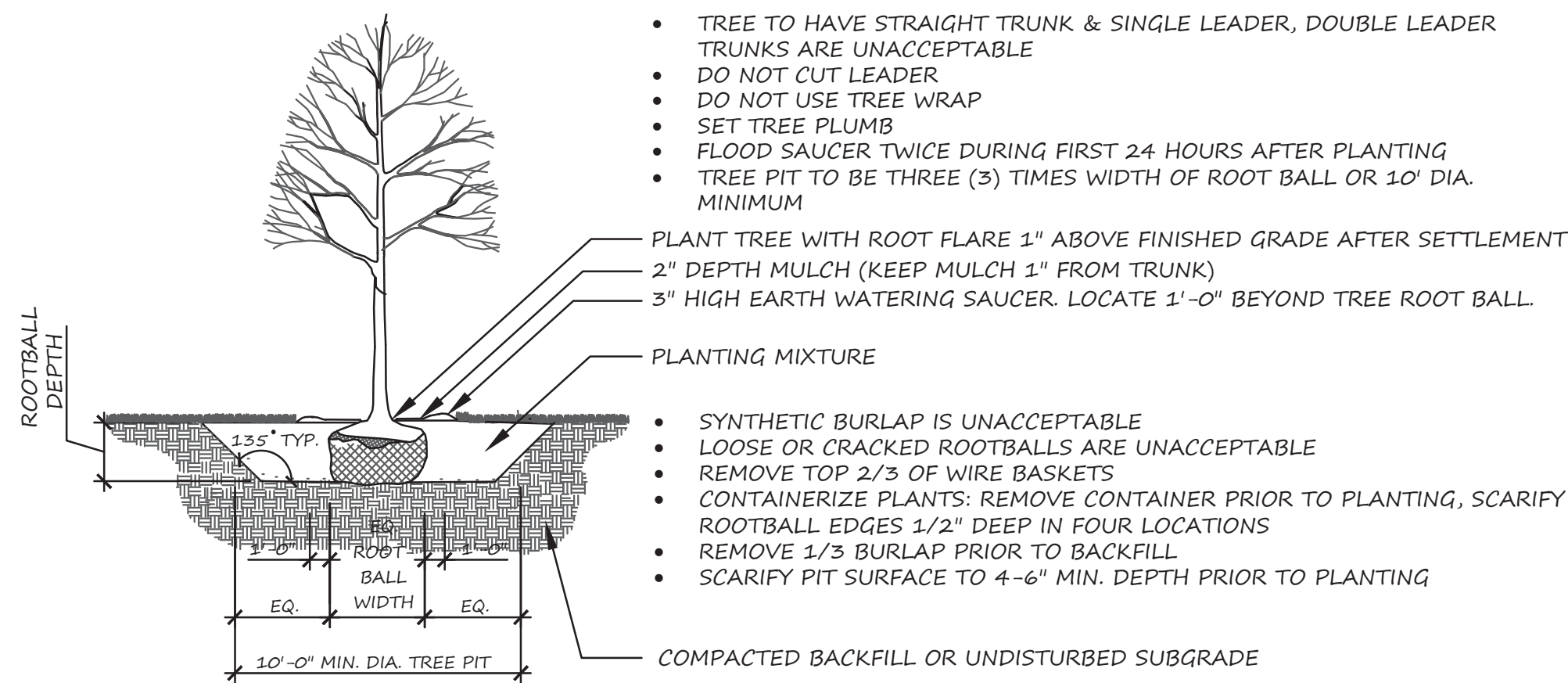
SHRUB PLANTING

NOT TO SCALE



DRIVEWAY LIGHT POLE DETAIL

NOT TO SCALE



DECIDUOUS TREE PLANTING

NOT TO SCALE

ZONING DISTRICT:
AGRICULTURAL RESIDENTIAL I

ASSESSORS PARCEL:
MAP 41, PARCEL 35-1

OWNER/APPLICANT:
NOTWEN REALTY TRUST
33 FRUIT STREET
NORFOLK, MA 02056

I CERTIFY THAT 20 DAYS HAVE ELAPSED
SINCE THE PLANNING BOARD APPROVAL
AND NO APPEAL HAS BEEN FILED IN THIS
OFFICE.

TOWN CLERK

DATE

I CERTIFY THAT THIS PLAN HAS BEEN
PREPARED IN CONFORMITY WITH THE
RULES AND REGULATIONS OF THE
REGISTERS OF DEEDS OF THE
COMMONWEALTH OF MASSACHUSETTS.

I CERTIFY THAT THIS SURVEY AND PLAN
CONFORMS TO THE ETHICAL, PROCEDURAL
AND TECHNICAL STANDARDS FOR THE
PRACTICE OF LAND SURVEYING IN THE
COMMONWEALTH OF MASSACHUSETTS.

PROFESSIONAL LAND SURVEYOR

CONDITIONALLY APPROVED IN
ACCORDANCE WITH M.G.L. CHAPTER 41,
SECTION 81U, BY DECISION DATED
____ AND FILED WITH TOWN
CLERK ON _____, AND
SUBJECT TO COVENANTS, CONDITIONS
AND RESTRICTIONS SET FORTH IN A
COVENANT DATED _____ TO BE
RECORDED HEREWITH.

DATE APPROVED: _____

DATE ENDORSED: _____

TOWN OF MEDWAY PLANNING AND
ECONOMIC DEVELOPMENT BOARD



MERRIKIN
ENGINEERING, LLP

730 MAIN STREET, SUITE 2C
MILLIS, MA 02054
ph. 508-376-8883 fax 508-376-8823

D104-01

SHEET 12 OF 12

PLAN SCALE: N.T.S.

PAUL REVERE ESTATES
DEFINITIVE SUBDIVISION
DETAILS
PLAN OF LAND IN
MEDWAY, MA

PLAN DATE: JUNE 9, 2017

REVISION
CHANGES PER BOARD CONSULTANTS

BY

DATE

8/8/2017

DJM

Merrikin Engineering, LLP

Consulting Engineers

730 MAIN STREET
SUITE 2C

MILLIS, MA 02054

TELEPHONE (508) 376-8883

August 9, 2017

Planning & Economic Development Board
Town Offices
155 Village Street
Medway, MA 02053

Ref: Definitive Subdivision Application
Paul Revere Estates
39 Main Street

Dear Members of the Board:

I am writing to respond to comments from the Board's consultants, PGC Associates, INC. dated July 5, 2017, and Tetra Tech dated July 6, 2017. Please find enclosed:

- Two full size and one 11x17 copies of a revised site plan; and
- A fire department access sketch.

PGC Comments:

ZONING:

1. *Comment: The proposed lots meet the area, frontage and lot shape factor to comply with the zoning bylaw. They also all exceed 50% uplands in accordance with the bylaw.*

Response: No response needed.

SUBDIVISION RULES AND REGULATIONS:

2. *Comment: Since it is under 20 lots, a traffic study is not required (Section 5.5.12).*

Response: No response needed.

3. *Comment: Section 5.7.6 requires an existing conditions sheet, including locating trees of more than 24" in caliper. The existing conditions sheet has been provided but a waiver is requested to not require the large trees be shown. Also, the erosion controls are shown on the existing conditions plan, which is a bit odd since they do not exist yet. It may not be a problem due to the simplicity of the site.*

Response: Based on discussions with the board, the plans have been revised to depict all existing trees with a diameter of 24" or larger at 4' above grade within the proposed construction area. The waiver has been revised accordingly in sheet 1. The limit of clearing for the house lots has been added to the existing conditions/erosion control plans. Where these trees could reasonably be saved, they have been marked accordingly. Several trees fall within the heart of anticipated house locations, the roadway layout or the stormwater basin and cannot be saved.

Note that the erosion controls have been included in the existing conditions sheet as we did not think it necessary to add an entire sheet to the plan set for this sole purpose.

4. *Comment: Section 5.7.8 requires streets, ways, lots, lot numbers or other designation be shown. This has been done. However, I suggest that the road be described and listed as a separate parcel. The applicant has stated the intent to reserve the fee interest in the road and describing it as a separate parcel facilitates that process.*

Response: The roadway has been described on sheet 5 as Parcel E.

5. *Comment: Section 5.7.9 requires that existing wells and septic systems on, and within 100 feet of, the property be shown. Nearby cesspools are shown on the plans.*

Response: To the best of our knowledge, there are no other wells or septic systems within 100' of the property other than what is shown on the plans. We have consulted with the Board of Health for this data.

6. *Comment: Section 5.7.12 requires that the ROW and pavement width of streets within 700 feet of the subdivision be provided. The pavement for nearby streets is shown though dimensions are not provided.*

Response: A list of existing road pavement widths has been added to sheet 2 in the lower left corner.

7. *Comment: Section 5.7.23 requires stormwater information including a long-term operations and maintenance plan to be shown on the plans. The O&M plan is included in the Stormwater Report.*

Response: The O&M plan has been added as sheet 3.

8. *Comment: Section 5.7.27 requires that street and traffic control signs be shown on the plans. This was not done.*

Response: Existing traffic control signs have been added to sheet 4 of the subdivision plans. Proposed signs can be found on sheet 7 of the subdivision plan.

9. *Comment: Section 5.7.32 requires cul-de-sac landscaping. An island is shown but no landscaping details have been provided.*

Response: Cul-de-sac landscaping can be found in the upper right-hand corner of sheet 7 of the subdivision plan.

10. *Comment: Section 5.7.35 requires that clearing and grading limits be shown on the plan and stockpile areas be marked. A limit of work marked by a snow fence and a stockpile area have been shown.*

Response: The phase 2 (house construction) erosion control line has also been added to sheet 4 of the subdivision plan.

11. *Comment: Section 7.7.2 (p) requires detention and retention basins to be on a separate parcel and at least 30 feet from any lot line. The basin is on a separate parcel but is less than 30 feet from the right-of-way and adjacent lots. A waiver is requested to allow the setback to be 20 feet from lot lines.*

Response: No response needed.

12. *Comment: Section 7.9.6 does not permit cul-de-sacs unless the land would be rendered undevelopable otherwise. The current parcel does not meet frontage requirements on its own, but could meet the requirement with the abutting parcel under the same ownership and just recently separated.*

Response: There is insufficient room for a second road to be added, even with the adjacent house lot included in the parcel. There is therefore no practicable way to avoid a cul-de-sac.

GENERAL COMMENTS:

13. *Comment: Section 7.9.1 states that neighborhood construction standards are to be used in subdivisions up to 5 lots. Neighborhood streets only require a 20-foot road width while 26 feet is proposed (the standard for a local street).*

Response: As discussed with the board, the design has been changed to meet the neighborhood standard.

Tetra Tech Comments:

MEDWAY SUBDIVISION REGULATIONS:

1. *Comment: Sight distance computations have not been provided. (Ch. 100 §5.5.13)*

Response: The information is depicted on sheet 7 in the plan view.

