

Tuesday, September 13, 2022
Medway Planning and Economic Development Board
155 Village Street
Medway, MA 02053
Meeting Minutes

Member	Matt Hayes, chair	Jessica Chabot	Bob Tucker	Sarah Raposa	Rich Di Iulio	Tom Gay (assoc. member)
Attendance	X	X	X	X	X	X

Also Present:

Barbara J. Saint Andre, Director of Community and Economic Development
Steve Bouley, Tetra Tech (via Zoom)

The meeting was called to order by Chair Hayes at 6:30 p.m.

There were no Citizen Comments.

BOUNDARY LANE SUBDIVISION ENDORSEMENT:

The Board is in receipt of the following: (See Attached)

- Subdivision Covenant
- Definitive Subdivision Plan presented for endorsement
- Emails re: final plan review and approval from Tetra Tech
- Drafts: deeds; Homeowners Associate Declaration of Trust; easement

The Board was informed that the proposed covenant and Homeowners Association Declaration of Trust have been approved by Town Counsel. The applicant's attorney has been working on the deeds. Drafts have been approved by town counsel; final deeds will be reviewed by Town Counsel once received. The applicant has complied with plan endorsement requirements, and it is recommended for endorsement.

On a motion made by Sarah Raposa, seconded by Rich Di Iulio, the Board voted 5-0 to endorse the plan for Boundary Lane and approve the subdivision covenant as presented.

**VOLTA CHARGING, LLC – PUBLIC HEARING FOR MINOR SITE
PLAN AND SPECIAL PERMIT FOR ELECTRIC VEHICLE CHARGING
STATION WITH DIGITAL ADVERTISING:**

The Board is in receipt of the following: (See Attached)

- Draft decision

The applicant was present by zoom.

The Board is in receipt of the draft decision. This was also provided to the applicant for review. There was a change to the procedural part of this decision.

The first section reviewed were the findings. The Board determined that the proposed EVC units will not impact circulation, egress, or egress as there will be no alterations to these. This project received a positive review from the Design Review Committee. The units comply with standards of the zoning bylaw for Electric Vehicle Charging Stations with Digital Advertising under Section 5.4.2, and for special permits under Section 3.4.

The Board is in support of the findings as written.

On a motion made by Jessica Chabot, seconded by Rich Di Iulio, the Board voted unanimously 5-0 to approve the site plan and special permit findings as written.

Waivers:

The waivers presented within the decision were reviewed. Those were from Section 204 4(A) through (c) Standards for site plan preparation; Section 205-5 (A) Plan Cover Sheet; Section 205-5 (B) Site Context Sheet; Section 205-5 (C) Existing Condition Sheet; Section 205 5(D) Plot Plan; Section 205-5(E).

Also, waivers from Section 205-3 (D) Stormwater Drainage Evaluation Report; Section 207-11 (A) through (C) Traffic and Vehicular circulation, and Section 207-14 (A) through (G) Post Construction Stormwater Management and Maintenance.

On a motion made by Jessica Chabot, seconded by Rich Di Iulio, the Board voted unanimously 5-0 to approve the waivers as written.

Conditions:

The conditions within the decision were reviewed. These were discussed in depth at previous meetings. There was a suggestion to include a time allotment when the signs turn on and off. This would be one hour before the store opens and one hour after the store closes for the displays.

On a motion made by Jessica Chabot, seconded by Rich Di Iulio, the Board voted unanimously 5-0 to approve Volta EVC special permit, with the waivers, conditions and decision as written.

On a motion made by Jessica Chabot, seconded by Rich Di Iulio, the Board voted unanimously 5-0 to close the public hearing.

MASTER PLAN UPDATE:

The Board was provided with a Master Plan Update. The comment period has been closed. All the comments which were provided are being incorporated into the document. The goal is to get this voted on at the October 25, 2022 PEDB meeting.

CONSTRUCTION REPORTS:

- Willows – There has been the inspection of the basin. There will be some mitigation.

WARRANT ARTICLES:

The Board was informed that the public hearing for the warrant articles will be September 27, 2022 at 7:00 p.m.

25 MAIN STREET ZONING DISCUSSION

The Board listened to an idea presented by Tony Biocchi for a possible mixed-use development at 25 Main Street. There will be a couple of concepts created. There was a plan shown on share screen which was presented to staff a while back. The applicant is proposing that 25 Main Street and four contiguous lots be rezoned to Central Commercial District. The Board would like to see mixed-use residential and possible office space. This parcel has some wetlands and uplands. The boundaries of the Central Business district would need to be extended. The Board recommended he look at the Evergreen project.

COMMCAN – 2 MARC ROAD SITE PLAN MODIFICATION PUBLIC HEARING:

The Board is in receipt of the following: **See Attached**

- Revised submission by Legacy Engineering dated August 31, 2022
- Revised Site Plan dated August 26, 2022
- Revised Stormwater Report dated August 26, 2022
- Noise Analysis memo, by Acentech, dated August 25, 2022
- Cost Estimate from Noise Control Engineering dated August 29, 2022 for Noise study review
- Review of Odor Mitigation Plan, by Straughn Forensic, LLC, dated September 2, 2022
- Revised Tetra Tech review letter dated September 9, 2022

The applicant Ellen Rosenfeld and Engineer Dan Merrikin were present to provide an update. The Board was informed that the applicant is incorporating the comments from peer review. There have been revisions to the compact parking. There will be the maintaining of a gravel drive which was a recommendation of the Conservation Agent. Dumpster pads were added in the back of the building. Tetra Tech provided a new memo, and the remaining items are being addressed. The noise study was also provided. There is going to be an enclosure for the noise. This will be a ground mounted enclosure. The Town's noise consultant is reviewing. The applicant has also received comments on odor and there were provided a written response along with an updated plan.

The review of this will be forthcoming. In relation to the odor, the week of August 25 there was a failing of the system. There is currently a new odor system which has been put online. The problem was that the chemical which was to be dispersed to mask the odor was not working. This has been addressed. The applicant will be meeting with the Conservation Commission in October. Mr. Merrikin stated that the Fire Department has approved. There was discussion regarding the Conservation request that the driveway be gravel, not paved, but a portion will remain paved. There will be a sidewalk and berm. Mr. Bouley of Tetra Tech noted an area where stormwater may be crossing the sidewalk. Mr. Merrikin explained the issue and stated he would work on a new solution. The Board was informed that there was a proposal for the noise dated August 29, 2022. The peer review will proceed.

Resident Lally explained that last month, he performed 70 observations and there were 40 observations which had odor. He stated that the winds were generally calm, he is concerned about the odor when the wind is stronger. He asked that spot checks be completed by an independent consultant.

The applicant explained that the current system in place cleans the air and shoots out a chemical designed and developed to neutralize the odor. The system is adjustable, and they have been tweaking it. It can have a minty odor. The Board will give the applicant time to work on the mitigation of the system.

The Board recommended that Mr. Lally provide his concerns in an email.

On a motion made by Bob Tucker, seconded by Jessica Chabot, the Board voted unanimously to continue the public hearing to October 11, 2022 at 7:00 pm.

WINGATE FARM SUBDIVISION MODIFICATION – PUBLIC HEARING CONTINUATION:

The Board is in receipt of the following: **(See Attached)**

- Notice dated July 18, 2022, to continue the Wingate modification public hearing to August 23, 2022
- Revised plan submittal letter dated August 23, 2022
- Revised plan submittal letter dated August 18, 2022, from project engineer Dan Merrikin
- Revised modification subdivision plan dated August 18, 2022, by Legacy Engineering
- Email note from Dan Merrikin granting an extension of the Board's action deadline to September 30, 2022.
- Land Disturbance Permit application by Legacy Engineering, dated September 12, 2022
- Revised Subdivision Modification Plan dated September 12, 2022.
- Revised Stormwater Management Report dated September 12, 2022.
- Email from Deputy Chief Mike Fasolino

The public hearing for Wingate Farm was reopened.

The applicant Representative Dan Merrikin was present. He stated that the applicant submitted a revised plan and an application for a Land Disturbance permit. Not much has changed on the plan. It was explained that he has received the peer review comments from Tetra Tech. All items seem to be resolved except the waivers. This subdivision was approved under prior 2000 subdivision regulations. It was agreed that these previous waivers do not need to be waived again. Then the 2005 modification was approved with waivers from the 2005 regulations. There does not seem to be a need to re-vote those waivers. The applicant would like to have a new waiver from having the infiltration basin on a separate parcel, due to concerns from the town assessors, and to use HDPE pipe material as shown. There was a previous waiver regarding the datum. Mr. Tucker questioned the requested waiver to have the stormwater system on the house lots rather than a separate parcel. The road and basin will be owned and maintained by the homeowners association. There will be an easement for the drainage and fire truck turnaround. Consultant Bouley and Board members had no issues with the waivers requested. The applicant will need an extension to the decision deadline and a continuation. This is being treated as an

extension of the original subdivision, so a waiver is needed from the extension requirements. There will also need to be a construction deadline extension to another two years. Dan Merrikin will prepare language in regards to the sight distances. There was also discussion that there will need to be a land disturbance permit issued. This can be noted in the findings section.

The applicant would like the hearing continued.

Continue:

On a motion made by Jessica Chabot, seconded by Rich Di Iulio, the Board voted 4-0 to continue the public hearing to September 27, 2022 at 7:30 pm. (Sarah Raposa abstained.)

SANDERSON VIEW (16 HOLLISTON STREET) MAJOR SITE PLAN APPLICATION:

The Board is in receipt of the following: **(See Attached)**

- Major Site Plan Application dated July 26, 2022
- Multifamily Housing Special Permit Application dated July 26, 2022
- Email from Susy Affleck-Childs to Cameron Bagherpour
- Site plan set dated June 20, 2022
- Architectural drawings dated July 8, 2022
- Project Narrative
- Requests for waivers from the site plan rules and regulations
- Landscape and lighting plan
- 8-23-22 email from Susy Affleck-Childs to Town Staff and Boards
- 8-24-22 email from Derek Kwok, Board of Health Agent
- 8-25-22 email from Barbara Saint Andre
- Tetra Tech review letter dated September 8, 2022

On a motion made by Rich Di Iulio, seconded by Jessica Chabot, the Board voted 5-0 to waive the reading of the public hearing notice.

The Board was informed that the application was reviewed internally and by Tetra Tech. This application is for a major site plan review and a multi-family permit for Sanderson View at 16 Holliston Street. Michael Larkin and Cameron Bagherpour were present representing the applicant. Mr. Larkin presented the application and explained that the existing single-family house built in 1852, shall be kept unchanged and will become part of the new development. A three-unit townhouse style condo building is proposed at the rear of the lot. The access to the three new residential dwellings shall be from a new 122' long private driveway off of Sanderson Street. The existing driveway to the existing house will remain. A single new curb cut will be made on Sanderson Street for driveway access to the new residential dwellings. There will be a total of 13 parking spaces. There will be 6 new garages parking spaces (2 per each dwelling unit) plus 3 new additional driveway parking spaces for the new units and 4 existing off-street parking spaced will remain next to the existing house. He is looking for input from the Board on the layout, the number of units, and the waiver requests. Mr. Bagherpour explained the waiver requests. The main concern is the proposed access off of Sanderson Street. It does not meet the requirement to be set back 15 feet from abutting properties, so they are requesting a waiver. Also, they cannot comply with the sidewalk requirement on the driveway. They are proposing

connections to the existing water and sewer on Sanderson Street. The alternative would be to access off of Holliston Street at the existing driveway. The renderings of the building were provided. This application does not trigger a land disturbance permit. The proposal is less than 20,000 sq ft of disturbance.

The discussion was open for comments. Consultant Bouley provided a memo dated September 8, 2022. It was noted in the memo that the stormwater drainage report was not included in the initial review submittal. Mr. Bouley stated that the access would be better off of Holliston Street. There will need to be an easement for a portion of the abutter's driveway which is located in the subject property. All agree that this should be accessed from Holliston Street and not Sanderson Street. Mr. Tucker agreed that the access off Sanderson would be difficult. Ms. Raposa asked how the tri-plex would fit in with the buildings in the neighborhood. It was noted that the 3D perspective renderings are not done to scale with the surrounding neighborhood. This is a concern when the building will be 3.5 stories. Ms. Chabot stated that the height of the building is not appropriate for the neighborhood. She stated the footprint is not out of line. She questioned the need for two-car garages. Mr. Gay inquired as to the slope of the property and whether the building and driveway could be built more in harmony with the existing contours. The Board members discussed options with the applicant. All were in agreement that they would like the house "face" to be on Holliston Street. There will need to be a waiver for the driveway to reach the back of the site.

The applicant needs to reach out to the Fire Department. It was suggested to the applicant to use as an example how the project at 288 Village Street was built.

Comments from public:

Residents, Cathy & Daniel Kane, 7 Sanderson Street:

These residents are concerned about the access from Sanderson Street and this road being too tight. Another concern is where the guests will park. They also wanted to know if the units will be owned or rented.

Resident, Cherilyn Dowd, 12 Holliston Street:

The concern is the depreciation of value in her home.

Resident Lauren DiMartino, 1 North Street:

This resident is concerned about the height and also the lighting which will come from this project. She is also concerned about the loss of trees.

Resident Jeanne Mosher 15 Pine Street:

This resident wanted to know the process which needs to take place for this application.

Resident Teresa Bien, 11 Sanderson Street:

This resident is very concerned about the pedestrian safety on this street.

Resident Young Trust, 18 Pine Street:

This resident would like to see a historical look and not a modern look.

Resident, John Mahon, 9 Sanderson Street:

He is concerned about the access and height. He also wanted to know if the

moratorium will remain in place for no paving on this street even for utility access.

There was a comment that if the building on site is older than 75 years old, it will need to be reviewed by the Historical Commission. There is a concern that this housing is not showing diversity. There should be an affordable component to this.

On a motion made by Jessica Chabot, seconded by Rich Di Iulio, the Board voted unanimously to continue the public hearing to October 25, 2022 at 7:00 pm.

MILFORD REGIONAL HOSPITAL HEARING CONTINUATION:

The Board is in receipt of the following: **(See Attached)**

- Notice dated August 24, 2022 to continue public hearing to September 13, 2022
- Peer Review Response of Sound Study
- DRAFT decision dated August 29, 2022

The Chair opened the continued hearing for Milford Regional Hospital.

The applicant/Engineer presented via zoom. The draft decision was shown on a share screen.

The Board was informed that there was a sound study conducted for the 7 days. This study was conducted by Tech Environmental dated September 6, 2022. The summary noted that the project will comply with the 2dBA above ambient sound limit in the Medway Zoning Noise Bylaw at the nearest residential property line and residential dwelling on Robin Circle. There was also confirmation that the proposed medical facility rooftop HVAC equipment will fully comply with the sound limits.

The decision was further reviewed. The Board would like confirmation relative to the turning analysis. The applicant will get confirmation of this from the Fire Department with either a letter of email about the turning analysis. There will need to be language included within the condition section that an ANR plan will be needed. There was discussion about whether the trees along the Walgreens driveway could be saved. Ms. Chabot asked if any of the trees could be re-planted. The applicant stated it would be difficult, so the landscaping plan shows other trees being planted. There was discussion that the trees should not be too close to the building, so the building should be staked out and then have the Conservation Agent determine where the row of trees needs to be planted. The Board also discussed that the applicant has agreed to comply with the list of recommendation from the traffic safety audit with the exception of changing the timing of the light. The applicant will work with DPW on this. Engineer Cavalieri will provide language about the stormwater requirement. The Board previously discussed the waivers and had no problems with them.

On a motion made by Jessica Chabot, seconded by Sarah Raposa, the Board voted 5-0 to continue the public hearing to September 27, 2022 at 8:05 p.m.

FIELD CHANGE DISCUSSION SALMON WILLOWS , WATERSIDE RUN UNITS:

The Board is in receipt of the following: **(See Attached)**

- Email from Peter Bemis requesting a minor field change to the Waterside Run Units
- Plan titled “Existing & Proposed Conditions Exclusive Use Area 3H” dated August 8, 2022.

The applicant Peter Bemis is requesting a field change for the applicant of Waterside Run. The change is as it relates to the stormwater infiltration at Waterside Run Units 20-20. The change would be to break the leaching areas into 3 separate zones to be shared by 2 units between the common garage areas. The applicant is requesting a minor field change to the Waterside Run Units. The separating of this was witnessed by Tetra Tech Consultant Bouley.

The Board members had no issue with the field change as presented.

On a motion made by Jessica Chabot, seconded by Sarah Raposa, the Board voted 5-0 to approve the field change for Salmon Willows, Waterside Run.

PEDB MEETING MINUTES:

- August 9, 2022 regular PEDB meeting will be acted on at a future meeting.

ADJOURN:

On a motion made by Jessica Chabot, seconded by Bob Tucker, the Board voted unanimously to adjourn the meeting.

The meeting was adjourned at 10:06 p.m.

Prepared by,
Amy Sutherland
Recording Secretary

Reviewed and edited by,
Barbara J. Saint Andre
Director, Community and Economic Development

Messages from the Zoom Meeting Chat:

From Finn Kane to Everyone 08:08 PM
The residents of Medway do not want this.
From Finn Kane to Everyone 08:14 PM
The multi-family house on Sanderson is not convenient for any of its residents. There is simply not enough space for a whole other property like that.
From Teresa B to Everyone 08:23 PM
Use existing curb cut off of Holliston.
From Sarah Mahon to Everyone 08:29 PM
Would also prefer off of Holliston st, if possible
From Teresa B to Everyone 08:39 PM
in the mic please.



September 13, 2022
Medway Planning & Economic Development Board
Meeting

Boundary Lane Subdivision
Endorsement

- Draft Final Plan Review
 - Email from Steve Bouley, Tetra Tech, dated August 26, 2022
 - Email from Susy Affleck-Childs, dated August 26, 2022
 - Email with attachment (revised sheet 5) from Gerry Lindsey dated August 29
 - Email from Steve Bouley, Tetra Tech, dated August 30, 2022
- Definitive Subdivision Plan presented for endorsement (with 8-29-2022 revision)

The proposed covenant and HOA Declaration of Trust have been sent to Town Counsel; deeds are being worked on by the applicant's attorney and will be sent to Town Counsel once we receive it. Everything will be sent to the Board after Town Counsel's review.

Anna Rice

From: Bouley, Steven <Steven.Bouley@tetrattech.com>
Sent: Friday, August 26, 2022 11:28 AM
To: Susan Affleck-Childs
Cc: Anna Rice
Subject: [External] Boundary Lane - Draft Final Plan Review

Hi Susy,

We reviewed the Plans titled "Definitive Subdivision Plan, Boundary Lane, A permanent Private Way, Medway, Massachusetts" dated August 20, 2021 with revisions through August 15, 2022 and compared the Plans against Section VII – Conditions of the Certificate of Action dated July 26, 2022. We have the following comments:

1. The Applicant has included a call-out and plan view for inclusion of ADA ramps at the intersection of the private way and Summer Street. However, a standard detail should be added to the plans to detail construction of the ramp and how it will meet the existing conditions in that area. (§VII.A.3, Bullet 5)

Please let me know if you need anything else, thanks.

Steve

Steven M. Bouley, PE | Project Manager
Direct +1 (508) 786-2382 | Business +1 (508) 786-2200 | Fax +1 (508) 786-2201 | steven.bouley@tetrattech.com

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Anna Rice

From: Susan Affleck-Childs
Sent: Friday, August 26, 2022 11:37 AM
To: Zachary Lindsey; Gerry Lindsey
Cc: Vito Colonna ; Anna Rice
Subject: FW: [External] Boundary Lane - Draft Final Plan Review

Hi,

See note below from Steve Bouley with one minor comment on the final plan for endorsement. Please make that change and send back to us at your earliest convenience so we can include plan endorsement on the agenda for the 9-13-22 PEDB meeting.

Thanks.

Susan E. Affleck-Childs
Planning and Economic Development Coordinator
Town of Medway
155 Village Street
Medway, MA 02053
508-533-3291



From: Bouley, Steven <Steven.Bouley@tetrattech.com>
Sent: Friday, August 26, 2022 11:28 AM
To: Susan Affleck-Childs <sachilds@townofmedway.org>
Cc: Anna Rice <arice@townofmedway.org>
Subject: [External] Boundary Lane - Draft Final Plan Review

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Please let me know if you need anything else, thanks.

Steve

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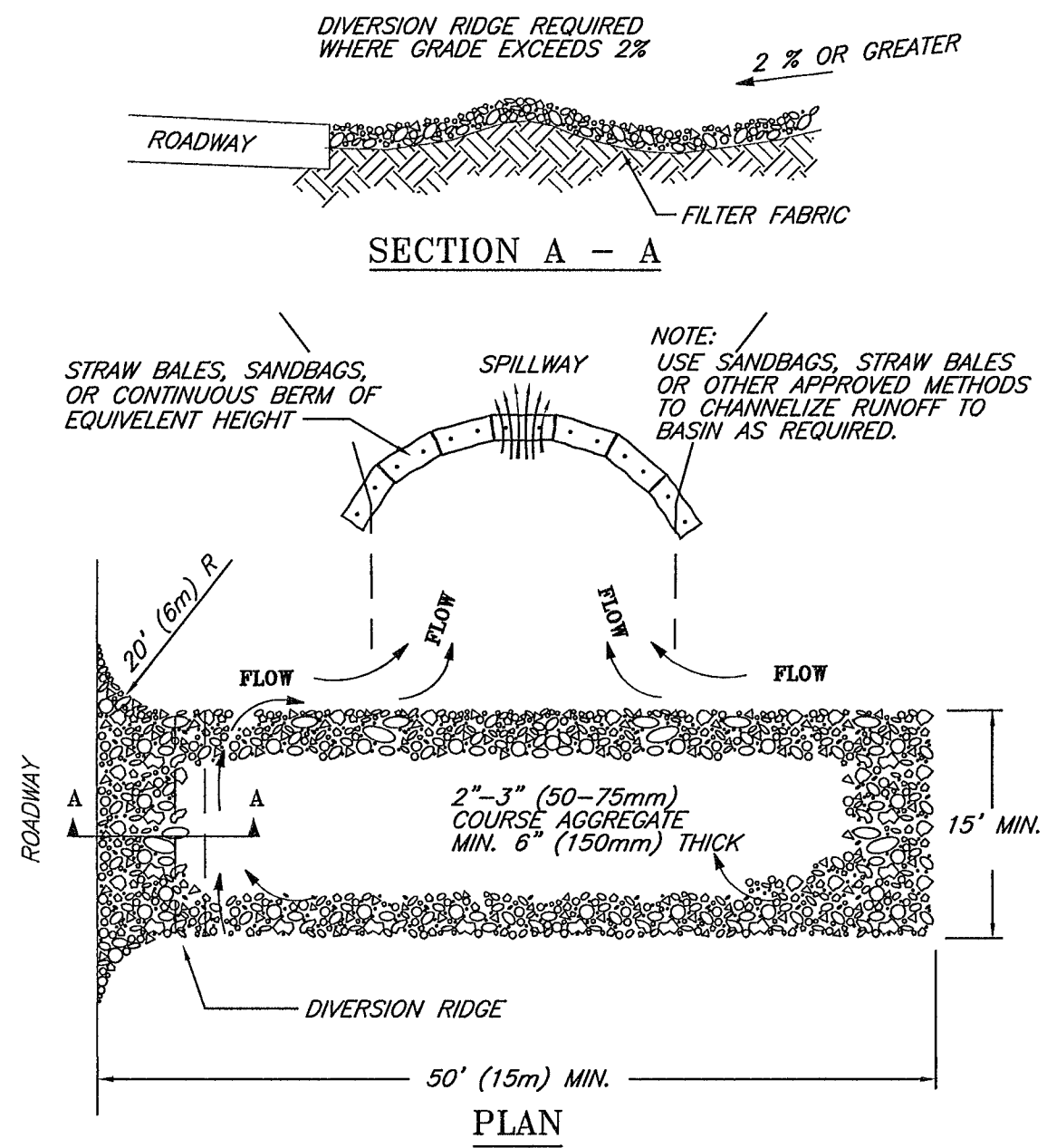
Anna Rice

From: Gerry Lindsey <glindsey@gmail.com>
Sent: Monday, August 29, 2022 9:34 AM
To: Susan Affleck-Childs; Anna Rice; Bouley, Steven
Cc: Zach Lindsey; Vito Colonna
Subject: [External] Boundary Lane detail sheet
Attachments: Sheet 5 - Details.pdf

Morning,

As requested, attached is the revised Sheet 5 with the detail for an ADA transition.

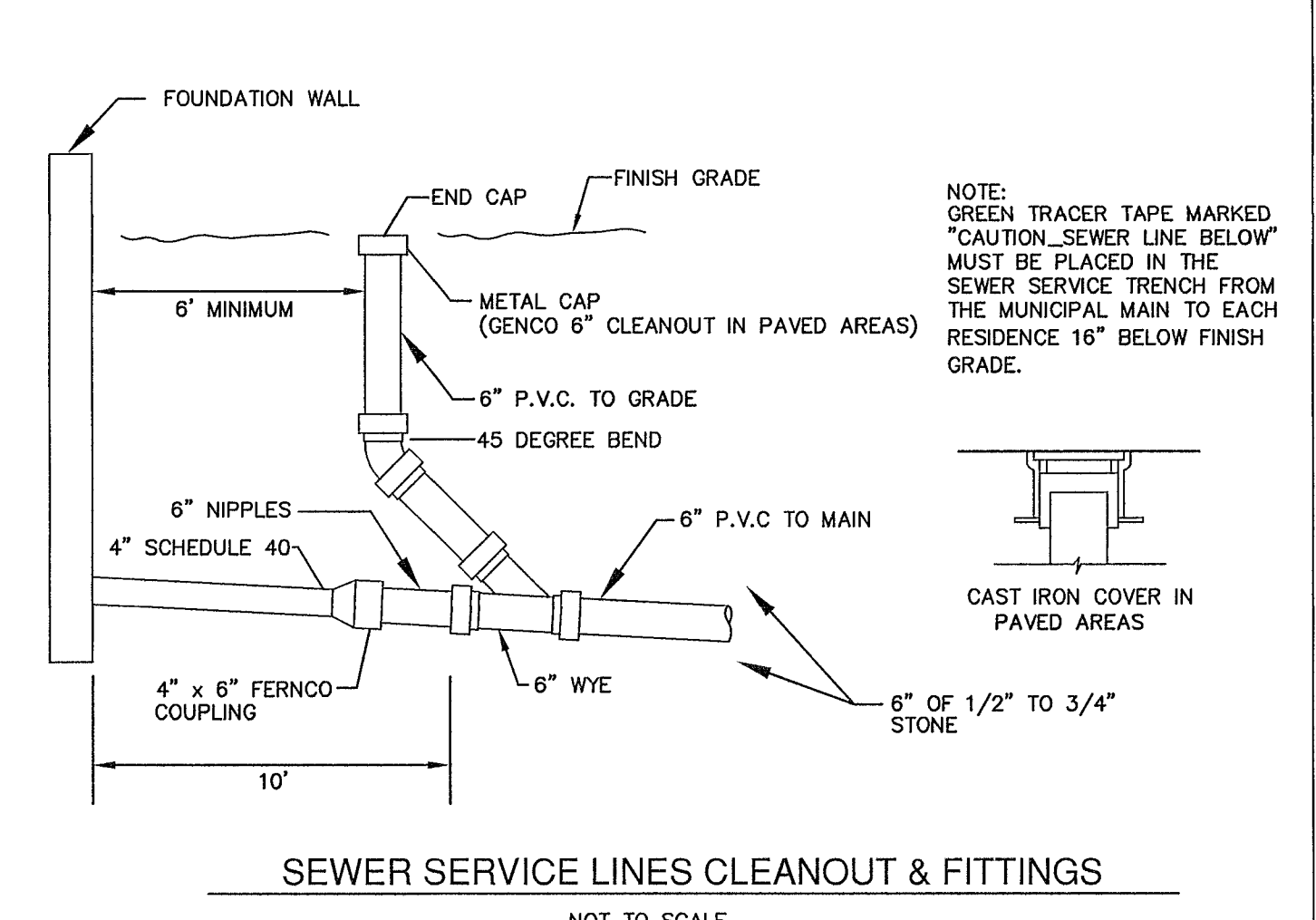
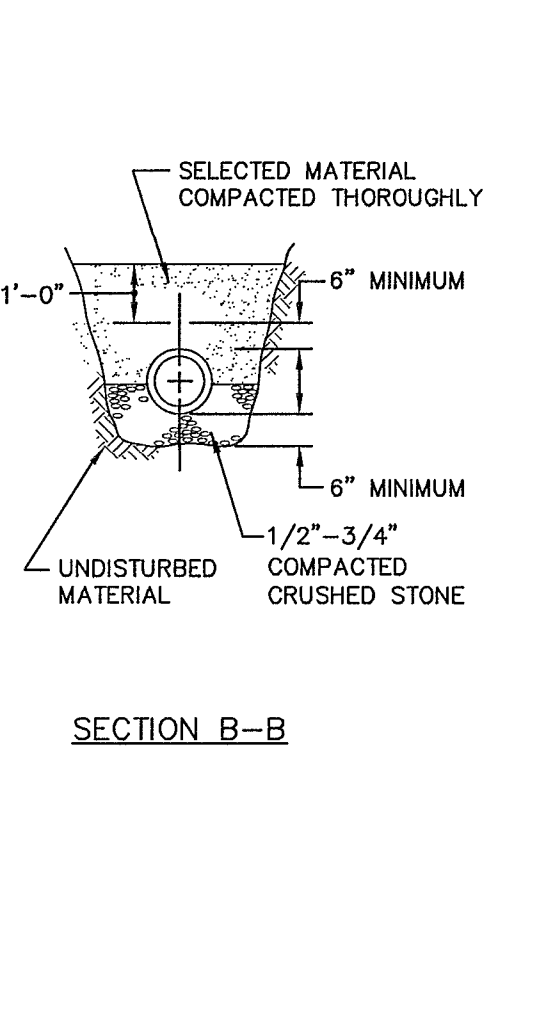
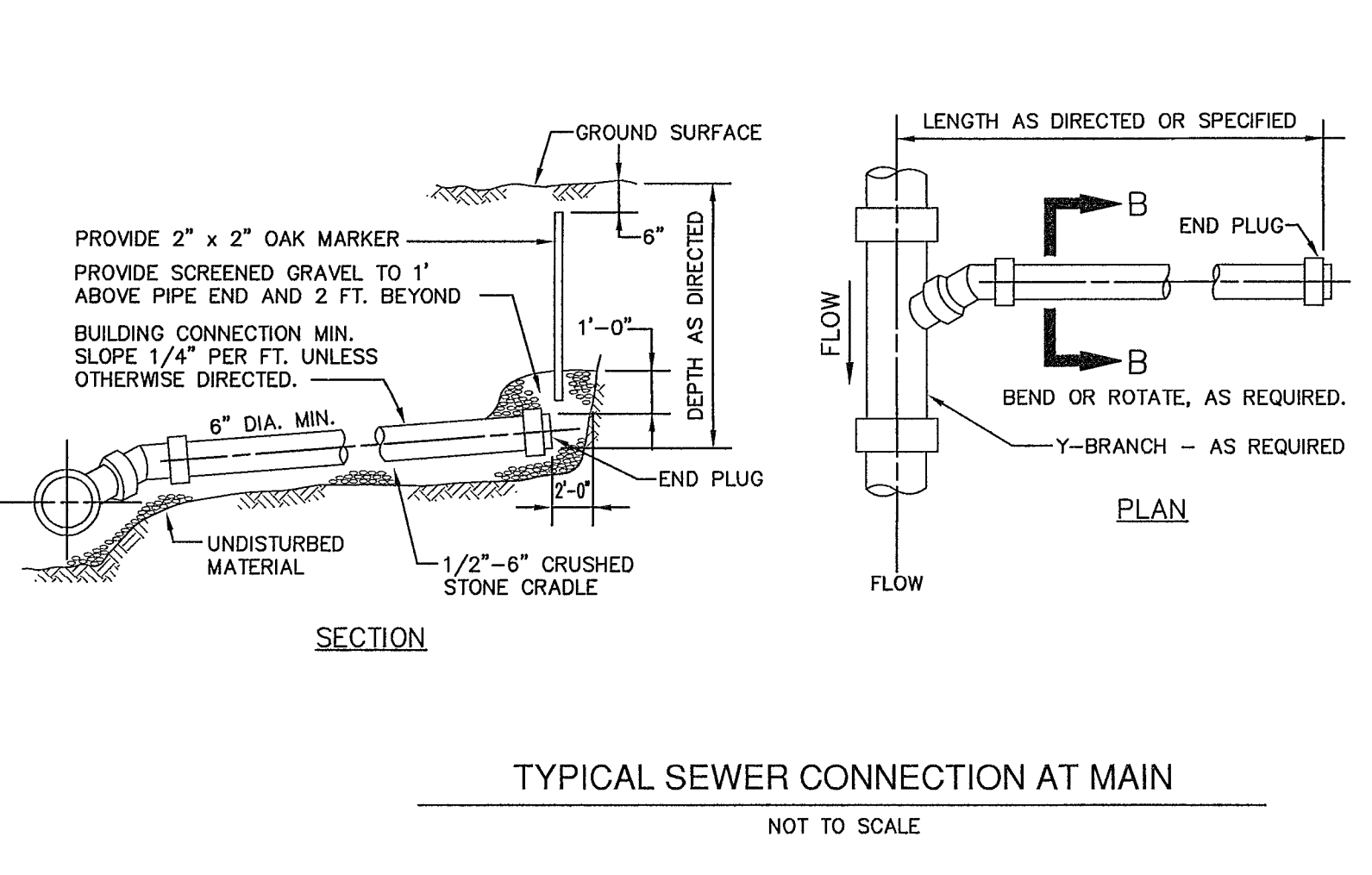
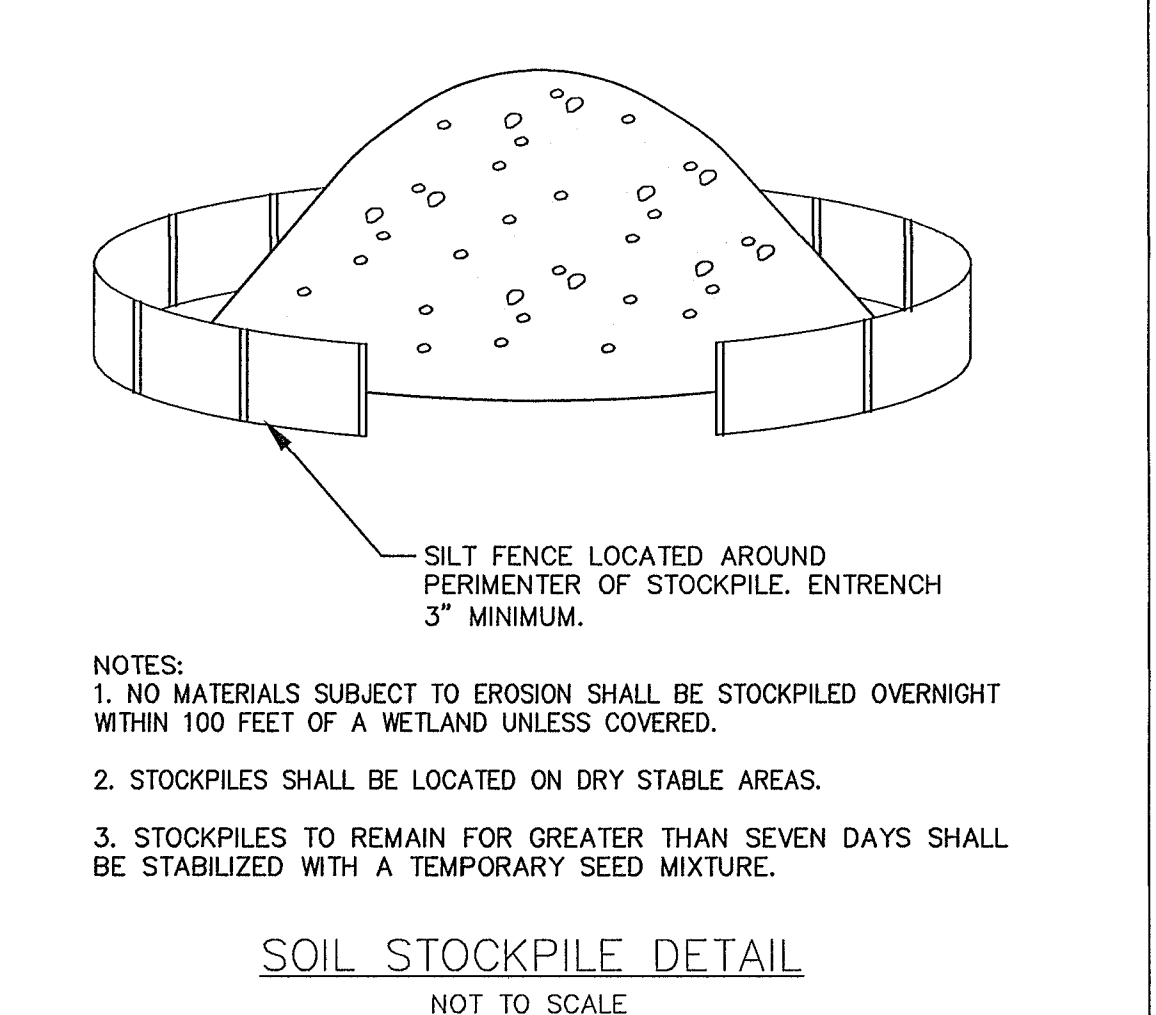
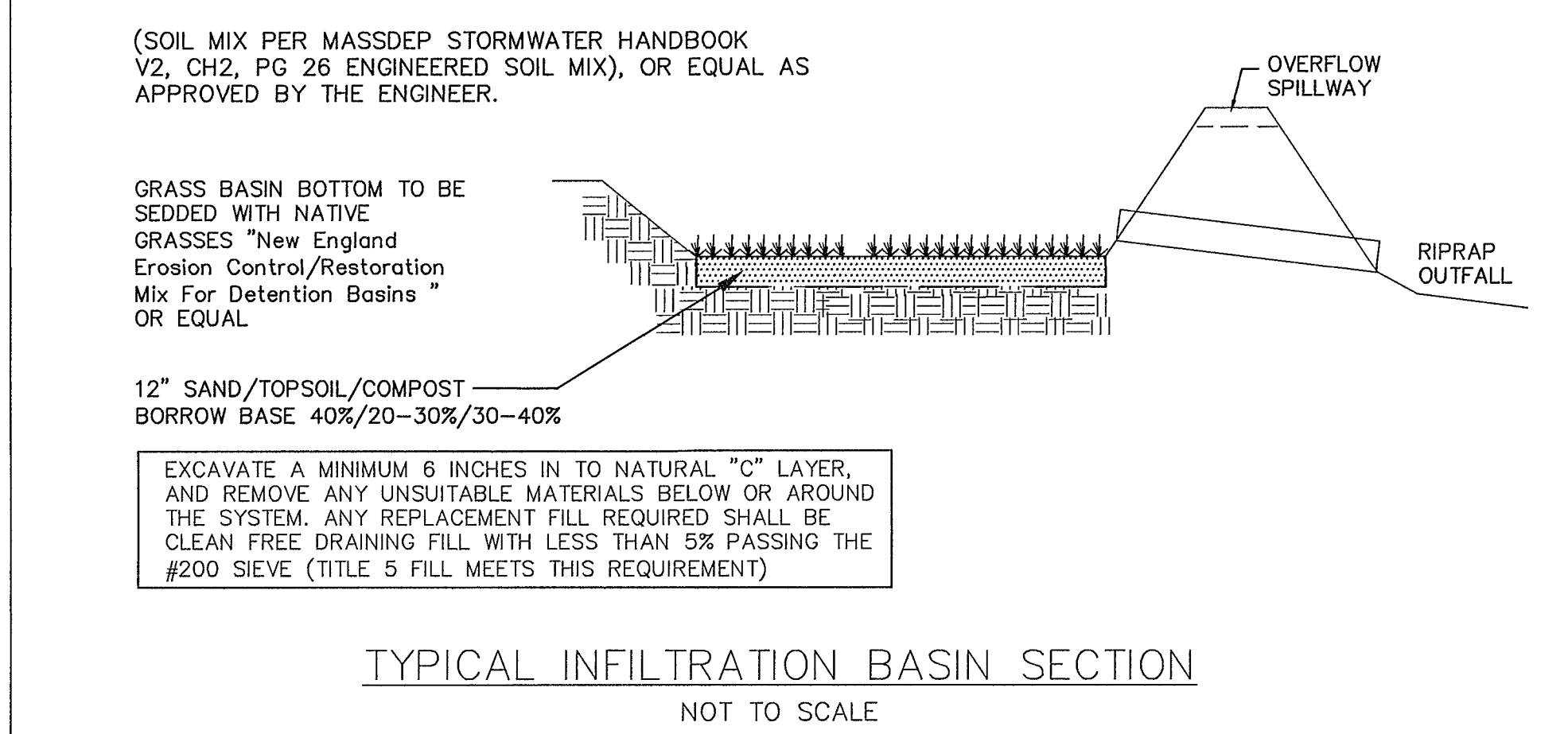
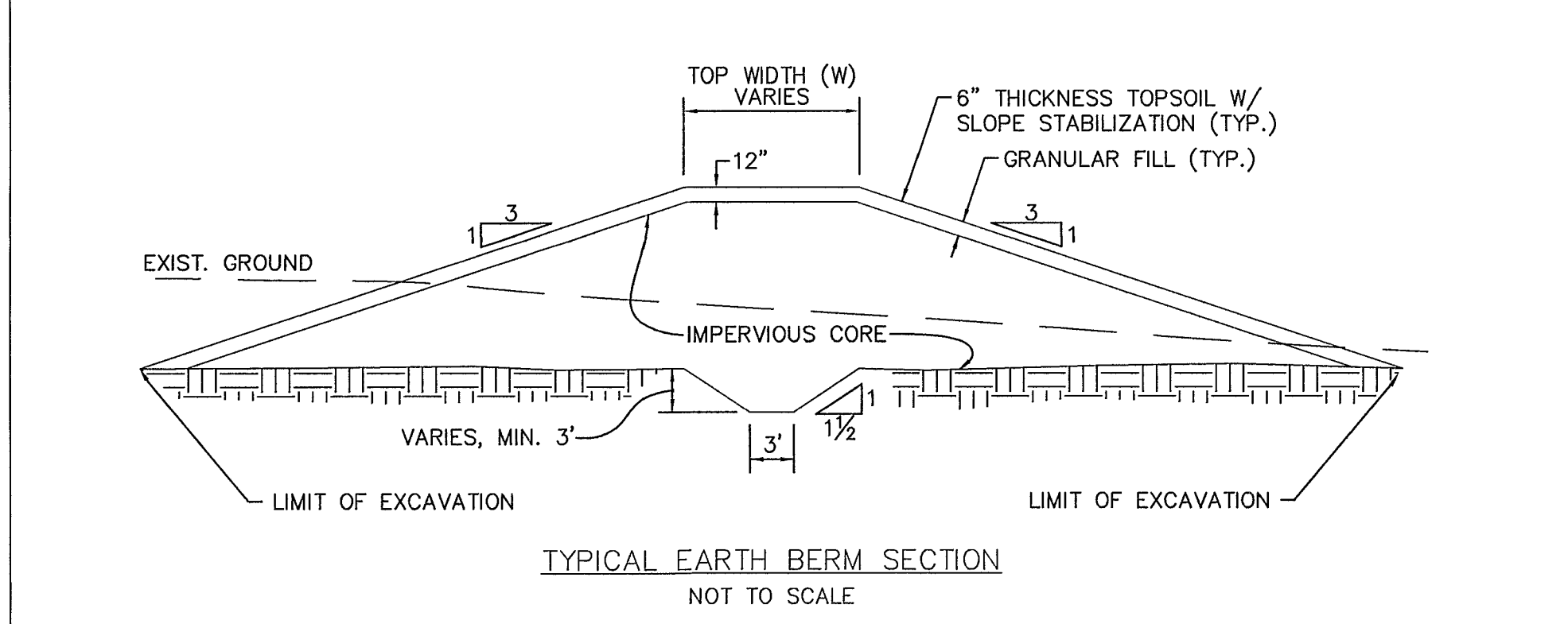
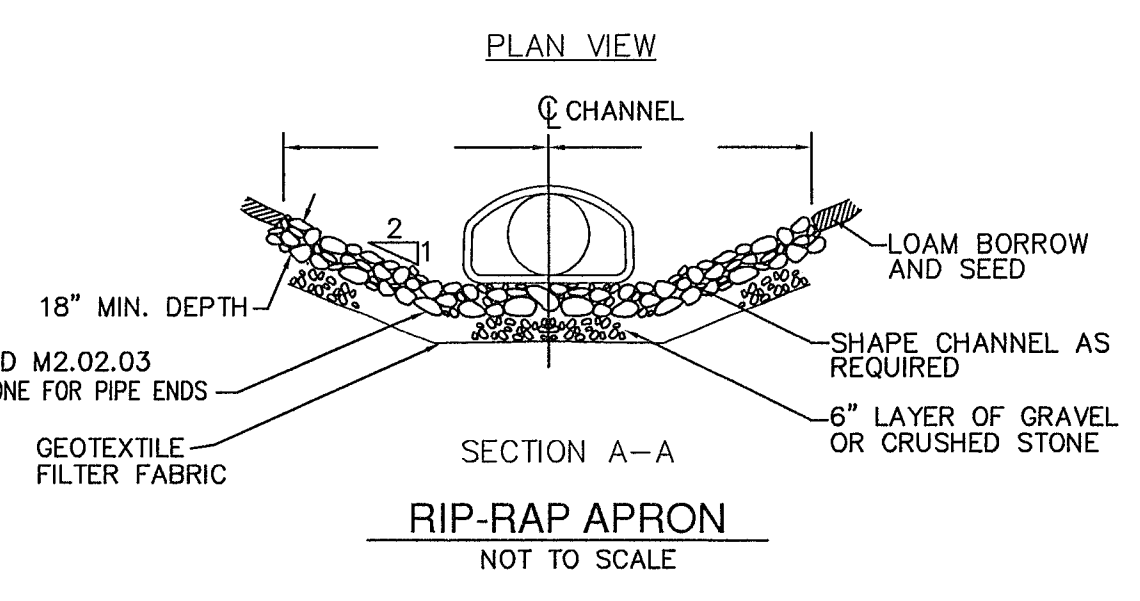
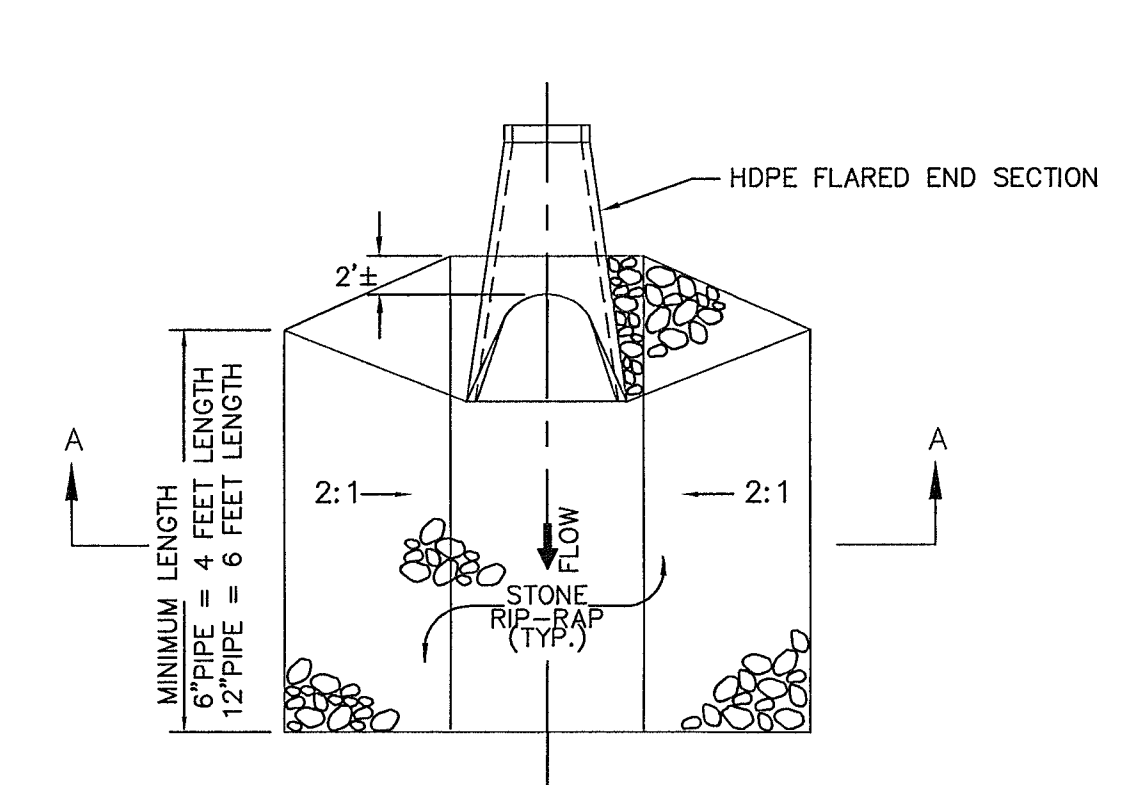
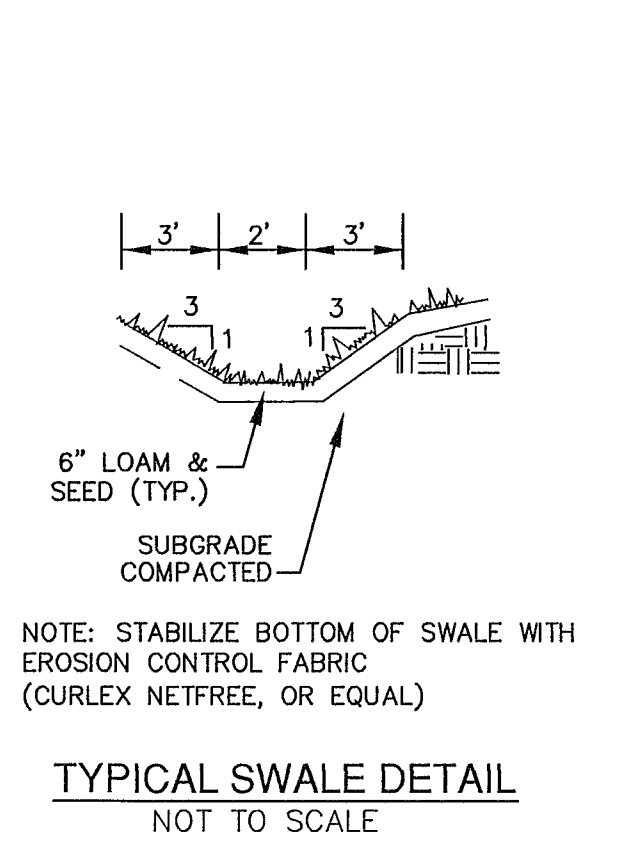
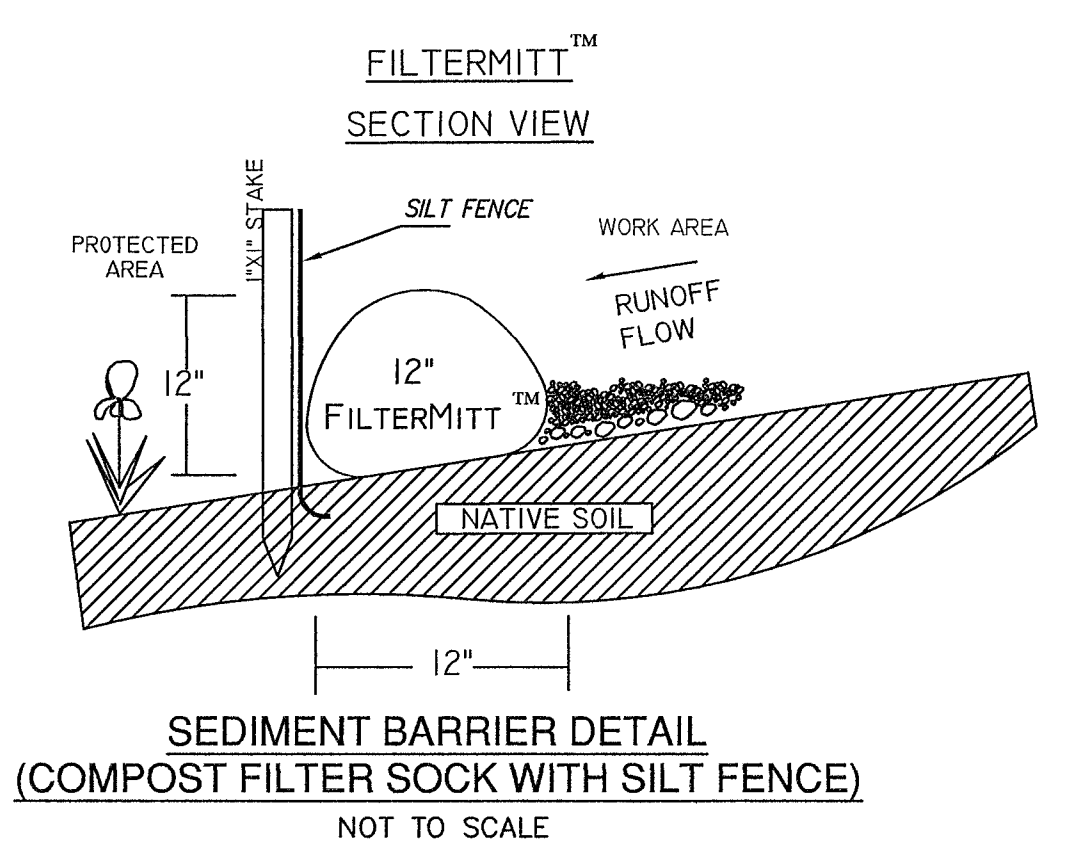
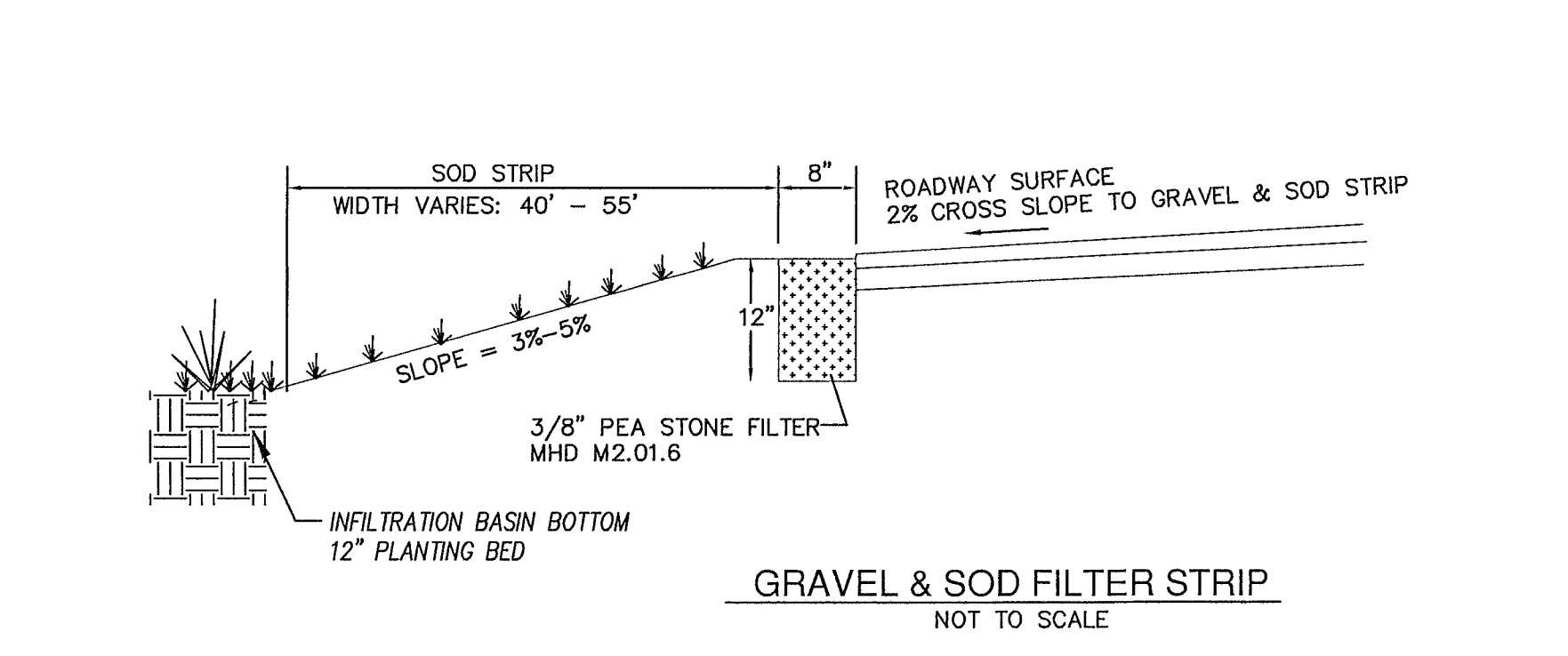
Thank you.



NOTES:
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT

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APPROVAL UNDER THE SUBDIVISION CONTROL LAW, IS REQUIRED.

MEDWAY PLANNING AND ECONOMIC DEVELOPMENT BOARD

APPROVAL DATE: _____

ENDORSEMENT DATE: _____

THIS PLAN IS SUBJECT TO A COVENANT TO BE RECORDED HEREWITH.

THIS PLAN IS SUBJECT TO A CERTIFICATE OF ACTION WHICH SHALL BE RECORDED WITH THE PLAN AT THE NORFOLK COUNTY REGISTRY OF DEEDS.

