

Tuesday, August 11, 2020
Medway Planning and Economic Development Board
155 Village Street
Medway, MA 02053

| PEDB Members | Andy Rodenhiser | Bob Tucker | Tom Gay | Matt Hayes | Rich Di Iulio | Jessica Chabot |
|---------------------|------------------------|-------------------|---------------------------|-------------------|----------------------|-----------------------|
| Attendance | X | X | Absent with Notice | X | X (via Zoom) | X |

Pursuant to Governor Baker’s March 12, 2020 Order Suspending Certain Provisions of the Open Meeting Law, and the Governor’s March 15, 2020 Order imposing strict limitations on the number of people that may gather in one place, limited attendance of members of the public will be permitted at this meeting. Meeting access via ZOOM is provided for the opportunity for public participation. The ZOOM meeting may be accessed online via: <https://us02web.zoom.us/j/83204439056>. Members of the public who wish to watch the meeting may do so, on Medway Cable Access: channel 11 on Comcast Cable, or channel 35 on Verizon Cable; or on Medway Cable’s Facebook page @medwaycable.

ALSO PRESENT IN LIVE MEETING:

- Susy Affleck-Childs, Planning and Economic Development Coordinator

PRESENT VIA ZOOM

- Amy Sutherland, Recording Secretary
- Gino Carlucci, Planning Consultant, PGC Associates
- Steve Bouley, Engineering Consultant, Tetra Tech

The Chairman opened the meeting at 7:00 pm. He read a statement about the meeting behind held both LIVE and remote via ZOOM.

Citizen Comments about Salmon Senior Living Community:

The Board is in receipt of the following: (See Attached)

- Email with photos from David Neiman of 245 Village Street
- Excerpt from the Salmon ARCPUD plan showing the area of concern at the corner of Waterside Run and Village Street
- Street photo of 245 Village Street from Google Earth

Resident, Mr. David Newman, 245 Village Street:

Mr. Neuman was present via ZOOM. He is the owner of 245 Village Street. When he purchased the property several years ago, he was not aware of the street plans for the Salmon development. He is hoping that the developer will address their safety concerns with the curbing in the area since a large portion of the left side of his driveway was removed to connect to Waterside Run. The resident would like painted lines and possibly bollards in this location to prevent from someone taking a right hand turn onto his property. Mr. Newman has

communicated his concern to the Salmon representatives. The configuration of the distance was displayed on Share Screen.

Salmon representative Jeff Robinson was present via ZOOM. Mr. Robinson explained that this area was discussed with the previous owner of 245 Village Street and there was not issue at that time. The Town did review the plan and approved the plan design at that time.

Member Tucker wanted to know why the curb is set so far back. It should be consistent with the street line. It was suggested that the arc of the curbing could start at the property line. Consultant Bouley will follow up with Coneco. The developer will address having the flare at the end and made consistent with the existing street line. The grading should also be looked at. There should also be granite curbing at the entrance. There will be fencing on both sides and the fencing is a PVC material. It slopes downward to not block sight lines for exiting traffic from Waterside Run. The fence will be installed behind the curb. This can be handled as a field change. Mr. Robinson is amenable to this change and will direct his engineering firm to provide a drawing.

Mr. Neuman would like to be provided a copy of the discussed field change. Member Tucker would like to see this revision. This will be put on the agenda for the next PEDB meeting as a field change.

MEDWAY MILL SITE PLAN PUBLIC HEARING:

The Board is in receipt of the following: (See Attached)

- Medway Mill Site Plan – Updated Public Hearing Notice 07-23-20
- Site Plan Permit Application 02-18-2020
- Project Narrative 02-18-20
- Site Plan Set- Medway Mill 02-14-2020
- Revised Site Plan – Medway Mill 05-13-2020
- Color rendered photos -02-21-2020
- Waiver Requests – 02-18-20
- PGC Review Comment on Medway Mill revised site plan 08-04-2020
- TT Letter #2 Medway Mill – PEDB Rev. 07-09-2020
- G & H response to PGC Review Letter 06-18-2020
- G & H response to TT review letter 06-18-2020
- Janine Clifford comments 02-14-2020
- Janine Clifford email and plan notes 05-18-2020
- 1995 ZBA Special Permit decision

The Chairman opened the hearing for Medway Mill Site Plan.

The Applicant John Green and project engineer Amanda Cavaliere of Guerriere and Halnon were present at the meeting.

On a motion made by Rich Di Iulio, and seconded by Matthew Hayes, the Board voted by Roll Call vote to waive the reading of the public hearing notice.

Roll Call Vote:

| | |
|------------------------|------------|
| Bob Tucker | aye |
| Matthew Hayes | aye |
| Rich Di Iulio | aye |
| Andy Rodenhiser | aye |

Ms. Cavaliere provided a Share Screen of the subdivision plan for those at home to view. The application is for a major site plan. The initial submittal was in February 2020 which was provided to the consultants for review. In March-June 2020, the applicant responded to comments received from Tetra Tech and PGC. There was a second submittal to the Planning Board and Conservation Commission in June 2020. NOTE – The hearing had been delayed due to the COVID -19 State of Emergency.

The Medway Mills Complex is located off Main Street. The parcel consists of approximately seven acres of land that straddles Chicken Brook. The zoning on this site is Agricultural Residential II, Multi-Family Overlay District, Mill Conversion Subdistrict, and Adaptive Use Overlay District. This site was developed in the 1800's and was utilized as a mill for various trades. Currently, it is operating as mixed commercial with office space. This site consists of 45 local businesses. The site is accessible off Main Street to the north and Lincoln Street to the west, which is a scenic road. The site has 83 parking spaces to accommodate the current businesses.

Ms. Cavaliere explained that the applicant has also filed a Notice of Intent with the Conservation Commission. The Chairman explained that anything regarding Conservation Commission issues needs to be addressed by them. The Conservation Commission is handling the stormwater aspects of this project. The project objectives are to improve site safety, increase parking, protect and re-establish bordering resource areas, and incorporate stormwater management standards for the new proposed parking. The existing conditions were reviewed. The proposed improvements include expanding the bridge to make it wider. This is being addressed by Conservation. The new parking will have a detention basin to catch the stormwater. The back of property will be reestablished with a buffer from Chicken Brook. There is no grade change proposed to reestablish the buffer. The power will need to go underground.

Member Di Iulio communicated that in February 2020 he sent a photo to Conservation Agent about discharge he saw going into Chicken Brook. Ms. Cavaliere confirmed that this is being addressed with the Conservation Commission and is an outstanding issue. The new fire access will be labeled but is not for parking. This area will be reestablished and narrowed only for Fire Truck Access. There was a comment that the dumpster area may not be adequate enough.

The applicant is requesting the following waivers:

- Section 204.3.F - Written Development Impact Statement
- Section 204-5. B - Site Context Sheet
- Section 204-5. D.8.a. - Plan prepared by Landscape Architect
- Section 207.9.7 - ADA Requirement for sidewalks and pedestrian ways.
- Section 207-17. D. - Use of Shared Compactors
- Section 207-12. G.3.B - Parking Spaces location
- Section 207-19. B.2 - Perimeter Landscaping
- Section 207-19.H - Tree Replacement

Guerriere and Halnon representatives Michael Hassett and Dale McKinnon were present via ZOOM to answer questions.

There was a question about the lighting. The applicant informed all that a lighting plan was submitted. This has followed the required photometric plan.

The Board next discussed the request for sidewalks to be constructed to ADA standards. The applicant explained that the ADA waiver request is for the parking area from the northwest side of Chicken Brook where there are pervious pavers. There is no handicapped parking in the proposed new upper parking area as that is the farthest away from the building. The # of handicap spaces is determined by square footage. The spaces are required to be near the building. The Board would like the applicant to justify the spaces and verify the quantity. The applicant indicated that they will need a waiver for the sidewalk near the new parking area to be ADA compliant based on the new laws. There were concerns about the slope and pervious pavers. It was suggested that Susy Affleck-Childs reach out to the Town's ADA Compliance Officer for guidance. The Board has never provided a wavier for the ADA requirements.

Resident Ms. Jannine Clifford, Lincoln Street:

Ms. Clifford communicated that she does not believe that ADA is regulated by the site plan. She communicated that the building official is obligated to follow state code regarding ADA. It makes the most sense to have the ADA spots closer to the building. She asked if there would be pedestrian access point from Lincoln Street to Main Street.

The Chairman tabled the discussion until there is direction from the ADA officer. The Board may not be able to waive what is required.

The next waiver request discussed was the site context sheet. 204-5(B). The applicant wants a waiver from the requirement to show property owners within 300 ft. on the site context sheet. It is a densely populated area. It is a burden with the size of this property. The applicant will resubmit with the justification of why the waiver is needed.

The applicant communicated that the bridge design will be presented at a later date once the issues with the Conservation commission is resolved.

Resident Clifford had a question about the waiver request to allow parking to be within 15 ft. of the back property line. The plantings are shown right on the property lines.

The applicant noted that there is a proposed 6 ft. white PVC fence to be located on the project side of the plantings. Member Di Iulio wanted to know who will be maintaining the trees near the proposed fence. The applicant responded that there will be 18 proposed trees on the fence line and will be maintained by the applicant. The abutter would like the fence on her side. Could the fencing and planting be changed out so the landscaping is on the project side.

Consultant Bouley communicated that the applicant is trying to limit the disturbance in the riverfront area (Chicken Brook) but is also trying to meet the requirements of the PEDB. There are other options being explored to meet all the requirements. One of the options was to move

the stormwater structures under the parking lot instead of having a surface stormwater basin. This is being discussed with the Conservation Commission. The next item discussed was the basin. There is an emergency overflow basin. This was designed to minimize flow for storms greater than 100-year storm. Consultant Bouley communicated that there is a better solution instead of doing something under the pavement.

A question was asked if the Board has set a precedent in the past with allowing relief from the back setback for parking. setback. The Board did not recollect allowing relief from setback requirements.

The owner communicated that they are dealing with an existing non-conforming situation and are trying to do their best to improve the situation and to make the site safer. This site has tough conditions due to the river being here. This site is difficult. The applicant communicated that he will not be pursuing a 12-unit residential building on the site in the future as had been previously envisioned.

The parking was discussed. There was a recommendation to have one lane of parking and a dead end drive aisle. There is a total of 134 parking spots required for the property but with this project, the site will have 144 spots. The width of the drive aisle is 24 ft. It was suggested to get rid of drive aisle in the middle. There could be a more efficient design for parking than what is shown.

Resident, Ms. Clifford, 42 Lincoln Street:

Ms. Clifford is concerned that her driveway is off of the access road (driveway) into the property from Lincoln Street. It has been there for many, many years. Her concern is that the entrance is being at a blind spot and there is a safety concern. It was suggested to have one way in from Lincoln Street and then one way out to Main Street.

The applicant responded that the abutter is using his driveway to access her property which is fine but her car is pulled into this area. If she was concerned, she would not park where she is currently parking. She is backing into his roadway to come down the driveway.

The Board would like the applicant to go to the Design Review Committee. Susy will arrange that.

The applicant communicated that the remaining items include:

- Waivers pending PEDB decision
- Order of Conditions from Conservation Commission pending resolution of remaining comments from Commission
- Address comments from public

Ms. Cavaliere asked for copies of any abutter comments. Susy Affleck-Childs will follow-up with her and email the comments previously provided by Ms. Clifford.

On a motion made by Matt Hayes, and seconded by Bob Tucker, the Board voted by Roll Call vote to continue the hearing to September 22, 2020 at 7:15 pm.

Roll Call Vote:

| | |
|------------------------|------------|
| Bob Tucker | aye |
| Matthew Hayes | aye |
| Rich Di Iulio | aye |
| Andy Rodenhiser | aye |

WILLIAMSBURG PROJECT COMPLETION:

The Board is in receipt of the following: **(See Attached)**

- Request dated July 28, 2020 from developer Paul Yorkis for bond release
- As-Built Plan dated December 19, 2019
- Email dated April 20, 2020 from Rick Tweedy, management company for the Williamsburg Condo Association.
- Documentation from Truax Corporation regarding cleaning of catch basins and stormceptor on July 22, 2020
- Open Space – Map Deed conveying Open Space Parcel B-1 signed by Paul Yorkis June 23, 2020.
- Email from July 27, 2020 from Maryann DiPinto regarding status of Certificate of Compliance from Mass DEP for its Order of Conditions
- Email dated July 28, 2020 from Steve Bouley re: site visit
- April 15, 2020 SAC email to Walpole Bank re: bond reduction to \$41,375.00

Mr. Yorkis was present via ZOOM. He is requesting a release of the performance security for Williamsburg. He indicated that all the items have been addressed. A question was asked about several light poles which are not working. Mr. Yorkis indicated that this is not his responsibility but the responsibility of the management company for the condominium association.

On a motion made by Matthew Hayes, and seconded by Bob Tucker, the Board voted by Roll Call vote to release the bond for \$41,375.00 Williamsburg Way.

Roll Call Vote:

| | |
|------------------------|------------|
| Bob Tucker | aye |
| Matthew Hayes | aye |
| Rich Di Iulio | aye |
| Andy Rodenhiser | aye |

MEDWAY PLACE SITE PLAN PUBLIC HEARING:

The Board is in receipt of the following: **(See Attached)**

- Public hearing continuation notice to August 11, 2020
- Request from Attorney Gareth Orsmond to continue the public hearing

On a motion made by Matthew Hayes, and seconded by Bob Tucker, the Board voted by Roll Call vote to continue the hearing for Medway Place Site Plan on August 25, 2020 at 9:00 pm.

Roll Call Vote:

| | |
|-------------------|------------|
| Bob Tucker | aye |
|-------------------|------------|

Matthew Hayes **aye**
Rich Di Iulio **aye**
Andy Rodenhiser **aye**

MEDWAY GREEN PROJECT COMPLETION:

The Board is in receipt of the following: **(See Attached)**

- Request of Project Completion and Performance Security Release dated July 7, 2020.
- Certification of Compliance Letter, Dan Merrikin, P.E. dated July 27, 2020
- As-Built Plan dated June 3, 2020 by Colonial Engineering
- Project Completion Checklist dated July 7, 2020 with Mark Heavner notes
- Photos documenting bench installation
- Sewer installation as-builts
- Photos documenting shutter installation
- Drainage maintenance and inspection report from Mark Heavner, July 2020
- Tri Party Agreement signed August 27, 2019 (\$47,250)
- Tetra Tech sign off
- Tax Certification dated August 7, 2020 from Treasurer/Collector office.

Mark Heavener was present via ZOOM. The Board was informed that the applicant has requested a project completion and return of the performance security. The punch list items have been completed. There was certification of the As Built Plan. All of the taxes have been paid. It was verified that the applicant does not owe any construction observation funds.

On a motion made by Matthew Hayes, and seconded by Rich Di Iulio, the Board voted by Roll Call vote to recommend the release of the bond in the amount of \$47, 250.00 for Medway Green.

Roll Call Vote:

Bob Tucker **aye**
Matthew Hayes **aye**
Rich Di Iulio **aye**
Andy Rodenhiser **aye**

Choate Trail Subdivision Plan Endorsement:

The Board is in receipt of the following: **(See Attached)**

- Revised Definitive Subdivision Plan dated November 8, 2019 last revised July 23, 2020.
- Tetra Tech sign off dated August 7, 2020
- Certificate of No Appeal dated August 5, 2020
- Taxes paid certification dated July 27, 2020 from Treasurer/Collector's office.
- Subdivision Covenant
- Choate Trail Subdivision decision dated May 18, 2020.

On a motion made by Bob Tucker and seconded by Matt Hayes, the Board voted by Roll Call to sign the plan endorsement for Choate Trail Subdivision Plan.

Roll Call Vote:

| | |
|------------------------|------------|
| Bob Tucker | aye |
| Andy Rodenhiser | aye |
| Matt Hayes | aye |
| Rich Di Iulio | aye |

NOTE – The Board also signed the Subdivision Covenant.

EVERGREEN VILLAGE SITE PLAN ENDORSEMENT:

The Board is in receipt of the following: **(See Attached)**

- Revised Definitive Subdivision Plan dated September 5, 2019 and last revised April 6, 2020.
- Tetra Tech sign off dated April 23, 2020 on revised plan
- Certificate of No Appeal dated July 22, 2020 from Town Clerk
- Subdivision Covenant signed August 6, 2020 by Maria Varrichione
- Paid Taxes Certification from Medway Collector's office dated August 7, 2020
- Evergreen Village Decision dated April 7, 2020.

It was verified that the applicant does not owe any plan review funds and has paid the construction observation fee \$14,096 in full. It is recommended that the Board vote to endorse the Evergreen site plan contingent on not releasing the endorsed plan to the applicant until the applicant provides verification of the land conveyance.

On a motion made by Bob Tucker and seconded by Rich Di Iulio, the Board voted by Roll Call to sign the plan endorsement for Evergreen Village Site Plan.

Roll Call Vote:

| | |
|------------------------|------------|
| Bob Tucker | aye |
| Andy Rodenhiser | aye |
| Matt Hayes | aye |
| Rich Di Iulio | aye |

NOTE – The Board also signed the Subdivision Covenant.

PEDB MEETING MINUTES:

July 28, 2020:

On a motion made by Rich Di Iulio and seconded by Bob Tucker, the Board voted by Roll Call to approve the minutes as revised from the July 28, 2020 meeting.

Roll Call Vote:

| | |
|------------------------|------------|
| Bob Tucker | aye |
| Andy Rodenhiser | aye |
| Matt Hayes | aye |
| Rich Di Iulio | aye |

CONSTRUCTION REPORTS:

The Board is in receipt of the following: **(See Attached)**

- There has been work at the Willows. The swales and mats are down. The guard rails have been secured. There has been a watering truck on site.
- There was a site inspection at Medway Green. There was an issue with the swale. This is being addressed.
- The basin at William Wallace has been cleaned out near the entrance. The silt fence needed to be fixed.

OTHER BUSINESS:

- The hearing for 218 Main Street will be held on August 25, 2020 in Sanford Hall.

FUTURE MEETING:

- Tuesday, August 25, 2020

The Board discussed how to handle future meetings. Members agreed to hold combined LIVE/ZOOM meetings when there is an active project in public hearing. Otherwise, meetings can be handled via ZOOM.

ADJOURN:

On a motion made by Matt Hayes and seconded by Bob Tucker, the Board voted by Roll Call vote to adjourn the meeting.

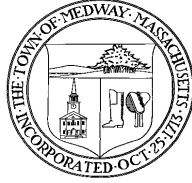
Roll Call Vote:

| | |
|------------------------|------------|
| Bob Tucker | aye |
| Andy Rodenhiser | aye |
| Matt Hayes | aye |
| Rich Di Iulio | aye |

The meeting was adjourned at 9:40 pm.

Prepared by,
Amy Sutherland
Recording Secretary

Reviewed and edited by,
Susan E. Affleck-Childs
Planning and Economic Development Coordinator



August 11, 2020, 2020
Medway Planning & Economic Development Board
Meeting

Citizen Comments

- Email with photos from David Neuman of 245 Village Street regarding concerns about traffic at Waterside Run and Village Street (Salmon Willow project)
- Excerpt from the Salmon ARCPUD plan showing the area of concern
- Street photo of 245 Village from Google Earth

Mr. Neuman will attend the meeting and speak with you during Citizen Comments. He has been communicating with the Salmon folks about ways to address his safety concerns. They are not amenable to Mr. Neuman's proposal. A portion of Mr. Neuman's driveway may be on the Salmon property.

Susan Affleck-Childs

From: David Newman <danewman435@gmail.com>
Sent: Thursday, August 06, 2020 3:20 PM
To: Susan Affleck-Childs
Subject: Re: [Town of Medway MA] 245 village street and waterside road (Sent by David Newman, danewman435@gmail.com)
Attachments: 20200805_221430.jpg

Idea for extending

On Thu, Aug 6, 2020, 7:55 AM Susan Affleck-Childs <sachilds@townofmedway.org> wrote:

Hi David,

Thanks for your note. No images were attached. Please send them to me asap.

Best regards,

Susy

Susan E. Affleck-Childs
Planning and Economic Development Coordinator
Town of Medway
155 Village Street
Medway, MA 02053
508-533-3291

-----Original Message-----

From: cmsmailer@civicplus.com <cmsmailer@civicplus.com>
Sent: Wednesday, August 05, 2020 11:33 PM
To: Susan Affleck-Childs <sachilds@townofmedway.org>
Subject: [Town of Medway MA] 245 village street and waterside road (Sent by David Newman, danewman435@gmail.com)

Hello sachilds,

David Newman (danewman435@gmail.com) has sent you a message via your contact form (<https://www.townofmedway.org/user/201/contact>) at Town of Medway MA.

If you don't want to receive such e-mails, you can change your settings at <https://www.townofmedway.org/user/201/edit>.

Message:

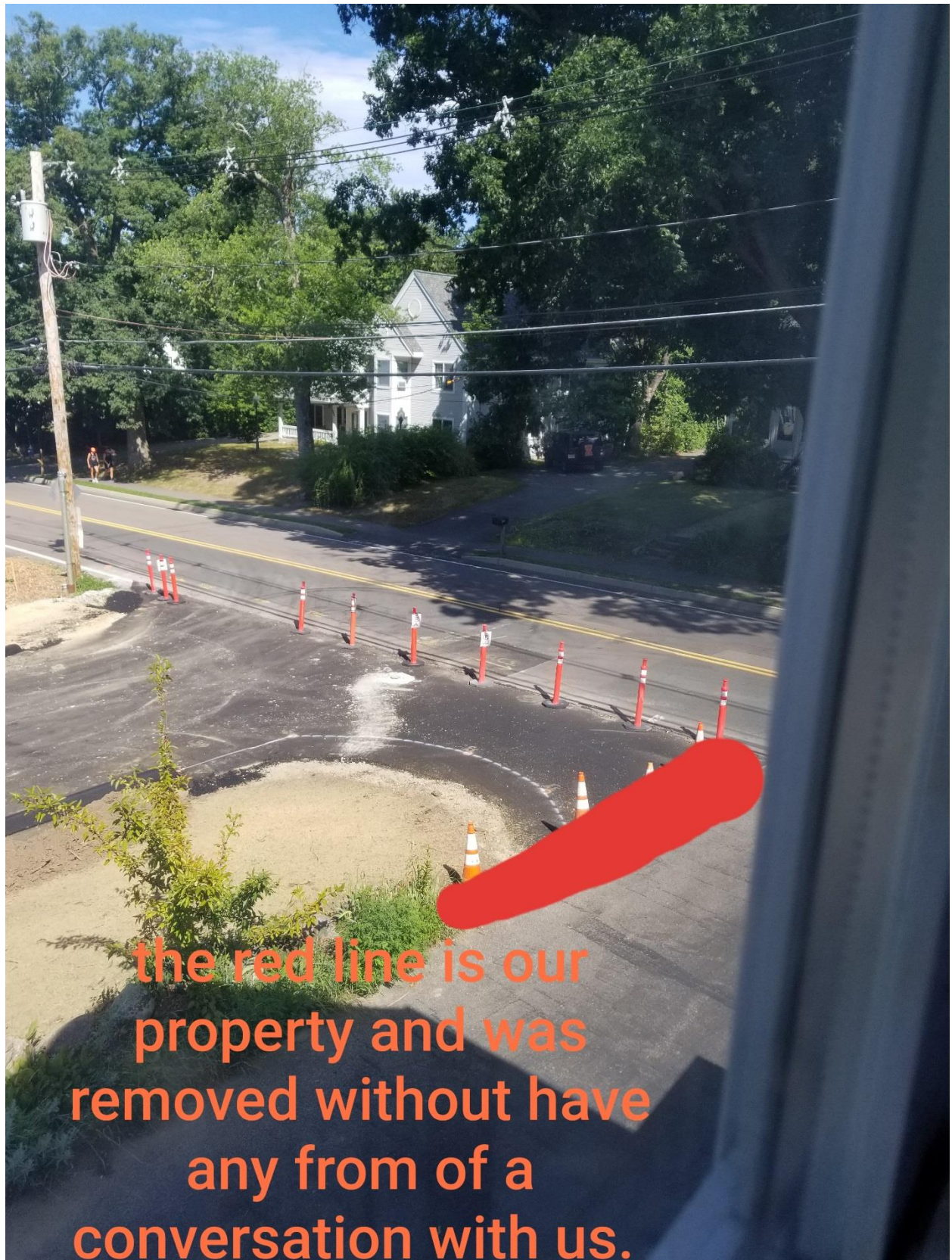
Hi Susan,

As you know from our phone calls regarding 245 village st and the construction of Waterside run. We have spoken with Tom Geer, Anthony Latour, and Jeff Robinson. We were hoping to find a way for them to give us a little safety by extending the curb with a bull nose or find some way that traffic does not cross on to our property. We have two young kid feel that once construction started our house and property's safety was taken away. I have attached images of how our driveway and Waterside Run is now connected. Also I have attached images of how the construction team has removed a large portion of the left side of our driveway to connect to waterside run. This removal was done with out being asked if they could come on to our property.

I have also been told several times that the very small part of the end of our driveway was on the Salmon/Willows property. From my understanding of Massachusetts squatters rights the full drive is our since the drive way had been in place well past the 20 year window that is needed. Agian we just want safety and our property to be returned to us. As for safety again we are just looking for a extend curb or a bull nose done to make sure traffic does not cross over to our property. This does not seem like a big issue, but has be come one. We would also be fine with painted lines and bollard put in the ground on the Salmon/willows property. I have been told that sight line and turning radius is the reason for the connection. I have spoke with my own engineer and they said Waterside Run has more than enough sight line and turning radius on the side next to my house if changes were made. Looking forward to speak with the planning board on Tuesday regarding this issue.

Thank you

David Newman



the red line is our
property and was
removed without have
any from of a
conversation with us.

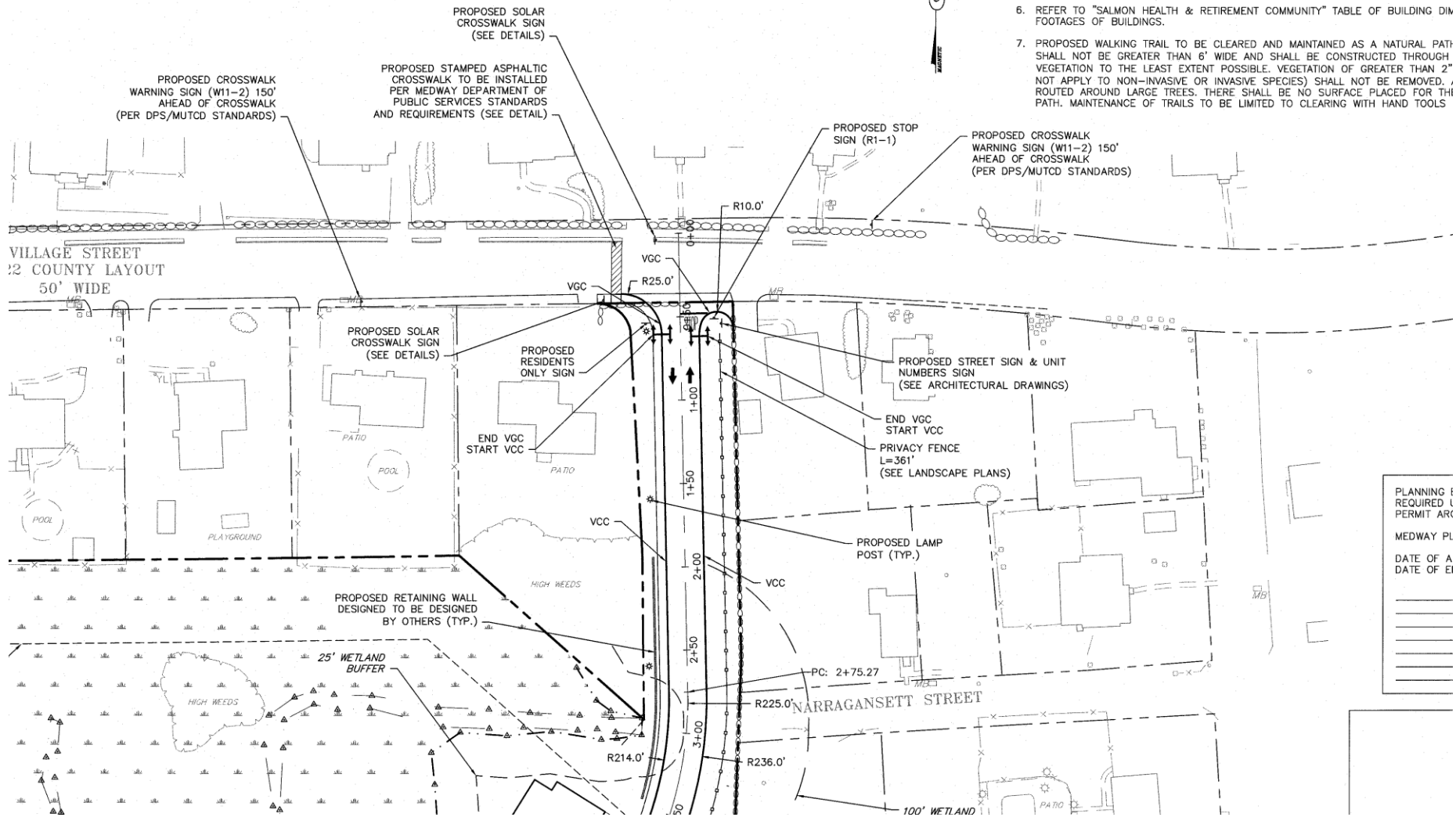


We were asked to send
in our idea for the
connection of our drive
way and waterside run



NOTES:

1. CURBING TO BE 7" VERTICAL CONCRETE EXCEPT WHERE 7" VERTICAL GRANITE C
2. ALL CURBING RADII TO BE 5' UNLESS NOTED OTHERWISE.
3. SIDEWALKS TO BE 5' WIDE BITUMINOUS CONCRETE.
4. REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING AND UNIT FLOOR PLANS.
5. ALL STREET SIGNAGE TO BE COORDINATED WITH THE TOWN OF MEDWAY DEPART
6. REFER TO "SALMON HEALTH & RETIREMENT COMMUNITY" TABLE OF BUILDING DIM FOOTAGES OF BUILDINGS.
7. PROPOSED WALKING TRAIL TO BE CLEARED AND MAINTAINED AS A NATURAL PATH SHALL NOT BE GREATER THAN 6' WIDE AND SHALL BE CONSTRUCTED THROUGH VEGETATION TO THE LEAST EXTENT POSSIBLE. VEGETATION OF GREATER THAN 2" NOT APPLY TO NON-INVASIVE OR INVASIVE SPECIES) SHALL NOT BE REMOVED, ROUTED AROUND LARGE TREES. THERE SHALL BE NO SURFACE PLACED FOR THE PATH. MAINTENANCE OF TRAILS TO BE LIMITED TO CLEARING WITH HAND TOOLS

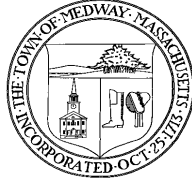


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August 11, 2020, 2020
Medway Planning & Economic Development Board
Meeting

Medway Mill Site Plan Public Hearing

- Medway Mill Site Plan – Updated Public Hearing 07-23-20
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- 1995 ZBA Special Permit decision

Board Members

Andy Rodenhiser, Chair
Robert Tucker, Vice Chair
Thomas Gay, Clerk
Matthew Hayes, P.E.,
Member
Richard Di Iulio, Member
Jessica Chabot, Associate
Member



Medway Town Hall
155 Village Street
Medway, MA 02053
Phone (508) 533-3291
Fax (508) 321-4987
Email: planningboard@townofmedway.org
www.townofmedway.org

TOWN OF MEDWAY
COMMONWEALTH OF MASSACHUSETTS
**PLANNING AND ECONOMIC
DEVELOPMENT BOARD**



July 23, 2020

NOTICE OF PUBLIC HEARING
Medway Mill Site Plan – 165 Main Street

In accordance with the *Medway Zoning Bylaw*, Section 3.5 Site Plan Review and the provisions of Chapter 40A, Massachusetts General Laws, notice is given that ***the Planning and Economic Development Board will conduct a Public Hearing on Tuesday, August 11, 2020 at 7:15 pm in Sanford Hall at Medway Town Hall, 155 Village Street and online via ZOOM (<https://us02web.zoom.us/j/83204439056>) to consider the application of 165 Main Street Realty Trust of Medway, MA for approval of a site plan for proposed site improvements at the Medway Mill property located at 165 Main Street (Medway Assessors Map 48, Parcel 92).*** The meeting room is accessible via elevator for individuals with physical disabilities.

With COVID-19 limitations on the number of people who may gather indoors in one place and the associated physical distancing requirements, the Sanford Hall meeting space can accommodate a limited number of people for live attendance. All in-person attendees will be required to wear face coverings unless they are prevented from doing so by a medical or disabling condition. The Board encourages online public participation in the hearing for questions and comments via ZOOM meeting attendance - (<https://us02web.zoom.us/j/83204439056>). The ZOOM meeting may also be accessed via telephone at: 1-312-626-6799, meeting ID# 83204439056#. Members of the public are also invited to watch the meeting on Medway Cable Access - channel 11 on Comcast Cable, channel 35 on Verizon Cable, or on Medway Cable's Facebook page @medwaycable.

The applicant proposes a series of site improvements to the 7.28 acre property located in the Agricultural-Residential II zoning district. These include creating a 41-space surface parking area with electrical vehicle charging stations and bike racks; installation of stormwater management facilities for the parking area; landscaping and lighting; and expansion of the bridge across Chicken Brook for approximately 25 linear feet on each side. As the site includes riverfront areas under the jurisdiction of the Conservation Commission, the project is also subject to its review for an Order of Conditions and a Land Disturbance Permit.

The application, site plan, and supporting documentation were filed with the Town on February 18, 2020. The *Site Plan – Medway Mills* dated February 14, 2020, last revised May 13, 2020, was prepared by Guerriere and Halnon of Franklin, MA. The application and associated documents are available at the offices of the Medway Town Clerk and the Community and Economic Development Department at Medway Town Hall, 155 Village Street, Medway, MA and may be inspected during regular Town Hall office hours. Face coverings are required to visit Town Hall. Project information is also posted at the Planning and Economic Development web page at: <https://www.townofmedway.org/planning-economic-development-board/pages/current-applications-pedb-0>.

Interested persons or parties are invited to review the plan, participate in the public hearing, and express their views. Written comments and questions are encouraged and may be forwarded to planningboard@townofmedway.org. and will be shared during the hearing. Questions should be directed to 508-533-3291.

Andy Rodenhiser

Chairman

To be published in the *Milford Daily News*: Tuesday, July 28, 2020 and Monday, August 3, 2020.



Planning & Economic Development Board - Town of Medway, MA
SITE PLAN REVIEW

Application for Major Site Plan Approval

INSTRUCTIONS TO APPLICANT/OWNER

This Application is made pursuant to the *Medway Zoning Bylaw* and the Board's *Rules and Regulations for the Submission and Review of Site Plans*

The Town's Planning and Engineering Consultants will review the Application and the proposed Site Plan and provide review letters to the Planning and Economic Development Board.

A copy of those review letters will be provided to you in advance of the meeting.

You and/or your duly authorized Agent/Official Representative are expected to attend the Board meetings at which your Application will be considered to answer any questions and/or submit such additional information as the Board may request.

Your absence at hearings may result in a delay in the Board's review of the site plan.

February 18, 20²⁰

APPLICANT INFORMATION

Applicant's Name: John J. Greene, Trustee, 165 Main Street Realty Trust

Mailing Address: 165 Main Street, Suite 307

Medway, MA 02053

Name of Primary Contact: John Greene

Telephone:

Office: 508-367-8745 Cell:

Email address: johnjgreene1@gmail.com



Please check here if the Applicant is the equitable owner (*purchaser on a purchase and sales agreement.*)

MAJOR SITE PLAN INFORMATION

Development Name: Medway Mills

Plan Title: Site Plan - Medway Mills

Plan Date: 2/14/2020

Prepared by:

Name:

Firm: Guerriere & Halnon, Inc.

Phone #: 508-528-3221

Email: acavaliere@gandhengineering.com

PROPERTY INFORMATION

Location Address: 165 Main Street

The land shown on the plan is shown on Medway Assessor's Map # 48 as Parcel # 92

Total Acreage of Land Area: 7.28 acres

General Description of Property: The property is mixed commercial with office space and consists of multiple structures constructed on the foundation of the original Stone Mill from the 1800s.

The property is bordered by woods and wetlands, with Chicken Brook flowing beneath the Stone Mill Building.

Medway Zoning District Classification: ARII/Adaptive Use Overlay/Mill Conversion Subdistrict

Current Use of Property: Mixed commercial with 45+ businesses for office, storage and retail.

Length of Existing Frontage: 286+/-

On what street? Main Street

Setbacks for Existing Structure (if applicable)

Front: 8' encroaching Main St.

Side: 0.06' +/- (Right)

Back: 163' +/-

Side:

Scenic Road

Does any portion of this property have frontage on a Medway Scenic Road?



Yes



No

If yes, please name street: Lincoln Street

Historic District

Is any portion of this property located within a Medway National Register Historic District?



Yes - Rabbit Hill



Yes - Medway Village

Wetlands

Is any portion of the property within a Wetland Resource Area?



Yes



No

Groundwater Protection

Is any portion of the property within a Groundwater Protection District?



Yes



No

Flood Plain

Is any portion of the property within a Designated Flood Plain?



Yes



No

PROPOSED DEVELOPMENT PROJECT INFORMATION

Development Name: Medway Mills

Major Site Plan Review applies to the following. Please check all that apply.



a.

New construction or any alteration, reconstruction, renovation, and/or change in use of any multi-family, commercial, industrial, institutional, or municipal building or use which involves one or more of the following:

i. the addition of 2,500 square feet or more of gross floor area; or

ii. the addition of twenty or more new parking spaces



b.

The redesign, alteration, expansion or modification of an existing parking area involving the addition of twenty or more new parking spaces

- ☒ c. The redesign of the layout/configuration of an existing parking area of forty or more parking spaces
- ☐ d. Construction of ground mounted solar photovoltaic installations of any size in any zoning district including solar canopy type systems in parking areas
- ☐ e. Removal, disturbance, and/or alteration of 20,000 sq. ft. or more of existing impervious surface

SPECIAL PERMIT - Will this project also require a variance or special permit from the *Zoning Board of Appeals*?

_____ Yes ☒ No

Explanation: _____

SPECIAL PERMIT - Will this project also require a special permit from the *Planning and Economic Development Board*?

☐ Yes ☒ No

Explanation: _____

PROPERTY OWNER INFORMATION (if not applicant)

Property Owner's Name: Same as Applicant

Mailing Address: _____

Primary Contact: _____

Telephone: _____
Office: _____ Cell: _____

Email address: _____

The owner's title to the land that is the subject matter of this application is derived under deed from: Medway Mill LLC to John J. Greene, Trustee of 165 Main Street Realty Trust dated January 30, 2007 and recorded in Norfolk County Registry of Deeds, Book 24499 Page 10 or Land Court Certificate of Title Number _____, Land Court Case Number _____, registered in the Norfolk County Land Registry District Volume _____, Page _____.

CONSULTANT INFORMATION

ENGINEER: Guerriere & Halnon, Inc.

Mailing Address: 55 West Central Street
Franklin, Massachusetts 02038

Primary Contact: Amanda Cavaliere, Office Manager

Telephone: _____
Office: 508-528-3221 Cell: 508-254-9126

Email address: acavaliere@gandhengineering.com

Registered P.E. License #: Elizabeth Mainini Sanchioni PE #48096

SURVEYOR: Reed Land Surveying, Inc.
Mailing Address: 109 Rhode Island Road, Suite 4A
Lakeville, MA 02347
Primary Contact: Glen D. Reed
Telephone: Office: 508-923-1181 Cell: _____
Email Address: _____
Registered P.L.S. License #: 40766

ARCHITECT: Not Applicable
Mailing Address: _____
Primary Contact: _____
Telephone: Office: _____ Cell: _____
Email address: _____
Registered Architect License #: _____

LANDSCAPE ARCHITECT/DESIGNER: Requesting a Waiver
Mailing Address: _____
Primary Contact: _____
Telephone: Office: _____ Cell: _____
Email address: _____
Registered Landscape Architect License #: _____

ATTORNEY: _____
Mailing Address: _____
Primary Contact: _____
Telephone: Office: _____ Cell: _____
Email address: _____

OFFICIAL REPRESENTATIVE INFORMATION

Name: Amanda Cavaliere (Guerriere & Halnon, Inc.)
Address: 55 West Central Street
Franklin, MA 02038
Telephone: Office: 508-528-3221 Cell: 508-254-9126
Email address: acavaliere@gandhengineering.com

SIGNATURES

The undersigned, being the Applicant for approval of a Major Site Plan Project, herewith submits this application and Site Plan to the Medway Planning and Economic Development Board for review and approval. I hereby certify, under the pains and penalties of perjury, that the information contained in this application is a true, complete and accurate representation of the facts regarding the property and proposed development under consideration.

(If applicable, I hereby authorize Amanda Cavaliere, Guerriere & Halnon, Inc. to serve as my Agent/Official Representative to represent my interests before the Medway Planning & Economic Development Board with respect to this application.)

In submitting this application, I authorize the Board, its consultants and agents, Town staff, and members of the Design Review Committee to access the site during the plan review process.

I understand that pursuant to MGL 53G, the Medway Planning and Economic Development Board may retain outside professional consultants to review this application and that I am responsible for the costs associated with such reviews.

I understand that the Planning and Economic Development Board, its agents, staff, consultants, and other Town staff and committees may request additional information which I am responsible for providing to assist them in reviewing the proposed development.


Signature of Property Owner

2020
Date

Signature of Applicant (if other than Property Owner)

Date


Signature of Agent/Official Representative

2-18-2020
Date

MAJOR SITE PLAN FEES

Filing Fee

For projects up to 4,999 sq. ft. /gross floor area = \$750 plus \$.25/sq. ft.
For projects of 5,000 – 9,999 sq. ft. /gross floor area = \$1,000 plus \$.25/sq. ft.
For projects of 10,000 – 14,999 sq. ft. /gross floor area = \$1,500 plus \$.25/sq. ft.
For projects of 15,000 sq. ft. or more/gross floor area = \$1,500 plus \$.25/sq. ft.

Advance on Plan Review Fee

For projects up to 4,999 sq. ft. /gross floor area = \$1,000 deposit.
For projects of 5,000 – 9,999 sq. ft. /gross floor area = \$1,500 deposit
For projects of 10,000 – 14,999 sq. ft. /gross floor area = \$2,000 deposit
For projects of 15,000 sq. ft. or more/gross floor area = \$2,500 deposit

Submit 2 separate checks each made payable to: Town of Medway

MAJOR SITE PLAN **APPLICATION CHECKLIST**

- ☒ Major Site Plan Application (2 signed originals – one for Town Clerk and one for Planning and Economic Development Board)
- ☒ Three (3) full size (24" x 36") copies of the Site Plan prepared in accordance with Sections 204-4 and 204-5 of the *Medway Site Plan Rules and Regulations* – one for the Town Clerk and two for the Planning and Economic Development Board.
- ☒ One (1) ledger size (11" x 17") copy of the Site Plan
- ☒ Electronic version of the Site Plan and ALL associated application documents. Provide disk or flash drive or email.
- ☒ Certified Abutters List from the Medway Assessor's office – for 300 feet around the subject property – Form E
- ☒ One (1) copy of a *Project Description* as described in Section 204 - 3, 6) of the *Medway Site Plan Rules and Regulations*. This description should also include a narrative on how the proposed project meets the requirements of the *Medway Zoning Bylaw* for parking (Section 7.1.1) and outdoor lighting (Section 7.1.2)
- equested Waiver ☐ One (1) copy of a *Development Impact Statement* as described in Section 204 - 3, 7) of the *Medway Site Plan Rules and Regulations*
- ☒ Request for Waivers from the *Medway Site Plan Rules and Regulations*. Use Form Q.
- ☒ Two (2) copies of the *Stormwater Drainage Report* prepared in conformance with the *Site Plan Rules and Regulations*
- equested Waiver ☐ Two (2) copies of a traffic study, depending on the size and scope of the proposed development project.
- ☐ One (1) copy of all relevant approvals received to date from other Town boards/committees/departments
- ☒ Proof of present or pending ownership of all land within the proposed development.
- ☒ Major Site Plan Filing Fee – Payable to Town of Medway
- ☒ Advance of Plan Review Fee – Payable to Town of Medway

**Major Site Plan
Medway Mills Site Plan
163-165 Main Street
Medway, Massachusetts**

Project Objective:

The Applicant is proposing several site improvements to address safety concerns of the tenants and their customers, increase parking accommodations, protect the bordering resource areas as well as incorporate stormwater management standards for the new parking area.

Site Description:

The Medway Mills Complex (“Site”) is located off Main Street within the Agricultural Residential II (ARII) Zoning District, Multi-Family Overlay District, Mill Conversion Subdistrict and Adaptive Use Overlay District (AUOD) and consists of approximately 7+ acres of land that straddles Chicken Brook. The Site was previously developed in the 1800’s and utilized as a mill for various trades along the southeast side Chicken Brook. The Site is accessible off Main Street to the north and Lincoln Street to the west, which is a Scenic Road and has 83 parking spaces to accommodate the current businesses. The property is bordered by residential and commercial uses, woods, and wetlands with Chicken Brook flowing beneath the Stone Mill Building and located within the bordering vegetated wetlands buffer and riverfront associated with Chicken Brook, as well as flood hazard zones.

The property is mixed commercial with office space and consists of multiple structures constructed on the foundation of the original Stone Mill from the 1800s. The existing buildings have been recently renovated and are now utilized by 45+ local businesses for retail, storage and office space, with the primary entrance off Main Street and secondary entrance off Lincoln Street. However, access to the either side of Chicken Brook is limited to a narrow bridge crossing and inadequate parking accommodations compelling tenants and patrons to park alongside the entrance/egress drive off Lincoln Street restricting traffic flow as well as in close proximity to the bordering resource areas. Based on the existing uses, 134 parking spaces are required. However, there are only 83 spaces provided. The limited amount of parking spaces increases the potential for dangerous parking conditions as well as impede emergency vehicle accessibility.

Project Description:

The Applicant is proposing the following site improvements to meet the projects objective:

- Construct a 41-space overflow parking area on the northwesterly side of Chicken Brook;
- Incorporate stormwater management improvements on the northwest side of the property;
- Expand the bridge crossing Chicken Brook, within a previously disturbed area; and
- Provide new plantings within the 0-50’ buffer to the bordering vegetated wetlands on both sides of Chicken Brook consisting of River Birch, Mountain Pepperbush, High Bush Blueberry, Winterberry, Juniper and Cinnamon Ferns to re-establish and protect the resource areas.

**Major Site Plan
Medway Mills Site Plan
163-165 Main Street
Medway, Massachusetts**

Proposed Parking Area and Associated Drainage Improvements

The proposed parking area on the northwest side of Chicken Brook consists of (41) 9'x18' parking spaces, (2) electric charging stations, bike rack and associated stormwater management system, landscaping and lighting that will connect to the lower parking area with a 4' wide pervious paver walkway. The proposed parking area has been designed in accordance with Section 7.1 of the Zoning Bylaws. The proposed drainage improvements are further discussed in the Stormwater Report.

Proposed Bridge Expansion

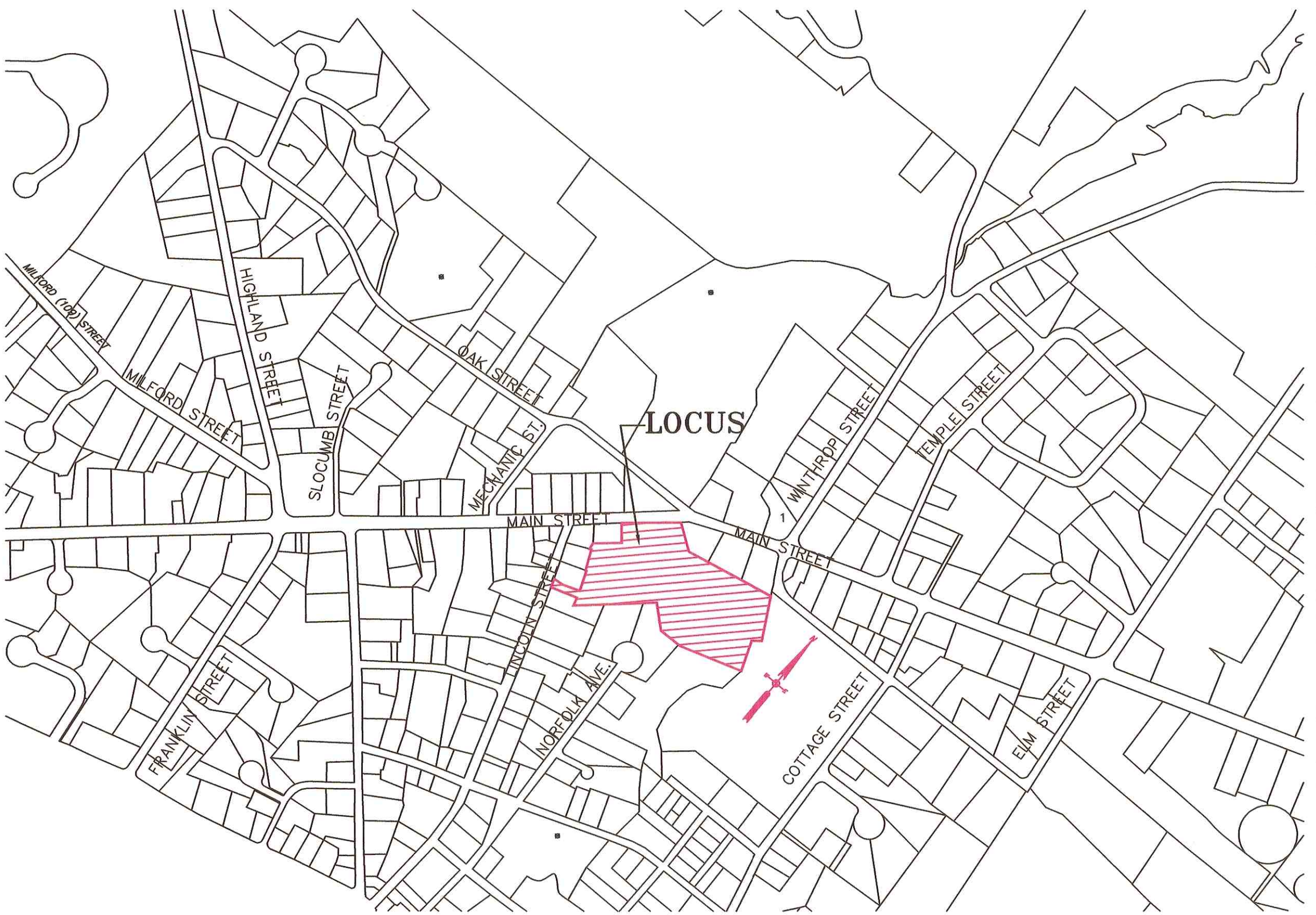
The Applicant is proposing to expand the bridge crossing approximately 25 linear feet on each side of the brook to accommodate two car widths on the southeast side of Chicken Brook. Currently, only one car is able to pass between the bridge and existing building limiting the access/egress of another vehicle and/or patron at the same time. The expansion is proposed to span over the brook with new footings that will be installed on the outside of two existing concrete walls. No new structures within the existing brook are proposed. Therefore, flow is not anticipated to be disrupted.

Proposed Plantings within the 0-50' Buffer to Bordering Vegetated Wetlands

Currently, there are multiple pre-disturbed areas within the Site that the Applicant is proposing to re-establish with new wetland-type plantings on both sides of Chicken Brook to deter parking in close proximity to the resource areas. As shown on Sheet 10 of 12, Areas A, B and C, consisting of approximately 10,370 sf, is proposed to be re-established within the 0-50' buffer zone to the bordering vegetated wetlands with a New England Conservation seed mix, and various plantings including River Birch, Mountain Pepperbush, High Bush Blueberry, Winterberry, Juniper and Cinnamon Ferns.

SITE PLAN
MEDWAY MILL
163-165 MAIN STREET
MEDWAY
MASSACHUSETTS

1. THIS SITE IS IN A FLOOD HAZARD ZONE AE AND X500.
2. THIS LAND IS ZONED AR-II.
3. THIS LAND IS LOCATED IN THE MILL CONVERSION OVERLAY DISTRICT, AN ADAPTIVE USE DISTRICT (AUOD), AND A MULTI FAMILY HOUSING OVERLAY DISTRICT (MHOD).
4. LINCOLN STREET IS CONSIDERED A SCENIC ROAD.
5. THIS LAND IS NOT LOCATED WITHIN THE NHESP AREA.
6. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES IN THE FIELD. ANY DISCREPANCY WITH THE PLANS SHOULD BE REPORTED TO THE DESIGN ENGINEER UPON DISCOVERY.
7. ALL STRIPING AND SIGNAGE TO CONFORM TO "THE MANUAL FOR UNIFORM TRAFFIC CONTROL DEVICES."
8. REFER TO MEDWAY ASSESSORS MAP 48 LOT 92.
9. THIS SITE IS NOT IN A GROUND WATER PROTECTION DISTRICT.
10. ALL EROSION CONTROL DEVICES SHALL BE IN PLACE PRIOR TO CONSTRUCTION.
11. THE OWNER/APPLICANT SHALL LIMIT CONSTRUCTION DEBRIS AND MATERIALS ON THE SITE. IN THE EVENT THAT DEBRIS IS CARRIED ONTO A PUBLIC WAY, THE OWNER/APPLICANT SHALL BE RESPONSIBLE FOR ALL CLEANUP OF THE ROADWAY.
12. THE EXISTING CONDITIONS TOPOGRAPHICAL SURVEY AND BOUNDARY SHOWN HEREIN WAS OBTAINED BY REED LAND SURVEYING, INC, 109 RHODE ISLAND ROAD, SUITE 4A, LAKEVILLE, MA 02347. MINOR FIELD SURVEY WAS DONE BY GUERRIERE & HALNON, INC TO UPDATE THE PARKING STRIPING AND OTHER MINOR FEATURES. GUERRIERE & HALNON, INC, WITH ELECTRONIC FILES PROVIDED BY REED LAND SURVEYING, CONVERTED THE DRAWING FROM THE PREVIOUS DATUM TO NAD83/NAVD88.
13. THE WETLANDS WERE DELINEATED BY GODDARD CONSULTING, INC. ON AUGUST 19, 2019



VICINITY MAP

SCALE: 1" = 500'

WAIVER REQUEST

REQUEST FROM THE TOWN OF MEDWAY PLANNING BOARD RULES AND REGULATIONS

1. SECTION 204-4 B. STANDARDS FOR SITE PLAN PREPARATION.
2. SECTION 204-5C 3. EXISTING LANDSCAPE INVENTORY.
3. SECTION 204-5 D 7. LANDSCAPE ARCHITECTURAL PLAN
4. SECTION 205-9 TREES AND LANDSCAPING- TREE REPLACEMENT

INDEX

1. COVER SHEET
2. ABUTTERS FOR 300FT.
3. EXISTING CONDITIONS
4. GENERAL NOTES
5. PROPOSED LAYOUT
6. LIMIT OF CLEARING/EROSION CONTROL
7. PROPOSED GRADING AND UTILITIES
8. PHOTOMETRIC PLAN
9. LANDSCAPING PLAN
10. REMEDIATION PLAN
- 11-12 CONSTRUCTION DETAILS



F3519

APPROVED DATE: _____

MEDWAY PLANNING BOARD

BEING A MAJORITY

ENDORSEMENT DATE _____

LEGAL NOTES

UTILITIES ARE PLOTTED AS A COMPILATION OF RECORD DOCUMENTS, MARKINGS AND OTHER OBSERVED EVIDENCE TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES AND SHOULD BE CONSIDERED APPROXIMATE. LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. ADDITIONAL UTILITIES, NOT EVIDENCED BY RECORD DOCUMENTS OR OBSERVED PHYSICAL EVIDENCE, MAY EXIST. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING AND CALL DIGSAFE AT 1(888)DIG-SAFE{7233}.

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

OWNER

165 MAIN STREET REALTY TRUST
JOHN J. GREENE TRUSTEE
165 MAIN STREET
SUITE 307
MEDWAY, MA
DEED BOOK 24499 PAGE 10
A.M. 48 LOT 092

APPLICANT

NRG CONCEPTS, INC.
165 MAIN STREET
SUITE 307
MEDWAY, MA. 02053

SITE PLAN
MEDWAY MILL
163-165 MAIN STREET
MEDWAY
MASSACHUSETTS

COVER SHEET

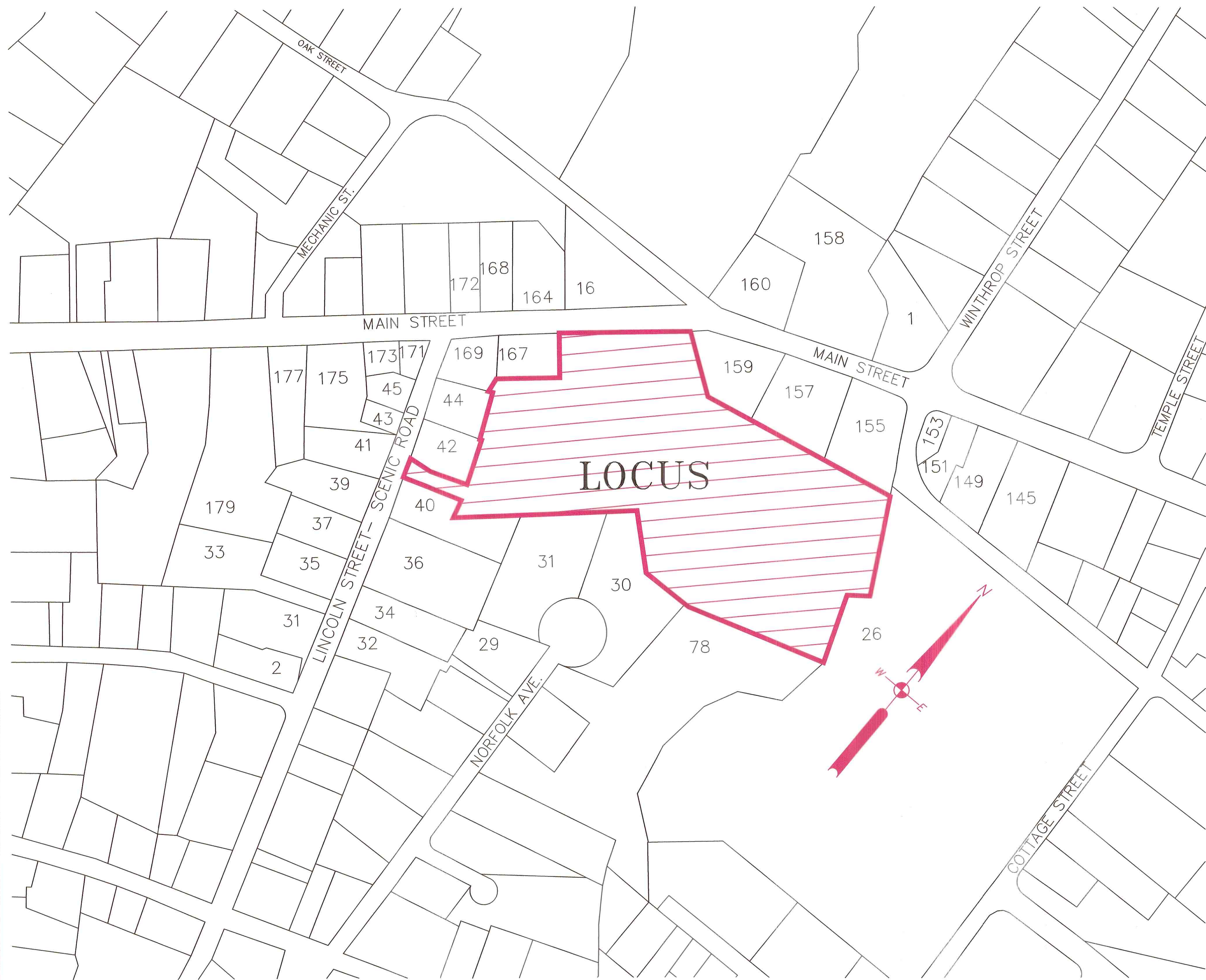
FEBRUARY 14, 2020

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Guerriere &
Halnon, Inc.

ENGINEERING & LAND SURVEYING
55 WEST CENTRAL ST. PH. (508) 528-3221
FRANKLIN, MA 02038 FX. (508) 528-7921
www.gandhengineering.com



VICINITY MAP

NOT TO SCALE

ABUTTERS

0 COTTAGE ST. EVERGREEN CEMETERY ASSOC. MAP 48 PARCEL 68
1 CHOATE PARK RD. TOWN OF MEDWAY MAP 39 PARCEL 74

32 LINCOLN ST. RICHARD BRIGGS MAP 48 PARCEL 85
34 LINCOLN ST. LAURIE MARCINKIEWICZ MAP 48 PARCEL 89
35 LINCOLN ST. MICHAEL & ELIZABETH HEIDEN MAP 48 PARCEL 109
36 LINCOLN ST. JOHN & STACEY CLOUTIER MAP 48 PARCEL 90
37 LINCOLN ST. STEPHEN & KERI PATTERSON MAP 48 PARCEL 108
39 LINCOLN ST. MICHAEL MARRAFFINO TRUSTEE MAP 48 PARCEL 107
40 LINCOLN ST. JAMES COAKLEY MAP 48 PARCEL 91
41 LINCOLN ST. JENNIFER & HANS MORRISON MAP 48 PARCEL 106
42 LINCOLN ST. CALVIN & KAREN WHITLA MAP 48 PARCEL 93
43 LINCOLN ST. KRISTY HARGREAVES & MICHAEL CAMPAGNA
MAP 48 PARCEL 105
44 LINCOLN ST. CATHERINE SANDOZ MAP 48 PARCEL 94
45 LINCOLN ST. FEDERICO VASQUEZ MAP 48 PARCEL 104

148 MAIN ST. UNIT A TAREK CHEBAKLO MAP 48 PARCEL C-A
148 MAIN ST. UNIT B ARTHUR PRUTSALIS MAP 48 PARCEL 9 C-B
145 MAIN ST. EARLY CAPITAL LLC MAP 48 PARCEL 22
149 MAIN ST. EARLY CAPITAL LLC MAP 48 PARCEL 21
151 MAIN ST. JOHN & CHRISTINE EARLY MAP 48 PARCEL 20
153 MAIN ST. JOHN & CHRISTINE EARLY MAP 48 PARCEL 19
155 MAIN ST- DAVID AND TARA WERLICH MAP 48 PARCEL 99
157 MAIN ST- 157 MAIN ST. REALTY TRUST MAP 48 PARCEL 98
158 MAIN ST- WOMACK FAMILY FUNDING MAP 48 PARCEL 2
159 MAIN ST- PAUL & KATHLEEN YORKIS MAP 48 PARCEL 97
160 MAIN ST- SHIRLEY MCDANIEL MAP 48 PARCEL 1
164 MAIN ST. FASLAND LLC MAP 48 PARCEL 114
167 MAIN ST. JOHN & CHARLENE KAIRIT MAP 48 PARCEL 96
168 MAIN ST. RICHARD & KRYSTIN FRASER MAP 48 PARCEL 115
169 MAIN ST. I O O F TRUST MAP 48 PARCEL 95

170 MAIN ST. UNIT A ARTHUR COWAN MAP 48 PARCEL 116- CA
170 MAIN ST. UNIT B RICHARD HUFFAM & MARK DENOMMEE
MAP 48 PARCEL 116- CB
171 MAIN ST. JOSE & DAMARYS CAICEDO MAP 48 PARCEL 103
172 MAIN ST. FRANCIS & MARGARET YERED MAP 48 PARCEL 117
173 MAIN ST. STEVEN LINNELL MAP 48 PARCEL 102
174-A MAIN ST. PAUL CHELMAN & ROSE COTE MAP 47 PARCEL 35-A
174-B MAIN ST. MICHAEL OLIVAL MAP 47 PARCEL 35-B
175 MAIN ST. CHERYL ROSENBERG TRUSTEE 1 MAP 48 PARCEL 101
177 MAIN ST. ERIC & TANYA BOUWMAN MAP 48 PARCEL 100
179 MAIN ST. VLADMIR & SUZANNE ATEYZEK MAP 47 PARCEL 43

14 MECHANIC ST. WILLIAM & BETTYE REARDON MAP 48 PARCEL 112

26 NORFOLK AVE. CHRISTOPHER & KRISTIN BRODEUR MAP 48 PARCEL 80
29 NORFOLK AVE. PETER & BRENDA LEE CHAPIN MAP 48 PARCEL 84
30 NORFOLK AVE. JENNIFER & JOHN DIGIACOMO MAP 48 PARCEL 82
31 NORFOLK AVE. THOMAS & CLAUDETTE BANNON MAP 48 PARCEL 83

0 OAK ST. TOWN OF MEDWAY MAP 39 PARCEL 74-1

1 WINTHROP ST. LINDA S. RUSSO REVOCABLE TRUST MAP 48 PARCEL 3



F3519

APPROVED DATE:

MEDWAY PLANNING BOARD

BEING A MAJORITY

ENDORSEMENT DATE

LEGAL NOTES

UTILITIES ARE PLOTTED AS A COMPILATION OF RECORD DOCUMENTS, MARKINGS AND OTHER OBSERVED EVIDENCE TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES AND SHOULD BE CONSIDERED APPROXIMATE. LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. ADDITIONAL UTILITIES, NOT EVIDENCED BY RECORD DOCUMENTS OR OBSERVED PHYSICAL EVIDENCE, MAY EXIST. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING AND CALL DIGSAFE AT 1(888)DIG-SAFE(72333).

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DEED BOOK 24499 PAGE 10
A.M. 48 LOT 092

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SITE PLAN
MEDWAY MILL
163-165 MAIN STREET
MEDWAY
MASSACHUSETTS

ABUTTERS FOR 300FT.

FEBRUARY 14, 2020

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SHEET
2 OF 12

JOB NO. F3519

APPROVED DATE:

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ENDORSEMENT DATE

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EXISTING CONDITIONS

FEBRUARY 14, 2020

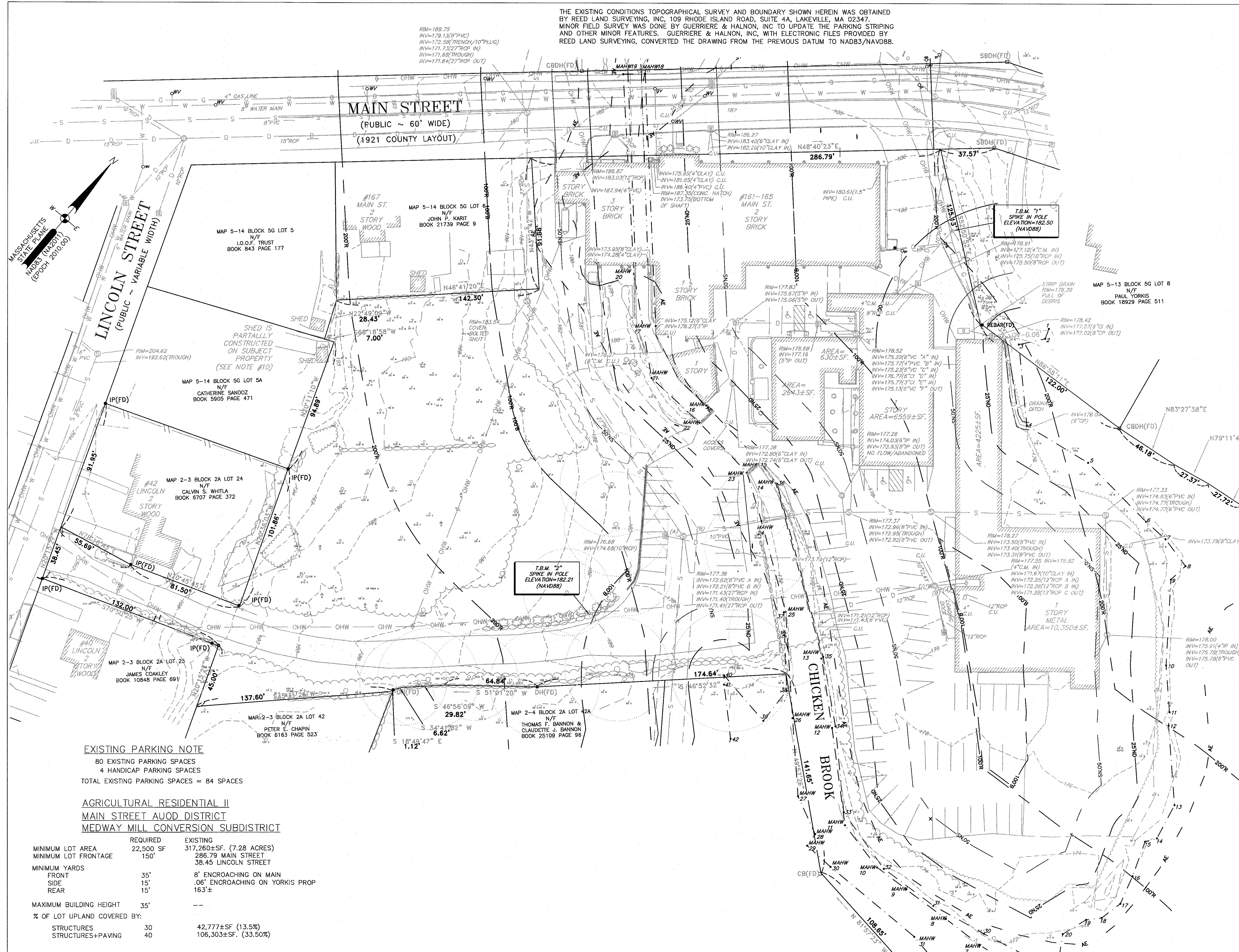
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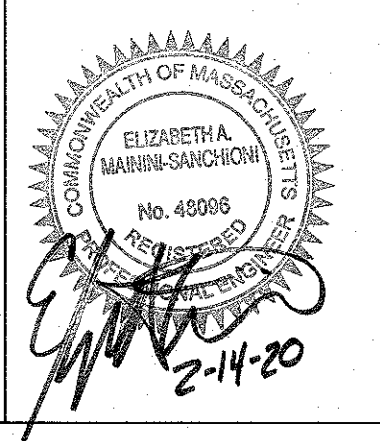
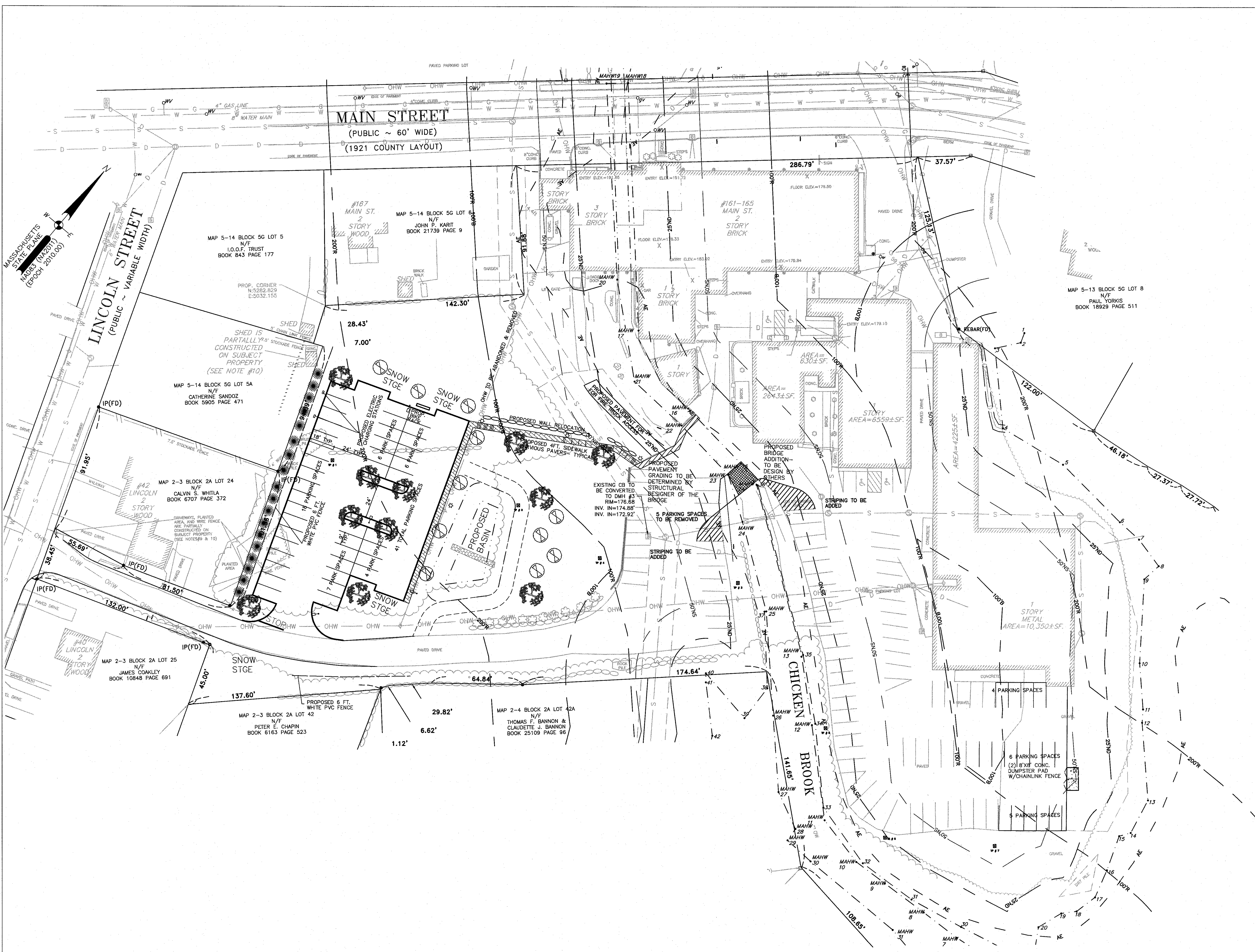


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SHEET 3 OF 12

JOB NO. **F3519**





APPROVED DATE: _____
MIDWAY PLANNING BOARD

BEING A MAJORITY
ENDORSEMENT DATE _____

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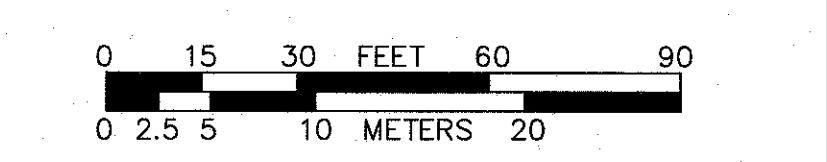
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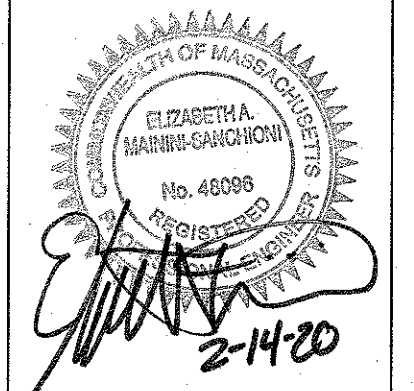
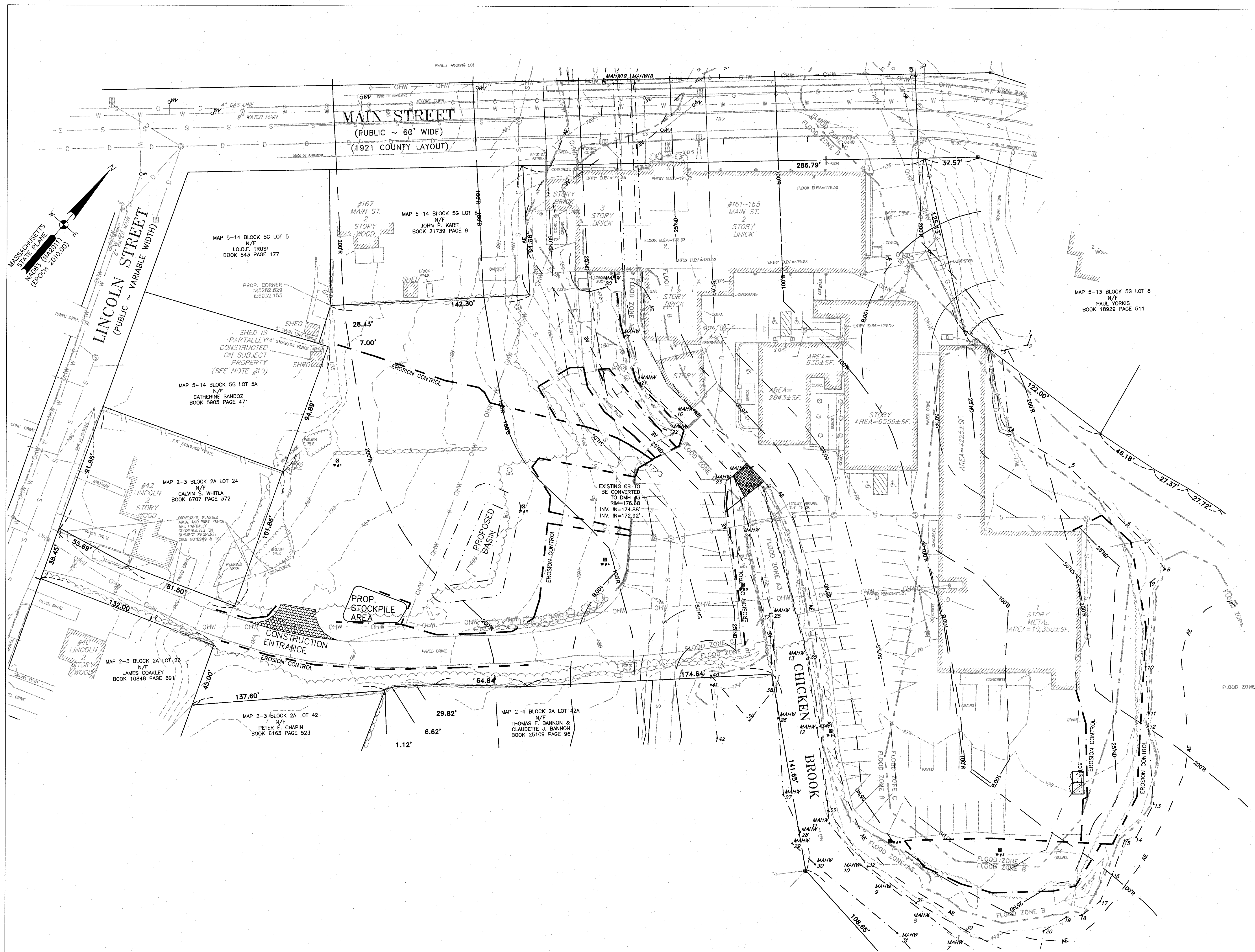
SITE LAYOUT

FEBRUARY 14, 2020

| DATE | REVISION DESCRIPTION |
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Guerriere & Halton, Inc.
ENGINEERING & LAND SURVEYING
55 WEST CENTRAL ST. PH. (508) 528-3221
FRANKLIN, MA 02038 FX. (508) 528-7921
www.gandhengineering.com



APPROVED DATE: _____
MEDWAY PLANNING BOARD

BEING A MAJORITY
ENDORSEMENT DATE _____

UTILITIES ARE PLOTTED AS A COMPILATION OF RECORD DOCUMENTS, MARKINGS AND OTHER OBSERVED EVIDENCE TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES AND SHOULD BE CONSIDERED APPROXIMATE. EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DEPICTED. ADDITIONAL UTILITIES, NOT EVIDENCED BY RECORD DOCUMENTS OR OBSERVED PHYSICAL EVIDENCE, MAY EXIST. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING AND CALL DIGSAFE AT 1(888)DIG-SAFE[7233].

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

OWNER
165 MAIN STREET REALTY TRUST
JOHN J. GREENE TRUSTEE
165 MAIN STREET
SUITE 307
MEDWAY, MA
DEED BOOK 24499 PAGE 10
A.M. 48 LOT 092

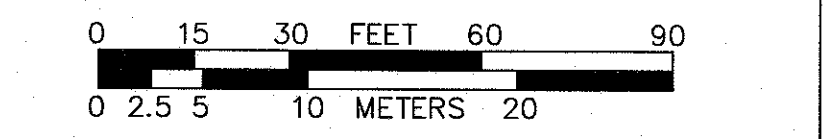
APPLICANT
NRG CONCEPTS, INC.
165 MAIN STREET
SUITE 307
MEDWAY, MA. 02053

**SITE PLAN
MEDWAY MILL
163-165 MAIN STREET
MEDWAY
MASSACHUSETTS**

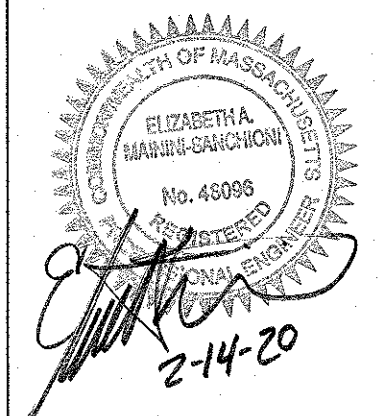
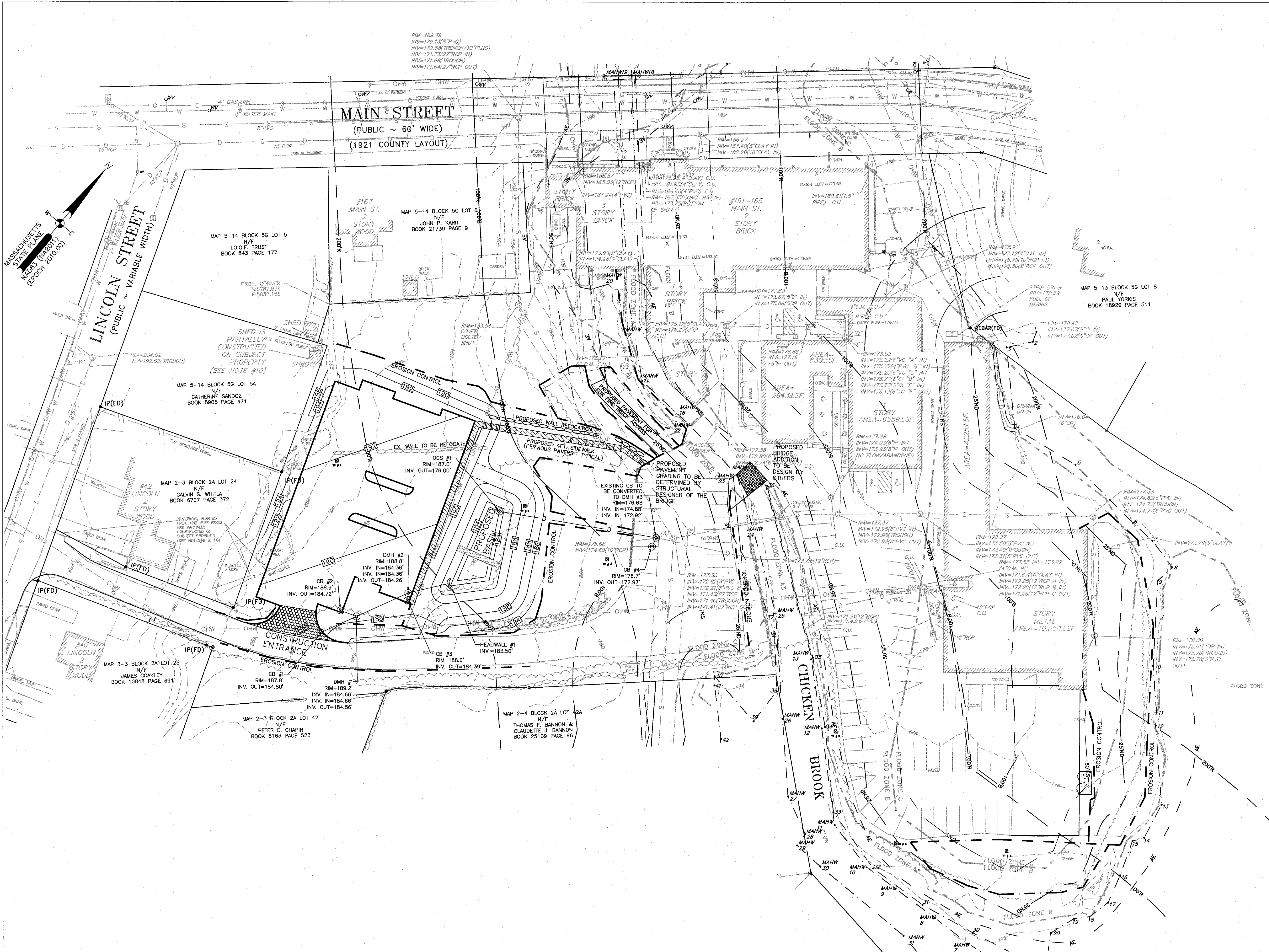
**EROSION CONTROL
LIMIT OF CLEARING**

FEBRUARY 14, 2020

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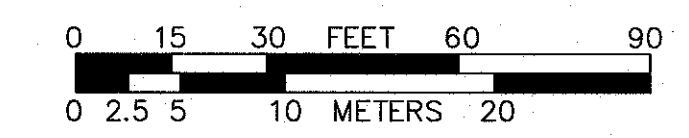
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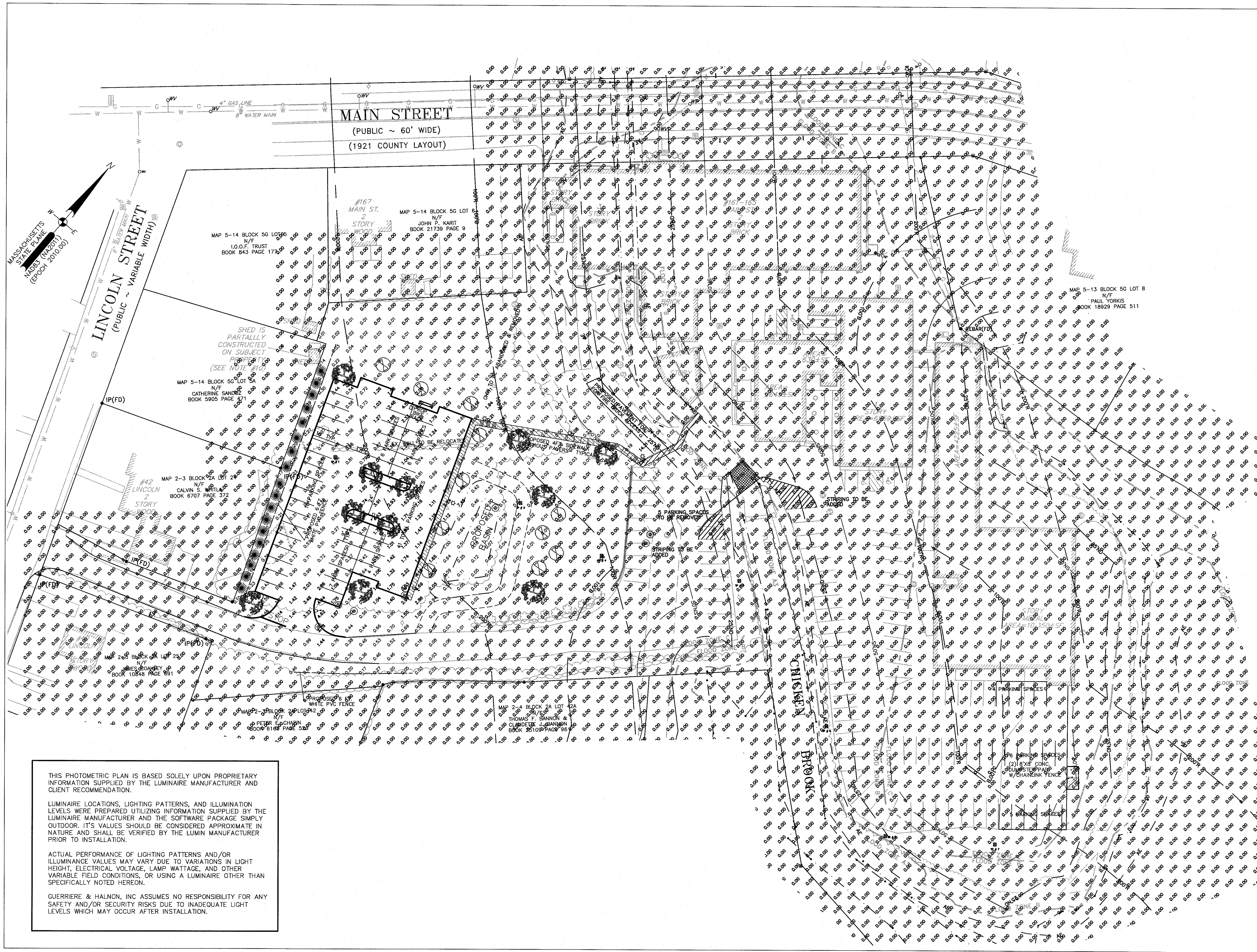
GRADING AND DRAINAGE

FEBRUARY 14, 2020

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THIS PHOTOMETRIC PLAN IS BASED SOLELY UPON PROPRIETARY INFORMATION SUPPLIED BY THE LUMINAIRE MANUFACTURER AND CLIENT RECOMMENDATION.

LUMINAIRE LOCATIONS, LIGHTING PATTERNS, AND ILLUMINATION LEVELS WERE PREPARED UTILIZING THE INFORMATION SUPPLIED BY THE LUMINAIRE MANUFACTURER AND THE SOFTWARE PACKAGE SIMPLY OUTDOOR. IT'S VALUES SHOULD BE CONSIDERED APPROXIMATE IN NATURE AND SHALL BE VERIFIED BY THE LUMIN MANUFACTURER PRIOR TO INSTALLATION.

ACTUAL PERFORMANCE OF LIGHTING PATTERNS AND/OR ILLUMINANCE VALUES MAY VARY DUE TO VARIATIONS IN LIGHT HEIGHT, ELECTRICAL VOLTAGE, LAMP WATTAGE, AND OTHER VARIABLE FIELD CONDITIONS, OR USING A LUMINAIRE OTHER THAN SPECIFICALLY NOTED HEREON.

GUERRIERE & HALNON, INC ASSUMES NO RESPONSIBILITY FOR ANY SAFETY AND/OR SECURITY RISKS DUE TO INADEQUATE LIGHT LEVELS WHICH MAY OCCUR AFTER INSTALLATION.

F3519

APPROVED DATE: _____

MEDWAY PLANNING BOARD

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MEDWAY MILL
163-165 MAIN STREET
MEDWAY
MASSACHUSETTS**

PHOTOMETRICS

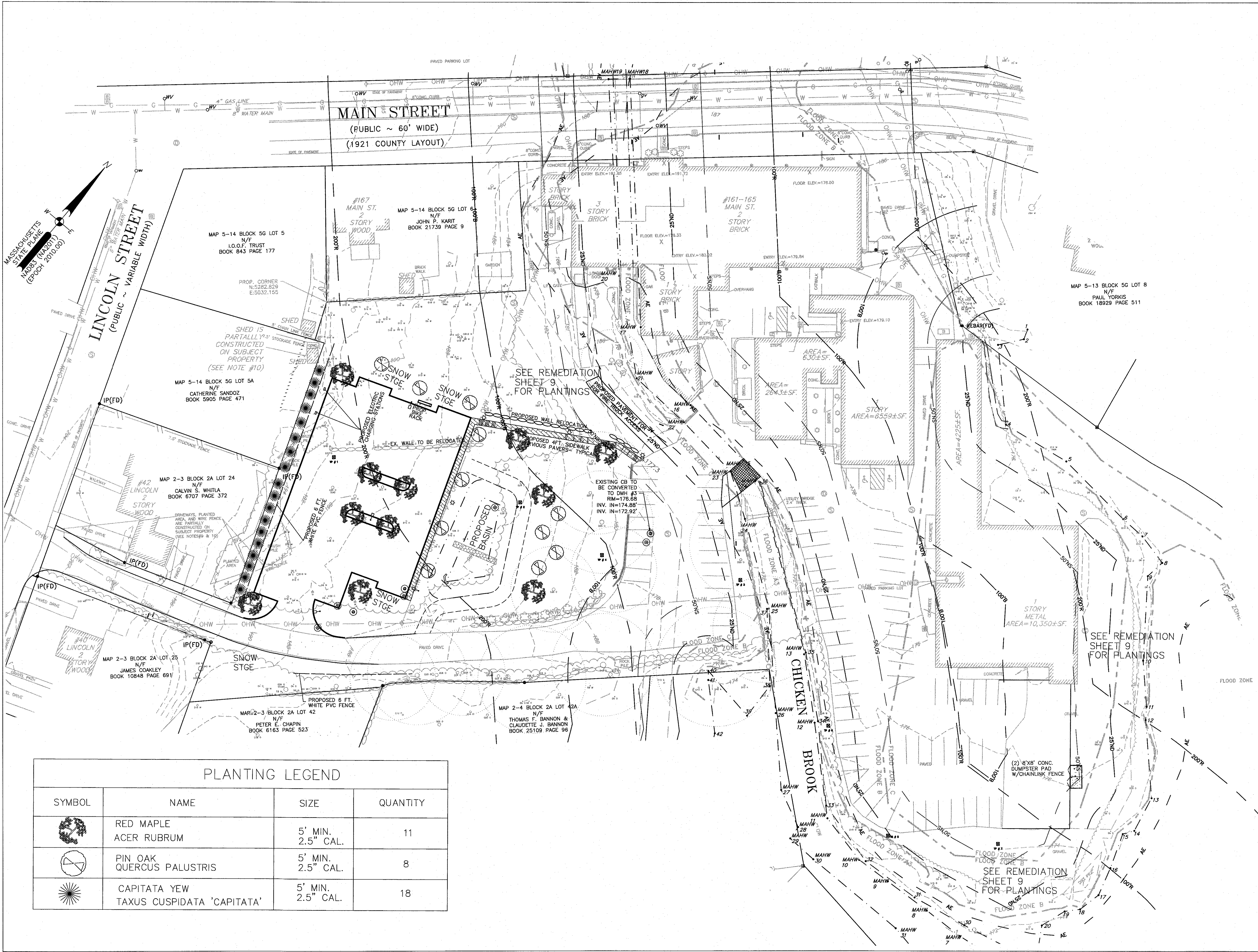
FEBRUARY 14, 2020

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0 10 20 FEET 40 60
0 2.5 5 METERS 10 15
SCALE: 1"=20'

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Halnon, Inc.**
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SHEET 8 OF 12 JOB NO. F3519



| PLANTING LEGEND | | | |
|-----------------|--|----------------------|----------|
| SYMBOL | NAME | SIZE | QUANTITY |
| | RED MAPLE ACER RUBRUM | 5' MIN. 2.5" CAL. | 11 |
| | PIN OAK QUERCUS PALUSTRIS | 5' MIN. 2.5" CAL. | 8 |
| | CAPITATA YEW TAXUS CUSPIDATA 'CAPITATA' | 5' MIN. 2.5" CAL. | 18 |

F3519

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LANDSCAPING

FEBRUARY 14, 2020

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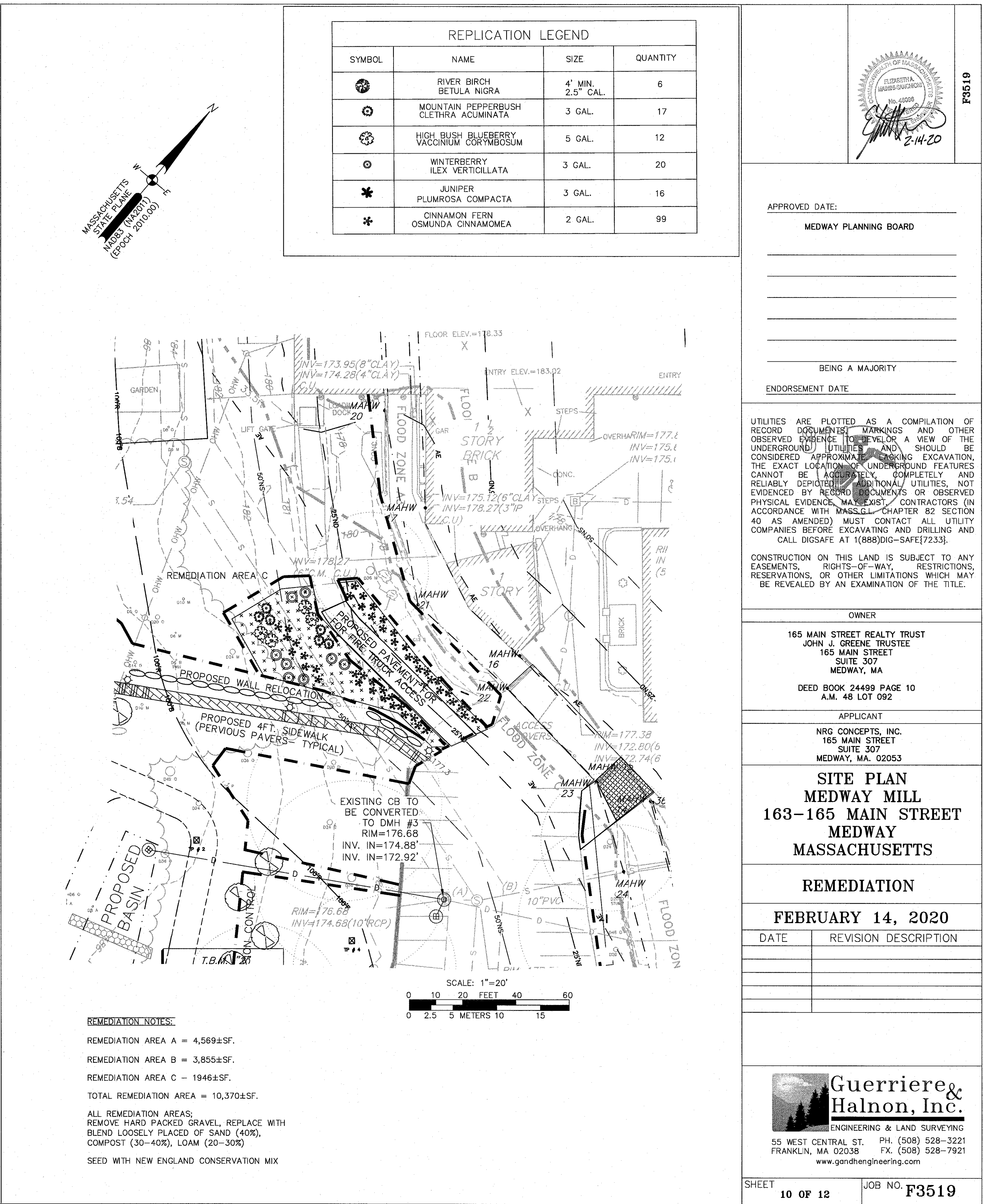
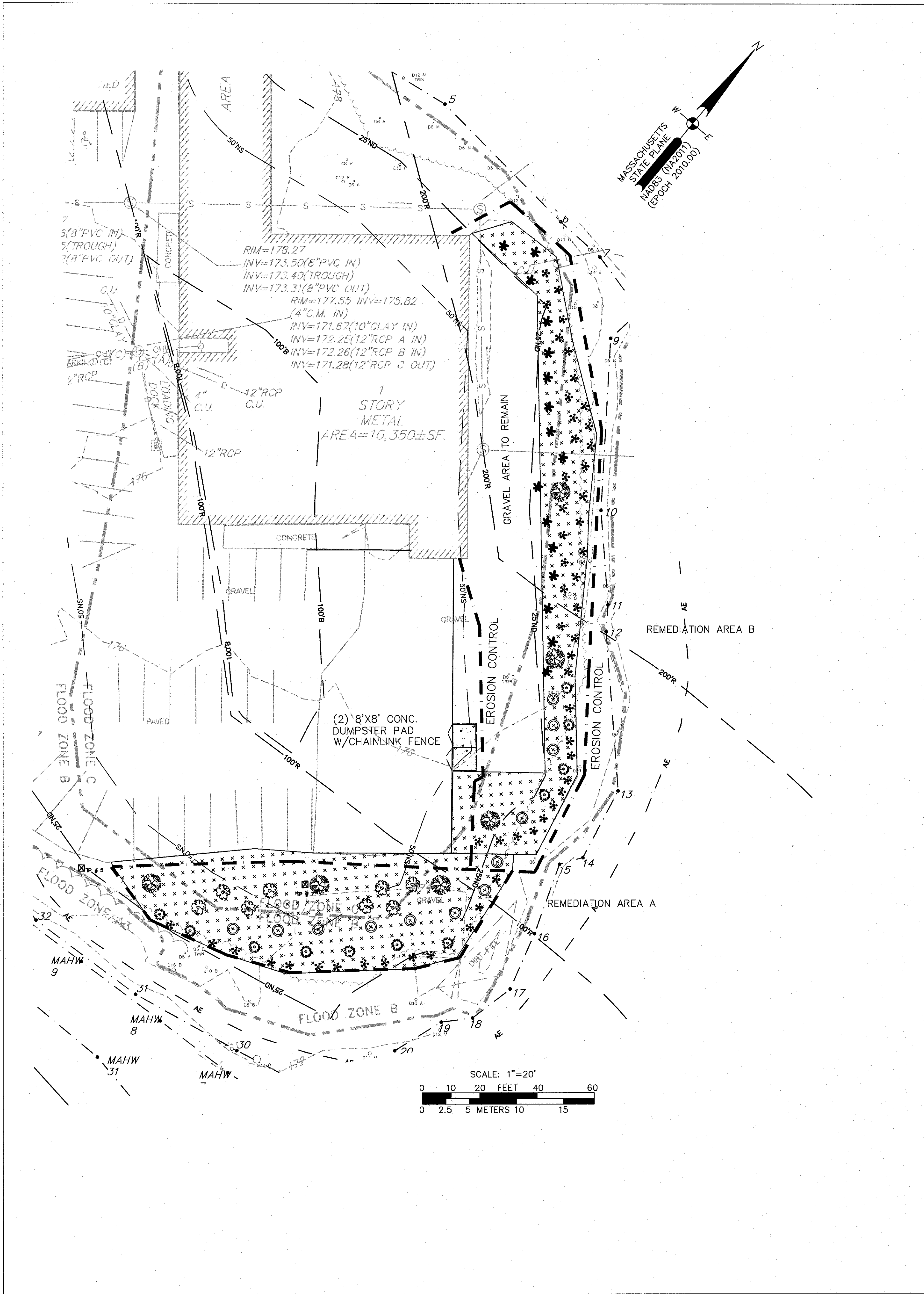
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SHEET

9 OF 12

JOB NO.

F3519



DUMPSTER ENCLOSURE

**TYPICAL
PAVEMENT
SECTION
NOT TO SCALE**

| D | E | F | G | H | J | K |
|----------|----------|----------|----------|----------|----------|----------|
| 12" | 20" | 36" | 12" | 36" | 24" | 48" |
| 18" | 30" | 48" | 12" | 36" | 30" | 54" |
| 24" | 36" | 60" | 12" | 36" | 36" | 60" |
| 30" | 42" | 66" | 15" | 39" | 42" | 66" |
| 36" | 48" | 72" | 18" | 48" | 54" | 90" |

Diagram illustrating the cross-section of a trench installation, showing the trench structure and backfill details. The trench is shown in a cross-section, with the topsoil and seed layer above the trench. The trench is lined with a material labeled "MATCH EXISTING". The backfill is composed of layers: a top layer of "SELECT BACKFILL", followed by "BACKFILL WITH GRAVEL (6" MAXIMUM STONE) 1" COMPACTED IN 6" LAYERS", and a bottom layer of "3/4" CRUSHED STONE CRADLE". The trench is reinforced with "REINFORCED CONCRETE PIPE (RCP) MORTAR AT JOINTS". The trench is shown in a cross-section, with the topsoil and seed layer above the trench. The trench is lined with a material labeled "MATCH EXISTING". The backfill is composed of layers: a top layer of "SELECT BACKFILL", followed by "BACKFILL WITH GRAVEL (6" MAXIMUM STONE) 1" COMPACTED IN 6" LAYERS", and a bottom layer of "3/4" CRUSHED STONE CRADLE". The trench is reinforced with "REINFORCED CONCRETE PIPE (RCP) MORTAR AT JOINTS". The trench is shown in a cross-section, with the topsoil and seed layer above the trench. The trench is lined with a material labeled "MATCH EXISTING". The backfill is composed of layers: a top layer of "SELECT BACKFILL", followed by "BACKFILL WITH GRAVEL (6" MAXIMUM STONE) 1" COMPACTED IN 6" LAYERS", and a bottom layer of "3/4" CRUSHED STONE CRADLE". The trench is reinforced with "REINFORCED CONCRETE PIPE (RCP) MORTAR AT JOINTS".

Labels and dimensions in the diagram include:

- UNPAVED
- PAVED
- 6" TOPSOIL & SEED
- MATCH EXISTING
- SELECT BACKFILL
- BACKFILL WITH GRAVEL (6" MAXIMUM STONE) 1" COMPACTED IN 6" LAYERS
- 3/4" CRUSHED STONE CRADLE
- 6" IF UNDISTURBED EARTH BELOW - 12" IF ROCK LEDGE BELOW
- REINFORCED CONCRETE PIPE (RCP) MORTAR AT JOINTS
- HALF SECTION IN EARTH
- 12" MIN.
- HALF SECTION IN ROCK
- 12" MIN.

GRATE

POLYPROPYLENE "BOOT"

CATCH BASIN

OVERFLOW

TEMPORARY INLET SEDIMENT FILTER

INSTALLATION DETAIL

BAG DETAIL

2 EACH DUMP STRAPS

EXPANSION RESTRAINT 1/4" NYLON ROPE 2" FLAT WASHERS

DUMP STRAP

SILT SACK

DUMP STRAP

TEMPORARY INLET SEDIMENT FILTER

NOTE: TEMPORARY INLET SEDIMENT FILTER TO BE INSTALLED ON ALL PAVED CATCH BASINS OR STORM INLETS. THIS FILTER TO BE SIMILAR TO "STREAMGUARD" AS MANUFACTURED BY STORMWATER SERVICES CORPORATION (205-767-0441) OR "SILT SACK" AS MANUFACTURED BY ATLANTIC CONSTRUCTION FABRICS, INC. (800-448-3636). CLEAN FILTER AS NEEDED.

[illegible]

Diagram illustrating a cross-section of a channel or embankment. The structure features a 3:1 slope on the left side. The interior is filled with "COMPACTED LOW PERMEABILITY FILL". A circular inset provides a detailed view of the top surface, showing "SEEDING" and a "6\" SCREENED LOAM LAYER". The right side also shows a 3:1 slope. Below the diagram, the text "NOTES:" and "SECTION" are present.

- NOTES:**
- SECTION**
1. ALL WORK TO BE STAKED AND INSPECTED BY THE DESIGN ENGINEER.
 2. AREA UNDER THE EMBANKMENT AND ANY STRUCTURAL WORKS SHALL BE CLEARED, GRUBBED AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS OR OTHER OBJECTIONABLE MATERIAL.
 3. COMPACTED LOW PERMEABILITY FILL MATERIAL SHALL BE WELL GRADED, SILTY, GRAVELY SAND AND SHALL BE FREE OF STONES GREATER THAN 6" IN DIAMETER, ORGANIC MATERIAL, CONSTRUCTION DEBRIS, SNOW OR FROZEN SOIL. MATERIALS SHALL BE PLACED IN LAYERS NOT EXCEEDING 8" IN THICKNESS, AND SHALL BE COMPACTED.
 4. S.C.S. APPROVED SEED MIX TO BE SPREAD AS SOON AS IS PRACTICAL TO MINIMIZE EROSION.

MINIMIZE EROSION.

EARTH BERM

6" LAYER OF 50%/50% LOAM/SAND MIX SEEDED WITH WATER TOLERANT GRASS

VARIES
BOTTOM TO BE FLAT

12" CLEAN COARSE SAND AND GRAVEL (AS REQUIRED)

**CROSS SECTION
SEDIMENT FOREBAY &
INFILTRATION POND BOTTOM**

NOT TO SCALE

24" SQ. HEAVY DUTY FRAME AND GRATE C.I. LEBARON LP-244, 3 FLANGE OR APPROVED EQUAL (SEE GRADING AND UTILITY SHEET FOR RM. ELEVATIONS)

CONCRETE CURBING OR BIT. CONC. CURBING SEE PLAN FOR LOCATION AND TYPE.

FINISH GRADE

MORTAR 3 SIDES

TWO COURSES OF BRICK MASONRY MAX. BED FRAME AND BRICK 3/8" MIN. FULL MORTAR BED.

2'-0"

VARIES

AT TOP

PRECAST REINFORCED 6" THICK CONCRETE CONE OR 8" THICK FLAT LID (WHERE BURIAL IS SHALLOW)

4'-0"

COMPRESSIBLE FILLER AT ALL JOINTS

ON-SITE MORTAR AT RE OPENINGS ALL ROUND

FLOW

LEBARON LP-244 HOOD

4" SUMP

5"

12" COMPACTED GRAVEL

COMPACTED SUBGRADE

Diagram illustrating the components and dimensions of a stop sign assembly:

- RI-1 SIGN**: The octagonal sign itself.
- 24"x24"**: The overall size of the sign.
- WHITE LETTERS**: The text on the sign.
- WHITE BORDER**: The border around the sign.
- RED BACKGROUND**: The background color of the sign.
- 30x30**: The size of the sign's mounting plate.
- 5'-7"**: The height of the sign post above the pavement.
- EDGE OF PAVEMENT**: The point where the pavement ends.
- CONCRETE BASE**: The foundation for the sign post.
- 12"x18"**: The dimensions of the concrete base.

The drawing consists of two parts: a profile view at the top and a plan view at the bottom.

Profile View: This cross-section shows the entrance structure. At the top, it is labeled "5' OR GREATER AS REQUIRED". Below this, a horizontal line represents the "GRADE" with a "2% SLOPE" indicated. The structure itself is labeled "GEOTEXTILE FABRIC" and shows a "DIVERSION ROSE" with a "6\"

Diagram illustrating the procedure for staking and wrapping a tree trunk:

- NEVER CUT A LEADER
- TRIM BRANCHES & FOLIAGE BY 1/2 WHILE RETAINING NATURAL SHAPE OF TREE
- PAINT ALL CUTS OVER 1.2" DIA. w/ APPROVED ASPHALTIC TREE PAINT
- 1/2" BLACK REINFORCED RUBBER HOSE TO ENCASE GUYING CABLES (TYP.)
- 3/16" GALVANIZED STEEL GUYING CABLE (FOR TREES w/ DEADENED ONLY)
- TOPSOIL MIXTURE
- GALVANIZED STEEL TURNBUCKLES (FOR TREES w/ DEADENED ONLY)
- FINISH GRADE
- TREE WRAP FROM ROOT CROWN TO LOWEST BRANCHES (w/ STAKES ONLY)
- 6"x8"x24" DEADMAN w/ MIN 3" BURIAL
- 8" MIN.
- LOOSEN HARD SUBSOIL AT BASE OF HOLE w/ PICK
- COMPACT SOIL UNDER ROOT BALL
- 12" MIN.
- 2"x2"x3" STAKES CUT FLUSH w/ GROUND & w/ MIN 3"-0" EMBEDMENT
- UNITE & FOLD BACK BURLAP 1/3 OF BALL HEIGHT.
- SYNTHETIC OR TREATED BURLAP SHALL BE COMPLETELY REMOVED
- 3" MIN. BARK MULCH
- TEMPORARY 3" EARTH BERM ALL AROUND
- #12 GALVANIZED STEEL WIRE w/ TWISTED ENDS FOR TREES
- REINFORCEMENT OF TREE
- STAKES (12" MIN.)

Diagram illustrating the construction details of a precast reinforced concrete riser section, showing the riser pipe, frame, and surrounding structure.

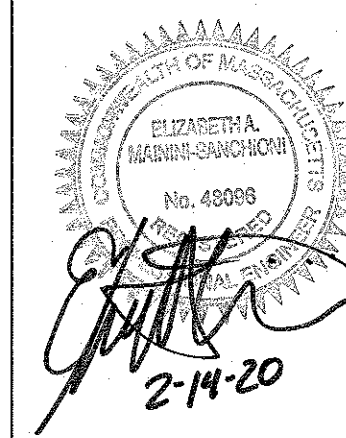
Labels and Dimensions:

- 24" DIA. HEAVY DUTY FRAME & COVER
- C.I. LEBARON LA-245-1 OR 12" HIGH APPROVED EQUAL (LABEL DRAIN)
- 11" MAX.
- FINISH GRADE
- MORTAR ALL AROUND
- 2 COURSES BRICK MASONRY MAX. BED FRAME AND BRICK WORK IN 3/8" MIN. FULL MORTAR BED.
- ALUMINUM OR PLASTIC COATED WROUGHT IRON STEPS AT 16" O.C.
- BUTYL RUBBER SEALANT (TYP)
- PRECAST REINFORCED CONCRETE RISER SECTIONS AS REQUIRED
- VARIES
- 2'-0" 8" AT TOP
- 3' OR 4'
- PRECAST REINFORCED 8" THICK CONCRETE CONE OR FLAT 6" THICK LID (WHERE BURIAL IS SHALLOW)
- DEPTH VARIES
- 6" MIN. 16"
- 12"
- COMPACTED
- NON-SHRINK MORTAR AT PIPE OPENINGS ALL AROUND
- FLOW

ALTERNATE TOP SLAB
(STEEL REINFORCED FOR H-20 LOADING)

TYP. PRECAST CONCRETE
CATCH BASIN DETAIL
NOT TO SCALE

NOTE:
ALL STRUCTURES SHALL BE SUITABLE
FOR H-20 LOADING AND SHALL MEET THE
REQUIREMENTS OF ASTM C478.



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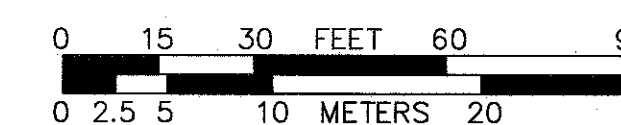
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CONSTRUCTION DETAILS

FEBRUARY 14, 2020

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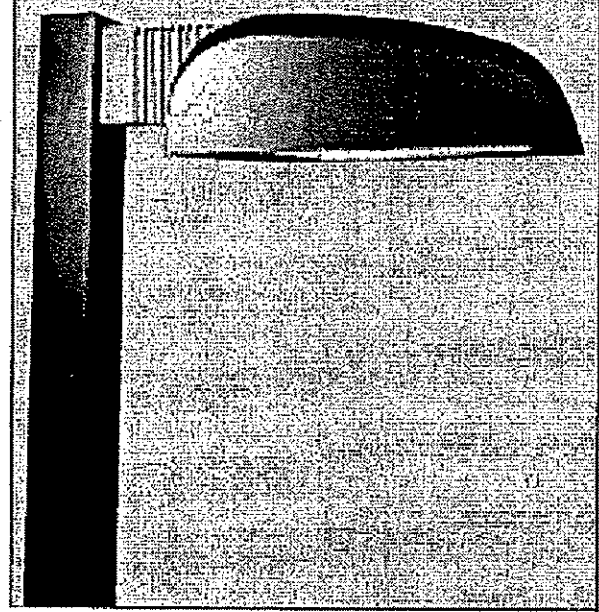


SHEET 11 OF 13

| | |
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| JOB NO. | F3519 |
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Aeris™

NEW



Intended Use

For streets, walkways, parking lots and surrounding areas.

Features

Housing – Die-cast single piece aluminum with nominal 1/4" wall thickness. Integral arm provides easy installation to pole or wall. Housing completely sealed against moisture or environmental contaminants.

Door Assembly – Die-cast door frame, impact-resistant, tempered, glass lens, 3/16" thick, fully sealed with one-piece tubular silicone gasket. Tool-less entry and closure via spring loaded die-cast latches.

Optics – Anodized segmented reflectors for superior uniformity and control. Reflectors attach with tool-less fasteners and are rotatable and interchangeable.

Installation – Heavy duty easy mount block attaches to pole or wall to provide ease of installation as well as ensured alignment and leveling.

Electrical – 150W and below utilize a high reactance, high power factor. 175W and above use a constant-wattage autotransformer ballast. 42W uses an electronic high frequency ballast. Ballasts mounted on removable power tray with tool-less latch and have positive locking disconnect plugs. Ballasts are copper wound and 100% factory tested.

Finish – Standard finish is dark bronze (DOB) polyester powder finish. Other architectural colors available.

Socket – Porcelain, medium-base socket for AS1, mogul-base socket for AS2, with copper alloy nickel-plated screw shell and center contact. UL listed.

Listings – UL Listed (standard), CSA Certified or NOM certified (see options). U.S. and Canada patents pending. UL listed for wet locations. IP65 certified. Meets IES-NA full cutoff criteria.

For product details and performance data, see the OUTDOOR Lighting or the on-line catalog at www.lithonia.com.

Ordering Information

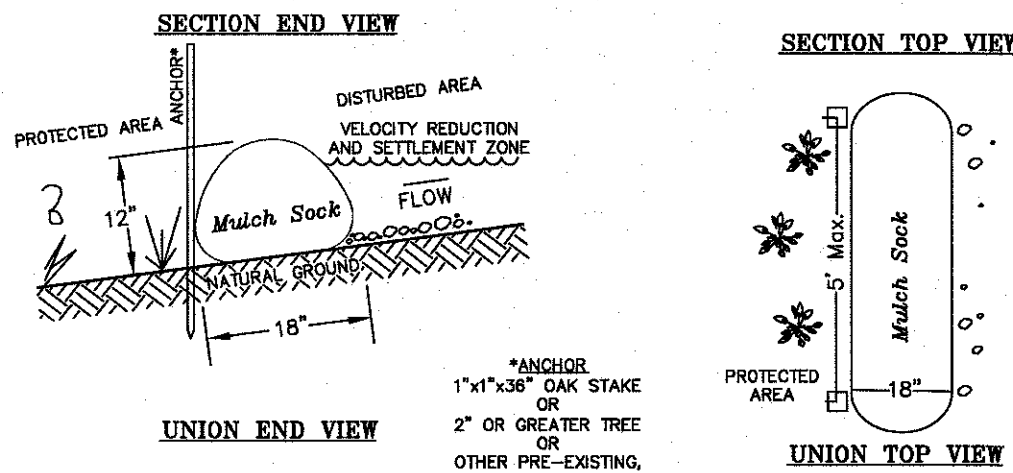
| Designation | Distribution | Voltage | Mounting* | Options/Accessories |
|-----------------------------|---|---|--|---|
| High Pressure Sodium | SR2 Segmented Type II roadway | 120, 208³, 240³, 277, 347, 480³, 1B⁴ | Included | Installed |
| AS1 35S | | | SPA Square pole mounting block | SF Single fuse, 120, 277, 347V (1/4" TB) ⁵ |
| AS1 50S | | | | DF Double fuse, 208, 240, 480V (1/4" TB) ⁵ |
| AS1 70S | SR3 Segmented Type III asymmetric | | RPA Round pole mounting block | PER NEMA twist-lock receptacle only (no photocell) |
| AS1 100S | | | WBA wall bracket (up or down) | QRS Quartz restrike system (100W max. AS1, 250W max. AS2, lamp not included) ⁶ |
| AS1 150S | SR4SC Segmented Type IV forward throw, sharp cutoff | | | CR Corrosion-resistant finish |
| AS2 200S | | | | HS House-side shield |
| AS2 250S | | | | EC Emergency circuit ⁷ |
| AS2 400S | SR4W Segmented Type IV wide, forward throw (size 2 only) | | | TP Tamperproof |
| Metal Halide | SR5S Segmented Type V square | | Shipped separately | SCWA Super CWA Pulse Start Ballast (not available with HPS or TRT) |
| AS1 50M | | | ASKMA Mast arm adapter | LPI Lamp included (standard) |
| AS1 70M | | | Additional mounting and accessories available, consult factory | L/LP Less lamp |
| AS1 100M | | | | CSA CSA Certified |
| AS1 150M | | | | NOM ⁸ NOM Certified |
| AS1 175M | | | | For optional architectural colors, see page 348. |
| AS2 200M ¹ | | | | Shipped separately |
| AS2 250M ² | | | | PE1 NEMA twist-lock PE (120, 208, 240V) |
| AS2 320M ¹ | | | | PE3 NEMA twist-lock PE (347V) |
| AS2 350M ¹ | | | | PE4 NEMA twist-lock PE (480V) |
| AS2 400M ² | | | | PE7 NEMA twist-lock PE (277V) |
| Compact Fluorescent | | | | SC Shoring cap |
| AS1 42TRT | | | | AS1VG Vandal guard |
| (120, 277, 347V only) | | | | AS2VG Vandal guard |

| | | |
|--|----------------|-------------|
| Dimensions are shown in inches (centimeters) unless otherwise noted. | | |
| Length | AS1 21.58" 558 | AS2 28" 711 |
| Width | 12.5" 318 | 16.25" 413 |
| Height | 6.25" 159 | 8.25" 210 |

LITHONIA LIGHTING

PARKING LIGHTING DETAIL AND SPECIFICATIONS

NOT TO SCALE
PROPOSED HEIGHT OF POLES = 20FT.

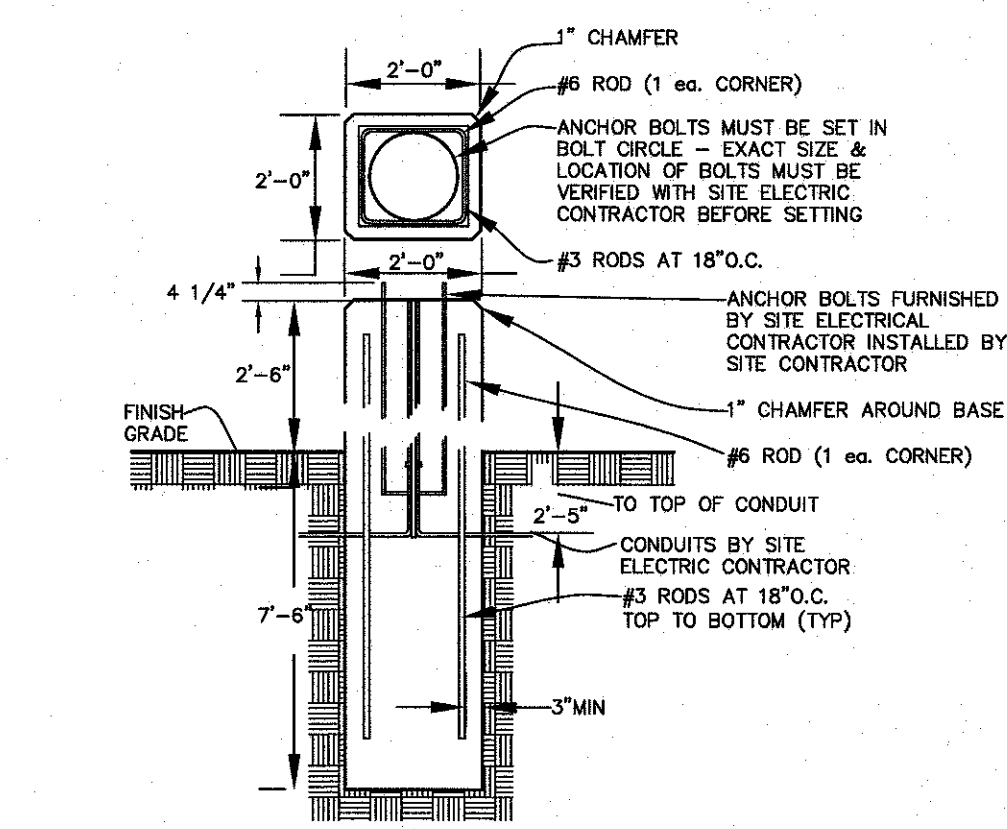


- WHERE SECTION ENDS MEET, THERE SHALL BE AN OVERLAP OF 6" OR GREATER. BOTH SIDES SHALL BE ANCHORED (OAK STAKES, TREES, ETC.) TO STABILIZE THE UNION.
- NO ADDITIONAL ANCHORS ARE REQUIRED ON SLOPES LESS THAN 2:1.
- ADDITIONAL ANCHORS ARE REQUIRED AT 5' INTERVALS (MAX.) ON THE DOWNSLOPE OR PROTECTED SIDE ON SLOPES GREATER THAN 2:1 TO PREVENT MOVEMENT.

EROSION CONTROL BARRIER

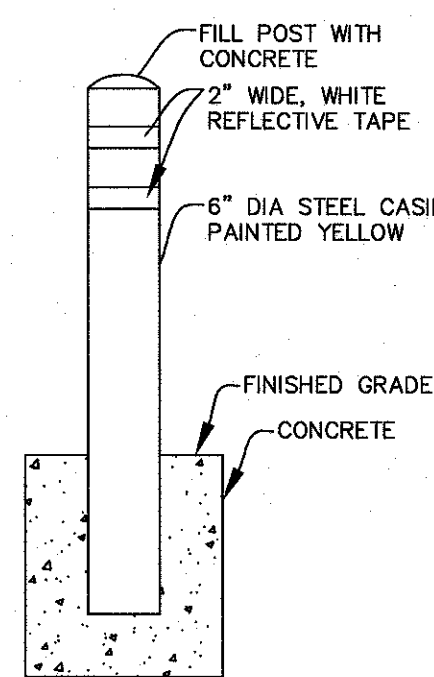
NOT TO SCALE

- Mulch Sock COMPONENTS:**
- OUTSIDE CASING: 100% organic hessian.
 - FILLER INGREDIENT: **Fiberfoot Mulch**. A blend of coarse and fine compost and shredded wood.
 - Particle sizes: 100% passing a 3" screen; 90-100% passing a 1" screen; 70-100% passing a 0.75" screen; 30-75% passing a 0.25" screen.
 - Weight: Approx. 850 lbs./cu.yd. (Ave. 30 lbs./f.t.)



TYPICAL LIGHT POLE BASE

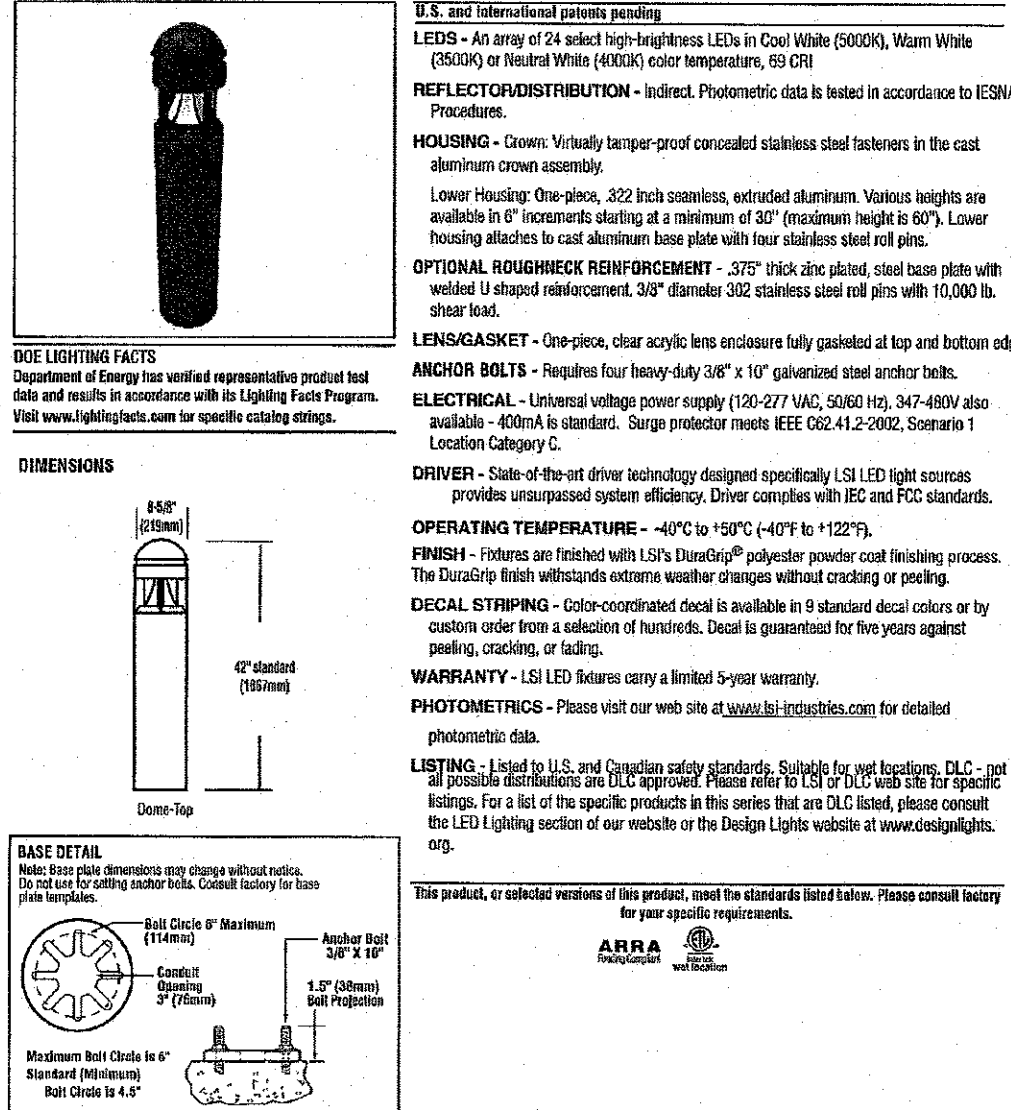
NOT TO SCALE
LIGHT POLES BY ELECTRIC CONTRACTOR



BOLLARD DETAIL

NOT TO SCALE

LED BOLLARD LIGHT (XBVRD)



LSI LIGHTING

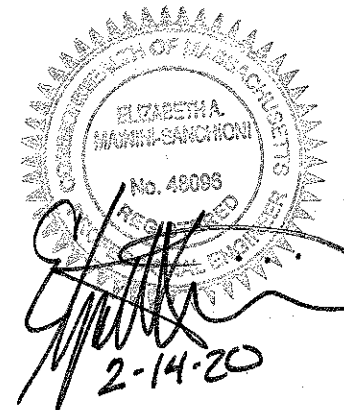
WALKWAY LIGHTING DETAIL AND SPECIFICATIONS

INTERIM EROSION CONTROL AND CONSTRUCTION SEQUENCE

- INSTALL EROSION CONTROL BARRIERS AND HAVE ENGINEER INSPECT AND PREPARE LETTER.
- CLEAR SITE OF ALL TREES DESIGNATED TO BE REMOVED. CONSTRUCT A TEMPORARY BASIN TO COLLECT RUNOFF DURING CONSTRUCTION.
- STOCKPILE LOAM, OR REMOVE LOAM.
- BRING SITE TO SUB-GRADE.
- TEMPORARY STONE (3/4" - 1 1/2") SHALL BE PLACED AT THE PROJECT ENTRANCE WHEN ACCESSING EXISTING PAVEMENT. SWEEPING IS REQUIRED IF FINES ARE OBSERVED IN THE PARKING LOT OR PUBLIC WAYS.
- ALL DISTURBED AREAS NOT TREATED WITH PERMANENT LOAM AND SEED SHALL BE COVERED WITH MULCH, OR OTHER EROSION CONTROL DEWSE.
- ALL CONSTRUCTION GRADES IN THE INTERIM SHALL BE SLOPED TO FLOW INTO THE TEMPORARY BASIN, WHERE POSSIBLE.
- THE SITE MITIGATION OF EROSION IN THOSE AREAS TO BE LANDSCAPED OR MULCHED SHALL BE TO INSTALL AS SOON AS POSSIBLE.
- CLEAN ALL SEDIMENT OUT OF TEMPORARY BASIN AND INSTALL CLEAN FILL PER PLAN SPECIFICATIONS PRIOR TO FINAL GRADING AND SURFACE STABILIZATION.
- THE SUBSURFACE DRAINAGE SYSTEM SHALL BE INSTALLED PRIOR TO PAVEMENT INSTALLATION. PROPER FILTERFABRIC SHALL BE PLACED AT INLETS TO KEEP THE STORM DRAINAGE CLEAN OF DEBRIS.
- ONCE THE CURB IS INSTALLED, THE PERMANENT MULCH AND LANDSCAPING SHALL BE INSTALLED.
- SEDIMENT CONTROL SHALL REMAIN IN PLACE UNTIL THE SITE IS STABILIZED.
- CLEAN ALL ON SITE CATCH BASINS, MANHOLES, PIPING, AND TEMPORARY BASIN. INSTALL SILT BAGS AT EACH CATCH BASIN.
- KEEP SITE SWEEPED AND MAINTAINED PER STORMWATER MANAGEMENT PLAN.