2. *Comment: Anticipated name of the proposed roadway has not been provided. (Ch. 100 §5.7.1)*

Response: The name “Revere Road” has been approved by the Street Naming Committee.

3. *Comment: Locus Plans provided do not extend 700’ (Ch. 100 §5.7.5).*

Response: The locus plan on sheet 2 shows an area to a distance of 700’ from the property line. The 700’ offset line has been added to clarify this.

4. *Comment: Existing conditions plan does not include inventory of trees with a diameter of one-foot (1’) or greater. The town requires exploring the conservation of larger mature trees on-site to the maximum extent practicable as referenced by several additional regulations speaking to inventory of mature trees. (Ch. 100 §5.7.6, 7.2, 7.3.1.c and 7.4.1)*

Response: As discussed, the waiver has been modified to include all 24” diameter or greater hardwood trees within the area of construction. Such trees have been marked to be saved where they do not interfere with road, stormwater basin or anticipated house locations.

5. *Comment: Existing roadway centerline included in the profile view of the proposed roadway shall be shown as fine black solid line. (Ch. 100 §5.7.20)*

Response: The existing roadway centerline has been changed to a fine solid black line.

6. *Comment: Street lighting provided only at entrance to the subdivision. However, the applicant has proposed driveway lighting at the end of each driveway. We recommend the board review this proposal with Medway Public Safety to determine if proposed lighting is sufficient. (Ch. 100 §5.7.28)*

Response: We are awaiting response from the public safety officer in this regard.

7. *Comment: It is unclear if Parcel D is proposed as open space. Please confirm and clarify on plan. (Ch. 100 §5.7.31)*

Response: Parcel D is a drainage parcel to be conveyed to the town of Medway at the time street acceptance. General note 6 has been added to sheet 2 regarding this.

8. *Comment: Project meets the requirements (5 or less house lots) of a “neighborhood” roadway with a paved width of twenty feet. The applicant should consider reducing the roadway width to further reduce impervious cover for the Project. (Ch. 100 §7.9.1.f)*

Response: As discussed with the board, the roadway layout has been changed to a neighborhood layout.

9. *Comment: Street light is within 25’ of intersection. (Ch. 100 §7.21.3)*

Response: The street light has been moved to the opposite side of the street as requested by Tetra Tech. The light pole is not within 25’ of the intersection of street curb tangents.

STORMWATER MANAGEMENT:

10. *Comment: We recommend the applicant provide additional test pit information to determine depth to estimated season high groundwater (eshgw) at the location of the proposed infiltration basin due to inconsistencies in two test pits adjacent to the proposed basin. The applicant proposes to cut the basin down approximately 6 feet from grade to bottom elevation 158.00. The nearest test pit (OTH 11) depth is 8.5 feet from grade with a bottom elevation of 157.93 and no signs of mottling or groundwater infiltration into the test pit. In the next closest test pit (OTH 2) mottling was observed at elevation 161.53 which is approximately the same distance from the basin as OTH 11. Additional eshgw information is required at the proposed infiltration basin location to determine proper separation is provided in the design. (Standard 3)*

Response: Test pit locations were mistakenly omitted from the original plan. They have been added. There are two closer test pits to the basin; OTH 7 is located within the stormwater basin and OTH 9 lies under the northerly berm of the basin. Together with test pits OTH 2, and OTH 11, they illustrate a sloping water table that results from the transition from glacial till soils in the west to sandy outwash soils in the east. The separation to SHGW ranges from 4’-6’ below the bottom of the basin.

11. *Comment: A plan for screening of the proposed infiltration basin shall be provided. (Ch. 100 §7.7.2.r)*

Response: A landscaping detail has been added to sheet 6.

12. *Comment: Inflow areas and subsequent flow rates to catch basin structures CB1 and CB3 are greater than ± 2 cfs that a catch basin grate can pass without flooding adjacent roadway. We recommend the applicant propose additional catch basins or double catch basin grates to ensure flooding does not occur along the roadway.*

Response: Double catch basin grates have been specified for CB1 and CB3.

13. *Comment: Existing (13.407 ac) and Proposed (13.411 ac) watershed areas do not match. Please provide commentary on difference in areas.*

Response: The HydroCAD calculations provided show a total existing watershed area of 13.410 ac and a proposed watershed area of 13.411 ac. The difference of 0.001 ac (43 s.f.) is a minor rounding error.

14. *Comment: The applicant shall provide a note on the "Stormwater Basin – Profile" detail on Sheet 7 to prevent compaction of subsoils during removal and replacement of soils within the limits of the proposed infiltration basin. Furthermore, proposed basin should not be used during construction as a temporary sedimentation basin to prevent choking of voids in subsoils by sediment.*

Response: The requested notes have been added to the "Typical Basin Cross Section" detail on sheet 8.

GENERAL COMMENTS:

15. *Comment: The applicant should confirm sewer capacity is available to serve the proposed subdivision. Town-wide sewer moratorium remains in effect at the time of this submittal.*

Response: We have met with the Department of Public Services, who has confirmed that the proposed sewer is not considered an extension under the moratorium because it does not expand the sewer service area. They have indicated that they have no issues with the proposed design. We have, however, updated several of the details to be consistent with DPS's new water and sewer regulations.

16. *Comment: Please clarify the boundary of the parcel subject to review and distinguish from non-project property lines by line type and weight. It is unclear if Main Street frontage lots are considered part of this application. Project work is shown extending onto these parcels.*

Response: The line type for the property boundary has been changed on the existing conditions sheet.

17. *Comment: We do not support waiver of tree inventory requirement. Given the latitude available to particular houses the Board may wish to condition the approval to maintain particular trees which necessitates the inventory.*

Response: As discussed with the board, we have located all hardwood trees larger than 24" in the proposed construction area. The waiver has been revised accordingly. We have tagged trees to be preserved where they do not interfere with the roadway layout, the stormwater basin, and reasonable expectations regarding house locations.

18. *Comment: We do not have any objections to the waiver request for stormwater setback.*

Response: No response needed.

19. *Comment: The plans have an electronic endorsement. We recommend plans be wet stamped.*

Response: The endorsement set will be wet stamped, while review sets will be digitally stamped.

20. *Comment: Please modify signature block to read "Planning and Economic Development Board" instead of "Planning Board".*

Response: The signature block has been modified accordingly.

21. *Comment: Provide scale bar where drawing scale is called out.*

Response: Scale bars have been updated.

22. *Comment: Grading extends beyond erosion controls shown on Sheet 3.*

Response: The erosion controls on sheet 4 were revised to include all grading activities.

23. *Comment: Please clarify the purpose of grading and utility easements shown on Sheet 4.*

Response: The easements are for grading, utilities, trees, drainage, and utility stubs.

24. *Comment: What is the status of Parcel D? Who will be responsible for maintenance of proposed stormwater management infrastructure once roadway is accepted?*

Response: Parcel D is a drainage parcel to be conveyed to the town of Medway at the time of street acceptance. General note 6 has been added to sheet 2 accordingly.

25. *Comment: Sewer lateral from Lot 5 flows opposite to direction of flow in main at connection.*

Response: The sewer lateral has been revised accordingly.

26. *Comment: Please clearly distinguish existing from proposed utilities.*

Response: The existing utilities have been changed to a lighter color on sheets 6 & 7 to differentiate between existing and proposed utilities.

27. *Comment: Runoff in the gutter line of Main Street will flow into subdivision. Please provide detail on how gutter line flow in Main Street will be maintained past the site or include flows from Main Street in stormwater calculations.*

Response: The road profile shows a 10' stretch of roadway at the entrance to the subdivision that is sloped towards Main Street that will prevent gutter line flow from entering the subdivision road.

28. *Comment: Sewer main has a proposed slope of 0.4%. Please provide calculations showing how minimum velocities will be maintained.*

Response: The sewer slope has been designed in accordance with the standards as shown in the TR-16 Guides for the design of Wastewater Treatment Works. An 8" PVC pipe sloping at 0.004 has a full velocity of 2.6 fps (per Manning's Equation).

29. *Comment: Water services should come off main at 90 degrees and terminate at a curb stop or similar shut off at the limit of the right-of-way. Method of connection and size of service should be shown as well.*

Response: The water service lines have been changed accordingly. The method of connection is shown on detail sheet 11. The size of service (1") has been added to the detail.

30. *Comment: Sewer lateral inverts, slope, size and material should be labeled.*

Response: The sewer lateral slopes, size, and material has been added to the detail on sheet 12. A chart showing lateral inverts has been added to the road profile sheet.

31. *Comment: We do not recommend installing any type of grating on the downstream end of drain pipes. If grating is needed, install on upstream end only.*

Response: The grating detail has been removed.

32. *Comment: We recommend the applicant provide a stop line and the word "STOP" clearly shown on the Plans.*

Response: A stop line with the word "STOP" has been added to the road profile sheet.

ADDITIONAL CHANGES MADE:

The following additional revisions have been made based on discussions with various town offices.