OWNERS:

LINDA LINDSEY
69 SUMMER STREET
MEDWAY, MA

RABBIT BROOK REALTY TRUST
69 SUMMER STREET
MEDWAY, MA

DAVID & RENEE SISTRAND
67R SUMMER STREET
MEDWAY, MA

CONNORSTONE ENGINEERING INC.
CIVIL ENGINEERS AND LAND SURVEYORS
10 SOUTHWEST CUTOFF, SUITE 7
NORTHBOROUGH, MASSACHUSETTS 01532
PHONE: 508-393-9727 FAX: 508-393-5242

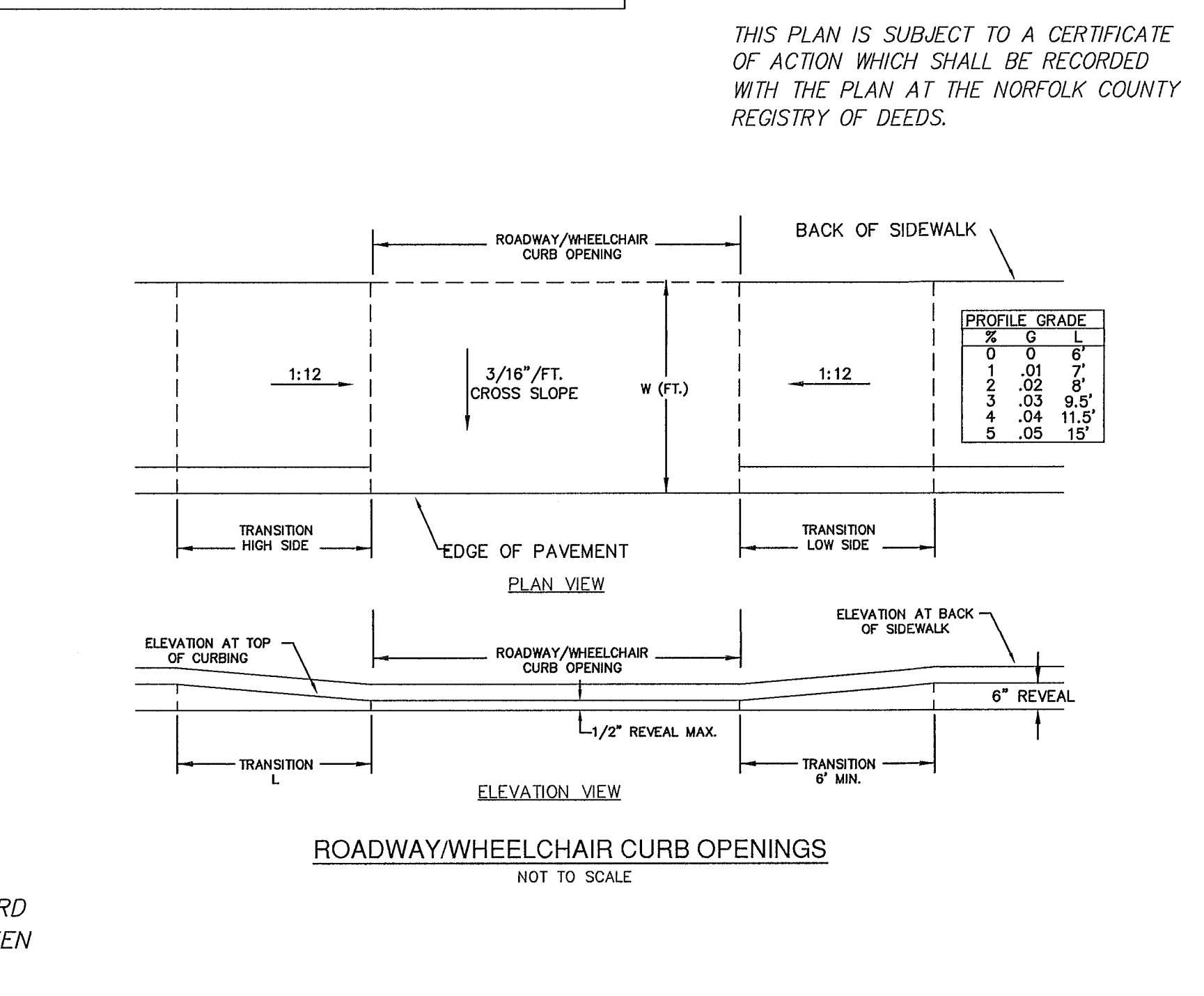
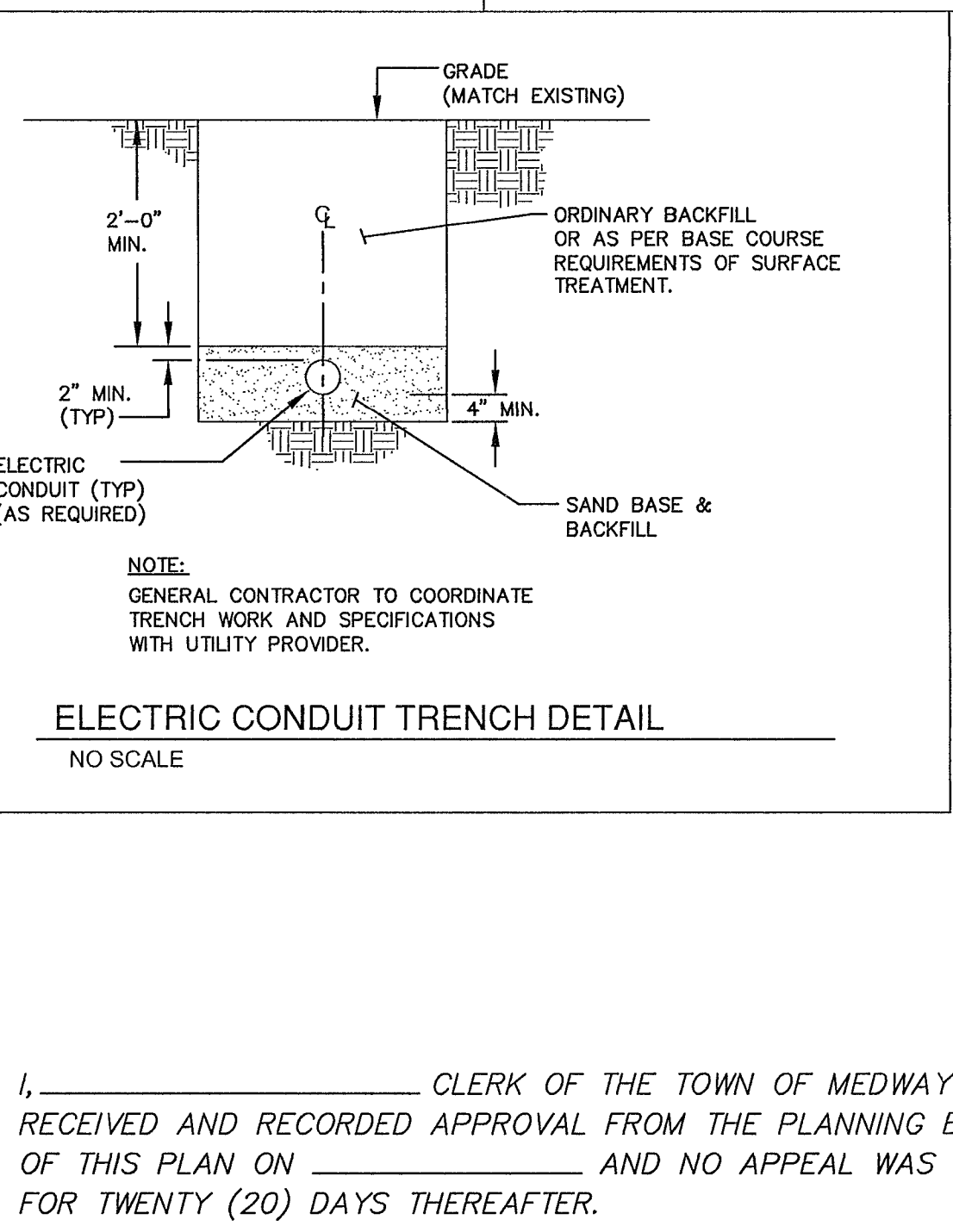
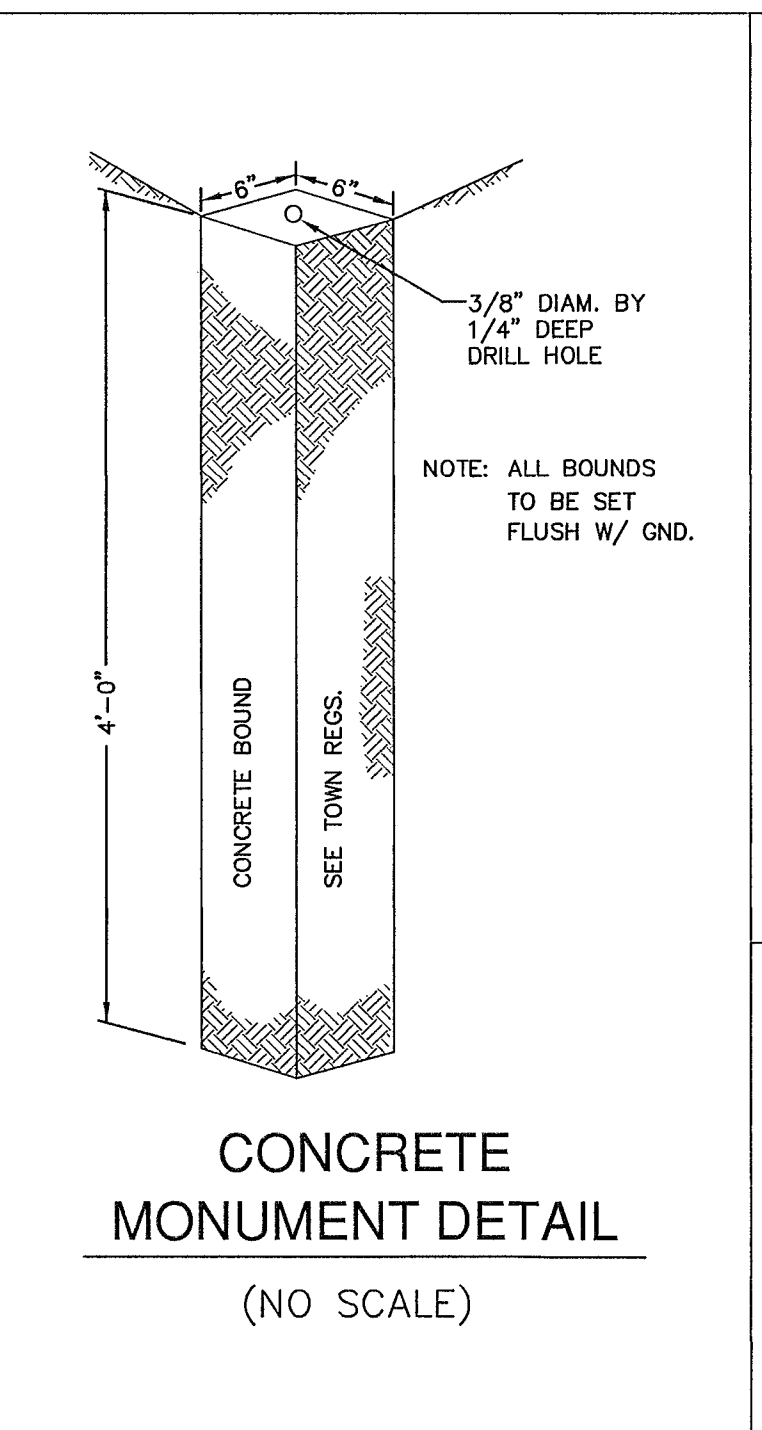
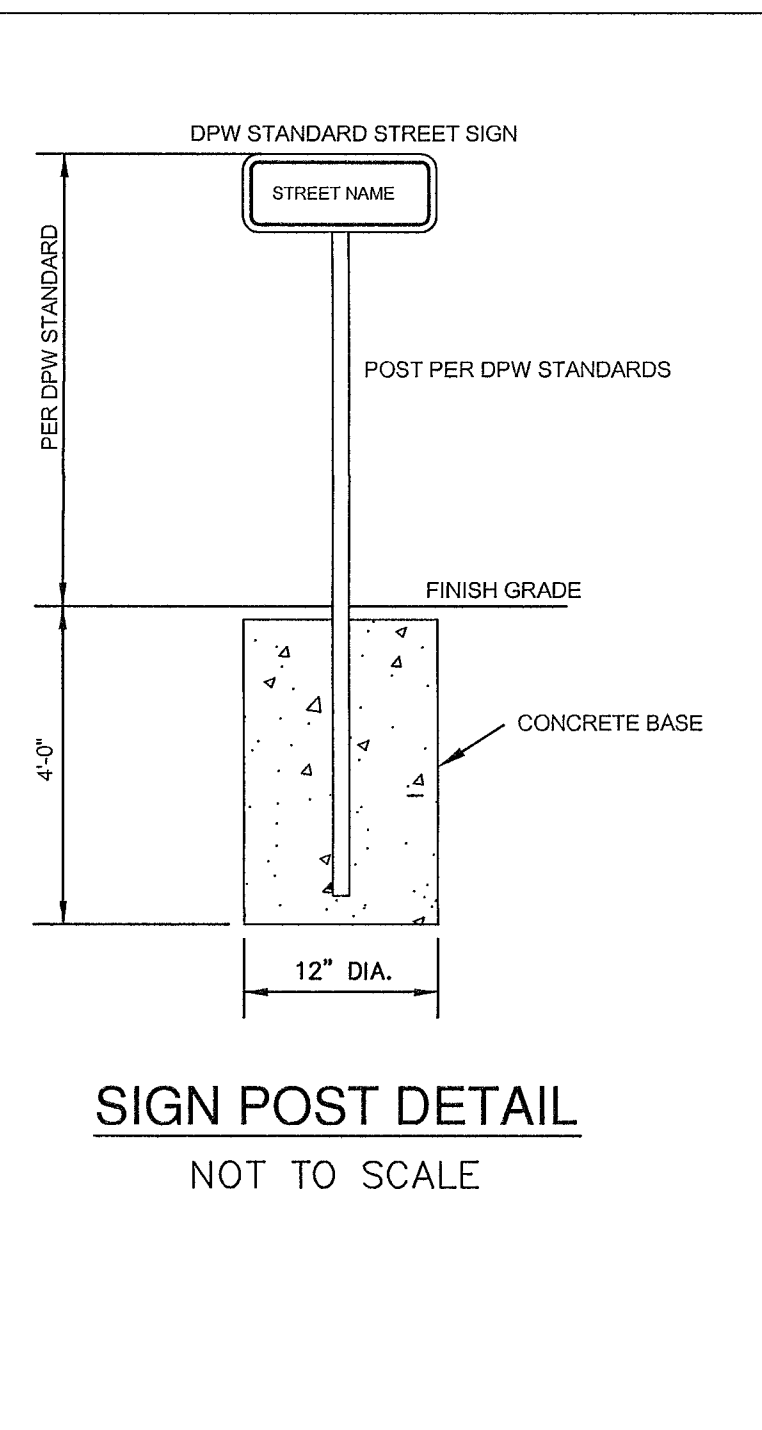
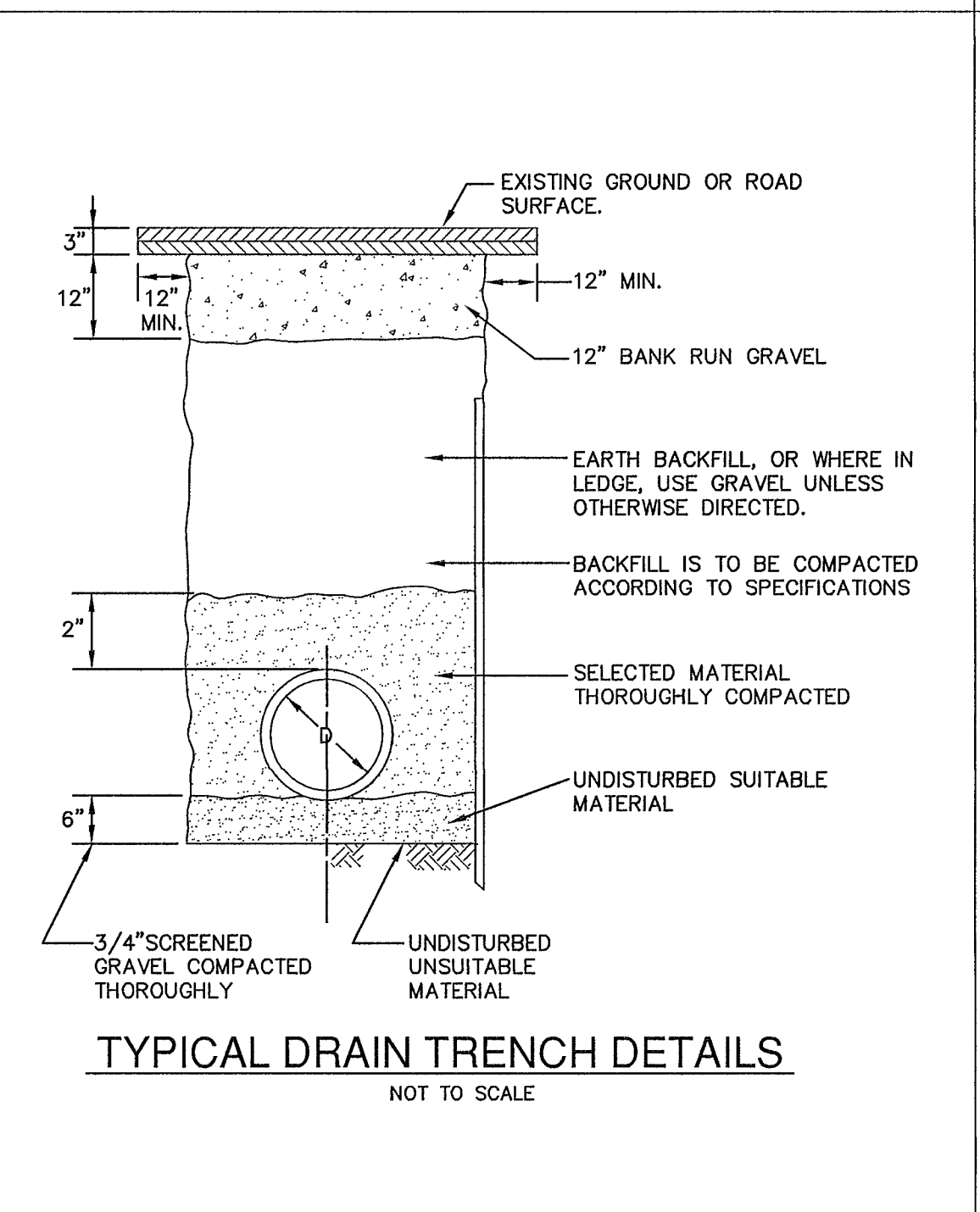
DEFINITIVE PLAN CONSTRUCTION DETAILS OF BOUNDARY LANE IN MEDWAY, MA

REVISED:	DESCRIPTION:
8/15/2022	CONDITIONS OF APPROVAL
7/12/2022	EDITS PER PEER REVIEW
2/17/2022	MISC. CON. COMM. EDITS
2/8/2022	MISC. CON. COMM. EDITS

DRAWN BY: RM CHECK BY: VC

DATE: AUGUST 20, 2021

SCALE: NONE SHEET 5 OF 6.



I, _____ CLERK OF THE TOWN OF MEDWAY
RECEIVED AND RECORDED APPROVAL FROM THE PLANNING BOARD
OF THIS PLAN ON _____ AND NO APPEAL WAS TAKEN
FOR TWENTY (20) DAYS THEREAFTER.

Anna Rice

From: Bouley, Steven <Steven.Bouley@tetrattech.com>
Sent: Tuesday, August 30, 2022 11:07 AM
To: Gerry Lindsey; Susan Affleck-Childs; Anna Rice
Cc: Zach Lindsey; Vito Colonna
Subject: [External] RE: Boundary Lane detail sheet

Thanks Gerry.



Susy, all items have been addressed.

Steven M. Bouley, PE | Project Manager

Direct +1 (508) 786-2382 | Business +1 (508) 786-2200 | Fax +1 (508) 786-2201 | steven.bouley@tetrattech.com

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From: Gerry Lindsey <glindseype@gmail.com>
Sent: Monday, August 29, 2022 9:34 AM
To: Susan Affleck-Childs <sachilds@townofmedway.org>; arice@townofmedway.org; Bouley, Steven <Steven.Bouley@tetrattech.com>
Cc: Zach Lindsey <zlindsey.04@gmail.com>; Vito Colonna <vc@csei.net>
Subject: Boundary Lane detail sheet

 **CAUTION:** This email originated from an external sender. Verify the source before opening links or attachments. 

Morning,

As requested, attached is the revised Sheet 5 with the detail for an ADA transition.

Thank you.

APPROVAL UNDER THE
SUBDIVISION CONTROL LAW,
IS REQUIRED.
MEDWAY PLANNING AND ECONOMIC
DEVELOPMENT BOARD

APPROVAL DATE: _____
ENDORSEMENT DATE: _____

THIS PLAN IS SUBJECT TO A COVENANT
TO BE RECORDED HEREWITH.

THIS PLAN IS SUBJECT TO A CERTIFICATE
OF ACTION WHICH SHALL BE RECORDED
WITH THE PLAN AT THE NORFOLK COUNTY
REGISTRY OF DEEDS.

APPROVED WAIVERS

- Section 7.6.2.b** Waiver to not require installation of an extension of Municipal water within the proposed roadway. Proposed Lot 2 containing the new house would be serviced by an on-site private well.
- Section 7.7.2.p** Waiver to allow less than a 30 foot setback from drainage basins to the proposed private road and Lot 1. The 30 foot buffer would be maintained to both Summer Street and the northerly abutter.
- Section 7.7.4.d** Waiver from the requirement to install an independent drainage system to collect foundation perimeter drains. The only new house would be on Lot 2. This lot would discharge any foundation drainage the rear of the property away from the roadway.
- Section 7.9.5.a** Waiver to allow a minimum center line grade of one percent (1%) to reduce the required earthwork and more closely match the existing conditions.
- Section 7.9.5.c** Waiver to allow a vertical curve within the leveling area (not fixed slope). All slopes would be below the maximum 2% threshold.
- Section 7.10.1 & 2** Waiver from the requirement curbs and berms. The project has been proposed with low impact development (LID) grassed swales in place of traditional curbs and gutters.
- Section 7.21** Waiver from installation of additional street lighting. The existing utility pole on Summer Street located 50 feet north of the proposed roadway includes a street light.

SUBDIVISION COVENANT:
THE ROADWAY AND ALL RELEVANT INFRASTRUCTURE INCLUDING THE STORMWATER MANAGEMENT SYSTEM SHALL BE CONSTRUCTED AND ALL UTILITIES AND SERVICES AND ANY OFF-SITE MITIGATION MEASURES SHALL BE INSTALLED TO THE SATISFACTION OF THE PLANNING AND ECONOMIC DEVELOPMENT BOARD WITHIN THREE YEARS OF THE DATE ENDORSEMENT. THE SUBDIVISION COVENANT SHALL APPLY TO LOT 3 AS SHOWN ON THE PLAN.

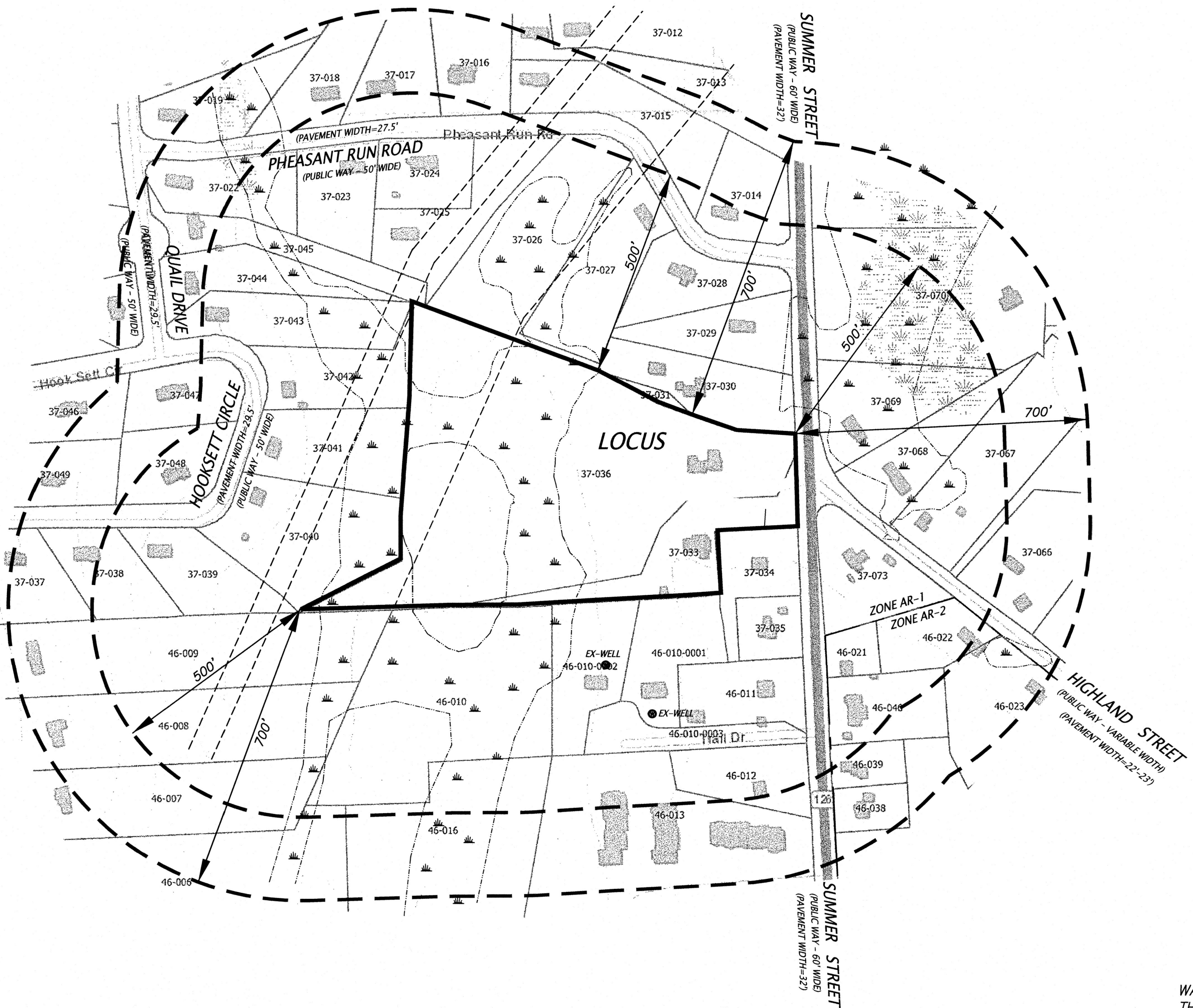
PLAN INDEX

SHEET NUMBER	DRAWING TITLE
1-2	COVER SHEET
2-2	LAND PLAN
1-6	EXISTING CONDITIONS PLAN
2-6	CONSTRUCTION PLAN
3-6	ROADWAY PLAN & PROFILE
4-6	EROSION & SEDIMENT CONTROL PLAN
5-6	CONSTRUCTION DETAILS
6-6	STORM WATER POLLUTION PREVENTION PLAN

SITE AREA TABULATION:

TOTAL AREA OF LAND THAT IS BEING SUBDIVDED = 491,855 S.F. (11.29 Acres)
TOTAL NUMBER OF LOTS AND PARCELS = 3 LOTS, 1 PARCEL
TOTAL AREA OF LOTS AND PARCELS = 470,693 S.F. (346,777 S.F. UPLAND, 123,916 S.F. WETLAND)
TOTAL AREA DEDICATED FOR STREET PURPOSES = 21,162 S.F.
TOTAL AREA NOT INCLUDED FOR STREETS, LOTS OR PARCELS DEDICATED FOR DRAINAGE, SEWER, OR UTILITY EASEMENTS = 0 S.F.
TOTAL AREA RESERVED FOR OPEN SPACE, PARKS, SCHOOLS AND OTHER PUBLIC USE = 0 S.F.
SUMMARY: 470,693 S.F. + 21,162 S.F. + 0 + 0 = 491,855 S.F.

DEFINITIVE SUBDIVISION PLAN
"BOUNDARY LANE"
(A PERMENANT PRIVATE WAY)
MEDWAY, MASSACHUSETTS

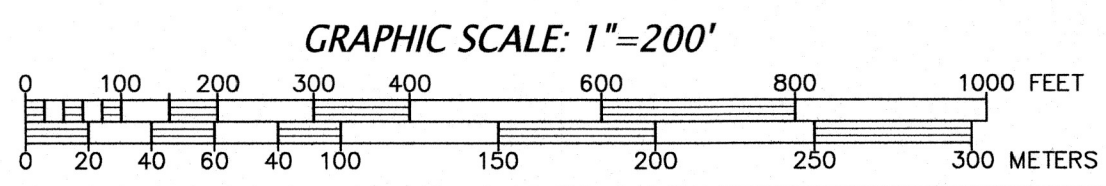


I HEREBY CERTIFY THAT THIS PLAN
WAS PREPARED IN CONFORMANCE WITH
THE RULES AND REGULATIONS OF THE
REGISTERS OF DEEDS.

VAROUJAN H. HAGOPIAN, P.L.S. 49665



I, _____ CLERK OF THE TOWN OF MEDWAY
RECEIVED AND RECORDED APPROVAL FROM THE PLANNING BOARD
OF THIS PLAN ON _____ AND NO APPEAL WAS TAKEN
FOR TWENTY (20) DAYS THEREAFTER.



- GENERAL NOTES:
- OWNERS OF ADJOINING PROPERTIES ARE SHOWN ACCORDING TO CURRENT TOWN OF MEDWAY ASSESSORS RECORDS.
 - THIS PLAN IS BASED ON AN ON-THE-GROUND SURVEY BY CONNORSTONE ENGINEERING INC. PERFORMED IN APRIL 2019.
 - LEGAL STATUS OF EASEMENTS AND WAYS, NOT DETERMINED BY THIS SURVEY.

ADA / AAB REQUIREMENTS:
ALL IMPROVEMENTS, RAMPS, CURB CUTS, SIDEWALKS, AND DRIVEWAY CROSSINGS SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT REGULATIONS AND WITH ARCHITECTURAL ACCESS BOARD REGULATIONS (521 CMR § 1-47) IN FORCE AND EFFECTIVE AT THE TIME OF CONSTRUCTION.

ZONED: AR-1
AREA = 44,000 sf
FRONTAGE = 180 feet
SETBACKS: FRONT = 35 feet
SIDE = 15 feet
REAR = 15 feet

ASSESSOR MAP 37, LOTS 33 & 36

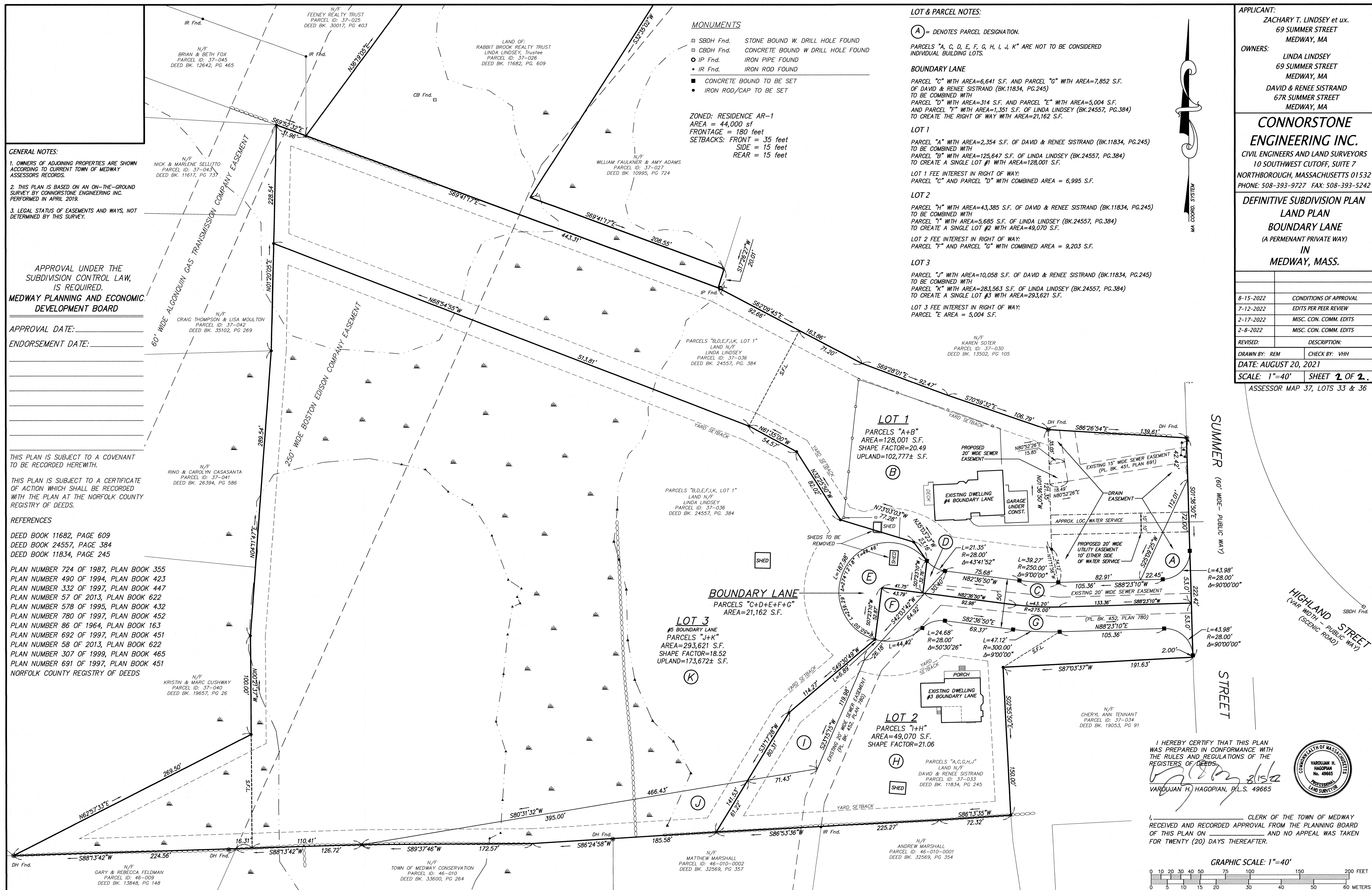
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MEDWAY, MA

OWNERS:
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DAVID & RENEE SISTRAND
67R SUMMER STREET
MEDWAY, MA

CONNORSTONE
ENGINEERING INC.
CIVIL ENGINEERS AND LAND SURVEYORS
10 SOUTHWEST CUTOFF, SUITE 7
NORTHBOROUGH, MASSACHUSETTS 01532
PHONE: 508-393-9727 FAX: 508-393-5242

DEFINITIVE SUBDIVISION PLAN
COVER SHEET
BOUNDARY LANE
(A PERMENANT PRIVATE WAY)
IN
MEDWAY, MASS.

8-15-2022	CONDITIONS OF APPROVAL
7-12-2022	EDITS PER PEER REVIEW
2-17-2022	MISC. CON. COMM. EDITS
2-8-2022	MISC. CON. COMM. EDITS
REVISED:	DESCRIPTION:
DRAWN BY: REM	CHECK BY: VC
DATE: AUGUST 20, 2021	
SCALE: AS SHOWN SHEET 1 OF 2	



GENERAL NOTES:

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APPROVAL UNDER THE SUBDIVISION CONTROL LAW, IS REQUIRED.
MEDWAY PLANNING AND ECONOMIC DEVELOPMENT BOARD

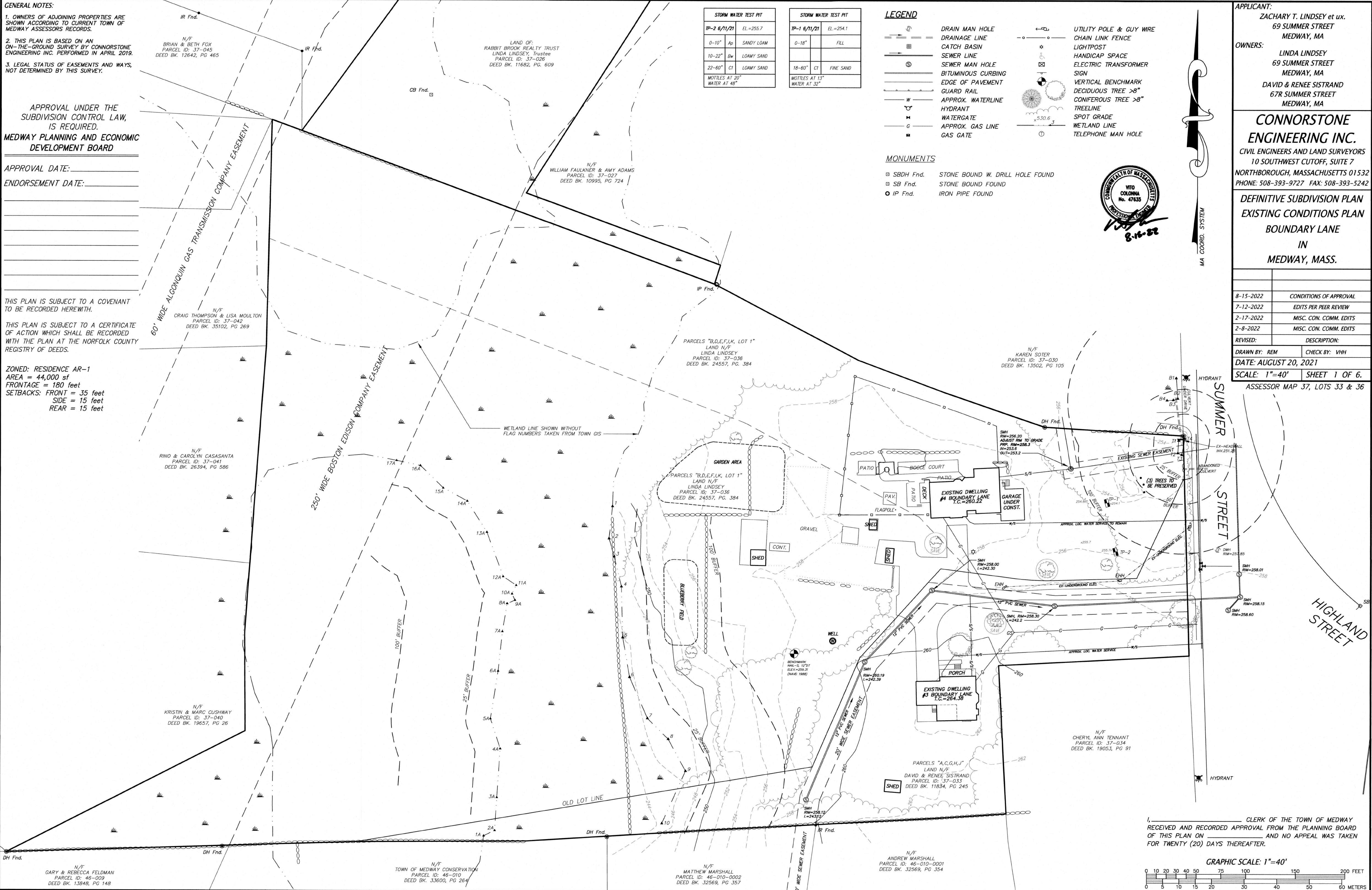
APPROVAL DATE: _____

ENDORSEMENT DATE: _____

THIS PLAN IS SUBJECT TO A COVENANT TO BE RECORDED HEREWITH.

THIS PLAN IS SUBJECT TO A CERTIFICATE OF ACTION WHICH SHALL BE RECORDED WITH THE PLAN AT THE NORFOLK COUNTY REGISTRY OF DEEDS.

ZONED: RESIDENCE AR-1
AREA = 44,000 sf
FRONTAGE = 180 feet
SETBACKS: FRONT = 35 feet
SIDE = 15 feet
REAR = 15 feet



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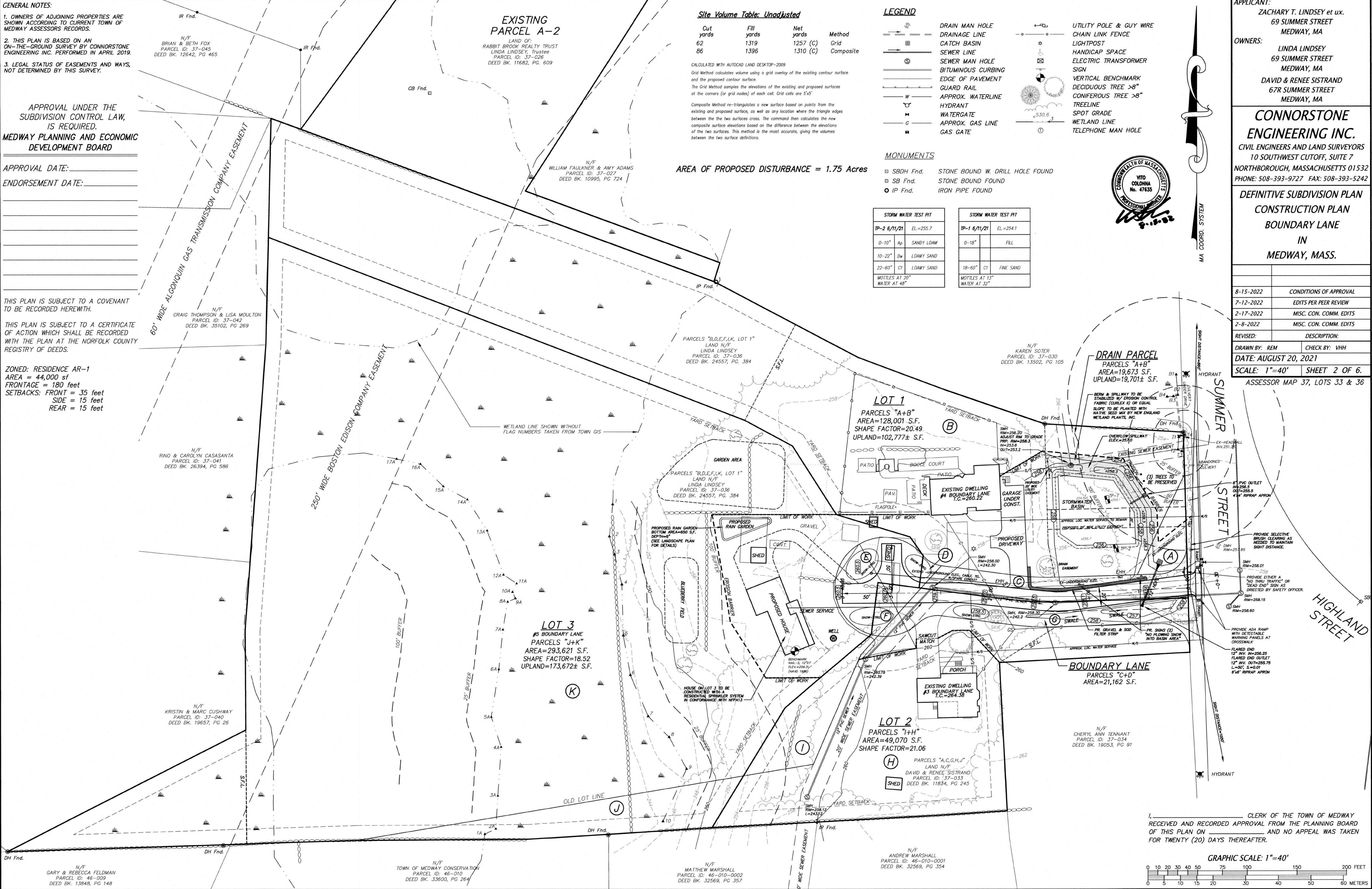
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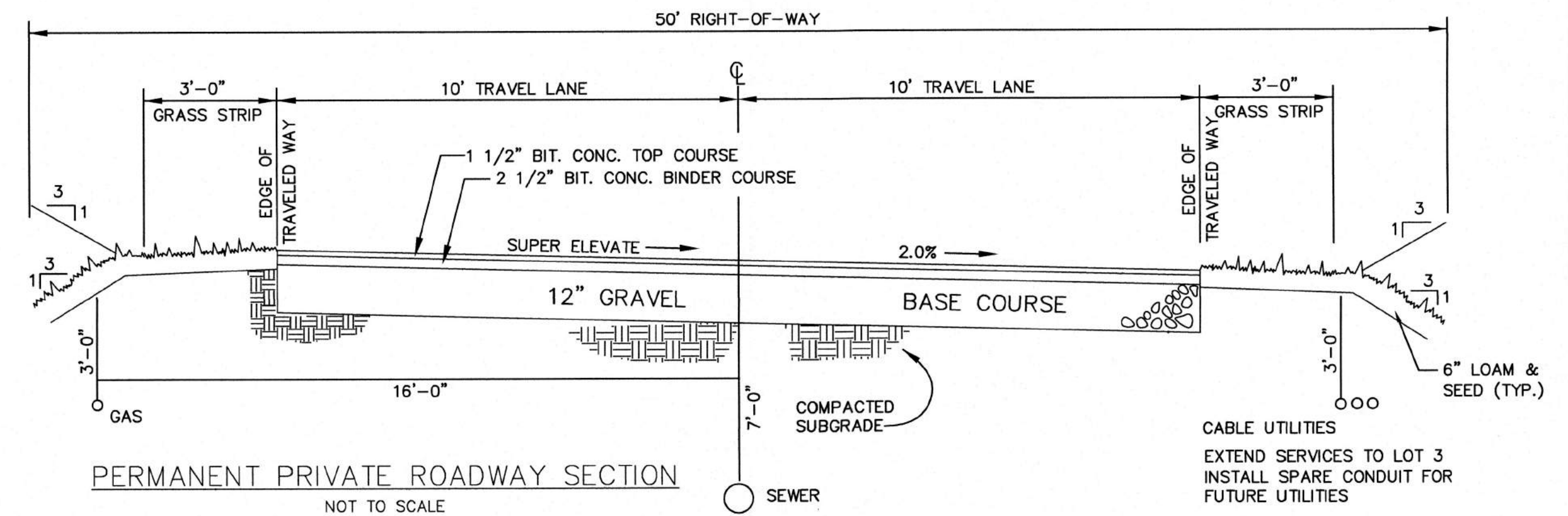
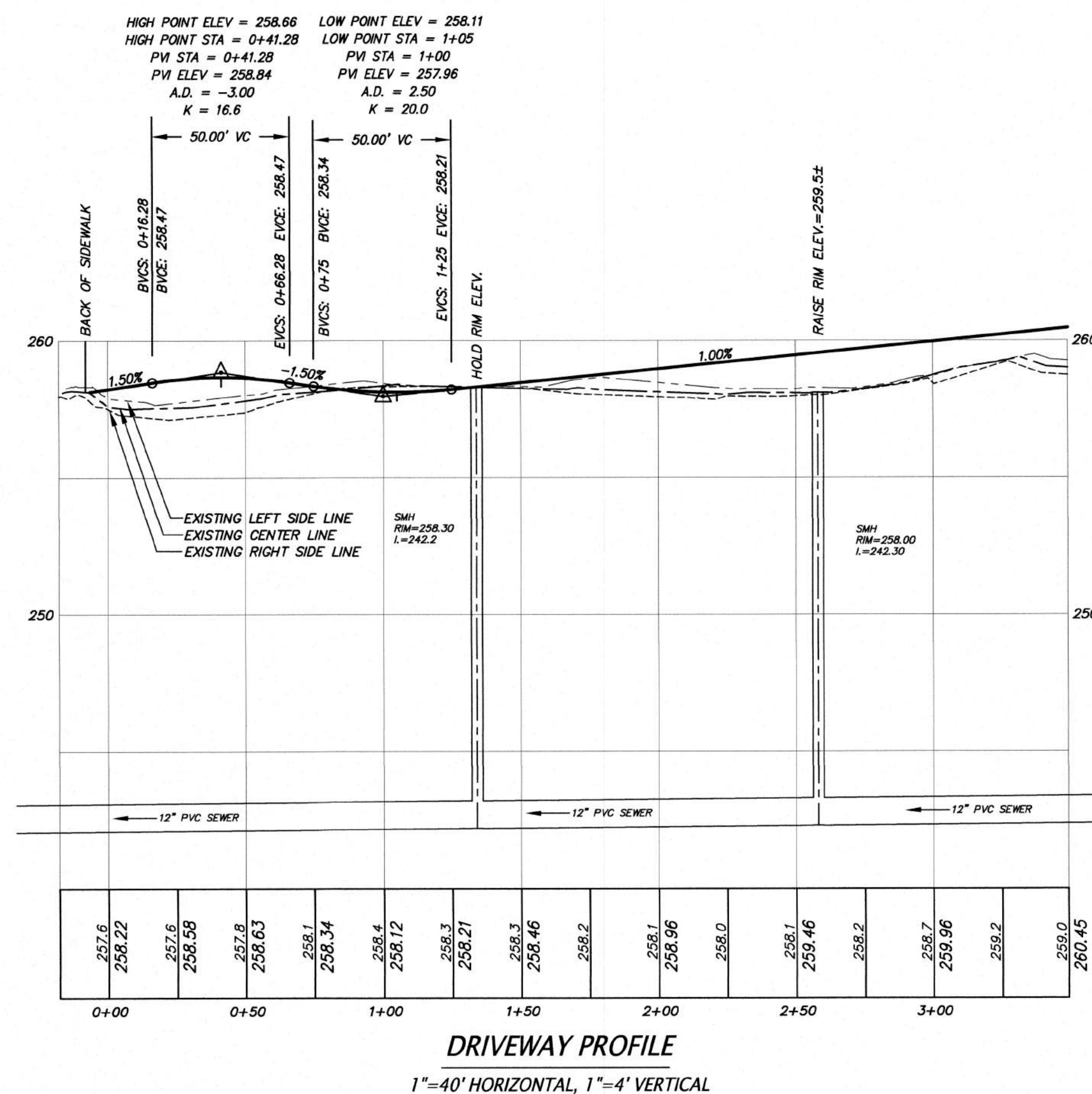
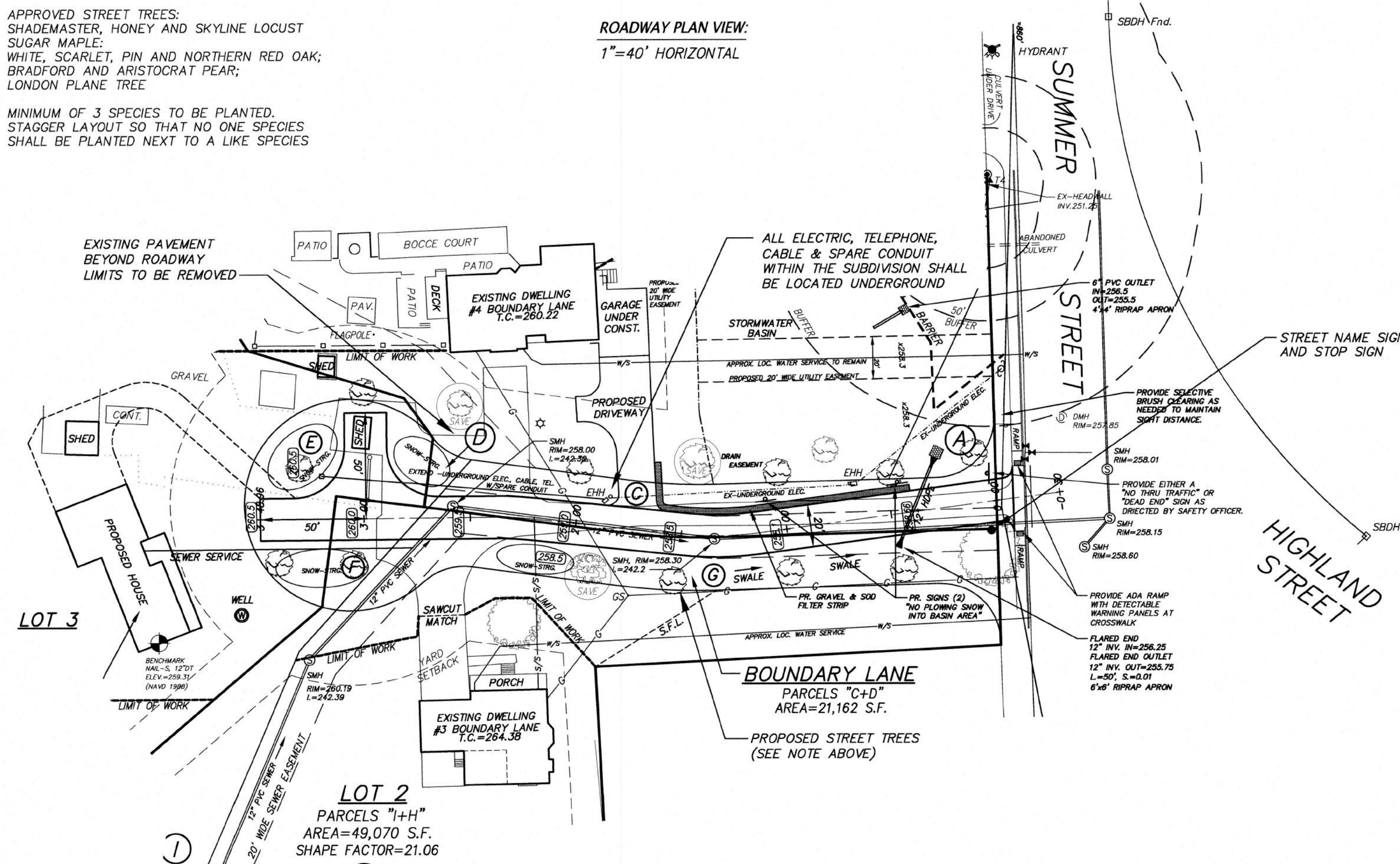
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ZONED: RESIDENCE AR-1
AREA = 44,000 sf
FRONTAGE = 180 feet
SETBACKS: FRONT = 35 feet
SIDE = 15 feet
REAR = 15 feet



MINIMUM OF 3 SPECIES TO BE PLANTED.
STAGGER LAYOUT SO THAT NO ONE SPECIES
SHALL BE PLANTED NEXT TO A LIKE SPECIES

ROADWAY PLAN VIEW:
1"=40' HORIZONTAL



ZONED: AR-1
AREA = 44,000 sf
FRONTAGE = 180 feet
SETBACKS: FRONT = 35 feet
 SIDE = 15 feet
 REAR = 15 feet

APPROVAL UNDER THE
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**DEFINITIVE SUBDIVISION PLAN
ROADWAY PLAN & PROFILE
BOUNDARY LANE
IN
MEDWAY, MASS.**

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2-17-2022	MISC. CON. COMM. EDITS
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REVISED:	DESCRIPTION:
DRAWN BY: REM	CHECK BY: VC
DATE: AUGUST 20, 2021	
SCALE: 1"=40'	SHEET 3 OF 6.

CONSTRUCTION NOTES:

1. EXISTING UTILITY LINES SHOWN ON THIS DRAWING ARE FROM AVAILABLE INFORMATION AND ARE APPROXIMATE LOCATIONS. THE ENGINEER DOES NOT GUARANTEE THEIR ACCURACY OR THAT ALL UTILITIES AND SUBSURFACE STRUCTURES ARE SHOWN. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO EXCAVATION. PRIOR TO THE START OF CONSTRUCTION, ANY DISCREPANCIES WITH RECORD DATA SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY. THE CONTRACTOR SHALL CONTACT DIG SAFE: 1-800-344-7233 (72 HOURS BEFORE DIGGING), AND TOWN DPW FOR UTILITY DATA PRIOR TO EXCAVATION. TEST PITS SHALL BE UTILIZED FOR UTILITY CONNECTIONS.

2. ALL MATERIALS AND CONSTRUCTION PRACTICES SHALL BE IN CONFORMANCE WITH THE STANDARDS AND SPECIFICATIONS MEDWAY DEPARTMENT OF PUBLIC WORKS, OR THE LATEST EDITION OF THE MASSACHUSETTS HIGHWAY DEPARTMENT (MHD) CONSTRUCTION STANDARDS AND THE MHD "STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES", WHICHEVER IS MORE STRINGENT.

3. THE LAYOUT AND INSTALLATION OF ELECTRIC, GAS, TELEPHONE AND CATV UTILITY CONNECTIONS AND SERVICES SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE RESPECTIVE UTILITY.

4. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE HIS WORK WITH THE APPROPRIATE HIGHWAY & UTILITY DEPARTMENTS. CONTRACTOR SHALL MAINTAIN ALL EXISTING AND NEWLY INSTALLED UTILITIES IN GOOD WORKING ORDER AND SHALL PROTECT THEM FROM DAMAGE AT ALL TIMES UNTIL THE WORK IS COMPLETED AND ACCEPTED.

5. WORK WITHIN THE HIGHWAY LAYOUT, IF APPLICABLE, SHALL CONFORM TO THE CONDITIONS OF THE PERMIT ISSUED BY THE MASSACHUSETTS HIGHWAY DEPARTMENT AND/OR LOCAL AUTHORITY AS APPROPRIATE.

6. THE CONTRACTOR SHALL UTILIZE ALL MEASURES AND MATERIALS NECESSARY TO ENSURE THE SAFETY OF ALL PERSONS AND PROPERTIES AT THE SITE DURING CONSTRUCTION. ALL EXCAVATIONS SHALL CONFORM TO CURRENT OSHA STANDARDS.

7. ALL SIGN SIZES AND MATERIAL SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC DEVICES" (MUTCD) AND THE OFFICE OF TRAFFIC OPERATIONS, FEDERAL HIGHWAY ADMINISTRATION, U.S. DEPARTMENT OF TRANSPORTATION.

8. ALL RAMPS, CURB CUTS, SIDEWALKS, AND ACCESSIBLE SPACES SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT REGULATIONS AND WITH ARCHITECTURAL ACCESS BOARD REGULATIONS (521 CMR 1-47).

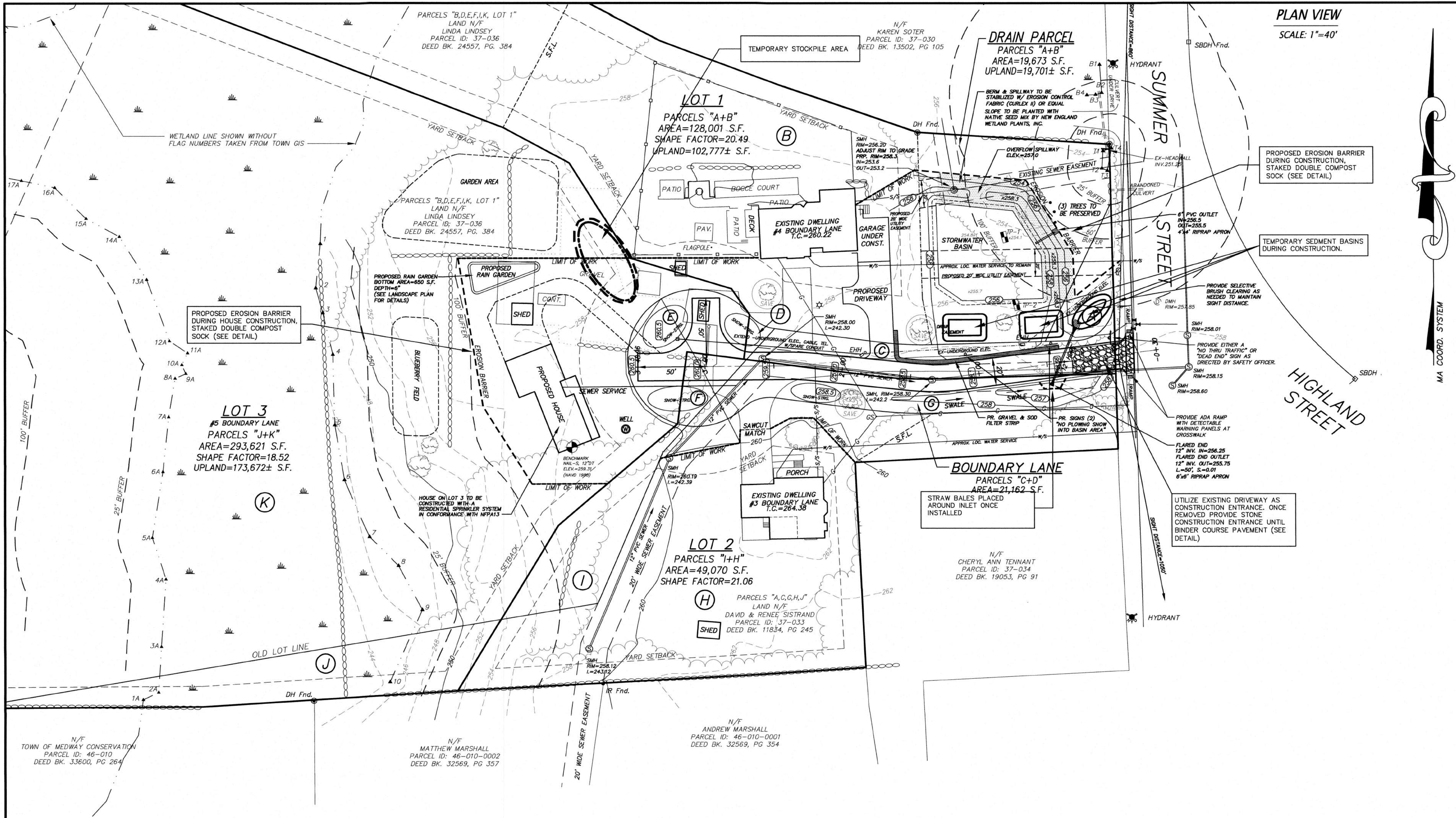
9. ALL EXCAVATION AND EARTHWORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE MASSACHUSETTS HIGHWAY DEPARTMENT (MHD) STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, SECTIONS 120, 140, 150, AND 170.

ADA / AAB REQUIREMENTS:

ALL IMPROVEMENTS, RAMPS, CURB CUTS, SIDEWALKS, AND DRIVEWAY CROSSINGS SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT REGULATIONS AND WITH ARCHITECTURAL ACCESS BOARD REGULATIONS (521 CMR S 1-47) IN FORCE AND EFFECTIVE AT THE TIME OF CONSTRUCTION.

I, _____ CLERK OF THE TOWN OF MEDWAY
RECEIVED AND RECORDED APPROVAL FROM THE PLANNING BOARD
OF THIS PLAN ON _____ AND NO APPEAL WAS TAKEN
FOR TWENTY (20) DAYS THEREAFTER.





PLAN VIEW

SCALE: 1"=40'

EROSION AND SEDIMENTATION CONTROL NOTES:

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE ORDER OF CONDITIONS ISSUED BY THE TOWN OF MEDWAY CONSERVATION COMMISSION, AND THE PROJECT STORMWATER POLLUTION PREVENTION PLAN.
2. PRIOR TO INITIATING CONSTRUCTION, ALL SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLANS AND DETAIL DRAWINGS.
3. THIS PLAN DEPICTS THE MINIMUM REQUIRED SEDIMENTATION AND EROSION CONTROLS. THE CONTRACTOR SHALL EMPLOY ADDITIONAL SEDIMENTATION AND EROSION CONTROL MEASURES AS NECESSITATED BY SITE CONDITIONS, OR AS DIRECTED BY THE OWNER, THE OWNER'S REPRESENTATIVE, OR THE CONSERVATION COMMISSION TO ENSURE PROTECTION OF ALL WETLAND RESOURCES AND CONTROL SEDIMENT TRANSPORT. IF SEDIMENTATION PLUMES OCCUR, THE CONTRACTOR SHALL STOP WORK AND INSTALL ADDITIONAL SEDIMENTATION CONTROL DEVICES IMMEDIATELY TO PREVENT FURTHER SEDIMENTATION.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL TEMPORARY AND PERMANENT SEDIMENTATION AND EROSION CONTROLS UNTIL WORK IS COMPLETE AND ALL AREAS HAVE BEEN PERMANENTLY STABILIZED. AT SUCH TIME THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL SEDIMENTATION AND EROSION CONTROL MEASURES.
5. THE CONTRACTOR SHALL INSPECT SEDIMENTATION AND EROSION CONTROLS ON A DAILY BASIS AND IMMEDIATELY AFTER EACH RAINFALL; REPAIRS SHALL BE MADE BY THE END OF THE WORKING DAY. ACCUMULATED SEDIMENT SHALL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR WHEN THE VOLUME REACHES 1/4 TO 1/2 THE HEIGHT OF COMPOST SOCK OR SEDIMENT TRAP, OR AS DIRECTED BY THE LOCAL AUTHORITY.
6. SOIL STOCKPILES SHALL BE STABILIZED TO PREVENT EROSION, AND A PERIMETER SEDIMENT CONTROL BARRIER SHALL BE INSTALLED. NO MATERIALS SUBJECT TO EROSION SHALL BE STOCKPILED OVERNIGHT WITHIN 100 FEET OF A WETLAND UNLESS COVERED.
7. TOPSOIL STOCKPILES AND DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR AT LEAST 7 DAYS WILL BE STABILIZED WITH A TEMPORARY SEED AND MULCH NO LATER THAN 7 DAYS FROM THE LAST CONSTRUCTION ACTIVITY IN THAT AREA. THE TEMPORARY SEED SHALL BE EROSION CONTROL MIX. DISTURBED PORTIONS OF THE SITE WHERE FINAL GRADE HAS BEEN MET AND CONSTRUCTION ACTIVITY CEASES SHALL BE STABILIZED WITH PERMANENT SEED NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY. THE PERMANENT SEED MIX CONSISTS OF BLUEGRASS, TALL FESCUE, AND ANNUAL RYE. PRIOR TO SEEDING, GROUND AGRICULTURAL LIMESTONE SHALL BE APPLIED AS REQUIRED. SEEDING SHALL BE NUTRIENT ENRICHED HYDROSEED AND CELLULOSE OR OTHER DEGRADABLE FIBERS CAPABLE OF RETAINING MOISTURE. IF NOT DURING THE GROWING SEASON, THESE AREAS SHALL BE MULCHED WITH STRAW AND SECURED.
8. DEWATERING OPERATIONS, IF REQUIRED, SHALL DISCHARGE ONTO STABILIZED AREAS, AND ALL DISCHARGE WATER IS TO PASS THROUGH SEDIMENTATION CONTROL DEVICES TO PREVENT IMPACTS UPON WATER BODIES, BORDERING VEGETATED WETLANDS, DRAINAGE SYSTEMS AND ADJUTING PROPERTIES. AT A MINIMUM ALL DISCHARGES SHALL BE INTERCEPTED BY STRAWBALE CORRAL AND STRAWBALE CHECK DAMS SPACED 10' APART.
9. COMPOST SOCK AND SILT FENCE SHALL BE INSTALLED ALONG THE EDGE OF PROPOSED DEVELOPMENT OR AS INDICATED ON THE PLANS. ADDITIONAL BARRIERS SHALL BE LOCATED AS CONDITIONS WARRANT, AND IN SOME AREAS WEED FREE BALE/SILT FENCING STRUCTURES MAY HAVE TO BE DUPLICATED AT REGULAR INTERVALS UP GRADIENT OF WETLANDS.
10. STREET SWEEPING IN THE VICINITY OF THE PROJECT AREA SHALL BE PERFORMED AS NEEDED UNTIL THE PROJECT LIMITS HAVE BEEN STABILIZED. ALL SEDIMENT TRACKED ONTO PUBLIC RIGHT-OF-WAYS SHALL BE SWEEPED AT THE END OF EACH WORKING DAY.
11. ALL EXISTING AND PROPOSED DRAINAGE SYSTEM INLETS, WHICH MAY RECEIVE STORMWATER FLOW FROM DISTURBED AREAS, SHALL BE PROVIDED WITH INLET PROTECTION (CATCH BASIN SILT SACKS). THE CONTRACTOR SHALL MAINTAIN THESE DEVICES PER THE MANUFACTURERS RECOMMENDATIONS UNTIL ALL WORK IS COMPLETED AND ALL AREAS HAVE BEEN ADEQUATELY STABILIZED.
12. DUST CONTROL MEASURES SHALL BE IMPLEMENTED AND MAINTAINED PROPERLY THROUGHOUT DRY WEATHER PERIODS UNTIL ALL DISTURBED AREAS HAVE BEEN PERMANENTLY STABILIZED. METHODS FOR DUST CONTROL SHALL INCLUDE WATER SPRINKLING AND/OR OTHER METHODS APPROVED BY THE ENGINEER.
13. ALL VEHICLES SHALL ENTER AND EXIT THE SITE VIA THE STABILIZED CONSTRUCTION ENTRANCE CONSISTING OF 2" TO 3" INCH CRUSHED STONE TO A DEPTH OF 6" FOR A MINIMUM OF THE FIRST 50 FEET FROM EXISTING PAVED STREETS. EXTEND THE PAD BEYOND 50 FEET AS NECESSARY BASED UPON FIELD CONDITIONS. IF THE SITE CONDITIONS ARE SUCH THAT THE GRAVEL PAD DOES NOT REMOVE THE MAJORITY OF THE MUD AND DEBRIS, THEN THE TIRES SHALL BE WASHED BEFORE ANY VEHICLES ENTER ADJACENT ROADWAYS. ALL WATER USED FOR TIRE WASHING SHALL BE COLLECTED AND TREATED PRIOR TO ENTERING THE DRAINAGE SYSTEM. THE CONTRACTOR SHALL INSPECT THE CONSTRUCTION ENTRANCE DAILY AND AFTER HEAVY USE.
14. EQUIPMENT NOT IN USE SHALL NOT BE PARKED WITHIN WETLANDS OR BUFFER AREAS.