GENERAL EROSION CONTROL AND CONSTRUCTION NOTES

- THE LIMITS OF ALL CLEARING, GRADING AND DISTURBANCE SHALL BE KEPT TO A MINIMUM WITHIN THE PROPOSED AREA OF CONSTRUCTION. ALL AREAS OUTSIDE THE LIMITS OF DISTURBANCE SHALL REMAIN TOTALLY UNDISTURBED.
- INSPECT ALL SEDIMENT AND EROSION CONTROL MEASURES AT LEAST ONCE PER WEEK AND WITHIN 24 HOURS AFTER EVERY RAINFALL EVENT.
- MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES OR REPLACE AS REQUIRED TO ASSURE PROPER FUNCTION.
- CONTRACTOR SHALL IMMEDIATELY REPAIR ANY AND ALL EROSION AND SEDIMENT CONTROLS FOUND TO BE FAULTY.
- ANY AND ALL DEBRIS AND LITTER WHICH ACCUMULATES IN THE BASINS SHALL BE REMOVED WEEKLY.
- THE CONTRACTOR SHALL IMPLEMENT ALL REASONABLE EROSION AND SEDIMENT CONTROLS PRIOR TO THE ACTUAL COMMENCEMENT OF CONSTRUCTION ACTIVITIES INCLUDING THE CLEARING AND/OR GRUBBING OF ANY PORTION OF THE PROPERTY. THESE MEASURES SHALL BE MAINTAINED IN EFFECT THROUGHOUT THE ENTIRE CONSTRUCTION PHASE, OR UNTIL THE SITE HAS BECOME STABILIZED WITH AN ADEQUATE VEGETATIVE COVER.
- SEDIMENT BUILD UP BEHIND FILTERMITS SHALL BE MONITORED AND BE REMOVED WHENEVER IT HAS ACCUMULATED TO FOUR INCHES IN DEPTH.
- CATCH BASINS SHALL BE PROTECTED WITH SILT FILTERS (SILT SACKS). INSPECT SEDIMENT FILTERS AT LEAST ONCE PER WEEK AND WITHIN 24 HOURS AFTER RAINFALL THAT PRODUCES RUNOFF. CLEAN OR REPLACE FILTERS WITHIN 24 HOURS OF INSPECTION WHEN SEDIMENT REACHES ONE HALF OF THE FILTER SACK DEPTH. CATCH BASINS SHALL BE PROTECTED BY SEDIMENT FILTERS THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS ARE THOROUGHLY STABILIZED. SUMPS SHALL BE CLEANED WHENEVER SEDIMENT HAS ACCUMULATED TO A DEPTH OF 24 INCHES AND IMMEDIATELY FOLLOWING INSTALLATION OF PERMANENT PAVEMENT.
- THE CONTRACTOR SHALL MAINTAIN AN ADEQUATE STOCKPILE OF EROSION CONTROL MATERIALS ON-SITE AT ALL TIMES FOR EMERGENCY OR ROUTINE REPLACEMENT AND SHALL INCLUDE MATERIALS TO REPAIR OR REPLACE SILT FENCE, MULCH SOCK, STONE FILTER DIKES OR ANY OTHER DEVICES PLANNED FOR USE DURING CONSTRUCTION.
- THE CONTRACTOR IS TO INSPECT ALL CONTROLS NO LESS THAN WEEKLY, AND IN ANTICIPATION OF RAINFALL EVENTS EXPECTED TO EXCEED 1/2 INCH IN DEPTH. ALL DEFICIENCIES NOTED DURING SAID INSPECTION SHALL BE REPAIRED IMMEDIATELY AND IN NO CASE SHALL A DEFICIENCY BE ALLOWED TO GO UNCORRECTED DURING A RAINFALL EVENT. THE EROSION CONTROL DEVICES SHALL BE MAINTAINED, REINFORCED, OR REPLACED IF NECESSARY. ALL ACCUMULATED SEDIMENTS AND OTHER MATERIALS COLLECTED.
- BY THE SEDIMENTATION CONTROL SYSTEMS SHALL BE REMOVED AS NECESSARY TO INSURE PROPER FUNCTION OF SYSTEMS AND DISPOSED OF IN A MANNER THAT IS CONSISTENT WITH THE INTENT OF THIS PLAN, IN AN UPLAND AREA.
- TEMPORARY EARTH OR STONE DIKES, DRAINAGE SWALES AND/OR TEMPORARY SLOPE DRAINS SHALL BE INSTALLED WHERE OFF-SITE OR ON-SITE RUNOFF IS SUFFICIENT ENOUGH SUCH THAT IT WILL BE NECESSARY TO DIVERT THE FLOW AROUND THE SITE OR PREVENT EROSION WITHIN THE LIMITS OF WORK.
- STORM DRAIN INLET PROTECTION SHALL BE USED FOR ALL EXISTING AND PROPOSED CATCH BASINS IN THE PROJECT AREA. PRIOR TO COMPLETION OF THE PROJECT, ALL CATCH BASINS WITHIN THE PROJECT AREA SHALL BE CLEANED.
- ALL DISTURBED EARTH SLOPES AREA TO BE STABILIZED WITH PERMANENT VEGETATIVE COVER, TO BE ESTABLISHED AS SOON AS POSSIBLE. DISTURBED AREAS THAT ARE NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL RECEIVE A PERMANENT OR TEMPORARY VEGETATIVE COVER AS SOON AS FINAL CONTOURS ARE ESTABLISHED. TEMPORARY VEGETATIVE COVER IS TO BE ESTABLISHED ON ALL DISTURBED AREAS WHERE CONSTRUCTION ACTIVITIES WILL NOT REQUIRE ADDITIONAL DISTURBANCE FOR PERIOD OF 30 DAYS OR MORE. IF THE SEASON PREVENTS THE ESTABLISHMENT OF VEGETATIVE COVER, DISTURBED AREAS SHALL BE MULCHED AND THEN SEEDED AS SOON AS WEATHER CONDITIONS ALLOW.
- THERE SHALL BE NO DIRECT DISCHARGE OF DEWATERING OPERATIONS INTO ANY DRAINAGE SYSTEM UNLESS THIS DISCHARGE IS CLEAN AND FREE OF SETTLEABLE SOLIDS. ANY DEWATERING DISCHARGE CONTAINING SETTLEABLE SOLIDS (SEDIMENTS) SHALL BE PASSED THROUGH A SEDIMENTATION CONTROL DEVICE (FILTER BAG) TO REMOVE THESE SOLIDS. THE CONTRACTOR IS TO MAINTAIN SAID SEDIMENT CONTROL DEVICE THROUGHOUT THE ENTIRE DEWATERING OPERATION AND REPAIR DEFICIENCIES IMMEDIATELY.
- SOIL STOCKPILE AREAS FOR CONSTRUCTION MATERIALS SHALL BE LOCATED OUTSIDE WETLAND AREAS AND ASSOCIATED BUFFERS.
- ALL PLANTINGS SHALL BE ACCOMPLISHED BY THE CONTRACTOR AS EARLY AS THE POSSIBLE UPON COMPLETION OF GRADING AND CONSTRUCTION.
- ALL PLANTINGS SHALL BE WATERED AND MAINTAINED BY THE CONTRACTOR TO ENSURE SURVIVAL.
- EROSION CONTROL SHALL REMAIN IN PLACE UNTIL THE CERTIFICATE OF COMPLETION IS ISSUED.



F3519

APPROVED DATE:

MEDWAY PLANNING BOARD

BEING A MAJORITY

ENDORSEMENT DATE

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OWNER

165 MAIN STREET REALTY TRUST
JOHN J. GREENE TRUSTEE
165 MAIN STREET
SUITE 307
MEDWAY, MA

DEED BOOK 24499 PAGE 10
A.M. 48 LOT 092

APPLICANT

NRG CONCEPTS, INC.
165 MAIN STREET
SUITE 307
MEDWAY, MA 02053

SITE PLAN
MEDWAY MILL
163-165 MAIN STREET
MEDWAY
MASSACHUSETTS

CONSTRUCTION DETAILS

FEBRUARY 14, 2020

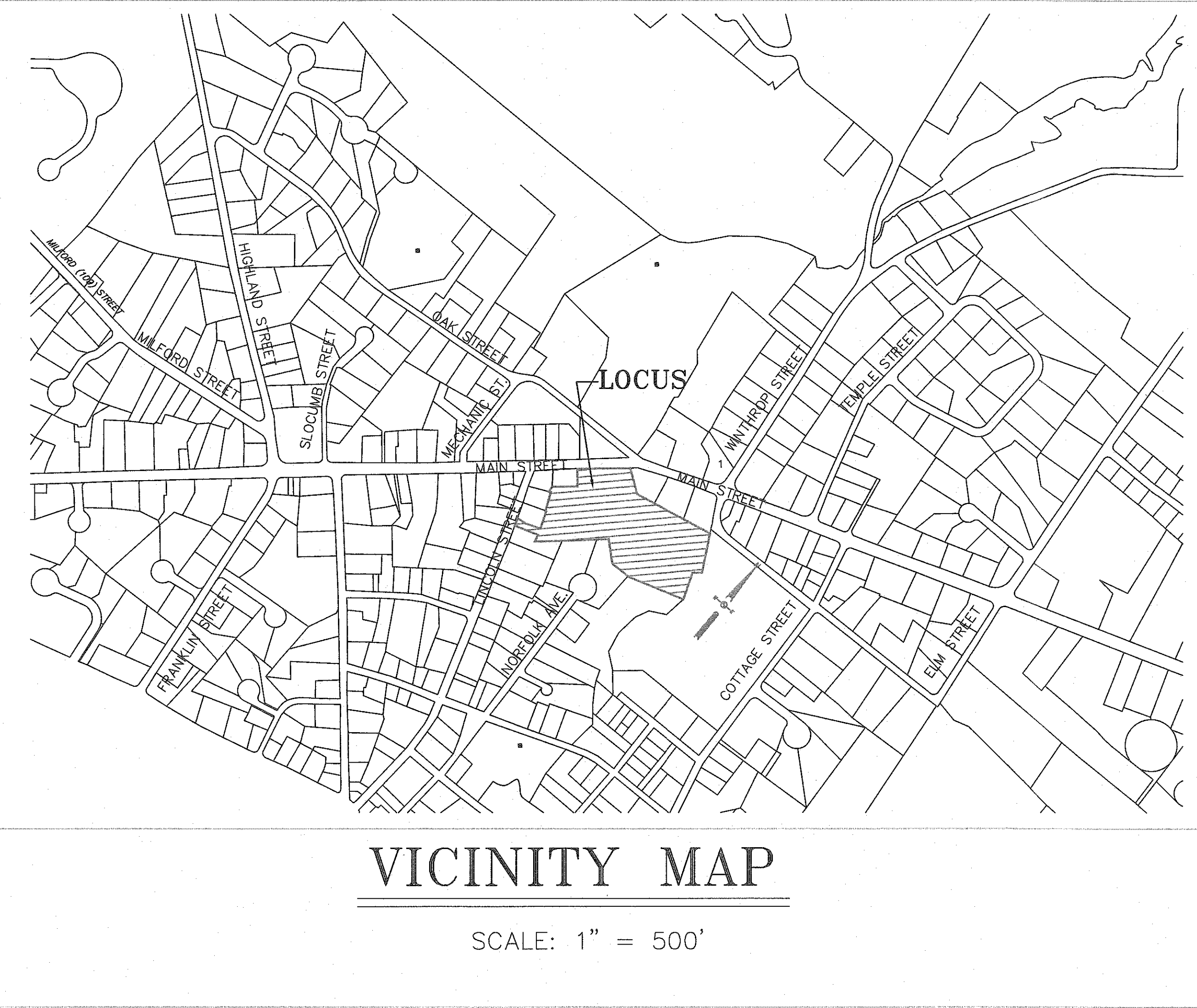
| DATE | REVISION | DESCRIPTION |
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Guerriere & Halnon, Inc.
ENGINEERING & LAND SURVEYING
55 WEST CENTRAL ST. PH. (508) 528-3221
FRANKLIN, MA 02038 FX. (508) 528-7921
www.gandhengineering.com

SITE PLAN
MEDWAY MILL
163-165 MAIN STREET
MEDWAY
MASSACHUSETTS

1. THIS SITE IS IN A FLOOD HAZARD ZONE AE AND X500.
2. THIS LAND IS ZONED AR-II.
3. THIS LAND IS LOCATED IN THE MILL CONVERSION OVERLAY DISTRICT, AN ADAPTIVE USE DISTRICT (AUOD), AND A MULTI FAMILY HOUSING OVERLAY DISTRICT (MHOD).
4. LINCOLN STREET IS CONSIDERED A SCENIC ROAD.
5. THIS LAND IS NOT LOCATED WITHIN THE NHESP AREA.
6. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES IN THE FIELD. ANY DISCREPANCY WITH THE PLANS SHOULD BE REPORTED TO THE DESIGN ENGINEER UPON DISCOVERY.
7. ALL STRIPING AND SIGNAGE TO CONFORM TO "THE MANUAL FOR UNIFORM TRAFFIC CONTROL DEVICES."
8. REFER TO MEDWAY ASSESSORS MAP 48 LOT 92.
9. THIS SITE IS NOT IN A GROUND WATER PROTECTION DISTRICT.
10. ALL EROSION CONTROL DEVICES SHALL BE IN PLACE PRIOR TO CONSTRUCTION.
11. THE OWNER/APPLICANT SHALL LIMIT CONSTRUCTION DEBRIS AND MATERIALS ON THE SITE. IN THE EVENT THAT DEBRIS IS CARRIED ONTO A PUBLIC WAY, THE OWNER/APPLICANT SHALL BE RESPONSIBLE FOR ALL CLEANUP OF THE ROADWAY.
12. THE EXISTING CONDITIONS TOPOGRAPHICAL SURVEY AND BOUNDARY SHOWN HEREIN WAS OBTAINED BY REED LAND SURVEYING, INC, 109 RHODE ISLAND ROAD, SUITE 4A, LAKEVILLE, MA 02347. MINOR FIELD SURVEY WAS DONE BY GUERRIERE & HALNON, INC TO UPDATE THE PARKING STRIPING AND OTHER MINOR FEATURES. GUERRIERE & HALNON, INC, WITH ELECTRONIC FILES PROVIDED BY REED LAND SURVEYING, CONVERTED THE DRAWING FROM THE PREVIOUS DATUM TO NAD83/NAVD88.
13. THE WETLANDS WERE DELINEATED BY GODDARD CONSULTING, INC. ON AUGUST 19, 2019

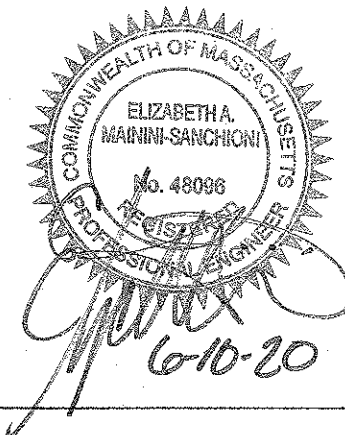


WAIVER REQUEST

- REQUEST FROM THE TOWN OF MEDWAY PLANNING BOARD
RULES AND REGULATIONS CHAPTER 200
1. SECTION 204-3.F WRITTEN DEVELOPMENT IMPACT STATEMENT
2. SECTION 204-5.B SITE CONTEXT SHEET
3. SECTION 204-5.D.8.a PLAN PREPARED BY LANDSCAPE ARCHITECT
4. SECTION 207-9.A.7 ADA REQUIREMENT FOR SIDEWALKS AND PEDESTRIAN WAYS
5. SECTION 207-17.D USE OF SHARED COMPACTORS
6. SECTION 207-12.G.3.B PARKING SPACE LOCATION
7. SECTION 207-19.B.2 PERIMETER LANDSCAPING
8. SECTION 207-19.H TREE REPLACEMENT

I, MARYJANE WHITE, CLERK OF THE TOWN OF
MEDWAY, RECEIVED AND RECORDED FROM THE
PLANNING BOARD COVENANT APPROVAL OF
THIS PLAN ON _____ AND NO
APPEAL WAS TAKEN FOR TWENTY DAYS NEXT
AFTER RECEIPT AND RECORDING OF SAME.

TOWN CLERK DATE



F3519

APPROVED DATE:
MEDWAY PLANNING BOARD

BEING A MAJORITY

ENDORSEMENT DATE

LEGAL NOTES

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CANNOT BE ACCURATELY, COMPLETELY AND
RELIABLY DEPICTED. ADDITIONAL UTILITIES, NOT
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PHYSICAL EVIDENCE, MAY EXIST. CONTRACTORS (IN
ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION
40 AS AMENDED) MUST CONTACT ALL UTILITY
COMPANIES BEFORE EXCAVATING AND DRILLING AND
CALL DIGSAFE AT 1(888)DIG-SAFE(7233).

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OWNER

165 MAIN STREET REALTY TRUST
JOHN J. GREENE TRUSTEE
165 MAIN STREET
SUITE 307
MEDWAY, MA

DEED BOOK 24499 PAGE 10
A.M. 48 LOT 092

APPLICANT

NRG CONCEPTS, INC.
165 MAIN STREET
SUITE 307
MEDWAY, MA. 02053

SITE PLAN
MEDWAY MILL
163-165 MAIN STREET
MEDWAY
MASSACHUSETTS

COVER SHEET

FEBRUARY 14, 2020

| DATE | REVISION DESCRIPTION |
|-----------|---------------------------|
| 5/13/2020 | REVISED PER TOWN COMMENTS |

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SHEET
1 OF 12

JOB NO. F3519



VICINITY MAP

NOT TO SCALE

ABUTTERS

0 COTTAGE ST. EVERGREEN CEMETERY ASSOC. MAP 48 PARCEL 68
1 CHOATE PARK RD. TOWN OF MEDWAY MAP 39 PARCEL 74

32 LINCOLN ST. RICHARD BRIGGS MAP 48 PARCEL 85
34 LINCOLN ST. LAURIE MARCINKIEWICZ MAP 48 PARCEL 89
35 LINCOLN ST. MICHAEL & ELIZABETH HEIDEN MAP 48 PARCEL 109
36 LINCOLN ST. JOHN & STACEY CLOUTIER MAP 48 PARCEL 90
37 LINCOLN ST. STEPHEN & KERI PATTERSON MAP 48 PARCEL 108
39 LINCOLN ST. MICHAEL MARRAFFINO TRUSTEE MAP 48 PARCEL 107
40 LINCOLN ST. JAMES COAKLEY MAP 48 PARCEL 91
41 LINCOLN ST. JENNIFER & HANS MORRISON MAP 48 PARCEL 106
42 LINCOLN ST. CALVIN & KAREN WHITLA MAP 48 PARCEL 93
43 LINCOLN ST. KRISTY HARGREAVES & MICHAEL CAMPAGNA
MAP 48 PARCEL 105
44 LINCOLN ST. CATHERINE SANDOZ MAP 48 PARCEL 94
45 LINCOLN ST. FEDERICO VASQUEZ MAP 48 PARCEL 104

148 MAIN ST. UNIT A TAREK CHEBAKLO MAP 48 PARCEL C-A
148 MAIN ST. UNIT B ARTHUR PRUTSALIS MAP 48 PARCEL 9 C-B
145 MAIN ST. EARLY CAPITAL LLC MAP 48 PARCEL 22
149 MAIN ST. EARLY CAPITAL LLC MAP 48 PARCEL 21
151 MAIN ST. JOHN & CHRISTINE EARLY MAP 48 PARCEL 20
153 MAIN ST. JOHN & CHRISTINE EARLY MAP 48 PARCEL 19
155 MAIN ST- DAVID AND TARA WERLICH MAP 48 PARCEL 99
157 MAIN ST- 157 MAIN ST. REALTY TRUST MAP 48 PARCEL 98
158 MAIN ST- WOMACK FAMILY FUNDING MAP 48 PARCEL 2
159 MAIN ST- PAUL & KATHLEEN YORKIS MAP 48 PARCEL 97
160 MAIN ST- SHIRLEY MCDANIEL MAP 48 PARCEL 1
164 MAIN ST. FASLAND LLC MAP 48 PARCEL 114
167 MAIN ST. JOHN & CHARLENE KAIRIT MAP 48 PARCEL 96
168 MAIN ST. RICHARD & KRISTIN FRASER MAP 48 PARCEL 115
169 MAIN ST. I O O F TRUST MAP 48 PARCEL 95

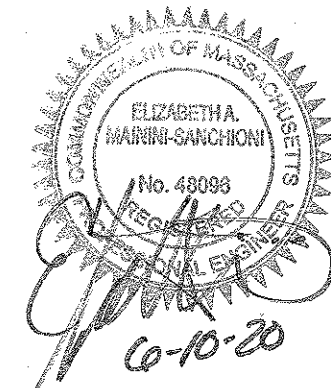
170 MAIN ST. UNIT A ARTHUR COWAN MAP 48 PARCEL 116- CA
170 MAIN ST. UNIT B RICHARD HUFFAM & MARK DENOMMEE
MAP 48 PARCEL 116- CB
171 MAIN ST. JOSE & DAMARYS CAICEDO MAP 48 PARCEL 103
172 MAIN ST. FRANCIS & MARGARET YERED MAP 48 PARCEL 117
173 MAIN ST. STEVEN LINNELL MAP 48 PARCEL 102
174-A MAIN ST. PAUL CHELMAN & ROSE COTE MAP 47 PARCEL 35-A
174-B MAIN ST. MICHAEL OLIVAL MAP 47 PARCEL 35-B
175 MAIN ST. CHERYL ROSENBERG TRUSTEE 1 MAP 48 PARCEL 101
177 MAIN ST. ERIC & TANYA BOUWMAN MAP 48 PARCEL 100
179 MAIN ST. VLADIMIR & SUZANNE ATEYZEK MAP 47 PARCEL 43

14 MECHANIC ST. WILLIAM & BETTYE REARDON MAP 48 PARCEL 112

26 NORFOLK AVE. CHRISTOPHER & KRISTIN BRODEUR MAP 48 PARCEL 80
29 NORFOLK AVE. PETER & BRENDA LEE CHAPIN MAP 48 PARCEL 84
30 NORFOLK AVE. JENNIFER & JOHN DIGIACOMO MAP 48 PARCEL 82
31 NORFOLK AVE. THOMAS & CLAUDETTE BANNON MAP 48 PARCEL 83

0 OAK ST. TOWN OF MEDWAY MAP 39 PARCEL 74-1

1 WINTHROP ST. LINDA S. RUSSO REVOCABLE TRUST MAP 48 PARCEL 3



F3519

APPROVED DATE:

MEDWAY PLANNING BOARD

BEING A MAJORITY

ENDORSEMENT DATE

LEGAL NOTES

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165 MAIN STREET REALTY TRUST
JOHN J. GRENE TRUSTEE
165 MAIN STREET
SUITE 307
MEDWAY, MA

DEED BOOK 24499 PAGE 10
A.M. 48 LOT 092

APPLICANT

NRG CONCEPTS, INC.
165 MAIN STREET
SUITE 307
MEDWAY, MA 02053

SITE PLAN
MEDWAY MILL
163-165 MAIN STREET
MEDWAY
MASSACHUSETTS

ABUTTERS FOR 300FT.

FEBRUARY 14, 2020

| DATE | REVISION DESCRIPTION |
|-----------|---------------------------|
| 5/13/2020 | REVISED PER TOWN COMMENTS |
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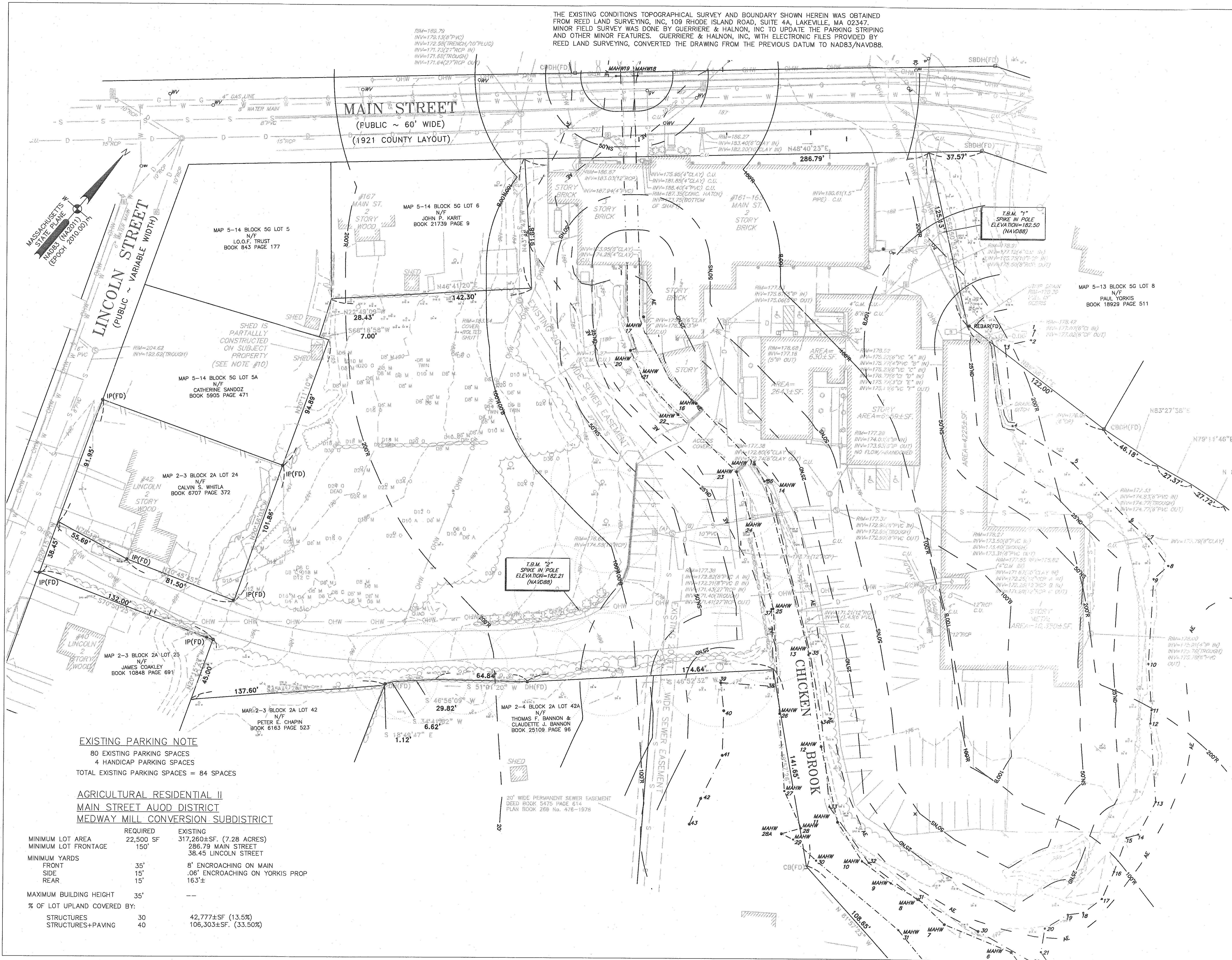
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SHEET
2 OF 12

JOB NO. F3519

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EXISTING PARKING NOTE
80 EXISTING PARKING SPACES
4 HANDICAP PARKING SPACES
TOTAL EXISTING PARKING SPACES = 84 SPACES

**AGRICULTURAL RESIDENTIAL II
MAIN STREET AUOD DISTRICT
MEDWAY MILL CONVERSION SUBDISTRICT**

| | | |
|-----------------------------|-----------------------|--|
| MINIMUM LOT AREA | REQUIRED 22,500 SF | EXISTING 317,260±SF. (7.28 ACRES) |
| MINIMUM LOT FRONTAGE | 150' | 286.79 MAIN STREET 38.45 LINCOLN STREET |
| MINIMUM YARDS | | |
| FRONT | 35' | 8' ENCROACHING ON MAIN |
| SIDE | 15' | .06' ENCROACHING ON YORKIS PROP |
| REAR | 15' | 163± |
| MAXIMUM BUILDING HEIGHT | 35' | -- |
| % OF LOT UPLAND COVERED BY: | | |
| STRUCTURES | 30 | 42,777±SF. (13.5%) |
| STRUCTURES+PAVING | 40 | 106,303±SF. (33.50%) |

APPROVED DATE: _____

MEDWAY PLANNING BOARD

BEING A MAJORITY

ENDORSEMENT DATE _____

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DEED BOOK 24499 PAGE 10
A.M. 48 LOT 092

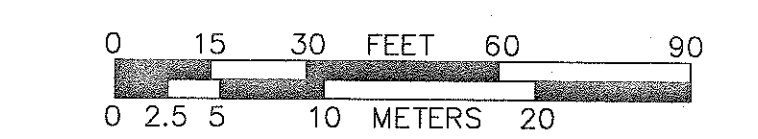
APPLICANT
NRG CONCEPTS, INC.
165 MAIN STREET
SUITE 307
MEDWAY, MA 02053

**SITE PLAN
MEDWAY MILL
161-165 MAIN STREET
MEDWAY
MASSACHUSETTS**

EXISTING CONDITIONS

FEBRUARY 14, 2020

| DATE | REVISION DESCRIPTION |
|------------|---------------------------|
| 05/13/2020 | REVISED PER TOWN COMMENTS |
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RIVERFRONT NOTES:

1. PROPERTY WITHIN THE RIVERFRONT AREA= 219,667±SF.
2. 0–100FT. RIVERFRONT DISTURBANCE (LEFT SIDE OF SITE) FOR BRIDGE AND ADDITIONAL PAVEMENT= 2252±SF.
3. 100–200FT RIVERFRONT DISTURBANCE FOR PROPOSED PARKING, SIDEWALK, AND GRADING AREA=16,500±SF.
4. 0–100 FT. RIVER FRONT DISTURBANCE (RIGHT SIDE OF SITE) ADDITIONAL PAVEMENT AREA= 598 ±SF.
5. 100–200 RIVERFRONT DISTURBANCE (RIGHT SIDE OF SITE) = 3939±SF.
6. TOTAL PROPOSED DISTURBANCE =23,289±SF.
7. TOTAL PROPOSED AREA OF REMEDIATION AREA = 10,370 ±SF.
8. FOR A NET INCREASE OF DISTURBANCE = 12,919±SF.

STORM DRAINAGE NOTES

- SPECIAL CONSIDERATION FOR INLET CONTROLS FOR EROSION COLLECTION BEFORE ENTERING DRAINAGE SYSTEM:
1. INSTALL SILT SACKS.
2. BARRIER AROUND CATCH BASIN, MULCH SOCK OR EQUAL
3. INSTALL FILTER FABRIC ON ALL DRAIN MANHOLE OUTLETS DISCHARGING TO INFILTRATION SYSTEM.
4. INSPECTIONS BEFORE AND AFTER STORM EVENTS ARE REQUIRED TO INSURE ADEQUACY OF EROSION CONTROL MEASURES.
5. CONTRACTOR & ARCHITECT ARE TO VERIFY SITE UTILITIES PRIOR TO DESIGN & CONSTRUCTION.
6. ALL DRAINAGE PIPES ARE TO BE 12" CLASS V RCP.
7. ALL PIPE GASKETS SHALL BE PRE-MOLDED NEOPRENE O-RING TYPE (300–11 B.(2)(A)).

EXCESS MATERIALS WILL BE MAINTAINED AND REMOVED OFF SITE DUE TO LIMITED SPACE.

UTILITY NOTE

ALL UTILITIES SHALL BE CONSTRUCTED ACCORDING TO STATE AND LOCAL REGULATIONS.

REMEDATION NOTES:

TOTAL REMEDIATION AREA = 10,370±SF.

TESTING INFORMATION

TESTING DATE: MARCH 25, 2010 SOIL EVALUATOR: DONALD NIELSEN, SE #1744

| | | | | | |
|--------|---|--------|--------------------------------|--------|------------------------------------|
| 192.00 | TP 1 | 186.10 | TP 2 | 176.80 | TP 3 |
| 191.25 | LOAM 10YR2/2 | 185.60 | LOAM 10YR3/2 | 175.80 | LOAM 10YR3/2 |
| 189.25 | SUBSOIL 10YR5/8 | 184.60 | SUBSOIL 10YR5/6 | 173.80 | FILL 10YR5/6 |
| | SAND W/SILT TRACES 3"-6" | | SAND W/ 3"-6" COBBLES | 173.05 | NATURAL LOAM |
| | COBBLES BONEY ANGULAR ROCK BOT. OF HOLE | | | 171.80 | SUBSOIL |
| 184.00 | REFUSAL @ 8" NO GW @ 8" | 180.35 | 10Y5/4 | 170.55 | COARSE SAND 3"-6" COBBLES |
| | | | | | RUST & GW @ 60" |
| 181.20 | TP 4 | 176.65 | TP 5 | 176.10 | TP 6 |
| 180.20 | LOAM | 176.15 | FILL | 173.10 | SANDY LOAM FILL |
| 178.20 | SUBSOIL | 175.15 | LOAM | 170.10 | NATURAL LOAM 10YR2/ |
| | SANDY LOAM 3"-6" COBBLES SOME SILT | 173.15 | GRAVELLY SUBSOIL | | MED TO COARSE SAND |
| 173.70 | GW @ 88" | 172.15 | FINE SILTY SAND | 169.10 | 10Y5/6 |
| | | | GW @ 3'-6" | | 12" |
| 174.50 | TP 7 | | | | |
| 174.34 | MULCH | | | | |
| 168.84 | CLEAN SAND FILL | | | | |
| 166.84 | LOAM 10YR5/6 | | | | |
| 165.84 | COARSE GRAVEL | | | | |
| | 10Y5/3 | | | | |
| | GW @ 60" | | | | |

AGRICULTURAL RESIDENTIAL II
MAIN STREET AUOD DISTRICT
MEDWAY MILL CONVERSION SUBDISTRICT

| | REQUIRED | EXISTING | PROPOSED |
|-----------------------------|-----------|---------------------------------|---------------------------------------|
| MINIMUM LOT AREA | 22,500 SF | 317,260±SF. (7.28 ACRES) | 317,260±SF. (7.28 ACRES) |
| MINIMUM LOT FRONTAGE | 150' | 286.79 MAIN STREET | 286.79 MAIN STREET |
| MINIMUM YARDS | | 38.45 LINCOLN STREET | 38.45 LINCOLN STREET |
| FRONT | 35' | 8' ENCROACHING ON MAIN | 8' ENCROACHING ON MAIN |
| SIDE | 15' | .06' ENCROACHING ON YORKIS PROP | .06' ENCROACHING ON YORKIS PROP |
| REAR | 15' | 163'± | 163'± |
| MAXIMUM BUILDING HEIGHT | 35' | --- | --- |
| % OF LOT UPLAND COVERED BY: | | | |
| STRUCTURES | 30 | 42,777±SF (13.5%) | 42,777±SF (13.5%) |
| STRUCTURES+PAVING | 40 | 106,303±SF. (33.50%) | DECEMBER 30, 2019 129,969.14 (40.96%) |
| PARKING | 134 | 83 PARKING SPACES | 144 TOTAL PARKING SPACES |

EXISTING BUILDING AREAS:

| | OFFICE SPACE | RETAIL | STORAGE |
|----------------------|--------------|------------|----------|
| MAIN MILL | | | |
| FIRST FLOOR | 10,790±SF. | 4325±SF. | |
| SECOND FLOOR | 8826±SF. | 1505±SF. | 258±SF. |
| THIRD FLOOR | 1875±SF. | | |
| REAR BUILDING | | | |
| FIRST FLOOR | 4449±SF. | | |
| TENANT BAY BUILDINGS | | | |
| FIRST FLOOR | 1075±SF. | 4537±SF. | 8327±SF. |
| TOTAL AREAS | 27,015±SF. | 10,367±SF. | 8585±SF. |

REQUIRED PARKING FOR EXISTING USES:

| | | | |
|-------------------------|--------------------|-----------|----------|
| PARKING SPACES REQUIRED | 90 SPACES | 35 SPACES | 9 SPACES |
| TOTAL PARKING REQUIRED= | 134 PARKING SPACES | | |

PARKING NOTES

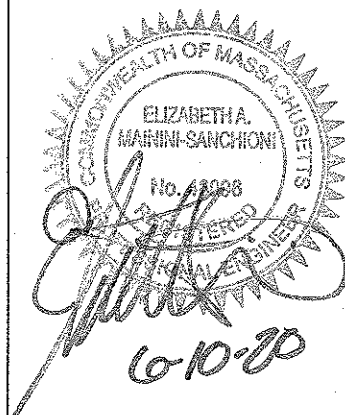
1. EXISTING PARKING SPACES ON SITE = 83 PARKING SPACES.
2. 25 PARKING SPACES PROPOSED TO THE EAST SIDE OF SITE.
3. 41 NEW PARKING SPACES PROPOSED ON THE WEST SIDE OF SITE.
4. 5 PARKING SPACES REMOVED DUE TO THE BRIDGE EXPANSION.
5. A TOTAL OF PARKING SPACES FOR THIS SITE = 144 PARKING SPACES
6. TOTAL PARKING AREA = 16,213 SF. ISLAND AREAS = 368 SF. (2.3%) OF AREA.

LEGEND

| | | | |
|--------|----------------------|-----------|---------------------|
| ☐ | CATCH BASIN | ☆ | PROPOSED LIGHT POLE |
| ⊙ | DRAIN MANHOLE | ⊙ | UTILITY POLE |
| ⊙ | ELECTRIC MANHOLE | ⬇ | GUY WIRE |
| ⊙ | SEWER MANHOLE | — | SIGN |
| ⊙ | GAS VALVE | — S — | SEWER LINE |
| ⊙ | GAS SHUT OFF VALVE | — D — | DRAIN LINE |
| ⊙ | WATERGATE | — W — | WATER LINE |
| ⊙ | WATER SHUT OFF VALVE | — G — | GAS LINE |
| ⊙ | FIRE HYDRANT | — ETC — | ELEC., TEL, CABLE |
| VCC | VERTICAL CONC CURB | — OHW — | OVERHEAD WIRES |
| R/W | RETAINING WALL | — 25' B — | 25' WETLAND BUFFER |
| A.F.G. | ABOVE FINISH GRADE | EP | EDGE OF PAVEMENT |
| ⊙ | ARBORVITAE | X 000.0 | SPOT ELEVATION |
| ⊙ | SHRUB | * C.O. | CLEAN OUT |
| ⊙ | TREE | ⊙ | ELECTRIC METER |

TEMPORARY RETENTION AREA NOTES:

1. CONSTRUCT TEMPORARY RETENTION AREA TO COLLECT RUNOFF.
2. THE TEMPORARY RETENTION AREA IS TO BE UTILIZED AS A TEMPORARY SEDIMENTATION TRAP DURING CONSTRUCTION.
3. ALL CONSTRUCTION GRADES IN THE INTERIM SHALL BE SLOPED TO FLOW INTO THE TEMPORARY RETENTION AREA, WHERE POSSIBLE.
4. CLEAN ALL SEDIMENT OUT OF TEMPORARY RETENTION AREA PRIOR TO FINAL GRADING AND SURFACE STABILIZATION.
5. ONCE SITE IS STABILIZED REMOVE ALL REMAINING ACCUMULATED SEDIMENT AT THE BOTTOM OF THE SEDIMENT TRAP.
6. SEDIMENT CONTROL SHALL REMAIN IN PLACE UNTIL THE SITE IS STABILIZED.
7. CLEAN ALL ON SITE CATCH BASINS, MANHOLES, PIPING, TEMPORARY SEDIMENT TRAP, AND INFILTRATION CHAMBERS. INSTALL SILT BAGS AT EACH CATCH BASIN.
8. FOR FURTHER EROSION CONTROL NOTES REFER TO THE FOLLOWING SECTIONS ON THE DETAIL SHEETS:
"INTERIM EROSION CONTROL AND CONSTRUCTION SEQUENCE"
"GENERAL EROSION CONTROL AND CONSTRUCTION NOTES"



F3519

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MEDWAY PLANNING BOARD

BEING A MAJORITY

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OWNER

165 MAIN STREET REALTY TRUST
JOHN J. GREENE TRUSTEE
165 MAIN STREET
SUITE 307
MEDWAY, MA

DEED BOOK 24499 PAGE 10
A.M. 48 LOT 092

APPLICANT

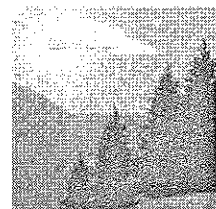
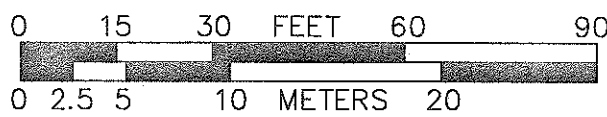
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MEDWAY, MA

SITE PLAN
MEDWAY MILL
163–165 MAIN STREET
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MASSACHUSETTS

GENERAL NOTES

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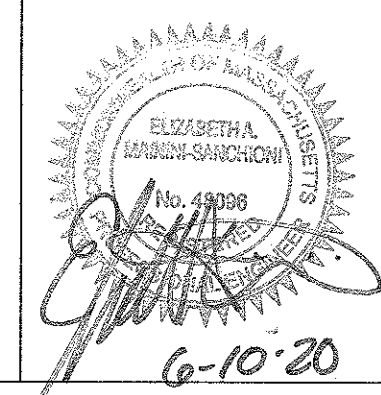
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4 OF 12

JOB NO.

F3519



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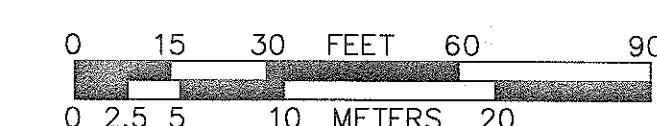
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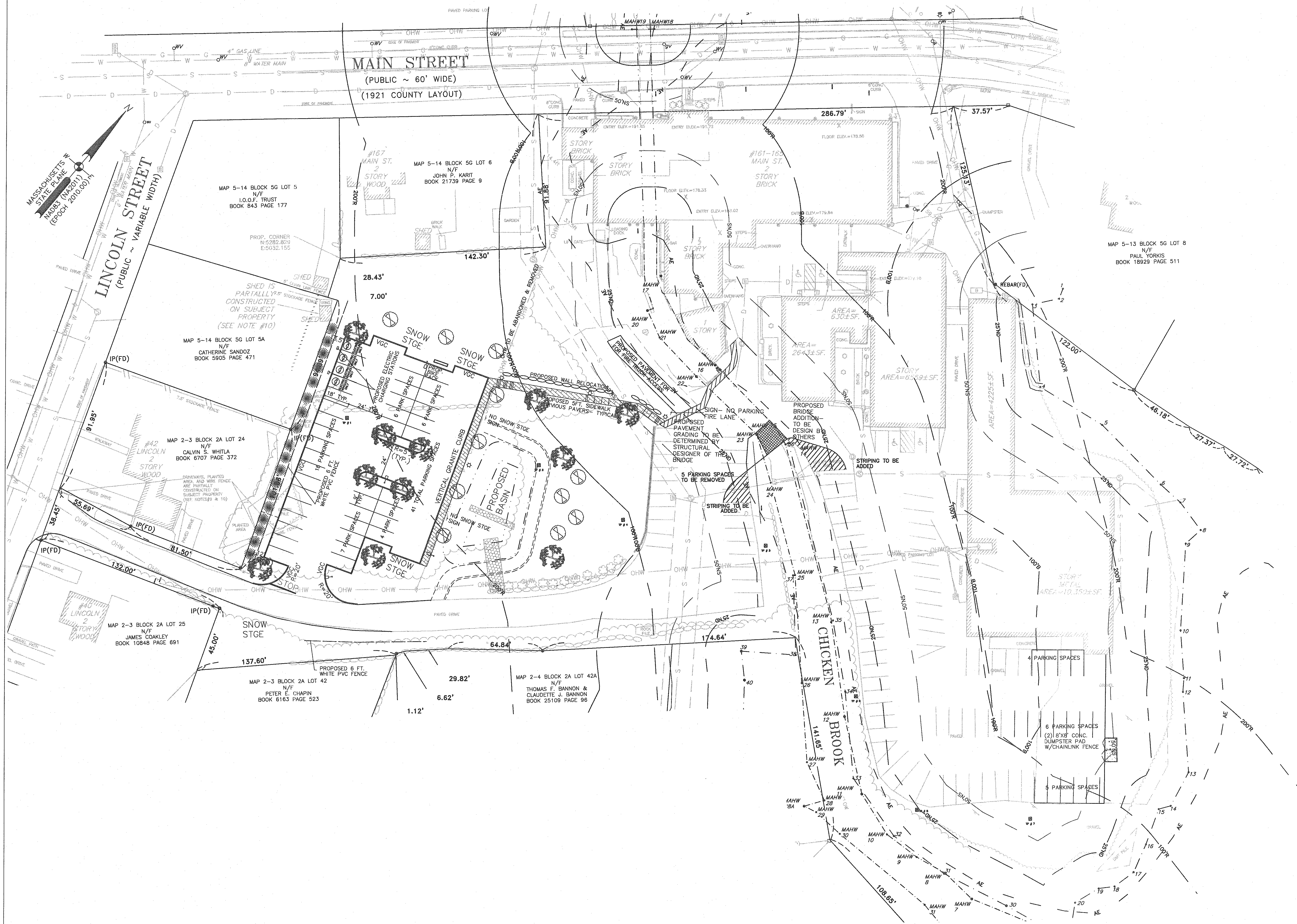
SITE LAYOUT

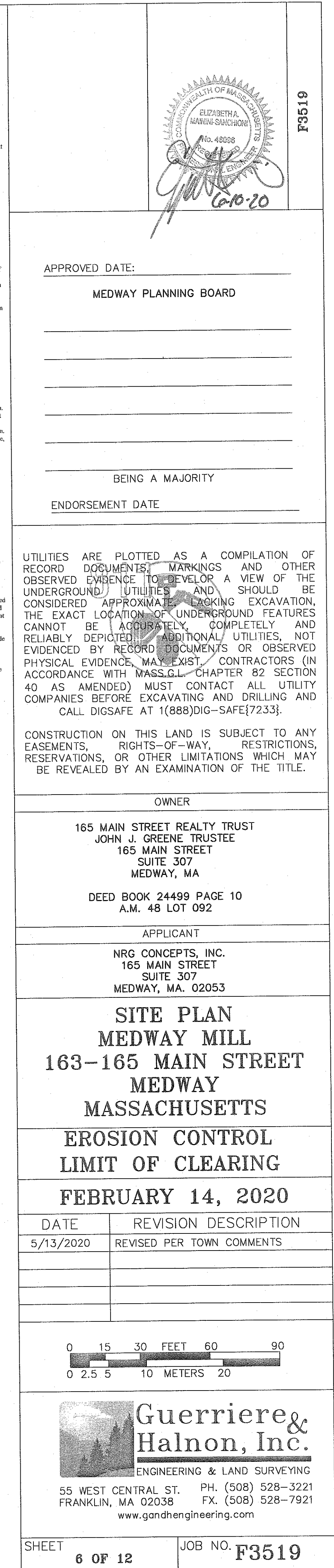
FEBRUARY 14, 2020

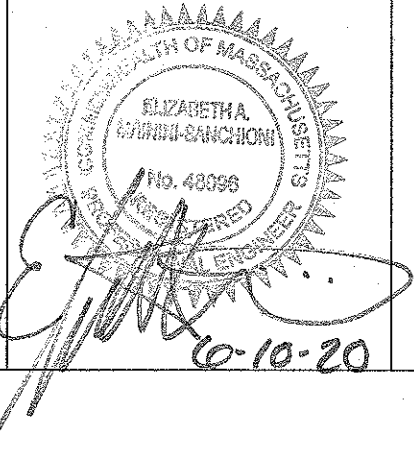
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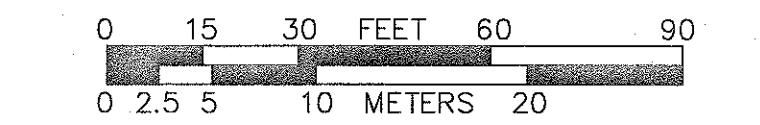
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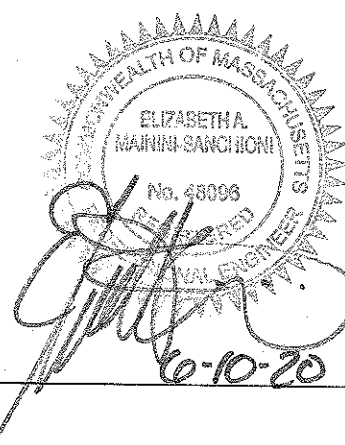
GRADING AND DRAINAGE

FEBRUARY 14, 2020

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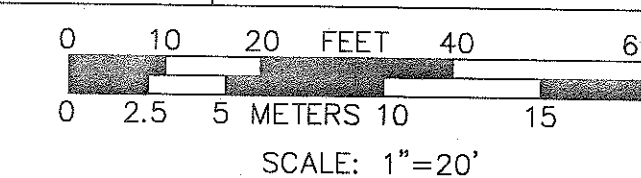
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PHOTOMETRICS

FEBRUARY 14, 2020

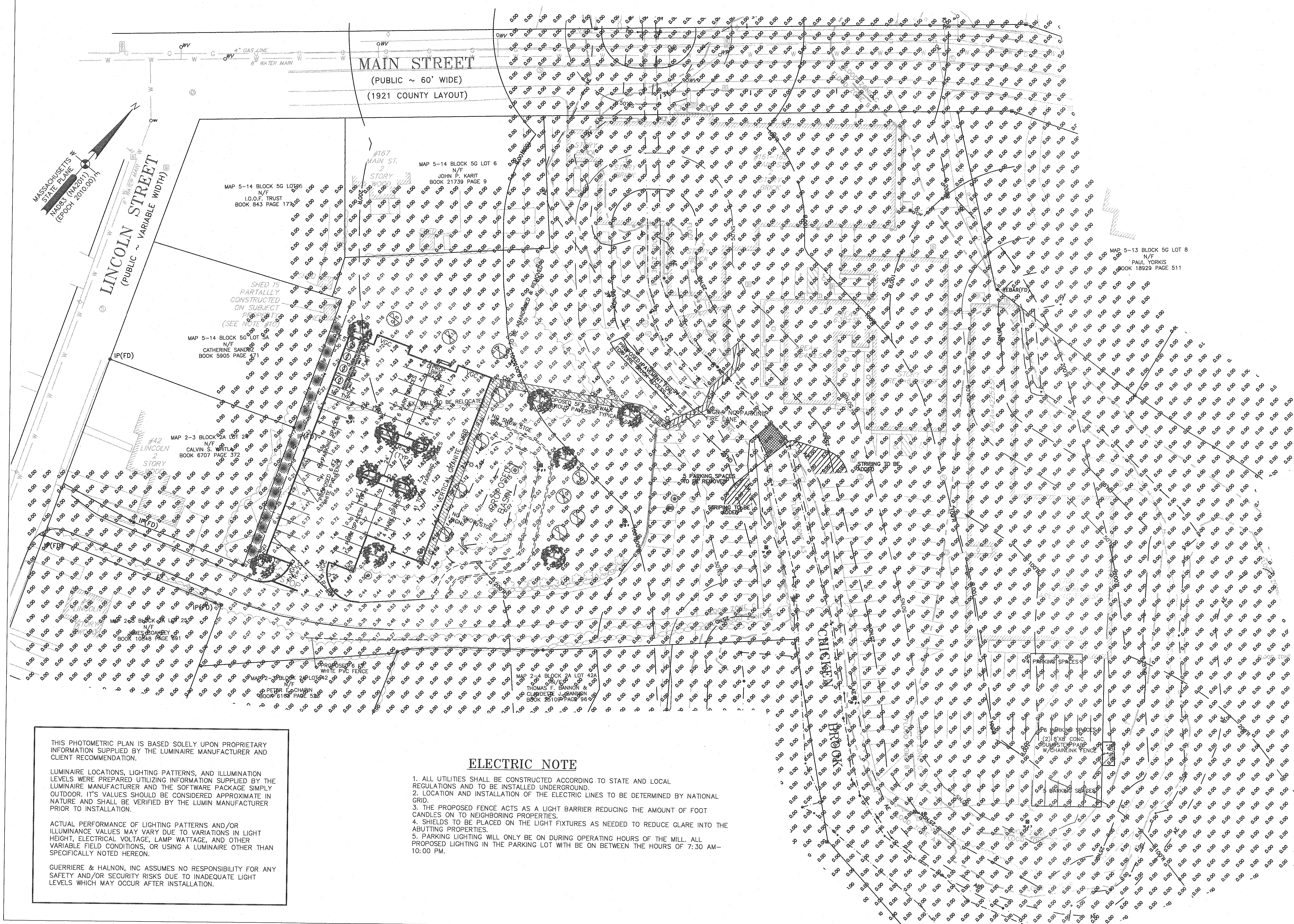
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SHEET 8 OF 12

JOB NO. F3519



THIS PHOTOMETRIC PLAN IS BASED SOLELY UPON PROPRIETARY INFORMATION SUPPLIED BY THE LUMINAIRE MANUFACTURER AND CLIENT RECOMMENDATION.

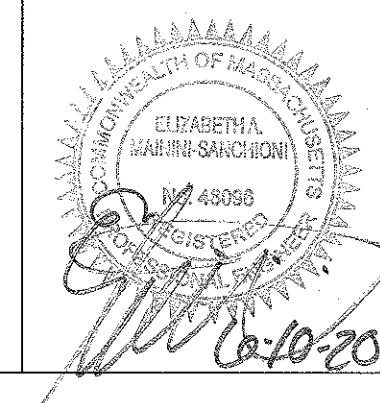
LUMINAIRE LOCATIONS, LIGHTING PATTERNS, AND ILLUMINATION LEVELS WERE PREPARED UTILIZING INFORMATION SUPPLIED BY THE LUMINAIRE MANUFACTURER AND THE SOFTWARE PACKAGE SIMPLY OUTDOOR. IT'S VALUES SHOULD BE CONSIDERED APPROXIMATE IN NATURE AND SHALL BE VERIFIED BY THE LUMIN MANUFACTURER PRIOR TO INSTALLATION.

ACTUAL PERFORMANCE OF LIGHTING PATTERNS AND/OR ILLUMINANCE VALUES MAY VARY DUE TO VARIATIONS IN LIGHT HEIGHT, ELECTRICAL VOLTAGE, LAMP WATTAGE, AND OTHER VARIABLE FIELD CONDITIONS, OR USING A LUMINAIRE OTHER THAN SPECIFICALLY NOTED HEREON.

GUERRIERE & HALNON, INC ASSUMES NO RESPONSIBILITY FOR ANY SAFETY AND/OR SECURITY RISKS DUE TO INADEQUATE LIGHT LEVELS WHICH MAY OCCUR AFTER INSTALLATION.

ELECTRIC NOTE

1. ALL UTILITIES SHALL BE CONSTRUCTED ACCORDING TO STATE AND LOCAL REGULATIONS AND TO BE INSTALLED UNDERGROUND.
2. LOCATION AND INSTALLATION OF THE ELECTRIC LINES TO BE DETERMINED BY NATIONAL GRID.
3. THE PROPOSED FENCE ACTS AS A LIGHT BARRIER REDUCING THE AMOUNT OF FOOT CANDLES ON TO NEIGHBORING PROPERTIES.
4. SHIELDS TO BE PLACED ON THE LIGHT FIXTURES AS NEEDED TO REDUCE GLARE INTO THE ADJUTING PROPERTIES.
5. PARKING LIGHTING WILL ONLY BE ON DURING OPERATING HOURS OF THE MILL. ALL PROPOSED LIGHTING IN THE PARKING LOT WITH BE ON BETWEEN THE HOURS OF 7:30 AM-10:00 PM.



F3519

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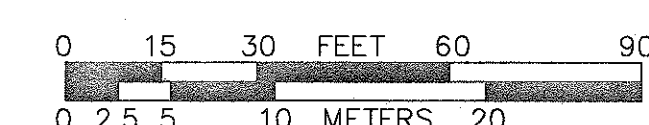
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163-165 MAIN STREET
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LANDSCAPING

FEBRUARY 14, 2020

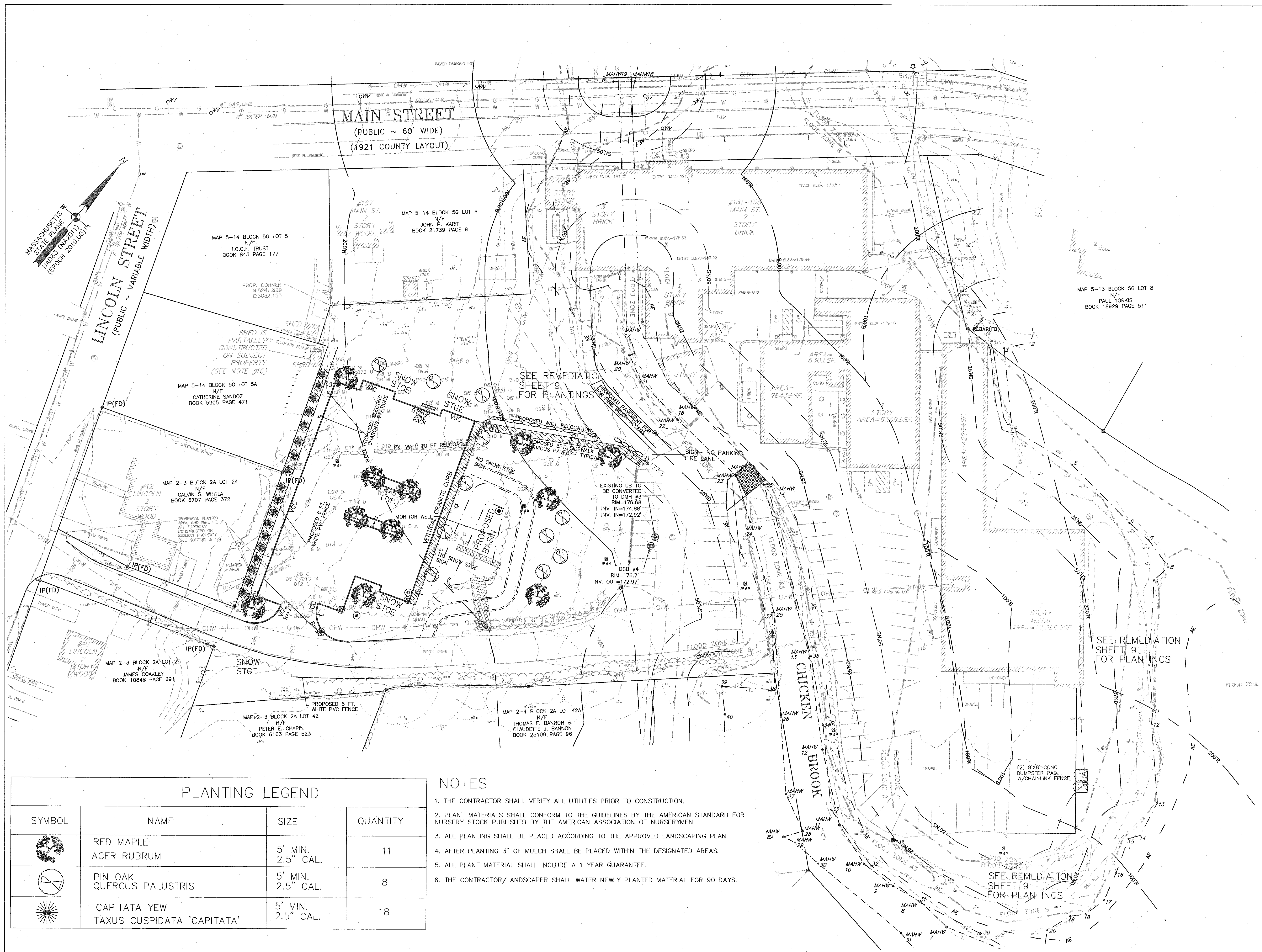
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9 OF 12

JOB NO. **F3519**

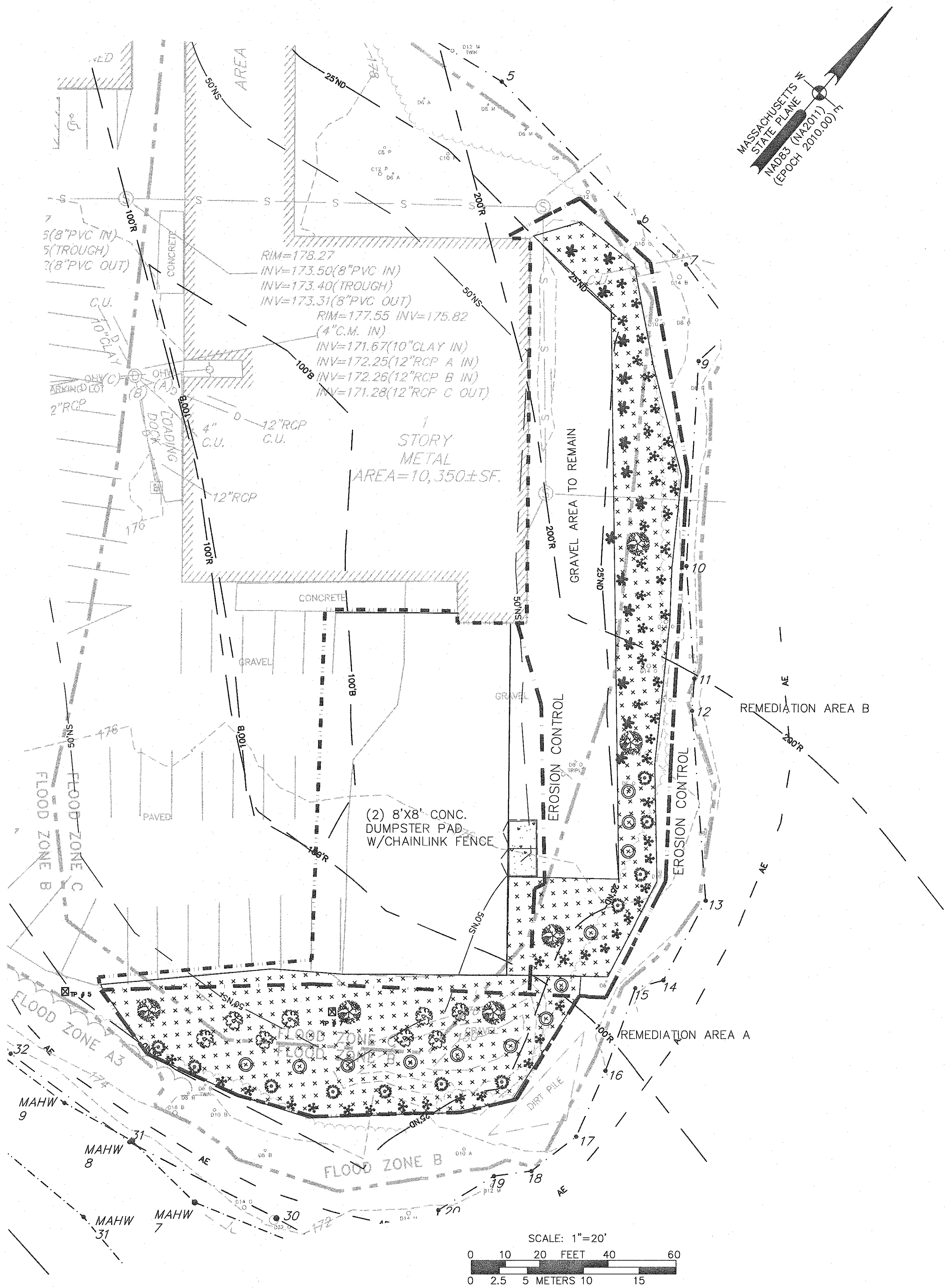


PLANTING LEGEND

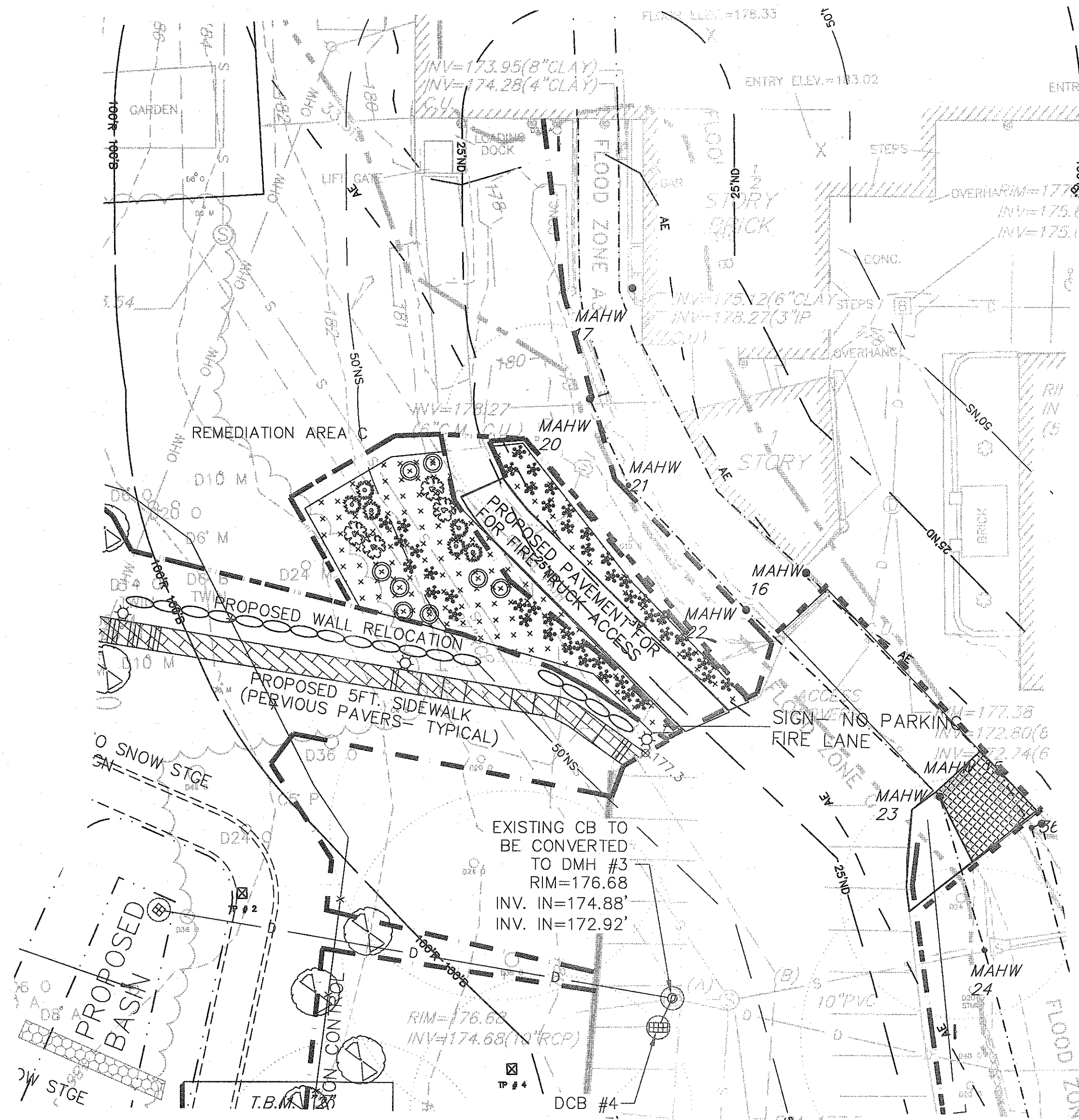
| SYMBOL | NAME | SIZE | QUANTITY |
|--------|--|----------------------|----------|
| | RED MAPLE ACER RUBRUM | 5' MIN. 2.5" CAL. | 11 |
| | PIN OAK QUERCUS PALUSTRIS | 5' MIN. 2.5" CAL. | 8 |
| | CAPITATA YEW TAXUS CUSPIDATA 'CAPITATA' | 5' MIN. 2.5" CAL. | 18 |

NOTES

1. THE CONTRACTOR SHALL VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION.
2. PLANT MATERIALS SHALL CONFORM TO THE GUIDELINES BY THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
3. ALL PLANTING SHALL BE PLACED ACCORDING TO THE APPROVED LANDSCAPING PLAN.
4. AFTER PLANTING 3" OF MULCH SHALL BE PLACED WITHIN THE DESIGNATED AREAS.
5. ALL PLANT MATERIAL SHALL INCLUDE A 1 YEAR GUARANTEE.
6. THE CONTRACTOR/LANDSCAPER SHALL WATER NEWLY PLANTED MATERIAL FOR 90 DAYS.



MASSACHUSETTS
STATE PLANE
NAD83 (NAD01)
(EPOCH 2010.00) M



REMEDIAION NOTES:

REMEDIAION AREA A = 4,569±SF.

REMEDIAION AREA B = 3,855±SF.

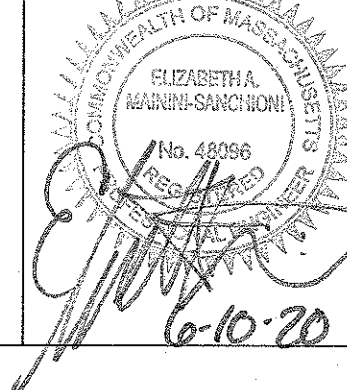
REMEDIAION AREA C = 1946±SF.

TOTAL REMEDIAION AREA = 10,370±SF.

ALL REMEDIAION AREAS:
REMOVE HARD PACKED GRAVEL, REPLACE WITH
BLEND LOOSELY PLACED OF SAND (40%),
COMPOST (30-40%), LOAM (20-30%)

SEED WITH NEW ENGLAND CONSERVATION MIX

| REPLICATION LEGEND | | | |
|--------------------|---|----------------------|----------|
| SYMBOL | NAME | SIZE | QUANTITY |
| | RIVER BIRCH BETULA NIGRA | 4" MIN. 2.5" CAL. | 6 |
| | MOUNTAIN PEPPERBUSH CLETHRA ACUMINATA | 3 GAL. | 17 |
| | HIGH BUSH BLUEBERRY VACCINIUM CORYMBOSUM | 5 GAL. | 12 |
| | WINTERBERRY ILEX VERTICILLATA | 3 GAL. | 20 |
| | JUNIPER PLUMROSA COMPACTA | 3 GAL. | 16 |
| | CINNAMON FERN OSMUNDA CINNAMOMEA | 2 GAL. | 99 |



APPROVED DATE:

MEDWAY PLANNING BOARD

BEING A MAJORITY

ENDORSEMENT DATE

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OWNER

165 MAIN STREET REALTY TRUST
JOHN J. GREENE TRUSTEE
165 MAIN STREET
SUITE 307
MEDWAY, MA

DEED BOOK 24499 PAGE 10
A.M. 48 LOT 092

APPLICANT

NRG CONCEPTS, INC.
165 MAIN STREET
SUITE 307
MEDWAY, MA 02053

SITE PLAN
MEDWAY MILL
163-165 MAIN STREET
MEDWAY
MASSACHUSETTS

REMEDIAION

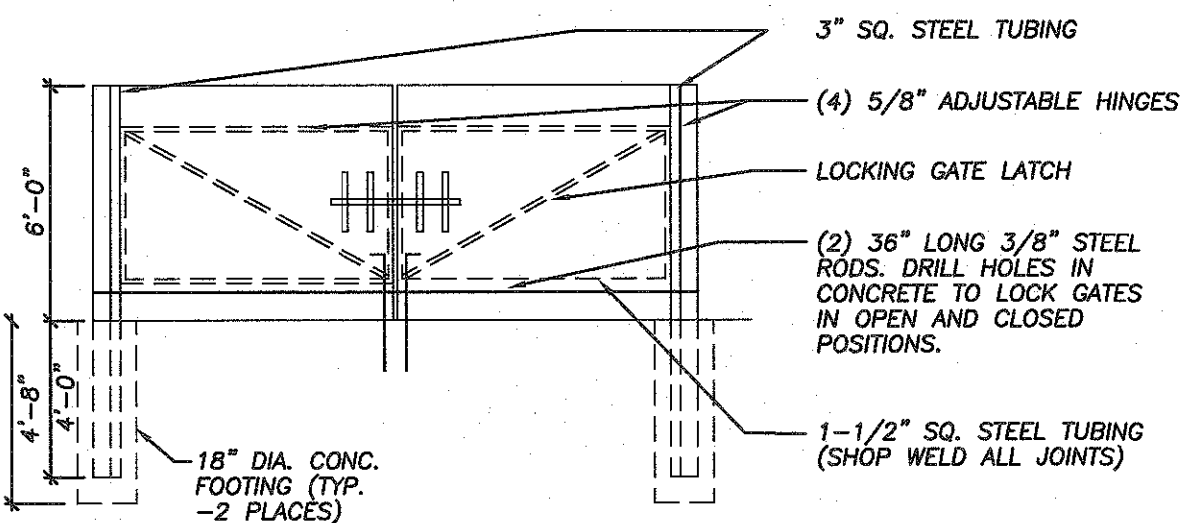
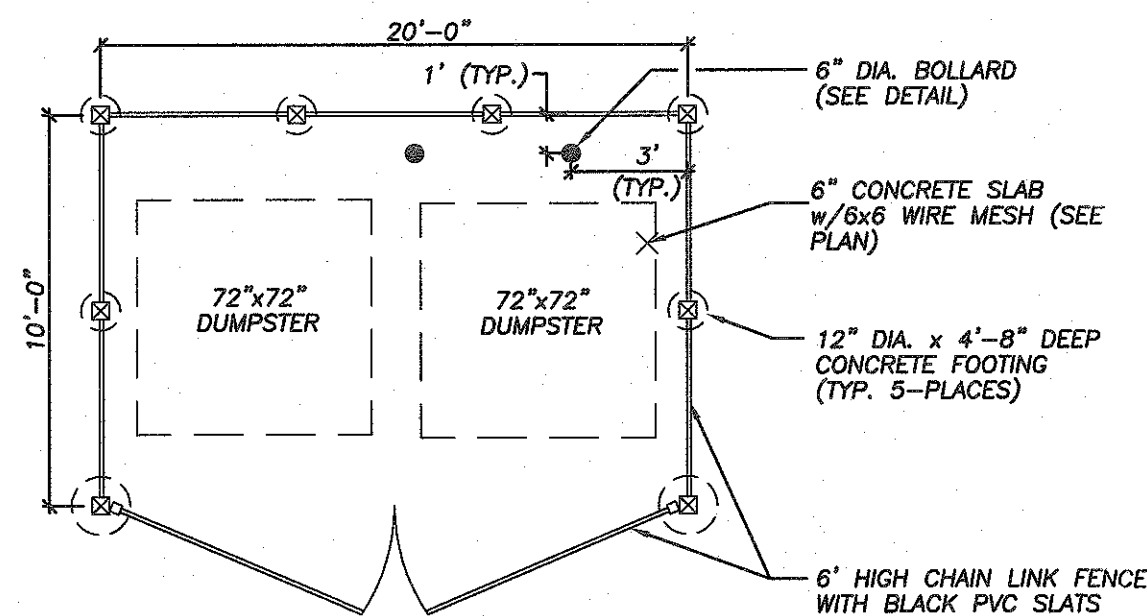
FEBRUARY 14, 2020

| DATE | REVISION DESCRIPTION |
|-----------|---------------------------|
| 5/13/2020 | REVISED PER TOWN COMMENTS |

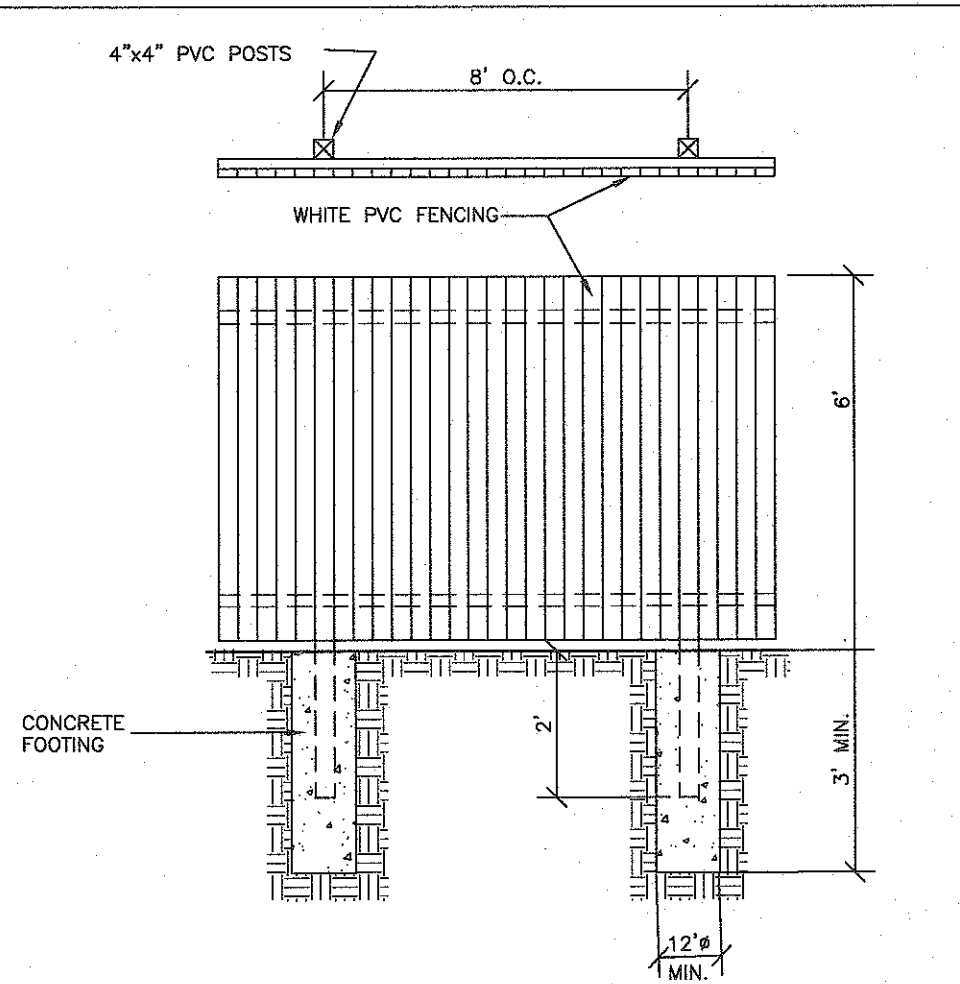
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10 OF 12

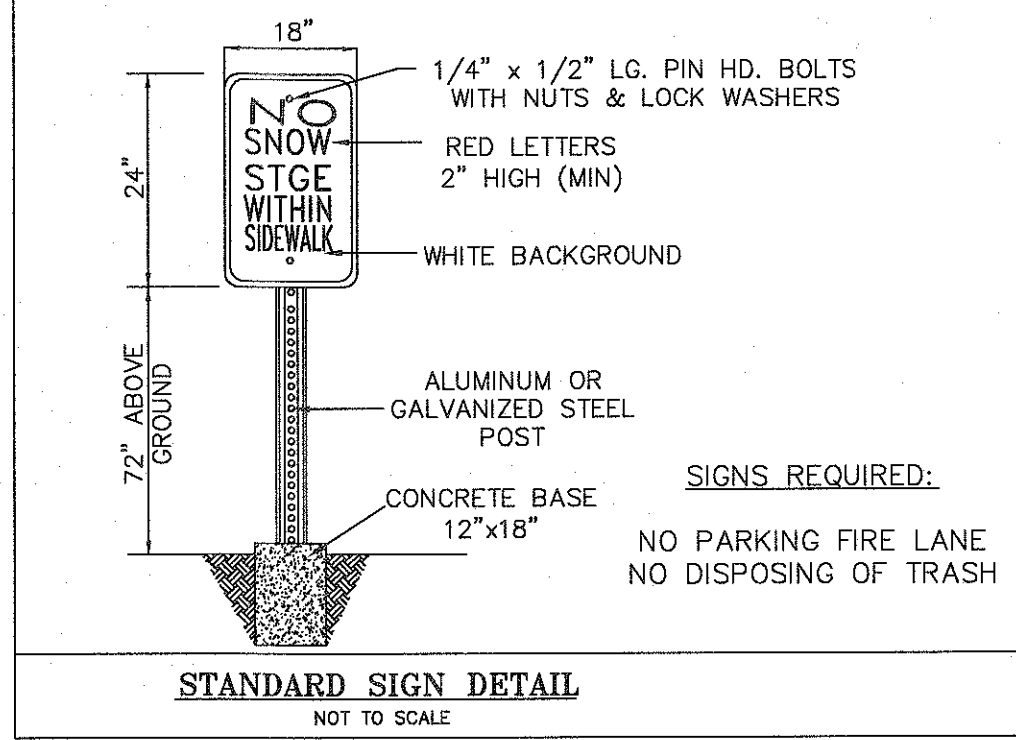
JOB NO.
F3519



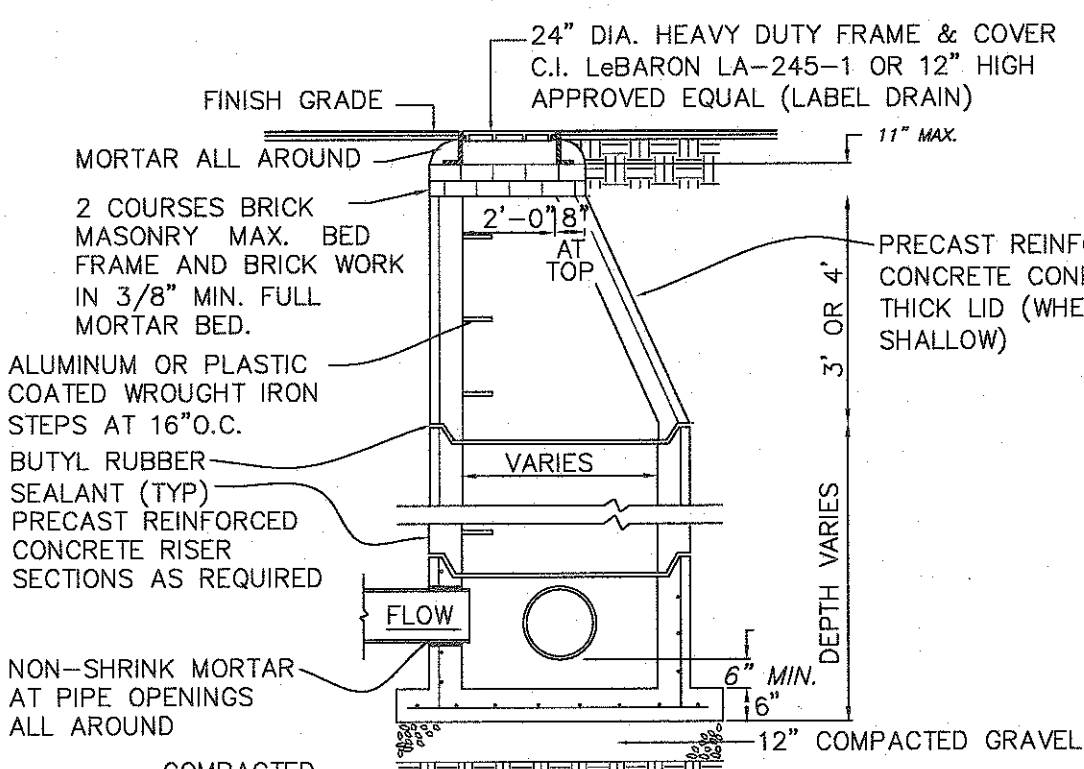
DUMPSTER ENCLOSURE
NOT TO SCALE



PVC FENCE DETAIL
N.T.S.

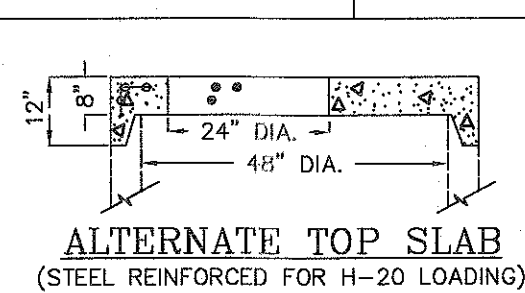


STANDARD SIGN DETAIL
NOT TO SCALE

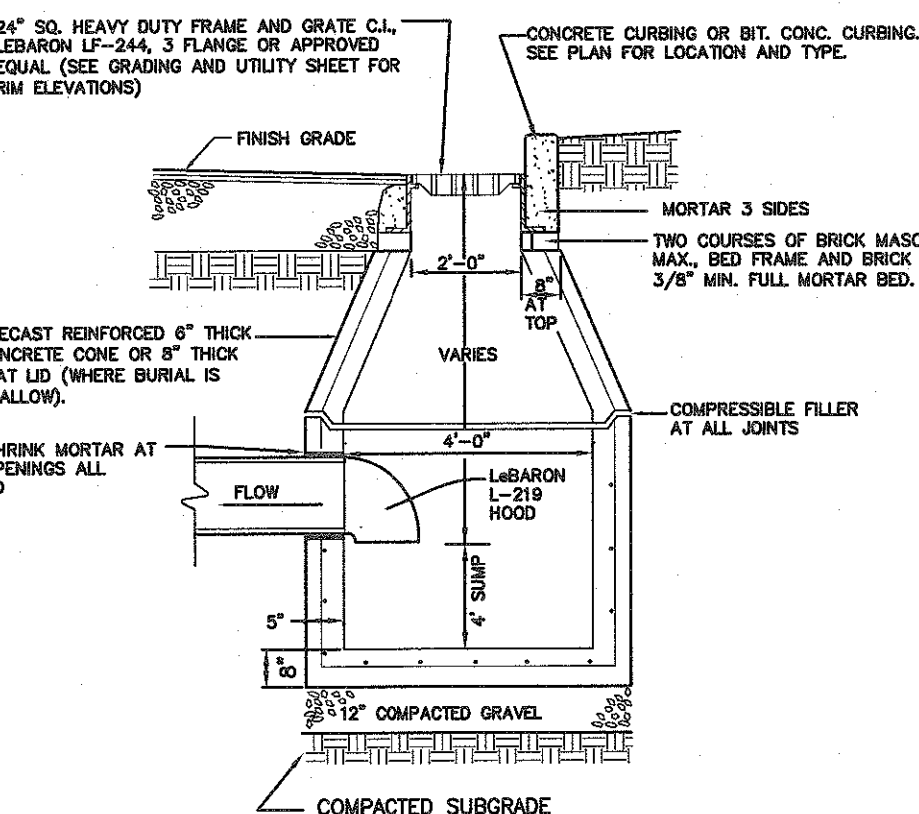


TYP. PRECAST CONCRETE
MANHOLE STORM DRAIN

N.T.S.
NOTE:
ALL STRUCTURES SHALL BE
SUITABLE FOR H-20 LOADING AND
SHALL MEET THE REQUIREMENTS OF
A.S.T.M. C478.

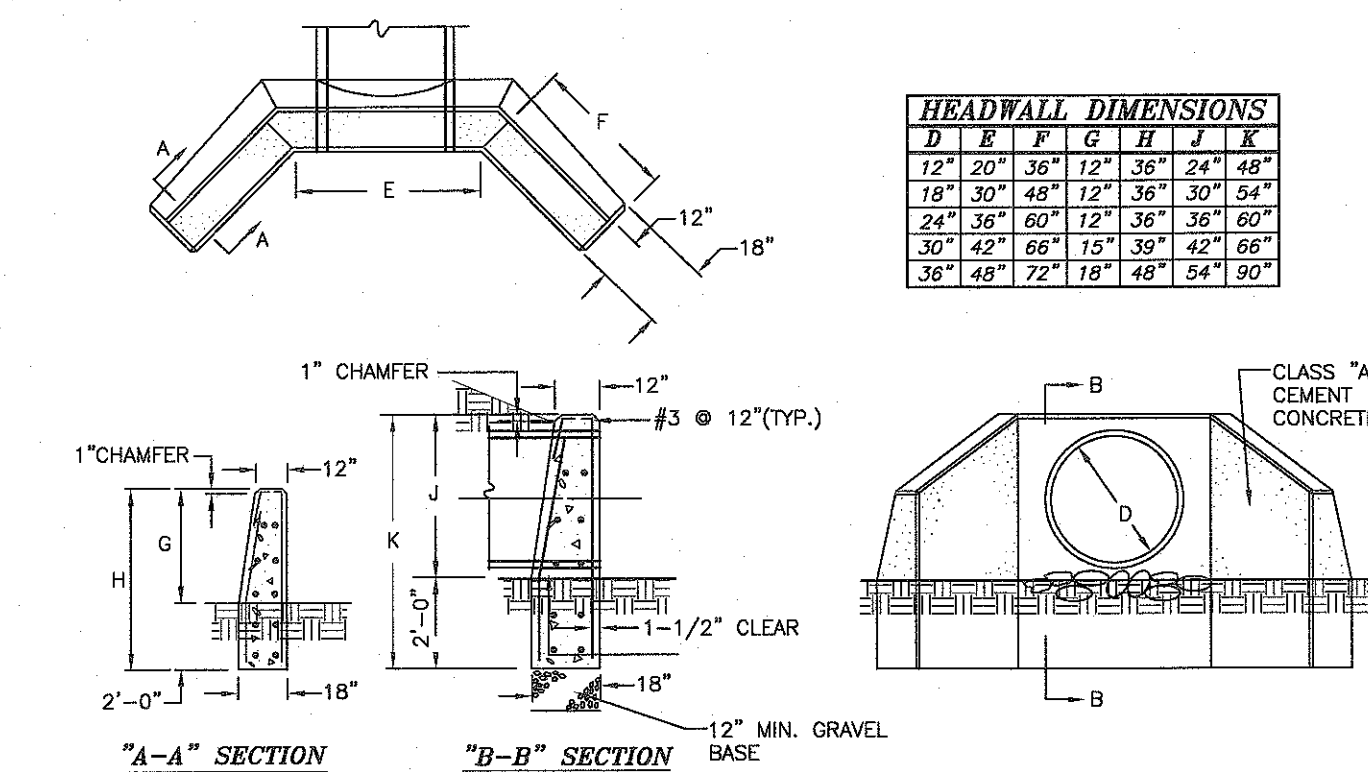


ALTERNATE TOP SLAB
(STEEL REINFORCED FOR H-20 LOADING)

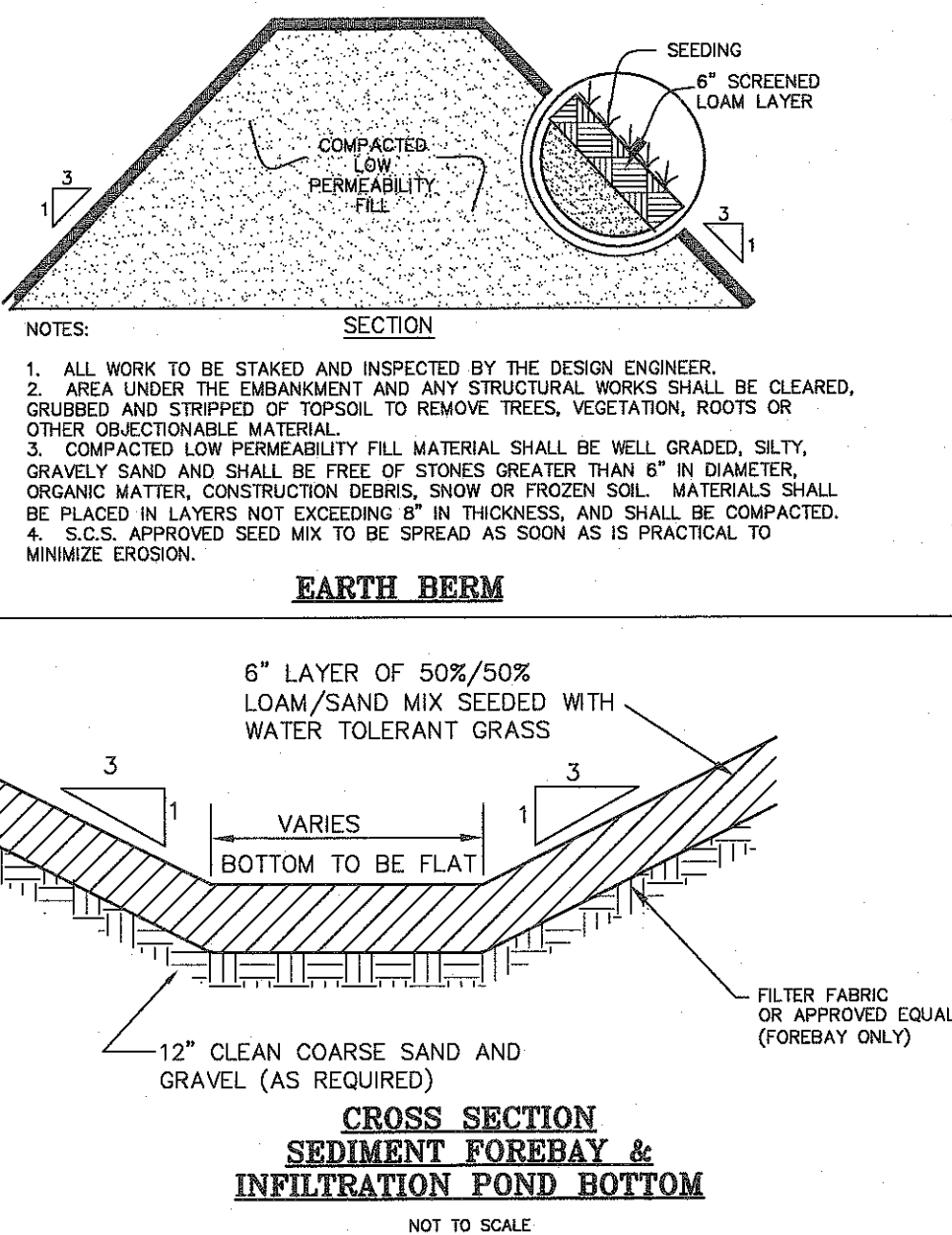


TYP. PRECAST CONCRETE
CATCH BASIN DETAIL

NOTE:
ALL STRUCTURES SHALL BE SUITABLE
FOR H-20 LOADING AND SHALL MEET THE
REQUIREMENTS OF ASTM C478.



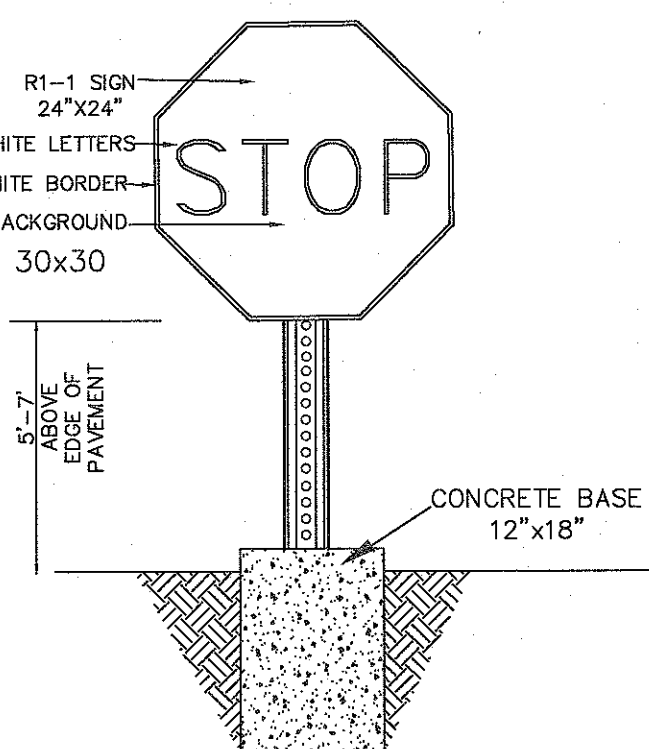
TYPICAL CONCRETE HEADWALL



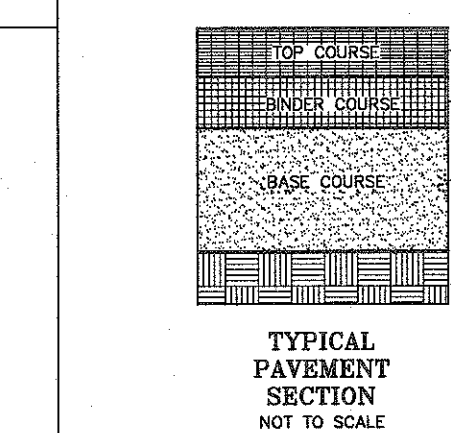
EARTH BERM

CROSS SECTION
SEDIMENT FOREBAY &
INFILTRATION POND BOTTOM

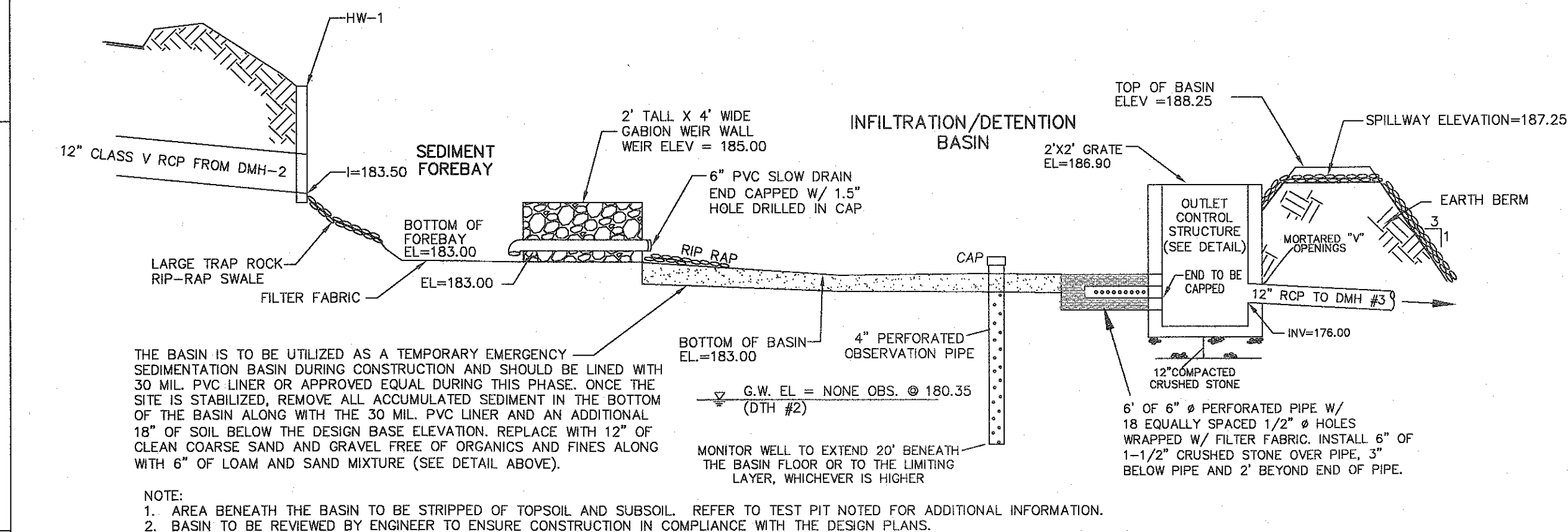
STOP SIGN DETAIL



STOP SIGN DETAIL

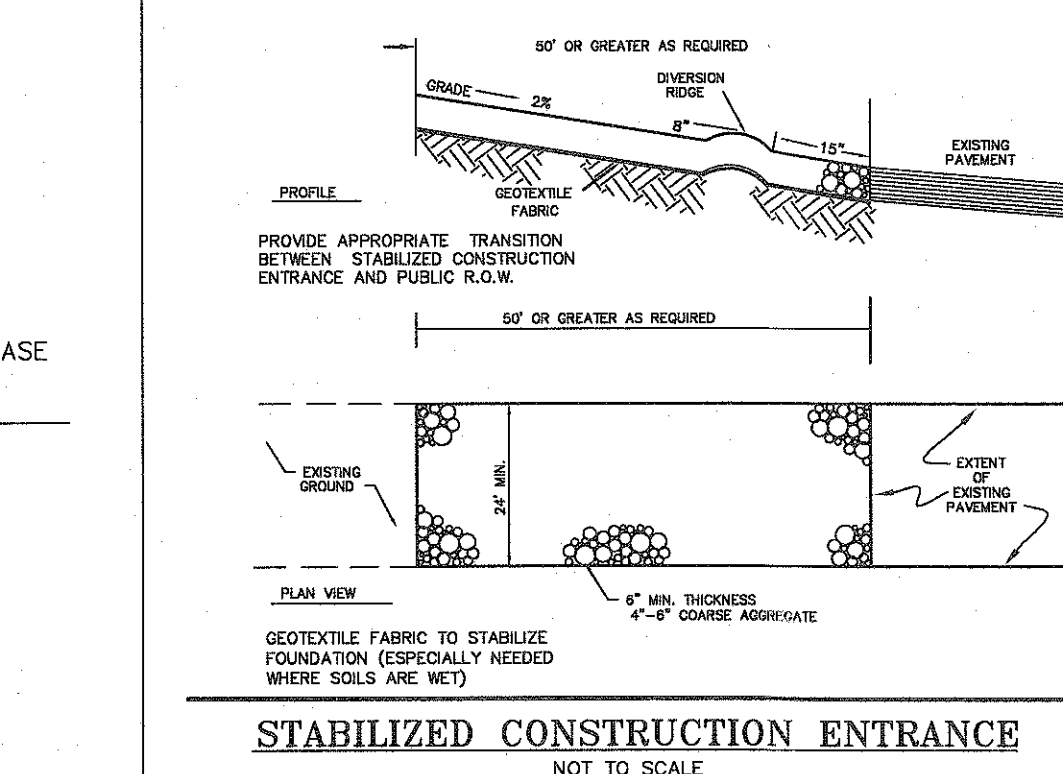


TYPICAL PAVEMENT
SECTION
NOT TO SCALE

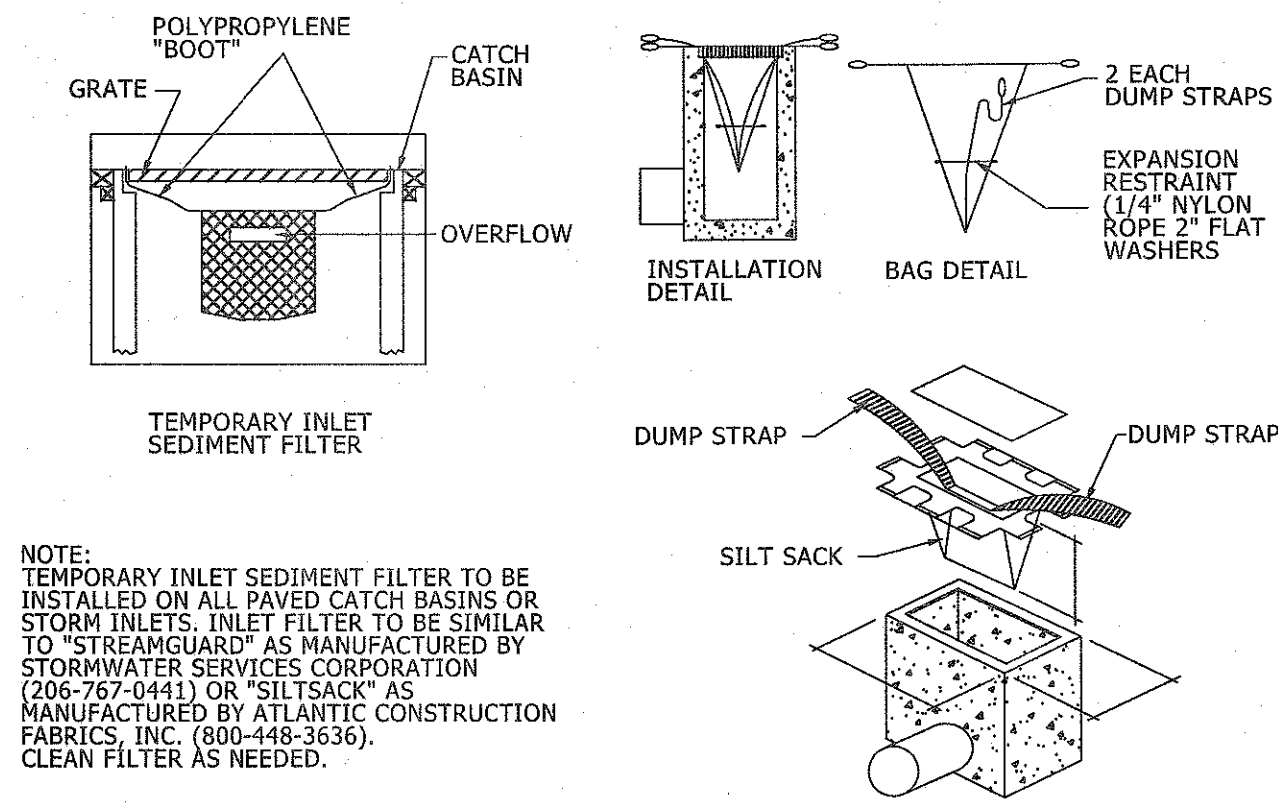


THE BASIN IS TO BE UTILIZED AS A TEMPORARY EMERGENCY
SEDIMENTATION BASIN DURING CONSTRUCTION AND SHOULD BE LINED WITH
30 MIL. PVC LINER OR APPROVED EQUAL DURING THIS PHASE. ONCE THE
SITE IS STABILIZED, REMOVE ALL ACCUMULATED SEDIMENT IN THE BOTTOM
OF THE BASIN ALONG WITH THE 30 MIL. PVC LINER AND AN ADDITIONAL
18" OF SOIL BELOW THE DESIGN BASE ELEVATION. REPLACE WITH 12" OF
CLEAN COARSE SAND AND GRAVEL FREE OF ORGANICS AND FINES ALONG
WITH 6" OF LOAM AND SAND MIXTURE (SEE DETAIL ABOVE).

NOTE:
1. AREA BENEATH THE BASIN TO BE STRIPPED OF TOPSOIL AND SUBSOIL. REFER TO TEST PIT NOTED FOR ADDITIONAL INFORMATION.
2. BASIN TO BE REVIEWED BY ENGINEER TO ENSURE CONSTRUCTION IN COMPLIANCE WITH THE DESIGN PLANS.



STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE

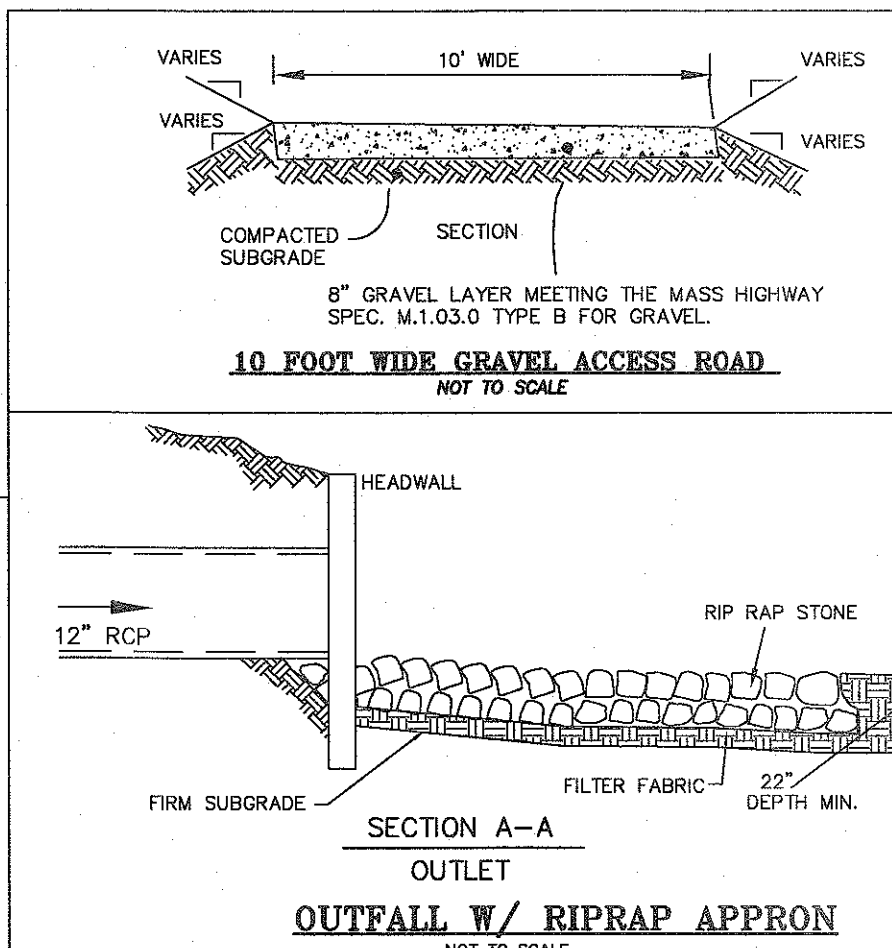


TYPICAL TRENCH SECTION FOR
REINFORCED CONCRETE PIPE
NOT TO SCALE

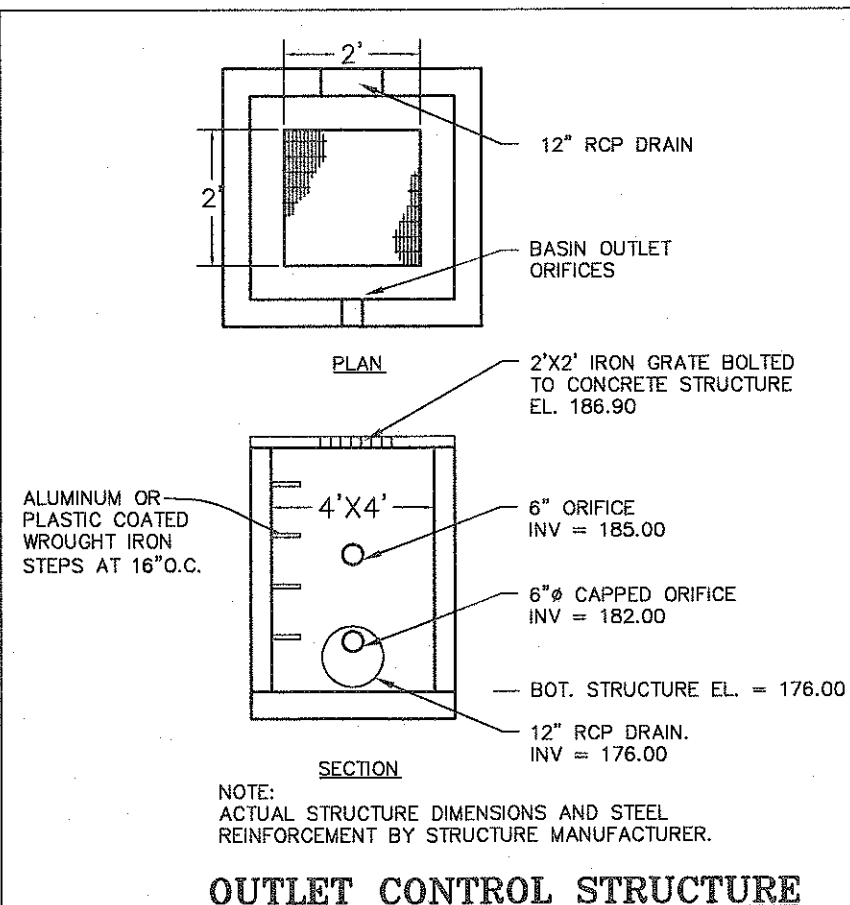


SILT SACK DETAIL
NO SCALE

D-SESC- silt sack

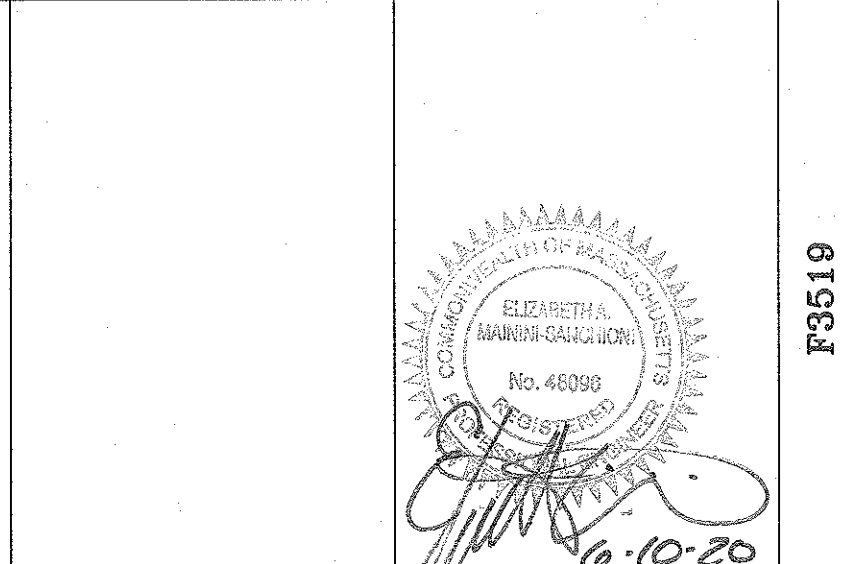


10 FOOT WIDE GRAVEL ACCESS ROAD
NOT TO SCALE



OUTLET CONTROL STRUCTURE

NOTE:
ACTUAL STRUCTURE DIMENSIONS AND STEEL
REINFORCEMENT BY STRUCTURE MANUFACTURER.



APPROVED DATE:

MEDWAY PLANNING BOARD

BEING A MAJORITY

ENDORSEMENT DATE

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JOHN J. GREENE TRUSTEE
165 MAIN STREET
SUITE 307
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DEED BOOK 24499 PAGE 10
A.M. 48 LOT 092

APPLICANT

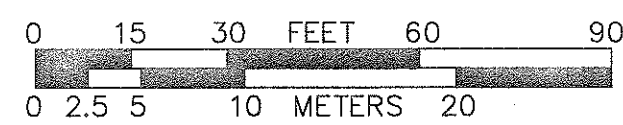
NRG CONCEPTS, INC.
165 MAIN STREET
SUITE 307
MEDWAY, MA. 02053

SITE PLAN
MEDWAY MILL
163-165 MAIN STREET
MEDWAY
MASSACHUSETTS

CONSTRUCTION
DETAILS

FEBRUARY 14, 2020

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SHEET
11 OF 13

JOB NO. F3519

LONG TERM OPERATION AND MAINTENANCE PLAN

The following shall serve as the (O&M) Plan required by Standard 9, as well as the Long-Term Pollution Prevention Plan required by Standard 4.

A. Names of Persons or Entities Responsible for Plan Compliance:

John Greene
NRG Concepts, Inc.
165 Main Street
Suite 307
Medway, MA 02053
Tel: 508-367-4745

It is the intent of the Applicant to have the site completed and released by the various town Departments and Boards.

B. Good housekeeping practices

1. Maintain site, landscaping and vegetation.
2. Sweep and pick up litter on pavements and grounds.
3. Deliveries shall be monitored by owners or representative to ensure that any spillage occurs, it shall be contained and cleaned up immediately.
4. Maintain pavement and curbing in good repair.

C. Requirements for routine inspection and maintenance of stormwater BMPs

1. **Plans:** The storm water Operation and Maintenance Plan shall consist of all Plans, documents and all local state and federal approvals as required for the subject property.
2. **Record Keeping:**
 - a. Maintain a log of all operation and maintenance activities for at least three years following construction, including inspections, repairs, replacement and disposal (if disposal, the log shall indicate the type of material and the disposal location);

3. Descriptions and Designs: The Best Management Practices (BMP) incorporated into the design include the following:

- a. **Pavement Sweeping** - Stipulated within the Construction Period Pollution Prevention Plan, the Long-Term Pollution Prevention Plan, and the Operation and Maintenance Plan. As the amount of TSS removal is discretionary, no credit was taken within the calculations for this BMP.
- b. **Deep sump catch basins** with hoods installed to promote TSS Removal of solids and control floatable pollutants. This BMP has a design rate of 23% TSS Removal.
- c. **Sediment Forebay** - installed to promote TSS Removal of solids. This BMP has a design rate of 25% TSS Removal.
- d. **Infiltration Basin** - infiltration BMP provides the required groundwater recharge and has a design rate of 80% TSS Removal. Refer to TSS Removal Worksheet included in the Attachments.
- e. **Spill Containment Kit** to contain and clean-up spills that could occur on site.

4. BMP Maintenance: After construction it is the responsibility of the owner to perform maintenance. The cleaning of the components of the stormwater management system shall generally be as follows:

- a. **Pavement:** The owner shall keep the pavement swept with a mechanical sweeper or hand swept semi-annually at a minimum.
- b. **Catch Basins:** Shall be cleaned by excavating, pumping or vacuuming. The sediment shall be disposed of off-site by the Owner. Inspect quarterly, remove silt when 1/2 full.
- c. **Sediment Forebay:** Inspect monthly. Clean forebay 4 times per year.
- d. **Infiltration Basin:** Inspect for proper function after every major storm event during the first 3 months of operation, inspect/remote debris twice per year afterward. Mow basin at least twice per year, remove clippings.

5. Access Provisions: All of the components of the storm water system will be accessible by the Owner

D. Spill prevention and response plans

1. Train employees and subcontractors in prevention and clean up procedures.
2. All materials stored on site will be stored in their appropriate containers under a

roof or in the approved underground storage tanks.

3. Follow manufacturer's recommendation for disposal of used containers.
4. On site equipment, fueling and maintenance measures:
 - a. Inspect on-site vehicles and equipment daily for leaks.
 - b. Conduct all vehicle and equipment maintenance off site and refueling in one location, away from storm drains and wetlands.
5. **Clean up spills:**
 - a. Never hose down "dry" pavement or impervious surfaces where fluids have spilled. Use dry clean-up methods (sweep, cat litter and/or rug and absorbent pads).
 - b. Sweep up dry materials immediately. Never wash them away or bury them.
 - c. Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
 - d. Report significant spills to the Fire Department, Conservation Commission and Board of Health.

E. Provisions for maintenance of lawns, gardens, and other landscaped areas

Dispose of clippings away from storm drainages.

F. Requirements for storage and use of herbicides, and pesticides

The application of herbicides or pesticides will be done by professional certified contractor.

G. Provisions for solid waste management

1. **Waste Management Plan**
 - a. Recycle materials whenever possible (paper, plaster cardboard, metal cans).
 - b. Separate containers for material is recommended.
 - c. Do not bury waste and debris on site.
 - d. Certified haulers will be hired to remove the dumpster container waste as needed. Recycling products will also be removed off site weekly.

H. Snow disposal and plowing plans

Snow storage is adequate around the site for large storm events, see site plan

I. Winter Road Salt and/or Sand Use and Storage restrictions

No sand, salt, or chemicals for de-icing will be stored outside.

J. Pavement sweeping schedules

Sweeping, the act of cleaning pavement can be done by mechanical sweepers, vacuum sweeper or hand sweeper. The quantity of sand is a direct correlation with the treatment of ice and snow and the types of chemicals and spreaders that are being used on site to manage snow. If a liquid de-icer such as calcium chloride is used as a pretreatment to snow events the amount of sand is minimized. Sweeping for this site should be done semi-annually at a minimum. Collecting the particulate before it enters the catch basins is cheaper and more environmentally friendly than in a catch basin mixing with oils and greases in the surface water runoff in catch basins.

K. Provisions for prevention of illicit discharges to the stormwater management system

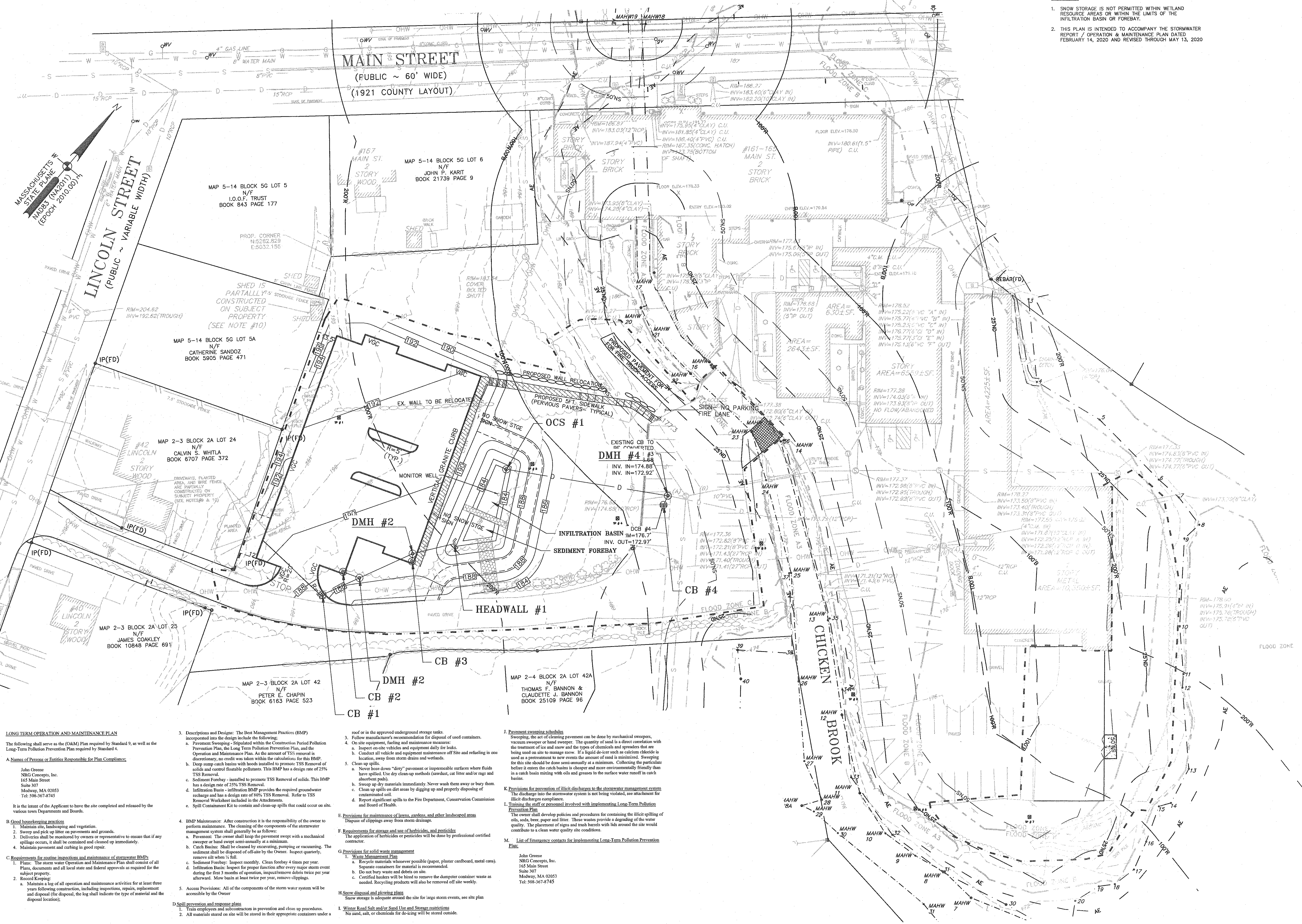
The discharge into the stormwater system is not being violated, see attachment for illicit discharge compliance.

L. Training the staff or personnel involved with implementing Long-Term Pollution Prevention Plan

The owner shall develop policies and procedures for containing the illicit spilling of oils, soda, beer, paper and litter. These wastes provide a degrading of the water quality. The placement of signs and trash barrels with lids around the site would contribute to a clean water quality site conditions.