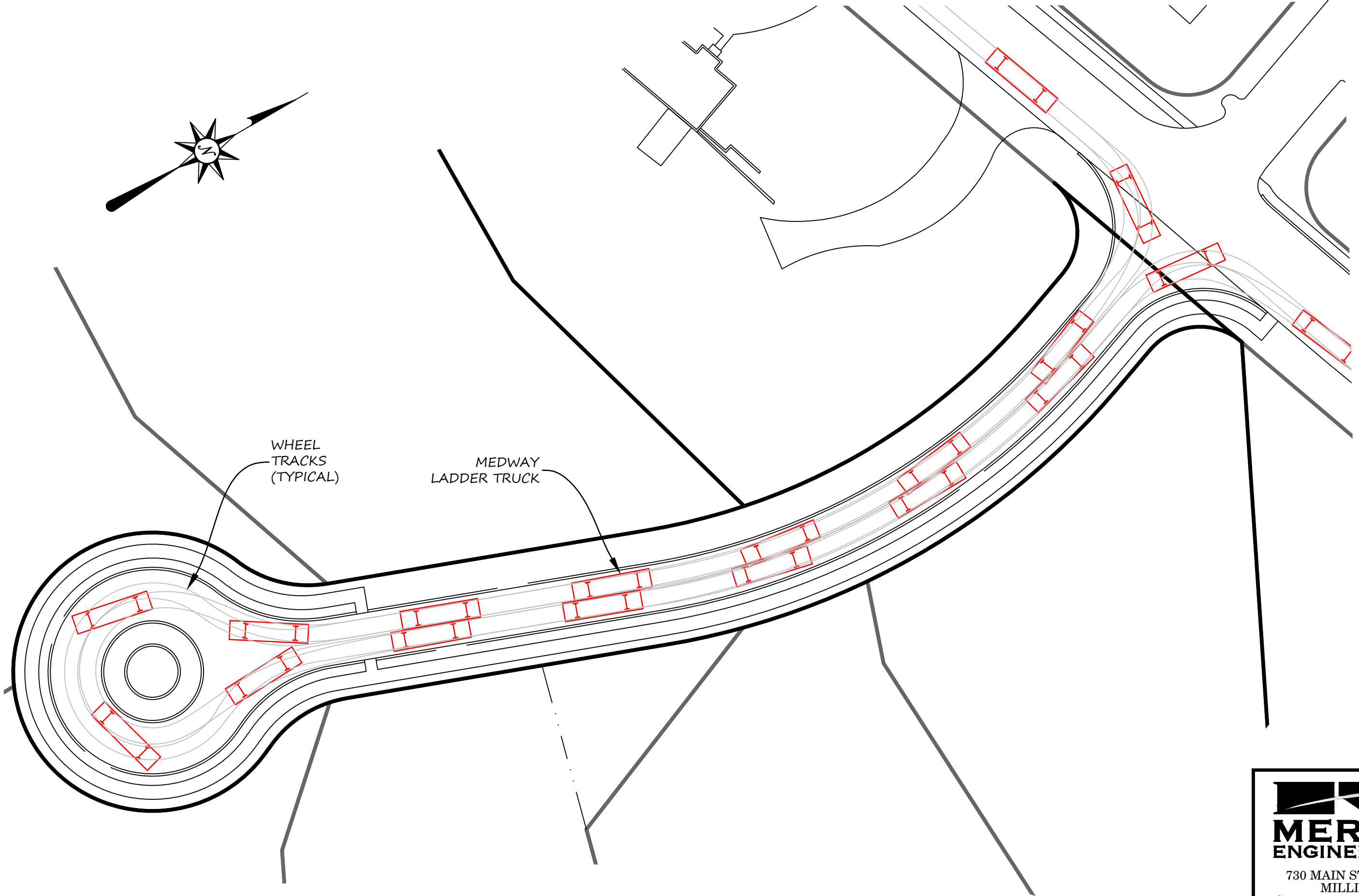
1. A note has been added to the layout sheet designating the owner of Lot 4 as the maintainer of the landscape island on Revere Road.
2. The note on the cover sheet regarding the fire alarm system has been removed as discussed with the board.
3. A note has been added to the layout sheet indicating that the owner of 39 Main Street may install a driveway to the new road on the condition that all existing curb cuts along Main Street are eliminated.
4. Street trees have been added within the slope easement along 39 Main Street.
5. A note has been added to the layout sheet calling for all lot deeds to refer to the selective cut zones shown on the subdivision plan.
6. Only the portion of existing foundation that lies within the subdivision is to be removed. A note regarding this has been added to the existing conditions sheet.
7. The outer radius of the proposed cul-de-sac pavement has been reduced by 6 feet based on the enclosed fire truck turning analysis in order to reduce impervious coverage while still providing adequate fire access. An additional waiver request has been added to the cover sheet to accommodate this change.

Do not hesitate to contact me if you have any questions or comments.

Sincerely,

Daniel J. Merrikin P.E.

cc: BETA
File



REVERE ROAD - PLAN VIEW

PLAN SCALE: 1" = 40'



PLAN DATE: AUGUST 8, 2017

REVISION	DATE	BY

REVERE ROAD
FIRE ACCESS
SKETCH PLAN
OF LAND IN
MEDWAY, MA



730 MAIN STREET, SUITE 2C
MILLIS, MA 02054
ph. 508-376-8883 fax 508-376-8823

D104-01

SHEET 1 OF 1

Susan Affleck-Childs

From: Daniel Merrikin <dan@merrikinengineering.com>
Sent: Thursday, August 10, 2017 6:02 PM
To: Jeff Lynch
Cc: Susan Affleck-Childs
Subject: Re: Paul Revere Estates

Chief,

I defer to you on this topic. The Board has asked us to look at ways to reduce impervious coverage and to talk to you about the cul-de-sac. If you'd rather have the larger cul-de-sac with the 50' paved radius I will convey that to the Board and we'll put it back the way it was.

Let me know.

Thanks

Dan

Yours Truly,

Daniel J. Merrikin, P.E.
Partner

Merrikin Engineering LLP

730 Main Street
Suite 2C
Millis, MA 02054

Office: 508-376-8883
Mobile: 508-868-8353

On Thu, Aug 10, 2017 at 5:57 PM, Jeff Lynch <ChiefLynch@townofmedway.org> wrote:

Daniel, I am concerned about reducing the radius. Fire Code requires two means of egress for subdivisions and most buildings for that matter, which I haven't asked for here because of the overall length. However, reducing the radius has the potential to delay our apparatus positioning, particularly if there are cars parked around it. Thank you. Chief Lynch

From: Daniel Merrikin [mailto:dan@merrikinengineering.com]
Sent: Wednesday, August 09, 2017 1:19 PM
To: Jeff Lynch
Cc: Susan Affleck-Childs
Subject: Paul Revere Estates

Chief Lynch,

Attached is a turning analysis we prepared for the proposed cul-de-sac at Paul Revere Estates. Based on the results, and in order to reduce pavement area, we are proposing to reduce the outer radius of the cul-de-sac pavement from 50 feet to 44 feet. The analysis indicates that there is still plenty of room to maneuver.

I'd appreciate your thoughts on the proposal to reduce the cul-de-sac diameter.

Thanks

Dan

Yours Truly,

Daniel J. Merrikin, P.E.

Partner

Merrikin Engineering LLP

730 Main Street

Suite 2C

Millis, MA 02054

Office: [508-376-8883](tel:508-376-8883)

Mobile: [508-868-8353](tel:508-868-8353)



Allen M. Tingley
Chief of Police

Medway Police Department

315 Village Street
Medway, MA 02053

Phone: 508-533-3212
FAX: 508-533-3216
Emergency: 911

August 14, 2017

To: Susan Affleck-Childs
Planning & Economic Development
Coordinator

From: Jeffrey W. Watson
Sergeant/Safety Officer
Medway Police Department

Ref: Paul Revere Estates

I have looked at the Paul Revere Estates definitive subdivision plan dated June 9, 2017 revised August 8, 2017.

The Medway Police Department would recommend the developer install the proposed signs as noted on the plan. (No parking, Stop and Street name).

The following would be additional signage recommended for the development.

The street sign not only name the street but also the Cross Street (Main St.)

Caution Children sign located on the West Side of the Street as you enter the development.

Two cross walk ahead signs located on the East and West side of the new cross walk on Main St.

All signage must adhere to the rules and regulations of the Medway Department of Public Works.

PGC ASSOCIATES, INC.

1 Toni Lane
Franklin, MA 02038-2648
508.533.8106
gino@pgcassociates.com

August 15, 2017

Mr. Andy Rodenhiser, Chairman
Medway Planning and Economic Development Board
155 Village Street
Medway, MA 02053

Re: Paul Revere Estates Definitive Subdivision Plan

Dear Mr. Rodenhiser:

I have reviewed the revised definitive subdivision plan submitted by Notwen Realty Trust of Norfolk for property off Main Street. The plan was prepared by Merriken Engineering LLP of Millis, and is dated June 9, 2017 with a revision date of August 8, 2017. The site is within the AR-I district and is partially within the Groundwater Protection District.

The plan proposes to construct a 540-foot cul-de-sac to create 5 lots and a parcel on which a detention basin will be located. The new lots would have areas ranging from 44,128 to 53,534. The detention basin parcel has an area of 4.98 acres. The Groundwater Protection District is not directly impacted by the proposed construction except that the detention basin overflow is at its edge.

The comments from my July 5 letter are repeated with new comments in **bold** as follows:

Zoning

1. The proposed lots meet the area, frontage and lot shape factor to comply with the zoning bylaw. They also all exceed 50% uplands in accordance with the bylaw. **OK.**

Subdivision Rules and Regulations

2. Since it is under 20 lots, a traffic study is not required (Section 5.5.12). **OK.**
3. Section 5.7.6 requires an existing conditions sheet, including locating trees of more than 24" in caliper. The existing conditions sheet has been provided but a waiver is requested to not require the large trees be shown. Also, the erosion controls are shown on the existing conditions plan, which is a bit odd since they do not exist yet. It may not be a problem due to the simplicity of the site. **As agreed by the Board, trees of more than 24" in caliper are now shown and those to be saved have been identified. Applicant states that erosion controls have been shown on Existing Conditions plan to save a separate sheet.**
4. Section 5.7.8 requires streets, ways, lots, lot numbers or other designation be shown. This has been done. However, I suggest that the road be described and listed as a separate parcel. The applicant has stated the intent to reserve the fee interest in the road and describing it as a separate parcel facilitates that process. **The road is now shown as Parcel E. OK.**

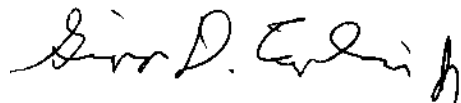
5. Section 5.7.9 requires that existing wells and septic systems on, and within 100 feet of, the property be shown. Nearby cesspools are shown on the plans. **Applicant states they have checked with Board of Health and all known wells and septic systems are on plan. OK.**
6. Section 5.7.12 requires that the ROW and pavement width of streets within 700 feet of the subdivision be provided. The pavement for nearby streets is shown though dimensions are not provided. **Pavement widths are now shown as a list on the plan. OK.**
7. Section 5.7.23 requires stormwater information including a long-term operations and maintenance plan to be shown on the plans. The O&M plan is included in the Stormwater Report. **The O&M Plan has now been added to the plan. OK.**
8. Section 5.7.27 requires that street and traffic control signs be shown on the plans. This was not done. **The existing and proposed signs have now been added. OK.**
9. Section 5.7.32 requires cul-de-sac landscaping. An island is shown but no landscaping details have been provided. **The landscaping of the island is now shown. OK.**
10. Section 5.7.35 requires that clearing and grading limits be shown on the plan and stockpile areas be marked. A limit of work marked by a snow fence and a stockpile area have been shown. **The house construction erosion control line has also been added. OK.**
11. Section 7.7.2 (p) requires detention and retention basins to be on a separate parcel and at least 30 feet from any lot line. The basin is on a separate parcel but is less than 30 feet from the right-of-way and adjacent lots. A waiver is requested to allow the setback to be 20 feet from lot lines.
12. Section 7.9.6 does not permit cul-de-sacs unless the land would be rendered undevelopable otherwise. The current parcel does not meet frontage requirements on its own, but could meet the requirement with the abutting parcel under the same ownership and just recently separated. **Applicant states parcel has insufficient area for a second road so cul-de-sac is only alternative.**

General Comments

13. Section 7.9.1 states that neighborhood construction standards are to be used in subdivisions up to 5 lots. Neighborhood streets only require a 20-foot road width while 26 feet is proposed (the standard for a local street). **The street width has been reduced to 20 feet. OK.**

If there are any questions about these comments, please call or e-mail me.

Sincerely,



Gino D. Carlucci, Jr.