APPROVAL UNDER THE
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IS REQUIRED.
MEDWAY PLANNING AND ECONOMIC
DEVELOPMENT BOARD

APPROVAL DATE: _____

ENDORSEMENT DATE: _____

GENERAL SEQUENCING PLAN

ESTIMATED SCHEDULE:
ROADWAY THROUGH BINDER COURSE: 6 MONTHS
LOT DEVELOPMENT 12 MONTHS

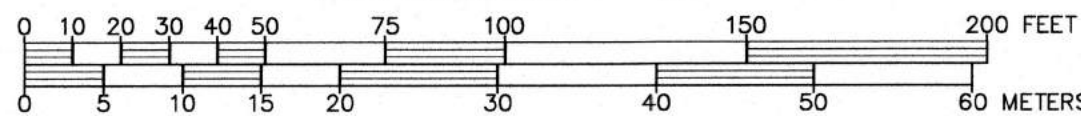
1. INSTALL SEDIMENT CONTROL BARRIERS AND CONSTRUCTION ENTRANCE OFF SUMMER STREET.
2. REMOVE THE EXISTING STRUCTURES AND PAVEMENT AREAS.
3. INSTALL TEMPORARY SEDIMENT TRAP/BERM.
4. CLEAR & PREP ROADWAY AREA.
5. BEGIN CONSTRUCTION OF ROADWAY.
6. INSTALL ROADWAY CROSS CULVERT PRIOR TO COMPLETING PLACEMENT OF FILL NEAR STATION 0+25 TO PREVENT PONDING ON ADJUTING LAND AND BLOCKAGE OF DRAINAGE FLOW PATHS.
7. INSTALL UTILITIES.
8. INSTALL DRAIN CULVERT.
9. INSTALL GRAVEL BASE AND BINDER COURSE PAVEMENT.
10. BEGIN LOT DEVELOPMENT.
11. PERFORM FINAL LANDSCAPING AND STABILIZATION.
12. CLEAN & FINAL INSTALLATION OF STORM WATER BASIN.
13. ADJUST STRUCTURES TO GRADE, AND PLACE FINAL TOP COURSE PAVEMENT.
14. REMOVE THE REMAINING SILTATION DEVICES AS THE AREA BECOMES STABLE.

THE ABOVE SEQUENCING MAY BE SUBJECT TO CHANGE DUE TO FIELD CONDITIONS AND CONTRACTOR'S MEANS AND METHODS. A FINAL SEQUENCING PLANE SHALL BE SUBMITTED TO THE ENGINEER AND TOWN FOR REVIEW AND APPROVAL PRIOR TO THE START OF CONSTRUCTION.

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OF THIS PLAN ON _____ AND NO APPEAL WAS TAKEN
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GRAPHIC SCALE: 1"=40'



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69 SUMMER STREET
MEDWAY, MA

OWNERS:

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DEFINITIVE SUBDIVISION PLAN

EROSION & SEDIMENT
CONTROL PLAN
BOUNDARY LANE
MEDWAY, MASS.

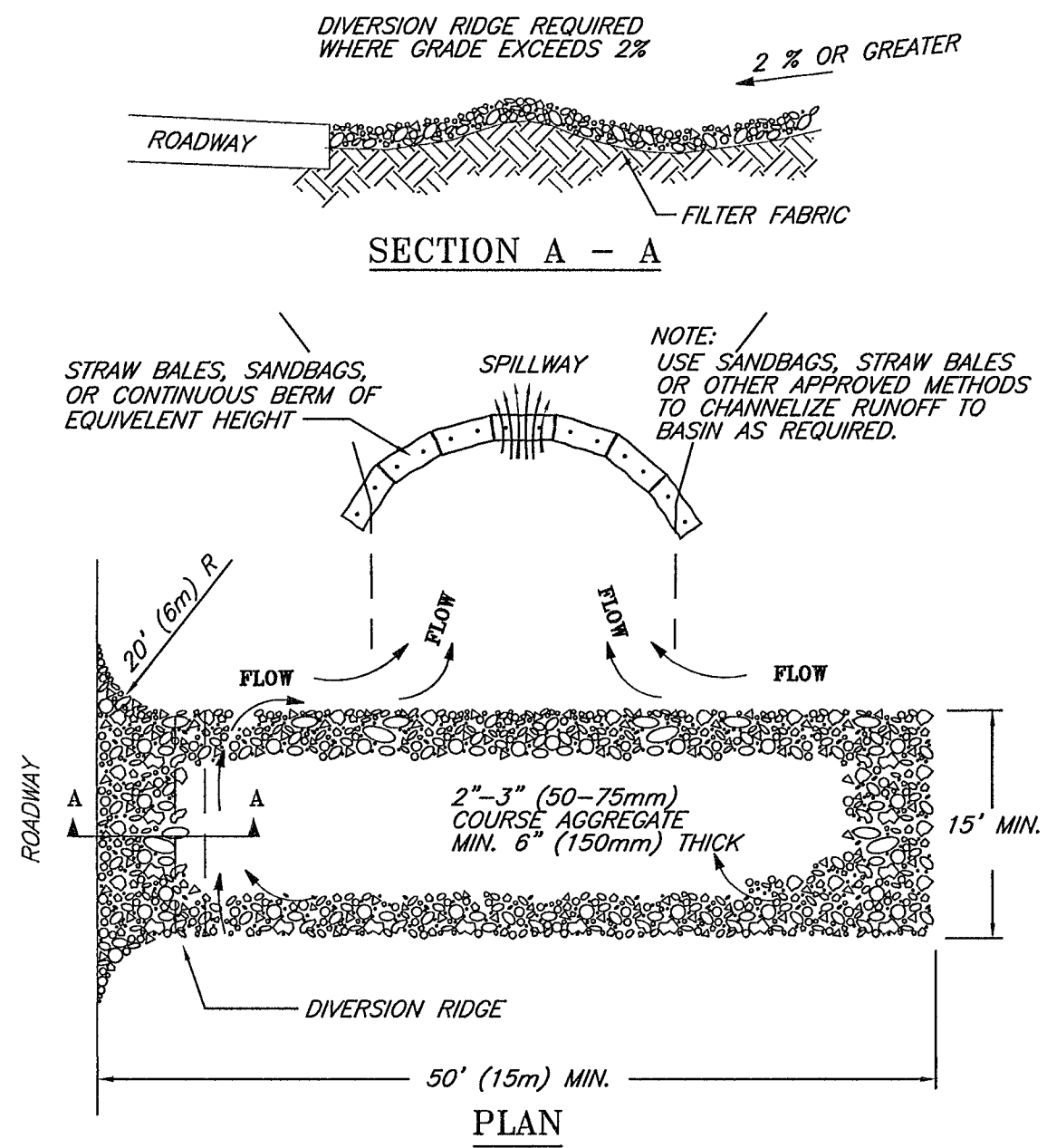
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REVISED: _____ DESCRIPTION: _____

DRAWN BY: REM CHECK BY: VC

DATE: AUGUST 20, 2021

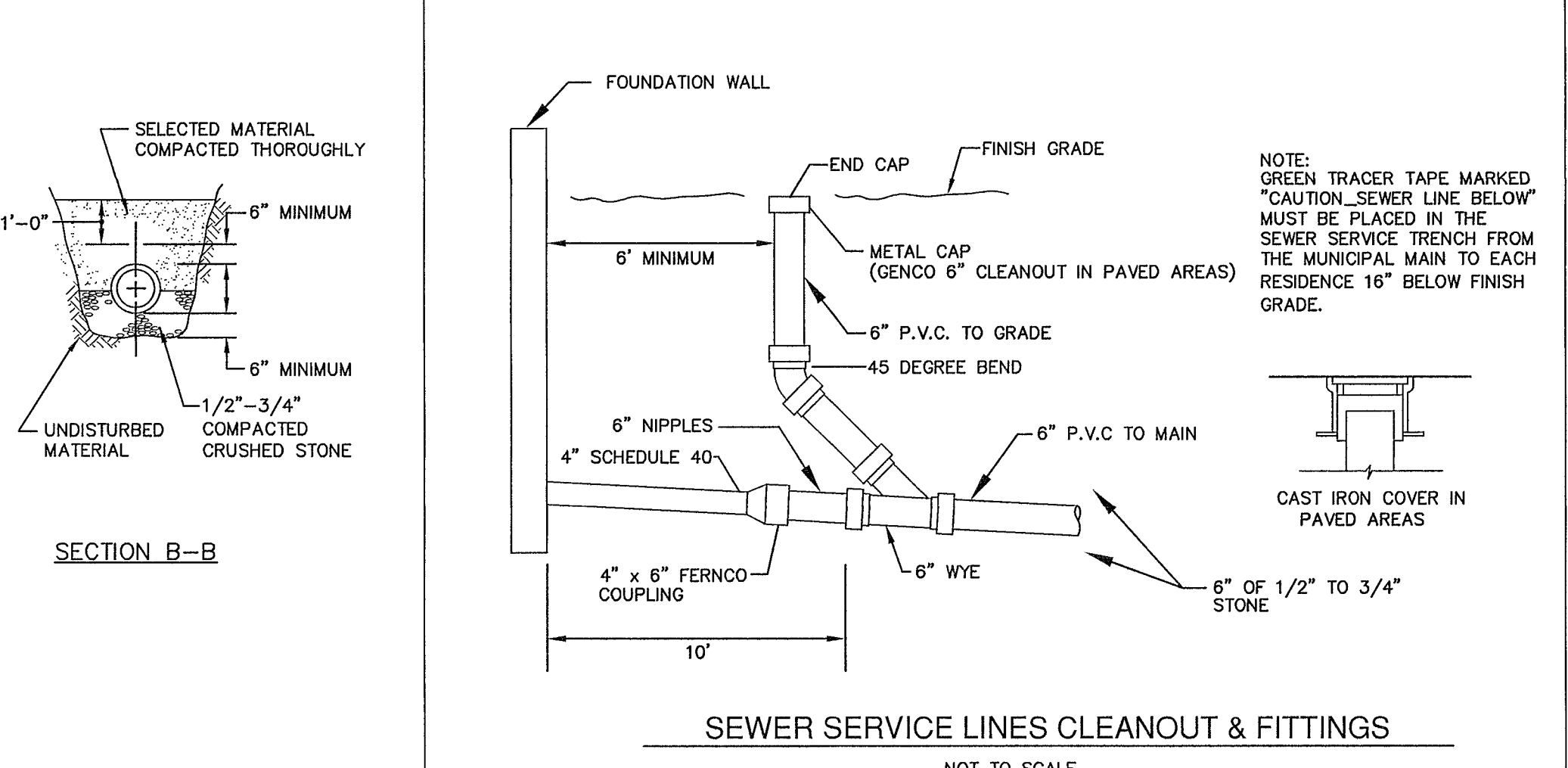
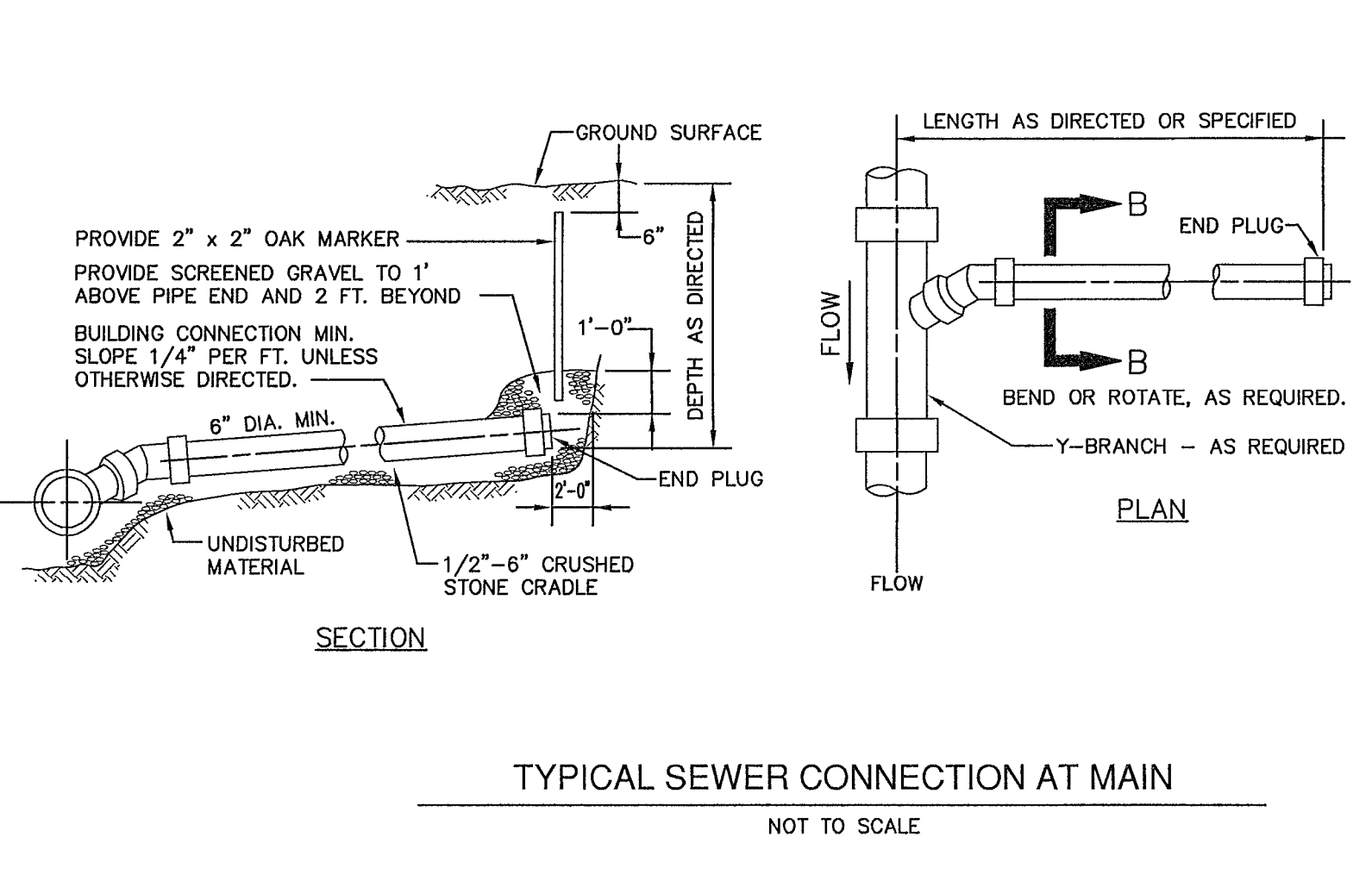
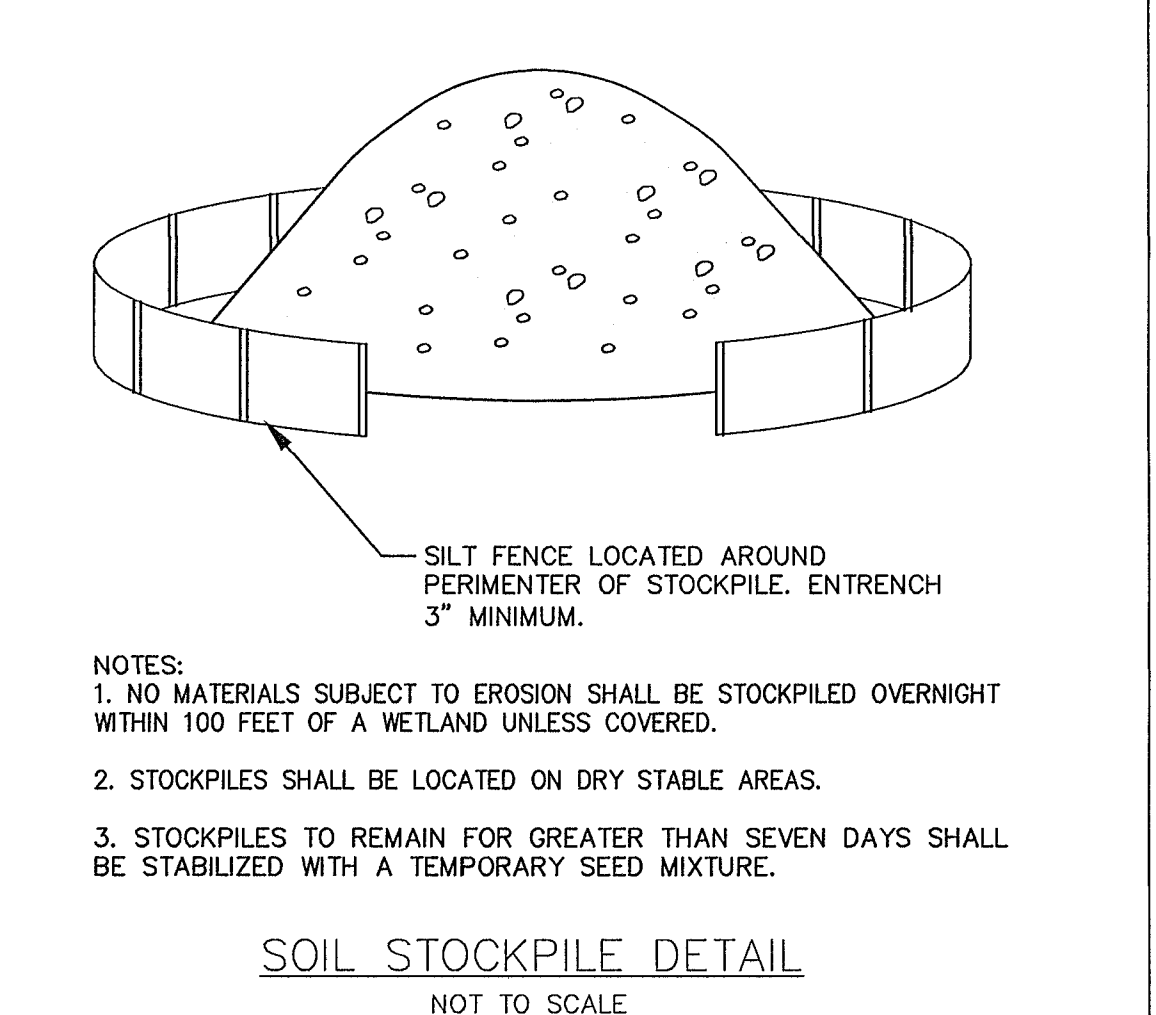
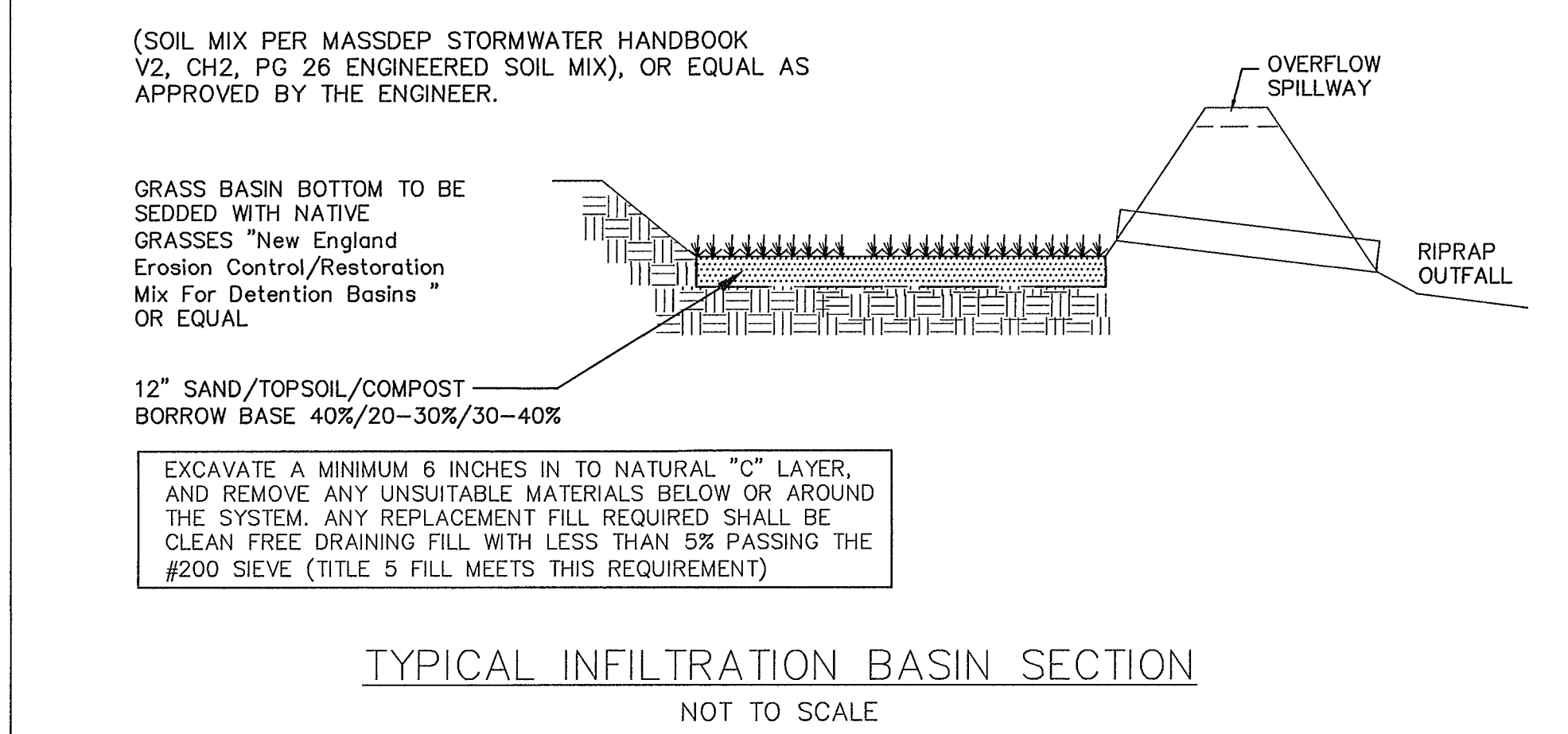
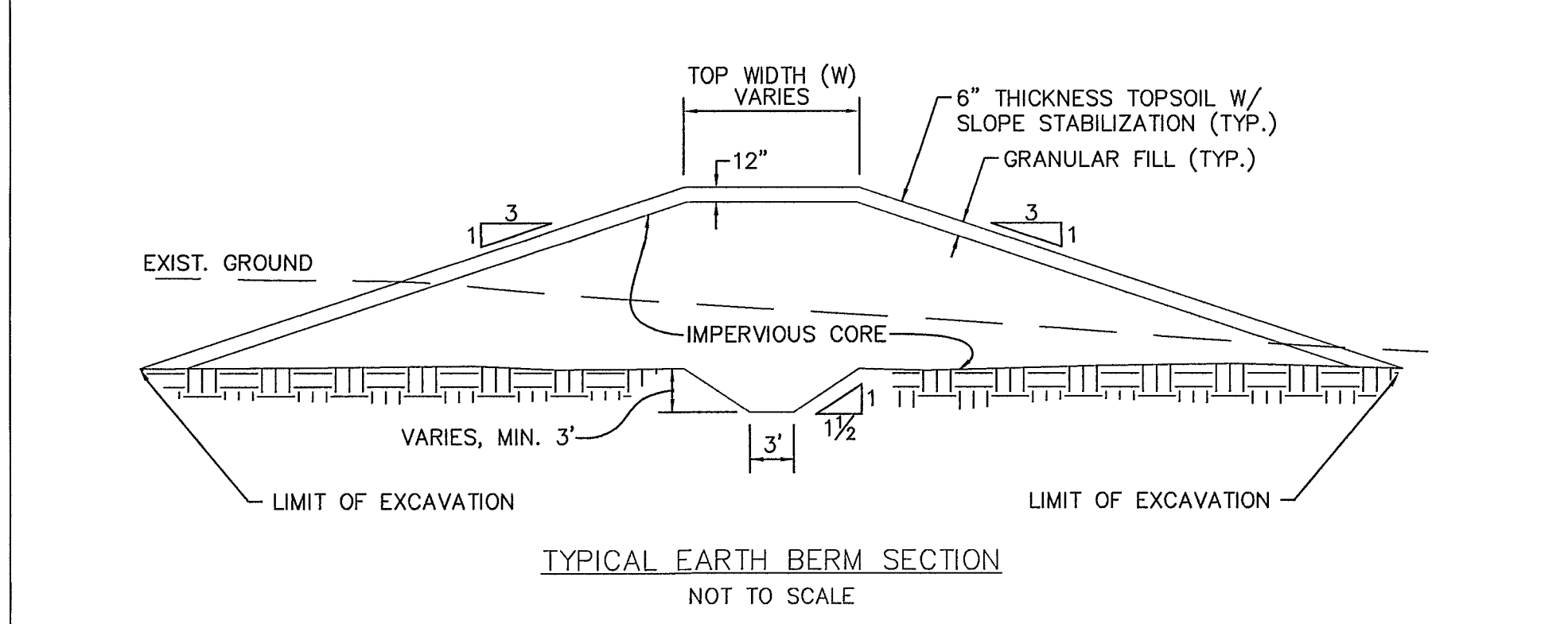
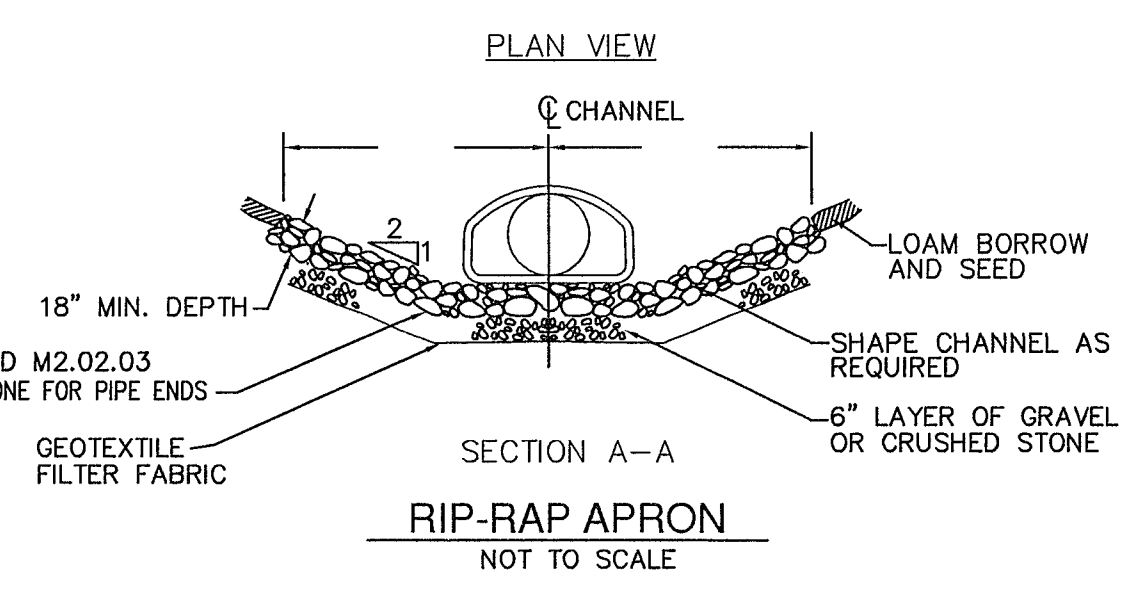
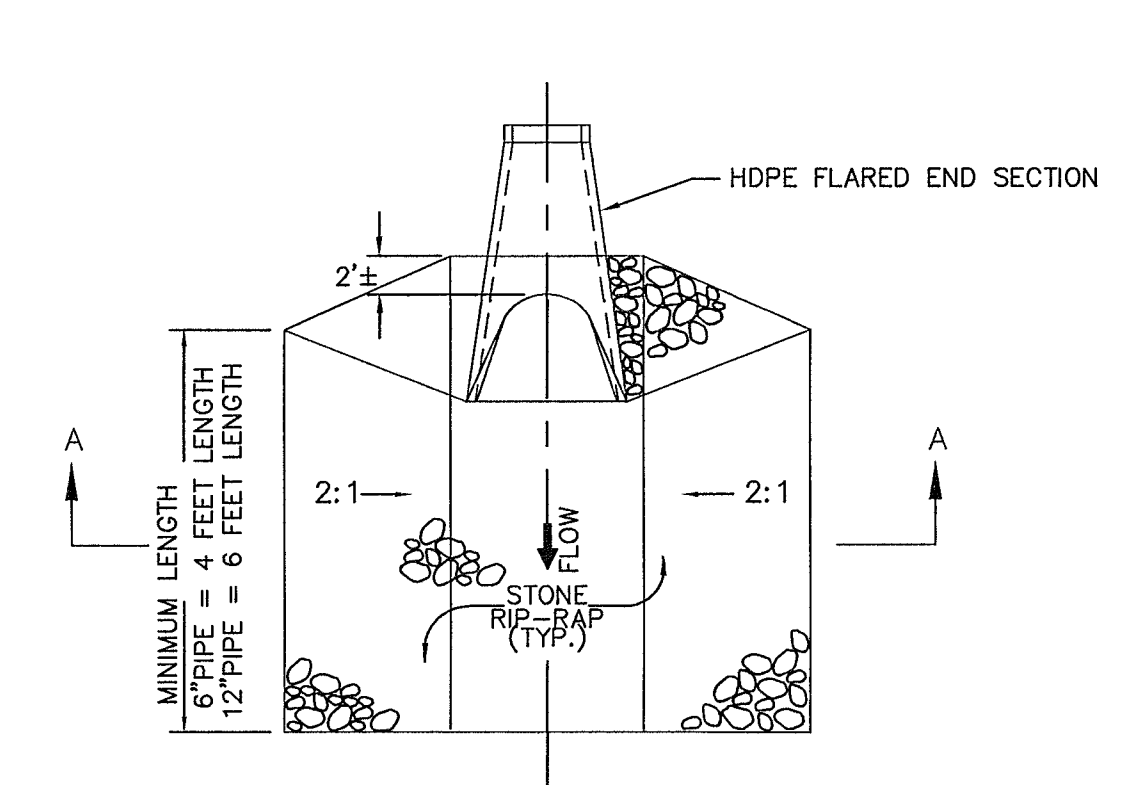
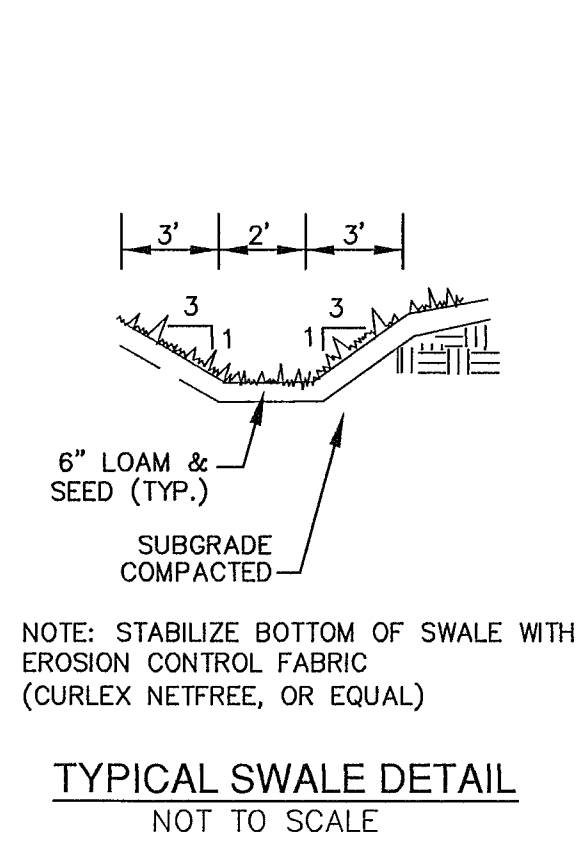
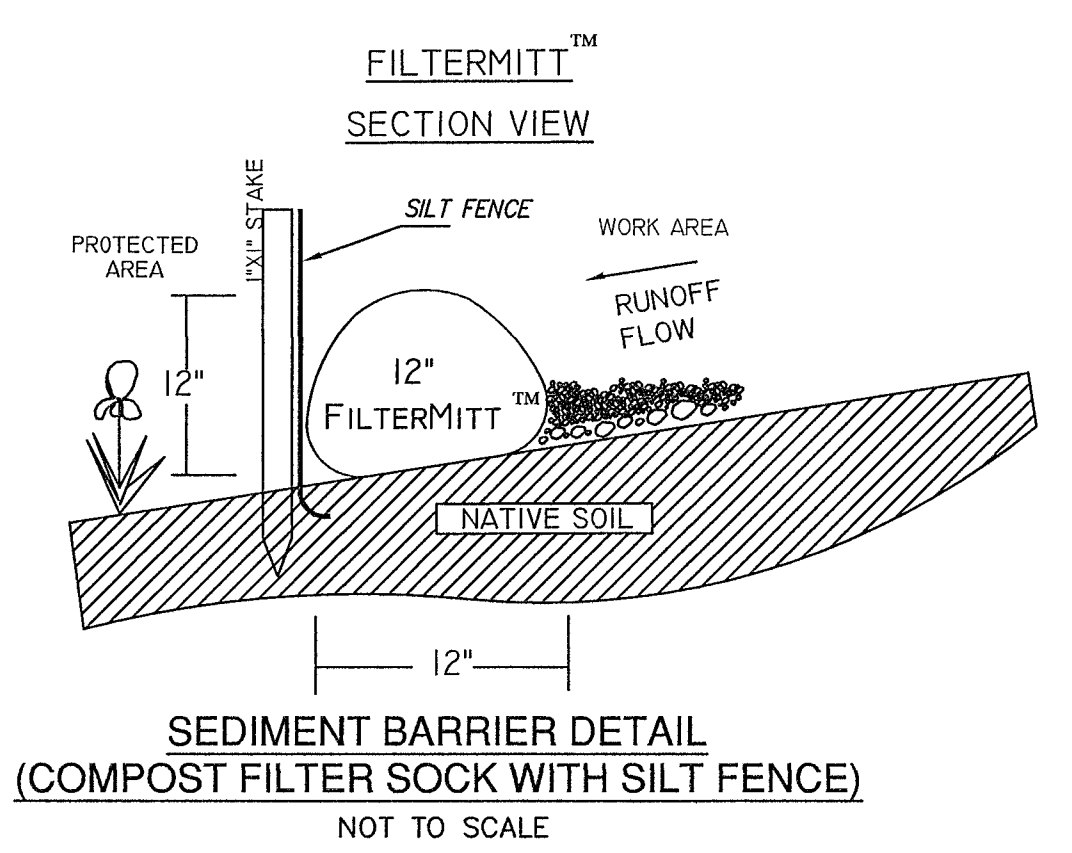
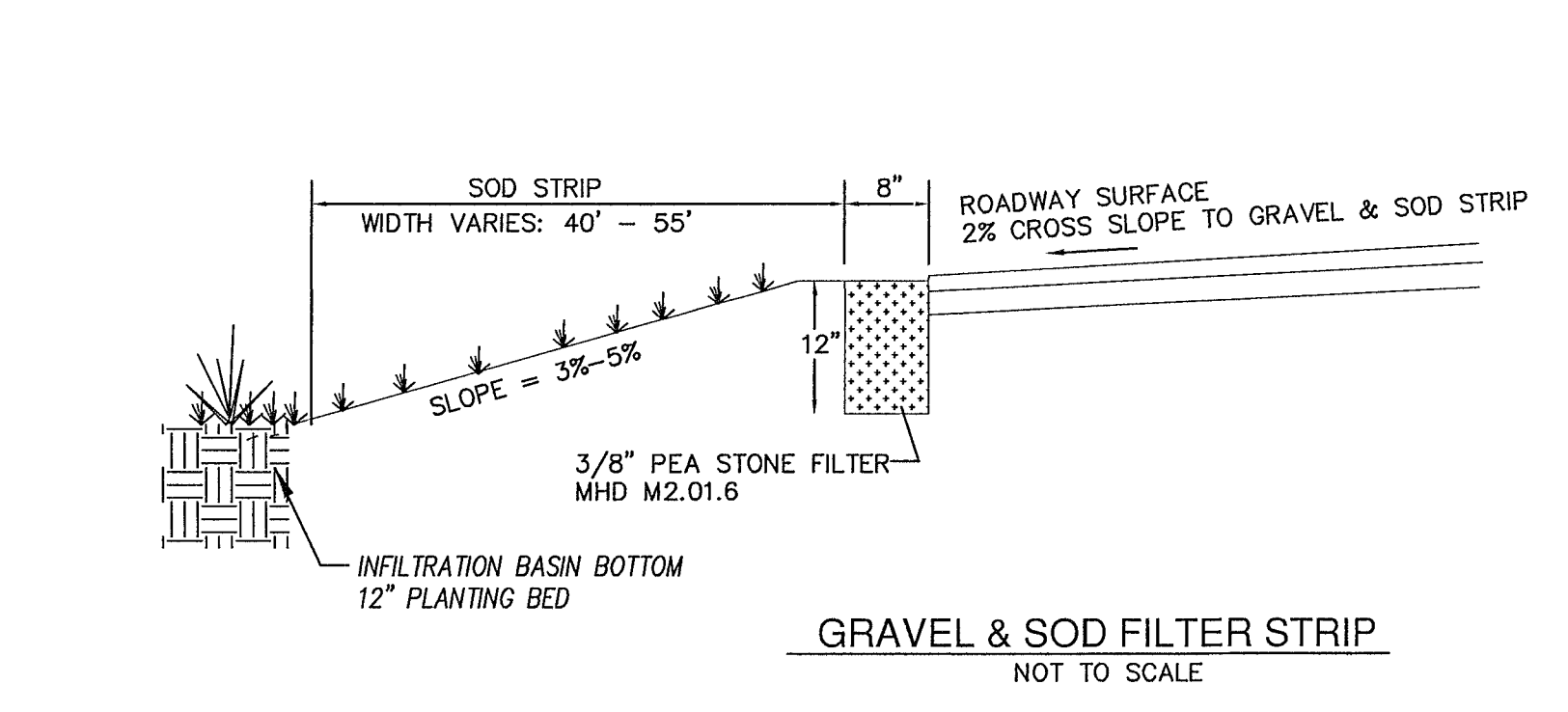
SCALE: 1"=60' SHEET 4 OF 6.



NOTES:
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT

© 1994 JOHN MCCULLAH



APPROVAL UNDER THE SUBDIVISION CONTROL LAW, IS REQUIRED.

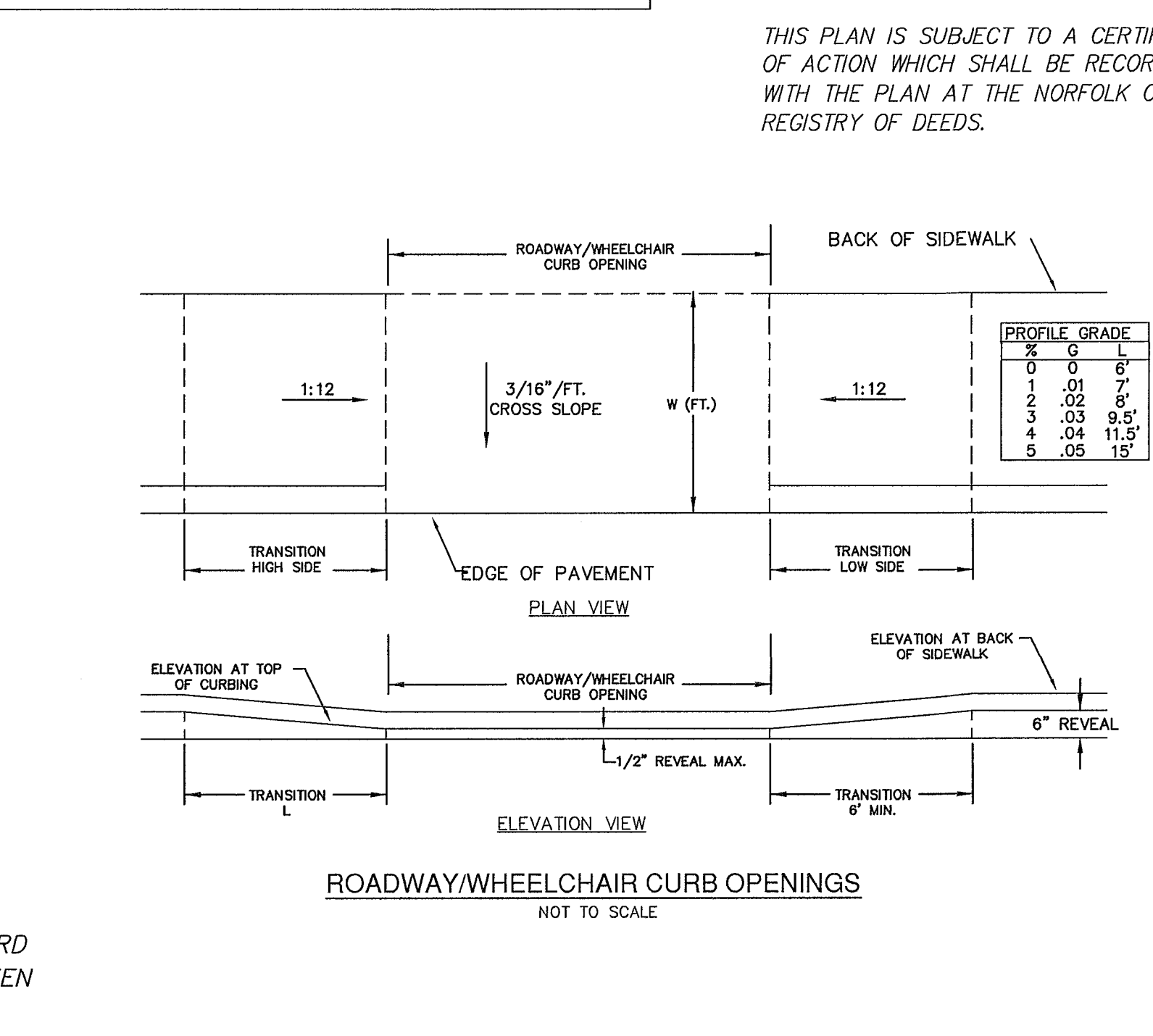
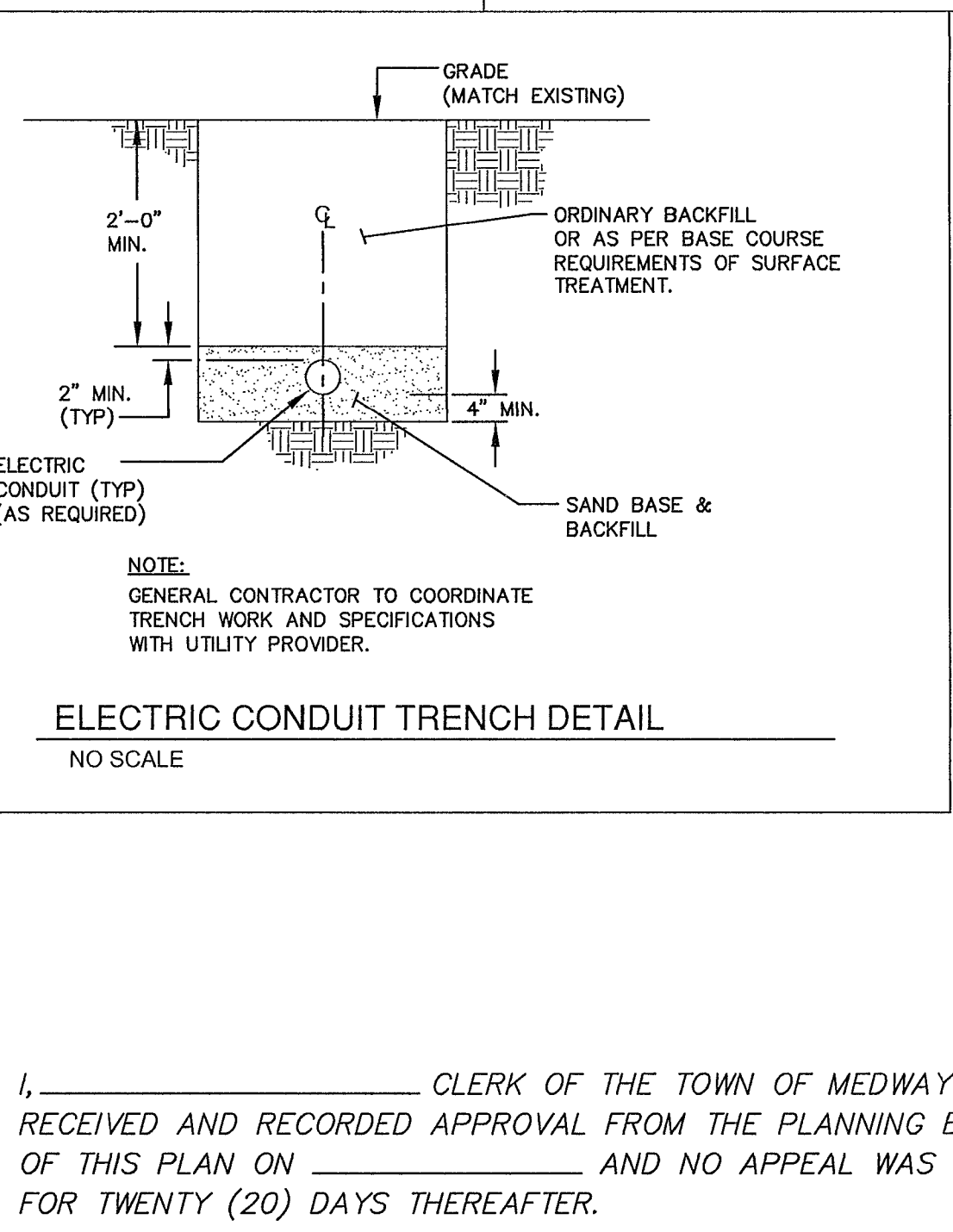
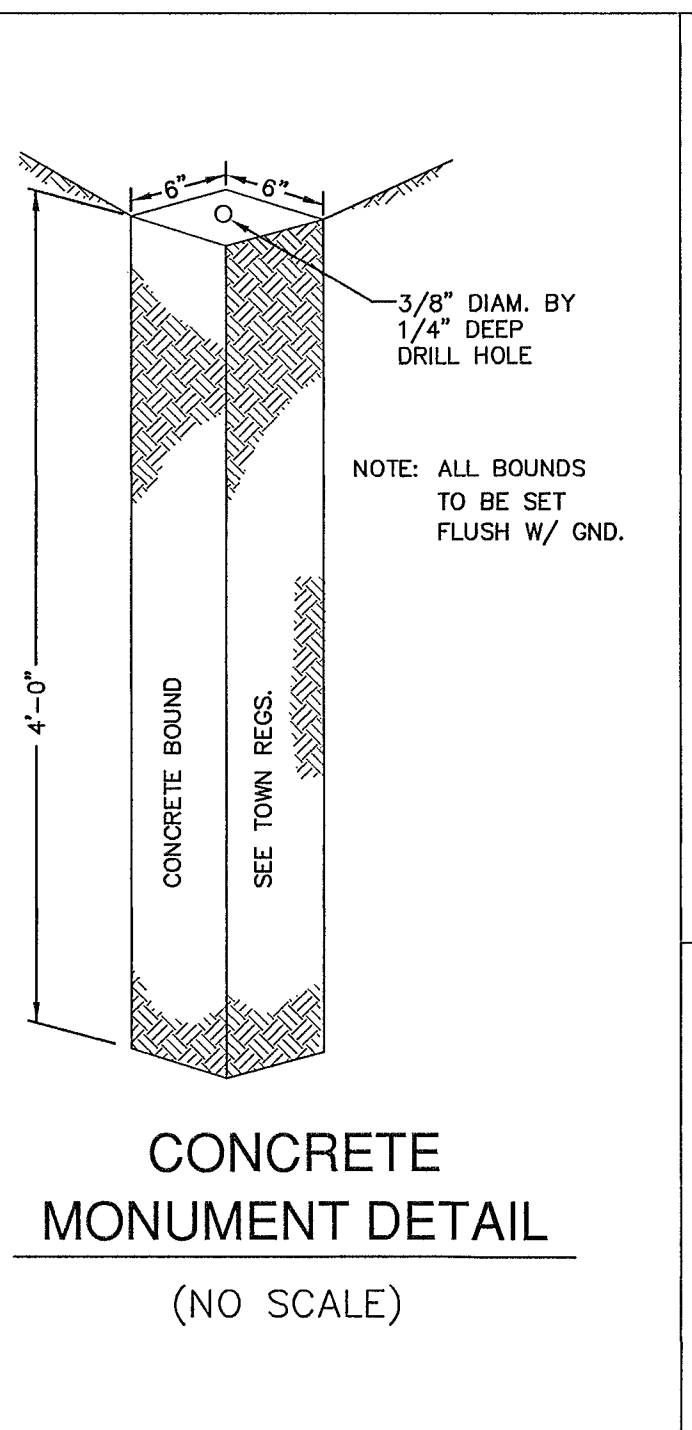
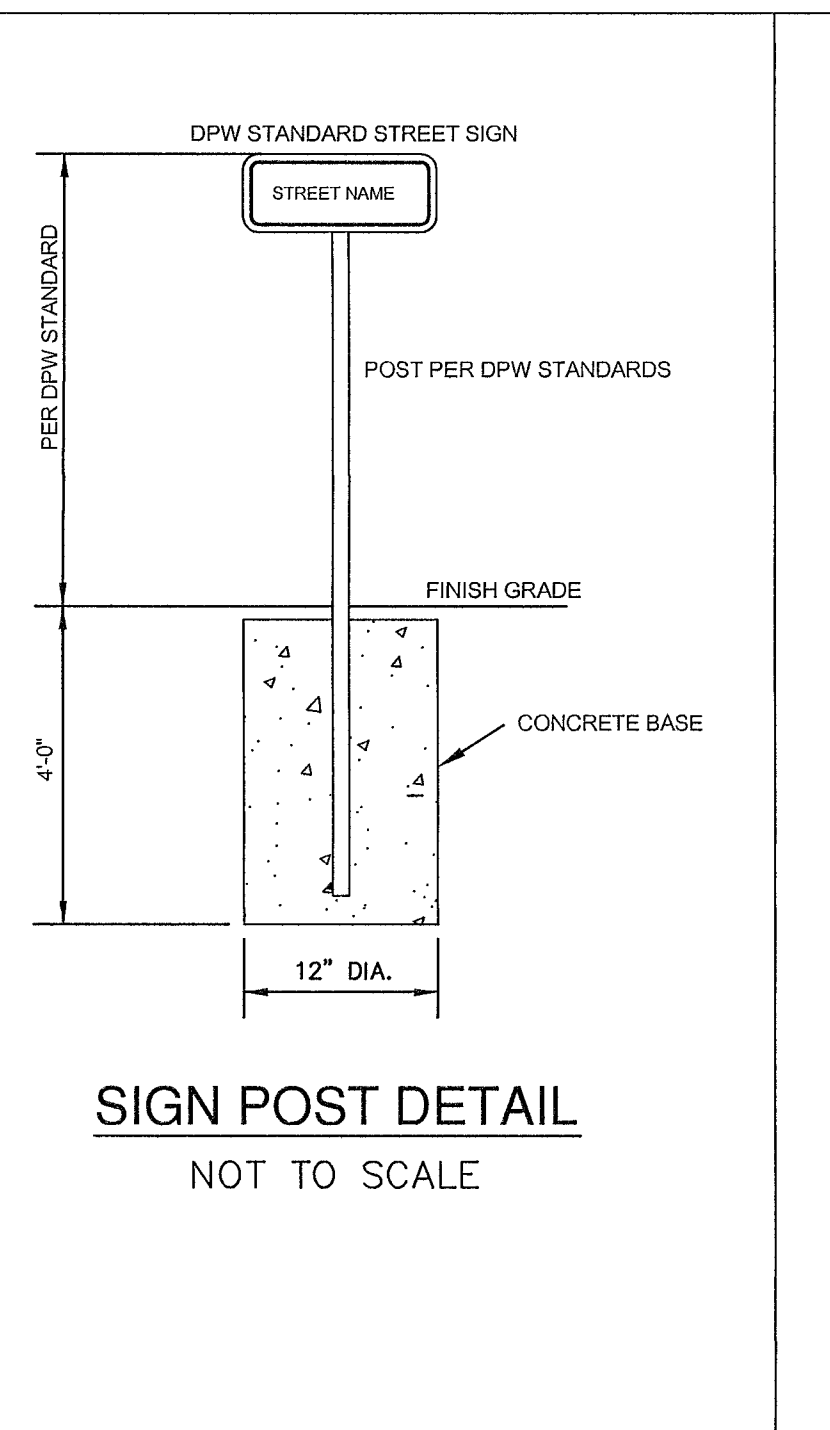
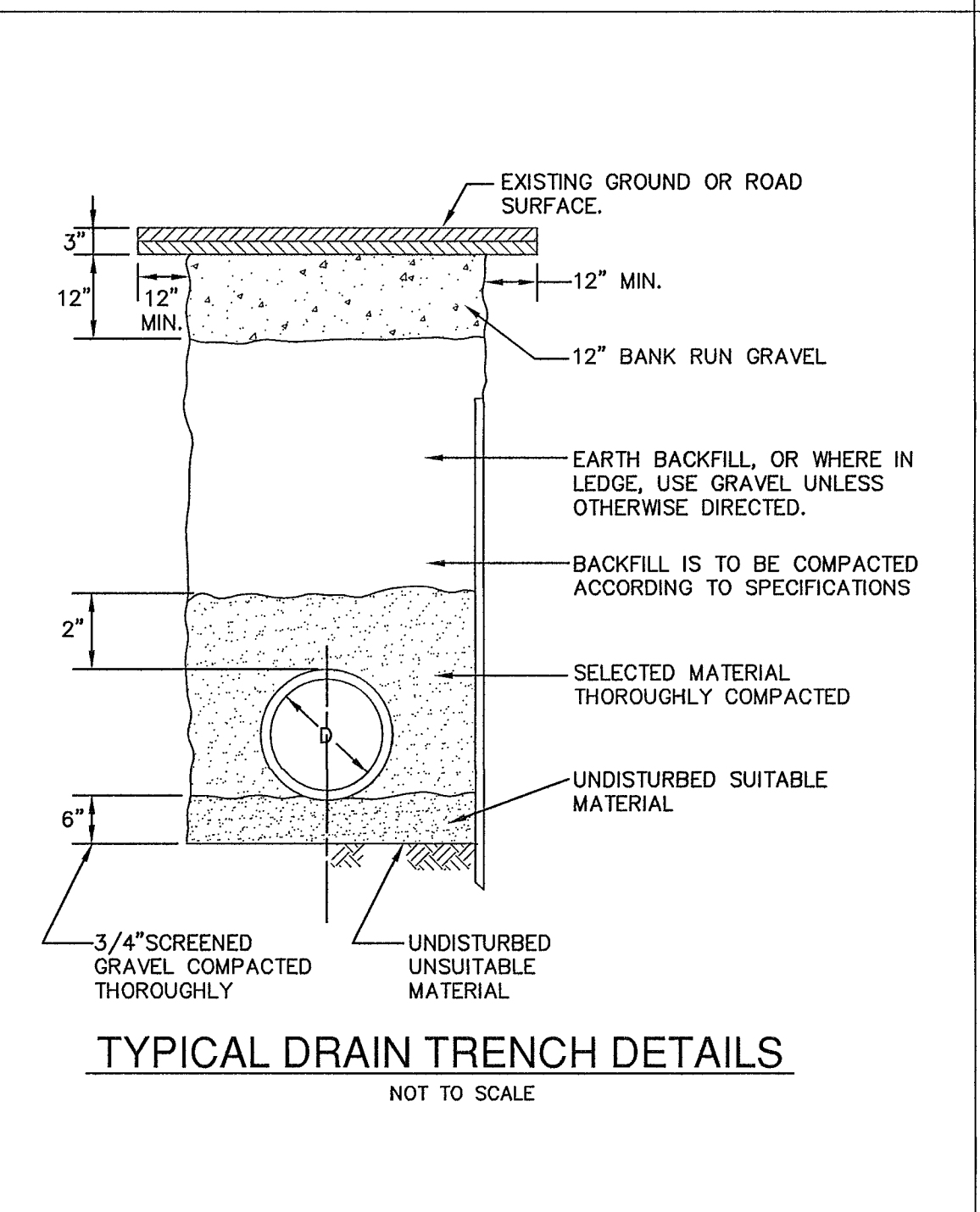
MEDWAY PLANNING AND ECONOMIC DEVELOPMENT BOARD

APPROVAL DATE: _____

ENDORSEMENT DATE: _____

THIS PLAN IS SUBJECT TO A COVENANT TO BE RECORDED HEREWITH.

THIS PLAN IS SUBJECT TO A CERTIFICATE OF ACTION WHICH SHALL BE RECORDED WITH THE PLAN AT THE NORFOLK COUNTY REGISTRY OF DEEDS.



OWNERS:

LINDA LINDSEY
69 SUMMER STREET
MEDWAY, MA

RABBIT BROOK REALTY TRUST
69 SUMMER STREET
MEDWAY, MA

DAVID & RENEE SISTRAND
67R SUMMER STREET
MEDWAY, MA

CONNORSTONE ENGINEERING INC.
CIVIL ENGINEERS AND LAND SURVEYORS
10 SOUTHWEST CUTOFF, SUITE 7
NORTHBOROUGH, MASSACHUSETTS 01532
PHONE: 508-393-9727 FAX: 508-393-5242

DEFINITIVE PLAN CONSTRUCTION DETAILS OF BOUNDARY LANE IN MEDWAY, MA

REVISED:	DESCRIPTION:
8/15/2022	CONDITIONS OF APPROVAL
7/12/2022	EDITS PER PEER REVIEW
2/17/2022	MISC. CON. COMM. EDITS
2/8/2022	MISC. CON. COMM. EDITS

DRAWN BY: RM CHECK BY: VC

DATE: AUGUST 20, 2021

SCALE: NONE SHEET 5 OF 6.



TOWN OF MEDWAY
Planning & Economic Development Board
155 Village Street
Medway, Massachusetts 02053

Matthew J. Hayes, P.E., Chair
Robert K. Tucker, Vice-Chair
Richard Di Iulio, Clerk
Jessica Chabot, Member
Sarah Raposa, A.I.C.P., Member
Thomas A. Gay, Associate Member

Special Permit and Minor Site Plan Decision
Volta Charging, LLC, 65 Main Street
_____ with Waivers and Conditions

Decision Date: , 2022

Name/Address of Applicant (Permittee):

Volta Charging, LLC
155 De Haro Street
San Francisco, CA 94103

Name/Address of Property Owner:

Hidden Acres Realty I, LLC
250 East Parkcenter Blvd
Boise, ID 83706

Project Location: 65 Main Street, Medway Commons

Assessors' Reference: 41-023 and 41-024

Zoning District: Central Business

Engineer: Kimley-Horn & Associates
1700 Willow Lawn Drive, Suite 200
Richmond, VA 23230

Site Plan: *Volta, Shaw's 65 Main Street Phase I*, dated 6-13-19, last revised
7-13-22, prepared by Kimley-Horn of Waltham, MA to be revised
as specified herein.

I. PROJECT DESCRIPTION - The applicant requests authorization for two electric vehicle charging (EVC) stations with commercial advertising to be located in the Shaw's parking lot at the Medway Commons shopping center at 65 Main Street.

II. VOTE OF THE PLANNING AND ECONOMIC DEVELOPMENT BOARD – After reviewing the application and information gathered during the public review process, the Medway Planning and Economic Development Board, hereafter referred to as the “Board”, on ____ 2022, **voted to** ____ **with WAIVERS and CONDITIONS** as specified herein, a special permit for Electric Vehicle Charging Station with Digital Advertising under Section 5.4.2 and minor site plan approval for Volta Charging, LLC, 65 Main Street, Permit plan: *Volta, Shaw's 65 Main Street Phase I*, dated 6-13-19, last revised 7-13-22, prepared by Kimley-Horn of Waltham, MA to be further revised as specified herein.

III. PROCEDURAL HISTORY

- A. July 20, 2022 – Special permit and minor site plan application and associated materials were filed with the Board and were provided to the Medway Town Clerk.
- B. May 24, 2022 – Public hearing notice was filed with the Town Clerk and posted at the Town of Medway web site.
- C. May 25, 2022 – Public hearing notice was mailed to abutters by first class mail.
- D. May 31, 2022 – Application information distributed to Town boards, committees and departments for review and comment.
- E. August 23, 2022 – Opening of public hearing. The public hearing was continued to September 13, 2022 ____ when the hearing was concluded, and the Board voted its decision.

IV. INDEX OF DOCUMENTS

- A. The application included the following documents, plans, studies and information that were provided to the Board at the time the application was filed:
 - 1. Special Permit Application dated July 20, 2022
 - 2. Minor Site Plan Application dated July 20, 2022
 - 3. Certified abutters' list prepared by Medway Assessor's office.
 - 4. Site plan *Volta, Shaw's 65 Main Street Phase I*, dated 6-13-19, last revised 7-13-22, prepared by Kimley-Horn of Waltham, MA
 - 5. Waiver request from *Site Plan Rules and Regulations* dated July 20, 2022
 - 6. Photographs of the EVC units
 - 7. Project narrative from Michael Dolan, esq. dated July 20, 2022
- B. Other materials submitted during the course of the Board's review:
- C. All documents and exhibits received during the public review process are contained in the Board's project file.

V. TESTIMONY - In addition to the site plan and special permit application materials as submitted and provided during the course of the Board's review, the Board also received verbal or written testimony from:

- Michael Dolan, esq., Brown, Rudnick
- Michael Dennehy, General Manager, Volta Charging

VI. FINDINGS – In making its findings and reaching the decision described herein, the Board is guided by Board's *Site Plan Rules and Regulations*, and the *Medway Zoning Bylaw*. The Board also considered evidence and testimony presented at the public briefings and comments submitted by Town departments, boards, and committees as well as the Board's peer review consultant and residents placed in the public record during the course of the review.

A. Site Plan Rules and Regulations Findings. The Planning and Economic Development Board, at its meeting on ____, 2022, voted to make the following **FINDINGS** with respect to the Site Plan application.

The Planning and Economic Development Board shall determine whether the proposed development is in conformance with the standards and criteria set forth in the *Site Plan Rules and Regulations*, unless specifically waived. Some of the criteria found in the *Regulations* are not applicable to this proposal, and no specific findings are made as to those criteria. In making its decision, the Board shall determine the following:

- (1) Has internal circulation, queuing and egress been designed such that traffic safety is protected, access via minor streets servicing residential areas is minimized, and traffic backing up into the public way is minimized?

The proposed EVC units will not impact circulation, parking, or egress as there will be no alterations to these.

- (2) Does the site plan show designs that minimize any departure from the character, materials, and scale of buildings in the vicinity as viewed from public ways and places?

The proposed EVC units do not change the view of the existing buildings from public ways and places. It received a positive review from the Design Review Committee.

- (3) Is reasonable use made of building location, grading and vegetation to reduce the visible intrusion of structures, parking areas, outside storage or other outdoor service areas (e.g., waste removal) from public views or from (nearby) premises residentially used and zoned.