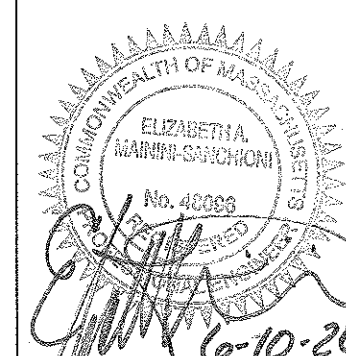
M. List of Emergency contacts for implementing Long-Term Pollution Prevention Plan:

John Greene
NRG Concepts, Inc.
165 Main Street
Suite 307
Medway, MA 02053
Tel: 508-367-4745



NOTES:

1. SNOW STORAGE IS NOT PERMITTED WITHIN WETLAND RESOURCE AREAS OR WITHIN THE LIMITS OF THE INFILTRATION BASIN OR FOREBAY.
2. THIS PLAN IS INTENDED TO ACCOMPANY THE STORMWATER REPORT / OPERATION & MAINTENANCE PLAN DATED FEBRUARY 14, 2020 AND REVISED THROUGH MAY 13, 2020



APPROVED DATE:

MEDWAY PLANNING BOARD

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ENDORSEMENT DATE

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DEED BOOK 24499 PAGE 10
A.M. 48 LOT 092

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165 MAIN STREET
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**SITE PLAN
MEDWAY MILL
163-165 MAIN STREET
MEDWAY
MASSACHUSETTS**

**OPERATIONS &
MAINTENANCE PLAN**

FEBRUARY 14, 2020

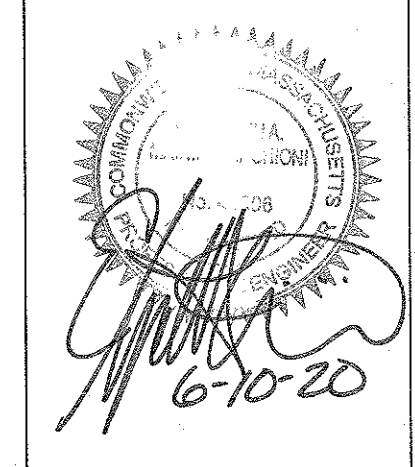
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| 5/13/2020 | REVISED PER TOWN COMMENTS |

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0 2.5 5 10 METERS 20

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12 OF 12

JOB NO. **F3519**



F3519

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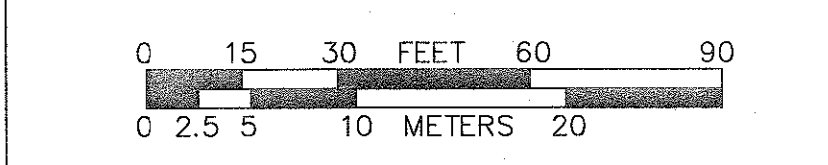
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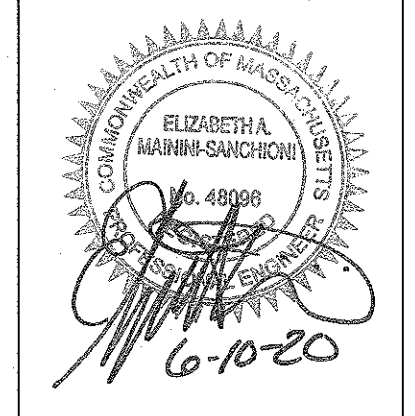
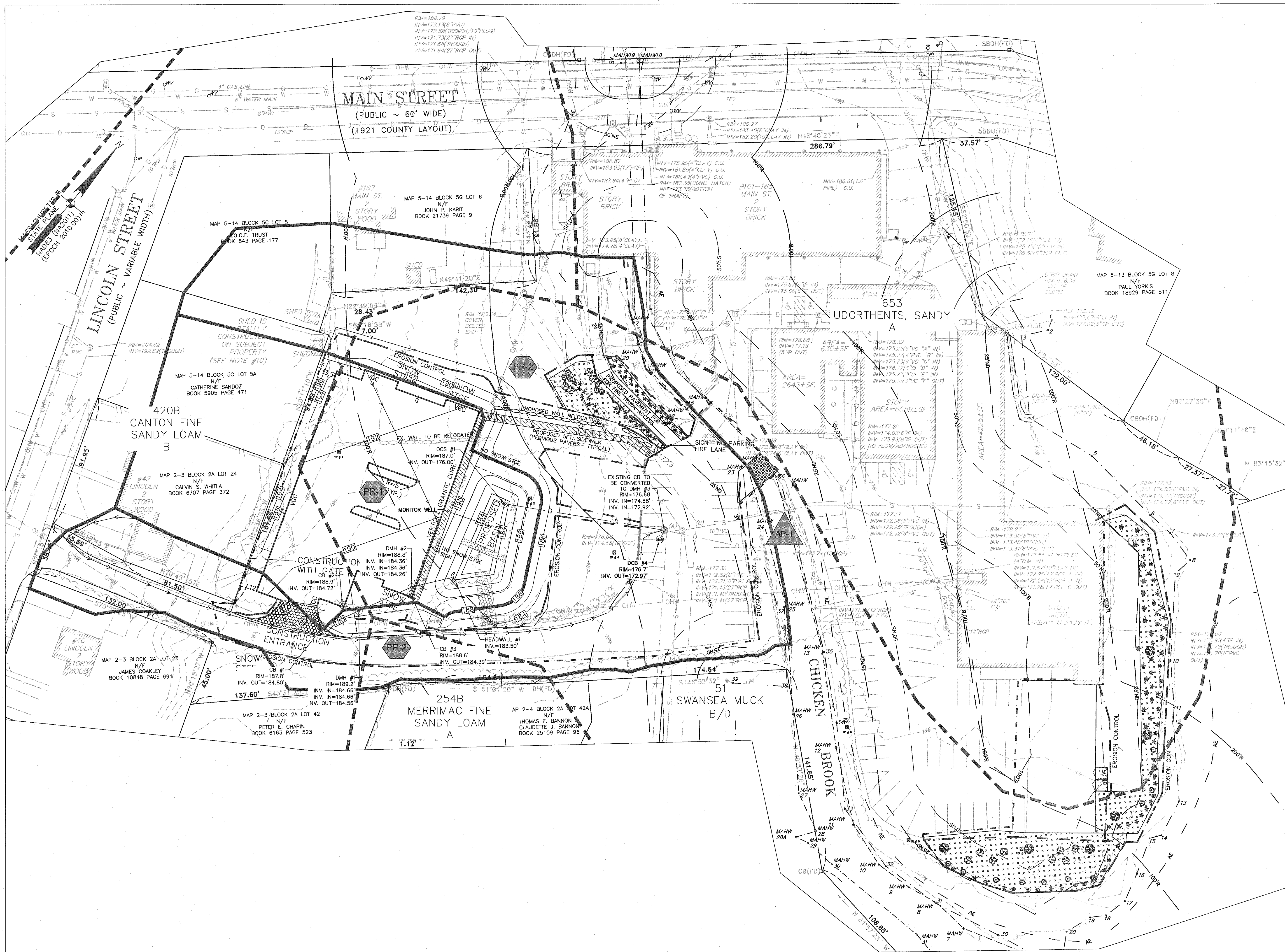
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163-165 MAIN STREET
MEDWAY
MASSACHUSETTS
PRE-DEVELOPMENT
WATERSHED PLAN

| FEBRUARY 14, 2020 | |
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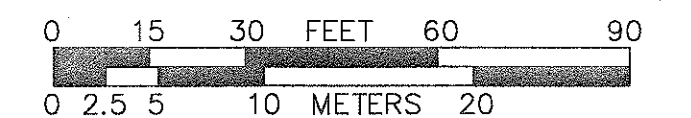
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161-165 MAIN STREET
MEDWAY
MASSACHUSETTS

POST-DEVELOPMENT
WATERSHED PLAN

FEBRUARY 14, 2020

| DATE | REVISION | DESCRIPTION |
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**MEDWAY MILLS
163-165 MAIN STREET**



**EXISTING CONDITIONS
SOUTHEAST OF EXISTING METAL BUILDING**



**PROPOSED CONDITIONS
SOUTHEAST OF EXISTING METAL BUILDING**

**MEDWAY MILLS
163-165 MAIN STREET**



**EXISTING CONDITIONS
VIEW OF EXISTING BRIDGE
FROM
ENTRANCE OFF MAIN STREET**

**PROPOSED CONDITIONS
VIEW OF EXISTING BRIDGE FROM
ENTRANCE OFF MAIN STREET**





**EXISTING CONDITIONS
VIEW OF EXISTING BRIDGE
FROM
PARKING AREA ON WEST SIDE
OF CHICKEN BROOK**

**PROPOSED CONDITIONS
VIEW OF EXISTING BRIDGE
FROM
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OF CHICKEN BROOK**





**EXISTING CONDITIONS
VIEW OF EXISTING BRIDGE
FROM
EAST SIDE OF CHICKEN BROOK**



**PROPOSED CONDITIONS
VIEW OF EXISTING BRIDGE
FROM
EAST SIDE OF CHICKEN BROOK**



**EXISTING CONDITIONS
VIEW OF ENTRANCE OFF
LINCOLN STREET (1 OF 2)**

**EXISTING CONDITIONS
VIEW OF ENTRANCE OFF LINCOLN
STREET (2 OF 2)**



**PROPOSED CONDITIONS
VIEW OF ENTRANCE OFF
LINCOLN STREET**



**EXISTING CONDITIONS
VIEW ON WEST SIDE OF
CHICKEN BROOK TOWARDS
MAIN STREET**

**PROPOSED CONDITIONS
VIEW ON WEST SIDE OF CHICKEN
BROOK TOWARDS MAIN STREET**



Medway Planning and Economic Development Board
Request for Waiver from Site Plan Rules and Regulations
 Complete 1 form for each waiver request

| | |
|---|--|
| Project Name: | Site Plan Medway Mill |
| Property Location: | 163-165 Main Street |
| Type of Project/Permit: | Major Site Plan |
| Identify the number and title of the relevant Section of the Site Plan Rules and Regulations from which a waiver is sought. | Section 204-3(F) Written Development Impact Statement |
| Summarize the text of the relevant Section of the Rules and Regulations from which a waiver is requested. | To provide a written Development Impact Statement that includes traffic, environmental, neighborhood and parking impact assessments |
| What aspect of the Regulation do you propose be waived? | The preparation of a full traffic and environmental impact assessments |
| What do you propose instead? | The preparation of a brief overview |
| Explanation/justification for the waiver request. Why is the waiver needed? Describe the extenuating circumstances that necessitate the waiver request. | Waiver requested because majority of site is already developed and project is proposed to improve current conditions. No increase in traffic, environmental, neighborhood and parking impacts anticipated. |
| What is the estimated value/cost savings to the applicant if the waiver is granted? | N/A |
| How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development? | Approval would allow significant site and safety improvements to be completed |
| What is the impact on the development if this waiver is denied? | site and safety deficiencies remain unchanged |
| What are the design alternatives to granting this waiver? | N/A |
| Why is granting this waiver in the Town's best interest? | Minimizes site and safety concerns |
| If this waiver is granted, what is the estimated cost savings and/or cost avoidance to the Town? | N/A |
| What mitigation measures do you propose to offset not complying with the particular Rule/Regulation? | N/A |
| What is the estimated value of the proposed mitigation measures? | N/A |
| Other Information? | |
| Waiver Request Prepared By: | Amanda Cavaliere |
| Date: | 2/18/2020 |
| Questions?? - Please contact the Medway PED office at 508-533-3291. | |

Medway Planning and Economic Development Board
Request for Waiver from Site Plan Rules and Regulations
 Complete 1 form for each waiver request

| | |
|---|---|
| Project Name: | Site Plan Medway Mill |
| Property Location: | 163-165 Main Street |
| Type of Project/Permit: | Major Site Plan |
| Identify the number and title of the relevant Section of the Site Plan Rules and Regulations from which a waiver is sought. | Section 204-5(D) (8) Landscape Plan |
| Summarize the text of the relevant Section of the Rules and Regulations from which a waiver is requested. | To provide a landscape plan by a Registered Professional Landscape Architect. |
| What aspect of the Regulation do you propose be waived? | To prepare a landscape plan that is not by a Reg. Professional Landscape Architect |
| What do you propose instead? | Prepare a landscape plan stamped by a Reg. PE. |
| Explanation/justification for the waiver request. Why is the waiver needed? Describe the extenuating circumstances that necessitate the waiver request | Waiver requested because proposed landscaping needs are minimal and services of a Professional Landscape Architect is not necessary |
| What is the estimated value/cost savings to the applicant if the waiver is granted? | N/A |
| How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development? | Approval would allow significant site and safety improvements to be completed |
| What is the impact on the development if this waiver is denied? | N/A |
| What are the design alternatives to granting this waiver? | N/A |
| Why is granting this waiver in the Town's best interest? | N/A |
| If this waiver is granted, what is the estimated cost savings and/or cost avoidance to the Town? | N/A |
| What mitigation measures do you propose to offset not complying with the particular Rule/Regulation? | N/A |
| What is the estimated value of the proposed mitigation measures? | N/A |
| Other Information? | |
| Waiver Request Prepared By: | Amanda Cavaliere |
| Date: | 2/18/2020 |
| Questions?? - Please contact the Medway PED office at 508-533-3291. | |

Medway Planning and Economic Development Board
Request for Waiver from Site Plan Rules and Regulations
 Complete 1 form for each waiver request

| | |
|---|-------------------------------------|
| Project Name: | Site Plan Medway Mill |
| Property Location: | 163-165 Main Street |
| Type of Project/Permit: | Major Site Plan |
| Identify the number and title of the relevant Section of the Site Plan Rules and Regulations from which a waiver is sought. | Section 204-5(B) Site Context Sheet |
| Summarize the text of the relevant Section of the Rules and Regulations from which a waiver is requested. | Section 204-5(B) in its entirety |
| What aspect of the Regulation do you propose be waived? | Full section |
| What do you propose instead? | N/A |
| Explanation/justification for the waiver request. Why is the waiver needed? Describe the extenuating circumstances that necessitate the waiver request | N/A |
| What is the estimated value/cost savings to the applicant if the waiver is granted? | N/A |
| How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development? | N/A |
| What is the impact on the development if this waiver is denied? | N/A |
| What are the design alternatives to granting this waiver? | N/A |
| Why is granting this waiver in the Town's best interest? | N/A |
| If this waiver is granted, what is the estimated cost savings and/or cost avoidance to the Town? | N/A |
| What mitigation measures do you propose to offset not complying with the particular Rule/Regulation? | N/A |
| What is the estimated value of the proposed mitigation measures? | N/A |
| Other Information? | |
| Waiver Request Prepared By: | Amanda Cavaliere |
| Date: | 2/18/2020 |
| Questions?? - Please contact the Medway PED office at 508-533-3291. | |

PGC ASSOCIATES, LLC

1 Toni Lane
Franklin, MA 02038-2648
508.533.8106
gino@pgcassociates.com

August 4, 2020

Mr. Andy Rodenhiser, Chairman
Medway Planning Board
155 Village Street
Medway, MA 02053

RE: MEDWAY MILL MAJOR SITE PLAN REVIEW

Dear Mr. Rodenhiser:

I have reviewed the revised major site plan for Medway Mill under the Site Plans Rules and Regulations adopted by the Planning and Economic Development Board on October 8, 2019. The owner/applicant John Greene, Trustee, 165 Main Street Realty Trust.

The proposal is to add a parking lot, expand a bridge and install drainage improvements within the existing site. Some landscaping is also proposed. The plan was prepared by Guerriere and Hanlon, Inc. of Franklin, and is dated February 14, 2020.

The property is located at 165 Main Street in the AR-II district and is within the Medway Mill Conversion subdistrict of the Adaptive Use Overlay District. I have reviewed the responses from the applicant to the comments in my March 19, 2020 letter. Those comments are repeated below with new comments in **bold** as follows:

1. The project qualifies for major site plan review since it involves “the addition of twenty or more new parking spaces,” as specified in Section 3.5.3.b of the Zoning Bylaw. **OK**
2. Section 204-3-F of the Site Plan Rules and Regulations requires a Development Impact Statement. This was not done, and applicant has requested a waiver. This may be reasonable since no additional development is proposed. **OK**
3. Section 204-3 H requires a Construction Management Plan. Some of the details of such a plan (limit of work and stockpile area) are included on the Erosion Control Plan but a more detailed plan may be useful due to the close proximity of the work to residential abutters. **A construction fence and additional details in the form of notes have been added to the plans to better protect abutters.**
4. Section 204-5-D (8) specifies the contents of a landscape plan. A waiver of the requirement for a Landscape Architect may be appropriate, but another requirement that should be complied with is a maintenance program to ensure the viability of the new plants. The Conservation Commission Order of Conditions will likely address the maintenance of the remediation area, but the parking lot trees and row of shrubs between the parking lot and abutters should be addressed. **A note has been added that newly planted material shall be watered for 90 days. No details on quantity or frequency or pruning or replacement if failed (beyond 1-year guarantee).**

5. Section 204-5-D (13) requires details of certain site amenities. Most of the details have been provided. However, there are no details for the bike racks (which are specifically required). Details of the proposed bike racks, as well as the proposed charging stations should be provided. **Bike rack details have been added as well as details on pervious pavers.**
6. Section 204-5-D (14) requires a master signage plan. Proposed signage should be addressed, including messages to prohibit disposing of trash in the detention basin. **A standard sign detail covering all signs but “Stop” signs has been added to the plan.**
7. Section 207-9-B requires sidewalks to be 5 feet wide. A sidewalk of pavers is proposed to be 4 feet wide. The sidewalk (and bike racks) does comply with the requirement to maximize pedestrian and bicycle access. **The sidewalks have been widened to 5 feet.**
8. Section 207-12 H requires curbing around parking lots. It’s not clear what type of curbing is proposed. **The curbing is specified as vertical granite.**
9. Section 207-13-I requires electric charging stations. Two stations are provided which complies with the requirement. **OK**
10. Section 207-19-C (1) (a) requires that a minimum of 10% of internal parking area shall be provided as landscaped island areas, exclusive of perimeter landscaping. 207-19-C (1)(b) requires landscape islands at the ends of rows with more than 15 parking spaces. The plan shows islands with trees within the parking area. No calculation indicates if the islands represent 10% of the area. Section 207-19-C (1)(d) requires at least 1 deciduous shade tree per 6 parking spaces. At 41 car spaces, 7 trees are required and 7 are provided. **The applicant provided a calculation showing the internal parking area includes 2.3% of landscaped area. It is explained that the layout was determined to minimize impact on the riverfront area. A waiver is needed.**

If there are any questions about these comments, please call or email me.

Sincerely,

A handwritten signature in black ink, appearing to read "Gino D. Carlucci, Jr.", with a stylized flourish at the end.

Gino D. Carlucci, Jr.



March 19, 2020
(revised July 9, 2020)

Ms. Susan E. Affleck-Childs
Medway Planning and Economic Development Coordinator
Medway Town Hall
155 Village Street
Medway, MA 02053

**Re: Medway Mill
Site Plan Review
163-165 Main Street
Medway, Massachusetts**

Dear Ms. Affleck-Childs:

Tetra Tech (TT) has performed a review of the proposed Site Plan for the above-mentioned Project at the request of the Town of Medway Planning and Economic Development Board (PEDB). The proposed Project is located at existing Medway Mill site at 163-165 Main Street in Medway, MA. The Project includes a proposed parking lot, bridge expansion and appurtenant stormwater infrastructure.

TT is in receipt of the following materials:

- A plan (Plans) set titled "Site Plan, Medway Mill, 163-165 Main Street, Medway, Massachusetts", dated February 14, 2020, prepared by Guerrier & Halnon, Inc. (GHI).
- An Application for Major Site Plan Approval, dated February 18, 2020, prepared by GHI.
- Waiver Request forms, dated February 18, 2020, prepared by GHI.
- A Project Narrative, dated February 18, 2020, prepared by GHI.

The Plans and accompanying materials were reviewed for conformance with Chapter 200 of the Town of Medway PEDB Rules and Regulations (Regulations) last amended October 8, 2019 and good engineering practice. Review of the project for zoning, stormwater and wetland related issues was not completed as these reviews are conducted by separate consultants/town agencies.

TT 7/9/20 Update

The Applicant has supplied TT with a revised submission addressing comments provided in our previous letter including the following documents:

- A plan (Plans) set titled "Site Plan, Medway Mill, 163-165 Main Street, Medway, Massachusetts", dated February 14, 2020, revised May 13, 2020, prepared by GHI.
- A Response to Comments letter dated June 18, 2020, prepared by GHI.

The revised Plans and supporting information were reviewed against our previous comment letter (March 19, 2020) and comments have been tracked accordingly. Text shown in gray represents information contained in previous correspondence while new information is shown in black text.

SITE PLAN REVIEW

1. The Applicant has provided a Project narrative but is lacking several required items including the following:
 - a. Current employee counts (Ch. 200 §204-3.C.5)
 - b. Proposed hours of operation (Ch. 200 §204-3.C.6)

- c. Calculation of required vs. proposed parking spaces. (Ch. 200 §204-3.C.8)
- d. Calculation of proposed impervious surfaces. (Ch. 200 §204-3.C.9)
- e. Expected timetable for completion of the Project. (Ch. 200 §204-3.C.10)
- f. List of other permits required and their current status. (Ch. 200 §204-3.C.12)
 - **GHI 6/18/20 Response:** *Items a, b, c and d are depicted on Sheet 4 of 12 for your reference. Applicant is anticipating on completing the proposed activities with 2 years of receiving approval. We are currently in front of Conservation Commission with a Notice of Intent for the proposed project.*
 - TT 7/9/20 Update: In our opinion, this item has been resolved.
- 2. The Applicant has not provided a written Development Impact Statement as required. The Applicant has requested a Waiver from this requirement. (Ch. 200 §204-3.F)
 - **GHI 6/18/20 Response:** *No further action.*
 - TT 7/9/20 Update: No action necessary until PEDB decision on waivers.
- 3. The Applicant has not provided a copy of the Order of Resource Area Delineation (ORAD) from the Medway Conservation Commission. (Ch. 200 §204-3.K)
 - **GHI 6/18/20 Response:** *Currently in review with the Conservation Commission.*
 - TT 7/9/20 Update: No action necessary until Conservation Commission review is complete.
- 4. The Plans are drawn at a scale of 1"=30' which does not meet the required 1"=40' scale requirement. However, we believe the scale at which the Plans are shown is adequate to show the proposed work. We anticipate the Medway Planning and Economic Development Board will require a waiver from this requirement. (Ch. 200 §204-4.B)
 - **GHI 6/18/20 Response:** *Section 204-4.B states: The site plan shall be drawn at a scale of one inch equals forty feet OR one inch equals thirty feet or one inch equals twenty feet or such other scale that has been approved in advance by the Board and that clearly and adequately represents the proposed improvements. A waiver is not required.*
 - TT 7/9/20 Update: In our opinion, this item has been resolved.
- 5. The Town Clerk's no appeal certification shall be placed on the Plans. (Ch. 200 §204-4.E)
 - **GHI 6/18/20 Response:** *Note has been added to the Cover Sheet.*
 - TT 7/9/20 Update: In our opinion, this item has been resolved.
- 6. It appears a sewer easement crosses the site, but it is not adequately labeled. (Ch. 200 §204-5.B.5)
 - **GHI 6/18/20 Response:** *The sewer easement has been labeled.*
 - TT 7/9/20 Update: In our opinion, this item has been resolved.
- 7. A dumpster was observed at the western end of the gravel parking area but it is not shown on the Plans. (Ch. 200 §204-5.C.1)
 - **GHI 6/18/20 Response:** *This is a temporary location. A concrete pad location is proposed for a permanent location of dumpsters.*
 - TT 7/9/20 Update: In our opinion, this item has been resolved.

8. It is unclear if existing trees on-site have been identified within the work area as the plan is difficult to read. The Applicant has requested a Waiver from this requirement. (Ch. 200 §204-5.C.3)
 - **GHI 6/18/20 Response:** *Tree labels within work are enlarged for easy reading.*
 - TT 7/9/20 Update: In our opinion, this item has been resolved.
9. Provide parking setbacks on the Site Plan. (Ch. 200 §204-5.D.3)
 - **GHI 6/18/20 Response:** *The parking offsets have been added to the plan and parking dimensions have been added to the plan.*
 - TT 7/9/20 Update: Parking setbacks are 15 feet and are not shown on the Plans. The setbacks shall be shown similar to building setbacks for reference during the review process.
10. A site utilities plan has not been provided. Lighting is proposed in the parking lot and electrical runs will need to be shown on the Plans. All utilities are to be installed underground. (Ch. 200 §204-5.D.7)
 - **GHI 6/18/20 Response:** *Electrical lines and location shall be coordinated with National Grid and information will be provided after approval of site plan.*
 - TT 7/9/20 Update: We recommend the PEDB Condition this item in the Decision for the Project.
11. The Applicant has provided a Landscape Plan, however, it is not prepared by a Registered Professional Landscape Architect or a MA Certified Landscape Professional. The Applicant has requested a Waiver from this requirement. (Ch. 200 §204-5.D.8.a)
 - **GHI 6/18/20 Response:** *A waiver has been requested.*
 - TT 7/9/20 Update: No action necessary until PEDB decision on waivers.
12. Maintenance notes shall be added to the Landscape Plan to ensure installers and property owners are aware of maintenance tasks to ensure the viability and longevity of the proposed plantings. (Ch. 200 §204-5.D.8.d)
 - **GHI 6/18/20 Response:** *Notes have been added to the Landscaping Plan.*
 - TT 7/9/20 Update: In our opinion, this item has been resolved.
13. The Applicant has not provided renderings of the project. (Ch. 200 §204-5.D.10)
 - **GHI 6/18/20 Response:** *See renderings enclosed by owner/applicant. No new building is proposed.*
 - TT 7/9/20 Update: It is unclear if this requirement would apply to this Project. We defer action on this item to the PEDB.
14. A detail of the bike rack shall be provided on the Plans. (Ch. 200 §204-5.D.13)
 - **GHI 6/18/20 Response:** *A bike rack detail has been added to the Detail sheets.*
 - TT 7/9/20 Update: In our opinion, this item has been resolved.
15. Parking counts shall be added to the proposed zoning summary table. Required vs. proposed parking spaces shall be included. (Ch. 200 §204-5.D.17)
 - **GHI 6/18/20 Response:** *Parking information is located on the general Note Sheet and has been added to the Zoning Summary Table.*
 - TT 7/9/20 Update: In our opinion, this item has been resolved.

16. The Applicant shall show cut-fill analysis on the Plans to determine extent of earthwork at the site. (Ch. 200 §207-8.F)
- *GHI 6/18/20 Response: A cut-fill analysis has been provided as requested on Sheet 6 of the revised Plan set.*
 - TT 7/9/20 Update: The Applicant has reported a net fill of the site of approximately 1,600 cubic yards, which does not trigger the fill schedule required in Ch. 200 §208-1.D. In our opinion, this item has been resolved.
17. Proposed curb type is not provided on the Plans. The Regulations require either Vertical Granite Curb or Cement Concrete Curb along proposed sidewalks. (Ch. 200 §207-9.A.6)
- *GHI 6/18/20 Response: Vertical granite is proposed and is indicated on the site plan. Detail added to sheet 12 of 12.*
 - TT 7/9/20 Update: In our opinion, this item has been resolved.
18. It does not appear the sidewalk from the proposed parking area will meet ADA requirements. (Ch. 200 §207-9.A.7)
- *GHI 6/18/20 Response: The sidewalk has been widened to 5 ft. and shall be constructed with pervious pavers to lessen the impact within the riverfront area. No handicap spaces are proposed in this area. A waiver is requested.*
 - TT 7/9/20 Update: In our opinion, this item has been resolved.
19. Proposed sidewalk is four feet in width which does not comply with the required five-foot width in the Regulations. (Ch. 200 §207-9.B.1)
- *GHI 6/18/20 Response: Has been widened to 5 ft.*
 - TT 7/9/20 Update: In our opinion, this item has been resolved.
20. Proposed curb type not provided on the Plans. (Ch. 200 §207-11.B.2)
- *GHI 6/18/20 Response: Vertical granite curb is proposed within the parking area.*
 - TT 7/9/20 Update: In our opinion, this item has been resolved.
21. Show dimensioning from property line to limit of parking area to ensure minimum 15-foot setback is provided. (Ch. 200 §207-12.G.3.b)
- *GHI 6/18/20 Response: Requesting a waiver to 12 ft. to minimize disturbance within the riverfront.*
 - TT 7/9/20 Update: No action necessary until PEDB decision on waivers. We believe an alternate design is possible for this Project which would allow this requirement to be met while also decreasing impact to the Riverfront Area and reducing impervious cover. A few possible design alternatives include relocating proposed stormwater mitigation below the proposed pavement area, reconfiguring the parking into one drive aisle with parking on either side and decreasing proposed parking to only that required by zoning. The stormwater design is currently under review with the Medway Conservation Commission.
22. Provide radii on protruding edges of curb within the proposed parking area. (Ch. 200 §207-12.H.2)
- *GHI 6/18/20 Response: The radii have been added to the layout of the parking.*
 - TT 7/9/20 Update: The intention of the regulation is to provide a minimum 3 foot radius on all outside, square corners within the parking area to prevent tire puncture.

23. It appears two electric vehicle parking stations have been proposed for the project. However, we believe additional stations may be required based on the parking count for the site. We recommend the PEDB include this as point of discussion during public hearing to determine if the existing parking counts would be subject to this regulation. Additionally, we recommend the Applicant clearly define electric vehicle parking spaces through use of pavement markings to ensure these spaces are not used by non-electric vehicles. (Ch. 200 §207-12.I)
- ***GHI 6/18/20 Response: Pavement markings have been added for electric parking only.***
 - TT 7/9/20 Update: In our opinion, this item has been resolved.
24. Proposed utilities have not been shown on the Plans. All utilities are to be located underground. (Ch. 200 §207-16)
- ***GHI 6/18/20 Response: A note has been added to the utility plan.***
 - TT 7/9/20 Update: In our opinion, this item has been resolved.
25. The building is multi-use and will require proposed shared trash compactors as required. (Ch. 200 §207-17.D)
- ***GHI 6/18/20 Response: A waiver is requested.***
 - TT 7/9/20 Update: No action necessary until PEDB decision on waivers.
26. We expect light levels to be much greater than shown at the property line as what is provided. Light levels shown on the plan end at the property line at reasonably high values (ie. 0.17, 0.18, 0.19, etc.). This may be due to the proposed fence but that information should be provided on the Plan to confirm. We recommend the Applicant also place shielding on the light fixtures to ensure no light trespass extends to residential abutters. (Ch. 200 §207-19.B.2)
- ***GHI 6/18/20 Response: The fence and landscaping is designed to minimize glare onto the abutters. Notes were added to the lighting plan indicating the use of shields if determined if necessary.***
 - TT 7/9/20 Update: We believe an alternate design of the parking layout is possible which will relocate the parking, and appurtenant lighting, further away from abutters as compared to the current design. See Update at Comment 21.
27. Provide a light schedule on the Photometric Plan to confirm light type and specifications. Additionally, proposed times of illumination shall be included. All lighting shall meet the requirements of Zoning Bylaw Section 7.1.2. (Ch. 200 §207-18.A)
- ***GHI 6/18/20 Response: Lighting details and specifications are shown on the Detail sheets.***
 - TT 7/9/20 Update: In our opinion, this item has been resolved.
28. Landscape areas along the residential property lines to the west do not appear to be 15-feet as required by the Regulations. (Ch. 200 §207-19.B.2)
- ***GHI 6/18/20 Response: A fence as well as landscaping should provide enough screen to the abutting properties.***
 - TT 7/9/20 Update: We defer action on this item to the PEDB.
29. It does not appear the proposed parking layout accounts for the minimum 10% landscaped island area. Parking area calculation shows approximately 15,000 sf of new parking area with 10%, or 1,500 sf, of landscaped island required. These islands are exclusive of perimeter landscaping. (Ch. 200 §207-19.C.a)
- ***GHI 6/18/20 Response: The parking was designed to minimize disturbance within the riverfront area.***

- TT 7/9/20 Update: We believe an alternate design of the parking layout is possible to help reduce impervious cover at the site. Reduction in impervious cover would reduce the scope of required landscaped islands to help the Project better align with the Regulations. See Update at Comment 21.
30. The Applicant has provided a standard stormwater drainage design with use of catch basins and infiltrations basins to treat stormwater runoff from the parking area. The Regulations require Applicants to determine feasibility of using LID techniques such as rain gardens and bio-retention areas to treat stormwater. Proposed stormwater design will be reviewed by the Medway Conservation Commission. (Ch. 200 §207-19.C.a)
- **GHI 6/18/20 Response:** *The use of LID techniques was considered during the design process. LID techniques that may have been suitable for this site typically require larger footprint, and it was designed utilizing conventional stormwater BMPs to minimize the disturbance within the protected riverfront area.*
 - TT 7/9/20 Update: The stormwater design is currently under review with the Medway Conservation Commission and for the purposes of this review it is our opinion this item has been resolved.
31. The Applicant shall provide a calculation of proposed tree replacement, it is difficult to read tree sizes on the existing conditions plan. The Applicant has requested a Waiver from this requirement, however, the waiver request does not appear to reference the correct regulation on the Plans. (Ch. 200 §207-19.H)
- **GHI 6/18/20 Response:** *A waiver has been requested.*
 - TT 7/9/20 Update: No action necessary until PEDB decision on waivers.
32. Provisions for irrigation of proposed landscaping shall be provided. (Ch. 200 §207-19.K)
- **GHI 6/18/20 Response:** *Notes were added to the landscaping plan. The contractor/landscaper shall water the newly planted trees for 90 days and guarantee plant stock for 1 year.*
 - TT 7/9/20 Update: In our opinion, this item has been resolved.
33. Proposed fence is white PVC. Fence type and color will need to be reviewed by the Medway Design Review Committee. (Ch. 200 §207-20.A)
- **GHI 6/18/20 Response:** *Acknowledged.*
 - TT 7/9/20 Update: We recommend the PEDB Condition this item in the Decision for the Project. We anticipate the Medway Design Review Committee will recommend alternative colors and textures for the proposed fence.
34. Snow storage areas shall be clearly delineated on the Plans. Landscaping is proposed at the end of parking/drive aisles where snow storage is proposed, and we expect these planting may be damaged during the snow removal effort. (Ch. 200 §207-21)
- **GHI 6/18/20 Response:** *Plantings have been relocated to allow for additional snow storage.*
 - TT 7/9/20 Update: In our opinion, this item has been resolved.

GENERAL COMMENTS

35. The waiver requests do not match up between the forms and what is listed on the Plans. Please coordinate all waiver requests for ease of review.
- **GHI 6/18/20 Response:** *The plans and forms have been revised accordingly.*

- TT 7/9/20 Update: In our opinion, this item has been resolved.
36. Confirm with Medway Fire Department that the proposed fire truck access is sufficient to gain access to the rear of the buildings.
- *GHI 6/18/20 Response: Discussions between the applicant and the Fire Department have been ongoing. The applicant is waiting for a written acknowledgement.*
 - TT 7/9/20 Update: We recommend the PEDB Condition this item in the Decision for the Project. Written correspondence from the Fire Department is recommended.
37. Details of the proposed bridge expansion should be included in the Plans to determine extent of impact to the site.
- *GHI 6/18/20 Response: Bridge to be designed by others upon site plan approval. Color renderings provided as reference.*
 - TT 7/9/20 Update: We anticipate this item will be addressed during the Medway Conservation Commission review of the site. We defer action on this item to the PEDB.
38. We recommend the Applicant extend the painted pedestrian path to the rear entrance to the building.
- *GHI 6/18/20 Response: The pedestrian path has been extended to the concrete platform.*
 - TT 7/9/20 Update: In our opinion, this item has been resolved.
39. The Applicant shall provide a detail of the pervious paver sidewalk.
- *GHI 6/18/20 Response: A detail for pervious pavers has been added to the Detail Sheet.*
 - TT 7/9/20 Update: In our opinion, this item has been resolved.
40. The dumpster enclosure detail gives the option to use either bituminous concrete or cement concrete slab. We recommend the Applicant choose an option. Typically, dumpster pads are cement concrete to prevent settling of the pad due to the weight of the dumpster.
- *GHI 6/18/20 Response: The slab will be cement concrete and the detail has been revised accordingly.*
 - TT 7/9/20 Update: In our opinion, this item has been resolved.

These comments are offered as guides for use during the Town's review and additional comments may be generated during the course of review. The Applicant shall be advised that any absence of comment shall not relieve him/her of the responsibility to comply with all applicable local, state and federal regulations for the Project. If you have any questions or comments, please feel free to contact us at (508) 786-2200.

Very truly yours,



Steven M. Bouley, P.E.
Senior Project Engineer

P:\21583\143-21583-20011 (PEDB MEDWAY MILL)\DOCS\MEDWAY MILL-PEDBREV(2020-07-09).DOCX



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(508) 234-6834/Fax (508) 234-6723

F-3519-1

June 18, 2020

Medway Planning Board
155 Village Street
Medway, MA 02053
Attn: Andy Rodenhiser, Chairman

RE: *Comments from PGC Associates, LLC: Medway Mill, 163-165 Main Street, Medway, MA*

Dear Members of the Board:

On behalf of our client, NRG Concept Inc, Guerriere & Halnon, Inc. has prepared the following information to address the comments contained in the letter from PGC Associates, LLC dated March 19, 2020.

PGC's findings, comments and recommendations are shown in *italics* followed by our response in **bold**.

1. *The project qualifies for major site plan review since it involves "the addition of twenty or more new parking spaces," as specified in Section 3.5.3.b of the Zoning Bylaw.*

GH: Acknowledged.

2. *Section 204-3-F of the Site Plan Rules and Regulations requires a Development Impact Statement. This was not done, and applicant has requested a waiver. This may be reasonable since no additional development is proposed.*

GH: Acknowledged.

3. *Section 204-3 H requires a Construction Management Plan. Some of the details of such a plan (limit of work and stockpile area) are included on the Erosion Control Plan but a more detailed plan may be useful due to the close proximity of the work to residential abutters.*

GH: Construction fence and notes have been added to the proposed work area for safety of abutters.

4. *Section 204-5-D (8) specifies the contents of a landscape plan. A waiver of the requirement for a Landscape Architect may be appropriate, but another requirement that should be complied with is a maintenance program to ensure the viability of the new plants. The Conservation Commission Order of Conditions will likely address the maintenance of the remediation area, but the parking lot trees and row of shrubs between the parking lot and abutters should be addressed.*

GH: A note has been added to the landscaping plan.

5. *Section 204-5-D (13) requires details of certain site amenities. Most of the details have been provided. However, there are no details for the bike racks (which are specifically required). Details of the proposed bike racks, as well as the proposed charging stations should be provided.*

GH: Details for bike racks and pervious pavers have been added to the detail sheets.

6. *Section 204-5-D (14) requires a master signage plan. Proposed signage should be addressed, including messages to prohibit disposing of trash in the detention basin.*

GH: Signage for electric car parking, stop sign, no parking fire lane, no trash within the detention Area, and no snow storage on the sidewalk has been added to the detail sheets.

7. *Section 207-9-B requires sidewalks to be 5 feet wide. A sidewalk of pavers is proposed to be 4 feet wide. The sidewalk (and bike racks) does comply with the requirement to maximize pedestrian and bicycle access.*

GH: The sidewalks have been widened to 5 ft. See bike rack detail sheet 12 of 12

8. *Section 207-12 H requires curbing around parking lots. It's not clear what type of curbing is proposed.*

GH: Vertical granite curb is proposed and labeled on the site plan. Detail added to sheet 12 of 12

9. *Section 207-13-I requires electric charging stations. Two stations are provided which complies with the requirement.*

GH: Added pavement markings for charging parking only.

10. *Section 207-19-C (1) (a) requires that a minimum of 10% of internal parking area shall be provided as landscaped island areas, exclusive of perimeter landscaping. 207-19-C (1)(b) requires landscape islands at the ends of rows with more than 15 parking spaces. The plan shows islands with trees within the parking area. No calculation indicates if the islands represent 10% of the area. Section 207-19-C (1)(d) requires at least 1 deciduous shade tree per 6 parking spaces. At 41 car spaces, 7 trees are required and 7 are provided.*

**GH: total parking area = 16,213 sf. island area = 368 sf for 2.3% of total parking.
The layout for the parking was to minimize the impact to the riverfront.**

We believe these responses have addressed the concerns expressed by PGC from their review letter. Should you have any further questions or concerns, please contact our office.

Sincerely,
Guerriere & Halnon, Inc.

Amanda Cavaliere

Amanda Cavaliere
Franklin Office Manager



Guerriere & Halnon, Inc.

ENGINEERING & LAND SURVEYING

www.gandhengineering.com

Est. 1972

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Whitinsville Office
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Whitinsville, MA 01588-2121
(508) 234-6834/Fax (508) 234-6723

F-3519-1

June 18, 2020

Medway Planning Board
155 Village Street
Medway, MA 02053
Attn: Susan Affleck-Childs

RE: *Comments from Tetra Tech: Medway Mill, 163-165 Main Street, Medway, MA*

Dear Members of the Commission:

On behalf of our client, NRG Concept Inc., Guerriere & Halnon, Inc. has prepared the following information to address the comments contained in the letter from Tetra Tech dated March 19, 2020.

Tetra Tech's findings, comments and recommendations are shown in *italics* followed by our response in **bold**.

SITE PLAN REVIEW

1. *The Applicant has provided a Project narrative but is lacking several required items including the following:*
 - a. *Current employee counts (Ch. 200 §204-3.C.5)*
 - b. *Proposed hours of operation (Ch. 200 §204-3.C.6)*
 - c. *Calculation of required vs. proposed parking spaces. (Ch. 200 §204-3.C.8)*
 - d. *Calculation of proposed impervious surfaces. (Ch. 200 §204-3.C.9)*
 - e. *Expected timetable for completion of the Project. (Ch. 200 §204-3.C.10)*
 - f. *List of other permits required and their current status. (Ch. 200 §204-3.C.12)*

GH: Items a, b, c and d are depicted on Sheet 4 of 12 for your reference. Applicant is anticipating on completing the proposed activities within 2 years of receiving approval. We are currently in front of Conservation Commission with a Notice of Intent for the proposed project.

2. *The Applicant has not provided a written Development Impact Statement as required. The Applicant has requested a Waiver from this requirement. (Ch. 200 §204-3.F)*

GH: No further action

3. *The Applicant has not provided a copy of the Order of Resource Area Delineation (ORAD) from the Medway Conservation Commission. (Ch. 200 §204-3.K)*

GH: Currently in review with the Conservation Commission

4. *The Plans are drawn at a scale of 1"=30' which does not meet the required 1"=40' scale requirement. However, we believe the scale at which the Plans are shown is adequate to show the proposed work. We anticipate the Medway Planning and Economic Development Board will require a waiver from this requirement. (Ch. 200 §204-4.B)*

GH: Section 204-4.B states : The site plan shall be drawn at a scale of one inch equals forty feet OR one inch equals thirty feet or one inch equals twenty feet or such other scale that has been approved in advance by the Board and that clearly and adequately represents the proposed improvements. A waiver is not required.

5. *The Town Clerk's no appeal certification shall be placed on the Plans. (Ch. 200 §204-4.E)*

GH: Note has been added to the Cover sheet.

6. *It appears a sewer easement crosses the site, but it is not adequately labeled. (Ch. 200 §204-5.B.5)*

GH: The sewer easement has been labelled.

7. *A dumpster was observed at the western end of the gravel parking area but it is not shown on the Plans. (Ch. 200 §204-5.C.1)*

GH: This is a temporary location. A concrete pad location is proposed for a permanent location of dumpsters.

8. *It is unclear if existing trees on-site have been identified within the work area as the plan is difficult to read. The Applicant has requested a Waiver from this requirement. (Ch. 200 §204-5.C.3)*

GH: Tree labels within work are enlarged for easy reading.

9. *Provide parking setbacks on the Site Plan. (Ch. 200 §204-5.D.3)*

GH: The parking offsets have been added to the plan and parking dimensions have been added to the plan.

10. *A site utilities plan has not been provided. Lighting is proposed in the parking lot and electrical runs will need to be shown on the Plans. All utilities are to be installed underground. (Ch. 200 §204-5.D.7)*

GH: Electrical lines and location shall be coordinated with National Grid and information will be provided after approval of site plan.

11. *The Applicant has provided a Landscape Plan, however, it is not prepared by a Registered Professional Landscape Architect or a MA Certified Landscape Professional. The Applicant has requested a Waiver from this requirement. (Ch. 200 §204-5.D.8.a)*

GH: A waiver has been requested.

12. *Maintenance notes shall be added to the Landscape Plan to ensure installers and property owners are aware of maintenance tasks to ensure the viability and longevity of the proposed plantings. (Ch. 200 §204-5.D.8.d)*

GH: Notes have been added to the Landscaping Plan.

13. *The Applicant has not provided renderings of the project. (Ch. 200 §204-5.D.10)*

GH: See renderings enclosed by owner/applicant. No new building is proposed.

14. *A detail of the bike rack shall be provided on the Plans. (Ch. 200 §204-5.D.13)*

GH: A bike rack detail has been added to the Detail sheets.

15. *Parking counts shall be added to the proposed zoning summary table. Required vs. proposed parking spaces shall be included. (Ch. 200 §204-5.D.17)*

GH: Parking information is located on the General Note Sheet and has been added to the Zoning Summary Table

16. *The Applicant shall show cut-fill analysis on the Plans to determine extent of earthwork at the site. (Ch. 200 §207-8.F)*

GH: A cut-fill analysis has been provided as requested on Sheet 6 of the revised plan set.

17. *Proposed curb type is not provided on the Plans. The Regulations require either Vertical Granite Curb or Cement Concrete Curb along proposed sidewalks. (Ch. 200 §207-9.A.6)*

GH: Vertical granite is proposed and is indicated on the site plan. Detail added to sheet 12 of 12

18. *It does not appear the sidewalk from the proposed parking area will meet ADA requirements. (Ch. 200 §207-9.A.7)*

GH: The sidewalk has been widened to 5 ft. and shall be constructed with pervious pavers to lessen the impact within the riverfront area. No handicap spaces are proposed in this area. A waiver is requested.

19. *Proposed sidewalk is four feet in width which does not comply with the required five-foot width in the Regulations. (Ch. 200 §207-9.B.1)*

GH: Has been widened to 5ft.

20. *Proposed curb type not provided on the Plans. (Ch. 200 §207-11.B.2)*

GH: Vertical granite curb is proposed within the parking area.

21. *Show dimensioning from property line to limit of parking area to ensure minimum 15-foot setback is provided. (Ch. 200 §207-12.G.3.b)*

GH: Requesting a waiver to 12ft. to minimize disturbance within the riverfront.

22. *Provide radii on protruding edges of curb within the proposed parking area. (Ch. 200 §207-12.H.2)*

GH: The radii have been added to the layout of the parking.

23. *It appears two electric vehicle parking stations have been proposed for the project. However, we believe additional stations may be required based on the parking count for the site. We recommend the PEDB include this as point of discussion during public hearing to determine if the existing parking counts would be subject to this regulation. Additionally, we recommend the Applicant clearly define electric vehicle parking spaces through use of pavement markings to ensure these spaces are not used by non-electric vehicles. (Ch. 200 §207-12.I)*

GH: Pavement markings have been added for electric parking only.

24. *Proposed utilities have not been shown on the Plans. All utilities are to be located underground. (Ch. 200 §207-16)*

GH: A note has been added to the utility plan.

25. *The building is multi-use and will require proposed shared trash compactors as required. (Ch. 200 §207-17.D)*

GH: A waiver is requested.

26. *We expect light levels to be much greater than shown at the property line as what is provided. Light levels shown on the plan end at the property line at reasonably high values (ie. 0.17, 0.18, 0.19, etc.). This may be due to the proposed fence but that information should be provided on the Plan to confirm. We recommend the Applicant also place shielding on the light fixtures to ensure no light trespass extends to residential abutters. (Ch. 200 §207-19.B.2)*

GH: The fence and landscaping is designed to minimize glare onto the abutters. Notes were added to the lighting plan indicating the use of shields if determined necessary.

27. *Provide a light schedule on the Photometric Plan to confirm light type and specifications. Additionally, proposed times of illumination shall be included. All lighting shall meet the requirements of Zoning Bylaw Section 7.1.2. (Ch. 200 §207-18.A)*

GH: Lighting details and specifications are shown on the Detail sheets.

28. *Landscape areas along the residential property lines to the west do not appear to be 15-feet as required by the Regulations. (Ch. 200 §207-19.B.2)*

GH: A fence as well as landscaping should provide enough screen to the abutting properties.

29. *It does not appear the proposed parking layout accounts for the minimum 10% landscaped island area. Parking area calculation shows approximately 15,000 sf of new parking area with 10%, or 1,500 sf, of landscaped island required. These islands are exclusive of perimeter landscaping. (Ch. 200 §207- 19.C.a)*

GH: The parking was designed to minimize the disturbance within the riverfront area.

30. *The Applicant has provided a standard stormwater drainage design with use of catch basins and infiltrations basins to treat stormwater runoff from the parking area. The Regulations require Applicants to determine feasibility of using LID techniques such as rain gardens and bio-retention areas to treat stormwater. Proposed stormwater design will be reviewed by the Medway Conservation Commission. (Ch. 200 §207-19.C.a)*

GH: The use of LID techniques was considered during the design process. LID techniques that may have been suitable for this site typically require a larger footprint, and it was designed utilizing conventional stormwater BMPs to minimize the disturbance within the protected riverfront area.

31. *The Applicant shall provide a calculation of proposed tree replacement, it is difficult to read tree sizes on the existing conditions plan. The Applicant has requested a Waiver from this requirement; however, the waiver request does not appear to reference the correct regulation on the Plans. (Ch. 200 §207- 19.H)*

GH: A waiver has been requested.

32. *Provisions for irrigation of proposed landscaping shall be provided. (Ch. 200 §207-19.K)*

GH: Notes were added to the landscaping plan. The contractor/landscaper shall water the newly planted trees for 90 days and guarantee plant stock for 1 year.

33. *Proposed fence is white PVC. Fence type and color will need to be reviewed by the Medway Design Review Committee. (Ch. 200 §207-20.A)*

GH: Acknowledged.

34. *Snow storage areas shall be clearly delineated on the Plans. Landscaping is proposed at the end of parking/drive aisles where snow storage is proposed, and we expect these planting may be damaged during the snow removal effort. (Ch. 200 §207-21)*

GH: Plantings have been relocated to allow for additional snow storage.

GENERAL COMMENTS

35. *The waiver requests do not match up between the forms and what is listed on the Plans. Please coordinate all waiver requests for ease of review.*

GH: The plans and forms have been revised accordingly.

36. *Confirm with Medway Fire Department that the proposed fire truck access is sufficient to gain access to the rear of the buildings.*

GH: Discussions between the applicant and the Fire Department have been on going. The applicant is waiting for a written acknowledgment.

37. *Details of the proposed bridge expansion should be included in the Plans to determine extent of impact to the site.*

GH: Bridge to be designed by others upon site plan approval. Color renderings provided as reference.

38. *We recommend the Applicant extend the painted pedestrian path to the rear entrance to the building.*

GH: The pedestrian path has been extended to the concrete platform.

39. *The Applicant shall provide a detail of the pervious paver sidewalk.*

GH: A detail for pervious pavers has been added to the Detail Sheet.

40. *The dumpster enclosure detail gives the option to use either bituminous concrete or cement concrete slab. We recommend the Applicant choose an option. Typically, dumpster pads are cement concrete to prevent settling of the pad due to the weight of the dumpster.*

GH: The slab with be cement concrete and the detail has revised accordingly.

We believe these responses have addressed the concerns expressed by Tetra Tech from their review letter. Should you have any further questions or concerns, please contact our office.

Sincerely,
Guerriere & Halnon, Inc.



Amanda Cavaliere
Franklin Office Manager

Color Renderings of Existing/Proposed Bridge Construction
Medway Mills 163-165 Main Street
Date: May 14, 2020



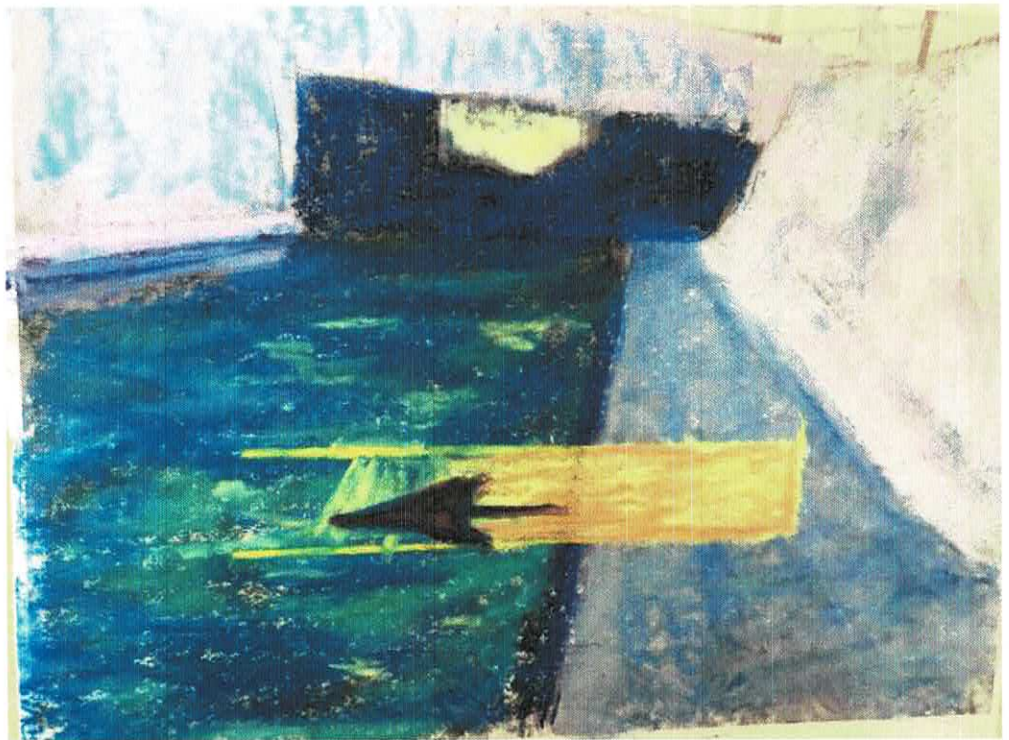
Color Renderings of Existing/Proposed Bridge Construction
Medway Mills 163-165 Main Street
Date: May 14, 2020



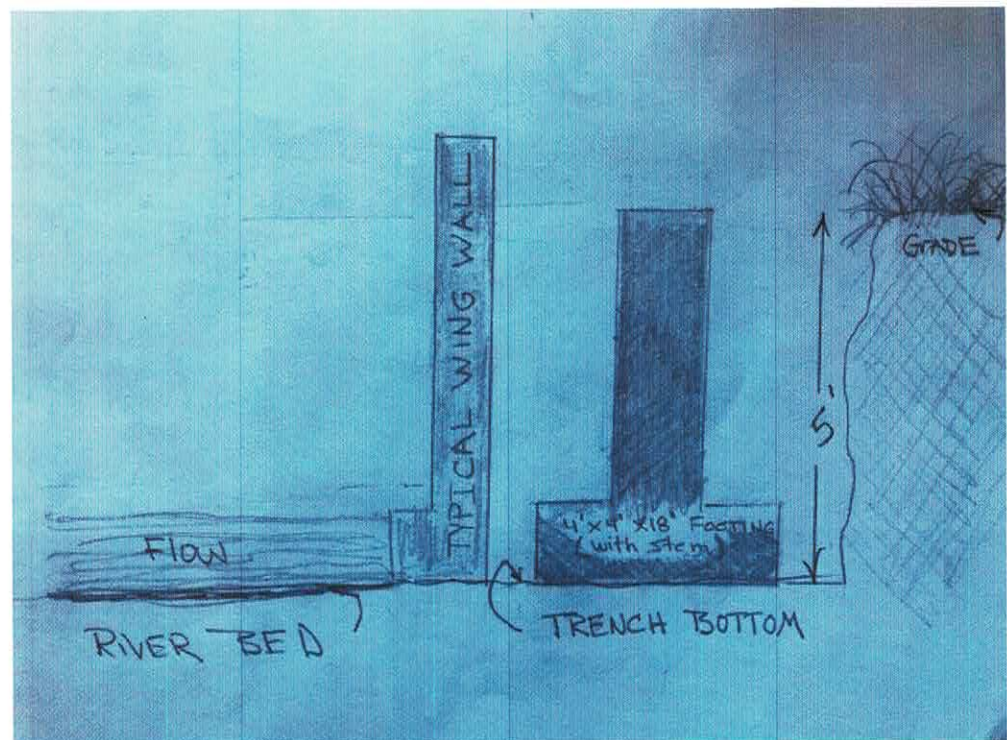
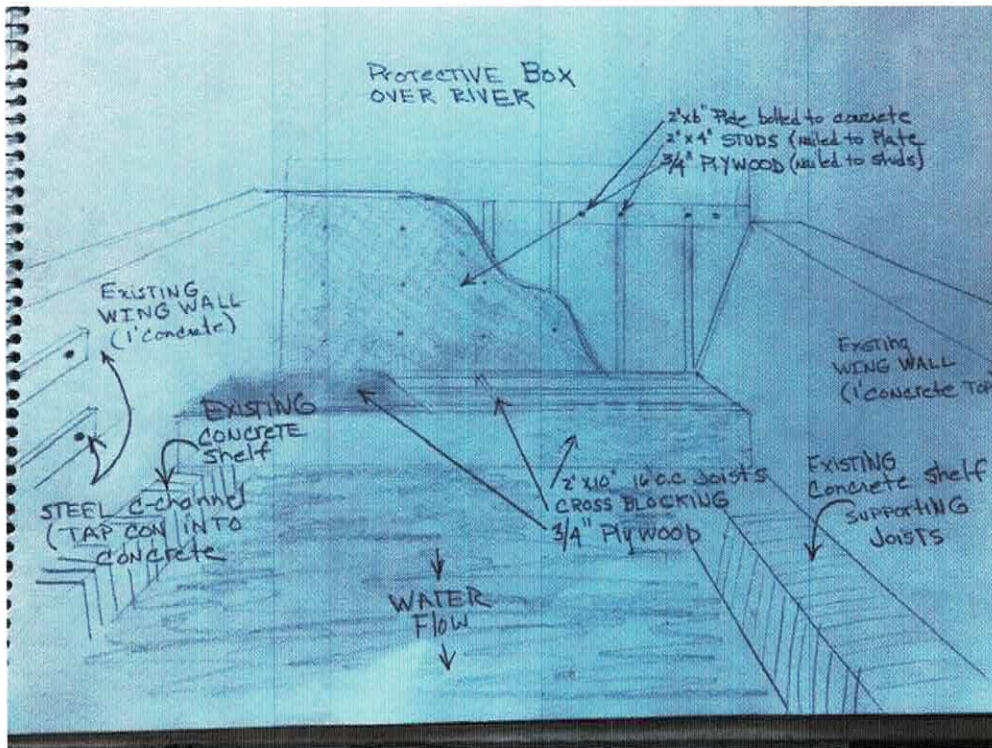
**Color Renderings of Existing/Proposed Bridge Construction
Medway Mills 163-165 Main Street
Date: May 14, 2020**



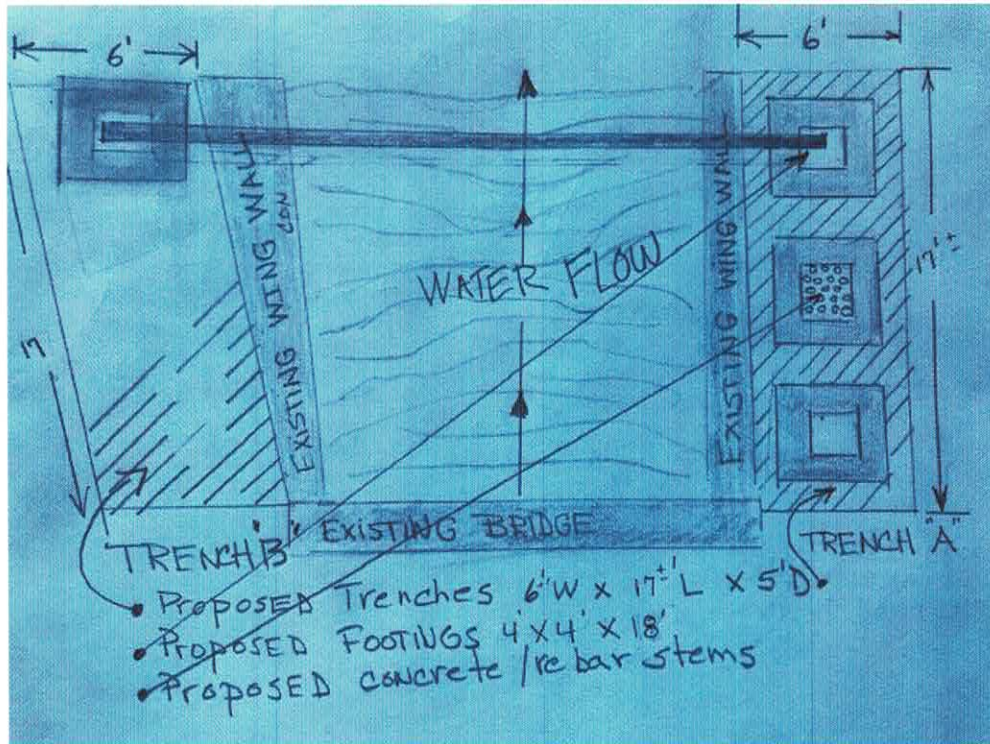
Color Renderings of Existing/Proposed Bridge Construction
Medway Mills 163-165 Main Street
Date: May 14, 2020



Color Renderings of Existing/Proposed Bridge Construction
Medway Mills 163-165 Main Street
Date: May 14, 2020



Color Renderings of Existing/Proposed Bridge Construction
Medway Mills 163-165 Main Street
Date: May 14, 2020



**MEDWAY MILLS
163-165 MAIN STREET**



**EXISTING CONDITIONS
SOUTHEAST OF EXISTING METAL BUILDING**



**PROPOSED CONDITIONS
SOUTHEAST OF EXISTING METAL BUILDING**

**MEDWAY MILLS
163-165 MAIN STREET**



**EXISTING CONDITIONS
VIEW OF EXISTING BRIDGE
FROM
ENTRANCE OFF MAIN STREET**

**PROPOSED CONDITIONS
VIEW OF EXISTING BRIDGE FROM
ENTRANCE OFF MAIN STREET**





**EXISTING CONDITIONS
VIEW OF EXISTING BRIDGE
FROM
PARKING AREA ON WEST SIDE
OF CHICKEN BROOK**

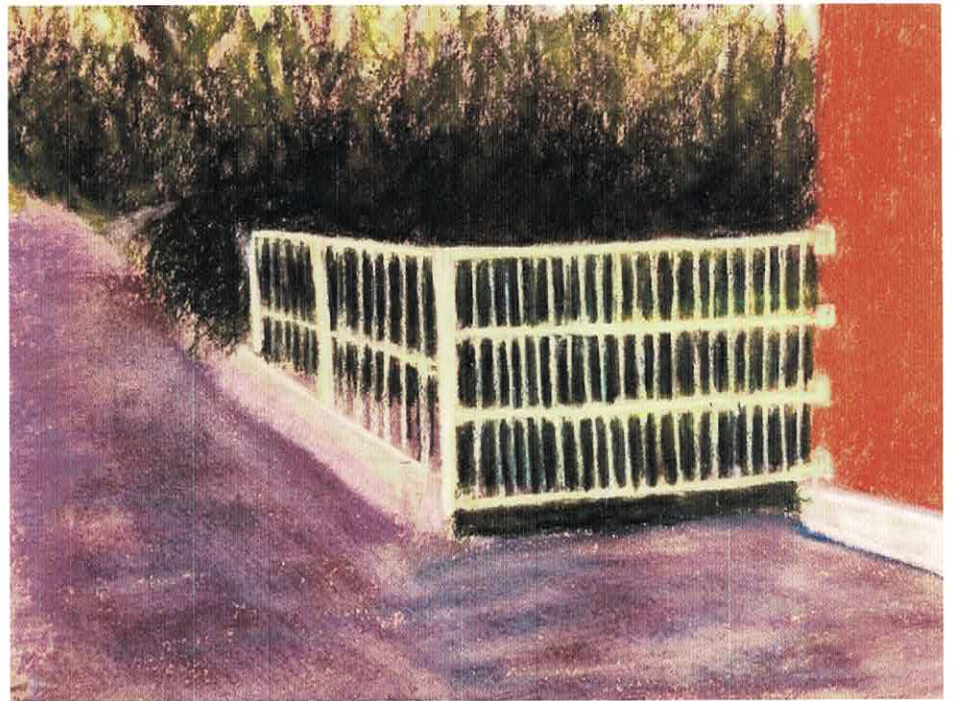
**PROPOSED CONDITIONS
VIEW OF EXISTING BRIDGE
FROM
PARKING AREA ON WEST SIDE
OF CHICKEN BROOK**





**EXISTING CONDITIONS
VIEW OF EXISTING BRIDGE
FROM
EAST SIDE OF CHICKEN BROOK**

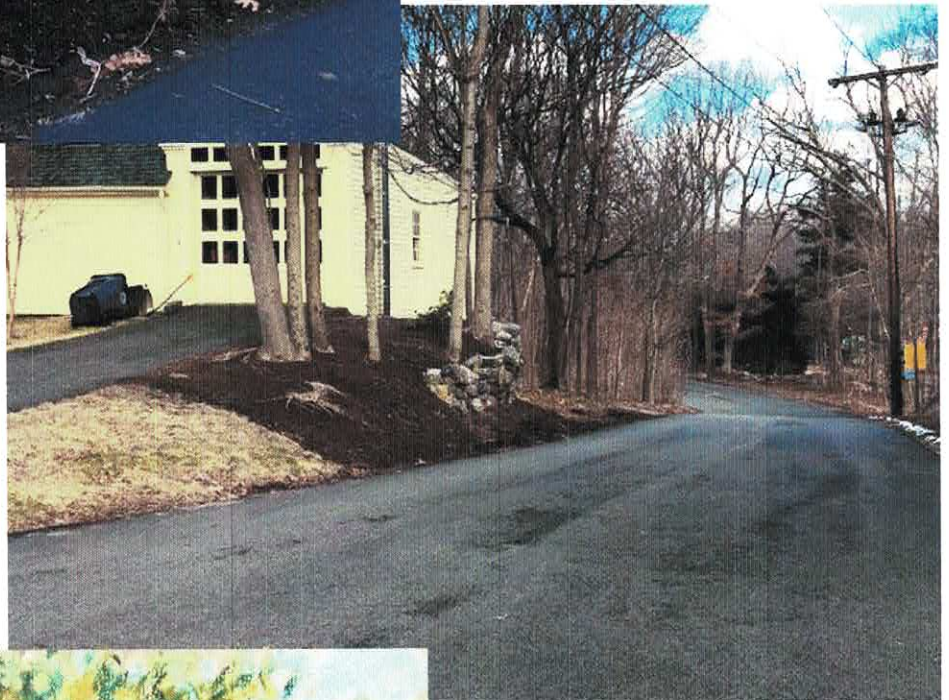
**PROPOSED CONDITIONS
VIEW OF EXISTING BRIDGE
FROM
EAST SIDE OF CHICKEN BROOK**





**EXISTING CONDITIONS
VIEW OF ENTRANCE OFF
LINCOLN STREET (1 OF 2)**

**EXISTING CONDITIONS
VIEW OF ENTRANCE OFF LINCOLN
STREET (2 OF 2)**



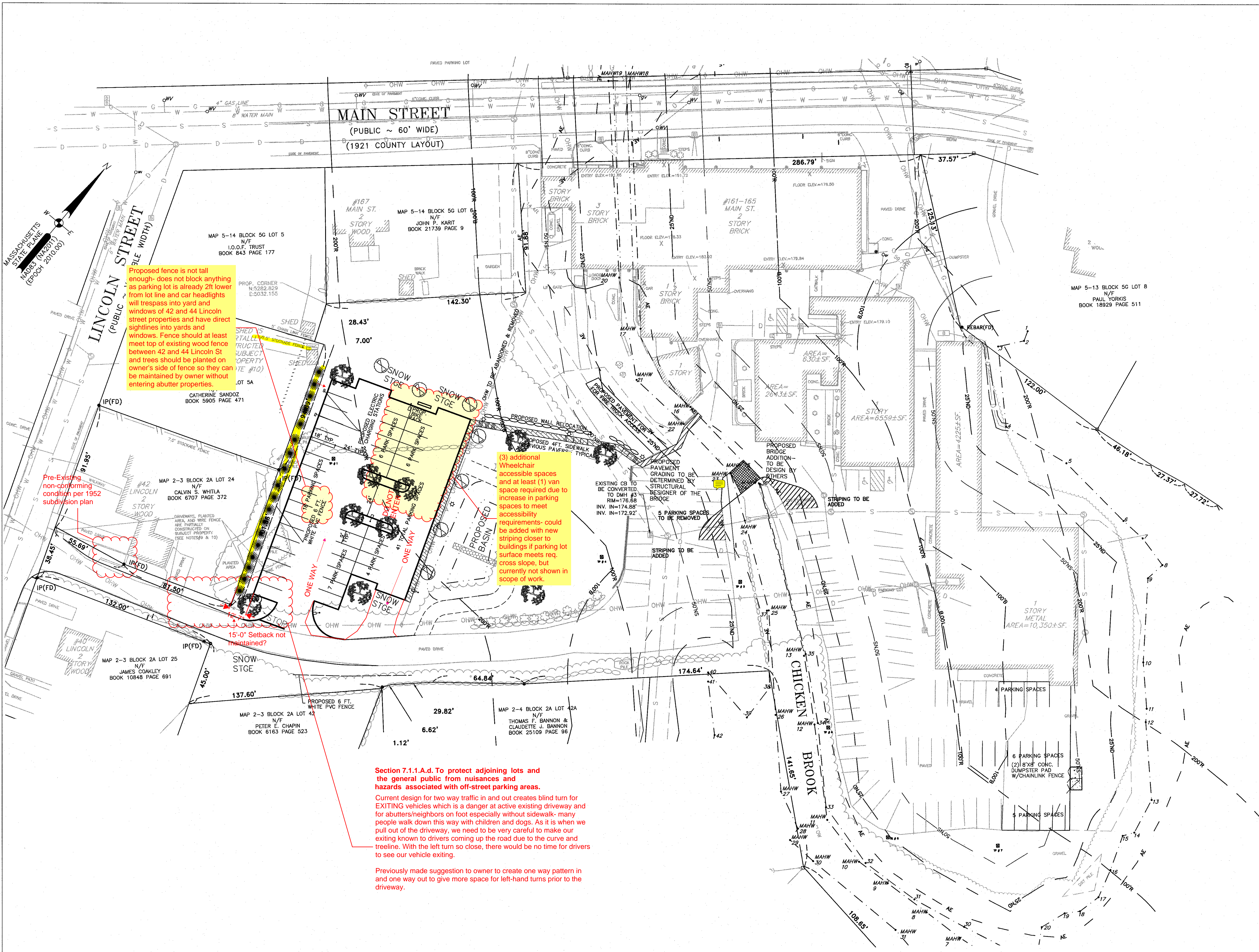
**PROPOSED CONDITIONS
VIEW OF ENTRANCE OFF
LINCOLN STREET**



**EXISTING CONDITIONS
VIEW ON WEST SIDE OF
CHICKEN BROOK TOWARDS
MAIN STREET**

**PROPOSED CONDITIONS
VIEW ON WEST SIDE OF CHICKEN
BROOK TOWARDS MAIN STREET**



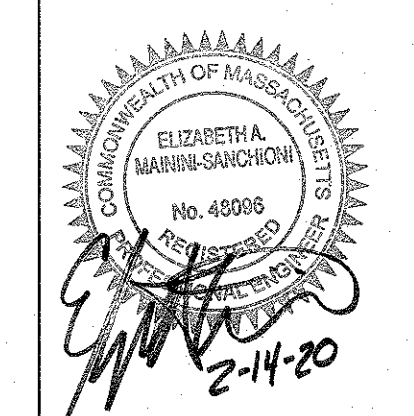


Proposed fence is not tall enough- does not block anything as parking lot is already 2ft lower from lot line and car headlights will trespass into yard and windows of 42 and 44 Lincoln street properties and have direct sightlines into yards and windows. Fence should at least meet top of existing wood fence between 42 and 44 Lincoln St and trees should be planted on owner's side of fence so they can be maintained by owner without entering abutter properties.

Pre-Existing non-conforming condition per 1952 subdivision plan

(3) additional Wheelchair accessible spaces and at least (1) van space required due to increase in parking spaces to meet accessibility requirements- could be added with new striping closer to buildings if parking lot surface meets req. cross slope, but currently not shown in scope of work.

Section 7.1.1.A.d. To protect adjoining lots and the general public from nuisances and hazards associated with off-street parking areas. Current design for two way traffic in and out creates blind turn for EXITING vehicles which is a danger at active existing driveway and for abutters/neighbors on foot especially without sidewalk- many people walk down this way with children and dogs. As it is when we pull out of the driveway, we need to be very careful to make our exiting known to drivers coming up the road due to the curve and treeline. With the left turn so close, there would be no time for drivers to see our vehicle exiting. Previously made suggestion to owner to create one way pattern in and one way out to give more space for left-hand turns prior to the driveway.



APPROVED DATE: _____

MEDWAY PLANNING BOARD

BEING A MAJORITY

ENDORSEMENT DATE _____

UTILITIES ARE PLOTTED AS A COMPILATION OF RECORD DOCUMENTS, MARKINGS AND OTHER OBSERVED EVIDENCE TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES AND SHOULD BE CONSIDERED APPROXIMATE. PRIOR TO EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. ADDITIONAL UTILITIES, NOT EVIDENCED BY RECORD DOCUMENTS OR OBSERVED PHYSICAL EVIDENCE, MAY EXIST. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING AND CALL DIGSAFE AT 1(888)DIG-SAFE(7233).

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

OWNER

165 MAIN STREET REALTY TRUST
JOHN J. GREENE TRUSTEE
165 MAIN STREET
SUITE 307
MEDWAY, MA

DEED BOOK 24499 PAGE 10
A.M. 48 LOT 092

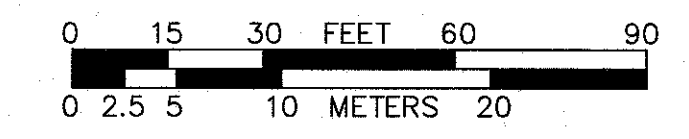
APPLICANT

NRG CONCEPTS, INC.
165 MAIN STREET
SUITE 307
MEDWAY, MA. 02053

**SITE PLAN
MEDWAY MILL
163-165 MAIN STREET
MEDWAY
MASSACHUSETTS**

SITE LAYOUT

| FEBRUARY 14, 2020 | |
|-------------------|----------------------|
| DATE | REVISION DESCRIPTION |
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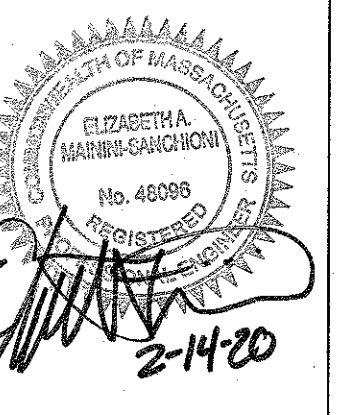


Guerriere & Halnon, Inc.
ENGINEERING & LAND SURVEYING
55 WEST CENTRAL ST. PH. (508) 528-3221
FRANKLIN, MA 02038 FX. (508) 528-7921
www.gandhengineering.com



Note: Pre-Existing
Non-conforming
condition original to
property 42 Lincoln
per 1952 subdivision
plan- stone wall that
crosses lot line is
original stone
foundation wall
integral to structure

Driveways existed
prior to subject area
purchase in 2007 and
is included on most
recent lot plans
recorded.



F3519

APPROVED DATE: _____

MEDWAY PLANNING BOARD

BEING A MAJORITY

ENDORSEMENT DATE _____

UTILITIES ARE PLOTTED AS A COMPILATION OF RECORD DOCUMENTS, MARKINGS AND OTHER OBSERVED EVIDENCE TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES AND SHOULD BE CONSIDERED APPROXIMATE. EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DEPICTED. ADDITIONAL UTILITIES, NOT EVIDENCED BY RECORD DOCUMENTS OR OBSERVED PHYSICAL EVIDENCE, MAY EXIST. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING AND CALL DIGSAFE AT 1(888)DIG-SAFE[7233].

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OWNER

165 MAIN STREET REALTY TRUST
JOHN J. GREENE TRUSTEE
165 MAIN STREET
SUITE 307
MEDWAY, MA

DEED BOOK 24499 PAGE 10
A.M. 48 LOT 092

APPLICANT

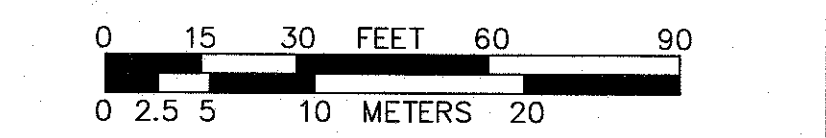
NRG CONCEPTS, INC.
165 MAIN STREET
SUITE 307
MEDWAY, MA. 02053

**SITE PLAN
MEDWAY MILL
163-165 MAIN STREET
MEDWAY
MASSACHUSETTS**

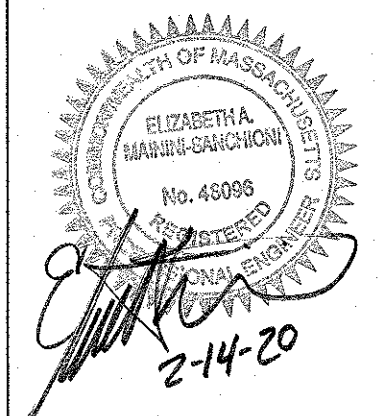
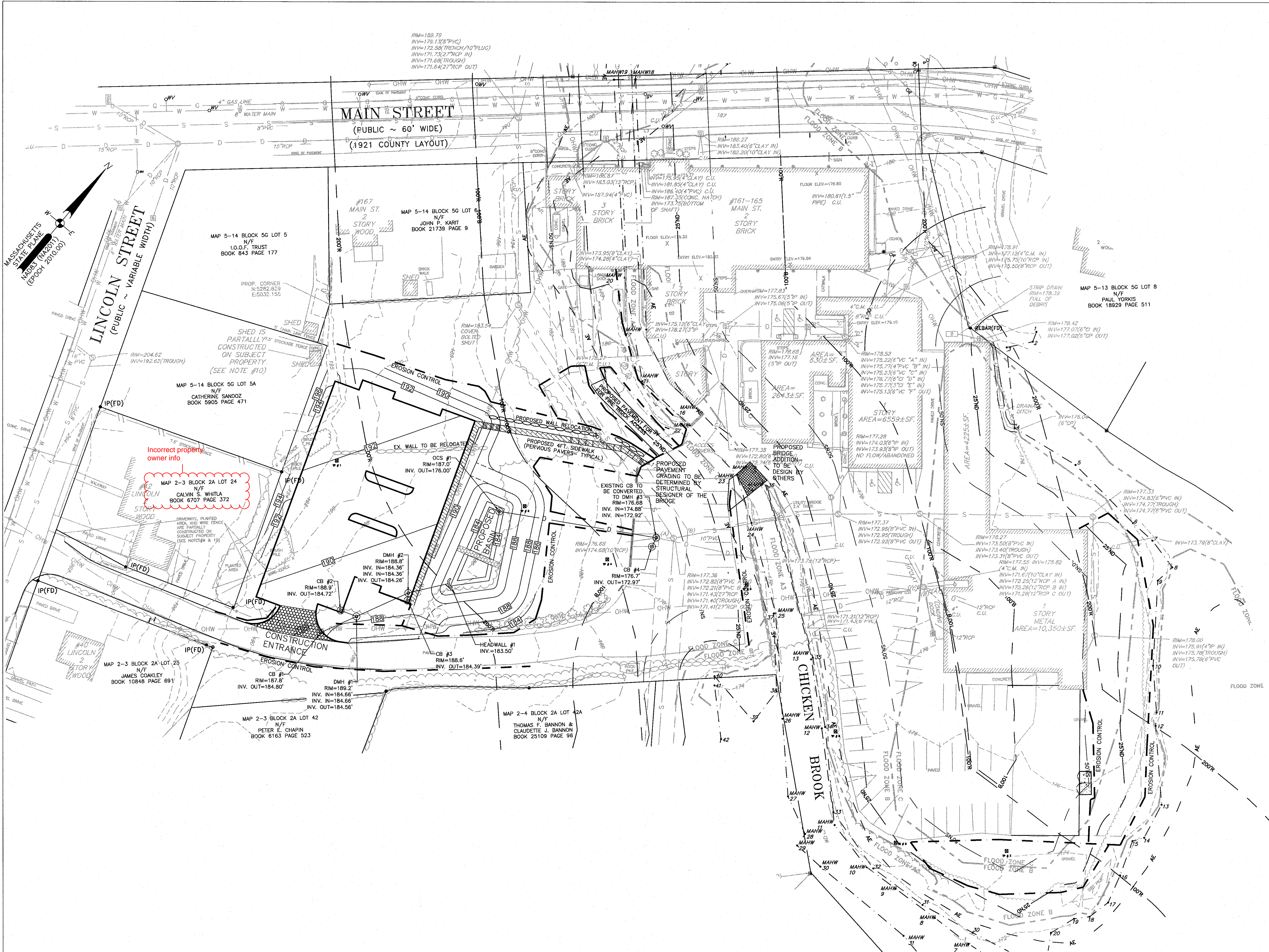
**EROSION CONTROL
LIMIT OF CLEARING**

FEBRUARY 14, 2020

| DATE | REVISION DESCRIPTION |
|------|----------------------|
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 **Guerriere & Halnon, Inc.**
ENGINEERING & LAND SURVEYING
55 WEST CENTRAL ST. PH. (508) 528-3221
FRANKLIN, MA 02038 FX. (508) 528-7921
www.gandhengineering.com



APPROVED DATE: _____

MEDWAY PLANNING BOARD

BEING A MAJORITY

ENDORSEMENT DATE _____

UTILITIES ARE PLOTTED AS A COMPILATION OF RECORD DOCUMENTS, MARKINGS AND OTHER OBSERVED EVIDENCE TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES AND SHOULD BE CONSIDERED APPROXIMATE. EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY COMPLETELY AND RELIABLY DEPICTED. ADDITIONAL UTILITIES, NOT EVIDENCED BY RECORD DOCUMENTS OR OBSERVED PHYSICAL EVIDENCE, MAY EXIST. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING AND CALL DIGSAFE AT 1(888)DIG-SAFE(72333).

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OWNER

165 MAIN STREET REALTY TRUST
JOHN J. GREENE TRUSTEE
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DEED BOOK 24499 PAGE 10
A.M. 48 LOT 092

APPLICANT

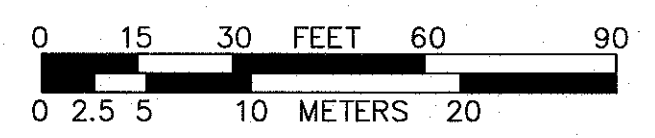
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165 MAIN STREET
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**SITE PLAN
MEDWAY MILL
163-165 MAIN STREET
MEDWAY
MASSACHUSETTS**

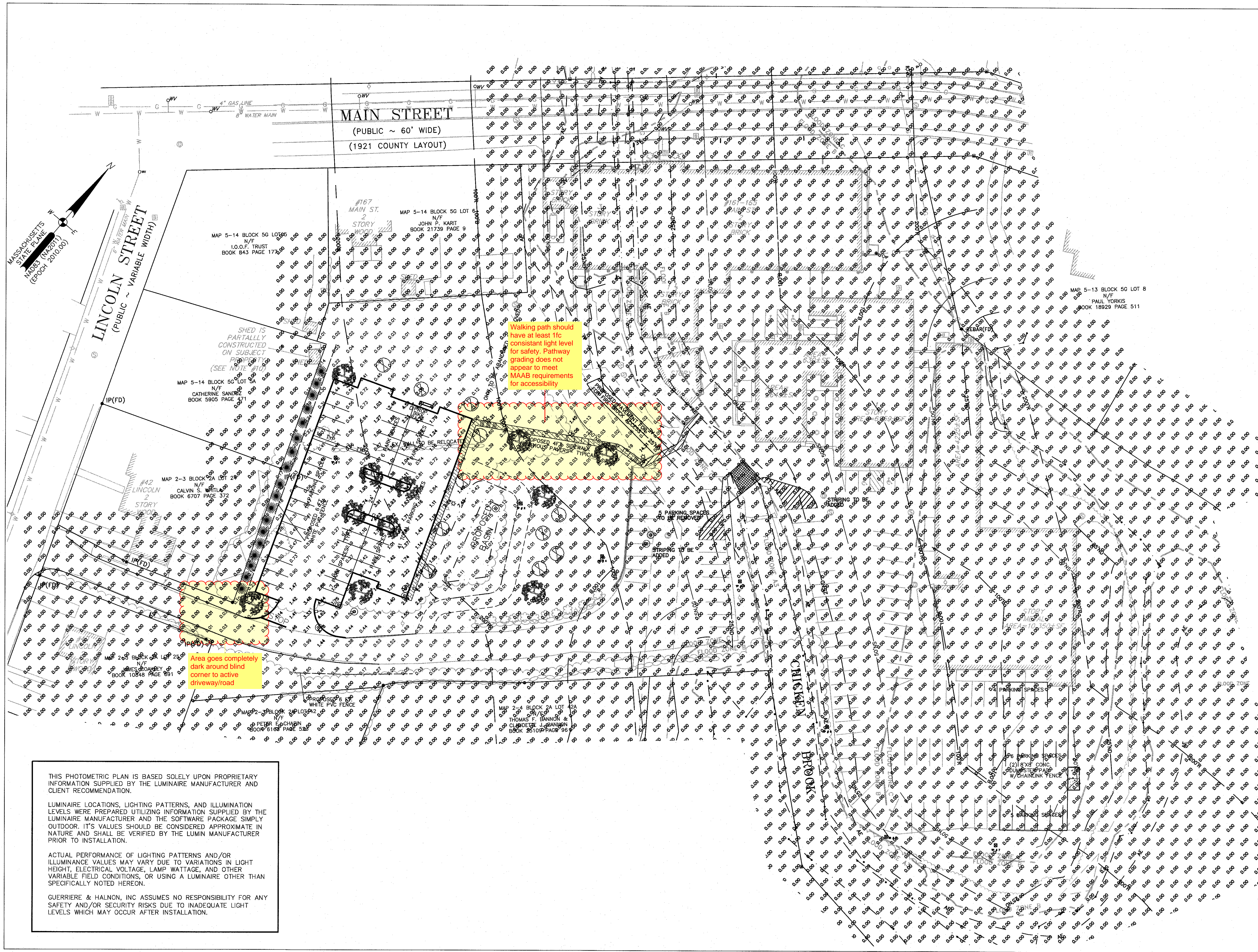
GRADING AND DRAINAGE

FEBRUARY 14, 2020

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F3519

APPROVED DATE:

MEDWAY PLANNING BOARD

BEING A MAJORITY

ENDORSEMENT DATE

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OWNER

165 MAIN STREET REALTY TRUST
JOHN J. GREENE TRUSTEE
165 MAIN STREET
SUITE 307
MEDWAY, MA

DEED BOOK 24499 PAGE 10
A.M. 48 LOT 092

APPLICANT

NRG CONCEPTS, INC.
165 MAIN STREET
SUITE 307
MEDWAY, MA. 02053

SITE PLAN
MEDWAY MILL
163-165 MAIN STREET
MEDWAY
MASSACHUSETTS

PHOTOMETRICS

FEBRUARY 14, 2020

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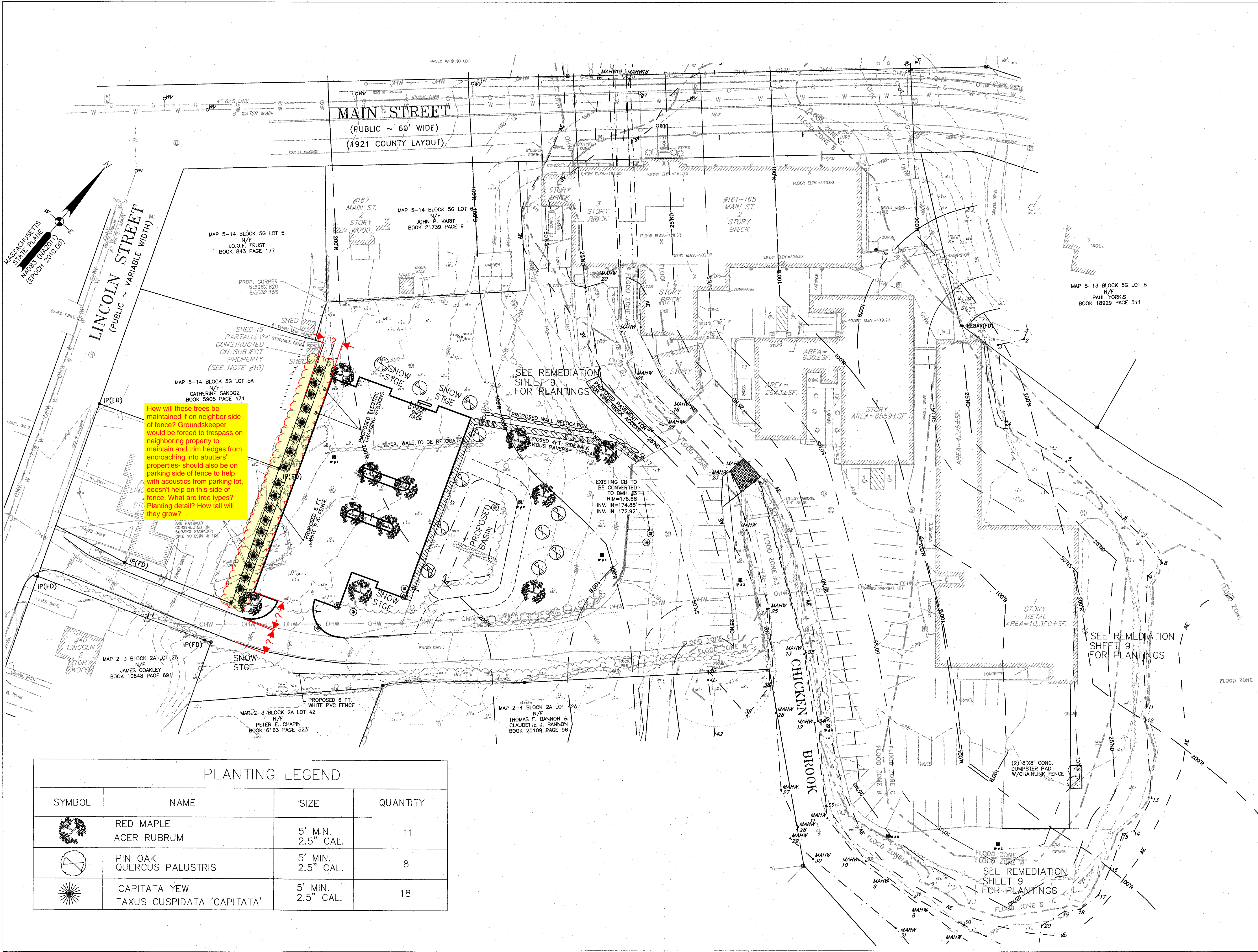
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SHEET
8 OF 12

JOB NO.
F3519



How will these trees be maintained if on neighbor side of fence? Groundskeeper would be forced to trespass on neighboring property to maintain and trim hedges from encroaching into abutters' properties- should also be on parking side of fence to help with acoustics from parking lot, doesn't help on this side of fence. What are tree types? Planting detail? How tall will they grow?

| PLANTING LEGEND | | | |
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| SYMBOL | NAME | SIZE | QUANTITY |
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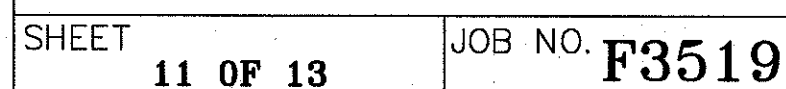
LANDSCAPING

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SHEET 9 OF 12 JOB NO. F3519



Susan Affleck-Childs

From: Janine Clifford <janine@grouponeinc.com>
Sent: Wednesday, May 27, 2020 11:33 AM
To: Susan Affleck-Childs
Subject: FW: Medway Mills Major Site Plan Review
Attachments: f-3519_site_plan_set_-_medway_mill_2-14-2020_0- COMMENTS.pdf

Janine Clifford, AIA

Group One Partners
Janine@grouponeinc.com

21 W 3rd St, Boston, MA 02127
grouponeinc.com

Tel 617.268.7000 x121



From: Janine Clifford
Sent: Monday, May 18, 2020 12:00 PM
To: planningboard@townofmedway.org; planning-board@townofmedway.org
Cc: janine.croke@gmail.com
Subject: Medway Mills Major Site Plan Review

Dear Members of the Planning & Economic Development Board,

I hope this email finds you all well during this unusual time!

I am writing to share our comments and concerns for your consideration as a direct abutter to the above project. We own and reside at 42 Lincoln Street as of October 2018 (formerly known as the Whitla Property). We have been VERY happy as new members of the Medway Community and absolutely love all the great progress enhancing 109 and Choate Park. We also enjoy walking our son and dogs down to the mills on a regular basis and are happy this property has such commitment to improvement.

The owner of the Medway Mills property, Steven Greene, has been somewhat in contact with us regarding his plans for the proposed parking area off the driveway connecting to Lincoln Street. While we do not oppose his efforts to utilize the land to create additional parking for the mills businesses (as I said, we enjoy the area and are happy to see it continuing to be enhanced), we do have a few reservations and comments on the proposed design as it affects the view, privacy, and safety at our property. I have expressed some these concerns with Mr. Greene, some of which have been shown some consideration and others have not. As a practicing licensed architect, I had offered some advice on how the parking lot may flow differently to make entering and exiting more fluid and safe for both drivers and pedestrians, but it doesn't seem like my suggestion was entertained for one reason or another. We do have some major safety concerns about the traffic coming down this road and how cars are proposed to exit the new parking lot because as it is, we are consistently experiencing cars quickly coming up the road to exit on to Lincoln Street and our driveway to our lower garage is currently a "blind spot" due to the curve of the road and large amount of trees hiding it from the sight of vehicles traveling towards Lincoln Street. I had suggested making the lot two access points to the road and utilizing one way traffic in and out to alleviate this issue of the "blind left turn" but the only response I got was "it was not possible" and no clarification as to why. The circulation of the parking lot seems very non-fluid as all cars turning into the "dead end" parking areas would need to make 3-5 point turns to get back out. Additionally, if the traffic pattern was made

one-way in a horseshoe like loop, the drive aisles between them could be narrower and the spaces could be angled to make pulling in and out easier and more efficient.

Additionally, we have concerns about increased traffic on the access road as all the parking will be utilized via access road off Lincoln, making the entrance off 109 redundant and less likely to be used. Cars already are often speeding in and out between Lincoln St and the mills complex at 20+ MPH, especially in the early evening. I myself have several times been cut off by a left-hand turning vehicle from the access road while I am trying to enter our other driveway off Lincoln St. I see that Mr. Greene has requested a variance/exemption for a traffic study which we firmly oppose given that additional parking will only create more traffic on the access road and make it unsafe for us pulling in and out of both our driveways and our front and back yards where our son, his friends, and our dogs are often playing.

Lastly, our final large concern is the privacy and view from our property to the proposed parking lot. We had requested Mr. Greene install a fence to block noise, views, and light trespass from headlights into our property and direct views into our home that directly faces the proposed site. It looks like this concern was somewhat considered in that a fence was added, however, the height of the proposed fence is ineffective to block views and headlights into our property from the parking area. Additionally, the proposed fence is not of commercial quality (white PVC) and does not coordinate with the historic value of the neighborhood or mills complex. We appeal to you to request this fence be made taller to properly protect our privacy (as well as the neighbors at 44 Lincoln) and the fence to match the aesthetic of the neighborhood in design and materials. The trees proposed on the other side of the fence do not show type or a maintenance plan. We also request that the trees be moved to the parking lot side of the fence, otherwise it seems that it would fall on us to maintain the trees as there is no way to access them from the property.

Please see our attached comments on the proposed plans for all other considerations. We look forward to hearing your input at the meeting on May 24th.

Thank you again for your time and efforts!

Janine Clifford, AIA

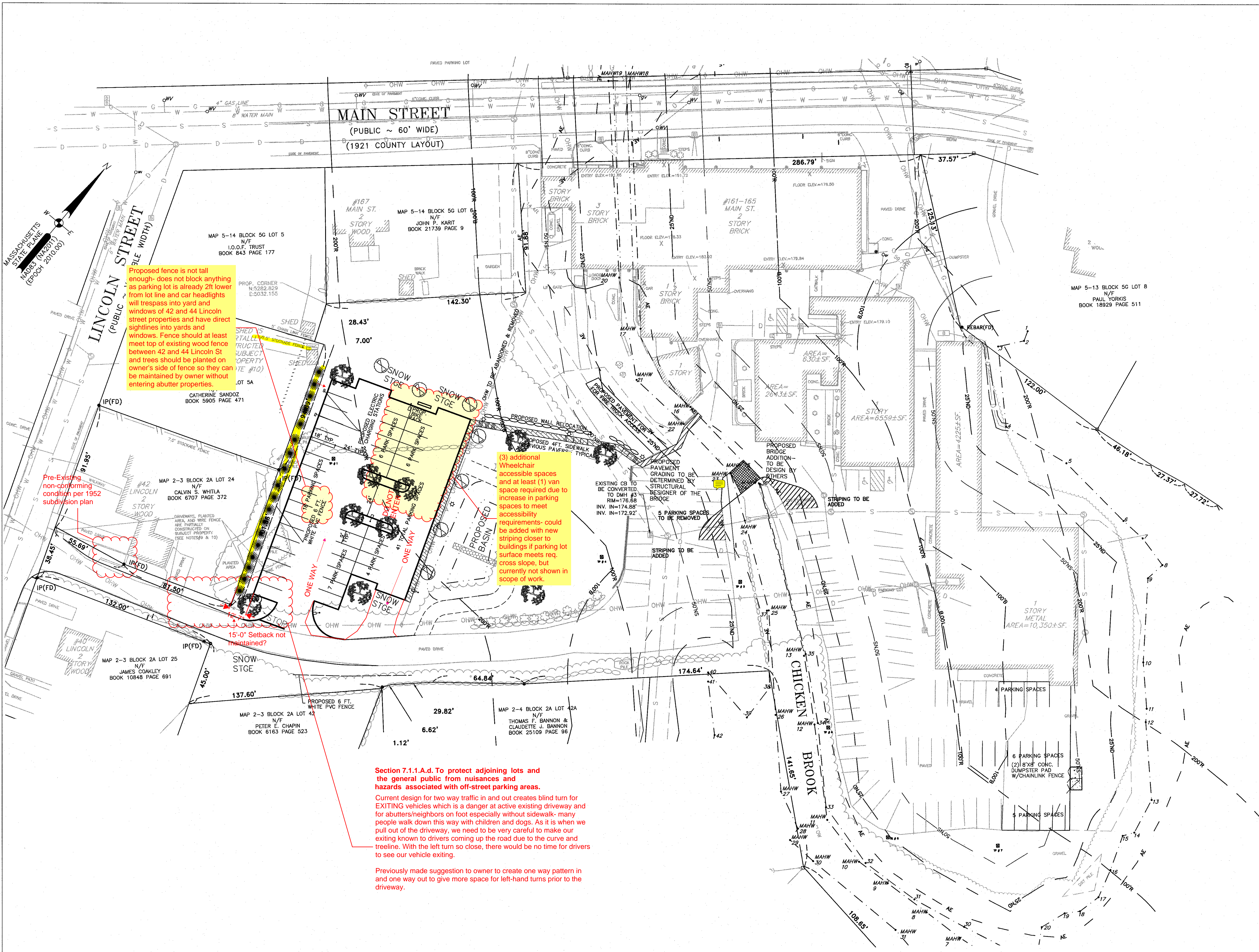
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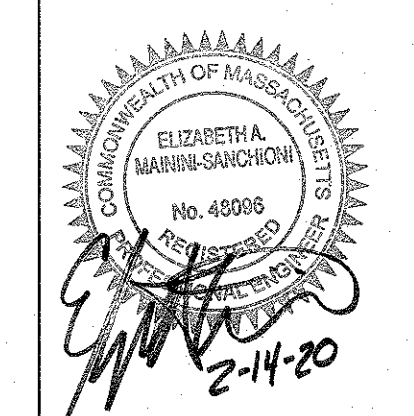


Proposed fence is not tall enough- does not block anything as parking lot is already 2ft lower from lot line and car headlights will trespass into yard and windows of 42 and 44 Lincoln street properties and have direct sightlines into yards and windows. Fence should at least meet top of existing wood fence between 42 and 44 Lincoln St and trees should be planted on owner's side of fence so they can be maintained by owner without entering abutter properties.

Pre-Existing non-conforming condition per 1952 subdivision plan

(3) additional Wheelchair accessible spaces and at least (1) van space required due to increase in parking spaces to meet accessibility requirements- could be added with new striping closer to buildings if parking lot surface meets req. cross slope, but currently not shown in scope of work.

Section 7.1.1.A.d. To protect adjoining lots and the general public from nuisances and hazards associated with off-street parking areas. Current design for two way traffic in and out creates blind turn for EXITING vehicles which is a danger at active existing driveway and for abutters/neighbors on foot especially without sidewalk- many people walk down this way with children and dogs. As it is when we pull out of the driveway, we need to be very careful to make our exiting known to drivers coming up the road due to the curve and treeline. With the left turn so close, there would be no time for drivers to see our vehicle exiting. Previously made suggestion to owner to create one way pattern in and one way out to give more space for left-hand turns prior to the driveway.



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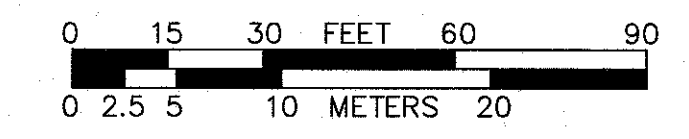
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**SITE PLAN
MEDWAY MILL
163-165 MAIN STREET
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MASSACHUSETTS**

SITE LAYOUT

| FEBRUARY 14, 2020 | |
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Note: Pre-Existing
Non-conforming
condition original to
property 42 Lincoln
per 1952 subdivision
plan- stone wall that
crosses lot line is
original stone
foundation wall
integral to structure

Driveways existed
prior to subject area
purchase in 2007 and
is included on most
recent lot plans
recorded.

Box Where are notes
9 & 10?



F3519

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**EROSION CONTROL
LIMIT OF CLEARING**

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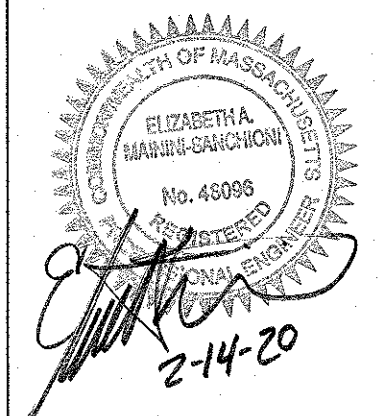
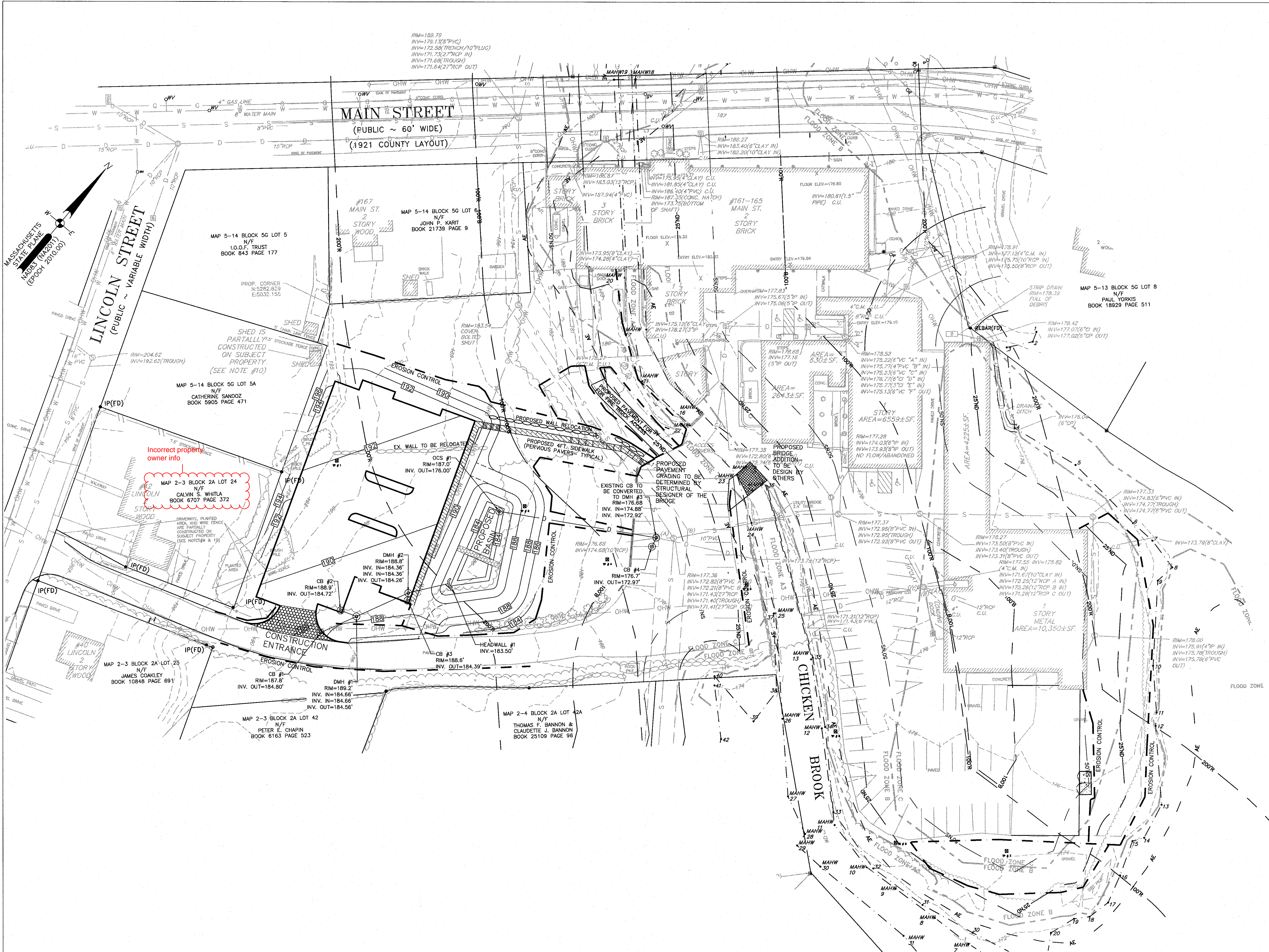
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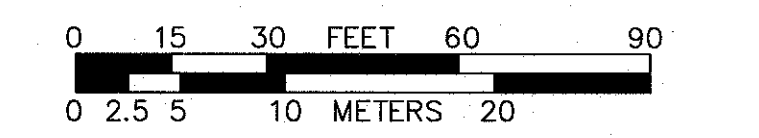
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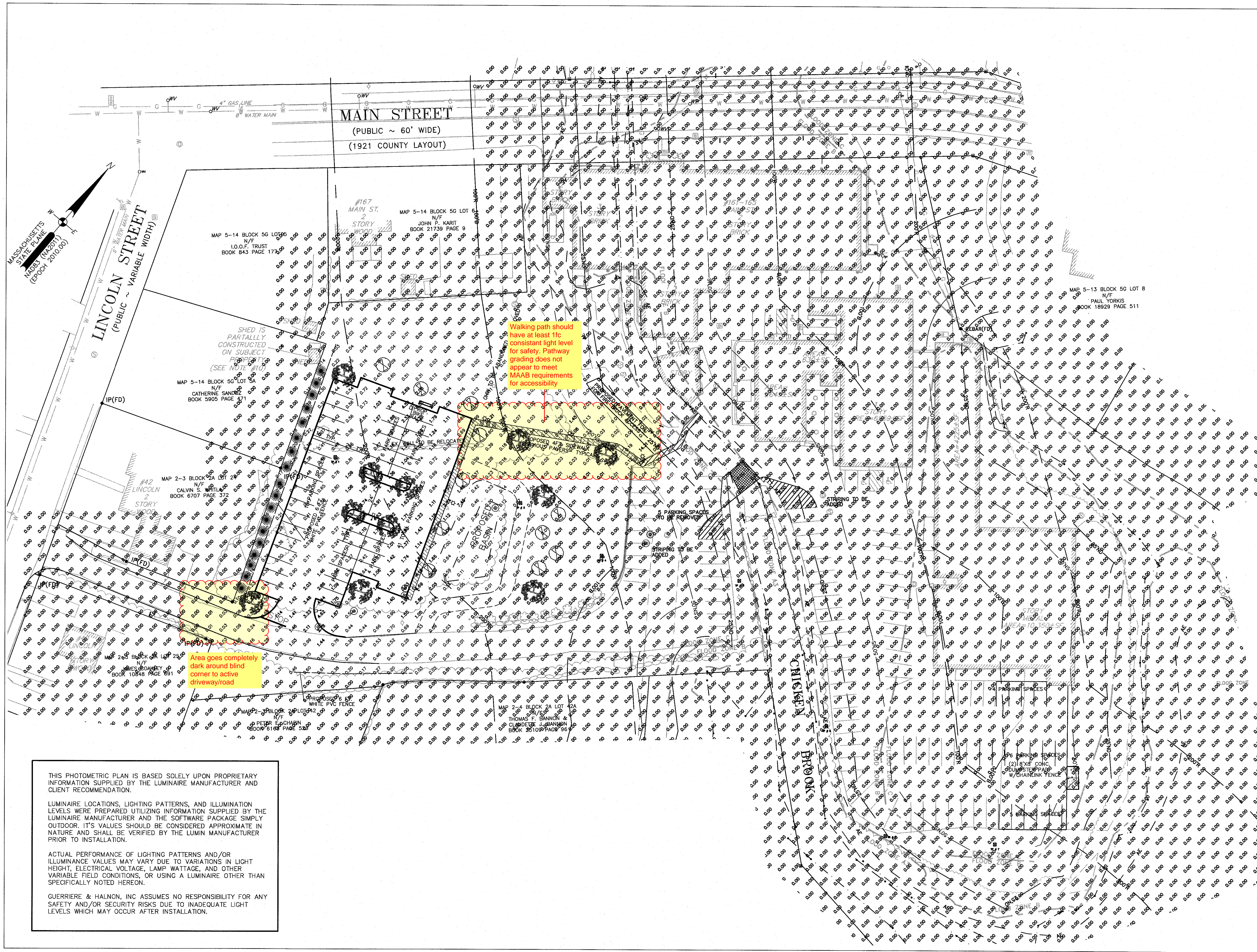
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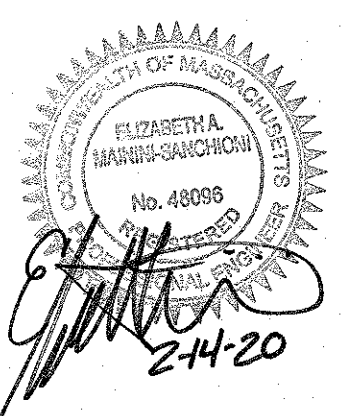


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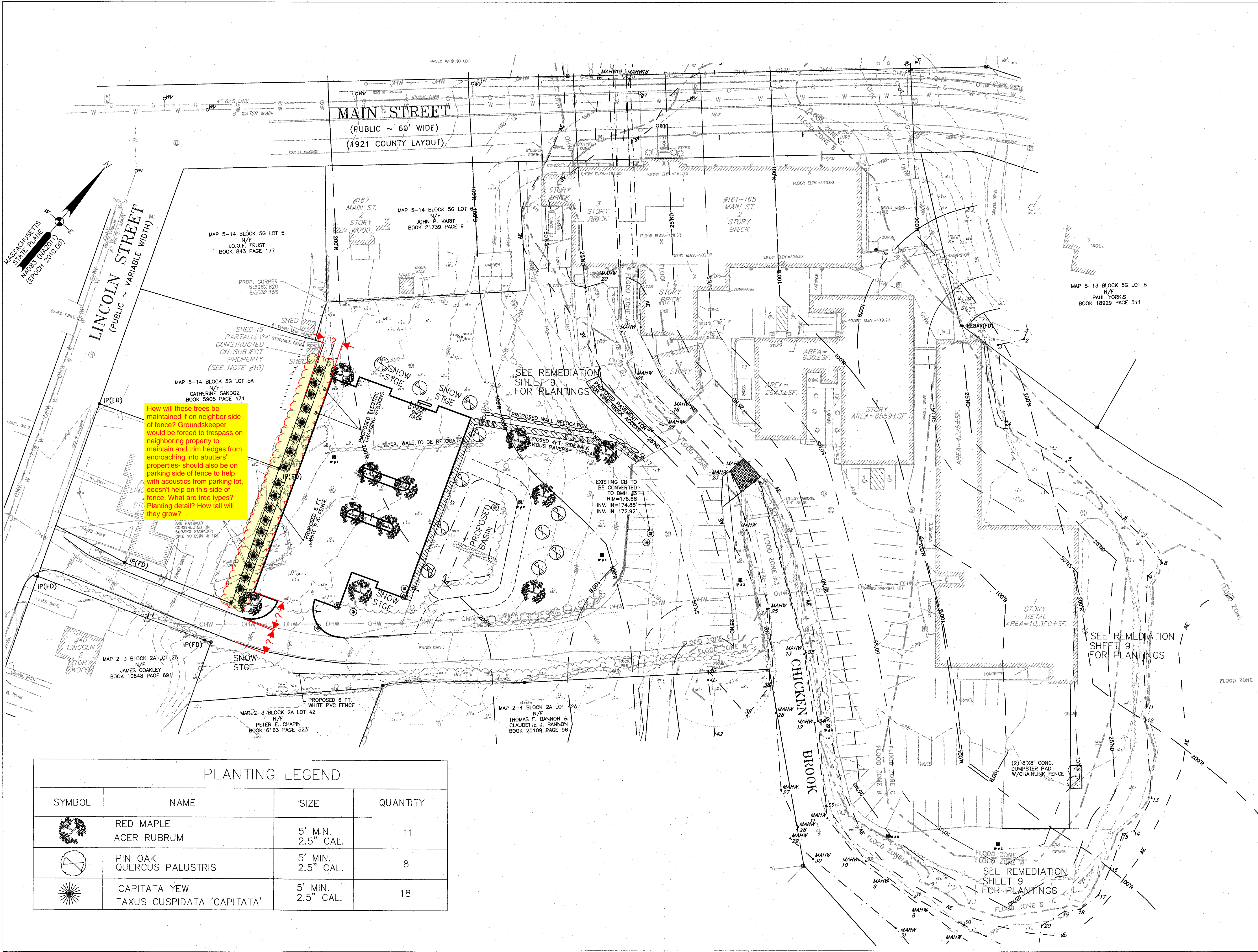
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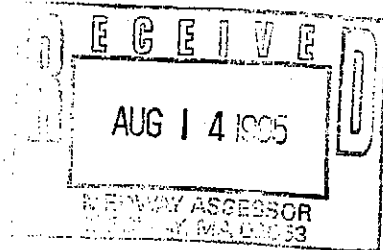
COMMONWEALTH OF MASSACHUSETTS

163 Main

NORFOLK, SS

IN THE MATTER OF:

Chicken Brook Realty Corp.
Petitioner



OPINION OF THE BOARD

REQUEST FOR SPECIAL PERMIT

HEARING: August 2, 1995

DECISION: August 7, 1995

*Medway
M/W*

*Original -
copy in file*

MEMBERS PRESENT:

Jan V. Morris, Chairman
David E. D'Amico, Clerk
Stephen J. Reding
David J. Cole
Patrick J. Mason

THE WRITTEN OPINION WAS DELIVERED ON AUGUST 4, 1995

TOWN OF MEDWAY
RECEIVED
AUG 11 1995

.....A.M.P.M.
TOWN CLERK

*20 Day Appeal Date
August 31, 1995*

OPINION OF THE BOARD

This is a proceeding of the Zoning Board of Appeals of the Town of Medway, MA (hereinafter the Board) acting under the Zoning By-Laws of the Town of Medway, MA 02053 and the Massachusetts General Law C40A, as amended, in which the petitioner, Chicken Brook Realty Corp., requests a Special Permit to conduct mixed use operations at 163 Main St., Medway, MA 02053.

Following the giving of notice as required by law, a public hearing was held on August 2, 1995, in Sanford Hall, Medway Town Hall, Medway, MA 02053.

Attorney Robert E. Ficco and Robert Rojee, one of the principals of Chicken Brook Realty Corp., came before the Board to request a Special Permit to rent space to tenants for a mixed use type of operation, including light manufacturing, assembly, and storage; as well as office, retail, banking, restaurant and showroom facilities. Mr. Rojee has committed to improving the property and has already accomplished major improvements in the removal of hazardous materials and clean-up of the site. The former U.S. Shoe Corp. buildings, located in ARII, have been used for manufacturing prior to incorporation of the Zoning By-Laws. Currently, there are some small business located on the site including Rojee Decorating and a small leather manufacturing company. Available rental space is 63,000 square feet, 21,000 square feet of which is already being utilized. It is the focus of Chicken Brook Realty Corp. to bring in small family type business producing products with little emphasis on retail. Several small outfits have already expressed an interest in renting space for their operations, including the following: computer software, retail graphics, wholesale auto parts, retail leather showroom, sheet metal, taxi service offices, and computer hard-drive assembly. The benefits to the town include additional tax revenues, new jobs, and the clean up and maintenance of buildings that would otherwise deteriorate and become an eyesore. The existing buildings will be repaired and there will be no changes to external appearances except the windows on one building will be blocked. The entrance and egress will remain the same. There are ninety-four parking spaces, six of which are handicapped slots. A flagpole, a free standing directory sign, (8' x 12'), and affixed individual building directory signs are also requested.

The hearing was then opened to the public for questions and comments. Ms. Rozanski, Chairperson of the Board of Selectmen stated that the town was interested in bringing new business and products to Medway and indicated a favorable response by the Board of Selectmen. Mr. Stuart Whitha, a Lincoln St. abutter, voiced concerns regarding lighting, hours of operation, and traffic. Mr. Rojee assured the audience that he would work with the abutters to solve any problem that may arise.

Six persons spoke in favor of the proposal stating the need for industrial space, the added tax revenues, addition of jobs, and that there would be no burden to the town. Two of these individuals are members of town boards. No one spoke in opposition.

During deliberation the Board reasoned that the request did not derogate from the general intent or purpose of the By-Law, nor was the request a detriment to the public good. However, the Board was reluctant to give "carte blanche" to the types of businesses renting space. They felt that some control over the types of businesses would be necessary to ensure the best possible uses for the complex, to control traffic and parking. Subsequently, the Board unanimously voted to grant a Special Permit to Chicken Brook Realty Corp., 163 Main Street, Medway, MA 02053 to lease space subject to the following conditions and/or restrictions:

1. Permitted uses as described in Section P, Industrial District IV, Town of Medway Zoning By-Law.
2. Sales and Storage of building materials shall be allowed within the confines of the building. No outside storage.

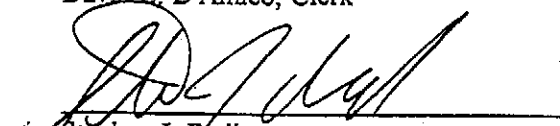
3. Offices for business or professional use are allowed.
4. Retail use as allowed in service type business:
 - (a) Maximum of 30% of leased area allowed for retail purposes.
 - (b) Retail portion shall be ancillary to main business activity of leased area.
 - (c) Owner shall provide for one parking space for every 300 feet of retail space.
5. Signage to conform with general configuration per plan provided and attached to this decision. Waiver granted for sign set-back requirements. Sign to be placed with maximum set-back from street.
6. Lincoln Street access sign identifying the property shall be restricted to be no larger than one square foot in size.
7. No exterior alterations except on building shown on plan as 1 story, 10,620 square feet. This building shall have the windows blocked and exterior stuccoed.
8. No deliveries between the hours of 11:00 PM and 6:00 AM.
9. No business conducted between the hours of 11:00 PM and 6:00 AM.
10. Owner to provide an easement to the Town of Medway for possible replacement of existing 15" diameter drainage pipe with all other conditions removed. Owner to be held harmless of liability associated with the Town's use of the easement.
11. Egress to the property shall be subject to review and approval by the Safety Officer and Fire Chief.
12. Main Street access shall be no less than the existing pavement width.
13. Any exterior lighting shall not be intrusive on abutters.


The Board hereby makes a detailed record of its findings and proceedings relative to this petition; sets forth its reasons for its findings and decision; incorporates by reference any plan or diagram received by it; directs that this decision be filed in the office of the Town Clerk, and be made a public record; and that notice and copies of its decision be made forthwith to all parties or persons interested.


**IN ACCORDANCE WITH MASSACHUSETTS GENERAL LAW, CHAPTER 40A,
SECTION 11 NO VARIANCE, SPECIAL PERMIT OR CONSTRUCTIVE GRANT OF A
VARIANCE TAKES EFFECT UNTIL RECORDED IN THE REGISTRY OF DEEDS.**


Jan V. Morris, Chairman


David E. D'Amico, Clerk


Stephen J. Reding


David J. Cole


Patrick J. Mason

Chicken Brook

165

Manufacturing Center

RETAIL
Graphics

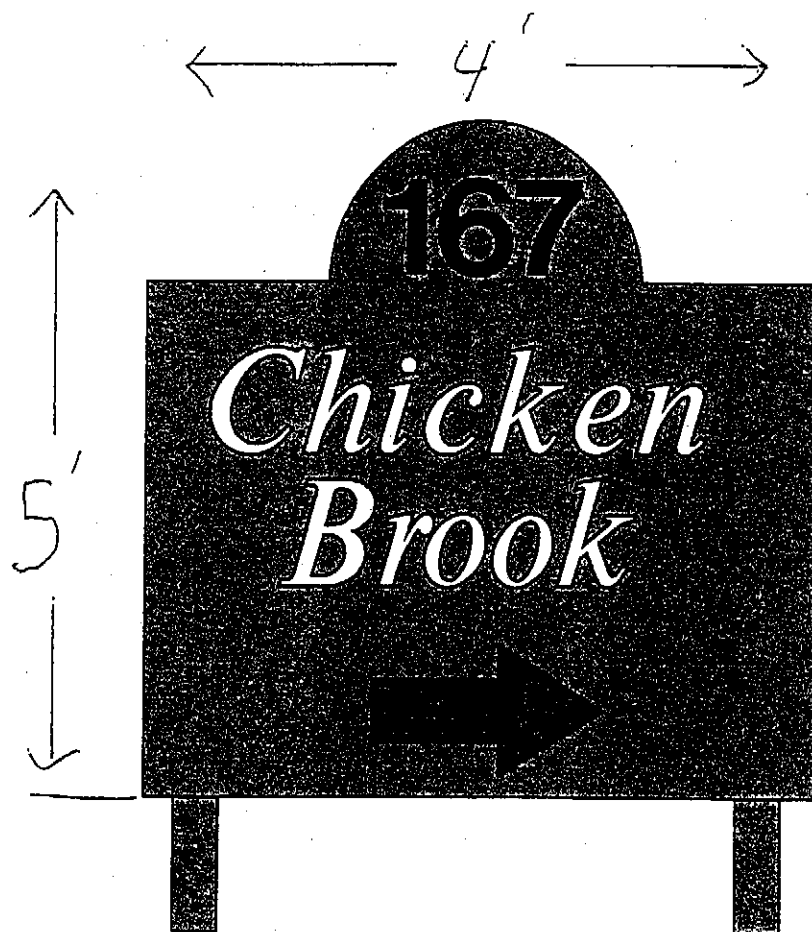
— Rojee —
Decorating

ABC Computer

ACME Cleaning
Co.

8/2/95
8/2/95

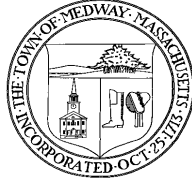
8/2/95
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8/2/95



Dr. J. Lee 8/2/95
8/2/95

O. INDUSTRIAL DISTRICT IV

1. Buildings, structures, and premises may be used for any of the following purposes and uses customarily accessory thereto but no others, subject to the regulations and conditions enumerated herein:
 - a) Municipal, public utility, federal or state use.
 - b) Churches or other religious institutions.
 - c) Schools, colleges, and dormitories accessory thereto.
 - d) Wholesale offices or showrooms including indoor warehouse facilities.
 - e) General industrial uses including manufacturing, storage, processing, fabrication, packaging and assembly, except the following:
 - 1) Abattoir and commercial slaughtering.
 - 2) Manufacturing of corrosive, poisonous or malodorous acids and chemicals.
 - 3) Cement, lime, gypsum and plaster-of-paris manufacture.
 - 4) Fertilizer manufacture or fat rendering in manufacture of tallow, grease, and oils.
 - 5) Glue, size and gelatin manufacture.
 - 6) Petroleum and kerosene refining or distillation and derivation of by-products.
 - 7) Manufacture of explosives and the storage of explosives in bulk.
 - 8) Smelting and reduction of copper, tin, zinc, and iron ores.
 - 9) A yard for the storage and sale of used building and junk material.
 - 10) Asphalt plants.
2. Permitted and allowable uses pertaining to this district shall comply with the following dimensional regulations:
 - a) Minimum lot size: 20,000 sq. ft.
 - b) Maximum lot coverage, including accessory buildings: 40%
 - c) Minimum lot width: 100 ft.
 - d) Minimum front and rear-yard setbacks: 30 ft.
 - e) Minimum side-yard setback: 20 ft.
 - f) Maximum building height: 40 ft.
 - g) Off-Street parking requirements: At least one space for each two persons employed or anticipated to be employed on the largest shift for all types of permitted industrial buildings and at least one additional space for each 1,000 sq. ft. of floor space. Adequate docking space shall be provided so that no loading or unloading operation shall take place from any public or private way.
 - h) No part of any industrial operation shall be located nearer than 200 ft. to any pre-existing residence. A green belt not less than 30 ft. wide shall be provided adjacent to residential district boundary lines, in a manner which will best shield said residential district. For the purpose of this section, a green belt is defined as a protective screen which shall be planted and maintained with evergreen trees or shrubs, not more than 15 feet apart or less than 6 feet high at the time of planting.



August 11, 2020, 2020
Medway Planning & Economic Development Board
Meeting

Williamsburg Project Completion

Williamsburg is DONE! See collection of documents below. You approved a field change at the last meeting to not require planting one tree. The remaining bond balance is \$41,375.

- Request dated July 28, 2020 from developer Paul Yorkis for bond release
- As-Built Plan dated December 19, 2019
- Email dated April 20, 2020 from Rick Tweedy, management company for the Williamsburg Condo Association
- Documentation from Truax Corporation regarding cleaning of catch basins and stormceptor on July 22, 2020
- Open Space – Map. Deed conveying Open Space Parcel B-1 was signed by Paul Yorkis June 23, 2020. The Acceptances of Deed to Parcel B-1 from Williamsburg Condo Corporation to Town of Medway have been approved by the BOS and Conservation Commission. The Conservation Restriction for Parcel A was recorded at the Registry of Deeds on October 26, 2018.
- July 27, 2020 email from Maryann DiPinto regarding status of the requested Certificate of Compliance from MassDEP for its Order of Conditions.
- Email dated July 28, 2020 from Steve Bouley re: site visit
- April 15, 2020 SAC email to Walpole Bank re: bond reduction to \$41,375.

Susan Affleck-Childs

From: Paul Yorkis <pgyorkis@gmail.com>
Sent: Tuesday, July 28, 2020 3:36 PM
To: Susan Affleck-Childs
Cc: Andy Rodenhiser
Subject: Re: Williamsburg

Please add the bond release to the August 11, 2020 PEDB meeting agenda.

Thanks in advance.

Paul G. Yorkis
Patriot Real Estate, Inc.
Cell 508-509-7860
Pgyorkis@gmail.com
2020 RCAM President
2017 MAR President
2011 MAR Realtor of the Year
NAR Federal Political Coordinator for Congressman Joe Kennedy Sent from my iPhone

> On Jul 28, 2020, at 3:33 PM, Susan Affleck-Childs <sachilds@townofmedway.org> wrote:

>

> August 11.

>

> -----Original Message-----

> From: Paul Yorkis <pgyorkis@gmail.com>

> Sent: Tuesday, July 28, 2020 3:33 PM

> To: Susan Affleck-Childs <sachilds@townofmedway.org>

> Subject: Re: Williamsburg

>

> When is the next meeting?

>

> Paul G. Yorkis

> Patriot Real Estate, Inc.

> Cell 508-509-7860

> Pgyorkis@gmail.com

> 2020 RCAM President

> 2017 MAR President

> 2011 MAR Realtor of the Year

> NAR Federal Political Coordinator for Congressman Joe Kennedy Sent

> from my iPhone

>

>

>> On Jul 28, 2020, at 3:29 PM, Susan Affleck-Childs <sachilds@townofmedway.org> wrote:

>>

>> Hi Paul,

>>

>> Thanks for your note.

>>

>> Tonight's discussion is limited to the matter of not planting the tree and making a payment in lieu of the tree to the condo association.

>>

>> Consideration of your request for bond release will take place at a future PEDB meeting.

>>

>> Best regards,

>>

>> Susy

>>

>> Susan E. Affleck-Childs

>> Planning and Economic Development Coordinator Town of Medway

>> 155 Village Street

>> Medway, MA 02053

>> 508-533-3291

>>

>>

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>>

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>>

>> -----Original Message-----

>> From: Paul Yorkis <pgyorkis@gmail.com>

>> Sent: Tuesday, July 28, 2020 3:25 PM

>> To: Susan Affleck-Childs <sachilds@townofmedway.org>

>> Cc: Andy Rodenhiser <andy@rodenhiser.com>

>> Subject: Williamsburg

>>

>>

>> Hello.

>>

>> The site walk is done on the punch list items have been completed.

>>

>> I respectfully request my bond be released.

>>

>> See you at the meeting.

>>

>> Paul G. Yorkis

>> Patriot Real Estate, Inc.