July 6, 2017
(revised August 14, 2017)

Ms. Susan E. Affleck-Childs
Medway Planning and Economic Development Coordinator
Medway Town Hall
155 Village Street
Medway, MA 02053

**Re: Paul Revere Estates
Definitive Subdivision Review
Medway, Massachusetts**

Dear Ms. Affleck-Childs:

Tetra Tech (TT) has performed a review of the proposed Definitive Subdivision Plan for the above-mentioned Project at the request of the Town of Medway Planning and Economic Development Board (PEDB). The proposed Project includes subdivision of existing house lot located at 39 Main Street in Medway, MA into three parcels, two ANR lots and an 11.31 acre Parcel C with frontage along Main Street and partially located within the groundwater protection district with wetlands located on the eastern portion of Parcel C. The Project includes subdividing Parcel C into five house lots, a drainage parcel (Parcel D) and proposed right-of-way with appurtenant stormwater and utility infrastructure to serve the lots.

TT is in receipt of the following materials:

- A plan (Plans) set titled "Paul Revere Estates, Definitive Subdivision Plan", dated June 9, 2017, prepared by Merrikin Engineering, LLP (ME).
- A stormwater management report (Stormwater Report) titled "Stormwater Report for Paul Revere Estates, 39 Main Street, Medway, MA 02053" dated June 9, 2017, prepared by ME.
- A Development Impact Report (DIR) - Form F dated June 9, 2017, prepared by ME.
- A Request for Waiver - Form Q from the Medway PEDB Rules and Regulations dated June 9, 2017, prepared by ME.
- An Application for Approval of a Definitive Subdivision Plan – Form C dated June 14, 2017, prepared by ME

The Plans, Stormwater Report and accompanying materials were reviewed for conformance with Chapter 100 of the Town of Medway PEDB Rules and Regulations (Regulations), MA DEP Stormwater Management Standards (Standards), applicable Town of Medway By-Laws and good engineering practice. Review of the project for zoning and wetland related issues was not completed as these reviews are conducted by separate consultants/town agencies.

TT 8/14/17 Update

ME has supplied TT with a revised submission addressing comments provided in our previous letter including the following site-related documents submitted by the applicant:

- A revised set of Plans (Plans) titled "Paul Revere Estates, Definitive Subdivision Plan", dated June 9, 2017, revised August 8, 2017, prepared by Merrikin Engineering, LLP (ME).
- A Response to Comments letter dated August 9, 2017.

The revised Plans were reviewed against our previous comment letter (July 6, 2017) and comments have been tracked accordingly. Text shown in gray represents information contained in previous correspondence while new information is shown in black text.

The following items were found to be inconsistent with current Town of Medway PEDB Land Subdivision Review Regulations (Chapter 100). Reference to applicable regulation requirement is given in parentheses following each comment.

- 1) Sight distance computations have not been provided. (Ch. 100 §5.5.13)
 - *ME 8/9/17 Response: The information is depicted on sheet 7 in the plan view.*
 - TT 8/14/17 Update: This item has been addressed to our satisfaction.
- 2) Anticipated name of the proposed roadway has not been provided. (Ch. 100 §5.7.1)
 - *ME 8/9/17 Response: The name "Revere Road" has been approved by the Street Naming Committee.*
 - TT 8/14/17 Update: This item has been addressed to our satisfaction.
- 3) Locus Plans provided do not extend 700' (Ch. 100 §5.7.5)
 - *ME 8/9/17 Response: The locus plan on sheet 2 shows an area to a distance of 700' from the property line. The 700' offset line has been added to clarify this.*
 - TT 8/14/17 Update: This item has been addressed to our satisfaction.
- 4) Existing conditions plan does not include inventory of trees with a diameter of one-foot (1') or greater. The town requires exploring the conservation of larger mature trees on-site to the maximum extent practicable as referenced by several additional regulations speaking to inventory of mature trees. (Ch. 100 §5.7.6, 7.2, 7.3.1.c and 7.4.1)
 - *ME 8/9/17 Response: As discussed, the waiver has been modified to include all 24" diameter or greater hardwood trees within the area of construction. Such trees have been marked to be saved where they do not interfere with road, stormwater basin or anticipated house locations.*
 - TT 8/14/17 Update: This item has been addressed to our satisfaction.
- 5) Existing roadway centerline included in the profile view of the proposed roadway shall be shown as fine black solid line. (Ch. 100 §5.7.20)
 - *ME 8/9/17 Response: The existing roadway centerline has been changed to a fine solid black line.*
 - TT 8/14/17 Update: This item has been addressed to our satisfaction.
- 6) Street lighting provided only at entrance to the subdivision. However, the applicant has proposed driveway lighting at the end of each driveway. We recommend the board review this proposal with Medway Public Safety to determine if proposed lighting is sufficient. (Ch. 100 §5.7.28)
 - *ME 8/9/17 Response: We are awaiting response from the public safety officer in this regard.*
 - TT 8/14/17 Update: We recommend the PEDB include this item as a condition of approval in the Subdivision Decision for the project.
- 7) It is unclear if Parcel D is proposed as open space. Please confirm and clarify on plan. (Ch. 100 §5.7.31)
 - *ME 8/9/17 Response: Parcel D is a drainage parcel to be conveyed to the town of Medway at the time street acceptance. General note 6 has been added to sheet 2 regarding this.*

- TT 8/14/17 Update: This item has been addressed to our satisfaction.
- 8) Project meets the requirements (5 or less house lots) of a “neighborhood” roadway with a paved width of twenty feet. The applicant should consider reducing the roadway width to further reduce impervious cover for the Project. (Ch. 100 §7.9.1.f)
 - *ME 8/9/17 Response: As discussed with the board, the roadway layout has been changed to a neighborhood layout.*
 - TT 8/14/17 Update: This item has been addressed to our satisfaction.
- 9) Street light is within 25’ of intersection. (Ch. 100 §7.21.3)
 - *ME 8/9/17 Response: The street light has been moved to the opposite side of the street as requested by Tetra Tech. The light pole is not within 25’ of the intersection of street curb tangents.*
 - TT 8/14/17 Update: This item has been addressed to our satisfaction.

The following items were found to not be in conformance with MA DEP Storm Water Management Standards and/or Town stormwater standards.

MA DEP Stormwater Management Standards

- 10) We recommend the applicant provide additional test pit information to determine depth to estimated season high groundwater (eshgw) at the location of the proposed infiltration basin due to inconsistencies in two test pits adjacent to the proposed basin. The applicant proposes to cut the basin down approximately 6 feet from grade to bottom elevation 158.00. The nearest test pit (OTH 11) depth is 8.5 feet from grade with a bottom elevation of 157.93 and no signs of mottling or groundwater infiltration into the test pit. In the next closest test pit (OTH 2) mottling was observed at elevation 161.53 which is approximately the same distance from the basin as OTH 11. Additional eshgw information is required at the proposed infiltration basin location to determine proper separation is provided in the design. (Standard 3)
 - *ME 8/9/17 Response: Test pit locations were mistakenly omitted from the original plan. They have been added. There are two closer test pits to the basin; OTH 7 is located within the stormwater basin and OTH 9 lies under the northerly berm of the basin. Together with test pits OTH 2, and OTH 11, they illustrate a sloping water table that results from the transition from glacial till soils in the west to sandy outwash soils in the east. The separation to SHGW ranges from 4’-6’ below the bottom of the basin.*
 - TT 8/14/17 Update: This item has been addressed to our satisfaction.

Town Stormwater Regulations (Ch. 100 §7.7)

- 11) A plan for screening of the proposed infiltration basin shall be provided. (Ch. 100 §7.7.2.r)
 - *ME 8/9/17 Response: A landscaping detail has been added to sheet 6.*
 - TT 8/14/17 Update: This item has been addressed to our satisfaction.

General Stormwater Comments

- 12) Inflow areas and subsequent flow rates to catch basin structures CB1 and CB3 are greater than ± 2 cfs that a catch basin grate can pass without flooding adjacent roadway. We recommend the applicant propose additional catch basins or double catch basin grates to ensure flooding does not occur along the roadway.
- *ME 8/9/17 Response: Double catch basin grates have been specified for CB1 and CB3.*
 - TT 8/14/17 Update: This item has been addressed to our satisfaction.
- 13) Existing (13.407 ac) and Proposed (13.411 ac) watershed areas do not match. Please provide commentary on difference in areas.
- *ME 8/9/17 Response: The HydroCAD calculations provided show a total existing watershed area of 13.410 ac and a proposed watershed area of 13.411 ac. The difference of 0.001 ac (43 s.f.) is a minor rounding error.*
 - TT 8/14/17 Update: This item has been addressed to our satisfaction.
- 14) The applicant shall provide a note on the “Stormwater Basin – Profile” detail on Sheet 7 to prevent compaction of subsoils during removal and replacement of soils within the limits of the proposed infiltration basin. Furthermore, proposed basin should not be used during construction as a temporary sedimentation basin to prevent choking of voids in subsoils by sediment.
- *ME 8/9/17 Response: The requested notes have been added to the “Typical Basin Cross Section” detail on sheet 8.*
 - TT 8/14/17 Update: This item has been addressed to our satisfaction.

Conservation Commission Statement

TT has reviewed the proposed Subdivision Plan and related stormwater system analysis as part of the Town of Medway PEDB’s Definitive Subdivision Plan Review process. Detailed comments, as shown in this review letter, have been submitted to the PEDB as part of the review. This statement affirms for the Medway Conservation Commission that the proposed stormwater system has been reviewed against, and complies with, the ten Massachusetts Department of Environmental Protection Stormwater Management Standards.

The following is a list of general items that TT recommends the applicant take into consideration prior to the next submission:

(We have renumbered this section for consistency, previous Item 1 in this section is now Item 15.)

- 15) The applicant should confirm sewer capacity is available to serve the proposed subdivision. Town-wide sewer moratorium remains in effect at the time of this submittal.
- *ME 8/9/17 Response: We have met with the Department of Public Services, who has confirmed that the proposed sewer is not considered an extension under the moratorium because it does not expand the sewer service area. They have indicated that they have no issues with the proposed design. We have, however, updated several of the details to be consistent with DPS’s new water and sewer regulations.*
 - TT 8/14/17 Update: This item has been addressed to our satisfaction.