The project includes landscaping of the project area. No new structures or service areas are proposed.

- (4) Is adequate access to each structure for fire and emergency vehicles provided?

The existing access will not be affected by the EVC units.

- (5) Will the design and construction minimize, to the extent reasonably possible, the following environmental impacts?

- a) the volume of cut and fill;
- b) the number of trees to be removed with particular care taken with mature trees and root systems;
- c) the visual prominence of man-made elements not necessary for safety;
- d) the removal of existing stone walls;
- e) the visibility of building sites from existing streets;
- f) the impacts on waterways and environmental resource areas;
- g) soil pollution and erosion;
- h) noise.

The changes are proposed to an existing parking lot area; there will not be adverse impacts to the interests listed above.

- (6) Are pedestrian ways, access driveways, and vehicular and bicycle parking facilities properly designed?

This is not applicable to the EVC unit installation.

- (7) Does the design and will the construction incorporate, to the maximum extent possible, the visual prominence of natural and historic features of the site?

The site is located in a parking lot. Accordingly, there are no visually prominent natural or historic features on site.

- (8) Does the lighting on the site comply with Section 7.1.2 of the Zoning Bylaw?

Yes.

- (9) Is the proposed limit of work area reasonable and does it protect sensitive environmental and/or cultural resources? The site plan as designed should not cause substantial or irrevocable damage to the environment, which damage could be avoided or ameliorated through an alternative development plan or mitigation measures.

The limit of work is reasonable. There are no sensitive environmental or cultural resources on or abutting the site.

B. Special Permit Findings The Planning and Economic Development Board, at its meeting on ____, 2022, voted to make the following ***FINDINGS*** with respect to the special permit application.

The Planning and Economic Development Board shall determine whether the proposed development is in conformance with the standards and criteria set forth in Section 5.4.2.A for Electric Vehicle Charging Stations and Section 3.4.D Special Permit Decision Criteria of the Zoning Bylaw. The Board finds that the application complies with the criteria for Electric Vehicle Charging Stations under Section 5.4.2 of the Zoning Bylaw.

1. The charging service for such Charging Stations shall be provided at no cost to users.

2. *For each Charging Station, the sign surface area does not exceed nine square feet per side, and each Charging Station has only two sides of advertising. No audio or video displays shall be permitted.*

3. *The Charging Stations are not Level one.*

4. *The display area and no part of the Charging Stations will revolve, simulate motion, flash, blink, or include animation. Internal illumination of the display area is permitted. Advertising may include commodities or services which may not be found or available on the premises hosting the Charging Stations.*

5. *There will be no reduction in handicap accessible and compact car parking spaces to accommodate installation of Charging Stations. The number of Charging Station spaces does not exceed five percent of the total number of parking spaces on the premises.*

6. *The Charging Stations are capable of charging electric vehicles produced by multiple manufacturers.*

The Board found that the application meets all the required Special Permit Decision Criteria for Section 3.4 on the following findings:

1. The proposed site is an appropriate location for the proposed use.

The EVC units will be located in an existing parking lot of a shopping plaza, set back from public ways.

2. Adequate and appropriate facilities will be provided for the operation of the proposed use.

The EVC units are in a parking lot with ample facilities for their use.

3. The proposed use as developed will not create a hazard to abutters, vehicles, pedestrians, or the environment.

The proposed EVC units are being added to an existing parking lot, with no alteration of the parking lot configuration, no hazard will be created.

4. The proposed use will not cause undue traffic congestion or conflicts in the immediate area.

The proposed EVC units are being added to an existing parking lot, with no alteration of the parking lot configuration, no undue congestion will be created.

5. The proposed use will not be detrimental to the adjoining properties due to lighting, flooding, odors, dust, noise, vibration, refuse materials, or other undesirable visual, site, or operational attributes of the proposed use.

The proposed EVC units are being added to an existing parking lot, with no alteration of the parking lot configuration. The units comply with the standards

of the zoning bylaw and received favorable review by Design Review Committee. There will be no undesirable effects.

6. The proposed use as developed will not adversely affect the surrounding neighborhood or significantly alter the character of the zoning district.
The proposed EVC units are being added to an existing parking lot, with no alteration of the parking lot configuration, and set back from the public ways.

7. The proposed use is in harmony with the general purpose and intent of the Zoning Bylaw.
The proposed EVC units are being added to an existing parking lot, with no alteration of the parking lot configuration. The units comply with the standards of the zoning bylaw and received favorable review by Design Review Committee.

8. The proposed use is consistent with the goals of the Medway Master Plan.
The EVC units are consistent with goals to promote the use of electric vehicles.

9. The proposed use will not be detrimental to the public good.
The proposed EVC units are being added to an existing parking lot, with no alteration of the parking lot configuration. The units comply with the standards of the zoning bylaw and received favorable review by Design Review Committee.

The Board finds that the Applicant has demonstrated through evidence submitted that it has met all the required Special Permit Decision Criteria under Section 3.4 of the Zoning Bylaw.

VII. WAIVERS FROM SITE PLAN RULES AND REGULATIONS

At its _____, 2022 meeting, the Planning and Economic Development Board voted to approve a waiver from the following provision of the *Site Plan Rules and Regulations*, as amended October 8, 2019. The Board's action and reasons for approving the waiver request are listed below. Waivers are subject to the Conditions of Approval, which follow this section.

Section 204-4(A) through (C) Standards for site plan preparation; Section 205-5(A) Plan Cover Sheet; Section 205-5(B) Site Context Sheet; Section 205-5(C) Existing Conditions Sheet; Section 205-5(D) Plot Plan; Section 205-5(E) Site Plan Contents; Applicant requests waivers of scale requirements, various site plan sheets, and any other standard that the site plan does not comply with. The site plan is limited to two electrical vehicle charging units in the existing Medway Commons parking lot near Shaw's. The plans submitted are sufficient and appropriate for this application.

Section 205-3(D) Stormwater Drainage Evaluation Report; Section 207-11(A) through (C) Traffic and Vehicular circulation; Section 207-14(A) through (G) Post Construction Stormwater Management and Maintenance.

Applicant requests waivers of these requirements in light of the limited nature of this application. The site plan is limited to two electrical vehicle charging units in the existing Medway Commons parking lot near Shaw's. The information requested in these waivers are not needed for this application.

VIII. CONDITIONS The Conditions included in this Decision are to assure that the Board's approval of this special permit and site plan is consistent with the *Site Plan Rules and Regulations* and Zoning Bylaw, that the comments of various Town boards and public officials have been adequately addressed, and that concerns of abutters and other town residents which were aired during the public review process have been carefully considered. The Board's approval of the site plan is subject to the following conditions:

1. **Plan Endorsement** - Within sixty days after the Board has filed its *Decision* with the Town Clerk, the site plan shall be further revised to reflect all Conditions and required plan revisions, including those specified as follows, and submitted to the Board to review for compliance with the Board's *Decision*. (Said plan is hereinafter referred to as the Plan). The Permittee shall provide a set of the revised Plan in its final form to the Board for its endorsement. All plan sheets shall be bound together in a complete set.
2. **Plan Revisions** – Prior to plan endorsement, the following plan revisions shall be made to the 2022 plan set.
 - a.
 - b.
3. **Fees** - Prior to site plan endorsement by the Board, the Permittee shall pay:
 - a. the balance of any outstanding plan review fees owed to the Town for review of the site plan by the Town's engineering, planning or other consultants; and
 - b. any construction inspection fee that may be required by the Board; and
 - c. any other outstanding expenses or obligations due the Town of Medway pertaining to this property, including real estate and personal property taxes and business licenses.

The Permittee's failure to pay these fees in their entirety shall be reason for the Board to withhold plan endorsement.
4. **Other Permits** – This permit does not relieve the Permittee from its responsibility to obtain, pay and comply with all other required federal, state and Town permits. The contractor for the Permittee or assigns shall obtain, pay and comply with all other required Town permits.
5. **Landscape Maintenance** - The site's landscaping shall be maintained in good condition throughout the life of the facility and to the same extent as shown on the endorsed Plan. Any shrubs, trees, bushes or other landscaping features shown on the Plan that die shall be replaced by the following spring.

6. ***Snow Storage and Removal*** On-site snow storage shall not encroach upon nor prohibit the use of any parking spaces required by the *Zoning Bylaw*.
7. ***Advertising Displays:*** No audio or video displays shall be permitted. The display area and no part of the Charging Station will revolve, simulate motion, flash, blink, or include animation.
8. ***Limitations*** – This decision pertains only to two electric vehicle charging stations. Any increase in the number of such EV charging stations requires an application for a separate special permit.
9. ***Modification of Plan and/or Decision***
 - a. This special permit and site plan approval is subject to all subsequent conditions that may be imposed by other Town departments, boards, agencies or commissions. Any changes to the special permit or site plan that may be required by the decisions of other Town boards, agencies or commissions shall be submitted to Board for review as modifications.
 - b. Any work that deviates from the approved site plan or this Decision may be a violation of the *Medway Zoning Bylaw* unless the Permittee requests approval of a plan modification pursuant to Section 3.5.2.A.3.c. and such approval is provided in writing by the Board.
 - c. Whenever additional reviews by Board, its staff or consultants are necessary due to proposed site plan modifications, the Permittee shall be billed and be responsible for all supplemental costs including filing fees, plan review fees and all costs associated with another public review process including legal notice and abutter notification. If the proposed revisions affect only specific limited aspects of the site, the Board may reduce the scope of the required review and waive part of the filing and review fees.
 - d. The Board shall issue a modification decision, file such with the Town Clerk, and provide copies to the Building Commissioner and other Town officials and the Permittee. Any modification approved by the Board shall be made a permanent part of the approved site plan project documents and shall be shown on the final as-built plan.
10. ***Compliance with Plan and Decision***
 - a. The Permittee shall construct all improvements in compliance with the approved and endorsed site plan and this Decision any modifications thereto.
 - b. The Board or its agent(s) may use all legal options available to it, including referring any violation to the Building Commissioner/Zoning Enforcement Officer for appropriate enforcement action, to ensure compliance with the foregoing Conditions of Approval.
 - c. The Conditions of Approval are enforceable under Section 3.1. F. of the *Medway Zoning Bylaw* (non-criminal disposition) and violations or non-compliance are subject to the appropriate penalty.
11. ***Project Completion***

- a. Site plan approval shall lapse after two years of the grant thereof if substantial use has not commenced except for good cause per Section 3.5.7 of the Zoning Bylaw. Upon receipt of a written request from the Permittee filed at least thirty days prior to the date of expiration, the Board may grant an extension for good cause. The request shall state the reasons for the extension and also the length of time requested. If no request for extension is filed and approved, the site plan approval shall lapse and may be reestablished only after a new filing, public review process and decision.
- b. Approved site plans shall be completed by the Permittee or its assignees within three years of the date of plan endorsement. Upon receipt of a written request from the Permittee filed at least thirty days prior to the date of expiration, the Board may grant an extension for good cause. The request shall state the reasons for the extension and also the length of time requested. If no request for extension is filed and approved, the site plan approval shall lapse and may be reestablished only after a new filing, public review process and decision.

Conflicts – If there is a conflict between the site plan and the Decision's Conditions of Approval, the Decision shall rule. If there is a conflict between this Decision and/or site plan and the Medway Zoning Bylaw, the Bylaw shall apply.

IX. APPEAL – Appeals if any, from this Decision shall be made to the court within twenty days of the date the Decision is filed with the Town Clerk.

After the appeal period has expired, the Permittee must obtain a certified notice from the Town Clerk that no appeals have been made and provide such certification to the Planning and Economic Development Board before plan endorsement.

**Medway Planning and Economic Development Board
SITE PLAN and SPECIAL PERMIT DECISION
Volta Charging, LLC, 65 Main Street**

APPROVED with Conditions by the Medway Planning & Economic Development Board:
____, 2022

AYE:

_____	_____
_____	_____

The Board and the Applicant have complied with all statutory requirements for the issuance of this Decision on the terms set forth. A copy of this Decision will be filed with the Medway Town Clerk and mailed to the Applicant, and notice will be mailed to all parties in interest as provided in General Laws, chapter 40A, section 15.

Any person aggrieved by the decision of the Board may appeal to the appropriate court pursuant to Massachusetts General Laws, chapter 40A, section 17, and shall be filed within 20 days after the filing of this notice in the office of the Medway Town Clerk.

In accordance with General Laws chapter 40A, section 11, no special permit shall take effect until a copy of the Decision is recorded in the Norfolk County Registry of Deeds, and indexed in the grantor index under the name of the owner of record or is recorded and noted on the owner's certificate of title, bearing the certification of the Town Clerk that twenty days have elapsed after the Decision has been filed in the office of the Town Clerk and no appeal has been filed within said twenty day period or the appeal has been filed within such time. The person exercising rights under a duly appealed special permit does so at risk that a court will reverse the permit and that any construction performed under the permit may be ordered undone.

The fee for recording or registering shall be paid by the Applicant. A copy of the recorded Decision, and notification by the Applicant of the recording, shall be furnished to the Board.

COPIES TO: Michael Boynton, Town Manager
Michael Fasolino, Deputy Fire Chief
Bridget Graziano, Conservation Agent
Derek Kwok, Health Agent
Bill Kingsbury, Police Chief
Jeff Lynch, Fire Chief
Jack Mee, Building Commissioner
Christopher Park Assessor
Pete Pelletier, DPW Director
Joanne Russo, Treasurer/Collector
Barbara Saint Andre, Director of Community and Economic Development
Jeff Watson, Police Department Safety Officer
Karen Johnson, Charter Realty & Development
Steven Bouley, Tetra Tech



September 13, 2022
Medway Planning & Economic Development Board
Meeting

CommCan – 2 Marc Road site Plan
Modification Public Hearing

- Revised submission, by Legacy Engineering, dated August 31, 2022
 - Submission Letter
 - Email from Dan Merrikin to Mike Fasolino and Bridget Graziano RE: driveway/parking lot
 - Truck Turning analysis
 - Waiver Requests
 - Development Impact Statement
- Revised Site Plan dated August 26, 2022
- Revised Stormwater Report dated August 26, 2022
- Noise Analysis memo, by Acentech, dated August 25, 2022
- Noise Study Review, by Noise Control Engineering, dated August 29, 2022
- Review of Odor Mitigation Plan, by Straughan Forensic, LLC, dated September 2, 2022
- Revised Tetra Tech review Letter dated September 9, 2022



dan@legacy-ce.com

508-376-8883(o)

508-868-8353(c)

730 Main Street

Suite 2C

Millis, MA 02054

August 31, 2022

Planning & Economic Development Board

Town Offices

155 Village Street

Medway, MA 02053

Ref: 2 Marc Road
Site Modification

Dear Members of the Board:

Please find enclosed the following revised documents:

- Two full-size and one 11x17 copy of a revised site plan;
- One copy of a revised stormwater report;
- A copy of correspondence with the Town Fire Department;
- Two fire truck turning plans;
- Additional waivers; and
- A Development Impact Statement.

We offer the following responses to comments by Tetra Tech dated March 31, 2022:

SITE PLAN RULES AND REGULATIONS (CHAPTER 200):

1. *Comment: The Applicant has not included a Development Impact Statement associated with the Project. (Ch. 200 § 204-3.F)*

Response: A DIS is attached.

2. *Comment: Earth removal calculations are not provided in the Plans. (Ch. 200 §204-3.I)*

Response: Earth removal calculations have been added to sheet C-4.

3. *Comment: Earth fill estimates are not provided in the Plans. (Ch. 200 §204-3.J)*

Response: Earth fill calculations have been added to sheet C-4.



4. *Comment: A copy of an Order of Resource Area Delineation (ORAD) from Medway Conservation is not provided. (Ch. 200 §204-3.K)*

Response: An NOI has been submitted, the review process for which is ongoing. The revised plan reflects a new wetland line, which has been inspected and approved by the Conservation agent.

5. *Comment: 5. The Applicant proposed drive aisles bounded by cape cod berm consistent with the prior Site Plan Approval. However, this does not meet the Regulations and a Waiver has been requested by the Applicant.(Ch. 200 §207-11.B.2)*

Response: No response required.

6. *Comment: The Applicant proposed modification to the pavement layout and added a loading dock at the northern end of the existing portion of the site. Additionally, a right-hand turn from the existing driveway onto the proposed driveway may be difficult for a larger emergency vehicle should they have to respond to the parking area for an emergency. The Applicant should provide turning radius templates for review by the Medway Fire Department. We recommend the Applicant provide written confirmation from the Medway Fire Department regarding their review of the new layout. (Ch. 200 §207-11.B.8)*

Response: Fire truck turning plans are provided. The main entrance to the new parking area has been changed to Industrial Park Road. Based on a request from the conservation agent to reduce impervious coverage, the existing gravel driveway between the parking area and building will be used. A copy of correspondence with the Medway fire department is provided confirming their acceptance of the revised configuration.

7. *Comment: The Applicant proposed cape cod berm along the southern edge of the proposed parking and no curb along the northern edge (to aid in stormwater mitigation) consistent with the prior Site Plan Approval. However, this does not meet the Regulations and a Waiver has been requested by the Applicant. (Ch. 200 §207-12. H)*

Response: Note that cape cod berm is now also proposed for the northern edge of the new parking area.

8. *Comment: The Applicant shall show conduit runs for the proposed EV charging stations and light poles. All utilities shall be placed underground. (Ch. 200 §207-16.A)*

Response: Conduit is now shown on sheet C-4.

9. *Comment: The Applicant has supplied a proposed Lighting and Photometric Plan. However, the Plan shows light trespass on the two properties to the south of the driveway and parking expansion which does not meet the Regulations. (Ch. 200 §207-18.A)*

Response: Two light poles have been relocated to address this.



10. *Comment: The Applicant has not submitted a formal Landscaping Plan. Trees have been proposed within the parking area islands but the Regulations require perimeter screening of parking areas and stormwater mitigation. The Applicant has requested a Waiver from the requirement to screen infiltration basins, but additional waivers from the landscaping section of the Regulations may be required. (Ch. 200 §207-19)*

Response: This requirement was already waived previously. An additional waiver request can be submitted if the board deems it necessary.

11. *Comment: We recommend the PEDB require the Applicant confirm with the Medway Conservation Commission if the wetland resource area to the south of the lot will be impacted by the snow storage proposed upgradient of the resource area. (Ch. 200 §207-21)*

Response: Discussions with the Conservation Commission are being held as part of the Notice of Intent application.

GENERAL SITE PLAN COMMENTS:

12. *Comment: The Project is located within jurisdiction of the Medway Conservation Commission (Commission) and may require a filing with that Board.*

Response: A Notice of Intent has been filed with the Conservation Commission.

13. *Comment: The Applicant proposed a striped walkway along the eastern side of the existing building. Dimensions of the vehicular travel lane adjacent to the proposed walkway should be shown on the Plans to confirm two-way traffic can be maintained when the walkway is in use.*

Response: The driveway circling around the building is one-way only. Pavement markings showing this have been added to the plans for clarity. A crosswalk has also been added to the plans.

14. *Comment: We recommend a stop sign and stop bar be placed at the intersection of the existing and proposed driveways.*

Response: The requested signage has been added. Additionally, a stop sign has been added to the new entrance.

15. *Comment: Portions of the retaining wall along the proposed driveway are greater than four feet. We anticipate structural design of the wall will be required by the Building Commissioner.*

Response: Grading has changed in some locations. The result is that none of the proposed walls exceed four feet in height.



16. Comment: We recommend a driveway curb cut be proposed where the existing gravel driveway meets the proposed driveway to limit damage to the cape cod berm proposed at that location. A "No Parking Beyond This Point" sign or equal, should be placed at the entrance to advise drivers that the gravel driveway is not meant for parking.

Response: The proposed driveway configuration has been revised as discussed above.

17. Comment: The notes for the retaining wall on the southern side of the proposed driveway and light pole on the northern side are not pointing to the correct location.

Response: The notes have been changed.

In addition, based on discussions with the Town, the following changes were made:

- ✓ The plan has been updated to reflect a re-delineation of wetlands along the swales and elsewhere on the site;
- ✓ The main parking lot entrance has been changed to Industrial Park Road/Jayar Road;
- ✓ Some spaces have been converted to compact spaces at the request of the conservation agent to reduce impervious cover. As discussed with the Board, these spaces will be 9 feet wide by 15 feet deep;
- ✓ Proposed dumpster locations behind the building have been added;
- ✓ The originally proposed swale along the new parking area has been removed and Basin #4 has been moved towards the proposed parking area and away from the existing swale. A cape cod berm has been added to the north side of the proposed parking area;
- ✓ The existing gravel driveway south of the proposed parking lot is now proposed to be removed, loamed, and seeded; and
- ✓ Two new waivers are requested to allow less internal landscaped areas in order to gain additional parking spaces. (S.207-19.C.1.a & S.207-19.C.1.c).

Do not hesitate to contact me should you have any questions or comments.

Yours Truly,

LEGACY ENGINEERING LLC

Daniel J. Merrikin, P.E.
President



Daniel Merrikin <dan@merrikinengineering.com>

2 Marc Road

3 messages

Daniel Merrikin <dan@legacy-ce.com>
To: Mike Fasolino <mfasolino@townofmedway.org>
Cc: "Graziano, Bridget" <bgraziano@townofmedway.org>

Mon, Aug 8, 2022 at 1:10 PM

Hi Mike,

Bridget is cc'd.

Regarding the proposed additional parking lot at 2 Marc Road (CommCan), we've made some changes. Most notably, we are going to make the main parking lot entrance come off the end of Industrial Park Road. See attached markup.

This gives us an opportunity to make the originally proposed interconnecting driveway from the parking lot to the existing building less substantial, which Bridget would like us to do. Rather than making it impervious, we would essentially leave it in its existing configuration, which is a roughly 15' wide gravel drive. We would clean it up and put a better surface on it (crushed stone or processed gravel) and leave it available for emergency access. There would also be a walkway running along it so pedestrians can walk from the parking lot to the building. The walkway would be paved and would be something you could drive on as well.

I'd appreciate it if you would let us know if this would be acceptable to you. Note that you will continue to have access around the existing building on all sides. Once we figure this out, I will get you fire truck turning plans to confirm.

Thanks and feel free to call to discuss (508-868-8353).

Dan

Daniel J. Merrikin, P.E.
President



Legacy Engineering LLC
730 Main Street
Suite 2C
Millis, MA 02054

www.legacy-ce.com

dan@legacy-ce.com
508-376-8883(office)
508-868-8353(cell)

2022-08-08 Site Plan-L.pdf
339K

Mike Fasolino <mfasolino@townofmedway.org>
To: Daniel Merrikin <dan@legacy-ce.com>
Cc: Bridget Graziano <bgraziano@townofmedway.org>

Tue, Aug 9, 2022 at 8:39 AM

Dan,

We are ok with the proposed driveway.

Thanks

Michael Fasolino
Deputy Chief
Town of Medway
155 Village Street
Medway, Ma 02053
508-533-3211

Mailing Address:
44 Milford Street
Medway, Ma 02053

From: Daniel Merrikin <dan@legacy-ce.com>
Sent: Monday, August 8, 2022 1:10 PM
To: Mike Fasolino <mfasolino@townofmedway.org>
Cc: Bridget Graziano <bgraziano@townofmedway.org>
Subject: [External] 2 Marc Road

[Quoted text hidden]

Daniel Merrikin <dan@legacy-ce.com>
To: Mike Fasolino <mfasolino@townofmedway.org>
Cc: Bridget Graziano <bgraziano@townofmedway.org>

Tue, Aug 9, 2022 at 9:40 AM

Thanks Mike

Dan

Daniel J. Merrikin, P.E.
President

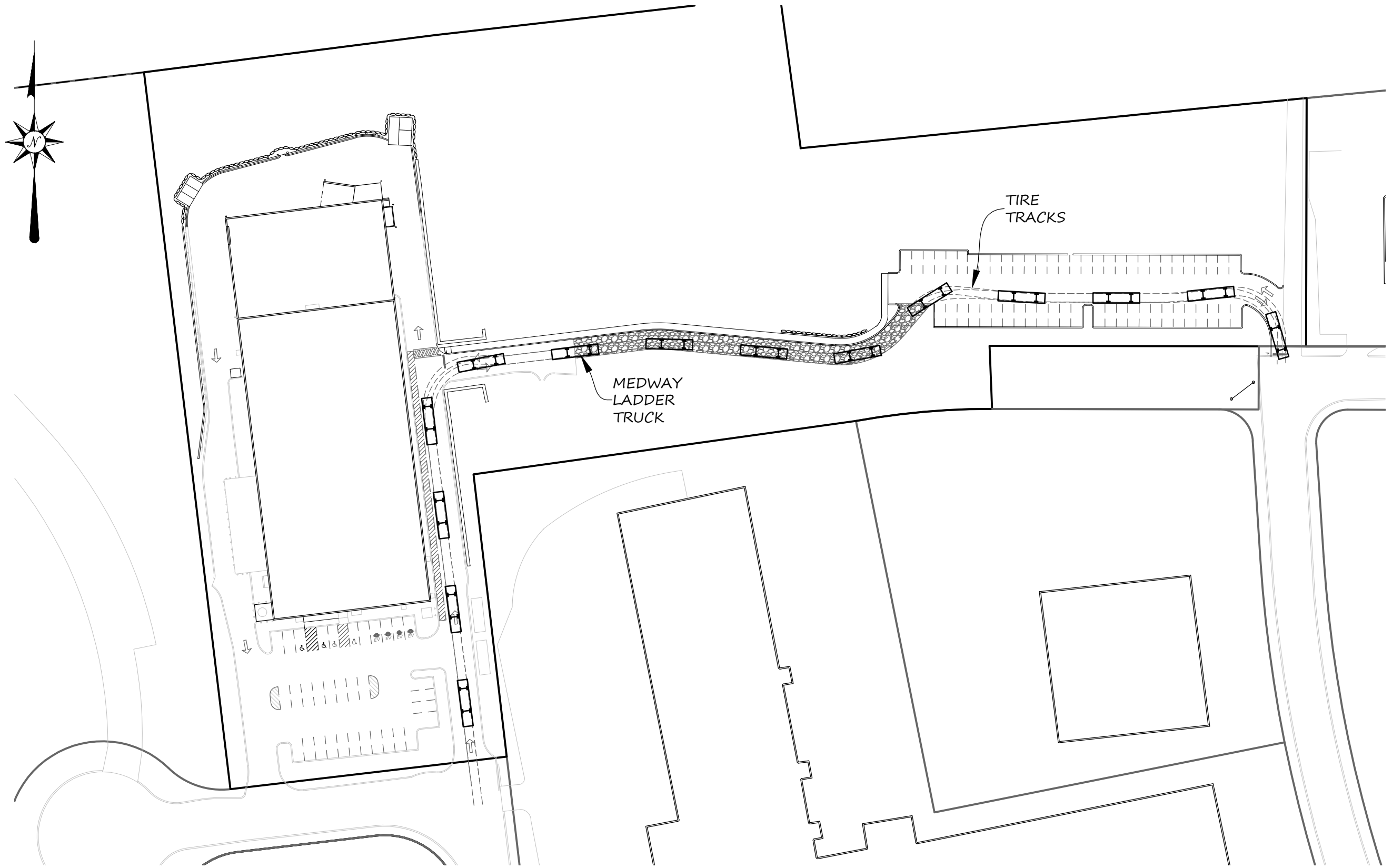


Legacy Engineering LLC
730 Main Street
Suite 2C
Millis, MA 02054

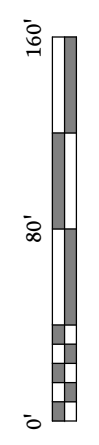
www.legacy-ce.com

dan@legacy-ce.com
508-376-8883(office)
508-868-8353(cell)

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PLAN SCALE: 1"=80'



PLAN DATE: AUGUST 26, 2022

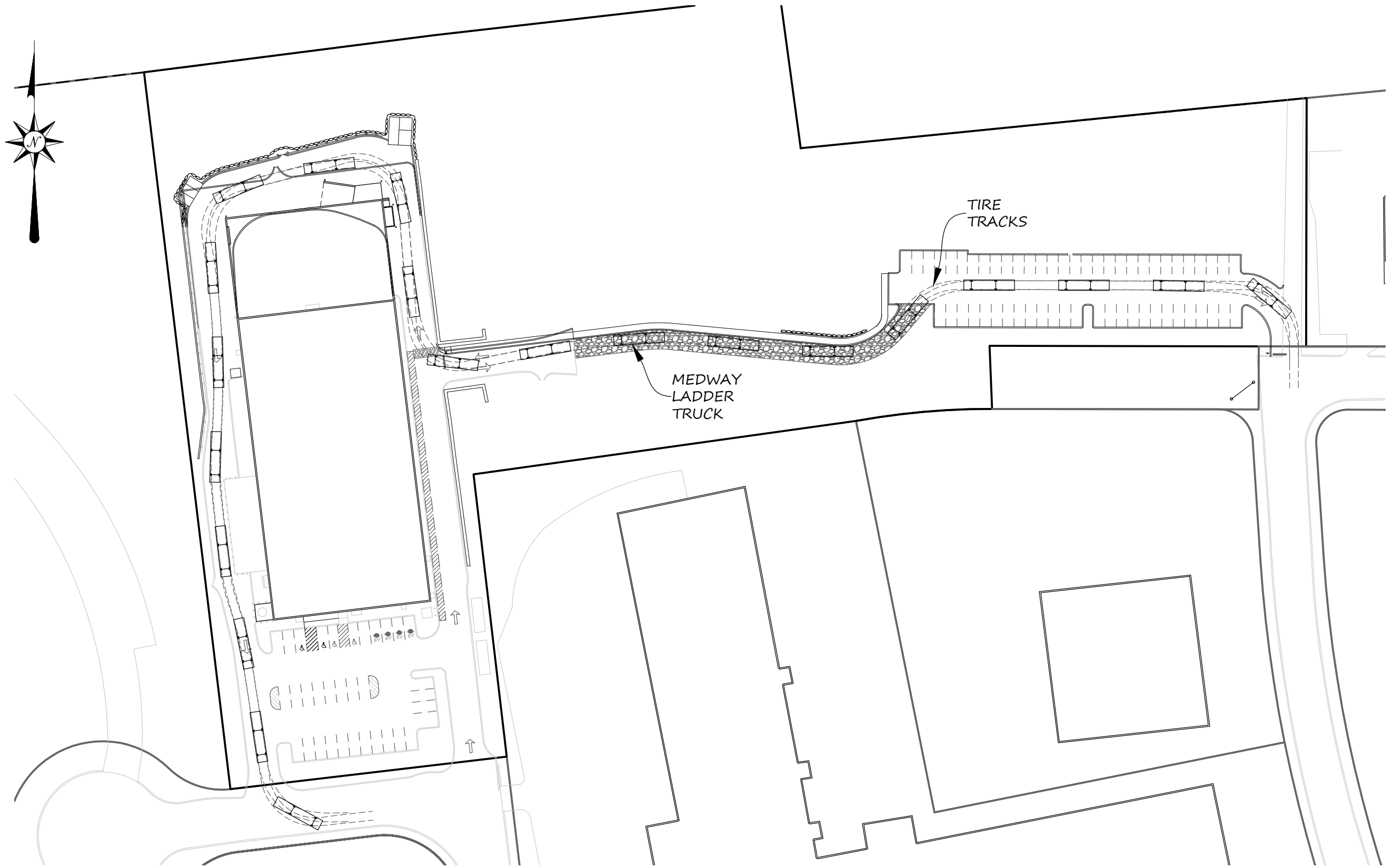
REVISION	DATE	BY

2 MARC ROAD
TRUCK TURNING
PLAN OF LAND
IN
MEDWAY, MA

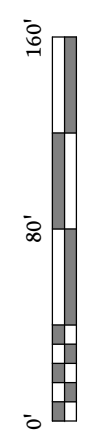
730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)
SHEET 1 OF 2



LEGACY
ENGINEERING



PLAN SCALE: 1"=80'



PLAN DATE: AUGUST 26, 2022

REVISION	DATE	BY

2 MARC ROAD
TRUCK TURNING
PLAN OF LAND
IN
MEDWAY, MA

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)
SHEET 2 OF 2



LEGACY
ENGINEERING

Medway Planning and Economic Development Board
FORM Q - Request for Waiver from Rules and Regulations
 Complete 1 form for each waiver request

Project Name:	2 Marc Road
Property Location:	2 Marc Road
Type of Project/Permit:	Major Site Plan
Identify the number and title of the relevant Section of the applicable Rules and Regulations from which a waiver is sought.	207-19.C.1.c: Planning Board Rules and Regulations
Summarize the text of the relevant Section of the Rules and Regulations from which a waiver is requested.	Landscape islands are required where parking aisles exceed 25 spaces.
What aspect of the Regulation do you propose be waived?	The requirement of landscape islands.
What do you propose instead?	Reduced landscaping requirement.
Explanation/justification for the waiver request. Why is the waiver needed? Describe the extenuating circumstances that necessitate the waiver request.	Meeting this requirement would reduce the number of parking spaces that could be constructed.
What is the estimated value/cost savings to the applicant if the waiver is granted?	None
How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	It will provide needed parking spaces.
What is the impact on the development if this waiver is denied?	Less parking spaces.
What are the design alternatives to granting this waiver?	None
Why is granting this waiver in the Town's best interest?	To provide adequate on-site parking.
If this waiver is granted, what is the estimated cost savings and/or cost avoidance to the Town?	None
What mitigation measures do you propose to offset not complying with the particular Rule/Regulation?	Landscaping around the parking lot edges.
What is the estimated value of the proposed mitigation measures?	None
Other Information?	None
Waiver Request Prepared By:	Legacy Engineering LLC
Date:	26-Aug-22
Questions?? - Please contact the Medway PED office at 508-533-3291.	

Medway Planning and Economic Development Board
FORM Q - Request for Waiver from Rules and Regulations
 Complete 1 form for each waiver request

Project Name:	2 Marc Road
Property Location:	2 Marc Road
Type of Project/Permit:	Major Site Plan
Identify the number and title of the relevant Section of the applicable Rules and Regulations from which a waiver is sought.	207-19.C.1.a: Planning Board Rules and Regulations
Summarize the text of the relevant Section of the Rules and Regulations from which a waiver is requested.	10% of internal parking shall be landscaped areas.
What aspect of the Regulation do you propose be waived?	The requirement of landscaping.
What do you propose instead?	Reduced landscaping requirement.
Explanation/justification for the waiver request. Why is the waiver needed? Describe the extenuating circumstances that necessitate the waiver request.	Meeting this requirement would reduce the number of parking spaces that could be constructed.
What is the estimated value/cost savings to the applicant if the waiver is granted?	None
How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	It will provide needed parking spaces.
What is the impact on the development if this waiver is denied?	Less parking spaces.
What are the design alternatives to granting this waiver?	None
Why is granting this waiver in the Town's best interest?	To provide adequate on-site parking.
If this waiver is granted, what is the estimated cost savings and/or cost avoidance to the Town?	None
What mitigation measures do you propose to offset not complying with the particular Rule/Regulation?	Landscaping around the parking lot edges.
What is the estimated value of the proposed mitigation measures?	None
Other Information?	None
Waiver Request Prepared By:	Legacy Engineering LLC
Date:	26-Aug-22
Questions?? - Please contact the Medway PED office at 508-533-3291.	

DEVELOPMENT IMPACT STATEMENT

FOR

2 MARC ROAD

MEDWAY, MA 02053

PROPOSED COMMERCIAL ADDITION

AUGUST 26, 2022

PREPARED BY:
LEGACY ENGINEERING LLC
CONSULTING ENGINEERS
730 MAIN STREET, SUITE 2C
MILLIS, MA 02054

PREPARED FOR:
2 MARC ROAD LLC
730 MAIN STREET, SUITE 2A
MILLIS, MA 02054

INTRODUCTION

This Development Impact Statement addresses the potential and anticipated impacts of the proposed development expansion at 2 Marc Road. Per Section 204-3.A.7 of the Medway Planning and Economic Development Board Regulations, this report addresses the traffic, environmental, community, and Parking impacts of the development.

The existing facility cultivates marijuana projects for medical and adult recreational use. These facilities include growing, processing and packaging such products. The proposed modification includes the construction of a previously planned two-story addition to the rear of the existing building along with the construction of an additional parking lot. The proposed building addition is planned to be used for storage, processing and packaging. The proposed additional parking lot is intended to accommodate a higher than initially anticipated number of employees, most of which are already employed at the facility. The applicant does not anticipate a significant increase in the number of employees at the facility.

TRAFFIC IMPACTS

TRAFFIC IMPACT ASSESSMENT WAIVER

The site is near the end of a dead-ended industrial subdivision road. There is very little traffic at the site frontage and only one building beyond the site. The industrial subdivision roadway system provides adequate access and traffic flow for the site. The industrial park exits directly onto Route 109, which also has adequate capacity for the proposed use of the site. Note also that the applicant recently reconstructed a portion of Jayar and Marc Roads as part of the original development.

As with the initial approval, given the location, the applicant seeks a waiver from having to provide a full traffic study.

TRAFFIC GENERATION

All traffic generation calculations are based on the ITE Trip Generation manual. A specific traffic generation classification for the site's use is not provided in the ITE manual, so the trip generation is based on the number of employees for a light industrial use.

The proposed number of employees for the site will be approximately 90. These employees work in shifts and will not all be arriving and departing at the same time. According to the ITE trip generation manual, the average rate of trips is 3.05 per employee for a total of 275 total trips generated by the facility. It is noted that these people are currently employed at the facility, thus, the proposed site improvements are not expected to generate any new additional trips.

ENVIRONMENTAL IMPACTS

AIR AND WATER QUALITY

The existing cultivation activities occur entirely within the building with various building mechanical systems specifically designed for this type of facility. As such, the activity within the building will have no significant adverse effect on air, surface water or groundwater quality. There are also no expected vibrations, odors, harmful or noxious emissions, or smoke.

The proposed development adheres to all requirements of the Massachusetts Stormwater Management Standards, as well as the Stormwater management regulations of the Town of Medway. As such, there will be no adverse flooding or environmental drainage impacts on or off the site. Please refer to the Stormwater Report for more information regarding the existing and proposed stormwater management facilities on the site.

NOISE:

There had previously been noise complaints about rooftop chillers. As a result, those units have since been moved to the ground and surrounded with noise barriers and compliance with applicable noise regulations has been confirmed. The proposed addition includes new HVAC equipment, which will be constructed with noise dampening features, which are described in the submitted noise study. Thus, the proposed addition will also comply with applicable regulations.

ODOR:

While there are existing odor mitigation systems in-place in the facility (including charcoal filters and ozone systems), nearby residents have noted periodic instances of odor emissions. As such, the Applicant has installed a new, supplementary odor control system on the exterior of the building, designed to address any odors that escape the existing interior control systems. That system was recently brought on-line and is expected to resolve the issue.

WASTE DISPOSAL:

Sewage:

Title V flow rates for the proposed facility would be calculated at 15 gpd per employee (90) = 1,350 gpd. With the additional commercial kitchen activity, daily flow rates may range between 2,000 and 2,300 gpd. An exterior grease trap has been provided to treat kitchen wastes prior to discharge to the municipal sewer.

Any non-domestic sewage (i.e. any excess wastewater from the cultivation component of the facility) is treated through a centralized recessed large capacity neutralization tank in accordance with the requirements of 248 CMR

10.13 and all local rules and regulations. that the facility operates under an existing Industrial User discharge permit.

Waste Management:

All solid waste products are disposed off-site in accordance with all state and local regulations. Disposal will be by a properly licensed disposal company via dumpster collection. New dumpster areas area included in the proposed modification.

COMMUNITY IMPACTS

COMMUNITY CHARACTER

This development is consistent with Medway's planning goals and is on a properly zoned site for the use. The property lies at the eastern edge of edge of Medway and does not materially or significantly influence surrounding properties. We note that Economic Goal 6 of the 2009 Medway Master is to increase its commercial/industrial base. This development will further that objective.

RESIDENT IMPACTS

The quality of life of existing residents is not expected to be significantly impacted by this small addition. The site is surrounded by other industrial developments and wetlands that are never expected to be developed. A large, wooded buffer exists between the site and residential areas.

MUNICIPAL SERVICES

The proposed addition is not expected to generate any increase in the use of municipal services compared to the existing conditions.

PARKING IMPACTS

EXISTING CONDITIONS

The property currently has 35 parking spaces. As a new and expanding industry, the parking requirements were underestimated in the original development. Employees that cannot fit within the existing parking lot currently park along the private way known as Marc road.

PROPOSED CONDITIONS

The development proposes an additional 55 parking spaces. These spaces will accommodate existing and anticipated employees. Two new handicap parking

spaces are proposed along the building, along with 4 new electric vehicle charging spaces.

2 MARC ROAD
SITE PLAN OF LAND
IN MEDWAY, MASSACHUSETTS

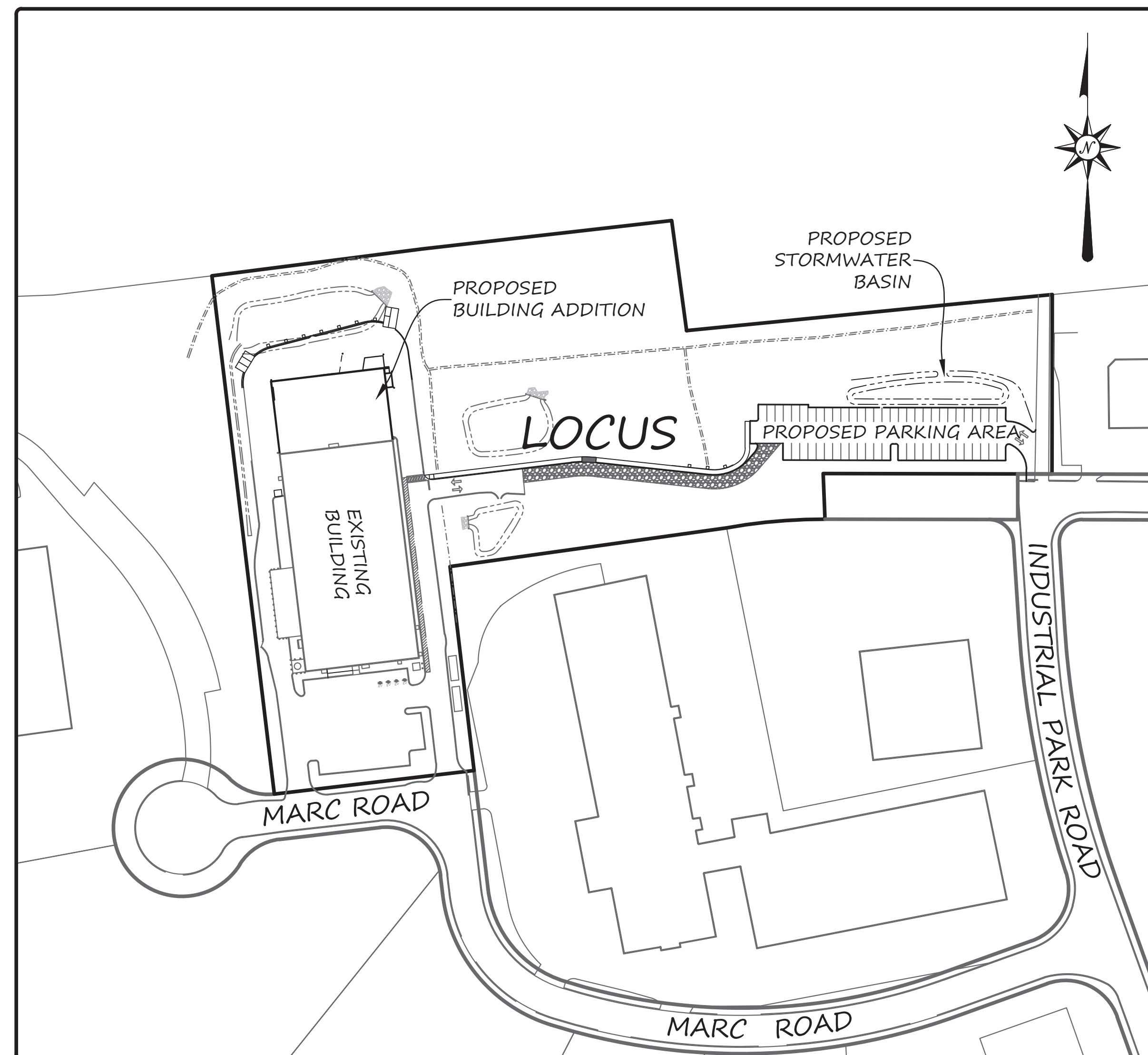
PREPARED BY:
MERRIKIN ENGINEERING, LLP
730 MAIN STREET, SUITE 2C
MILLIS, MA 02054

FEBRUARY 28, 2022

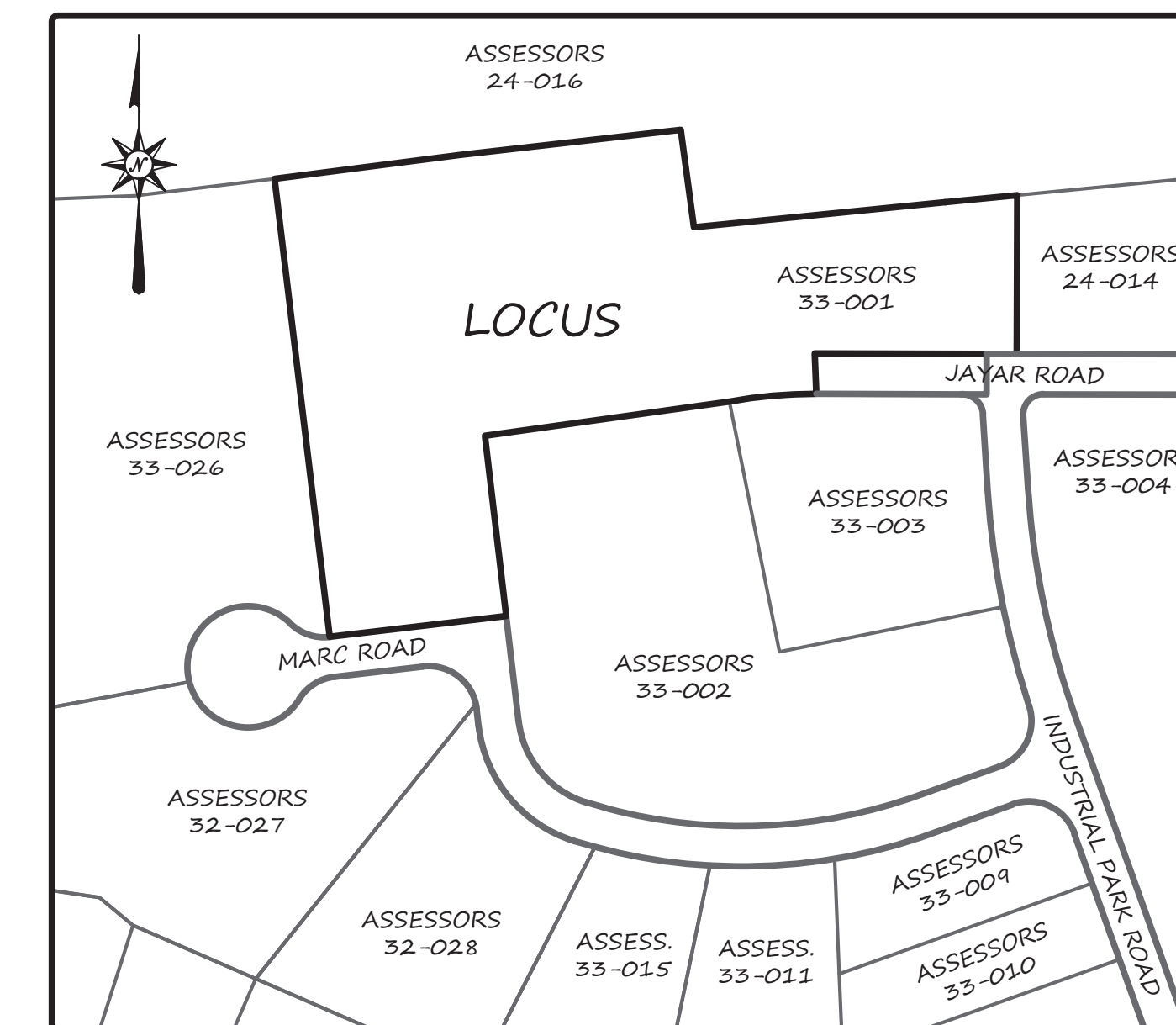
REVISÉD August 26, 2022



2019 MASSGIS AERIAL LOCUS
SCALE: 1" = 300'



LOCUS
SCALE: 1" = 100'



ASSESSORS LOCUS
SCALE: 1" = 200'

SITE ADDRESS:
2 MARC ROAD

MAP AND PARCEL:
MAP 33, PARCEL 001

ZONING CLASSIFICATION:
EAST INDUSTRIAL

OVERLAY DISTRICTS:
GROUNDWATER PROTECTION DISTRICT

OWNER & APPLICANT:
2 MARC ROAD LLC
ELLEN ROSENFELD
730 MAIN STREET, SUITE 2A
MILLIS, MA 02054
508-376-2041

DEED
BOOK 40331 PAGE 234

DATE APPROVAL ISSUED:

PLAN ENDORSEMENT DATE:

Digitally signed by Daniel J.
Merrikin, P.E.
Date: 2022.08.31 13:31:42
-04'00'

PREPARED FOR:
2 MARC ROAD LLC
730 MAIN STREET
MILLIS, MA 02054

For Registry Use

PLAN SCALE: AS NOTED

PLAN DATE: FEBRUARY 28, 2022	REVISION	DATE
------------------------------	----------	------

NEW W
CHANC

2 MARC ROAD
COVER SHEET
PLAN OF LAND
IN
MEDWAY, MA

I CERTIFY THAT THIS PLAN HAS BEEN
PREPARED IN CONFORMITY WITH THE RULES
AND REGULATIONS OF THE REGISTERS OF
DEEDS OF THE COMMONWEALTH OF
MASSACHUSETTS.

I CERTIFY THAT THIS SURVEY AND PLAN
CONFORMS TO THE ETHICAL, PROCEDURAL
AND TECHNICAL STANDARDS IN THE
COMMONWEALTH OF MASSACHUSETTS.

I HEREBY CERTIFY THAT THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE LINES DIVIDING EXISTING OWNERSHIPS, AND THE LINES OF THE STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED, AND THAT NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.

REGISTERED LAND SURVEYOR

WAIVERS GRANTED OR REQUESTED:

1. S.204-3.F.1: TO NOT REQUIRE A TRAFFIC IMPACT ASSESSMENT.
2. S.204-5.C.3: NOT TO HAVE TO INCLUDE AN "EXISTING LANDSCAPE INVENTORY" PREPARED BY A PROFESSIONAL LANDSCAPE ARCHITECT.
3. S.204-5.D.8: NOT REQUIRE THE SUBMISSION OF A LANDSCAPE PLAN.
4. S.207-9.A.6, S.207-11.B.2: TO ALLOW CAPE COD BERM ACROSS THE SITE.
5. S.207-19.C.1.a: TO NOT REQUIRE 10% OF INTERNAL PARKING AREA TO BE LANDSCAPED.
6. S.207-19.C.1.c: TO NOT REQUIRE PARKING AISLES EXCEEDING 25 SPACES TO HAVE LANDSCAPED ISLANDS.
7. S.207-19.E: TO NOT REQUIRE LANDSCAPING AROUND THE PROPOSED BASIN.

PLAN INDEX

SHEET C-0: COVER
SHEET C-1: EXISTING CONDITIONS
SHEET C-2: EROSION CONTROL
SHEET C-3: LAYOUT
SHEET C-4: GRADING & UTILITY
SHEET C-5: LIGHTING
SHEET C-6: DETAIL
SHEET C-7: DETAIL
SHEET A1.0: FIRST FLOOR PLAN
SHEET A1.2: SECOND FLOOR PLAN
SHEET A4.0: EXTERIOR ELEVATIONS
SHEET A4.1: RENDERINGS

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)

C-0



LEGACY
ENGINEERING

GENERAL NOTES:

1. SURVEY & PLAN REFERENCES:
A. DEED REFERENCES:
BOOK 8379, PAGE 83
BOOK 18164, PAGE 320
BOOK 40331, PAGE 234
B. PLAN REFERENCES:
PLAN BOOK 299 NO. 400
PLAN BOOK 300 NO. 955
PLAN BOOK 326 NO. 1145
PLAN BOOK 410 NO. 749
PLAN BOOK 454 NO. 94
2. DATUM: NAVD88
3. EXISTING UTILITY INFORMATION IS BASED ON BEST AVAILABLE RECORDS AND VISIBLE SURFACE FEATURES SUCH AS MANHOLES, CATCH BASINS, UTILITY POLES, HYDRANTS, VALVE BOXES, ETC... EXISTING UTILITY INFORMATION DEPICTED ON THESE PLANS ARE NOT WARRANTED TO BE CORRECT AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING ALL LOCATIONS PRIOR TO COMMENCEMENT OF WORK.
4. FEATURES OUTSIDE OF THE SITE SUCH AS ADJACENT STRUCTURES ARE APPROXIMATE ONLY AND BASED ON AVAILABLE AERIAL PHOTOGRAPHY.

CONSERVATION/EROSION & SEDIMENT CONTROL NOTES:

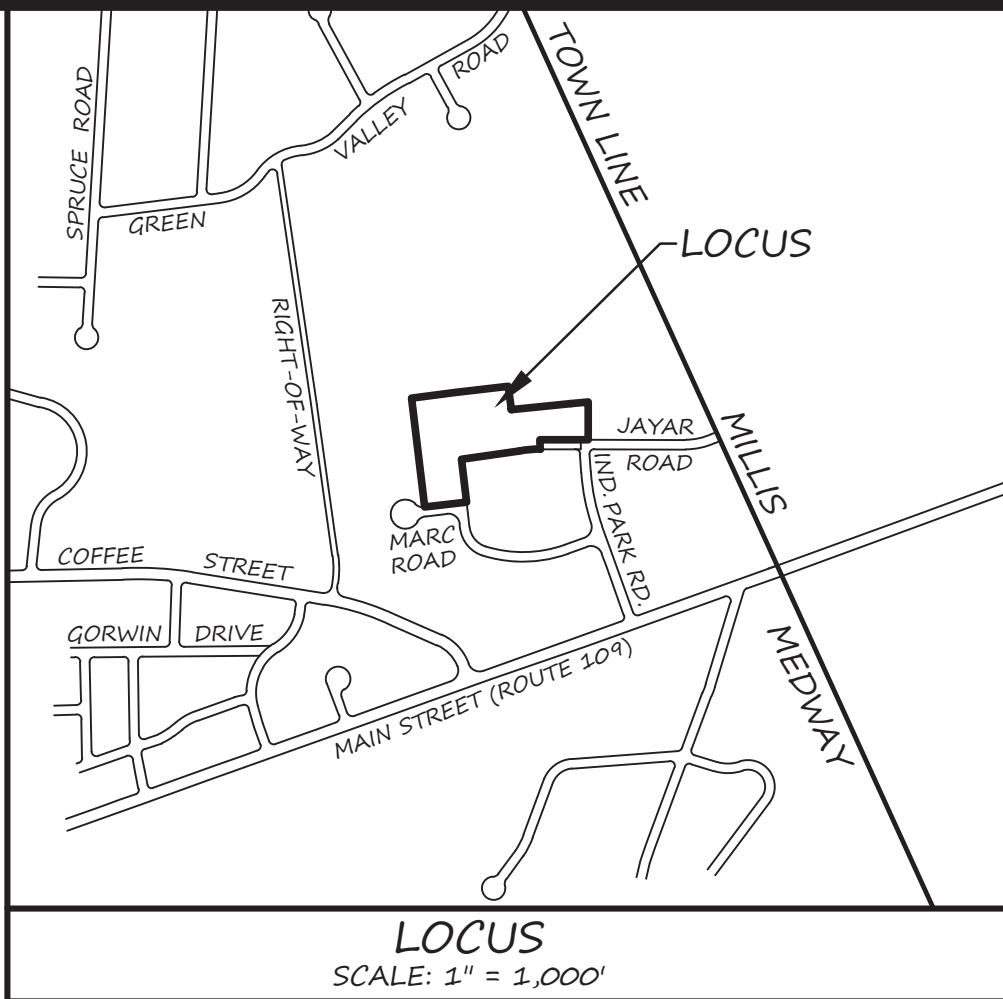
1. PER 310 CMR 10.02(2)(C), THE EXISTING ON-SITE STORMWATER SWALES WERE RECONSTRUCTED FOR MAINTENANCE PURPOSES IN 2017 PURSUANT TO AND ORDER OF CONDITIONS AND ARE THEREFORE NOT CONSIDERED TO BE WETLAND RESOURCE AREAS UNDER THE WETLANDS PROTECTION ACT. THE PRIOR WETLAND DELINEATION ALONG THESE SWALES FROM THE 2016 DESIGN IS SHOWN FOR INFORMATIONAL PURPOSES. BUFFER ZONE LINES INCLUDE THE PRIOR SWALE WETLAND DELINEATION LINES BECAUSE IT IS UNCLEAR HOW THEY ARE TREATED UNDER THE MEDWAY WETLAND BYLAW.
2. WETLANDS BOUNDARIES WERE DELINEATED BY RUSSELL WALDRON.

CONSTRUCTION NOTES:

1. THE CONTRACTOR SHALL CONTACT DIGSAFE AT 811 PRIOR TO ANY EXCAVATION ACTIVITIES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF ANY STRUCTURAL RETAINING WALLS (WALLS WITH AN EXPOSED FACE OF GREATER THAN 4'). DESIGN SHALL BE BY A REGISTERED STRUCTURAL ENGINEER AND SHALL BE STAMPED ACCORDINGLY.



Digitally signed by Daniel J. Merrikin, P.E.
Date: 2022.08.31 13:33:51 -04'00'



SITE ADDRESS:
2 MARC ROAD

MAP AND PARCEL:
MAP 33, PARCEL 001

ZONING CLASSIFICATION:
EAST INDUSTRIAL

OVERLAY DISTRICTS:
GROUNDWATER PROTECTION DISTRICT

OWNER & APPLICANT:
2 MARC ROAD LLC
ELLEN ROSENFELD
730 MAIN STREET, SUITE 2A
MILLIS, MA 02054
508-376-2041

DEED
BOOK 40331 PAGE 234

DATE APPROVAL ISSUED:

PLAN ENDORSEMENT DATE:

MEDWAY PLANNING & ECONOMIC
DEVELOPMENT BOARD

LEGEND & ABBREVIATIONS

- CB: SINGLE-GRATE CATCH BASIN
- CB: DOUBLE-GRATE CATCH BASIN
- OPTU xxx: PROPRIETARY STORMWATER UNIT
- ODMH: DRAIN MANHOLE
- TR: TRENCH DRAIN
- INFIL: INFILTRATION TRENCH
- X" D: DRAIN PIPELINE
- RCP: REINFORCED CONCRETE PIPE
- PVC: POLYVINYL CHLORIDE PIPE
- OSMH: SEWER MANHOLE
- X" S: SEWER PIPELINE
- Q.C.O.: SEWER SERVICE CLEANOUT
- X" W: WATER MAIN
- HYD: HYDRANT
- W.G.V.: WATER GATE VALVE
- G.V.: WATER SERVICE CURB STOP
- M.B.: WATER SERVICE METER BOX
- G: GAS PIPELINE
- E: ELECTRIC CONDUIT
- L.P.: LIGHT POLE
- U.P.: UTILITY POLE
- G.Y.: GUY WIRE
- S.P.: TRAFFIC SIGNAL POLE
- 252: EXISTING CONTOUR
- 252: PROPOSED CONTOUR
- E.O.P.: EDGE OF PAVEMENT
- C.C.B.: INTEGRAL SLOPED BIT. BERM
- V.B.B.: VERTICAL BITUMINOUS BERM
- S.G.C.: SLOPED GRANITE CURB
- V.G.C.: VERTICAL GRANITE CURB
- V.C.C.: VERTICAL CONCRETE CURB
- E.C.S.: EDGE CONCRETE SLAB
- G.V.: GATE VALVE
- C.L.F.: CHAIN LINK FENCE
- W.S.F.: WOOD STOCKADE FENCE
- P.P.F.: PVC PICKET FENCE
- G.R.: GUARD RAIL
- C.C.: HANDICAP CURB CUT

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

I CERTIFY THAT THIS SURVEY AND PLAN CONFORMS TO THE ETHICAL, PROCEDURAL AND TECHNICAL STANDARDS IN THE COMMONWEALTH OF MASSACHUSETTS.

I HEREBY CERTIFY THAT THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE LINES DIVIDING EXISTING OWNERSHIPS, AND THE LINES OF THE STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED, AND THAT NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.