>> Cell 508-509-7860

>> Pgyorkis@gmail.com

>> 2020 RCAM President

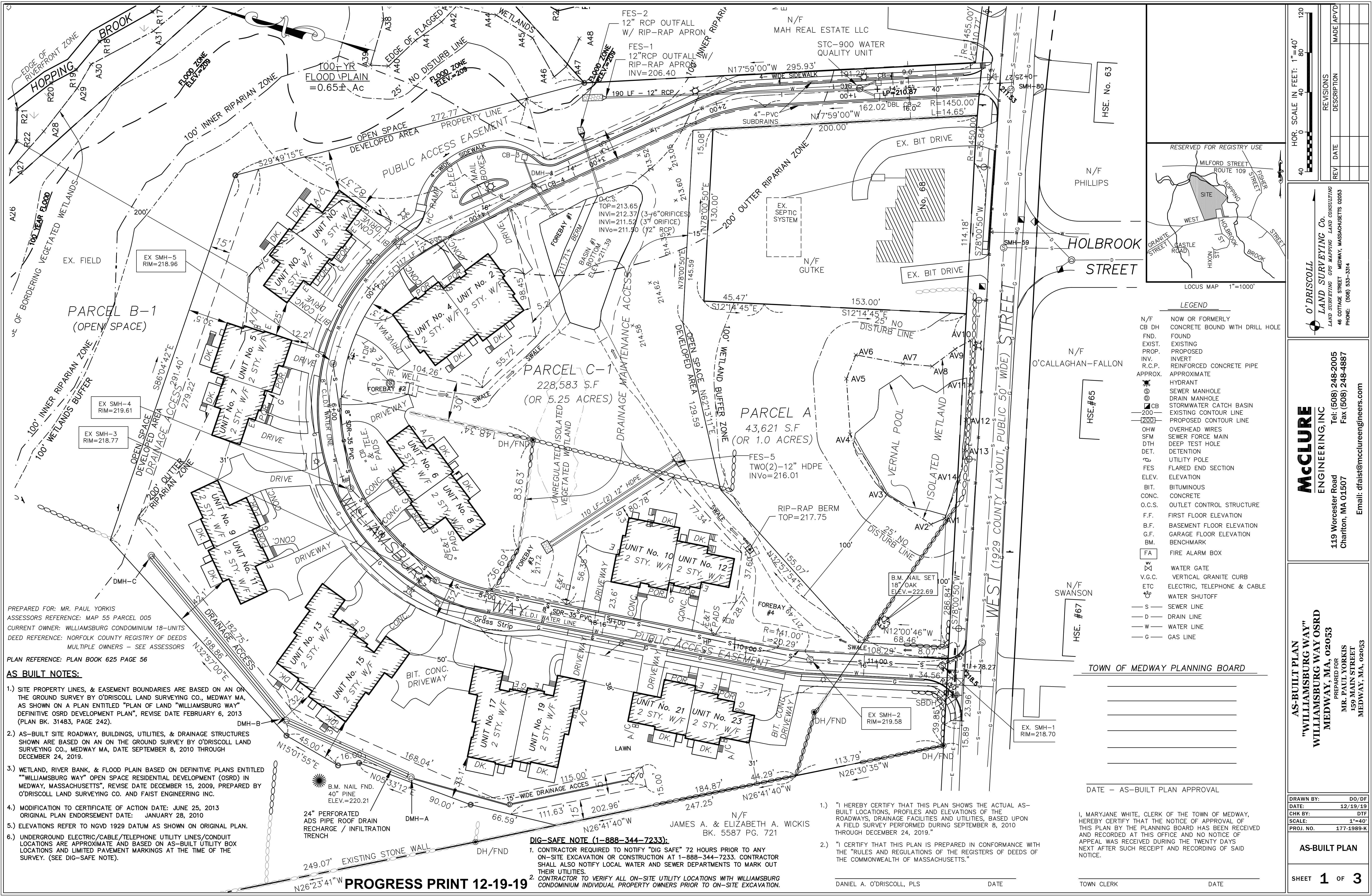
>> 2017 MAR President

>> 2011 MAR Realtor of the Year

>> NAR Federal Political Coordinator for Congressman Joe Kennedy Sent

>> from my iPhone

>>



PREPARED FOR: MR. PAUL YORKIS
ASSESSORS REFERENCE: MAP 55 PARCEL 005
CURRENT OWNER: WILLIAMSBURG CONDOMINIUM 18-UNITS
DEED REFERENCE: NORFOLK COUNTY REGISTRY OF DEEDS
MULTIPLE OWNERS - SEE ASSESSORS
PLAN REFERENCE: PLAN BOOK 625 PAGE 56

- AS BUILT NOTES:**
- 1.) SITE PROPERTY LINES, & EASEMENT BOUNDARIES ARE BASED ON AN ON THE GROUND SURVEY BY O'DRISCOLL LAND SURVEYING CO., MEDWAY MA, AS SHOWN ON A PLAN ENTITLED "PLAN OF LAND "WILLIAMSBURG WAY" DEFINITIVE OSRD DEVELOPMENT PLAN", REVISE DATE FEBRUARY 6, 2013 (PLAN BK. 31483, PAGE 242).
 - 2.) AS-BUILT SITE ROADWAY, BUILDINGS, UTILITIES, & DRAINAGE STRUCTURES SHOWN ARE BASED ON AN ON THE GROUND SURVEY BY O'DRISCOLL LAND SURVEYING CO., MEDWAY MA, DATE SEPTEMBER 8, 2010 THROUGH DECEMBER 24, 2019.
 - 3.) WETLAND, RIVER BANK, & FLOOD PLAIN BASED ON DEFINITIVE PLANS ENTITLED "WILLIAMSBURG WAY" OPEN SPACE RESIDENTIAL DEVELOPMENT (OSRD) IN MEDWAY, MASSACHUSETTS", REVISE DATE DECEMBER 15, 2009, PREPARED BY O'DRISCOLL LAND SURVEYING CO. AND FAIST ENGINEERING INC.
 - 4.) MODIFICATION TO CERTIFICATE OF ACTION DATE: JUNE 25, 2013 ORIGINAL PLAN ENDORSEMENT DATE: JANUARY 28, 2010
 - 5.) ELEVATIONS REFER TO NGVD 1929 DATUM AS SHOWN ON ORIGINAL PLAN.
 - 6.) UNDERGROUND ELECTRIC/CABLE/TELEPHONE UTILITY LINES/CONDUIT LOCATIONS ARE APPROXIMATE AND BASED ON AS-BUILT UTILITY BOX LOCATIONS AND LIMITED PAVEMENT MARKINGS AT THE TIME OF THE SURVEY. (SEE DIG-SAFE NOTE).

PROGRESS PRINT 12-19-19

DIG-SAFE NOTE (1-888-344-7233):

1. CONTRACTOR REQUIRED TO NOTIFY "DIG SAFE" 72 HOURS PRIOR TO ANY ON-SITE EXCAVATION OR CONSTRUCTION AT 1-888-344-7233. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER AND SEWER DEPARTMENTS TO MARK OUT THEIR UTILITIES.
2. CONTRACTOR TO VERIFY ALL ON-SITE UTILITY LOCATIONS WITH WILLIAMSBURG CONDOMINIUM INDIVIDUAL PROPERTY OWNERS PRIOR TO ON-SITE EXCAVATION.

- 1.) "I HEREBY CERTIFY THAT THIS PLAN SHOWS THE ACTUAL AS-BUILT LOCATIONS, PROFILES AND ELEVATIONS OF THE ROADWAYS, DRAINAGE FACILITIES AND UTILITIES, BASED UPON A FIELD SURVEY PERFORMED DURING SEPTEMBER 8, 2010 THROUGH DECEMBER 24, 2019."
- 2.) "I CERTIFY THAT THIS PLAN IS PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS."

DATE - AS-BUILT PLAN APPROVAL

I, MARYJANE WHITE, CLERK OF THE TOWN OF MEDWAY, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

- LEGEND**
- N/F NOW OR FORMERLY
 - CB DH CONCRETE BOUND WITH DRILL HOLE
 - FND FOUND
 - EXIST. EXISTING
 - PROP. PROPOSED
 - INV. INVERT
 - R.C.P. REINFORCED CONCRETE PIPE
 - APPROX. APPROXIMATE
 - HYDRANT HYDRANT
 - SEWER MANHOLE SEWER MANHOLE
 - CB STORMWATER CATCH BASIN
 - 200 EXISTING CONTOUR LINE
 - PROPOSED CONTOUR LINE
 - OVERHEAD WIRES OVERHEAD WIRES
 - SFM SEWER FORCE MAIN
 - DTH DEEP TEST HOLE
 - DET DETENTION
 - UTILITY POLE UTILITY POLE
 - FES FLARED END SECTION
 - ELEV. ELEVATION
 - BIT. BITUMINOUS
 - CONC. CONCRETE
 - O.C.S. OUTLET CONTROL STRUCTURE
 - F.F. FIRST FLOOR ELEVATION
 - B.F. BASEMENT FLOOR ELEVATION
 - G.F. GARAGE FLOOR ELEVATION
 - BM. BENCHMARK
 - FA FIRE ALARM BOX
 - WATER GATE WATER GATE
 - V.G.C. VERTICAL GRANITE CURB
 - ETC ELECTRIC, TELEPHONE & CABLE
 - WATER SHUTOFF WATER SHUTOFF
 - S SEWER LINE
 - D DRAIN LINE
 - W WATER LINE
 - G GAS LINE

McCLURE ENGINEERING, INC.
119 Worcester Road
Charlton, MA 01507
Tel: (508) 248-2005
Fax: (508) 248-4887
Email: dfaist@mcclureengineers.com

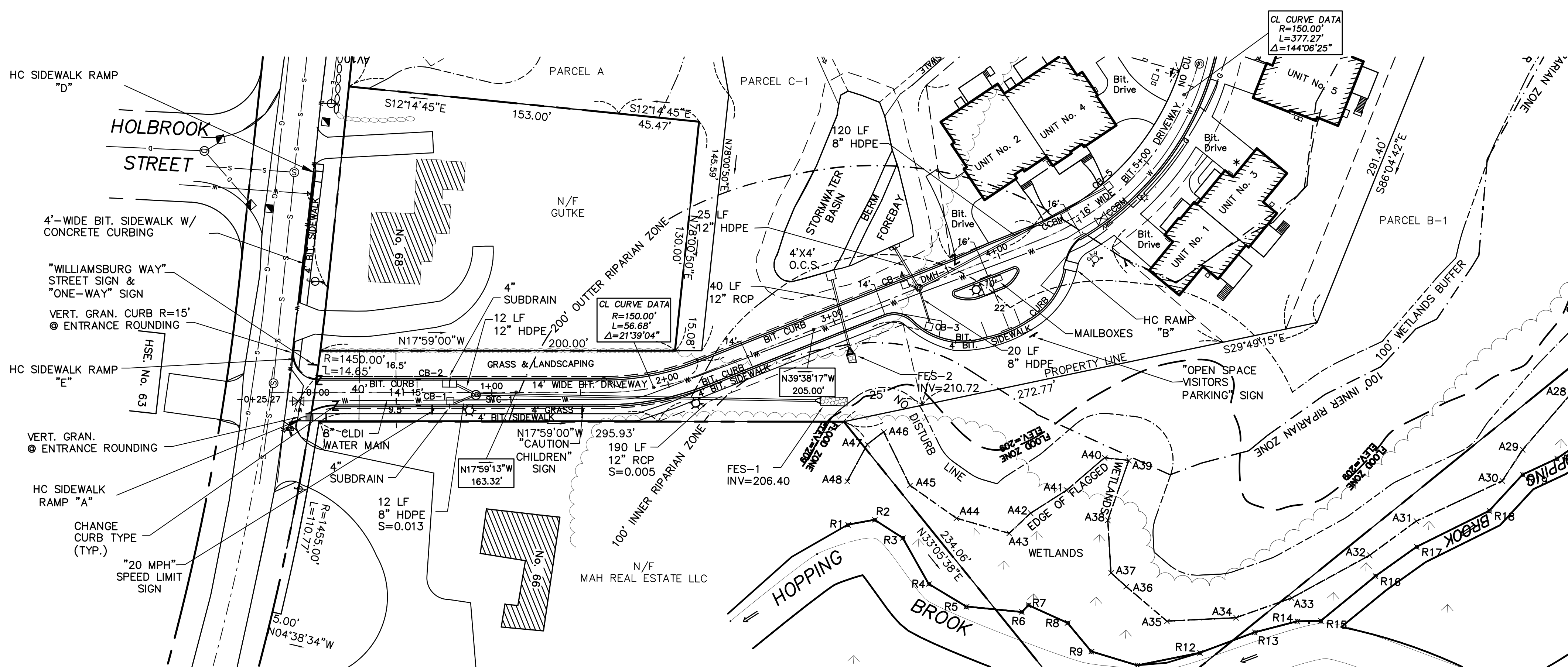
"WILLIAMSBURG WAY" OSRD
WILLIAMSBURG WAY OSRD
MEDWAY, MA, 02053
PREPARED FOR
MR. PAUL YORKIS
159 MAIN STREET
MEDWAY, MA, 02053

AS-BUILT PLAN

| | |
|-----------|------------|
| DRAWN BY: | DO/DF |
| DATE: | 12/19/19 |
| CHK BY: | DTF |
| SCALE: | 1"=40' |
| PROJ. NO. | 177-1989-K |

AS-BUILT PLAN

SHEET **1** OF **3**



- LEGEND**
- N/F NOW OR FORMERLY
CB DH CONCRETE BOUND WITH DRILL HOLE
FND. FOUND
EXIST. EXISTING
PROP. PROPOSED
INV. INVERT
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V.G.C. VERTICAL GRANITE CURB
ETC ELECTRIC, TELEPHONE & CABLE
WS WATER SHUTOFF
S SEWER LINE
D DRAIN LINE
W WATER LINE
G GAS LINE

TOWN OF MEDWAY PLANNING BOARD

DATE - AS-BUILT PLAN APPROVAL

I, MARYJANE WHITE, CLERK OF THE TOWN OF MEDWAY, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

TOWN CLERK DATE

- "I HEREBY CERTIFY THAT THIS PLAN SHOWS THE ACTUAL AS-BUILT LOCATIONS, PROFILES AND ELEVATIONS OF THE ROADWAYS, DRAINAGE FACILITIES AND UTILITIES, BASED UPON A FIELD SURVEY PERFORMED DURING SEPTEMBER 8, 2010 THROUGH DECEMBER 24, 2019."
- "I CERTIFY THAT THIS PLAN IS PREPARED IN CONFORMANCE WITH THE "RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS."

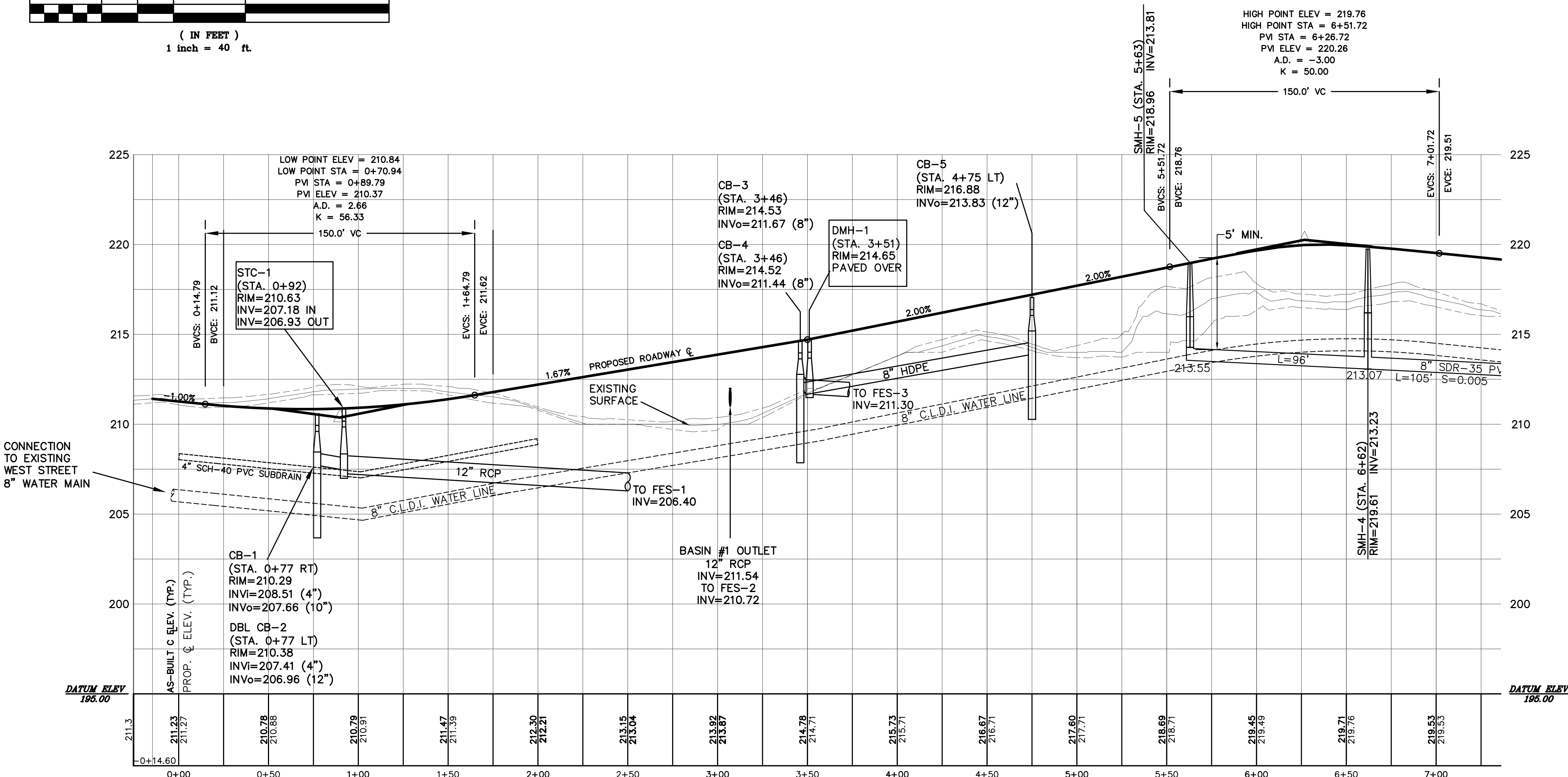
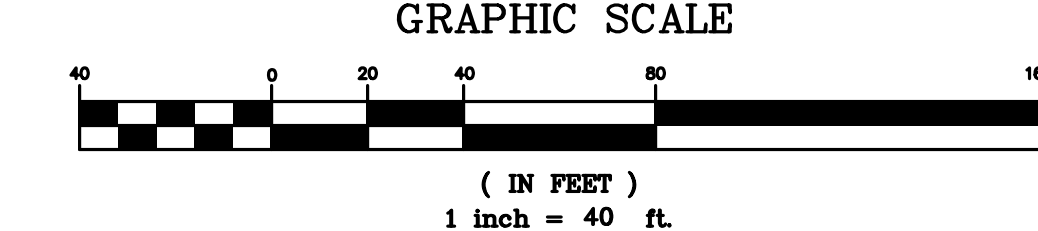
DANIEL A. O'DRISCOLL, PLS DATE

PREPARED FOR: MR. PAUL YORKIS
ASSESSORS REFERENCE: MAP 55 PARCEL 005
CURRENT OWNER: WILLIAMSBURG CONDOMINIUM 18-UNITS
DEED REFERENCE: NORFOLK COUNTY REGISTRY OF DEEDS
MULTIPLE OWNERS - SEE ASSESSORS

PLAN REFERENCE: PLAN BOOK 625 PAGE 56

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DIG-SAFE NOTE (1-888-344-7233):

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- CONTRACTOR TO VERIFY ALL ON-SITE UTILITY LOCATIONS WITH WILLIAMSBURG CONDOMINIUM INDIVIDUAL PROPERTY OWNERS PRIOR TO ON-SITE EXCAVATION.

PROFILE "WILLIAMSBURG WAY"
(STA. 0+00 - STA. 6+00)

HORIZONTAL SCALE: 1"=40'
VERTICAL SCALE: 1" = 4'

PROGRESS PRINT 12-19-19

| REVISIONS | | MADE | APVD |
|-----------|------|-------------|------|
| REV | DATE | DESCRIPTION | |
| | | | |
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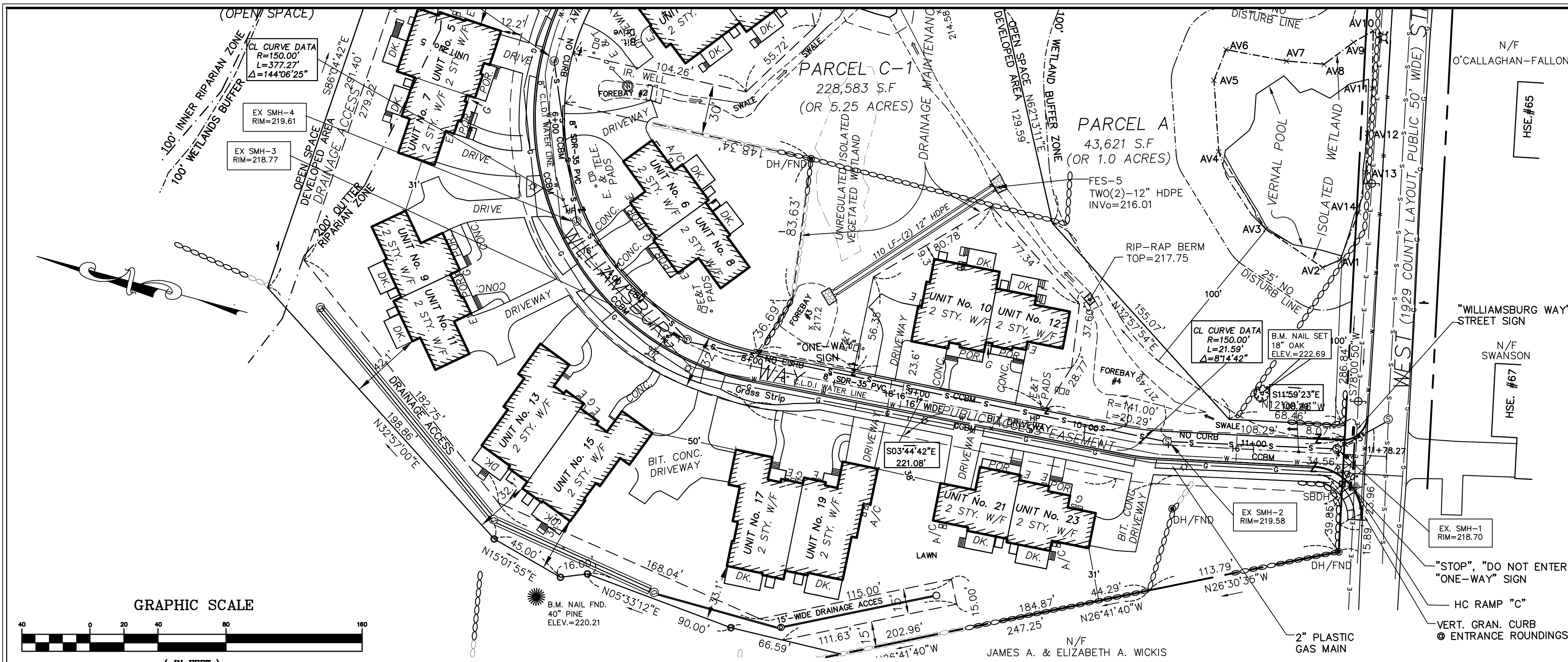
O'DRISCOLL LAND SURVEYING Co.
LAND SURVEYING GPS MAPPING LAND CONSULTING
46 COTTAGE STREET MEDWAY, MASSACHUSETTS 02053
PHONE: (508) 533-3314

McCLURE
ENGINEERING, INC
119 Worcester Road
Charlton, MA 01507
Tel: (508) 248-2005
Fax (508) 248-4887
Email: dfaist@mcclureengineers.com

AS-BUILT PLAN & PROFILE
"WILLIAMSBURG WAY"
WILLIAMSBURG WAY OSRD
MEDWAY, MA, 02053
PREPARED FOR
MR. PAUL YORKIS
159 MAIN STREET
MEDWAY, MA, 02053

| | |
|-----------|------------|
| DRAWN BY: | DO/DF |
| DATE: | 12/19/2019 |
| CHECK BY: | DTF |
| SCALE: | 1"=40' |
| PROJ. NO. | 177-1989-K |

AS-BUILT
PLAN & PROFILE
SHEET 2 OF 3



- LEGEND**
- N/F NOW OR FORMERLY
 - CB DH CONCRETE BOUND WITH DRILL HOLE
 - FND. FOUND
 - EXIST. EXISTING
 - PROP. PROPOSED
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 - R.C.P. REINFORCED CONCRETE PIPE
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 - WATER SHUTOFF
 - S SEWER LINE
 - D DRAIN LINE
 - W WATER LINE
 - G GAS LINE

TOWN OF MEDWAY PLANNING BOARD

DATE - AS-BUILT PLAN APPROVAL

I, MARYJANE WHITE, CLERK OF THE TOWN OF MEDWAY, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

TOWN CLERK DATE

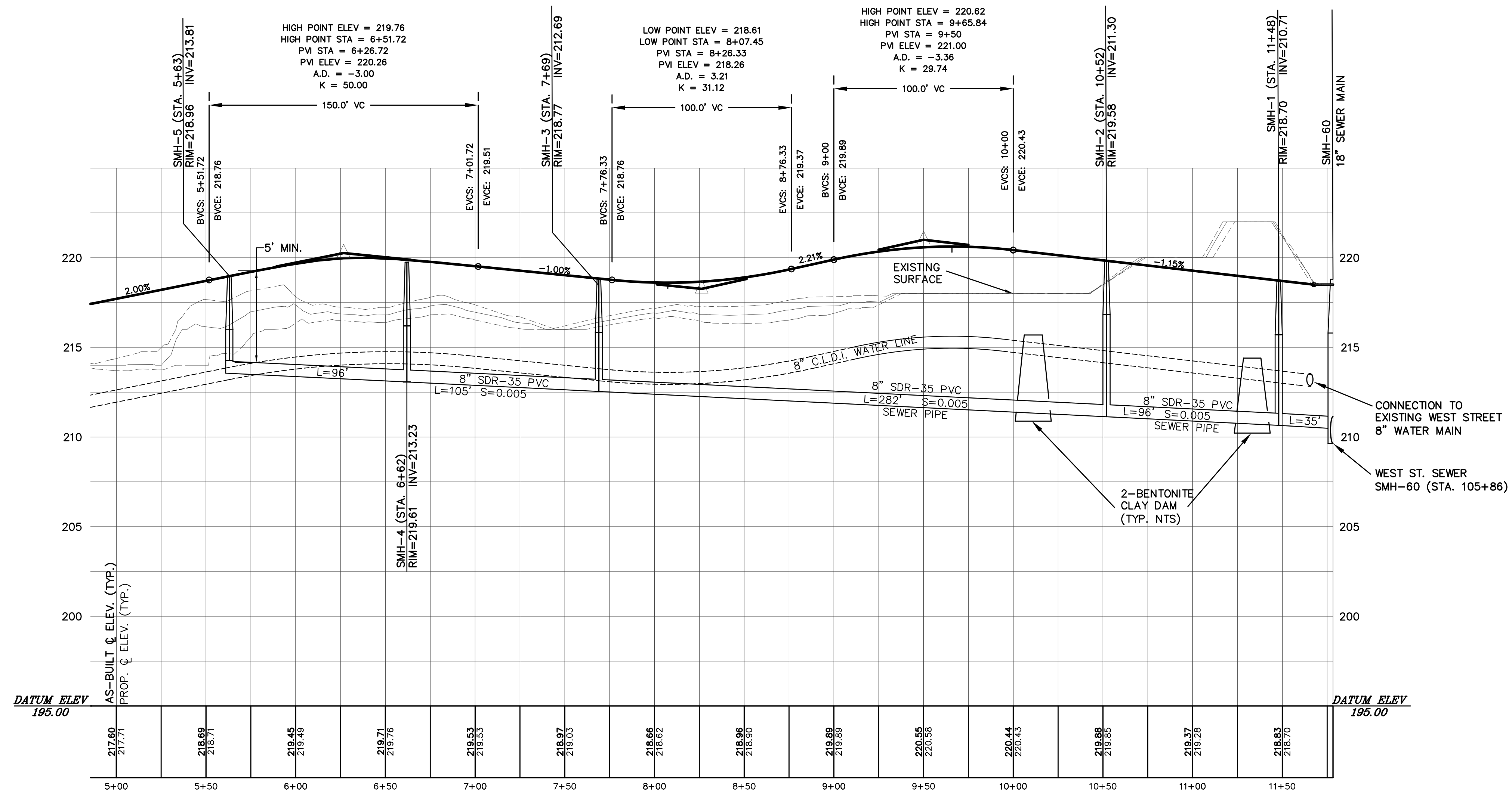
- "I HEREBY CERTIFY THAT THIS PLAN SHOWS THE ACTUAL AS-BUILT LOCATIONS, PROFILES AND ELEVATIONS OF THE ROADWAYS, DRAINAGE FACILITIES AND UTILITIES, BASED UPON A FIELD SURVEY PERFORMED DURING SEPTEMBER 8, 2010 THROUGH DECEMBER 24, 2019."
- "I CERTIFY THAT THIS PLAN IS PREPARED IN CONFORMANCE WITH THE "RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS."

DANIEL A. O'DRISCOLL, PLS DATE

PREPARED FOR: MR. PAUL YORKIS
ASSESSORS REFERENCE: MAP 55 PARCEL 005
CURRENT OWNER: WILLIAMSBURG CONDOMINIUM 18-UNITS
DEED REFERENCE: NORFOLK COUNTY REGISTRY OF DEEDS
MULTIPLE OWNERS - SEE ASSESSORS
PLAN REFERENCE: PLAN BOOK 625 PAGE 56

AS BUILT NOTES:

- SITE PROPERTY LINES, & EASEMENT BOUNDARIES ARE BASED ON AN ON THE GROUND SURVEY BY O'DRISCOLL LAND SURVEYING CO., MEDWAY MA, AS SHOWN ON A PLAN ENTITLED "PLAN OF LAND "WILLIAMSBURG WAY" DEFINITIVE OSRD DEVELOPMENT PLAN", REVISE DATE FEBRUARY 6, 2013 (PLAN BK. 31483, PAGE 242).
- AS-BUILT SITE ROADWAY, BUILDINGS, UTILITIES, & DRAINAGE STRUCTURES SHOWN ARE BASED ON AN ON THE GROUND SURVEY BY O'DRISCOLL LAND SURVEYING CO., MEDWAY MA, DATE SEPTEMBER 8, 2010 THROUGH DECEMBER 24, 2019.
- WETLAND, RIVER BANK, & FLOOD PLAIN BASED ON DEFINITIVE PLANS ENTITLED "WILLIAMSBURG WAY" OPEN SPACE RESIDENTIAL DEVELOPMENT (OSRD) IN MEDWAY, MASSACHUSETTS", REVISE DATE DECEMBER 15, 2009, PREPARED BY O'DRISCOLL LAND SURVEYING CO. AND FAIST ENGINEERING INC.
- MODIFICATION TO CERTIFICATE OF ACTION DATE: JUNE 25, 2013
ORIGINAL PLAN ENDORSEMENT DATE: JANUARY 28, 2010
- ELEVATIONS REFER TO NGVD 1929 DATUM AS SHOWN ON ORIGINAL PLAN.
- UNDERGROUND ELECTRIC/CABLE/TELEPHONE UTILITY LINES/CONDUIT LOCATIONS ARE APPROXIMATE AND BASED ON AS-BUILT UTILITY BOX LOCATIONS AND LIMITED PAVEMENT MARKINGS AT THE TIME OF THE SURVEY. (SEE DIG-SAFE NOTE).



- DIG-SAFE NOTE (1-888-344-7233):**
- CONTRACTOR REQUIRED TO NOTIFY "DIG SAFE" 72 HOURS PRIOR TO ANY ON-SITE EXCAVATION OR CONSTRUCTION AT 1-888-344-7233. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER AND SEWER DEPARTMENTS TO MARK OUT THEIR UTILITIES.
 - CONTRACTOR TO VERIFY ALL ON-SITE UTILITY LOCATIONS WITH WILLIAMSBURG CONDOMINIUM INDIVIDUAL PROPERTY OWNERS PRIOR TO ON-SITE EXCAVATION.

PROFILE "WILLIAMSBURG WAY"
(STA. 5+00 - STA. 11+78.27)

HORIZONTAL SCALE: 1"=40'
VERTICAL SCALE: 1" = 4'

PROGRESS PRINT 12-19-19

O'DRISCOLL LAND SURVEYING Co.
LAND SURVEYING GPS MAPPING LAND CONSULTING
48 COTTAGE STREET MEDWAY, MASSACHUSETTS 02053
PHONE: (508) 533-3314

McCLURE ENGINEERING, INC.
119 Worcester Road
Charlton, MA 01507
Tel: (508) 248-2005
Fax: (508) 248-4887
Email: dfaist@mcclureengineering.com

AS-BUILT PLAN & PROFILE
"WILLIAMSBURG WAY" OSRD
WILLIAMSBURG WAY
MEDWAY, MA, 02053
PREPARED FOR
MR. PAUL YORKIS
159 MAIN STREET
MEDWAY, MA, 02053

DRAWN BY: DO/DF
DATE: 12/19/2019
CHK BY: DTF
SCALE: 1"=40'
PROJ. NO. 177-1989-K

AS-BUILT PLAN & PROFILE

SHEET **3** OF **3**

| REV | DATE | DESCRIPTION | MADE BY |
|-----|------|-------------|---------|
| | | | |
| | | | |
| | | | |

Susan Affleck-Childs

From: Rick Tweedy <rtweedy@frsqm.com>
Sent: Monday, April 20, 2020 12:45 PM
To: Susan Affleck-Childs
Cc: Paul Yorkis
Subject: Williamsburg Condominiums / Paul Yorkis

Susan,

As I was contacted by Mr. Yorkis last week, after the meeting with him, he asked me to reach out directly to you on three matters:

- 1) As it pertains to the issue of the street light lamp posts, he was asked to repair 3 faulty posts. It is my understanding that his retort was that these were damaged by Association matters and the fault should lie with the Association for repair. Just to let you know, last year there was discussion with the Board about replacing all of the current lamp posts with a one piece design as the construction of these, a three piece design, is inherently not very sturdy especially during windy events. It was with that notion that the Board decided to eventually replace the posts at their own expense. So, as it pertains to Mr. Yorkis, we will concede to having the responsibility of those faulty posts removed from his list of duties at Williamsburg.
- 2) Damaged handhole enclosure: Please know that we are also aware of his request to remove this item from his list as the item was obviously damaged during a plowing event for the Association. Please be advised that as we concur with that analysis, the Association will take up at their own cost the repair / replacement of this utility box. So, please consider the matter closed as we will not be expecting Mr. Yorkis to repair.
- 3) One way signage: It is our understanding that Mr. Yorkis had been tasked with erecting two additional one way signs on the interior of the property. As the Board has had previous discussions on this matter, it is the Board's decision NOT to have these placed in the interior of the property. However, we do ask that Mr. Yorkis purchase the signs and posts so the Association could place them in the future in a chosen location.

Please let me know if there are any other matters that I should consult the Board on in regards to Mr. Yorkis' punch list.

Thank you

Richard Tweedy
Portfolio Manager
Franklin Square Management
PO Box 2283
Plainville, Ma. 02762
rtweedy@frsqm.com



Truax Corporation
PO Box 2186
Plainville, MA 02762

Invoice

| Date | Invoice # |
|-----------|-----------|
| 7/23/2020 | 10590 |

| Bill To |
|---|
| Williamsburg Condo Association 159 Main Street Medway, MA 02053 |

| Project | P.O. No. | Terms |
|---------------------------------|----------|----------------|
| 20-351 Williams Way Off West St | | Due on receipt |

| Service Date | Service Perfor... | Description/Location | Quantity | Rate | Amount |
|--------------|-------------------|--|----------|--------------|-----------------|
| 7/22/2020 | Catch Basin | SERVICE LOCATION: Williamsburg Way off West St ~ Medway Clamshell Truck with Operator to clean catch basin/stormceptor and haul out material | 1 | 895.00 | 895.00 |
| | | | | Total | \$895.00 |

| Phone # | Fax # | Web Site |
|------------|------------|--------------------------|
| 5083160979 | 5083160739 | www.truaxcorporation.com |

Williamsburg

NOTICE OF EXPROPRIATION

TOWN OF MEDWAY PLANNING BOARD

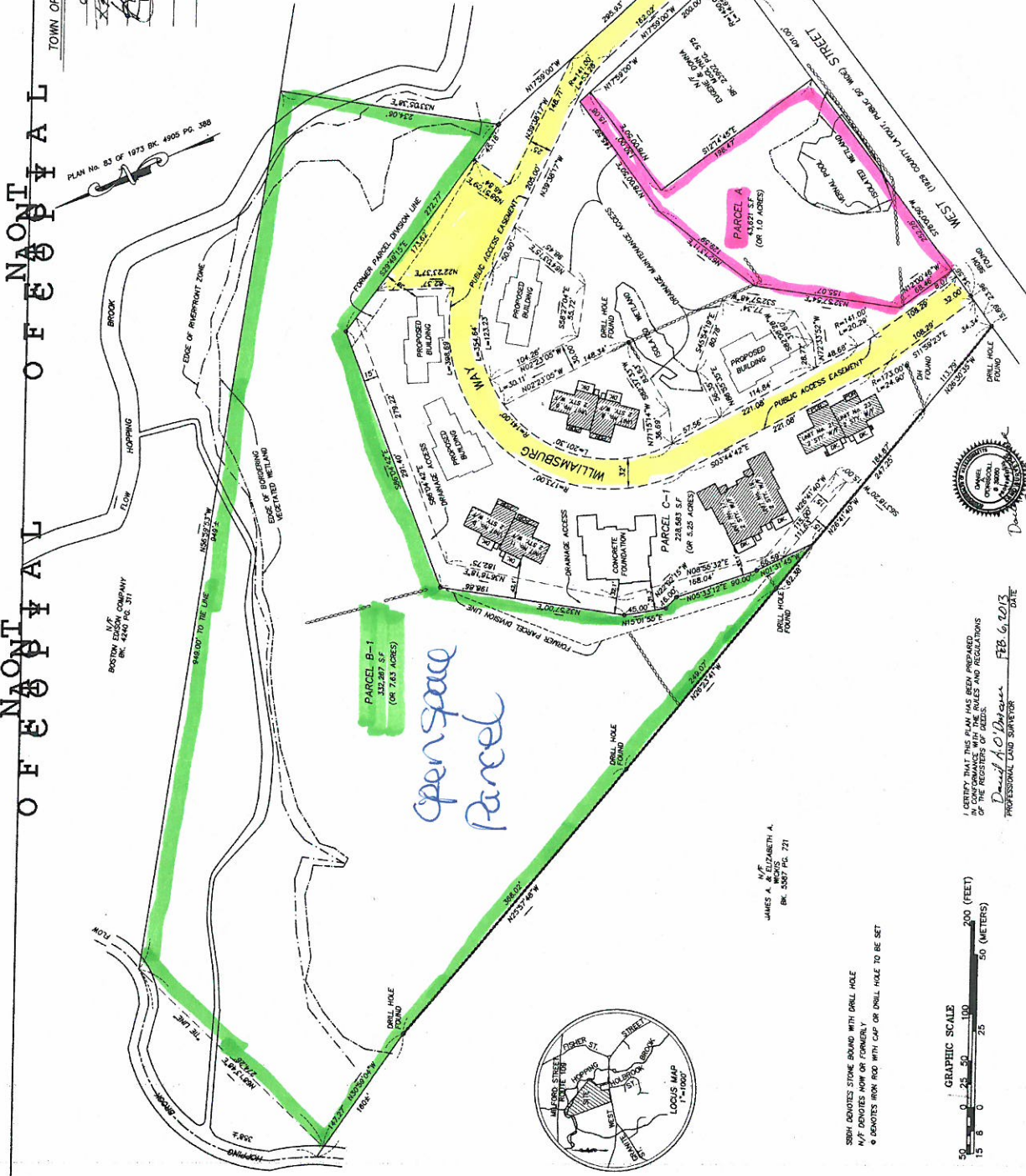
Notified Registry of Deeds
 Southern Mass.
 Received Sept. 17, 2013
 Plan of Medway to
 Williamsburg Center
 Filed as Page 56
 PL 625
 O'Driscoll
 Registered

RESERVED FOR RESIDENTIAL USE

DATE: Aug 12, 2013
 BY: [Signature]
 FOR: [Signature]

I, MARYANNE WHITE, CLERK OF THE TOWN OF MEDWAY, HEREBY
 CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY
 THE TOWN OF MEDWAY PLANNING BOARD WAS RECORDED
 AT THIS OFFICE AND NO NOTICE OF OBJECTION WAS
 RECEIVED WITHIN THE TWENTY DAYS NEXT AFTER SUCH RECORDED
 ON SAID NOTICE

[Signature] Aug 25, 2013
 TOWN CLERK



I CERTIFY THAT THIS PLAN HAS BEEN PREPARED
 IN ACCORDANCE WITH THE RULES AND REGULATIONS
 OF THE REGISTRY OF DEEDS.
 David A. O'Driscoll
 PROFESSIONAL LAND SURVEYOR
 DATE: FEB 6, 2013

SETH DENOTES STONE BOUND WITH DRILL HOLE
 N/T DENOTES NOW OR FORMERLY
 * DENOTES IRON ROD WITH CAP OR DRILL HOLE TO BE SET

PREPARED FOR: WILLIAMSBURG CONDOMINIUM CORPORATION
 1000 COUNTY LANE, SUITE 200
 MEDWAY, MA 02553
 ASSESSORS REFERENCE: MAP 55
 DEED REFERENCE: PARCELS 55-4 & 55-5
 DEED REFERENCE: NORFOLK COUNTY REGISTRY OF DEEDS
 PLAN NO. 53 OF 1973 BK. 4909 PG. 308
 PLAN NO. 359 OF 2002 PL. BK. 497
 PLAN NO. 72 OF 2003 PL. BK. 515
 1000 COUNTY LANE, SUITE 200
 ZONING DISTRICT: AGRICULTURAL RESIDENTIAL II

PLAN OF LAND
 "WILLIAMSBURG WAY"
 DEFINITIVE OSD DEVELOPMENT PLAN
 IN
 MEDWAY, MASSACHUSETTS
 SCALE: 1"=50'
 AUGUST 31, 2009
 REVISED: OCTOBER 15, 2009
 REVISED: JANUARY 28, 2010
 REVISED: FEBRUARY 6, 2013

O'DRISCOLL
 LAND SURVEYING CO.
 46 OTTUM STREET
 MEDWAY, MASSACHUSETTS 02553 (508) 552-3214

625-56-2013

Conservation
 Restriction

Open Space Parcel → Conservation Commission
 Public Access Easement

QUITCLAIM DEED

Williamsburg Condominium Corporation, a corporation organized under the laws of the Commonwealth of Massachusetts, with a principal place of business at 159 Main Street, Medway, Massachusetts

for consideration of less than One Hundred and 00/100 (\$100.00) Dollars

grants to **THE TOWN OF MEDWAY, ACTING BY AND THROUGH ITS CONSERVATION COMMISSION**, Town Hall, 155 Village Street, Medway, Norfolk County, Massachusetts for conservation and open space purposes

with QUITCLAIM COVENANTS

The land in Medway, Norfolk County, Massachusetts shown as "PARCEL B-1" on a plan of land entitled, 'Plan of Land "Williamsburg Way" Definitive OSRD Development Plan in Medway, Massachusetts Scale: 1" = 50' August 31, 2009' last revised on February 6, 2013, prepared by O'Driscoll Land Surveying Co., recorded with the Norfolk County Registry of Deeds in Plan Book 625, Pages 56-57.

Said PARCEL B-1 contains 7.63 acres of land, more or less, according to said plan.

This transfer is in the ordinary course of business of the Grantor.

Being a portion of the premises conveyed to Grantor by Deed recorded with the Norfolk County Registry of Deeds at Book 27111, Page 118.

IN WITNESS WHEREOF, the said Williamsburg Condominium Corporation has caused its corporate seal to be hereto affixed and these presents to be signed, acknowledged and delivered in its name and behalf by Paul G. Yorkis, its President & Treasurer this 23rd day of June, 2020.

Williamsburg Condominium Corporation

By: 

Paul G. Yorkis, President & Treasurer

COMMONWEALTH OF MASSACHUSETTS

Norfolk, ss.

June 23, 2020

On this 23rd day of June, 2020 before me, the undersigned notary public, personally appeared Paul G. Yorkis, proved to me through satisfactory evidence of identification, which was a Driver's License, to be the person whose name is signed on the preceding or attached document, and acknowledged to me that he signed it voluntarily for its stated purpose as President & Treasurer of Williamsburg Condominium Corporation.


_____, Notary Public
My Commission Expires:



NOT
AN
OFFICIAL
COPY

NOT
AN
OFFICIAL
COPY

Grantor: Paul G. Yorkis, Trustee of the
Williamsburg Condominium Trust
Grantee: Town of Medway, Acting By and
Through Its Conservation
Commission
Property Address: West Street, Medway, MA
Title Reference: Book 2711, Page 118

RECEIVED AND RECORDED
NORFOLK COUNTY
REGISTRY OF DEEDS
DEDHAM, MA

CERTIFY

William R. O'Donnell
WILLIAM R. O'DONNELL, REGISTER

CONSERVATION RESTRICTION

Paul G. Yorkis, of 7 Independence Lane, Medway, Massachusetts, Trustee of the Williamsburg Condominium Trust w/d/t dated January 21, 2011, recorded with the Norfolk County Registry of Deeds in Book 28535, Page 227, being the sole owner, for his successors and assigns ("Grantor"),

acting pursuant to Sections 31, 32, and 33 of Chapter 184 of the Massachusetts General Laws,

hereby grants to **THE TOWN OF MEDWAY, ACTING BY AND THROUGH ITS CONSERVATION COMMISSION**, Town Hall, 155 Village Street, Medway, Norfolk County, Massachusetts 02053,

by authority of Chapter 40 Section 8C, and its permitted successors and assigns ("Grantee"),

for consideration of less than One Hundred and 00/100 (\$100.00) Dollars,

with Quitclaim Covenants

in perpetuity and exclusively for conservation purposes, the following Conservation Restriction on a parcel of land located in the Town of Medway, Massachusetts constituting approximately 1 acre ("Premises"), and shown as "Open Space Parcel 'A'" on a plan of land entitled, 'Plan of Land "Williamsburg Way" Definitive OSRD Development Plan in Medway, MA prepared by O'Driscoll Land Surveying Co. Date August 31, 2009, Revise Date January 28, 2010' recorded with the Norfolk County Registry of Deeds at Plan Book 598, Pages 68-74.

I. PURPOSES:

This Conservation Restriction is defined in and authorized by Sections 31-33 of Chapter 184 of the General Laws and otherwise by law. The purpose of this Conservation Restriction is to assure that the Premises will be maintained in its current condition in perpetuity and for conservation purposes, predominantly in a natural, scenic and undeveloped condition, and to prevent any use or change that

92 West Street, Medway

Susan Affleck-Childs

From: Paul Yorkis <pgyorkis@gmail.com>
Sent: Monday, July 27, 2020 6:57 PM
To: Susan Affleck-Childs
Subject: Fwd: Williamsburg Condo project

Please see the attached email from MaryAnn DiPinto.

Paul G. Yorkis
Patriot Real Estate, Inc.
Cell 508-509-7860
Pgyorkis@gmail.com
2020 RCAM President
2017 MAR President
2011 MAR Realtor of the Year
NAR Federal Political Coordinator for Congressman Joe Kennedy
Sent from my iPhone

Begin forwarded message:

From: 3oaks <threeoaksenvironmental@gmail.com>
Date: July 27, 2020 at 6:51:45 PM EDT
To: Paul Yorkis <pgyorkis@gmail.com>
Subject: Fwd: Williamsburg Condo project

From: MaryAnn DiPinto <threeoaksenvironmental@gmail.com>
Date: July 27, 2020 at 3:59:02 PM EDT
To: "Paul G. Yorkis" <pgyorkis@gmail.com>
Subject: Williamsburg Condo project

Dear Mr. Yorkis,

Several months ago I requested a certificate of compliance from DEP for the above-referenced project since the Department issued the Superseding Order of Conditions for the project. Because of COVID-19 restrictions, it is my understanding, that the DEP has not been conducting site visits and is therefore unable to issue a certificate of compliance for the above-referenced project. I have emailed the environmental analyst who was assigned the SOC. I have called and left messages for the section chief in the event another staff member was assigned to the project. No one from the DEP has responded to my emails or phone messages. With the staff all working from home communication has been challenging. It is my understanding that the project is complete and should readily receive a certificate of compliance once DEP is able to conduct a site inspection.

Please let me know if you have any questions or need additional information,

Sincerely,

MaryAnn DiPinto

--

MaryAnn DiPinto, PWS #0227

**Three Oaks Environmental
P.O. Box 404
Hubbardston, MA 01452
978-855-3180**

Susan Affleck-Childs

From: Bouley, Steven <Steven.Bouley@tetrattech.com>
Sent: Tuesday, July 28, 2020 5:08 PM
To: Susan Affleck-Childs
Subject: RE: Williamsburg

Hi Susy,

I just met with him and 99% of items have been addressed. There are two minor items that remain (pointing of curb and filling in the dewatering sump pipe) and Paul stated he will be sending me photos of their completion by Thursday. Paul also stated he will be sending the invoice from the recent drainage system cleaning and a message from DEP related to final inspections on their end. Please let me know if you need anything else, thanks.



Steve

Steven M. Bouley, P.E. | Senior Project Engineer | Tetra Tech Direct +1 (508) 786-2382 | Business +1 (508) 786-2200 | steven.bouley@tetrattech.com While we are operating remotely in response to COVID-19, Tetra Tech teams remain fully connected and hard at work servicing our clients and ongoing projects. We would also like to wish health and wellness to you and your family.

This message, including any attachments, may include privileged, confidential and/or inside information. Any distribution or use of this communication by anyone other than the intended recipient is strictly prohibited and may be unlawful. If you are not the intended recipient, please notify the sender by replying to this message and then delete it from your system.

-----Original Message-----

From: Susan Affleck-Childs <sachilds@townofmedway.org>
Sent: Tuesday, July 28, 2020 3:27 PM
To: Bouley, Steven <Steven.Bouley@tetrattech.com>
Subject: FW: Williamsburg

 CAUTION: This email originated from an external sender. Verify the source before opening links or attachments. 

Hi Steve,

We just received the note below from Paul Yorkis. I don't quite understand. Have you done another site inspection to determine if everything is done!!?!

Susy

-----Original Message-----

From: Paul Yorkis <pgyorkis@gmail.com>
Sent: Tuesday, July 28, 2020 3:25 PM
To: Susan Affleck-Childs <sachilds@townofmedway.org>
Cc: Andy Rodenhiser <andy@rodenhiser.com>
Subject: Williamsburg

Hello.

The site walk is done on the punch list items have been completed.

I respectfully request my bond be released.

See you at the meeting.

Paul G. Yorkis

Patriot Real Estate, Inc.

Cell 508-509-7860

Pgyorkis@gmail.com

2020 RCAM President

2017 MAR President

2011 MAR Realtor of the Year

NAR Federal Political Coordinator for Congressman Joe Kennedy Sent from my iPhone

Susan Affleck-Childs

From: Susan Affleck-Childs
Sent: Wednesday, April 15, 2020 9:34 AM
To: Michael Gookin
Cc: Paul Yorkis; Andy Rodenhiser
Subject: Reduction in performance security - Williamsburg (Medway)
Attachments: Bond Estimate_Williamsburg Way 2020-04-14.pdf; Memo_Williamsburg Way Punch List_2020-04-14.pdf; 8-24-10 signed bond agreement - Williamsburg.pdf

Dear Mr. Gookin,

At its April 14, 2020 meeting, the Medway Planning and Economic Development Board voted to reduce the amount of performance security for the Williamsburg development from its current amount of \$133,169 to \$41,375. The reduction was based on a site visit conducted on April 10, 2020 and the corresponding report and bond estimate prepared by Tetra Tech, the Board's consulting engineer. See attached. The amount indicated in the Tetra Tech bond estimate was reduced by \$250 as Mr. Yorkis provided photographic evidence that the bench in the open space area had been secured.

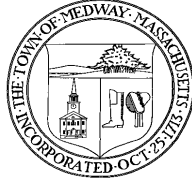
Pursuant to item #6 of the Williamsburg Performance Secured by Lenders Agreement entered into August 24, 2010 by Walpole Cooperative Bank, Williamsburg Condominium Corporation and the Medway Planning and Economic Development Board, you are authorized to reduce the retained funds to \$41,375.

Please advise if you have any questions.

Best regards,

Susy Affleck-Childs

Susan E. Affleck-Childs
Planning and Economic Development Coordinator
Town of Medway Public Schools 155 Village Street
Medway, MA 02053
508-533-3291



August 11, 2020, 2020
Medway Planning & Economic Development Board
Meeting

Medway Place Site Plan

- Public Hearing Continuation Notice dated July 30, 2020, filed with the Town Clerk
- Email request dated August 5, 2020 from Attorney Gareth Orsmond to continue the Medway Place site plan public hearing

Board Members

Andy Rodenhiser, Chair
Robert Tucker, Vice Chair
Thomas Gay, Clerk
Matthew Hayes, P.E.,
Member
Richard Di Iulio, Member
Jessica Chabot, Associate
Member



Medway Town Hall
155 Village Street
Medway, MA 02053
Phone (508) 533-3291
Fax (508) 321-4987
Email: planningboard@townofmedway.org
www.townofmedway.org

TOWN OF MEDWAY COMMONWEALTH OF MASSACHUSETTS PLANNING AND ECONOMIC DEVELOPMENT BOARD

RECEIVED

JUL 30 2020

TOWN CLERK

MEMORANDUM

July 30, 2020

TO: Maryjane White, Town Clerk
Town of Medway Departments, Boards and Committees

FROM: Susy Affleck-Childs, Planning & Economic Development Coordinator

RE: **Public Hearing Continuation: Medway Place Shopping Plaza Site Plan**
98, 108 and 114 Main Street
Continuation Date: Tuesday, August 11, 2020 at 9:00 pm



At its July 28, 2020 meeting, the Planning and Economic Development Board voted to continue the public hearing on the application of Medway Realty LLC of Boston, MA for approval of a site plan for proposed site improvements at the Medway Place shopping plaza located at 98, 108 and 114 Main Street to Tuesday, August 11, 2020. The continuation was approved at the request of the applicant.

This continuation is also made pursuant to Chapter 53 of the Acts of 2020, enacted April 3, 2020, which grants authority to Massachusetts planning boards to reschedule public hearings to a date not more than 45 days after the termination of the COVID-19 State of Emergency. At the present time, there is no conclusion date for the COVID state of emergency in Massachusetts.

The continued hearing is scheduled for 9:00 p.m. on August 11th. The meeting will be held live and via remote participation on ZOOM; instructions for accessing the ZOOM meeting will be included on the meeting agenda.

The applicant proposes changes in the layout of and landscaping for the 446 space Medway Place parking lot as a result of the recently completed Mass Department of Transportation Route 109 improvement project which included a new traffic light and entrance into Medway Place. The parking lot work will align the parking spacing with the Mass DOT constructed boulevard style main entrance to improve traffic circulation on site. The work will include widening the east side of the entrance aisle to the property to 20' wide. The applicant also proposes to install new stormwater management controls to treat stormwater collected from the parking lot before it is discharged into the Town's municipal storm drain system to meet the Town's MS4 requirements.

The proposed improvements are shown on *Medway Place Site Plan and Landscape Plan* dated October 16, 2019 by Howard Stein Hudson of Boston, MA. The *Drainage Improvement Plan for 98, 108 and 114 Main Street* is dated September 7, 2019 and was prepared by Grady Consulting, LLC of Kingston, MA. The documents are on file with the Medway Town Clerk and at the Community and Economic Development office at Medway Town Hall, 155 Village Street, Medway, MA. The materials have been posted to the Planning and Economic Development Board's page at the Town's web site at: <https://www.townofmedway.org/planning-economic-development-board/pages/medway-plaza-site-plan>. A revised plan is expected and will be posted upon receipt. Please don't hesitate to contact me if you have any questions.

Susan Affleck-Childs

From: Gareth Orsmond <gorsmond@PierceAtwood.com>
Sent: Wednesday, August 05, 2020 8:54 AM
To: Susan Affleck-Childs
Subject: Medway Place

Susan,

Please continue the planning board hearing on Medway Place to the next available hearing date.

Thank you for your courtesy.

Regards,
Gareth

Gareth Orsmond
PIERCE ATWOOD LLP

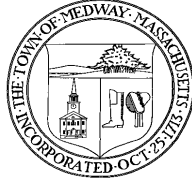
100 Summer Street
22nd Floor
Boston, MA 02110
PH 617.488.8181
FAX 617.824.2020

One New Hampshire Ave
Suite 350
Portsmouth, NH 03801
PH 617.488.8181
FAX 603.433.6372

gorsmond@PierceAtwood.com

BIO > Admitted in MA/NH

This e-mail was sent from Pierce Atwood. It may contain information that is privileged and confidential. If you suspect that you were not intended to receive it please delete it and notify us as soon as possible.



August 11, 2020, 2020

**Medway Planning & Economic Development Board
Meeting**

Medway Green Project Completion

- Request for Project Completion and Performance Security Release dated July 7, 2020
- Certification of Compliance Letter, Dan Merrikin, P.E., dated July 27, 2020
- As-Built Plan dated June 3, 2020 by Colonial Engineering
- Project Completion Checklist dated July 7, 2020 with Mark Heavner notes
- Photos documenting bench installation
- Sewer installation as-builts
- Photos documenting shutter installation
- Drainage maintenance and inspection report from Mark Heavner, July 2020
- TriParty Agreement signed August 27, 2019 (\$47,250)
- Tetra Tech sign off
- Tax Certification dated August 7, 2020 from Treasurer/Collector's office

I can verify that the applicant does not owe any construction observation funds. However, real estate taxes are owed the Town on units owned by the developer (Courtland Pines, LLC). Mark Heavner has been informed and asked to pay those balances before Tuesday night's meeting. Steve Bouley can comment on the most recent inspection of the site.

COURTLAND PINES, LLC.

838 Washington St.,
Holliston, MA 01746
508-561-6091
mark.heavner@mac.com

July 7, 2020

Medway PEDB
155 Village St
Medway, MA 02053

Re: 176 main St Project

Dear Susy

This project is finally complete! This letter is to request a Certificate of Site Plan Completion and release of the performance security bond. I am hoping to get on the agenda for the July 28th meeting. I will be forwarding you all of the requested documentation over the next few days. As per our earlier email correspondence I will not have the engineering certification until early next week.

Sincerely yours,

Mark Heavner, manager

Courtland Pines, LLC.



dan@legacy-ce.com
508-376-8883(o)
508-868-8353(c)
730 Main Street
Suite 2C
Millis, MA 02054

July 27, 2020

Planning and Economic Development Board
Town Offices
155 Village Street
Medway, MA 02053

Ref: Medway Green
Multi-Family Development

Dear Members of the Board:

I am writing per General Condition L.2.a to provide an opinion as to the construction condition of the Medway Green development at the corner of Main Street and Mechanic Street. Note that we were not involved in the construction and therefore cannot attest to compliance with any procedural requirements, construction methods or underground conditions that are not presently visible. We also offer no opinion relative to architectural considerations or to the construction of the structures themselves, which is governed by the Building Code. Our opinion is based on a review of:

- ✓ The approved site plans endorsed by the PEBD on April 25, 2017;
- ✓ The permit issued by the March 21, 2017;
- ✓ The permit amendment dated February 13, 2018;
- ✓ The site asbuilt prepared by Colonial Engineering, Inc. dated May 13, 2020, revised through July 27, 2020; and
- ✓ Site inspection of visible surface features.

We note the following minor deviations from the approved site plan, which are insubstantial in my opinion:

- Minor deviations in the locations and elevation of constructed features as compared to the design plan.
- The landscape island in front of unit 2-1 is smaller than on the approved plans and the small landscape island in front of unit 2-2 is paved.
- Minor deviations in the location of utility services.
- We note that there are some differences between the approved landscape plan and the actual planting scheme, although it appears to be generally consistent. It appears that some trees were moved to different locations on the site.



- The drainage swale behind the parking spaces adjacent to the rain garden is truncated slightly to accommodate the park benches, but the available operating volume in the rain garden is generally consistent with the rain garden design.

Aside from the minor deviations noted above, it is my opinion that the constructed development is in substantial compliance with the approved site plan and associated permit from the Medway PEBD.

Do not hesitate to contact me should you have any questions or comments.

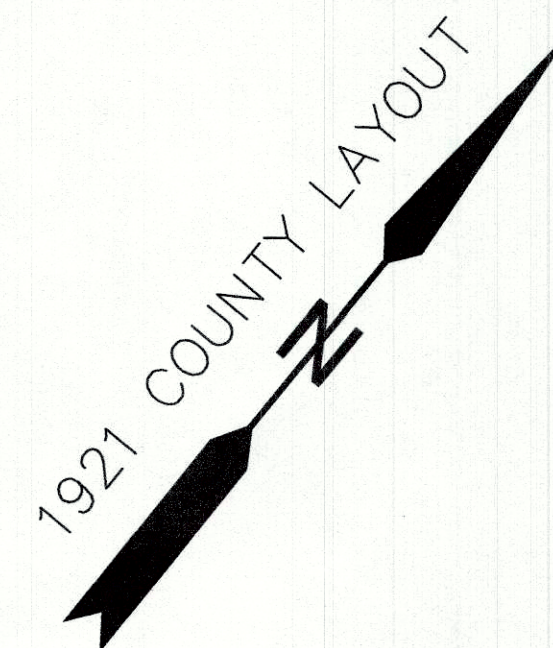
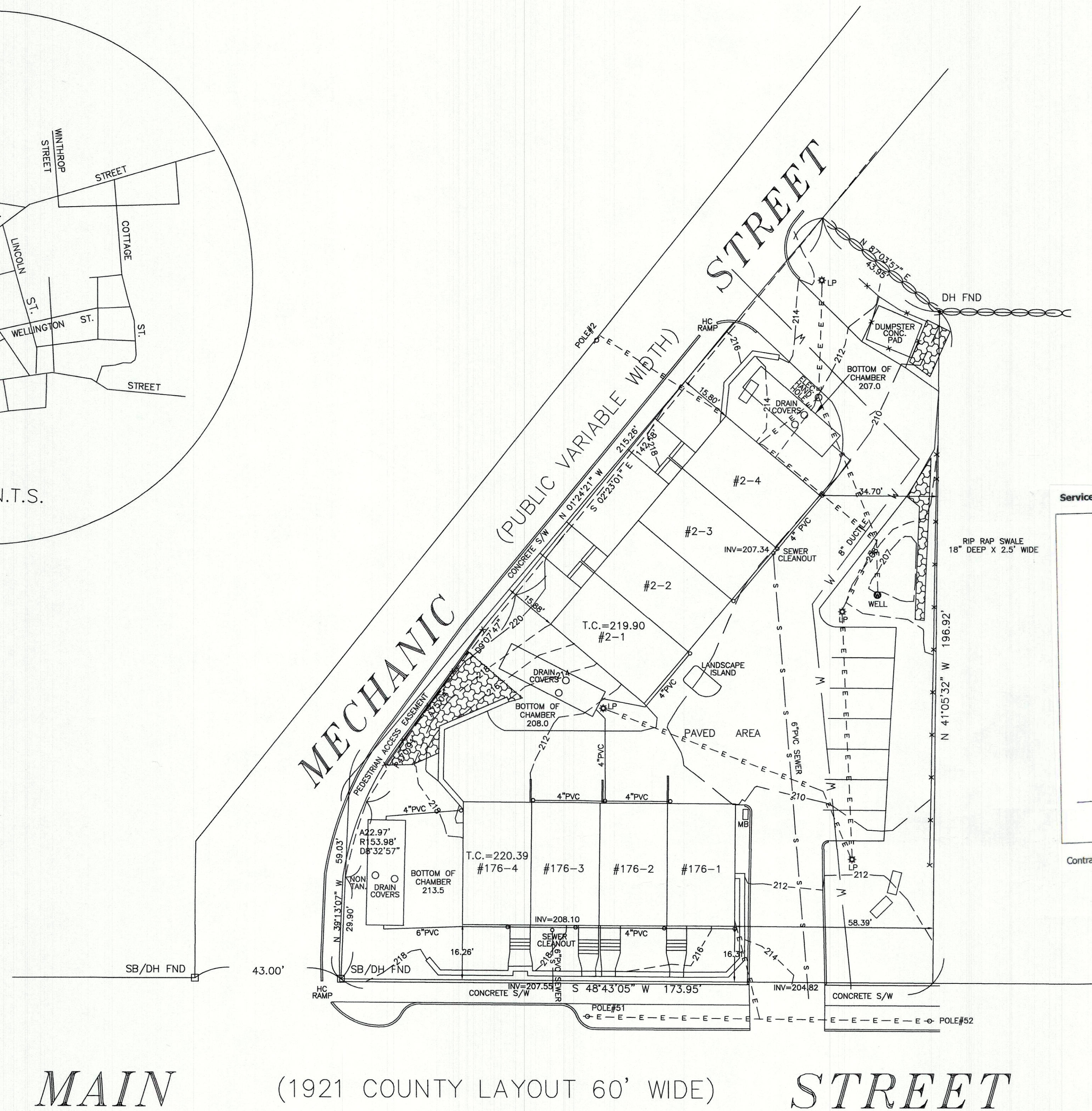
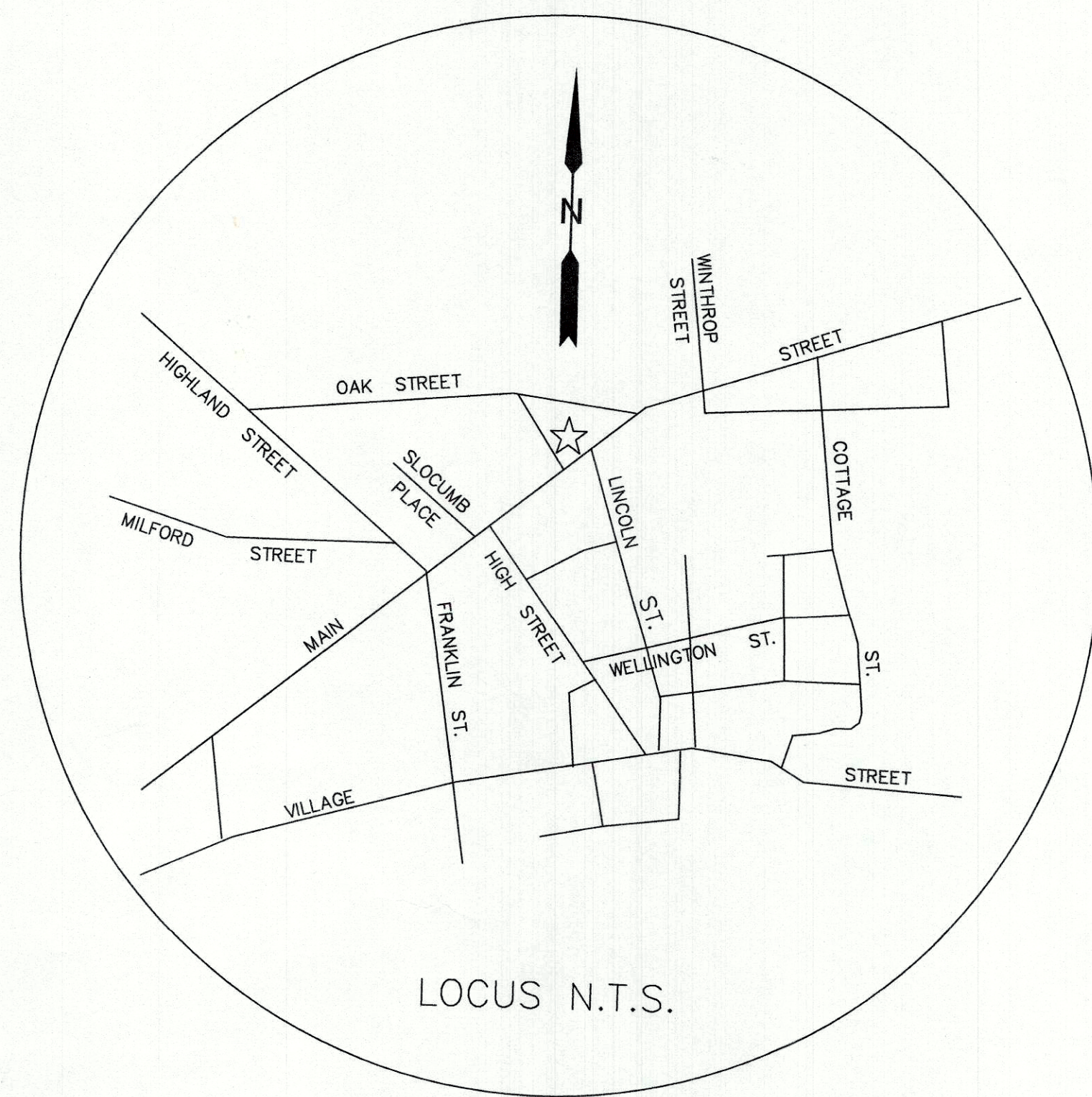
Yours Truly,

LEGACY ENGINEERING LLC

Daniel J. Merrikin, P.E.
President



cc: File



Service Address 176 MAIN ST 1-4 Permit # _____

Date Completed: 6-21-18
Pipe Size 6" Inch
(If more than one size, submit a detailed plan/drawing.)

| | | |
|---------------------|-----------|------------|
| Copper | _____ | Ft. |
| C.L.D.I. | _____ | Ft. |
| Plastic | _____ | Ft. |
| Total Length | _____ | Ft. |
| Depth @ Bldg. | <u>8'</u> | Ft. |
| Depth @ Street | <u>8'</u> | Ft. |
| Fittings | _____ | |
| Slope of Pipe | _____ | |

Contractor Signature Sal Santoro Date 6/22/18

Service Address 2 Mechanic St 1-4 Permit # 45-2018-68-27

Date Completed: 7-26-18
Pipe Size 6" Inch
(If more than one size, submit a detailed plan/drawing.)

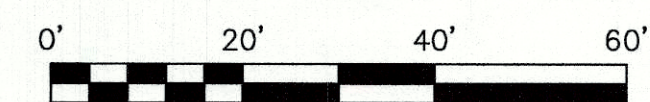
| | | |
|---------------------|-------------|------------|
| Copper | _____ | Ft. |
| C.L.D.I. | _____ | Ft. |
| Plastic | _____ | Ft. |
| Total Length | _____ | Ft. |
| Depth @ Bldg. | _____ | Ft. |
| Depth @ Street | _____ | Ft. |
| Fittings | _____ | |
| Slope of Pipe | <u>2.7%</u> | |

Contractor Signature Sal Santoro Date 7/26/18

AS-BUILT
PLAN OF LAND
IN
MEDWAY, MA.

SCALE: 1"=20' DATE: MAY 14, 2020
REVISED MAY 28, 2020
REVISED JUNE 3, 2020
6/10/20
OWNERS: Courtland Pines, LLC.
838 Washington Street
Holliston, Ma. 01746

COLONIAL ENGINEERING INC.
11 AWL STREET MEDWAY, MA.
(508) 533-1644



NOTE: CALL DIG-SAFE PRIOR TO ANY EXCAVATION
NOTE: BM TOP OF CONCRETE ON UNITS 176-4 AND 2-1.

LINCOLN ST.
(PUBLIC VAR. WIDTH)

Medway Green Project Completion Checklist

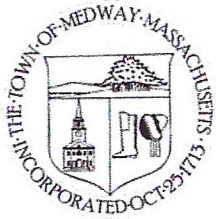
June 11, 2020 (sac)

1. A final site visit from Tetra Tech, punch list if needed or sign off. Please note that some board members may also visit the site and develop a list of items that warrant attention.
This Item is complete as per email from Steve Bouley dated June 26, 2020
2. Provide written certification from a licensed PE that the work on the site plan has been completed in accordance with the approved plan as amended through authorized field changes and modifications.
I expect the report early next week and will forward when available.
3. Provide proof of recording (Norfolk County Registry of deeds) of the Affordable Housing Regulatory Agreement and the Deed Rider for the affordable housing unit
The regulatory agreement is recorded at Book 37282 Page 130. The form for the rider starts on page 147. The deed for unit 176-2 (affordable) is recorded at Book 37562 page 542-560
4. Provide documentation of recent maintenance and cleaning of the stormwater management system.
I will send this out tomorrow.
5. Provide documentation that the condo association's declaration of trust and the master deed include the language as specified in the Medway Green special permit/site plan decision.
See attached master deed and Declaration of Trust.
6. Approved plan shows shutters on the windows. These need to be installed.
Done. See attached photos.
7. Provide contact information for leadership of the condominium association. Are they going to manage the condo themselves? Are they going to hire a management company?
I will remain as the trustee for the time being since I still own 3 units.
Medway Greens Condo Trust, Mark Heavner, trustee.
838 Washington St., Holliston, MA 01746 508-561-6091
8. Send the Board a request for a Certificate of Site Plan Completion and release of performance security.
See attached

Medway Green – Bench Installation Documentation

June 26, 2020





TOWN OF MEDWAY
DEPARTMENT OF PUBLIC SERVICES
MEDWAY, MASSACHUSETTS

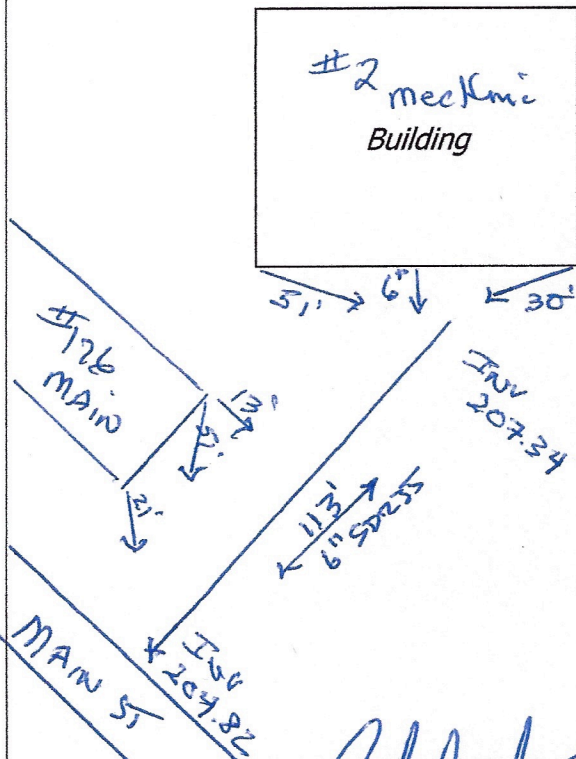
Entrusted To
Manage The
Public
Infrastructure

Utility As-Built Form

- By State Law, Dig-Safe must be contacted at least 72 business hours in advance of all non-emergency work in order to have all public utilities marked clearly. For all emergency work, Dig-Safe must be contacted within 2 hours of the start of work.
- **24-hour notice is required for inspections. Do not backfill** until an inspection is performed on a service repair, or an inspection is performed on the **entire** new service. You will be asked to re-excavate for inspection if it's not visible.
- Service connection to be shown on plan below with measurements.
- **This plan will be completed and submitted to the inspector at the time of inspection. If not complete you may be subject to penalties and fines.**

Service Address 2 Mecklenburg St #1-4 Permit # WS-2018-68-72

Include street location on diagram
Include all measurements and ties to building



Date Completed: 7-26-18

Pipe Size 6" Inch

(If more than one size, submit a detailed plan/drawing.)

Copper _____ Ft.

C.L.D.I. _____ Ft.

Plastic _____ Ft.

Total Length _____ **Ft.**

Depth @ Bldg. _____ Ft.

Depth @ Street _____ Ft.

Fittings _____

Slope of Pipe 2%

Contractor Signature

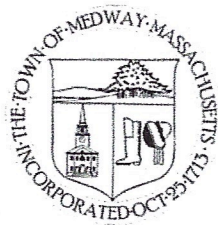
Date

7/26/18

DPS Inspector Signature

Date

7/26/18



TOWN OF MEDWAY
DEPARTMENT OF PUBLIC SERVICES
MEDWAY, MASSACHUSETTS

Entrusted To
Manage The
Public
Infrastructure

Utility As-Built Form

- By State Law, Dig-Safe must be contacted at least 72 business hours in advance of all non-emergency work in order to have all public utilities marked clearly. For all emergency work, Dig-Safe must be contacted within 2 hours of the start of work.
- **24-hour notice is required for inspections. Do not backfill** until an inspection is performed on a service repair, or an inspection is performed on the **entire** new service. You will be asked to re-excavate for inspection if it's not visible.
- Service connection to be shown on plan below with measurements.
- **This plan will be completed and submitted to the inspector at the time of inspection. If not complete you may be subject to penalties and fines.**

Service Address 176 MAIN ST 1-4 Permit # _____

| | | | | | | | | | | | | | |
|--|---|------------|-------|-----|----------|-------|-----|---------|-------|-----|---------------------|-------|------------|
| <p>Include street location on diagram</p> <p>Include all measurements and ties to building</p> <p>176 Building</p> <p>UNIT 1-4</p> <p>4" x 4" w/cement</p> <p>7'-4" S.H. 40 PVC</p> <p>4" x 6" Fernco</p> <p>12'-6" SDR</p> <p>MAIN ST.</p> <p>207.55 IN</p> | <p>Date Completed: <u>6-21-18</u></p> <p>Pipe Size <u>6"</u> Inch</p> <p>(If more than one size, submit a detailed plan/drawing.)</p> <table border="1"><tr><td>Copper</td><td>_____</td><td>Ft.</td></tr><tr><td>C.L.D.I.</td><td>_____</td><td>Ft.</td></tr><tr><td>Plastic</td><td>_____</td><td>Ft.</td></tr><tr><td>Total Length</td><td>_____</td><td>Ft.</td></tr></table> <p>Depth @ Bldg. <u>8'</u> Ft.</p> <p>Depth @ Street <u>8'</u> Ft.</p> <p>Fittings _____</p> <p>Slope of Pipe _____</p> | Copper | _____ | Ft. | C.L.D.I. | _____ | Ft. | Plastic | _____ | Ft. | Total Length | _____ | Ft. |
| Copper | _____ | Ft. | | | | | | | | | | | |
| C.L.D.I. | _____ | Ft. | | | | | | | | | | | |
| Plastic | _____ | Ft. | | | | | | | | | | | |
| Total Length | _____ | Ft. | | | | | | | | | | | |

Contractor Signature Sal Santoro Date 6/22/18

DPS Inspector Signature _____ Date _____

Medway Green – Documentation of shutter installation

July 7, 2020



Medway Greens Condo Trust
Mark Heavner, trustee
838 Washington St
Holliston, MA 01746

Drainage inspection report

12-16-2019 thru. 12-17-2019

Gutter inspection both buildings. No evidence of leaves or debris present in gutters and downspout openings

No Action required to date
Annual inspection required in the fall. Clean as required

7-6-2020

Inspection of rain garden and remove any loose paint material, leaves or sticks as required. Check drain cover to be clear of obstruction

No Action require to date
Perform Monthly inspection as part of lawn care

7-8-2020

Inspection of underground drainage structures through inspection ports. No evidence of foreign material within systems. Stone bed appears to be as clean as the day it was laid. See attached photos.

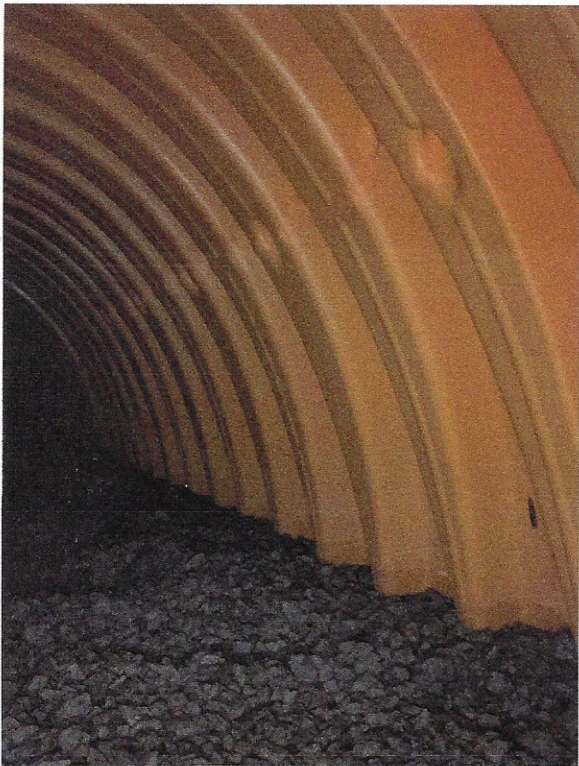
No action required
Annual inspection required

All inspection completed by:

Mark Heavner



Courtland Pines, LLC.
Mark Heavner, manager
838 Washington ST
Holliston, MA 01746
508-561-6091



Typical interior of Chambers

Photo from 7-8-2020



Typical inspection port with 4" pipe

Photo from 7-8-2020

AMENDMENT #1
Performance Secured by Lender's Agreement
Medway Green

Planning & Economic Development Board – Town of Medway, MA

WHEREAS, on the 11th day of June, 2019, the Town of Medway, acting through its Planning & Economic Development Board, (hereinafter referred to as "the Board") with an address of 155 Village Street, Medway, MA 02053; Courtland Pines, LLC ("Permittee") with an address of 838 Washington Street, Holliston, MA 01746; and Wellesley Bank ("Lender") with an address of 100 Worcester Street, Suite 300, Wellesley, MA 02481, entered into a Lender's Agreement in the amount of \$105,125 to secure the completion of site improvements at 176-178 Main Street in Medway, MA as shown on an the endorsed approved *Medway Greens Multifamily Housing Special Permit Site Plan* dated December 18, 2016, last revised March 31, 2017 prepared by Ronald Tiberi, PE, 9 Massachusetts Avenue, Natick, MA 01760, as recorded in the Norfolk County Registry of Deeds on May 11, 2017 in Plan Book 658, Pages 10 - 27 (hereinafter referred to as "the Site Plan"); and

WHEREAS, the Permittee wishes to reduce the amount of performance security to reflect the additional work completed since June 11, 2019; and

WHEREAS, the Permittee, Board, and Lender now need to modify the Lender's Agreement as follows in order to adjust the security to ensure completion of the various site improvements and amenities by reducing the performance security amount from \$105,125 to \$ 47,250 in accordance with the bond reduction estimate prepared by Tetra Tech Engineering dated August 23, 2019 (as attached) and approved by the Board on August 27, 2019.

NOW, THEREFORE, the parties agree as follows:

1. The Permittee and Lender hereby bind and obligate themselves, their executors, administrators, devisees, heirs, successors and assigns to the Board in the sum of \$ 47,250, and have secured this obligation by the Lender retaining said sum of money from said principal sum otherwise due the Permittee ("Retained Funds") to be used to secure the performance by the Permittee of all covenants, conditions, Agreements, terms and provisions contained in the Board's Special Permit; all conditions subsequent to the issuance of the Special Permit and endorsement of the Site Plan due to an amendment, modification or revision of the Site Plan; and all of the provisions set forth in this Agreement and any modifications thereto.
2. The Special Permit requires the Permittee to complete the construction of site improvements no later than two years from the date of the endorsement of the Site Plan. The Site Plan was endorsed on April 25, 2017 and the original required completion date was April 25, 2019. On February 13, 2018, the Board extended that completion deadline to December 21, 2019.

3. Upon completion of all obligations as specified herein on or before the required completion date, or such later date as may be specified by vote of the Board with the concurrence of the Permittee, the interest in such Retained Funds by the Lender shall be released, and the Lender may disburse such Retained Funds to the Permittee only upon receipt by Lender of a written release from the Board. In the event the Permittee should fail to complete the specified site improvements as specified in the Special Permit and Site Plan and within the time herein specified, the Lender shall make available to the Board any undisbursed Retained Funds in accordance with applicable laws, in whole or in part, for the benefit of the Town of Medway to the extent of the reasonable costs to the Town of Medway to complete construction of the site improvements as specified in this Agreement. Failure by the Board to seize the undisbursed Retained Funds if available shall not be deemed a waiver of the right to do so. Any unused portion of the Retained Funds together with accrued interest, will be released by the Board and may be disbursed by the Lender upon completion of the work by the Town of Medway.

4. The Lender hereby agrees that none of the Retained Funds retained as security as specified herein shall be disbursed to the Permittee without the prior written release of said funds by the Board.

5. The Board, after notice to the Permittee and an opportunity for the Permittee to be heard, may rescind its approval of the Special Permit and Site Plan for breach of any provision of this Agreement or any amendments thereof.

6. The Board shall notify the Lender of any authorized reduction or release of the retained funds that secure this Agreement in full or in part. Upon receipt of a written notice of reduction or release, the Lender may disburse the Retained Funds, or portion thereof, to the Permittee.

7. The Permittee agrees and understands that the Board will not release this Agreement until the site improvements have been deemed by the Board to be constructed and installed in accordance with this Agreement, which shall include demonstration of adequate construction and installation for six months prior to said release. This Agreement does not expire until released in full by the Board.

8. Failure to complete construction of the site improvements by the required completion date may result in rescission of approval of the Special Permit and Site Plan.

9. If a court of competent jurisdiction determines that any provision of this Agreement is unenforceable, such determination shall not affect the remaining provisions, which shall remain in full force and effect.

10. Any amendments or extensions of this Agreement shall be made in writing and upon agreement by all parties to this Agreement.

IN WITNESS WHEREOF we have hereunto set our hands and seals this 27th day of August, 2019.

Medway Planning and Economic Development Board

attest
[Signature]
Thomas Jay
Anthony J. Dikulis

COMMONWEALTH OF MASSACHUSETTS

NORFOLK, SS

On this 21st day of August, 2019, before me, the undersigned notary public, personally appeared the following Members of the Medway Planning & Economic Development Board Andy Bodenbiser, Robert Tucker,
Thomas Gay, Richard Dikulis

proved to me through satisfactory evidence of identification, which was (personal knowledge) (Massachusetts driver's license), to be the persons whose names are signed on the preceding document, and acknowledged to me that it was signed voluntarily for its stated purpose as members of the Medway Planning and Economic Development Board.

Mary White
Notary Public

My commission expires: Aug 17, 2020

Courtland Pines, LLC

By: [Signature]

Title/Position: manager

Print name: Mark Heaven

COMMONWEALTH OF MASSACHUSETTS

NORFOLK, SS

On this 28th day of August, 2019, before me, the undersigned notary public, personally appeared the above-named MARK HEAVEN, proved to me through satisfactory evidence of identification, which was (personal knowledge) (Massachusetts driver's license), to be the person whose name is signed on the preceding document, and acknowledged to me that it was signed voluntarily for its stated purpose as MANAGER of Courtland Pines, LLC.

[Signature]
Notary Public

My commission expires: Aug 19 2022

Wellesley Bank

By: [Signature]

Title/Position: FVP Commercial Lender

Print name: Jon Barnes

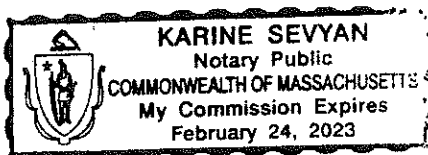
COMMONWEALTH OF MASSACHUSETTS

NORFOLK, SS

On this 28 day of August, 2019, before me, the undersigned notary public, personally appeared the above-named Jon Barnes, proved to me through satisfactory evidence of identification, which was (personal knowledge) (Massachusetts driver's license), to be the person whose name is signed on the preceding document, and acknowledged to me that it was signed voluntarily for its stated purpose as FVP Commercial Lender of Wellesley Bank.

[Signature]
Notary Public

My commission expires: 2/24/23



August 27, 2019

**TETRA TECH**

**Bond Estimate
Medway Greens
Medway, Massachusetts
August 23, 2019**

Marlborough Technology Park
100 Nickerson Road
Marlborough, MA 01752
Tel 508.786.2200 Fax 508.786.2201

| DESCRIPTION | QUANTITY | UNIT | UNIT COST ¹ | ENGINEERS ESTIMATE |
|---------------------------|----------|------|------------------------|--------------------|
| Mobilization | 1 | LS | \$2,500.00 | \$2,500 |
| Rain Garden/Swale | 0 | LS | \$8,000.00 | \$0 |
| Sewer Cleanout | 0 | EA | \$200.00 | \$0 |
| Point Curb | 1 | LS | \$500.00 | \$500 |
| Top Course Paving | 80 | TON | \$120.00 | \$9,600 |
| Stop Signage and Markings | 1 | LS | \$1,200.00 | \$1,200 |
| Lighting | 1 | LS | \$16,000.00 | \$16,000 |
| Landscaping | 0 | LS | \$23,000.00 | \$0 |
| Seed | 0 | SY | \$2.00 | \$0 |
| Remove Erosion Controls | 0 | LS | \$500.00 | \$0 |
| As-Built Plans | 1 | LS | \$5,000.00 | \$5,000 |
| Legal Services | 1 | LS | \$3,000.00 | \$3,000 |
| Subtotal | | | | \$37,800 |
| 25% Contingency | | | | \$9,450 |
| Total | | | | \$47,250 |

Notes:

¹Unit prices are taken from the latest information provided on the MassDOT website. They utilize the MassDOT weighted bid prices (Combined - All Districts) for the time period 8/2018 - 8/2019. Quantities which are too small for accurate representation using the weighted bid pricing were estimated based on industry construction experience.

²Items highlighted in gray have changed since our previous inspection.

Susan Affleck-Childs

From: Bouley, Steven <Steven.Bouley@tetrattech.com>
Sent: Monday, August 03, 2020 3:09 PM
To: Susan Affleck-Childs
Subject: RE: 176 Main st - Medway Green
Attachments: RE: 176 Main st - Engineer's certification from Dan Merrikin

Yes you did send it to me, I attached my response from last week. The landscape islands were modified due to changes in door location for the units, the current island layout is probably best since that driveway area is very tight. I believe the site looks good and is in substantial compliance with the plan and the bond could be refunded.

Steven M. Bouley, P.E. | Senior Project Engineer | Tetra Tech
Direct +1 (508) 786-2382 | Business +1 (508) 786-2200 | steven.bouley@tetrattech.com

While we are operating remotely in response to COVID-19, Tetra Tech teams remain fully connected and hard at work servicing our clients and ongoing projects. We would also like to wish health and wellness to you and your family.

This message, including any attachments, may include privileged, confidential and/or inside information. Any distribution or use of this communication by anyone other than the intended recipient is strictly prohibited and may be unlawful. If you are not the intended recipient, please notify the sender by replying to this message and then delete it from your system.

From: Susan Affleck-Childs <sachilds@townofmedway.org>
Sent: Monday, August 3, 2020 1:18 PM
To: Bouley, Steven <Steven.Bouley@tetrattech.com>
Subject: FW: 176 Main st - Medway Green

⚠ CAUTION: This email originated from an external sender. Verify the source before opening links or attachments. ⚠

Hi,

Did I send you this letter from Dan Merrikin re: Medway Green? Is there anything Dan has noted as deviations that concern you?

Once you and Brad are satisfied with the swale issue, would you send me a separate email as a sign off to the project?

Any thoughts on whether the Board should refund 100% of the performance security?

Susy

From: MARK HEAVNER <mark.heavner@mac.com>
Sent: Monday, July 27, 2020 11:19 AM
To: Susan Affleck-Childs <sachilds@townofmedway.org>
Subject: 176 Main st

Hi Susan
Please see attached letter from Legacy Engineering. Thanks

Susan Affleck-Childs

From: Bouley, Steven <Steven.Bouley@tetrattech.com>
Sent: Monday, July 27, 2020 12:31 PM
To: Susan Affleck-Childs
Subject: RE: 176 Main st - Engineer's certification from Dan Merrikin

Hi Susy,

Further explanation may be warranted since the locations and features aren't mentioned. However, I agree that the site is of substantial compliance with the plans.

They are in the process of deepening the swale along the parking so I had Brad head out to check on it and will have some comments for Dan/Mark related to the final conditions for that.

Please let me know if you need anything else, thanks.

Steve

Steven M. Bouley, P.E. | Senior Project Engineer | Tetra Tech
Direct +1 (508) 786-2382 | Business +1 (508) 786-2200 | steven.bouley@tetrattech.com

While we are operating remotely in response to COVID-19, Tetra Tech teams remain fully connected and hard at work servicing our clients and ongoing projects. We would also like to wish health and wellness to you and your family.

This message, including any attachments, may include privileged, confidential and/or inside information. Any distribution or use of this communication by anyone other than the intended recipient is strictly prohibited and may be unlawful. If you are not the intended recipient, please notify the sender by replying to this message and then delete it from your system.

From: Susan Affleck-Childs <sachilds@townofmedway.org>
Sent: Monday, July 27, 2020 11:35 AM
To: Bouley, Steven <Steven.Bouley@tetrattech.com>
Subject: FW: 176 Main st - Engineer's certification from Dan Merrikin

⚠ CAUTION: This email originated from an external sender. Verify the source before opening links or attachments. ⚠

Hi,

See attached. Please review. What do you think?

I think I would like to ask Dan to further describe the "minor" deviations he has noted.

Susy

From: MARK HEAVNER <mark.heavner@mac.com>
Sent: Monday, July 27, 2020 11:19 AM
To: Susan Affleck-Childs <sachilds@townofmedway.org>
Subject: 176 Main st



TOWN OF MEDWAY
Planning & Economic Development Board
155 Village Street
Medway, Massachusetts 02053

Andy Rodenhiser, Chairman
Robert K. Tucker, Vice-Chairman
Thomas A. Gay, Clerk
Matthew J. Hayes, P.E.
Richard Di Iulio
Jessica Chabot, Associate Member

**Request for Medway Treasurer/Collector's
Verification of Status of Paid Taxes**

Date: August 7, 2020

Developer's Name: Courtland Pines, LLC (Mark Heavner)

Subject Property Address: 176 Main Street and 2 Mechanic Street

Map/Parcel Number(s): 47-036 C002, C003, C004, C005, C006, C007

Property Owner: Courtland Pines, LLC

Project Name: Medway Green Condominiums

Type of Permit: Project Completion

Please indicate the status of taxes/fees owed to the Town:

- ☐ By checking this box and with my signature below, I verify that all taxes and fees owed the Town of Medway **for the subject property** are paid in full as of this date for the subject property noted above.
- ☐ By checking this box and with my signature below, I verify that all taxes and fees owed the Town of Medway **for other properties owned by the applicant** noted above are paid in full as of this date.
- ☒ By checking this box and with my signature below, I verify that the **Town is owed taxes or fees** on properties owned by the above noted applicant. Briefly explain on the lines below. Please attach a report that indicates the property address, what taxes are owed, and the respective amounts.

Mark Heavner 8/7/20
Signature Date

Please complete and return to the Planning and Economic Development office.

08/07/2020 11:52
mshutt

LIVE DATABASE
Parcel Find

P 1
arbiling

PARCEL: 47-036-C003
LOCATION: ** MULTIPLE **
NAME: COURTLAND PINES LLC

EFF DATE: 08/07/2020

| YEAR | CAT | BILL | NSC REFERENCE | BILLED/ADJ | UNPAID BAL | DUE NOW |
|------|------|-------|--------------------|---------------|------------|---------|
| 2020 | RE-R | 989 N | 176 MAIN ST UNIT 3 | 6057.16 | 6057.16 | 6570.72 |
| 2021 | RE-R | 986 N | 176 MAIN ST 3 | 3023.58 | 3023.58 | 1514.11 |
| | | | | TOTAL DUE NOW | | 8084.83 |
| | | | | TOTAL UNPAID | | 9080.74 |

** END OF REPORT - Generated by Marie Shutt **

08/07/2020 11:53
mshutt

LIVE DATABASE
Utility Find

P 1
arbilling

ACCOUNT: 163188
LOCATION: 176 MAIN U-3
ACCT OWNER: COURTLAND PINES, LLC
ACCT CUST:

EFF DATE: 08/07/2020

| YEAR | CAT | BILL | NSC | ORIG | BILLED | ACTIVITY | UNPAID BAL | DUE NOW |
|---------------|------|--------|-----|------|--------|----------|------------|---------|
| 2019-11 | UB-U | 155056 | N | | 81.57 | 10.00 | 91.57 | 98.49 |
| 2020-02 | UB-U | 159406 | N | | 81.57 | 0.00 | 81.57 | 85.63 |
| 2020-05 | UB-U | 163776 | N | | 81.57 | 0.00 | 81.57 | 82.89 |
| TOTAL DUE NOW | | | | | | | | 267.01 |
| TOTAL UNPAID | | | | | | | | 254.71 |

** END OF REPORT - Generated by Marie Shutt **

08/07/2020 11:59
mshutt

LIVE DATABASE
Parcel Find

P 1
arbilling

PARCEL: 47-036-C004
LOCATION: ** MULTIPLE **
NAME: COURTLAND PINES LLC

EFF DATE: 08/07/2020

| YEAR | CAT | BILL | NSC | REFERENCE | BILLED/ADJ | UNPAID BAL | DUE NOW |
|------|------|-------|-----|--------------------|---------------|------------|----------|
| 2020 | RE-R | 990 N | | 176 MAIN ST UNIT 4 | 7005.28 | 7005.28 | 7599.38 |
| 2021 | RE-R | 987 N | | 176 MAIN ST 4 | 3497.64 | 3497.64 | 1751.50 |
| | | | | | TOTAL DUE NOW | | 9350.88 |
| | | | | | TOTAL UNPAID | | 10502.92 |

** END OF REPORT - Generated by Marie Shutt **

08/07/2020 11:56
mshutt

LIVE DATABASE
Utility Find

P 1
arbiling

ACCOUNT: 163189
LOCATION: 176 MAIN U-4
ACCT OWNER: COURTLAND PINES, LLC
ACCT CUST:

EFF DATE: 08/07/2020

| YEAR | CAT | BILL | NSC ORIG | BILLED | ACTIVITY | UNPAID BAL | DUE NOW |
|---------------|------|--------|----------|--------|----------|------------|---------|
| 2019-11 | UB-U | 155057 | N | 81.57 | 10.00 | 91.57 | 98.49 |
| 2020-02 | UB-U | 159407 | N | 168.44 | 0.00 | 168.44 | 176.84 |
| 2020-05 | UB-U | 163777 | N | 299.78 | 0.00 | 299.78 | 304.61 |
| TOTAL DUE NOW | | | | | | | 579.94 |
| TOTAL UNPAID | | | | | | | 559.79 |

** END OF REPORT - Generated by Marie Shutt **

08/07/2020 11:57
 mshutt

LIVE DATABASE
 Parcel Find

P 1
 arbiling

PARCEL: 47-036-C007
 LOCATION: ** MULTIPLE **
 NAME: COURTLAND PINES LLC

EFF DATE: 08/07/2020

| YEAR | CAT | BILL | NSC | REFERENCE | BILLED/ADJ | UNPAID BAL | DUE NOW |
|---------------|------|------|-----|----------------------|------------|------------|---------|
| 2020 | RE-R | 993 | N | 2 MECHANIC ST UNIT 3 | 2888.37 | 2888.37 | 3132.77 |
| 2021 | RE-R | 989 | N | 2 MECHANIC ST 3 | 1439.19 | 1439.19 | 720.70 |
| TOTAL DUE NOW | | | | | | | 3853.47 |
| TOTAL UNPAID | | | | | | | 4327.56 |

** END OF REPORT - Generated by Marie Shutt **

08/07/2020 11:57
 mshutt

LIVE DATABASE
 Utility Find

P 1
 arbilinq

ACCOUNT: 297320
 LOCATION: 2 MECHANIC U-3
 ACCT OWNER: COURTLAND PINES, LLC
 ACCT CUST:

EFF DATE: 08/07/2020


| YEAR | CAT | BILL | NSC ORIG | BILLED | ACTIVITY | UNPAID BAL | DUE NOW |
|---------------|------|--------|----------|--------|----------|------------|---------|
| 2019-11 | UB-U | 155172 | N | 144.07 | 10.00 | 154.07 | 166.29 |
| 2020-02 | UB-U | 159521 | N | 81.57 | 0.00 | 81.57 | 85.63 |
| 2020-05 | UB-U | 163885 | N | 81.57 | 0.00 | 81.57 | 82.89 |
| 2020-07 | UB-U | 164053 | N | 124.33 | 0.00 | 124.33 | 124.33 |
| TOTAL DUE NOW | | | | | | 459.14 | |
| TOTAL UNPAID | | | | | | 441.54 | |

** END OF REPORT - Generated by Marie Shutt **

Susan Affleck-Childs

From: MARK HEAVNER <mark.heavner@mac.com>
Sent: Monday, August 10, 2020 10:02 AM
To: Susan Affleck-Childs
Subject: Paid!!

Payment Received
Medway Tax Office
AUG 10 2020
Cash Check DC
\$25,217.30


TOWN OF MEDWAY
Planning & Economic Development Board
155 Village Street
Medway, Massachusetts 02053

*Andy Rodolakis, Chairman
Robert K. Taylor, Vice-Chairman
Thomas A. Goy, Clerk
Matthew J. Hayes, P.E.
Richard De Jallo
Justin Chabot, Associate Member*

**Request for Medway Treasurer/Collector's
Verification of Status of Paid Taxes**

Date: August 7, 2020
Developer's Name: Courtland Pines, LLC (Mark Heavner)
Subject Property Address: 176 Main Street and 2 Mechanic Street
Map/Parcel Number(s): 47-036 C002, C003, C004, C005, C006, C007
Property Owner: Courtland Pines, LLC
Project Name: Medway Green Condominiums
Type of Permit: Project Completion

Please indicate the status of taxes/fees owed to the Town:

☐ By checking this box and with my signature below, I verify that all taxes and fees owed the Town of Medway for the subject property are paid in full as of this date for the subject property noted above.

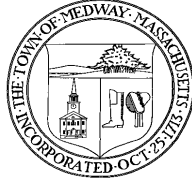
☐ By checking this box and with my signature below, I verify that all taxes and fees owed the Town of Medway for other properties owned by the applicant noted above are paid in full as of this date.

☒ By checking this box and with my signature below, I verify that the Town is owed taxes or fees on properties owned by the above noted applicant. Briefly explain on the lines below. Please attach a report that indicates the property address, what taxes are owed, and the respective amounts.

Mark Heavner Signature 8/10/20 Date
Please complete and return to the Planning and Economic Development office.

Mark Heavner
508-561-6091

Sent from iPhone



August 11, 2020, 2020

**Medway Planning & Economic Development Board
Meeting**

Choate Trail Subdivision Plan
Endorsement

- Revised Definitive Subdivision Plan dated November 8, 2019, last revised July 23, 2020
- Tetra Tech sign off dated August 7, 2020 on revised plan
- Certificate of No Appeal dated August 5, 2020 from Town Clerk
- Taxes Paid Certification dated July 27, 2020 from Treasurer/Collector's office.
- Subdivision Covenant
- Choate Trail subdivision decision dated May 18, 2020

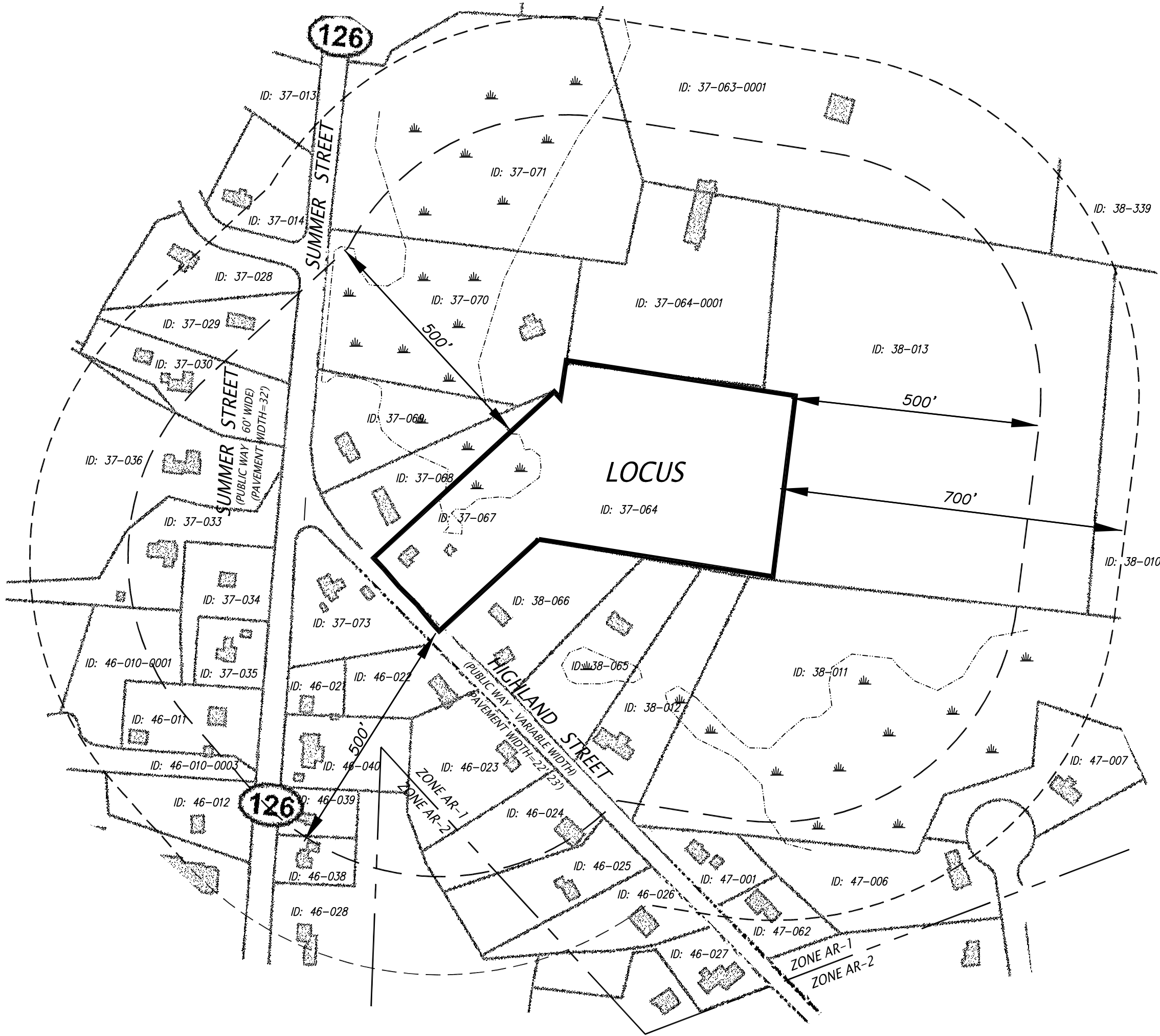
I can verify that the applicant does not owe any plan review funds and has paid the construction observation fee (\$9,506) in full. A variety of legal documents have been provided, reviewed by Town Counsel, and will be revised accordingly – lot deeds, public access easement, private roadway agreement, etc. The Covenant has been approved by Counsel and needs to be signed by the applicant and returned to the office before Tuesday's meeting for your signature.

DEFINITIVE SUBDIVISION PLAN

"CHOATE TRAIL WAY"

MEDWAY, MASSACHUSETTS

PLAN No. 754, 1974, Bk. 245



PLAN INDEX

| SHEET NUMBER | DRAWING TITLE |
|--------------|---------------------------------------|
| 1-2 | COVER SHEET |
| 2-2 | LAND PLAN |
| 1-8 | EXISTING CONDITIONS PLAN |
| 2-8 | CONSTRUCTION PLAN |
| 3-8 | ROADWAY PLAN & PROFILE |
| 4-8 | EROSION & SEDIMENT CONTROL PLAN |
| 5-8 | SITE DETAIL PLAN |
| 6-8 | CONSTRUCTION DETAILS |
| 7-8 | CONSTRUCTION DETAILS |
| 8-8 | STORM WATER POLLUTION PREVENTION PLAN |

SITE AREA TABULATION:

TOTAL AREA OF LAND THAT IS BEING SUBDIVIDED = 256,020 S.F. (5.88 Acres)

TOTAL NUMBER OF LOTS AND PARCELS = 4

TOTAL AREA OF LOTS AND PARCEL = 221,215 S.F. (203,386 S.F. UPLAND, 17,829 S.F. WETLAND)

TOTAL AREA DEDICATED FOR STREET PURPOSES = 34,805 S.F.

TOTAL AREA NOT INCLUDED FOR STREETS, LOTS OR PARCELS

DEDICATED FOR DRAINAGE, SEWER, OR UTILITY EASEMENTS = 0 S.F.

TOTAL AREA RESERVED FOR OPEN SPACE, PARKS, SCHOOLS AND OTHER PUBLIC USE = 0 S.F.

SUMMARY: 221,215 S.F + 34,805 S.F. + 0 + 0 =256,020 S.F.

APPROVAL UNDER THE
SUBDIVISION CONTROL LAW,
IS REQUIRED.
MEDWAY PLANNING AND ECONOMIC
DEVELOPMENT BOARD

DATE: _____

THIS PLAN IS SUBJECT TO A COVENANT
TO BE RECORDED HEREWITH.

THIS PLAN IS SUBJECT TO A CERTIFICATE
OF ACTION WHICH SHALL BE RECORDED
WITH THE PLAN AT THE NORFOLK COUNTY
REGISTRY OF DEEDS.

GENERAL NOTES:

- OWNERS OF ADJOINING PROPERTIES ARE SHOWN ACCORDING TO CURRENT TOWN OF MEDWAY ASSESSORS RECORDS.
- THIS PLAN IS BASED ON AN ON-THE-GROUND SURVEY BY CONNORSTONE ENGINEERING INC. PERFORMED IN MARCH 2018.
- LEGAL STATUS OF EASEMENTS AND WAYS, NOT DETERMINED BY THIS SURVEY.
- WETLANDS SHOWN HEREON WERE FLAGGED BY THREE OAKS ENVIRONMENTAL WETLAND CONSULTING AND LOCATED ON-THE-GROUND BY CONNORSTONE ENGINEERING INC.

SITE CONSTRUCTION NOTE:

- ALL IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH MASS HIGHWAY HANDICAP REQUIREMENTS AND THE CURRENT ADA/AAB REQUIREMENTS IN EFFECT AT THE TIME OF CONSTRUCTION.

APPROVED WAIVERS:

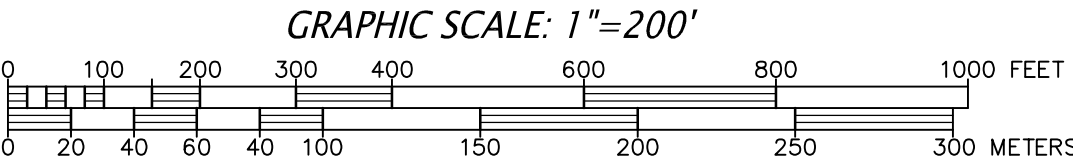
- SECTION 7.7.2.(p) WAIVER TO ALLOW UNDERGROUND INFILTRATION SYSTEMS WITHIN THE ROADWAY LAYOUT.
- SECTION 7.9.5.(c) WAIVER TO ALLOW A VERTICAL CURVE WITH THE 200' LEVELING AREA.
- SECTION 7.13.3 WAIVER FROM THE REQUIREMENT OF PROVIDING A SIDEWALK ALONG THE FRONTAGE WITH HIGHLAND STREET.
- SECTION 7.21.1 WAIVER FROM THE REQUIREMENT OF PROVIDING STREETLIGHTS WITHIN THE SUBDIVISION.

NOTE:
PRESENT AND FUTURE OWNERS ARE SUBJECT TO A DECLARATION OF PROTECTIVE COVENANTS & RESTRICTIONS AND PRIVATE ROADWAY AGREEMENT GOVERNING THE CHOATE TRAIL SUBDIVISION.

I HEREBY CERTIFY THAT THIS PLAN
WAS PREPARED IN CONFORMANCE WITH
THE RULES AND REGULATIONS OF THE
REGISTERS OF DEEDS.

VAROUJAN H. HAGOPIAN, P.L.S. 49665

I, _____ CLERK OF THE TOWN OF MEDWAY
RECEIVED AND RECORDED APPROVAL FROM THE PLANNING BOARD
OF THIS PLAN ON _____ AND NO APPEAL WAS TAKEN
FOR TWENTY (20) DAYS THEREAFTER.



ASSESSOR MAP 37, LOT 67

OWNER / APPLICANT:
THE RESIDENCES AT CHOATE TRAIL, LLC
17 GOLDFINCH LANE
NASHUA, NH 03062

CONNORSTONE
ENGINEERING INC.

CIVIL ENGINEERS AND LAND SURVEYORS
10 SOUTHWEST CUTOFF, SUITE 7
NORTHBOROUGH, MASSACHUSETTS 01532
PHONE: 508-393-9727 FAX: 508-393-5242

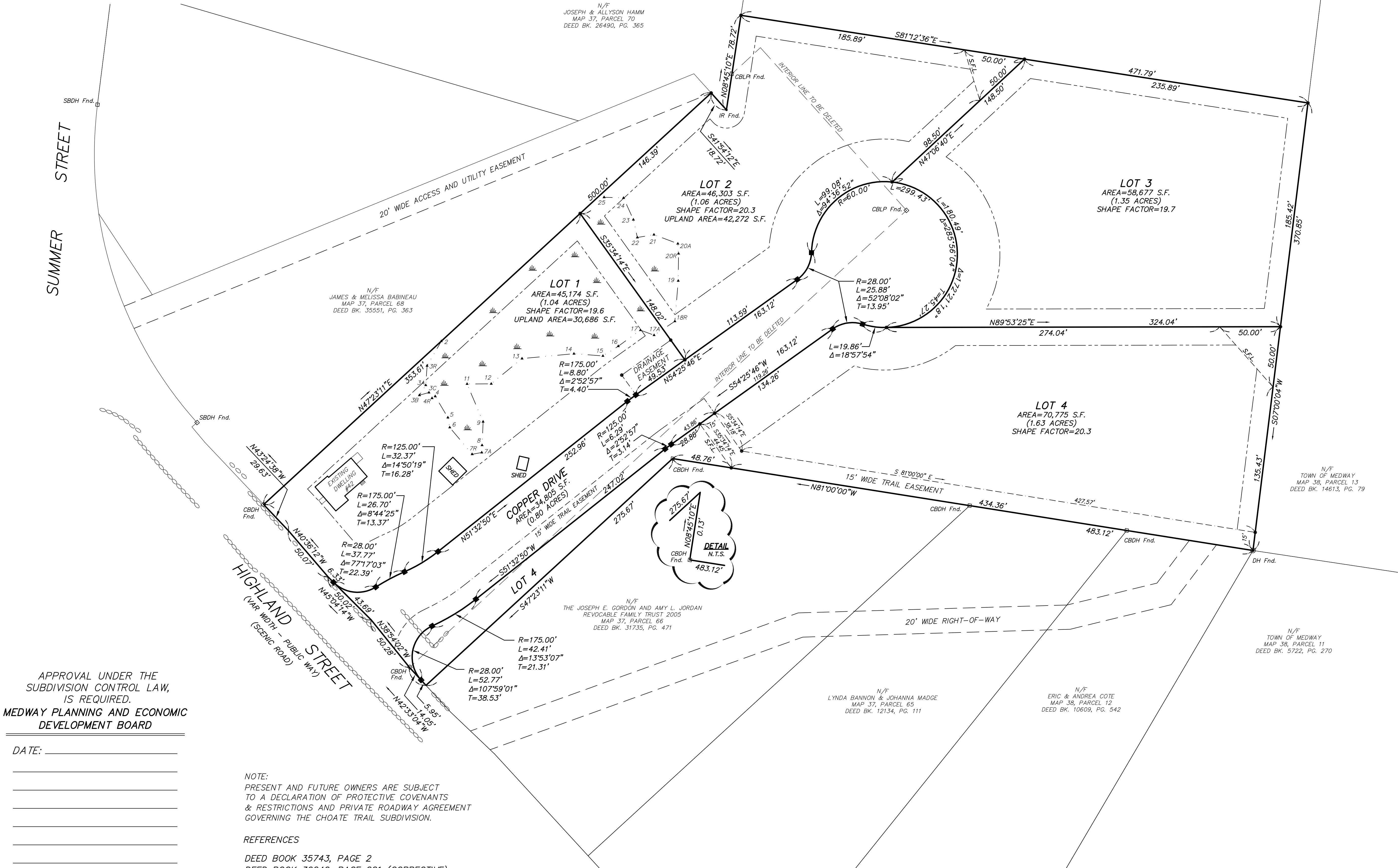
DEFINITIVE SUBDIVISION PLAN
COVER SHEET
CHOATE TRAIL WAY
IN
MEDWAY, MASS.

| | |
|------------------------|------------------------|
| 7/23/2020 | CONDITIONS OF APPROVAL |
| 4/16/2020 | WET FLAG EDITS |
| 3/19/2020 | PEER REVIEW COMMENTS |
| 3/9/2020 | REVIEW COMMENTS |
| 1/13/2020 | REVIEW COMMENTS |
| 1/3/2020 | REVIEW COMMENTS |
| REVISED: | DESCRIPTION: |
| DRAWN BY: REM | CHECK BY: VC |
| DATE: NOVEMBER 8, 2019 | |
| SCALE: AS SHOWN | SHEET 1 OF 2 |

MONUMENTS

- SBDH Fnd. STONE BOUND W. DRILL HOLE FOUND
□ CBDH Fnd. CONCRETE BOUND W DRILL HOLE FOUND
● IP Fnd. IRON PIPE FOUND
• IR Fnd. IRON ROD FOUND

- CONCRETE BOUND TO BE SET
• IRON ROD/CAP TO BE SET



APPROVAL UNDER THE
SUBDIVISION CONTROL LAW,
IS REQUIRED.
MEDWAY PLANNING AND ECONOMIC
DEVELOPMENT BOARD

DATE: _____

THIS PLAN IS SUBJECT TO A COVENANT
TO BE RECORDED HEREWITH.

THIS PLAN IS SUBJECT TO A CERTIFICATE
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GOVERNING THE CHOATE TRAIL SUBDIVISION.

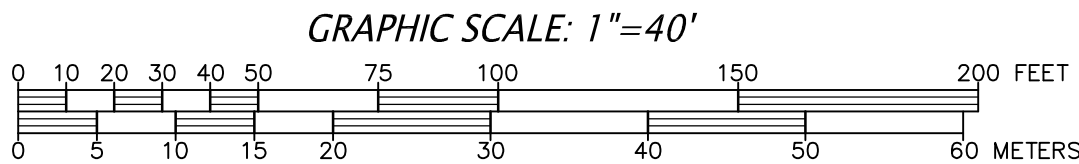
REFERENCES
DEED BOOK 35743, PAGE 2
DEED BOOK 36240, PAGE 221 (CORRECTIVE)

PLAN NUMBER 754 OF 1974, PLAN BOOK 245
PLAN NUMBER 715 OF 1976, PLAN BOOK 257
PLAN NUMBER 246 OF 1995, PLAN BOOK 429
PLAN NUMBER 248 OF 1980, PLAN BOOK 280
PLAN NUMBER 841 OF 1995, PLAN BOOK 435
PLAN NUMBER 842 OF 1995, PLAN BOOK 435
NORFOLK COUNTY REGISTRY OF DEEDS

I HEREBY CERTIFY THAT THIS PLAN
WAS PREPARED IN CONFORMANCE WITH
THE RULES AND REGULATIONS OF THE
REGISTERS OF DEEDS.

VAROUJAN H. HAGOPIAN, P.L.S. 49665

I, _____ CLERK OF THE TOWN OF MEDWAY
RECEIVED AND RECORDED APPROVAL FROM THE PLANNING BOARD
OF THIS PLAN ON _____ AND NO APPEAL WAS TAKEN
FOR TWENTY (20) DAYS THEREAFTER.



GENERAL NOTES:

- OWNERS OF ADJOINING PROPERTIES ARE SHOWN ACCORDING TO CURRENT TOWN OF MEDWAY ASSESSORS' RECORDS.
- THIS PLAN IS BASED ON AN ON-THE-GROUND SURVEY BY CONNORSTONE ENGINEERING INC. PERFORMED IN MARCH 2018.
- LEGAL STATUS OF EASEMENTS AND WAYS, NOT DETERMINED BY THIS SURVEY.
- WETLANDS SHOWN HEREON WERE FLAGGED BY THREE OAKS ENVIRONMENTAL WETLAND CONSULTING AND LOCATED ON-THE-GROUND BY CONNORSTONE ENGINEERING INC.

ZONED: AR-1
AREA = 44,000 sf
FRONTAGE = 180 feet
SETBACKS: FRONT = 35 feet
SIDE = 15 feet
REAR = 15 feet

ASSESSOR MAP 37, LOT 67
OWNER / APPLICANT:
THE RESIDENCES AT CHOATE TRAIL, LLC
17 GOLDFINCH LANE
NASHUA, NH 03062

**CONNORSTONE
ENGINEERING INC.**
CIVIL ENGINEERS AND LAND SURVEYORS
10 SOUTHWEST CUTOFF, SUITE 7
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PHONE: 508-393-9727 FAX: 508-393-5242

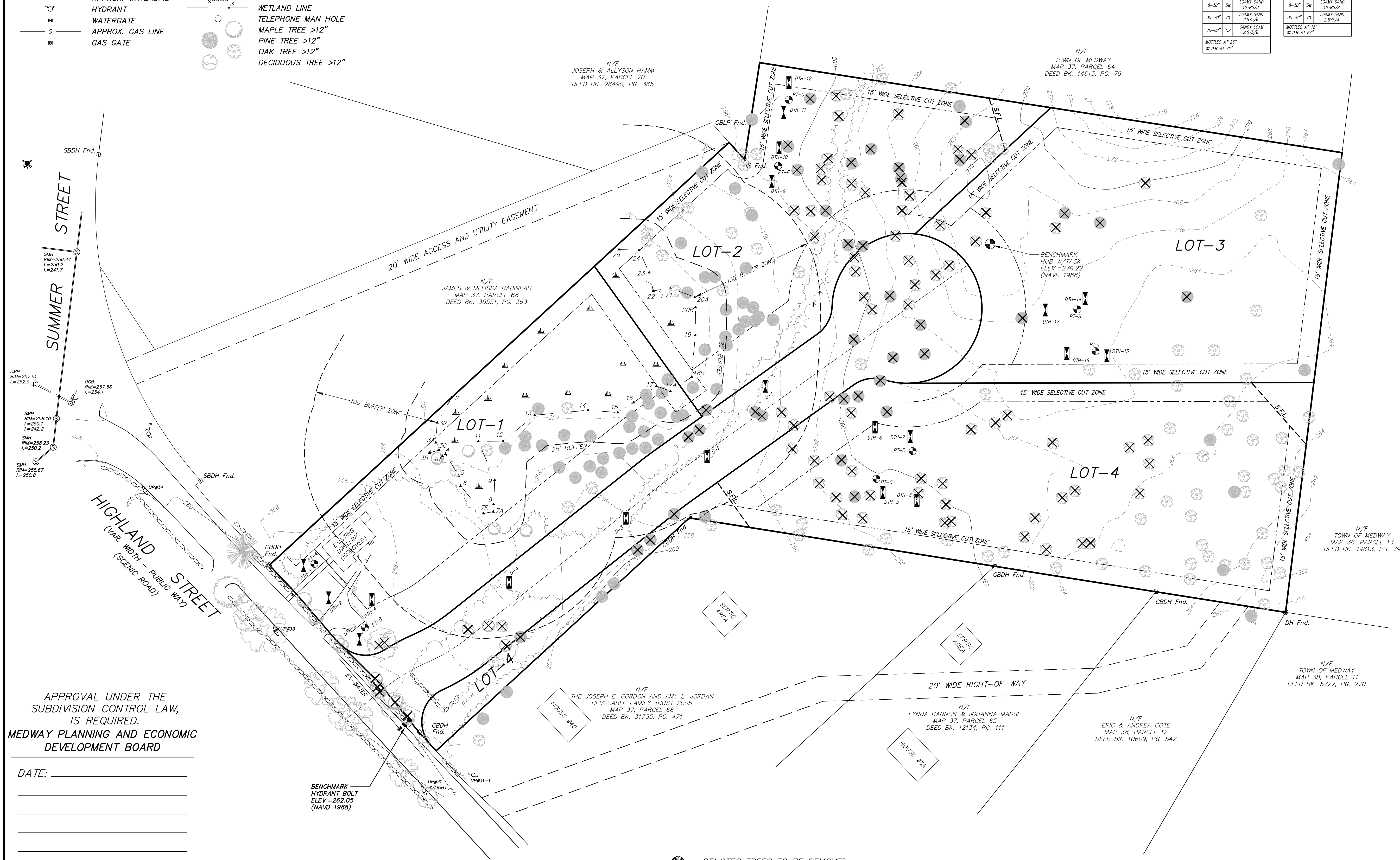
**DEFINITIVE SUBDIVISION PLAN
LAND PLAN
CHOATE TRAIL WAY
IN
MEDWAY, MASS.**

| | |
|------------------------|------------------------|
| 7/23/2020 | CONDITIONS OF APPROVAL |
| 4/16/2020 | WET FLAG EDITS |
| 3/19/2020 | PEER REVIEW COMMENTS |
| 3/9/2020 | REVIEW COMMENTS |
| 1/13/2020 | REVIEW COMMENTS |
| 1/3/2020 | REVIEW COMMENTS |
| REVISED: | DESCRIPTION: |
| DRAWN BY: REM | CHECK BY: VC |
| DATE: NOVEMBER 8, 2019 | |
| SCALE: 1"=40' | SHEET 2 OF 2. |

| | |
|--|--------------------|
| | DRAIN MAN HOLE |
| | DRAINAGE LINE |
| | CATCH BASIN |
| | SEWER LINE |
| | SEWER MAN HOLE |
| | BITUMINOUS CURBING |
| | EDGE OF PAVEMENT |
| | GUARD RAIL |
| | APPROX. WATERLINE |
| | HYDRANT |
| | WATERGATE |
| | APPROX. GAS LINE |
| | GAS GATE |

UTILITY POLE & GUY WIRE
CHAIN LINK FENCE
LIGHTPOST
HANDICAP SPACE
ELECTRIC TRANSFORMER
SIGN
VERTICAL BENCHMARK
TREELINE
SPOT GRADE
WETLAND LINE
TELEPHONE MAN HOLE
MAPLE TREE >12"
PINE TREE >12"
OAK TREE >12"
DECIDUOUS TREE >12"

- ▣ SBDH Fnd. STONE BOUND W. DRILL HOLE FOUND
- ▣ CBDH Fnd. CONCRETE BOUND W DRILL HOLE FOUND
- IP Fnd. IRON PIPE FOUND
- IR Fnd. IRON ROD FOUND



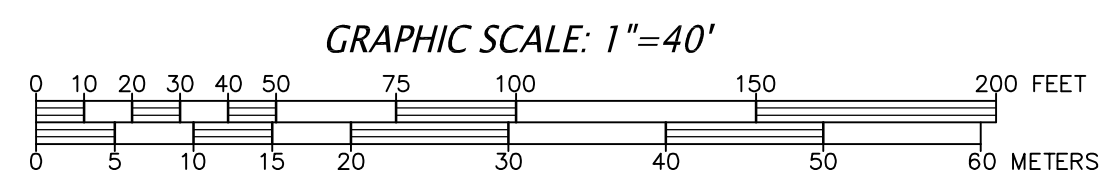
 = DENOTES TREES TO BE REMOVED

NOTE:
PRESENT AND FUTURE OWNERS ARE SUBJECT TO A
DECLARATION OF PROTECTIVE COVENANTS & RESTRICTIONS
AND PRIVATE ROADWAY AGREEMENT GOVERNING THE
CHOATE TRAIL SUBDIVISION.

THIS PLAN IS SUBJECT TO A COVENANT
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THIS PLAN IS SUBJECT TO A CERTIFICATE
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REGISTRY OF DEEDS.

I, _____ CLERK OF THE TOWN OF MEDWAY
RECEIVED AND RECORDED APPROVAL FROM THE PLANNING BOARD
OF THIS PLAN ON _____ AND NO APPEAL WAS TAKEN
FOR TWENTY (20) DAYS THEREAFTER.