- 16) Please clarify the boundary of the parcel subject to review and distinguish from non-project property lines by line type and weight. It is unclear if Main Street frontage lots are considered part of this application. Project work is shown extending onto these parcels.
- *ME 8/9/17 Response: The line type for the property boundary has been changed on the existing conditions sheet.*
 - TT 8/14/17 Update: This item has been addressed to our satisfaction.
- 17) We do not support waiver of tree inventory requirement. Given the latitude available to particular houses the Board may wish to condition the approval to maintain particular trees which necessitates the inventory.
- *ME 8/9/17 Response: As discussed with the board, we have located all hardwood trees larger than 24" in the proposed construction area. The waiver has been revised accordingly. We have tagged trees to be preserved where they do not interfere with the roadway layout, the stormwater basin, and reasonable expectations regarding house locations.*
 - TT 8/14/17 Update: This item has been addressed to our satisfaction.
- 18) We do not have any objections to the waiver request for stormwater setback.
- *ME 8/9/17 Response: No response needed.*
 - TT 8/14/17 Update: No further comment required.
- 19) The plans have an electronic endorsement. We recommend plans be wet stamped.
- *ME 8/9/17 Response: The endorsement set will be wet stamped, while review sets will be digitally stamped.*
 - TT 8/14/17 Update: We recommend the PEDB include this item as a condition of approval in the Subdivision Decision for the project.
- 20) Please modify signature block to read "Planning and Economic Development Board" instead of "Planning Board".
- *ME 8/9/17 Response: The signature block has been modified accordingly.*
 - TT 8/14/17 Update: This item has been addressed to our satisfaction.
- 21) Provide scale bar where drawing scale is called out.
- *ME 8/9/17 Response: Scale bars have been updated.*
 - TT 8/14/17 Update: This item has been addressed to our satisfaction.
- 22) Grading extends beyond erosion controls shown on Sheet 3.
- *ME 8/9/17 Response: The erosion controls on sheet 4 were revised to include all grading activities.*
 - TT 8/14/17 Update: This item has been addressed to our satisfaction.
- 23) Please clarify the purpose of grading and utility easements shown on Sheet 4.
- *ME 8/9/17 Response: The easements are for grading, utilities, trees, drainage, and utility stubs.*
 - TT 8/14/17 Update: This item has been addressed to our satisfaction.

- 24) What is the status of Parcel D? Who will be responsible for maintenance of proposed stormwater management infrastructure once roadway is accepted?
- *ME 8/9/17 Response: Parcel D is a drainage parcel to be conveyed to the town of Medway at the time of street acceptance. General note 6 has been added to sheet 2 accordingly.*
 - TT 8/14/17 Update: This item has been addressed to our satisfaction.
- 25) Sewer lateral from Lot 5 flows opposite to direction of flow in main at connection.
- *ME 8/9/17 Response: The sewer lateral has been revised accordingly.*
 - TT 8/14/17 Update: This item has been addressed to our satisfaction.
- 26) Please clearly distinguish existing from proposed utilities.
- *ME 8/9/17 Response: The existing utilities have been changed to a lighter color on sheets 6 & 7 to differentiate between existing and proposed utilities.*
 - TT 8/14/17 Update: This item has been addressed to our satisfaction.
- 27) Runoff in the gutter line of Main Street will flow into subdivision. Please provide detail on how gutter line flow in Main Street will be maintained past the site or include flows from Main Street in stormwater calculations.
- *ME 8/9/17 Response: The road profile shows a 10' stretch of roadway at the entrance to the subdivision that is sloped towards Main Street that will prevent gutter line flow from entering the subdivision road.*
 - TT 8/14/17 Update: This item has been addressed to our satisfaction.
- 28) Sewer main has a proposed slope of 0.4%. Please provide calculations showing how minimum velocities will be maintained.
- *ME 8/9/17 Response: The sewer slope has been designed in accordance with the standards as shown in the TR-16 Guides for the design of Wastewater Treatment Works. An 8" PVC pipe sloping at 0.004 has a full velocity of 2.6 fps (per Manning's Equation).*
 - TT 8/14/17 Update: We recommend the applicant confirm proposed pipe slope with Medway Sewer Department prior to PEDB endorsement. We recommend the PEDB include this item as a condition of approval in the Subdivision Decision for the project.
- 29) Water services should come off main at 90 degrees and terminate at a curb stop or similar shut off at the limit of the right-of-way. Method of connection and size of service should be shown as well.
- *ME 8/9/17 Response: The water service lines have been changed accordingly. The method of connection is shown on detail sheet 11. The size of service (1") has been added to the detail.*
 - TT 8/14/17 Update: This item has been addressed to our satisfaction.
- 30) Sewer lateral inverts, slope, size and material should be labeled.
- *ME 8/9/17 Response: The sewer lateral slopes, size, and material has been added to the detail on sheet 12. A chart showing lateral inverts has been added to the road profile sheet.*
 - TT 8/14/17 Update: This item has been addressed to our satisfaction.

- 31) We do not recommend installing any type of grating on the downstream end of drain pipes. If grating is needed, install on upstream end only.
- *ME 8/9/17 Response: The grating detail has been removed.*
 - TT 8/14/17 Update: This item has been addressed to our satisfaction.
- 32) We recommend the applicant provide a stop line and the word "STOP" clearly shown on the Plans.
- *ME 8/9/17 Response: A stop line with the word "STOP" has been added to the road profile sheet.*
 - TT 8/14/17 Update: This item has been addressed to our satisfaction.

These comments are offered as guides for use during the Town's review and additional comments are likely to be generated during the course of review. If you have any questions or comments, please feel free to contact us at (508) 786-2200.

Very truly yours,



Sean P. Reardon, P.E.
Vice President



Steven M. Bouley, P.E.
Senior Project Engineer

P:\21583\143-21583-17008 (PAUL REVERE ESTATES)\DOCS\PAULREVERE-PEDBREV(2017-08-14).DOCX

Susan Affleck-Childs

From: Bruce Hamblin <bruceh508@yahoo.com>
Sent: Friday, August 18, 2017 2:25 PM
To: Susan Affleck-Childs
Subject: P.R. Estates plan.

just some observations, concerns, and opportunities presented.

1. proposed street would be a hardship for 5 homeowners to maintain. especially after 10-15 years when it requires repaving.

2. road doesnt serve lot behind subdivision and allow for its development. severely limits P.B. ability to consider range of possible options for development of these tracts of land lieing between main and Village sts. important to have this flexibility considering locations next to acqu. protection areas.

3. with sewer morot. in place PB should require installation of dry sewer line and septic tanks to provide for eventual hook up to town sewer system and avoid potential adverse impact to a.P. d. this will decrease amount of fill and clearing of developments site.

4.question impact statement that 5 four bedroom homes will only generate 5 children and implications that septic systems will be designed accordingly. state law requires that septic systems be expanded when family sixe expands to require expanded system capacity.

5. retention structures should be avoided when design techniques can be employed to redirect storn water runoff to direct infilutration and/or the indiviual lots or to existing town or expanded town facilities.

6.lot 5 should be reduced/reconfigerated to preserve more of the wetlands and add these lands in the lot not being developed. as management of that lot should cover areas with the same characteristics as the wetlands. this area covering the wetlands should be turned over to the town as part of an environmetaly sensitive approach to maintaining and enhanseing this environmental resource of the town.

7.any structures utimately required to be placed in the non-buildable lot must be designed to insure access to the wetlands and should be constructed to provide for physical access to the remainder of this lot and ultimately the adjacent wetlands

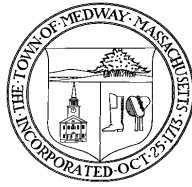


August 22, 2017
Medway Planning & Economic Development Board
Meeting

179-181 Main Street Multifamily Housing
Informal Pre-application Discussion #2

- Revised concept plan dated August 5, 2017 – 24 units
- Concept plan dated June 5, 2017 – 32 units

Developer Greg Coras and engineer Dan Merrikin will attend. They have reduced the project scope from 32 unit to 24 units. This includes retaining the house and barn from 181 Main Street and renovating them into condo units. The revised concept plan shows splitting off 179 Main Street as a separate ANR lot that would not be part of this project.



August 22, 2017
Medway Planning & Economic Development Board
Meeting

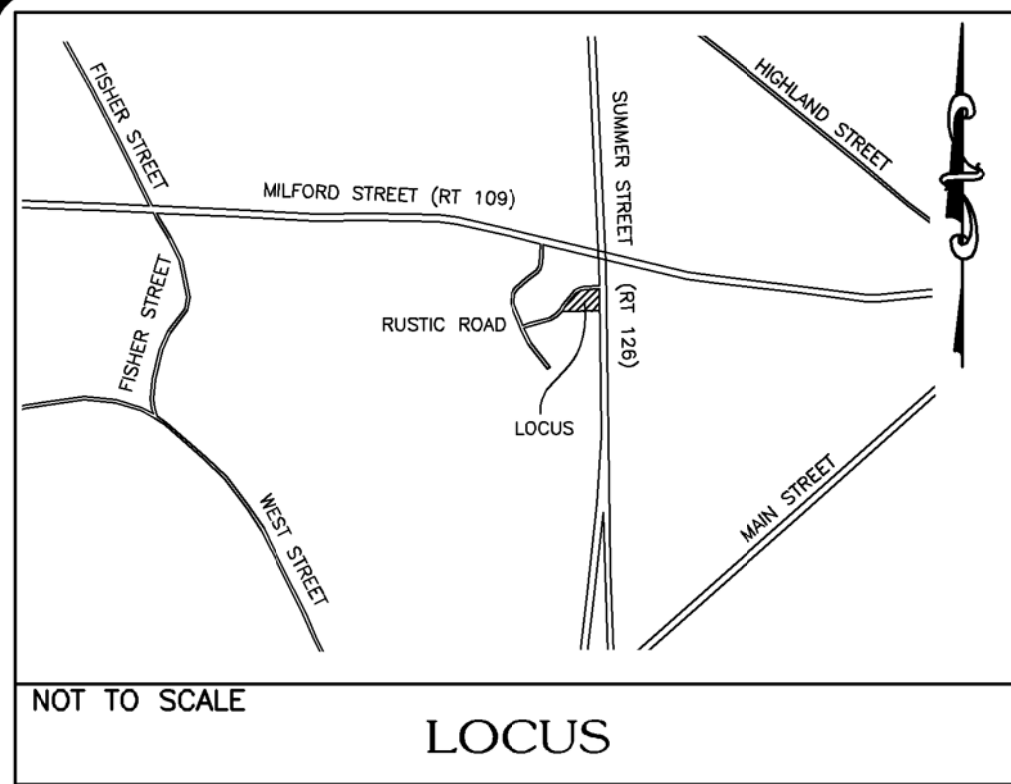
Country Cottage Children's Center
Limited Site Plan – 35/37 Summer Street
Informal Pre-application Discussion

This is an informal, pre-application discussion re: the forthcoming site plan application for Country Cottage Children's Center which will be relocating from its current location at 5 Summer Street (near Exelon) to 35/37 Summer Street, immediately south of Rustic Road where they will build a new facility.

Please keep in mind that a child care center is an "exempt" use under the Massachusetts Zoning Act. So that means the Board's review of this project is limited to "reasonable regulations concerning the bulk and height of structures and determining yard sizes, lot area, setbacks, open space, parking and building coverage requirements."

- Site plan dated August 1, 2017 by Engineering Design Consultants, Southborough, MA
- Collection of building floor plans and elevations by Cubic Architects, Plymouth, MA
- Email communication dated July 27, 2017 from Stephanie Mercandetti about the limited scope of site plan review for exempt uses.