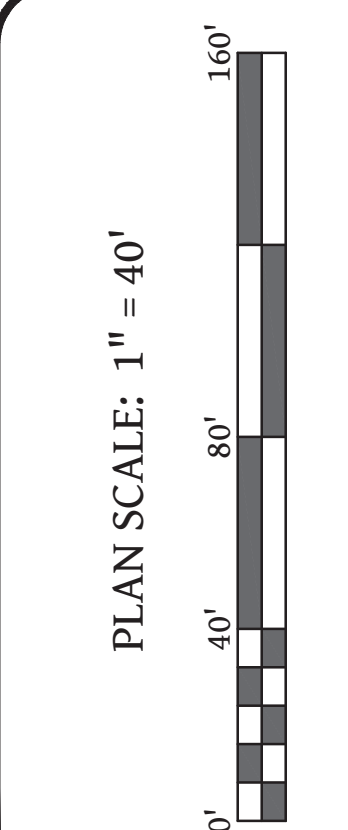
REGISTERED LAND SURVEYOR

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)



LEGACY
ENGINEERING

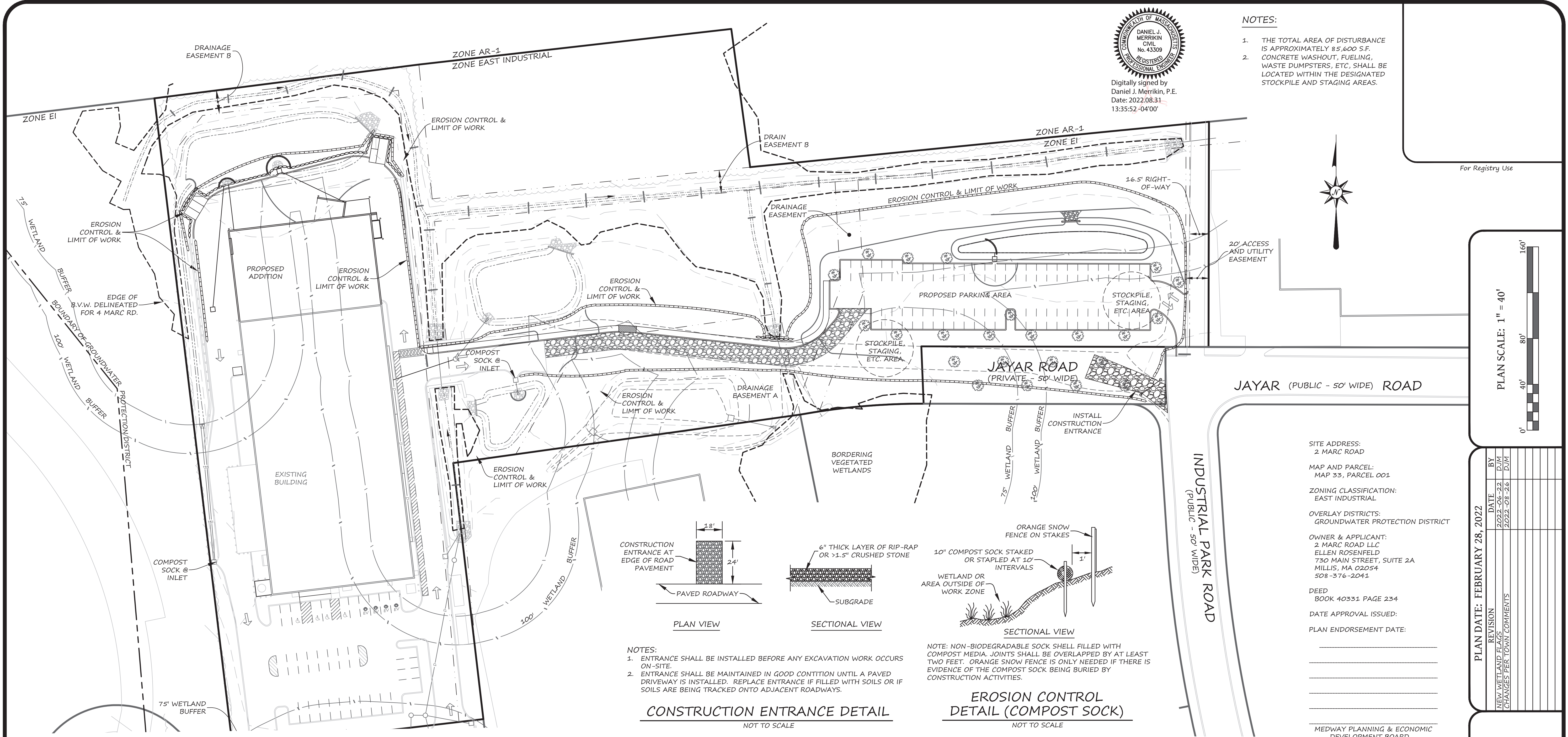
C-1



REVISION	DATE	BY
NEW WETLAND FLAGS	2022-06-22	DJM
CHANGES PER TOWN COMMENTS	2022-08-26	DJM

2 MARC ROAD
EXISTING CONDITIONS
PLAN OF LAND
IN
MEDWAY, MA

PLAN DATE: FEBRUARY 28, 2022



SEDIMENT & EROSION CONTROL NOTES

GENERAL

- IF APPLICABLE (I.E. >1 ACRE OF DISTURBANCE), FOR COMPLETE EROSION CONTROL AND CONSTRUCTION ACTIVITY GUIDANCE, REFER TO THE SWPPP. OTHERWISE FOLLOW THE SITE PLAN.
- FOR SWPPP PROJECTS, A NOTICE SHALL BE POSTED VISIBLE FROM A PUBLIC RIGHT-OF-WAY WITH CONTACT INFORMATION AND INSTRUCTIONS TO FIND A COPY OF THE SWPPP.

PHASING AND CONSTRUCTION SEQUENCE

- PHASE 1 - CONSTRUCTION SEQUENCE
 - STAKEOUT AND INSTALL EROSION AND PERIMETER CONTROLS (WHICH WILL DELINEATE THE LIMIT OF WORK FOR THE PROJECT).
 - DEMARCATTE THE LOCATION OF EXISTING UTILITIES ON AND AROUND THE CONSTRUCTION AREA.
 - CLEAR THE PROPOSED ENTRY AREAS AND INSTALL THE CONSTRUCTION ENTRANCE APRON(S).
 - CLEAR AND GRUB THE DEVELOPMENT AREA.
 - STRIP AND STOCKPILE TOPSOIL.
 - COMMENCE ROUGH GRADING TO SUB-GRADE ELEVATIONS.
 - INSTALL BUILDING FOUNDATION(S) AND BEGIN BUILDING CONSTRUCTION.
 - INSTALL NEW SITE UTILITIES, INCLUDING THE STORMWATER MANAGEMENT SYSTEM.
 - COMPLETE CONSTRUCTION OF NEW BUILDING(S).
 - PAVE THE ROAD/DRIVEWAY AND SIDEWALK (IF APPLICABLE) TO BINDER COURSE.
 - LOAM, SEED, AND STABILIZE DISTURBED AREAS, INCLUDING ALL SITE LANDSCAPING.
 - CLEANOUT ALL CATCH BASINS AND NEW STORMWATER BMPs IN THE PORTION OF THE SITE AFFECTED BY CONSTRUCTION ACTIVITIES AFTER THE SITE IS FULLY STABILIZED.

PERIMETER EROSION CONTROL AND SEDIMENT CONTROLS

- PERIMETER EROSION AND SEDIMENT CONTROL BARRIERS WILL BE PROVIDED, INSTALLED, AND MAINTAINED DOWNSTREAM OF ALL PROPOSED CONSTRUCTION ACTIVITIES IN ACCORDANCE WITH THE SWPPP (IF APPLICABLE), THE SITE PLAN, AND ALL PERMITS ISSUED FOR THE SITE DEVELOPMENT. SUCH CONTROLS MUST BE INSTALLED BEFORE ANY EARTH-DISTURBING ACTIVITIES OCCUR ON THE SITE IN QUESTION. EROSION AND SEDIMENT CONTROLS MAY BE INSTALLED IN PHASES SO LONG AS IT PRECEDES ANY EARTH-DISTURBING ACTIVITIES WITHIN THE CONTROLS' UPSTREAM WATERSHED.
- SEDIMENT SHALL BE REMOVED ALONG SUCH CONTROLS ON A REGULAR BASIS. IN NO CASE, SHALL SEDIMENT BE ALLOWED TO REACH A DEPTH EQUAL TO ONE HALF OF THE ABOVE GROUND HEIGHT OF THE EROSION CONTROL DEVICE.

SITE ACCESS CONTROLS

- CONSTRUCTION VEHICLES WILL USE DESIGNATED ENTRY POINTS FOR EACH SITE. CRUSHED STONE OR RIP-RAP ENTRY APRON(S) WILL BE INSTALLED AND PROPERLY MAINTAINED DURING CONSTRUCTION UNTIL THE SITE IS PAVED. ALL CONSTRUCTION ACCESS WILL BE VIA THE FRONTAGE PUBLIC ROAD STREET, WHICH WILL BE KEPT CLEAN AND SWEEP AS NEEDED TO MINIMIZE THE TRACKING OF SOILS AND DUST FROM THE SITE.

STOCKPILED SOILS

- SOIL STOCKPILES TO BE LEFT IN PLACE MORE THAN 24 HOURS SHALL BE SURROUNDED WITH A LINE OF SILT FENCE OR COMPOST SOCK TO PREVENT THE PILES FROM ERODING INTO THE SITE AND TO DISCOURAGE ON-SITE RUNOFF FROM ERODING THE STOCKPILES. SOIL STOCKPILES TO BE LEFT IN PLACE MORE THAN 14 DAYS SHALL BE STABILIZED TEMPORARILY. DUST CONTROL MEASURES SHALL BE IMPLEMENTED TO PREVENT WIND EROSION OF THE STOCKPILES.

DUST CONTROL

- DUST CONTROL MEASURES WILL BE IMPLEMENTED REGULARLY TO PREVENT THE OFF-SITE DEPOSITION OF WIND-ERODED SOILS. THE PRINCIPAL FORM OF DUST CONTROL WILL BE WATER APPLICATION.

DISTURBANCE OF STEEP SLOPES

- CONTRACTORS MUST PAY CAREFUL ATTENTION TO STEEP SLOPES AND MUST IMPLEMENT ADDITIONAL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES DURING WORK ON STEEP SLOPES TO PREVENT EROSION. INSTALL EROSION CONTROL BLANKETS IF NEEDED.

SOIL COMPACTION

- AREAS DESIGNATED FOR FINAL VEGETATIVE SURFACES OR CONSTRUCTION-STAGE OR FINAL STORMWATER INFILTRATION PRACTICES SHALL BE PROTECTED FROM EXCESSIVE COMPACTION BY RESTRICTING VEHICLE ACCESS AND THE TYPES OF EQUIPMENT THAT MAY BE USED IN SUCH AREAS. PRIOR TO SEEDING/PLANTING OF SUCH AREAS, EXPOSED SOIL THAT HAS BEEN COMPACTED SHALL BE LOOSENEED BY TILLING OR OTHER SIMILAR METHODS. CONDITIONING SHALL CONSIST OF DEEP TILLING WITH A ROTARY TILLER, DISC HARROWING, OR MANUAL LOOSENING AND RE-GRADING WITH AN EXCAVATOR BUCKET. CONDITIONING SHALL EXTEND TO A DEPTH OF AT LEAST 12-INCHES.

PROTECTION OF STORM DRAIN INLETS

- ALL STORM DRAIN SYSTEM INLETS INSIDE OF PERIMETER CONTROLS SHALL BE PROTECTED WITH SEDIMENT CONTROL MEASURES DESIGNED TO REMOVE SEDIMENT FROM STORMWATER PRIOR TO ENTERING THE INLET. CATCH BASINS ALONG THE STREET FRONTAGE SHALL ALSO BE PROTECTED. SUCH MEASURES SHALL BE PERIODICALLY MAINTAINED AND REPLACED AS NEEDED TO ENSURE THEIR PROPER FUNCTIONALITY. SEDIMENT SHALL BE REMOVED DAILY WHERE FOUND.

TEMPORARY STABILIZATION

- FOR PERMANENTLY OR TEMPORARILY (14 DAYS) CEASED CONSTRUCTION ACTIVITIES, TEMPORARY SOIL STABILIZATION MEASURES WILL BE EMPLOYED AS SOON AS PRACTICABLE BUT NO LONGER THAN 14 CALENDAR DAYS AFTER STABILIZATION HAS BEEN INITIATED. WHERE APPLICABLE, SEE THE SWPPP FOR ADDITIONAL REQUIREMENTS.

MAINTENANCE OF EROSION & SEDIMENT CONTROL MEASURES

- EROSION AND SEDIMENT CONTROL MEASURES WILL BE MAINTAINED IN GOOD CONDITION FOR THE DURATION OF THE CONSTRUCTION ACTIVITY AND UNTIL SUCH TIME AS THE UPSTREAM AREAS ACHIEVE FINAL STABILIZATION. SEDIMENT WILL BE REMOVED ALONG PERIMETER EROSION CONTROLS WHEN THE DEPTH EXCEEDS FOUR-INCHES. ALL CONTROL

MEASURES WILL BE MAINTAINED IN EFFECTIVE OPERATING CONDITION. IF SITE INSPECTIONS IDENTIFY CONTROL MEASURES THAT ARE NOT OPERATING EFFECTIVELY OR FINDS OTHER PROBLEMS, THE CONTRACTOR MUST:

- INITIATE WORK TO CORRECT THE PROBLEM IMMEDIATELY UPON DISCOVERY AND COMPLETE THE WORK BY THE CLOSE OF THE NEXT WORK DAY IF THE PROBLEM CAN BE CORRECTED THROUGH ROUTINE MAINTENANCE.
- FOR MORE SIGNIFICANT REPAIRS OR WHERE INSPECTIONS DETERMINE THAT ADDITIONAL EROSION AND SEDIMENT CONTROLS ARE NEEDED, SUCH WORK MUST BE COMPLETED AND OPERATION NO LATER THAN 7 CALENDAR DAYS AFTER DISCOVERY OF THE PROBLEM.

POLLUTION PREVENTION

- CONSTRUCTION STAGING AREAS WILL BE LIMITED IN QUANTITY AND WILL BE MAINTAINED IN A NEAT AND ORDERLY FASHION. REFER TO THE SITE PLAN FOR STAGING AREA LOCATION(S).
- VEHICLES SHALL BE STORED IN RULED IN DESIGNATED AREAS. MONITOR ALL EQUIPMENT FOR LEAKS. WHERE APPLICABLE, REFER TO THE SWPPP FOR ADDITIONAL VEHICLE STORAGE AREA REQUIREMENTS.
- VEHICLE OR EQUIPMENT WASHING IS NOT ALLOWED ON-SITE.
- MATERIALS AND EQUIPMENT SHALL BE STORED PROPERLY AND ORDERLY.
- WHERE APPLICABLE, REFER TO THE SWPPP FOR:
- FURTHER INSTRUCTIONS ON PROPER MATERIAL AND EQUIPMENT STORAGE.
- REFER TO THE SWPPP FOR DISPOSAL OF WASTE, INCLUDING HAZARDOUS WASTE.
- REFER TO THE SWPPP FOR SPILL PREVENTION AND RESPONSE PROCEDURES.

DEWATERING PRACTICES

- THIS SITE IS NOT EXPECTED TO ENCOUNTER SIGNIFICANT QUANTITIES OF GROUNDWATER DURING CONSTRUCTION ACTIVITIES BUT IF IT DOES, THE FOLLOWING PRACTICES WILL BE IMPLEMENTED:
- DO NOT DISCHARGE ANY FLOATING SOLIDS OR FOAM.
- IF DEWATERING WATER IS FOUND TO CONTAIN OIL, GREASE, ETC... IT MUST BE FILTERED OR PASSED THROUGH AN OIL/WATER SEPARATOR PRIOR TO DISCHARGE.
- WHEREVER POSSIBLE, DISCHARGE DEWATERING WATER TO VEGETATED UPLAND AREAS FOR INFILTRATION. WHERE THIS IS NOT POSSIBLE, DISCHARGE DEWATERING WATER INTO A FILTERING PIT CONSISTING OF A PERIMETER OF DOUBLE ROWS OF HAYBALES LINED WITH THREE LAYERS OF FILTER FABRIC. DO NOT DIRECT DEWATERING WATER INTO WETLANDS WITHOUT PRIOR TREATMENT.
- VELOCITY DISSIPATION MEASURES MUST BE INCLUDED AT ALL DISCHARGE POINTS (RIP-RAP OR CRUSHED STONE APRON).

INSPECTIONS

- WHERE APPLICABLE, REFER TO SWPPP FOR INSPECTION & REPORTING REQUIREMENTS IN ADDITION TO THE FOLLOWING:
- THE SITE SHALL BE INSPECTED AT LEAST ONCE EVERY 14 CALENDAR DAYS AND WITHIN 24 HOURS OF THE OCCURRENCE OF A STORM EVENT OF 0.25 INCHES OR GREATER. INSPECTIONS MAY BE REDUCED DURING THE WINTER AND IN STABILIZED AREAS.
- ANY DEFICIENCIES SHALL BE REMEDIATED IMMEDIATELY AND NO LATER THAN 7 DAYS AFTER DISCOVERY OF THE DEFICIENCY, AND IF POSSIBLE, PRIOR TO THE NEXT RAINFALL EVENT.



Digitally signed by
Daniel J. Merrikin, P.E.
Date: 2022.08.31
13:35:52 -04'00'



For Registry Use

PLAN SCALE: 1" = 40'



SITE ADDRESS:
2 MARC ROAD

MAP AND PARCEL:
MAP 33, PARCEL 001

ZONING CLASSIFICATION:
EAST INDUSTRIAL

OVERLAY DISTRICTS:
GROUNDWATER PROTECTION DISTRICT

OWNER & APPLICANT:
2 MARC ROAD LLC
ELLEN ROSENFELD
730 MAIN STREET, SUITE 2A
MILLIS, MA 02054
508-376-2041

DEED
BOOK 40331 PAGE 234

DATE APPROVAL ISSUED:

PLAN ENDORSEMENT DATE:

MEDWAY PLANNING & ECONOMIC
DEVELOPMENT BOARD

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

I CERTIFY THAT THIS SURVEY AND PLAN CONFORMS TO THE ETHICAL, PROCEDURAL AND TECHNICAL STANDARDS IN THE COMMONWEALTH OF MASSACHUSETTS.

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REGISTERED LAND SURVEYOR

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)



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SNOW STORAGE NOTES:

1. SNOW MAY BE LEFT IN REASONABLY SIZED WINDROWS ALONG THE EDGE OF DRIVEWAYS AND PARKING AREAS. SUCH WINDROWS SHALL NOT INTERFERE WITH PARKING.
2. SNOW MAY BE PILED IN THE VARIOUS SNOW STORAGE AREAS SHOWN HEREON.
3. SNOW ACCUMULATION MAY NOT INTERFERE WITH PARKING OR TURNING MOVEMENTS AT INTERSECTIONS.
4. AT SUCH TIME AS SNOW ACCUMULATIONS EXCEED THE CAPACITY OF ON-SITE STORAGE AREAS, SUCH EXCESS SNOW SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH STATE, LOCAL AND FEDERAL LAWS AND REGULATIONS.

LAYOUT NOTES:

1. THE SLOPE OF THE PAVEMENT IN HANDICAP PARKING SPACES SHALL NOT EXCEED 2% IN ANY DIRECTION.
2. SNOW STORAGE IN WINDROWS ALONG PAVEMENT EDGE AND IN OTHER AREAS SHOWN ON THIS PLAN.
3. STANDARD PARKING SPACES SHALL BE 9' WIDE x 18' DEEP, HANDICAP SPACES SHALL BE 8' WIDE x 18' DEEP, AND COMPACT SPACES SHALL BE 9' WIDE BY 15' DEEP.
4. BIKE RACK SHALL HOLD A MINIMUM OF FIVE BIKES.



Digitally signed by Daniel J. Merrikin, P.E.
Date: 2022.08.31 13:36:17 -04'00'

SITE ADDRESS:
2 MARC ROAD

MAP AND PARCEL:
MAP 33, PARCEL 001

ZONING CLASSIFICATION:
EAST INDUSTRIAL

OVERLAY DISTRICTS:
GROUNDWATER PROTECTION DISTRICT

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ELLEN ROSENFELD
730 MAIN STREET, SUITE 2A
MILLIS, MA 02054
508-376-2041

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BOOK 40331 PAGE 234

DATE APPROVAL ISSUED:

PLAN ENDORSEMENT DATE:

For Registry Use

PLAN SCALE: 1" = 40'



PLAN DATE: FEBRUARY 28, 2022

REVISION	DATE	BY
NEW WETLAND FLAGS	2022-06-22	DJM
CHANGES PER TOWN COMMENTS	2022-08-24	DJM

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

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REGISTERED LAND SURVEYOR

ZONING NOTES:

USE:
MARIJUANA CULTIVATION FACILITY
LOT FRONTAGE (WIDTH):
REQ'D: 100'
PROVD: 220.12'
LOT AREA:
REQ'D: 20,000 S.F.
PROVD: 6.93 AC±
LOT SHAPE FACTOR:
REQ'D: P*P/A<22
PROVD:
IMAGINARY LOT AREA (A)
= 49,529 S.F.±
IMAGINARY LOT PERIMETER (P) = 890.25'
SHAPE FACTOR=16.00
COVERAGE BY STRUCTURES:
MAX. ALLOWED: 40%
PROPOSED: 13.3%
IMPERVIOUS COVERAGE:
MAX. ALLOWED: 15%

PROPOSED: 35.3%
PARKING:
REQ'D: TBD BY S.P.G.A.
PROVIDED: 90 SPACES (INCLUDING 4 HANDICAP SPACES & 24 COMPACT SPACES.)
SETBACKS:
FRONT YARD:
MIN. ALLOWED: 30'
PROVIDED: 129.1'
REAR YARD:
MIN. ALLOWED: 30'
PROVIDED: 122.6'
RIGHT SIDE YARD:
MIN. ALLOWED: 20'
PROVIDED: 45.1'
LEFT SIDE YARD:
MIN. ALLOWED: 20'
PROVIDED: 49.7'
BUILDING HEIGHT:
MAX. ALLOWED: 60'
PROVIDED: 34'

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)



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C-3



GRADING NOTES:

- 1. SITE CUT/FILL CALCULATIONS:
 - 1.1. FILL VOLUME: 1,050 C.Y.
 - 1.2. CUT VOLUME: 150 C.Y.
 - 1.3. TOTAL FILL VOLUME: 900 C.Y.

UTILITY NOTES:

- 1. DRAINAGE PIPING SHALL BE HDPE RATED FOR H2O LOADING. (ADS N12 OR EQUAL)
- 2. PLUMBERS AND DRAIN LAYERS OF ESTABLISHED REPUTATION AND EXPERIENCE WILL BE LICENSED BY THE BOARD AS DRAIN LAYERS AUTHORIZED TO PERFORM THE WORK.
- 3. ELECTRIC CONDUIT IS TO BE RUN TO THE PROPOSED PARKING AREA FOR FUTURE EV PARKING SPACES.



Digitally signed by Daniel J. Merrin, P.E.
Date: 2022.08.31 13:36:44 -0400

SITE ADDRESS:
2 MARC ROAD

MAP AND PARCEL:
MAP 33, PARCEL 001

ZONING CLASSIFICATION:
EAST INDUSTRIAL

OVERLAY DISTRICTS:
GROUNDWATER PROTECTION DISTRICT

OWNER & APPLICANT:
2 MARC ROAD LLC
ELLEN ROSENFELD
730 MAIN STREET, SUITE 2A
MILLIS, MA 02054
508-376-2041

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BOOK 40331 PAGE 234

DATE APPROVAL ISSUED:

PLAN ENDORSEMENT DATE:

MEDWAY PLANNING & ECONOMIC
DEVELOPMENT BOARD

For Registry Use

PLAN SCALE: 1" = 40'



PLAN DATE: FEBRUARY 28, 2022

REVISION	DATE	BY
NEW WETLAND FLAGS	2022-06-22	DJM
CHANGES PER TOWN COMMENTS	2022-08-26	DJM

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REGISTERED LAND SURVEYOR

2 MARC ROAD
GRADING & UTILITIES
PLAN OF LAND
IN
MEDWAY, MA

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)



LEGACY
ENGINEERING

C-4



Digitally signed by
Daniel J. Merrikin, P.E.
Date: 2022.08.31
13:37:12 -04'00'

SITE ADDRESS:
2 MARC ROAD

MAP AND PARCEL:
MAP 33, PARCEL 001

ZONING CLASSIFICATION:
EAST INDUSTRIAL

OVERLAY DISTRICTS:
GROUNDWATER PROTECTION DISTRICT

OWNER & APPLICANT:
2 MARC ROAD LLC
ELLEN ROSENFELD
730 MAIN STREET, SUITE 2A
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MEDWAY PLANNING & ECONOMIC
DEVELOPMENT BOARD

w/f
WILLIAM F &
BETTYE C REARDON
23 JAYAR ROAD
(ASSESSORS PARCEL 24-014)

w/f
MEDWAY FLOWER LLC
6 INDUSTRIAL PARK ROAD
(ASSESSORS PARCEL 33-004)

PLAN SCALE: 1" = 40'



PLAN DATE: FEBRUARY 28, 2022

REVISION	DATE	BY
NEW WETLAND FLAGS	2022-06-22	DJM
CHANGES PER TOWN COMMENTS	2022-08-26	DJM

2 MARC ROAD
LIGHTING
PLAN OF LAND
IN
MEDWAY, MA

I CERTIFY THAT THIS PLAN HAS BEEN
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AND REGULATIONS OF THE REGISTERS OF
DEEDS OF THE COMMONWEALTH OF
MASSACHUSETTS.

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AND TECHNICAL STANDARDS IN THE
COMMONWEALTH OF MASSACHUSETTS.

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SHOWN ON THIS PLAN ARE THE LINES
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REGISTERED LAND SURVEYOR

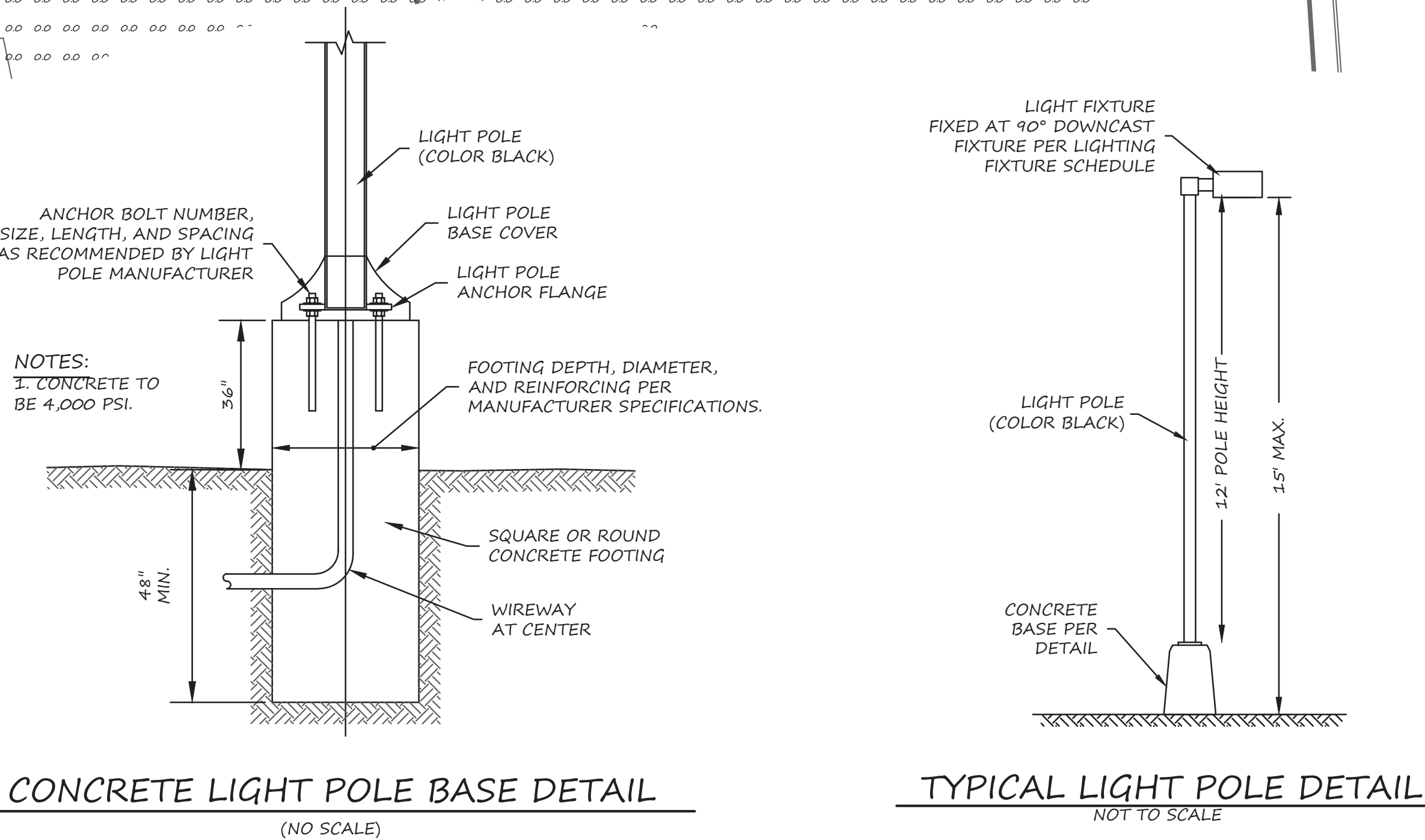
730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)



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ENGINEERING

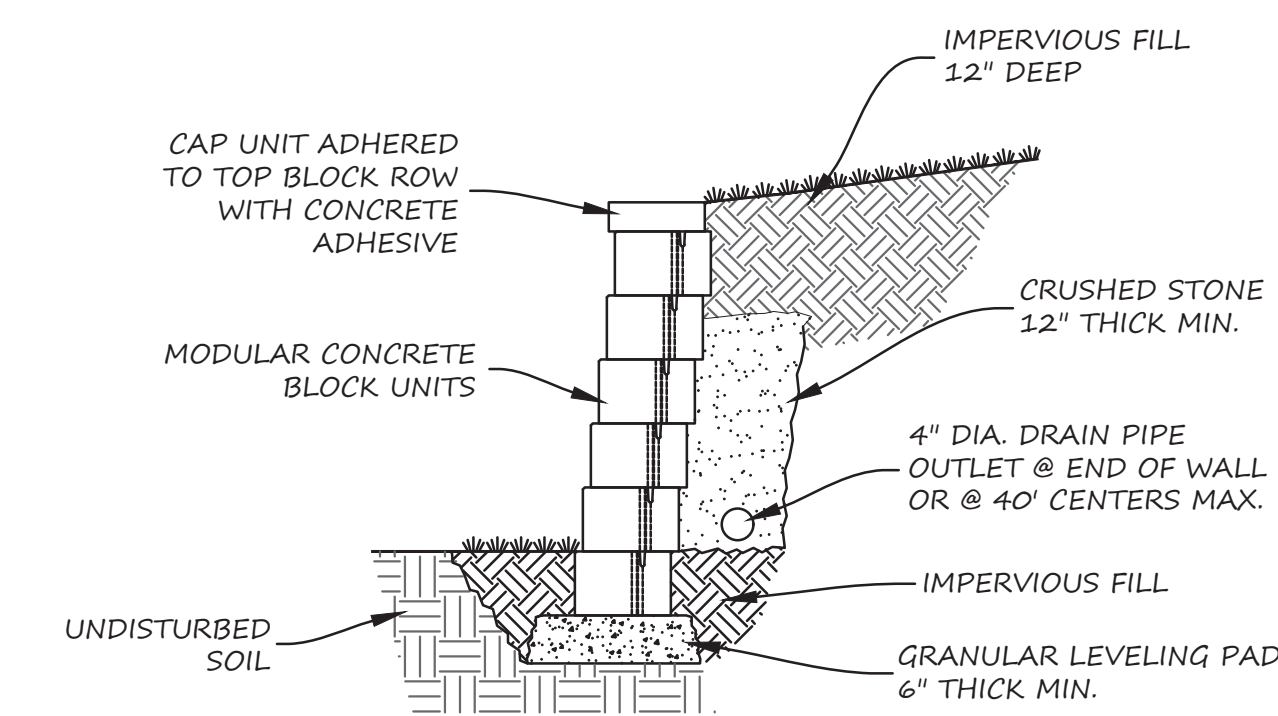
C-5

354-D63



Luminaire Schedule				
Symbol	Qty	Label	Arrangement	Description
⊙	7	LPA	POLE WITH SINGLE FIXTURE @ 15' A.G.	RAB LIGHTING ALED4T105
→	2	WPA	SINGLE WALL SCONCE @ 10' A.G.	RAB LIGHTING SLIM57Y
□	5	WPB	SINGLE WALL SCONCE @ 15' A.G.	RAB LIGHTING WPLED4T105Y

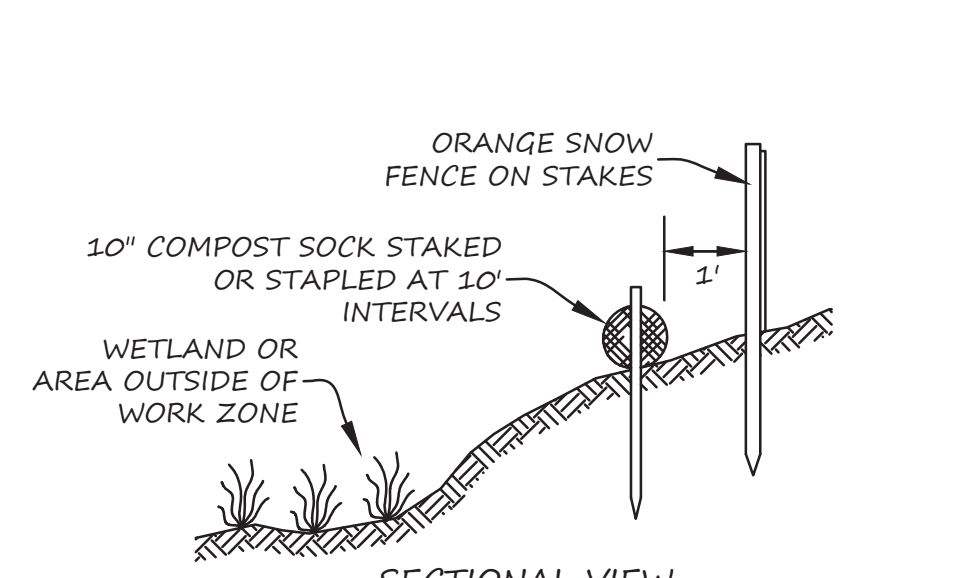
LIGHTING FIXTURE SCHEDULE
NOT TO SCALE



NOTES:

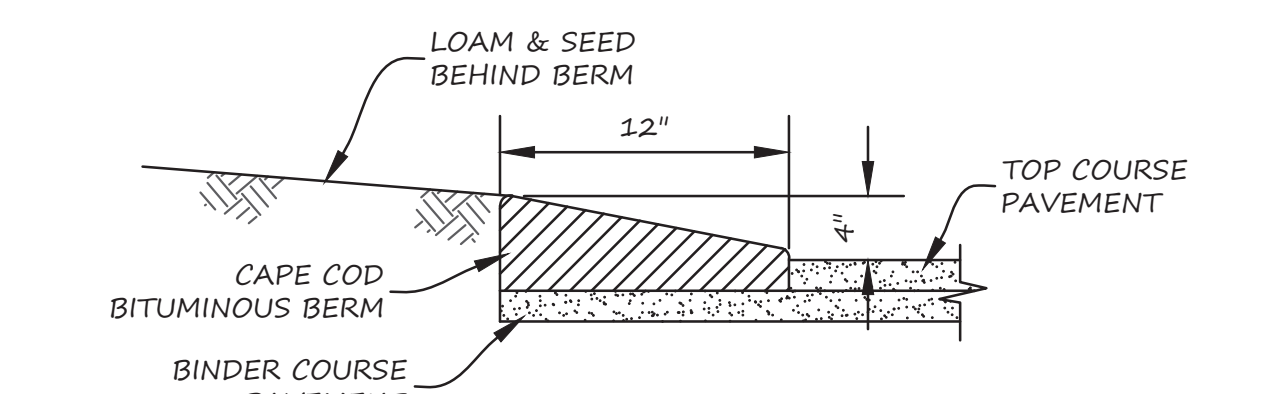
1. SMALL BLOCK UNITS SHALL BE THE SQUARE FOOT PRODUCT BY VERSA-LOK OR APPROVED EQUAL. WALL HEIGHT WITHOUT REINFORCEMENT SHALL BE LIMITED TO 3.5' EXPOSED FACE.
2. WALL HEIGHTS OVER FOUR FEET, INCLUDING FOOTING, MAY REQUIRE A BUILDING PERMIT AND/OR STRUCTURAL DESIGN. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY NECESSARY BUILDING PERMITS AND FOR PROVIDING STRUCTURAL WALL DESIGN MEETING THE REQUIREMENTS OF THE MASSACHUSETTS BUILDING CODE, AS DEEMED APPLICABLE BY THE BUILDING INSPECTOR.
3. INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS.

TYPICAL "SMALL BLOCK" RETAINING WALL
(NO SCALE)

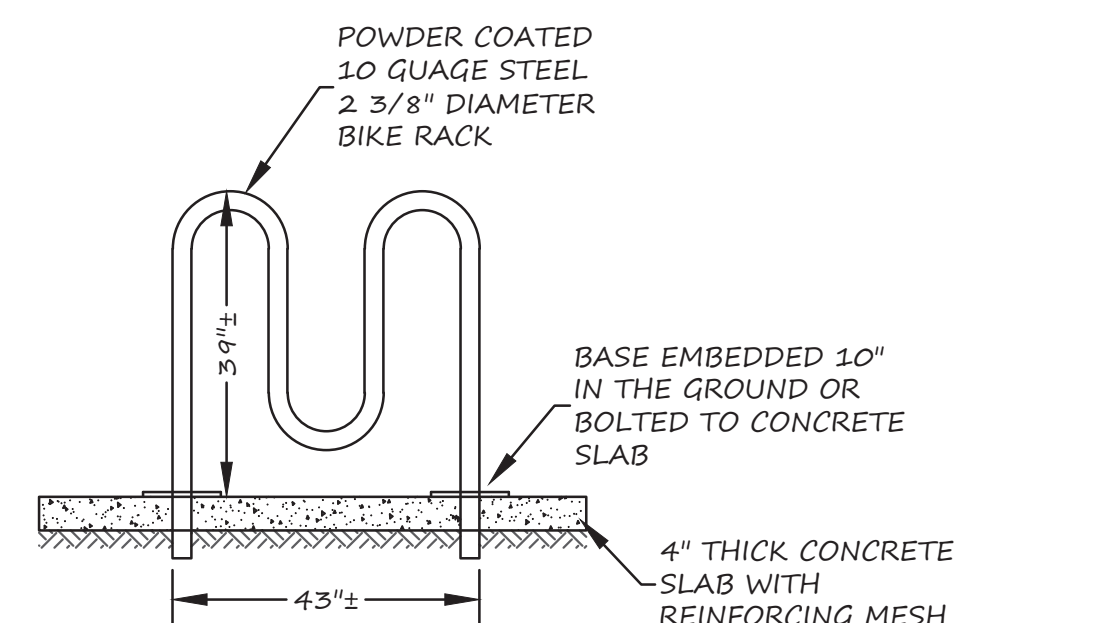


NOTE: NON-BIODEGRADABLE SOCK SHELL FILLED WITH COMPOST MEDIA. JOINTS SHALL BE OVERLAPPED BY AT LEAST TWO FEET. ORANGE SNOW FENCE IS ONLY NEEDED IF THERE IS EVIDENCE OF THE COMPOST SOCK BEING BURIED BY CONSTRUCTION ACTIVITIES.

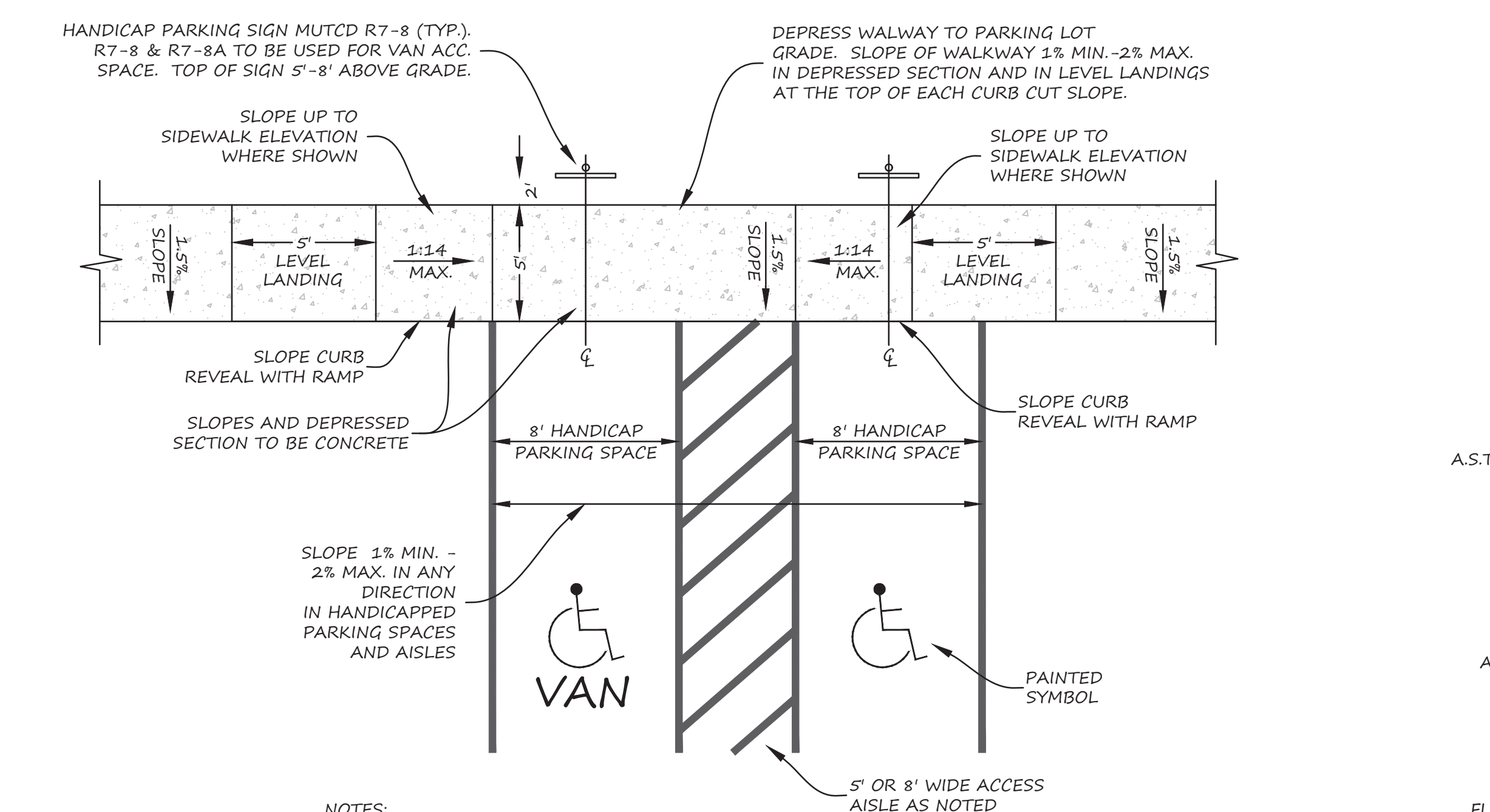
EROSION CONTROL DETAIL (COMPOST SOCK)
(NO SCALE)



CAPE COD BERM DETAIL
(NO SCALE)



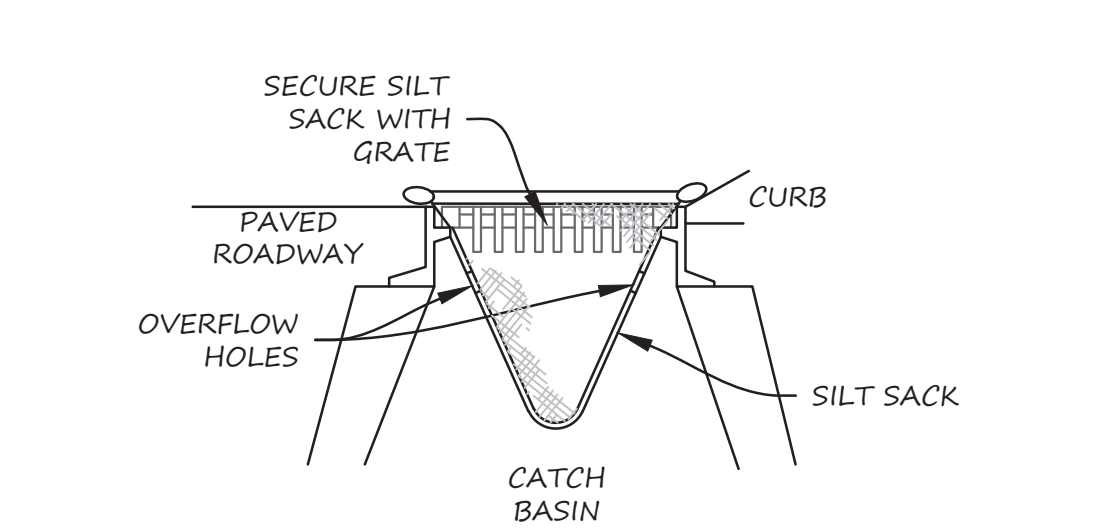
BIKE RACK DETAIL
(NO SCALE)



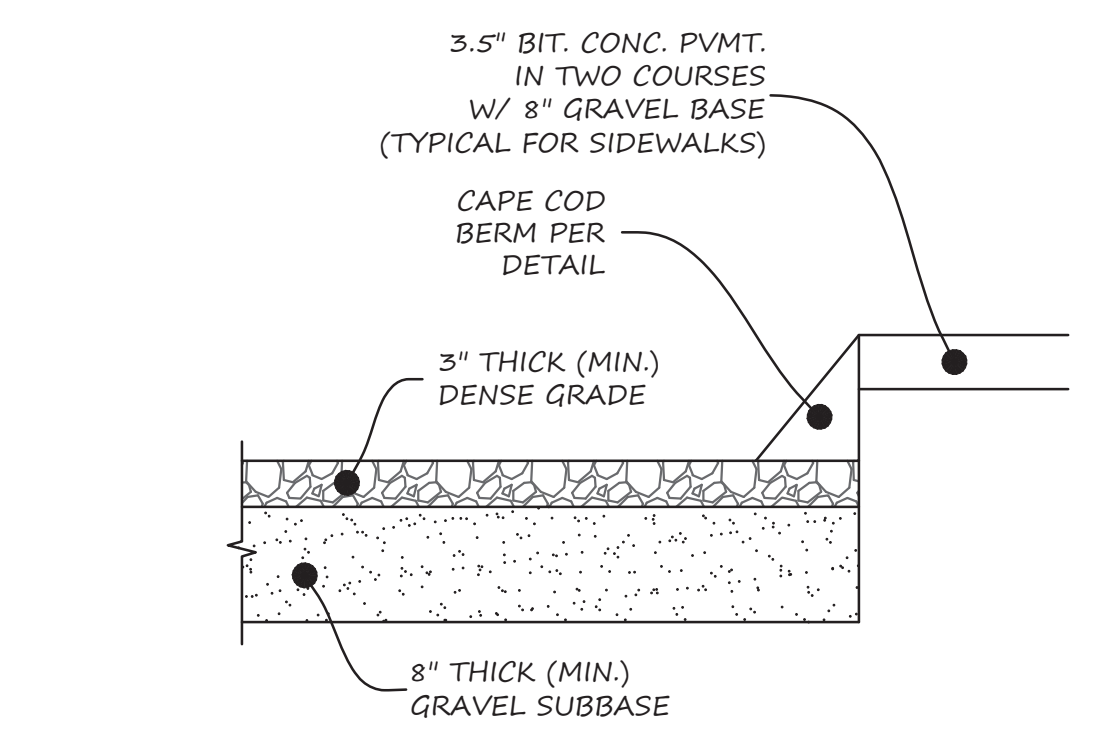
NOTES:

1. REFER TO THE LAYOUT PLAN FOR THE LOCATION, LAYOUT, AND NUMBER OF HANDICAP PARKING SPACES IN RELATION TO ADJOINING WALKWAYS.
2. HANDICAP PARKING SPACES AND ACCESSIBLE ROUTES (CURB CUTS, RAMPS, WALKWAYS, ETC...) SHALL BE IN ACCORDANCE WITH 521 CMR.

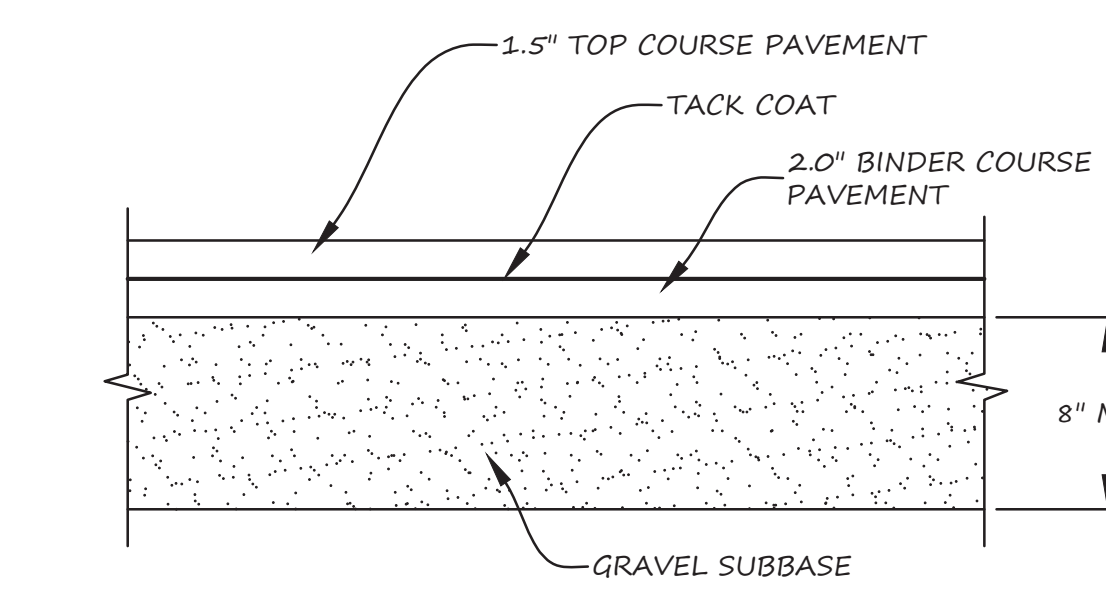
TYPICAL HANDICAP PARKING DETAIL
(NO SCALE)



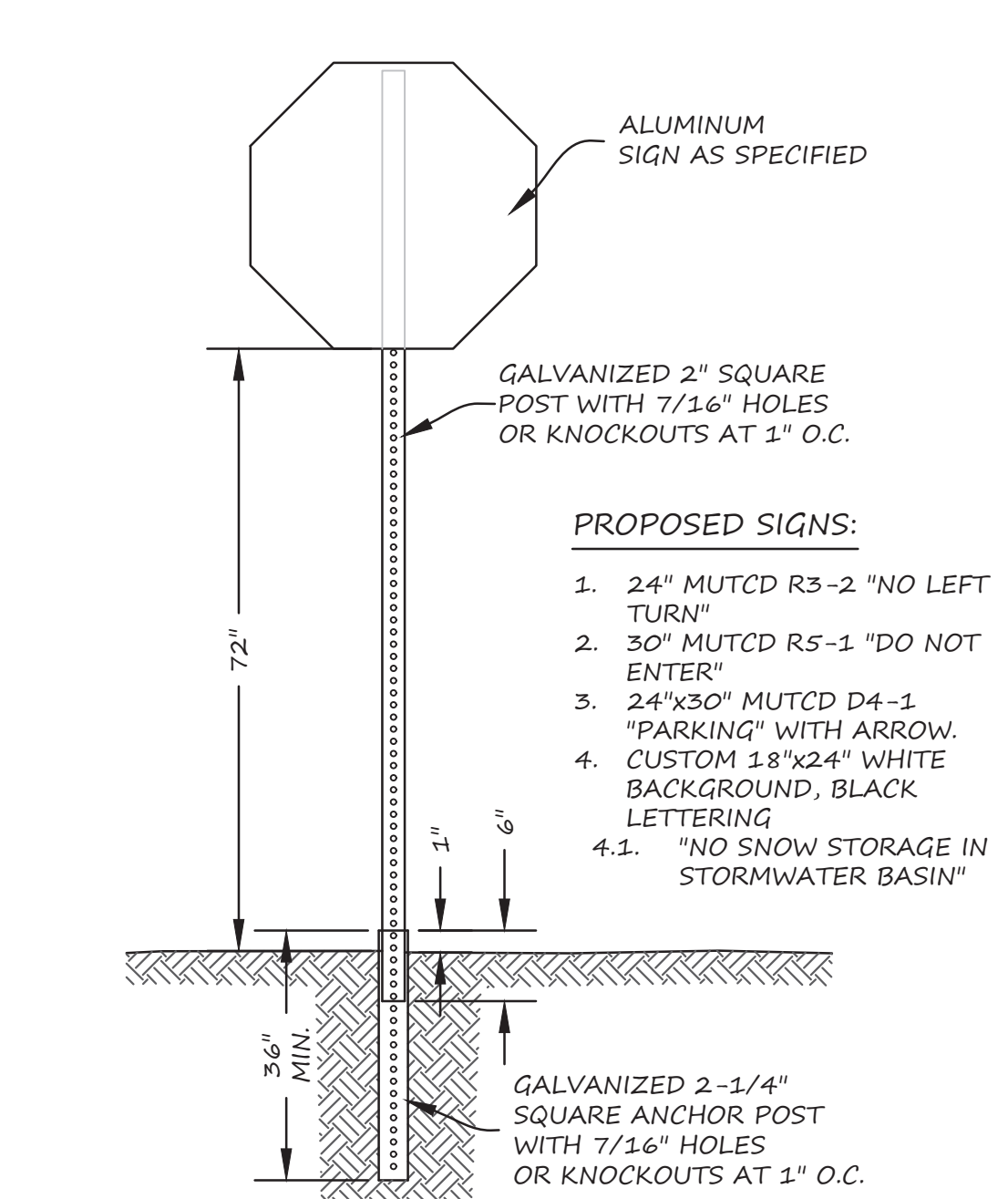
CATCH BASIN SILT SACK DETAIL
(NOT TO SCALE)



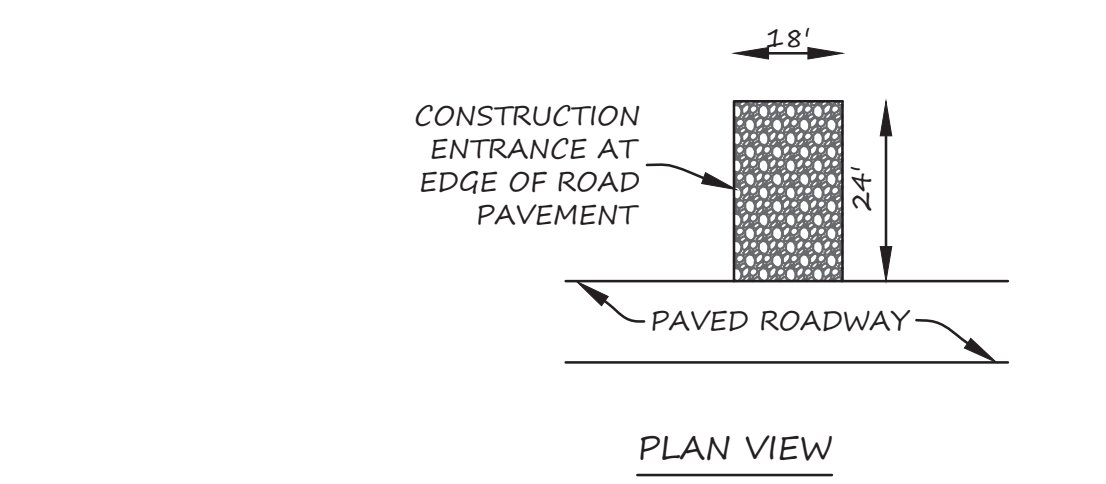
TYPICAL GRAVEL DRIVEWAY SECTION
(NOT TO SCALE)



TYPICAL PARKING LOT PAVING SECTION
(NOT TO SCALE)



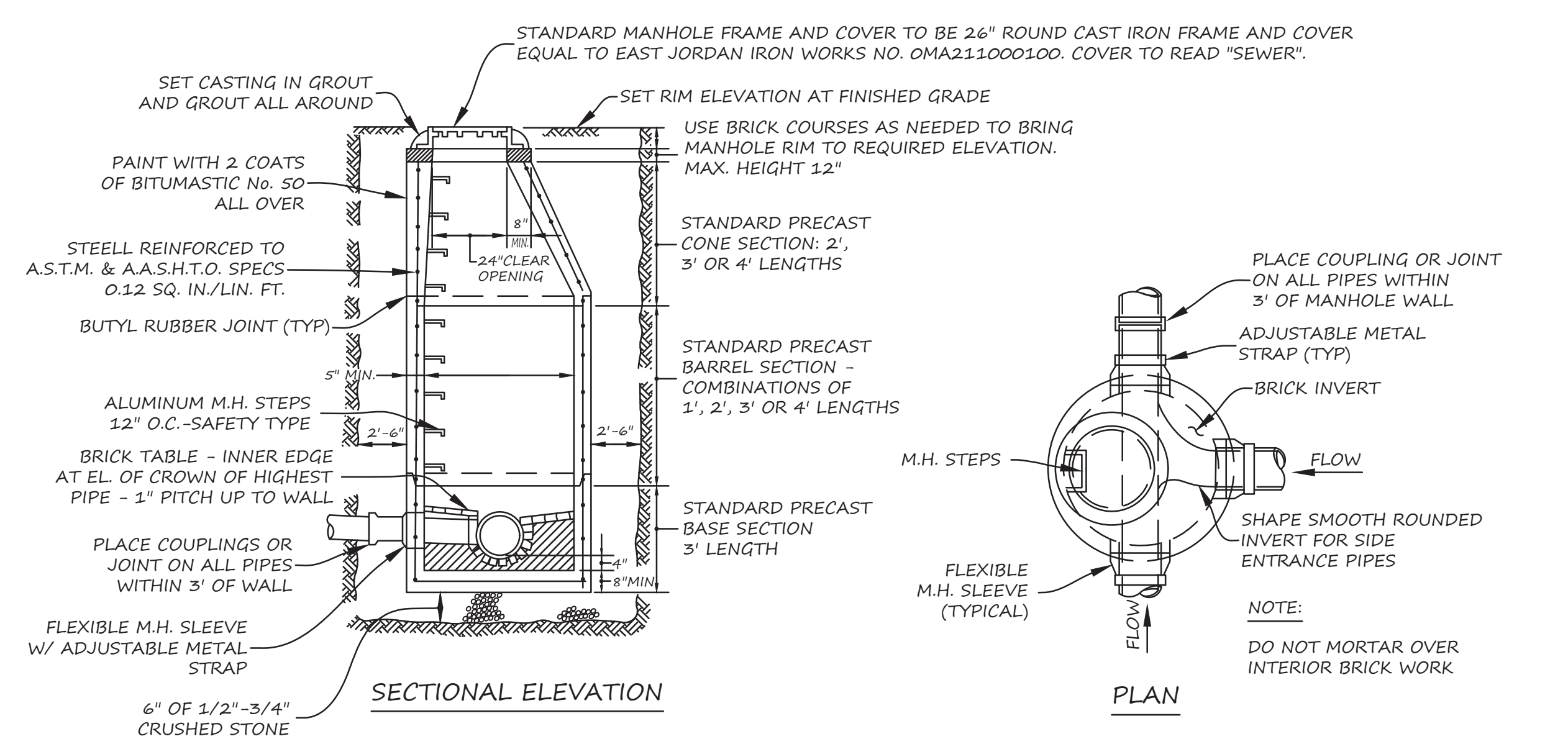
TYPICAL SIGN POST DETAIL
(NOT TO SCALE)



NOTES:

1. ENTRANCE SHALL BE INSTALLED BEFORE ANY EXCAVATION WORK OCCURS ON-SITE.
2. ENTRANCE SHALL BE MAINTAINED IN GOOD CONTITION UNTIL A PAVED DRIVEWAY IS INSTALLED. REPLACE ENTRANCE IF FILLED WITH SOILS OR IF SOILS ARE BEING TRACKED ONTO ADJACENT ROADWAYS.

CONSTRUCTION ENTRANCE DETAIL
(NOT TO SCALE)



TYPICAL PRECAST CONCRETE SEWER MANHOLE DETAILS
(NOT TO SCALE)

SITE ADDRESS:
2 MARC ROAD

MAP AND PARCEL:
MAP 33, PARCEL 001

ZONING CLASSIFICATION:
EAST INDUSTRIAL

OVERLAY DISTRICTS:
GROUNDWATER PROTECTION DISTRICT

OWNER & APPLICANT:
2 MARC ROAD LLC
ELLEN ROSENFELD
730 MAIN STREET, SUITE 2A
MILLIS, MA 02054
508-376-2041

DEED
BOOK 40331 PAGE 234

DATE APPROVAL ISSUED:

PLAN ENDORSEMENT DATE:

MEDWAY PLANNING & ECONOMIC
DEVELOPMENT BOARD

COMMONWEALTH OF MASSACHUSETTS
DANIEL J. MERRIKIN
CIVIL
No. 43309
REGISTERED
PROFESSIONAL ENGINEER

Digitally signed by
Daniel J. Merrikin, P.E.
Date: 2022.08.31
13:37:48 -04'00'

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REGISTERED LAND SURVEYOR

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)

C-7



PLAN SCALE: N.T.S.