ROAD

LOT 1

LOT 2

LOT 3

LOT 4

| D-1 (7/7/19) | EL.=255.5 |
|----------------------------------|-----------------------|
| 0-8" A ₂ | SANDY LOAM 10N93/2 |
| 8-28" B ₂ | LOAMY SAND 10N95/8 |
| 28-62" C1 | LOAMY SAND 2.515/6 |
| NOTILES AT 36" REFUSAL AT 62" | |

| D-3 (11/7/19) | EL.=254.6 |
|--------------------------------|-----------------------|
| 0-8" A ₂ | SANDY LOAM 10N93/2 |
| 8-30" B ₂ | LOAMY SAND 10N96/8 |
| 30-70" C1 | LOAMY SAND 2.515/6 |
| 70-88" C2 | SANDY LOAM 2.515/8 |
| NOTILES AT 26" WATER AT 72" | |

| D-3 (11/7/19) | EL.=256.0 |
|-----------------------|-----------------------|
| 0-10" A ₂ | SANDY LOAM 10N93/2 |
| 10-28" B ₂ | LOAMY SAND 10N96/8 |
| 28-82" C1 | LOAMY SAND 2.515/4 |
| NOTILES AT 42" | |

| D-4 (11/7/19) | EL.=254.0 |
|--------------------------------|-----------------------|
| 0-8" A ₂ | SANDY LOAM 10N93/2 |
| 8-30" B ₂ | LOAMY SAND 10N96/8 |
| 30-82" C1 | LOAMY SAND 2.515/4 |
| NOTILES AT 18" WATER AT 64" | |

| DH-1 (7/8/19) | |
|------------------------------|-----------------------|
| 0-9" A ₂ | SANDY LOAM 10N93/2 |
| 9-35" B ₂ | LOAMY SAND 10N96/8 |
| 35-57" C1 | LOAMY SAND 10N96/4 |
| 57-122" C2 | SANDY LOAM 2.515/4 |
| NOTILES AT 47" NO REFUSAL | |

| DH-2 (7/8/19) | |
|----------------------------------|-----------------------|
| 0-17" FILL | |
| 17-35" B ₂ | LOAMY SAND 10N96/8 |
| 35-56" C1 | LOAMY SAND 10N96/4 |
| 56-97" C2 | SANDY LOAM 2.515/4 |
| NOTILES AT 46" REFUSAL AT 97" | |

| DH-3 (7/8/19) | |
|----------------------------------|-----------------------|
| 0-9" FILL | |
| 9-23" B ₂ | LOAMY SAND 10N96/8 |
| 23-92" C1 | SANDY LOAM 2.515/4 |
| NOTILES AT 45" REFUSAL AT 92" | |

| DH-4 (7/8/19) | |
|------------------------------|-----------------------|
| 0-10" A ₂ | SANDY LOAM 10N93/2 |
| 10-20" B ₂ | LOAMY SAND 10N96/8 |
| 20-44" C1 | LOAMY SAND 10N96/4 |
| 44-113" C2 | SANDY LOAM 2.515/4 |
| NOTILES AT 37" NO REFUSAL | |

| PT-A (7/8/19) | DEPTH 66" 4 MP |
|------------------|-------------------|
|------------------|-------------------|

| PT-B (7/8/19) | DEPTH 52" 4 MP |
|------------------|-------------------|
|------------------|-------------------|

| DH-9 (7/8/19) | |
|------------------------------|-----------------------|
| 0-6" A ₂ | SANDY LOAM 10N93/2 |
| 6-32" B ₂ | LOAMY SAND 10N96/8 |
| 32-112" C1 | LOAMY SAND 2.515/4 |
| NOTILES AT 94" NO REFUSAL | |

| DH-10 (7/8/19) | |
|------------------------------|-----------------------|
| 0-6" A ₂ | SANDY LOAM 10N93/2 |
| 6-33" B ₂ | LOAMY SAND 10N96/8 |
| 32-109" C1 | LOAMY SAND 2.515/4 |
| NOTILES AT 84" NO REFUSAL | |

| DH-11 (7/8/19) | |
|------------------------------|-----------------------|
| 0-6" A ₂ | SANDY LOAM 10N93/2 |
| 6-24" B ₂ | LOAMY SAND 10N96/8 |
| 24-93" C1 | SANDY LOAM 2.515/4 |
| NOTILES AT 84" NO REFUSAL | |

| DH-12 (7/8/19) | |
|---------------------------------------|-----------------------|
| 0-5" A ₂ | SANDY LOAM 10N93/2 |
| 5-31" B ₂ | LOAMY SAND 10N96/8 |
| 31-80" C1 | LOAMY SAND 2.515/4 |
| NO NOTILES OR WATER REFUSAL AT 80" | |

| PT-F (7/8/19) | DEPTH 66" 6 MP |
|------------------|-------------------|
|------------------|-------------------|

| PT-G (7/8/19) | DEPTH 48" 6 MP |
|------------------|-------------------|
|------------------|-------------------|

| DH-13 (7/8/19) | |
|--|-----------------------|
| 0-5" A ₂ | SANDY LOAM 10N93/2 |
| 5-50" B ₂ | LOAMY SAND 10N96/8 |
| 50-100" C1 | LOAMY SAND 2.515/4 |
| NO NOTILES OR WATER REFUSAL AT 100" | |

| DH-14 (7/8/19) | |
|--|-----------------------|
| 0-6" A ₂ | SANDY LOAM 10N93/2 |
| 6-35" B ₂ | LOAMY SAND 10N96/8 |
| 35-102" C1 | LOAMY SAND 2.515/4 |
| NO NOTILES OR WATER REFUSAL AT 105" | |

| DH-15 (7/8/19) | |
|--|-----------------------|
| 0-6" A ₂ | SANDY LOAM 10N93/2 |
| 6-25" B ₂ | LOAMY SAND 10N96/8 |
| 25-104" C1 | SANDY LOAM 2.515/4 |
| NO NOTILES OR WATER REFUSAL AT 104" | |

| DH-16 (7/8/19) | |
|---------------------------------------|-----------------------|
| 0-6" A ₂ | SANDY LOAM 10N93/2 |
| 6-27" B ₂ | LOAMY SAND 10N96/8 |
| 27-87" C1 | LOAMY SAND 2.515/4 |
| NO NOTILES OR WATER REFUSAL AT 81" | |

| PT-H (7/8/19) | DEPTH 48" 8 MP |
|------------------|-------------------|
|------------------|-------------------|

| PT-I (7/8/19) | DEPTH 54" 8 MP |
|------------------|-------------------|
|------------------|-------------------|

| DH-5 (7/8/19) | |
|------------------------------|-----------------------|
| 0-4" A ₂ | SANDY LOAM 10N93/2 |
| 4-25" B ₂ | LOAMY SAND 10N96/8 |
| 25-133" C1 | LOAMY SAND 2.515/4 |
| NOTILES AT 95" NO REFUSAL | |

| DH-6 (7/8/19) | |
|---------------------------------------|-----------------------|
| 0-6" A ₂ | SANDY LOAM 10N93/2 |
| 6-27" B ₂ | LOAMY SAND 10N96/8 |
| 27-97" C1 | LOAMY SAND 2.515/4 |
| NO NOTILES OR WATER REFUSAL AT 97" | |

| DH-7 (7/8/19) | |
|------------------------------|-----------------------|
| 0-17" A ₂ | SANDY LOAM 10N93/2 |
| 17-31" B ₂ | LOAMY SAND 10N96/8 |
| 31-112" C1 | LOAMY SAND 2.515/4 |
| NOTILES AT 81" NO REFUSAL | |

| DH-8 (7/8/19) | |
|---|-----------------------|
| 0-5" A ₂ | SANDY LOAM 10N93/2 |
| 5-36" B ₂ | LOAMY SAND 10N96/8 |
| 36-67" C1 | FINE SAND 10N97/1 |
| 61-116" B ₂ | LOAMY SAND 2.515/4 |
| NOTILES AT 77", WATER AT 102" NO REFUSAL | |

| PT-C (7/8/19) | DEPTH 48" 5 MP |
|------------------|-------------------|
|------------------|-------------------|

| PT-D (7/8/19) | DEPTH 51" 5 MP |
|------------------|-------------------|
|------------------|-------------------|

15' WIDE SELECTIVE CUT ZONE

T-3

ZONED: AR-1
AREA = 44,000 sf
FRONTAGE = 180 feet
SETBACKS: FRONT = 35 feet
 SIDE = 15 feet
 REAR = 15 feet

ASSESSOR MAP 37, LOT 67

OWNER / APPLICANT:
THE RESIDENCES AT CHOATE TRAIL, LLC
17 GOLDFINCH LANE
NASHUA, NH 03062

*CONNORSTONE
ENGINEERING INC.*

CIVIL ENGINEERS AND LAND SURVEYORS
10 SOUTHWEST CUTOFF, SUITE 7
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PHONE: 508-393-9727 FAX: 508-393-5242

*DEFINITIVE SUBDIVISION PLAN
EXISTING CONDITIONS
CHOATE TRAIL WAY
IN
MEDWAY, MASS.*

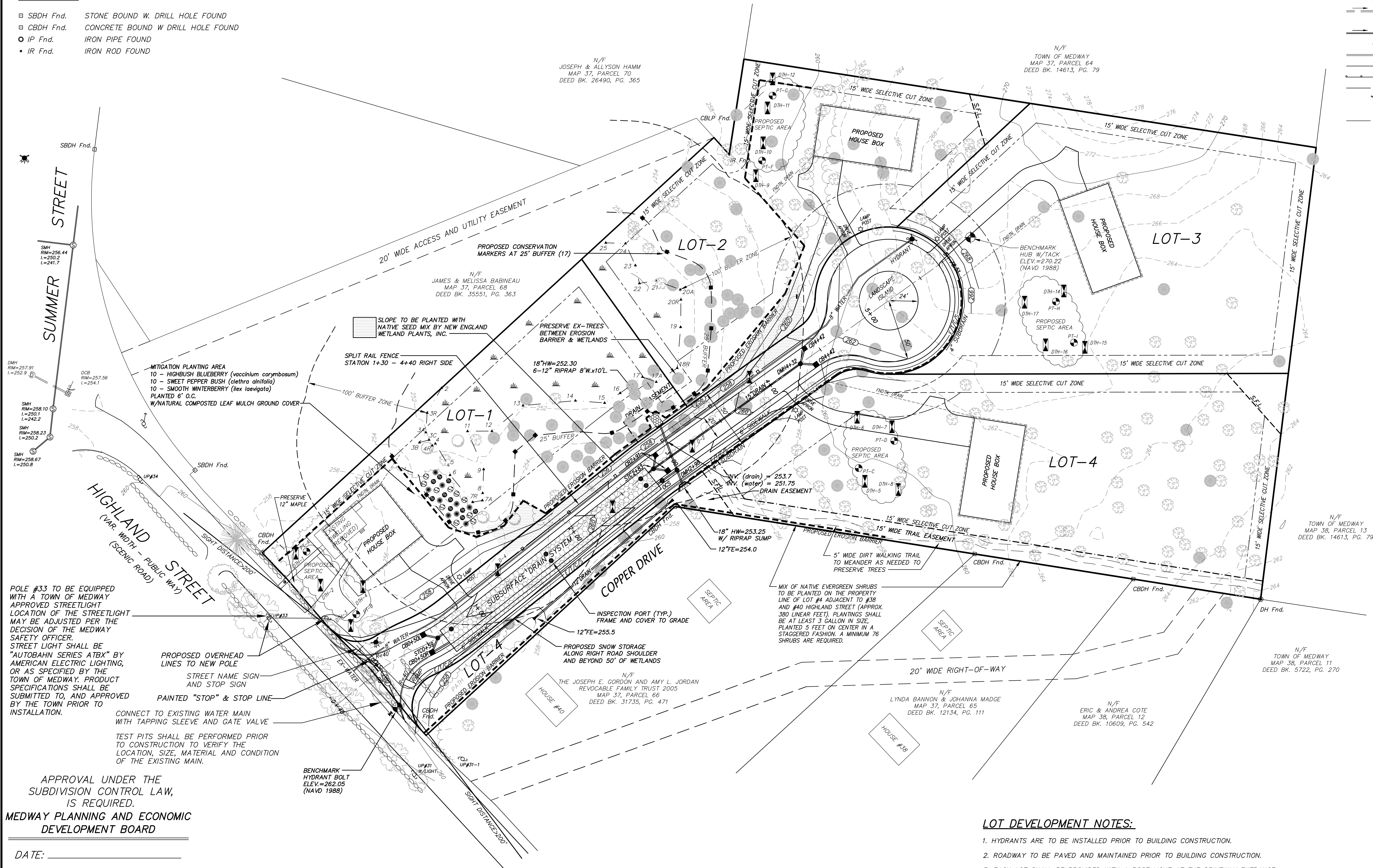
| | | |
|------------------------|------------------------|--|
| 7/23/2020 | CONDITIONS OF APPROVAL | |
| 4/16/2020 | WET FLAG EDITS | |
| 3/19/2020 | PEER REVIEW COMMENTS | |
| 3/9/2020 | REVIEW COMMENTS | |
| 1/13/2020 | REVIEW COMMENTS | |
| 1/3/2020 | REVIEW COMMENTS | |
| REVISED: | DESCRIPTION: | |
| DRAWN BY: REM | CHECK BY: VC | |
| DATE: NOVEMBER 8, 2019 | | |
| SCALE: 1"=40' | SHEET 1 OF 8. | |

MONUMENTS

- SBDH Fnd. STONE BOUND W. DRILL HOLE FOUND
□ CBDH Fnd. CONCRETE BOUND W DRILL HOLE FOUND
○ IP Fnd. IRON PIPE FOUND
• IR Fnd. IRON ROD FOUND

LEGEND

- ① DRAIN MAN HOLE
≡≡≡ DRAINAGE LINE
≡≡≡ CATCH BASIN
≡≡≡ SEWER LINE
⊙ SEWER MAN HOLE
≡≡≡ BITUMINOUS CURBING
≡≡≡ EDGE OF PAVEMENT
≡≡≡ GUARD RAIL
W APPROX. WATERLINE
HYDRANT
H WATERGATE
G APPROX. GAS LINE
GAS GATE
- UTILITY POLE & GUY WIRE
CHAIN LINK FENCE
LIGHTPOST
HANDICAP SPACE
ELECTRIC TRANSFORMER
SIGN
VERTICAL BENCHMARK
TREELINE
SPOT GRADE
WETLAND LINE
TELEPHONE MAN HOLE
MAPLE TREE >12"
PINE TREE >12"
DECIDUOUS TREE >12"



POLE #33 TO BE EQUIPPED WITH A TOWN OF MEDWAY APPROVED STREETLIGHT LOCATION OF THE STREETLIGHT MAY BE ADJUSTED PER THE DECISION OF THE MEDWAY SAFETY OFFICER. STREET LIGHT SHALL BE "AUTOBAHN SERIES ATBX" BY AMERICAN ELECTRIC LIGHTING, OR AS SPECIFIED BY THE TOWN OF MEDWAY. PRODUCT SPECIFICATIONS SHALL BE SUBMITTED TO, AND APPROVED BY THE TOWN PRIOR TO INSTALLATION.

PROPOSED OVERHEAD LINES TO NEW POLE

STREET NAME SIGN AND STOP SIGN

PAINTED "STOP" & STOP LINE

CONNECT TO EXISTING WATER MAIN WITH TAPPING SLEEVE AND GATE VALVE

TEST PITS SHALL BE PERFORMED PRIOR TO CONSTRUCTION TO VERIFY THE LOCATION, SIZE, MATERIAL AND CONDITION OF THE EXISTING MAIN.

BENCHMARK HYDRANT BOLT ELEV.=262.05 (NAVD 1988)

APPROVAL UNDER THE SUBDIVISION CONTROL LAW, IS REQUIRED.

MEDWAY PLANNING AND ECONOMIC DEVELOPMENT BOARD

DATE: _____

THIS PLAN IS SUBJECT TO A COVENANT TO BE RECORDED HEREWITH.

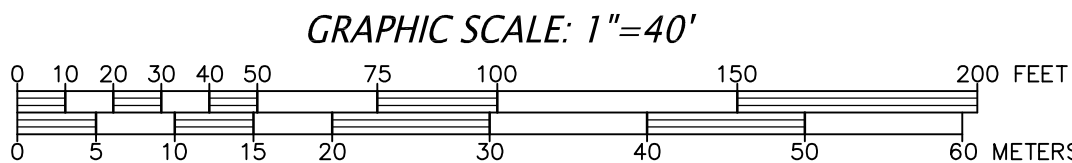
THIS PLAN IS SUBJECT TO A CERTIFICATE OF ACTION WHICH SHALL BE RECORDED WITH THE PLAN AT THE NORFOLK COUNTY REGISTRY OF DEEDS.

NOTE:
PRESENT AND FUTURE OWNERS ARE SUBJECT TO A DECLARATION OF PROTECTIVE COVENANTS & RESTRICTIONS AND PRIVATE ROADWAY AGREEMENT GOVERNING THE CHOATE TRAIL SUBDIVISION.

I, _____, CLERK OF THE TOWN OF MEDWAY RECEIVED AND RECORDED APPROVAL FROM THE PLANNING BOARD OF THIS PLAN ON _____ AND NO APPEAL WAS TAKEN FOR TWENTY (20) DAYS THEREAFTER.

LOT DEVELOPMENT NOTES:

1. HYDRANTS ARE TO BE INSTALLED PRIOR TO BUILDING CONSTRUCTION.
2. ROADWAY TO BE PAVED AND MAINTAINED PRIOR TO BUILDING CONSTRUCTION.
3. EACH LOT SHALL BE PROVIDED WITH A POST LIGHT AT THE DRIVEWAY ENTRANCE.
4. EACH LOT SHALL PROVIDE ROOF DRAIN DRYWELLS (SEE DETAIL).
5. NO DWELLING UNITS CAN BE CONSTRUCTED WITHOUT FIRST COORDINATING WITH THE MEDWAY BOARD OF HEALTH FOR THE PROPOSED SEPTIC SYSTEMS.



ZONED: AR-1
AREA = 44,000 sf
FRONTAGE = 180 feet
SETBACKS: FRONT = 35 feet
SIDE = 15 feet
REAR = 15 feet

ASSESSOR MAP 37, LOT 67
OWNER / APPLICANT:
THE RESIDENCES AT CHOATE TRAIL, LLC
17 GOLDFINCH LANE
NASHUA, NH 03062

CONNORSTONE ENGINEERING INC.
CIVIL ENGINEERS AND LAND SURVEYORS
10 SOUTHWEST CUTOFF, SUITE 7
NORTHBOROUGH, MASSACHUSETTS 01532
PHONE: 508-393-9727 FAX: 508-393-5242

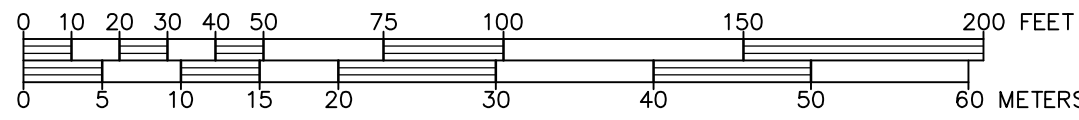
DEFINITIVE SUBDIVISION PLAN
CONSTRUCTION PLAN
CHOATE TRAIL WAY
IN
MEDWAY, MASS.

| | |
|------------------------|------------------------|
| 7/23/2020 | CONDITIONS OF APPROVAL |
| 4/16/2020 | WET FLAG EDITS |
| 3/19/2020 | PEER REVIEW COMMENTS |
| 3/9/2020 | REVIEW COMMENTS |
| 1/13/2020 | REVIEW COMMENTS |
| 1/3/2020 | REVIEW COMMENTS |
| REVISED: | DESCRIPTION: |
| DRAWN BY: REM | CHECK BY: VC |
| DATE: NOVEMBER 8, 2019 | |
| SCALE: 1"=40' | SHEET 2 OF 8. |

MONUMENTS

- SBDH Fnd. STONE BOUND W. DRILL HOLE FOUND
- CBDH Fnd. CONCRETE BOUND W DRILL HOLE FOUND
- IP Fnd. IRON PIPE FOUND
- IR Fnd. IRON ROD FOUND

GRAPHIC SCALE: 1"=40'



N/F
JOSEPH & ALLYSON HAMM
MAP 37, PARCEL 70
DEED BK. 26490, PG. 365

PROPOSED EROSION BARRIER
DURING CONSTRUCTION,
STAKED DOUBLE COMPOST
SOCK (SEE DETAIL)

PROPOSED CONSERVATION
MARKERS AT 25' BUFFER (17)

N/F
JAMES & MELISSA BABINEAU
MAP 37, PARCEL 68
DEED BK. 35551, PG. 363

SLOPE TO BE PLANTED WITH
NATIVE SEED MIX BY NEW ENGLAND
WETLAND PLANTS, INC.

SPLIT RAIL FENCE
STATION 1+30 - 4+40 RIGHT SIDE

MITIGATION PLANTING AREA
10 - Highbush Blueberry (*Vaccinium corymbosum*)
10 - Sweet Pepper Bush (*Clethra alnifolia*)
10 - Smooth Winterberry (*Ilex laevigata*)
PLANTED 6" O.C. W/NATURAL MULCH ROUND COVER

LOT 1 TO ACT AS TEMPORARY
STAGING AND STOCKPILE AREA

SBDH Fnd.

CBDH Fnd.

IP Fnd.

IR Fnd.

SBDH Fnd.

CBDH Fnd.

IP Fnd.

IR Fnd.

SBDH Fnd.

CBDH Fnd.

IP Fnd.

IR Fnd.

SBDH Fnd.

CBDH Fnd.

IP Fnd.

IR Fnd.

SBDH Fnd.

CBDH Fnd.

IP Fnd.

IR Fnd.

SBDH Fnd.

CBDH Fnd.

IP Fnd.

IR Fnd.

SBDH Fnd.

CBDH Fnd.

IP Fnd.

IR Fnd.

NOTE:

PRESENT AND FUTURE OWNERS ARE SUBJECT TO A
DECLARATION OF PROTECTIVE COVENANTS & RESTRICTIONS
AND PRIVATE ROADWAY AGREEMENT GOVERNING THE
CHOATE TRAIL SUBDIVISION.

THIS PLAN IS SUBJECT TO A COVENANT
TO BE RECORDED HERewith.

THIS PLAN IS SUBJECT TO A CERTIFICATE
OF ACTION WHICH SHALL BE RECORDED
WITH THE PLAN AT THE NORFOLK COUNTY
REGISTRY OF DEEDS.

I, _____ CLERK OF THE TOWN OF MEDWAY
RECEIVED AND RECORDED APPROVAL FROM THE PLANNING BOARD
OF THIS PLAN ON _____ AND NO APPEAL WAS TAKEN
FOR TWENTY (20) DAYS THEREAFTER.

GENERAL SEQUENCING PLAN

ESTIMATED SCHEDULE:
ROADWAY THROUGH BINDER COURSE: 12 MONTHS
LOT DEVELOPMENT 24 MONTHS

1. INSTALL SEDIMENT CONTROL BARRIERS AND CONSTRUCTION ENTRANCE OFF HIGHLAND STREET
2. REMOVE THE EXISTING STRUCTURES AND PAVEMENT AREAS.
3. INSTALL TEMPORARY SEDIMENT BASINS (IF REQUIRED)
4. CLEAR, STUMP & GRUB ROADWAY AREAS.
5. BEGIN CONSTRUCTION OF ROADWAY.
6. INSTALL ROADWAY CROSS CULVERT PRIOR TO COMPLETING PLACEMENT OF FILL NEAR STATION 2+50 TO 3+50 TO PREVENT PONDING ON ABUTTING LAND AND BLOCKAGE OF DRAINAGE FLOW PATHS.
7. INSTALL UTILITIES.
8. INSTALL DRAINAGE SYSTEM AND SUBSURFACE INFILTRATION STRUCTURE WORKING FROM 2+90 OUTWARD TOWARD HIGHLAND STREET. PLACE COMPACTED FILL OVER STRUCTURES UP TO SUBGRADE. ALL DRAINAGE INLETS SHALL REMAIN PLATED AND OFF-LINE TO PREVENT SEEDING FROM ENTERING THE SYSTEM.
9. INSTALL GRAVEL BASE AND BINDER COURSE PAVEMENT.
10. BEGIN LOT DEVELOPMENT.
11. INSTALL SIDEWALKS.
12. PERFORM FINAL LANDSCAPING AND STABILIZATION.
13. ADJUST STRUCTURES TO GRADE, INSTALL GRANITE EDGING, AND PLACE FINAL TOP COURSE PAVEMENT.
14. REMOVE THE REMAINING SILTATION DEVICES AS THE AREA BECOMES STABLE.

THE ABOVE SEQUENCING MAY BE SUBJECT TO CHANGE DUE TO FIELD CONDITIONS AND CONTRACTOR'S MEANS AND METHODS. A FINAL SEQUENCING PLAN SHALL BE SUBMITTED TO THE ENGINEER AND TOWN FOR REVIEW AND APPROVAL PRIOR TO THE START OF CONSTRUCTION.

EROSION AND SEDIMENTATION CONTROL NOTES:

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE ORDER OF CONDITIONS ISSUED BY THE TOWN OF MEDWAY CONSERVATION COMMISSION, AND THE PROJECT STORMWATER POLLUTION PREVENTION PLAN.
2. PRIOR TO INITIATING CONSTRUCTION, ALL SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLANS AND DETAIL DRAWINGS.
3. THIS PLAN DEPICTS THE MINIMUM REQUIRED SEDIMENTATION AND EROSION CONTROLS. THE CONTRACTOR SHALL EMPLOY ADDITIONAL SEDIMENTATION AND EROSION CONTROL MEASURES AS NECESSITATED BY SITE CONDITIONS, OR AS DIRECTED BY THE OWNER, THE OWNER'S REPRESENTATIVE, OR THE CONSERVATION COMMISSION TO ENSURE PROTECTION OF ALL WETLAND RESOURCES AND CONTROL SEDIMENT TRANSPORT. IF SEDIMENTATION PLUMES OCCUR, THE CONTRACTOR SHALL STOP WORK AND INSTALL ADDITIONAL SEDIMENTATION CONTROL DEVICES IMMEDIATELY TO PREVENT FURTHER SEDIMENTATION.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL TEMPORARY AND PERMANENT SEDIMENTATION AND EROSION CONTROLS UNTIL WORK IS COMPLETE AND ALL AREAS HAVE BEEN PERMANENTLY STABILIZED. AT SUCH TIME THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL SEDIMENTATION AND EROSION CONTROL MEASURES.
5. THE CONTRACTOR SHALL INSPECT SEDIMENTATION AND EROSION CONTROLS ON A DAILY BASIS AND IMMEDIATELY AFTER EACH RAINFALL; REPAIRS SHALL BE MADE BY THE END OF THE WORKING DAY. ACCUMULATED SEDIMENT SHALL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR WHEN THE VOLUME REACHES 1/4 TO 1/2 THE HEIGHT OF STRAWBALE OR SEDIMENT TRAP, OR AS DIRECTED BY THE LOCAL AUTHORITY.
6. SOIL STOCKPILES SHALL BE STABILIZED TO PREVENT EROSION, AND A PERIMETER SEDIMENT CONTROL BARRIER SHALL BE INSTALLED. NO MATERIALS SUBJECT TO EROSION SHALL BE STOCKPILED OVERNIGHT WITHIN 100 FEET OF A WETLAND UNLESS COVERED.
7. TOPSOIL STOCKPILES AND DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR AT LEAST 7 DAYS WILL BE STABILIZED WITH A TEMPORARY SEED AND MULCH NO LATER THAN 7 DAYS FROM THE LAST CONSTRUCTION ACTIVITY IN THAT AREA. THE TEMPORARY SEED SHALL BE EROSION CONTROL MIX. DISTURBED PORTIONS OF THE SITE WHERE FINAL GRADE HAS BEEN MET AND CONSTRUCTION ACTIVITY CEASES SHALL BE STABILIZED WITH PERMANENT SEED NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY. THE PERMANENT SEED MIX CONSISTS OF: BLUEGRASS, TALL FESCUE, AND ANNUAL RYE. PRIOR TO SEEDING, GROUND AGRICULTURAL LIMESTONE SHALL BE APPLIED AS REQUIRED. SEEDING SHALL BE NUTRIENT ENRICHED HYDROSEED AND CELLULOSE OR OTHER DEGRADABLE FIBERS CAPABLE OF RETAINING MOISTURE. IF NOT DURING THE GROWING SEASON, THESE AREAS SHALL BE MULCHED WITH STRAW AND SECURED.
8. DEWATERING OPERATIONS, IF REQUIRED, SHALL DISCHARGE ONTO STABILIZED AREAS, AND ALL DISCHARGE WATER IS TO PASS THROUGH SEDIMENTATION CONTROL DEVICES TO PREVENT IMPACTS UPON WATER BODIES, BORDERING VEGETATED WETLANDS, DRAINAGE SYSTEMS AND ABUTTING PROPERTIES. AT A MINIMUM ALL DISCHARGES SHALL BE INTERCEPTED BY STRAWBALE CORRAL AND STRAWBALE CHECK DAMS SPACED 10' APART.
9. STRAW WATTLES AND SILT FENCE SHALL BE INSTALLED ALONG THE EDGE OF PROPOSED DEVELOPMENT OR AS INDICATED ON THE PLANS. ADDITIONAL BARRIERS SHALL BE LOCATED AS CONDITIONS WARRANT, AND IN SOME AREAS WEED FREE BALE/SILT FENCING STRUCTURES MAY HAVE TO BE DUPLICATED AT REGULAR INTERVALS UP GRADIENT OF WETLANDS.
10. STREET SWEEPING IN THE VICINITY OF THE PROJECT AREA SHALL BE PERFORMED AS NEEDED UNTIL THE PROJECT LIMITS HAVE BEEN STABILIZED. ALL SEDIMENT TRACKED ONTO PUBLIC RIGHT-OF-WAYS SHALL BE SWEEPED AT THE END OF EACH WORKING DAY.
11. ALL EXISTING AND PROPOSED DRAINAGE SYSTEM INLETS, WHICH MAY RECEIVE STORMWATER FLOW FROM DISTURBED AREAS, SHALL BE PROVIDED WITH INLET PROTECTION (CATCH BASIN SILT SACKS). THE CONTRACTOR SHALL MAINTAIN THESE DEVICES PER THE MANUFACTURERS RECOMMENDATIONS UNTIL ALL WORK IS COMPLETED AND ALL AREAS HAVE BEEN ADEQUATELY STABILIZED.
12. DUST CONTROL MEASURES SHALL BE IMPLEMENTED AND MAINTAINED PROPERLY THROUGHOUT DRY WEATHER PERIODS UNTIL ALL DISTURBED AREAS HAVE BEEN PERMANENTLY STABILIZED. METHODS FOR DUST CONTROL SHALL INCLUDE WATER SPRINKLING AND/OR OTHER METHODS APPROVED BY THE ENGINEER.
13. ALL VEHICLES SHALL ENTER AND EXIT THE SITE VIA THE STABILIZED CONSTRUCTION ENTRANCE CONSISTING OF 2" TO 3" INCH CRUSHED STONE TO A DEPTH OF 6" FOR A MINIMUM OF THE FIRST 50 FEET FROM EXISTING PAVED STREETS. EXTEND THE PAD BEYOND 50 FEET AS NECESSARY BASED UPON FIELD CONDITIONS. IF THE SITE CONDITIONS ARE SUCH THAT THE GRAVEL PAD DOES NOT REMOVE THE MAJORITY OF THE MUD AND DEBRIS, THEN THE TIRES SHALL BE WASHED BEFORE ANY VEHICLES ENTER ADJACENT ROADWAYS. ALL WATER USED FOR TIRE WASHING SHALL BE COLLECTED AND TREATED PRIOR TO ENTERING THE DRAINAGE SYSTEM. THE CONTRACTOR SHALL INSPECT THE CONSTRUCTION ENTRANCE DAILY AND AFTER HEAVY USE.
14. EQUIPMENT NOT IN USE SHALL NOT BE PARKED WITHIN WETLANDS OR BUFFER AREAS.

LEGEND

- DRAIN MAN HOLE
- DRAINAGE LINE
- CATCH BASIN
- SEWER LINE
- SEWER MAN HOLE
- BITUMINOUS CURBING
- EDGE OF PAVEMENT
- GUARD RAIL
- APPROX. WATERLINE
- HYDRANT
- WATERGATE
- APPROX. GAS LINE
- GAS GATE

- UTILITY POLE & GUY WIRE
- CHAIN LINK FENCE
- LIGHTPOST
- HANDICAP SPACE
- ELECTRIC TRANSFORMER
- SIGN
- VERTICAL BENCHMARK
- TREELINE
- SPOT GRADE
- WETLAND LINE
- TELEPHONE MAN HOLE
- MAPLE TREE >12"
- PINE TREE >12"
- OAK TREE >12"
- DECIDUOUS TREE >12"

PLAN No. 754, 1974, Bk. 245

ZONED: AR-1
AREA = 44,000 sf
FRONTAGE = 180 feet
SETBACKS: FRONT = 35 feet
SIDE = 15 feet
REAR = 15 feet

ASSESSOR MAP 37, LOT 67

OWNER / APPLICANT:

THE RESIDENCES AT CHOATE TRAIL, LLC
17 GOLDFINCH LANE
NASHUA, NH 03062

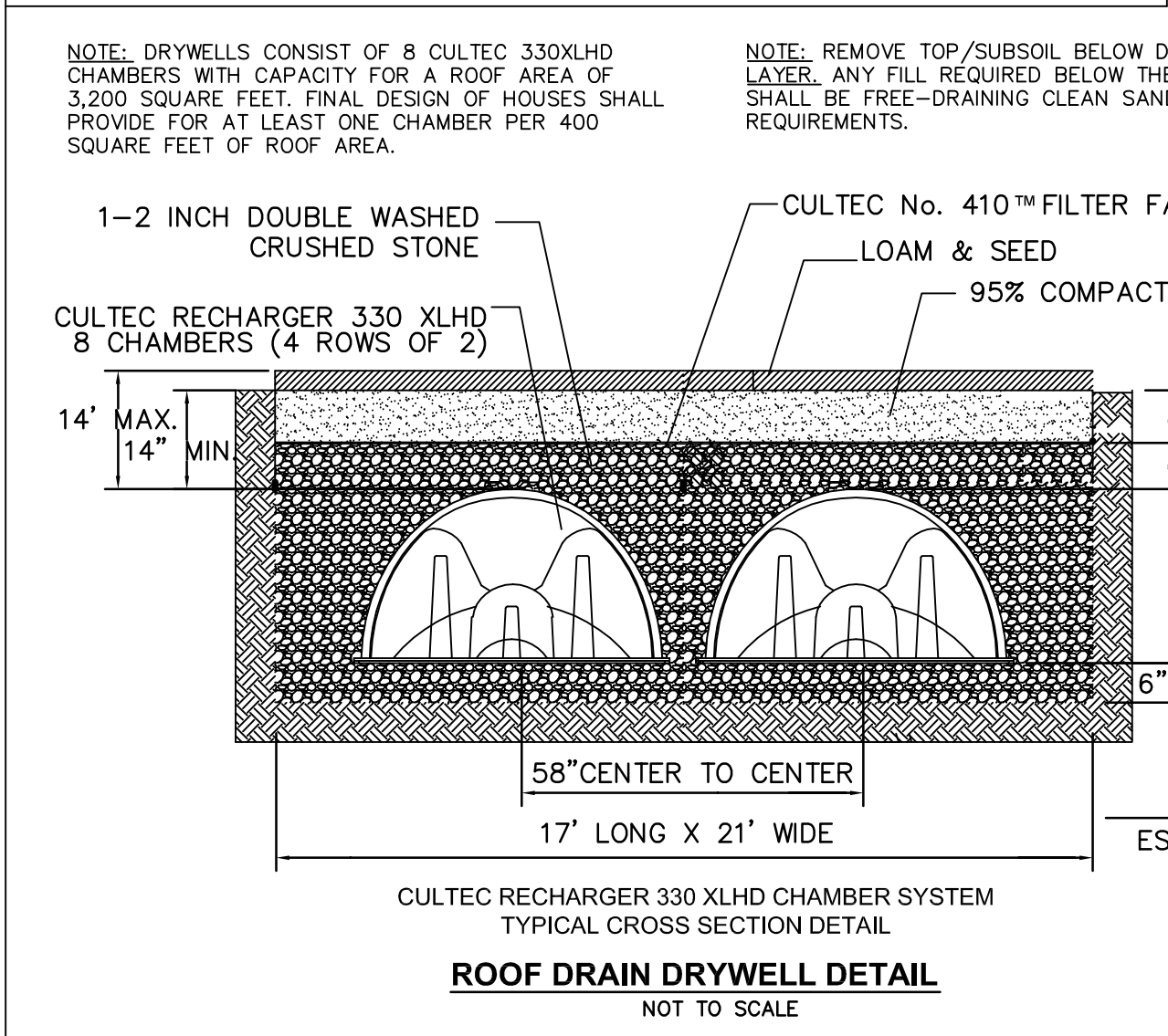
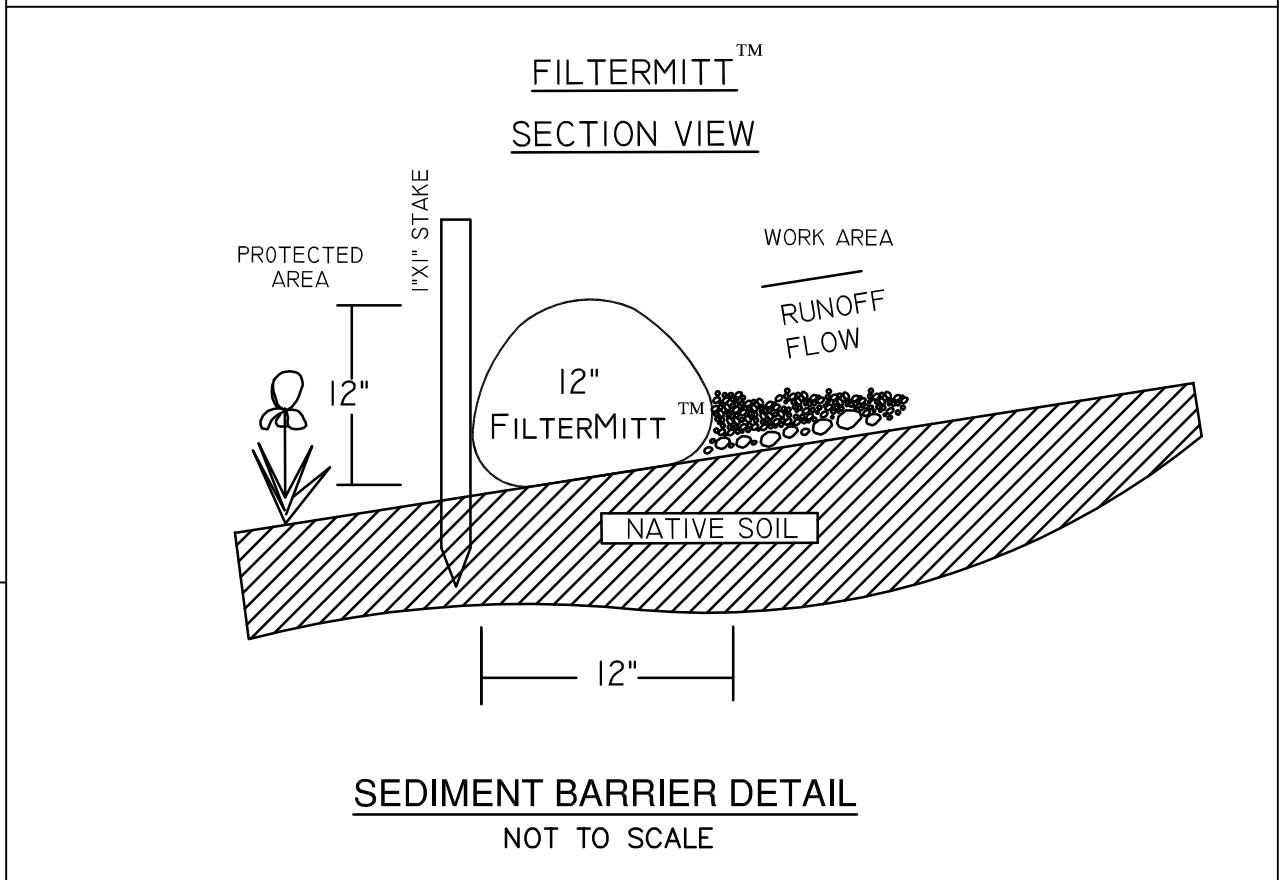
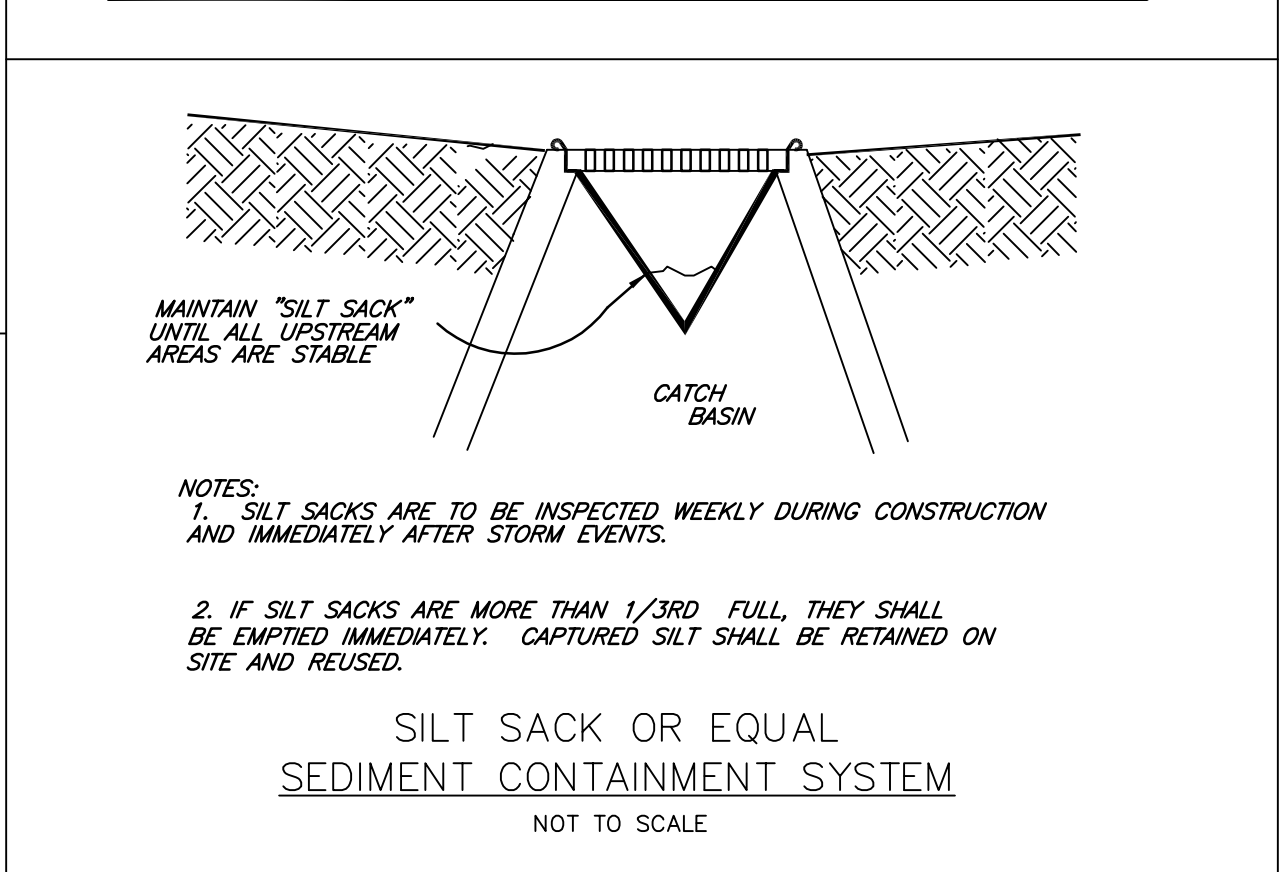
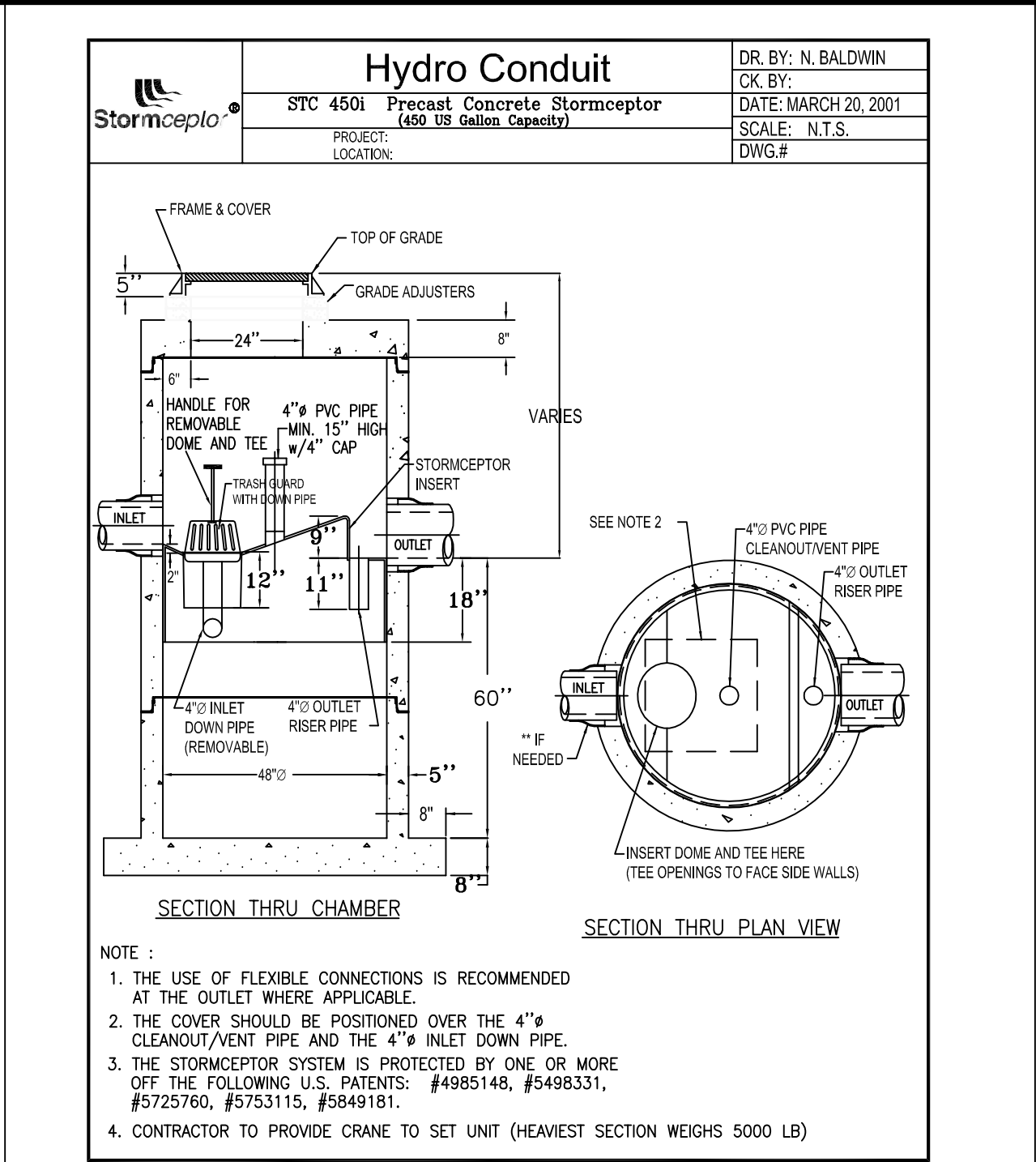
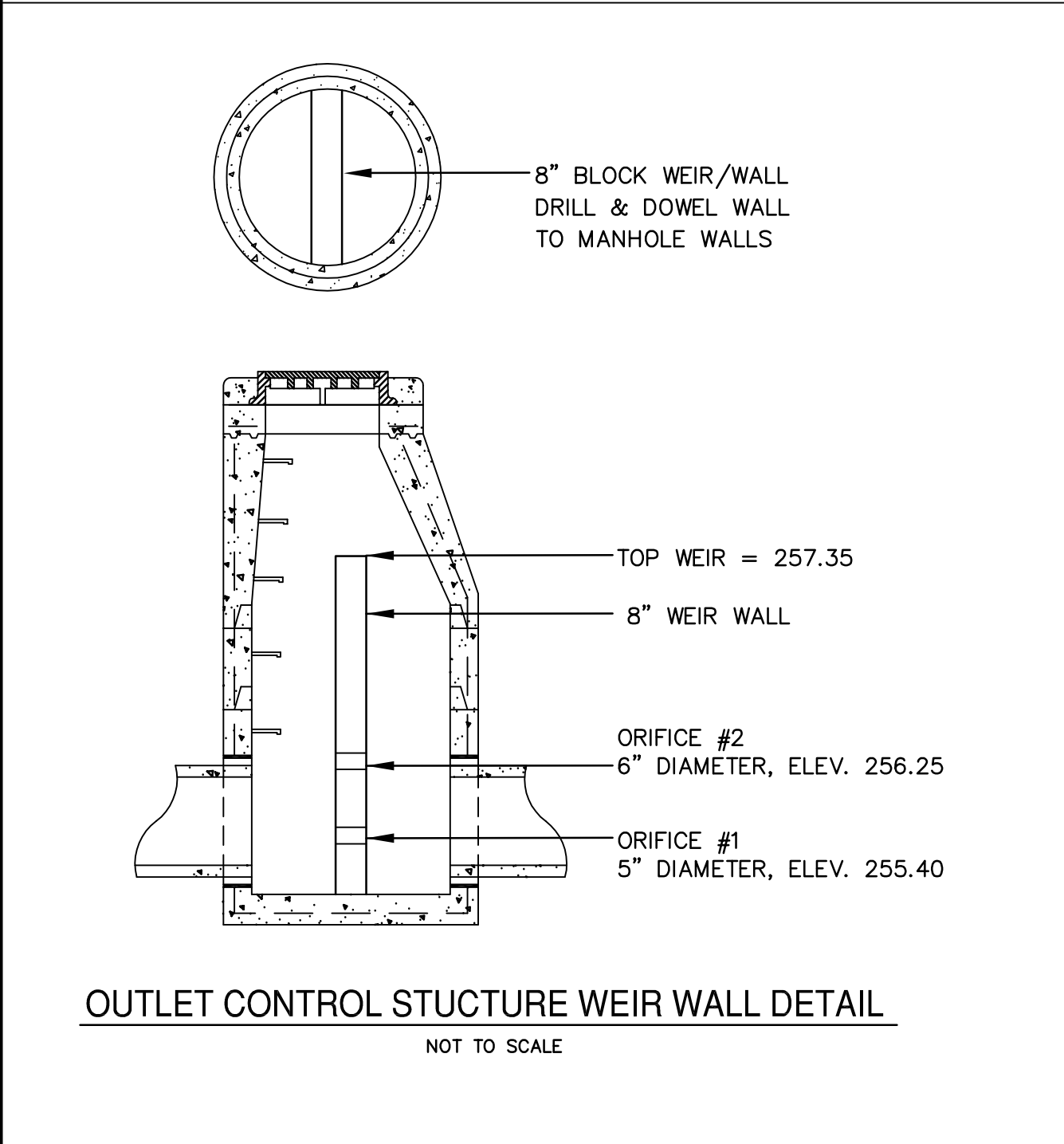
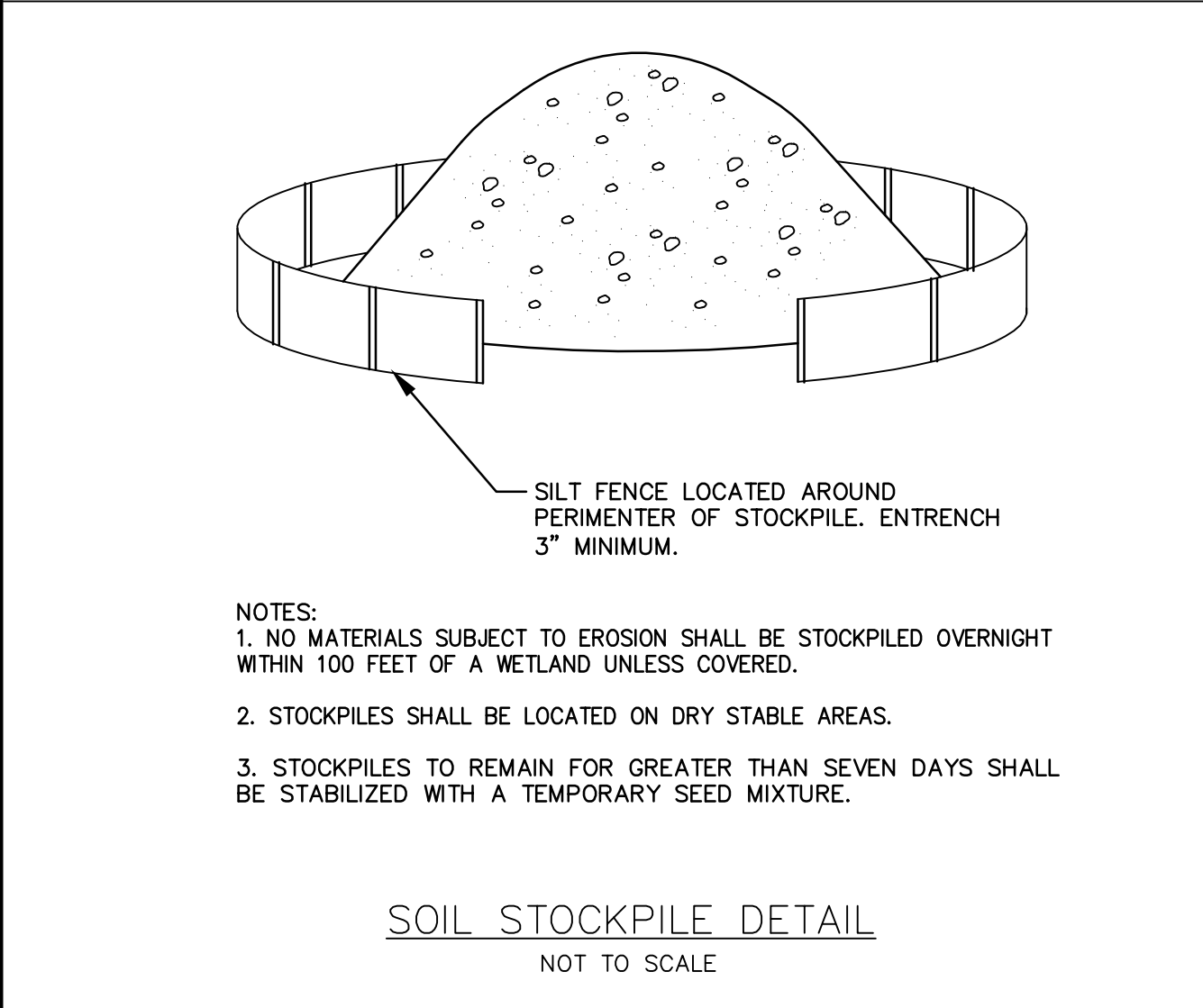
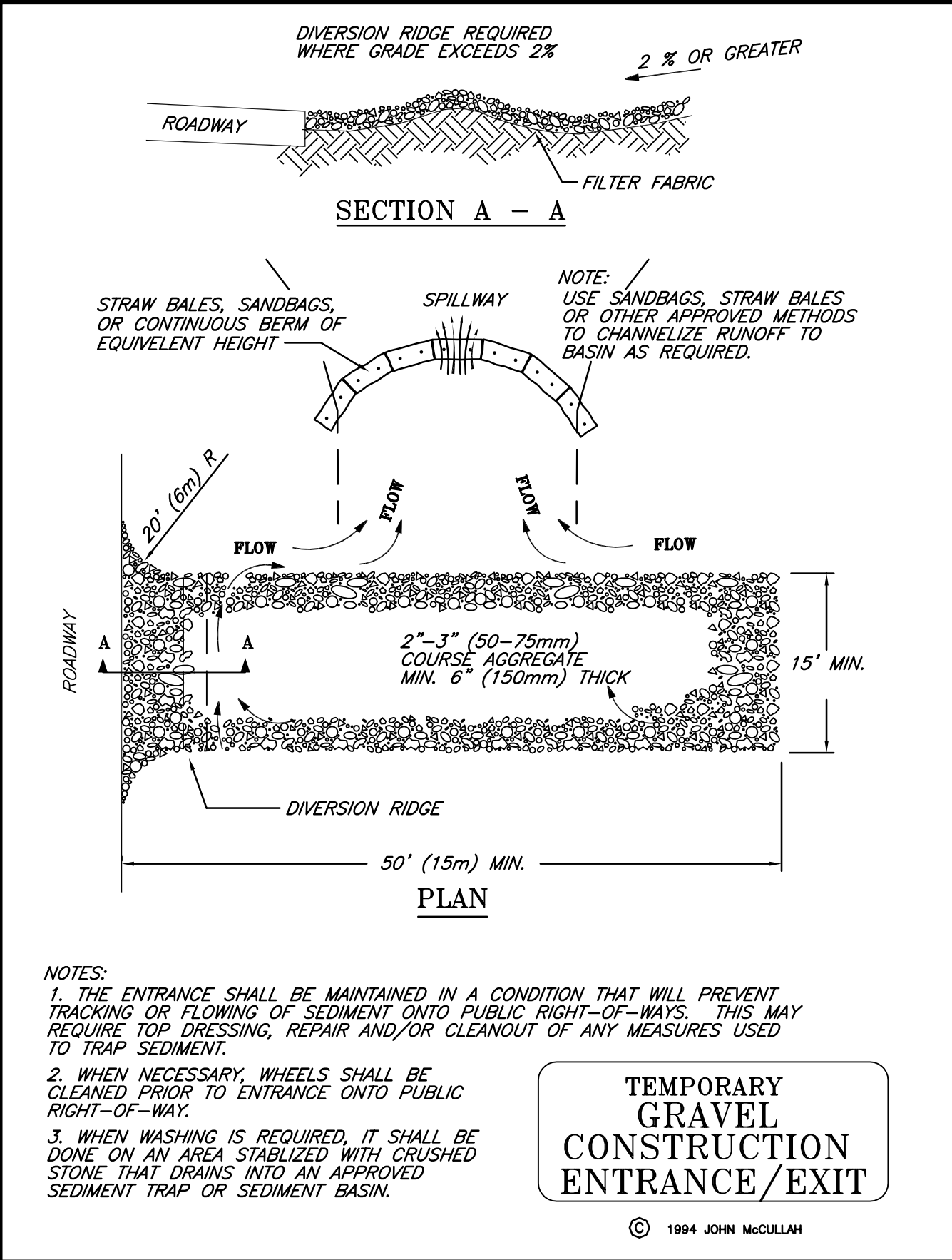
CONNORSTONE
ENGINEERING INC.

CIVIL ENGINEERS AND LAND SURVEYORS
10 SOUTHWEST CUTOFF, SUITE 7
NORTHBOROUGH, MASSACHUSETTS 01532
PHONE: 508-393-9727 FAX: 508-393-5242

DEFINITIVE SUBDIVISION PLAN

EROSION & SEDIMENT
CONTROL PLAN
CHOATE TRAIL WAY
IN
MEDWAY, MASS.

| | |
|------------------------|------------------------|
| 7/23/2020 | CONDITIONS OF APPROVAL |
| 4/16/2020 | WET FLAG EDITS |
| 3/19/2020 | PEER REVIEW COMMENTS |
| 3/9/2020 | REVIEW COMMENTS |
| 1/13/2020 | REVIEW COMMENTS |
| 1/3/2020 | REVIEW COMMENTS |
| REVISED: | DESCRIPTION: |
| DRAWN BY: REM | CHECK BY: VC |
| DATE: NOVEMBER 8, 2019 | |
| SCALE: 1"=40' | SHEET 4 OF 8. |



NOTE:

PRESENT AND FUTURE OWNERS ARE SUBJECT TO A DECLARATION OF PROTECTIVE COVENANTS & RESTRICTIONS AND PRIVATE ROADWAY AGREEMENT GOVERNING THE CHOATE TRAIL SUBDIVISION.

I, _____ CLERK OF THE TOWN OF MEDWAY RECEIVED AND RECORDED APPROVAL FROM THE PLANNING BOARD OF THIS PLAN ON _____ AND NO APPEAL WAS TAKEN FOR TWENTY (20) DAYS THEREAFTER.

APPROVAL UNDER THE SUBDIVISION CONTROL LAW, IS REQUIRED.

MEDWAY PLANNING AND ECONOMIC DEVELOPMENT BOARD

DATE: _____

THIS PLAN IS SUBJECT TO A COVENANT TO BE RECORDED HEREWITH.

THIS PLAN IS SUBJECT TO A CERTIFICATE OF ACTION WHICH SHALL BE RECORDED WITH THE PLAN AT THE NORFOLK COUNTY REGISTRY OF DEEDS.

OWNER / APPLICANT:

THE RESIDENCES AT CHOATE TRAIL, LLC

17 GOLDFINCH LANE

NASHUA, NH 03062

CONNORSTONE ENGINEERING INC.

CIVIL ENGINEERS AND LAND SURVEYORS

10 SOUTHWEST CUTOFF, SUITE 7

NORTHBOROUGH, MASSACHUSETTS 01532

PHONE: 508-393-9727 FAX: 508-393-5242

DEFINITIVE PLAN CONSTRUCTION DETAILS OF CHOATE TRAIL WAY IN MEDWAY, MASS

| | |
|------------------------|------------------------|
| 7/23/2020 | CONDITIONS OF APPROVAL |
| 4/16/2020 | WET FLAG EDITS |
| 3/19/2020 | PEER REVIEW COMMENTS |
| 3/9/2020 | REVIEW COMMENTS |
| 1/13/2020 | REVIEW COMMENTS |
| 1/3/2020 | REVIEW COMMENTS |
| REVISED: | DESCRIPTION: |
| DRAWN BY: RM | CHECK BY: VC |
| DATE: NOVEMBER 8, 2019 | |
| SCALE: NONE | SHEET 7 OF 8. |

STORMWATER POLLUTION PREVENTION PLAN

FOR

CHOATE TRAIL WAY
HIGHLAND ST. MEDWAY, MA

THIS STORMWATER POLLUTION PREVENTION PAN HAS BEEN PREPARED IN ACCORDANCE WITH THE MA DEPARTMENT OF ENVIRONMENTAL PROTECTION STORMWATER STANDARDS AND NPDES GENERAL CONSTRUCTION PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES. ALL WORK SHALL BE IN ACCORDANCE WITH THE ORDER OF CONDITIONS ISSUED BY THE LOCAL CONSERVATION COMMISSION.

1.1 PROJECT INFORMATION

PROJECT NAME AND LOCATION: 42 HIGHLAND STREET, MEDWAY, MA

ACCOMPANYING DOCUMENTS: PLANS TITLED "DEFINITIVE" SUBDIVISION PLAN, CHOATE TRAIL WAY, MEDWAY, MA* PREPARED BY CONNORSTONE ENGINEERING, ARE TO BE CONSIDERED A PART OF THIS DOCUMENT.

NPDES TRACKING NUMBER: MAR

LATITUDE/LONGITUDE: LAT: 42.15050 / LONG: 71.44110

PROJECT DESCRIPTION: FOUR (4) LOT RESIDENTIAL SUBDIVISION

ESTIMATED DATES: START:SUMMER 2020 / COMPLETION:SUMMER 2022

NAME OF RECEIVING WATERS: CHICKEN BROOK

ESTIMATED AREA OF DISTURBANCE: 3.25 ACRES

1.2 EXISTING CONDITIONS

THE EXISTING SITE CONSISTS OF A 5.88 ACRE PARCEL AT 42 HIGHLAND STREET AND IS SHOWN ON ASSESSOR'S MAP 37 AS PARCELS 64 AND 67. THE LOT IS CURRENTLY DEVELOPED WITH A SINGLE FAMILY HOUSE CLOSE TO HIGHLAND STREET WITH THE REAR AREAS BEING WOODED. THE CURRENT ZONING MAP SHOWS THE SITE IS WITHIN THE AR-1 DISTRICT, WHICH REQUIRES A MINIMUM LOT AREA OF 44,000 SQUARE FEET AND 180 FEET OF FRONTAGE. AN AREA OF BORDERING VEGETATED WETLANDS IS LOCATED NEAR THE CENTER OF THE SITE.

THE NATURAL RESOURCE CONSERVATION SERVICE HAS MAPPED THE SOILS WITHIN THE DEVELOPMENT AREA AS "CANTON FINE SANDY LOAM," WHICH ARE TYPICALLY WELL DRAINED. SOILS WITH LITTLE DEVELOPMENT RESTRICTIONS. TEST PITS WERE PERFORMED BY CONNORSTONE ENGINEERING, INC. TO DETERMINE CONFIRM THE SOIL CLASSIFICATION AND DEPTH TO GROUNDWATER THROUGHOUT THE SITE FOR BOTH SEPTIC SYSTEM DESIGN AND STORMWATER MANAGEMENT DESIGN. THE TEST PITS THROUGHOUT THE SITE WERE CONSISTENT SHOWING A LOAMY SAND MATERIAL WITH PERCOLATION RATES OF 2 TO 6 MINUTES PER INCH. DEPTH TO GROUNDWATER VARIED WITH TOPOGRAPHY, BUT GENERALLY CORRELATED TO JUST ABOVE THE ON-SITE WETLAND ELEVATION.

RUNOFF FROM THE PROJECT AREA FLOWS TO THE ON-SITE WETLAND AT THE CENTER OF THE SITE. THERE ARE CURRENTLY NO STORMWATER CONTROLS ON-SITE AND ALL FLOW IS VIA OVERLAND RUNOFF.

1.3 PROPOSED DEVELOPMENT / NATURE OF CONSTRUCTION ACTIVITIES

THE PROPOSED PROJECT PROVIDES FOR A FOUR LOT RESIDENTIAL SUBDIVISION. THIS INCLUDES CONSTRUCTION OF A 578 FOOT LONG CUL-DE-SAC ROADWAY TO PROVIDE THE REQUIRED ACCESS AND LOT FRONTAGE. ALL LOTS ARE GREATER THAN THE MINIMUM 44,000 SQ. FT. LOT AREA AND MINIMUM 180 FEET OF FRONTAGE. THE ROADWAY HAS BEEN DESIGNED TO MEET THE NEIGHBORHOOD STREET DESIGN STANDARDS. THE ROAD PROFILE HAS PROVIDED RELATIVELY FLAT GRADES WITH AN UP/DOWN SLOPE OF 2% THROUGH THE ROAD. EACH LOT WILL BE SERVICED BY ON-SITE SEPTIC SYSTEMS AND TOWN WATER EXTENDED OFF HIGHLAND STREET.

THE PROPOSED STORMWATER MANAGEMENT SYSTEM HAS BEEN DESIGNED TO CONTROL BOTH THE PEAK RATE AND VOLUME OF RUNOFF TO MATCH THE PRE-EXISTING CONDITIONS THROUGH THE 100 YEAR STORM EVENT. RAINFALL INTENSITIES WERE BASED UPON THE MOST CURRENT NOAA ATLAS 14 DATA. THE STORMWATER MANAGEMENT SYSTEM INCLUDES A TYPICAL SURFACE COLLECTION SYSTEM, THEN ROUTED THROUGH A STRUCTURAL TREATMENT SYSTEM (STORMCEPTOR) FOR PRETREATMENT, AND THEN ONTO A LARGE SUBSURFACE DRYWELL FOR FINAL TREATMENT AND INFILTRATION. THE DRYWELL CONSISTS OF PREFABRICATED CHAMBERS EMBEDDED IN A CONCRETE ROADWAY. THE LOCATION AND DESIGN WE DISCUSSED WITH THE BOARD DURING THE PRELIMINARY SUBDIVISION PHASE. INDIVIDUAL HOUSE ROOFS WILL ALSO BE COLLECTED AN INFILTRATED WITH DRYWELLS.

1.4 CONSTRUCTION SITE ESTIMATES

TOTAL PARCEL AREA5.88 ACRES

TOTAL LAND DISTURBANCE:3.25 ACRES

IMPERVIOUS AREA BEFORE CONSTRUCTION:0.05 ACRES

IMPERVIOUS AREA AFTER CONSTRUCTION:1.0 ACRES

1.5 SENSITIVE AREAS / WETLAND RESOURCES

MAPPED WETLAND RESOURCE AREAS ARE LOCATED IN THE CENTRAL PORTION OF THE PROPERTY INCLUDING BORDERING VEGETATED WETLANDS. THE NATURAL HERITAGE AND ENDANGERED SPECIES PROGRAM (NHESP) HAS NOT IDENTIFIED ANY AREAS ON-SITE AS LYING WITHIN THE REPORTED PRIORITY OR ESTIMATED HABITAT AREAS, AND THE SITE IS NOT LOCATED WITHIN ANY FLOOD HAZARD ZONES BASED UPON THE TOWN OF MARLBOROUGH FLOOD INSURANCE RATE MAPS.

1.6 DISCHARGE INFORMATION

STORMWATER GENERALLY FLOWS TO THE CENTRAL WETLAND AREA. THE AREA FLOWS TO THE NORTH UNDER ADAMS ROAD AND ULTIMATELY TO CHICKEN BROOK LOCATED APPROXIMATELY 1,400 FEET FROM THE SITE. THIS WATER BODY IS NOT CLASSIFIED UNDER THE MA SURFACE WATER QUALITY STANDARDS 314 CMF 4 BASED UPON THE MASSACHUSETTS YEAR 2016 INTEGRATED LIST OF WATERS THIS SURFACE WATER IS AN IMPAIRED WATER DUE TO E. COLI, AND IS LISTED AS A CATEGORY 5 WATER, "WATERS REQUIRING A TMDL."

1.7 ENDANGERED SPECIES CERTIFICATION

THE PROPOSED PROJECT IS NOT LOCATED IN AN ESTIMATED OR PRIORITY HABITAT OF RARE WILDLIFE AS INDICATED ON THE 2017 ESTIMATED HABITAT MAP OF STATE-LISTED RARE WETLAND WILDLIFE PUBLISHED BY THE NATURAL HERITAGE AND ENDANGERED SPECIES PROGRAM (NHESP)

1.8 POTENTIAL SOURCES OF POLLUTION

POTENTIAL SOURCES OF SEDIMENT TO STORMWATER RUNOFF:

- CLEARING AND GRUBBING OPERATIONS
- GRADING AND SITE EXCAVATION OPERATIONS
- VEHICLE TRACKING
- TOPSOIL STRIPPING AND STOCKPILING
- LANDSCAPING OPERATIONS

POTENTIAL POLLUTANTS AND SOURCES, OTHER THAN SEDIMENT, TO STORMWATER RUNOFF:

- COMBINED STAGING AREA--SMALL FUELING ACTIVITIES, MINOR EQUIPMENT MAINTENANCE, SANITARY FACILITIES, AND HAZARDOUS WASTE STORAGE.
- MATERIALS STORAGE AREA--GENERAL BUILDING MATERIALS, SOLVENTS, ADHESIVES, PAVING MATERIALS, PAINTS, AGGREGATES, TRASH, ETC.
- CONSTRUCTION ACTIVITY--PAVING, CURB/GUTTER INSTALLATION, CONCRETE POURING/MORTAR/STUCCO, BUILDING CONSTRUCTION, AND CONCRETE WASHOUT AREA.

1.9 REQUIREMENT TO POST A NOTICE OF YOUR PERMIT COVERAGE.

THE OPERATOR MUST POST A SIGN OR OTHER NOTICE CONSPICUOUSLY AT A SAFE, PUBLICLY ACCESSIBLE LOCATION IN CLOSE PROXIMITY TO THE PROJECT SITE. AT A MINIMUM, THE NOTICE MUST INCLUDE THE NPDES PERMIT TRACKING NUMBER AND A CONTACT NAME AND PHONE NUMBER FOR OBTAINING ADDITIONAL PROJECT INFORMATION. THE NOTICE MUST BE LOCATED SO THAT IT IS VISIBLE FROM THE PUBLIC ROAD THAT IS NEAREST TO THE ACTIVE PART OF THE CONSTRUCTION SITE, AND IT MUST USE A FONT LARGE ENOUGH TO BE READILY VIEWED FROM A PUBLIC RIGHT-OF-WAY.

1.10 SUBCONTRACTORS: EACH SUBCONTRACTOR ENGAGED IN ACTIVITIES AT THE CONSTRUCTION SITE THAT COULD IMPACT STORMWATER MUST BE IDENTIFIED AND SIGN THE SUBCONTRACTOR CERTIFICATIONS/AGREEMENT (ATTACHED).

2.1 GENERAL CONSTRUCTION SEQUENCING OF MAJOR ACTIVITIES

ESTIMATED SCHEDULE: 24 MONTHS

GENERAL SEQUENCING PLAN

1. INSTALL SEDIMENT CONTROL BARRIERS AND CONSTRUCTION ENTRANCE OFF HIGHLAND STREET.
2. REMOVE THE EXISTING STRUCTURES AND PAVEMENT AREAS.
3. INSTALL TEMPORARY SEDIMENT BASINS (IF REQUIRED)
4. CLEAR, STUMP & GRUB ROADWAY AREAS.
5. BEGIN CONSTRUCTION OF ROADWAY.
6. INSTALL ROADWAY CROSS CULVERT PRIOR TO COMPLETING PLACEMENT OF FILL NEAR STATION 2+50 TO 3+50 TO PREVENT PONDING ON ABUTTING LAND AND BLOCKAGE OF DRAINAGE FLOW PATHS.
7. INSTALL UTILITIES
8. INSTALL DRAINAGE SYSTEM AND SUBSURFACE INFILTRATION STRUCTURE WORKING FROM 2+90 OUTWARD TOWARD HIGHLAND STREET. PLACE COMPACTED FILL OVER STRUCTURES UP TO SUBGRADE. ALL DRAINAGE INLETS SHALL REMAIN PLATED AND OFF-LINE TO PREVENT SEDIMENT FROM ENTERING THE SYSTEM.
9. INSTALL GRAVEL BASE AND BINDER COURSE PAVEMENT.
10. BEGIN LOT DEVELOPMENT.
11. INSTALL SIDEWALKS.
12. PERFORM FINAL LANDSCAPING AND STABILIZATION.
13. ADJUST STRUCTURES TO GRADE, INSTALL GRANITE EDGING, AND PLACE FINAL TOP COURSE PAVEMENT.
14. REMOVE THE REMAINING SILTATION DEVISES AS THE AREA BECOMES STABLE.

2.2 EROSION AND SEDIMENT CONTROLS

GENERAL CONDITIONS -- PRIOR TO INITIATING CONSTRUCTION, ALL SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLANS AND DETAIL DRAWINGS. THIS PLAN DEPICTS THE MINIMUM REQUIRED SEDIMENTATION AND EROSION CONTROLS. THE CONTRACTOR SHALL EMPLOY ADDITIONAL SEDIMENTATION AND EROSION CONTROL MEASURES AS NECESSITATED BY SITE CONDITIONS, OR AS DIRECTED BY THE OWNER, THE OWNER'S REPRESENTATIVE, OR THE CONSERVATION COMMISSION TO ENSURE PROTECTION OF ALL WETLAND RESOURCES AND CONTROL SEDIMENT TRANSPORT. IF SEDIMENTATION FLUMES OCCUR, THE CONTRACTOR SHALL STOP WORK AND INSTALL ADDITIONAL SEDIMENTATION CONTROL DEVICES IMMEDIATELY TO PREVENT FURTHER SEDIMENTATION.

TEMPORARY STABILIZATION -- TOPSOIL STOCKPILES AND DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR AT LEAST 14 DAYS WILL BE STABILIZED WITH A TEMPORARY SEED AND MULCH NO LATER THAN 14 DAYS FROM THE LAST CONSTRUCTION ACTIVITY IN THAT AREA. THE TEMPORARY SEED SHALL BE EROSION CONTROL MIX. SEEDING SHALL BE NUTRIENT ENRICHED HYDROSEED WITH TACKIFIER AND CELLULOSE OR OTHER DEGRADABLE FIBERS CAPABLE OF RETAINING MOISTURE.

PERMANENT STABILIZATION -- DISTURBED PORTION OF THE SITE WHERE CONSTRUCTION ACTIVITY CEASES SHALL BE STABILIZED WITH PERMANENT SEED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY. THE PERMANENT SEED MIX CONSISTS OF TALL FESCUE, AND ANNUAL RYE. PRIOR TO SEEDING, GROUND AGRICULTURAL LIMESTONE SHALL BE APPLIED. SEEDING SHALL BE NUTRIENT ENRICHED HYDROSEED WITH TACKIFIERS AND CELLULOSE OR OTHER DEGRADABLE FIBERS CAPABLE OF RETAINING MOISTURE.

EROSION BARRIER (PERIMETER CONTROLS) -- EROSION BARRIERS SHALL CONSIST OF COMPOST FILTER SOCKS. PRIOR TO THE COMMENCEMENT OF WORK, FILTER SOCKS SHALL BE INSTALLED ALONG THE EDGE OF PROPOSED DEVELOPMENT AND AS INDICATED ON THE PLANS. ADDITIONAL EROSION BARRIERS SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE OWNER, HIS REPRESENTATIVES, OR THE LOCAL AUTHORITY.

TRACK OUT CONTROLS / CONSTRUCTION ENTRANCE -- A STABILIZED STONE APRON CONSTRUCTION ENTRANCE SHALL BE AT ALL CONSTRUCTION ENTRANCES TO HELP PREVENT VEHICLE TRACKING OF SEDIMENTS. ALL VEHICLES SHALL ENTER AND EXIT THE SIT VIA THE STABILIZED CONSTRUCTION ENTRANCE. THE CONTRACTOR SHALL INSPECT THE CONSTRUCTION ENTRANCE DAILY AND AFTER HEAVY USE. IF MUD AND SOIL CLOGS THE VOIDS IN THE CRUSHED STONE REDUCING THE EFFECTIVENESS, THE PAD SHALL BE TOP DRESSED WITH NEW CLEAN STONE. IF THE PAD BECOMES COMPLETELY CLOGGED, REPLACEMENT OF THE ENTIRE PAD MAY BE NECESSARY. DUMP TRUCKS HAULING MATERIAL FROM THE CONSTRUCTION SITE WILL BE COVERED WITH A TARP/AULIN.

TRACK OUT CONTROLS / STREET SWEEPING -- STREET SWEEPING IN THE VICINITY OF THE PROJECT AREA SHALL BE PERFORMED AS NEEDED UNTIL THE PROJECT LIMITS HAVE BEEN STABILIZED. ALL SEDIMENT TRACKED OUTSIDE THE LIMIT OF WORK SHALL BE SWEEP AT THE END OF EACH WORKING DAY.

INLET PROTECTION -- ALL EXISTING AND PROPOSED DRAINAGE SYSTEM INLETS, WHICH MAY RECEIVE STORMWATER FLOW FROM DISTURBED AREAS, SHALL BE PROVIDED WITH INLET PROTECTION (CATCH BASIN INSERTS). THE CONTRACTOR SHALL MAINTAIN THESE DEVICES UNTIL ALL WORK IS COMPLETED AND ALL AREAS HAVE BEEN ADEQUATELY STABILIZED.

TEMPORARY SEDIMENT TRAPS-- SEDIMENT TRAPS AND/OR BASINS SHALL BE CONSTRUCTED AS NECESSITATED BY FIELD CONDITIONS. THE MINIMUM VOLUME SHALL BE 1800 CUBIC FEET OF STORAGE FOR EACH ACRE OF DRAINAGE AREA. SEDIMENT TRAPS/BASINS SHOULD BE READILY ACCESSIBLE FOR MAINTENANCE AND SEDIMENT REMOVAL AND SHOULD REMAIN IN OPERATION AND BE PROPERLY MAINTAINED UNTIL THE SITE AREA IS PERMANENTLY STABILIZED BY VEGETATION AND/OR PERMANENT STRUCTURES ARE IN PLACE. REMOVE BASIN AFTER DRAINAGE AREA HAS BEEN PERMANENTLY STABILIZED, INSPECTED, AND APPROVED. BEFORE REMOVING DAM, DRAIN WATER AND REMOVE SEDIMENT; PLACE WASTE MATERIAL IN DESIGNATED DISPOSAL AREAS. SMOOTH SITE TO BLEND WITH SURROUNDING AREA AND STABILIZE.

DUST CONTROL -- DUST CONTROL MEASURES SHALL BE IMPLEMENTED AND MAINTAINED PROPERLY THROUGHOUT DRY WEATHER PERIODS UNTIL ALL DISTURBED AREAS HAVE BEEN PERMANENTLY STABILIZED. METHODS FOR DUST CONTROL SHALL INCLUDE WATER SPRINKLING AND/OR OTHER METHODS APPROVED BY THE ENGINEER.

SOIL STOCKPILES -- SOIL STOCKPILES SHALL BE STABILIZED TO PREVENT EROSION ALONG WITH PERIMETER SEDIMENTATION CONTROLS. NO MATERIALS SUBJECT TO EROSION SHALL BE STOCKPILED OVERNIGHT WITHIN 100 FEET OF A WETLAND UNLESS COVERED.

DEWATERING OPERATIONS -- DEWATERING OPERATIONS, IF REQUIRED, SHALL DISCHARGE ONTO STABILIZED AREAS. ALL DISCHARGE WATER IS TO PASS THROUGH SEDIMENTATION CONTROL DEVICES TO PREVENT IMPACTS UPON WATER BODIES, BORDERING VEGETATED WETLANDS, DRAINAGE SYSTEMS AND ABUTTING PROPERTIES. NO DISCHARGES FROM DEWATERING OPERATIONS SHALL BE DISCHARGED DIRECTLY TO THE DRAINAGE SYSTEM.

SNOW REMOVAL -- SNOW SHALL BE PLOWED TO THE SHOULDER OF THE ROADWAY, ANY EXCESS OF THAT WHICH CAN BE STORED ON-SITE SHALL BE REMOVED. SNOW SHALL NOT BE PLOWED INTO THE CONSTRUCTED WETLAND OR INTO THE 20-FOOT BUFFER ZONE TO ANY WETLAND AREA. ALL CATCH BASINS SHALL BE UNCOVERED AND FUNCTIONAL IMMEDIATELY AFTER SNOW PLOWING. ANY SNOW PILES SHALL BE PLACED SO THAT IT WILL NOT INTERFERE WITH RUNOFF FLOW.

TOPSOIL -- TOPSOIL SHALL BE STRIPPED AND STOCKPILED ON-SITE FOR REUSE, UNLESS OTHERWISE NOTED ON THE PLANS (PER STOCKPILE REQUIREMENTS). MATERIALS SHALL BE RE-USED ON-SITE TO THE MAXIMUM EXTENT PRACTICAL. ANY EXCESS SHALL BE PROPERLY EXPORTED OFF-SITE.

MINIMIZE SOIL COMPACTION -- WITHIN THE LIMITS OF THE INFILTRATION GALLEY, THE USE OF HEAVY EQUIPMENT SHALL BE LIMITED TO THE MAXIMUM EXTENT PRACTICAL.

VEHICLE WASHING -- VEHICLE AND EQUIPMENT WASHING, OTHER THAN HOSE DOWN WITH CLEAN WATER, SHALL NOT BE ALLOWED. ALL WASH DOWN WATER SHALL BE DIRECTED TO A SEDIMENT CONTROL DEVICE (NOT DIRECTLY TO ANY STORMWATER DRAINAGE SYSTEM OR WETLAND).

FERTILIZER DISCHARGE RESTRICTIONS.

- APPLY AT A RATE AND IN AMOUNTS CONSISTENT WITH MANUFACTURER'S SPECIFICATIONS.
- DURING THE GROWING SEASON, AND PREFERABLY TIMED TO COINCIDE AS POSSIBLE TO THE PERIOD OF MAXIMUM VEGETATION UPTAKE AND GROWTH.
- AVOID APPLYING BEFORE HEAVY RAINS THAT COULD CAUSE EXCESS NUTRIENTS TO BE DISCHARGED;
- NEVER APPLY TO FROZEN GROUND;
- NEVER APPLY TO STORMWATER CONVEYANCE CHANNELS WITH FLOWING WATER; AND
- FOLLOW ALL OTHER FEDERAL, STATE, TRIBAL, AND LOCAL REQUIREMENTS REGARDING FERTILIZER APPLICATION.

WASHING OF APPLICATORS AND CONTAINERS USED FOR PAINT, CONCRETE, OR OTHER MATERIALS. -- DIRECT ALL WASH WATER INTO A LEAK-PROOF CONTAINER OR LEAK-PROOF PIT. THE CONTAINER OR PIT MUST BE DESIGNED SO THAT NO OVERFLOWS CAN OCCUR DUE TO INADEQUATE SIZING OR PRECIPITATION HANDLE WASHOUT OR CLEANOUT WASTES AS FOLLOWS: DO NOT DUMP LIQUID WASTES IN STORM SEWERS; DISPOSE OF LIQUID WASTES IN ACCORDANCE WITH APPLICABLE REGULATIONS; AND, REMOVE AND DISPOSE OF HARDENED CONCRETE WASTE CONSISTENT WITH YOUR HANDLING OF OTHER CONSTRUCTION WASTES. LOCATE ANY WASHOUT OR CLEANOUT ACTIVITIES AS FAR AWAY AS POSSIBLE FROM SURFACE WATERS AND STORMWATER INLETS OR CONVEYANCES, AND, TO THE EXTENT PRACTICABLE, DESIGNATE AREAS TO BE USED FOR THESE ACTIVITIES AND CONDUCT SUCH ACTIVITIES ONLY IN THESE AREAS.

2.3 INSPECTION AND MAINTENANCE SCHEDULE

THE RESPONSIBLE PARTY SHALL BE RESPONSIBLE FOR MAINTAINING ALL TEMPORARY AND PERMANENT SEDIMENTATION AND EROSION CONTROLS UNTIL WORK IS COMPLETE AND ALL AREAS HAVE BEEN PERMANENTLY STABILIZED. AT SUCH TIME ALL SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE REMOVED. THESE ARE THE INSPECTION AND MAINTENANCE PRACTICES THAT WILL BE USED TO MAINTAIN EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION.

SCHEDULE:

- ALL CONTROL MEASURES WILL BE INSPECTED AT LEAST ONCE EACH WEEK.
- ALL EROSION COMPONENTS SHALL BE INSPECTED WITHIN 24 HOURS FOLLOWING ANY PRECIPITATION EVENT OF 0.25 INCHES.
- DEPTH OF PRECIPITATION EVENTS SHALL BE BASED UPON NCDC REPORTING.

MAINTENANCE PRACTICES:

- ALL MEASURES WILL BE MAINTAINED IN GOOD WORKING ORDER; IF A REPAIR IS NECESSARY, IT WILL BE INITIATED WITHIN 24 HOURS OF REPORT OF ANY DEFICIENCIES.
- BUILT UP SEDIMENT SHALL BE REMOVED FROM THE SILT FENCE WHEN IT REACHES A DEPTH EQUAL TO ONE-THIRD THE HEIGHT OF THE FENCE.
- THE SEDIMENT TRAPS SHALL BE INSPECTED FOR DEPTH OF SEDIMENT, AND BUILT UP SEDIMENT WILL BE REMOVED WHEN IT REACHED 25 PERCENT OF THE DESIGN CAPACITY OR AT THE END OF THE CHECK DRAINAGE FOR SETTLEMENT, SEEPAGE, OR SLUMPING ALONG THE TOE OR AROUND PIPE. LOOK FOR SIGNS OF PIPING. REPAIR IMMEDIATELY. REMOVE TRASH AND OTHER DEBRIS FROM PRINCIPAL SPILLWAY, EMERGENCY SPILLWAY, AND POOL AREA. CLEAN OR REPLACE GRAVEL WHEN SEDIMENT POOL DOES NOT DRAIN PROPERLY.
- ANY DIVERSION DICES WILL BE INSPECTED FOR BREACHES AND PROMPTLY REPAIRED.
- TEMPORARY AND PERMANENT SEEDING AND PLANTING WILL BE INSPECTED FOR BARE SPOTS, WASHOUTS AND HEALTHY GROWTH.
- CONTRACTOR TO MAINTAIN A SUPPLY OF EROSION CONTROL DEVICES ON SITE AT ALL TIMES TO REPAIR ANY BROKEN OR DAMAGED MATERIALS.
- STREET SWEEPING SHALL BE PERFORMED THROUGHOUT CONSTRUCTION AS REQUIRED. ANY SEDIMENT TRACKED ONTO PUBLIC WAYS SHALL BE SWEEP BY THE END OF THE WORKING DAY.
- CATCH BASINS AND STORMCEPTORS SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND CLEANED WHENEVER SEDIMENT REACHES 12-INCHES IN CATCH BASINS AND 8-INCHES IN STORMCEPTORS.

THE SITE SUPERINTENDENT, WILL SELECT THREE INDIVIDUALS WHO WILL BE RESPONSIBLE FOR INSPECTIONS, MAINTENANCE AND REPAIR ACTIVITIES, AND FILLING OUT THE INSPECTION AND MAINTENANCE REPORTS. PERSONNEL SELECTED FOR INSPECTION AND MAINTENANCE RESPONSIBILITIES SHALL BE A "QUALIFIED PERSONNEL" AS DEFINED IN SECTION 4. D OF THE GCP. STAFF SHALL BE TRAINED IN ALL INSPECTION AND MAINTENANCE PRACTICES FOR KEEPING THE EROSION AND SEDIMENT CONTROLS USED ONSITE IN GOOD WORKING ORDER.

AN INSPECTION REPORT WILL BE MADE AFTER EACH INSPECTION. COPIES OF THE REPORTS SHALL BE MAINTAINED ON SITE. AT A MINIMUM, THE INSPECTION REPORT MUST INCLUDE:

- THE INSPECTION DATE;
- NAMES, TITLES, AND QUALIFICATIONS OF PERSONNEL MAKING THE INSPECTION;
- WEATHER INFORMATION FOR THE PERIOD SINCE THE LAST INSPECTION INCLUDING ESTIMATE OF THE BEGINNING AND DURATION OF EACH STORM EVENT;
- APPROXIMATE AMOUNT OF RAINFALL FOR EACH STORM EVENT (IN INCHES), AND WHETHER ANY DISCHARGES OCCURRED;
- LOCATION(S) OF DISCHARGES OF SEDIMENT OR OTHER POLLUTANTS FROM THE SITE;
- LOCATION(S) OF BMPs THAT NEED TO BE MAINTAINED;
- LOCATION(S) OF BMPs THAT FAILED TO OPERATE AS DESIGNED OR PROVED INADEQUATE FOR A PARTICULAR LOCATION;
- LOCATION(S) WHERE ADDITIONAL BMPs ARE NEEDED THAT DID NOT EXIST AT THE TIME OF INSPECTION; AND
- CORRECTIVE ACTION REQUIRED INCLUDING IMPLEMENTATION DATES.

THE INSPECTION REPORT MUST BE SIGNED IN ACCORDANCE WITH APPENDIX G, SECTION 11 OF THE GCP.

2.5 STAFF AND TRAINING REQUIREMENTS

PRIOR TO THE COMMENCEMENT OF EARTH-DISTURBING ACTIVITIES OR POLLUTANT-GENERATING ACTIVITIES, WHICHEVER OCCURS FIRST, YOU MUST ENSURE THAT THE FOLLOWING PERSONNEL UNDERSTAND THE REQUIREMENTS OF THIS PERMIT AND THEIR SPECIFIC RESPONSIBILITIES WITH RESPECT TO THOSE REQUIREMENTS:

- PERSONNEL WHO ARE RESPONSIBLE FOR THE DESIGN, INSTALLATION, MAINTENANCE, AND/OR REPAIR OF STORMWATER CONTROLS (INCLUDING POLLUTION PREVENTION MEASURES);
- PERSONNEL RESPONSIBLE FOR THE APPLICATION AND STORAGE OF TREATMENT CHEMICALS (IF APPLICABLE);
- PERSONNEL WHO ARE RESPONSIBLE FOR CONDUCTING INSPECTIONS AS REQUIRED IN PART 4.1.1; AND
- PERSONNEL WHO ARE RESPONSIBLE FOR TAKING CORRECTIVE ACTIONS.

NOTES: (1) IF THE PERSON REQUIRING TRAINING IS A NEW EMPLOYEE, WHO STARTS AFTER YOU COMMENCE EARTH-DISTURBING OR POLLUTANT-GENERATING ACTIVITIES, YOU MUST ENSURE THAT THIS PERSON HAS THE PROPER UNDERSTANDING AS REQUIRED ABOVE PRIOR TO ASSUMING PARTICULAR RESPONSIBILITIES RELATED TO COMPLIANCE WITH THIS PERMIT. (2) FOR EMERGENCY-RELATED CONSTRUCTION ACTIVITIES, THE REQUIREMENT TO TRAIN PERSONNEL PRIOR TO COMMENCEMENT OF EARTH-DISTURBING ACTIVITIES DOES NOT APPLY, HOWEVER, SUCH PERSONNEL MUST HAVE THE REQUIRED TRAINING PRIOR TO NOI SUBMISSION.

THE OPERATOR IS RESPONSIBLE FOR ENSURING THAT ALL ACTIVITIES ON THE SITE COMPLY WITH THE REQUIREMENTS OF THE PERMIT. THE OPERATOR IS NOT REQUIRED TO PROVIDE OR DOCUMENT FORMAL TRAINING FOR SUBCONTRACTORS OR OTHER OUTSIDE SERVICE PROVIDERS, BUT YOU MUST ENSURE THAT SUCH PERSONNEL UNDERSTAND ANY REQUIREMENTS OF THE PERMIT THAT MAY BE AFFECTED BY THE WORK THEY ARE SUBCONTRACTED TO PERFORM. AT A MINIMUM, PERSONNEL MUST BE TRAINED TO UNDERSTAND THE FOLLOWING IF RELATED TO THE SCOPE OF THEIR JOB DUTIES (E.G., ONLY PERSONNEL RESPONSIBLE FOR CONDUCTING INSPECTIONS NEED TO UNDERSTAND HOW TO CONDUCT INSPECTIONS):

- THE LOCATION OF ALL STORMWATER CONTROLS ON THE SITE REQUIRED BY THIS PERMIT, AND HOW THEY ARE TO BE MAINTAINED;
- THE PROPER PROCEDURES TO FOLLOW WITH RESPECT TO THE PERMIT'S POLLUTION PREVENTION REQUIREMENTS; AND
- WHEN AND HOW TO CONDUCT INSPECTIONS, RECORD APPLICABLE FINDINGS, AND TAKE CORRECTIVE ACTIONS.

3.1 STORAGE, HANDLING, AND WASTE DISPOSAL

BUILDING PRODUCTS -- SHALL BE COVERED OR STORED INSIDE TO PREVENT ANY DISCHARGE OF POLLUTANTS. COMPLY WITH ALL APPLICATION, DISPOSAL, AND REGISTRATION REQUIREMENTS.

PESTICIDES, HERBICIDES, INSECTICIDES AND FERTILIZERS -- SHALL BE COVERED OR STORED INSIDE TO PREVENT ANY DISCHARGE OF POLLUTANTS. COMPLY WITH ALL APPLICATION, DISPOSAL, AND REGISTRATION REQUIREMENTS.

DIESEL FUEL, OIL, HYDRAULIC FLUIDS, OTHER PETROLEUM PRODUCTS, AND OTHER CHEMICALS-- STORE CHEMICALS IN WATER-TIGHT CONTAINERS, AND PROVIDE EITHER (1) COVER (E.G., PLASTIC SHEETING OR TEMPORARY ROOFS) TO PREVENT THESE CONTAINERS FROM COMING INTO CONTACT WITH RAINWATER, OR (2) A SIMILARLY EFFECTIVE MEANS DESIGNED TO PREVENT THE DISCHARGE OF POLLUTANTS FROM THESE AREAS (E.G., SPILL KITS), OR PROVIDE SECONDARY CONTAINMENT (E.G., SPILL BERMS, DECKS, SPILL CONTAINMENT PALLETES). CLEAN UP SPILLS IMMEDIATELY, USING DRY CLEAN-UP METHODS WHERE POSSIBLE, AND DISPOSE OF USED MATERIALS PROPERLY. DO NOT CLEAN SURFACES OR SPILLS BY HOISING THE AREA DOWN. ELIMINATE THE SOURCE OF THE SPILL TO PREVENT A DISCHARGE OR A CONTINUATION OF AN ONGOING DISCHARGE

HAZARDOUS WASTE -- SEPARATE HAZARDOUS OR TOXIC WASTE FROM CONSTRUCTION AND DOMESTIC WASTE. STORE WASTE IN SEALED CONTAINERS, WHICH ARE CONSTRUCTED OF SUITABLE MATERIALS TO PREVENT LEAKAGE AND CORROSION, AND WHICH ARE LABELED IN ACCORDANCE WITH APPLICABLE RESOURCE CONSERVATION AND RECOVERY ACT (RCRA) REQUIREMENTS AND ALL OTHER APPLICABLE FEDERAL, STATE, TRIBAL, OR LOCAL REQUIREMENTS; III. STORE ALL CONTAINERS THAT WILL BE STORED OUTSIDE WITHIN APPROPRIATELY-SIZED SECONDARY CONTAINMENT (E.G., SPILL BERMS, DECKS, SPILL CONTAINMENT PALLETES) TO PREVENT SPILLS FROM BEING DISCHARGED, OR PROVIDE A SIMILARLY EFFECTIVE MEANS DESIGNED TO PREVENT THE DISCHARGE OF POLLUTANTS FROM THESE AREAS (E.G., STORING CHEMICALS IN COVERED AREA OR HAVING A SPILL KIT AVAILABLE ON SITE).

DISPOSE OF HAZARDOUS OR TOXIC WASTE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED METHOD OF DISPOSAL AND IN COMPLIANCE WITH FEDERAL, STATE, TRIBAL, AND LOCAL REQUIREMENTS. SITE PERSONNEL WILL BE INSTRUCTED IN THESE PRACTICE AND THE INDIVIDUAL WHO MANAGES THE DAY TO DAY SITE OPERATIONS, WILL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED.

CLEAN UP SPILLS IMMEDIATELY, USING DRY CLEAN-UP METHODS WHERE POSSIBLE, AND DISPOSE OF USED MATERIALS PROPERLY. DO NOT CLEAN SURFACES OR SPILLS BY HOISING THE AREA DOWN. ELIMINATE THE SOURCE OF THE SPILL TO PREVENT A DISCHARGE OR A FURTHERANCE OF AN ONGOING DISCHARGE

SANITARY WASTE -- ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF ONCE PER WEEK BY THE SANITARY PUMPING COMPANY, LICENSED BY THE COMMONWEALTH OF MASSACHUSETTS AND AS REQUIRED BY THE LOCAL REGULATION. POSITION UNITS IN A SECURE LOCATION WHERE THEY CANNOT BE TIPPED OVER.

WASTE MATERIALS -- ALL WASTE MATERIALS WILL BE COLLECTED AND STORED IN A SECURELY LOADED METAL DUMPSTER RENTED FROM A LICENSED WASTER MANAGEMENT COMPANY. THE DUMPSTER WILL MEET ALL LOCAL AND STATE SOLID WASTE MANAGEMENT REGULATIONS. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE WILL BE DEPOSITED IN THE DUMPSTER. THE DUMPSTER WILL BE EMPITIED AT LEAST TWICE PER MONTH OR MORE OFTEN IF NECESSARY, AND THE WASTE WILL BE HAULED TO THE WASTE MANAGEMENT COMPANY. ON WORK DAYS, DISPOSE OF WASTE IN DESIGNATED WASTE CONTAINERS. CLEAN UP WASTE IMMEDIATELY IF CONTAINERS OVERFLOW. NO CONSTRUCTION WASTE MATERIALS WILL BE BURIED ONSITE. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL. NOTICES STATING THESE PRACTICES WILL BE POSTED IN THE OFFICE TRAILER. THE INDIVIDUAL MANAGING THE DAY-TO-DAY SITE OPERATIONS WILL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED.

3.2 BUILDING MATERIAL INVENTORY FOR POLLUTION PREVENTION PLAN

THE MATERIALS OR SUBSTANCES LISTED BELOW ARE EXPECTED TO BE PRESENT ONSITE DURING CONSTRUCTION:

- CONCRETE
- PETROLEUM BASED PRODUCTS INCLUDING ASPHALT CONCRETE,EMULSIONS, FUEL(S), OIL, ETC.
- WOOD
- FERTILIZERS AND TACHIFIERS
- PAINTS (ENAMEL, LATEX AND OIL BASED STAINS)
- METAL STUDS AND PRODUCTS
- MASONRY BLOCK
- ROOFING SHINGLES
- GYPSUM AND PLASTER
- STONE PRODUCTS

CONSTRUCTION EQUIPMENT AND MAINTENANCE MATERIALS WILL BE STORED AT THE COMBINED STAGING AREA AND MATERIALS STORAGE AREAS. A WATERTIGHT CONTAINER WILL BE USED TO STORE HAND TOOLS, SMALL PARTS, AND OTHER CONSTRUCTION MATERIALS.

3.3 SPILL PREVENTION MATERIAL MANAGEMENT PRACTICES

THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES TO STORMWATER RUNOFF.

GOOD HOUSEKEEPING -- THE FOLLOWING GOOD HOUSEKEEPING PRACTICES WILL BE FOLLOWED ONSITE DURING THE CONSTRUCTION PROJECT.

- AN EFFORT WILL BE MADE TO STORE ONLY ENOUGH PRODUCTS TO DO THE JOB.
- ALL MATERIALS STORED ONSITE WILL BE STORED IN A NEAT, ORDERLY MANNER IN THIS APPROPRIATE CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE.
- PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS AND WITH THE ORIGINAL MANUFACTURERS' LABEL.
- SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURERS.
- WHenever POSSIBLE, ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSING OF THE CONTAINER.
- MANUFACTURERS' RECOMMENDATION FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED.
- THE SITE SUPERINTENDENT WILL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS.
- HAZARDOUS PROCEDURES -- IN ACCORDANCE WITH INDUSTRY STANDARDS AND APPLICABLE REGULATIONS

PRODUCT SPECIFIC PRACTICES -- THE FOLLOWING PRODUCT SPECIFIC PRACTICES WILL BE FOLLOWED ONSITE:

- PETROLEUM PRODUCTS -- TRANSPORT AND DELIVERY OF FUEL IN APPROVED CONTAINERS ONLY.
- FERTILIZERS -- IN ACCORDANCE WITH LABELING
- PAINTS -- IN ACCORDANCE WITH LABELING

SPILL CONTROL PRACTICES -- ANY SPILLS OF HAZARDOUS MATERIALS SHALL BE CONTAINED AND CLEANED UP IMMEDIATELY. IF APPROPRIATE, THE MASSACHUSETTS DEPARTMENT OF ENVIRONMENTAL PROTECTION (DEP) SHALL BE NOTIFIED. THERE SHALL, AT ALL TIMES WHEN WORK IS UNDERWAY ON-SITE, BE AN INDIVIDUAL PRESENT WHO IS TRAINED IN PROPER SPILL CONTROL PRACTICES.

IN THE EVENT THAT HAZARDOUS MATERIAL, GASOLINE OR OTHER PETROLEUM IS RELEASED, THE FOLLOWING PROCEDURE SHOULD BE FOLLOWED:

- IMMEDIATELY CONTACT THE FOLLOWING AGENCIES:
MEDWAY FIRE DEPARTMENT (508) 533-3211
MASSDEP EMERGENCY RESPONSE (888) 304-1133
- PROVIDE SUPPORT TO AGENCIES LISTED ABOVE, WHICH MAY INCLUDE CONTACTING AN OUTSIDE CONTRACTOR TO PROVIDE CLEAN-UP OR CONTACTING A LICENSED SITE PROFESSIONAL (LSP) TO LEAD THE CLEAN-UP.

WHERE A RELEASE CONTAINING A HAZARDOUS SUBSTANCE OR OIL IN AN AMOUNT EQUAL TO OR IN EXCESS OF A REPORTABLE QUANTITY ESTABLISHED UNDER EITHER 40 CFR PART 110, 40 CFR PART 117 OR 40 CFR PART 302, OCCURS DURING A 24-HOUR PERIOD:

- PROVIDE NOTICE TO THE NATIONAL RESPONSE CENTER (NRC) (800-424-8802; IN THE WASHINGTON, DC, METROPOLITAN AREA CALL 202-267-2675) IN ACCORDANCE WITH THE REQUIREMENTS OF 40 CFR PART 110, 40 CFR PART 117 AND 40 CFR PART 302 AS SOON AS SITE STAFF HAVE KNOWLEDGE OF THE DISCHARGE; AND
- WITHIN 7 CALENDAR DAYS OF KNOWLEDGE OF THE RELEASE, PROVIDE A DESCRIPTION OF THE RELEASE, THE CIRCUMSTANCES LEADING TO THE RELEASE, AND THE DATE OF THE RELEASE. YOU MUST ALSO IMLEMENT MEASURES TO PREVENT THE REOCCURENCE OF SUCH RELEASES AND TO RESPOND TO SUCH RELEASES.

VEHICLE FUELING AND MAINTENANCE -- ALL MAJOR EQUIPMENT/VEHICLE FUELING AND MAINTENANCE WILL BE PERFORMED OFF-SITE. WHEN VEHICLE FUELING MUST OCCUR ON-SITE, THE FUELING ACTIVITY WILL OCCUR IN THE STAGING AREA, OUTSIDE THE BUFFER ZONE OR RESOURCE AREA. ONLY MINOR EQUIPMENT MAINTENANCE WILL OCCUR ON-SITE. ALL EQUIPMENT FLUIDS GENERATED FROM MAINTENANCE ACTIVITIES WILL BE DISPOSED OF INTO DESIGNATED DRUMS STORED ON SPILL PALLETES IN ACCORDANCE WITH PART 31.1 OF THE GCP. ABSORBENT, SPILL-CLEANUP MATERIALS AND SPILL KITS WILL BE AVAILABLE AT THE COMBINED STAGING AND MATERIALS STORAGE AREA. DRIP PANS WILL BE PLACED UNDER ALL EQUIPMENT RECEIVING MAINTENANCE AND VEHICLES AND EQUIPMENT PARKED OVERNIGHT.

3.4 NON-STORM WATER DISCHARGES

IT IS EXPECTED THAT THE FOLLOWING NON-STORM WATER DISCHARGE WILL OCCUR FROM THE SITE DURING THE CONSTRUCTION PERIOD:

- PAVEMENT WASH WATERS (WHERE NO SPILLS OR LEAKS OF TOXIC OR HAZARDOUS MATERIAL HAVE OCCURRED).
- DISCHARGES FROM FIRE FIGHTING ACTIVITIES
- HYDRANT AND WATER LINE FLUSHING
- LANDSCAPE IRRIGATION
- VEHICLE WASH
- WATER FOR DUST CONTROL
- FOUNDATION / FOOTING DRAINS
- CONSTRUCTION DEWATERING WATER

4.0 RECORD KEEPING / UPDATING OF DOCUMENTATION

THIS DOCUMENT IS INTENDED AS A LIVING DOCUMENT TO BE CONTINUOUSLY REVISED AND UPDATED BASED ON CHANGING SITE CONDITIONS AND THE PROGRESSION OF CONSTRUCTION. THE SWPPP SHALL BE CONTINUOUSLY REVISED TO INDICATE THE CONDITION AND LOCATION OF THE VARIOUS BEST MANAGEMENT PRACTICES.

COPIES OF THE GCP, SIGNED AND CERTIFIED NOI, AND EPA NOTIFICATION OF RECEIPT MUST BE INCLUDED IN THE SWPPP. THIS SWPPP PLAN, THE APPROVED DRAWINGS MADE PART OF THIS DOCUMENT, INSPECTION REPORTS (MADE AT LEAST WEEKLY), AND REQUIRED LOGS SHALL BE MAINTAINED ON SITE AT ALL TIMES. INSPECTION REPORTS SHALL BE RETAINED WITH THE SWPPP FOR AT LEAST THREE YEARS.

THE FOLLOWING INSPECTION REPORTS AND LOGS SHALL BE MAINTAINED:

- INSPECTION REPORTS
- CORRECTIVE ACTION LOG
- SWPPP AMENDMENT LOG
- GRADING AND STABILIZATION ACTIVITIES LOG
-

OWNER / APPLICANT:

THE RESIDENCES AT CHOATE TRAIL, LLC

17 GOLDFINCH LANE

NASHUA, NH 03062

CONNORSTONE ENGINEERING INC.

CIVIL ENGINEERS AND LAND SURVEYORS

10 SOUTHWEST CUTOFF, SUITE 7

NORTHBOROUGH, MASSACHUSETTS 01532

PHONE: 508-393-9727 FAX: 508-393-5242

DEFINITIVE PLAN

STORMWATER POLLUTION PREVENTION PLAN

CHOATE TRAIL WAY

IN

MEDWAY, MASS

| | |
|------------------------|------------------------|
| 7/23/2020 | CONDITIONS OF APPROVAL |
| 4/16/2020 | WET FLAG EDITS |
| 3/19/2020 | PEER REVIEW COMMENTS |
| 3/9/2020 | REVIEW COMMENTS |
| 1/13/2020 | REVIEW COMMENTS |
| 1/3/2020 | REVIEW COMMENTS |
| REVISED: | DESCRIPTION: |
| DRAWN BY: RM | CHECK BY: VC |
| DATE: NOVEMBER 8, 2019 | |
| SCALE: NONE | SHEET 8 OF 8. |

I, _____, CLERK OF THE TOWN OF MEDWAY

RECEIVED AND RECORDED APPROVAL FROM THE PLANNING BOARD

OF THIS PLAN ON _____ AND NO APPEAL WAS TAKEN

FOR TWENTY (20) DAYS THEREAFTER.

Susan Affleck-Childs

From: Bouley, Steven <Steven.Bouley@tetrattech.com>
Sent: Friday, August 07, 2020 9:27 AM
To: Susan Affleck-Childs
Subject: RE: Choate Trail Subdivision Plan for endorsement

Hi Susy,

We have reviewed the revised plan and it reflects all of the conditions noted in the decision except for the addresses associated with each lot. Please let me know if you need anything else, thanks.

Steve

Steven M. Bouley, P.E. | Senior Project Engineer | Tetra Tech
Direct +1 (508) 786-2382 | Business +1 (508) 786-2200 | steven.bouley@tetrattech.com

While we are operating remotely in response to COVID-19, Tetra Tech teams remain fully connected and hard at work servicing our clients and ongoing projects. We would also like to wish health and wellness to you and your family.

This message, including any attachments, may include privileged, confidential and/or inside information. Any distribution or use of this communication by anyone other than the intended recipient is strictly prohibited and may be unlawful. If you are not the intended recipient, please notify the sender by replying to this message and then delete it from your system.

From: Susan Affleck-Childs <sachilds@townofmedway.org>
Sent: Friday, July 24, 2020 11:34 AM
To: Bouley, Steven <Steven.Bouley@tetrattech.com>
Subject: FW: Choate Trail Subdivision Plan for endorsement

⚠ CAUTION: This email originated from an external sender. Verify the source before opening links or attachments. **⚠**

Hi Steve,

See attached revised definitive subdivision plan for Choate Trail.

Please review per the decision to determine if all the required revisions have been made. I have also attached the decision for your records and use.

Cheers,

Susy

From: David Spertner <dspertner@gmail.com>
Sent: Friday, July 24, 2020 11:28 AM
To: Susan Affleck-Childs <sachilds@townofmedway.org>
Cc: Andy Rodenhiser <andy@rodenhiser.com>; Vito Colonna <vc@csei.net>
Subject: Fwd: Choate Trail Subdivision Decision

Hi Susan-

Here are the engineer's changes for review.

MEDWAY TOWN CLERK

155 VILLAGE STREET
MEDWAY, MASSACHUSETTS 02053
(508) 533-3204 • FAX: (508) 533-3287
mwhite@townofmedway.org

MARYJANE WHITE, CMMC

CERTIFIED MASSACHUSETTS MUNICIPAL CLERK

JUSTICE OF THE PEACE

NOTARY PUBLIC

CERTIFICATE

*I, Maryjane White, Town Clerk of the Town of Medway, hereby certify that the decision of the Medway Planning and Economic Development Board, regarding **Choate Trail Way Definitive Subdivision** has been filed*

It was received and filed in this office on the following:

May 18, 2020

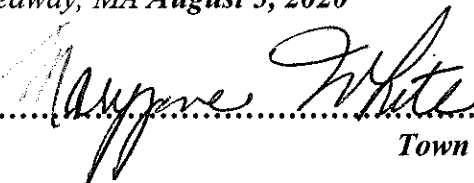
And no appeal was received during the next twenty days after such receipt and recording of said decision.

Nor was any appeal filed during the appeal period as affected by the Orders of the Supreme Judicial Court tolling all statutes of limitations from March 17, 2020, through June 30, 2020 due to the COVID-19 pandemic.

Dated at Medway, MA August 5, 2020

A true copy

ATTEST.....


Town Clerk



TOWN OF MEDWAY
Planning & Economic Development Board
155 Village Street
Medway, Massachusetts 02053

Andy Rodenhiser, Chairman
Robert K. Tucker, Vice-Chairman
Thomas A. Gay, Clerk
Matthew J. Hayes, P.E.
Richard Di Iulio
Jessica Chabot, Associate Member

**Request for Medway Treasurer/Collector's
Verification of Status of Paid Taxes**

Date: July 27, 2020

Applicant's Name: Residences at Choate Trail, LLC

Subject Property Address: 42 and 42R Highland Street

Map/Parcel Number(s): 37-64 and 37-67

Property Owner: Residences at Choate Trail, LLC

Project Name: Choate Trail Subdivision

Type of Permit: Subdivision Plan – Endorsement

Please indicate the status of taxes/fees owed to the Town:

- ☒ By checking this box and with my signature below, I verify that all taxes and fees owed the Town of Medway **for the subject property** are paid in full as of this date for the subject property noted above.
- ☐ By checking this box and with my signature below, I verify that all taxes and fees owed the Town of Medway **for other properties owned by the applicant** noted above are paid in full as of this date.
- ☐ By checking this box and with my signature below, I verify that the **Town is owed taxes or fees** on properties owned by the above noted applicant. Briefly explain on the lines below. Please attach a report that indicates the property address, what taxes are owed, and the respective amounts.

Marie Shutt

Signature

7/27/20

Date

Please complete and return to the Planning and Economic Development office.

Subdivision Covenant

Planning and Economic Development Board – Town of Medway, MA

_____, 2020

This Covenant is granted this _____ day of _____, 2020, pursuant to G.L. c. 41, section 81U by The Residences at Choate Trail, LLC, a limited liability company established under the laws of the Commonwealth of Massachusetts, having a mailing address of 11 Tanglewood Drive, Nashua, New Hampshire (hereinafter referred to as the “Owner”) to secure the construction of ways and services in the Choate Trail Way subdivision.

PREAMBLE

WHEREAS, on May 18, 2020, based on the Owner’s application dated November 8, 2019, and after a duly noticed public hearing(s), the Medway Planning and Economic Development Board (the “Board”) approved a definitive subdivision plan showing four house lots, which is entitled Definitive Subdivision Plan Choate Trail Way in Medway, Mass.” drawn by Connorstone Engineering, Inc., dated November 8, 2019, last revised July 3, 2020, to be recorded herewith at the Norfolk County Registry of Deeds.

WHEREAS, on _____, 2020, the Board endorsed its approval on the approved definitive subdivision plan;

WHEREAS, the approved definitive subdivision plan shows the subdivision of a parcel of land located at 42 and 42 R Highland Street, Map 37, Parcels 64 & 67, Medway, Massachusetts, (hereinafter referred to as the “subdivision”) and further described in a deed or deeds dated August 21, 2018 and recorded at the Norfolk County Registry of Deeds in Book 36240, Page 221;

WHEREAS, M.G.L., ch. 41, section 81U requires the subdivision applicant to secure the construction of ways and the installation of municipal services in an approved subdivision before endorsing its approval on the approved definitive subdivision plan;

WHEREAS, the Owner has elected to secure all of the construction of ways and installation of municipal services in the subdivision by means of a Covenant as described in G.L. c. 41, section 81U;

WHEREAS, the Board has determined that the form of Covenant is sufficient to secure the construction of ways and installation of municipal services in the subdivision;

WHEREAS, the Owner’s construction of ways and installation of municipal services within the subdivision are subject to the requirements of M.G.L., ch. 41, sections 81K – 81GG (the Subdivision Control Law); the Board’s *Subdivision Rules and Regulations* applicable to this subdivision, the application submitted for approval of this subdivision, the Certificate of Approval and all conditions of approval of this Subdivision as set forth in the Appendix attached to and made an enforceable part of this Covenant; the recommendations, if any, of the Board of Health, the approved definitive subdivision plan, all conditions subsequent to approval of this subdivision due to any amendment, modification, or rescission of the approval of the definitive subdivision plan, and the Certificate of Action issued by the Board dated as of May 18, 2020,

and all of the provisions set forth in this Covenant and any amendments thereto; (hereinafter referred to as “approval instruments”),

NOW, THEREFORE, the Owner covenants as follows:

SECTION 1. INCORPORATION OF PREAMBLE

The Preamble is incorporated into and is an enforceable part of this Covenant.

SECTION 2. EFFECTIVE DATE

This Covenant shall be effective upon its execution, subject to endorsement of approval of the definitive subdivision plan by the Board and the recording or registering of the plan and this Covenant by the Owner.

SECTION 3. RUNS WITH THE LAND

This Covenant shall run with the land and shall be binding on all subsequent parties who have any title, interest, or rights in and to the parcel of land subdivided, or a portion thereof. This Covenant shall operate as a restriction upon the land until release.

SECTION 4. OBLIGATIONS, DUTIES AND RIGHTS OF THE OWNER

A. The Owner covenants that it is the Owner in fee simple absolute of all the land included in the subdivision and that there are no mortgages of record or otherwise on any of the land. The Owner shall not convey or transfer title to any lot within this subdivision, except as otherwise provided in this Covenant, until the completion of the construction of the ways and installation of municipal services including all related infrastructure including the stormwater management system and installation of utilities and services and any off-site mitigation measures specified in the approved subdivision plan for this Subdivision in accordance with the approval instruments, unless and until the Owner provides the Board with another method of securing construction of the ways and installation of the municipal services deemed sufficient by the Board.

B. The Owner shall not build upon any lot within this Subdivision, except as otherwise provided in this Covenant, until the completion of the construction of the ways and installation of the municipal services for this Subdivision in accordance with the approval instruments, unless and until the owner provides the Board with another method of securing construction of the ways and installation of the municipal services deemed sufficient by the Board.

C. The Owner shall complete construction of the ways and installation of the municipal services, including without limitation, all relevant infrastructure including the stormwater management system for this subdivision to the satisfaction of the Board no later than three years from the date of the subdivision plan endorsement. This Covenant shall apply to Lots 1, 2, 3 and 4 as shown on the subdivision plan.

D. The Owner agrees and understands that failure to complete construction of the ways and installation of the municipal services by the agreed-upon date shall result in automatic rescission of approval of the definitive subdivision plan by the Board as provided in M.G.L., ch. 41, section 81W.

E. The Owner agrees and understands that the Board will not release this Covenant in full, unless another method of security is provided, or until the ways and municipal services have been deemed by the Board to be constructed and installed in accordance with the approval instruments, which shall include demonstration of adequate construction and installation for six months prior to said release.

F. No provision of this Covenant shall prevent the Owner from varying the method of securing the construction of ways and the installation of municipal services from time to time or from securing by one, or in part by one and in part by another of the methods as provided in M.G.L., ch. 41, sections 81U, as long as the Board deems the method or methods chosen for securing the construction of ways and the installation of municipal services as sufficient.

G. The Owner shall at all times provide the Board forthwith (no more than 14 days after transfer of title) with the name of the current owner or owners of this subdivision or portions thereof and the address of such owner or owners, except that lots released from the provisions of this Covenant are exempt. The Owner agrees and understands that failure to comply with this provision could result in rescission of approval of the definitive subdivision plan.

H. The Owner shall at all times provide the Board forthwith (no more than 14 days after transfer of title) with the name of any mortgagee or mortgagees of this subdivision or portions thereof and the address of such mortgagee or mortgages, except that lots released from the provisions of this Covenant are exempt. At the time of executing this Covenant, the mortgagee(s) of this subdivision is/are: NONE

The Owner agrees and understands that failure to comply with this provision could result in rescission of approval of the definitive subdivision plan.

I. The Owner shall record or register the approved and endorsed definitive subdivision plan; this Covenant, upon its execution; and any certificates of release of this covenant, or portions thereof, at the Norfolk County Registry of Deeds and forthwith provide the Board with written evidence thereof. The Owner further agrees to pay the costs of such recordings.

SECTION 5. MORTGAGEES AND SUCCEEDING OWNERS

Nothing in this Covenant shall preclude the Owner from mortgaging the entire parcel of land, or a portion thereof, which constitutes this subdivision. If the mortgagee acquires title to the entire parcel of land, or a portion thereof, shown on the approved definitive subdivision plan, through foreclosure or by other means, such as accepting a deed in lieu of foreclosure, then the mortgagee and any succeeding owner of the land transferred by the mortgagee may sell any lot, subject to that portion of this Covenant which provides that no lot shall be built upon until the ways are constructed and the municipal services are installed to serve such lot. Said mortgagee and any succeeding Owner shall be subject to all other applicable provisions of this Covenant and any amendments thereto.

SECTION 6. CONVEYANCE OF LAND OR LOTS SUBJECT TO COVENANT

Nothing in this Covenant shall preclude the Owner from conveying by a single deed, the entire parcel of land shown on the approved definitive subdivision plan, or all lots not previously released from the terms of this Covenant by the Board, so long as the deed provides that the land

conveyed is subject to this Covenant, and any amendments thereto, with proper reference to the book and page where this covenant, and any amendments thereto are recorded or registered at the Norfolk County Registry of Deeds. A deed of any part of the Subdivision in violation of this Covenant, or any amendments thereto, shall be voidable by the grantee prior to the release of this Covenant no later than three years from the date of such deed.

SECTION 7. BINDING EFFECT

This Covenant, and any amendments thereto, shall be binding on the Owner, the Owner's agents and representatives, and any successors to the Owner's title interest, and rights in the parcel of land constituting this subdivision, including executors, administrators, devisees, heirs, successors and assigns of the Owner, until such time as the Board has issued a Certificate of Release signed by a majority of the members of the Board and such release has been recorded in the Norfolk County Registry of Deeds.

SECTION 8. USE OF TERMINOLOGY

Use of the term "Owner" in this Covenant is for convenience only and should not be considered as a limitation on those parties who may be subject to and bound by the provisions of this Covenant and any amendments thereon. Use of the term "Planning Board or Board" in this Covenant is for convenience only and may include agents or representatives of the Medway Planning and Economic Development Board.

SECTION 9. APPOINTMENT OF AN AGENT

If someone other than the Owner will represent the Owner, the Owner must designate such representative below.

Name of representative: _____

Address of representative: _____

Telephone #: Days _____ Evenings _____

Relationship of representative to Owner: _____

In executing this Covenant, I hereby authorize the person or persons named above to represent my interest before the Board with respect to the subdivision that is the subject of this Covenant.

SECTION 10. AMENDMENTS

This Covenant may be amended, in writing, only upon approval of the majority of the members of the Board.

SECTION 11. GOVERNING LAW

This Covenant, and any amendments thereto, shall be governed by the laws of the Commonwealth of Massachusetts.

SECTION 12. SEVERABILITY

If a court of competent jurisdiction determines that any provision of this Covenant is unenforceable, such determination shall not affect the remaining provisions, which shall remain in full force and effect.

[Remainder of page intentionally left blank; signature pages follow]

IN WITNESS WHEREOF, the Owner, hereby certifies under the pains and penalties of perjury that the information contained in this Covenant is true and complete; and sets my hand and seal to this Covenant on the date written below.

The Owner, as far as necessary, hereby releases all rights of dower, curtesy, or homestead, or any other interests that we may have in the parcel of land that constitutes the subdivision.

The Owner hereby certifies that there are no mortgages on this property.

The Residences at Choate Trail, LLC

By: _____

Name: _____

Title: _____

Date

Witness

COMMONWEALTH OF MASSACHUSETTS

_____, SS.

On this _____ day of _____, before me, the undersigned notary public, personally appeared _____

_____, in his capacity as Manager of The Residences at Choate Trail, LLC, proved to me through satisfactory evidence of identification, which was

_____, to be the person whose name is signed on the preceding or attached document, and acknowledged to me that he/she signed it voluntarily and for its stated purpose.

Notary Public

My commission expires:

Accepted by:

MEDWAY PLANNING and ECONOMIC DEVELOPMENT BOARD

Dated: _____

COMMONWEALTH OF MASSACHUSETTS

Norfolk, SS. _____

On this _____ day of _____, before me, the undersigned notary public,
personally appeared the above named _____

proved to me through satisfactory evidence of identification, which was _____

_____ to
be the person (s) whose name is signed on the preceding or attached document, and

acknowledged to me that _____ signed it voluntarily and for its stated purpose as members of
the Medway Planning and Economic Development Board.

Notary Public
My commission expires:

Board Members

Andy Rodenhiser, Chair
Robert Tucker, Vice Chair
Thomas Gay, Clerk
Matthew Hayes, P.E., Member
Richard Di Iulio, Member
Jessica Chabot, Associate Member

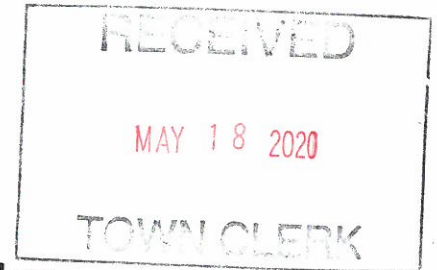


Medway Town Hall
155 Village Street
Medway, MA 02053
Phone (508) 533-3291
Fax (508) 321-4987
Email: planningboard
@townofmedway.org
www.townofmedway.org

TOWN OF MEDWAY
COMMONWEALTH OF MASSACHUSETTS
PLANNING AND ECONOMIC
DEVELOPMENT BOARD

May 18, 2020

Certificate of Action
Choate Trail Way Definitive Subdivision Plan
APPROVED with Waivers and Conditions



*30 day appeal
date June 8, 2020*

Location: 42 and 42R Highland Street
Assessors' Reference: Map 37, Parcels 64 & 67
Parcel Size: 5.88 acres
Name/Address of Applicant: Residences at Choate Trail, LLC
11 Tanglewood Drive
Nashua, NH 03062
Name/Address of Property Owner: Residences at Choate Trail, LLC
11 Tanglewood Drive
Nashua, NH 03062
Engineer: Vito Colonna, P.E.
Connorstone Engineering, Inc.
110 Southwest Cutoff, Suite 7
Northborough, MA 01532
Land Surveyor: Varoujan Hagopian, P.L.S
Connorstone Engineering, Inc.
110 Southwest Cutoff, Suite 7
Northborough, MA 01532
Plan: *Choate Trail Way Subdivision*
Plan Dated: November 8, 2019, last revised March 8, 2020 to be further
revised as specified herein
Zoning District: Agricultural Residential I
Street Name: Copper Drive

I. PROJECT DESCRIPTION: The *Choate Trail Way Definitive Subdivision Plan* dated November 8, 2019, as last revised March 9, 2020, shows the division of the 5.88 acre parcel of land located at 42 and 42R Highland Street in the Agricultural Residential I zoning district into four residential lots, the construction of an approximately 578 foot private roadway (Copper Drive) and the installation of stormwater management facilities and private sewer and water service. The property is accessed from Highland Street, a Medway Scenic Road. This proposal is for a “by right” conventional subdivision use in this zoning district. A portion of this site is in a Wetland Resource Area which is under the jurisdiction of the Medway Conservation Commission for an Order of Conditions and a Land Disturbance Permit. The property is also subject to a Scenic Road Work Permit to be issued by the Planning and Economic Development Board.

II. PROCEDURAL SUMMARY:

- A. November 18, 2019, the Planning and Economic Development Board received an application for approval of the *Choate Trail Way Definitive Subdivision Plan*, dated November 8, 2019, prepared by Connorstone Engineering, Inc. of Northborough, MA. The application had been preceded by a preliminary subdivision plan application filed with the Board on September 16, 2019.
- B. On December 3, 2019, the Board notified various Town boards and departments, including the Board of Health, of the public hearing on the proposed *Choate Trail Way Definitive Subdivision Plan*, provided copies of the plan, and requested review comments.
- C. On December 10, 2019 the Board commenced the public hearing. The public hearing was duly noticed in the *Milford Daily News* on November 26 and December 2, 2019. Notice was posted with the Medway Town Clerk and to the Board’s web site on November 21, 2019 and was mailed by *Certified Sent* mail on November 25, 2019 to abutters in Medway within 300 feet of the subject property and to parties of interest. The public hearing was continued to January 28, February 25, 2020, March 24, 2020, April 7, 2020 and May 12, 2020 when the hearing was closed, and a decision rendered. During the course of the public hearing, the applicant submitted three revisions to the *Choate Trail Way Definitive Subdivision Plan* dated January 3, January 13 and March 9, 2020.
- D. All members voting on this Subdivision Certificate of Action were present at all sessions of the public hearing or have provided a certification pursuant to General Laws c. 39 section 23D.

III. PUBLIC HEARING SUMMARY: The public hearing and the Board’s review of the *Choate Trail Way Definitive Subdivision Plan* were conducted over the course of six Planning and Economic Development Board meetings during which substantive information was presented and evaluated. The plan and its submitted revisions were reviewed for compliance with the *Subdivision Rules and Regulations* dated April 26, 2005 which were in effect at the time the applicant submitted a preliminary subdivision plan to the Board on September 16, 2019.

Specified below is a list of plan documents and support materials, public comments, consultant and town departmental board review documents, and supplemental information which have been provided by the Applicant or placed on the record by the Planning and Economic Development Board. All information is on file in the Medway

Planning and Economic Development office and is available for public review (except for confidential communications from Town Counsel).

Choate Trail Way Definitive Subdivision Plan Application Materials

- Form C – Definitive Plan Application dated October 15, 2019, received November 18, 2019
- Form D – Designer’s Certificate dated November 15, 2019 with deed dated August 21, 2018
- Form E – Certified Abutters’ List dated November 13, 2019
- Form F – Development Impact Report received November 18, 2019
- Medway Historical Commission letter dated May 2, 2019 with a determination that the house on the property at 42 Highland Street is not historically significant and therefore, may be demolished.
- Certificate of Amendment dated September 7, 2018 from Secretary of State William Francis Galvin to change the name of property owner Lock It Up LLC to Residences at Choate Trail, LLC.

Choate Trail Way Definitive Subdivision Plan – Connorstone Engineering, November 8, 2019
Revised – January 3, 2020
Revised – January 13, 2020
Revised – March 9, 2020

Stormwater Report for Choate Trail Way Definitive Subdivision Plan – Connorstone Engineering, November 8, 2019

Town Engineering Consultant Reviews – Steven Bouley, P.E., Tetra Tech
December 10, 2019
January 23, 2020
March 26, 2020

Town Planning Consultant Review Letters – Gino Carlucci, AICP, PGC Associates
December 4, 2019
January 23, 2020
March 31, 2020

Supplemental Information Provided by Applicant’s Consultants

- Letter from Vito Colonna, PE, Connorstone Engineering, Inc. dated January 14, 2020 in response to plan review comments from Tetra Tech dated December 10, 2019 and PGC Associates dated December 4, 2019, including a truck turning template for Choate Trail Way.
- *Requests for Waivers from Subdivision Rules and Regulations* – Prepared by Connorstone Engineering, dated January 13, 2020
- Truck Turning Template by Connorstone Engineering, received January 15, 2020
- Letter from Vito Colonna, P.E. Connorstone Engineering, dated March 9, 2020 with further plan revisions based on public hearing comments.
- Annotated Existing Conditions plan sheet by Connorstone Engineering showing trees expected to be remove during construction, received April 3, 2020

Supplemental Information Entered into the Record by the Medway Planning and Economic Development Board

- Mullins Rule certification from Andy Rodenhiser re: the December 10, 2019 hearing
- Mullins Rule certification from Andy Rodenhiser re: the February 25, 2020 hearing
- Sidewalk construction estimate prepared by Tetra Tech dated February 20, 2020
- Decision of the Medway Street Naming Committee dated February 10, 2020 approving Copper Drive as the street name for this subdivision

Citizen/Resident Letters/Communications

- Email communication dated December 11, 2019 from Johanna Madge and Lynda Bannon of 38 Highland Street.
- Email communications dated January 28, 2020, April 7, 2020, and May 11, 2020 from Amy Jordan of 40 Highland Street

Citizen/Resident Testimony

- Amy Jordan, 40 Highland Street
- Lynda Bannon, 38 Highland Street
- Paul Atwood, Medway Trail Club
- Johana Madge, 38 Highland Street

Professional Testimony

- Gino Carlucci, AICP, PGC Associates, Inc. – Franklin, MA
- Steven Bouley, P.E., Tetra Tech – Marlborough, MA
- Vito Colonna, P.E. Connorstone Engineering – Northborough, MA

Medway Departmental/Board Review Comments

- Email communication dated January 2, 2020 from Deputy Fire Chief Mike Fasolino
- Email communication dated January 27, 2020 from Conservation Agent Bridget Graziano
- Communication dated February 14, 2020 from Medway Tree Warden Steve Carew

IV. ACTION ON REQUEST FOR WAIVERS OF SUBDIVISION RULES & REGULATIONS – The Applicant has requested, and the Board has identified needed waivers from the following sections of the *Subdivision Rules and Regulations*, dated April 26, 2005.