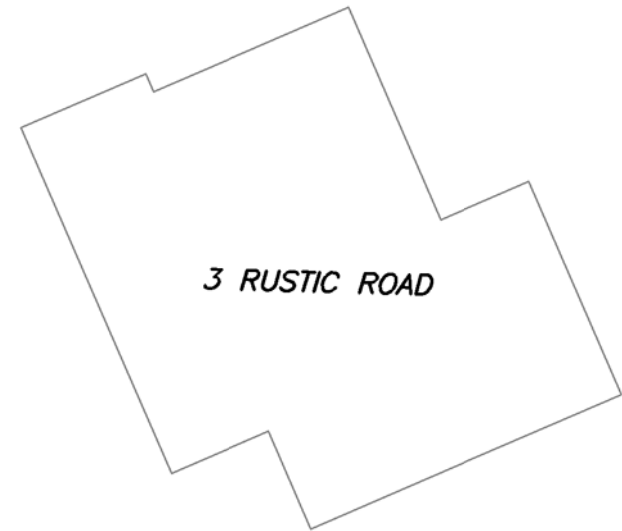
\\SPERONI\JOBS\3561\AUTOCAD PLESTING\3561 SITEPLAN (ONE-WAY TOW)



NOTE:
UNDERGROUND UTILITY LOCATIONS ARE
NOT GUARANTEED.

IT SHALL BE THE RESPONSIBILITY OF THE
CONTRACTOR TO VERIFY LOCATIONS AND
ELEVATIONS OF EXISTING UTILITIES PRIOR
TO COMMENCEMENT OF ANY CONSTRUCTION

DIGSAFE IS TO BE NOTIFIED 72 BUSINESS
HOURS IN ADVANCE OF CONSTRUCTION.
CALL DIGSAFE AT 811

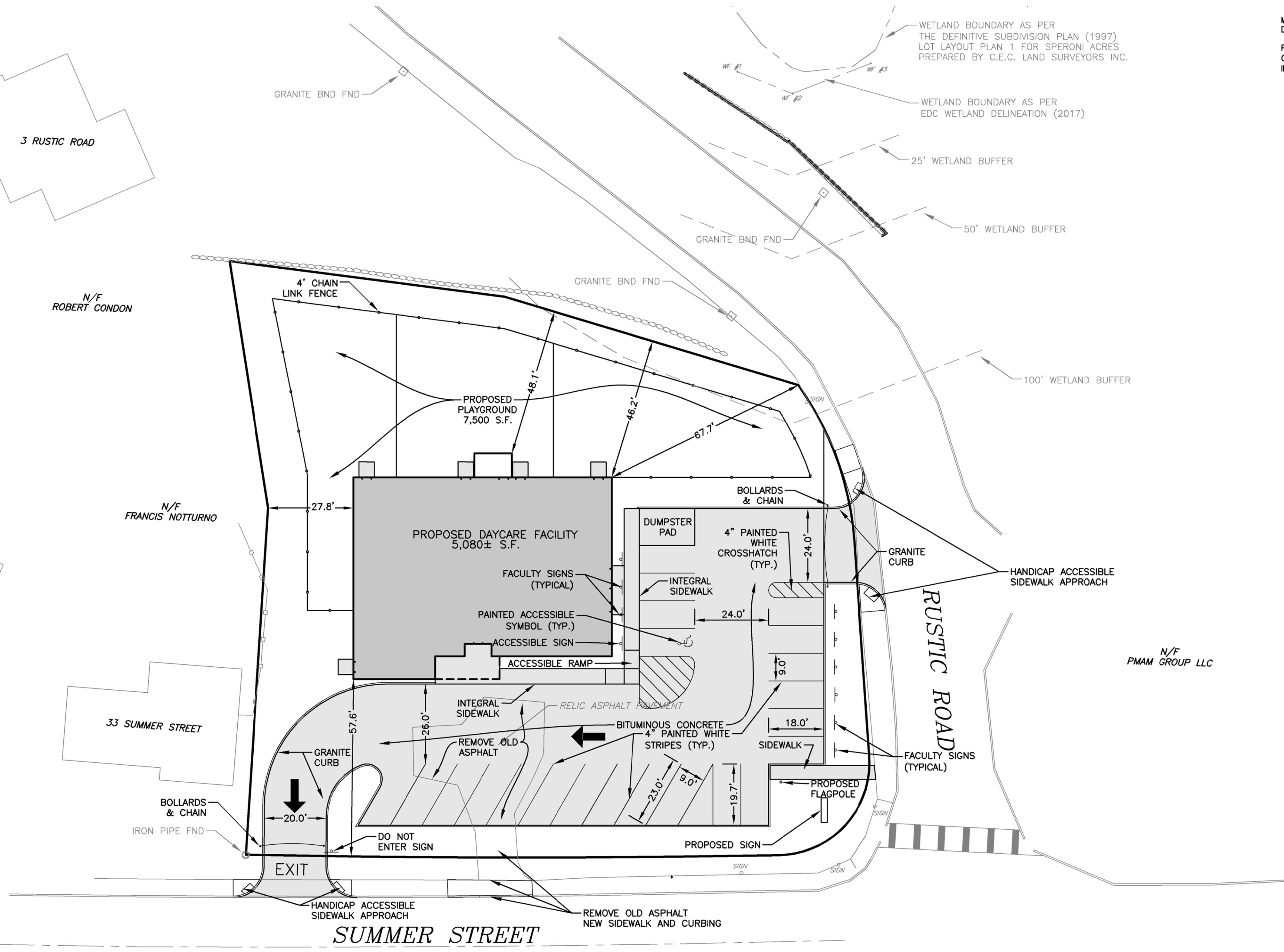


N/F
ROBERT CONDON

N/F
FRANCIS NOTTURNO

33 SUMMER STREET

DRIVEWAY FOR 33 SUMMER STREET



PROJECT INFORMATION:

CURRENT OWNER: ROBIN & DAVID BEAUDREAU
575 EAST HARTFORD AVENUE
UXBRIDGE, MA 01569

MEDWAY ASSESSORS ID: 56-017 & 56-018
DEED REFERENCE: BOOK 35175 PAGE 390

PROPERTY LINES AND EASEMENTS ARE BASED ON THOSE RECORDED IN THE MASSACHUSETTS REGISTRY
OF DEEDS IN A 1958 PLAN TITLED "PLAN OF LAND IN MEDWAY, MASS." BY BOWME ENGINEERING CO. AND
IN A 1997 PLAN TITLED "SPERONI ACRES" BY C.E.C. LAND SURVEYORS, INC.

ZONING: AGRICULTURAL RESIDENTIAL II (AR-II) DISTRICT

MIN. LOT AREA:	REQUIRED	EXISTING	PROPOSED
MIN. FRONTAGE:	22,500 S.F. 150 FT.	33,898 ±S.F. 167.37± FT.	
SETBACKS:			
FRONT	35 FT.	NA	57.6± FT.
REAR	15 FT.	NA	46.2± FT.
SIDE	15 FT.	NA	27.8± FT.
MAX. BUILDING COVER:	30%	0%	15%
MAX. IMPERVIOUS COVER:	40%	4%	50%
MIN. OPEN SPACE:	NA	32,550 ±S.F.	50%
MAX. BUILDING HEIGHT:	35 FT	NA	

LEGEND

BIT CONC	BITUMINOUS CONCRETE
CB	BORING
CO	CATCHBASIN
CLF	CLEAN OUT
CONC	CHAIN LINK FENCE
CW	CONCRETE
DMH	CROSSWALK
D	DRAIN MANHOLE
ELEC	DRAIN LINE
EMH	ELECTRIC
ECB	ELECTRIC MANHOLE
FD	EROSION CONTROL BARRIER
GG	FOUNDATION DRAIN
GAS	GAS GATE
GG	GAS LINE
HC	GAS GATE
HYD	HANDICAPPED RAMP
INV	HYDRANT
LP	INVERT
MH	LIGHT POLE
PVC	MANHOLE
RCP	POLY-VINYL-CHLORIDE
RD	REINFORCED CONCRETE PIPE
S	ROOF DRAIN
SMH	SEWER MANHOLE
S	SEWER MANHOLE
SB/DH	SIGN
TELE	STONE BOUND/DRILLHOLE
TMH	TELEPHONE LINE
TRANS	TELEPHONE MANHOLE
WCC	TEST PIT
WC	TRANSFORMER
W	VERTICAL GRANITE CURB
W	WATER GATE
W	WATER LINE
W	WETLAND FLAG

SITE PLAN REVIEW
MEDWAY PLANNING BOARD

DATE: _____

CERTIFICATE OF VOTE

SEE CERTIFICATE OF VOTE FOR SITE PLAN APPROVAL DATED, SEPTEMBER XX, 2017 FOR PLAN ENTITLED,
'SITE PLAN, COUNTRY COTTAGE DAYCARE, MEDWAY MASSACHUSETTS,' FROM THE MEDWAY PLANNING
BOARD, VOTED TO APPROVE WITH STANDARD CONDITIONS.

ALL RIGHTS RESERVED

NO PART OF THIS DOCUMENT MAY BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR OTHERWISE, WITHOUT THE PRIOR WRITTEN PERMISSION OF ENGINEERING DESIGN CONSULTANTS, INC. ANY REPRODUCTION OF THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF ENGINEERING DESIGN CONSULTANTS, INC. SHALL CONSTITUTE VIOLATION OF THE COPYRIGHT LAWS OF THE UNITED STATES OF AMERICA.

ENGINEERING DESIGN CONSULTANTS, INC. SHALL NOT BE
RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS,
TECHNIQUES, OR PROCEDURES UTILIZED BY THE
CONTRACTOR, NOR FOR THE SAFETY OF PUBLIC OR
CONTRACTORS EMPLOYEES; OR FOR THE FAILURE OF THE
CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE
WITH THE CONTRACT DOCUMENTS.

ENGINEERING DESIGN CONSULTANTS, INC.'S LIABILITY FOR
THIS PLAN IS LIMITED TO THE EXTENT OF ITS FEE LESS
THIRD PARTY COSTS.