PLAN DATE: FEBRUARY 28, 2022

REVISION

DATE	BY
2022-06-22	DJM
2022-08-26	DJM

NEW WETLAND FLAGS
CHANGES PER TOWN COMMENTS

2 MARC ROAD
DETAIL
PLAN OF LAND
IN
MEDWAY, MA



1st FLOOR PLAN

SCALE: 1/8" = 1'-0"

Client:

Commonwealth Cannabis Company

2 Marc Rd.
Medway, MA

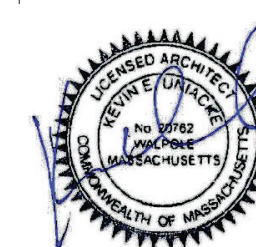
Project:

Grow Facility Addition

2 Marc Rd.
Medway, MA

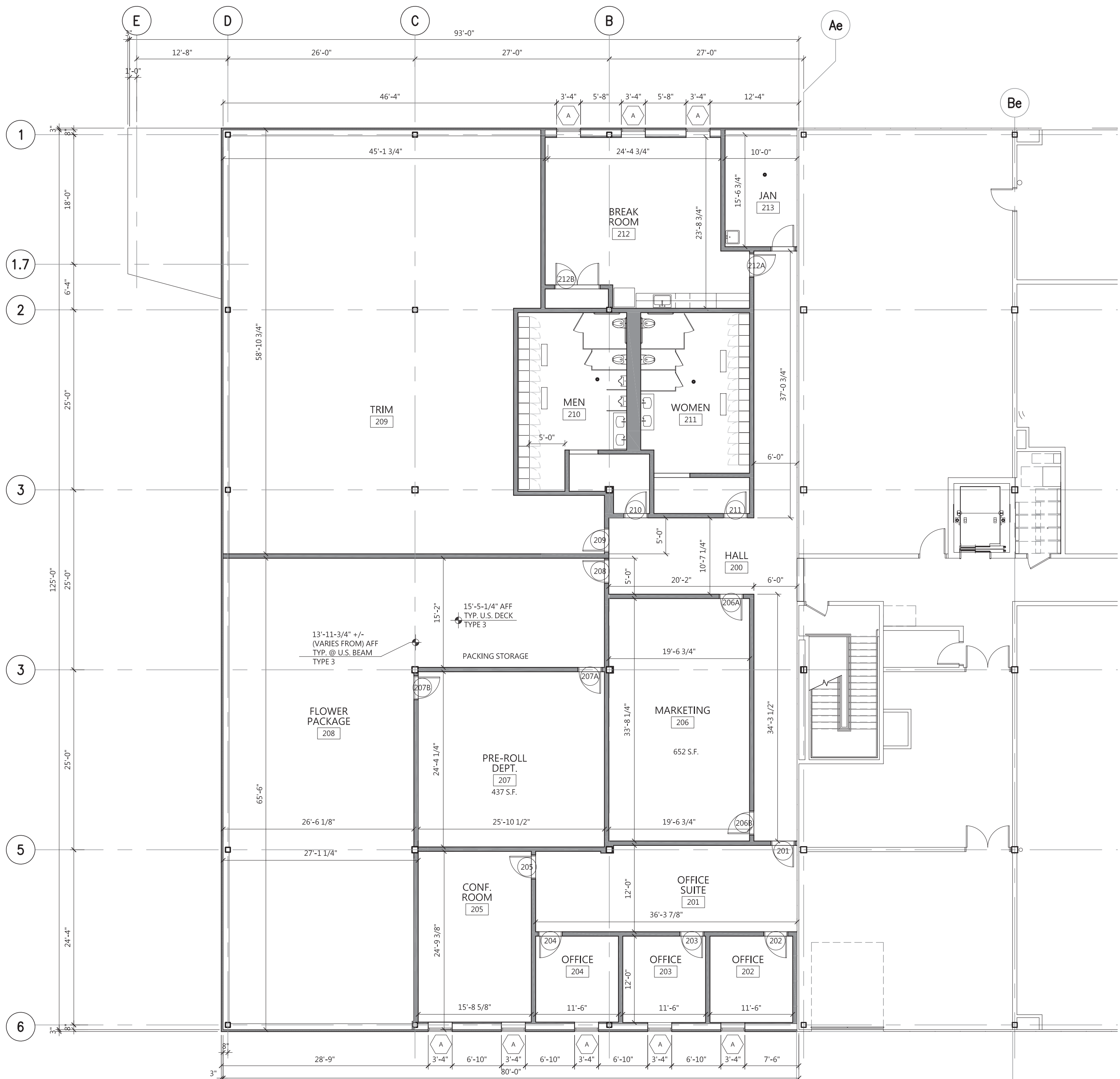
Drawing:

FIRST FLOOR PLAN

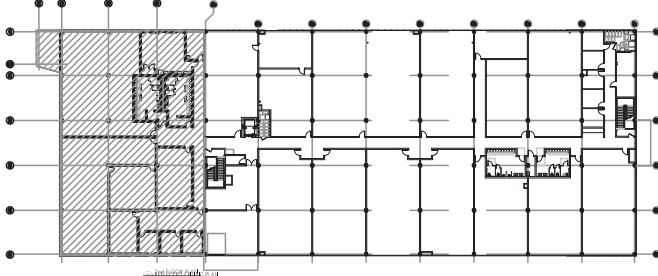


Scale:	AS NOTED
Date:	2/24/2022
Job Number:	21052
Drawn By:	TJF
Checked By:	KEU

A1.0



1
A1.2
2nd FLOOR PLAN
SCALE: 1/8" = 1'-0"

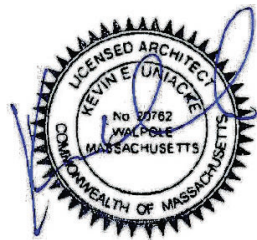


Drawing Status:
**PLANNING
BOARD REVIEW**
NOT FOR CONSTRUCTION

Client:
**Commonwealth Cannabis
Company**
2 Marc Rd.
Medway, MA

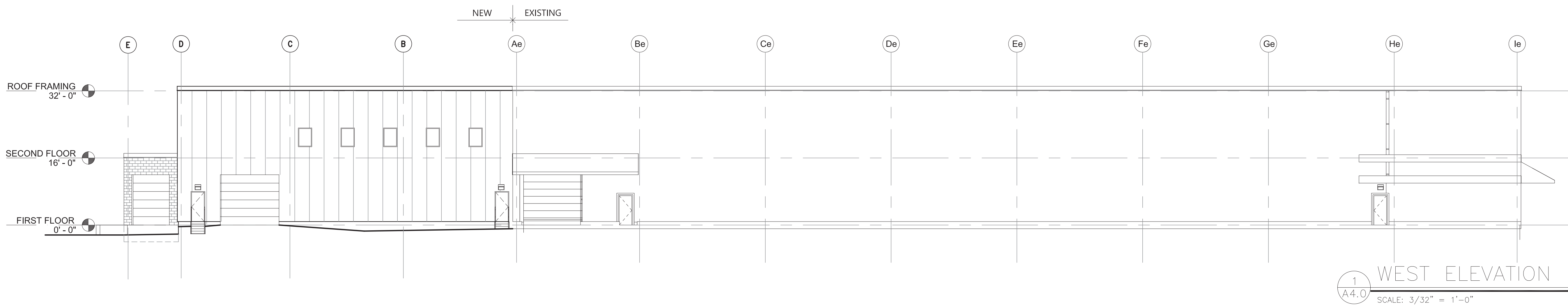
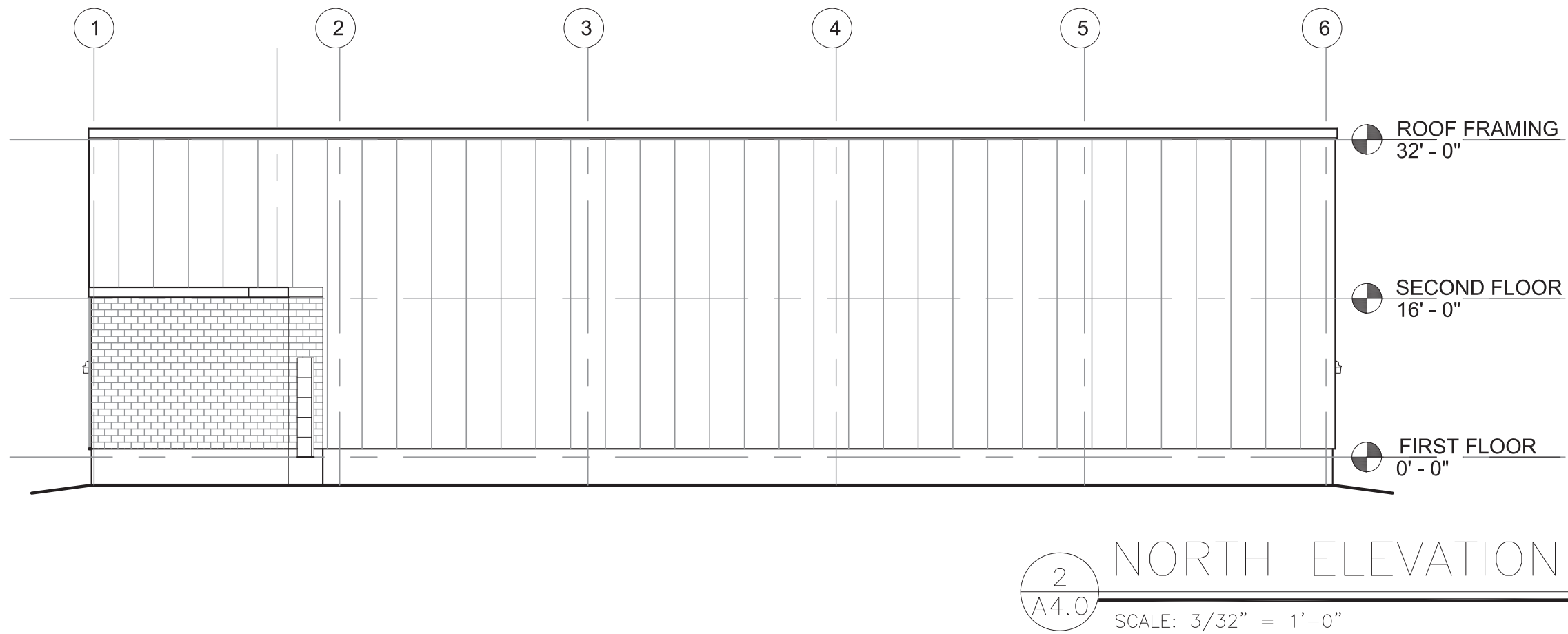
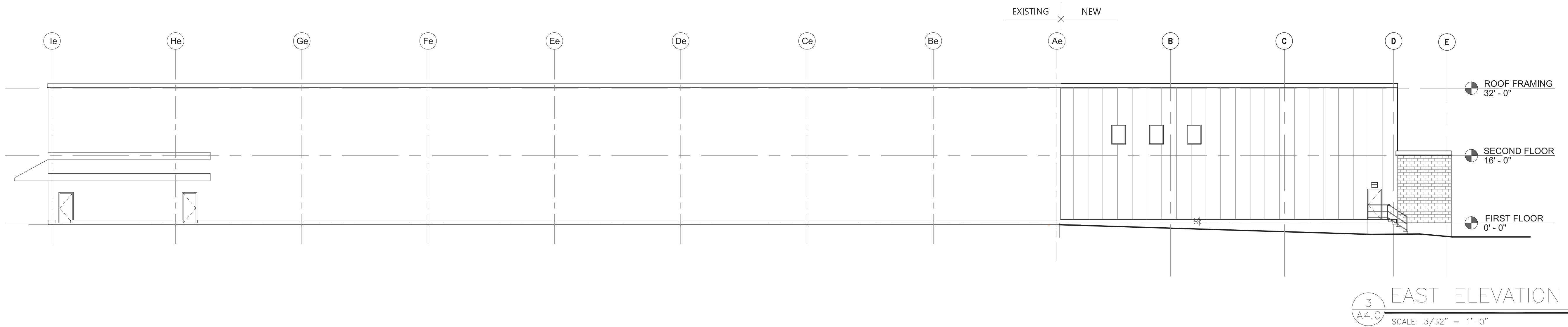
Project:
Grow Facility Addition
2 Marc Rd.
Medway, MA

Drawing:
SECOND FLOOR PLAN



Scale: AS NOTED
Date: 2/24/2022
Job Number: 21052
Drawn By: TJF
Checked By: KEU

A1.2

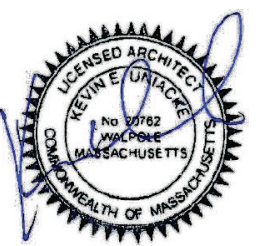


Drawing Status:
**PLANNING
BOARD REVIEW**
NOT FOR CONSTRUCTION

Client:
**Commonwealth Cannabis
Company**
2 Marc Rd.
Medway, MA

Project:
Grow Facility Addition
2 Marc Rd.
Medway, MA

Drawing:
EXTERIOR ELEVATIONS



Scale: AS NOTED
Date: 2/24/2022
Job Number: 21052
Drawn By: TJF
Checked By: KEU

A4.0



RIGHT REAR CORNER
LOOKING SOUTH

1
A4.1
NTS



LEFT REAR CORNER
LOOKING SOUTH

2
A4.1
NTS

Drawing Status:
**PLANNING
BOARD REVIEW**
NOT FOR CONSTRUCTION

Client:
**Commonwealth Cannabis
Company**
2 Marc Rd.
Medway, MA

Project:
Grow Facility Addition
2 Marc Rd.
Medway, MA

Drawing:
EXTERIOR RENDERINGS

Scale: AS NOTED
Date: 2/24/2022
Job Number: 21052
Drawn By: TJF
Checked By: KEU

A4.1



August 29, 2022

NCE Proposal: P5136.22

Noise Study Review for 2 Marc Road – CommCan Facility Expansion

Susan Affleck-Childs
Town of Medway
155 Village Street
Medway, MA 02053

Dear Ms. Affleck-Childs:

Noise Control Engineering, LLC (NCE) is pleased to provide this proposal to provide consulting services to review the noise plan submitted in support of the permit application for the proposed CommCan expansion at 2 Marc Road.

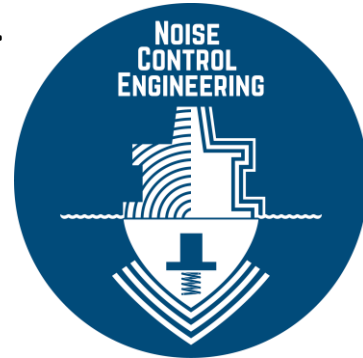
Thank you for your consideration of NCE for this project and I hope this quote meets your technical and budgetary requirements. If you should need anything else, or have any questions or would like to discuss, please feel free to contact me.

Sincerely,
NOISE CONTROL ENGINEERING, LLC

A handwritten signature in black ink that reads "Jeff M. Komrower".

Jeffrey M. Komrower
Senior Engineer
Ph: (978) 584-3026 (direct)
Jeff.komrower@noise-control.com

Noise Study Review for 2 Marc Road – CommCan Facility Expansion



Proposal P5136.22

August 29, 2022

Prepared for:

Town of Medway
155 Village Street
Medway, MA 02053
Attention: Ms. Susan Affleck-Childs

Technical Contact:

Jeffrey M. Komrower
Noise Control Engineering LLC
85 Rangeway Road
Building 2 – 2nd Floor
Billerica, MA 01821
(978) 584-3026 (direct)
jeffk@noise-control.com (email)

1.0 INTRODUCTION AND SCOPE OF WORK

A special permit application and site plan has been received by the Medway Planning and Economic Development Board (PEDB) for the expansion of the CommCan facility at 2 Marc Road. The applicant proposes to add a two-story 20,000 square foot addition at the rear of the existing building. The expansion involves the addition of equipment that could potentially have a noise impact. A noise analysis has been developed by Acentech. The scope of services would include but may not be limited to the following:

- Review of the noise analysis submitted by the applicant and provide written comments
- Attend at least one PEDB meeting remotely, if necessary
- Review and prepare written comments on any revisions to the applicant's noise plan.

2.0 PRICING

This project will be on a time & material not to exceed basis subject to the terms and conditions at the end of this proposal. The price for this effort as outlined above is \$1,400 and includes up to 6 hours of Engineering time and remote attendance, if necessary, at one PEDB meeting. If attendance in person at PEDB meetings would be required, the additional cost would be \$500/meeting. Only actual time and expenses will be billed.

3.0 PROJECT MANAGEMENT

This project will be under the supervision of Mr. Jeffrey Komrower, Senior Acoustical Engineer and will be assisted by other NCE engineers as needed. Mr. Komrower holds a B.S. in Mechanical Engineering from Rensselaer Polytechnic Institute and a M.S. in Ocean Engineering from Florida Atlantic University. Mr. Komrower has over 40 years of experience in the noise and vibration field and has been the project manager for noise control efforts on US Navy Aircraft Carriers and for the Bureau of Reclamation Hydroelectric Powerplants including the Grand Coulee Powerhouses and Hoover Dam Powerplant. Mr. Komrower has extensive experience in environmental noise issues and has been involved in numerous projects where these issues needed to be addressed.

4.0 CONTRACTUAL TERMS

This proposal is accepted with the scope of work, schedule and pricing as indicated within the body of this proposal. All terms and conditions follow this page or are attached as a separate document.

PROPOSAL TITLE:	Noise Study Review for 2 Marc Road – CommCan Facility Expansion
NCE Proposal #:	P5136.22
Prepared For:	Town of Medway, MA
Accepted By: (Print Name)	
Title	
Signature and Date	
BILLING INFORMATION	
Accounts Payable Contact Person:	
Company Name:	
Street Address:	
City, State & Zip:	
Phone Number:	
Email:	
Special Instructions for Invoicing	

The information contained herein shall not be disclosed outside The Town of Medway and shall not be duplicated, used or disclosed in whole or in part. The data subject to this restriction is on all the pages of this proposal.

1. PROFESSIONAL SERVICES – FIXED FEE. Where the scope of services, including reimbursable expenses, subcontracts, and outside services can be clearly defined, Noise Control Engineering will customarily bill for services on a fixed fee basis. Invoices for fixed fee services will be issued monthly based on estimated percent of work scope complete unless other billing milestones and schedules are established.

2. PROFESSIONAL SERVICES – TIME & MATERIALS. When fixed fee services are not appropriate, Noise Control Engineering will bill on a time & materials basis to a mutually agreed-upon budget. Invoices for time & materials services will be issued monthly for: Hourly fees for services –based on time, including travel time, expended on the project by professional, technical, and administrative personnel.

Reimbursable expenses – billed at cost plus G&A and fee, including costs for travel out of the office as well as items such as non-routine communication, reproduction, and delivery charges.

Subcontracts and outside services – billed at cost plus G&A and fee, with copies of all invoices from subcontractor or outside service provider.

3. INVOICING AND PAYMENT. Invoices will be submitted monthly for the prior month's services. Payment is due upon the invoice date and becomes delinquent thirty (30) days thereafter. A late charge will be added to delinquent amounts at the rate of 1½ percent for each thirty (30) days delinquency.

4. SCOPE OF PROFESSIONAL SERVICES. The entire basic scope of professional services to be provided by Noise Control Engineering is described in the attached Proposal. If mutually agreed to in writing by Client and Noise Control Engineering, additional services may be added to the basic scope of service, understanding that payment and schedule will be adjusted accordingly.

5. PUBLIC LIABILITY & WORKERS' COMPENSATION. Noise Control Engineering is protected by public liability insurance for bodily injury and property damage, and will furnish a certificate thereof upon request. Noise Control Engineering is also protected by Massachusetts Industrial Insurance (Workers' Comp) as required by state statute.

6. LIMITATIONS OF PROFESSIONAL LIABILITY. No warranty, express or implied, is made or intended by our proposal for consulting services, by our furnishing oral or written reports, or by our inspection of work. In recognition of the relative risks and benefits of the project to the Client and to Noise Control Engineering, the Client agrees, to the fullest extent permitted by law, to limit the liability of Noise Control Engineering, its parent company, and all Noise Control Engineering subsidiaries and subcontractors supporting the project for any and all claims, losses, damages, or incurred expenses from any cause, so that the total aggregate liability to Noise Control Engineering, its parent company, and all subsidiaries and subcontractors supporting the project is limited to \$50,000 or the total fee paid for the project, whichever is less. Such claims and losses include, but are not limited to negligence, professional errors or omissions, strict liability, and breach of contract.

7. OTHER PROVISIONS.

(i) One or more waivers by either or both parties of any provision, part of any provision, term, condition, or covenant of this agreement shall not be construed as a waiver by either party of any other provision, part of any other provision, term, condition, or covenant of this agreement.

(ii) Unless specifically stated in the attached Proposal, Noise Control Engineering, its parent company, and all Noise Control Engineering subsidiaries and subcontractors have no responsibility for discovery, presence, handling, removal, disposal, or exposure of personnel to hazardous or toxic materials in any form as part of the project scope.

(iii) Unless specifically stated in the attached Proposal, it is understood that Noise Control Engineering will not provide design and construction review services relating to safety precautions of any contractor or subcontractor on the project and further, it is understood that Noise Control Engineering will not provide any supervisory services relating to the construction of the project. Any opinions from Noise Control Engineering relating to any such review or supervisory services shall be considered only as general information and shall not be the basis for any claim against Noise Control Engineering, its parent company, or its subsidiaries and subcontractors.

(iv) Any opinion of project cost offered by Noise Control Engineering represents the judgment of a design professional and is supplied only for general guidance, but Noise Control Engineering does not warrant the accuracy of its opinion as compared to actual contractor bids or actual cost.

8. DELAYS. Noise Control Engineering will prepare reports, drawings, and specifications in a timely manner, consistent with professional care and the orderly progress of work. It is understood that a time extension will be granted to Noise Control Engineering for any and all delays beyond our control (including delays in work being done by subsidiaries and subcontractors) and which could not reasonably have been foreseen at the time this agreement was executed.

9. TERMINATION. Either party may terminate this agreement with seven (7) days' written notice to the other in the event of a substantial failure of performance, including non-payment, by the other party through no fault of the terminating party. If this agreement is terminated, Noise Control Engineering shall be paid for services performed up to the termination notice date, including reimbursable expenses and subcontract obligations.

10. OWNERSHIP OF DOCUMENTS. Drawings, specifications and other documents, including those in electronic form, prepared by Noise Control Engineering, its parent company, and its subsidiaries and subcontractors, are instruments of service for use solely with respect to this project. Noise Control Engineering is the owner of these instruments of service and retains all common law, statutory and other reserved rights, including copyrights. Noise Control Engineering grants to Client a non-exclusive license to reproduce Noise Control Engineering's instruments of service solely for purposes of constructing, and using and maintaining the project, provided the Client complies with all obligations, including payment of all sums when due, under this agreement. Any termination of this Agreement prior to completion of the project shall terminate this license. Any subsequent use or changes to the instruments of service not made or specifically approved by Noise Control Engineering shall be at Client's sole risk and without liability to Noise Control Engineering, its parent company, or its subsidiaries and subcontractors.

11. ELECTRONIC DOCUMENT TRANSMITTAL. Noise Control Engineering accepts liability and responsibility only for instruments of service that can be verified as having been produced and released by Noise Control Engineering or its subsidiaries and subcontractors as indicated in hard copies by a hand-applied signature or in electronic copies by a verifiable digital signature. Drawings, Specifications, and other Documents supplied in electronic form as editable or native format files are provided solely for convenience of the Client as non-verifiable information and therefore will not be considered instruments of service. By accepting delivery of non-verifiable electronic files, the Client acknowledges that information in the electronic files may be incorrect and/or in conflict with the contracted instruments of service.

12. VENUE. This agreement shall be interpreted and enforced in accordance with the laws of the State of Washington. The venue of any action brought to interpret or enforce any of the terms of this agreement or otherwise adjudicate the rights or liabilities of the parties hereto shall be in King County, Washington.

September 2, 2022

Susan Affleck - Childs
Planning and Economic Development Coordinator
Town of Medway
155 Village Street
Medway, MA 02053
508-533-3291
Email: sachilds@townofmedway.org

Re: 2 Marc Road Cultivation Facility - Addition, Review of Odor Mitigation Plan

Dear Ms. Affleck - Childs:

This letter documents the findings from my review of the Odor Mitigation Plan for the 20,000 SF Addition to the cannabis cultivation and processing facility at 2 Marc Road in Medway, Massachusetts. The following documents were reviewed:

- 2 Marc Road Site Narrative, Legacy Engineering, 2-28-2022, 6 pp.
- Site Plan P-2 Marc Road, Merrikin Engineering, 2-28-2022, 12 pp.
- Building Mechanical Systems Odor Mitigation Report, Engineered Systems, 6-10-2022, 42 pp.
- Town of Medway Zoning Bylaw, Section 7.3. D. 4 Odors, 5-09-2022

I offer the following comments from my review of the Odor Mitigation Report by Engineered Systems Consulting Engineers:

1. No description of the odor producing activities that will take place in each room of the addition have been provided.
2. Page 5, 2-STORY BUILDING EXPANSION (NEW):
 - a. AtmosAir Bi-Polar Ionization equipment is not specified in the drawings and the locations where this equipment is to be installed are not shown.
 - b. Molecular filtration equipment (carbon filters) is not specified in the drawings and the locations where this equipment is to be installed are not shown.
 - c. Ecosorb Vapor Phase system is detailed in the submittal drawings, but this system is not referenced anywhere in the mechanical drawing set.
 - d. Ozone generators were installed in the existing building. Why is this equipment not planned for the new addition?
 - e. It appears that no odor mitigation at all is planned for the Warehouse exhaust, since the Ionization system is only indicted in the plan narrative on Page 3 to go in supply air ducts. Note that the Warehouse connects directly to the Vault, which will generate a significant amount of odor if it includes exposed plants.

3. Pages 17 - 19, Appendix E: Ecosorb Vapor Phase 2400:
 - a. What is the schedule for this equipment to run? Or is the plan for it to run continuously?
 - b. How does this system avoid freezing up when it operates during sub-freezing outside air temperatures?
 - c. How susceptible to wind is the spray coverage? In a typical weather year, how often would the wind be expected to adversely affect the coverage of the spray?
4. Pages 23 - 26, Appendix G: Ecosorb Odor Control System Layout Plans. Why doesn't the system cover the exhaust outlets on the rooftop equipment? The only exhaust outlets for the entire building addition are in the RTU and the ERV on the roof.
5. Pages 36 - 42, Appendix I: Proposed Expansion Mechanical Plans:
 - a. Drawing M1.1 2nd Floor HVAC Ductwork Plan. Flag note 4 near the main exhaust duct going to the ERV appears to be mislabeled. Is this intended to be indicated to be a carbon filter?
 - b. Drawing M1.1. Construction note 5 related to carbon filters. The locations of these filters are not indicated anywhere on the drawings.
 - c. No exhaust system is shown for the Soda Factory. Is no exhaust intended for this area?
 - d. No exhaust system is shown for the Vault. Is no exhaust intended for this area?
 - e. No exhaust system is shown for the room between the Trim Room and the Men's Room. Is no exhaust intended for this area?
 - f. No exhaust system is shown for Pre Roll Dept Room 207. Is no exhaust intended for this area?
 - g. Is the planned 400 CFM of exhaust for Trim Room 209 sufficient? This seems minimal considering the large amount of odor generation that typically occurs in trimming rooms.
 - h. Is the planned 400 CFM of exhaust for Flower Package Room 208 sufficient? This seems minimal considering the large size of the room and the potential for odor.

Feel free to contact me with any questions or concerns.

Sincerely,



Bruce Straughan, PE
Straughan Forensic, LLC



March 31, 2022
(revised September 9, 2022)

Ms. Susan E. Affleck-Childs
Medway Planning and Economic Development Coordinator
Medway Town Hall
155 Village Street
Medway, MA 02053

**Re: CommCan Site Plan Modification
2 Marc Road
Medway, Massachusetts**

Dear Ms. Affleck-Childs:

Tetra Tech (TT) has performed a review of the proposed Site Plan for the above-mentioned Project at the request of the Town of Medway Planning and Economic Development Board (PEDB). The proposed Project is located at 2 Marc Road in Medway, Massachusetts. The reviewed materials are part of an Application to Modify a Previously Approved Marijuana Special Permit Decision. The site is currently developed with a two-story, 60,000 square-foot industrial building for marijuana cultivation, along with appurtenant driveways, parking areas, utilities, landscaping, and stormwater infrastructure. The proposed Project includes a 20,000 square-foot, two-story addition to the existing building, driveway reconfigurations, 56 proposed parking spaces and additional onsite stormwater treatment. The Project will also require the addition of two hazardous/toxic materials, referred to in the Site Narrative as "cleaning solutions" that will be handled and stored within the Project's proposed addition.

TT is in receipt of the following materials:

- A Plan (Plans) set titled "2 Marc Road, Site Plan of Land in Medway, Massachusetts" dated February 28, 2022, prepared by Legacy Engineering, LLC (LEL).
- Project Architecturals including Floor Plans, Elevations and Renderings, dated February 24, 2022, prepared by UDA Architects.
- An Application to Modify a Previously Approved Marijuana Special Permit Decision and/or Plan, dated February 28, 2022, prepared by LEL.
- An Application for Special Permit Approval, dated February 28, 2022, prepared by LEL.
- A Certified List (List) of Abutters, dated January 28, 2022, prepared by The Medway Board of Assessors.
- A Project Narrative (Narrative) titled "Site Narrative for 2 Marc, Road, Medway, MA 02053" dated February 28, 2022, prepared by LEL.

The Plans and accompanying materials were reviewed for conformance with the following Regulations and Bylaws:

- Town of Medway Planning & Economic Development Board Rules and Regulations, Chapter 200 – Site Plans, Rules & Regulations for Submission, Review and Approval of Site Plans. (Amended October 8, 2019)

The Project was also reviewed for good engineering practice and overall site plan efficiency. Review of the Project for zoning related matters is being conducted by Town personnel and is excluded from this review. Stormwater will be reviewed during the anticipated permitting effort with Medway Conservation Commission.

TT 9/9/22 Update

The Applicant has supplied TT with a revised submission addressing comments provided in our previous letter including the following documents:

- A Response to Comments letter dated August 31, 2022, prepared by LEL.
- A Plan (Plans) set titled "2 Marc Road, Site Plan of Land in Medway, Massachusetts" dated February 28, 2022, with revisions through August 26, 2022, prepared by Legacy Engineering, LLC (LEL).

The revised Plans and supporting information were reviewed against our previous comment letter (March 31, 2022) and comments have been tracked accordingly. Text shown in gray represents information contained in previous correspondence while new information is shown in black text. Additional comments have been added to the end of the document.

SITE PLAN REVIEW

Site Plan Rules and Regulations (Chapter 200)

1. The Applicant has not included a Development Impact Statement associated with the Project. (Ch. 200 §204-3.F)
 - *LEL 8/31/22 Response: A DIS is attached.*
 - **TT 9/9/22 Update: The Development Impact Statement has been provided which includes narrative for the required information. Traffic impacts are not expected to increase as the Applicant stated that the expansion is proposed to accommodate existing employees. The ongoing odor issues from the facility were noted and the Applicant stated odor is expected to be mitigated by the recently installed supplemental odor mitigation system, however, we recommend the PEDB follow-up with the Applicant and abutters to determine if the odor remains a nuisance. Noise was also addressed, and we recommend the PEDB follow-up with their noise consultant regarding changes to the Plans.**
2. Earth removal calculations are not provided in the Plans. (Ch. 200 §204-3.I)
 - *LEL 8/31/22 Response: Earth removal calculations have been added to sheet C-4.*
 - **TT 9/9/22 Update: In our opinion, this comment is resolved.**
3. Earth fill estimates are not provided in the Plans. (Ch. 200 §204-3.J)
 - *LEL 8/31/22 Response: Earth fill calculations have been added to sheet C-4.*
 - **TT 9/9/22 Update: In our opinion, this comment is resolved.**
4. A copy of an Order of Resource Area Delineation (ORAD) from Medway Conservation is not provided. (Ch. 200 §204-3.K)
 - *LEL 8/31/22 Response: An NOI has been submitted, the review process for which is ongoing. The revised plan reflects a new wetland line, which has been inspected and approved by the Conservation agent.*
 - **TT 9/9/22 Update: In our opinion, this comment is resolved.**
5. The Applicant proposed drive aisles bounded by cape cod berm consistent with the prior Site Plan Approval. However, this does not meet the Regulations and a Waiver has been requested by the Applicant. (Ch. 200 §207-11.B.2)
 - *LEL 8/31/22 Response: No response required.*
 - **TT 9/9/22 Update: No further action necessary until PEDB decision on Waiver requests.**
6. The Applicant proposed modification to the pavement layout and added a loading dock at the northern end of the existing portion of the site. Additionally, a right-hand turn from the existing driveway onto the proposed driveway may be difficult for a larger emergency vehicle should they have to respond to the parking area for an emergency. The Applicant should provide turning radius templates for review by the Medway Fire

Department. We recommend the Applicant provide written confirmation from the Medway Fire Department regarding their review of the new layout. (Ch. 200 §207-11.B.8)

- *LEL 8/31/22 Response: Fire truck turning plans are provided. The main entrance to the new parking area has been changed to Industrial Park Road. Based on a request from the conservation agent to reduce impervious coverage, the existing gravel driveway between the parking area and building will be used. A copy of correspondence with the Medway Fire Department is provided confirming their acceptance of the revised configuration.*
 - **TT 9/9/22 Update: In our opinion, this comment is resolved.**
- 7. The Applicant proposed cape cod berm along the southern edge of the proposed parking and no curb along the northern edge (to aid in stormwater mitigation) consistent with the prior Site Plan Approval. However, this does not meet the Regulations and a Waiver has been requested by the Applicant. (Ch. 200 §207-12.H)
 - *LEL 8/31/22 Response: Note that cape cod berm is now proposed for the northern edge of the new parking area.*
 - **TT 9/9/22 Update: In our opinion, this comment is resolved.**
- 8. The Applicant shall show conduit runs for the proposed EV charging stations and light poles. All utilities shall be placed underground. (Ch. 200 §207-16.A)
 - *LEL 8/31/22 Response: Conduit is not shown on sheet C-4.*
 - **TT 9/9/22 Update: In our opinion, this comment is resolved.**
- 9. The Applicant has supplied a proposed Lighting and Photometric Plan. However, the Plan shows light trespass on the two properties to the south of the driveway and parking expansion which does not meet the Regulations. (Ch. 200 §207-18.A)
 - *LEL 8/31/22 Response: Two light poles have been relocated to address this.*
 - **TT 9/9/22 Update: In our opinion, this comment is resolved.**
- 10. The Applicant has not submitted a formal Landscaping Plan. Trees have been proposed within the parking area islands but the Regulations require perimeter screening of parking areas and stormwater mitigation. The Applicant has requested a Waiver from the requirement to screen infiltration basins, but additional waivers from the landscaping section of the Regulations may be required. (Ch. 200 §207-19)
 - *LEL 8/31/22 Response: This requirement was already waived previously. An additional waiver request can be submitted if the board deems it necessary.*
 - **TT 9/9/22 Update: We defer action on this item to the PEDB.**
- 11. We recommend the PEDB require the Applicant confirm with the Medway Conservation Commission if the wetland resource area to the south of the lot will be impacted by the snow storage proposed upgradient of the resource area. (Ch. 200 §207-21)
 - *LEL 8/31/22 Response: Discussions with the Conservation Commission are being held as part of the Notice of Intent application.*
 - **TT 9/9/22 Update: In our opinion, this comment is resolved.**

General Site Plan Comments

- 12. The Project is located within jurisdiction of the Medway Conservation Commission (Commission) and may require a filing with that Board.
 - *LEL 8/31/22 Response: A Notice of Intent has been filed with the Conservation Commission.*
 - **TT 9/9/22 Update: In our opinion, this comment is resolved.**
- 13. The Applicant proposed a striped walkway along the eastern side of the existing building. Dimensions of the vehicular travel lane adjacent to the proposed walkway should be shown on the Plans to confirm two-way traffic can be maintained when the walkway is in use.
 - *LEL 8/31/22 Response: The driveway circling around the building is one-way only. Pavement markings showing this have been added to the plans for clarity. A crosswalk has also been added to the plans.*

- **TT 9/9/22 Update: The proposed gravel driveway intersection may still be an issue for motorists exiting the driveway to the main portion of the site. We recommend a “no left turn” sign, “one way” sign, and/or right turn only pavement markings to clarify the one-way circulation.**
14. We recommend a stop sign and stop bar be placed at the intersection of the existing and proposed driveways.
- *LEL 8/31/22 Response: The requested signage has been added. Additionally, a stop sign has been added to the new entrance.*
 - **TT 9/9/22 Update: In our opinion, this comment is resolved.**
15. Portions of the retaining wall along the proposed driveway are greater than four feet. We anticipate structural design of the wall will be required by the Building Commissioner.
- *LEL 8/31/22 Response: Grading has changed in some locations. The result is that none of the proposed walls exceed four feet in height.*
 - **TT 9/9/22 Update: In our opinion, this comment is resolved.**
16. We recommend a driveway curb cut be proposed where the existing gravel driveway meets the proposed driveway to limit damage to the cape cod berm proposed at that location. A “No Parking Beyond This Point” sign or equal, should be placed at the entrance to advise drivers that the gravel driveway is not meant for parking.
- *LEL 8/31/22 Response: The proposed driveway configuration has been revised as discussed above.*
 - **TT 9/9/22 Update: In our opinion, this comment is resolved.**
17. The notes for the retaining wall on the southern side of the proposed driveway and light pole on the northern side are not pointing to the correct location.
- *LEL 8/31/22 Response: The notes have been changed.*
 - **TT 9/9/22 Update: In our opinion, this comment is resolved.**

ADDITIONAL COMMENTS

18. The transition from the existing driveway apron at the west end of the proposed gravel driveway may lead to confusion. We recommend striping or adjustment of the existing curblin in the apron to ensure vehicles use the gravel driveway as intended.
19. The Applicant appears to be proposed a depressed area at the low point of the gravel driveway to allow runoff to enter the vegetated area to the north of the driveway. This area may become iced over in freeze-thaw cycles and become an issue for pedestrians using the sidewalk.
20. A proposed snow storage area is located over an existing irrigation well adjacent to southwest end of proposed gravel driveway.
21. Provide detail for proposed cape cod berm/sidewalk in existing asphalt apron.

These comments are offered as guides for use during the Town's review and additional comments may be generated during the course of review. The Applicant shall be advised that any absence of comment shall not relieve them of the responsibility to comply with all applicable local, state and federal regulations for the Project. If you have any questions or comments, please feel free to contact us at (508) 786-2200.

Very truly yours,



Steven M. Bouley, P.E.
Project Manager



Bradley M. Picard, E.I.T.
Civil Engineer



September 13, 2022
Medway Planning & Economic Development Board
Meeting

UPDATED - Wingate Farm Subdivision
Modification – Public Hearing
Continuation

- Notice dated August 24, 2022, to continue public hearing to September 13, 2022
- Revised submission letter by Legacy Engineering, dated August 18, 2022
- Revised Subdivision Modification Plan for Wingate Farm dated August 18, 2022, by Daniel J. Merrikin, Legacy Engineering of Millis, MA
- Revised Tetra Tech response letter dated September 1, 2022
- Email from Dan Merrikin dated September 3, 2022
- Updated waiver requests dated September 8, 2022
- Draft Certificate of Action for Wingate Farm Modification to Definitive Subdivision Plan dated September 9, 2022

- Land Disturbance Permit application by Legacy Engineering, dated September 12, 2022
- REVISED Subdivision Modification Plan for Wingate Farm dated September 12, 2022, by Daniel J. Merrikin, Legacy Engineering of Millis, MA
- REVISED Stormwater Report dated September 12, 2022
- Email from Deputy Chief Mike Fasolino RE: road and firetruck turn around

Board Members

Matthew Hayes, P.E., Chair
Robert Tucker, Vice Chair
Richard Di Iulio, Clerk
Jessica Chabot, Member
Sarah Raposa, Member
Thomas A. Gay, Associate Member



Medway Town Hall
155 Village Street
Medway, MA 02053
Phone (508) 533-3291
Fax (508) 321-4987
Email: planningboard@townofmedway.org
www.townofmedway.org

TOWN OF MEDWAY

COMMONWEALTH OF MASSACHUSETTS

PLANNING AND ECONOMIC DEVELOPMENT BOARD

MEMORANDUM

August 24, 2022

RECEIVED TOWN CLERK
AUG 24 '22 AM 11:01

TO: Stefany Ohannesian, Town Clerk
Town of Medway Departments, Boards and Committees

FROM: Susy Affleck-Childs, Planning and Economic Development Coordinator

RE: **Public Hearing Continuation for Wingate Farm Subdivision Modification**
168 Holliston Street and Wingate Farm Road
Continuation Date -- Tuesday, September 13, 2022 @7:45 p.m.

At its August 23, 2022 meeting, the Planning and Economic Development Board voted to continue the public hearing on the application of Karyl and Eugene Walsh of Medway, MA for approval of a modification to the previously issued subdivision decision and approved definitive subdivision plan for Wingate Farm to the Board's meeting on Tuesday, September 13, at 7:45 p.m. in Sanford Hall at Town Hall. The Wingate Farm definitive subdivision plan was approved in 2005; it divided the property into 4 lots with a permanent private roadway known as Wingate Farm Road.

Considerable work has been undertaken to install the subdivision's infrastructure. However, the specified completion deadline and various extensions have expired. The primary purpose of the current application is to establish a new deadline for project completion and for the Board to consider the applicant's request for waivers from certain provisions of the Board's *Subdivision Rules and Regulations* which are now in effect. The Board has also worked with the applicant and project engineer to revise the plan to bring it more in line with current subdivision standards.

The application and associated documents are on file at the offices of the Town Clerk and the Planning and Economic Development Board at Medway Town Hall, 155 Village Street and may be reviewed during regular business hours. The as-built plan and application materials have also been posted at the Board's web page at: <https://www.townofmedway.org/planning-economic-development-board/pages/wingate-farm-subdivision-plan>.

A revised subdivision plan has been submitted and is available for review at the web site noted above. Please review that plan and provide any comments you wish by September 7th. Please direct your comments to both me and Anna Rice in our office. Thank you.



dan@legacy-ce.com

508-376-8883(o)

508-868-8353(c)

730 Main Street

Suite 2C

Millis, MA 02054

August 18, 2022

Planning & Economic Development Board
155 Village Street
Town Offices
Medway, MA 02053

Ref: Wingate Farm
168 Holliston Street
Definitive Subdivision Modification

Dear Members of the Board:

Please find enclosed the following revised documents for the Wingate Farm Subdivision:

- Three copies of a revised subdivision plan (two full size and one 11x17);
- One copy of a new stormwater report; and
- A fire truck turning plan.

Note the following changes that have been incorporated in addition to the items discussed below:

- Lot 2 has been removed from the layout sheets as the applicant does not intend to build a home on it in the near future. We have, however, considered the likely future development of Lot 2 in the grading plan and proposed stormwater management system design to illustrate the adequacy of the subdivision to accommodate it.
- The configuration of Lot 3 has been slightly revised to address the fact that it did not comply with the lot shape factor requirement.
- The cul-de-sac configuration has been revised based on consultation with the Fire Department. The approved design relied on a driveway looping through Lot 3 with an 18-foot wide gravel road. Given that Lot 3 is now going to be a house instead of a riding arena, looping a driveway through it is not optimal. The Fire Department has asked us to widen the gravel road to 20 feet and has further allowed us to incorporate a T-style turnaround area in lieu of the previously approved design. We have made the changes to the road width and turnaround accordingly. With respect to the location of the T-style turnaround, with approval from the Fire Department, we have positioned the turnaround in an easement on Lot 3 in an



area that is currently a gravel driveway (constructed with the previously installed infrastructure). To position the turnaround anywhere else would necessitate the removal of a significant number of additional trees in and around the cul-de-sac area, which the applicant would like to avoid.

- Given that it is likely that someone may want to pave this private road at some point in the future, we have designed the new stormwater management system assuming it is paved. Thus, the applicant could have the option of installing either the originally approved gravel surface or a paved surface.

As discussed below, the enclosed revisions seek to address the comments previously generated by Tetra Tech via a September 6, 2017 punch list letter and a March 23, 2018 comment letter addressing the subdivision modification request. While we did respond to each of these comments previously, the following sections restate those comments and provide updated responses based on our redesign efforts.

2017-12-07 Tetra Tech (TT) Punch List:

Based on our review of the site conditions and approved plan, we agree that the items noted in Tetra Tech's updated punch list need to be completed. Those items are summarized as follows:

1. Remove 2" of existing roadway gravel and install design finished course of recycled asphalt material (note that the roadway needs to be slightly widened as discussed above).
2. Install landscape plantings per approved plan (note that we have revised the plant list to meet the Conservation agent's current requirements).
3. Install electric utilities.
4. Sight distance improvements (see discussion below).
5. Note that the prior comments about the stormwater management system do not apply as the enclosed revised documents proposed new stormwater BMPs to supplement the existing constructed BMPs.



2018-03-23 Tetra Tech (TT) Memo (addressing requirements of current regulations):

General Response: We recognize that there are several documentation requirements from the current subdivision regulations that are not reflected on the previously approved subdivision plan. It is our view, however, that most will not bring substantive value to the subdivision design and would only serve to incur unnecessary cost to the Applicant. Per our prior discussions with the Board, we have focused our efforts on the important, substantive questions raised, namely an upgrade to the stormwater management system design and reconfiguring the road in a manner acceptable to the Fire Department. See below for further discussion:

Stormwater Items:

1. *Comment: Existing and proposed watershed maps have not been provided in the Stormwater Report.*
2. *Comment: A map of proposed drainage areas tributary to catch basins has not been included in the Stormwater Report.*
3. *Comment: A summary of soils types at the site has not been provided.*
4. *Comment: The applicant has not provided proposed catch basin grate calculations.*
5. *Comment: Calculations for all culverts proposed have not been provided. Culvert analysis of the rip-rap sump and 8" ductile iron pipe culvert has not been included in the drainage analysis.*
6. *Comment: The Long-Term Operation and Maintenance (O&M) Plan does not appear to meet current Stormwater Standards. Furthermore, Stormceptor unit has not been included in the plan.*
7. *Comment: The Applicant has not provided test pit information; however, exfiltration is not considered in the design of the "wetland pond" and therefore test pitting will only be required to confirm soil types for proposed roof drain infiltration.*
17. *Comment: Applicant has included O&M Plan on the Plans. However, inspection and maintenance requirements do not meet current Stormwater Standards.*
19. *Comment: The Applicant has not provided a Stormwater Pollution Prevention Plan (SWPPP).*
20. *Comment: The Plans show house footprints at forty feet (40') by sixty feet (60'). Proposed houses should be shown with a footprint of forty (40') by eight feet (80').*
36. *Comment: Peak rate for the one-hundred (100) year event is greater in the post-development condition.*
37. *Comment: The applicant has not submitted a construction term erosion control plan or SWPPP.*
38. *Comment: The O&M Plan provided does not meet minimum criteria as stated in the Stormwater Standards.*
39. *Comment: The applicant has not submitted necessary documentation for prohibition of illicit discharges at the site.*
40. *Comment: We recommend provide a narrative and checklist of how the Project meets each of the ten (10) Stormwater Standards.*
41. *Comment: Post-development runoff and volume is greater than pre-development for the twenty-five (25) and one-hundred (100) year storm events.*



42. *Comment: Detention basins should be located on their own parcels, not on individual house lots. Proposed detention basin is located within Lot 4, maintenance and access easement has been provided.*

Responses: It is our understanding that the Town no longer prefers separate parcels for stormwater BMPs due to tax collection concerns. In addition, the prior approval did not require it. The enclosed plans propose easements so that the homeowners association for the development can maintain the stormwater system.

43. *Comment: The applicant is proposing using eight-inch (8") ductile iron pipe for driveway culverts, potentially due to cover issues. Regulations require reinforced pipe.*

Response: While the culvert in question has been eliminated, given that the subdivision will be a private way, we will seek an additional waiver to allow the use of HDPE pipe for the newly proposed stormwater BMPs.

44. *Comment: We recommend the applicant provide a narrative documenting compliance with "Article XXVI Stormwater Management and Land Disturbance" of the Town of Medway General Bylaws.*

45. *Comment: The applicant has not supplied drainage figures. Figures are essential to cross-referencing proposed HydroCAD analysis with areas on the site.*

46. *Comment: Discharge points from the site have not been shown. These points are essential to understanding and comparing pre- vs. post-development runoff analysis.*

Overall Stormwater Response: We have provided an entirely new stormwater analysis with the typically required contents, which should address the questions raised above. Based on discussion with Town staff, we have concluded that a Land Disturbance permit application will be submitted to the PEBD as part of this review process since there is no longer a need for a new Order of Conditions for subdivision infrastructure work. We will submit that application shortly.

It is important to note that the previously approved stormwater management system has been installed, including all catch basins, manholes, a stormceptor unit, piping and the previously designed stormwater basin. Unfortunately, however, those installed BMPs are not useful in meeting certain current design standards. Most notably, given the elevation of high groundwater on the site, the installed BMPs are generally too low to be able to provide any stormwater infiltration. We have therefore designed two new shallow swale and infiltration systems that will capture, treat and infiltrate runoff from the proposed road. Excess stormwater runoff is then routed into the existing piping infrastructure and will subsequently pass through the Stormceptor unit and the existing stormwater basin before being discharged to the nearby wetland area. We have also proposed on-site roof runoff infiltration systems for the three new houses.



Sight Distance Items:

8. *Comment: The applicant has not provided sight distance calculations for proposed intersection with Holliston Street.*
26. *Comment: Sight distances have not been shown on the Plans.*

Sight Distance Response: Based on our prior submissions addressing sight distance and discussion with the Board, it was determined that the applicant will install a 30" W2-2L (left intersection ahead sign) with a W16-4 below reading "250 feet" on the southbound approach. In addition, if not done prior to lot development, the applicant will install a speed display feedback sign on the southbound approach. These notes have been added to sheet C-4.

Previously Waived Items: It is noted that this subdivision is approved under a prior version of the subdivision regulations. Provided the Board were to agree to extend the time to complete the construction of the subdivision infrastructure, we do not believe that new waivers would be needed for the following items since they have already been waived. In general, it should be noted that most of the waivers revolve around accommodating the low-impact design of the proposed private way, which we believe to be a beneficial design feature.

11. *Comment: Vertical datum has not been noted on the Plans. The applicant requested a waiver from similar regulation and based on the waiver request it can be assumed vertical elevation are in the NGVD 29 datum, not the required NAVD 88 datum.*

Response: See the General Response above. Updating the datum of the plan would not result in any material improvement in the design. We have added a notation of the datum on the sheet C-1 along with a correction factor to convert to NAVD88 for reference.

18. *Comment: Street lights have not been proposed.*

Response: This item was previously waived in favor of light posts at driveways.

23. *Comment: The applicant has proposed an eighteen-foot (18') traveled way. In past projects the Medway Fire Chief has required a twenty-foot (20') way for proper access to all lots with emergency vehicles.*

Response: The Fire Department has approved of widening the gravel road to 20 feet with a T-style turnaround in the location shown on the attached plan.



24. *Comment: The applicant has proposed minimum horizontal centerline radii of less than the required one-hundred fifty feet (150').*
25. *Comment: The applicant has proposed property line radius at intersection of Holliston street right-of-way of less than the required twenty-eight-foot (28') minimum. Proposed edge of pavement radius is also less than the required forty-foot (40') minimum.*
27. *Comment: The applicant has proposed a private way that is less than the required fifty feet (50').*
30. *Comment: The applicant has proposed a gravel roadway, Regulations require hot mix asphalt paving.*
31. *Comment: The applicant has not proposed vertical granite curbing at intersection with Holliston Street.*
32. *Comment: The applicant has not proposed curbing along the entire length of the subdivision roadway.*
33. *Comment: Street trees have not been proposed. However, the applicant proposes to retain as many mature trees as possible as part of the Project.*
34. *Comment: The applicant has not proposed street lighting. This regulation has been waived in the past and driveway lights required at each driveway opening.*

Other Items:

9. *Comment: An ANRAD determination from Medway Conservation Commission has not been supplied by the applicant, wetlands exist on the site.*

Response: This development was previously approved, and an Order of Conditions was previously issued, which is equivalent to an ANRAD. While we believe this regulation requirement is technically met, it should be understood that the proposed roadway improvements that would result from the enclosed revised plan do not require a new Order of Conditions from the Conservation Commission because none of the infrastructure work falls within the buffer zone. The wetland and its buffer zone are shown on the revised plan. The applicant will seek a certificate of compliance from the Conservation Commission for the already constructed work in the buffer zone and future house lot construction will require a new Notice of Intent.

10. *Comment: The existing conditions plan does not contain locations of free-standing trees with a diameter of one-foot (1') or greater at twenty-four inches (24") above grade.*

Response: See the General Response above. We do not believe the significant cost associated with adding this information to the plan would substantively improve the subdivision design. As has been noted above, the Applicant has asked us to configure new stormwater BMPs specifically to avoid disturbance of existing trees to the maximum extent practicable.

12. *Comment: Wetland buffer zones per the Massachusetts Wetlands Protection Act have not been shown on the Plans.*

Response: The buffer zone is depicted on the revised plan.



13. *Comment: Lot shape factor lines have not been included for each lot.*

Response: None of the lots utilize an imaginary line for lot shape factor compliance.

14. *Comment: List of waivers should include items related to the submission of a definitive subdivision plan.*

Response: If the Board were to extend the time to construct the subdivision after the resolution of the remaining technical questions, we do not believe that any further waivers would be needed.

15. *Comment: Sewage disposal system has not been shown for Lot 2.*

Response: A prospective on-site septic system location has been added to sheet C-4.

16. *Comment: The applicant has not supplied test pit data.*

Response: In addition to the previous test pit data in the original design, we have undertaken new test pits as described in the attached revised documents.

21. *Comment: The applicant shall provide a statement on plans that proposed septic facilities will be approved by Medway Board of Health prior to house construction, see regulation for wording.*

Response: This note has been added to sheet C-4.

22. *Comment: The applicant has not stated spare conduit on the "Typical Driveway Section" detail.*

Response: This note has been added to sheet C-7.

28. *Comment: The applicant has proposed portions of the proposed private way at less than minimum 2% grade.*

Response: The revised proposed profile specifies minimum 2% slopes.

29. *Comment: We recommend the applicant consult with the Medway Fire Chief to determine if proposed turnaround is sufficient for emergency vehicles.*

Response: As noted above, the Fire Department has reviewed and found the enclosed design acceptable. We will seek written confirmation for the PEBD files.

35. *Comment: Areas of snow removal should be shown on the Plans. Snow should not be placed in stormwater BMP's.*

Response: Sheet C-6 identifies that snow storage will be along the shoulders of the private way.



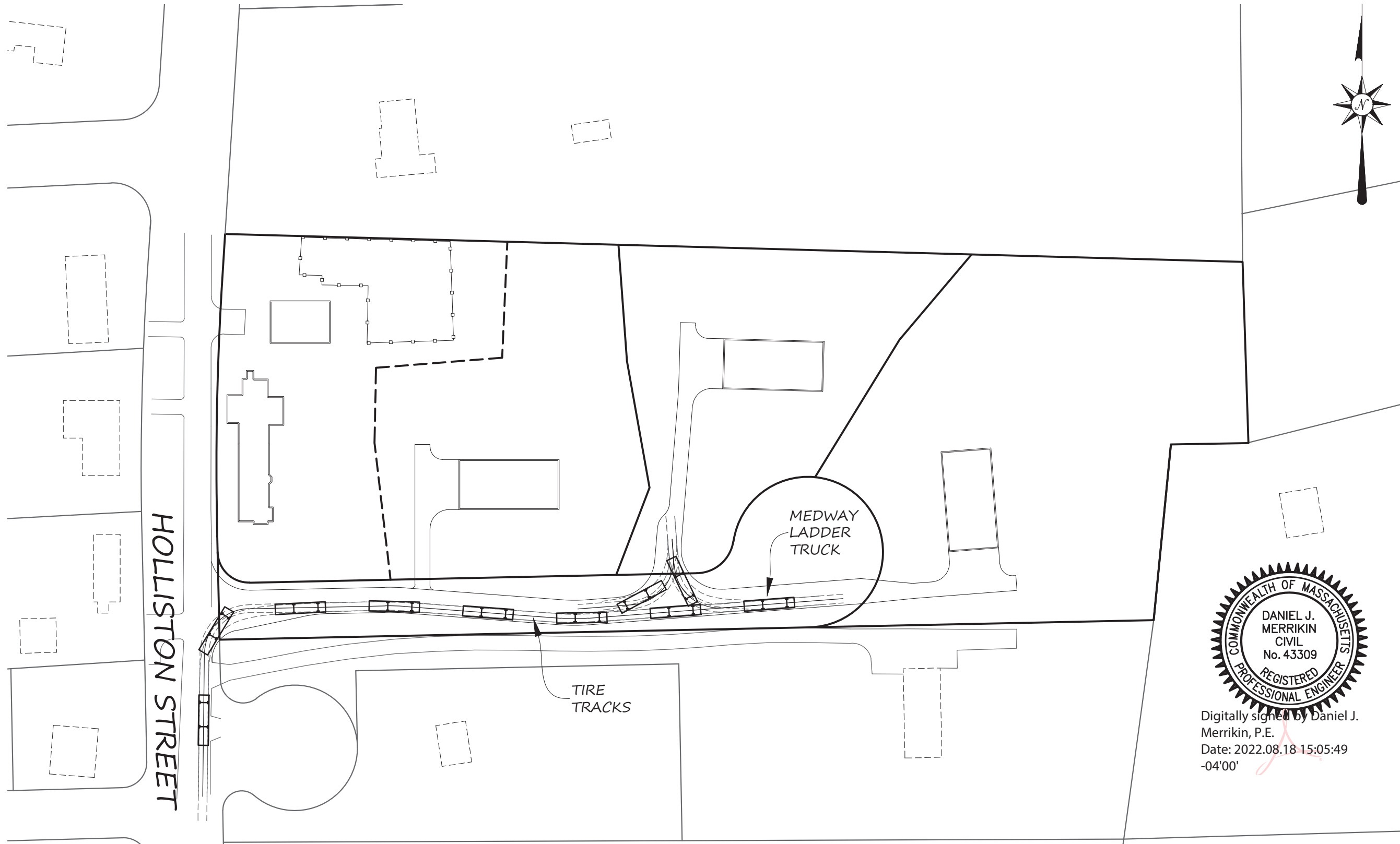
Do not hesitate to contact me should you have any questions or comments.

Yours Truly,

LEGACY ENGINEERING LLC

Daniel J. Merrikin, P.E.
President





PLAN SCALE: 1"=80'



PLAN DATE: AUGUST 18, 2022

REVISION	DATE	BY



Digitally signed by Daniel J. Merrikin, P.E.
Date: 2022.08.18 15:05:49 -04'00'

WINGATE FARM
FIRE TRUCK TURNING
PLAN OF LAND
IN
MEDWAY, MA

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)

SHEET 1 OF 1



LEGACY
ENGINEERING

SUBDIVISION MODIFICATION PLAN
WINGATE FARM
A PRIVATE WAY DEFINITIVE SUBDIVISION PLAN

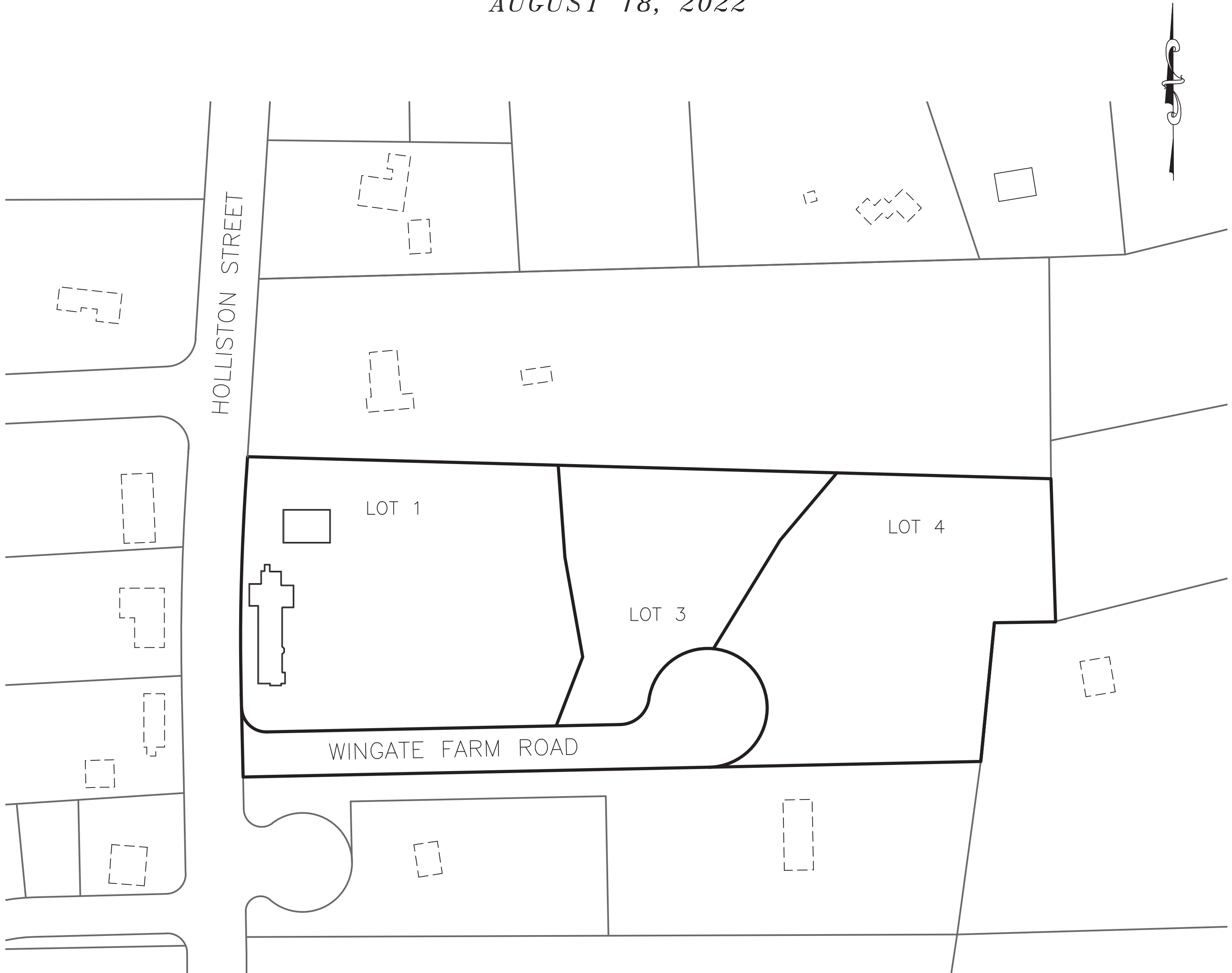
LOCATED IN
MEDWAY, MASSACHUSETTS

OWNERS: EUGENE AND KARYL WALSH
168 HOLLISTON STREET MEDWAY, MA
(508)-533-8440

PREPARED BY:
LEGACY ENGINEERING LLC
730 MAIN STREET, SUITE 2C
MILLIS, MA 02054
AUGUST 18, 2022

WAIVERS

- SECTION 3.3.2.16: TO ALLOW THE USE OF THE 1929 NGVD DATUM IN LIEU OF THE NAVD 88 DATUM AS THE 1929 DATUM WAS USED PREVIOUSLY.
- SECTION 4.1.2: TO ALLOW FOR A MODIFICATION OF THE STANDARD ROADWAY CROSS-SECTION & MASS. HIGHWAY STANDARDS, AS ON THE APPROVED DRAWINGS, AND TO ALLOW FOR A PRIVATE WAY DESIGNATION OF THE MINOR ROADWAY.
- SECTION 4.1.8: TO ALLOW FOR AN AS-BUILT PLAN IN LIEU OF A STREET ACCEPTANCE PLAN AND ALLOW FOR THE ROADWAY TO BE MAINTAINED AS A PRIVATE WAY BY THE ABUTTERS.
- SECTION 4.2: TO WAIVE ALL CONSTRUCTION STANDARDS FOR A TYPICAL ROADWAY AND ALLOW THE PROPOSED WAY TO BE CONSTRUCTED AS SHOWN ON THE APPROVED DRAWING. SPECIFIC EXCLUSIONS ARE:
- 4.2.2.2: TO ELIMINATE THE MINIMUM CENTERLINE RADIUS OF THE ROADWAY AND ALLOW THE ROAD LAYOUT AS SHOWN.
 - 4.2.3.1: TO REDUCE THE ROADWAY RIGHT OF WAY FROM FIFTY (50) FEET TO FORTY FIVE (45) FEET THROUGHOUT THE ROADWAY.
 - 4.2.4.3: TO ELIMINATE THE REQUIREMENT FOR A SEPARATE LEVELING AREA AND ALLOW IT TO BE INCORPORATED IN THE VERTICAL CURVE.
 - 4.2.6.7: TO REDUCE THE ROADWAY WIDTH FROM 26'-0" TO 20'-0" WITH GRASS SWALES.
 - 4.2.6.8: TO ALLOW THE USE OF A RECYCLED ASPHALT MATERIAL FOR THE ROADWAY SURFACE IN LIEU OF FULL BITUMINOUS PAVEMENT (APPLICANT HAS THE OPTION TO PAVE IF DESIRED).
 - 4.2.7: TO ELIMINATE THE REQUIREMENT FOR CURBING ALONG THE EDGE OF THE ROAD.
 - 4.2.8: TO ELIMINATE THE CURB CUT REQUIREMENTS.
 - 4.2.9.1 & 2: TO ELIMINATE THE REQUIREMENT FOR SIDEWALKS.
- SECTION 4.9.1: TO ALLOW FOR NO STREET LIGHTING.
- SECTION 4.11.1: TO WAIVE THE REQUIREMENT FOR STREET TREES AS THE SITE HAS MANY MATURE TREES THAT WILL REMAIN AFTER CONSTRUCTION.



LOCUS MAP
1' = 100'

INDEX TO DRAWINGS:

- SHEET C-0: COVER SHEET
SHEET C-1: KEY SHEET
SHEET C-2: EXISTING CONDITIONS
SHEET C-3: LAYOUT
SHEET C-4: GRADING & UTILITIES
SHEET C-5: EROSION CONTROL
SHEET C-6: PROFILES & PLAN VIEW
SHEET C-7: CONSTRUCTION DETAILS
SHEET C-8: CONSTRUCTION DETAILS
SHEET C-9: CONSTRUCTION DETAILS



Digitally signed by Daniel J. Merrikin, P.E.
Date: 2022.08.18 15:30:42 -04'00'

FOR REGISTRY USE

NOT FOR CONSTRUCTION.
ISSUED FOR REVIEW.

OWNER/APPLICANT
EUGENE & KARYL WALSH
168 HOLLISTON STREET
MEDWAY, MA 02053

ZONING DISTRICT
AR-1

ASSESSORS PARCEL
MAP 9 PARCELS 34, 35, 36, 37

PLAN & DEED REFERENCE
DEED: BOOK 25288, PAGE 92
DEED: BOOK 35797, PAGE 582
PLAN: BOOK 574 NO. 64

NOTE: THIS SUBDIVISION PLAN IS A MODIFICATION TO A PREVIOUSLY APPROVED SUBDIVISION BY CONSOLIDATED DESIGN GROUP INC., RECORDED IN THE NORFOLK COUNTY REGISTRY OF DEEDS IN PLAN BOOK 574 NO. 64 AND PLAN BOOK 575 NO. 78.