7.6.2 UNDERGROUND UTILITIES - g) Other Utilities - Within all lots, underground telephone, electric and cable television lines shall be installed underground within rigid conduits approved by the respective utility companies for each specific purpose. The Applicant shall provide design plans from said utilities to the Board and their agent. Utilities located under the sidewalks are strongly discouraged.

FINDINGS - *Utility poles are currently located on the opposite side of Highland Street from the subject property. The Applicant's engineering consultant reports that initial feedback from the utility company would be to locate a new pole on the locus property and to make the electrical connection above ground across Highland Street from the existing service and then drop to underground service once on-site. The Board's consulting engineer does not recommend this approach as it provides additional overhead crossing on Highland Street and such proposed utility pole would have to be located on private property. However, the Board does not wish for West Street to be disturbed for underground utility installation. Further, the Regulations do not*

specifically require that utilities to the site shall be underground. Therefore, Board finds that a waiver is not needed in this instance.

SECTION 7.7.2 STORMWATER MANAGEMENT – (p) Detention and retention basins and underground infiltration systems and any related drainage structures shall be located on separate parcels and shall not be included on individual house/building lots.

FINDINGS - The applicant has proposed installing the stormwater management facilities within the roadway layout of the permanent private way. The PEDB has previously allowed stormwater management facilities to be located within the roadway layout of other private way subdivisions and the Town’s consulting engineer has reviewed the proposed stormwater design and recommended suggested revisions which have been incorporated. Therefore, the Board finds that the location of the stormwater facilities within the roadway layout is acceptable.

SECTION 7.9.5.(c) STREETS AND ROADWAY – GRADE – At the intersection of street right-of-way lines, there shall be provided in a residential subdivision a leveling (fixed slope) area for at least one hundred feet (100’) with a maximum grade of two percent (2%).

FINDINGS – The Applicant has requested a waiver to not be required to have a fixed slope area for at least 100’ with a maximum grade of 2%. Instead, the Applicant has proposed a vertical curve within the leveling area. The curve transitions from a -2% slope to a +2% slope so the maximum grade will not be over 2%. The curve will minimize the extent of earthwork, reduce the amount of land disturbance and the amount of fill needed and will better match the existing topography. The waiver request has been reviewed by the Town’s Consulting Engineer who has no objection to it. Therefore, the Board finds this waiver request to be acceptable.

SECTION 7.13.3 SIDEWALKS - Sidewalks shall be provided along the entire frontage of the subdivision parcel along existing Town ways, including the frontage of any lots held in common ownership with the subdivision parcel within five (5) years prior to the submission of the Preliminary or (if no Preliminary) Definitive Subdivision Plan. In those instances where sidewalk construction is not feasible or practical, the Applicant shall make a payment in lieu of sidewalk construction to the Town of Medway, in an amount determined by the Town’s Consulting Engineer. Such funds shall be deposited to a revolving fund to be used to finance construction of sidewalks and/or other public improvements.

FINDINGS – The applicant has proposed to NOT install sidewalks along the Highland Street frontage of the subdivision. The street does not presently include sidewalks, so no connection point is feasible. The right of way is very narrow, and the installation of a sidewalk would require removal of trees and stone walls along an official “Scenic Road”. In lieu of sidewalk construction, the Applicant has agreed to make a payment in lieu of sidewalk construction to the Town’s Sidewalk Fund. See Specific Condition #9. Therefore, the Board approves this waiver request.

7.21.1 STREETLIGHTS - It shall be the responsibility of the developer to install street lighting within the subdivision, at the entrance to the subdivision, at all intersections within the subdivision, sharp turns, or other areas where the Traffic Safety Officer deems they are needed for public safety. The quantity, type and location of lights shall be shown on the definitive plan. The developer is responsible for installing the pole, wiring and arranging installation of the light fixture.

FINDINGS - The applicant proposes to not install typical streetlights within the subdivision, but to have individual lot light posts. The Police Department's Traffic Safety Officer has recommended the installation of a streetlight on existing utility pole #33 on the west side of Highland Street north of the proposed Copper Drive entrance into the development which the applicant will install as part of this project. Therefore, the Board approves the waiver request to not install streetlights within the subdivision itself.

MITIGATION PLAN

- A. The Applicant shall make a payment to the Town in the amount of \$10,085 in lieu of constructing sidewalk along the Highland Street frontage of the Choate Trail Way Subdivision. See Specific Condition #9.
- B. The new road and associated sidewalk will be private in perpetuity, owned and maintained by the Choate Trail Homeowners Association, thus relieving the Town of this on-going responsibility and expense. See Specific Condition #12.
- C. Maintenance and upkeep of the stormwater management facilities will be the responsibility of the Choate Trail Homeowners Association, thus relieving the Town of this on-going responsibility and expense. See Specific Condition #14.
- D. During construction, the Applicant shall implement the tree preservation measures as described in Specific Condition #8.
- E. Provision of a 15' public access trail easement on Lot #4 and public access on Copper Drive, and construction of a 5' wide trail within the easement. See Specific Condition #10.
- F. Installation of a streetlight on Utility Pole #33 on the west side of Highland Street or elsewhere on Highland Street as may be approved by the Medway Safety officer.

ACTION ON WAIVERS – At a duly called and properly posted meeting of the Medway Planning and Economic Development Board held on May 12, 2020, a motion was made by Robert Tucker and seconded by Rich Di Iulio to approve the above noted waiver requests from the *Subdivision Rules and Regulations*. The motion was approved by a vote of five in favor and zero opposed.

V. PROJECT EVALUATION CRITERIA – Before taking action on a definitive subdivision plan, the Board shall evaluate the proposed subdivision according to the criteria as specified in Section 5.16 of the *Subdivision Rules and Regulations*. At a duly called and properly posted meeting of the Medway Planning and Economic Development Board held on May 12, 2020, a motion was made by Robert Tucker and seconded by Rich Di Iulio to approve the Project Evaluation Findings noted below. The motion was approved by a vote of five in favor and zero opposed.

5.16.1 Completeness and technical accuracy of all submissions.

FINDINGS – All submissions were reviewed by Town staff and/or the Town's Consulting Engineer and Consulting Planner and no significant missing or technical inaccuracies were identified.

5.16.2 Determination that the street pattern is safe and convenient, and that proper provision is made for street extension. The Board may disapprove a plan where it determines that dangerous traffic or unsafe conditions may result from the inadequacy of the proposed ways within the subdivision.

FINDINGS – The Board finds that the proposed street pattern within the new subdivision is safe and convenient. The layout has been reviewed by the Town's Fire Chief, and Consulting Engineer. Comments from them have been incorporated into the design. Future roadway extension to adjacent property is not feasible as the adjacent property is owned by the Town of Medway, so provisions to do so are not required.

5.16.3 Determination that development at this location does not entail unwarranted hazard to the safety, health and convenience of future residents of the development or of others because of possible natural disaster, traffic hazard or other environmental degradation.

FINDINGS – The Board finds that the location of the development does not entail unwarranted hazard. A drainage plan has been designed to handle anticipated stormwater runoff and the sight distances from the proposed roadway's intersection with Highland Street are adequate. Erosion controls will be in place during construction. The property is subject to an Order of Conditions from the Medway Conservation Commission.

5.16.4 Determination, based on the environmental impact analysis, where submitted, that the subdivision as designed will not cause substantial and irreversible damage to the environment, which damage could be avoided or ameliorated through an alternative development plan.

FINDINGS – The site of the subdivision is not within a Priority Habitat area and the wetlands of the site will be protected through action of the Medway Conservation Commission. Stormwater management has been reviewed by the Town's consulting engineer and is adequately addressed. There will be an increase of only three single-family houses to be constructed. Significant trees on site that are not within the house footprints or infrastructure elements will be protected and retained. The Board finds that the subdivision will not cause substantial and irreversible damage to the environment.

5.16.5 Determination that the roads and ways leading to and from the subdivision shall be adequate to provide emergency medical, fire and police protection as well as safe travel for the projected volume of traffic. The Board may disapprove a plan where it determines that dangerous traffic or unsafe conditions may result from the inadequacy of the proposed access or of any ways adjacent to or providing access to the subdivision.

FINDINGS – The Board finds that the Highland Street is adequate to provide emergency medical, fire and police protection as well as safe travel for the

anticipated volume of traffic generated by five residences. The plans have been reviewed by the Fire Chief and Consulting Engineer. Comments from them have been incorporated into the design. The roadway shown on the plan will be built according to the Board's construction specifications for Neighborhood Streets. The 20-foot roadway width meets national Fire Code standards while also reducing impervious surfaces and stormwater impacts.

5.16.6 Conformity with all applicable requirements of the Medway Zoning Bylaw including but not limited to minimum area and frontage standards.

FINDINGS – The Board finds that the lots created by this plan conform to all applicable requirements of the Medway Zoning Bylaw, including minimum area and frontage requirements for the Agricultural Residential I zoning district.

5.16.7 Consistency with the purposes of the Subdivision Control Law.

FINDINGS – The Board finds that the proposed subdivision is consistent with the purposes of the Subdivision Control Law because the infrastructure proposed is adequate for the new development and the impacts of the subdivision have been mitigated to a reasonable extent. Reasonable waivers have been granted herein with good cause.

VI. DECISION – At a duly called and properly posted meeting of the Medway Planning and Economic Development Board held on May 12, 2020, a motion was made by Robert Tucker and seconded by Matthew Hayes to approve the ***Choate Trail Way Definitive Subdivision Plan***, prepared by Connorstone Engineering, dated November 8, 2019, last revised March 9, 2020 subject to the Specific and General Conditions as specified herein and with Waivers from the following sections of the *Subdivision Rules and Regulations* dated April 25, 2005.

- Section 7.7.2 (p) Stormwater
- Section 7.9.5 (c) Streets and Roadways
- Section 7.13.3 Sidewalks
- Section 7.21.1 Street Lights

The motion was approved by a vote of five in favor and none opposed.

VII. CONDITIONS – The following specific and general conditions shall apply to the Applicant, its executors, administrators, devisees, heirs, successors and assigns:

A. Specific Conditions

1. **Authorization** - The Choate Trail Way subdivision is authorized for no more than four residential house lots. As a permanent condition of the approval of this plan, no further subdivision of the property beyond these four lots is allowed, although lot boundaries within the subdivision may be adjusted so long as no additional lots are created.
2. **Completion Schedule** - The Applicant or its Assignee shall construct the roadway and all related infrastructure including the stormwater management system, and install all utilities as shown on the endorsed Choate Trail Way Definitive Subdivision Plan, to the satisfaction of the Planning and Economic Development Board, within three (3) years of the date of endorsement of the plan. The time for such construction and/or installation may be extended

upon the written request of the applicant, for good cause shown, prior to the expiration of the three (3) year period, upon a vote of the majority of the Planning and Economic Development Board then present.

3. **Plan Revisions** - Prior to plan endorsement, the Choate Trail subdivision plan dated March 9, 2020 shall be further revised to include the following:

- A note shall be added to all plan sheets indicating that the plan is subject to this Certificate of Action which shall be recorded with the Plan at the Norfolk County Registry of Deeds.
- The cover sheet shall be revised:
 - ❖ to prominently display the plan name and date
 - ❖ to list the APPROVED WAIVERS instead of WAIVER REQUESTS.
 - ❖ to remove the list of abutters
 - ❖ to reduce the size of the locus
 - ❖ to include an index of all plan sheets
- The property addresses for the four Copper Drive house lots, to be provided by the Medway Assessor's office, shall be added to the plan sheets.
- The signature area on the plan sheets shall be revised to add a space for the plan endorsement date.
- A note shall be added to all plan sheets to indicate that present and future owners are subject to a *Declaration of Protective Covenants & Restrictions and Private Roadway Agreement Governing the Choate Trail Subdivision*
- A 15' "selective cut zone" around the non-street perimeter of each house lot shall be shown on the plan sheets
- The plan shall be revised, and a detail shall be added to specify the installation of a Town of Medway approved streetlight on utility pole #33 on Highland Street as an off-site mitigation measure. A note shall be added that the location of the streetlight may be adjusted per the decision of the Medway Safety Officer.
- To include a sheet providing the construction Stormwater Pollution Prevention Plan.
- The Existing Conditions sheet shall be revised to display trees which are expected to be removed during the construction process.
- Modify the note on Sheet 3 of 7 to specifically call out that all elec/tel/cable/space lines within the subdivision shall be located underground.
- Renumber the plan sheets.

4. **Documents to be Prepared and Approved Before Endorsement** – Prior to plan endorsement, the Applicant shall provide the following documents for review, comments, amendment and approval by Town Counsel and the Board.

- a. **Subdivision Covenant** – Prior to endorsement, the Applicant shall sign a Subdivision Covenant, on a form acceptable to the Planning and Economic Development Board, to secure construction of the ways and all related infrastructure and installation of utilities and services and any off-site mitigation measures as specified in the approved subdivision plan. Reference to the *Subdivision Covenant* shall be noted on the cover sheet of the Definitive Subdivision Plan. The *Subdivision Covenant* shall specify that the roadway and all relevant infrastructure including the stormwater management system shall be constructed and all utilities and services and any off-site mitigation measures shall be installed to the satisfaction of the Planning and Economic Development Board

within three years of the date of plan endorsement. The Subdivision Covenant shall apply to Lots 1 – 4 as shown on the plan.

- b. **Trail Easement** – Prior to plan endorsement, the Applicant shall provide a trail easement document, suitable for recording, to authorize public access on Copper Drive and on the 15' wide trail easement located along the southern boundary of Lot #4.
- c. **Articles of Association or Incorporation** - Prior to plan endorsement, the Applicant shall provide a proposed Articles of Association or Incorporation establishing the Choate Trail Homeowners Association. This document shall include provisions for membership by the owners of Lots 1 – 4, management responsibilities, procedures for voting and fee assessment, and for the ownership and financial responsibility for the on-going maintenance, upkeep and repair of Copper Drive including but not limited to snowplowing and sanding, the stormwater management system, and landscaping including the landscaped island in the cul-de-sac. The documents shall specify that the costs shall be divided equitably among the members.
- d. **Lot Deeds** – Prior to plan endorsement, the Applicant shall provide the proposed deeds to convey each of the house lots to future owners. Each lot deed shall reference the Choate Trail Definitive Subdivision plan, the 15' no cut zone pursuant to Specific Condition #7, and clearly state that the Choate Trail Homeowners Association shall be responsible for the maintenance and upkeep of Copper Drive as a permanent private road, the landscaping and the stormwater drainage system. The deed for lot #4 will specifically reference the trail easement pursuant to Specific Condition #10. The deeds shall specify that the future owners will own to the centerline of the roadway along their property's frontage. However, the Applicant shall reserve to itself ownership of an easement in Copper Drive for future conveyance to the future Choate Trail Homeowners Association.
- e. **Declaration of Protective Covenants and Restrictions and Private Roadway Agreement Governing the Choate Trail Way Subdivision** - Prior to plan endorsement, the Applicant shall provide a proposed *Declaration of Protective Covenants & Restrictions and Private Roadway Agreement Governing the Choate Trail Way Subdivision*. See Specific Condition # 14.
- f. **Road Easement** – Prior to plan endorsement, the Applicant shall provide a document to be used to convey an easement on Copper Drive and all associated drainage and utility easements shown on the plan to the Choate Trail Homeowners Association.

5. **Plan Endorsement**

- a. Within sixty days after the Board has filed this decision with the Town Clerk but no sooner than twenty days after the decision is filed with the Town Clerk, the Applicant shall submit a revised subdivision plan reflecting all Conditions and required revisions as specified herein, to the Planning and Economic Development Board and the Town's Consulting Engineer, for review and approval prior to plan endorsement. All conditions of this Certificate of Action requiring changes to the definitive subdivision plan must be addressed to the satisfaction of the Town's Consulting Engineer and the Planning and Economic Development Board before the Board will endorse the definitive subdivision plan.

- b. The endorsed plan shall bear the certification of the Town Clerk that twenty days have elapsed after the decision was filed in the Town Clerk's office and no appeal has been filed within said twenty-day period.
 - c. Within thirty days after plan endorsement, the Applicant shall provide the Town with two sets of the approved plan in 24" x 36" paper format. The Applicant shall also provide the approved plan in pdf format and CAD format compatible with the Medway GIS and acceptable to the Medway Board of Assessors (ArcInfo shape file - .shp). The Applicant shall pay any reasonable associated costs, as may be determined by the Board of Selectmen, to update the Medway GIS/Assessor's maps relative to this subdivision.
6. **Recording** – The Applicant shall record this decision, the endorsed definitive subdivision plan, and the subdivision covenant at the Norfolk County Registry of Deeds. Within thirty days of such recording, the Applicant shall provide proof of recording to Planning and Economic Development Board. No construction shall begin on the site and no building permit shall be issued before these documents are recorded. The fee for recording or registering shall be paid by the Applicant.
7. **Selective Cut Zones** – A 15' selective cut zone shall be established around the non-street perimeter of each house lot. During construction, the area included in the selective cut zones shall not be disturbed. Future property owners shall maintain the selective cut zone as a landscaped and wooded buffer without intrusion. However, pruning necessary for removal of dead, damaged, diseased or harmful plant materials and additional landscape planting is permitted.
8. **Tree Preservation** – The Existing Conditions sheet of the plan set shows 262 pine, maple, oak, and other deciduous trees larger than 12 inches in diameter located on the subject property.
- a. The Applicant expects to remove ≈ 115 of these trees for construction of the roadway, infrastructure, house and septic system; these are indicated on the Existing Conditions sheet. The remaining ≈ 147 trees shall be clearly identified in the field and such markings shall be verified by the Town's consulting engineer before site preparation and construction commences.
 - b. The applicant shall make the fullest possible effort to preserve/retain the ≈ 147 remaining trees and prevent their removal, demise or damage during construction including all such trees located in the designated 15' no-cut zones on the non-street perimeter of each lot.
 - c. If any of the above noted trees (minus 5% or 7 trees) designated to be preserved/retained are removed or damaged during construction, the applicant shall be responsible for tree restoration by replacing the removed or damaged trees with nursery grade trees on a one (1) square inch per two (2) square inch replacement basis. The one (1) square inch per two (2) square inch replacement amount is calculated by squaring 1/2 the established diameter of each tree that is removed or damaged and multiplying that amount by 3.14 to determine its trunk area (tree radius squared x Pi (rounded to 3.14). The resulting figure is halved, and that square inch total is the amount of required square inches of the replacement tree(s). A 3" caliper tree equals seven (7) sq. inches. The location of the replacement trees on the house lots shall be recommended by the applicant and approved by the Planning and Economic Development Board and Tree Warden. The restoration shall be verified by the Tree Warden as being fully and skillfully performed. The species

- of replacement tree(s) shall be reviewed and approved by the Tree Warden, or otherwise will be consistent with the species of the removed tree(s).
- d. In lieu of tree planting on the subdivision property, the Applicant may make a contribution to the Medway Tree Fund in an amount to be determined by the Board upon consultation with the Medway Tree Warden based on wholesale pricing for 3-inch caliper trees from a reputable area landscape supplier. The Applicant may also combine tree planting and a contribution in lieu of tree-planting to be approved by the Board.
 - e. Any such supplemental tree planting shall occur before the occupancy permit is issued for the respective lot. Any contribution in lieu of tree planting shall occur before the occupancy permit is issued for the last of the four houses.
9. **Sidewalk Construction** – In lieu of constructing a sidewalk along the frontage of 42 Highland Street, the applicant shall provide \$10,085 to the Medway Sidewalk Fund. This amount shall be provided before the Building Department issues an occupancy permit for the second house in the subdivision.
 10. **Trail** – The Applicant shall construct a 5' winding dirt trail within a 15' wide trail access located along the southern length of Lot #4. The trail and the associated buffer area landscaping along the southern boundary of Lot #4 within the trail easement area shall be completed before the Building Department issues an occupancy permit for the house to be constructed on Lot #4.
 11. **Scenic Road Work Permit** – This project is also subject to a Scenic Road Work Permit issued by the Board. As a condition of this decision, the Applicant shall comply fully with the requirements of the Scenic Road work permit.
 12. **Ownership of Copper Drive** – The roadway depicted on this subdivision plan shall remain privately owned in perpetuity to the center line by the owners of the four lots. There is no intention or expectation that the Town of Medway will ever accept the roadway as constructed pursuant to this plan.
 13. **Homeowners Association** - There shall be established a Choate Trail Homeowners Association to be responsible for the maintenance and upkeep of the roadway including but not limited to snowplowing and sanding, maintaining the stormwater detention/infiltration system and related infrastructure located within the roadway right of way including landscaping, maintaining the sidewalk along Copper Drive, and maintaining the landscaped island in the cul-de-sac.
 14. **Declaration of Protective Covenants & Restrictions and Private Roadway Maintenance Agreement Governing the Choate Trail Way Subdivision** – The future owners of lots 1-4 are subject to a *Declaration of Protective Covenants & Restrictions and Private Roadway Agreement Governing the Choate Trail Way Subdivision* to be executed and recorded with the definitive subdivision plan. Prior to endorsement, the Applicant shall provide a proposed *Declaration of Protective Covenants & Restrictions and Private Roadway Agreement Governing the Choate Trail Way Subdivision* to be reviewed and approved by Town Counsel and the Planning and Economic Development Board. At a minimum, the *Declaration of Protective Covenants & Restrictions and Private Roadway Agreement Governing the Choate Trail Way Subdivision* shall include language regarding the property owners' responsibility through the homeowners association for the upkeep, repair, and on-going maintenance of the

roadway including snowplowing and sanding, the operation and maintenance of the stormwater management system, maintaining the sidewalk along Copper Drive, the landscaping in the right of way, and the upkeep of the landscaped island in the cul-de-sac. The Agreement shall specifically refer to the Long-Term Pollution Prevention Plan and associated Stormwater Operations and Management Plan included in the Stormwater Report for Choate Trail Way dated November 8, 2019, last revised April 2, 2020, prepared by Connorstone Engineering and approved by the Medway Conservation Commission.

15. ***Maintenance Responsibility During Construction*** – The Applicant shall provide for snow plowing, sanding and full maintenance of Copper Drive, and all related stormwater management infrastructure throughout the entire construction process until the roadway is determined to be complete by the Board and an easement is granted to the homeowners association. This includes keeping the constructed stormwater drainage system in a clean and well-functioning condition in accordance with the construction period Stormwater Pollution Prevention Plan included in the most recent version of the Stormwater Report for Choate Trail Way prepared by Connorstone Engineering. The Applicant shall do nothing which would alter the drainage patterns or characteristics as shown on the approved plan.
16. ***Stormwater Management During Construction*** – Construction is subject to the Storm Water Pollution Plan within the Stormwater Report for Choate Trail Way dated November 8, 2019, last revised April 2, 2020, prepared by Connorstone Engineering, as approved by the Conservation Commission in its May 4, 2020 Order of Conditions with Land Disturbance Permit.
 - a. This document shall be included in all construction contracts, subcontracts and specifications dealing with the proposed work. The applicant shall ensure that all contractors, subcontractors and other personnel performing the permitted work are fully aware of the Construction Period Operation and Maintenance Plan.
 - b. No clearing of vegetation, including trees, or disturbance of soil shall occur prior to the Pre-Construction Meeting.
 - c. Prior to the Pre-Construction Meeting and commencement of any activity on the site, the erosion control plan included in the endorsed plan set and the limit of work lines shall be staked. The location of erosion controls shall be adjusted, if necessary, during the first erosion control inspection.
 - d. Immediately after installation of erosion controls, the Applicant shall notify the Board’s consulting engineer to schedule a follow-up inspection to ensure that erosion controls and limits of work have been properly located and installed. No work shall be conducted until the Board’s consulting engineer has inspected and approved the installation of the erosion controls.
 - e. It shall be the responsibility of the Applicant to conduct monitoring, maintenance and repair of erosion control measures, as well as to take any other additional measures necessary to control erosion from the site. The erosion control measures designated on the subdivision plan shall be considered a minimum standard for compliance.
 - f. All waste products, refuse, debris, grubbed stumps, slash, excavate, construction materials, etc. associated with the planned construction shall be contained and ultimately deposited at an appropriate off-site facility and shall not be incorporated in any manner into the project site.

17. **Maintenance Post Construction** – As Copper Drive shall be a permanent, private roadway, the ongoing maintenance responsibility for it, all associated infrastructure, landscaping within the roadway layout, and the stormwater management system will ultimately rest with the Choate Trail Homeowners Association. The Town of Medway shall not have, now or ever, any legal responsibility for operation or maintenance of the roadway, sidewalks, curbing, snowplowing, stormwater system, sanding, streetlights, or upkeep of the landscaped island in the Copper Drive cul-de-sac; that responsibility rests with the homeowners association. The association shall maintain the stormwater management system in accordance with the long-term stormwater operation and maintenance plan included with the stormwater report.
18. **Water Conservation** – The Applicant shall incorporate the following water conservation measures for construction of the development:
 - a. rain gauge-controlled irrigation systems
 - b. low flow household fixtures
 - c. water efficient appliances (dishwashers, washer/dryers, toilets, etc.)
19. **Addresses** – The addresses for the four house lots shall be as determined by the Medway Assessor's office upon consultation with the Medway Fire and Police Departments.
20. **Development Signage** – Any development signage for this project during construction and for permanent identification signage thereafter shall comply with the sign regulations of the *Bylaw*. Any permanent signage requires review by the Design Review Committee before a sign permit can be issued.
21. **Order of Conditions** – As a component of this development, the Applicant shall comply fully with the Order of Conditions and the associated Land Disturbance Permit issued by the Medway Conservation Commission on May 4, 2020, to be recorded at the Norfolk County Registry of Deeds.
22. **Underground Utilities** – All electrical, telephone, cable TV, and other utilities within the subdivision shall be located underground.
23. **Off-Site Mitigation** – As requested by the Medway Police Department, the Applicant shall purchase and install a Town approved streetlight fixture on utility pole #33 on the west side of Highland Street. This work shall be coordinated with the Medway Department of Public Works and shall be completed before the occupancy permit is issued for the fourth house.
24. **Community Mailbox** – If the Postmaster determines that a gang or cluster mailbox is required vs. individual mailboxes for each house and before such cluster mailbox is installed, the Applicant shall request the Board's approval of a field change to specify the location of the communal mailbox and provide a drawing to show a suitable 3 sided shelter to enclose such mailbox.
25. **Irrigation** – No use of Town water is allowed for irrigation. If individual homeowners or the Homeowners Association wishes to install a private irrigation well, a permit from the Medway Board of Health is required.

B. Standard Conditions

1. ***Expiration of Appeal Period*** – Prior to endorsement of the definitive subdivision plan, the Planning and Economic Development Board must receive the statutory notification of the expiration of the twenty-day appeal period from the Town Clerk's office.
2. ***Payment of Balance of Fees*** – Prior to plan endorsement, the Applicant shall pay the balance of any outstanding plan review services by any outside consultants retained by the Planning and Economic Development Board.
3. ***Proof of Taxes Paid*** – Prior to the Planning and Economic Development Board's endorsement of the plan, approval of the *Release of Covenant* for the first building lot, and any form of surety reduction, proof is required from the Medway Town Treasurer/Collector that all real estate taxes and other municipal fees and charges are current for the property included in this subdivision and for all property owned in Medway by the applicant.
4. ***Site Access*** - Planning and Economic Development Board members, its staff, consultants or other designated Town agents and staff shall have the right to inspect the site at any time during construction for compliance with the endorsed subdivision plan and the provisions of this Decision.
5. ***Construction Oversight***
 - a. Construction Account
 - 1) Inspection of roadway and infrastructure and utility construction, and installation of site amenities including landscaping by the Town's Consulting Engineer and review of legal documents by Town Counsel are required. Prior to plan endorsement the Applicant shall pay a construction services fee to the Town of Medway to establish a construction services account for such inspections and legal services. The amount shall be determined by the Planning and Economic Development Board based on an estimate provided by the Town's Consulting Engineer based on the scope of the project. The funds may be used at the Board's discretion to retain professional outside consultants to perform the items listed above as well as the following other tasks - inspect the site during construction/installation, identify what site work remains to be completed, prepare bond estimates, conduct other reasonable inspections until the site work is completed and determined to be satisfactory, review as-built plans, and advise the Board as it prepares to issue authorize project completion.
 - 2) Depending on the scope of professional outside consultant assistance that the Board may need, the Applicant shall provide supplemental payments to the project's construction inspection account, upon invoice from the Board, for reasonable additional construction services until the road construction and stormwater drainage system and other utilities are completed and the as-built plan has been reviewed and determined to be satisfactory.
 - 3) Any funds remaining in the Applicant's construction inspection account after project completion shall be returned to the Applicant.
 - b. The Department of Public Works will conduct inspections for any construction work occurring in the Town's right-of way in conjunction with the Town of Medway Street Opening/Roadway Access Permit and any utility connection permits.

- c. The Applicant shall have a professional engineer licensed in the Commonwealth of Massachusetts conduct progress inspections of the construction of the approved site improvements. Inspections shall occur at least on a monthly basis. The engineer shall prepare a written report of each inspection and provide a copy to the Board within 5 days of inspection. Failure of the Permittee to provide these reports may be reason to withhold building or occupancy permits.
6. **Other Permits** – This permit does not relieve the applicant from its responsibility to obtain, pay and comply with all other required federal, state and Town permits. The contractor for the applicant or assigns shall obtain, pay and comply with all other required Town permits.
7. **Pre-Construction Meeting** – At least seven days prior to the start of any site preparation or construction, a pre-construction meeting shall take place with the Town's Consulting Engineer, the Planning and Economic Development Coordinator, the Medway Department of Public Works, the Medway Conservation Agent, the developer and site contractors. The construction schedule shall be reviewed and the procedures for inspections discussed. A copy of the final Stormwater Pollution Prevention Plan (SWPPP) as filed DEP shall be provided to the Town.
8. **Restrictions on Construction Activities** – During construction, all local, state and federal laws shall be followed regarding noise, vibration, dust and blocking of Town roads. The applicant and its contractors shall, at all times, use all reasonable means to minimize inconvenience to abutters and residents in the general area. The following specific restrictions on construction activity shall apply.
 - a. **Construction Time** - Construction work at the site and in the building and the operation of construction equipment including truck/vehicular and machine start-up and movement shall commence no earlier than 7 a.m. and shall cease no later than 6 p.m. Monday – Saturday. No construction shall take place on Sundays or legal holidays without the advance approval of the Inspector of Buildings.
 - b. **Neighborhood Relations** – The applicant shall notify neighbors in the general area around the site when site work and construction are scheduled to begin and provide a phone number for them to use for questions and concerns that arise during construction.
 - c. The applicant shall take all measures necessary to ensure that no excessive dust leaves the premises during construction including use of water spray to wet down dusty surfaces.
 - d. There shall be no tracking of construction materials onto any public way. Daily sweeping of roadways adjacent to the site shall be done to ensure that any loose gravel/dirt is removed from the roadways and does not create hazardous or deleterious conditions for vehicles, pedestrians or abutting residents. In the event construction debris is carried onto a public way, the Applicant shall be responsible for all clean-up of the roadway which shall occur as soon as possible and in any event within twelve (12) hours of its occurrence.
 - e. The Applicant is responsible for having the contractor clean-up the construction site and the adjacent properties onto which construction debris may fall on a daily basis.

- f. All erosion and siltation control measures shall be installed by the Applicant prior to the start of construction and observed by the Planning and Economic Development Board's consulting engineer and maintained in good repair throughout the construction period.
 - g. *Construction Traffic/Parking* – During construction, adequate provisions shall be made on-site for the parking, storing, and stacking of construction materials and vehicles. All parking for construction vehicles and construction related traffic shall be maintained on site. No parking of construction and construction related vehicles shall take place on adjacent public or private ways or interfere with the safe movement of persons and vehicles on adjacent properties or roadways.
 - h. *Noise* - Construction noise shall not exceed the noise standards as specified in the *Zoning Bylaw*, Section 7.3.C.2. Environmental Standards.
9. ***Building Permits*** – Pursuant to Section 6.6.3 of the *Subdivision Rules and Regulations*, the Applicant shall not be allowed to secure a building permit until the following subdivision infrastructure items, at a minimum, have been installed, inspected and approved by the Board or its agent:
- a. Gravel subbase
 - b. Binder course
 - c. Drainage system completed to the proposed outfall with frame and grates set to binder grade, as well as detention basins, swales, infiltration systems or any other stormwater management facilities.
 - d. As-built plan of each detention pond and forebay contoured in two-foot (2') intervals; and all critical elevations and details of the structures, pipes and headwalls within the detention pond area.
 - e. Street name signs and "*Street Not Accepted by the Town*" signs in a size and form as specified by the Medway Department of Public Works, and all regulatory signs as specified in the approved plan.
 - f. Stop line pavement markings.
 - g. Sidewalk binder
 - h. Provisions for fire prevention and protection, such as a cistern, dry hydrant system or municipal water service constructed, installed and functional in the area of the subdivision in which the lots are located.
10. ***Subdivision Performance Surety***
- a. *Alternative Performance Security* - At such time as the Applicant wishes to secure a building permit for any lot within the subdivision, the security provided by the *Subdivision Covenant* shall be replaced by a subdivision surety in compliance with General Laws chapter 41 §81U and the Board's *Regulations*, which method or combination of methods may be selected and from time to time varied by the Applicant, in a sufficient amount, source and form acceptable to the Board, the Treasurer/Collector and Town Counsel. The surety shall be provided prior to the Planning and Economic Development Board's approval of the *Release of Covenant* for any house lot.
 - b. *Surety Amount* - The amount of the performance guarantee shall be equal to 100% of the amount that would be required for the Town of Medway to complete construction of the roadway and installation of stormwater management facilities, utilities, services, pedestrian facilities and all site amenities as specified in the Decision and Plan that

remain unfinished at the time the performance guarantee estimate is prepared if the Permittee failed to do so. The security amount shall be approved by the Planning and Economic Development Board based on an estimate provided by the Town's Consulting Engineer based on the latest weighted average bid prices issued by the Mass Department of Transportation. The estimate shall reflect the cost for the Town to complete the work as a public works project which may necessitate additional engineering, inspection, legal and administrative services, staff time and public bidding procedures. The estimate shall also include the cost to maintain the roadway and infrastructure in the event the Permittee fails to adequately perform such. In determining the amount, the Board shall be guided by the following formula in setting the sum: estimate of the Town's Consulting Engineer of the cost to complete the work plus a 30% contingency.

- c. *Surety Agreement* - The Applicant shall enter into a surety agreement with the Planning and Economic Development Board as provided in the *Regulations* to define the obligations of the Applicant and the performance guarantee company including:
 - 1) the date by which construction shall be completed
 - 2) a statement that the agreement does not expire until released in full by the Board
 - 3) procedures for collection upon default.
- d. *Minimum Work for Lot Release* - Prior to releasing any lots from the *Subdivision Covenant*, the items listed in Condition 9 Building Permits herein shall be installed and inspected and approved by the Board.
- e. *Adjustment of Performance Guarantee* - At the Applicant's written request, the amount of the performance guarantee may be reduced from time to time over the course of the construction project by vote of the Board upon the partial completion of the roadway and infrastructure improvements as defined herein. In order to establish the amount to adjust the performance guarantee, the Town's Consulting Engineer shall prepare an estimate of the current cost for the Town to complete all work as specified on the approved Plan that remains unfinished at the time the estimate is submitted to the Board. The estimate shall be based on unit prices in the latest Weighted Average Bid Prices issued by the Mass Department of Transportation. The estimate shall reflect the cost for the Town to complete the work as a public works project, which may necessitate additional engineering, inspection, legal and administrative fees, staff time and public bidding procedures. The estimate shall also include the cost to maintain the roadway and infrastructure in the event the Permittee fails to adequately perform such. In determining the amount of the adjustment of the performance guarantee, the Board shall be guided by the following formula to determine the reduction amount: the estimate of the Town's Consulting Engineer of the cost to complete the work; plus, a 30% contingency. The Board may authorize up to three reductions in the amount of performance security however, the Board shall not reduce the performance security below \$40,000.
- f. *Final Release of Performance Security* - Final release of performance security is contingent on project completion.

11. *Compliance with Plan and Decision*

- a. All construction shall be as specified in the approved definitive subdivision plan and any modifications thereto and in full compliance with the *Subdivision Rules and Regulations* and all applicable local, state and federal laws, including but not limited to the Americans

with Disabilities Act, the NPDES permit requirements, the Massachusetts Department of Environmental Protection Stormwater Management Policy requirements, MEPA requirements, the Massachusetts Wetland Protection Act (Chapter 131, Section 40, M.G.L.) and the regulations of the Massachusetts Architectural Access Board for handicap accessibility.

- b. The Planning and Economic Development Board or its agent(s) shall use all legal options available to it, including referring any violation to the Building Commissioner/Zoning Enforcement Officer for appropriate enforcement action, to ensure compliance with this Decision.
- c. The Conditions of Approval are enforceable under Section 3.1. F. of the *Medway Zoning Bylaw* (non-criminal disposition) and violations or non-compliance are subject to the appropriate fine.

12. *On-Site Field Changes*

- a. During construction, the Permittee may be authorized to make limited, minor, on-site field changes to the approved plan based on unforeseen site or job conditions, situations, or emergencies necessitated by field conditions or due to practical considerations. These field changes shall not alter items which may affect the site's compliance with this decision and the *Bylaw* nor conflict with a specific condition of the decision. Field changes shall not substantially alter the intent, layout or design of the endorsed plan.
- b. Prior to undertaking such field changes, the Permittee and/or contractor shall discuss the possible field changes with the Town's Consulting Engineer and submit a letter and drawings to the Planning and Economic Development Coordinator and the Building Commissioner describing the proposed changes and what conditions, situations, or emergencies necessitate such changes. The Building Commissioner may determine that the field change is insubstantial, authorize the change, and so notify the Board. Otherwise, the Board shall review the proposed field changes at a public meeting and determine whether the proposed field changes are reasonable and acceptable based on the unforeseen conditions, situations, or emergencies and whether other options are feasible or more suitable. A written authorization of field change will be provided. Any approved field change shall be reflected in the as-built plan to be provided at project completion.

13. *Modification of Plan and/or Decision*

- a. Proposed modifications to the plan or decision, not included on-site field changes, shall be subject to review by the Board.
- b. This approval is subject to all subsequent conditions that may be imposed by other Town departments, boards, agencies or commissions. Any changes to the plan that may be required by the decisions of other Town boards, agencies or commissions shall be submitted to the Planning and Economic Development Board for review as a subdivision plan modification.
- c. Any work that deviates from the approved subdivision plan or this Decision shall be a violation of the *Medway Zoning Bylaw*, unless the Applicant requests approval of a plan modification and such approval is provided in writing by the Planning and Economic Development Board.

- d. Whenever additional reviews by the Planning and Economic Development Board, its staff or consultants are necessary due to proposed subdivision plan modifications, the Applicant shall be billed and be responsible for all supplemental costs including filing fees, plan review fees and all costs associated with another public hearing including legal notice and abutter notification. If the proposed revisions affect only specific limited aspects of the site, the Planning and Economic Development Board may reduce the scope of the required review and waive part of the filing and review fees.
- e. The Board shall issue its Modification Decision, file such with the Town Clerk and provide copies to the Building Commissioner, other Town officials and the Applicant. Any modifications approved by the Board shall be made a permanent part of the approved project. Any plan modifications shall be shown on the final as-built plan.

14. Landscape Maintenance

- a. Any shrubs, trees, bushes or other landscaping features shown on the Plan that die shall be replaced by the following spring.
- b. Within 60 days after two years after the occupancy permit is issued, the Town's Consulting Engineer or the Inspector of Buildings shall conduct an initial inspection of the landscaping to determine whether and which landscape items need replacement or removal and provide a report to the Board. At any time, subsequent to this initial inspection, the Town's Consulting Engineer or the Inspector of Buildings may conduct further inspections of the landscaping to determine whether and which landscaping items need replacement or removal and provide a report to the Board. The Board may seek enforcement remedies with the Inspector of Buildings/Zoning Enforcement Officer to ensure that the comprehensive landscaping plan is maintained.

15. Project Completion – The Board shall determine project completion and refund/release the performance security once the applicant has completed the following tasks to the Board's satisfaction:

- a. provided the Board with written certification from a Professional Engineer registered in the Commonwealth of Massachusetts that all site work has been completed in substantial compliance with the approved and endorsed Plan, and any modifications thereto; and
- b. submitted an As-Built Construction Plan prepared by a registered Professional Land Surveyor or Engineer registered in the Commonwealth of Massachusetts in accordance with the *Subdivision Rules and Regulations* in effect at the time the plans are submitted to the Board for review by the Town's Consulting Engineer and the Board's approval. The Applicant shall provide the final as-built plan in CAD format compatible with the Medway GIS and acceptable to the Medway Board of Assessors (ArcInfo shape file - .shp).
- c. paid the Town of Medway for any taxes/fees associated with these parcels or other property owned by the applicant in the Town of Medway; and
- d. completed any mitigation measures specified in the subdivision certificate of action to the satisfaction of the Board.

VII. APPEAL

The Board and the Applicant have complied with all statutory requirements for the issuance of this Decision on the terms set forth herein. A copy of this Decision will be filed with the Medway Town Clerk and mailed to the Applicant, and notice will be mailed to all parties in interest.

Any person aggrieved by the decision of the Board may appeal to the appropriate court pursuant to Massachusetts General Laws, ch 41, § 81BB, which shall be filed within twenty days after the filing of this decision in the office of the Medway Town Clerk.

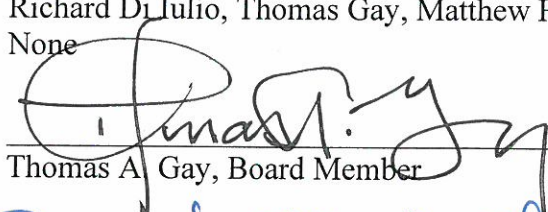
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**CHOATE TRAIL WAY DEFINITIVE SUBDIVISION PLAN
CERTIFICATE OF ACTION
MEDWAY PLANNING AND ECONOMIC DEVELOPMENT BOARD**

Date of Action by the Medway Planning and Economic Development Board: May 12, 2020

AYE: Richard DiJulio, Thomas Gay, Matthew Hayes, Andy Rodenhiser, Robert Tucker
NAY: None

Attest:


Thomas A. Gay, Board Member

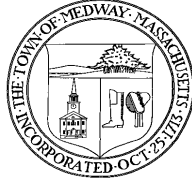
5.18.2020
Date

Attest:


Susan E. Affleck-Childs
Planning and Economic Development Coordinator

5-18-2020
Date

Copies To: Bob Pace, Residences at Choate Trail, LLC
David Spertner, Residences at Choate Trail, LLC
Matthew Silverstein, Residences at Choate Trail, LLC
Vito Colonna, Connorstone Engineering
Michael Boynton, Town Administrator
Stephanie Carlisle, DPW Compliance Officer
David D'Amico, DPW Director
Mike Fasolino, Deputy Fire Chief
Bridget Graziano, Conservation Agent
Donna Greenwood, Assessor
Beth Hallal, Health Agent
Jeff Lynch, Fire Chief
Jack Mee, Building Commissioner
Joanne Russo, Treasurer/Collector
Barbara Saint Andre, Community and Economic Development Director
Sergeant Jeffrey Watson, Police Safety Officer
Gino Carlucci, PGC Associates
Steve Bouley, Tetra Tech



August 11, 2020

**Medway Planning & Economic Development Board
Meeting**

**Evergreen Village Site Plan
Endorsement**

- Revised Definitive Subdivision Plan dated September 5, 2019, last revised April 6, 2020
- Tetra Tech sign off dated April 23, 2020 on revised plan
- Certificate of No Appeal dated July 22, 2020 from Town Clerk
- Subdivision Covenant signed August 6, 2020 by Maria Varrichione
- Paid Taxes Certification from Medway Collector's office dated August 7, 2020
- Evergreen Village decision dated April 7, 2020

I can verify that the applicant does NOT owe any plan review funds and has paid the construction observation fee (\$14,096) in full.

NOTE - The 22 Evergreen Street property was conveyed from John and Cynthia Shea to Broken Tree LLC (Maria Varrichione) on August 4, 2020. The Norfolk County Registry of Deeds records do not yet reflect that transaction.

I recommend the Board vote to endorse the Evergreen site plan contingent on not releasing the endorsed plan to the applicant until the applicant provides verification of the land conveyance.

EVERGREEN VILLAGE

22 EVERGREEN STREET
MEDWAY, MASSACHUSETTS

OWNER/APPLICANT:

SAMPSON POND LLC
P.O.BOX 5
MEDWAY, MA 02053

ARCHITECT:

DANIEL LEWIS AIA LLED AP
332 WHITNEY STREET
NORTHBOROUGH, MA 01532

LANDSCAPE DESIGN:

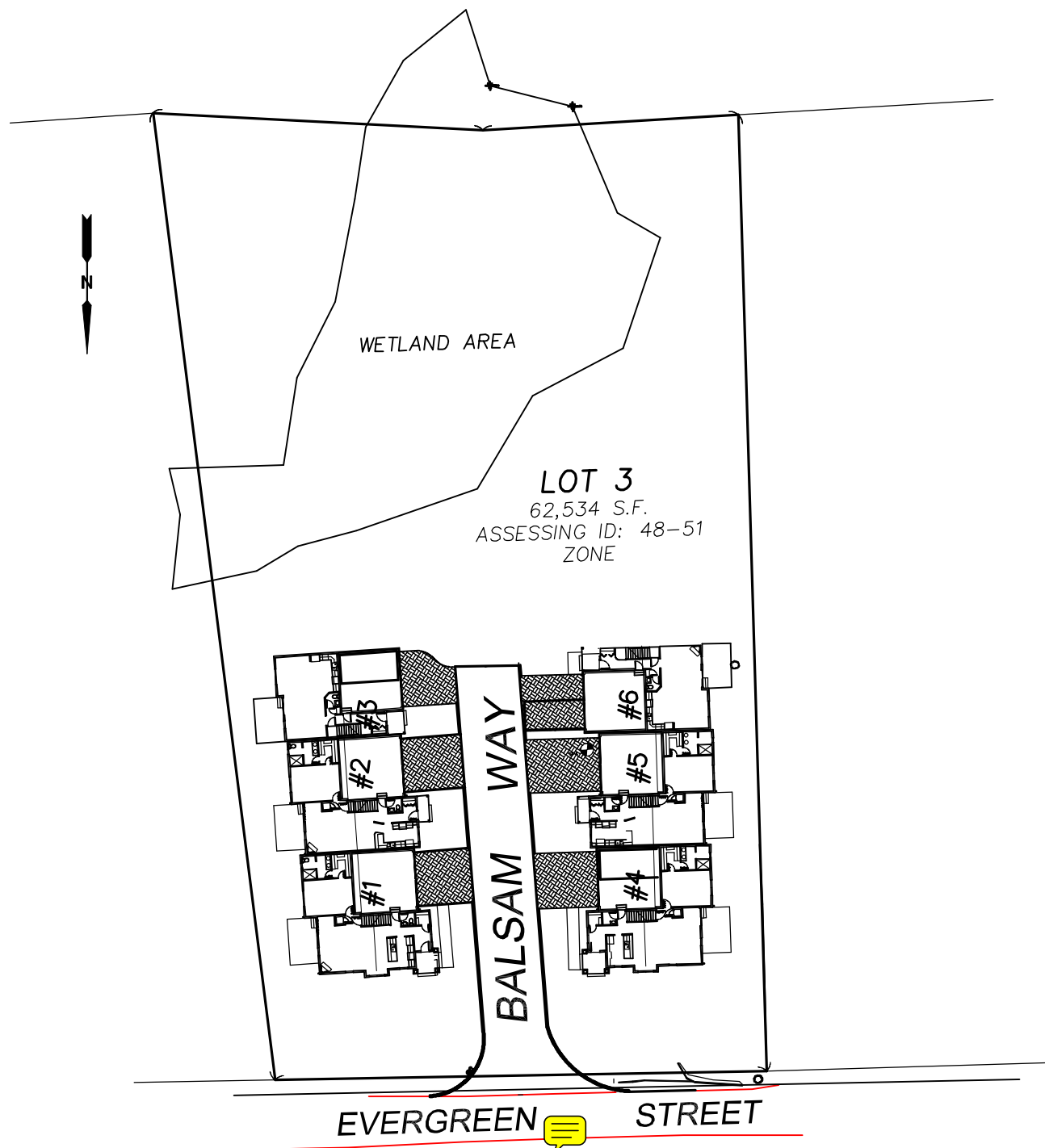
McCARTHY ENGINEERING
42 JUNGLE ROAD
LEOMINSTER MA 01453

SURVEY:

CHENEY ENGINEERING CO, INC.
53 MELLEEN STREET
NEEDHAM MA 02494

ENGINEER:

RONALD TIBERI P.E.
9 MASSACHUSETTS AVE.
NATICK MA 01760



| | REQUIRED | PROPOSED |
|---------------------------|----------|----------|
| LOT AREA | 22500 | 62534 |
| LOT FRONTAGE | 150 | 171+ |
| LOT WIDTH | NA | 188+ |
| FRONT SETBACK | 35 | 35 |
| SIDE SETBACK | 15 | 15 |
| REAR SETBACK | 15 | 15 |
| BLDG. HT. | 40' | 38' |
| LOT COVERAGE (BUILDINGS) | NA | 16.5% |
| LOT COVERAGE (IMPERVIOUS) | NA | 29.0% |
| PARKING | 1.5/UNIT | 2/UNIT |

PLAN INDEX

| | |
|----------------------------|-------|
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| SITE GRADING | S-3 |
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APPROVED WAIVERS-

1) Section 204 ? 3. Planning Board Submittals A. 7. - A written Development Impact Statement shall be provided which shall describe the potential and anticipated impacts of the proposed development, identify all positive and adverse impacts, and propose an acceptable program to prevent or mitigate adverse impacts.
2) Section 204 ? 4. Standards for Site Plan Preparation. B. - The site plan shall be drawn at a scale of one (1) inch equals forty (40) feet or such other scale that has been approved in advance by the Planning Board and that clearly and adequately represents the proposed improvements. The submitted plans are drawn at a scale of 1" = 20 feet.
3) Section 204 ? 5 Site Plan Contents. C. Existing Conditions. 3) An Existing Landscape Inventory shall be prepared by a Professional Landscape Architect licensed in the Commonwealth of Massachusetts. This inventory shall include a mapped overview of existing landscape features and structures and a general inventory of major plant species including the specific identification of existing trees with a diameter of one (1) foot or greater at four (4) feet above grade. As requested by the Board, a tree inventory was prepared to document the existence of 18 trees more than 18" in diameter scattered throughout the site. It was prepared by applicant Maria Varrichione with assistance from Steve Bevilacqua, a certified arborist with Tree Timber Corporation of Canton, MA.
SITE PLAN DEVELOPMENT STANDARDS
1) Section 205-2 Design Standards
G. Ground Floor Facades shall have arcades, display windows, entry areas, canopies, awnings or other such features with pleasing aesthetics along no less than sixty (60) percent of their horizontal length.
H. Buildings shall have architectural features that provide visual interest at the pedestrian scale and incorporate local character with detailing that is conservative in color and has a village feel, thus avoiding massive aesthetic effects.
2) Section 205 ? 3 B. Internal Site Driveways 3. - Driveways should intersect the road at an angle of ninety (90) degrees.
3) Section 205 ? 3 D. Sidewalks - Where no pedestrian ways exist, the applicant shall create pedestrian ways and connections between streets, the proposed development, surrounding neighborhoods, and other surrounding uses providing safe access to the nearest existing pedestrian facility or sidewalk.
4) Section 205 ? 4 Drainage and Stormwater Management. B. Test pits and percolation tests must be performed to support infiltration calculations and assumptions related to the Stormwater Management Design.
5) Section 205 ? 6 H. Curbing ? The perimeter of the parking area shall be bounded with vertical granite curb or similar type of edge treatment to delineate the parking lot.
6) Section 205 ? 6 I. Travel Lanes - Travel lanes in the parking area shall be a minimum of twenty-four (24) feet wide.
7) Section 205 ? 9 C. Parking Areas - Internal landscape planted divisions (islands and peninsulas) shall be constructed within all parking lots to provide shading and buffering. At least one deciduous tree of a minimum two and one-half (2 1/2) inches caliper in diameter shall be provided for every six (6) parking spaces. Only trees providing shade to the parking area shall be counted as meeting this requirement. This requirement may be waived in lieu of the preservation of existing trees subject to approval by the Board.
8) Section 205-5. F. Landscaping - Tree Replacement ? The total diameter of all trees over ten (10) inches in diameter that are removed from the site shall be replaced with trees that equal the total breast height diameter of the removed trees. The replacement trees may be placed on or off site as recommended by the Board.

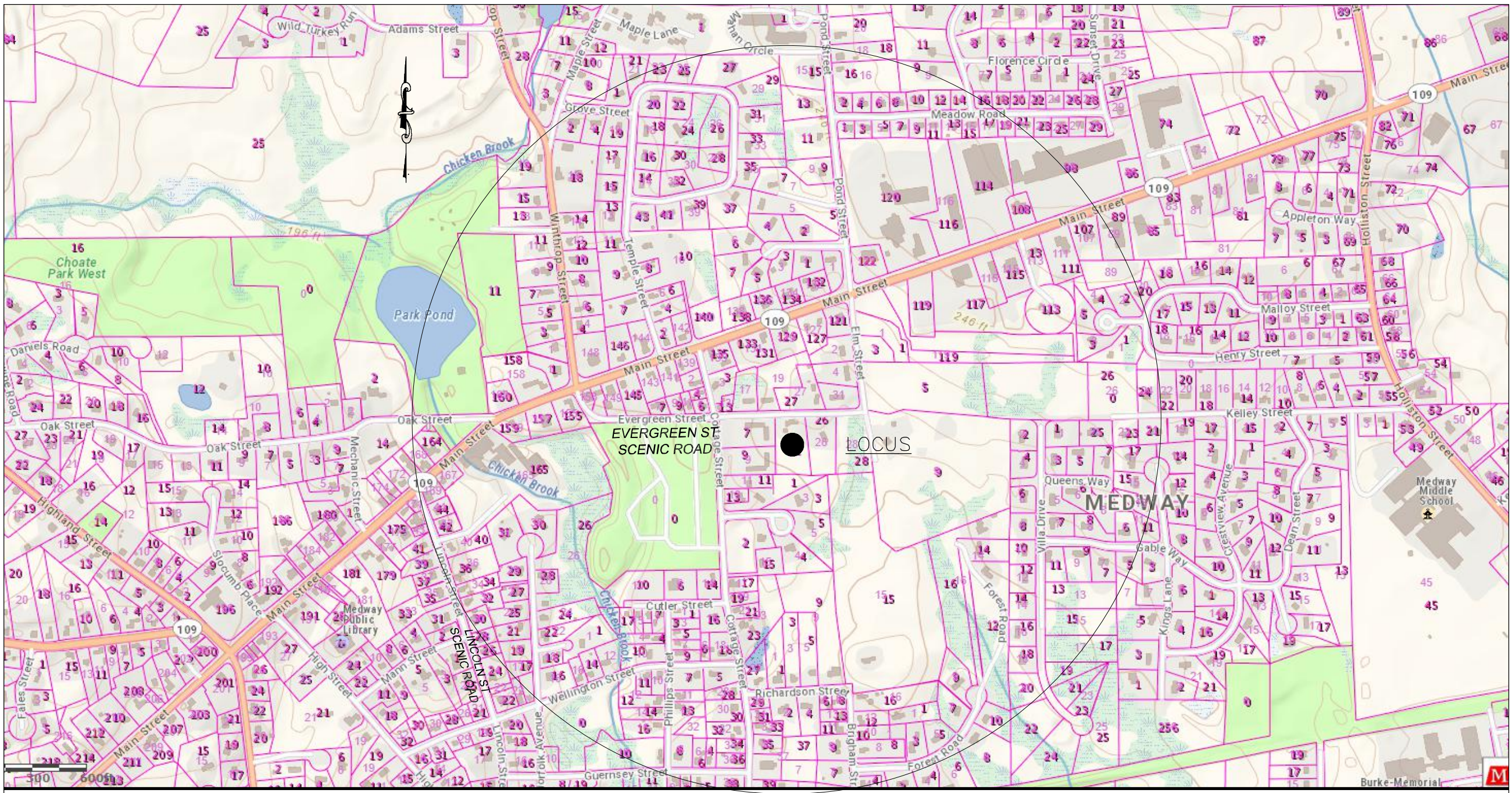
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| | |
| | |
| | |
| | |
| | |
| SIGNATURE | DATE |

APPROVED BY PLANNING BOARD

DATE: _____



ABUTTERS LOCUS MAP
1" = 200'



LOCUS MAP
1" = 300'

MULTIFAMILY HOUSING TABLE

| | REQUIRED | PROPOSED |
|------------------|----------|----------|
| LOT AREA | 22500 | 62534 |
| LOT FRONTAGE | 50 | 171+ |
| UNIT DENSITY | 12 | 6 |
| AFFORDABLE UNITS | 1 | 1 |
| BLDG. HT. | 40' | 38' |
| OPEN SPACE | 15% | 62% |
| PARKING SPACES | 12 | 23 |

LOT 3
22 EVERGREEN STREET
ASSESSING ID: 48-51
ZONE: AR-2
DISTRICT

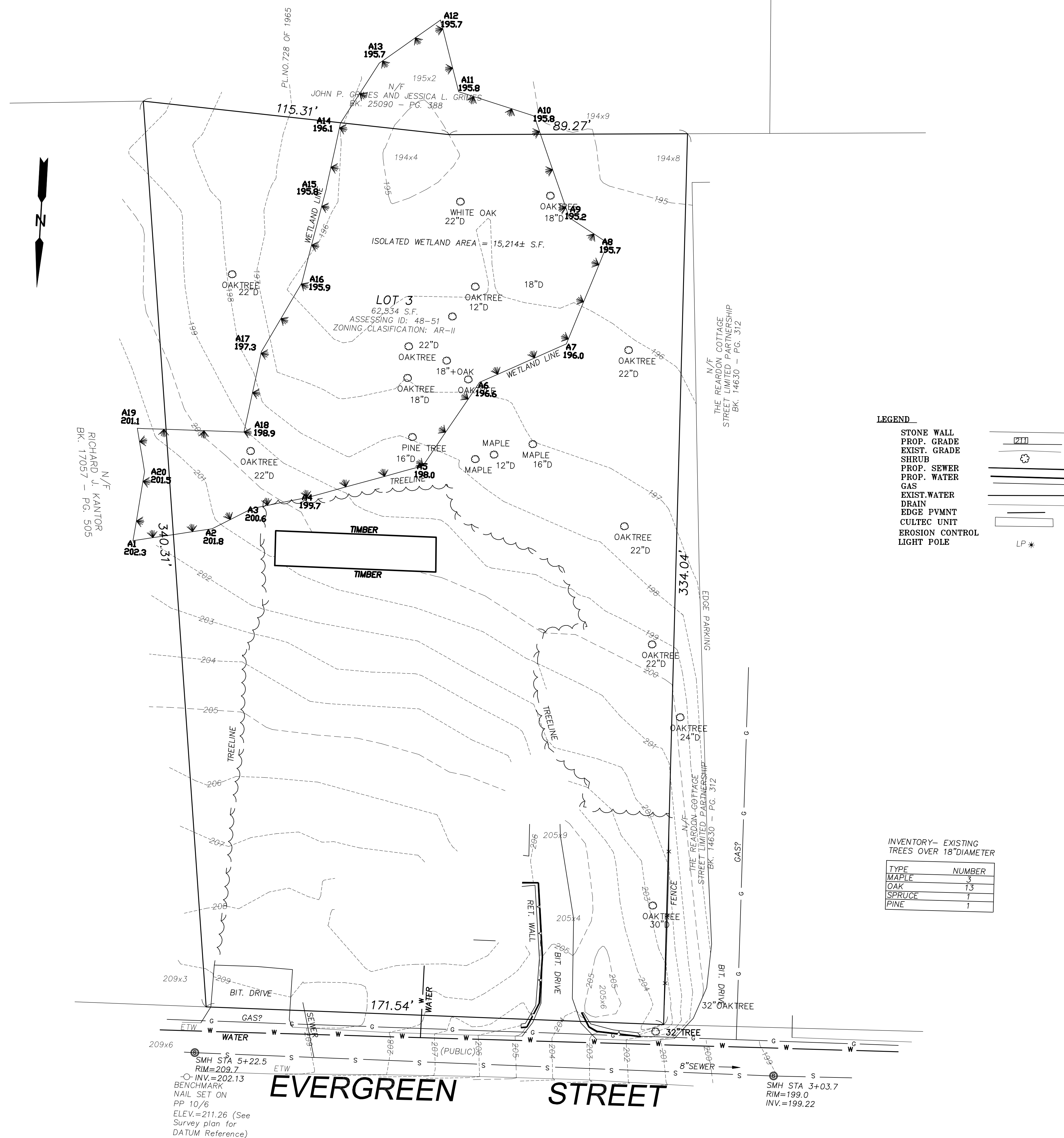
DATE ISSUED:
SEPT 5, 2019
DATE REVISED:
NOV 20, 2019
FEB. 6, 2020
APRIL 6, 2020

I CERTIFY THAT THIS PLAN HAS BEEN PERPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

DATE: _____ RONALD TIBERI P.E.

| | |
|---|--------|
| I, _____, Clerk of the Town of Medway, received and recorded approval from the Planning and Economic Development Board of this plan and its corresponding decision on _____ and no appeal was taken for twenty (20) days, thereafter. | |
| (Signature) | (Date) |
| This project is subject to a performance security covenant to be recorded herewith. | |

FOR REGISTRY USE



GENERAL SITE NOTES

1. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORKSCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS, RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.

2. ALL WORK SHALL CONFORM TO LOCAL, COMMONWEALTH OF MASSACHUSETTS, AND OSHA STANDARDS AND GUIDELINES.

3. LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. ALL UTILITY SERVICE CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

4. ALL UTILITY LOCATIONS ARE APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE CONDUITS, PRODUCT PIPING, ETC. PRIOR TO COMMENCEMENT OF EXCAVATION OF ANY TYPE.

5. ALL EXCAVATED UNSUITABLE MATERIAL MUST BE TRANSPORTED TO AN APPROVED DISPOSAL LOCATION.

6. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY "DIG SAFE" (1-888-344-7233) 72 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE. CONTRACTOR SHALL ALSO NOTIFY THE LOCAL DEPARTMENT OF PUBLIC WORKS TO MARK OUT THEIR UTILITIES.

7. THE LIMITS OF WORK SHALL BE CLEARLY MARKED IN THE FIELD PRIOR TO THE START OF CONSTRUCTION OR SITE CLEARING.

8. ALL CONCRETE AND BITUMINOUS PATCH AREAS TO MATCH EXISTING GRADES.

9. SOLID WASTE TO BE DISPOSED OF BY CONTRACTOR IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.

10. CONTRACTOR IS RESPONSIBLE FOR ALL EXCAVATION TO BE PERFORMED IN ACCORDANCE WITH CURRENT STANDARDS, AS WELL AS ADDITIONAL PROVISIONS TO ASSURE STABILITY OF CONTIGUOUS STRUCTURES.

11. IN CASE OF DISCREPANCIES BETWEEN PLANS, THE SITE PLAN WILL SUPERCEDE IN ALL CASES. NOTIFY ENGINEER OF RECORD OF ANY CONFLICTS.

DIG SAFE NOTE:

UTILITIES ARE PLOTTED FROM FIELD LOCATION AND ANY RECORD INFORMATION AVAILABLE, AND SHOULD BE CONSIDERED APPROXIMATE. OTHER UTILITIES MAY EXIST WHICH ARE NOT EVIDENT OR FOR WHICH RECORD INFORMATION WAS NOT AVAILABLE. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING. ALSO, CALL "DIG-SAFE" AT (1) (888) 344-7233 / (1) (888) DIG-SAFE.

THIS PLAN WAS PREPARED FOR THE EXCLUSIVE USE AND PURPOSE FOR THE PARTY STATED HEREON AND SHALL NOT BE USED BY ANY THIRD PARTY WITHOUT THE EXPRESSED WRITTEN PERMISSION OF RONALD TIBERI P.E.

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS,
RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER
LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE
TITLE.

APPROVED BY PLANNING BOARD

DATE: _____

REVISIONS

| No. | DATE | DESCRIPTION |
|-----|----------|--|
| 1. | 11-22-19 | TREE DIA'S AND INVENTORY |
| 2. | 2-6-20 | TOWN & PEER REVIEW COMMENTS |
| 3. | 4-6-20 | TOWN REVIEW COMMENTS-STRUCTUES NOT SHOWN |

EXISTING CONDITIONS

PLAN

IN
MEDWAY, MASSACHUSETTS

EVERGREEN VILLAGE
22 EVERGREEN STREET

PREPARED FOR:

SAMPSON POND LLC
P.O. Box 5
MEDWAY MA 02053

PREPARED By:

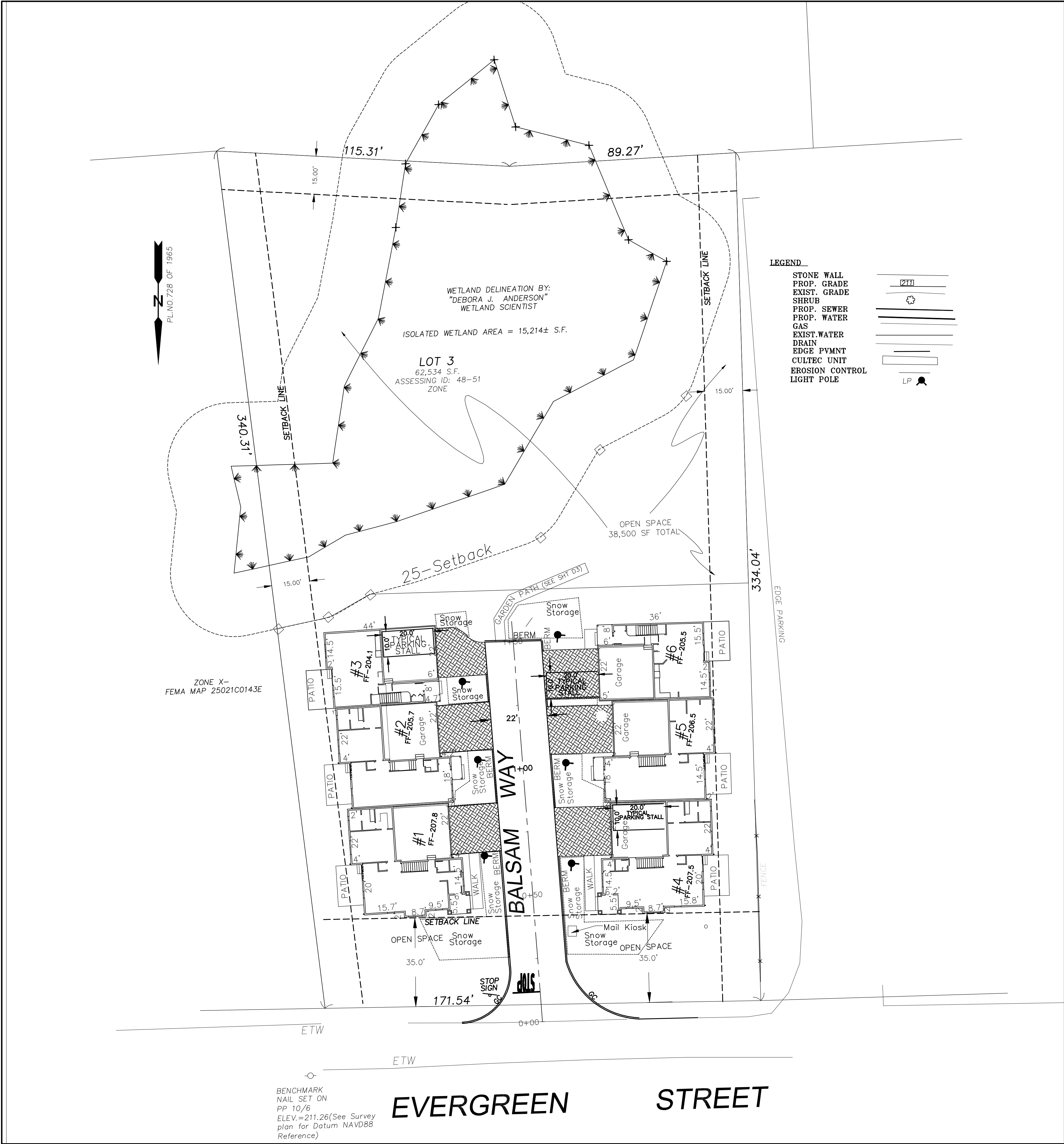
RONALD TIBERI P.E.
9 MASSACHUSETTS AVE.
NATICK MA 01760

DRAWING SCALE: 1 inch = 20 feet

| |
|----------------------|
| PROJECT NUMBER: 2616 |
|----------------------|

DATE: MARCH 2.2019

S-1



FOR REGISTRY USE

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

DATE: _____

RONALD TIBERI P.E.

GENERAL SITE NOTES

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2. ALL WORK SHALL CONFORM TO LOCAL, COMMONWEALTH OF MASSACHUSETTS, AND OSHA STANDARDS AND GUIDELINES.

3. LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. ALL UTILITY SERVICE CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

4. ALL UTILITY LOCATIONS ARE APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE CONDUITS, PRODUCT PIPING, ETC. PRIOR TO COMMENCEMENT OF EXCAVATION OF ANY TYPE.

5. ALL EXCAVATED UNSUITABLE MATERIAL MUST BE TRANSPORTED TO AN APPROVED DISPOSAL LOCATION.

6. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY "DIG SAFE" (1-888-344-7233) 72 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE. CONTRACTOR SHALL ALSO NOTIFY THE LOCAL DEPARTMENT OF PUBLIC WORKS TO MARK OUT THEIR UTILITIES.

7. THE LIMITS OF WORK SHALL BE CLEARLY MARKED IN THE FIELD PRIOR TO THE START OF CONSTRUCTION OR SITE CLEARING.

8. ALL CONCRETE AND BITUMINOUS PATCH AREAS TO MATCH EXISTING GRADES.

9. SOLID WASTE TO BE DISPOSED OF BY CONTRACTOR IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.

10. CONTRACTOR IS RESPONSIBLE FOR ALL EXCAVATION TO BE PERFORMED IN ACCORDANCE WITH CURRENT STANDARDS, AS WELL AS ADDITIONAL PROVISIONS TO ASSURE STABILITY OF CONTIGUOUS STRUCTURES.

11. IN CASE OF DISCREPANCIES BETWEEN PLANS, THE SITE PLAN WILL SUPERCEDE IN ALL CASES. NOTIFY ENGINEER OF RECORD OF ANY CONFLICTS.

DIG SAFE NOTE:

UTILITIES ARE PLOTTED FROM FIELD LOCATION AND ANY RECORD INFORMATION AVAILABLE, AND SHOULD BE CONSIDERED APPROXIMATE. OTHER UTILITIES MAY EXIST WHICH ARE NOT EVIDENT OR FOR WHICH RECORD INFORMATION WAS NOT AVAILABLE. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING. ALSO, CALL "DIG-SAFE" AT 1(888)344-7233 {1(888)DIG-SAFE}.

THE OFFSETS AS SHOWN ON THIS PLAN ARE NOT TO BE USED FOR THE ESTABLISHMENT OF PROPERTY LINES OR FOR THE ESTABLISHMENT OF ANY PROPOSED CONSTRUCTION UNLESS SAID CONSTRUCTION IS SHOWN HEREON.

THIS PLAN WAS PREPARED FOR THE EXCLUSIVE USE AND PURPOSE FOR THE PARTY STATED HEREON AND SHALL NOT BE USED BY ANY THIRD PARTY WITHOUT THE EXPRESSED WRITTEN PERMISSION OF RONALD TIBERI P.E.

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

APPROVED BY PLANNING BOARD

DATE: _____

REVISIONS

| No. | DATE | DESCRIPTION |
|-----|----------|-----------------------------|
| 1. | 11-24-19 | TOWN COMMENTS |
| 2. | 12-3-19 | TOWN COMMENTS |
| 3. | 2-6-20 | TOWN & PEER REVIEW COMMENTS |

PROPOSED

SITE LAYOUT PLAN

IN

MEDWAY, MASSACHUSETTS

EVERGREEN VILLAGE

22 EVERGREEN STREET

PREPARED FOR:

SAMPSON POND LLC

P.O. Box 5

MEDWAY MA 02053

PREPARED By:

RONALD TIBERI P.E.

9 MASSACHUSETTS AVE.

NATICK MA 01760

DRAWING SCALE: 1 inch = 20 feet

PROJECT NUMBER: 2616

DATE: SEPT 2.2019

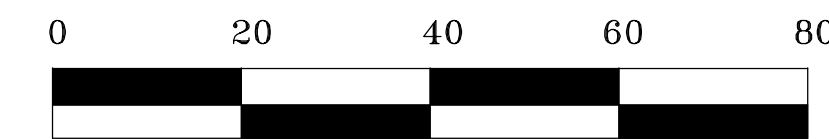
0 20 40 60 80

SNOW STORAGE:

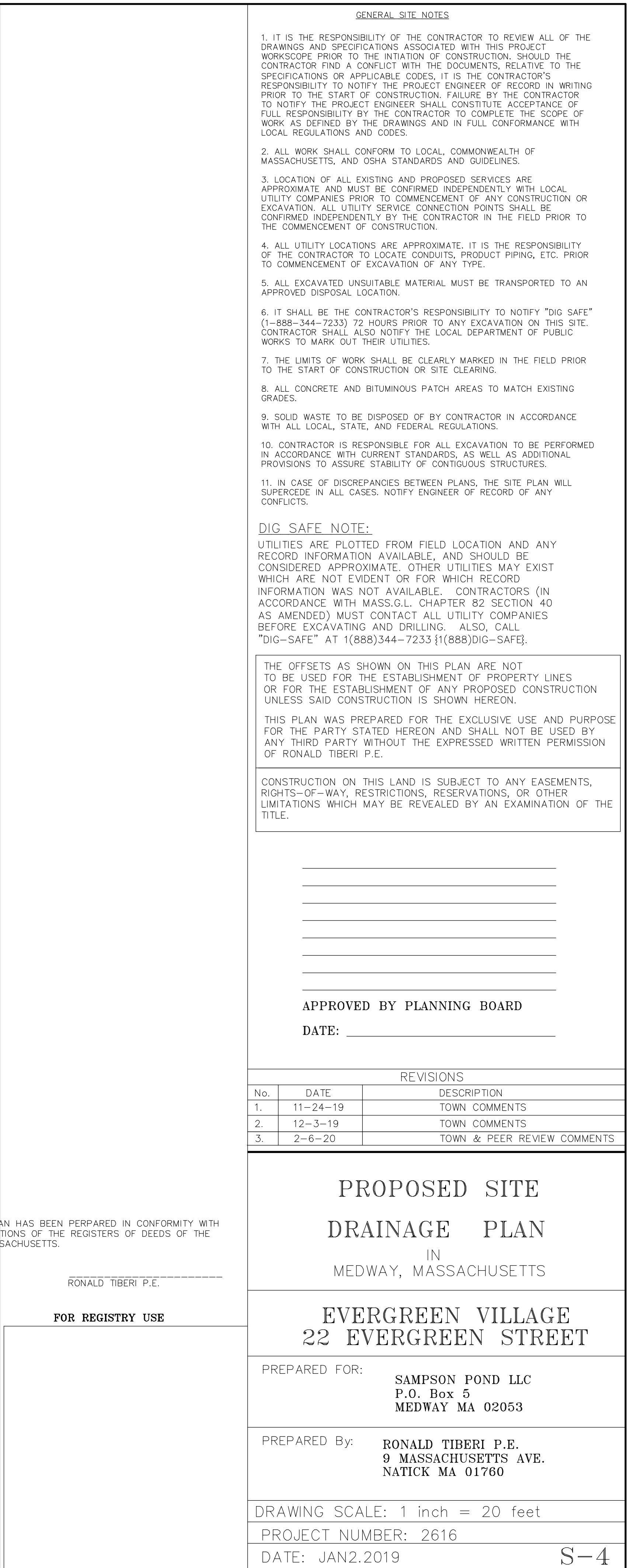
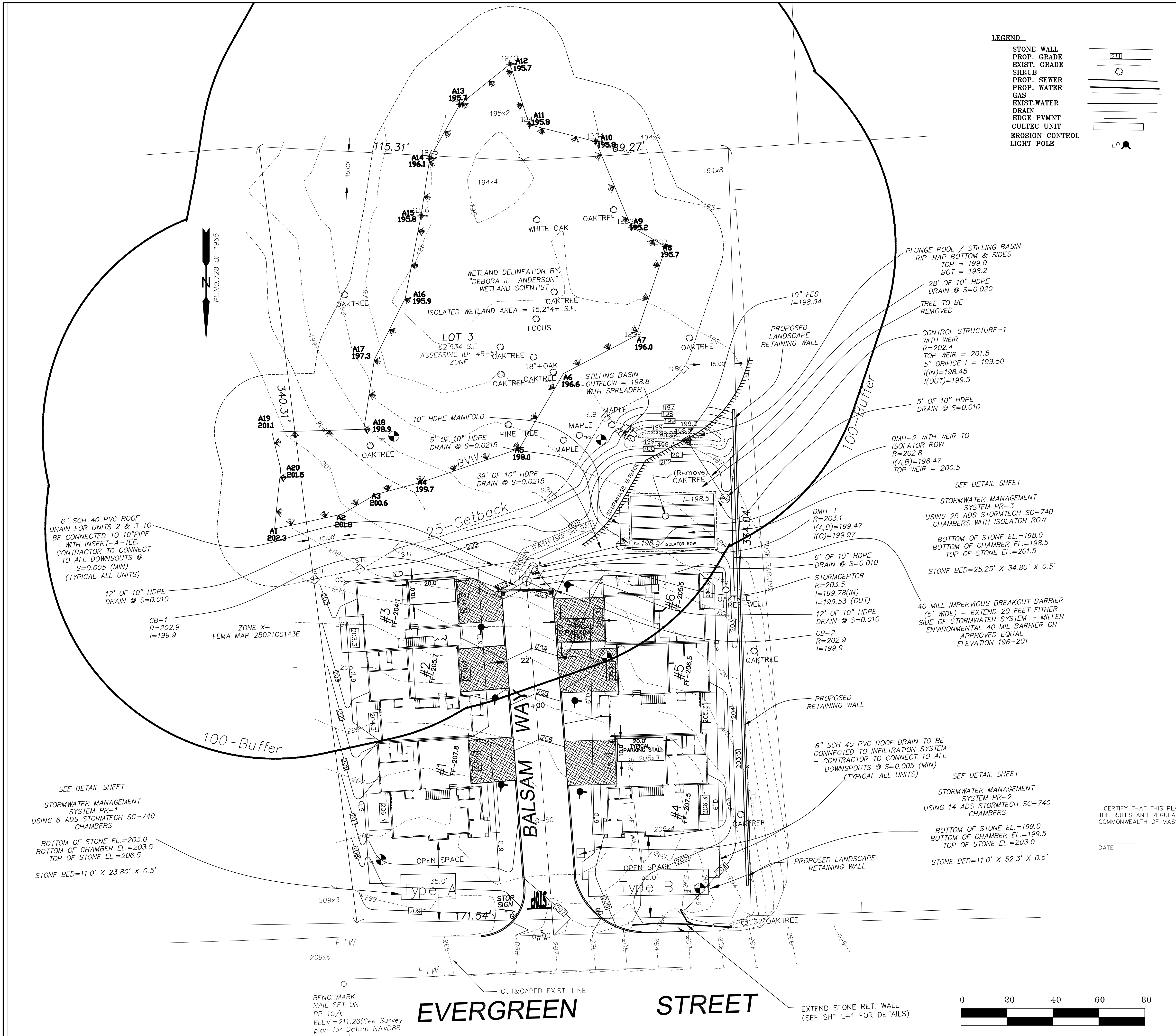
MAXIMUM AREA REQUIRING SNOW STORAGE REMOVAL IS 5680 SF

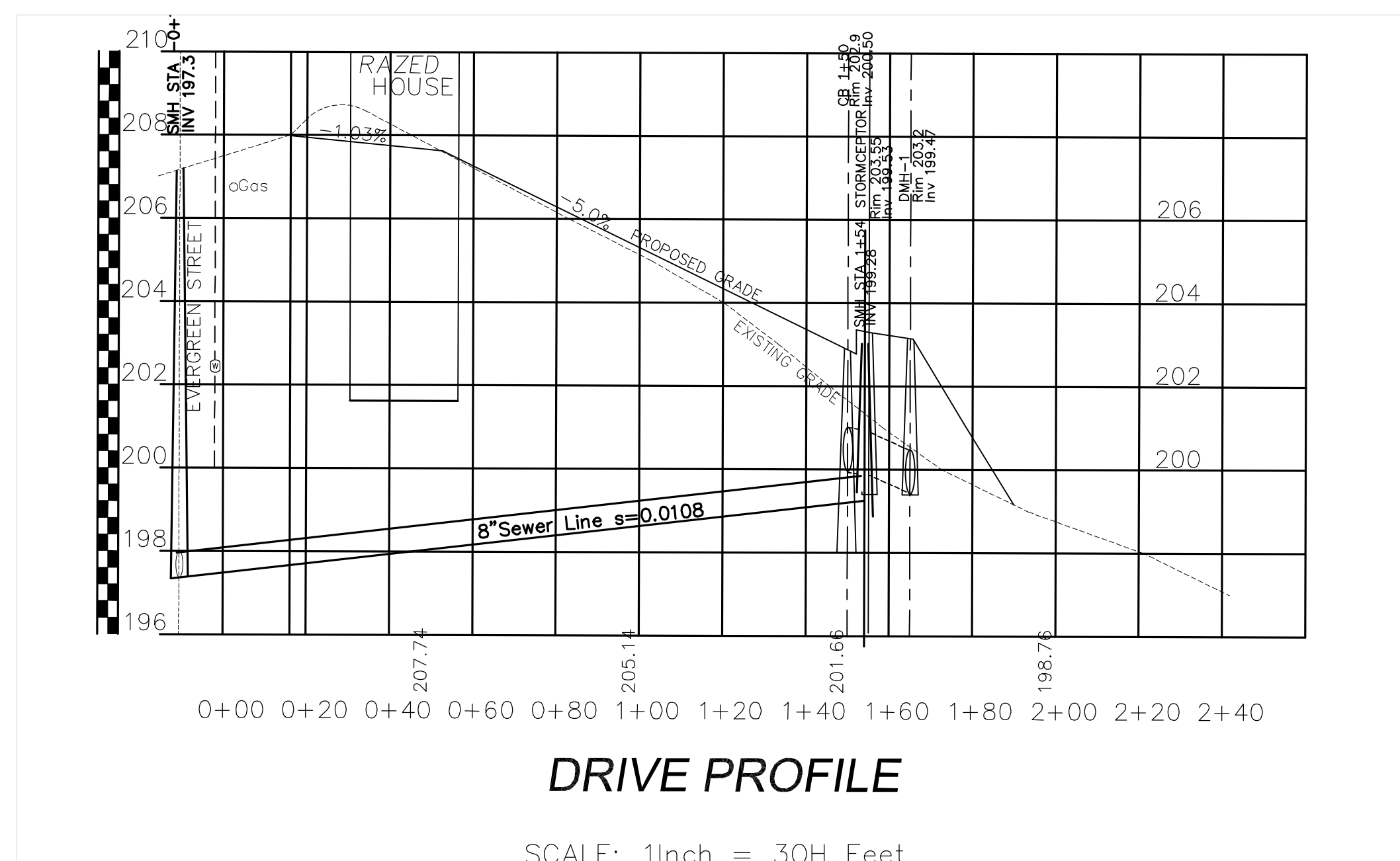
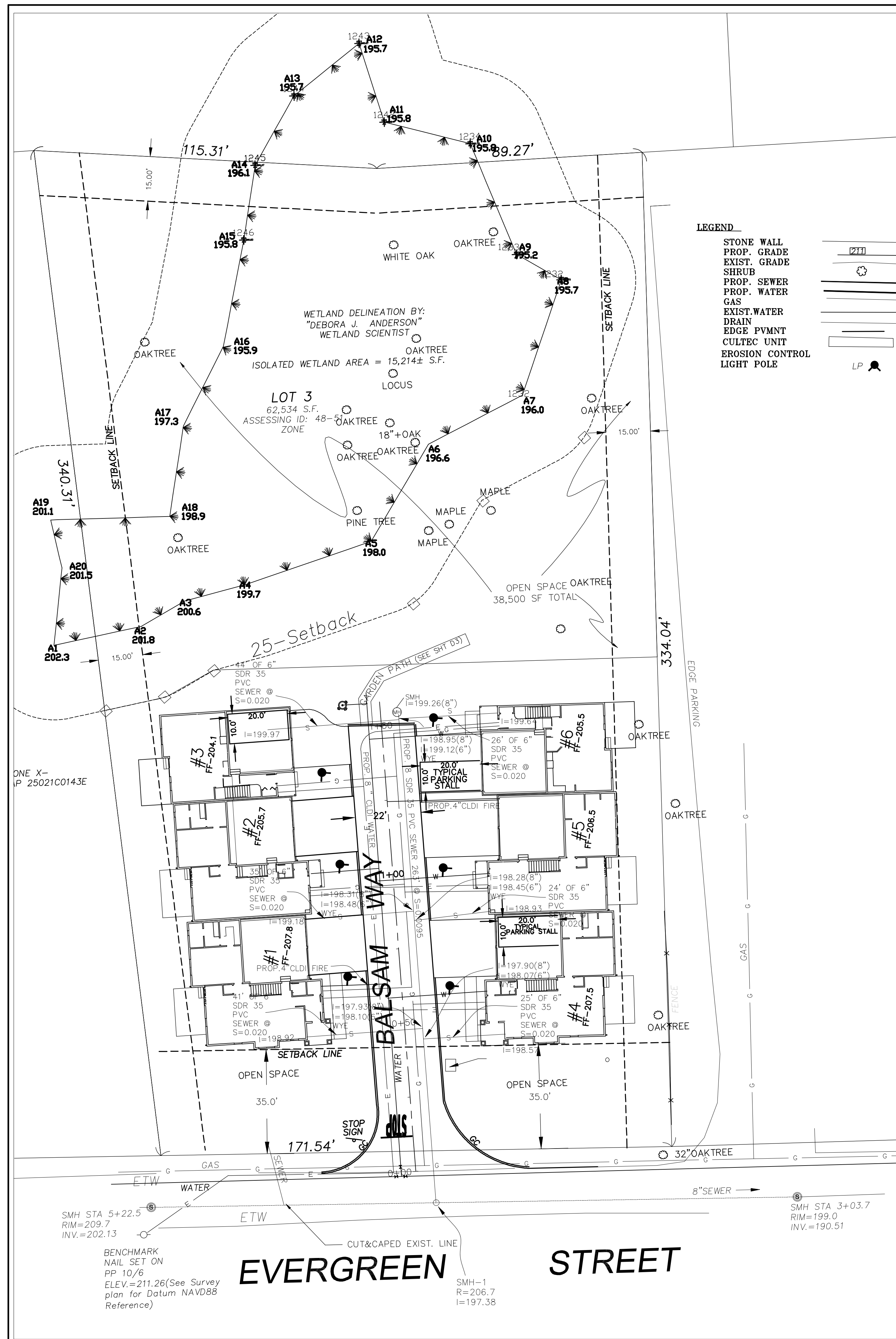
SNOW STORAGE BASE AREA IS APPROXIMATELY 2605 SF.

S-2



DATE _____ RONALD TIBERI P.E.





UTILITY NOTES:

1) LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICE CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES SHALL BE REPORTED IMMEDIATELY IN WRITING TO THE ENGINEER. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND INSTALLATIONS SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION. A MINIMUM OF 15" VERTICAL CLEARANCE SHALL BE MAINTAINED BETWEEN ALL UTILITY CROSSINGS. ANY POTENTIAL CROSSINGS LESS THAN THE MINIMUM REQUIRED SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY IN WRITING.

2) PROPERTY LINES TO BE VERIFIED BY CONTRACTOR.

3) ALL PROPOSED UTILITY SERVICES TO BE MADE IN ACCORDANCE WITH LOCAL REQUIREMENTS, INCLUDING TOWN OF MEDWAY WATER & SEWER REGULATIONS 2017 (OR LATEST EDITION).

4) STORMWATER PIPING SHALL BE HDPE RATED FOR H20 LOADING.

5) ELECTRICAL; COMPANY SHALL DETERMINE TRANSFORMER LOCATIONS AND FINAL UNDERGROUND WIRING.

6) FIRE WATER SERVICE SIZING TO BE PROVIDED BY SPRINKLER SYSTEM DESIGN ENGINEER.

I CERTIFY THAT THIS PLAN HAS BEEN PERPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

DATE _____

RONALD TIBERI P.E.

FOR REGISTRY USE

GENERAL SITE NOTES

1. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT. WORK PRIOR TO THE INITIATION OF CONSTRUCTION SHOULD BE SUCH THAT THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS, RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS ORDERED AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.

2. ALL WORK SHALL CONFORM TO LOCAL, COMMONWEALTH OF MASSACHUSETTS, AND OSHA STANDARDS AND GUIDELINES.

3. LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. ALL UTILITY SERVICE CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

4. ALL UTILITY LOCATIONS ARE APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE CONDUITS, PRODUCT PIPING, ETC. PRIOR TO COMMENCEMENT OF EXCAVATION OF ANY TYPE.

5. ALL EXCAVATED UNSUITABLE MATERIAL MUST BE TRANSPORTED TO AN APPROVED DISPOSAL LOCATION.

6. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY "DIG SAFE" (1-888-344-7233) 72 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE. CONTRACTOR SHALL ALSO NOTIFY THE LOCAL DEPARTMENT OF PUBLIC WORKS TO MARK OUT THEIR UTILITIES.

7. THE LIMITS OF WORK SHALL BE CLEARLY MARKED IN THE FIELD PRIOR TO THE START OF CONSTRUCTION OR SITE CLEARING.

8. ALL CONCRETE AND BITUMINOUS PATCH AREAS TO MATCH EXISTING GRADES.

9. SOLID WASTE TO BE DISPOSED OF BY CONTRACTOR IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.

10. CONTRACTOR IS RESPONSIBLE FOR ALL EXCAVATION TO BE PERFORMED IN ACCORDANCE WITH CURRENT STANDARDS, AS WELL AS ADDITIONAL PROVISIONS TO ASSURE STABILITY OF CONTIGUOUS STRUCTURES.

11. IN CASE OF DISCREPANCIES BETWEEN PLANS, THE SITE PLAN WILL SUPERCEDE IN ALL CASES. NOTIFY ENGINEER OF RECORD OF ANY CONFLICTS.

DIG SAFE NOTE:

UTILITIES ARE PLOTTED FROM FIELD LOCATION AND ANY RECORD INFORMATION AVAILABLE, AND SHOULD BE CONSIDERED APPROXIMATE. OTHER UTILITIES MAY EXIST WHICH ARE NOT EVIDENT OR FOR WHICH RECORD

INFORMATION WAS NOT AVAILABLE. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING. ALSO, CALL "DIG-SAFE" AT 1(888)344-7233 {1(888)DIG-SAFE}.

THE OFFSETS AS SHOWN ON THIS PLAN ARE NOT
TO BE USED FOR THE ESTABLISHMENT OF PROPERTY LINES
OR FOR THE ESTABLISHMENT OF ANY PROPOSED CONSTRUCTION
UNLESS SAID CONSTRUCTION IS SHOWN HEREON.

THIS PLAN WAS PREPARED FOR THE EXCLUSIVE USE AND PURPOSE
FOR THE PARTY STATED HEREON AND SHALL NOT BE USED BY
ANY THIRD PARTY WITHOUT THE EXPRESSED WRITTEN PERMISSION
OF RONALD TIBERI P.E.

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS,
RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER
LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE
TITLE.

APPROVED BY PLANNING BOARD

DATE: _____

| REVISIONS | | |
|-----------|----------|-----------------------------|
| No. | DATE | DESCRIPTION |
| 1. | 11-24-19 | TOWN COMMENTS |
| 2. | 12-3-19 | TOWN COMMENTS |
| 3. | 2-6-20 | TOWN & PEER REVIEW COMMENTS |

PROPOSED
SITE UTILITIES
IN
MEDWAY, MASSACHUSETTS

EVERGREEN VILLAGE
22 EVERGREEN STREET

PREPARED FOR: SAMPSON POND LLC
P.O. Box 5
MEDWAY MA 02053

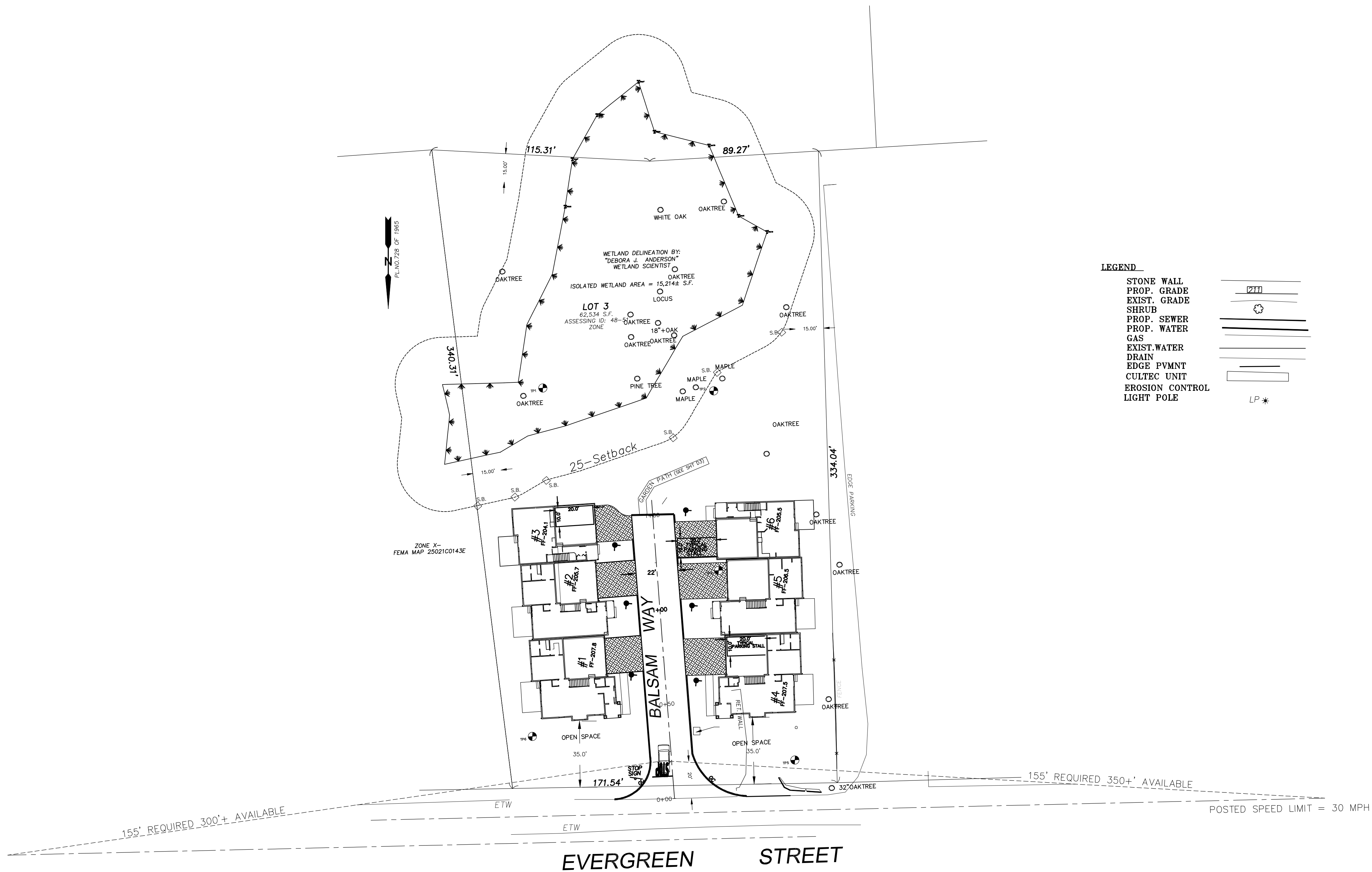
PREPARED By: RONALD TIBERI P.E.
9 MASSACHUSETTS AVE.
NATICK MA 01760

DRAWING SCALE: 1 inch = 20 feet

PROJECT NUMBER: 2616

DATE: JAN2.2019

S-5



- LEGEND
- STONE WALL
 - PROP. GRADE
 - EXIST. GRADE
 - SHRUB
 - PROP. SEWER
 - PROP. WATER
 - GAS
 - EXIST. WATER
 - DRAIN
 - EDGE PVMNT
 - CULTEC UNIT
 - EROSION CONTROL
 - LIGHT POLE

FOR REGISTRY USE

APPROVED BY PLANNING BOARD
DATE:

| REVISIONS | | |
|-----------|----------|----------------------|
| No. | DATE | DESCRIPTION |
| 1. | 11-24-19 | TOWN REVIEW COMMENTS |
| 2. | 12-3-19 | TOWN COMMENTS |

PROPOSED
SIGHT DISTANCE PLAN
IN
MEDWAY, MASSACHUSETTS

EVERGREEN VILLAGE
22 EVERGREEN STREET

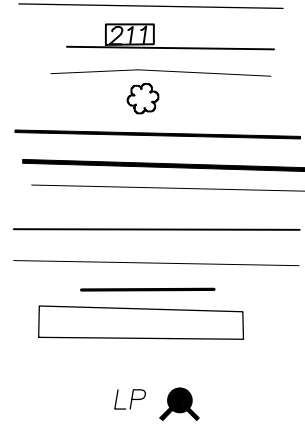
PREPARED FOR:
SAMPSON POND LLC
P.O. Box 5
MEDWAY MA 02053

PREPARED By:
RONALD TIBERI P.E.
9 MASSACHUSETTS AVE.
NATICK MA 01760

DRAWING SCALE: 1 inch = 30 feet
PROJECT NUMBER: 2616
DATE: SEPT 2.2019

LEGEND

STONE WALL
PROP. GRADE
EXIST. GRADE
SHRUB
PROP. SEWER
PROP. WATER
GAS
EXIST. WATER
DRAIN
EDGE PVMNT
CULTEC UNIT
EROSION CONTROL
LIGHT POLE



ZONE X-
FEMA MAP 25021C0143E

25-Setback

BALSAM WAY
FIRE LANE
(150')

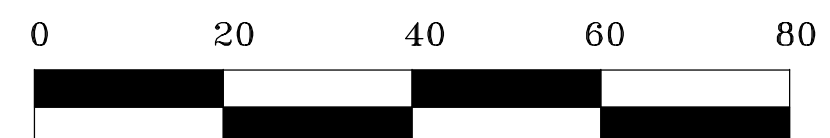
EVERGREEN STREET

CUT&CAPED EXIST. LINE

BENCHMARK
NAIL SET ON
PP 10/6
ELEV.=211.26(See Survey
plan for Datum NAVD88
Reference)

NOTES:

1. 18.2.3.4.4 FIRE ACCESS ROAD UNDER 150' FROM ENTRANCE DO NOT REQUIRE FIRE APPARATUS TURN AROUND..
2. 18.2.3.2.2 FIRE LANE DISTANCE FROM BUILDING EXTENT IS 250' MAX FOR SPRINKLERED BUILDINGS.



FOR REGISTRY USE

I CERTIFY THAT THIS PLAN HAS BEEN PERPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

DATE: _____ RONALD TIBERI P.E. _____

APPROVED BY PLANNING BOARD

DATE: _____

REVISIONS

| No. | DATE | DESCRIPTION |
|-----|----------|-----------------------------|
| 1. | 10-20-19 | FIRE LANE ADJUSTMENT |
| 3. | 2-6-20 | TOWN & PEER REVIEW COMMENTS |

PROPOSED EMERGENCY
VEHICLE ACCESS PLAN

IN
MEDWAY, MASSACHUSETTS

EVERGREEN VILLAGE
22 EVERGREEN STREET

PREPARED FOR: SAMPSON POND LLC
P.O. Box 5
MEDWAY MA 02053

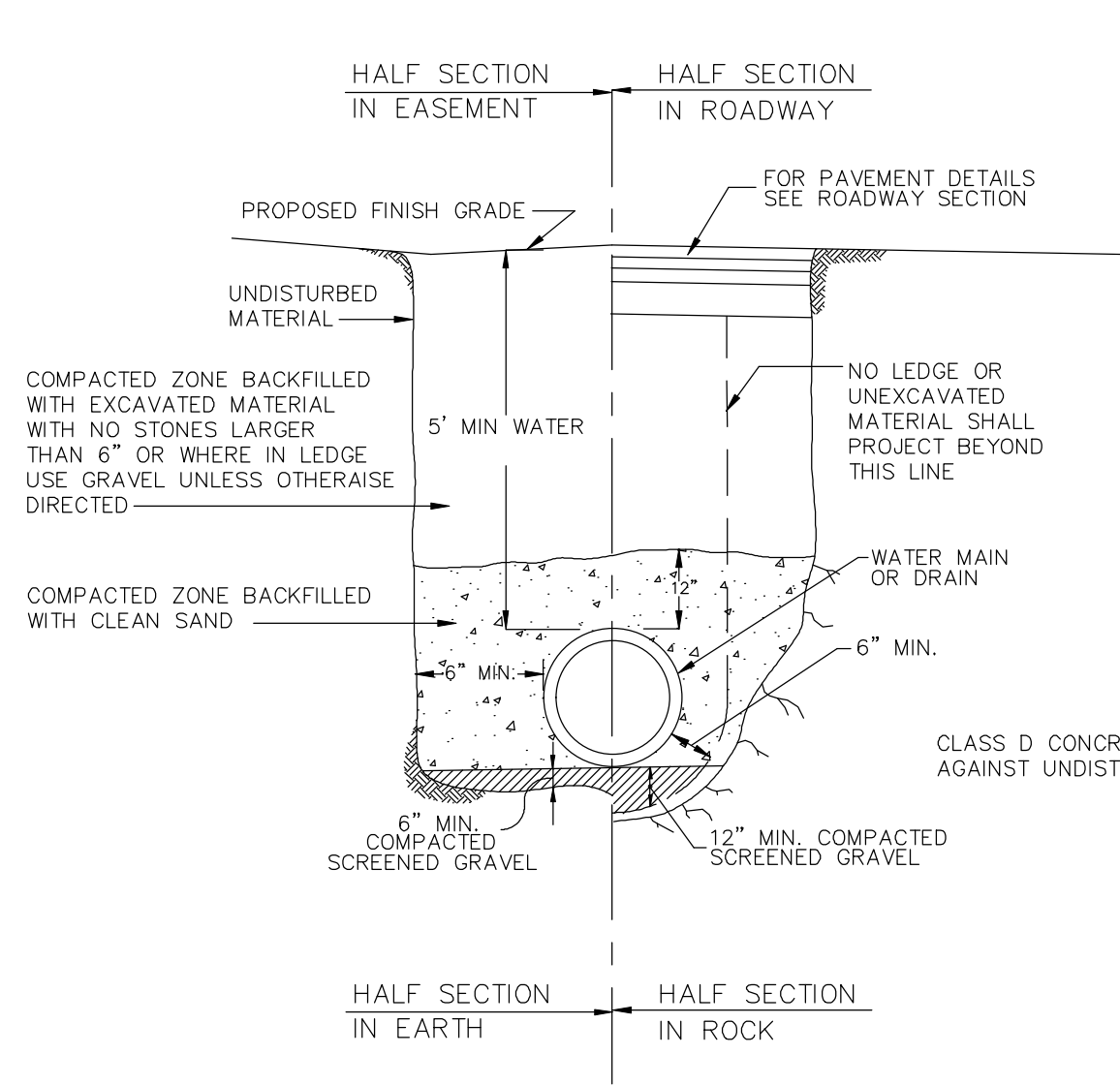
PREPARED By: RONALD TIBERI P.E.
9 MASSACHUSETTS AVE.
NATICK MA 01760

DRAWING SCALE: 1 inch = 20 feet

PROJECT NUMBER: 2616

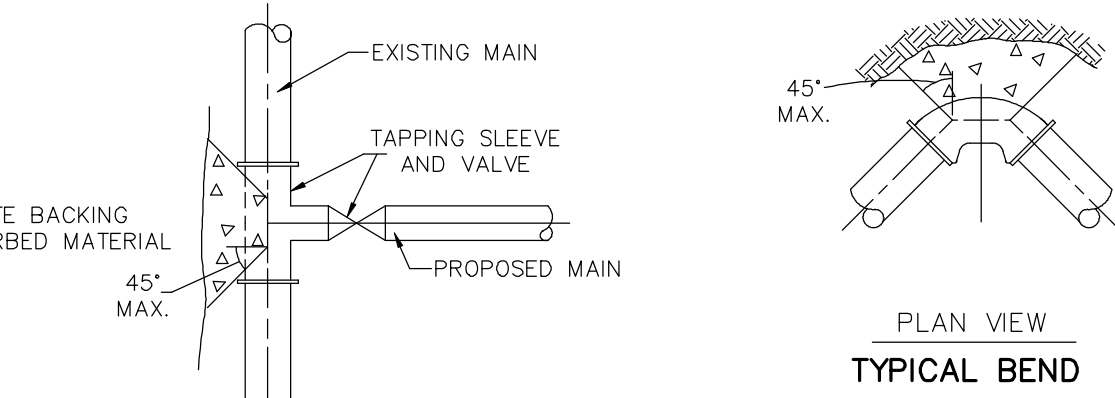
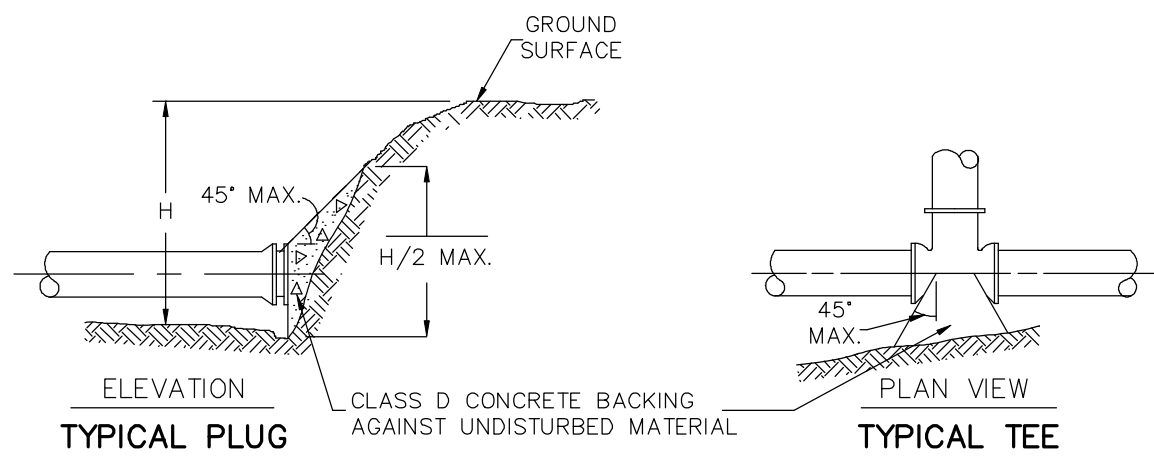
DATE: JAN2.2019

S-7



WATER MAIN TRENCH DETAILS

NOT TO SCALE

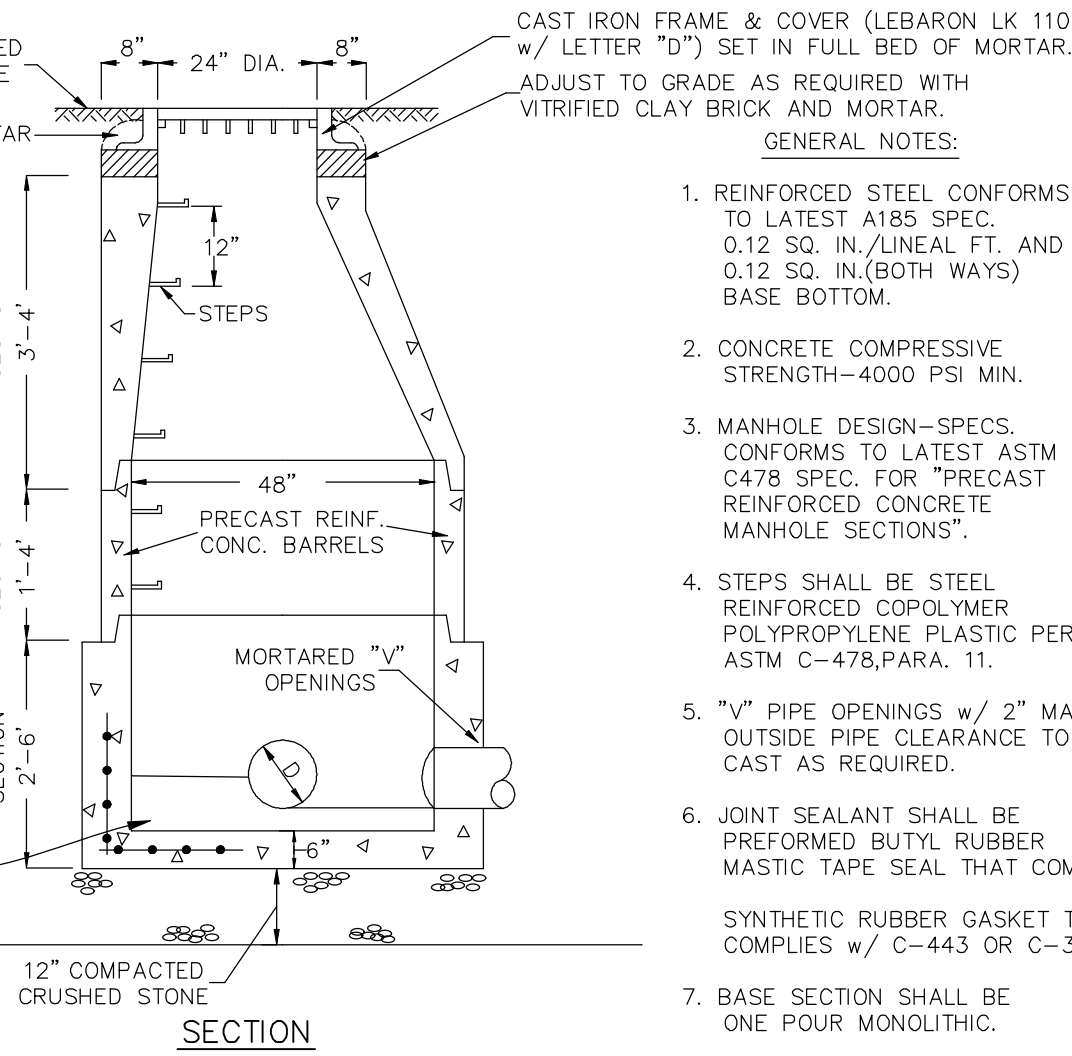
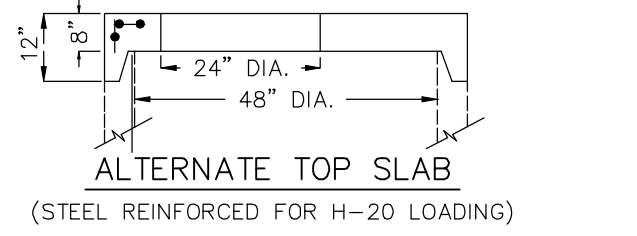


NOTE: CONCRETE FOR THRUST BLOCKS SHALL BE LEANER THAN THE RATIO OF 2-1/2: 5-1/2 AND SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2000 PSI (SO THAT FLANGES AND BOLTS ARE ACCESSIBLE.) BEARING AREAS OF THRUST BLOCKS (BEARING AREA IN SQUARE FEET)

| BEARING AREAS OF THRUST BLOCKS (BEARING AREA IN SQUARE FT.) | | | | |
|--|----------|----------|-----------|-----------|
| PIPE SIZE INCHES | 1/4 BEND | 1/8 BEND | 1/16 BEND | PLUG TEES |
| 6 AND 8 | 8 | 8 | — | 8 |
| 10 AND 12 | 22 | 13 | 8 | 16 |

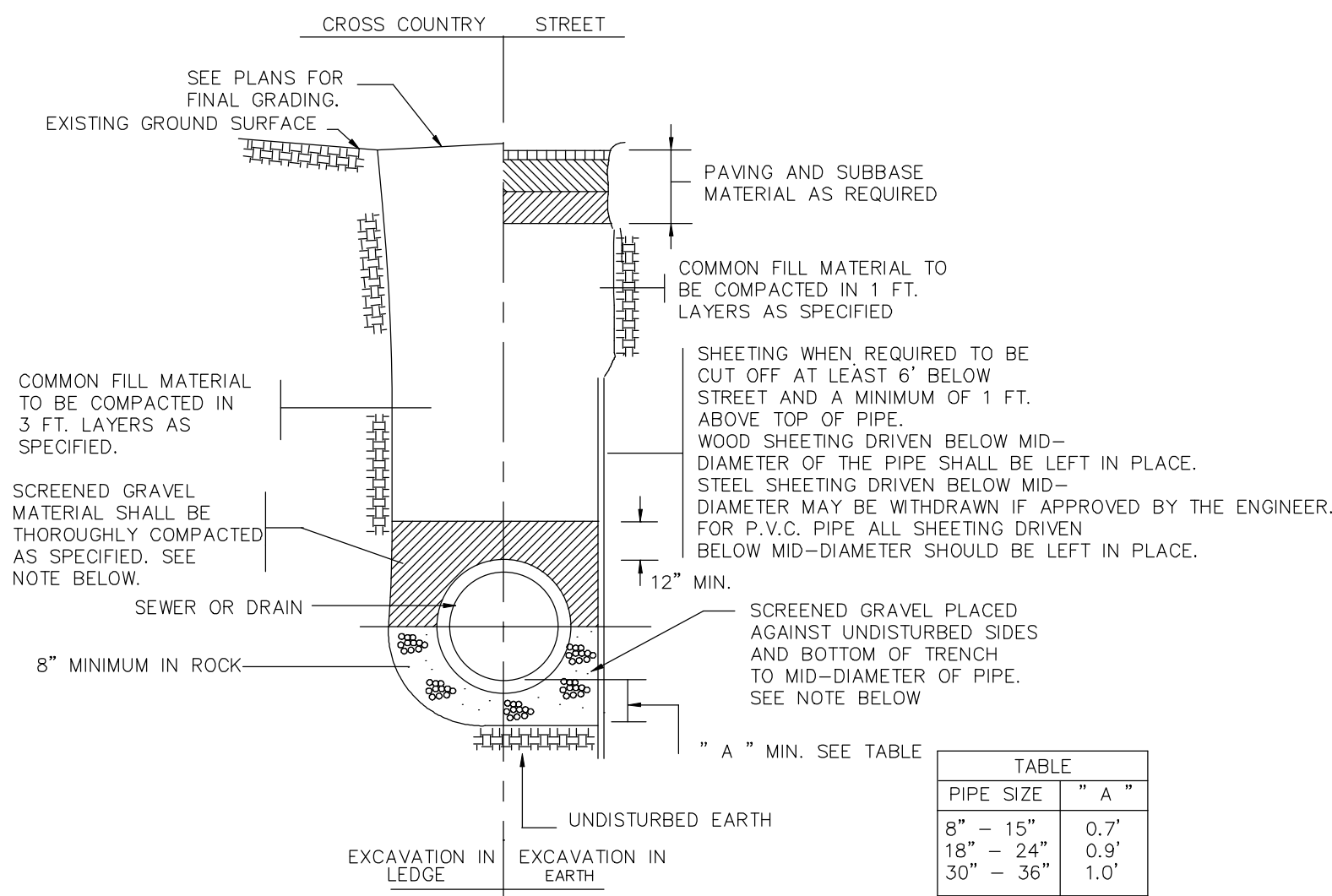
WATER MAIN THRUST BLOCK DETAILS

NOT TO SCALE



48" DIAMETER PRECAST DRAIN MANHOLE (DMH) FOR PIPE DIAMETERS UP TO 24"

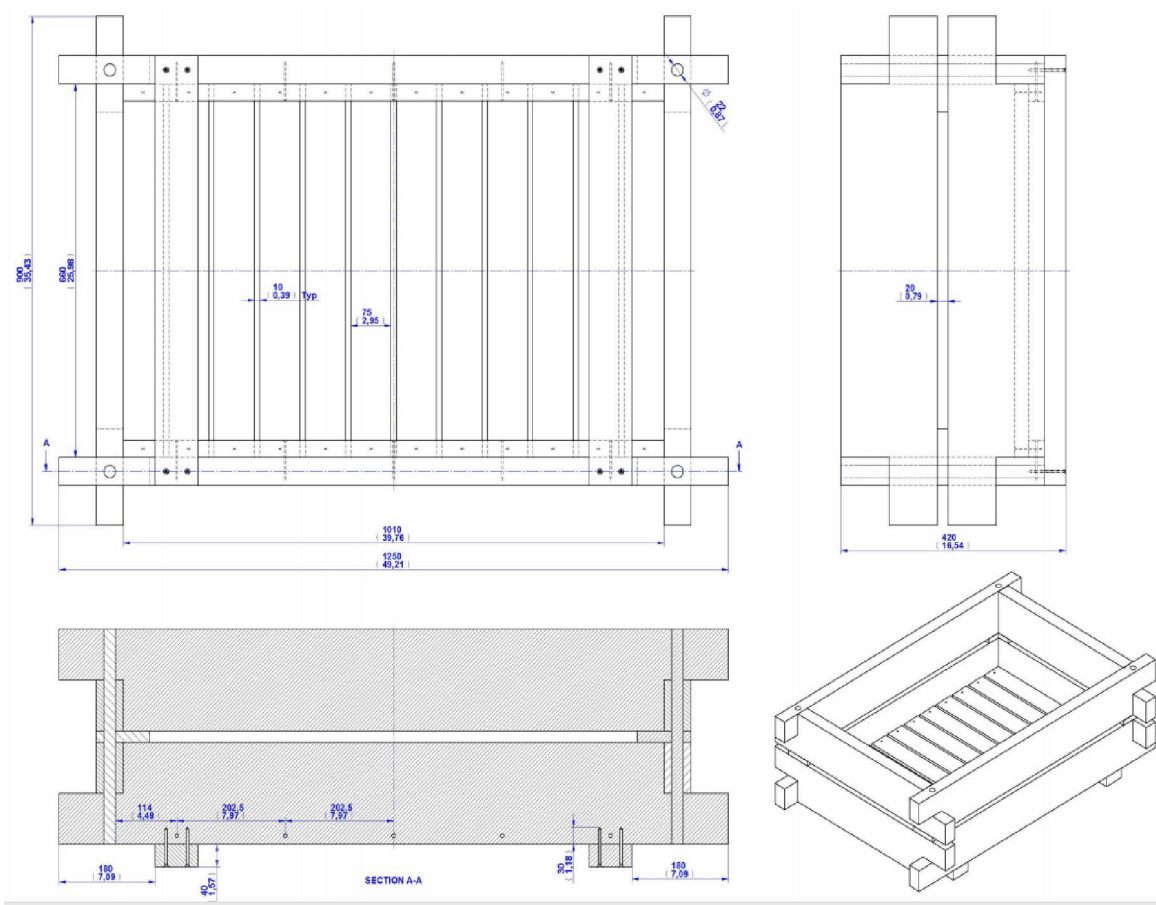
NOT TO SCALE



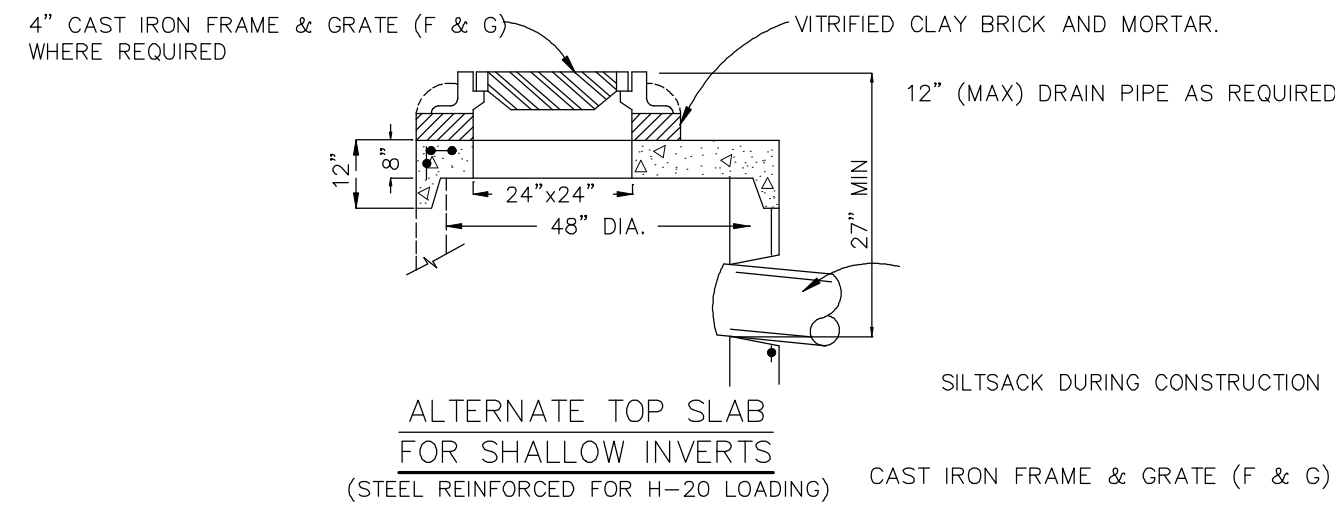
- NOTES :
- FOR P.V.C. PIPE SCREENED GRAVEL TO EXTEND TO 12" ABOVE TOP OF PIPE.
 - PROVIDE AT LEAST ONE DAM IN GRAVEL BEDDING BETWEEN EACH MANHOLE WHERE DIRECTED OR EVERY 300 FT. WHICHEVER IS LESS.

TYPICAL TRENCH DETAIL FOR SEWER & DRAIN

NOT TO SCALE

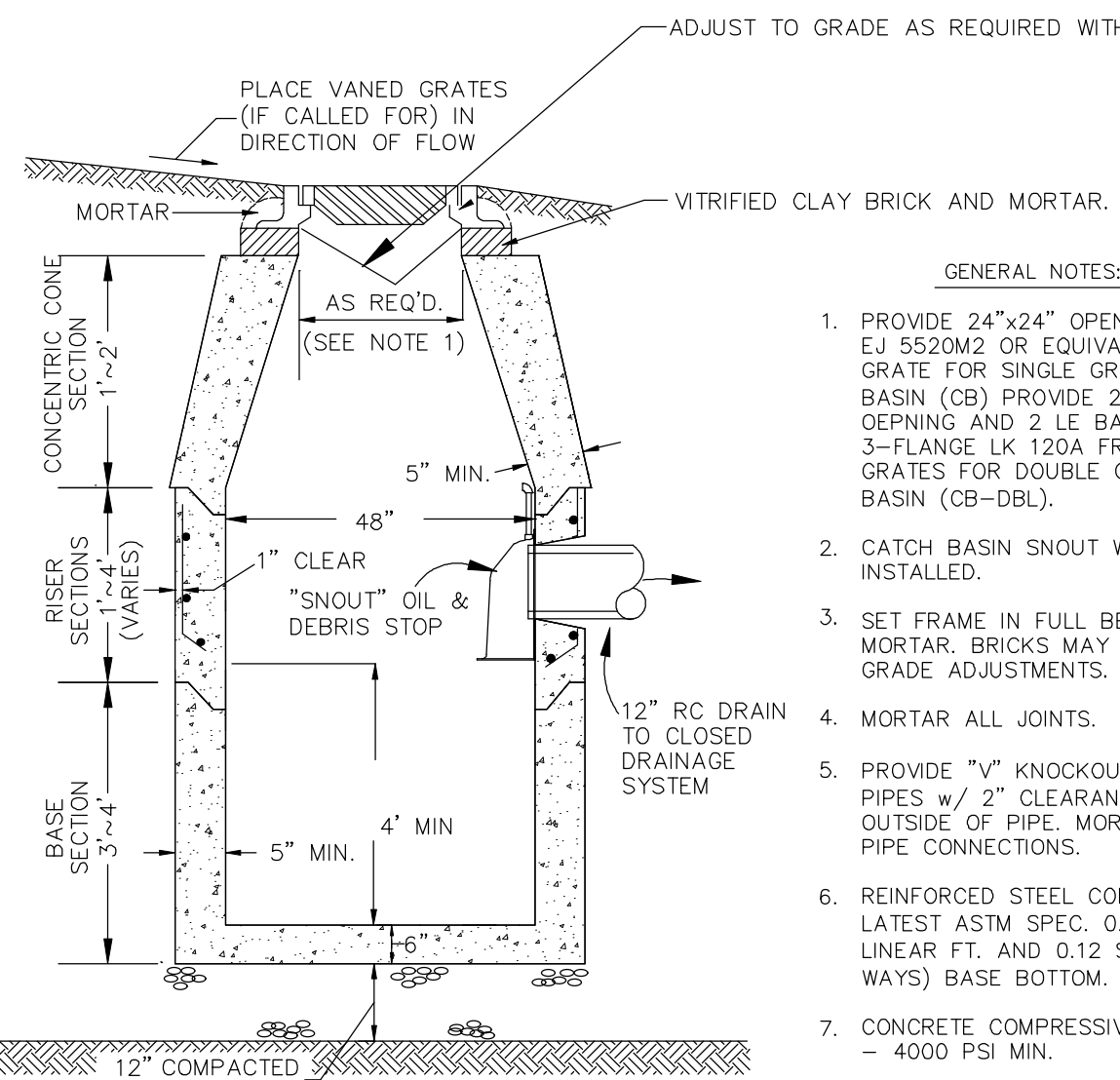


PLANTER BOX DETAIL



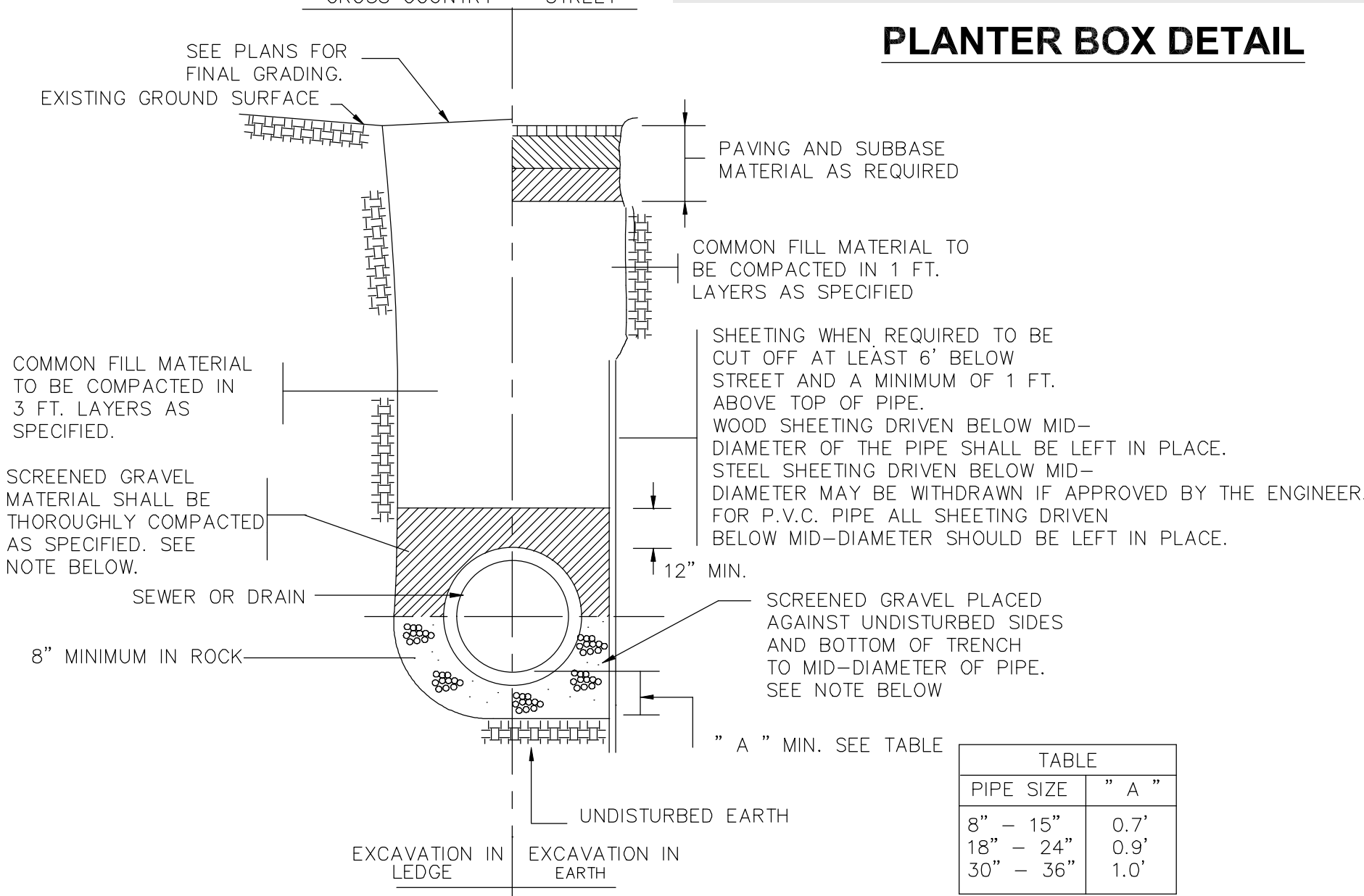
ALTERNATE TOP SLAB FOR SHALLOW INVERTS

(STEEL REINFORCED FOR H-20 LOADING)



CATCH BASIN (CB) & DOUBLE GRATE CATCH BASIN (CB-DBL)

NOT TO SCALE

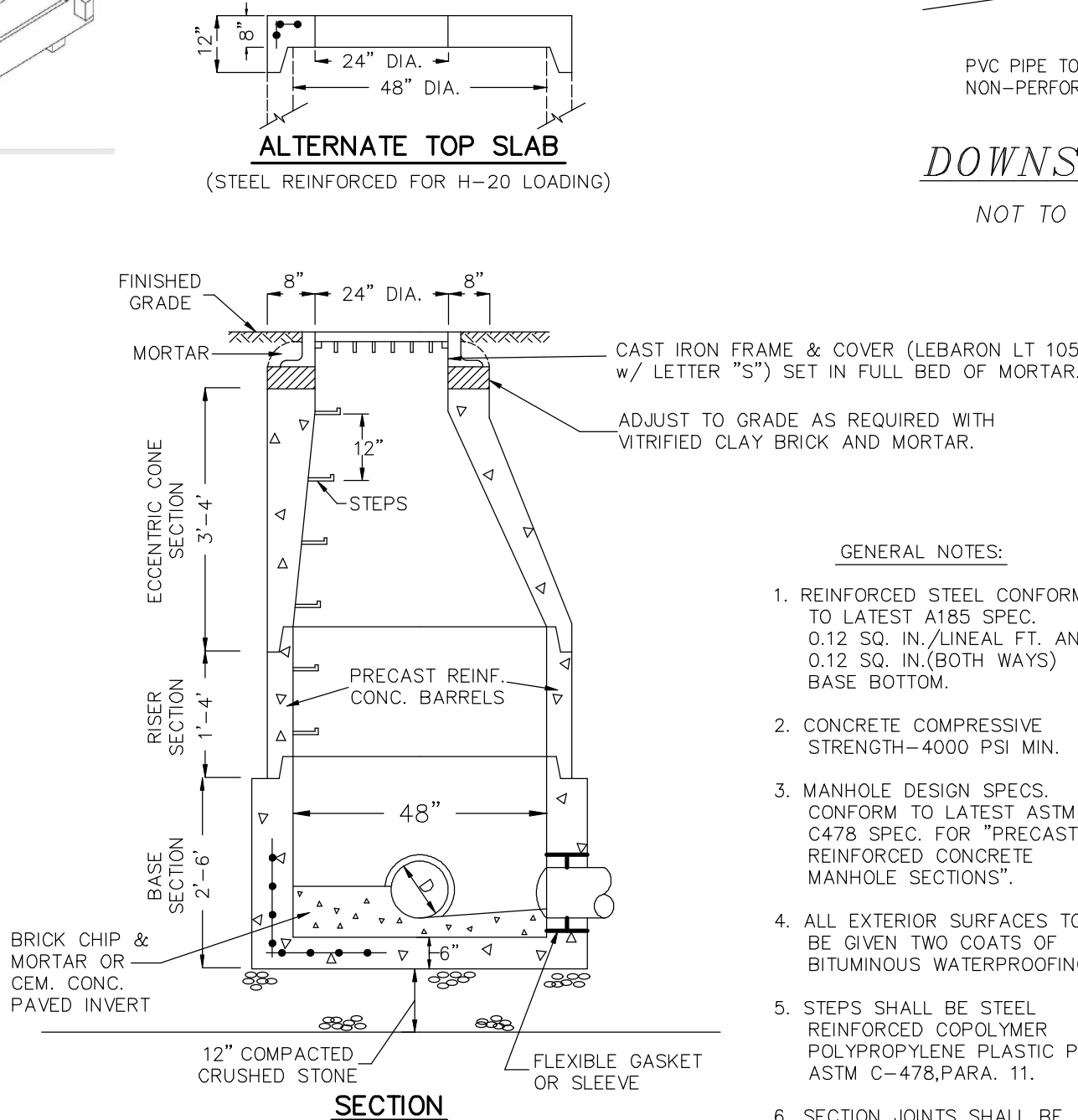


NOTES :

- FOR P.V.C. PIPE SCREENED GRAVEL TO EXTEND TO 12" ABOVE TOP OF PIPE.
- PROVIDE AT LEAST ONE DAM IN GRAVEL BEDDING BETWEEN EACH MANHOLE WHERE DIRECTED OR EVERY 300 FT. WHICHEVER IS LESS.