DRAWN BY: ZRB
CHECKED BY: PSB
APPROVED BY: WML

REVISIONS:
0 8/02/17 DATE SITE PLAN REVIEW
REV 1 DESCRIPTION



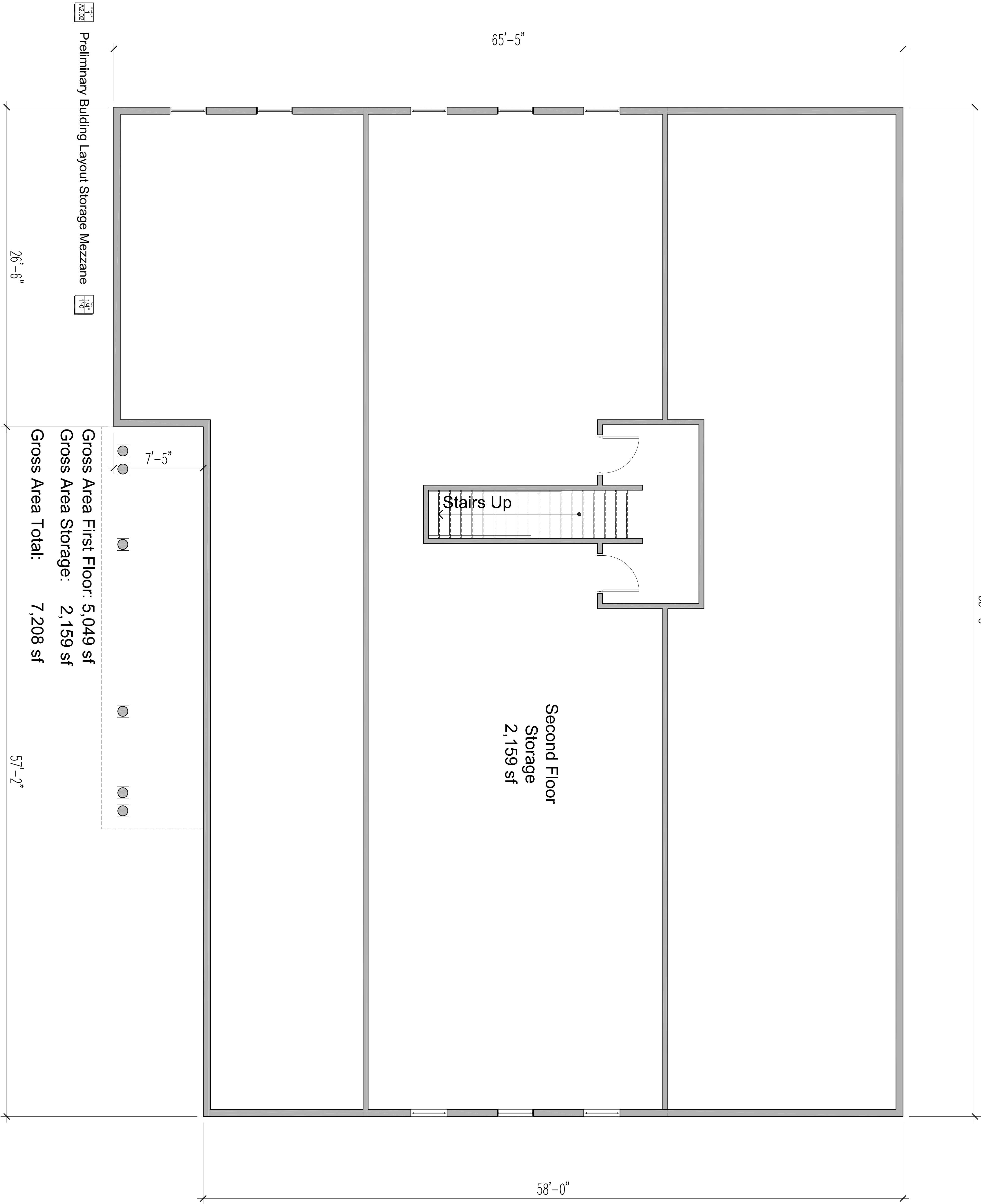
PREPARED BY:
EDC Engineering Design Consultants, Inc.
32 Turnpike Road
Southborough, Massachusetts
ph:(508) 480-0225 fax:(800)832-5781

PROJECT:
COUNTRY COTTAGE DAYCARE
35 SUMMER STREET
MEDWAY, MASSACHUSETTS 02053

TITLE:
**PROPOSED LAYOUT
COUNTRY COTTAGE DAY CARE**
OWNER/APPLICANT:
ROBIN & DAVID BEAUDREAU
575 EAST HARTFORD AVENUE
UXBRIDGE, MASSACHUSETTS 01569

FILE NO.: 3361
PROPOSED LAYOUT
DATE: AUGUST 1, 2017
PLAN NUMBER:
2 of 5
2

Gross Area: 5049 SF
83'-8"



△ RELEASE 1: 08/08/17 PRELIMINARY DESIGN RELEASE

REVISIONS



This drawing is the property of Cubic Architects, Inc. and is protected under the applicable copyright laws. The design and/or drawing, in whole or in part, shall not be copied or used by anyone without prior written consent by Cubic Architects, Inc. This drawing shall not be for any other use than the original project.

Country Cottage Children's Ctr
New Facility

36 Summer Street Medway, Massachusetts

Attic Storage Area

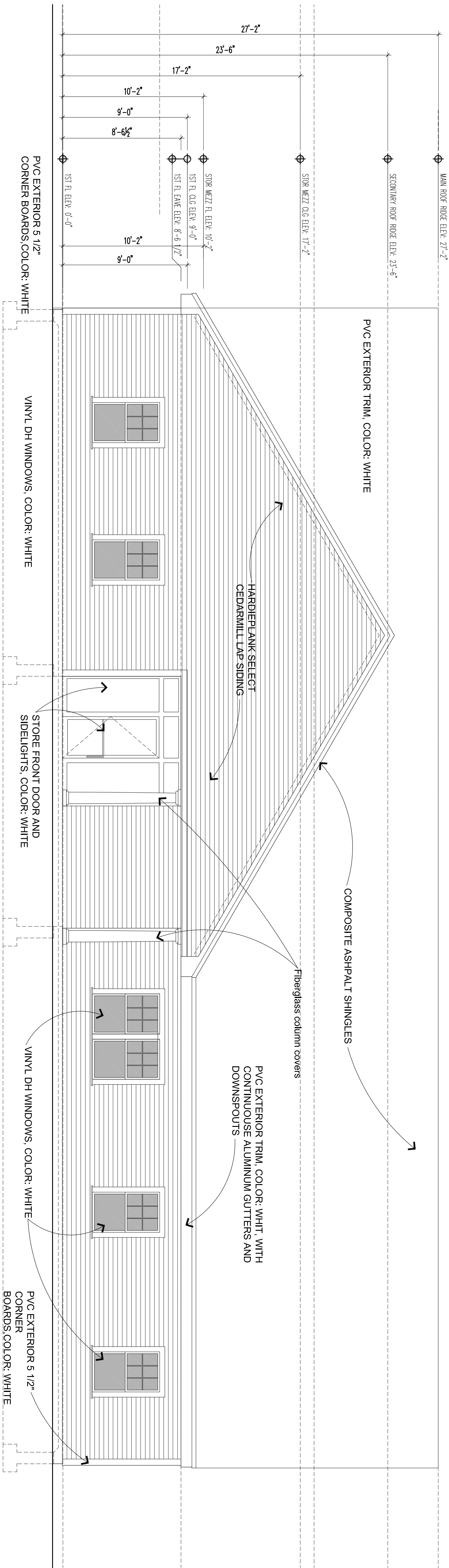
DATE: 07/30/17 BY: WAF CA JOB NO: 2015-022

A2.02

Attic Storage

A2.02

A2.02



△ RELEASE 1: 08/08/17 PRELIMINARY DESIGN RELEASE

REVISIONS



This drawing is the property of Cubic Architects, Inc. and is protected under the applicable copyright laws. The design and/or drawing, in whole or in part, shall not be copied or used by anyone without prior written consent by Cubic Architects, Inc. This drawing shall not be for any other use than the original project.

Country Cottage Children's Ctr
New Facility

36 Summer Street Medway, Massachusetts

Front Elevation

DATE: 07/30/17	BY: WAF	CA JOB NO: 2015-022
----------------	---------	---------------------

A3.01

Front Elevation

Architect

Engineer

RELEASE 1: 08/08/17 PRELIMINARY DESIGN RELEASE

REVISIONS



cubic architects, inc

23 Bowdoin Lane
Plymouth, Massachusetts 02380
TEL: 617.334.7330
FAX: 781.458.2381
miller@cubicarchitects.com

This drawing is the property of Cubic Architects, Inc. and is protected under the applicable copyright laws. The design and/or drawing, in whole or in part, shall not be copied or used by anyone without prior written consent by Cubic Architects, Inc. This drawing shall not be for any other use than this original project.

Country Cottage Children's Ctr
New Facility

36 Summer Street Medway, Massachusetts

Rear Elevation

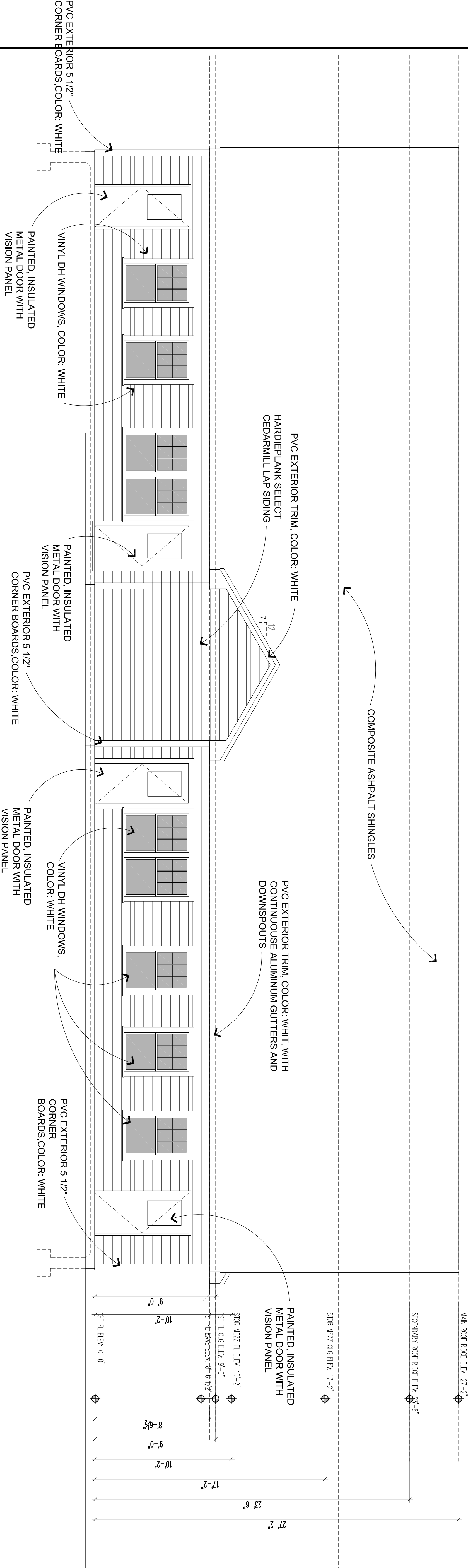
DATE: 07/30/17	BY: WAF	CA JOB NO: 2015-022
----------------	---------	---------------------

A3.02

Rear Elevation

A3.02

1/2" = 1'-0"