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

PROFESSIONAL LAND SURVEYOR

APPROVED _____, SUBJECT TO COVENANT CONDITIONS SET FORTH IN A COVENANT EXECUTED BY TRUSTEES OF THE WINGATE FARM REALTY TRUST DATED NOVEMBER 5, 2007 AND RECORDED AT NORFOLK REGISTRY OF DEEDS, BOOK NO. 25288, PAGE NO. 94.

I CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE THE PLANNING BOARD APPROVAL AND NO APPEAL HAS BEEN FILED IN THIS OFFICE.

TOWN CLERK _____ DATE _____

DATE APPROVED: _____

DATE ENDORSED: _____

TOWN OF MEDWAY PLANNING BOARD

PLANNING BOARD ENDORSEMENT DOES NOT CONSTITUTE A DETERMINATION OF COMPLIANCE WITH THE MEDWAY ZONING BY-LAW.

PLAN SCALE: AS NOTED

PLAN DATE: AUGUST 18, 2022

WINGATE FARM DEFINITIVE
SUBDIVISION MODIFICATION
COVER SHEET
PLAN OF LAND IN
MEDWAY, MA

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)



LEGACY
ENGINEERING

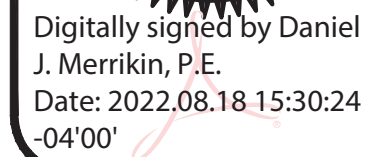
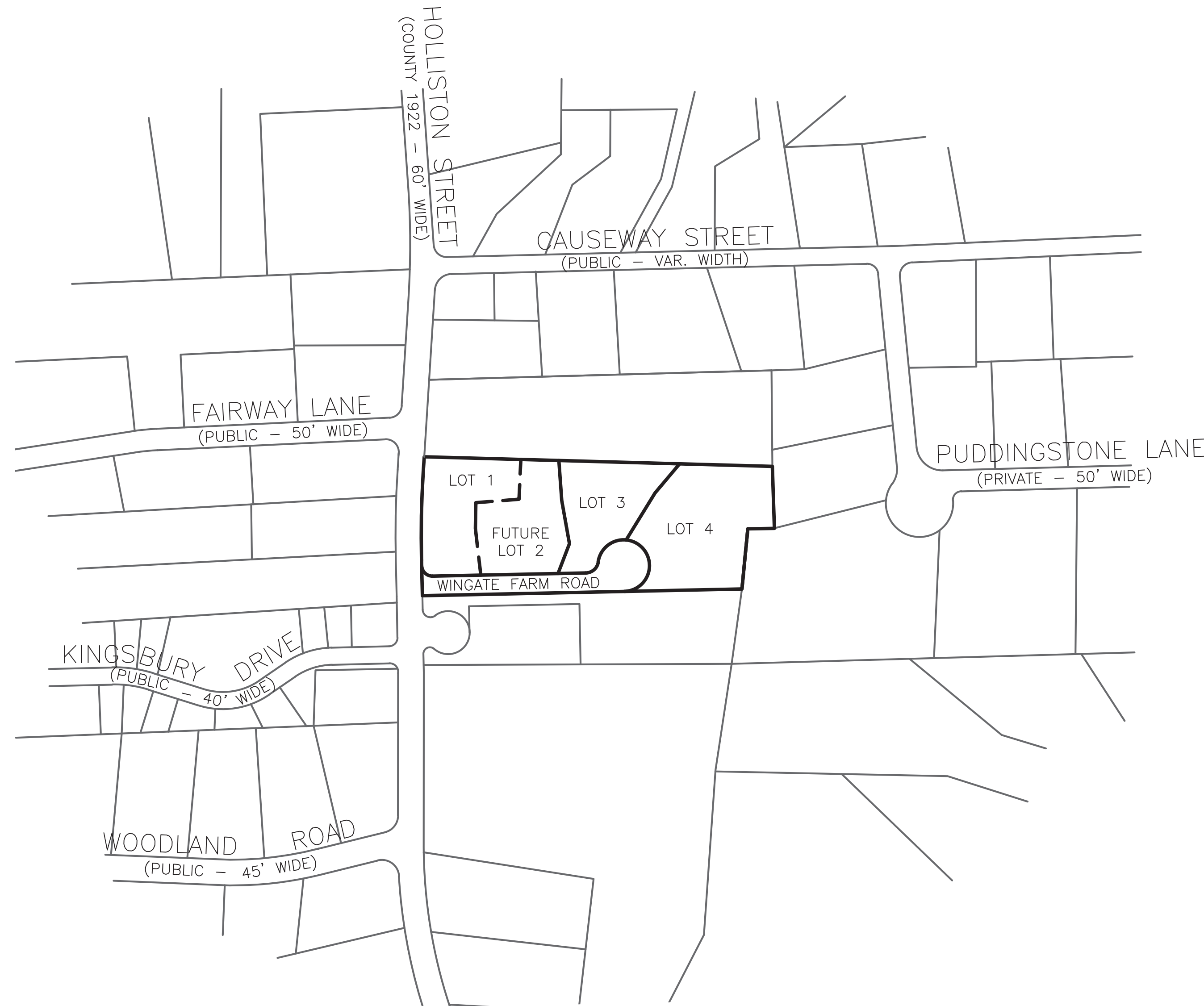
C-0

1. SURVEY NOTES:
 - A. SURVEY BY COLONIAL ENGINEERING, INC.
 - B. DATUM: NAVD29 (TO CONVERT TO NAVD88, LOWER ELEVATIONS BY 0.77 FEET)
2. EXISTING UTILITY INFORMATION IS BASED ON BEST AVAILABLE RECORDS FROM THE TOWN OF NORWOOD AND OTHER SOURCES AND VISIBLE SURFACE FEATURES SUCH AS MANHOLES, CATCH BASINS, UTILITY POLES/HYDRANTS, VALVE BOXES, ETC.... EXISTING UTILITY INFORMATION DEPICTED ON THESE PLANS ARE NOT WARRANTED TO BE CORRECT AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING ALL LOCATIONS PRIOR TO COMMENCEMENT OF WORK.
3. WINGATE FARM WAS ORIGINALLY APPROVED ON MAY 23, 2000. CONSTRUCTION BEGAN BUT HAS NOT YET BEEN COMPLETED. AS A RESULT, PORTIONS OF THE DEPICTED IMPROVEMENTS ARE INSTALLED AS OF THE DATE OF THIS PLAN.

1. THE CONTRACTOR SHALL CONTACT DISGSAFE AT 811 PRIOR TO ANY EXCAVATION ACTIVITIES.
2. THE DEVELOPER SHALL BE RESPONSIBLE FOR PROVIDING THE REQUIRED STREET NAME AND STOP SIGNS.
3. THE SUBDIVISION SHALL WAIVE ALL CONSTRUCTION SHALL CONFORM TO THE SUBDIVISION REGULATIONS.
4. DETAILS HAVE BEEN PROVIDED ON THE LAST SHEETS OF THIS PLAN SET. MOST OF THE DETAILS INCLUDED THEREIN ARE INTENDED TO MATCH THE REQUIREMENTS OF THE TOWN OF MEDWAY LAND "SUBDIVISION RULES" AND REGULATIONS FOR ROADWAY AND UTILITY CONSTRUCTION. TO THE STANDARD DETAILS INCLUDED HEREIN DIFFER FROM THE SUBDIVISION RULES, THE SUBDIVISION RULES SHALL BE ADHERED TO UNLESS OTHERWISE AGREED BY THE PLANNING AND ECONOMIC DEVELOPMENT BOARD.

1. ALL PIPELINE LINEAR FOOTAGES REFERENCED IN THESE PLANS ARE HORIZONTAL DISTANCES AND DO NOT REFLECT THE SLOPED DISTANCE OF THE PIPELINE.
2. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE DESIGN OF ALL UNDERGROUND FIRE ALARM, GAS, ELECTRICAL, TELEPHONE, AND CABLE DISTRIBUTION SYSTEMS WITHIN THE ROADWAY RIGHT-OF-WAY. THE DESIGN SHALL INCLUDE THE APPROPRIATE CONDUIT RUNS AND JUNCTION BOX LOCATIONS. JUNCTION BOXES HAVE BEEN APPROXIMATELY SHOWN ON THE LOT CORNERS BUT SUCH LOCATIONS MAY BE CHANGED BY THE ELECTRIC COMPANY AT THE TIME OF CONSTRUCTION.
3. WATER MAINS SHALL BE CLASS 52 CEMENT LINED DUCTILE IRON PIPE AND BRASS VALVES. POTABLE WATER SYSTEMS TO BE LEAD FREE. UNLESS OTHERWISE NOTED, DRAIN PIPES WITHIN THE STREET LAYOUT SHALL BE CLASS III REINFORCED CONCRETE PIPE (RCP) EXCEPT WHERE OTHERWISE NOTED. DRAIN PIPING ON INDIVIDUAL LOTS MAY BE HDPE SUITABLE FOR H2O LOADINGS.

- CB: SINGLE-GRADE CATCH BASIN
- CB: DOUBLE-GRADE CATCH BASIN
- PTU X'S: PROPRIETARY STORMWATER UNIT
- MAN: MANHOLE
- TR. DR.: DRENCH DRAIN
- INFIL. TR.: INFILTRATION TRENCH
- X'D: DRAIN PIPELINE
- RCP: REINFORCED CONCRETE PIPE
- PVC: POLYVINYL CHLORIDE PIPE
- SMH: SEWER MANHOLE
- X'S: SEWER PIPELINE
- O.C.O.: SEWER SERVICE CLEANOUT
- X'W: WATER MAIN
- HYD. WYDRANT
- G.V.: WATER GATE VALVE
- C.S.: WATER SERVICE CURB STOP
- M.B.: WATER SERVICE METER BOX
- C: GAS PIPELINE
- E: ELECTRIC CONDUIT
- L.P.: LIGHT POLE
- U.P.: UTILITY POLE
- G.Y.: GUY WIRE
- S.P.: TRAFFIC SIGNAL POLE
- 252: EXISTING CONTOUR
- 252: PROPOSED CONTOUR
- E.O.P.: EDGE OF PAVEMENT
- C.B.B.: INTERLOCKED BIT. BERM
- F.B.B.: FERTILIZED BITUMINOUS BERM
- V.G.C.: SLOPED GRANITE CURB
- S.G.C.: VERTICAL GRANITE CURB
- V.C.C.: VERTICAL CONCRETE CURB
- C.C.S.: CONCRETE SLAB
- G.V.: GATE VALVE
- C.L.F.: CHAIN LINK FENCE
- W.S.F.: WOOD STOCKADE FENCE
- P.P.F.: PICKET FENCE
- G.R.: GUARD RAIL
- C.R.: HANDICAP CURB CUT



NOT FOR CONSTRUCTION.
ISSUED FOR REVIEW.

OWNER/APPLICANT
EUGENE & KARYL WALSH
168 HOLLISTON STREET
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I CERTIFY THAT THIS PLAN HAS BEEN
PREPARED IN CONFORMITY WITH THE RULES
AND REGULATIONS OF THE REGISTERS OF
DEEDS OF THE COMMONWEALTH OF
MASSACHUSETTS.

PROFESSIONAL LAND SURVEYOR

APPROVED _____, SUBJECT
TO COVENANT CONDITIONS SET FORTH IN A
COVENANT EXECUTED BY TRUSTEES OF THE
WINGATE FARM REALTY TRUST DATED NOVEMBER
5, 2007 AND RECORDED AT NORFOLK REGISTRY
OF DEEDS, BOOK NO. 25288, PAGE NO. 94.

I CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE
THE PLANNING BOARD APPROVAL AND NO
APPEAL HAS BEEN FILED IN THIS OFFICE.

TOWN CLERK

DATE

DATE APPROVED: _____

DATE ENDORSED: _____

TOWN OF MEDWAY PLANNING BOARD

PLANNING BOARD ENDORSEMENT DOES NOT
CONSTITUTE A DETERMINATION OF COMPLIANCE
WITH THE MEDWAY ZONING BY-LAW.

The diagram shows a large rectangle representing a 1000' by 100' area. It is divided vertically into two 500' long sections. The left section is further divided into four 125' wide strips, and the right section is divided into two 250' wide strips. The strips are numbered 1 through 8 from left to right. The diagram illustrates a checkerboard pattern of shaded and unshaded squares within the strips, with the pattern repeating every 250'.

PLAN DATE: AUGUST 18, 2022

WINGATE FARM DEFINITIVE
SUBDIVISION MODIFICATION
EXISTING CONDITIONS
PLAN OF LAND IN
MEDWAY, MA

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)



LEGACY
ENGINEERING

NOTES:
1. ON-SITE EXISTING CONDITIONS INFORMATION DEPICTED ON THIS SHEET REPRESENTS CONDITIONS PRIOR TO THE ONGOING SITE DEVELOPMENT AND IS TAKEN FROM THE PREVIOUS SUBDIVISION PLANS.
2. OFF-SITE CONDITIONS TAKE FROM AERIAL PHOTOGRAPHS AND OTHER AVAILABLE INFORMATION.


Digitally signed by Daniel J. Merrikin, P.E.
Date: 2022.08.18 15:30:07
04'00"

FOR REGISTRY USE

FAIRWAY LANE
(PUBLIC-50' WIDE)

N/F ROBERT
HOWLETT

HOUSE
171

N/F JOSEPH
MARTINO

HOUSE
169

N/F WILLIAM
RICHARDS

HOUSE
167

N/F TIMBER
CREST LLC

HOUSE
165

HOLLISTON STREET

HOUSE
170

N/F JOHN TIGHE

TBM NAIL
IN 14" OAK
ELEV=258.68

TBM NAIL
IN 12" PINE
ELEV=269.61

EXISTING LOT
239,923 S.F.
5.5 ACRES

LIMIT OF
BORDERING
VEGETATED
WETLAND

BORDERING
VEGETATED
WETLANDS

N/F MARC
MCNULTY

NOT FOR CONSTRUCTION.
ISSUED FOR REVIEW.

OWNER/APPLICANT
EUGENE & KARYL WALSH
168 HOLLISTON STREET
MEDWAY, MA 02053

ZONING DISTRICT
AR-1

ASSESSORS PARCEL
MAP 9 PARCELS 34, 35, 36, 37

PLAN & DEED REFERENCE
DEED: BOOK 25288, PAGE 92
DEED: BOOK 35797, PAGE 582
PLAN: BOOK 574 NO. 64

NOTE: THIS SUBDIVISION PLAN IS A MODIFICATION TO A PREVIOUSLY APPROVED SUBDIVISION BY CONSOLIDATED DESIGN GROUP INC., RECORDED IN THE NORFOLK COUNTY REGISTRY OF DEEDS IN PLAN BOOK 574 NO. 64 AND PLAN BOOK 575 NO. 78.

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

PROFESSIONAL LAND SURVEYOR

APPROVED _____ SUBJECT TO COVENANT CONDITIONS SET FORTH IN A COVENANT EXECUTED BY TRUSTEES OF THE WINGATE FARM REALTY TRUST DATED NOVEMBER 5, 2007 AND RECORDED AT NORFOLK REGISTRY OF DEEDS, BOOK NO. 25288, PAGE NO. 94.

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TOWN CLERK _____ DATE _____

DATE APPROVED: _____

DATE ENDORSED: _____

TOWN OF MEDWAY PLANNING BOARD

PLANNING BOARD ENDORSEMENT DOES NOT CONSTITUTE A DETERMINATION OF COMPLIANCE WITH THE MEDWAY ZONING BY-LAW.

PLAN SCALE: 1"=40'

PLAN DATE: AUGUST 18, 2022

REVISION

WINGATE FARM DEFINITIVE
SUBDIVISION MODIFICATION
EXISTING CONDITIONS
PLAN OF LAND IN
MEDWAY, MA

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)



LEGACY
ENGINEERING

C-2

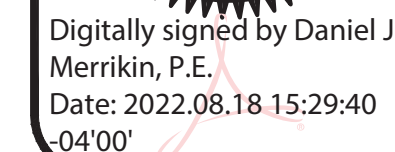
PLAN SCALE: 1"=40'

WITH THE MEDWAY ZONING BY-LAW.

LEGACY
ENGINEERING

WINGATE FARM DEFINITIVE
SUBDIVISION MODIFICATION
PROPOSED LAYOUT
PLAN OF LAND IN
MEDWAY, MA

1. NO DWELLING WILL BE CONSTRUCTED ON ANY LOT WITHOUT FIRST SECURING FROM THE BOARD OF HEALTH THE DISPOSAL WORKS CONSTRUCTION PERMIT REQUIRED BY TITLE 5 OF THE STATE ENVIRONMENTAL CODE.
2. INSTALL 30" W2-2L (LEFT INTERSECTION AHEAD SIGN) WITH W16-4 ("250 FEET"). IF NOT INSTALLED BY OTHERS PRIOR TO LOT DEVELOPMENT, INSTALL A SPEED DISPLAY FEEDBACK SIGN. SPECIFIC SIGN AND LOCATION TO BE APPROVED BY MEDWAY POLICE DEPARTMENT.



FOR REGISTRY USE

FAIRWAY LANE
(PUBLIC-50' WIDE)

N/F ROBERT
HOWLETT

N/F JOSEPH
MARTINO

N/F WILLIAM
RICHARDS

N/F TIMBER
CREST LLC

N/F JOHN TIGHE

N/F MARC
MCNULTY

NOT FOR CONSTRUCTION.
ISSUED FOR REVIEW.

OWNER/APPLICANT
EUGENE & KARYL WALSH
168 HOLLISTON STREET
MEDWAY, MA 02053

ZONING DISTRICT
AR-1

ASSESSORS PARCEL
MAP 9 PARCELS 34, 35, 36, 37

PLAN & DEED REFERENCE
DEED: BOOK 25288, PAGE 92
DEED: BOOK 35797, PAGE 582
PLAN: BOOK 574 NO. 64

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REGISTRY OF DEEDS IN PLAN BOOK
574 NO. 64 AND PLAN BOOK 575
NO. 78.

I CERTIFY THAT THIS PLAN HAS BEEN
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AND REGULATIONS OF THE REGISTERS OF
DEEDS OF THE COMMONWEALTH OF
MASSACHUSETTS.

PROFESSIONAL LAND SURVEYOR

APPROVED _____, SUBJECT
TO COVENANT CONDITIONS SET FORTH IN A
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DATE APPROVED: _____

DATE ENDORSED:

TOWN OF MEDWAY PLANNING BOARD

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WITH THE MEDWAY ZONING BY-LAW.

PLAN SCALE: 1"=40'

PLAN DATE: AUGUST 18, 2022

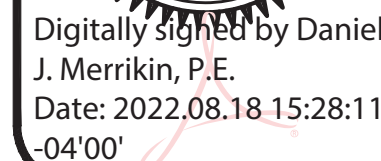
WINGATE FARM DEFINITIVE
SUBDIVISION MODIFICATION
GRADING AND UTILITY
PLAN OF LAND IN
MEDWAY, MA

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)

C-4



LEGACY
ENGINEERING



FOR REGISTRY USE

NOT FOR CONSTRUCTION.
ISSUED FOR REVIEW.

OWNER/APPLICANT
EUGENE & KARYL WALSH
168 HOLLISTON STREET
MEDWAY, MA 02053

ZONING DISTRICT
AR-1

ASSESSORS PARCEL
MAP 9 PARCELS 34, 35, 36, 37

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AND REGULATIONS OF THE REGISTERS OF
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MASSACHUSETTS.

PROFESSIONAL LAND SURVEYOR

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TO COVENANT CONDITIONS SET FORTH IN A
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----- TOWN CLERK ----- DATE -----

DATE APPROVED: _____

DATE ENDORSED:

TOWN OF MEDWAY PLANNING BOARD

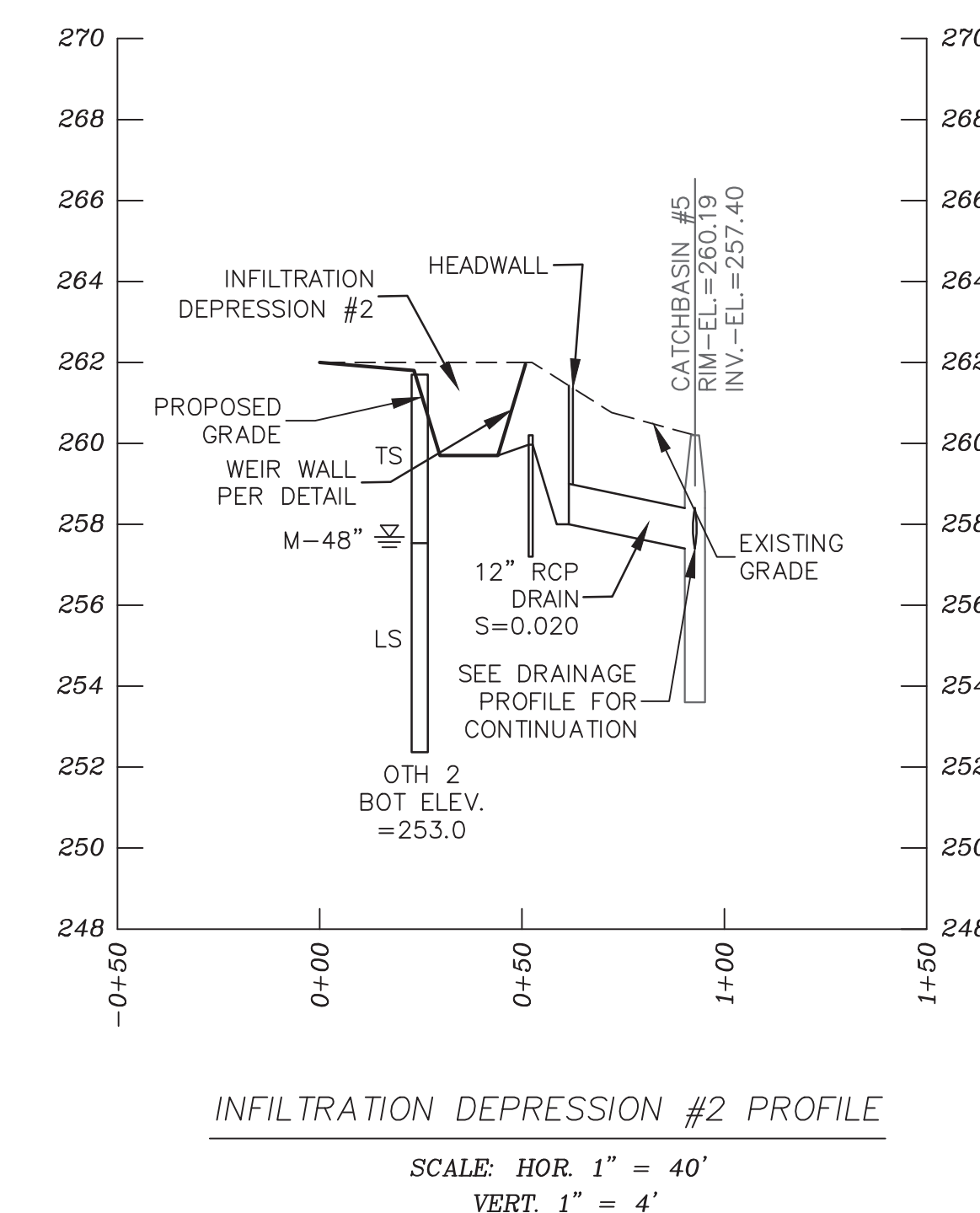
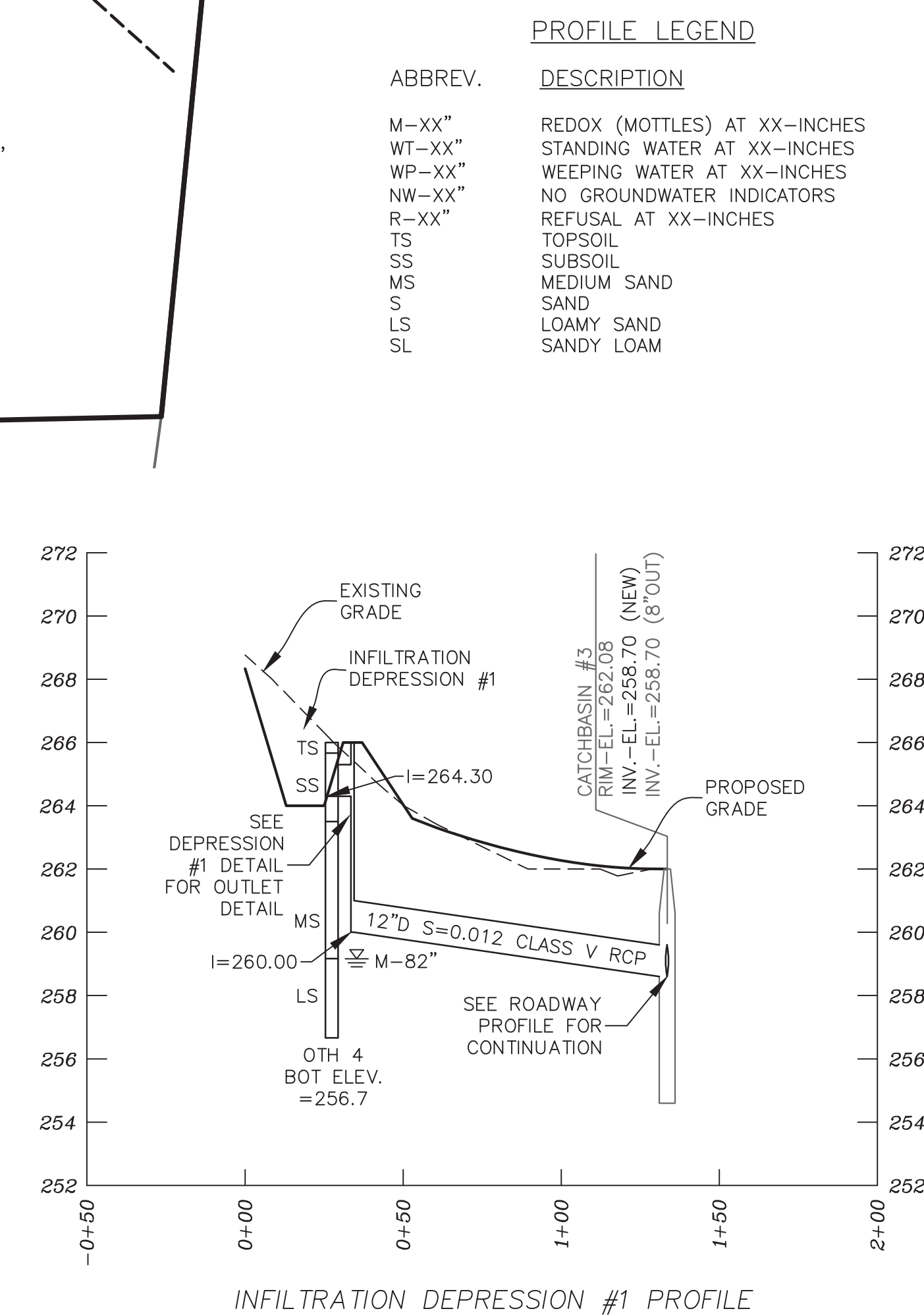
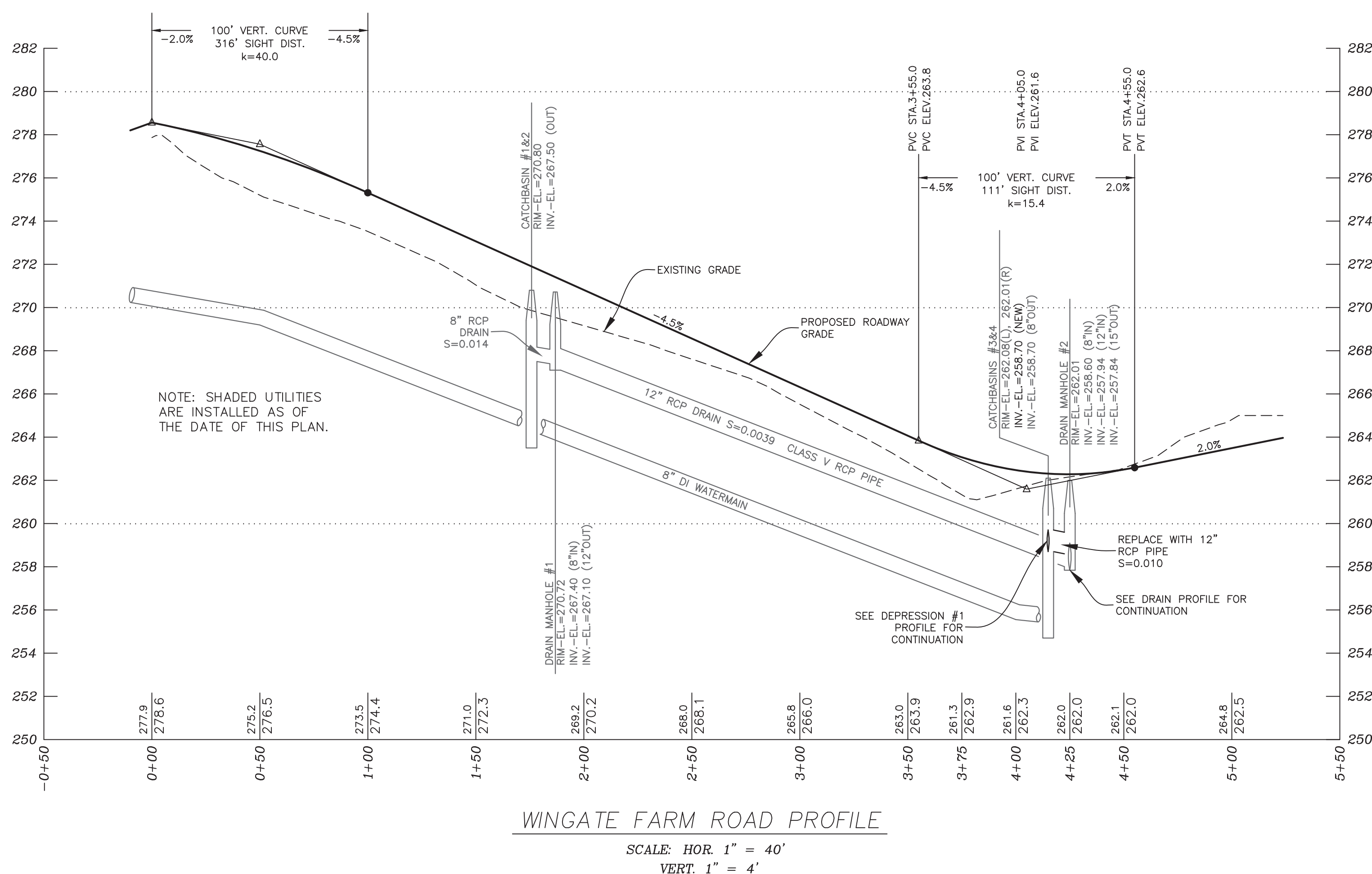
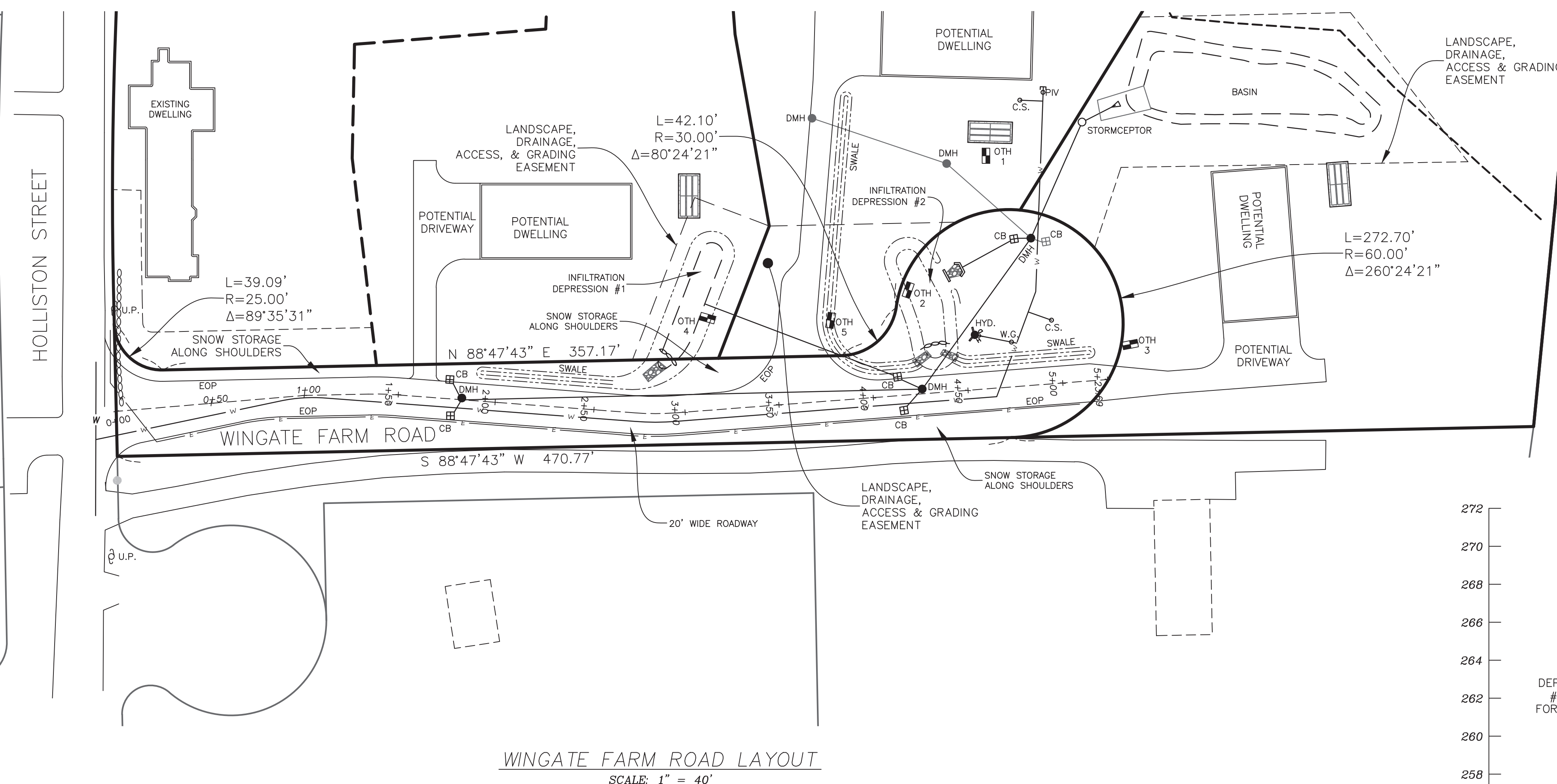
PLANNING BOARD ENDORSEMENT DOES NOT
CONSTITUTE A DETERMINATION OF COMPLIANCE
WITH THE MEDWAY ZONING BY-LAW.

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)



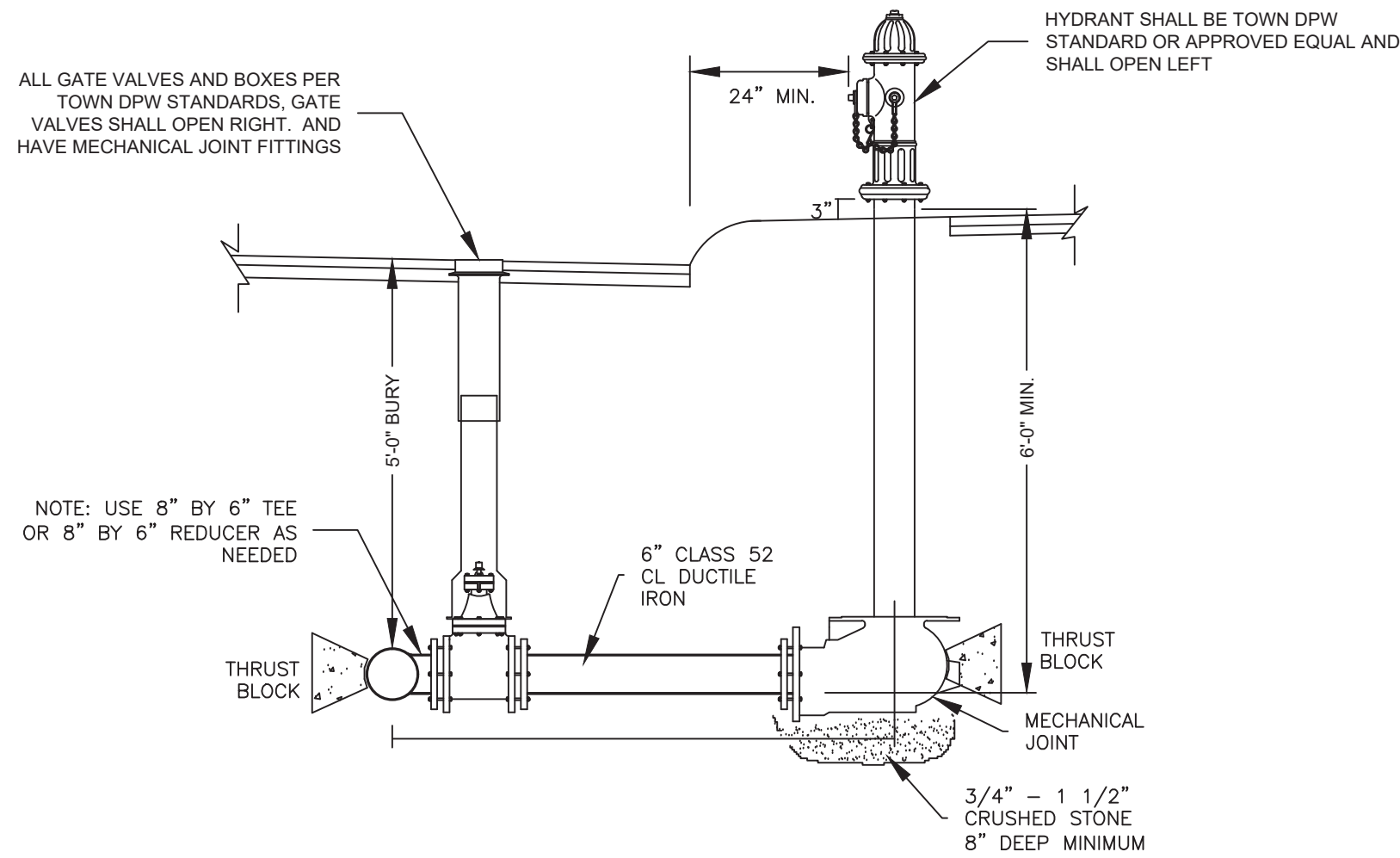
LEGACY
ENGINEERING

C-6

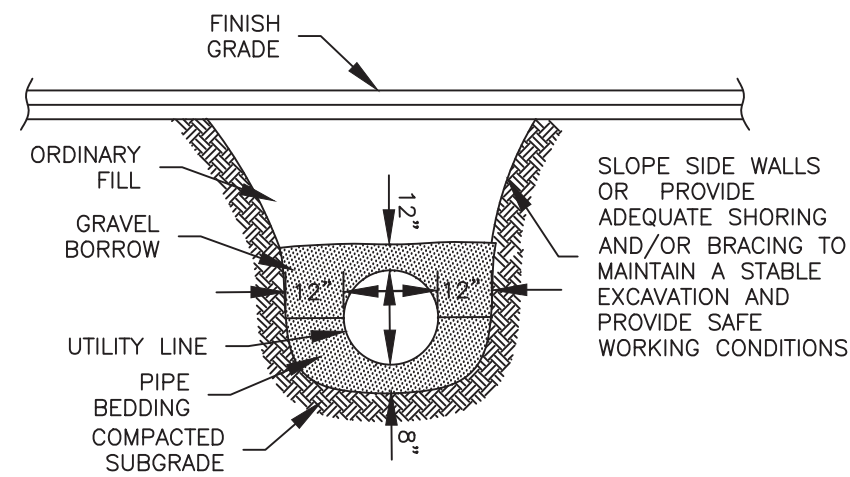


PLAN DATE: AUGUST 18, 2022

WINGATE FARM DEFINITIVE
SUBDIVISION MODIFICATION
PROFILES & PLAN VIEW
PLAN OF LAND IN
MEDWAY, MA

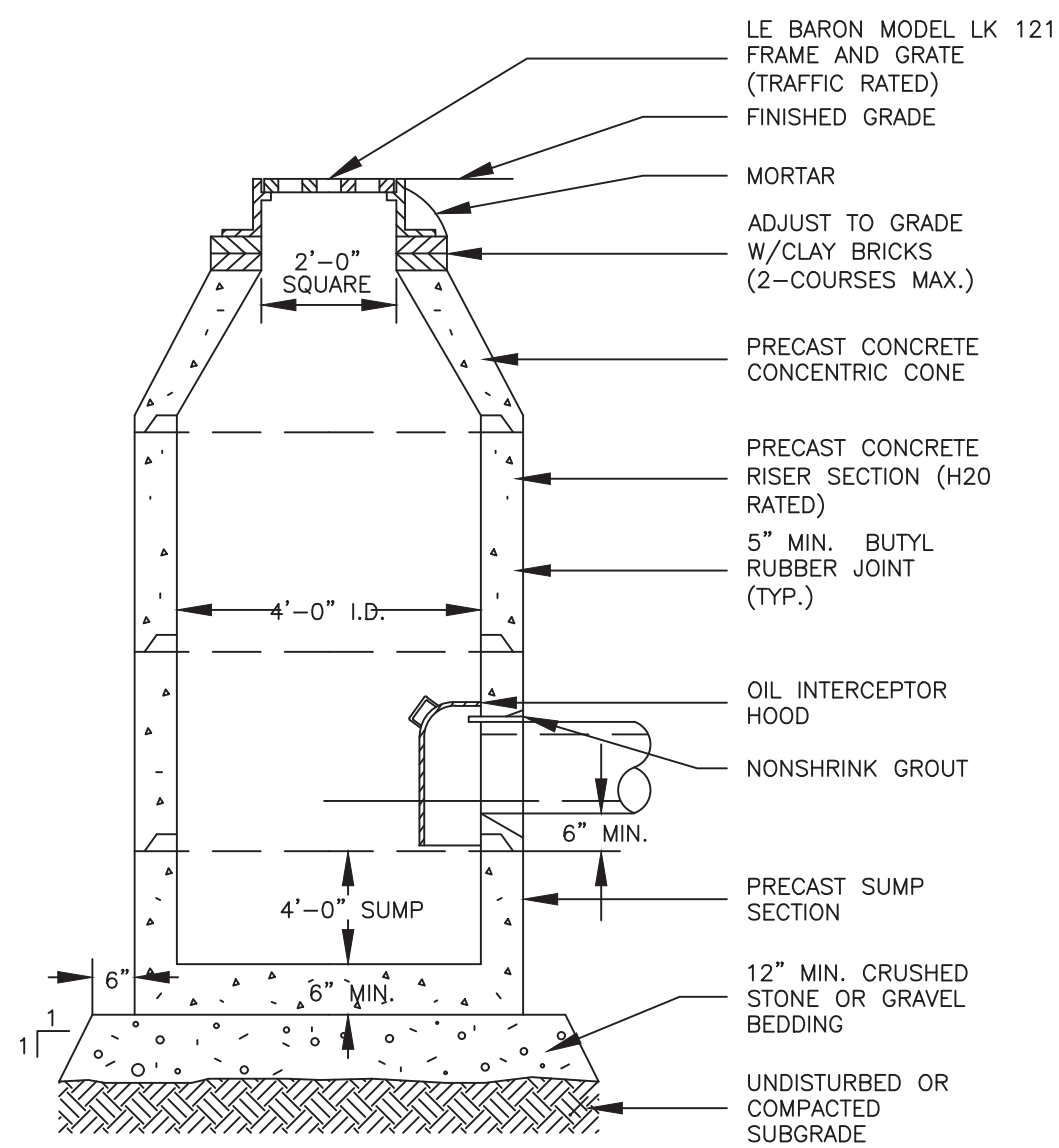


HYDRANT DETAIL
NTS



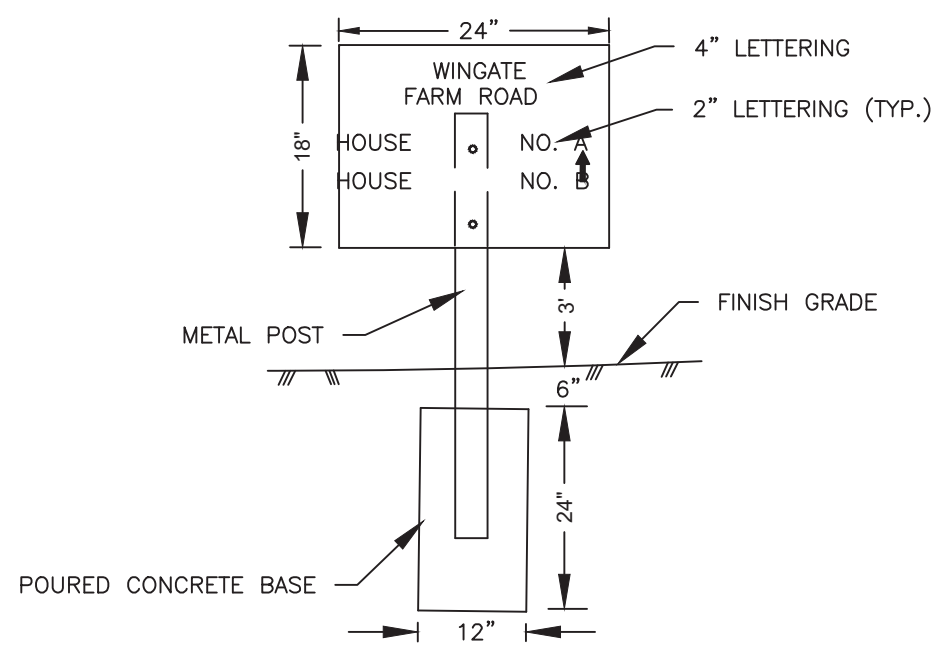
TYPICAL UTILITY TRENCH
NTS

- NOTES:
1. 8" SAND CUSHION REQUIRED AT ALL LEDGE OR PIPE CROSSING.
 2. NO STONE GREATER THAN 6" TO BE PLACED OVER PIPE TO FINISH GRADE.
 3. NO STONE GREATER THAN 6" WITHIN 12" OF PIPE.
 4. ALL WATER PIPE SHALL BE CLASS 52, CEMENT LINED DUCTILE IRON PIPE.
 5. ALL DRAIN PIPE SHALL BE CLASS IV RCP PIPE.



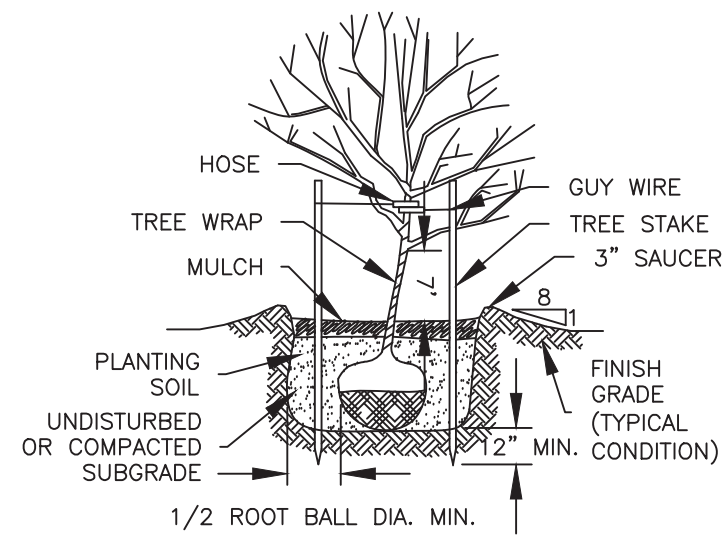
CATCH BASIN
NTS

NOTE: STRUCTURE AND CASTINGS AS PER THE TOWN DPW STANDARD SPECIFICATIONS



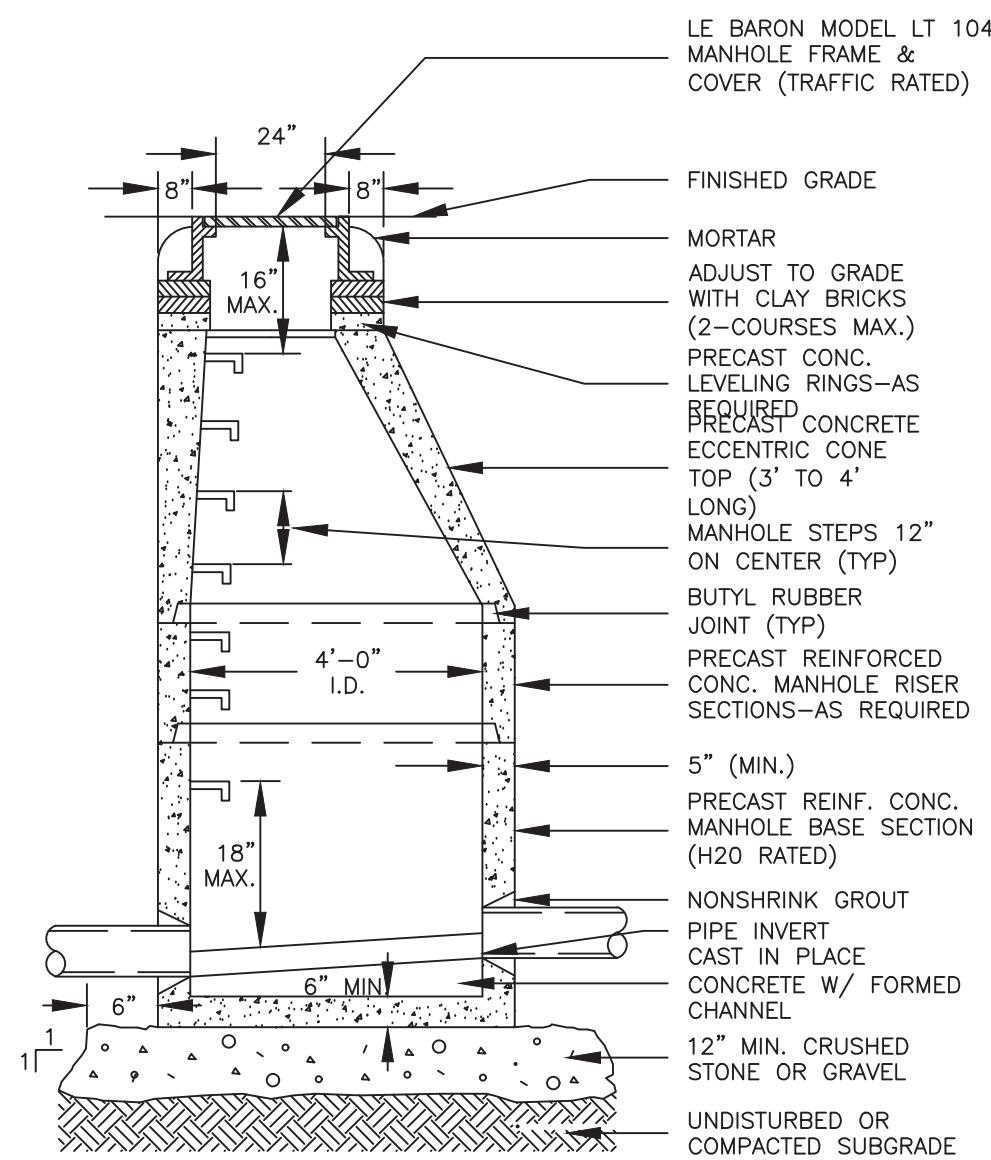
ACCESS SIGN DETAIL
NTS

NOTE: ALL LETTERING TO BE BLACK ON A NON-REFLECTING WHITE BACKGROUND, HOUSE SIGNS TO BE A MINIMUM OF 12" x 12" WITH SIMILAR LETTERING & DIRECTIONAL ARROW.



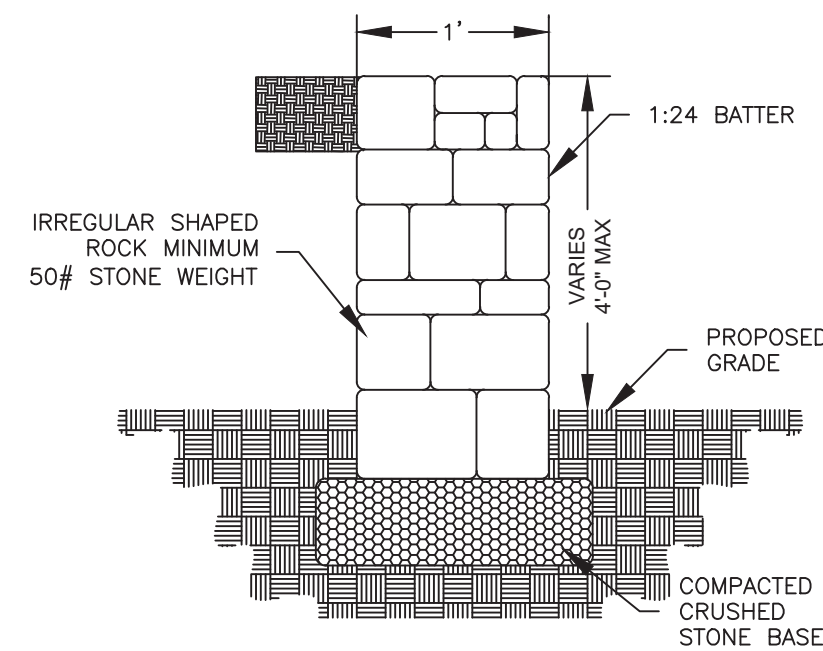
DECIDUOUS TREE PLANTING - STAKED
NTS

NOTE: ALL PROPOSED TREES SHALL BE A MINIMUM OF 12 FEET IN HEIGHT AND 3" CALIPPER (DIAMETER). DIAMETER OF TREES IS MEASURED AT A HEIGHT OF 12" TO 18" FROM FINISH GROUND.

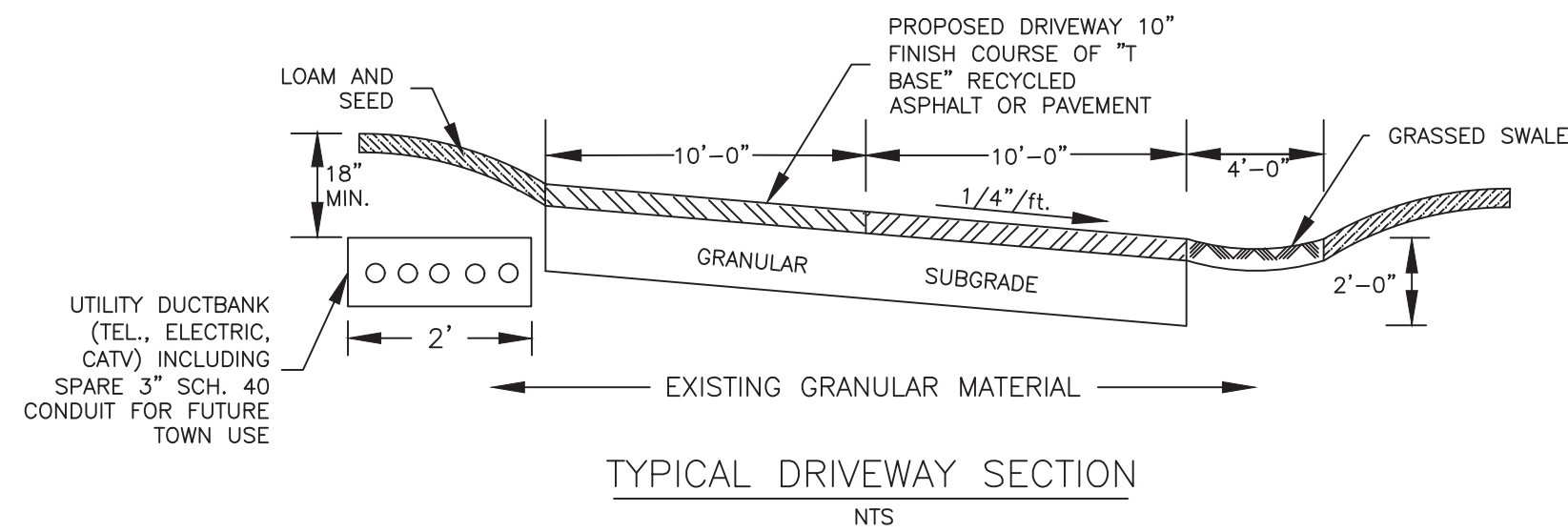


PRECAST STORM DRAIN MANHOLE
NTS

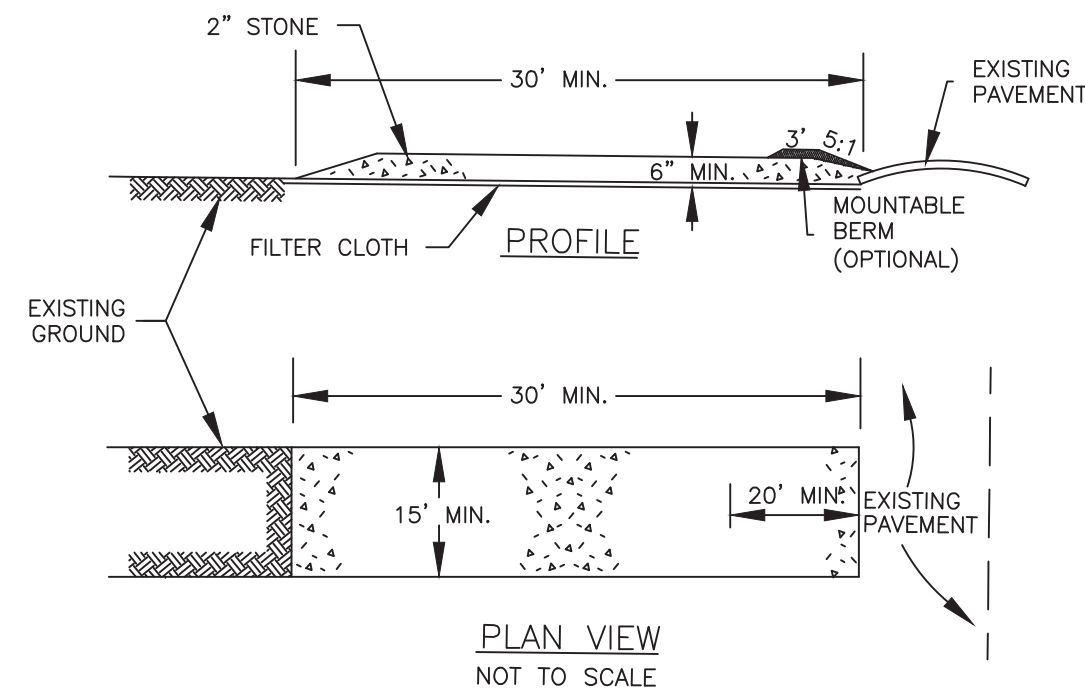
NOTE: STRUCTURE AND CASTINGS AS PER TOWN DPW STANDARD SPECIFICATIONS



FRONT RETAINING WALL DETAIL
NTS



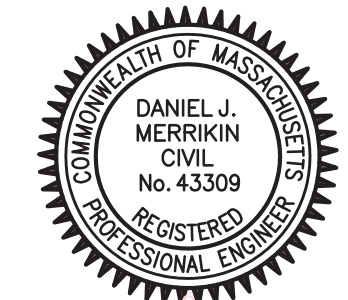
- NOTES:
1. COMPACT "T-BASE" MATERIAL TO 95% DENSITY, WITH VIBRATORY ROLLER.
 2. TO BE SUPERELEVATED TOWARDS SWALE



STABILIZED CONSTRUCTION ENTRANCE
NTS

CONSTRUCTION SPECIFICATIONS:

1. STONE SIZE: USE 2" DIAMETER STONE OR RECLAIMED/RECYCLED CONCRETE EQUIVALENT.
2. LENGTH: RECOMMEND GREATER THAN 30 FEET WHERE PRACTICAL.
3. THICKNESS: NOT LESS THAN 6 INCHES.
4. WIDTH: 15 FEET MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCUR.
5. FILTER CLOTH: SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO THE PLACING OF STONE.
6. SURFACE WATER: ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WILL BE PERMITTED.
7. MAINTENANCE: THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED.
9. REMOVE STABILIZED CONSTRUCTION ENTRANCE PRIOR TO PLACEMENT OF BITUMINOUS BASE COURSE.



Digitally signed by Daniel J. Merrikin, P.E.
Date: 2022.08.18 15:27:09 -04'00'

FOR REGISTRY USE

NOT FOR CONSTRUCTION.
ISSUED FOR REVIEW.

OWNER/APPLICANT
EUGENE & KARYL WALSH
168 HOLLISTON STREET
MEDWAY, MA 02053

ZONING DISTRICT
AR-1

ASSESSORS PARCEL
MAP 9 PARCELS 34, 35, 36, 37

PLAN & DEED REFERENCE
DEED: BOOK 25288, PAGE 92
DEED: BOOK 35797, PAGE 582
PLAN: BOOK 574 NO. 64

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PROFESSIONAL LAND SURVEYOR

APPROVED _____ SUBJECT TO COVENANT CONDITIONS SET FORTH IN A COVENANT EXECUTED BY TRUSTEES OF THE WINGATE FARM REALTY TRUST DATED NOVEMBER 5, 2007 AND RECORDED AT NORFOLK REGISTRY OF DEEDS, BOOK NO. 25288, PAGE NO. 94.

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TOWN CLERK

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TOWN OF MEDWAY PLANNING BOARD

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730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)

C-7



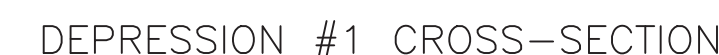
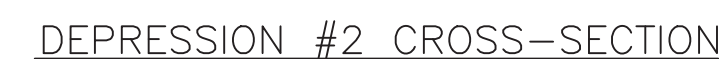
LEGACY
ENGINEERING

PLAN SCALE: N.T.S.