TYPICAL TRENCH DETAIL FOR SEWER & DRAIN

NOT TO SCALE



SANITARY SEWER MANHOLE (SMH)

NOT TO SCALE

FOR REGISTRY USE

I CERTIFY THAT THIS PLAN HAS BEEN PERPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

DATE: _____ RONALD TIBERI P.E.

APPROVED BY PLANNING BOARD

DATE: _____

| REVISIONS | | |
|-----------|----------|-----------------------------|
| No. | DATE | DESCRIPTION |
| 1. | 11-24-19 | TOWN COMMENTS |
| 2. | 12-3-19 | TOWN COMMENTS |
| 3. | 2-6-20 | TOWN & PEER REVIEW COMMENTS |

DETAILS

IN
MEDWAY, MASSACHUSETTS

EVERGREEN VILLAGE 22 EVERGREEN STREET

PREPARED FOR: **SAMPSON POND LLC**
P.O. Box 5
MEDWAY MA 02053

PREPARED By: **RONALD TIBERI P.E.**
9 MASSACHUSETTS AVE.
NATICK MA 01760

DRAWING SCALE: 1 inch = 20 feet

PROJECT NUMBER: 2616

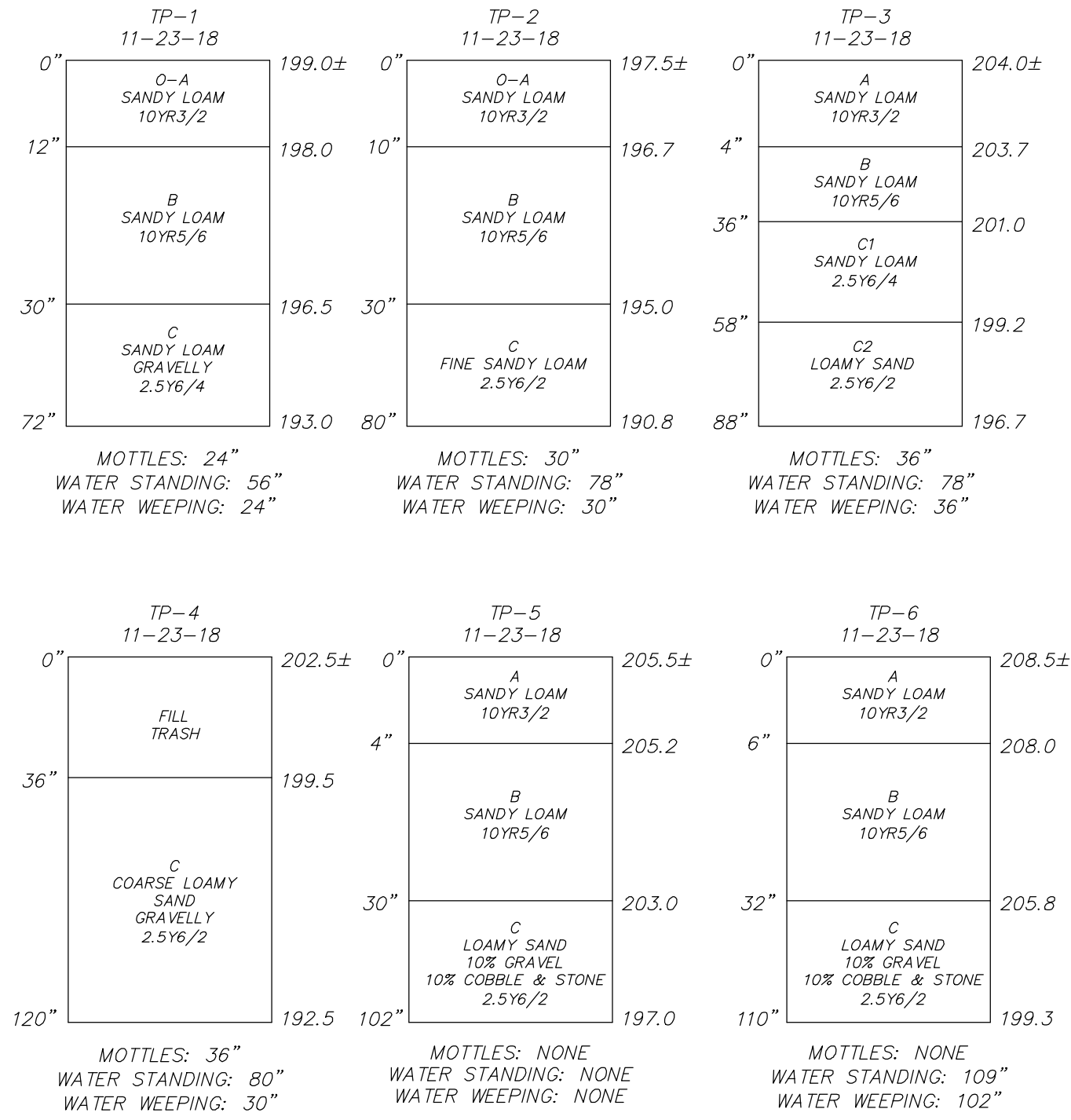
DATE: SEPT 2.2019

SITE: 22 EVERGREEN STREET, MEDWAY, MA
COMMENTS:

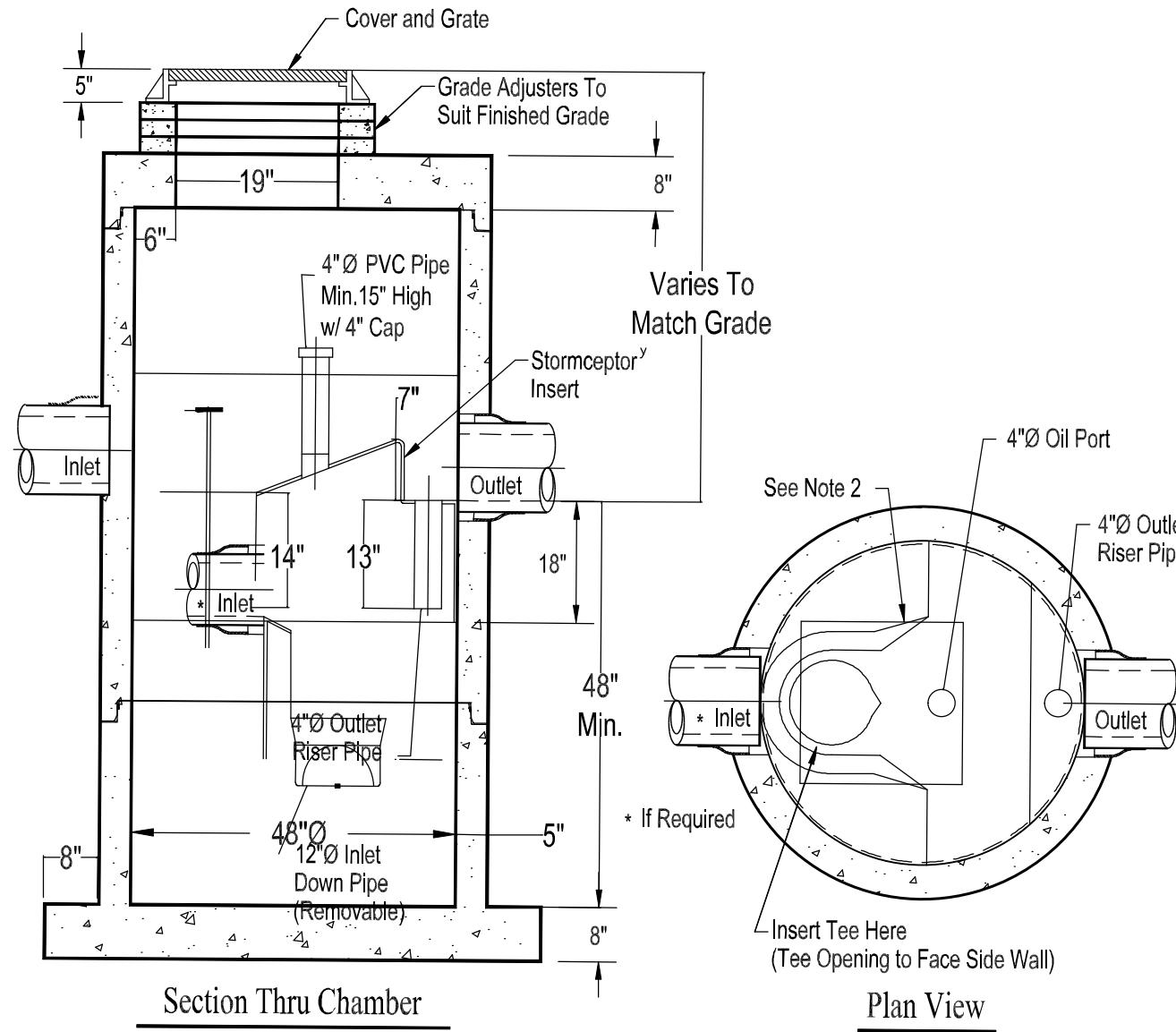
RECENT HEAVY RAIN, WET
CONDITIONS, SATURATED SOIL.

SOIL EVALUATIONS PERFORMED BY MASSACHUSETTS
CERTIFIED DEP SOIL EVALUATOR ON NOV. 23, 2018.

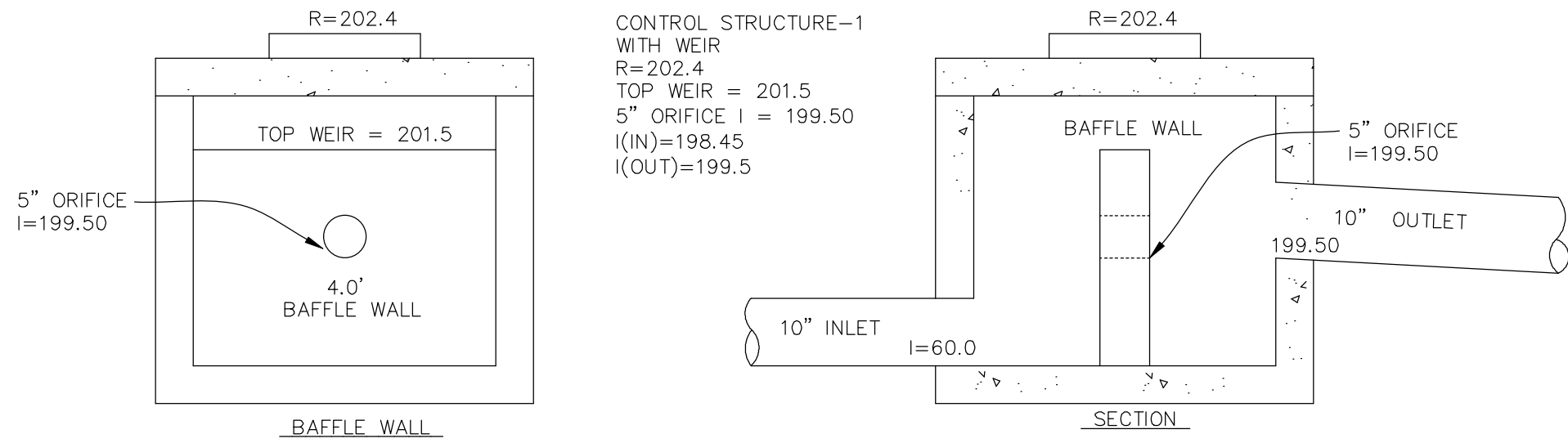
Gregory A. Bynavicz
GREGORY A. BYNAVICZ, SE-2712



STC 450i Precast Concrete Stormceptor (450 U.S. Gallon Capacity)



- Notes:
1. The Use Of Flexible Connection is Recommended at The Inlet and Outlet Where Applicable.
 2. The Cover Should be Positioned Over The Inlet Drop Pipe and The Oil Port.
 3. The Stormceptor System is protected by one or more of the following U.S. Patents: #4985148, #5498331, #5725760, #5753115, #5849181, #6068765, #6371690.



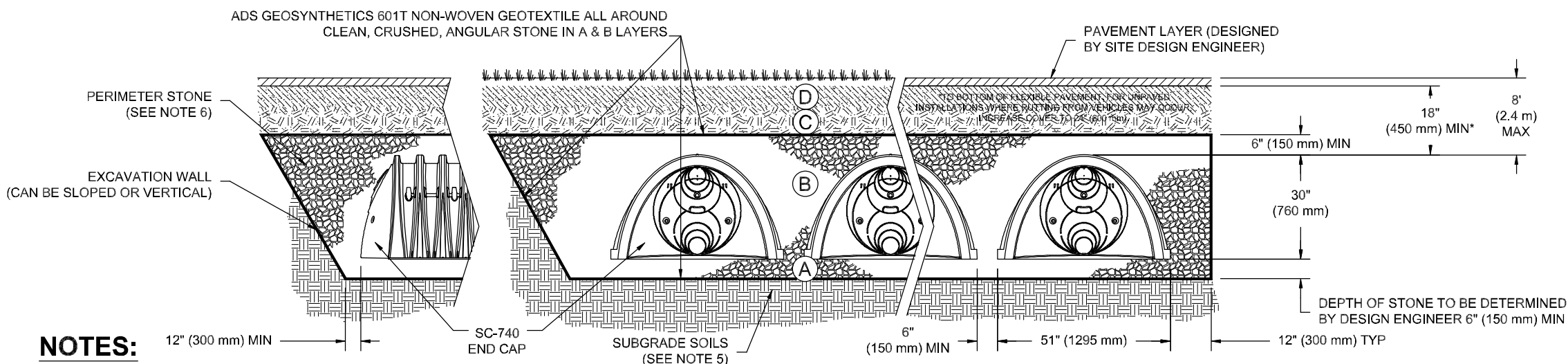
CONTROL STRUCTURE-1

NOT TO SCALE

ACCEPTABLE FILL MATERIALS: STORMTECH SC-740 CHAMBER SYSTEMS

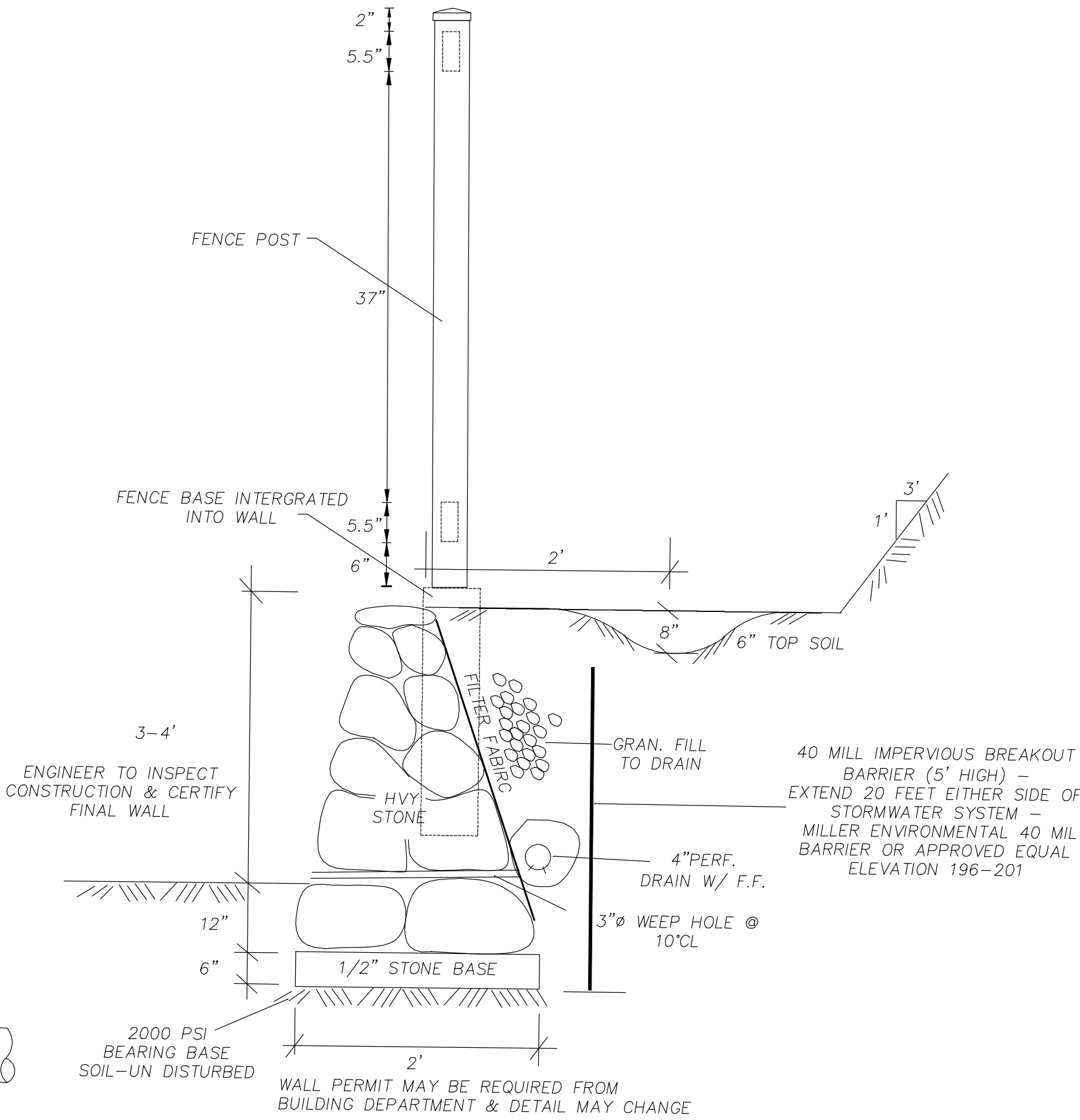
| MATERIAL LOCATION | DESCRIPTION | AASHTO MATERIAL CLASSIFICATIONS | COMPACTION / DENSITY REQUIREMENT |
|-------------------|---|---|--|
| D | FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER. | N/A | PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS. |
| C | INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 18" (450 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER. | AASHTO M145 ¹ A-1, A-2-4, A-3 OR AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10 | BEGIN COMPACTIONS AFTER 12" (300 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 6" (150 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 lbs (53 kN). DYNAMIC FORCE NOT TO EXCEED 20,000 lbs (89 kN). |
| B | EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE. | AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57 | NO COMPACTION REQUIRED. |
| A | FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER. | AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57 | PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. ¹ |

- PLEASE NOTE:
1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
 2. STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 6" (150 mm) (MAX) LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
 3. WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.

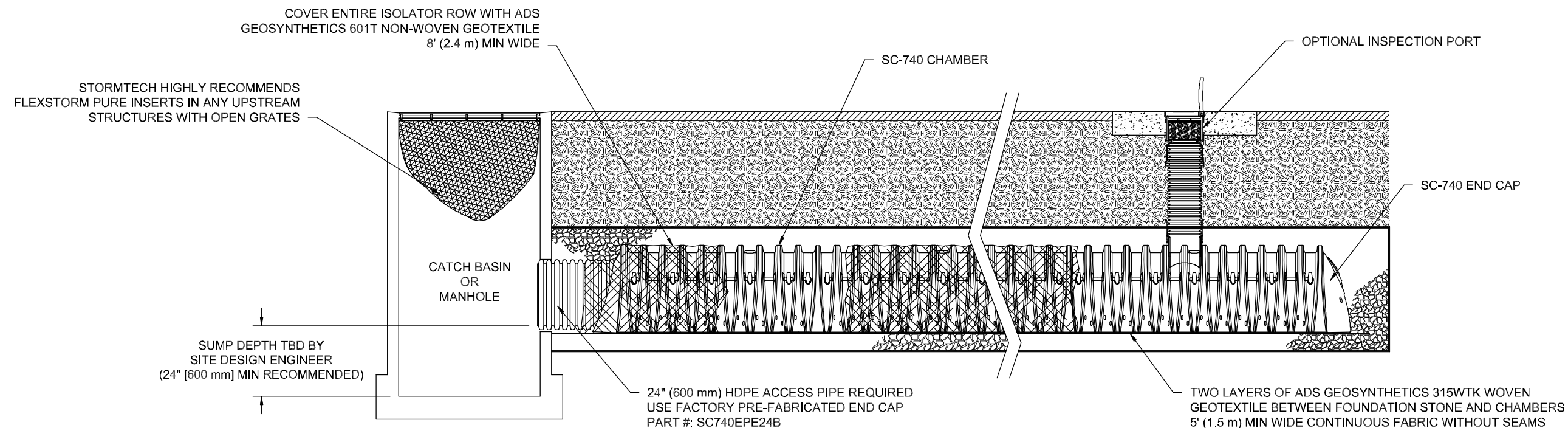


- NOTES:
1. SC-740 CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2418 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS", OR ASTM F2922 "STANDARD SPECIFICATION FOR POLYETHYLENE (PE) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
 2. SC-740 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
 3. "ACCEPTABLE FILL MATERIALS" TABLE ABOVE PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS FOR FOUNDATION, EMBEDMENT, AND FILL MATERIALS.
 4. THE "SITE DESIGN ENGINEER" REFERS TO THE ENGINEER RESPONSIBLE FOR THE DESIGN AND LAYOUT OF THE STORMTECH CHAMBERS FOR THIS PROJECT.
 5. THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
 6. PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
 7. ONCE LAYER 'C' IS PLACED, ANY MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.

STORMTECH SC-740 CHAMBER CROSS-SECTION



TYPICAL WALL/SWALE DETAIL



INSPECTION & MAINTENANCE

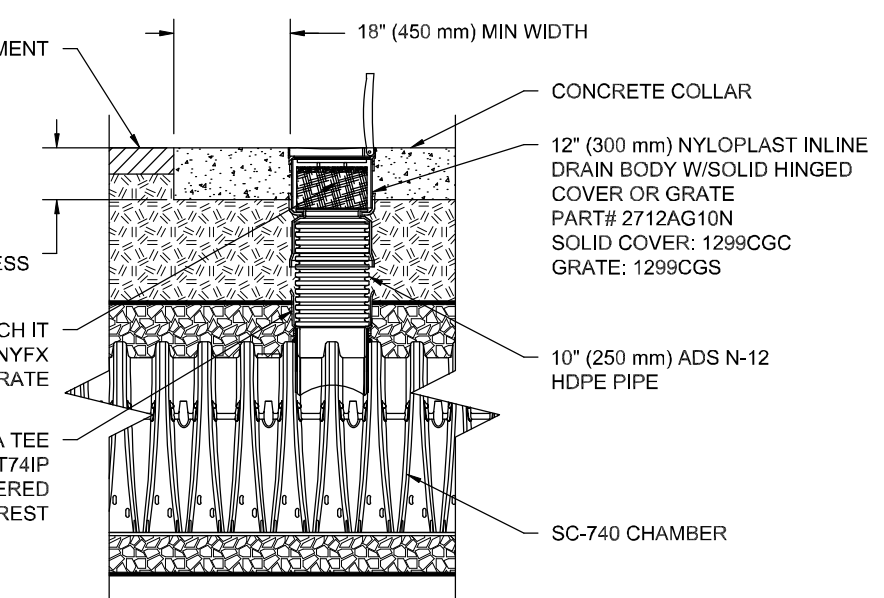
- STEP 1) INSPECT ISOLATOR ROW FOR SEDIMENT
- A.1. INSPECTION PORTS (IF PRESENT)
 - A.2. REMOVE/OPEN LID ON NYLOPLAST INLINE DRAIN
 - A.3. REMOVE AND CLEAN FLEXSTORM FILTER IF INSTALLED
 - A.4. USING A FLASHLIGHT AND STADIA ROD, MEASURE DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG
 - A.5. LOWER A CAMERA INTO ISOLATOR ROW FOR VISUAL INSPECTION OF SEDIMENT LEVELS (OPTIONAL)
 - B. IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
 - B. ALL ISOLATOR ROWS
 - B.1. REMOVE COVER FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW
 - B.2. USING A FLASHLIGHT, INSPECT DOWN THE ISOLATOR ROW THROUGH OUTLET PIPE
 - B.3. IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
- STEP 2) CLEAN OUT ISOLATOR ROW USING THE JETVAC PROCESS
- A. A TIMED CULVERT CLEANING NOZZLE WITH REAR FACING SPREAD OF 45° (1.1 m) OR MORE IS PREFERRED
 - B. APPLY MULTIPLE PASSES OF JETVAC UNTIL BACKFLUSH WATER IS CLEAN
 - C. VACUUM STRUCTURE SUMP AS REQUIRED
- STEP 3) REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS; RECORD OBSERVATIONS AND ACTIONS.
- STEP 4) INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.

NOTES

1. INSPECT EVERY 6 MONTHS DURING THE FIRST YEAR OF OPERATION. ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER ELEVATIONS.
2. CONDUCT JETTING AND VACTORING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.

SC-740 ISOLATOR ROW DETAIL

NTS



SC-740 INSPECTION PORT DETAIL

NTS

FOR REGISTRY USE

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH
THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE
COMMONWEALTH OF MASSACHUSETTS.

DATE: _____ RONALD TIBERI P.E. _____

APPROVED BY PLANNING BOARD

DATE: _____

REVISIONS

| No. | DATE | DESCRIPTION |
|-----|----------|-----------------------------|
| 1. | 11-24-19 | TOWN COMMENTS |
| 2. | 12-3-19 | TOWN COMMENTS |
| 3. | 2-6-20 | TOWN & PEER REVIEW COMMENTS |

DETAILS

IN
MEDWAY, MASSACHUSETTS

EVERGREEN VILLAGE 22 EVERGREEN STREET

PREPARED FOR: SAMPSON POND LLC
P.O. Box 5
MEDWAY MA 02053

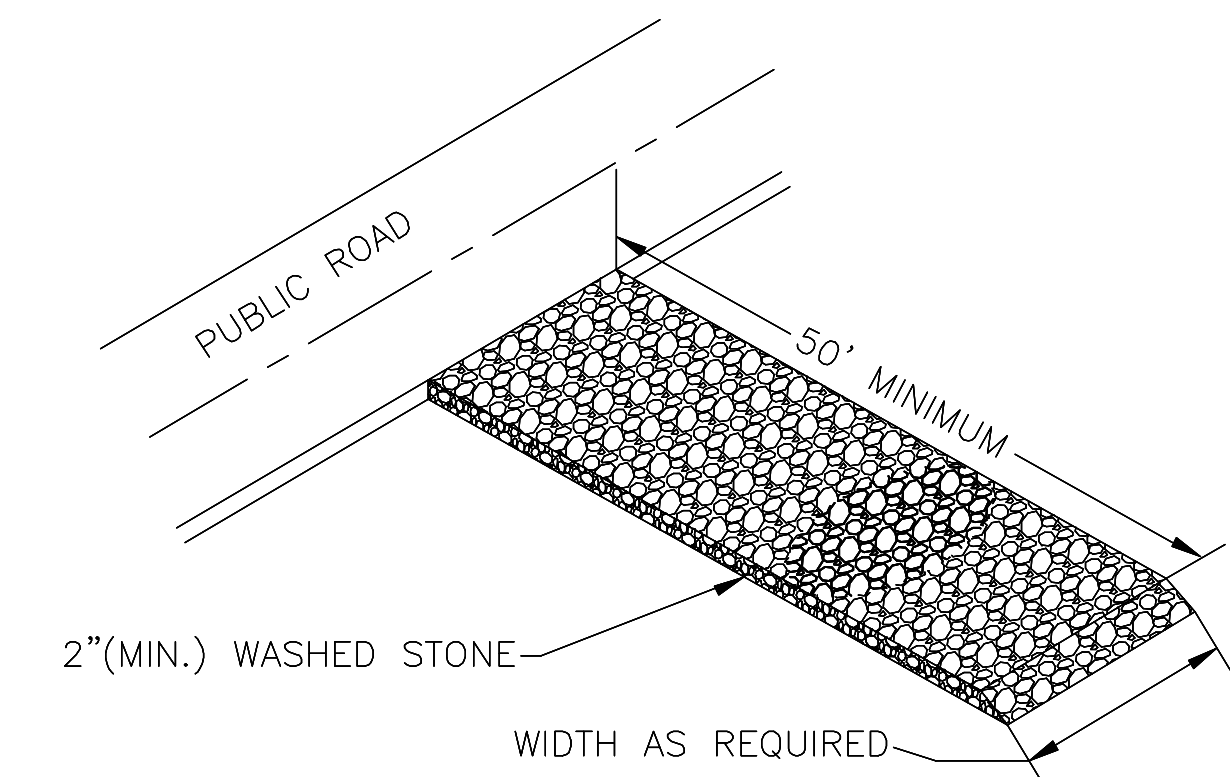
PREPARED By: RONALD TIBERI P.E.
9 MASSACHUSETTS AVE.
NATICK MA 01760

DRAWING SCALE: 1 inch = 20 feet

PROJECT NUMBER: 2616

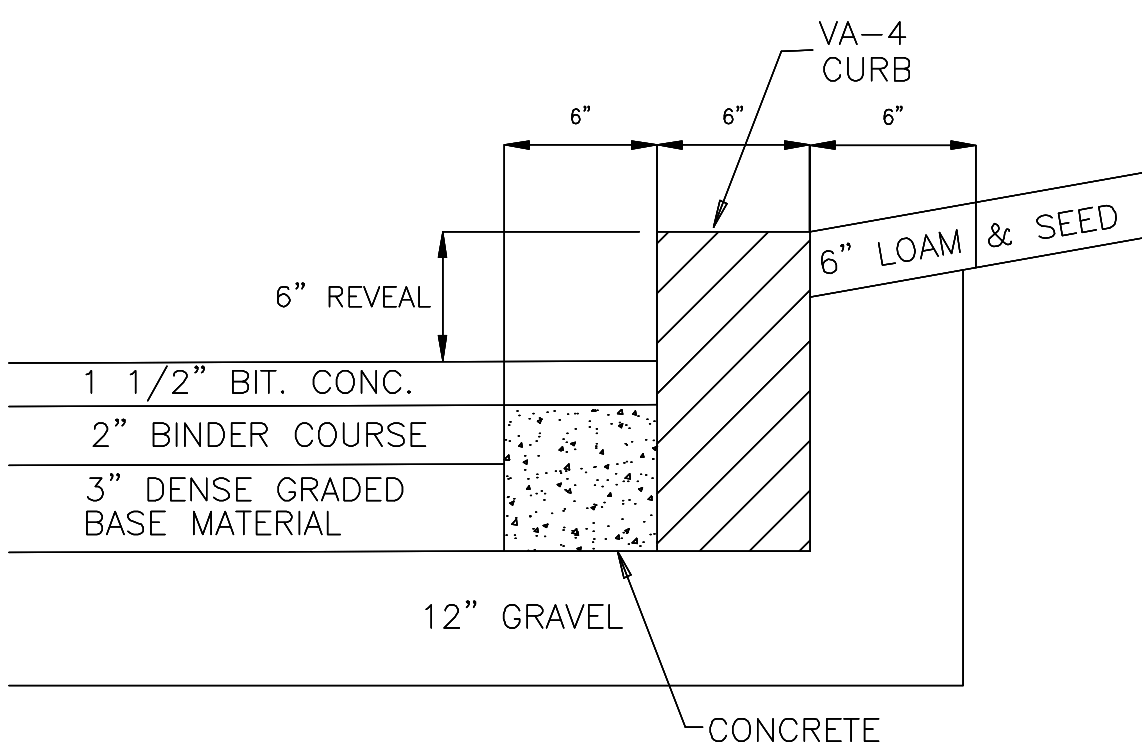
DATE: SEPT 2.2019

D-2



CONSTRUCTION ENTRANCE DETAIL

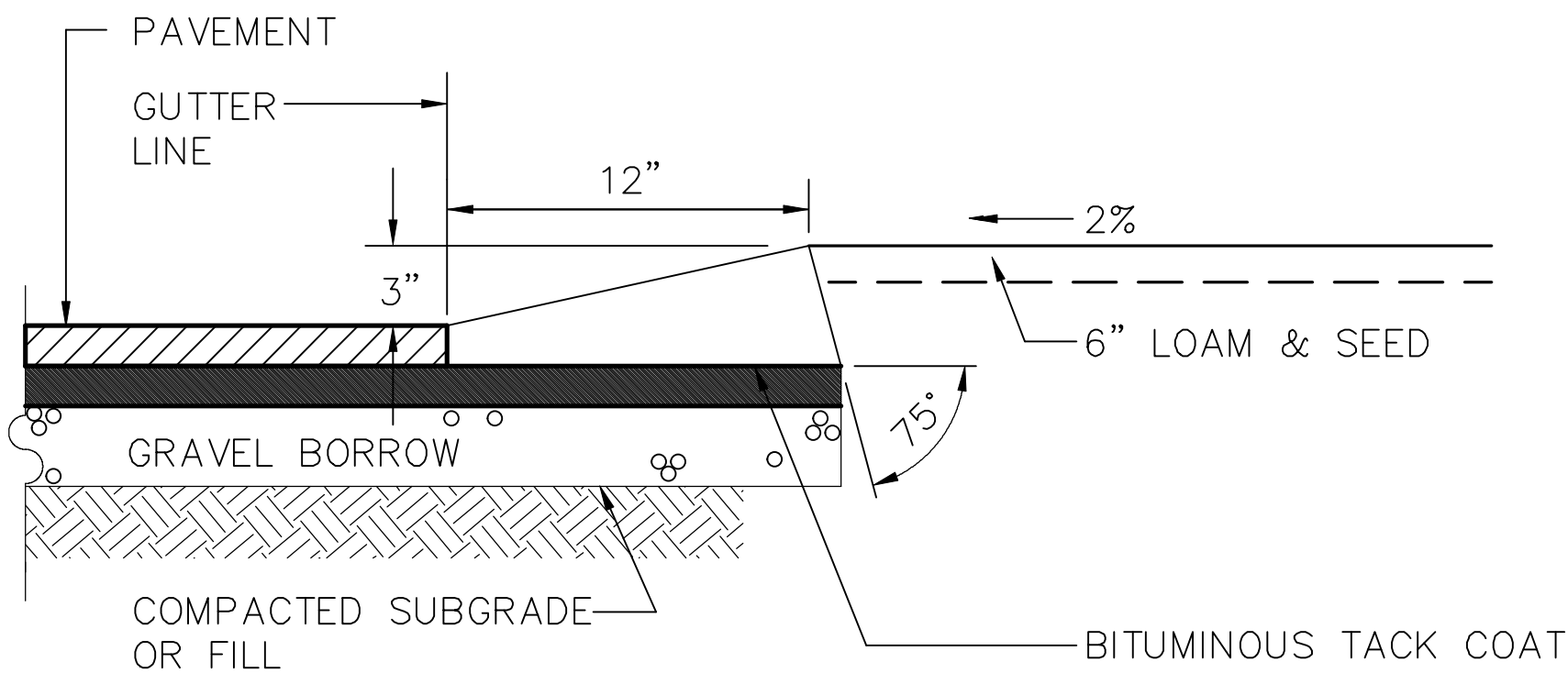
NOT TO SCALE



NOTE:
1. PLACE GRAVEL PRIOR TO SETTING OF EDGING.

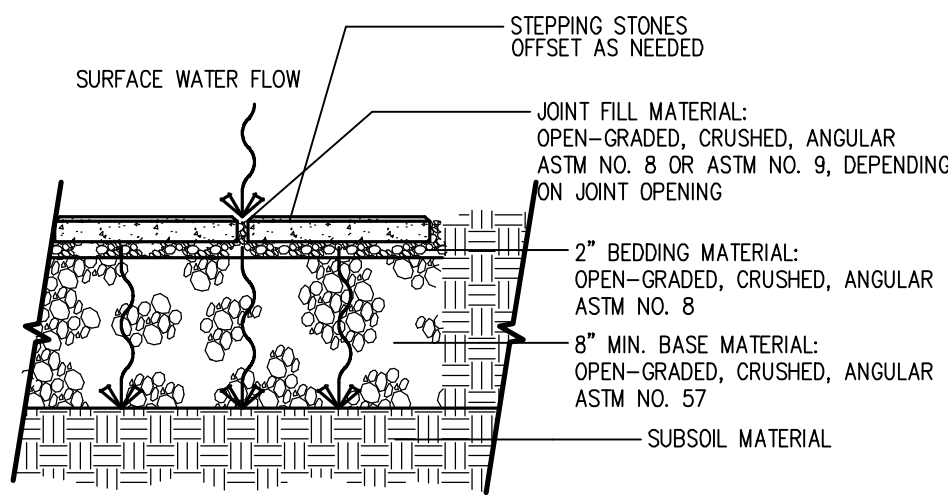
VERTICAL GRANITE CURB DETAIL

NOT TO SCALE



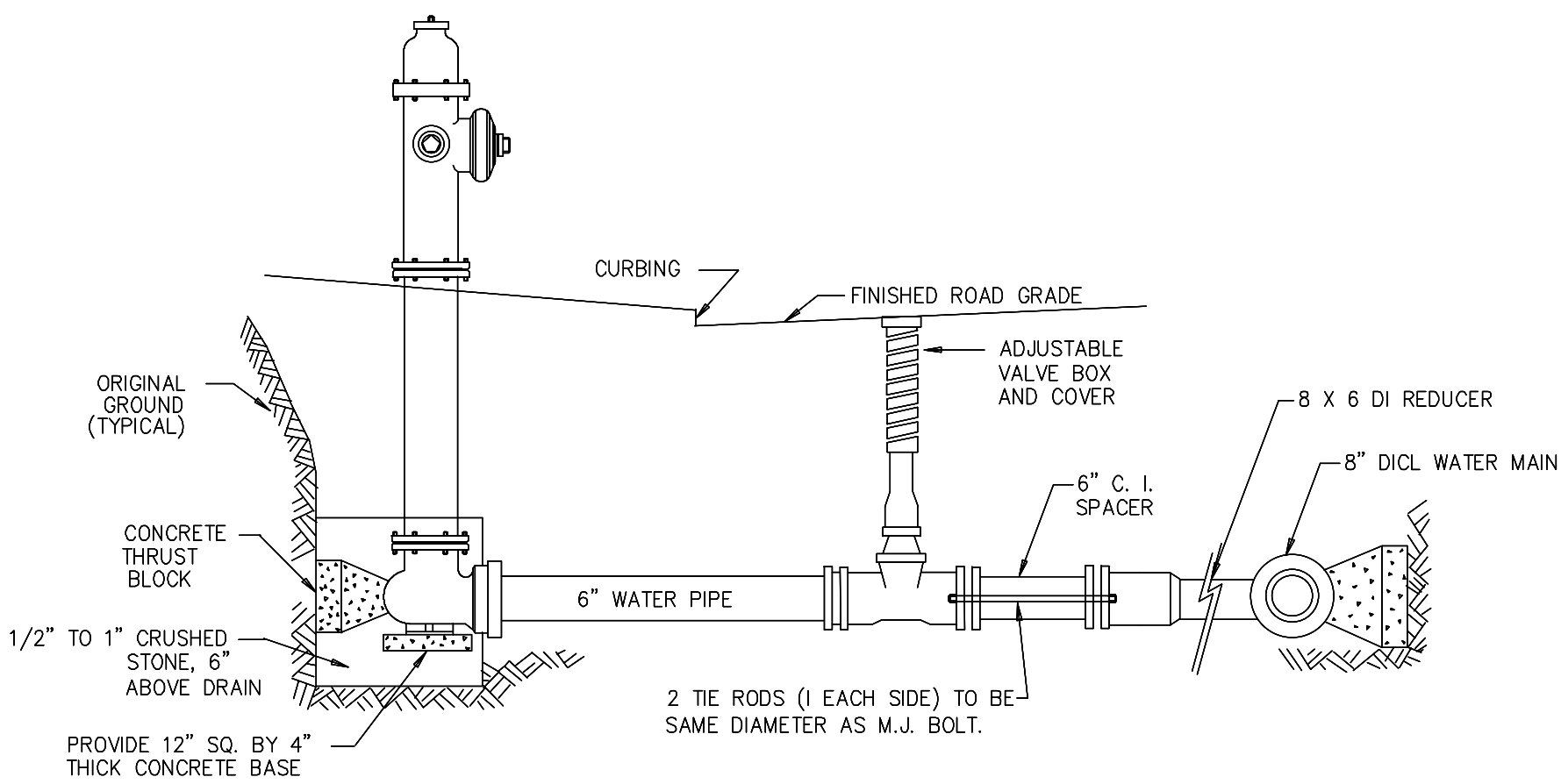
CAPE COD BERM DETAIL

NOT TO SCALE



GARDEN PATH DETAIL

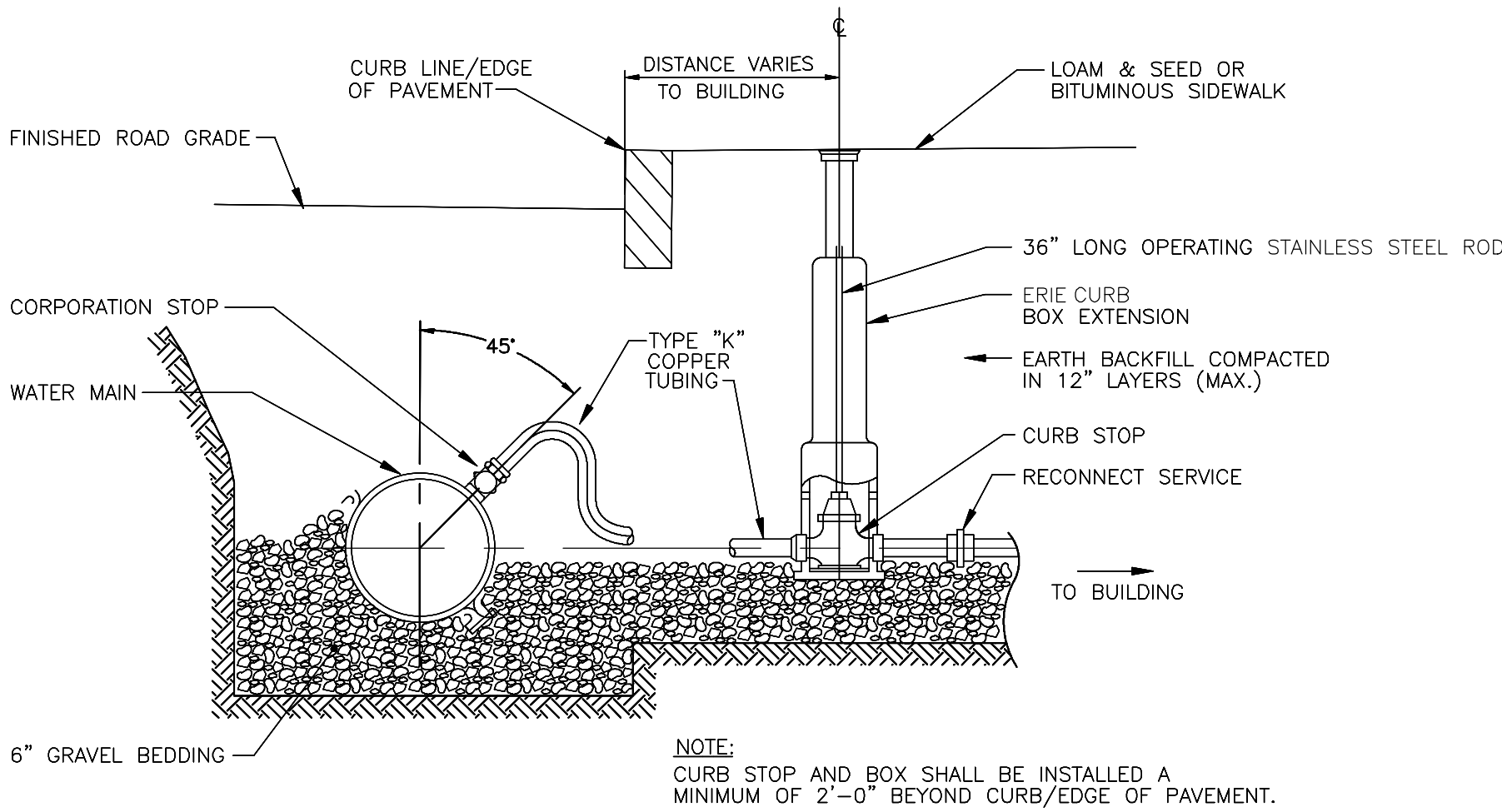
NOT TO SCALE



TYPICAL HYDRANT INSTALLATION

(NOT TO SCALE)

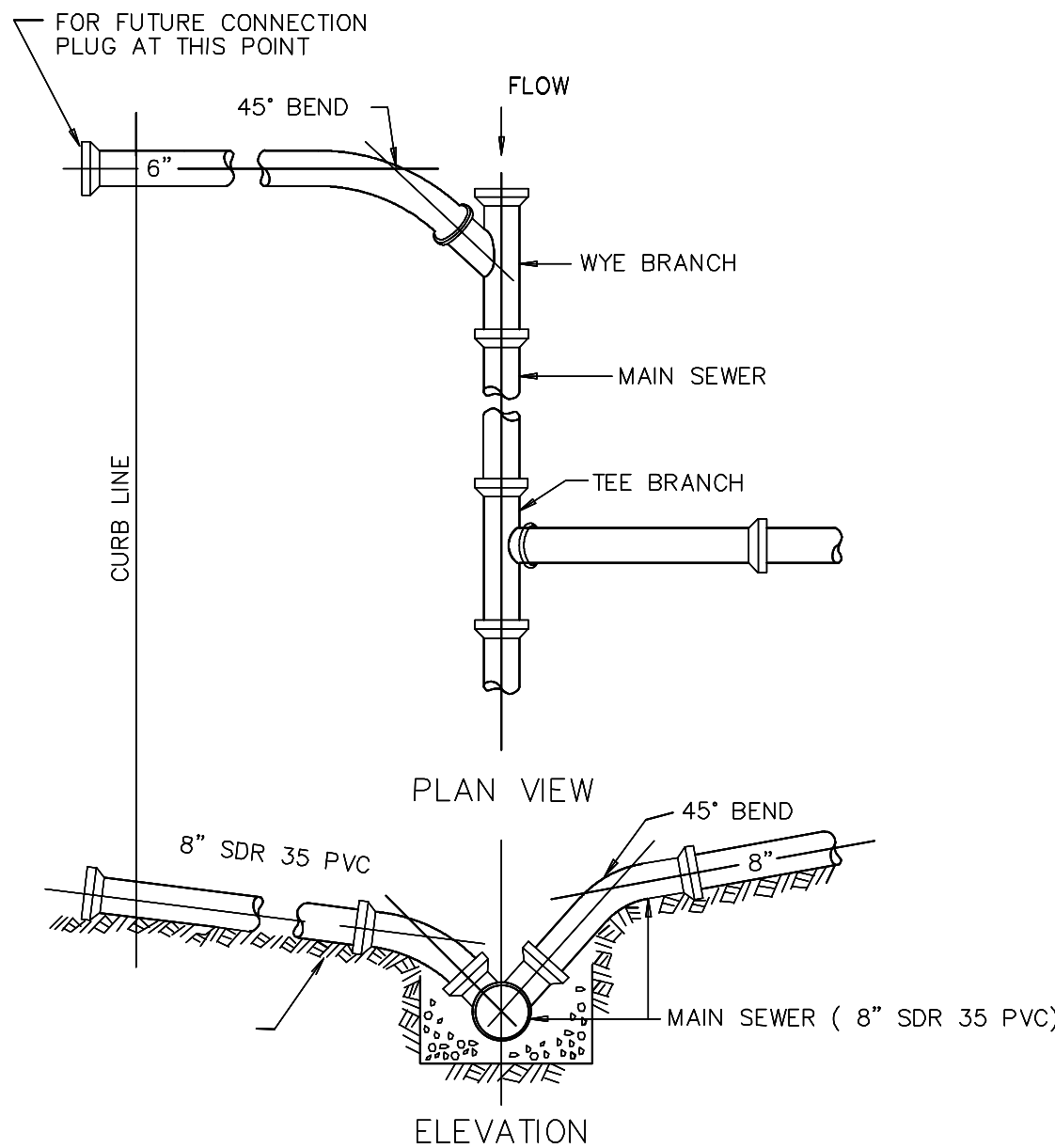
NOTES:
1. ONLY MUELLER, AMERICAN-DARLING B-62-B OR U.S. PIPE METROPOLITAN HYDRANTS CAN BE USED.
2. ALL WATER LINES WILL HAVE MEGA LUG OR EQUAL RESTRAINTS ON ALL UNRESTRAINED JOINTS.
3. TIE RODS TO BE USED IN PLACE OF TRUST BLOCK BLOCKS IN FILL AREAS OR WHERE EXISTING SOIL LACKS SUFFICIENT BEARING STRENGTH.



TYPICAL HOUSE SERVICE CONNECTION

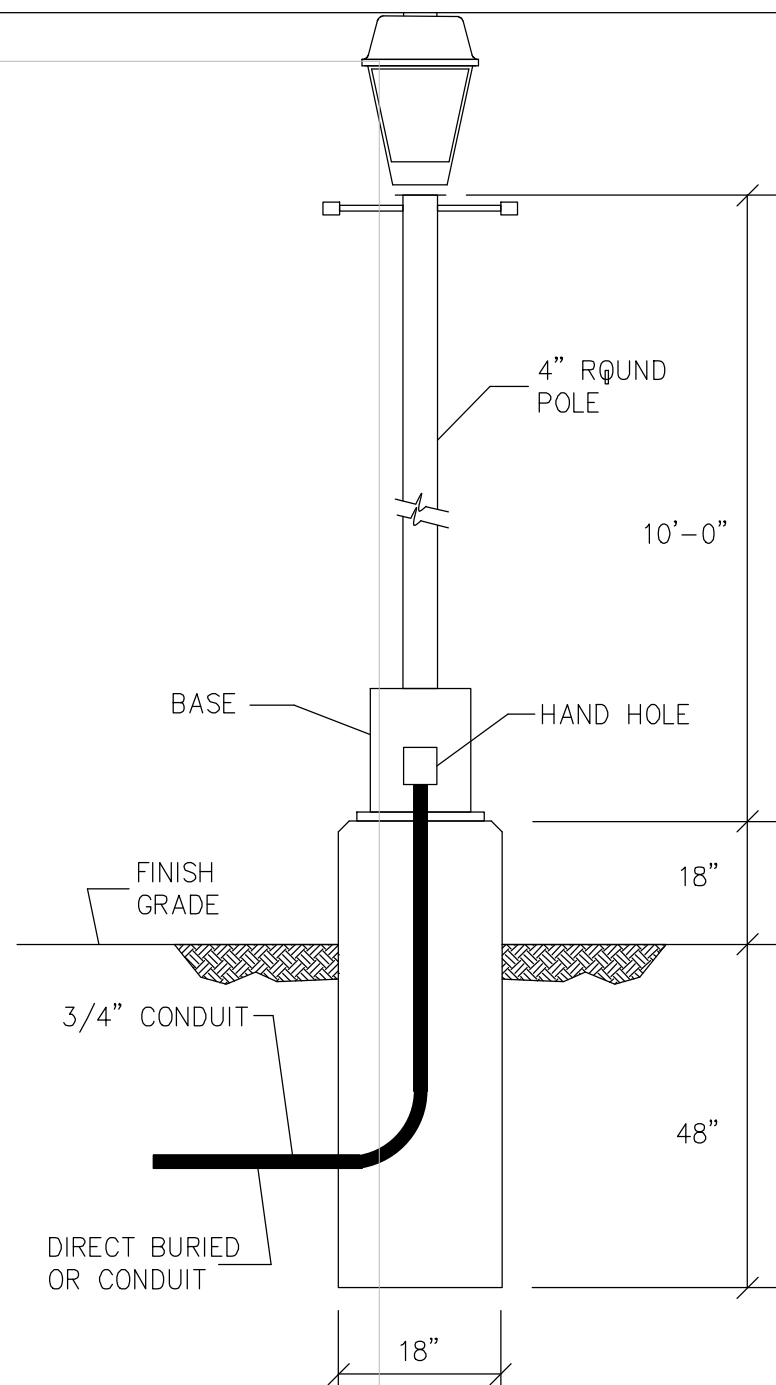
(NOT TO SCALE)

NOTE:
1. ALL SERVICE CONNECTION FITTINGS SHALL BE BY THE MUELLER COMPANY.
2. ALL WORK AND MATERIALS SHALL CONFORM TO STANDARDS AND SPECIFICATIONS OF THE TOWN OF MEDWAY'S DEPARTMENT OF PUBLIC WORKS.



SEWER SERVICE CONNECTION DETAIL

NOT TO SCALE



POLE LAMP (TYP)

N.T.S.

| TYPE | MOUNT | VOLT | LAMP | CATALOG # | MANUFACTURER |
|------|-------|------|------|-----------|--------------|
| II | POLE | 120 | 39W | 20LEDE10 | VALIANT |

I CERTIFY THAT THIS PLAN HAS BEEN PERPAIED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

DATE

RONALD TIBERI P.E.

FOR REGISTRY USE

| REVISIONS | | |
|-----------|------|-------------|
| No. | DATE | DESCRIPTION |
| | | |
| | | |
| | | |

SITE DETAILS

EVERGREEN VILLAGE 22 EVERGREEN STREET

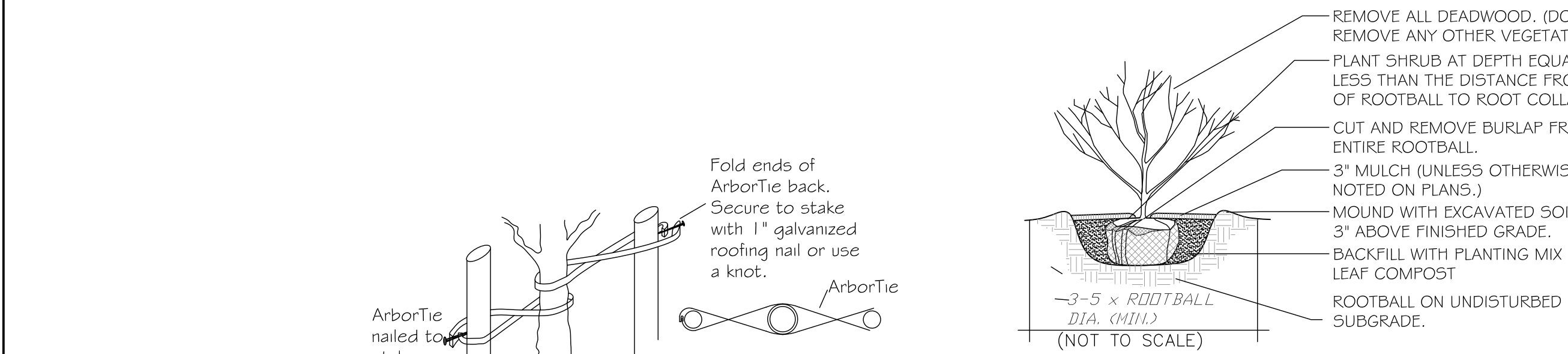
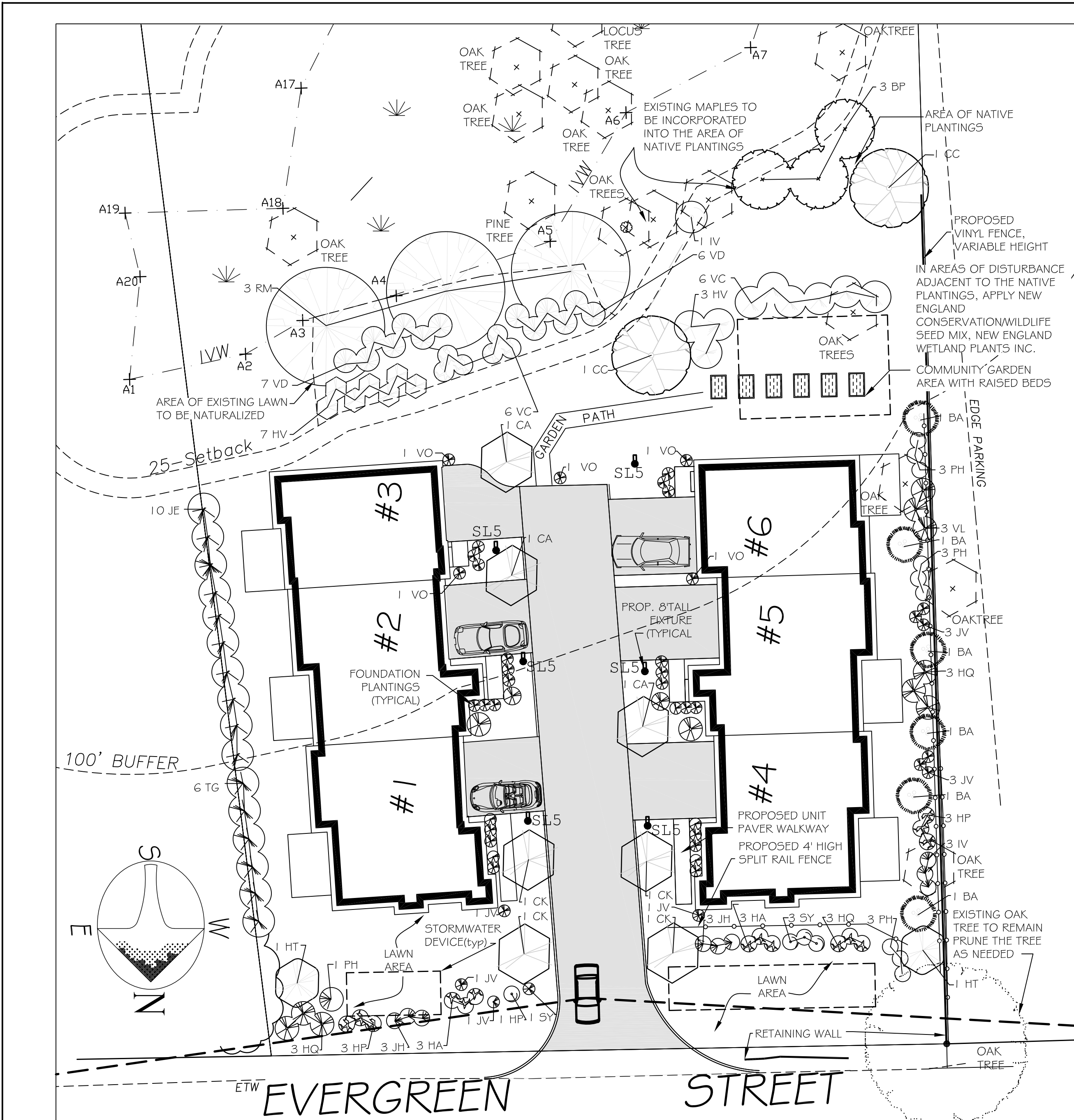
PREPARED FOR:
SAMPSON POND LLC
P.O. Box 5
MEDWAY MA 02053

PREPARED By:
RONALD TIBERI P.E.
9 MASSACHUSETTS AVE.
NATICK MA 01760

DRAWING SCALE: 1 inch = 20 feet

PROJECT NUMBER: 2616

DATE: NOV.2019



PLANT SCHEDULE - RECOMMENDED FOUNDATION PLANTINGS FOR BUILDING UNITS OUTSIDE THE 100' WETLAND BUFFER

| | | | |
|--------------------------------|---|---------|-----|
| 'Buzz Midnight' Butterfly Bush | <i>Buddleia davidii</i> 'Buzz Midnight' | 36" Ht. | B&B |
| 'Blue Chip' Butterfly Bush | <i>Buddleia davidii</i> 'Blue Chip' | 36" Ht. | B&B |
| 'Dark Knight' Bluebeard | <i>Caryopteris x clandonensis</i> 'Dark Knight' | 36" Ht. | B&B |
| 'Golden Mops' Hinoki Cypress | <i>Chamaecyparis obtusa</i> 'Golden Mops' | 36" Ht. | B&B |
| 'Pearl Glam' Callicarpa | <i>Callicarpa sp.</i> 'Pearl Glam' | 36" Ht. | B&B |
| 'Ivory Halo' Dogwood | <i>Cornus alba</i> 'Ivory halo' | 36" Ht. | B&B |
| 'Gold Splash' Euonymus | <i>Euonymus fortunei</i> 'Gold Splash' | 36" Ht. | B&B |
| 'Lady Stanley' Rose of Sharon | <i>Hibiscus syriacus</i> 'Lady Stanley' | 36" Ht. | B&B |
| 'Little Quick Fire' Hydrangea | <i>Hydrangea paniculata</i> 'Little quick fire' | 36" Ht. | B&B |
| 'Limelight' Hydrangea | <i>Hydrangea paniculata</i> 'Limelight' | 36" Ht. | B&B |
| 'Sky Pencil' Holly | <i>Ilex crenata</i> 'Sky Pencil' | 36" Ht. | B&B |
| 'Blushing Knock out' Rose | <i>Rosa sp.</i> 'Blushing Knock Out' | 36" Ht. | B&B |
| 'Little Princes' Spirea | <i>Spiraea japonica</i> 'Little Princes' | 36" Ht. | B&B |
| 'Blue Muffin' Viburnum | <i>Viburnum dentatum</i> 'Blue Muffin' | 36" Ht. | B&B |
| 'Shasta' Viburnum | <i>Viburnum plicatum tomen.</i> 'Shasta' | 36" Ht. | B&B |

| | | | |
|------------------------|---|--------|------|
| 'Hamel' Fountain Grass | <i>Pennisetum alopecuroides</i> 'Hamel' | #3 Pot | C.G. |
|------------------------|---|--------|------|

PLANT SCHEDULE - RECOMMENDED FOUNDATION PLANTINGS FOR BUILDING UNITS WITHIN THE 100' WETLAND BUFFER

| | | | |
|-----------------------|--|---------|------|
| Shadlow service berry | <i>Amelanchier canadensis</i> -single stem | 36" Ht. | B&B |
| Sweet pepperbush | <i>Clethra alnifolia</i> | 36" Ht. | B&B |
| Sweet fern | <i>Comptonia peregrina</i> | #3 Pot | C.G. |
| Grey Dogwood | <i>Cornus racemosa</i> | 36" Ht. | B&B |
| Red Twig Dogwood | <i>Cornus sericea</i> | 36" Ht. | B&B |
| Silky Dogwood | <i>Cornus amomum</i> | 36" Ht. | B&B |
| Fothergilla | <i>Fothergilla major</i> | 36" Ht. | B&B |
| Mountain pieris | <i>Pieris floribunda</i> | 36" Ht. | B&B |
| Beach plum | <i>Prunus maritima</i> | 36" Ht. | B&B |
| Rosebay Rhododendron | <i>Rhododendron maximum</i> | 36" Ht. | B&B |
| Canada yew | <i>Taxus canadensis</i> | 36" Ht. | B&B |
| Maple leaf viburnum | <i>Viburnum acerifolia</i> | 36" Ht. | B&B |

SHRUB PLANTING

NOT TO SCALE

LANDSCAPING NOTES

1. NOTIFY DIG-SAFE AT 1-888-DIG-SAFE AND LOCAL AUTHORITIES PRIOR TO ANY TYPE OF SITE PREPARATION OR CONSTRUCTION.
2. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIAL AND MULCH IN SUFFICIENT QUANTITIES TO COMPLETE PLANTING AS SHOWN ON THE DRAWINGS.
3. DRAWING QUANTITIES TAKE PRECEDENCE OVER PLANT LIST QUANTITIES.
4. ALL PLANT MATERIAL SHALL CONFORM TO THE GUIDELINES SET FORTH BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
5. ALL TREES AND SHRUBS SHALL BE PLANTED WITH THE "BEST FACE" SHOWING. ALL PLANTS SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN, UNLESS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT.
6. ALL CONTAINER GROWN STOCK SHALL BE HEALTHY, VIGOROUS, WELL ROOTED AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE GROWING. THEY SHALL HAVE TOPS OF GOOD QUALITY, NO APPARENT INJURY AND BE IN A HEALTHY GROWING CONDITION. A CONTAINER GROWN PLANT SHALL HAVE A WELL ESTABLISHED ROOT SYSTEM REACHING THE SIDES OF THE CONTAINER TO MAINTAIN A FIRM BALL.
7. THE QUALITY OF ALL TREES & SHRUBS IS TO BE NORMAL FOR THE SPECIES. ALL PLANTS ARE TO HAVE DEVELOPED ROOT SYSTEMS, TO BE FREE OF INSECTS AND DISEASES AS WELL AS MECHANICAL INJURIES, AND IN ALL RESPECTS BE SUITABLE FOR PLANTINGS.
8. ALL CONIFERS SHALL HAVE DORMANT BUDS AND SECONDARY NEEDLES.
9. WHERE SPECIFIED, CALIPER SIZE IS TO BE THE OVERRIDING FACTOR IN TREE SELECTION. CALIPER SIZE SHALL BE MEASURED 12" ABOVE THE ROOTBALL.
10. PLANT SUBSTITUTIONS ARE NOT ALLOWED UNLESS APPROVED BY THE PROJECT LANDSCAPE ARCHITECT.
11. ALL DISTURBED AREAS NOT SHOWN OTHERWISE SHALL BE LOAMED AND SEEDED AND BLENDED INTO EXISTING GRADE AND CONDITIONS.
12. PRIOR TO INSTALLING ANY PLANT MATERIAL, THE CONTRACTOR SHALL SUBMIT A LOAM SOIL SAMPLE FOR A ROUTINE, ORGANIC, SALTS, AND NITRATE SOIL TEST. UPON THE RESULTS OF THIS TEST, THE SITE CONTRACTOR SHALL AMEND THE LOAM AS RECOMMENDED. SEND THE SOIL SAMPLE TO THE UNIVERSITY OF MASSACHUSETTS SOIL AND PLANT TISSUE TESTING LABORATORY, WEST EXPERIMENT STATION, 602 NORTH PLEASANT ST., UNIVERSITY OF MASSACHUSETTS, AMHERST, MA 01003.
13. LAWN SEED MIX SHALL BE THE PREVIOUS YEARS CROP: 35% JEFFERSON KENTUCKY BLUEGRASS, 35% CARMEN CHEWING FESCUE AND 30% STALLION PERENNIAL RYEGRASS, OR APPROVED EQUAL. PLANT AT A RATE OF 1 LB. PER 150 SQUARE FEET.
14. SLOPE SEED MIX SHALL BE THE PREVIOUS YEARS CROP. PLANT AT A RATE OF 1 LB. PER 150, SQUARE FEET. SEED MIX SHALL BE STALLION PERENNIAL RYE 10%, CREEPING RED FESCUE 50%, ANNUAL RYE GRASS 15%, JEFFERSON KENTUCKY BLUE GRASS 10%, RED TOP CLOVER 5%, AND LADINO CLOVER 5%, OR APPROVED EQUAL. PLANT AT A RATE OF 1 LB. PER 150SF.
15. LAWN SEED AREAS SHALL BE NOT BE DEEMED ACCEPTABLE UNTIL IN EXCESS OF 90% OF EACH AREA, INDEPENDENTLY, IS GERMINATED, GROWING AND DISPLAYING HEALTHY, UNIFORM GROWTH AND HAS BEEN CUT TWICE. THE SITE CONTRACTOR IS RESPONSIBLE FOR APPLYING AT A MINIMUM 1" OF WATER A WEEK UNTIL THE SEEDED AREAS HAVE BEEN ACCEPTED. THE WATERING SHALL OCCUR IN SMALL DOSES. THE SITE CONTRACTOR IS RESPONSIBLE FOR REMOVING ANY WEEDS (CRAB GRASS) WITHIN THE SEEDED AREAS UNTIL THE SEEDED AREAS HAVE BEEN ACCEPTED.
16. THE HYDRO SEED SLURRY SHALL BE A WOOD BASED BONDED FIBER MATRIX. THE APPLICATION RATE SHALL BE 2,500-3,000LB. PER ACRE SPRAYED IN A LEAST TWO DIRECTIONS. DO NOT APPLY HYDRO SEED SLURRY IF RAIN IS EXPECTED WITHIN 12 HOURS, AND WHEN TEMPERATURES ARE BELOW 50 DEGREES.
17. PRIOR TO PLANTING, THE LANDSCAPER SHALL REVIEW AND COORDINATE WITH THE SITE UTILITY PLAN AND GRADING PLAN.
18. THE ROOTS OF NEWLY PLANTED TREES AND SHRUBS MUST BE KEPT STEADILY MOIST, AS THE DEVELOPING ROOTS ESTABLISH IN THE NEW SOIL. AT PLANTING, WATER THOROUGHLY TO SOAK THE ROOTS AND TO SETTLE THE NEW SOIL AROUND THE ROOT BALL. THE AMOUNT OF SUPPLEMENTAL WATER NEEDED EACH WEEK DURING THE FIRST GROWING SEASON AFTER PLANTING DEPENDS ON RECENT RAINFALL, TEMPERATURE, AND WIND. IF LESS THAN ONE-INCH OF RAIN HAS FALLEN OVER THE PAST FIVE TO SEVEN DAYS, THE NEW PLANTINGS MUST BE WATERED. LAWNS, TREES, AND SHRUBS WATERING SHALL OCCUR AT A MINIMUM OF TWO (2) TIMES A DAY FOR THE FIRST TWO (2) MONTHS; ONCE IN THE EARLY MORNING AND THEN THE OTHER IN THE LATE AFTERNOON. IN GENERAL TEN GALLONS OF WATER APPLIED TWICE A WEEK WILL WET A 20"-24" ROOT BALL AND PROVIDE THE EQUIVALENT OF ONE INCH OF RAIN FALL. NEW LAWNS SHALL BE WATERED SO THAT IS RECEIVES AT A MINIMUM ONE INCH (1") OF WATER EVERY WEEK.
19. WITHIN THE LANDSCAPE BEDS ADJACENT TO THE BUILDING FOUNDATIONS, NO HEMLOCK, PINE, SPRUCE, OR CEDAR MULCH OR OTHER COMBUSTIBLE LANDSCAPE MATERIALS SHALL BE INSTALLED WITHIN 18" OF THE FOUNDATION.
20. ALL LANDSCAPE BEDS SHALL RECEIVE THREE-INCHES OF BARK MULCH.
21. LANDSCAPE AREAS SHALL BE DEEP TILLED TO A DEPTH OF TWELVE INCHES TO FACILITATE DEEP WATER PENETRATION.
22. THE QUANTITIES OF THE FOUNDATION PLANTINGS ARE NOT LISTED WITHIN THE PLANTING SCHEDULE. FOUNDATION PLANTINGS FOR UNITS OUTSIDE THE 100' BUFFER AND WITHIN THE 100' BUFFER SHALL BE FROM THE RECOMMENDED LISTS BELOW

ARBORTIE (GREEN) GUYING MATERIAL IS TO BE FLAT WOVEN POLYPROPYLENE, 3/4" WIDE, 900 LB. BREAK STRENGTH. ARBORTIE SHALL BE FASTENED TO TREE STAKES IN A MANNER WHICH PERMITS TREE MOVEMENT (8" SWAY) AND SUPPORTS THE TREE

DO NOT TRIM LEADER SET TREE PLUMB PRIOR TO GUYING; ORIGINAL GRADE OF TREE BASE TO BE PLANTED SLIGHTLY HIGHER (2.5'-3') ABOVE EXISTING GRADE TO ALLOW FOR SETTLEMENT

LOOSEN SUPPORTS AFTER 1st GROWING SEASON; REMOVE AFTER 2nd GROWING SEASON.

CUT AND REMOVE BURLAP FROM TOP OF ROOTBALL ROUGHEN SIDES OF PIT PRIOR TO PLANTING. EARTH ANCHOR 6" HIGH MOUND OF TOPSOIL COMPACTED NOTE: SET CROWN OF ROOTBALL 1'-2" ABOVE GRADE

EVERGREEN TREE PLANTING

NOT TO SCALE

Planting Schedule

| Qty. | Key | Common Name | Botanical Name | Size | Remarks |
|-------|-----|--------------------------|--|---------|-----------------|
| TREES | | | | | |
| 6 | BA | Balsam Fir | <i>Abies balsamea</i> | 8' Ht. | B&B |
| 3 | BP | Grey Birch | <i>Betula populifolia</i> | 8' Ht. | B&B-Multi-stem |
| 3 | CA | Pagoda Dogwood | <i>Cornus alternifolia</i> | 3" Cal. | B&B |
| 2 | CC | Hornbeam | <i>Carpinus caroliniana</i> | 3" Cal. | B&B |
| 4 | CK | 'Cherokee Brave' Dogwood | <i>Cornus florida</i> 'Cherokee Brave' | 3" Cal. | B&B |
| 2 | HT | 'Tardiva' Hydrangea | <i>Hydrangea paniculata</i> 'Tardiva' | #15pot | Container Grown |
| 3 | RM | Red Maple | <i>Acer rubrum</i> | 3" Cal. | B&B |
| 6 | TG | 'Green Giant' Arborvitae | <i>Thuja x plicata</i> 'Green Giant' | 6' Ht. | B&B |

SHRUBS

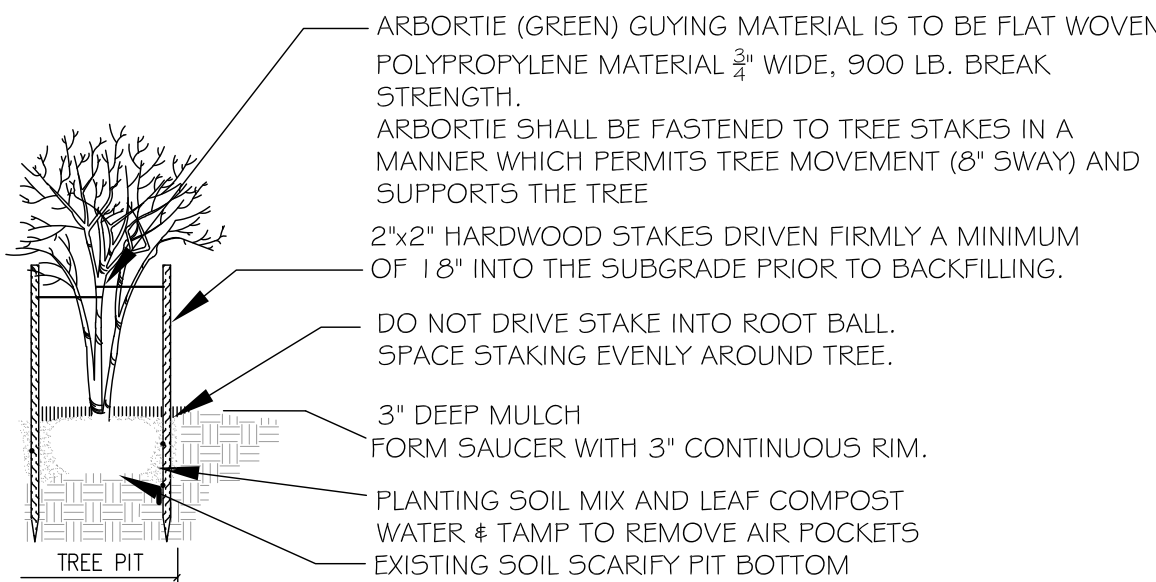
| | | | | | |
|----|----|------------------------------|---|---------|-----------------|
| 9 | HQ | Oakleaf Hydrangea | <i>Hydrangea quercifolia</i> | 24" Ht. | B&B |
| 10 | HV | Common Witchhazel | <i>Hamamelis virginiana</i> | 24" Ht. | B&B |
| 4 | IV | Winterberry | <i>Ilex verticillata</i> | 24" Ht. | B&B |
| 7 | HP | Golden Cup St. John's Wort | <i>Hypericum Hidcote</i> | 24" Ht. | B&B |
| 10 | JE | Eastern Red Cedar | <i>Juniperus virginiana</i> | 48" Ht. | B&B |
| 6 | JH | Creeping Juniper | <i>Juniperus horizontalis</i> | #7 Pot | Container Grown |
| 7 | JV | 'Taylor' Red Cedar | <i>Juniperus virginiana</i> 'Taylor' | 48" Ht. | B&B |
| 10 | PH | 'Summerwine' Purple Ninebark | <i>Physocarpus opulifolius</i> 'Summerwine' | 24" Ht. | B&B |
| 4 | SY | 'Bloomerang' Lilac | <i>Syringa x Bloomerang</i> | #3 Pot | Container Grown |
| 12 | VC | Highbush Blueberry | <i>Vaccinium corymbosum</i> | 24" Ht. | B&B |
| 13 | VD | Arrowwood Viburnum | <i>Viburnum dentatum</i> | 36" Ht. | B&B |
| 3 | VL | Chicago Lustre' Viburnum | <i>Viburnum dentatum</i> 'Chicago Lustre' | 36" Ht. | B&B |
| 5 | VO | Highbush cranberry | <i>Viburnum opulus</i> | 36" Ht. | B&B |

PERENNIALS

| | | | | | |
|---|----|------------------------|------------------------------------|--------|-----------------|
| 6 | HA | 'Aureola' Hakone Grass | <i>Hakonechloa macra</i> 'Aureola' | #3 Pot | Container Grown |
|---|----|------------------------|------------------------------------|--------|-----------------|

GENERAL SITE NOTES

1. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORKSCOPE PRIOR TO THE INTIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS, RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.
2. ALL WORK SHALL CONFORM TO LOCAL, COMMONWEALTH OF MASSACHUSETTS, AND OSHA STANDARDS AND GUIDELINES.
3. LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. ALL UTILITY SERVICE CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
4. ALL UTILITY LOCATIONS ARE APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE CONDUITS, PRODUCT PIPING, ETC. PRIOR TO COMMENCEMENT OF EXCAVATION OF ANY TYPE.
5. ALL EXCAVATED UNSUITABLE MATERIAL MUST BE TRANSPORTED TO AN APPROVED DISPOSAL LOCATION.
6. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY "DIG SAFE" (1-888-344-7233) 72 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE. CONTRACTOR SHALL ALSO NOTIFY THE LOCAL DEPARTMENT OF PUBLIC WORKS TO MARK OUT THEIR UTILITIES.
7. THE LIMITS OF WORK SHALL BE CLEARLY MARKED IN THE FIELD PRIOR TO THE START OF CONSTRUCTION OR SITE CLEARING.
8. ALL CONCRETE AND BITUMINOUS PATCH AREAS TO MATCH EXISTING GRADES.
9. SOLID WASTE TO BE DISPOSED OF BY CONTRACTOR IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
10. CONTRACTOR IS RESPONSIBLE FOR ALL EXCAVATION TO BE PERFORMED IN ACCORDANCE WITH CURRENT STANDARDS, AS WELL AS ADDITIONAL PROVISIONS TO ASSURE STABILITY OF CONTIGUOUS STRUCTURES.
11. IN CASE OF DISCREPANCIES BETWEEN PLANS, THE SITE PLAN WILL SUPERCEDE IN ALL CASES. NOTIFY ENGINEER OF RECORD OF ANY CONFLICTS.



- NOTES:
1. STAKE TO MAIN BRANCHES AS NECESSARY FOR FIRM SUPPORT.
 2. PLANT SO THAT TOP OF ROOT BALL IS EVEN WITH THE FINISHED GRADE.
 3. GUY WIRE SHALL NOT TOUCH OR RUB ADJACENT TRUNKS OR BRANCHES.
 4. REMOVE ALL CONTAINERS AND BASKETS FROM ROOT BALL.
 5. REMOVE BURLAP FROM TOP ONE THIRD OF ROOT BALL.
 6. LOOSEN ROOTBALL PRIOR TO PLANTING.

DECIDUOUS TREE PLANTING

NOT TO SCALE

DIG SAFE NOTE:

UTILITIES ARE PLOTTED FROM FIELD LOCATION AND ANY RECORD INFORMATION AVAILABLE, AND SHOULD BE CONSIDERED APPROXIMATE. OTHER UTILITIES MAY EXIST WHICH ARE NOT EVIDENT OR FOR WHICH RECORD INFORMATION WAS NOT AVAILABLE. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING. ALSO, CALL "DIG-SAFE" AT 1(888)344-7233 1(888)DIG-SAFE.

THE OFFSETS AS SHOWN ON THIS PLAN ARE NOT TO BE USED FOR THE ESTABLISHMENT OF PROPERTY LINES OR FOR THE ESTABLISHMENT OF ANY PROPOSED CONSTRUCTION UNLESS SAID CONSTRUCTION IS SHOWN HEREON.

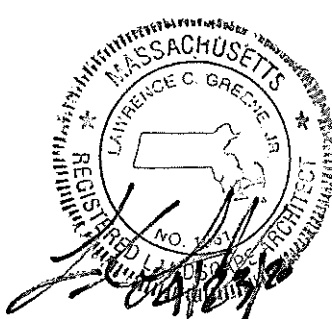
THIS PLAN WAS PREPARED FOR THE EXCLUSIVE USE AND PURPOSE FOR THE PARTY STATED HEREON AND SHALL NOT BE USED BY ANY THIRD PARTY WITHOUT THE EXPRESSED WRITTEN PERMISSION OF RONALD TIBERI P.E.

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

Lawrence Greene
LAWRENCE GREENE, PLA#1561

09/23/20
DATE



APPROVED BY PLANNING BOARD

DATE: _____

PROPOSED SITE

LANDSCAPE PLAN

IN
MEDWAY, MASSACHUSETTS

EVERGREEN VILLAGE 22 EVERGREEN STREET

PREPARED FOR:

SAMPSON POND LLC
P.O. Box 5
MEDWAY MA 02053

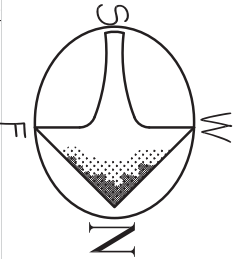
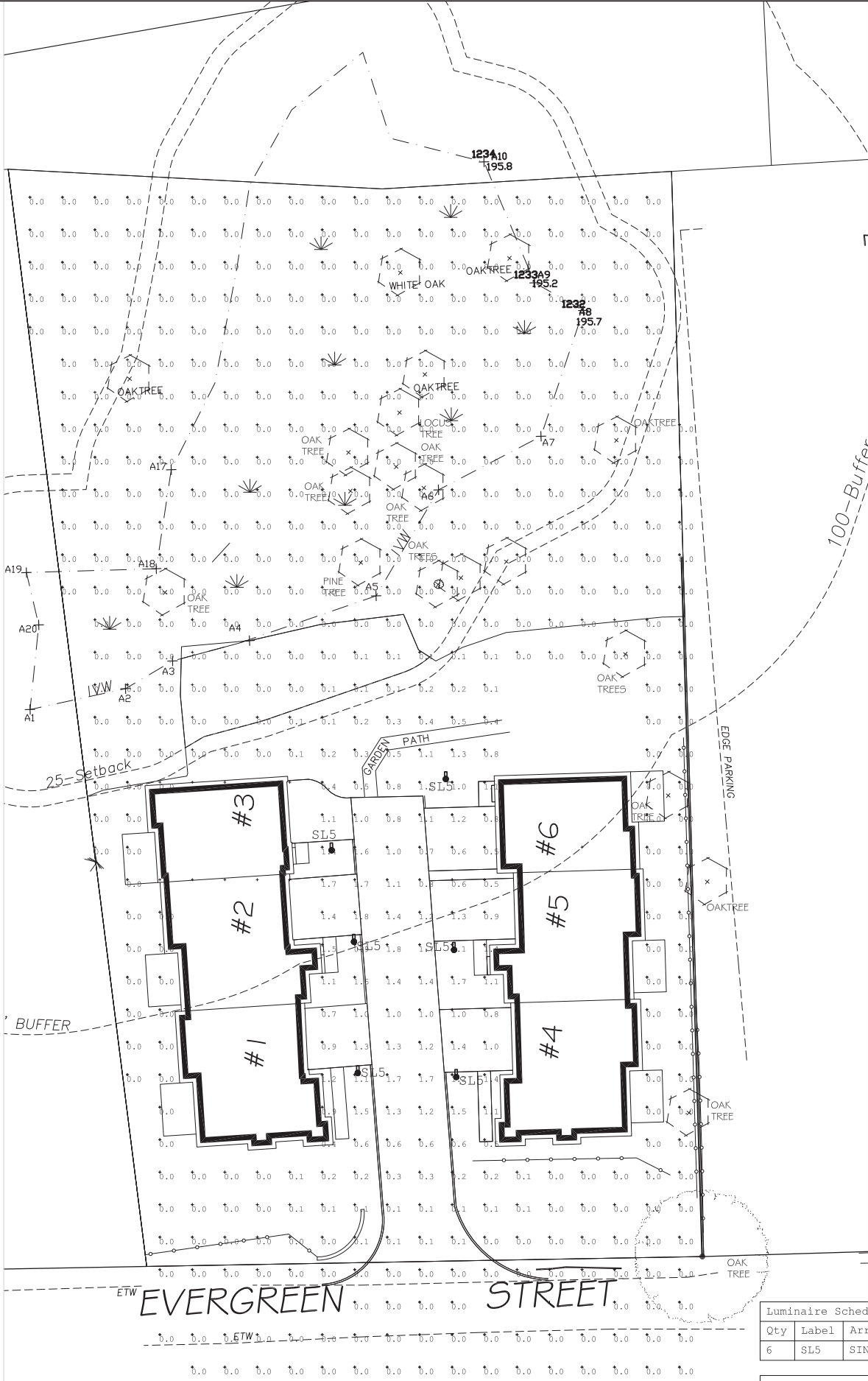
PREPARED By:

McCarty ENGINEERING
42 JUNGLE ROAD
LEOMINSTER, MA 01453

DRAWING SCALE: 1 inch = 20 feet

PROJECT NUMBER: 2616

DATE: SEPTEMBER 2.2019



JOB NAME: EVERGREEN VILLAGE
APEX LIGHTING SOLUTIONS
WORKPLANE/CALC PLANE: AT FINISH GRADE
MOUNTING HEIGHT: SEE LUMINAIRE SCHEDULE
APPS: LRE
SALES: SS



PROPOSED STREET LIGHT

DIG SAFE NOTE:

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I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS

Lawrence Greene
LAWRENCE GREENE, RLA#1561

04/07/20
DATE

APPROVED BY PLANNING BOARD

DATE: _____



| REVISIONS | | |
|-----------|----------|---------------|
| No. | DATE | DESCRIPTION |
| 1. | 09/02/19 | Town comments |
| 2. | 11/04/19 | Town comments |
| 3. | 11/25/19 | Plan edits |
| 4. | 04/03/20 | Plan edits |

PROPOSED SITE
LIGHTING PLAN
IN
MEDWAY, MASSACHUSETTS

EVERGREEN VILLAGE
22 EVERGREEN STREET

PREPARED FOR: SAMPSON POND LLC
P.O. Box 5
MEDWAY MA 02053

PREPARED By: McCARTY ENGINEERING
42 JUNGLE ROAD
LEOMINSTER, MA 01453

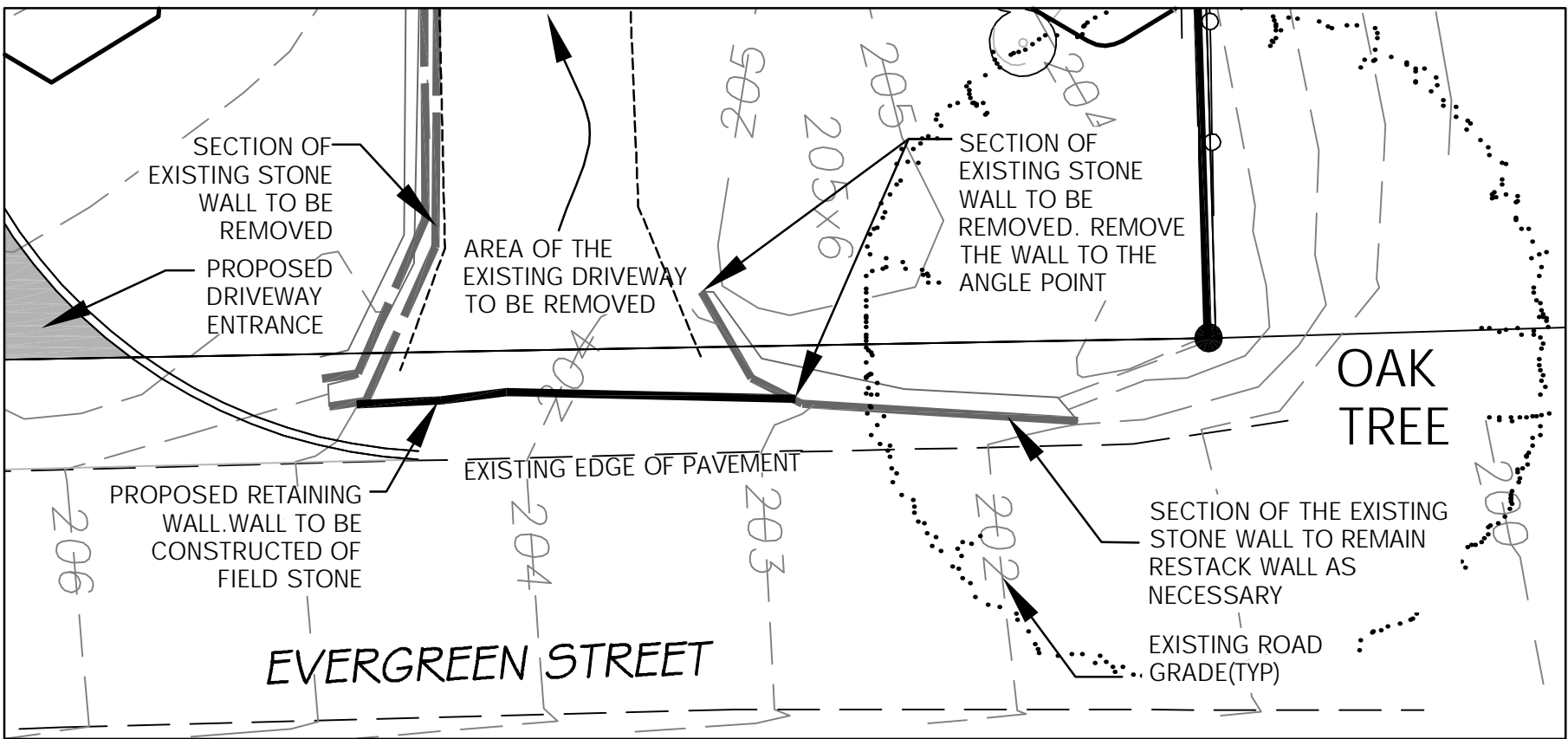
DRAWING SCALE: 1 inch = 20 feet

PROJECT NUMBER: 2616

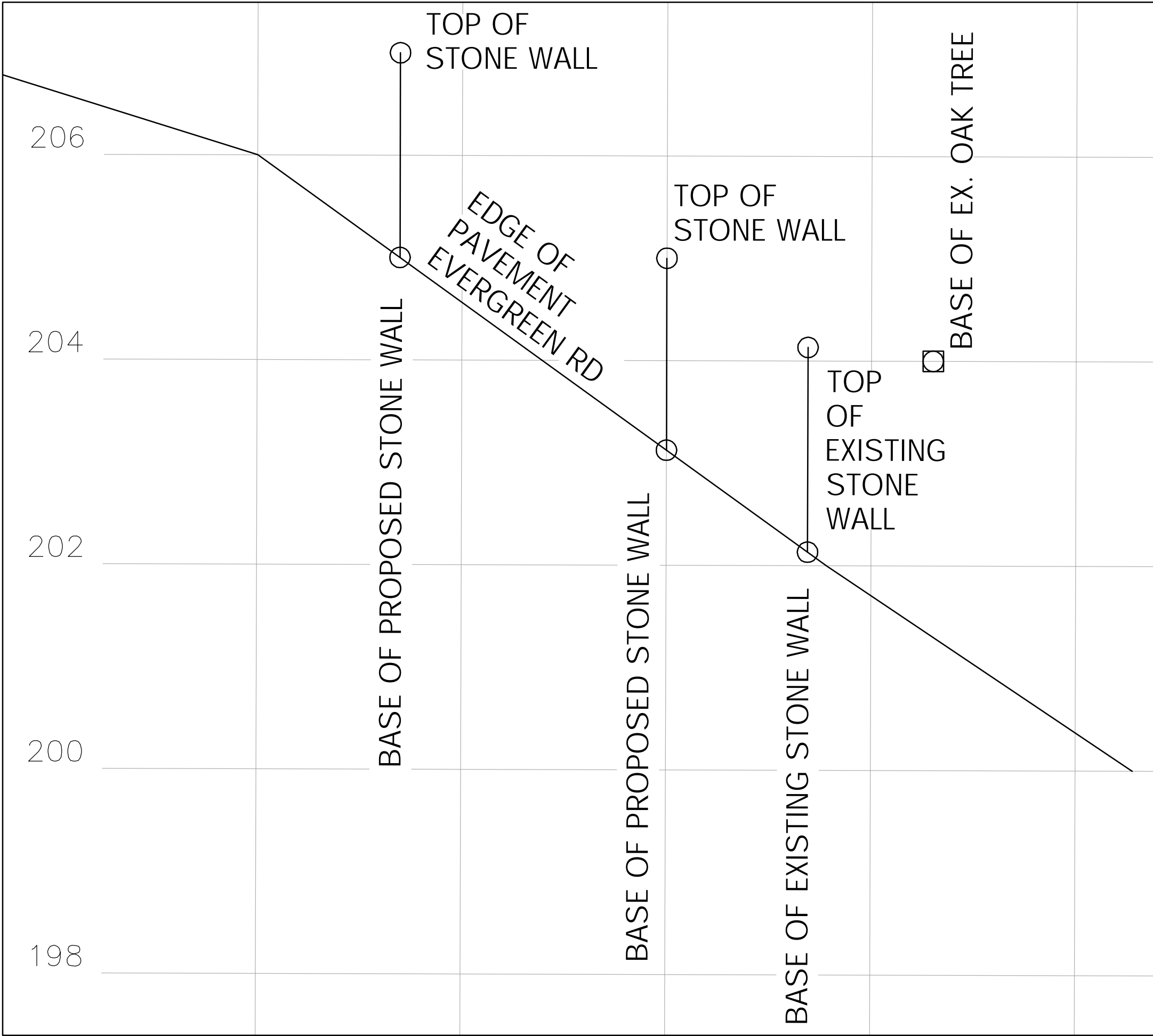
DATE: MARCH 14.2019

| Luminaire Schedule | | | | | | | |
|--------------------|-------|-------------|--------|-------------|-------|------------|--|
| Qty | Label | Arrangement | Lumens | Input Watts | LLF | BUG Rating | Description |
| 6 | SL5 | SINGLE | 2885 | 37.74 | 0.850 | B2-U3-G2 | HADCO TX132-G2-B-S-L-CAGE-FINIAL-FASTENER-FINISH-5-PHOTO-NA3 / MOUNTED TO 8FT POLE |

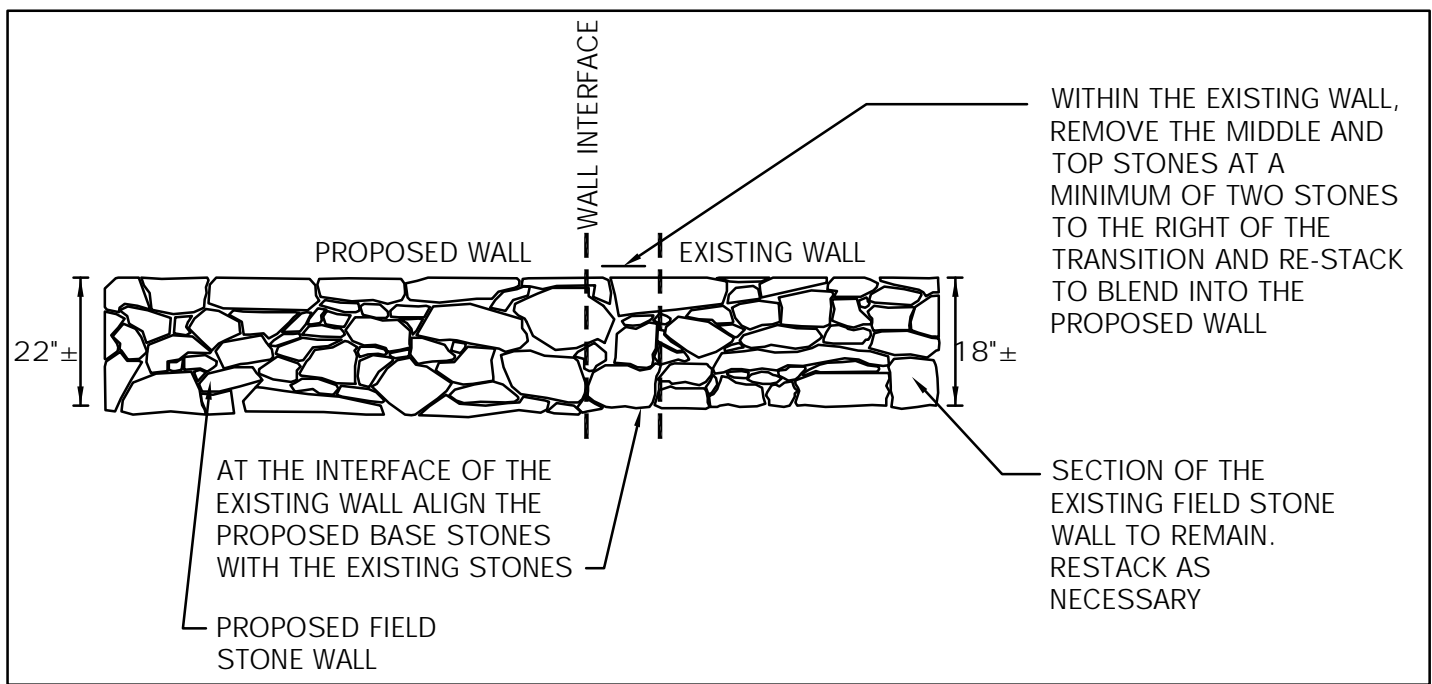
| Calculation Summary | | | | | | | |
|---------------------|-------------|------|-----|-----|---------|---------|--|
| Label | Grid Height | Avg | Max | Min | Avg/Min | Max/Min | |
| CalcPts_1 | 0 | 0.16 | 1.8 | 0.0 | N.A. | N.A. | |
| DRIVE LANE | | 0.89 | 1.8 | 0.1 | 8.90 | 18.00 | |



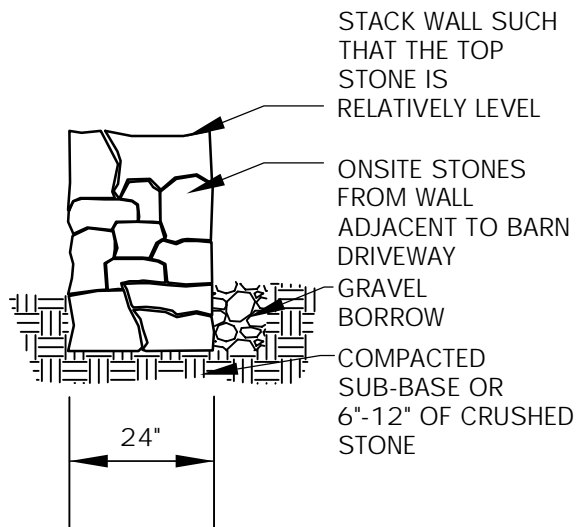
WALL INFORMATION
SCALE 1"=10'



WALL PROFILE
SCALE 1"=10'

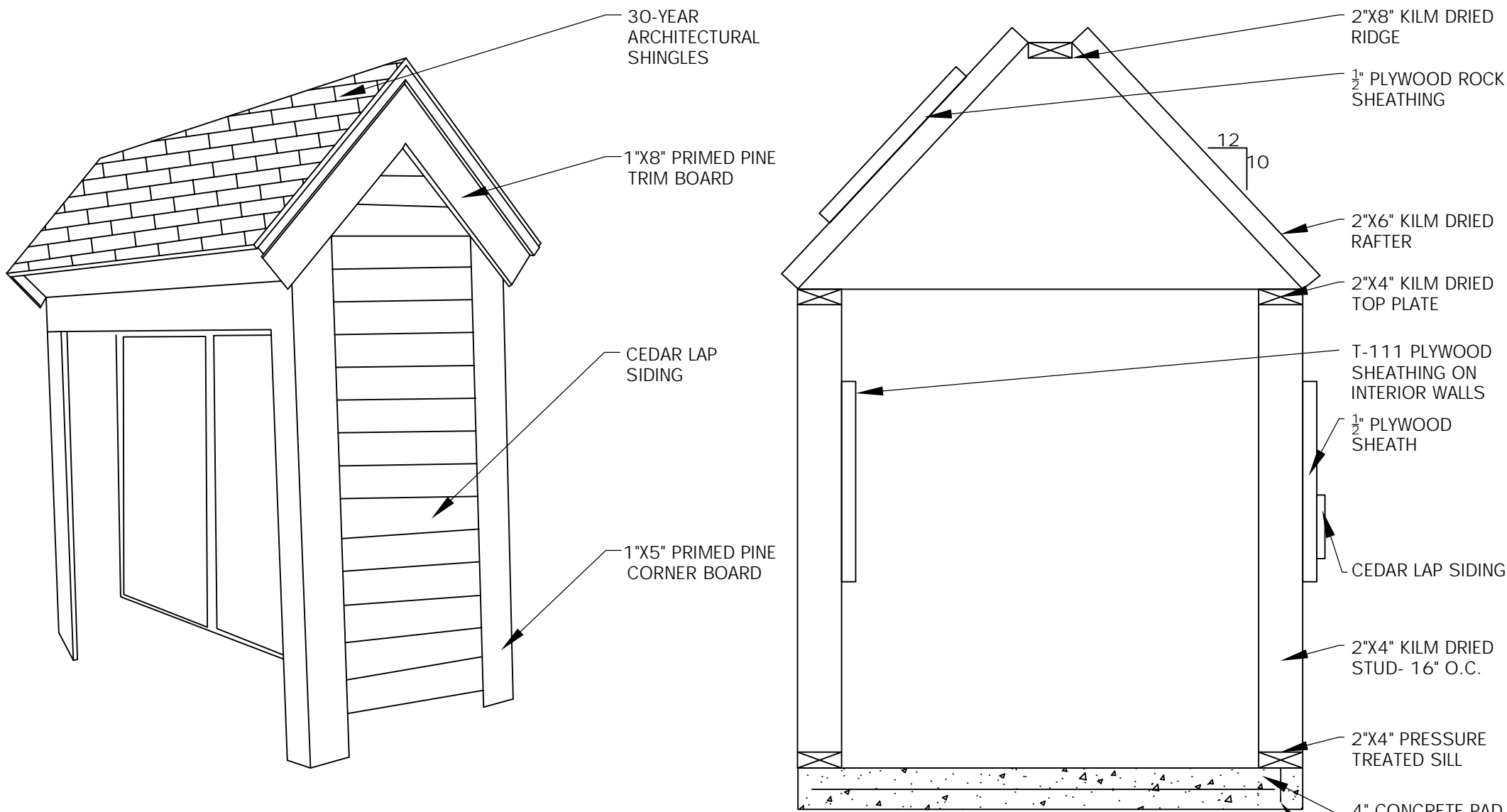


WALL SECTION
SCALE 1"=10'



- 1.PLACE STONES SUCH THAT THE FLAT FACE POINTS OUT ORIENT THE LONG PIECES TOWARDS THE INTERIOR OF THE WALL
- 2.CONTINUE FACE OF WALL 24" BELOW GRADE
- 3.USE LARGER STONES TO BLEND TO THE EXISTING STONE WALL
- 4.WHEN BEGINNING SECOND COURSES, CHOOSE STONES TO BRIDGE THE FIRST JOINTS OF THE BOTTOM COURSE
- 5.CONTINUE BUILDING IN THE SAME MANNER STACKING THE STONES, STAGGER THE JOINTS
- 6.USE SMALLER STONES TO FILL IN THE VOIDS

WALL SECTION
NOT TO SCALE

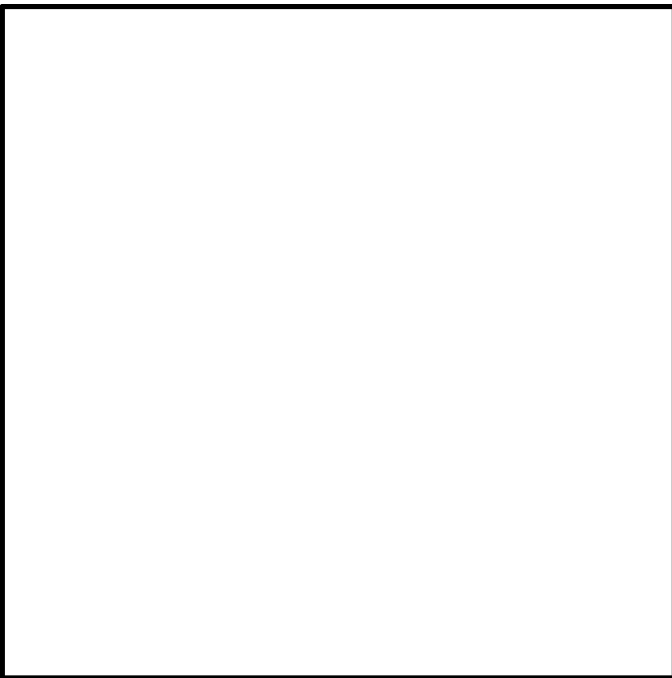


MAILBOX ENCLOSURE
NOT TO SCALE



6-UNIT PEDESTAL MAILBOX
WITH PARCEL UNIT

NOT TO SCALE



I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

LAWRENCE GREENE, RLA#1561

DATE

DIG SAFE NOTE:

UTILITIES ARE PLOTTED FROM FIELD LOCATION AND ANY RECORD INFORMATION AVAILABLE, AND SHOULD BE CONSIDERED APPROXIMATE. OTHER UTILITIES MAY EXIST WHICH ARE NOT EVIDENT OR FOR WHICH RECORD INFORMATION WAS NOT AVAILABLE. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING. ALSO, CALL "DIG-SAFE" AT 1(888)344-7233



THE OFFSETS AS SHOWN ON THIS PLAN ARE NOT TO BE USED FOR THE ESTABLISHMENT OF PROPERTY LINES OR FOR THE ESTABLISHMENT OF ANY PROPOSED CONSTRUCTION UNLESS SAID CONSTRUCTION IS SHOWN HEREON.

THIS PLAN WAS PREPARED FOR THE EXCLUSIVE USE AND PURPOSE FOR THE PARTY STATED HEREON AND SHALL NOT BE USED BY ANY THIRD PARTY WITHOUT THE EXPRESSED WRITTEN PERMISSION OF RONALD TIBERI P.E.

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

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APPROVED BY PLANNING BOARD

DATE:

| REVISIONS | | |
|-----------|----------|---------------|
| No. | DATE | DESCRIPTION |
| 1. | 09/02/19 | Town comments |
| 2. | 11/04/19 | Town comments |
| 3. | 11/25/19 | Plan edits |
| 4. | 12/31/19 | Town comments |
| 5. | 01/21/20 | Town comments |
| 6. | 04/03/20 | Town comments |

PROPOSED SITE
LANDSCAPE PLAN
IN
MEDWAY, MASSACHUSETTS

EVERGREEN VILLAGE
22 EVERGREEN STREET

PREPARED FOR:

SAMPSON POND LLC
P.O. Box 5
MEDWAY MA 02053

PREPARED By:

McCARTY ENGINEERING
42 JUNGLE ROAD
LEOMINSETER, MA 01453

DRAWING SCALE: variable

PROJECT NUMBER: 2616

DATE: SEPTEMBER 2,2019



Prelim. Elev.-View From Evergreen St. - Unit 1
SCALE: 3/16" = 1'-0"



Preliminary Front Elevation - Units 1, 2 and 3
SCALE: 3/16" = 1'-0"

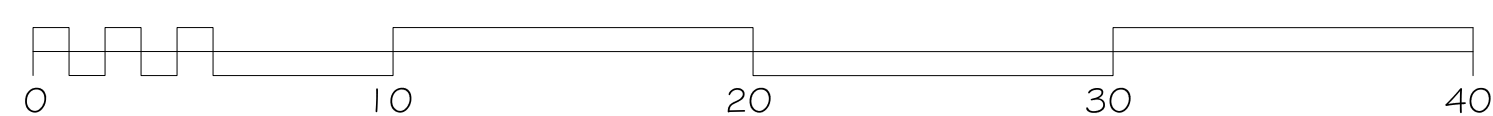


Preliminary Rear Elevation - Unit 3

SCALE: $\frac{3}{16}'' = 1'-0''$



Preliminary Left Side Elevation - Units 3, 2 and 1
Scale: 3/16" = 1'-0"



I HEARBY CERTIFY THAT THIS PLAN WAS PREPARED
IN CONFORMANCE WITH THE RULES AND
REGULATIONS OF THE REGISTERS OF DEEDS.

DANIEL LEWIS AIA, ARCHITECT APRIL 7, 2020

APPROVED BY PLANNING BOARD
DATE:



Preliminary Left Side Elevation - Unit 4, 5 and 6

SCALE: 3/16" = 1'-0"



Prelim. Elev.-View From Evergreen St. - Unit 6

SCALE: 3/16" = 1'-0"



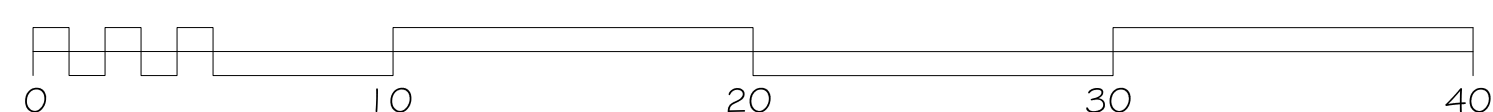
Preliminary Right Side Elevation - Units 6, 5 and 4

Scale: 3/16" = 1'-0"



Preliminary Rear Elevation - Unit 4

SCALE: 3/16" = 1'-0"



APPROVED BY PLANNING BOARD

DATE: _____

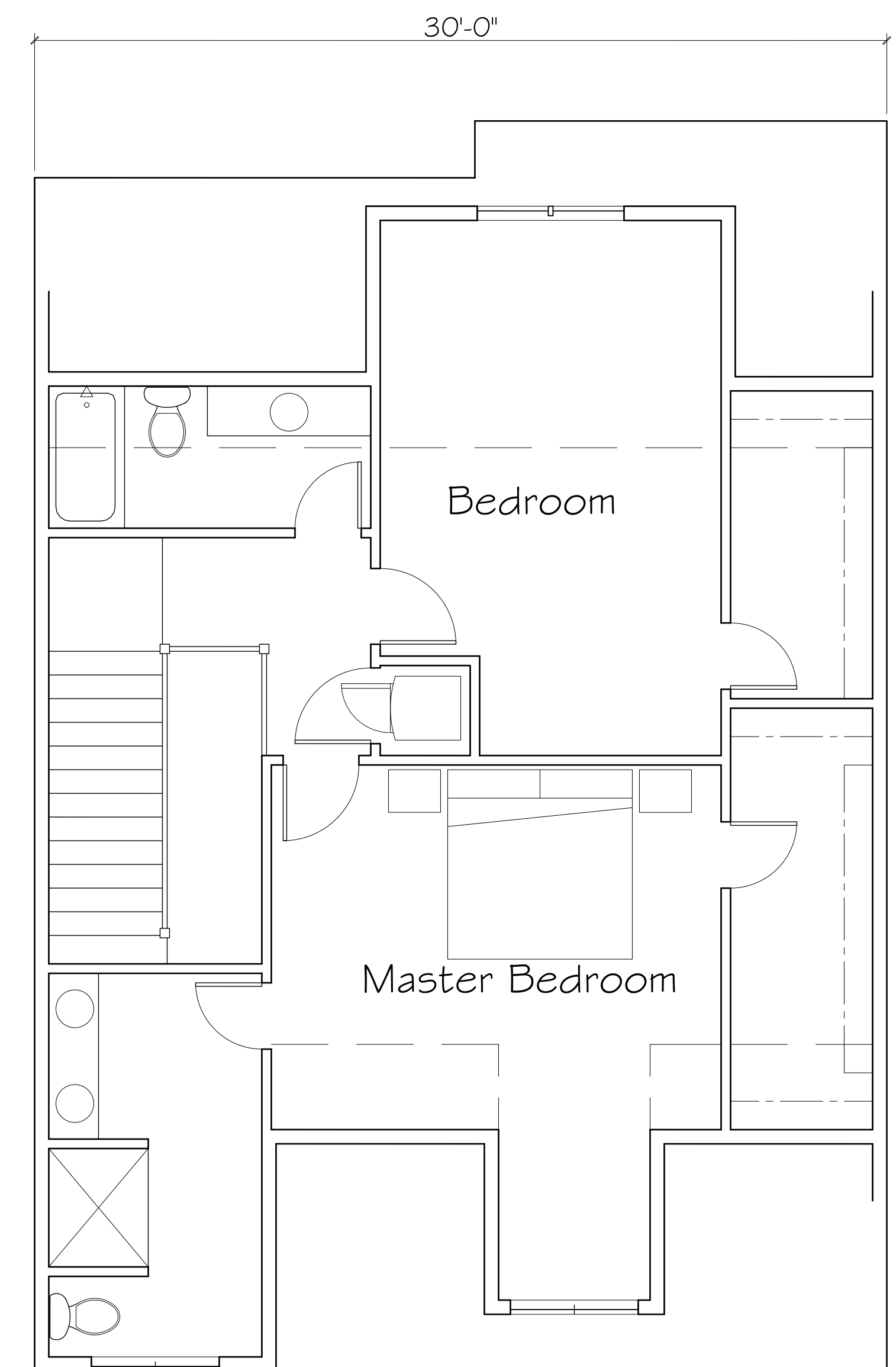
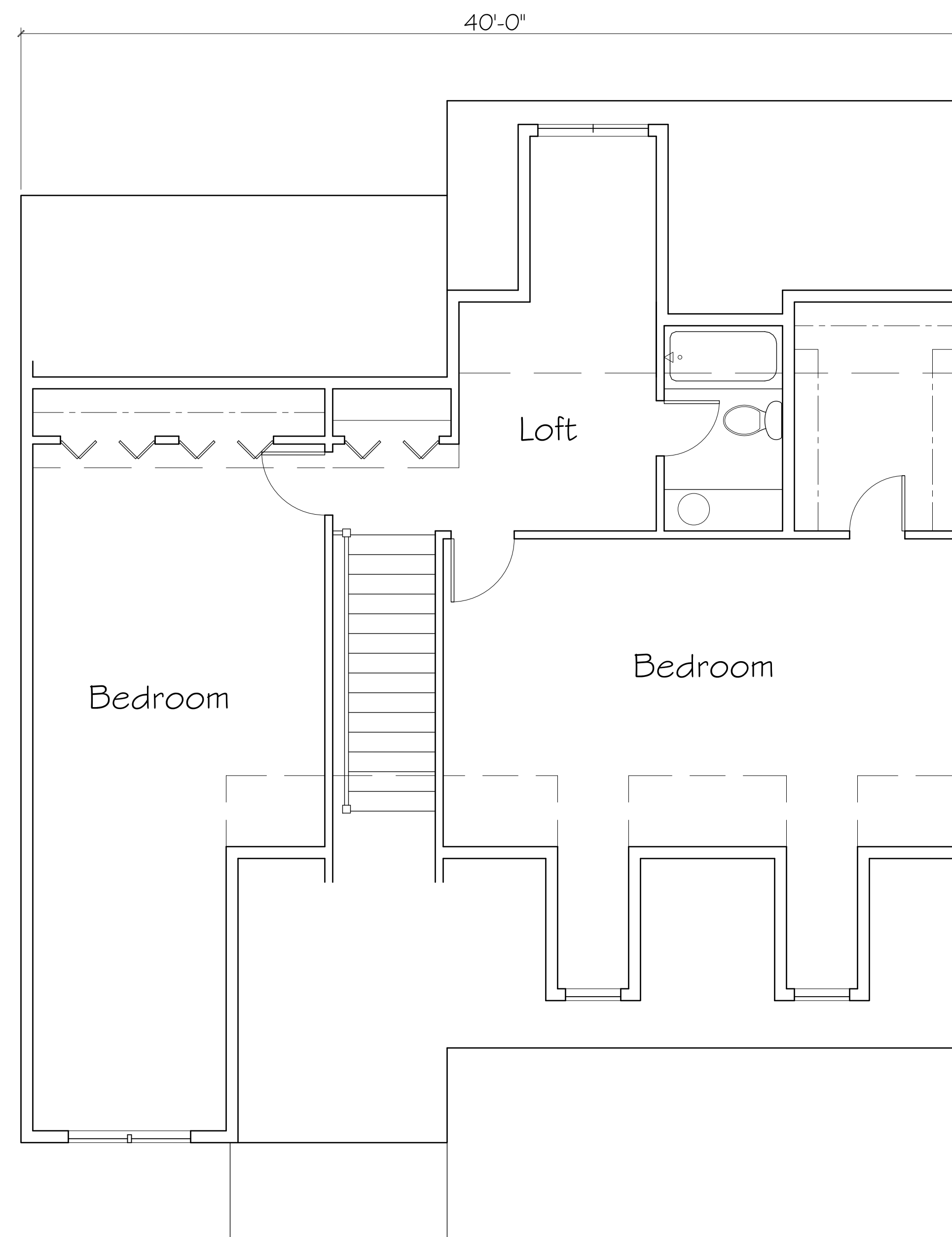
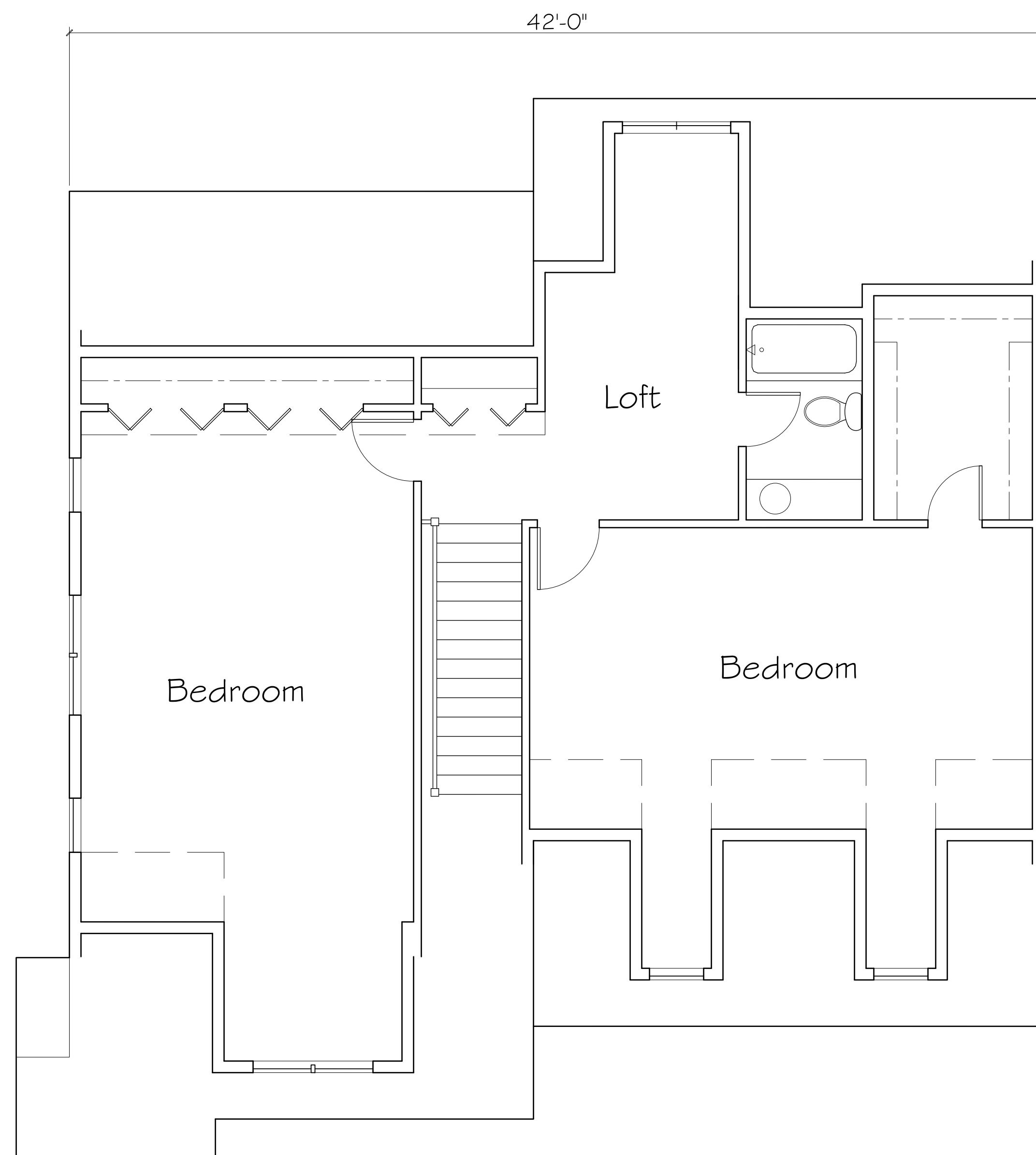
I HEARBY CERTIFY THAT THIS PLAN WAS PREPARED
 IN CONFORMANCE WITH THE RULES AND
 REGULATIONS OF THE REGISTERS OF DEEDS.

DANIEL LEWIS AIA, ARCHITECT APRIL 7, 2020

DANIEL LEWIS, AIA
 ARCHITECT
 332 WHITNEY STREET
 NORTHBOROUGH, MA 01532
 (508) 612-8771
 DANLEWIS@CHARTER.NET WWW.DANIELLEWISARCHITECT.COM

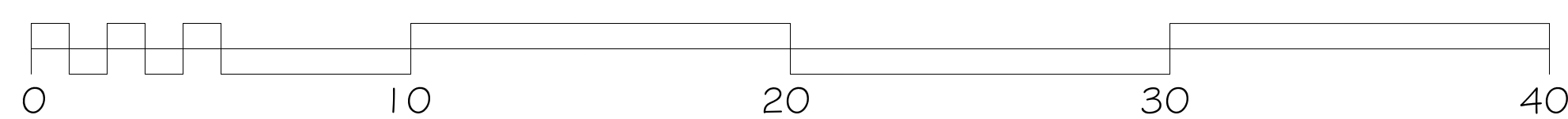
| PRELIMINARY EXTERIOR ELEVATIONS | |
|---------------------------------|--------------------------|
| JOB NUMBER 1816 | DATE OCT. 28, 2019 |
| DRAWN BY DML | REVISED NOV. 25, 2019 |
| NOV. 25, 2019 | |

Proposed Condominiums
 22 Evergreen Street
 Medway, MA 02053
 For Sampson Pond LLC, Medway, MA



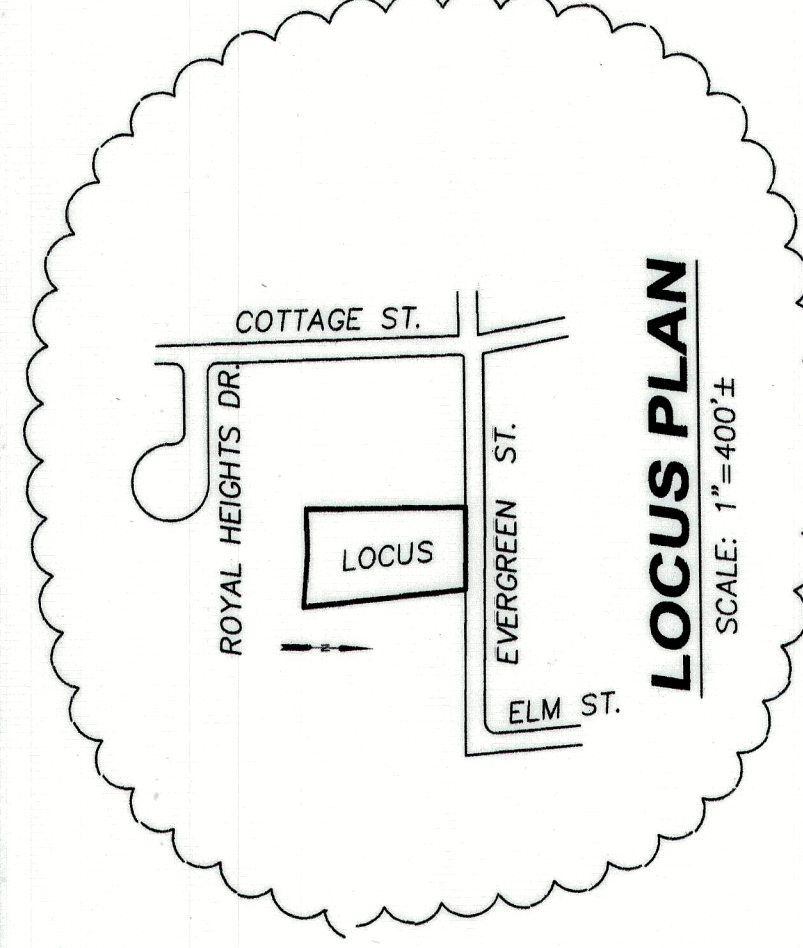
I HEARBY CERTIFY THAT THIS PLAN WAS PREPARED
IN CONFORMANCE WITH THE RULES AND
REGULATIONS OF THE REGISTERS OF DEEDS.