REVISIONS



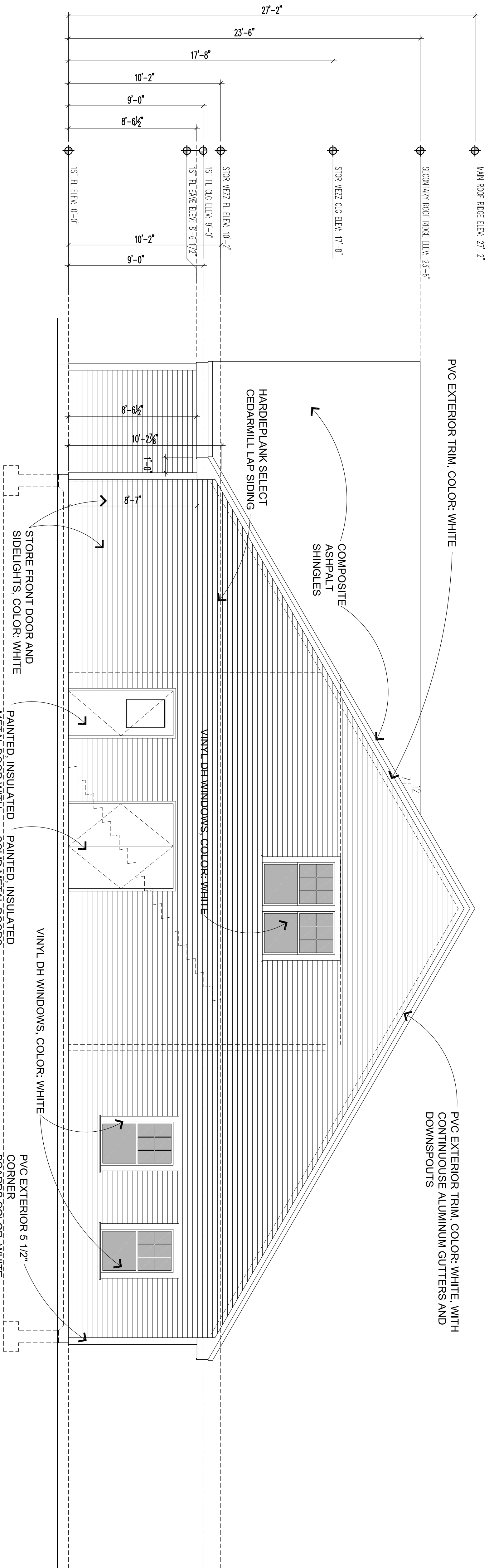
This drawing is the property of Cubic Architects, Inc. and is protected under the applicable copyright laws. The design and/or drawing, in whole or in part, shall not be copied or used by anyone without prior written consent by Cubic Architects, Inc. This drawing shall not be for any other use than this original project.

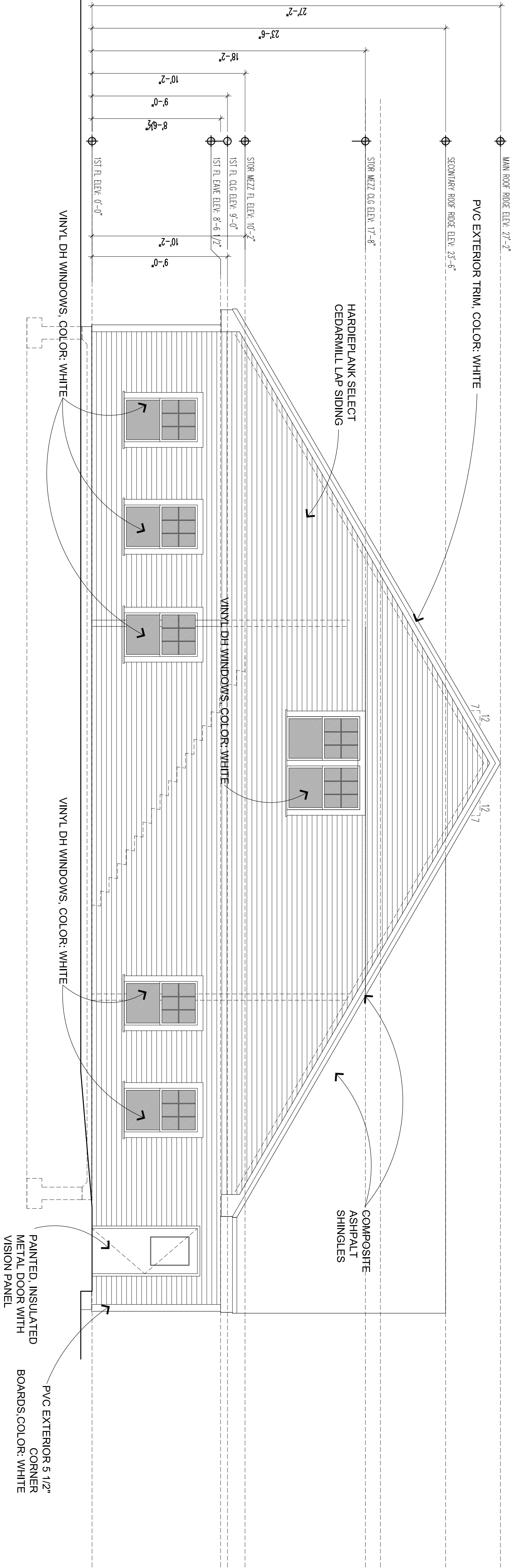
Country Cottage Children's Ctr New Facility

35 Summer Street
Medway, Massachusetts

Left Side Elevation

DATE: 07/30/17	BY: WAF	CA JOB NO: 2015-022
----------------	---------	---------------------





Right Side Elevation

A3.04

1/2" = 1'-0"

RELEASE 1: 08/08/17 PRELIMINARY DESIGN RELEASE

REVISIONS



This drawing is the property of Cubic Architects, Inc. and is protected under the applicable copyright laws. The design and/or drawing, in whole or in part, shall not be copied or used by anyone without prior written consent by Cubic Architects, Inc. This drawing shall not be for any other use than the original project.

Country Cottage Children's Ctr
New Facility

36 Summer Street Medway, Massachusetts

Right Side Elevation

DATE: 07/30/17	BY: WAF	CA JOB NO: 2015-022
----------------	---------	---------------------

A3.04

Susan Affleck-Childs

From: Stephanie Mercandetti
Sent: Thursday, July 27, 2017 4:27 PM
To: andyrodnhiser@gmail.com
Cc: Susan Affleck-Childs
Subject: FW: MassPlanners Digest, Vol 137, Issue 59

FYI. I wanted to share a portion of this thread from MassPlanners in preparation for when the Medway Community Church public hearing does commence.

I know there was leeway given for neighbors to comment during the informal discussion Tuesday evening; but come the hearing the scope of questions and comments from all should be limited to those areas outlined under G.L. 40A Section 3.

Thanks,
Stephanie

Stephanie A. Mercandetti
Director, Community & Economic Development Town of Medway
155 Village Street
Medway, MA 02053
Ph: (508) 321.4918
Email: smercandetti@townofmedway.org

-----Original Message-----

From: massplanners-bounces@cs.umb.edu [mailto:massplanners-bounces@cs.umb.edu] On Behalf Of massplanners-request@cs.umb.edu
Sent: Thursday, July 27, 2017 11:21 AM
To: massplanners@cs.umb.edu
Subject: MassPlanners Digest, Vol 137, Issue 59

Today's Topics:

1. Re: Process for Exempt Uses (Bob Ritchie)

Message: 1

Date: Thu, 27 Jul 2017 11:08:15 -0400 (EDT)
From: Bob Ritchie <bobritchie@comcast.net>
Subject: Re: [Massplanners] Process for Exempt Uses
To: George Proakis <GProakis@somervillema.gov>, massplanners@cs.umb.edu
Message-ID: <828905570.480991.1501168096058@connect.xfinity.com>
Content-Type: text/plain; charset="utf-8"

I concur in George's analysis of the question. Site plan review within the restricted scope of G.L. c. 40A, Sec. 3, is an entirely appropriate means by which to prescribe the "reasonable regulation" authorized by that Section. The slippery

slope begins by believing that the board exercising site plan review authority has the same broader range of regulation as with non-exempt uses.

Bob Ritchie
413-531-2431
bobritchie@comcast.net

> On July 27, 2017 at 9:50 AM George Proakis <GProakis@somervillema.gov> wrote:

>

> Hi Amanda,

>

> Section 3 says that exempt educational and religious uses may be "subject to reasonable regulations concerning the bulk and height of structures and determining yard sizes, lot area, setbacks, open space, parking and building coverage requirements."

>

> I'm interested in Barbara's perspective on this issue, but I don't see any reason that a Planning Board cannot conduct a site plan review on a non-profit use, as long as they don't reach beyond reasonably regulating the list of items above.

>

> When I worked in Lowell, we did this regularly. When the Board once denied a site plan for a non-profit educational use (against the advice of city staff and the City Solicitor), the court remanded the case to the Planning Board and instructed them to limit their review to the list above. But, at no point have I heard of an opinion that one cannot conduct site plan review and instruct a non-profit about where to place parking, how to address open space, etc.

>

> Has something changed in case law?

>

> George Proakis

> Director of Planning

> City of Somerville

> 93 Highland Avenue

> Somerville, MA 02143

> Email: gproakis@somervillema.gov

> Phone: 617-625-6600 x2504

>

> -----

> From: massplanners-bounces@cs.umb.edu <massplanners-bounces@cs.umb.edu> on behalf of Amanda Chiancola <achiancola@Salem.com>

> Sent: Wednesday, July 26, 2017 1:42 PM

> To: massplanners@cs.umb.edu

> Subject: [Massplanners] Process for Exempt Uses

>

> The City of Salem is interested in amending the Site Plan Review ordinance to clarify the scope of site plan review for exempt uses. It is our understanding that site plan review cannot be required for exempt uses. The treatise by Barbara Saint Andre seems to leave the door open for a limited site plan review addressing only those issues spelled out in Section 3 - but she categorizes it as a "limited, administrative" review, which would not include a Planning Board process.

>

> Do any of your communities identify a process for exempt uses in your site plan ordinance?

>

> Thanks,

> Amanda

>

> Amanda Chiancola, AICP | Staff Planner

- > Department of Planning & Community Development
- > 120 Washington St., 3rd Floor | Salem, MA 01970
- > 978-619-5685 | Fax: 978-740-0404 | achiancola@salem.com
- > <mailto:achiancola@salem.com>
- >
- > Please note the Massachusetts Secretary of State's office has determined that most emails to and from municipal officials are public records. FMI please refer to: <http://www.sec.state.ma.us/pre/preidx.htm>
- > <http://www.sec.state.ma.us/pre/preidx.htm> .
- > Please consider the environment before printing this email.
- >
- >
- > _____
- > MassPlanners mailing list
- > MassPlanners@cs.umb.edu
- > <http://mailman.cs.umb.edu/mailman/listinfo/massplanners>
- >

MassPlanners mailing list
MassPlanners@cs.umb.edu
<http://mailman.cs.umb.edu/mailman/listinfo/massplanners>

End of MassPlanners Digest, Vol 137, Issue 59