DANIEL LEWIS AIA, ARCHITECT APRIL 7, 2020



APPROVED BY PLANNING BOARD
DATE:

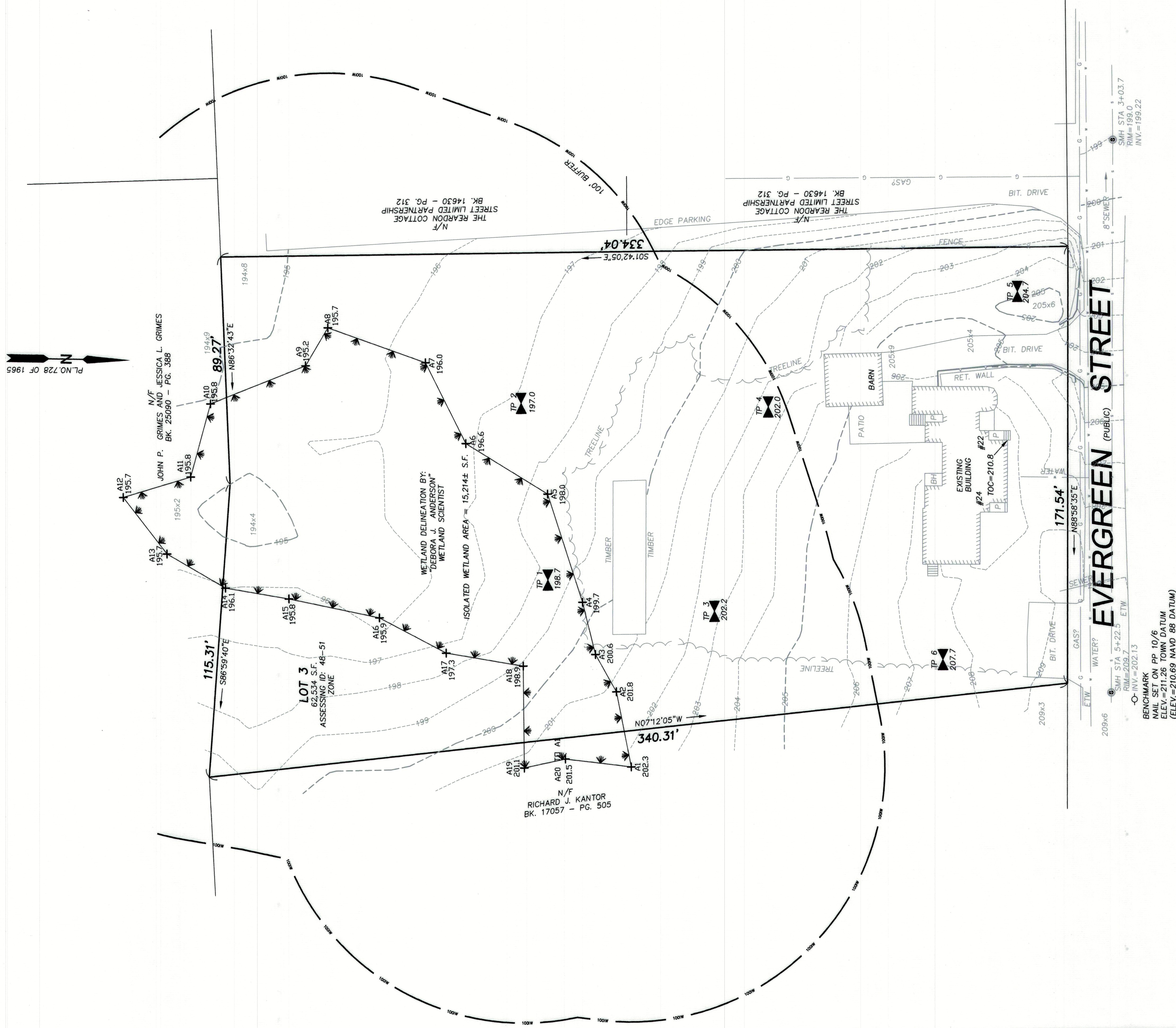
4. ELEVATIONS ARE BASED ON RECORD SEWER DRAWING FOR EVERGREEN STREET. SUBTRACT 0.57 FROM ELEVATIONS SHOWN TO CONVERT ELEVATIONS ON NAVD 88 DATUM.



1997-1998

SCALE: 1"=400'±

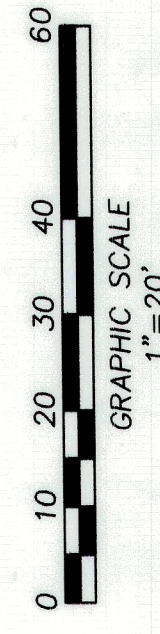
FOR REGISTRY USE ONLY



I CERTIFY THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTRY OF DEEDS.

ALSO CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY PERFORMED ON 6/20/18, 7/5/18, 6/7/19 AND THE LATEST PLANS AND DEEDS OF RECORD.

Steven Davis



PROPERTY OWNER:
JOHN T. SHEA, III AND CYNTHIA A. SHEA
BK. 8482 - PG. 89

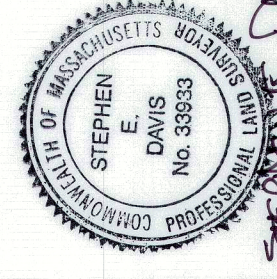
EXISTING CONDITIONS PLAN
22 EVERGREEN STREET
MEDWAY, MASSACHUSETTS
NORFOLK COUNTY
AS PREPARED FOR
SAMPSON POND LLC



CHENEY
ENGINEERING CO., INC.

53 MELLEN STREET
NEEDHAM, MA 02494
TEL: 781-444-2188

SAMPSON POND LLC



| | |
|-----------------|----------------|
| DATE: 7/19/2018 | PROJECT # 6098 |
|-----------------|----------------|

| REV. | |
|---------|--|
| 6/12/19 | WETLAND FLAGS, 100' BUFFER & TEST PITS |
| 3/31/20 | ELEVATION REFERENCE TO NAVD 88 DATUM |

Stormwater Operations and Maintenance Plan

For
Evergreen Village
22 Evergreen Street
Medway, Massachusetts

Prepared for and Owned by:
Sampson Pond LLC
P.O. Box 5
Medway MA 02053 or its successor in title (the "Owner")

Operation & Maintenance
Responsibility: Sampson Pond LLC
P.O. Box 5
Medway MA 02053 or its successor in title (the "Owner")

Prepared By: Ronald Tiberi P.E.
9 Massachusetts Ave
Natick, MA 01760
508–361–5077

December 10, 2019
Feb. 6, 2020
REV. Feb. 24, 2020

Introduction

All measures both temporary and permanent taken shall be coordinated with all the approved documents for the project including but not limited to the Erosion Control Site Plan (sheet E–1), the Spill prevention plan, the approve Order of Conditions and the Town of Medway regulations.

Temporary Stormwater Measures

Temporary stormwater measures are the structural or non–structural practices employed to reduce or eliminate stormwater degradation and site erosion during construction. The placement, monitoring and successful operations of temporary measures shall be the Owner’s responsibility with authority assigned to the construction manager, general contractor or site contractor, as applicable.

The temporary stormwater measures are as follows:

- oStabilized Construction Entrance
- oCrushed Stone Check Dams
- oStaked Erosion Control Barriers
- oSilt Sack
- oMaterial Stockpiles with Containment Barrier and/or Mulch Covering
- oTemporary Stormwater Settling Basins
- oConcrete Washout basins

Please also refer to the project specific BMP reference documents contained in the project stormwater report, permit documents and SWPPP.

Permanent Stormwater Measures

Permanent stormwater measures are the structural or non–structural practices employed to reduce or eliminate stormwater degradation and site erosion following completion of construction, site stabilization and property occupancy. The placement, monitoring and successful operations of temporary measures shall be the Property Manager’s responsibility. A third party stormwater agent may be contracted by the property manager for certain operation and maintenance responsibilities. All such contractual arrangements will be added to the final Stormwater Operations and Maintenance Plan with business registrations, certifications and insurances as applicable.

The proposed stormwater measures are as follows:

- oBituminous Pavement with Curbing (Access Drives and Parking) (30–yr replacement schedule)
- oCatchbasins with Deep Sumps and outlet Hoods (75 year service life)
- oStormceptor STC 450i Precast Concrete hydrodynamic structural units (50 year service life)
- oStormtech Underground Storage Chambers (75 year service life)
- oModular Block or Boulder or Cast in Place Retaining Wall(s) (100 year service life)
- oVegetation Filter Strips and Landscape Plantings (Lawns and Gardens) (service and replacement on an on–going basis)

Please also refer to the project specific BMP reference documents contained in the project stormwater report, permit documents and SWPPP.

Material and Equipment Storage

Material and equipment storage will vary according to the project phase. During construction, all material and equipment will be stored in an organized staging area. In addition, the operations and maintenance of the temporary storage area will be as described in the SWPPP. Additionally, the project SWPPP addresses typical temporary operations such as material stabilization techniques, equipment fueling, debris collection, storage and disposal. In general, the Owner is responsible with typical assignment and agency granted to the construction manager, general contractor or site contractor for all temporary material and equipment storage, in accordance with usual and customary construction means and methods. At no time will equipment maintenance or long–term fuel storage be permitted on site. All equipment maintenance will be performed off site. Re–fuelers are permitted on site, but must operate within the temporary storage area.

Preventative landscaping and grounds control

Permanent Seeding & Lawn care

Permanent Seeding should be done immediately afterthe final design grades are achieved. Native species of grass should be used to establish perennial vegetative cover on disturbed areas. The revegetation should be completed early enough in the fall so that a good cover is established before cold weather inhibits growth until the spring. A good cover typically represents vegetation covering 75 percent or more of the ground surface. Permanent Seeding Seedbed Preparation In infertile or coarse–textured subsoil, it is recommended to spread topsoil over the finished slope at a minimum 2 to 6–inch depth and roll it to provide a firm seedbed. The

topsoil must have a sandy loam to silt loam texture with 15% to 20% organic content. If construction fill operations have left soil exposed with a loose, rough, or irregular surface, smooth with blade and roll. (Naturalization area to be done by hand)

- a) Loosen the soil to a depth of 3–5 inches with suitable agricultural or construction equipment.
- b) Areas not to receive topsoil shall be treated to firm the seedbed after incorporation of the lime and fertilizer so that it is depressed no more than ½ – 1 inch beneath foot traffic. Areas to receive topsoil shall not be firmed until after topsoil, lime and fertilizer is applied and incorporated, at which time it shall be treated to firm the seedbed as described above.
- Permanent Seeding Grass Selection/Application

- a) Select an appropriate cool or warm season grass based on site conditions and seeding date. Apply the seed uniformly by hydroseeding, broadcasting, or by hand. Uniform seed distribution is essential. On steep slopes, hydroseeding may be the most effective seeding method. Surface roughening is particularly important when preparing slopes for hydroseeding. (naturalization areas to be done by hand)
- b) Lime and fertilize.
- c) Mulch the seedlings with straw applied at the rate of ½ tons per acre. Anchor the mulch with erosion control netting or fabric on sloping areas. Amoco supergrow or equivalent should be utilized.

Permanent Seeding Inspection/Maintenance

- a) Frequently inspect seeded areas for failure and make necessary repairs and reseed immediately. Conduct or follow–up survey after one year and replace failed grasses where necessary. A soil test shall be conducted at least once every two years to evaluate topsoil pH level and the necessary application of lime will be made to bring soil pH within recommended levels. Recommended topsoil pH levels are between 6.5 and 6.8. Soils testing shall also include organic content, mineral content, including calcium, magnesium, potassium and sodium, total cation exchange capacity, and hydrogen. Ideal base saturation percentages for these parameters are as follows:
- o Calcium: 68–70%
 - o Magnesium: 15–20%
 - o Potassium: 4.5–6%
 - o Sodium: <3%
 - o Other Bases: 4–8%
 - o Hydrogen: 5–10%

- b) If vegetative cover is inadequate to prevent rill erosion, overseed and fertilize in accordance with soil test results. Fertilizer application shall be as–needed based on the results of the latest soils test, plant health, rooting characteristics, growth rate desired, and season. Fertilizer with typical assignment and agency granted to the construction manager, general contractor or site contractor for all temporary material and equipment storage, in accordance with usual and customary construction means and methods. At no time will equipment maintenance or long–term fuel storage be permitted on site. All equipment maintenance will be performed off site. Re–fuelers are permitted on site, but must operate within the temporary storage area.

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 - o Magnesium: 15–20%
 - o Potassium: 4.5–6%
 - o Sodium: <3%
 - o Other Bases: 4–8%
 - o Hydrogen: 5–10%

- b) If vegetative cover is inadequate to prevent rill erosion, overseed and fertilize in accordance with soil test results. Fertilizer application shall be as–needed based on the results Of the latest soils test, plant health, rooting characteristics, growth rate desired, and season. Fertilizer application shall not exceed five times per calendar year and the total quantity of fertilizer applied in any given year shall not result in the application of more than three pounds of nitrogen per 1,000 square feet with not more than one pound of nitrogen applied per 1,000 square feet in any single application. Nitrogen, in the form of fertilizer, should generally be applied in small increments to avoid nitrate leachate and runoff, undesired sprits in growth, and increase in pest population. Granular organic and/or organic/synthetic slow release fertilizers shall be used. The optimal use of fertilizers is to create an organic foundation for soil health and development which provides sufficient nutrients for controlled plant growth and avoiding subsurface and surface nutrient loss to groundwater or stormwater runoff. Fertilizer shall be slow release, organic, and low in phosphorous in the 100?wetland buffer

- c) If a stand has less than 40% cover, reevaluate choice of grass seed and quantities of lime and fertilizer. Re–establish the stand following seedbed preparation and seeding recommendations, omitting lime and fertilizer in the absence of soil test results. If the season prevents re–sowing, mulch or jute netting is an effective temporary cover.

- d) Seeded areas should be fertilized during the second growing season. Lime and fertilize thereafter at periodic intervals, as needed.

Fertilizers/Detergents/Pet Wastes:

Fertilizers and detergents contain nutrients such as phosphorous and nitrogen which can contribute to water pollution. The following practices should be utilized to reduce the risks of using fertilizer/detergent products.

- 1) Limit the application of fertilizers to the minimum area and the minimum recommended amounts.
- 2) Reduce the exposure of nutrients to storm water runoff by working the fertilizer deep into the soil (depth of 4 to 6 inches) instead of letting it remain on the surface.
- 3) Apply fertilizer more frequently, but at lower application rates.
- 4) Hydro–seeding where lime and fertilizers are applied to the ground surface in one application should be limited where possible.
- 5) Limit the use of detergents onsite; wash water containing detergents should not be discharged in the storm water system.
- 6) Apply fertilizer and use detergents only in the recommended manner and only in recommended amounts.
- 7) All pet wastes shall not be allowed to accumulate on property and shall be property disposed of.

Snow Operations Management

The proper management of snow and snow melt, in terms of snow removal and storage, use of deicing compounds, and other practices will prevent or minimize the major runoff and pollutant loading impacts. The following practices should be employed to avoid pollution impacts from snow.

- 1) Use of De–icing Compounds
- a) The Town of Medway may agree to the use of certain chemicals for de–icing. Alternative de–icing compounds such as calcium chloride (CaCl2) and calcium magnesium acetate (CMA) are possibilities.
- b) Use a sand only for deicing road treatment.
- c) There are no stockpiles of salt and sand stored or proposed on this site for de–icing.
- 2) Snow Removal and Storage: Place plowed snow in designated pervious areas where it can slowly infiltrate. This can be accomplished at the edge of the parking area surface. Snow will not be plowed into piles which block or obstruct stormwater management facilities.
- 3) Blow snow from paved areas to grass or pervious areas.
- 4) Utilize pavement sweeping and catch basin cleaning as a minimum bi–annual in the early spring (after winter storms),and mid–fall (after the leaf drop). The disposal of street sweepings shall comply with DEP/BWP Final Policy #94–092. The preceding does not cover sweepings known to be contaminated by spills, and such sweepings should be collected separately and kept segregated.

| REVISIONS | | |
|-----------|------|-------------|
| No. | DATE | DESCRIPTION |
| | | |
| | | |
| | | |

| | |
|--|--|
| <div>I CERTIFY THAT THIS PLAN HAS BEEN PERPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.</div> <div>DATE_____RONALD TIBERI P.E._____</div> | |
| FOR REGISTRY USE | |

| | |
|---|---|
| <div>STORMWATER OPERATIONS AND MAINTENCE PLAN</div> | |
| <div>EVERGREEN VILLAGE 22 EVERGREEN STREET</div> | |
| PREPARED FOR: | SAMPSON POND LLC P.O. Box 5 MEDWAY MA 02053 |
| PREPARED By: | RONALD TIBERI P.E. 9 MASSACHUSETTS AVE. NATICK MA 01760 |
| DRAWING SCALE: 1 inch = 20 feet | |
| PROJECT NUMBER: 2616 | |
| DATE: APRIL 2020 | 0–1 |

Stormwater Systems

The temporary stormwater systems are documented within the project SWPPP. The Owner is responsible with typical authority granted to the construction manager, general contractor or site contractor.

The permanent stormwater systems are designed to enhance recharge to groundwater on a sitewide basis. In general, all the clean roof runoff will be collected, stored and infiltrated through underground chamber systems designed to replicate the naturally–occurring site–wide recharge characteristics of the locus. The associated site access and parking areas are conventional bituminous pavement with edging to direct surface flow into deep sump catch basins with outlet hoods. There are hydrodynamic structural units to collect and treat surface flows prior to recharge in underground storage systems. Collectively, the stormwater design will meet or exceed local, state and federal standards as designed when operated, monitored and maintained properly. Please also refer to the project specific BMP reference documents contained in the stormwater report, permit documents and SWPPP.

Stormwater Operations and Maintenance

The combined stormwater systems operations and maintenance can be performed by the Sampson Pond LLC property manager or their assigned agent. Nonetheless, due to proprietary product knowledge, training and specialty maintenance equipment required, it is recommended that the property manager secure and maintain a long term third party contract with an industry specific trained and licensed professional capable of operating, inspecting and maintaining stormceptor hydrodynamic units and stormtech underground chamber systems.

The following activities should be carried out on an on–going basis to maintain good site operations:

Site Maintenance: The site and all components are to be kept in a neat, orderly and clean fashion. Routine upkeep shall be performed by either the Owner

Property Management Staff and/or their assignees. Typical site maintenance activities shall include responsible construction practices, careful employment of temporary erosion control methods, street sweeping, landscape management and grounds maintenance.

Trash Disposal: The applicant shall petition for curbside pickup. Otherwise all common household waste materials shall be collected and stored in securely fastened metal dumpsters within secured enclosures and maintained on site by a refuse collection vendor. The dumpster will be emptied regularly, and not be over–filled.

All residents and property management personnel will be instructed on proper onsite waste disposal practices. In addition to on–site signage, all residents will receive specific onsite disposal services, including recycling if applicable within their lease agreement documentation.

Spill Control & Containment: Good housekeeping and spill control practices will minimize stormwater contamination from petroleum products, paints and cleaning products. All resident vehicles will be routinely monitored for leaks. Written notices will be distributed as required by property management staff. Habitual offenders will be removed from the site with parking privileges revoked, if necessary. Emergency spill kits will be available on site to be operated and deployed by trained property management staff.s representatives, No hazardous or dangerous material or chemical storage will be permitted on premises in any quantity by either property management representatives, tenants or residents. Only common,

over–the–counter household cleaning products within acceptable consumable legal limits will be permitted on site. Any and all such consumable products may be routinely disposed of within the onsite refuse receptacles, in accordance with state and federal laws.

Management, Training and Certification

The Owner is responsible to ensure that their assigned construction manager, general contractor or site contractor utilizes qualified and competent personnel who have been trained and are certified in the site specific temporary stormwater systems management. All temporary stormwater systems training and certifications must be documented to remain on file or within the SWPPP documentation.

The Evergreen Village permanent stormwater systems are to be monitored, operated and maintained by trained individuals, certified in stormwater management practices. Either the property management staff may become trained and certified or utilize a professional contractor with the appropriate training and certifications capable of responsibly ensuring stormwater systems operations and maintenance compliance. Both the Owner and property manager shall maintain responsible and current records of all stormwater management training and certifications, as are required and performed within the SWPPP. Please also refer to the project BMP reference documents and sample report forms contained in the stormwater report, permit documents and SWPPP.

Observation/Corrective Logs

The Owner is responsible to ensure their assigned construction manager, general contractor or site contractor routinely completes stormwater observation logs in compliance with the SWPPP. The Property Manager and/or their stormwater consultant(s) are responsible to complete stormwater observation logs in compliance with state and local stormwater compliance regulations, in addition to the suggested manufacturer specifications. Please also refer to the project specific sample report forms contained in the project stormwater report, permit documents and SWPPP as required.

When required and as necessary, corrective action shall be prepared and logged. The purpose and intent of corrective actions logged are to document a stormwater occurrence that required additional responsibility, amended or revised stormwater measures than the approved or permitted devices in operation. Both temporary and permanent stormwater measures may require corrective action. The documentation and corrective action reporting shall be the Owners or Property Manager Please also refer to the sample report forms contained in the project stormwater report, permit documents and SWPPP as required.

BMPs

Both temporary and permanent BMP inspection, operation and maintenance is critical to the health and success of stormwater system sustainability. Usual and customary BMP literature is included in the project stormwater report permit documents and SWPPP. However these representative BMP’s shall be considered the minimum requirement, providing practical stormwater operation and maintenance guidance. Additional BMP’s may be required, depending on actual site conditions to augment or replace current BMP’s The use, replacement or amendment of onsite BMP’s, whether temporary or permanent will be determined by either the local or state stormwater official or the project engineer of record.

Operation

Once the infiltration facilities have been constructed and the site has been permanently stabilized and put into action, the operation of the drainage works will be routine. Storm water runoff is directed into the catch basin grates, to the Stormceptor drain manhole, and to the infiltration galley systems. The galley systems have been designed to retain the flow and volume of runoff for the 2–year through 100–year storm event.

Maintenance

The storm water drainage system complies with the Best Management Practices (BMP) standards of the Massachusetts Department of Environmental Protection, as described in Storm Water Management Policy. In order to keep the drainage system operating under those standards, maintenance of the various components is required by the facilities operator, facility owner, or his service contractor. These items include but not limited to the following:

- A) Annual pavement sweeping before April 30th.
- B) Minimum bi–annual cleaning of the 48? deep sump catch basins at the end of foliage and snow removal seasons, and approved disposal of the recovered materials.
- C) Bi–annual inspection of the drainage works may require remedial action. Any extensive damage repair for weather and non–weather related activities should be made immediately. Chronological Records of the repairs shall be kept in a file on–site. Records shall be kept for a period of at least 7–years.
- D) Periodic checking and cleaning the catch basins on an as–needed basis to remove debris, trash, leaves, and accumulated sediment. The sumps must be monitored quarterly for the first 2–years of operation to measure the accumulation of sediment and/or pollutants that may be contained at the inlet sum. Then adjust the checking and monitoring to suit conditions expected for experience from the initial 2–year period.
- E) Record keeping of the maintenance, checking and monitoring of the system shall be maintained by the owner. Service contractors shall provide the owner with receipt showing a clear description of their site visit; and, findings shall be clearly and legibly printed and dated on the receipt.
- F) A copy of the service contractor’s manifest record shall be provided to the owner and/or operator of the system.

DETAILED BMP REQUIREMENTS

Deep Sump Catch Basins:

- 1.Deep sump catch basins shall be inspected daily during construction activities and all sediments and debris shall be removed four times per year unless the owner can determine through recorded observations that sediment accumulation does not warrant such frequent cleanings. If deep sump structure cleaning occurs less than four times per year, cleaning shall occur when two feet of sediments have accumulated in the sump and at least once per year.
- 2.Silt sacks shall be installed on all catch basins in and around the development throughout the time of construction.
- 3.All sediments and hydrocarbons shall be disposed of off–site in accordance with all applicable local, state, and federal regulations. Stormwater Infiltration/stilling Basin:
- 1.Stormwater basins shall be inspected at least twice per year to insure proper operation (during a storm event).
- 2.Inspections shall include ensuring that inlet, outlet, and splash pad rip–rap aprons are in good condition and that the interior Wall systems are in good condition. Deficiencies shall be remedied immediately.
- 3.Inspections shall include an observation of the accumulation of sediment in the basin. Pretreatment BMPs are intended to capture and contain coarse sediments. Should indication of significant accumulation of sediments in the infiltration basin be observed, increased frequency of cleaning of the preceding sediment forebay and catch basins shall be implemented.
- 4.Inspections shall include ensuring that outlet structures are unobstructed and free–flowing per the Site Plan design specifications.
- 5.Inspections shall include ensuring that all berms are fully stabilized, structurally sound and not eroded. Deficiencies shall be remedied immediately.
- 6.Stormwater basins should be mowed and all clippings and debris removed at least twice per year. Debris shall be removed at more frequent intervals if warranted by extreme weather events. If wetland vegetation grows at the bottom of the stormwater basin, it shall only be mowed once Per year at the beginning of the winter season.
- 7.Sediment should be removed at least once every 5 years or when 2–inches of sediment accumulates anywhere in the basin and disposed of off–site in accordance with all applicable local, state, and federal regulations. Two sedimentation markers shall be installed in the basin by a Registered Land Surveyors with a clear marking of the 2–inch accumulation line. It is recommended that stone bounds be installed with chiseled marks indicating the limit of accumulation, although other similarly permanent marking methods may be utilized.

Underground Infiltration Field:

- 1.Perform all pretreatment BMP maintenance, structural and non–structural, as required herein.
- 2.Inspect the infiltration field at least twice per year, approximately 2–4 days after a rainfall event to ensure that water is not still in the field (as it should have infiltrated into underlying soils by then). Should the infiltration field fail to infiltrate water sufficiently, the field system shall be excavated and replaced in accordance with the original design.
- 3. Basins should be mowed and all clippings and debris removed at least twice per year. Evasive shrubs or plants shall be removed to mitigate root intrusion. Observation ports shall be kept clear and accessible.

Stormwater Pipes, Inlets, downspouts and Outfalls:

- 1.All stormwater inlets and outfalls shall be inspected twice per year.
- 2.Trash, leaves, debris and sediment shall be removed from inlets and outfalls as needed to keep them free flowing.
- 3.If inspections indicate that stormwater pipelines have become partially obstructed with trash, leaves, debris or sediment, the pipelines shall be cleaned by water jet truck and the obstructions removed and disposed of.

StormCeptor System:

StormCeptor structure and equipment shall be inspected and maintained as per manufacturers recommendations. StormCeptor manual is attached to this plan.

- Inspections should be conducted as follows:
- Post–construction inspection is required prior to putting the Stormceptor into service.
 - Routine inspections are recommended first year to assess sediment accumulation. Subsequent inspection will be based upon data acquires in the first year to determine maintenance program as per manufacturers requirements.
 - Inspections shall be performed immediately after oil, fuel, or other chemical spills.

Maintenance cleaning needed for optimum performance, the unit should be cleaned out once the sediment depth reaches the recommended maintenance sediment depth, which is approximately 15% of the units total storage capacity. The frequency should be adjusted based on historical inspection results due to variable site pollutant loading.

I CERTIFY THAT THIS PLAN HAS BEEN PERPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

DATE _____

RONALD TIBERI P.E. _____

FOR REGISTRY USE

| REVISIONS | | |
|-----------|------|-------------|
| No. | DATE | DESCRIPTION |
| | | |
| | | |
| | | |

| | |
|---|---|
| STORMWATER OPERATIONS AND MAINTENCE PLAN | |
| EVERGREEN VILLAGE 22 EVERGREEN STREET | |
| PREPARED FOR: | SAMPSON POND LLC P.O. Box 5 MEDWAY MA 02053 |
| PREPARED By: | RONALD TIBERI P.E. 9 MASSACHUSETTS AVE. NATICK MA 01760 |
| DRAWING SCALE: 1 inch = 20 feet | |
| PROJECT NUMBER: 2616 | |
| DATE: APRIL 2020 | 0-2 |

Susan Affleck-Childs

From: Bouley, Steven <Steven.Bouley@tetrattech.com>
Sent: Friday, April 24, 2020 2:19 PM
To: Susan Affleck-Childs
Subject: RE: Further revised Evergreen plan set for endorsement

Hi Susy,

We reviewed the latest revision and all items have been addressed. Please let me know if you need anything else, thanks.

Steve

Steven M. Bouley, P.E. | Senior Project Engineer | Tetra Tech
Direct +1 (508) 786-2382 | Business +1 (508) 786-2200 | steven.bouley@tetrattech.com

While we are operating remotely in response to COVID-19, Tetra Tech teams remain fully connected and hard at work servicing our clients and ongoing projects. We would also like to wish health and wellness to you and your family.

This message, including any attachments, may include privileged, confidential and/or inside information. Any distribution or use of this communication by anyone other than the intended recipient is strictly prohibited and may be unlawful. If you are not the intended recipient, please notify the sender by replying to this message and then delete it from your system.

From: Susan Affleck-Childs <sachilds@townofmedway.org>
Sent: Thursday, April 23, 2020 3:11 PM
To: Bouley, Steven <Steven.Bouley@tetrattech.com>
Subject: Further revised Evergreen plan set for endorsement

⚠ CAUTION: This email originated from an external sender. Verify the source before opening links or attachments. ⚠

Hi,

See attached further revised Evergreen Village plan set for endorsement. Just received from Ron Tiberi in response to your recent review comments.

Please re-review to see if all items are acceptable.

Thanks.

Susy

MEDWAY TOWN CLERK

155 VILLAGE STREET
MEDWAY, MASSACHUSETTS 02053
(508) 533-3204 • FAX: (508) 533-3287
mwhite@townofmedway.org

MARYJANE WHITE, CMMC

CERTIFIED MASSACHUSETTS MUNICIPAL CLERK

JUSTICE OF THE PEACE

NOTARY PUBLIC

CERTIFICATE

I, Maryjane White, Town Clerk of the Town of Medway, hereby certify that the notice of the Medway Planning and Economic Development Board, regarding **Multi-family housing special permit, and Major Site Plan Decision** has been received in the matter of **Evergreen Village – 22 Evergreen Street, Medway, MA.**

Sampson Pond, LLC
PO Box 5
Medway, MA 02053

Property Owners: John T. Shea III and Cynthia Shea
9 Pine Ridge Way
Carver, MA 02330

It was received and filed in this office on the following:

April 13, 2020

And no appeal was received during the next twenty days after such receipt and recording of said decision.

Nor was any appeal filed during the appeal period as affected by the Orders of the Supreme Judicial Court tolling all statutes of limitations from March 17, 2020, through June 30, 2020 due to the COVID-19 pandemic.

Dated at Medway, MA July 22, 2020

A true copy

ATTEST.....

Maryjane White
Asst. Town Clerk

**Multi-Family Housing Development Covenant
Planning and Economic Development Board - Town of Medway, MA**

This Covenant is granted this 6th day of August, 2020 by BrokenTree LLC, a Massachusetts limited liability company with a mailing address of P.O. Box 5, Medway, MA 02053 (hereinafter referred to as the "Owner") to secure the construction of roadways, stormwater management facilities and related infrastructure and site improvements in the Evergreen Village multi-family development approved by the Town of Medway Planning and Economic Development Board (hereinafter referred to as the "Board").

PREAMBLE

WHEREAS, on April 7, 2020, based on the application dated September 4, 2019, and after a duly noticed public hearing(s), the Board approved a special permit authorizing a multi-family housing development ("MFHD") containing six residential units all as set forth in a decision of the Board filed with the Town Clerk for the Town of Medway on April 13, 2020 ("Decision") to be recorded herewith at the Norfolk County Registry of Deeds (the "Registry"); and

WHEREAS, the approved MFHD is shown on a plan entitled "Evergreen Village", prepared by Ron Tiberi, P.E. of Natick MA, dated September 4, 2019, last revised April 6, 2020. ("MFHD Plan") to be recorded herewith; and

WHEREAS, the approved MFHD Plan shows a parcel of land located at 22 Evergreen Street, Medway, MA (hereinafter referred to as "Locus") and further described in a deed to the Owner recorded with the Registry in Book _____, Page _____; and

WHEREAS, Specific Condition E.1. and General Condition L.1. of the Decision requires the Owner to secure the construction of the roadway, stormwater management facilities and related infrastructure and site improvements specified in the approved MFHD Plan (collectively hereinafter "the Improvements") by means of a Covenant before the Board endorses the MFHD Plan; and

WHEREAS, the Board has determined that this form of Covenant is sufficient to secure the construction and installation of the Improvements in the MFHD;

WHEREAS, the Owner's construction and installation of the Improvements are subject to the requirements of the Decision and the Board's *Site Plan Rules and Regulations*, and all conditions of approval of this MFHD are made an enforceable part of this Covenant; the Decision, the approved MFHD Plan, and all of the provisions set forth in this Covenant (hereinafter referred to as the "Approval Instruments");

NOW, THEREFORE, for and in consideration of the mutual promises set forth below, and for good and valuable consideration, the Owner covenants as follows:

SECTION 1. INCORPORATION OF PREAMBLE

The Preamble is incorporated into and is an enforceable part of this Covenant.

SECTION 2. EFFECTIVE DATE

This Covenant shall be effective upon its execution, subject to endorsement of approval of the MFHD Plan by the Board and the recording or registering of the Decision, the MFHD Plan and this Covenant in the Registry by the Owner.

SECTION 3. RUNS WITH THE LAND

This Covenant shall run with the land and shall be binding on all subsequent parties who have any title, interest, or rights in and to the Locus, or a portion thereof. This Covenant shall operate as a restriction upon the Locus until release.

SECTION 4. OBLIGATIONS, DUTIES AND RIGHTS OF THE OWNER

A. Except as provided in Specific Condition M. of the Decision (Building Permits), no building permit shall be issued and the Owner shall not build any Unit within this MFHD, except as otherwise provided in this Covenant, until completion of Improvements in accordance with the Approval Instruments, unless and until the Owner provides the Board with an alternate form of security for the Improvements deemed sufficient by the Board.

B. The Owner shall complete construction of the Improvements for this MFHD no later than three years from the date of endorsement of the MFHD plan or such further time as permitted by the Board.

C. The Owner agrees and understands that the Board will not release this Covenant in full, unless another method of security is provided, or until the Improvements have been deemed by the Board to be constructed and installed in accordance with the Approval Instruments.

D. No provision of this Covenant shall prevent the Owner from varying the method of securing the construction and installation of the Improvements from time to time or from securing by one, or in part by one and in part by another of the methods as provided in M.G.L. ch. 41, section 81U, as long as the Board deems the method or methods chosen for securing the construction and installation of the Improvements as sufficient.

E. Upon completion of the Improvements in accordance with the Approval Instruments, the Board shall release the Owner from this Covenant and shall issue a Certificate of Completion and Release that shall be executed by a majority of the members of the Board and shall be recorded or registered at the Registry by the Owner.

F. The Owner shall record the approved and endorsed MFHD Plan; the Decision; this Covenant, upon its execution; and any certificate of completion or release of this Covenant, or portions thereof, at the Registry and forthwith provide the Board with written evidence thereof. The Owner further agrees to pay the costs of such recordings.

SECTION 5. CONVEYANCE OF LAND OR LOTS SUBJECT TO COVENANT

Nothing in this Covenant shall preclude the Owner from conveying by a single deed, the entire parcel of land shown on the approved MFHD Plan, or units not previously released from the terms of this Covenant by the Board, provided that the deed shall provide that the land conveyed is subject to this Covenant, and any amendments thereto, with proper reference to the book and page where this covenant, and any amendments thereto are recorded or registered at the Registry.

SECTION 6. BINDING EFFECT

This Covenant, and any amendments thereto, shall be binding on the Owner, the Owner's agents and representatives, and any successors to the Owner's title interest, and rights in the parcel of land constituting this MFHD, including executors, administrators, devisees, heirs, successors and assigns of the Owner, until such time as the Board has issued a Certificate of Completion and Release signed by a majority of the members of the Board and such release has been recorded in the Registry.

SECTION 7. USE OF TERMINOLOGY

Use of the term "Owner" in this Covenant is for convenience only and should not be considered as a limitation on those parties who may be subject to and bound by the provisions of this Covenant and any amendments thereto. Use of the terms "Planning Board" or "Board" in this Covenant is for convenience only and may include agents or representatives of the Medway Planning and Economic Development Board.

SECTION 8. APPOINTMENT OF AN AGENT

If someone other than the Owner will represent the Owner, the Owner must designate such representative below:

Name of representative: _____

Address of representative: _____

Telephone #: _____

Email: _____

Relationship of representative to Owner: _____

In executing this Covenant, I hereby authorize the person or persons named above to represent my interest before the Board with respect to the MFHD that is the subject of this Covenant.

SECTION 9. AMENDMENTS

This Covenant may be amended, in writing, only upon approval of the majority of the members of the Board.

SECTION 10. GOVERNING LAW

This Covenant, and any amendments thereto, shall be governed by the laws of the Commonwealth of Massachusetts.

SECTION 11. SEVERABILITY

If a court of competent jurisdiction determines that any provision of this Covenant is unenforceable, such determination shall not affect the remaining provisions, which shall remain in full force and effect.

IN WITNESS WHEREOF, the undersigned Owner, hereby certifies under the pains and penalties of perjury that the information contained in this Covenant is true and complete and set my hand and seal to this Covenant on the date(s) written below.

OWNER: Broken Tree, LLC

By Maria L. Varrichione, mgr.
Maria L. Varrichione,
Its duly authorized Manager/Principal

8-6-20
Date

COMMONWEALTH OF MASSACHUSETTS

Norfolk, SS.

On this 6th day of August, 2020, before me, the undersigned notary public, personally appeared Maria Varrichione, proved to me through satisfactory evidence of identification, which was Driver's Lic, to be the person whose name is signed above and acknowledged to me that she signed it voluntarily for its stated purposes as Manager of Sampson Pond, LLC.

Mary White
Notary Public
My Commission Expires: 8/19/22

ACCEPTED BY:
Town of Medway Planning and Economic Development Board

Member

Member

Member

Member

Member

Dated: _____

COMMONWEALTH OF MASSACHUSETTS

Norfolk, SS. _____

On this _____ day of _____, 2020, before me, the undersigned notary public,
personally appeared the above named

proved to me through satisfactory evidence of identification, which was
_____, to be the person(s) whose names are
signed above and acknowledged to me that they signed it voluntarily for its stated purposes as
a member of the Medway Planning and Economic Development Board.

Notary Public

My Commission Expires: _____



TOWN OF MEDWAY
Planning & Economic Development Board
155 Village Street
Medway, Massachusetts 02053

Andy Rodenhiser, Chairman
Robert K. Tucker, Vice-Chairman
Thomas A. Gay, Clerk
Matthew J. Hayes, P.E.
Richard Di Iulio
Jessica Chabot, Associate Member

**Request for Medway Treasurer/Collector's
Verification of Status of Paid Taxes**

Date: August 6, 2020

Applicant's Name: Sampson Pond, LLC (Maria Varrichione)

Subject Property Address: 22 Evergreen Street

Map/Parcel Number(s): 48-051

Property Owner: John and Cynthia Shea Broken Tree, LLC

Project Name: Evergreen Village

Type of Permit: Major Site Plan & Multi-Family Housing Special Permit
Plan Endorsement

Please indicate the status of taxes/fees owed to the Town:

- ☒ By checking this box and with my signature below, I verify that all taxes and fees owed the Town of Medway **for the subject property** are paid in full as of this date for the subject property noted above.
- ☐ By checking this box and with my signature below, I verify that all taxes and fees owed the Town of Medway **for other properties owned by the applicant** noted above are paid in full as of this date.
- ☐ By checking this box and with my signature below, I verify that the **Town is owed taxes or fees** on properties owned by the above noted applicant. Briefly explain on the lines below. Please attach a report that indicates the property address, what taxes are owed, and the respective amounts.

Maria Varrichione
Signature

8/7/20
Date

Please complete and return to the Planning and Economic Development office.



Board Members

Andy Rodenhiser, Chair
Robert Tucker, Vice Chair
Thomas Gay, Clerk
Matthew Hayes, P.E., Member
Richard Di Iulio, Member
Jessica Chabot, Associate
Member

Medway Town Hall
155 Village Street
Medway, MA 02053
Telephone (508) 533-3291
Fax (508) 321-4987
Email: planningboard@townofmedway.org
www.townofmedway.org

TOWN OF MEDWAY

COMMONWEALTH OF MASSACHUSETTS

PLANNING AND ECONOMIC DEVELOPMENT BOARD

April 7, 2020

MULTI-FAMILY HOUSING SPECIAL PERMIT and MAJOR SITE PLAN DECISION Evergreen Village – 22 Evergreen Street APPROVED with Waivers and Conditions

Decision Date: April 7, 2020

Name of Applicant/Permittee: Sampson Pond, LLC

Address of Applicant: Sampson Pond, LLC
PO Box 5
Medway, MA 02053

Name/Address of Property Owners: John T. Shea III and Cynthia Shea
9 Pine Ridge Way
Carver, MA 02330

Site Plan: Evergreen Village
Dated September 2, 2019, last revised February 6, 2020
Prepared by Ron Tiberi, P.E.
To be further revised as specified herein

Location: 22 Evergreen Street

Assessors' Reference: Map 48, Parcel 51

Zoning District: Agricultural-Residential II
Multi-Family Housing Overlay District

I. PROJECT DESCRIPTION – The Applicant proposes to develop a 6-unit residential condominium community to be known as Evergreen Village on a 1.44 acre property at 22 Evergreen Street (Assessors Map 46, Parcel 51). The development will include construction of two 3-unit, townhouse style buildings; one affordable housing unit will be provided. Access to the development will be from a new, 150’ long permanent private roadway to be known as Balsam Way off of Evergreen Street. Two existing curb cuts will be removed. A total of 12 off-street garaged parking spaces (2 per dwelling unit) will be provided plus there will be additional driveway parking for two vehicles per unit for a total of 24 parking spaces. Sub-surface stormwater management facilities will be installed on site as will landscaping and lighting. Connections will be made to the existing Town sewer and water services in Evergreen Street. Evergreen Street is a designated Medway Scenic Road. Construction work in the Town’s Evergreen Street right of way to create the new curb cut involves reconstructing portions of the existing stone wall along Evergreen Street and pruning and grading around a 32” oak tree.

The proposed use requires a multi-family housing special permit pursuant to Sections 5.6.4 and 3.4 of the Town of Medway *Zoning Bylaw* (the “Bylaw”), site plan review and approval pursuant to Section 3.5 of the *Bylaw* and the Board’s *Site Plan Rules and Regulations* as amended December 3, 2002, and a Scenic Road Work Permit pursuant to the Board’s *Scenic Road Work Rules and Regulations*. The property includes wetland resources and is therefore under the jurisdiction of the Medway Conservation Commission for an Order of Conditions and a Land Disturbance Permit pursuant to Medway General Bylaws, Article XXVI.

II. VOTE OF THE BOARD – After reviewing the application and information gathered during the public hearing and review process, the Medway Planning and Economic Development Board (the “Board”), at a special meeting held on April 7, 2020, on a motion made by Richard Di Iulio and seconded by Robert Tucker, ***voted by roll call to APPROVE with CONDITIONS a Multi-Family Housing Special Permit to Sampson Pond, LLC of Medway, MA (hereafter referred to as the Applicant or the Permittee) and to APPROVE with WAIVERS and CONDITIONS as specified herein, a site plan for the development of a six unit, multi-family townhouse condominium community and associated site improvements on the property at 22 Evergreen Street as shown on the plan titled EVERGREEN VILLAGE, dated September 2, 2019, last revised February 6, 2020, to be further revised as specified herein before endorsement and recording.***

The motion was approved by a vote of four in favor and one opposed.

| Planning & Economic Development Board Member | Vote |
|---|-------------|
| Richard Di Iulio | AYE |
| Matthew Hayes | AYE |
| Thomas A. Gay | AYE |
| Andy Rodenhiser | NAY |
| Robert Tucker | AYE |

II. PROCEDURAL HISTORY

- A. September 4, 2019 – Scenic Road work permit application filed with the Town
- B. September 16, 2019 – Special permit and site plan applications and associated materials filed with the Board and the Medway Town Clerk.

- C. September 17, 2019 – Public hearing notice filed with the Town Clerk and posted at the Town of Medway web site.
- D. September 19, 2019 – Site plan information distributed to Town boards, committees and departments for review and comment.
- E. October 1, 2019 - Public hearing notice mailed to abutters by certified sent mail.
- F. September 23 and October 1, 2019 - Public hearing notice advertised in *Milford Daily News*.
- G. October 8, 2019 - Public hearing commenced. The public hearing was continued to November 12 and December 10, 2019 and to January 28, February 25, March 5, March 18, March 24, and April 7, 2020 when a decision was rendered, and the hearing was closed.

IV. INDEX OF SITE PLAN/SPECIAL PERMIT DOCUMENTS

- A. The various applications for the proposed multi-family development at 22 Evergreen Street included the following plans, studies and information that were provided to the Board at the time the application was filed:
 - 1. Multi-Family Housing Special Permit application dated September 4, 2019.
 - 2. Major Site Plan application dated September 4, 2019.
 - 3. Scenic Road Work Permit application dated September 2019
 - 4. Project Narrative received September 4, 2019
 - 5. Requests for Waivers from *Site Plan Rules and Regulations* dated September 4, 2019 prepared by Ron Tiberi, P.E. of Natick, MA
 - 6. *Evergreen Village* site plan dated September 5, 2019 prepared by Ron Tiberi, P.E. of Natick, MA
 - 7. Certified Abutters List from Medway Assessor's office dated August 27, 2019
- B. During the course of the Board's review, revised plans and a variety of other materials were submitted to the Board by the Applicant and its representatives:
 - 1. REVISED Project Narrative dated November 2019, received November 26, 2019
 - 2. Additional Requests for Waivers from *Site Plan Rules and Regulations* dated November 20, 2019 prepared by Ron Tiberi, P.E.
 - 3. *Evergreen Village* site plan dated September 5, 2019, REVISED November 20, 2019 and February 6, 2020, prepared by Ron Tiberi, P.E. of Natick, MA
 - 4. Building Elevations dated September 23, 2019 by Daniel Lewis, Architect of Northborough, MA
 - 5. REVISED Building Elevations dated October 28, 2019 by Daniel Lewis, Architect
 - 6. REVISED Building Elevations and Floor Plans dated November 15, 2019 by Daniel Lewis, Architect
 - 7. Response letters dated December 17, 2019 and February 27, 2020 from project engineer Ron Tiberi to plan review letters from Tetra Tech
 - 8. Proposed Site Landscape Plan dated September 2, 2019 by WDA Design Group, Westborough, MA, last revised January 21, 2020

9. Proposed Site Lighting Plan dated March 14, 2019 by WDA Design Group last revised November 25, 2019.
 10. March 25, 2020 email from Maria Varrichione agreeing to a \$7,874 payment (to the Town's Sidewalk Fund) in lieu of sidewalk construction along the project site's Evergreen Street frontage.
 11. April 4, 2020 email from Maria Varrichione regarding affordable housing requirements.
 12. Updated landscape design plans, Sheets L1 – L3 dated April 2, 2020 by McCarty Engineering of Leominster, MA.
- C. Other documentation submitted to the Board during the course of the public hearing:
1. PGC Associates plan review letters dated October 3 and December 4, 2019 and an email dated March 3, 2020
 2. Tetra Tech plan review letters dated October 7 and December 19, 2019 and March 3, 2020
 3. Email communication dated October 2, 2019 from Fire Chief Jeff Lynch
 4. Email and letter dated October 8, 2020 from Jessica and John Grimes of 1 Royal Heights Drive
 5. Email communications dated February 27, 2020 and March 17, 2020 from Medway Police Sergeant Jeffrey Watson
 6. Tree replacement calculation notes dated March 6, 2020 prepared by Planning and Economic Development Coordinator Susan Affleck-Childs
 7. Order of Conditions and Land Disturbance Permit issued by the Conservation Commission on February 17, 2020
 8. Sidewalk construction estimates prepared by Tetra Tech, dated March 19, 2020, revised March 25, 2020.

V. TESTIMONY - In addition to the special permit and site plan review application materials as submitted and provided during the course of its review, the Board heard and received verbal testimony from:

- Steve Bouley, P.E. of Tetra Tech, Inc., the Town's Consulting Engineer – Commentary provided throughout the public hearing process.
- Gino Carlucci, PGC Associates, the Town's Consulting Planner – Commentary provided throughout the public hearing process.
- Ron Tiberi, PE, project engineer for the Applicant - Commentary provided throughout the public hearing process
- Maria Varrichione, Applicant

Abutter Comments During the public hearing

- Resident at 7 Cottage Street
- Shelley Pacitto, 19A Evergreen Street
- Wallace and Christine Long, 19B Evergreen Street
- Jessica Grimes, 1 Royal Heights Drive
- Kathleen Murray, 17A Evergreen Street
- Marcy Keith, 3 Cottage Street
- Mr. Murray, 17B Evergreen Street

VI. FINDINGS - The Board, at its meeting on April 7, 2020, on a motion made by Robert Tucker and seconded by Tom Gay, voted to approve the following **FINDINGS** regarding the SPECIAL Permit, Site Plan, and Scenic Road Work Permit for the proposed multi-family development at 22 Evergreen Street. The motion was approved by a roll call vote of four in favor (Di Iulio, Gay, Hayes and Tucker) and one opposed (Rodenhiser)

MULTIFAMILY HOUSING SPECIAL PERMIT FINDINGS - The Board makes the following findings in relation to this development's compliance with Section 5.6.4 Multifamily Housing of the Bylaw.

Applicability

- 1) Location - *The site is within the Multi-Family Housing Overlay District (Section 5.6.4) and thus is eligible for the multi-family housing proposal.*
- 2) Traffic capacity – *Evergreen Street is a local street connecting Pond Street with Cottage Street and has sufficient capacity to handle the traffic from the 6 units that are proposed. The 6 units do not rise to the level of triggering the requirement for preparation of a traffic study. Previously, the property included a two-family house so there is a net increase of 4 dwelling units.*
- 3) Parcel size & frontage – *The site consists of 1.44 acres (66,534 sq. ft.) which exceeds the minimum area requirement of 22,500 sq. ft. for the underlying Agricultural Residential II zoning district. The site has 171 ft. of frontage on Evergreen Street, so it meets the minimum 50-foot frontage requirement of Section 5.6.4.B(1) of the Bylaw.*

Dimensional Requirements

- 4) Dimensional Adjustments – *The dimensional requirements of the underlying Agricultural Residential II zoning district apply to the project, as set forth in Table 2 of Section 6 of the Bylaw. The revised plan dated February 6, 2020 shows a front building setback of 35 feet from Evergreen Street; the minimum front setback for the AR-II district is 35. The plan shows side and rear setbacks of 15 feet where the minimum required is 15 feet. The plan indicates that the project complies with maximum building coverage requirements (16.5% provided vs. 30% maximum allowed). There are no impervious standards for the AR-II district; the site will be 29% impervious upon completion of the building and site improvement construction. No dimensional adjustments are needed.*
- 5) Building Height - *The height of the six units will be approximately 38 feet, less than the maximum 40 feet allowed.*

Density

- 6) Density – *Pursuant to the Zoning Bylaw in effect at the time of applications, the maximum possible density for multi-family project is 12 units per whole acre. With 1.44 acres, the site could include a maximum possible 12 dwelling units. Because of the extent of wetland resources on the site, only 6 units are workable. Therefore, the project meets the allowed density.*

Special Regulations

- 7) Affordable housing – *With a project size of 6 units, the development must provide 1 affordable housing unit pursuant to Section 8.6.C. of the Bylaw.*

- 8) Open Space - *A minimum of 15% of the parcel must be open space or yard area. This requirement is met with 75% of the site remaining open due to the extent of the property's wetland resources.*
- 9) Parking spaces - *Two off-street spaces per unit (12 spaces) are the minimum required per Section 5.6.4 E. 3 of the Bylaw and 24 paved, off-street parking spaces are provided, 2 in each garage and the remaining in the driveways.*
- 10) Town water and sewer service - *The project will be served by Town water and sewer service presently located in Evergreen Street.*
- 11) Number of units - *The number of units proposed (6) is less than the 12-unit maximum possible number of units allowed under the Bylaw for a property of this size.*
- 12) Historic Properties – *At the time of this application, there was not a historic building on the site. However, prior to this application, the older 2-family building and barn were demolished following the completion of the 9-month demolition delay process imposed by the Medway Historical Commission.*

Decision Criteria

- 13) Meets purposes of Multi-Family Housing section of the Bylaw (Section 5.6.4) and the Site Plan Rules and Regulations - *The project meets the following purposes of the Multifamily Housing section of the Bylaw: (1) provide a diversity of housing types in the form of townhouse style conditions; (2) promote pedestrian oriented development as the subject property is located within an older, walkable neighborhood. It also meets the purpose of the Site Plan Rules and Regulations. The site plan has been reviewed by Town officials, the Consulting Engineer and Consulting Planner to ensure that the health, safety and welfare of Town residents is protected. Impacts on traffic, parking, drainage, environmental quality, community economics and community character were considered.*
- 14) Consistent with the Medway Housing Production Plan - *The development meets the HPP's implementation strategy of encouraging the use of the Multifamily Housing special permit provision of the Bylaw and providing additional options for multi-family housing.*
- 15) Impact on abutting properties and adjacent neighborhoods - *The impact on abutting properties and adjacent neighborhoods has been addressed through vegetative screening, fencing, a rigorous stormwater management system, and the positive aesthetics of the buildings to be constructed.*
- 16) Variety of housing stock - *The development increases the variety of housing stock in the community by providing a total of six townhouse style condominiums to the town's predominantly single-family detached housing supply...*
- 17) Designed to be reflective of or compatible with the character of the surrounding neighborhood - *The surrounding neighborhood includes a mix of housing types including single family, two-family and multi-family residences. Therefore, the proposed development is compatible with the surrounding neighborhood.*

SPECIAL PERMIT DECISION CRITERIA FINDINGS – Unless otherwise specified herein, special permits shall be granted by the special permit granting authority only upon its written determination that the adverse effects of the proposed multifamily housing use will not outweigh

its beneficial impacts to the town or the neighborhood, in view of the particular characteristics of the site, and of the proposal in relation to that site. The Board makes the following findings in accordance with Section 3.4 of the *Bylaw*. In making its determination, the special permit granting authority, in addition to any to any specific factors that may be set forth in other sections of the *Bylaw*, shall make findings on all of the applicable criteria specified below:

- 1) The proposed site is an appropriate location for the proposed use. *The proposed use is a multi-family development within the Multi-Family Housing Overlay District as approved by Town Meeting. Therefore, the proposed use is in an appropriate location.*
- 2) Adequate and appropriate facilities will be provided for the operation of the proposed use. *As documented in the plans and associated materials, and conditioned herein, adequate and appropriate facilities will be provided for the operation of the proposed uses. Town officials, the Town's Consulting Engineer and Consulting Planner have all reviewed the proposed facilities. The project will be serviced by Town water and sewer systems. Private electric and gas utilities will be provided. The stormwater management system has been designed in accordance with the applicable regulations and been approved by the Conservation Commission.*
- 3) The proposed use as developed will not create a hazard to abutters, vehicles, pedestrians or the environment. *The proposed use adds 6 residential units on a local street off of Main Street. The development has been reviewed by Police Sergeant Jeff Watson and modifications will be made. As conditioned herein, (Specific Condition J.2) the exit from the site has adequate sight distance and does not create a hazard to abutters, vehicles, or pedestrians. The proposed stormwater management system has been reviewed by the Town's Consulting Engineer and the Conservation Commission and will not present a hazard to the environment.*
- 4) The proposed use will not cause undue traffic congestion or conflicts in the immediate area. *Evergreen Street has the capacity to handle the traffic from the additional 6 residential units. The entrance has been designed for maximum sight distance so the development will not cause undue traffic congestion or conflicts. As conditioned herein (Specific Condition O), the development is not permitted to have additional resident parking on Evergreen Street.*
- 5) The proposed use will not be detrimental to the adjoining properties due to lighting, flooding, odors, dust, noise, vibration, refuse materials or other undesirable visual, site or operational attributes of the proposed use. *The Applicant has provided documentation reviewed by the Town's Consulting Engineer that its stormwater management plan is adequate to prevent flooding. The development will utilize residential style driveway lanterns. A revised photometric plan documents that there is no light trespass off site. Household refuse will be disposed of by individual waste containers for each household. There will be no detrimental impact on abutters due to odors, dust, noise, vibration, refuse materials or other undesirable environmental impacts.*
- 6) The proposed use as developed will not adversely affect the surrounding neighborhood or significantly alter the character of the zoning district. *The proposed use is within the Multi-Family Housing Overlay District. The surrounding neighborhood includes other multi-family buildings in the neighborhood and thus this development will not alter the character of the neighborhood.*

- 7) The proposed use is in harmony with the general purpose and intent of the *Zoning Bylaw*. *The Multi-Family Housing provisions of the Bylaw were specifically established to encourage this type of use subject to certain conditions to limit adverse impacts. The proposed use is in harmony with the general purpose and intent of the Bylaw.*
- 8) The proposed use is consistent with the goals of the Medway Master Plan. *The proposed use is consistent with the Master Plan goals of identifying housing needs and implementing projects to meet those needs such as increasing housing diversity.*
- 9) The proposed use will not be detrimental to the public good. *As documented in the plans and application, and the findings and conditions of this decision, the proposed use is in accordance with the goals of the Master Plan while protecting against potential adverse impacts. The proposed development has reasonable and appropriate density in a suitable location.*

For all of the above reasons, the Board finds that the beneficial impacts of the proposed 6-unit townhouse condominium development at 22 Evergreen Street outweigh the effects of the proposed use on the Town and neighborhood.

SITE PLAN RULES AND REGULATIONS FINDINGS – The Board shall determine whether the proposed development is in conformance with the standards and criteria set forth in the *Site Plan Rules and Regulations*, unless specifically waived. In making its decision, the Board makes the following findings in accordance with Section 204-8 of the *Site Plan Rules and Regulations*, as amended *December 3, 2002*, and Section 3.5 of the *Bylaw*:

- 1) Has internal circulation, queuing and egress been designed such that traffic safety is protected, access via minor streets servicing residential areas is minimized, and traffic backing up into the public way is minimized? *The plan has been thoroughly reviewed by Town officials, the Consulting Engineer and Consulting Planner. There is no backing onto a public way from the subject site, and Evergreen Street is adequate to safely handle the additional traffic from the 6 new housing units. 24 off-street parking spaces are provided.*
- 2) Does the site plan show designs that minimize any departure from the character, materials, and scale of buildings in the vicinity as viewed from public ways and places? *The design and materials of the proposed residential buildings are suitable for the site and use. The designs have been reviewed by the Design Review Committee and modified based on its recommendations. The new buildings do not conflict with the other nearby buildings in terms of character, materials and scale.*
- 3) Is reasonable use made of building location, grading and vegetation to reduce the visible intrusion of structures, parking areas, outside storage or other outdoor service areas (e.g. waste removal) from public views or from (nearby) premises residentially used and zoned. *The buildings include a residential use so there is no outside storage or large intrusive parking lots. Appropriate vegetation is planned on the perimeter of the property to screen the development from abutting residences.*
- 4) Is adequate access to each structure for fire and service equipment provided? *The proposed structures are accessible from the driveway and are located close to the street. The Fire Chief has reviewed the plans which were modified to address his concerns for suitable turnaround at the end of Balsam Way.*

- 5) Will the design and construction minimize, to the extent reasonably possible, the following environmental impacts?
- a) the volume of cut and fill;
 - b) the number of trees to be removed with particular care taken with mature trees and root systems;
 - c) the visual prominence of man-made elements not necessary for safety;
 - d) the removal of existing stone walls;
 - e) the visibility of building sites from existing streets;
 - f) the impacts on waterways and environmental resource areas;
 - g) soil pollution and erosion;
 - h) noise.

The proposed stormwater drainage system has been reviewed by the Town's Consulting Engineer and the Conservation Commission. Appropriate soil pollution and erosion controls have been incorporated into the plan. No extraordinary noise will be generated by the residential development. The project has been reviewed for a Scenic Road Work Permit with suitable conditions imposed to preserve the scenic quality of Evergreen Street.

- 6) Is pedestrian and vehicular safety both on the site and egressing from it maximized? *The proposed use adds 6 residential units on a local street. As conditioned herein (Specific Conditions J.2 and O) the egress from the site has adequate sight distance and does not create a hazard to abutters, vehicle, or pedestrians.*
- 7) Does the design and will the construction incorporate, to the maximum extent possible, the visual prominence of natural and historic features of the site? *The site includes historic stone walls along the Evergreen Street frontage which are subject to Scenic Road work permit review and protection. A pre-existing building on the premises was demolished prior to this application after completing the 9-month demolition delay order instituted by the Medway Historical Commission.*
- 8) Does the lighting of structures and parking area avoid glare on adjoining properties and minimize light pollution within the town? *The lighting plan was reviewed by the Board's Consulting Planner and Engineer. The planned site lighting is residential in scale and minimizes light pollution. Per the photometric plan, there is no light spillage off site.*
- 9) Is the proposed limit of work area reasonable and does it protect sensitive environmental and/or cultural resources? *The site plan as designed should not cause substantial or irrevocable damage to the environment, which damage could be avoided or ameliorated through an alternative development plan or mitigation measures. The limit of work is reasonable. The size of the project has been reduced over the course of review from 7 to 6 dwelling units. The wetland resources are protected through an Order of Conditions issued by the Medway Conservation Commission.*

VII. WAIVERS – At its April 7, 2020 meeting, the Board, on a motion made by Robert Tucker and seconded by Matthew Hayes, voted by roll call to grant waivers from the following provisions of the *Rules and Regulations for the Submission and Approval of Site Plans, as amended December 3, 2002*. The Board's action and reasons for granting each waiver request are listed below. All waivers are subject to the *Special and General Conditions of Approval*, which follow this section. The motion was approved by a vote of four in favor (Di Iulio, Gay, Hayes, and Tucker) and one opposed (Rodenhiser).

SITE PLAN SUBMITTAL REQUIREMENTS/PLAN CONTENTS

- 1) **Section 204 – 3. Planning Board Submittals A. 7.** - A written *Development Impact Statement* shall be provided which shall describe the potential and anticipated impacts of the proposed development, identify all positive and adverse impacts, and propose an acceptable program to prevent or mitigate adverse impacts.

*The Applicant did not submit a Development Impact Statement with the site plan application due to the relatively small size of the proposed 6-unit condominium development. The submitted Project Narrative provides a brief overview of the project's impacts on the community. A Traffic Impact Assessment is not needed as the small size of the development does not trigger this requirement. **The Board approves this waiver as being consistent with the purpose and intent of the Site Plan Rules and Regulations which will have no significant detriment to the achievement of any of the purposes of Site Plan Review and Approval.***

- 2) **Section 204 – 4. Standards for Site Plan Preparation, B.** - The site plan shall be drawn at a scale of one (1) inch equals forty (40) feet or such other scale that has been approved in advance by the Planning Board and that clearly and adequately represents the proposed improvements. *The submitted plans are drawn at a scale of 1" = 20 feet. Although this does not meet the standard, the Board's consulting engineer has reviewed the plan and found it to be suitable and sufficient to adequately present the project. **The Board approves this waiver as being consistent with the purpose and intent of the Site Plan Rules and Regulations which will have no significant detriment to the achievement of any of the purposes of Site Plan Review and Approval.***

- 3) **Section 204 – 5 Site Plan Contents. C. Existing Conditions. 3)** An *Existing Landscape Inventory* shall be prepared by a Professional Landscape Architect licensed in the Commonwealth of Massachusetts. This inventory shall include a "mapped" overview of existing landscape features and structures and a general inventory of major plant species including the specific identification of existing trees with a diameter of one (1) foot or greater at four (4) feet above grade. *As requested by the Board, a tree inventory was prepared to document the existence of 18 trees more than 18" in diameter scattered throughout the site. It was prepared by applicant Maria Varrichione with assistance from Steve Bevilacqua, a certified arborist with Tree Timber Corporation of Canton, MA. **The Board approves this waiver as being consistent with the purpose and intent of the Site Plan Rules and Regulations which will have no significant detriment to the achievement of any of the purposes of Site Plan Review and Approval.***

SITE PLAN DEVELOPMENT STANDARDS

- 1) **Section 205-2 Design Standards**

G. Ground floor facades shall have arcades, display windows, entry areas, canopies, awnings or other such features with pleasing aesthetics along no less than sixty (60) percent of their horizontal length.

H. Buildings shall have architectural features that provide visual interest at the pedestrian scale and incorporate local character with detailing that is conservative in color and has a village feel, thus avoiding massive aesthetic effects.

*These particular design standards were established to apply primarily to commercial development. The building elevations show that the residential units have some of these features, but not along 60% of the façade. This standard is not possible to achieve as the garages comprise at least 50% of the width of each dwelling unit. **The Board approves this waiver as being consistent with the purpose and intent of the Site Plan Rules and Regulations which will have no significant detriment to the achievement of any of the purposes of Site Plan Review and Approval.***

- 2) **Section 205 – 3 B. Internal Site Driveways 3.** - Driveways should intersect the road at an angle of ninety (90) degrees.

*The Applicant has requested a waiver from this requirement and plans instead to have Balsam Way intersect with Evergreen Street at a ninety-three degree angle. This size variation is slight, is more suitable to the shape of this particular parcel, and aligns better with the site configuration. This has been reviewed by the Board's Consulting Engineer who did not object to this variation. **The Board approves this waiver as being consistent with the purpose and intent of the Site Plan Rules and Regulations which will have no significant detriment to the achievement of any of the purposes of Site Plan Review and Approval.***

- 3) **Section 205 – 3 D. Sidewalks** - Where no pedestrian ways exist, the applicant shall create pedestrian ways and connections between streets, the proposed development, surrounding neighborhoods, and other surrounding uses providing safe access to the nearest existing pedestrian facility or sidewalk.

*The Applicant has requested a waiver from this requirement because there are no sidewalks on Evergreen Street and the surrounding neighborhood does not have sidewalks. However, Section 3.5.4 Procedures for Site Plan Review, I. 3 of the Zoning Bylaw requires the provision of sidewalks along the entire frontage of properties subject to site plan review. As this is a Bylaw requirement and not a Site Plan Regulation, the Board does not have the authority to waive that requirement. Therefore, **the Board denies this Waiver Request. An alternative to sidewalk construction is a Payment in Lieu of sidewalk construction elsewhere in the community which is addressed in Specific Condition #H herein.***

- 4) **Section 205 – 4 Drainage and Stormwater Management. B.** Test pits and percolation tests must be performed to support infiltration calculations and assumptions related to the Stormwater Management Design.

*The Applicant has requested a waiver from the requirement for conducting percolation tests. Instead, test pits and soil evaluations have been performed as per MA Department of Environmental Protection stormwater policy standards and industry norms. Rawls infiltration rates were used for the drainage analysis and stormwater design. The Board's consulting engineer is satisfied that the analysis and design were appropriately developed. **The Board approves this waiver as being consistent with the purpose and intent of the Site Plan Rules and Regulations which will have no significant detriment to the achievement of any of the purposes of Site Plan Review and Approval.***

- 5) **Section 205 – 6 H. Curbing** – The perimeter of the parking area shall be bounded with vertical granite curb or similar type of edge treatment to delineate the parking lot.

The Applicant has requested a waiver from the requirement for granite curbing for the roadway and driveways and has proposed the use of bituminous berm instead. This is a residential setting, not a commercial development. Granite curb will be used at the roundings of the new roadway (Balsam Way) into the site from Evergreen Street. The use of bituminous curbing is more compatible with the surrounding neighborhood. There is no curbing at all on adjacent Evergreen Street. ***The Board approves this waiver request as being consistent with the purpose and intent of the Site Plan Rules and Regulations which will have no significant detriment to the achievement of any of the purposes of Site Plan Review and Approval.***

- 6) **Section 205 – 6 I. Travel Lanes** - Travel lanes in the parking area shall be a minimum of twenty-four (24) feet wide.

The Applicant has requested a waiver from this requirement and proposes instead to have a 22' wide roadway (travel lane). A reduced roadway width will promote reduced vehicular speed, speed, reduce the amount of impervious surface, lessen the extent of site grading, and contribute to a more compact, village appearance. The Fire Chief has reviewed the plan and has not provided any comments or concerns about the roadway width. ***The Board approves this waiver request as being consistent with the purpose and intent of the Site Plan Rules and Regulations which will have no significant detriment to the achievement of any of the purposes of Site Plan Review and Approval.***

- 7) **Section 205 – 9 C. Parking Areas** - Internal landscape planted divisions (*islands and peninsulas*) shall be constructed within all parking lots to provide shading and buffering. At least one deciduous tree of a minimum two and one-half (2 1/2) inches caliper in diameter shall be provided for every six (6) parking spaces. Only trees providing shade to the parking area shall be counted as meeting this requirement. This requirement may be waived in lieu of the preservation of existing trees subject to approval by the Board.

The Applicant has requested a waiver from this regulation to not install shade trees over parking areas. In this project, the “parking areas” are the driveways to each individual dwelling unit. Instead, the Applicant will plant additional trees around the property and along the western boundary of the property as a buffer area as shown on the Landscape Plan. ***The Board approves this waiver request as being consistent with the purpose and intent of the Site Plan Rules and Regulations which will have no significant detriment to the achievement of any of the purposes of Site Plan Review and Approval.***

- 8) **Section 205-9. F. Landscaping - Tree Replacement** – The total diameter of all trees over ten (10) inches in diameter that are removed from the site shall be replaced with trees that equal the total breast height diameter of the removed trees. The replacement trees may be placed on or off site as recommended by the Board.

A tree inventory performed by applicant Maria Varrichione and Steve Bevilacqua of Tree Timber Corporation of Canton, MA found that there are 18 trees over 18” in diameter on the 1.44 acre site; one 22” diameter oak tree needs to be removed as part of site preparation. Using the standard formula of tree radius² x 3.14 to calculate the amount of tree area, removal of this tree triggers a required total of 380 sq. inches of tree replacement.

According to the revised landscape plan dated January 21, 2020, prepared by WDA Design Group of Westborough, MA, 29 new deciduous and evergreen trees of at least 3” caliper

will be planted. 29 three-inch caliper trees x 7 sq. inches per tree = 203 square inches of tree replacement plantings to be installed throughout the site including the area adjacent to the wetland resource portion of the property. In addition, 110 miscellaneous shrubs will be planted throughout the site along building foundations, in the front lawn area adjacent to Evergreen Street, and along the eastern and western boundaries with adjacent properties to provide suitable screening and buffering. **The Board approves this waiver as being consistent with the purpose and intent of the Site Plan Rules and Regulations which will have no significant detriment to the achievement of any of the purposes of Site Plan Review and Approval.**

VIII. CONDITIONS The *Special and General Conditions* included in this Decision shall assure that the Board's approval of this site plan complies with the *Bylaw*, Section 3.4 (Special Permits) and Section 5.6.4 (Multi-Family Housing), is consistent with the *Site Plan Rules and Regulations*, that the comments of various Town boards and public officials have been adequately addressed, and that concerns of abutters and other town residents which were aired during the public hearing process have been carefully considered. The Board's issuance of a special permit and site plan approval is subject to the following conditions:

SPECIFIC CONDITIONS OF APPROVAL

- A. Notwithstanding any future amendment of the *Bylaw*, G.L. c.40A, or any other legislative act:
1. The maximum number of dwelling units to be developed under this special permit shall be 6. The maximum number of bedrooms for the development shall be 16.
 2. The tract(s) of land on which this multi-family development will be located shall not be altered or used except:
 - a) as granted by this special permit;
 - b) substantially as shown on the site plan entitled *Evergreen Village*, dated September 5, 2019, last revised February 6, 2020 prepared and compiled by Ronald Tiberi, P.E to be modified as specified herein; and
 - c) in accordance with subsequent approved plans or amendments to this special permit.
 3. The tract of land and buildings comprising the Evergreen Village development shall not be used, sold, transferred or leased except in conformity with this special permit and shall not be further divided.
- B. **Plan Endorsement** - Within sixty (60) days after the Board has filed its *Decision* with the Town Clerk, the site plan entitled *Evergreen Village*, dated September 5, 2019, last revised February 6, 2020 prepared and compiled by Ronald Tiberi, P.E including landscape plans by WDA Design Group of Westborough, MA as revised by McCarty Engineering of Leominster, MA, and architectural and building plans by Daniel Lewis Architect of Northborough, MA shall be further revised to reflect all Conditions and required revisions as specified herein, including those as follows, and shall be submitted to the Board to review for compliance with the Board's *Decision*. (Said plan is hereinafter referred to as the "Plan".) Upon approval, the

Applicant shall provide the revised Plan in its final form to the Board for its endorsement prior to recording at the Norfolk County Registry of Deeds along with this decision. All Plan sheets shall be bound together in a complete set.

- C. **Cover Sheet Revisions** – Prior to plan endorsement, the cover sheet of the February 6, 2020 Evergreen Village site plan set shall be revised as follows:
1. Include the list of APPROVED Requests for Waivers. Revise the text size and/or line weight to ensure the Waiver language can be properly read. Remove reference to waivers from Adaptive Use Overlay District regulations.
 2. Revise the signature box to include a line for plan endorsement date
 3. Add a reference to the Stormwater Pollution and Prevention Plan (O & M plan) for Construction to the Plan Index
 4. Include a new plan revision date
 5. Add a Registry box and incorporate whatever other formatting is needed for the plan to be recordable at the Norfolk County Registry of Deeds.
 6. Add language that the development is subject to a performance security Covenant to be executed by the Board and recorded with the special permit and plan.
 7. Add language for the Town Clerk to document that no appeals were filed.
 8. Add reference to McCarty Engineering of Leominster, MA for landscape plan.
- D. **Other Plan Revisions** – Prior to plan endorsement, the following plan revisions shall be made to the February 6, 2020 Evergreen Village site plan set.
1. Include a sheet providing the Stormwater Pollution Prevention Plan (O & M plan) for Construction.
 2. Detail and notes shall be provided to describe the dimensions and composition of the Garden Path at the end of Balsam Way.
 3. Add a datum reference (NAVD 88) to the plan set.
 4. Depict the location of the official “open space” areas.
 5. Add a Registry box and whatever other formatting is needed on each sheet for the full plan set to be recordable at the Norfolk County Registry of Deeds.
 6. The Cheney Engineering Existing Conditions shall be updated to specify the NAVD 88 benchmark information in NOTES and a revised date.
 7. Information to depict regrading of the land to the west of the proposed roadway to establish better sight distance for egressing traffic.
 8. Add a detail to Sheet D-2 for the stone wall/fence to be installed along the western boundary of the property.
 9. Detail Sheet D-3 shall be revised to delete the detail for bituminous machined berm and replace it with a detail for Cape Cod berm.
 10. The notes on Sheets S-3 and S-4 regarding proposed retaining wall shall be revised to refer to the wall section detail included on Sheet L-1.
 11. The Existing Conditions Plan Sheet S-1 originally dated March 2, 2019 shall be revised to remove the building and barn which have been razed and are no longer located on the premises. The date on Sheet S-1 shall be revised accordingly.
 12. Remove reference to split rail fence wherever it appears in the plan set.

13. Remove the ornamental wall shown for installation on the east side of Balsam Way entrance off of Evergreen Street.
 14. Add the Storm Water Pollution Plan within the Storm Water Report for Evergreen Village, 22 Evergreen Street, Medway, MA by Ronald Tiberi, dated February 6, 2020 as a sheet in the plan set. Add this item to the Plan Index on the cover sheet of the plan set.
- E. ***Other Documentation*** - Prior to plan endorsement, the Applicant shall provide the following additional documentation to the Board:
1. Copy of the Performance Security Covenant to be executed by the Permittee and the Board in a form acceptable to the Board and suitable for recording at the Registry of Deeds or Land Court, as may be applicable, for review, comment, amendment and approval by Town Counsel.
 2. Copy of a sample deed to be used to convey each dwelling unit for review, comment, amendment and approval by Town Counsel. The deed shall clearly state that the Evergreen Village Condominium Trust shall own and be responsible for the maintenance and upkeep of development's private roadway (Balsam Way), the stormwater management system, and all other infrastructure.
- F. ***Recording of Plans and Documents***
1. The Plan of Record associated with this special permit is titled *Evergreen Village*, dated September 5, 2019, last revised February 6, 2020 prepared and compiled by Ronald Tiberi, P.E including landscape plans by WDA Design Group of Westborough, MA and architectural and building plans by Daniel Lewis Architect,, of Northborough, MA to be further revised as specified herein.
 2. No site preparation shall begin on the site and no building permit shall be issued before the following documents are recorded at the Norfolk County Registry of Deeds:
 - a) This special permit decision with the Plan of Record endorsed by the Board
 - b) Performance Security Covenant with the Board
 3. The following documents which shall be in compliance with the conditions of this decision shall be recorded at the Norfolk County Registry of Deeds prior to the issuance of the first occupancy permit for the development.
 - a) Evergreen Village Condominium Master Deed
 - b) Declaration of Trust of the Evergreen Village Condominium Association
 4. Within thirty days of recording, the Permittee or its assigns or successors shall provide the Board with a receipt from the Norfolk County Registry of Deeds indicating that the specified documents have been duly recorded or supply another alternative verification that such recording has occurred.
- G. ***Open Space/Yard Area***

1. At least 15% of the site shall be retained as open space and/or yard area in perpetuity. This is an ongoing obligation of the Evergreen Village Condominium Association. This area shall be unpaved but may be landscaped or left natural, with the balance being trees, shrubs and grass suitable for the site. This area may include a play area or other communal recreational space, subject to plan modification requirements.
- H. ***Sidewalk Construction/Replacement on Evergreen Street*** – Pursuant to Section 3.5.4. I. Procedures for Site Plan Review of the *Zoning Bylaw*, sidewalks shall be provided along the entire frontage of properties subject to site plan review. The property's frontage along Evergreen Street does not presently include sidewalks and the roadway's narrow width limits its capability to include sidewalks. In lieu of sidewalk construction, the Applicant has agreed to make a payment to the Town's Sidewalk Fund in the amount of \$7,874 as calculated by the Board's Consulting Engineer as the amount needed for the Town to construct 135 linear feet of 5' wide asphalt sidewalk with Cape Cod berm and accessible ramps. The funds shall be held in the Town's Sidewalk Fund for use to construct sidewalks elsewhere in the community. The funds shall be paid to the Town before any occupancy permit is issued by the Building Department.
- I. ***Affordable Housing***
1. In accordance with the *Bylaw*, Section 8.6 Affordable Housing, 1 dwelling unit within Evergreen Village shall be "Affordable" and comply with the requirements for inclusion on the Town's Subsidized Housing Inventory as maintained by the MA Department of Housing and Community Development (DHCD). All provisions of Section 8.6 shall apply to Evergreen Village. To fulfill its affordable housing responsibilities under the *Bylaw*, the Permittee shall provide one affordable housing unit to be located within the first triplex building to be constructed.
 2. Within 180 days after the Decision and Plan are recorded at the Norfolk County Registry of Deeds, the Permittee shall apply to DHCD's Local Initiative Program (LIP) for inclusion of the proposed Affordable Housing Unit as a Local Action Unit on the Town's Subsidized Housing Inventory and thereafter shall diligently pursue DHCD approval of the LIP/Local Action Unit Application. Prior to submitting the LIP Application to DHCD, the Permittee shall meet with the Medway Board of Selectmen and the Medway Affordable Housing Committee and Trust for purposes of securing their support for the LIP/LAU application including the proposed marketing plan and local preference guidelines.
 3. The Affordable Housing Unit shall be subject to a perpetual affordable housing deed rider, in a form acceptable to DHCD, to be recorded at the Norfolk County Registry of Deeds with the deed for the affordable housing unit as required by LIP. The Affordable Housing Unit shall be sold and resold in accordance with the provisions of the affordable housing deed rider.
 4. One Affordable Housing Unit shall to be located within the development's

first triplex building to be constructed as required by DHCD for approval of the project's LIP application. The location of the affordable housing unit shall comply with the provisions of Section 8.6 Affordable Housing of the *Bylaw*, F. Location and Comparability of Affordable Housing Units. The location and size of the affordable housing unit must be approved by DHCD. Upon direction by DHCD or request of the Permittee (*without effect to the Subsidized Housing Inventory eligibility*), the Board shall permit a change in the location of the Affordable Housing Unit. In the event that DHCD does not approve of the project's eligibility under the Subsidized Housing Inventory, the Permittee shall work diligently with the Town to take any action necessary to ensure the unit is included on the Town's Subsidized Housing Inventory.

5. Affordable Housing Regulatory Agreement – If and to the extent that DHCD approves the Affordable Housing Unit pursuant to 760 CMR 56.04(7) and 56.05 (10)(b), the Permittee shall prepare or cause to be prepared and submit to DHCD, before an occupancy permit is issued for the first dwelling unit, an Affordable Housing Regulatory Agreement to be executed by the Town of Medway, the Permittee (DTRT, LLC or its successors/assigns) and the Massachusetts DHCD. After such submittal to DHCD, the Permittee shall diligently pursue DHCD approval of the Regulatory Agreement. Upon execution, the Regulatory Agreement shall be recorded at the Norfolk County Registry of Deeds. To the extent approved by DHCD, the Affordable Housing Unit shall be subject to the Regulatory Agreement and shall be sold and resold in accordance with its provisions.
6. The Permittee shall select and compensate a Lottery Agent to prepare the LIP/Local Action unit application and Regulatory Agreement and manage the marketing and initial sale of the Affordable Housing Unit. Any such Lottery Agent must meet DHCD's experience requirements so that the Affordable Housing Unit may be counted on the Town's Subsidized Housing Inventory. The Permittee and/or the Evergreen Village Condominium Trust shall identify such Lottery Agent to the Board and any changes thereto.
7. DHCD shall oversee the initial sale of the Affordable Housing Unit pursuant to the LIP/LAU program in conjunction with the selected Lottery Agent.
8. The ongoing Monitoring Agent for the affordable unit shall be DHCD. The Board hereby names the Town of Medway Affordable Housing Trust, if approved by DHCD, as an additional Monitoring Agent for the sale and resale of the Affordable Housing Unit.
9. The Evergreen Village Condominium Master Deed and all legal documents related to the Affordable Housing Unit shall include language to specify:
 - a) the unit number of the designated Affordable Housing Unit;
 - b) that the Affordable Housing Unit shall be sold to income eligible persons or households that meet the income restrictions;
 - c) that the local preference criteria for the sale and re-sale of the Affordable Housing Unit shall be in accordance with the

- Massachusetts Department of Housing and Community Development Local Initiative Program or other applicable state housing program
- d) that the Affordable Housing Unit is eligible for inclusion on the Town's Subsidized Housing Inventory;
 - e) that the Affordable Housing Unit is subject to a use restriction; and
 - f) that the Affordable Housing Unit shall not be encumbered for any financing purposes beyond the original mortgage amount without the express advance written permission of the Monitoring Agent.
10. Timing of construction of affordable unit
- a) No building permit for the second building shall be issued until the Board of Selectmen has approved the Affordable Housing Regulatory Agreement and the Permittee has submitted it to DHCD.
 - b) The occupancy permit for the 4th market rate unit shall not be issued until the Affordable Housing Regulatory Agreement is approved by DHCD and recorded with the Norfolk County Registry of Deeds and before the affordable unit is determined to be occupiable by the Building Commissioner.
11. Comparability of construction of affordable housing units
- a) The Permittee shall construct the affordable housing unit to be indistinguishable from other units in the development from the exterior including the provision of garages and parking spaces. The units shall be equivalent to the market-rate units in terms of design, quality of construction and workmanship, mechanical, plumbing, heating and cooling systems, roofing, insulation, windows and energy efficiency.
 - b) The affordable housing units shall contain complete living facilities and include an equivalent quantity of cabinets, countertops, appliances, lighting, kitchen and bathroom plumbing fixtures, closets, and washer/dryer hookups, and heating and air conditioning equipment to those provided for market rate units. The affordable units shall contain good quality and highly durable interior finishes, flooring, lighting and plumbing fixtures that are consistent with contemporary standards for new housing and installed with equivalent workmanship to the market rate units.
 - c) Product and system warranties for the affordable housing units shall be equivalent to those supplied for market rate units.
- J. **Tree Preservation** – The tree inventory included on the Existing Conditions plan identified a total of 18 trees of 18" or larger in diameter located on the subject property; one 22" tree is approved for removal during construction.
1. The Applicant and its contractors shall not remove any of the remaining 17 trees during site preparation and construction of infrastructure and the buildings.

- a) The 17 trees shall be clearly identified in the field and verified by the Town's consulting engineer before site preparation and construction commences.
 - b) If any of the 17 identified trees are removed or damaged during construction, the applicant shall be responsible for tree restoration by replacing the removed or damaged trees with nursery grade trees on a one (1) square inch per two (2) square inch replacement basis within (1) year after the tree removal or damage has occurred. The one (1) square inch per two (2) square inch replacement amount is calculated by squaring 1/2 the established diameter of each tree that is removed or damaged and multiplying that amount by 3.14 to determine its trunk area (tree radius squared x pi rounded to 3.14). The resulting figure is halved, and that square inch total is the amount of required square inches of the replacement tree(s). A 3" caliper tree equals seven (7) sq. ft. The location of the replacement trees shall be recommended by the applicant and approved by the Planning and Economic Development Board and Tree Warden and may be located off site of the subject premises including on adjacent properties. The restoration shall be verified by the Tree Warden as being fully and skillfully performed. The species of replacement tree(s) shall be reviewed and approved by the Tree Warden, or otherwise will be consistent with the species of the removed *tree(s)*.
 - c) In lieu of tree planting, the applicant may contribute to the Medway Tree Fund in an amount to be determined by the Board upon consultation with the Medway Tree Warden and based on wholesale pricing for 3-inch caliper trees from a reputable area landscape supplier.
 2. The Applicant has agreed to prune the 32" tree in the Town's right of way on Evergreen Street. Such pruning shall occur under the guidance of the Medway Tree Warden and Police Department Safety Officer.
- K. **Community Mailbox** - It is anticipated that the U.S. Postal Service will require the use of a standard community mailbox kiosk vs. mail delivery to each individual dwelling unit. Before installation, the Applicant is required to provide the Board with information on the proposed location for such a community mailbox change and the design for a shed enclosure for the kiosk, to be reviewed and approved by the Design Review Committee.
- L. **Ownership/Maintenance of Site Improvements**
1. The stormwater drainage facilities, and all other infrastructure shall be owned and maintained by the property owner. It is the intent of the Board that these facilities shall not be accepted by the Town of Medway.
 2. The Board requires that the following aspects of the development shall be and shall remain forever private, and that the Town of Medway shall not have, now or ever, any legal responsibility for operation or maintenance of same:
 - a) Parking areas
 - b) Stormwater management facilities

- c) Internal Sidewalks
 - d) Snowplowing/sanding
 - e) Landscaping
 - f) Light posts
- M. **Building Permits** - The Board authorizes the Building Department to issue a building permit for the triplex building comprised of units 4, 5 and 6 so that construction can occur during construction of the approved roadway and site infrastructure improvements.
- N. **Occupancy Permits** - Before the Board will authorize an occupancy permit for any of the units in the first triplex building (Units 4, 5 and 6), the following items, at a minimum, must be installed and inspected and approved by the Board:
- a) Roadway area gravel sub-base
 - b) Roadway area binder course
 - c) Drainage system completed to the proposed outfall with frame and grates set to binder grade, as well as stormwater basins, swales, infiltrations systems or any other stormwater management facilities.
 - d) As-built plan of each stormwater basin and forebay and all critical elevations and details of the associated structures, pipes and headwalls.
 - e) All regulatory signs as specified on the approved Plan.
 - f) Stop line pavement markings if required
 - g) Provisions for fire prevention and protection. Private water main/ service to be constructed, installed and functional.
- O. **Patios** – To not increase stormwater runoff, any future patios shall be fabricated with pervious paving materials.
- P. **Parking** – The plan includes two off-street parking spaces per unit (12 spaces total). Regular on-street parking of the occupants of the dwelling units on Balsam Way and Cottage Street shall not be permitted.
- Q. **Scenic Road Work Permit** – This project is also subject to a Scenic Road Work Permit issued by the Board. As a condition of this Decision, the Permittee shall comply fully with the requirements of that Scenic Road Work Permit.
- R. **Underground Utilities** - All electric, telephone, cable TV, and other utilities shall be located underground.
- S. **Water Use and Conservation**
- 1. The development is relying on the Town's public water system and the Town is being held to its Water Management Act Permit with the MA Department of Environmental Protection. The Permittee shall incorporate the following water conservation measures for construction of the development:
 - a. private well water for landscape irrigation
 - b. rain-gauge controlled irrigation systems
 - c. low flow household fixtures
 - d. water efficient appliances (dishwashers, washer/dryers, toilets, etc.)
 - 2. The Permittee shall not use Town water for irrigation of the site's lawn and

landscaping. A private well may be installed pursuant to application and receipt of necessary permits from the Board of Health.

- T. ***Fire Protection*** – This project is subject to local, state and federal fire codes.
- U. ***Addresses*** – The Balsam Way addresses for the 6 condominium dwellings shall be as determined by the Medway Assessor’s office upon consultation with the Medway Fire and Police Departments.
- V. ***Development Signage*** – Any future development signage for this project shall comply with the sign regulations of the *Bylaw* and is subject to review by the Design Review Committee.
- W. ***Stormwater Management During Construction*** – Construction is subject to the Storm Water Pollution Plan within the Storm Water Report for Evergreen Village, 22 Evergreen Street, Medway, MA by Ronald Tiberi, dated February 6, 2020.
 - 1. This document shall be included in all construction contracts, subcontracts and specifications dealing with the proposed work. The applicant shall ensure that all contractors, subcontractors and other personnel performing the permitted work are fully aware of the Construction Period Operation and Maintenance Plan.
 - 2. No clearing of vegetation, including trees, or disturbance of soil shall occur prior to the Pre-Construction Meeting.
 - 3. Prior to the Pre-Construction Meeting and commencement of any activity on the site, the erosion control plan included in the endorsed plan set and the limit of work lines shall be staked. The location of erosion controls shall be adjusted, if necessary, during the first erosion control inspection.
 - 4. Immediately after installation of erosion controls, the Applicant shall notify the Board’s consulting engineer to schedule a follow-up inspection to ensure that erosion controls and limits of work have been properly located and installed. No work shall be conducted until the Board’s consulting engineer has inspected and approved the installation of the erosion controls.
 - 5. It shall be the responsibility of the Applicant to conduct monitoring, maintenance and repair of erosion control measures, as well as to take any other additional measures necessary to control erosion from the site. The erosion control measures designated on the site plan shall be considered a minimum standard for compliance.
 - 6. All waste products, refuse, debris, grubbed stumps, slash, excavate, construction materials, etc. associated with the planned construction shall be contained and ultimately deposited at an appropriate off-site facility and shall not be incorporated in any manner into the project site.
- X. ***Stormwater Management - Post Construction***
 - 1. The Applicant shall be responsible for keeping the constructed stormwater

drainage system in a clean and well-functioning condition and shall do nothing which would alter the drainage patterns or characteristics as indicated on the Plan approved herein without the express written approval of the Board.

2. The stormwater drainage system, water and sewer systems shall be maintained by the Applicant, its successors and assigns, and shall not be dedicated to the Town. It is the intent of the Board and the Applicant that these systems shall not be accepted by the Town.
3. The Permittee and its successors and assigns shall maintain the stormwater management system in accordance with the Operations and Maintenance Plan within the Storm Water Report for Evergreen Village, 22 Evergreen Street, Medway, MA by Ronald Tiberi, dated February 6, 2020.
4. The applicant shall submit annual reports of inspections and maintenance of all stormwater management structures included in the site plan to the Board and the Medway Department of Public Works Compliance Officer starting one year after the Certificate of Site Plan Completion is issued.
5. In the event a management company is engaged by the owner, the stormwater maintenance and operation plan shall be incorporated by reference in the management contract.
6. In the event that the Applicant, its successors and assigns, or its agent fail to maintain the stormwater management system in accordance with the applicable guidelines for operation and maintenance, the Town may conduct such maintenance or repairs as the Town determines in its sole discretion are reasonably necessary, and the Applicant hereby consents to allow the Town and its agents, employees and contractors entry onto the Property to implement the measures set forth in such guidelines. In the event the Town conducts such maintenance or repairs, the Applicant shall promptly reimburse the Town for all reasonable expenses associated therewith; if the Applicant fails to so reimburse the Town, the Town may place a lien on the site or any unit therein to secure such payment.

Y. ***Order of Conditions*** – As a component of this development, the Permittee shall comply fully with the Order of Conditions and the associated Land Disturbance Permit issued by the Medway Conservation Commission on March 17, 2020.

GENERAL CONDITIONS OF APPROVAL

- A. The term “Applicant” and “Permittee” as used in this decision and permit refers to the owner, any successor in interest, title or successor in control of the property referenced in the applications, supporting documents and this decision and permit. The Board shall be notified in writing within 30 days of all transfers of title of any portion of the property that take place prior to issuance of a Certificate of Site Plan Completion.
- B. ***Fees*** - Prior to plan endorsement by the Board, the Permittee shall pay:

1. the balance of any outstanding plan review fees owed to the Town for review of the site plan by the Town's engineering, planning or other consultants; and
2. any construction inspection fee that may be required by the Board; and
3. any other outstanding expenses or obligations due the Town of Medway pertaining to this property, including real estate and personal property taxes and business licenses.

The Permittee's failure to pay these fees in their entirety shall be reason for the Board to withhold plan endorsement.

C. ***Other Permits*** – This permit does not relieve the Permittee from its responsibility to obtain, pay and comply with all other required federal, state and Town permits. The contractor for the Permittee or assigns shall obtain, pay and comply with all other required Town permits.

D. ***Restrictions on Construction Activities*** – During construction, all local, state and federal laws shall be followed regarding noise, vibration, dust and blocking of Town roads. The Permittee and its contractors shall at all times use all reasonable means to minimize inconvenience to abutters and residents in the general area. The following specific restrictions on construction activity shall apply.

1. ***Construction Time*** - Construction work at the site and in the building and the operation of construction equipment including truck/vehicular and machine start-up and movement and construction deliveries shall commence no earlier than 7 a.m. and shall cease no later than 6 p.m. Monday – Saturday. No construction shall take place on Sundays and federal and/or state legal holidays without the advance approval of the Building Commissioner. These rules do not apply to interior construction work such as painting, installation of drywall, flooring, etc.
2. Prior to commencing any work on the site, the Permittee shall install a stone construction entrance (tracking pad) not less than 20' wide and not less than 30' in length, of a stone size averaging 1" to 4".
3. The Permittee shall take all measures necessary to ensure that no excessive dust leaves the premises during construction including use of water spray to wet down dusty surfaces.
4. There shall be no tracking of construction materials onto any public way. Daily sweeping of roadways adjacent to the site shall be done to ensure that any loose gravel/dirt is removed from the roadways and does not create hazardous or deleterious conditions for vehicles, pedestrians or abutting residents. In the event construction debris is carried onto a public way, the Permittee shall be responsible for all clean-up of the roadway which shall occur as soon as possible and in any event within twelve (12) hours of its occurrence.

5. The Permittee is responsible for having the contractor clean-up the construction site and the adjacent properties onto which construction debris may fall on a daily basis.
6. All erosion and siltation control measures shall be installed by the Permittee prior to the start of construction and observed by the Board's consulting engineer and maintained in good repair throughout the construction period.
7. *Construction Traffic/Parking* – During construction, adequate provisions shall be made on-site for the parking, storing, and stacking of construction materials and vehicles. All parking for construction vehicles and construction related traffic shall be maintained on site. No parking of construction and construction related vehicles shall take place on adjacent public or private ways or interfere with the safe movement of persons and vehicles on adjacent properties or roadways.
8. *Noise* - Construction noise shall not exceed the noise standards as specified in the Medway General Bylaws and the *Bylaw*, 7.3 Environmental Standards, as may be amended.
9. *Stormwater Management* – During construction, the Applicant shall maintain the site and installed stormwater management facilities in accordance with Storm Water Pollution Plan within the Storm Water Report for Evergreen Village, 22 Evergreen Street, Medway, MA by Ronald Tiberi, dated February 6, 2020.

E. ***Landscape Maintenance***

1. The site's landscaping shall be maintained in good condition throughout the life of the facility and to the same extent as shown on the endorsed Plan. Any shrubs, trees, bushes or other landscaping features shown on the Plan that die shall be replaced by the following spring.
2. Within 60 days after two years after the last occupancy permit is issued, the Town's Consulting Engineer or the Building Commissioner shall conduct an initial inspection of the landscaping to determine whether and which landscape items need replacement or removal and provide a report to the Board. At any time subsequent to this initial inspection, the Town's Consulting Engineer or the Building Commissioner may conduct further inspections of the landscaping to determine whether and which landscaping items need replacement or removal and provide a report to the Board. The Board may seek enforcement remedies with the Building Commissioner/Zoning Enforcement Officer to ensure that the comprehensive landscaping plan is maintained.

F. ***Snow Storage and Removal***

1. On-site snow storage shall not encroach upon nor prohibit the use of any parking spaces required by the *Bylaw*.
2. The Applicant shall inform snow removal operators of the approved locations for on-site snow storage.

3. Accumulated snow which exceeds the capacity of the designated snow storage areas on-site shall be removed from the premises within 24 hours after the conclusion of the storm event.
- G. ***Right to Enter Property*** – To the extent permitted by law, Board members, its staff, consultants or other designated agents of the Town shall have the right to enter upon the subject property to inspect the site at any time, to ensure continued compliance with the terms and conditions of this special permit and the endorsed plan.
- H. ***Construction Oversight*** - Inspection of infrastructure and utility construction, installation of site amenities including landscaping by the Town's Consulting Engineer and review of legal documents by Town Counsel is required. -
1. Construction Account
 - a) Prior to plan endorsement, the Permittee shall establish a construction account with the Board. The funds may be used at the Board's discretion to retain professional outside consultants to perform the items listed above as well as the following other tasks - inspect the site during construction/installation, identify what site plan work remains to be completed, prepare bond estimates, conduct other reasonable inspections until the site work is completed and determined to be satisfactory, review as-built plans, and advise the Board as it prepares to issue a *Certificate of Site Plan Completion*.
 - b) Depending on the scope of professional outside consultant assistance that the Board may need, the Permittee shall provide supplemental payments to the project's construction inspection account, upon invoice from the Board.
 - c) Any funds remaining in the Permittee's construction inspection account after the *Certificate of Site Plan Completion* is issued shall be returned to the Applicant.
 2. Pre-Construction Meeting – At least seven days prior to the start of any site preparation or construction, the Applicant shall meet with the Town's Consulting Engineer, the Planning and Economic Development Coordinator, the Medway Department of Public Works, the Medway Conservation Agent, the site contractors, and Applicant's project engineer for a pre-construction meeting. The construction schedule and procedures for inspections shall be reviewed.
 3. The Department of Public Works will conduct inspections for any construction work occurring in the Town's right-of way in conjunction with the Town of Medway Street Opening/Roadway Access Permit and the sewer and water connection permits.
 4. The Permittee shall have a professional engineer licensed in the Commonwealth of Massachusetts conduct progress inspections of the construction of the approved site improvements. Inspections shall occur at least on a monthly basis. The engineer shall prepare a written report of each inspection and provide a copy to the Board within 5 days of inspection.

Failure of the Permittee to provide these reports may be reason to withhold building or occupancy permits.

I. *On-Site Field Changes*

1. During construction, the Permittee may be authorized to make limited, minor, on-site field changes to the approved plan based on unforeseen site or job conditions, situations, or emergencies necessitated by field conditions or due to practical considerations. These field changes shall not alter items which may affect the site's compliance with this decision and the *Bylaw* nor conflict with a specific condition of the decision. Field changes shall not substantially alter the intent, layout or design of the endorsed site plan.
2. Prior to undertaking such field changes, the Permittee and/or contractor shall discuss the possible field changes with the Town's Consulting Engineer and submit a letter and drawings to the Planning and Economic Development Coordinator and the Building Commissioner describing the proposed changes and what conditions, situations, or emergencies necessitate such changes. In accordance with Section 3.5.2.C of the *Bylaw*, the Building Commissioner may determine that the field change is insubstantial, authorize the change, and so notify the Board. Otherwise, the Board shall review the proposed field changes at a public meeting and determine whether the proposed field changes are reasonable and acceptable based on the unforeseen conditions, situations, or emergencies and whether other options are feasible or more suitable. A written authorization of field change will be provided. Any approved field change shall be reflected in the as-built plan to be provided at project completion.

J. *Plan Modification*

1. Proposed modifications (not including on-site field changes) to the endorsed plan shall be subject to review by the Board.
2. This Site Plan Approval is subject to all subsequent conditions that may be imposed by other Town departments, boards, agencies or commissions. Any changes to the site plan that may be required by the decisions of other Town boards, agencies or commissions shall be submitted to the Board for review as site plan modifications.
3. Any work that deviates from an approved site plan shall be a violation of the *Bylaw*, unless the Permittee requests approval of a plan modification and such approval is provided in writing by the Board.
4. The request for a *Modification* to a previously approved plan shall be subject to the same application and review process including a public hearing including the payment of plan modification filing fee and plan review fee and all costs associated with another public hearing including legal notice advertising. The Board shall issue its *Modification Decision*, file such with the Town Clerk, and provide copies to the Building Commissioner, other Town officials and the Permittee. Any modifications approved by the Board shall be made a permanent part of the approved site plan project documents and shall be shown on the final as-built plan.

K. Plan Compliance

1. The Permittee shall construct all improvements in compliance with the approved and endorsed plan and any modifications thereto.
2. The Board or its agent(s) shall use all legal options available to it, including referring any violation to the Building Commissioner/Zoning Enforcement Officer for appropriate enforcement action, to ensure compliance with the foregoing Conditions of Approval.
3. The Conditions of Approval are enforceable under Section 3.1. F. of the *Bylaw* (non-criminal disposition).

L. Performance Security

1. *Covenant* - Prior to plan endorsement, the Permittee shall sign a *Covenant*, on a form provided by the Board, to be reviewed and approved by Town Counsel, to secure construction of the roadway, stormwater management facilities and related infrastructure and site improvements as specified in the approved Plan. Reference to the *Covenant* shall be noted on the cover sheet of the Plan. The *Covenant* shall specify that no unit may secure a building permit until such services are completed or an alternative form of security is provided. The *Covenant* shall specify that the roadway (excluding unit driveways) and all infrastructure including the stormwater management system shall be constructed and all utilities and services shall be installed to the satisfaction of the Board within three years of the date of plan endorsement. The *Covenant* shall be recorded at the Norfolk County Registry of Deeds at the same time the Decision and Plan are recorded.
2. *Alternative Performance Security*
 - a) At such time as the Permittee wishes to secure a building permit, the security provided by the *Covenant* shall be replaced by one of the types of performance guarantees set forth in M.G.L. Ch. 41, Section 81U, which method or combination of methods may be selected and from time to time varied by the Applicant, in a sufficient amount, source and form acceptable to the Board, the Treasurer/Collector and Town Counsel. The performance guarantee shall be accompanied by an agreement which shall define the obligations of the Permittee and the performance guarantee company including:
 - 1) the date by which the Permittee shall complete construction
 - 2) a statement that the agreement does not expire until released in full by the Board
 - 3) procedures for collection upon default.
 - b) *Amount* - The amount of the performance guarantee shall be equal to 100% of the amount that would be required for the Town of Medway to complete construction of the roadway and installation of stormwater management facilities, utilities, services, pedestrian facilities and all site amenities as specified in the Decision and Plan that remain unfinished at the time the performance guarantee estimate is prepared if the Permittee failed to do so. The security amount shall be approved by the Board based on an estimate

provided by the Town's Consulting Engineer based on the latest weighted average bid prices issued by the Mass Department of Transportation. The estimate shall reflect the cost for the Town to complete the work as a public works project which may necessitate additional engineering, inspection, legal and administrative services, staff time and public bidding procedures. The estimate shall also include the cost to maintain the roadway and infrastructure in the event the Permittee fails to adequately perform such. In determining the amount, the Board shall be guided by the following formula in setting the sum: estimate of the Town's Consulting Engineer of the cost to complete the work plus a 30% contingency. A performance security agreement shall be executed by the Permittee, the Board and the selected surety.

3. *Adjustment of Performance Guarantee* – At the Permittee's written request, the amount of the performance guarantee may be reduced from time to time over the course of the construction project by vote of the Board upon the partial completion of the roadway and infrastructure improvements as defined herein. In order to establish the amount to adjust the performance guarantee, the Town's Consulting Engineer shall prepare an estimate of the current cost for the Town to complete all work as specified on the approved Plan that remains unfinished at the time the estimate is submitted to the Board. The estimate shall be based on unit prices in the latest Weighted Average Bid Prices issued by the Mass Department of Transportation. The estimate shall reflect the cost for the Town to complete the work as a public works project, which may necessitate additional engineering, inspection, legal and administrative fees, staff time and public bidding procedures. The estimate shall also include the cost to maintain the roadway and infrastructure in the event the Permittee fails to adequately perform such. In determining the amount of the adjustment of the performance guarantee, the Board shall be guided by the following formula to determine the reduction amount: the estimate of the Town's Consulting Engineer of the cost to complete the work; plus a 30% contingency. The Board may authorize up to three reductions in the amount of performance security however, the Board shall not reduce the performance security below \$40,000.
4. *Final Release of Performance Security* - Final release of performance security is contingent on project completion.

M. ***Project Completion***

1. Special permit approval shall lapse after two years of the grant thereof if substantial use has not commenced except for good cause.
2. The approved site plan shall be completed by the Permittee or its assignees within three years of the date of plan endorsement. Upon receipt of a written request by the Permittee filed at least thirty (30) days prior to the date of expiration, the Board may grant an extension for good cause. The request shall state the reasons for the extension and the length of time requested. If no request for extension is filed and approved, the site plan approval shall lapse and may be reestablished only after a new filing, hearing and decision.

3. Prior to issuance of the occupancy permit for the sixth dwelling unit, the Permittee shall request a ***Certificate of Site Plan Completion*** from the Board. The ***Certificate*** serves as the Board's confirmation that the completed work conforms to the approved site plan and any conditions and modifications thereto, including the construction of any required on and off-site improvements. The ***Certificate*** also serves to release any security/performance guarantee that has been provided to the Town of Medway. To secure a ***Certificate*** of Site Plan Completion, the Permittee shall:
 - a) provide the Board with written certification from a Professional Engineer registered in the Commonwealth of Massachusetts that all building and site work has been completed in substantial compliance with the approved and endorsed site plan, and any modifications thereto; and
 - b) submit an electronic version of an As-Built Plan, prepared by a registered Professional Land Surveyor or Engineer registered in the Commonwealth of Massachusetts, to the Board for its review and approval. The As-Built Plan shall show actual as-built locations and conditions of all buildings and site work shown on the original site plan and any modifications thereto. The final As-Built Plan shall also be provided to the Town in CAD/GIS file format per MASS GIS specifications.
- N. ***Construction Standards*** - All construction shall be completed in full compliance with all applicable local, state and federal laws, including but not limited to the Americans with Disabilities Act and the regulations of the Massachusetts Architectural Access Board for handicap accessibility.
- O. ***Conflicts*** – If there is a conflict between the site plan and the Decision's Conditions of Approval, the Decision shall rule. If there is a conflict between this Decision and/or site plan and the *Bylaw*, the *Bylaw* shall apply.

IX. APPEAL

The Board and the Applicant have complied with all statutory requirements for the issuance of this Decision on the terms set forth herein. A copy of this Decision will be filed with the Medway Town Clerk and mailed to the Applicant, and notice will be mailed to all parties in interest as provided in G.L. c. 40A §15.

Any person aggrieved by the decision of the Board may appeal to the appropriate court pursuant to Massachusetts General Laws, Chapter 40A, §17, and shall be filed within twenty days after the filing of this decision in the office of the Medway Town Clerk.

In accordance with G.L. c. 40A, §11, no special permit shall take effect until a copy of the Decision is recorded in the Norfolk County Registry of Deeds, and indexed in the grantor index under the name of the owner of record, or is recorded and noted on the owner's certificate of title, bearing the certification of the Town Clerk that twenty days have elapsed after the Decision has been filed in the office of the Town Clerk and no appeal has been filed within said twenty day period, or that an appeal has been filed. The person exercising rights under a duly appealed special permit does

so at risk that a court will reverse the permit and that any construction performed under the permit may be ordered undone. The fee for recording or registering shall be paid by the Applicant. A copy of the recorded Decision, and notification by the Applicant of the recording, shall be furnished to the Board.

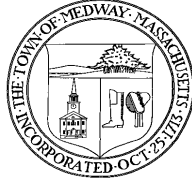
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**Medway Planning and Economic Development Board
Evergreen Village MULTI-FAMILY SPECIAL PERMIT, MAJOR SITE PLAN DECISION
and SCENIC ROAD WORK PERMIT
22 Evergreen Street**

Approved by the Medway Planning & Economic Development Board: April 7, 2020

Certified by: _____
Thomas A. Gay, Clerk

Copies to: Michael Boynton, Town Administrator
Stephanie Carlisle, DPW Compliance Officer
David D'Amico, Department of Public Works
Mike Fasolino, Deputy Fire Chief
Bridget Graziano, Conservation Agent
Donna Greenwood, Assessor
Beth Hallal, Health Agent
Jeff Lynch, Fire Chief
Jack Mee, Building Commissioner and Zoning Enforcement Officer
Erika Robertson, Building Department Compliance Officer
Joanne Russo, Treasurer/Collector
Barbara Saint Andre, Director of Community and Economic Development
Jeff Watson, Police Department
Maria Varrichione, Sampson Pond LLC
John and Cynthia Shea
Ron Tiberi, P.E.
Steven Bouley, Tetra Tech
Gino Carlucci, PGC Associates



August 11, 2020, 2020
Medway Planning & Economic Development Board
Meeting

PEDB Meeting Minutes

- Draft minutes of 7-28-20 PEDB meeting

Tuesday July 28, 2020
Medway Planning and Economic Development Board
155 Village Street
Medway, MA 02053

REMOTE MEETING

| Members | Andy Rodenhiser | Bob Tucker | Tom Gay | Matt Hayes | Rich Di Iulio | Jessica Chabot |
|-------------------|------------------------|-------------------|----------------|-------------------|----------------------|-----------------------|
| Attendance | X | X | X | X | X | |

Pursuant to Governor Baker’s March 12, 2020 Order Suspending Certain Provisions of the Open Meeting Law, and the Governor’s Orders imposing strict limitations on the number of people that may gather in one place, no in-person attendance of members of the public will be permitted at this meeting. Board members will participate remotely via ZOOM. Meeting access via ZOOM is provided for the opportunity for public participation; information for participating via ZOOM is included at the end of the meeting agenda. Members of the public who wish to watch the meeting may do so, on Medway Cable Access: channel 11 on Comcast Cable, or channel 35 on Verizon Cable; or on Medway Cable’s Facebook page @medwaycable.

ALSO PRESENT IN ZOOM MEETING:

- Susy Affleck-Childs, Planning and Economic Development Coordinator
- Amy Sutherland Recording Secretary
- Steve Bouley, consulting engineer from Tetra Tech

The Chairman opened the meeting at 7:00 pm.

There were no Citizen Comments.

PEDB MEETING MINUTES:

July 14, 2020:

On a motion made by Rich Di Iulio and seconded by Bob Tucker, the Board voted by Roll Call to approve the minutes from the July 14, 2020 meeting as revised.

Roll Call Vote:

| | |
|------------------------|------------|
| Bob Tucker | aye |
| Tom Gay | aye |
| Andy Rodenhiser | aye |
| Matt Hayes | aye |
| Rich Di Iulio | aye |

WILLIAMSBURG FIELD CHANGE:

The Board is in receipt of the following: (See Attached)

- 6-18-20 email from Paul Yorkis requesting authorization to not plant one tree as shown on the approved site plan.

Mr. Yorkis was present at the Zoom meeting. Mr. Yorkis explained that the town had included on the Williamsburg punch list the installation of a tree within the island where the mailboxes are located. This was on the original landscape plan. Bill Canesi of Canesi Brothers, the firm that installed the infrastructure, advised that it is not the ideal location to install a tree in this location due to the conduit. Mr. Yorkis informed the Board that he spoke with Rick Tweedy who manages the Williams Condominiums Association and he agreed to allow Mr. Yorkis to send a check in the amount of \$250.00 payable to the Association in lieu of planting the tree since they did not want it planted in another location.

On a motion made by Bob Tucker and seconded by Rich Di Iulio, the Board voted by Roll Call vote to adopt the field change for Williamsburg Condominium Corporation as presented.

Roll Call Vote:

| | |
|------------------------|------------|
| Rich Di Iulio | aye |
| Matthew Hayes | aye |
| Bob Tucker | aye |
| Tom Gay | aye |
| Andy Rodenhiser | aye |

MILLSTONE FIELD CHANGE:

The Board is in receipt of the following: (See Attached)

- 7-21-20 letter from GLM Engineer Rob Truax
- Emails from Steve Bouley dated 7-21-20

The applicant's representative, GLM principal Joyce Hastings, was present during the Zoom meeting.

The Chairman disclosed to the Board that he had retained Ms. Hastings/GLM Engineering to assist him with some conservation issues at his home.

Ms. Hasting explained that the submitted field change addresses the drainage structure that was installed on Riverstone Drive. The structure appears to be a small leaching catch basin that wasn't functioning properly and flooded the road on occasion. This was also connected to the flood drain infiltration system as its outlet. The provided calculations indicate that the drain trench will recharge the surface from the drainage area for the 100-year storm event.

Consultant Bouley noted that the pipe is currently connected to drain. This cannot be connected to the structure or any other pipe. It was noted that the drawing dated June 28, 2020 needs to be changed by adding a note that the pipe cannot be tied into the catch basin. Consultant Bouley indicated that this will be inspected.

A member of the public joined the Zoom meeting and wanted to know what happens to the roof

drain. Consultant Bouley responded that the cultec system is already there. An inlet water quality unit will be there for the catch basin. Consultant Bouley would like a note that the pipe is to be installed with a perforation at the invert of the pipe to ensure it actively infiltrates during all storm events. The applicant will provide the noted field change on a revised plan.

On a motion made by Matt Hayes and seconded by Bob Tucker, the Board voted by Roll Call to approve the field changes for Millstone Village.

Roll Call Vote:

| | |
|------------------------|------------|
| Rich Di Iulio | aye |
| Matthew Hayes | aye |
| Bob Tucker | aye |
| Tom Gay | aye |
| Andy Rodenhiser | aye |

MEDWAY MILL SITE PLAN PUBLIC HEARING:

The Board is in receipt of the following: (See Attached)

- 7-17-20 notice to continue the Medway Mill site plan public hearing to 7-28-20.
- 7-24-20 declaration by PEDB chairman Andy Rodenhiser to continue the hearing to 8-11-2020.

On a motion made by Bob Tucker and seconded by Rich Di Iulio, the Board voted by Roll Call to continue the hearing for the Medway Mill Site Plan to August 11, 2020 at 7:15 pm.

Roll Call Vote:

| | |
|------------------------|------------|
| Bob Tucker | aye |
| Tom Gay | aye |
| Andy Rodenhiser | aye |
| Matt Hayes | aye |
| Rich Di Iulio | aye |

MEDWAY PLACE SITE PLAN PUBLIC HEARING:

The Board is in receipt of the following: (See Attached)

- 7-17-20 notice to continue the Medway Mill site plan public hearing to 7-28-20.
- 7-23-20 request from attorney Gareth Orsmond to continue the hearing.

On a motion made by Bob Tucker and seconded by Rich Di Iulio, the Board voted by Roll Call to continue the hearing for Medway Place Site Plan to August 11, 2020 at 9:00 pm.

Roll Call Vote:

| | |
|------------------------|------------|
| Bob Tucker | aye |
| Tom Gay | aye |
| Andy Rodenhiser | aye |
| Matt Hayes | aye |
| Rich Di Iulio | aye |

ARCPUD RULES AND REGULATIONS:

The Board is in receipt of the following: **(See Attached)**

- Draft of the proposed amendments to the ARCPUD Rules and Regulations dated 7-20-20.

The Board was informed that Barbara Saint Andre had asked for the ARCPUD Rules and Regulations to be updated since this was last done in 2001. The majority of the changes are basic “housekeeping” amendments, similar to what was done recently with the AUOD Rules and Regulations.

Some of the edits include:

- Remove the term Planning Board and just have Board.
- Remove the number and write out the numbers (3) three.
- Change the word bond to surety.
- Change term building inspector to building commissioner
- Include ARCPUD Plan review fee as referenced in G.L. Chapter 44, Section 53 G.
- Eliminate the section on penalties within this noted section.

The Board agrees with the recommended edits and would like to hold the public hearing on this at the August 25, 2020 meeting.

ZBA PETITION – Request for Amendment to 1997 variance for 72A Fisher Street:

The Board is in receipt of the following: **(See Attached)**

- Application from Kathleen and Patrick McSweeney.
- Variance Decision – July 17, 1997.

NOTE – Patrick McSweeney zoomed in for the meeting.

The Zoning Board of Appeals received a petition from Kathleen and Patrick McSweeney requesting an amendment to the 1997 variance for 72A Fisher Street. The variance decision allowed a house to be constructed on a lot with less than the standard frontage for the zoning district. However, that decision included a condition that the property could not be further divided. The current owners seek to have this condition be removed so they can then file with the PEDB for a 2-lot private way subdivision to create frontage for 2 lots. The applicant wants to build a new home on a newly split off lot, and then sell the other lot which will include their current home. The Board has no objections to this amendment and would normally not provide a comment to the ZBA.

Susy Affleck-Childs suggested the Board might want to inform the ZBA that the 2-lot private way subdivision is an appropriate step for the applicant to take if the ZBA were to approve the variance amendment.

On a motion made by Bob Tucker and seconded by Rich Di Iulio, the Board voted by Roll Call that they communicate with the ZBA about the permanent private way subdivision.

Roll Call Vote:

| | |
|------------------------|------------|
| Rich Di Iulio | aye |
| Matthew Hayes | aye |
| Bob Tucker | aye |
| Tom Gay | aye |
| Andy Rodenhiser | aye |

CONSTRUCTION REPORTS:

The Board is in receipt of the following: **(See Attached)**

- Salmon SWPPP report from Coneco Engineering
- Salmon construction report #42 (7-14-20) – Tetra Tech
- Salmon construction report #43 (7-15-20) – Tetra Tech

Consultant Bouley explained that he is working with the Conservation Agent Bridget Graziano and Coneco on revisions to the Salmon SWPPP based on the discussions from the last PEDB meeting. The draft revisions to the SWPPP were submitted last week. Those were reviewed by the Conservation Agent and Consultant Bouley. A few more refinements are needed.

ENVIRONMENTAL REGULATIONS:

The Board is in receipt of the following: **(See Attached)**

- Revised draft dated 7-27-20
- Email dated 6-22-20 from resident John Lally
- Email dated 7-28-20 from resident John Lally

Member Gay began the discussion on the Environmental Regulations by explaining that the presented document has been reviewed by both Susy and Barbara. This document specifies how the Building Commissioner will address complaints. It allows for the gathering of data on other complaints giving the Building Commissioner some enforcement leverage. This helps the building department decide if there is a minor problem with possible mitigation or if the issue rises to a bigger level. Member Gay noted that he did read the recent comments offered by Mr. Lally has and does not have a problem with changing the distance standards.

One of the keys changes has to do with the fee for a consultant to determine if there is a violation. The new language would allow for the Building Commissioner to use a noise or odor consultant if needed. However, the Town cannot charge a property owner for that. The Building Department would need a consulting services line item in its budget if it needed to retain outside noise and odor consultants.

The current process for enforcement is a \$300.00 per day violation which is a non-criminal ticket. Resident John Lally communicated that it would be helpful if there was a clear definition of what constitutes an “objectional” odor and this should be included in the bylaw. Mr. Lally recommended a definition. There was a statement that an odor does not mean that it is not always objectionable or nasty. (ex. fresh mulch). The goal of this is to not limit the wording to just odor.

Resident Lally next referenced the investigated section where odor can be an indication of a danger to health, life, and property. He would like to see all odor complaints investigated.

Member Gay noted that there is always an option for a complaint to be investigated but if there are multiple complaints, it would have to be investigated. There was also a comment about the distance of 300 ft. for complaints to be investigated. Mr. Lally would like to see this increased to 1,000 ft. Member Gay has no issue with this being 1,000 ft as recommended by John Lally.

The other item suggested by Mr. Lally is to allow the Building Commissioner to use any other means he deems appropriate for investigation. The Board agrees that this language would allow for flexibility. He also stated that “objectionability” is something other than the threshold. He would like to see that “objectionability” is going to be determined by the Building Commissioner. Mr. Lally wants a precise measurement for the Building Commissioner to use. Mr. Lally also read the definition of detection threshold. He further explained that there are two thresholds - detection and recognition. Detection is that an odor is noticeable. Recognition is the identification of what the odor is. (ex. cannabis facility). Mr. Lally is recommending the use of the “recognition” threshold. The two standards submitted by Mr. Lally further define this and specify the qualifications of the people doing the odor assessment.

The Board would like Susy to further revise and edit the document and then it will be presented to the Board at a follow-up meeting.

OTHER BUSINESS:

Salmon Construction Account:

The Board is in receipt of the following: (See Attached)

- Salmon Construction Services – Project Accounting Report dated 7-14-20
- Updated Tetra Tech construction services estimate dated 7-28-20

On a motion made by Bob Tucker and seconded by Matt Hayes, the Board voted by Roll Call to approve the supplemental estimate for Salmon in the amount of \$29,245.00.

Roll Call Vote:

| | |
|------------------------|------------|
| Bob Tucker | aye |
| Tom Gay | aye |
| Andy Rodenhiser | aye |
| Matt Hayes | aye |
| Rich Di Iulio | aye |

Central Business District Zoning Project:

The Board is informed that a recommendation and contract proposal will be presented to the Board of Selectmen on August 3, 2020 for Ted Browvitz for consulting services for the Central District Zoning Project. It was noted that the EDC would like to be part of the discussions.

Millstone:

The Board was informed that Susy Affleck-Childs and Conservation Agent Bridget Graziano had a productive Zoom meeting with the condo management company which has recently been retained for Millstone. The representative was informed about the permits, restrictions, trails, and stormwater. This was a good discussion.

The Board was informed that Susy Affleck-Childs was contacted by a resident on Carriage Way about the proposal for an 800,000-warehouse facility being built in the Town of Holliston behind their subdivision. Susy has requested the traffic study and full set of plans. There is a concern about the traffic on Clark Street to South Street. There was a suggestion to approach MAPC to look at traffic in this area since it will be a regional problem.

FUTURE MEETING:

- Tuesday, August 11 & 25, 2020

ADJOURN:

On a motion made by Rich Di Iulio and seconded by Matt Hayes, the Board voted by Roll Call vote to adjourn the meeting at 8:47 pm.

Roll Call Vote:

| | |
|------------------------|------------|
| Bob Tucker | aye |
| Tom Gay | aye |
| Andy Rodenhiser | aye |
| Matt Hayes | aye |
| Rich Di Iulio | aye |

The meeting was adjourned at 8:47 pm.

Prepared by,
Amy Sutherland
Recording Secretary

Reviewed and edited by,
Susan E. Affleck-Childs
Planning and Economic Development Coordinator

FIELD REPORT

| | | |
|--|--------------------------------|----------------------------------|
| Project Salmon Health and Retirement Community (The Willows) | Date 7/31/2020 | Report No. 44 |
| Location Village Street, Medway, MA | Project No. 143-21583-15011 | Sheet 1 of 2 |
| Contractor Rubicon Builders (General Contractor) Marois Brothers, Inc. (Site Contractor) | Weather A.M. SUNNY P.M. | Temperature A.M. 75°F P.M. |

FIELD OBSERVATIONS

On Friday, July 31, 2020, Bradley M. Picard, EIT from Tetra Tech (TT) visited the project location to inspect the current condition of the site and observe construction progress. The report outlines observations made during the site visit.

1. OBSERVATIONS

- A. Site Conditions/Erosion Controls: The western portion of the site along Willow Pond Circle is firm, HydroGrass on-site placing hydroseed throughout disturbed areas adjacent to Waterside Run to promote vegetation growth. Upon arrival, hydroseed is being placed at the entrance of Waterside Run. Stockpiled construction materials, crushed stone, and soil are present throughout the main open portion of the site but appear to be properly protected from erosion. Water truck on-site to reduce dust migration and is consistently traveling around the site upon inspection. SFB throughout the site appears to be in good condition, catch basins within Waterside Run have silt sacks installed.
- B. Contractor has installed erosion control measures along the eastern side of Waterside Run adjacent to abutments. Erosion control blankets have been installed along the slope from DCB-1 to DCB-6, compost filter tubes remain in place operating as check dams upstream of DCBs. Rip rap has been placed around each DCB adjacent to Waterside Run, rip rap protected with SFB and silt sacks have been installed.
- C. Contractor has raised all castings within Waterside Run to proposed top course elevations, guardrail installation has also begun. Posts installed from approx. STA 9+50 to proposed pavilion. Aggregate Industries on-site placing hot mix asphalt (HMA) at proposed driveway apron limits along Waterside Run. Crew is manually placing HMA within apron limits, two tandem rollers follow crew to compact HMA to match existing binder grades. A one-foot offset off the edge of binder course has been staked out for cape cod berm installation, cape cod berm to be installed Saturday (8/1).
- D. Contractor has staked out proposed edge of sidewalk, contractor expects to start gravel placement next week (8/3).

| CONTRACTOR'S FORCE AND EQUIPMENT | | | | | | WORK DONE BY OTHERS | |
|--|----|----------------------------|----|----------------------|---|-------------------------------|-------------------------|
| Sup't | 1 | Bulldozer | | Asphalt Paver | 1 | Dept. or Company | Description of Work |
| Foreman | 2 | Backhoe | | Asphalt Reclaimer | | Aggregate Industries | Driveway Apron Install |
| Laborers | 5+ | Loader | 1 | Vib. Roller | 3 | HydroGrass | Hydroseed Placement |
| Drivers | 5+ | Rubber Tire Backhoe/Loader | | Static Roller | | | |
| Oper. Engr. | 3 | Skid Steer | | Vib. Walk Comp. | 1 | | |
| Carpenters | | Hoeram | | Compressor | | | |
| Masons | | Excavator | 1 | Jack Hammer | | | |
| Iron Workers | | Grader | 1 | Power Saw | 1 | | |
| Electricians | | Crane | | Conc. Vib. | | | |
| Flagpersons | | Scraper | | Tack Truck | | | |
| Surveyors | | Conc. Mixer | | Man Lift | | | |
| | | Conc. Truck | | Skidder | | OFFICIAL VISITORS TO JOB | |
| | | Conc. Pump Truck | | Compact Track Loader | | | |
| | | Pickup Truck | 5+ | Water Truck | 1 | | |
| | | Tri-Axle Dump Truck | 5+ | Crane Truck | | | |
| | | Trailer Dump Truck | | Lull | | | |
| | | Art. Dump Truck | 1 | BOMAG Remote Comp. | | | |
| Police Details: N/A | | | | | | RESIDENT REPRESENTATIVE FORCE | |
| Contractor's Hours of Work: 7:00 A.M. to 3:30 P.M. | | | | | | Name | Time on-site |
| | | | | | | Bradley M. Picard, EIT | 10:00 A.M. – 11:00 A.M. |
| | | | | | | | |
| | | | | | | | |

| | | |
|---|--------------------------------|------------------|
| Project Salmon Health and Retirement Community | Date 7/31/2020 | Report No. 44 |
| Location Village Street, Medway, MA | Project No. 143-21583-15011 | Sheet 2 of 2 |

FIELD OBSERVATIONS CONTINUED

2. SCHEDULE

- A. Contractor to begin cape cod berm installation along Waterside Run Saturday (8/1).
- B. Contractor to begin placing gravel for sidewalk along Waterside Run.
- C. Contractor to begin construction of bridge at the Willow Pond Circle Wetland Crossing.
- D. TT will maintain communication with contractor and will inspect the site as construction progresses.

3. NEW ACTION ITEMS

- A. N/A

4. PREVIOUS OPEN ACTION ITEMS

- A. Contractor to generate a plan which details mitigation efforts for high-intensity storms in the two areas of concern as well as addressing other potential areas which may be affected by intense storm events. **TT Update: SWPPP revisions have been provided by the contractor. This item has been addressed.**

5. MATERIALS DELIVERED TO SITE SINCE LAST INSPECTION

- A. Rip-Rap at DCBs.