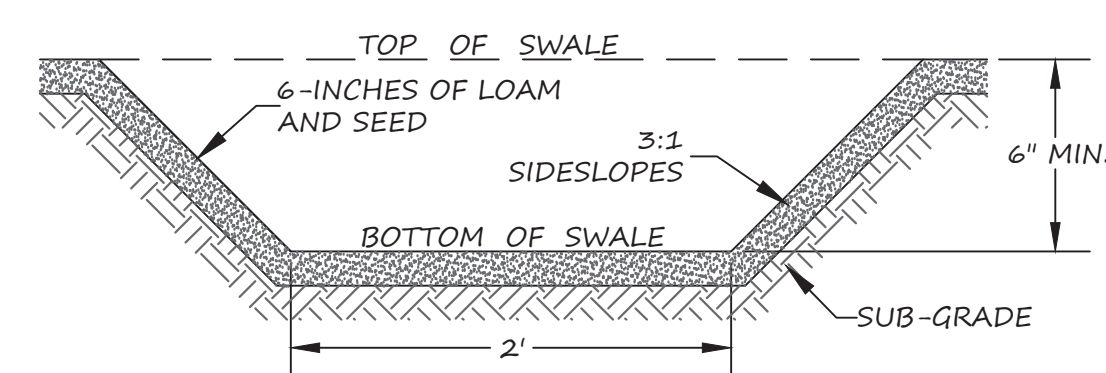
PLAN DATE: AUGUST 18, 2022

REVISION

WINGATE FARM DEFINITIVE
SUBDIVISION MODIFICATION
DETAILS
PLAN OF LAND IN
MEDWAY, MA

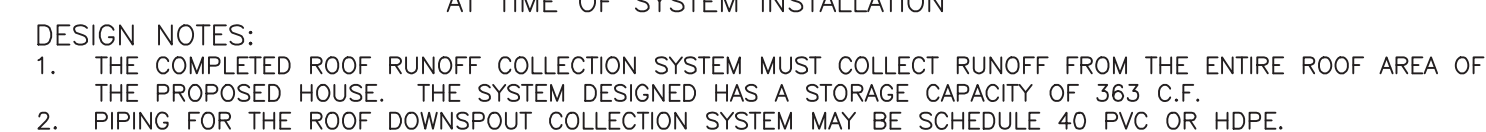


- NOTES:
1. SEE GRADING SHEETS AND PROFILE SHEETS FOR SIZE OF INLETS AND OUTLETS, OUTLET STRUCTURE SPECIFICATIONS, ELEVATION OF BOTTOM OF BASIN, ELEVATION OF TOP OF BASIN, SLOPE OF SIDESLOPES, AND OTHER DIMENSIONAL REQUIREMENTS FOR EACH BASIN.
 2. ALL TOPSOIL AND SUBSOIL BELOW THE BOTTOM OF THE BASIN SHALL BE REMOVED PRIOR TO BASIN CONSTRUCTION. FILL MATERIALS UNDER THE BASIN BOTTOM SHALL BE CLEAN GRAVEL. FILL FOR BERMS MAY BE SAND, LOAMY SAND OR SOY LOAM. (TITLE V CLASSIFICATIONS).
 3. BERM AREAS SHALL BE REMOVED OF ALL TOP AND SUB-SOIL AND OTHER UNSUITABLE SOILS. BERM CORE SHALL CONSIST OF ORDINARY BORROW INSTALLED IN 12-INCH LIFTS TO A MINIMUM 93% PROCTOR DENSITY.



GRASS SWALE DETAIL

NOT TO SCALE



ROOF RUNOFF INFILTRATION FIELD

NOT TO SCALE



NOTE: NON-BIODEGRADABLE SOCK SHELL FILLED WITH COMPOST MEDIA JOINTS SHALL BE OVERLAPPED BY AT LEAST TWO FEET. ORANGE SNOW FENCE IS ONLY NEEDED IF THERE IS EVIDENCE OF THE COMPOST SOCK BEING BURIED BY CONSTRUCTION ACTIVITIES.

EROSION CONTROL
DETAIL (COMPOST SOCK)

NOT TO SCALE



NOT TO SCALE



NTS



STORMCEPTOR DETAIL
MODEL-STC900

NOTE :

1. THE USE OF FLEXIBLE CONNECTIONS IS RECOMMENDED AT THE INLET AND OUTLET WHERE APPLICABLE.
2. THE COVER SHOULD BE POSITIONED OVER THE OUTLET DROP PIPE AND THE OIL CLEANOUT PIPE.

OWNER/APPLICANT
EUGENE & KARYL WALSH
168 HOLLISTON STREET
MEDWAY, MA 02053

ZONING DISTRICT
AR-1

ASSESSORS PARCEL
MAP 9 PARCELS 34, 35, 36, 37

PLAN & DEED REFERENCE
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PROFESSIONAL LAND SURVEYOR

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730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)

C-8



LEGACY
ENGINEERING

PLAN SCALE: N.T.S.

PLAN DATE: AUGUST 18, 2022

WINGATE FARM DEFINITIVE
SUBDIVISION MODIFICATION
DETAILS
PLAN OF LAND IN
MEDWAY, MA



March 23, 2018
(revised September 1, 2022)

Ms. Susan E. Affleck-Childs
Medway Planning and Economic Development Coordinator
Medway Town Hall
155 Village Street
Medway, MA 02053

**Re: Wingate Farm
Definitive Subdivision Modification Review
Medway, Massachusetts**

Dear Ms. Affleck-Childs:

Tetra Tech (TT) has performed a review of the proposed Site Plan for the above-mentioned Project at the request of the Town of Medway Planning and Economic Development Board (Board). The proposed Project is a four-lot private subdivision on approximately 5.5 acres in Medway, MA. Proposed Project includes maintaining existing house (168 Holliston Street), constructing additional houses on lots generated by the subdivision as well as appurtenant private roadway, utilities, and drain infrastructure.

TT is in receipt of the following materials:

- A plan (Plans) set titled "Subdivision Modification Plan, Wingate Farm, A Private Way Definitive Subdivision Plan", dated August 20, 2004, revised September 16, 2005, prepared by Consolidated Design Group, Inc. (CDG).
- A stormwater management report (Stormwater Report) titled "Drainage Summary, Wingate Farms, 168 Holliston Street, Medway, Massachusetts" dated October 6, 2004, revised February 8, 2005, prepared by CDG.
- A Certificate of Action titled "Wingate Farm Definitive Subdivision Plan – Modification" dated April 28, 2005.
- Daily Construction Reports, various dates, prepared by VHB.

The Plans and accompanying materials were reviewed for conformance with the following Regulatory documents:

- Town of Medway Planning & Economic Development Board Rules and Regulations, Chapter 200 – Site Plans, Rules & Regulations for Submission, Review and Approval of Site Plans. (Amended October 8, 2019)
- Town of Medway General Bylaws – Article XXVI Stormwater Management and Land Disturbance (Amended June 8, 2020)
- Massachusetts Department of Environmental Protection's (MA DEP) Stormwater Standards (Standards) and appurtenant Stormwater Handbook (Handbook). (Amended February 2008)

The Project was also reviewed for good engineering practice and overall site plan efficiency. Review of the Project for zoning related matters is being conducted by Town personnel and is excluded from this review.

TT 9/1/22 Update

The Applicant has supplied TT with a revised submission addressing comments provided in our previous letter including the following documents:

- A response to comments letter, dated August 18, 2022, prepared by Legacy Engineering LLC (LEL).

- A plan set (Plans) titled "Subdivision Modification Plan, Wingate Farm, A Private Way Definitive Subdivision Plan", dated August 18, 2022, prepared by LEL.
- A stormwater management report (Stormwater Report) titled "Stormwater Report for Wingate Farm, 168 Holliston St., Medway, MA 02053", dated August 18, 2022, prepared by LEL.

The revised Plans and supporting information were reviewed against our previous comment letter (March 23, 2018) and comments have been tracked accordingly. Text shown in gray represents information contained in previous correspondence while new information is shown in black text.

Additionally, the Applicant has provided "blanket" responses in their response letter to address many of the comments. The responses are as noted below and are referred to throughout this updated letter.

APPLICANT BLANKET RESPONSES

General Response: *We recognize that there are several documentation requirements from the current subdivision regulations that are not reflected on the previously approved subdivision plan. It is out of view, however, that most will not bring substantive value to the subdivision design and would only serve to incur unnecessary cost to the Applicant. Per our prior discussions with the Board, we have focused our efforts on the important, substantive questions raised, namely an upgrade to the stormwater management system design and reconfiguring the road in a manner acceptable to the Fire Department. See below for further discussion.*

Overall Stormwater Response: *We have provided an entirely new stormwater analysis with the typically required contents, which should address the questions raised above. Based on discussion with Town staff, we have concluded that a land disturbance permit application will be submitted to the PEDB as part of this review process since there is no longer a need for a new Order of Conditions for subdivision infrastructure work. We will submit that application shortly.*

It is important to note that the previously approved stormwater management system has been installed, including all catch basins, manholes, a Stormceptor unit, piping and the previously designed stormwater basin. Unfortunately, however, those installed BMPs are not useful in meeting certain current design standards. Most notably, given the elevation of high groundwater on the site, the installed BMPs are generally too low to be able to provide any stormwater infiltration. We have therefore designed two new shallow swale and infiltration systems that will capture, treat and infiltrate runoff from the proposed road. Excess stormwater runoff is then routed into the existing piping infrastructure and will subsequently pass through the Stormceptor unit and the existing stormwater basin before being discharged to the nearby wetland area. We have also proposed on-site roof runoff infiltration systems for the three new houses.

Sight Distance Response: *Based on our prior submissions addressing sight distance and discussion with the Board, it was determined that the Applicant will install a 30" W2-2L (left intersection ahead sign) with a W16-4 below reading "250 feet" on the southbound approach. In addition, if not done prior to lot development, the Applicant will install a speed display feedback sign on the southbound approach. These notes have been added to sheet C-4.*

Previously Waived Items: *It is noted that this subdivision is approved under a prior version of the subdivision regulations. Provided the Board were to agree to extend the time to complete the construction of the subdivision infrastructure, we do not believe that new waivers would be needed for the following items since they have already been waived. In general, it should be noted that most of the waivers revolve around accommodating the low-impact design of the proposed private way, which we believe to be a beneficial design feature.*

DEFINITIVE SUBDIVISION REVIEW

Land Subdivision Rules and Regulations (Chapter 100)

1. Existing and proposed watershed maps have not been provided in the Stormwater Report. (Ch. 100 §5.5.9.b)
 - *LEL 8/18/22 Response: See “Overall Stormwater Response” above.*
 - **TT 9/1/22 Update: The existing and proposed watershed maps have been included in the updated Stormwater Report. In our opinion, this comment is resolved.**
2. A map of proposed drainage areas tributary to catch basins has not been included in the Stormwater Report. (Ch. 100 §5.5.9.c)
 - *LEL 8/18/22 Response: See “Overall Stormwater Response” above.*
 - **TT 9/1/22 Update: The updated HydroCAD model includes all stormwater infrastructure. In our opinion, this comment is resolved.**
3. A summary of soil types at the site has not been provided. (Ch. 100 §5.5.9.f)
 - *LEL 8/18/22 Response: See “Overall Stormwater Response” above.*
 - **TT 9/1/22 Update: NRCS Soil Survey and test pit information has been included in the updated Stormwater Report. In our opinion, this comment is resolved.**
4. The applicant has not provided proposed catch basin grate calculations. (Ch. 100 §5.5.9.i)
 - *LEL 8/18/22 Response: See “Overall Stormwater Response” above.*
 - **TT 9/1/22 Update: The updated HydroCAD model includes all stormwater infrastructure. In our opinion, this comment is resolved.**
5. Calculations for all culverts proposed have not been provided. Culvert analysis of the rip-rap sump and 8” ductile iron pipe culvert has not been included in the drainage analysis. (Ch. 100 §5.5.9.j)
 - *LEL 8/18/22 Response: See “Overall Stormwater Response” above.*
 - **TT 9/1/22 Update: The updated HydroCAD model includes all stormwater infrastructure. In our opinion, this comment is resolved.**
6. The Long-Term Operation and Maintenance (O&M) Plan does not appear to meet current Stormwater Standards. Furthermore, Stormceptor unit has not been included in the plan. (Ch. 100 §5.5.10)
 - *LEL 8/18/22 Response: See “Overall Stormwater Response” above.*
 - **TT 9/1/22 Update: An updated O&M plan has been included in the Stormwater Report. In our opinion, this comment is resolved.**
7. The applicant has not provided test pit information. However, exfiltration is not considered in the design of the “wetland pond” and therefore test pitting will only be required to confirm soil types for proposed roof drain infiltration. (Ch. 100 §5.5.10.1)
 - *LEL 8/18/22 Response: See “Overall Stormwater Response” above.*
 - **TT 9/1/22 Update: Test pit information has been included in the updated Stormwater Report. In our opinion, this comment is resolved.**
8. The applicant has not provided sight distance calculations for proposed intersection with Holliston Street. (Ch. 100 §5.5.13)
 - *LEL 8/18/22 Response: See “Sight Distance Response” above.*
 - **TT 9/1/22 Update: Sight distance calculations were previously submitted under a separate cover during review of the project in 2021. See TT review letter dated November 8, 2021 for mitigation recommendations.**

9. An ANRAD determination from Medway Conservation Commission has not been supplied by the applicant, wetlands exist on site. (Ch. 100 §5.5.14)
- *LEL 8/18/22 Response: This development was previously approved, and an Order of Conditions was previously issued, which is equivalent to an ANRAD. While we believe this regulation requirement is technically met, it should be understood that the proposed roadway improvements that would result from the enclosed revised plan do not require a new Order of Conditions from the Conservation Commission because none of the infrastructure work falls within the buffer zone. The wetland and its buffer zone are shown on the revised plan. The Applicant will seek a certificate of compliance from the Conservation Commission for the already constructed work in the buffer zone and future house lot construction will require a new Notice of Intent.*
 - **TT 9/1/22 Update: We recommend the Applicant provide written correspondence from the Conservation Commission regarding this comment.**
10. The existing conditions plan does not contain locations of free-standing trees with a diameter of one-foot (1') or greater at twenty-four inches (24") above grade. (Ch. 100 §5.7.6)
- *LEL 8/18/22 Response: See the General Response above. We do not believe the significant cost associated with adding this information to the plan would substantively improve the subdivision design. As has been noted above, the Applicant has asked us to configure new stormwater BMPs specifically to avoid disturbance of existing trees to the maximum extent practicable.*
 - **TT 9/1/22 Update: We defer action on this item to the PEDB and recommend discussion during the next public hearing.**
11. Vertical datum has not been noted on the Plans. The applicant requested a waiver from similar regulation (Ch. 100 §3.3.2.16) and based on the waiver request it can be assumed vertical elevations are in NGVD 29 datum, not the required NAVD 88 datum. (Ch. 100 §5.6.3)
- *LEL 8/18/22 Response: See the General Response Above. Updating the datum of the plan would not result in any material improvement in the design. We have added a notation of the datum on the sheet C-1 along with a correction factor to convert to NAVD88 for reference.*
 - **TT 9/1/22 Update: We defer action on this item to the PEDB and recommend discussion during the next public hearing. We agree with the Applicant's response and would support a waiver from this Regulation.**
12. Wetland buffer zones per the Massachusetts Wetlands Protection Act have not been shown on the Plans. (Ch. 100 §5.7.7)
- *LEL 8/18/22 Response: The buffer zone is depicted on the revised plan.*
 - **TT 9/1/22 Update: The 100-foot wetland buffer zone and local 25-foot no disturb zone have been added to the plans. In our opinion, this comment is resolved.**
13. Lot shape factor lines have not been included for each lot. (Ch. 100 §5.7.14)
- *LEL 8/18/22 Response: None of the lots utilize an imaginary line for lot shape factor compliance.*
 - **TT 9/1/22 Update: In our opinion, this comment is resolved.**
14. List of waivers should include items related to the submission of a definitive subdivision plan (Ch. 100 §5.7.16)
- *LEL 8/18/22 Response: If the board were to extend the time to construct the subdivision after the resolution of the remaining technical questions, we do not believe that any further waivers would be needed.*
 - **TT 9/1/22 Update: In our opinion, this comment is resolved.**
15. Sewage disposal system has not been shown for Lot 2. (Ch. 100 §5.7.19)
- *LEL 8/18/22 Response: A prospective on-site septic system location has been added to sheet C-4*
 - **TT 9/1/22 Update: In our opinion, this comment is resolved.**

16. The applicant has not supplied test pit data. (Ch. 100 §5.7.22)
 - *LEL 8/18/22 Response: In addition to the previous test pit data in the original design, we have undertaken new test pits as described in the attached revised documents.*
 - **TT 9/1/22 Update: Test pit information has been included in the updated Stormwater Report. In our opinion, this comment is resolved.**
17. Applicant has included O&M Plan on the Plans. However, inspection and maintenance requirements do not meet current Stormwater Standards. (Ch. 100 §5.7.23.e)
 - *LEL 8/18/22 Response: See “Overall Stormwater Response” above.*
 - **TT 9/1/22 Update: An updated O&M plan has been included in the Stormwater Report. In our opinion, this comment is resolved.**
18. Street lights have not been proposed. (Ch. 100 §5.7.28)
 - *LEL 8/18/22 Response: This item was previously waived in favor of light posts at driveways.*
 - **TT 9/1/22 Update: In our opinion, this comment is resolved.**
19. The applicant has not supplied a Stormwater Pollution Prevention Plan (SWPPP). (Ch. 100 §5.7.33)
 - *LEL 8/18/22 Response: See “Overall Stormwater Response” above.*
 - **TT 9/1/22 Update: The Applicant has provided a SWPPP in the revised Stormwater Report. Additionally, we anticipate the Project is covered under the NPDES CGP. We recommend a Condition requiring the Applicant provide proof of coverage under the NPDES CGP prior to construction. In our opinion, this comment is resolved.**
20. The Plans show house footprints at forty feet (40') by sixty feet (60'). Proposed houses should be shown with a footprint of forty feet (40') by eighty feet (80'). (Ch. 100 §5.7.36)
 - *LEL 8/18/22 Response: See “Overall Stormwater Response” above.*
 - **TT 9/1/22 Update: The house footprints have been revised and are shown as 40 ft x 80 ft. In our opinion, this comment is resolved.**
21. The applicant shall provide statement on plans that proposed septic facilities will be approved by Medway Board of Health prior to house construction, see regulation for wording. (Ch. 100 §7.6.2.e)
 - *LEL 8/18/22 Response: This note has been added to sheet C-4.*
 - **TT 9/1/22 Update: In our opinion, this comment is resolved.**
22. The applicant has not stated spare conduit on the “Typical Driveway Section” detail. (Ch. 100 §7.6.2.h)
 - *LEL 8/18/22 Response: This note has been added to sheet C-7.*
 - **TT 9/1/22 Update: In our opinion, this comment is resolved.**
23. The applicant has proposed an eighteen-foot (18') traveled way. In past projects the Medway Fire Chief has required a twenty-foot (20') way for proper access to all lots with emergency vehicles. (Ch. 100 §7.9)
 - *LEL 8/18/22 Response: The Fire Department has approved of widening the gravel road to 20 feet with a T-style turnaround in the location shown on the attached plan.*
 - **TT 9/1/22 Update: We recommend the Applicant provide written confirmation from the Medway Fire Department to confirm their review and approval of the revised roadway width and turnaround.**
24. The applicant has proposed minimum horizontal centerline radii of less than the required one-hundred fifty feet (150'). (Ch. 100 §7.9.2.b)
 - *LEL 8/18/22 Response: See “Previously Waived Items” above.*
 - **TT 9/1/22 Update: We defer action on this item to the PEDB and recommend discussion during the next public hearing.**

25. The applicant has proposed property line radius at intersection of Holliston street right-of-way of less than the required twenty-eight-foot (28') minimum. Proposed edge of pavement radius is also less than the required forty-foot (40') minimum. (Ch. 100 §7.9.2.d)
- *LEL 8/18/22 Response: See “Previously Waived Items” above.*
 - **TT 9/1/22 Update: We defer action on this item to the PEDB and recommend discussion during the next public hearing. Additionally, it appears the southern edge of pavement radius is nearly coincident with the property corner at the right of way.**
26. Sight distances have not been shown on the Plans. (Ch. 100 §7.9.3)
- *LEL 8/18/22 Response: See “Sight Distance Response” above.*
 - **TT 9/1/22 Update: Sight distance calculations were previously submitted under a separate cover during review of the project in 2021. See TT review letter dated November 8, 2021 for mitigation recommendations.**
27. The applicant has proposed a private way that is less than the required fifty feet (50'). (Ch. 100 §7.9.4.a)
- *LEL 8/18/22 Response: See “Previously Waived Items” above.*
 - **TT 9/1/22 Update: We defer action on this item to the PEDB and recommend discussion during the next public hearing.**
28. The applicant has proposed portions of the proposed private way at less than minimum 2% grade. (Ch. 100 §7.9.5.a)
- *LEL 8/18/22 Response: The revised proposed profile specifies minimum 2% slopes.*
 - **TT 9/1/22 Update: In our opinion, this comment is resolved.**
29. We recommend the applicant consult with Medway Fire Chief to determine if proposed turnaround is sufficient for emergency vehicles. (Ch. 100 §7.9.6.d)
- *LEL 8/18/22 Response: As noted above, the Fire Department has reviewed and found the enclosed design acceptable. We will seek written confirmation for the PEDB files.*
 - **TT 9/1/22 Update: We recommend the Applicant provide written confirmation from the Medway Fire Department to confirm their review and approval of the revised roadway width and turnaround.**
30. The applicant has proposed a gravel roadway, Regulations require hot mix asphalt paving. (Ch. 100 §7.9.7.h)
- *LEL 8/18/22 Response: See “Previously Waived Items” above.*
 - **TT 9/1/22 Update: We defer action on this item to the PEDB and recommend discussion during the next public hearing.**
31. The applicant has not proposed vertical granite curbing at intersection with Holliston Street. (Ch. 100 §7.10.1)
- *LEL 8/18/22 Response: See “Previously Waived Items” above.*
 - **TT 9/1/22 Update: We defer action on this item to the PEDB and recommend discussion during the next public hearing.**
32. The applicant has not proposed curbing along the entire length of the subdivision roadway. (Ch. 100 §7.10.2)
- *LEL 8/18/22 Response: See “Previously Waived Items” above.*
 - **TT 9/1/22 Update: The Stormwater design relies upon sheet flow to swales in order to mitigate for stormwater and we believe the waiver remains justified in the modified Plan.**
33. Street trees have not been proposed. However, the applicant proposes to retain as many mature trees as possible as part of the Project. (Ch. 100 §7.19.2)
- *LEL 8/18/22 Response: See “Previously Waived Items” above.*

- **TT 9/1/22 Update: We defer action on this item to the PEDB and recommend discussion during the next public hearing.**
- 34. The applicant has not proposed street lighting. This regulation has been waived in the past and driveway lights required at each driveway opening. (Ch. 100 §7.21)
 - *LEL 8/18/22 Response: See “Previously Waived Items” above.*
 - **TT 9/1/22 Update: We defer action on this item to the PEDB and recommend discussion during the next public hearing.**
- 35. Areas of snow removal should be shown on the Plans. Snow should not be placed in stormwater BMP's. (Ch. 100 §7.27.2)
 - *LEL 8/18/22 Response: Sheet C-6 identifies that snow storage will be along the shoulders of the private way.*
 - **TT 9/1/22 Update: In our opinion, this comment is resolved.**

STORMWATER REVIEW

MA DEP Stormwater Standards/Handbook

- 36. Peak rate for the one-hundred (100) year event is greater in the post-development condition. (Standard 2)
 - *LEL 8/18/22 Response: See “Overall Stormwater Response” above.*
 - **TT 9/1/22 Update: The pre- and post-development areas do not match in the HydroCAD analysis. These areas should match to ensure runoff is properly accounted for.**
- 37. The applicant has not submitted a construction term erosion control plan or SWPPP. (Standard 8)
 - *LEL 8/18/22 Response: See “Overall Stormwater Response” above.*
 - **TT 9/1/22 Update: The Applicant has provided an Erosion Control Plan (Sheet C-5) and a SWPPP in the Stormwater Report. Additionally, as stated in the Update at Comment 19, it appears the Project is covered by the NPDES CGP and we recommend a Condition requiring the Applicant provide proof of coverage under the NPDES CGP prior to construction. In our opinion, this comment is resolved.**
- 38. The O&M Plan provided does not meet minimum criteria as stated in the Stormwater Standards. (Standard 9)
 - *LEL 8/18/22 Response: See “Overall Stormwater Response” above.*
 - **TT 9/1/22 Update: An updated O&M plan has been included in the Stormwater Report. In our opinion, this comment is resolved.**
- 39. The applicant has not submitted necessary documentation for prohibition of illicit discharges at the site. (Standard 10)
 - *LEL 8/18/22 Response: See “Overall Stormwater Response” above.*
 - **TT 9/1/22 Update: An Illicit Discharge Compliance Statement has been provided in the updated Stormwater Report. In our opinion, this comment is resolved.**

Subdivision Regulations (Ch. 100 §7.7)

- 40. We recommend the applicant provide narrative and checklist of how the Project meets each of the ten (10) Stormwater Standards. (Ch. 100 §7.7.2.a)
 - *LEL 8/18/22 Response: See “Overall Stormwater Response” above.*
 - **TT 9/1/22 Update: The Applicant has provided an updated Stormwater Report which addresses each of the MA DEP Stormwater Standards. In our opinion, this comment is resolved.**
- 41. Post-development runoff and volume is greater than pre-development for the twenty-five (25) and one-hundred (100) year storm events. (Ch. 100 §7.7.2.d)
 - *LEL 8/18/22 Response: See “Overall Stormwater Response” above.*

- **TT 9/1/22 Update: See Update at Comment 36.**
- 42. Detention basins should be located on their own parcels, not on individual house lots. Proposed detention basin is located within Lot 4, maintenance and access easement has been provided. (Ch. 100 §7.7.2.p)
 - *LEL 8/18/22 Response: See “General Response” above.*
 - **TT 9/1/22 Update: The Applicant has revised the Plans consistent with request by the Medway Assessors Office that drain infrastructure be located within an easement, not on its own lot. In our opinion, this comment is resolved.**
- 43. The applicant is proposing using eight-inch (8”) ductile iron pipe for driveway culverts, potentially due to cover issues. Regulations require reinforced concrete pipe. (Ch. 100 §7.7.4.b)
 - *LEL 8/18/22 Response: While the culvert in question has been eliminated, given that the subdivision will be a private way, we will seek an additional waiver to allow the use of HDPE pipe for the newly proposed stormwater BMPs.*
 - **TT 9/1/22 Update: We would support a waiver from this Regulation. In our opinion, this comment is resolved.**

Town Stormwater Management and Land Disturbance Bylaw (Article 26)

- 44. We recommend the applicant provide a narrative documenting compliance with “Article XXVI Stormwater Management and Land Disturbance” of the Town of Medway General Bylaws.
 - *LEL 8/18/22 Response: See “Overall Stormwater Response” above.*
 - **TT 9/1/22 Update: The Applicant stated they would be submitting a land disturbance permit application at a later date. We will review once submitted.**

General Stormwater Comments

- 45. The applicant has not supplied drainage figures. Figures are essential to cross-referencing proposed HydroCAD analysis with areas on the site.
 - *LEL 8/18/22 Response: See “Overall Stormwater Response” above.*
 - **TT 9/1/22 Update: The existing and proposed watershed maps have been included in the updated Stormwater Report. In our opinion, this comment is resolved.**
- 46. Discharge points from the site have not been shown. These points are essential to understanding and comparing pre- vs. post-development runoff analyses.
 - *LEL 8/18/22 Response: See “Overall Stormwater Response” above.*
 - **TT 9/1/22 Update: The existing and proposed watershed maps have been included in the updated Stormwater Report which detail the design points. In our opinion, this comment is resolved.**

These comments are offered as guides for use during the Town’s review and additional comments may be generated during the course of review. The applicant shall be advised that any absence of comment shall not relieve him/her of the responsibility to comply with all applicable local, state and federal regulations for the Project. If you have any questions or comments, please feel free to contact us at (508) 786-2200.

Very truly yours,



Steven M. Bouley, P.E.
Project Manager

P:\21583\143-21583-22002 (PEDB WINGATE FARM MOD)\DOCS\WINGATE FARM MOD-PEDBREV(2022-09-01).DOCX

Anna Rice

From: Daniel Merrikin <dan@legacy-ce.com>
Sent: Saturday, September 3, 2022 7:56 AM
To: Bouley, Steven
Cc: Susan Affleck-Childs; Karyl Walsh; Anna Rice; Barbara Saint Andre
Subject: [External] Re: Wingate Farm

Hi Steve,

Regarding comment 36 (watershed areas), the difference between the total pre-development area and the total post development area in Hydrocad is existing watershed W-E3. We did not print out the hydrocad for it in the report because all flow to design point 3 (off-site flow to southern abutter) is eliminated in post-construction conditions.

Do you want us to update the report to include an existing conditions hydrocad print out for W-E3 or maybe just submit a letter documenting this, and attaching a hydrocad print out for W-E3?

Thanks

Dan

Daniel J. Merrikin, P.E.
President



Legacy Engineering LLC
730 Main Street
Suite 2C
Millis, MA 02054

www.legacy-ce.com

dan@legacy-ce.com
508-376-8883(office)
508-868-8353(cell)

On Thu, Sep 1, 2022 at 2:02 PM Bouley, Steven <Steven.Bouley@tetrattech.com> wrote:

Hi Dan,

Please see attached updated response letter. Most items have either been addressed or we recommended Board discussion at the next hearing to help close items out. We also noted an area discrepancy in the HydroCAD which should be fixed so we can review that. Please let me know if you have any questions, thanks.

Steve

Steven M. Bouley, PE | Project Manager

Direct +1 (508) 786-2382 | Business +1 (508) 786-2200 | Fax +1 (508) 786-2201 | steven.bouley@tetrattech.com

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From: Daniel Merrikin <dan@legacy-ce.com>

Sent: Thursday, August 18, 2022 3:43 PM

To: Susan Affleck-Childs <sachilds@townofmedway.org>

Cc: Karyl Walsh <wingatefarm@hotmail.com>; Bouley, Steven <Steven.Bouley@tetrattech.com>

Subject: Wingate Farm

 **CAUTION:** This email originated from an external sender. Verify the source before opening links or attachments. 

Hi Susy,

Here is our cover letter, revised subdivision plan and new stormwater report. We will drop off the hard copies tomorrow.

Let me know if you need anything else. I will be in touch about the Land Disturbance Permit application.

I will plan to present this to the Board on Tuesday, understanding that Steve will not have had a chance to review it yet.

Dan

Daniel J. Merrikin, P.E.

President



Legacy Engineering LLC

730 Main Street

Suite 2C

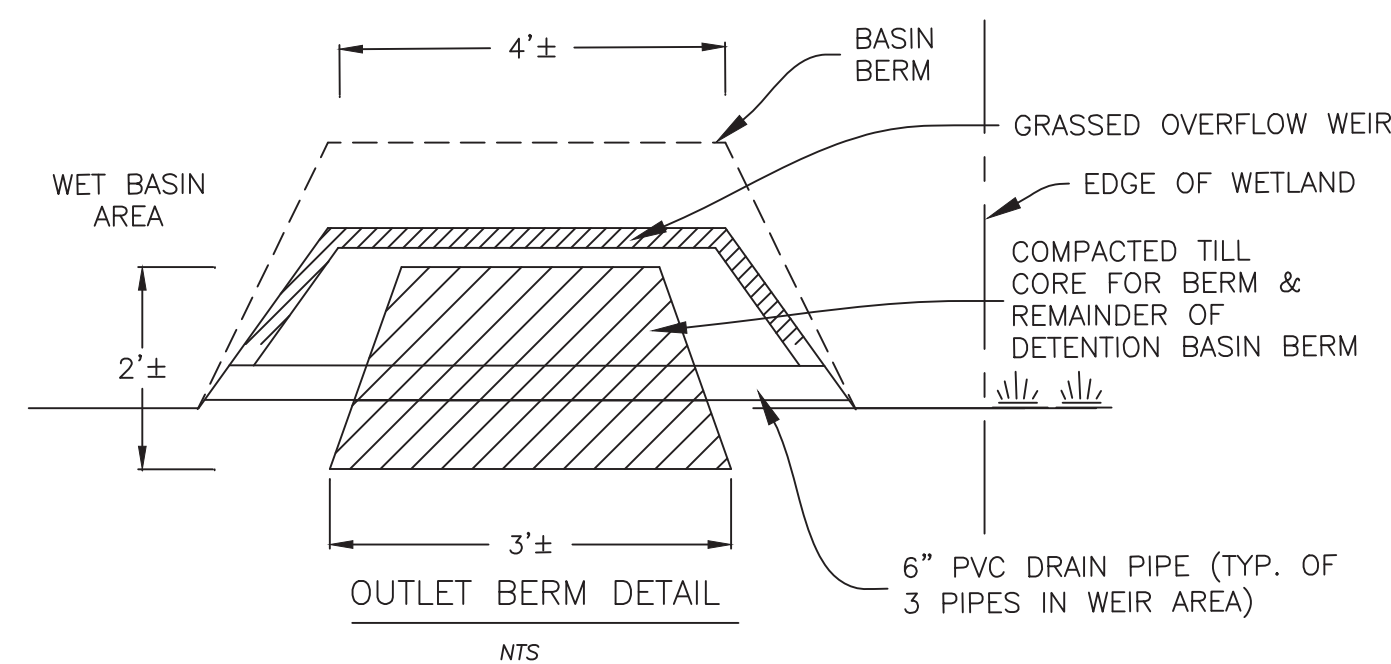
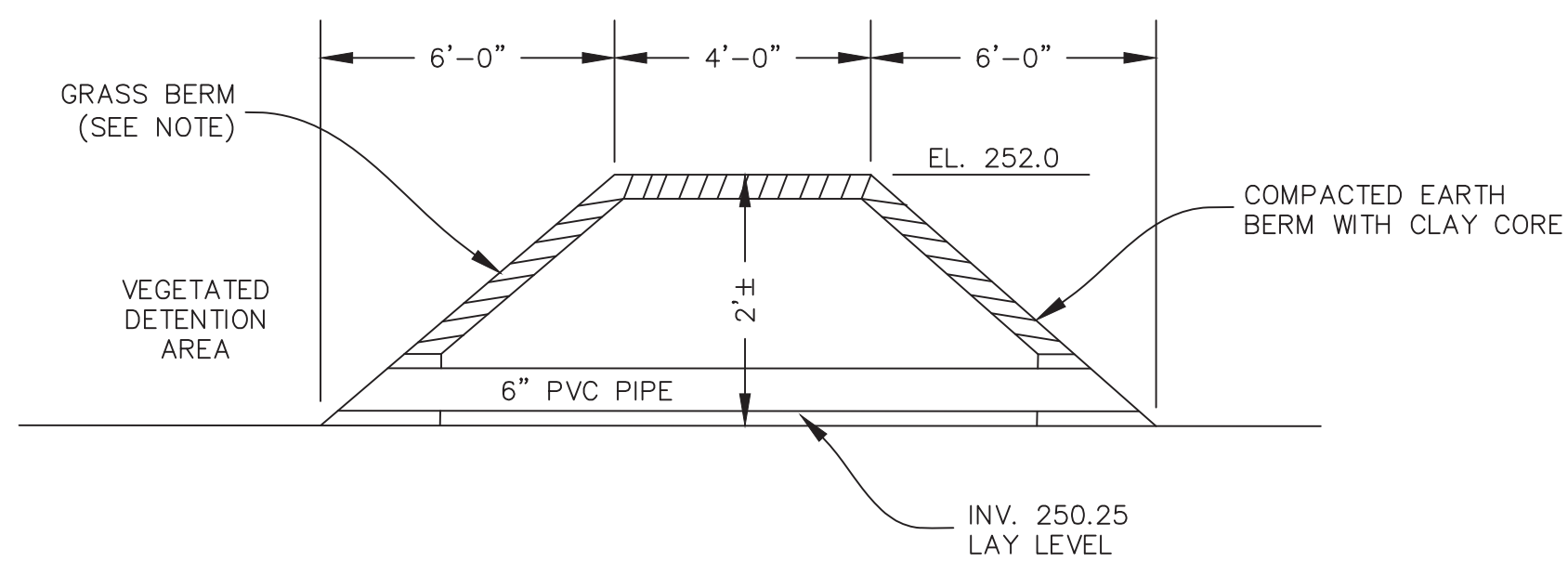
Millis, MA 02054

www.legacy-ce.com

dan@legacy-ce.com

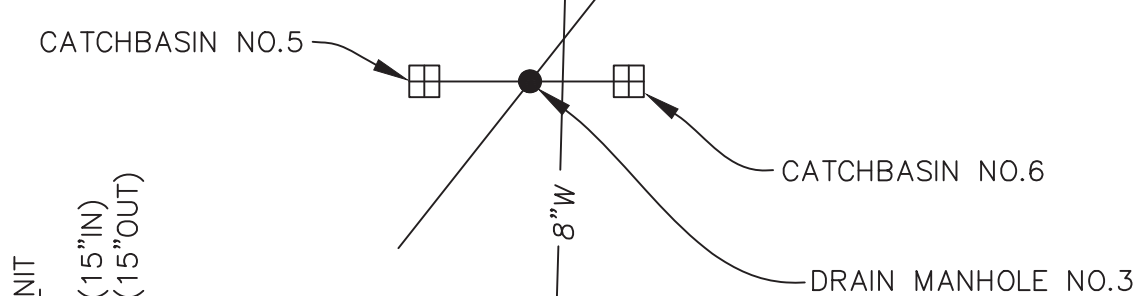
508-376-8883(*office*)

508-868-8353(*cell*)



NOTE: CONTRACTOR TO GRADE BERM
2" BELOW GRADE AND LOAM & SEED
ALL SIDES.

OVERFLOW WEIR DETAIL
NTS

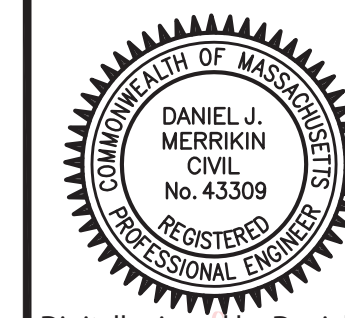


PARTIAL SITE PLAN

SCALE: 1"=20'

STORMWATER BASIN PLANTING SCHEDULE

SS: SHADBLOW SERVICEBERRY (A. CANADENSIS): THREE 5' B&B
MS: MEADOWSWEET (SPIREA LATIFOLIA): FIVE #2 POT
KL: MOUNTAIN LAUREL (KALMIA LATIFOLIA): FIVE 2-2.5' B&B
EA: EARLY AZALEA (R. ROSEUM): TEN #3 POT
HB: Highbush Blueberry (Vaccinium corymbosum): EIGHT #3 POT
VA: MAPLEAF VIBURNUM (VIBURNUM ACERIFOLIUM): TEN 18-24" B&B



Digitally signed by Daniel J.
Merrikin, P.E.
Date: 2022.08.18 15:26:40
'04'00'

FOR REGISTRY USE

NOT FOR CONSTRUCTION.
ISSUED FOR REVIEW.

OWNER/APPLICANT
EUGENE & KARYL WALSH
168 HOLLISTON STREET
MEDWAY, MA 02053

ZONING DISTRICT
AR-1

ASSESSORS PARCEL
MAP 9 PARCELS 34, 35, 36, 37

PLAN & DEED REFERENCE
DEED: BOOK 25288, PAGE 92
DEED: BOOK 35797, PAGE 582
PLAN: BOOK 574 NO. 64

NOTE: THIS SUBDIVISION PLAN IS A
MODIFICATION TO A PREVIOUSLY
APPROVED SUBDIVISION BY
CONSOLIDATED DESIGN GROUP INC.,
RECORDED IN THE NORFOLK COUNTY
REGISTRY OF DEEDS IN PLAN BOOK
574 NO. 64 AND PLAN BOOK 575
NO. 78.

I CERTIFY THAT THIS PLAN HAS BEEN
PREPARED IN CONFORMITY WITH THE RULES
AND REGULATIONS OF THE REGISTERS OF
DEEDS OF THE COMMONWEALTH OF
MASSACHUSETTS.

PROFESSIONAL LAND SURVEYOR

APPROVED _____, SUBJECT
TO COVENANT CONDITIONS SET FORTH IN A
COVENANT EXECUTED BY TRUSTEES OF THE
WINGATE FARM REALTY TRUST DATED NOVEMBER
5, 2007 AND RECORDED AT NORFOLK REGISTRY
OF DEEDS, BOOK NO. 25288, PAGE NO. 94.

I CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE
THE PLANNING BOARD APPROVAL AND NO
APPEAL HAS BEEN FILED IN THIS OFFICE.

TOWN CLERK

DATE

DATE APPROVED: _____

DATE ENDORSED: _____

TOWN OF MEDWAY PLANNING BOARD

PLANNING BOARD ENDORSEMENT DOES NOT
CONSTITUTE A DETERMINATION OF COMPLIANCE
WITH THE MEDWAY ZONING BY-LAW.

PLAN SCALE: N.T.S.

PLAN DATE: AUGUST 18, 2022

WINGATE FARM DEFINITIVE
SUBDIVISION MODIFICATION
DETAILS
PLAN OF LAND IN
MEDWAY, MA

DETENTION BASIN SECTION

SCALE: HOR 1"=10'
VERT 1"=2'

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)

C-9



LEGACY
ENGINEERING



dan@legacy-ce.com

508-376-8883(o)

508-868-8353(c)

730 Main Street

Suite 2C

Millis, MA 02054

September 8, 2022

Planning & Economic Development Board
155 Village Street
Town Offices
Medway, MA 02053

Ref: Wingate Farm
168 Holliston Street
Definitive Subdivision Construction/Modification

Dear Members of the Board:

I am writing to clarify the waivers for the Wingate Farms Subdivision. Waivers for the subdivision fall within three categories: Waivers granted in the original May 23, 2000 decision, waivers granted in the modified April 20, 2005 decision, and waivers being sought for in the current submission. Each category of waiver refers to a different version of the Planning Board Rules and Regulations as outlined below.

Waivers Approved in the May 23, 2000 Decision (Nov. 21, 1978 Regulations):

- To allow a 5.5-foot sidewalk on one side of Wingate Farm Road with Cape Cod Berm;
 - *This waiver is no longer relevant. No sidewalk or berm is required for a permanent private way.*
- To allow a 530-foot dead end road length;
 - *This waiver is no longer relevant. Current regulations allow dead-end roads up to 600 feet. Previous regulations only allowed up to 400 feet.*
- To allow a 60-foot cul-de-sac radius;
- To allow a 22-foot pavement width with a 45 foot right of way;
 - *This waiver is no longer relevant. A new waiver for a 20-foot pavement width and 45 foot right of way was granted in the modified decision.*
- To allow a 20-foot radius pavement corner rounding at intersection with Holliston Street;
 - *The current pavement rounding radii are 24 and 31 feet. These radii are closer to the required radius of 40, but still require a waiver. As this 20-foot radius waiver was*



previously granted and the proposed radii are larger, it would not appear necessary to grant a new waiver.

- To not require gutterline profiles to be shown on the plans; and
 - *This waiver is no longer relevant. Profiles are shown on the current plans.*
- To allow a retaining wall within the right of way for slope retention in lieu of the standard slope.
 - *This waiver is no longer relevant. No walls are proposed in the right of way.*

Waivers Approved in the April 20, 2005 Decision (April 25, 2000 Regulations):

- Section 4.1.2 – To allow for a modification of the standard roadway cross-section & mass. highway standards, as on the approved drawings, and to allow for a private way designation of the minor roadway.
- Section 4.1.8 – To allow for an as-built plan in lieu of a street acceptance plan and allow for the roadway to be maintained as a private way by the abutters.
- Section 4.2.2.2 – To eliminate the minimum centerline radius of the roadway and allow the road layout as shown.
- Section 4.2.3.1 – To reduce the roadway right of way from fifty (50) feet to forty-five (45) feet throughout the roadway.
- Section 4.2.4.3 – To eliminate the requirement for a separate leveling area and allow it to be incorporated in the vertical curve.
- Section 4.2.6.7 – To reduce the roadway width from 26'-0" to 18'-0" with grass swales.
 - *The proposed road is now 20 feet wide, which is larger than the waived width. It would therefore not appear necessary to vote a new waiver.*
- Section 4.2.6.8 – To allow the use of a recycled asphalt material for the roadway surface in lieu of full bituminous pavement.
 - *Note that the plans and stormwater design have been revised to provide the applicant the option to pave the road if desired.*
- Section 4.2.7. – To eliminate the requirement for curbing along the edge of the road.
- Section 4.2.8 – To eliminate the curb cut requirements.
- Section 4.2.9.1 & 2 – To eliminate the requirement for sidewalks.
 - *This waiver is no longer needed as sidewalks are not required for permanent private ways.*
- Section 4.9.1 – To allow for no street lighting.
- Section 4.11.1 – To waive the requirement for street trees as the site has many mature trees that will remain after construction.



Additional Waivers Requested for the Revised Design (April 26, 2005 Regulations):

- Section 5.6.3 – To allow the use of the 1929 NGVD Datum in lieu of the NAVD88 Datum as the 1929 Datum was used previously.
 - Note that this waiver was listed on the approved modified plans in the 2005 decision, however, it was not mentioned in the written decision. We are therefore seeking this waiver again even though it may have already been approved.
- Section 7.7.2.p To not require the infiltration basin to be on a separate parcel.
- Section 7.7.4.b To allow HDPE pipe where indicated on the plans.

Enclosed are waiver sheets for the three newly requested waivers. We will update the plans with this new comprehensive list of waivers when we undertake the next revision. Do not hesitate to contact me should you have any questions or comments.

Yours Truly,

LEGACY ENGINEERING LLC

Daniel J. Merrikin, P.E.
President

cc: File

Medway Planning and Economic Development Board
FORM Q - Request for Waiver from Rules and Regulations
 Complete 1 form for each waiver request

Project Name:	Wingate Farm
Property Location:	168 Holliston Street
Type of Project/Permit:	Subdivision Modification Plan
Identify the number and title of the relevant Section of the applicable Rules and Regulations from which a waiver is sought.	Section 5.6.3: Planning Board Rules and Regulations
Summarize the text of the relevant Section of the Rules and Regulations from which a waiver is requested.	Plans are to use the NAVD88 Datum
What aspect of the Regulation do you propose be waived?	Use of the NAVD Datum
What do you propose instead?	Use of the 1929 NGVD Datum
Explanation/justification for the waiver request. Why is the waiver needed? Describe the extenuating circumstances that necessitate the waiver request.	Previous plans for the same development used the 1929 NGVD Datum. Continuing to use the same datum reduces confusion.
What is the estimated value/cost savings to the applicant if the waiver is granted?	None
How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	Consistency between plan revisions.
What is the impact on the development if this waiver is denied?	Additional cost to the applicant for design revisions.
What are the design alternatives to granting this waiver?	Revising all elevations to reflect the 0.77' difference between NGVD29 and NAVD88
Why is granting this waiver in the Town's best interest?	consistency between plan revisions for better clarity.
If this waiver is granted, what is the estimated cost savings and/or cost avoidance to the Town?	None
What mitigation measures do you propose to offset not complying with the particular Rule/Regulation?	Notations of the datum are clearly provided on the plans along with a conversion to the NAVD88 datum.
What is the estimated value of the proposed mitigation measures?	None
Other Information?	None
Waiver Request Prepared By:	Legacy Engineering LLC
Date:	8-Sep-22
Questions?? - Please contact the Medway PED office at 508-533-3291.	

Medway Planning and Economic Development Board
FORM Q - Request for Waiver from Rules and Regulations
 Complete 1 form for each waiver request

Project Name:	Wingate Farm
Property Location:	168 Holliston Street
Type of Project/Permit:	Subdivision Modification Plan
Identify the number and title of the relevant Section of the applicable Rules and Regulations from which a waiver is sought.	Section 7.7.2.p: Planning Board Rules and Regulations
Summarize the text of the relevant Section of the Rules and Regulations from which a waiver is requested.	Stormwater basins are to be constructed on separate parcels.
What aspect of the Regulation do you propose be waived?	The requirement of placing stormwater basins on separate parcels.
What do you propose instead?	Allowing the constructed basin to be located on lots in easements.
Explanation/justification for the waiver request. Why is the waiver needed? Describe the extenuating circumstances that necessitate the waiver request.	The Town Assessor does not prefer separate parcels for stormwater facilities
What is the estimated value/cost savings to the applicant if the waiver is granted?	n/a
How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	Consistency with Town preference
What is the impact on the development if this waiver is denied?	n/a
What are the design alternatives to granting this waiver?	n/a
Why is granting this waiver in the Town's best interest?	It is consistent with Town preference
If this waiver is granted, what is the estimated cost savings and/or cost avoidance to the Town?	n/a
What mitigation measures do you propose to offset not complying with the particular Rule/Regulation?	n/a
What is the estimated value of the proposed mitigation measures?	n/a
Other Information?	None
Waiver Request Prepared By:	Legacy Engineering LLC
Date:	8-Sep-22
Questions?? - Please contact the Medway PED office at 508-533-3291.	

Medway Planning and Economic Development Board
FORM Q - Request for Waiver from Rules and Regulations
 Complete 1 form for each waiver request

Project Name:	Wingate Farm
Property Location:	168 Holliston Street
Type of Project/Permit:	Subdivision Modification Plan
Identify the number and title of the relevant Section of the applicable Rules and Regulations from which a waiver is sought.	Section 7.7.4.b: Planning Board Rules and Regulations
Summarize the text of the relevant Section of the Rules and Regulations from which a waiver is requested.	Drainage pipes are to be Class IV concrete pipes.
What aspect of the Regulation do you propose be waived?	Requirement of the use of Class IV concrete pipes.
What do you propose instead?	HDPE drainage pipes.
Explanation/justification for the waiver request. Why is the waiver needed? Describe the extenuating circumstances that necessitate the waiver request.	The outlet pipes for Infiltration Basin #1 are not conducive to the use of concrete pipes.
What is the estimated value/cost savings to the applicant if the waiver is granted?	Unnecessarily complex outlet piping configurations
How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	HDPE is consistent with the LID nature of the proposed basins. The subdivision is a private way and the Town will not be responsible for its maintenance.
What is the impact on the development if this waiver is denied?	Redesign
What are the design alternatives to granting this waiver?	Redesigning outlets to be more complex and larger
Why is granting this waiver in the Town's best interest?	n/a
If this waiver is granted, what is the estimated cost savings and/or cost avoidance to the Town?	n/a
What mitigation measures do you propose to offset not complying with the particular Rule/Regulation?	The subdivision is a private way
What is the estimated value of the proposed mitigation measures?	n/a
Other Information?	None
Waiver Request Prepared By:	Legacy Engineering LLC
Date:	8-Sep-22
Questions?? - Please contact the Medway PED office at 508-533-3291.	



dan@legacy-ce.com

508-376-8883(o)

508-868-8353(c)

730 Main Street

Suite 2C

Millis, MA 02054

September 12, 2022

Planning & Economic Development Board
155 Village Street
Town Offices
Medway, MA 02053

Ref: Wingate Farm
168 Holliston Street
Definitive Subdivision Construction/Modification
Land Disturbance Permit Application

Dear Members of the Board:

As a supplement to the on-going subdivision modification to the Wingate Farm Definitive Subdivision, please find enclosed the following in relation to a Land Disturbance Permit application:

- Two original copies of the completed Land Disturbance Application;
- Two full-size and one 11x17 copy of a revised subdivision plan, which includes:
 - An erosion and Sediment Control Plan (Sheet C-5);
 - A Phasing Plan (Sheet C-5); and
 - The plan portion of the long-term O&M Plan following 26.5.9 of the Bylaw (all sheets).
- One copy of a revised stormwater report, which includes:
 - A narrative outlining compliance with MA Stormwater Management Standards;
 - A long-term O&M plan (Attachment A);
 - A SWPPP for Stormwater Operations and Maintenance during construction (Attachment D);
 - Drainage calculations (Attachment K); and
 - The narrative portion of the long-term O&M Plan following 26.5.9 of the Bylaw.

Compared to the last set of revised documents submitted for the subdivision modification, the enclosed stormwater report simply adds the missing design point 3 existing conditions hydrocad report. The revised subdivision plan adds a few notes required by the Land Disturbance regulations. Please note that all files were submitted electronically as well.



Do not hesitate to contact me should you have any questions or comments.

Yours Truly,

LEGACY ENGINEERING LLC

Daniel J. Merrikin, P.E.
President

cc: File





Town of Medway, MA
Community and Economic Development Department
LAND DISTURBANCE PERMIT APPLICATION

INSTRUCTIONS TO APPLICANT/OWNER

This Application is made pursuant to the *Medway General Bylaws –*
ARTICLE XXVI - Stormwater Management and Land Disturbance

Depending on the scope and location of the planned land disturbance and what other permits are required, this application shall be acted upon by the Medway Conservation Commission, the Medway Planning and Economic Development Board, or the Department's Administrative Team.

The Town's Engineering Consultant may be asked to review the Application and associated plans and provide a review letter. A copy of any review letter will be provided to you.

You and/or your duly authorized Agent/Official Representative are expected to attend the Board or Commission meetings at which your Application will be considered to answer any questions and/or submit such additional information as the Board or Commission may request.
Your absence at the hearings may result in a delay in review and action.

_____, September 12, 20 22

SITE INFORMATION

Location Address: _____ 168 Holliston Street Medway, MA 02053

The land shown on the plan is shown on Medway Assessor's Map # 9 as Parcel(s) # 34 to 37

Total Acreage of Land Area: 5.5 Acres

Description of Property and Existing Conditions (or provide and reference an existing conditions plan) See plan titled "Subdivision Modification Plan Wingate Farm" by Legacy Engineering
dated August 18, 2022

Medway Zoning District Classification: AR-1

Current Use of Property: Single-family dwelling

Other Permits Granted: Definitive Subdivision Approval

APPLICANT INFORMATION

Applicant's Name: Eugene & Karyl Walsh

Mailing Address: 168 Holliston Street
Medway, MA 02053

Name of Primary Contact: Karyl Walsh

Telephone: Office: N/A Cell: 508-533-8440

Email address: wingatefarm@hotmail.com

____ Please check here if the Applicant is the equitable owner (purchaser on a purchase and sales agreement.)

Provide a brief description of the proposed project that will result in a land disturbance. Attach an additional sheet if needed: The construction of a roadway and two single-family dwellings

☐ Single Family Dwelling
☐ Two Family Dwelling
☐ Multi Family Development (# of units____)
☐ New Commercial or Industrial Site Plan
☐ Commercial or Industrial Expansion Site Plan
☐ Redevelopment Site Plan
☐ Re-grading or Land Disturbance
☐ Other

☒ Stormwater basin
☐ Sub-surface detention or infiltration
☐ Roof Drains
☐ Perimeter Drains discharging to: _____
☒ Other: Stormceptor proprietary treatment unit
☐ Previously approved stormwater connection to the municipal storm drainage system.
 (Provide documentation of such approval from Town of Medway)
☐ Illicit stormwater connection (Please describe): _____

Planning and Economic Development Board	Conservation Commission	Zoning Board of Appeals
<input checked="" type="checkbox"/> Subdivision	<input type="checkbox"/> RDA (Request for Determination of Applicability)	<input type="checkbox"/> Special Permit
<input type="checkbox"/> Site Plan	<input checked="" type="checkbox"/> Notice of Intent/Order of Conditions	<input type="checkbox"/> Comprehensive Permit
<input type="checkbox"/> Special Permit	(NOI in future for house lots)	<input type="checkbox"/> Variance

PROPERTY OWNER INFORMATION (if not applicant)Property Owner's Name: Same as applicantMailing Address: _____

Primary Contact: _____

Telephone: Office: _____ Cell: _____

Email address: _____

The owner's title to the land that is the subject matter of this application is derived under deed from: Wingate Farm Realty Trust to Eugene & Karyl Walsh dated February 14, 2018 and recorded in Norfolk County Registry of Deeds, Book 35797 Page 582 or Land Court Certificate of Title Number n/a, Land Court Case Number n/a, registered in the Norfolk County Land Registry District Volume n/a, Page n/a.

CONSULTANT & OFFICIAL REPRESENTATIVE INFORMATION**ENGINEER:** Legacy EngineeringMailing Address: 730 Main Street Suite 2C
Millis, MA 02054Primary Contact: Daniel MerrikinTelephone: Office: 508-376-8883 Cell: 508-868-8353Email address: dan@legacy-ce.comRegistered P.E. License #: 43309**SURVEYOR:** Colonial EngineeringMailing Address: 11 Awl Street
Medway, MA 02053Primary Contact: Anthony DellorcoTelephone: Office: 508-533-1644 Cell: N/AEmail Address: colonial.eng@verizon.netRegistered P.L.S. License #: 34303**OFFICIAL REPRESENTATIVE:** Same as EngineerMailing Address: _____

Telephone: Office: _____ Cell: _____

Email address: _____

SIGNATURES

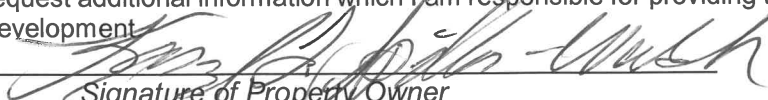
The undersigned, being the Applicant for approval of a Land Disturbance Permit, herewith submits this application to the Medway Community and Economic Development Department. I certify, under the pains and penalties of perjury, that the information contained in this application is a true, complete and accurate representation of the facts regarding the property and proposed development under consideration.

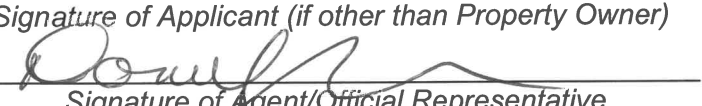
(If applicable, I hereby authorize Daniel Merrikin to serve as my Agent/Official Representative to represent my interests before the Medway Community and Economic Development Department with respect to this application.)

In submitting this application, I authorize Town staff, its consultants and agents, and members of the Conservation Commission and Planning and Economic Development Board to enter the subject property to access the site during the plan review, permitting and enforcement process.

I understand that pursuant to MGL 53G, the Department, Board and Commission may retain outside professional consultants to review this application and that I am responsible for the costs associated with such reviews.

I understand that Town staff, its consultants and agents, and members of the Commission and Board may request additional information which I am responsible for providing to assist them in reviewing the proposed development.

 9/12/22
Signature of Property Owner Date

Signature of Applicant (if other than Property Owner) Date
 2022-09-12
Signature of Agent/Official Representative Date

LAND DISTURBANCE PERMIT Application Checklist

- _____ Land Disturbance Permit Application (2 signed originals – one for Town Clerk and one for Community and Economic Development office)
- _____ Three (3) copies of the Erosion and Sediment Control Plan and associated documents prepared as specified in Medway General Bylaws, ARTICLE XXVI, Section 26.7.
- _____ Three (3) copies of the Post-Construction Stormwater Management Plan including the Long Term Operation and Maintenance Plan and other associated documents as specified in Medway General Bylaws, ARTICLE XXVI, Section 26.8.
- _____ Request for Waivers from the provisions of Medway General Bylaws, ARTICLE XXVI.
- _____ Electronic Version of the application, plans, and all associated application documents. Provide a flash drive or email.

SUBDIVISION MODIFICATION PLAN
WINGATE FARM
A PRIVATE WAY DEFINITIVE SUBDIVISION PLAN

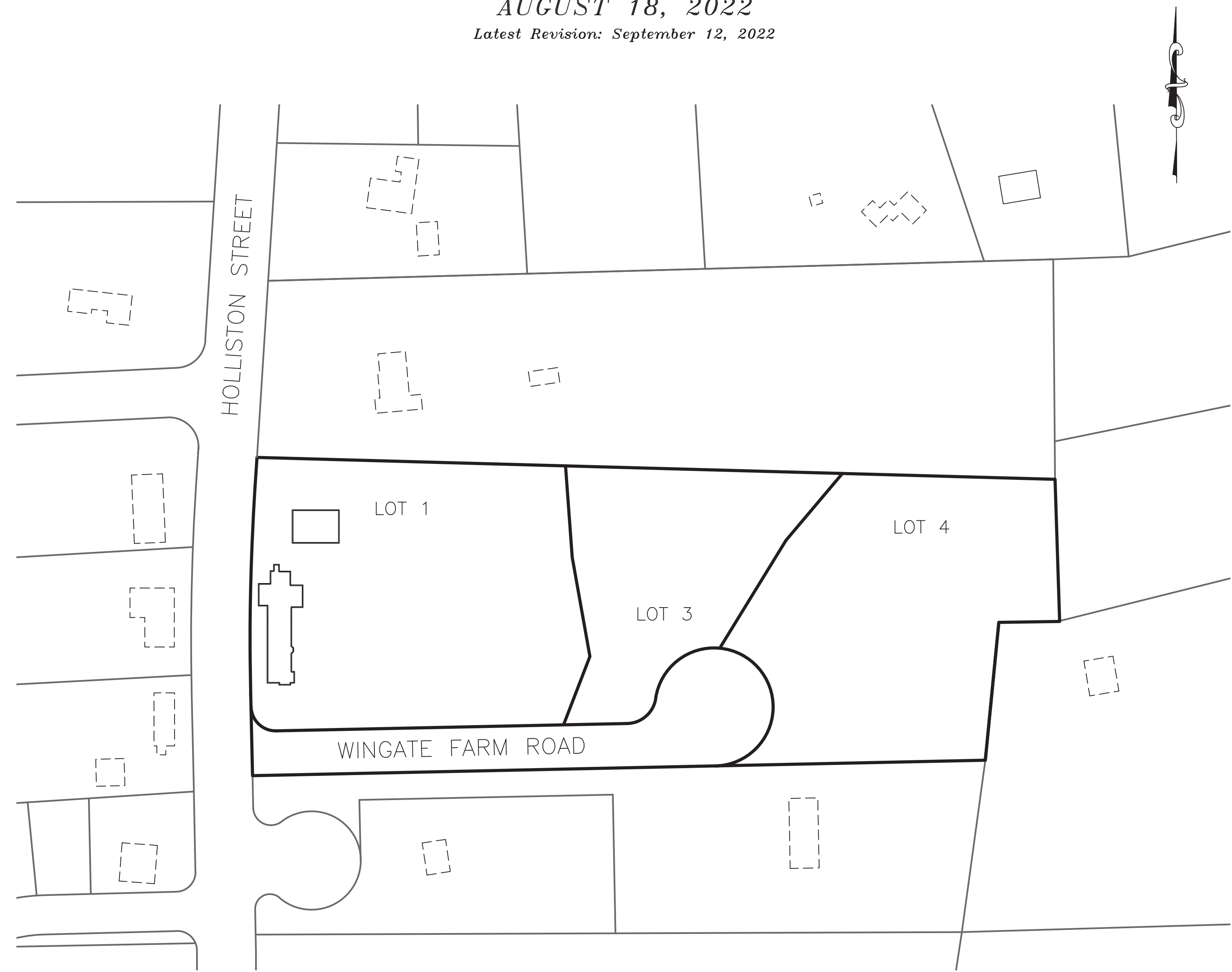
LOCATED IN
MEDWAY, MASSACHUSETTS

OWNERS: EUGENE AND KARYL WALSH
168 HOLLISTON STREET MEDWAY, MA
(508)-533-8440

PREPARED BY:
LEGACY ENGINEERING LLC
730 MAIN STREET, SUITE 2C
MILLIS, MA 02054
AUGUST 18, 2022
Latest Revision: September 12, 2022

WAIVERS

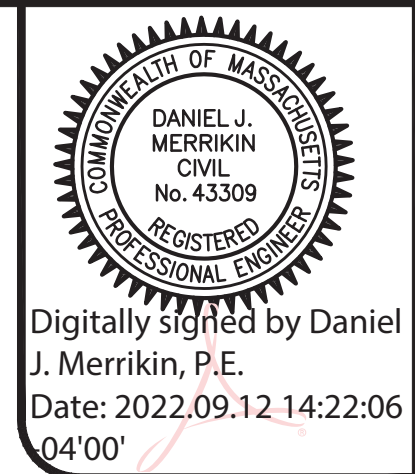
- SECTION 3.3.2.16: TO ALLOW THE USE OF THE 1929 NGVD DATUM IN LIEU OF THE NAVD 88 DATUM AS THE 1929 DATUM WAS USED PREVIOUSLY.
- SECTION 4.1.2: TO ALLOW FOR A MODIFICATION OF THE STANDARD ROADWAY CROSS-SECTION & MASS. HIGHWAY STANDARDS, AS ON THE APPROVED DRAWINGS, AND TO ALLOW FOR A PRIVATE WAY DESIGNATION OF THE MINOR ROADWAY.
- SECTION 4.1.8: TO ALLOW FOR AN AS-BUILT PLAN IN LIEU OF A STREET ACCEPTANCE PLAN AND ALLOW FOR THE ROADWAY TO BE MAINTAINED AS A PRIVATE WAY BY THE ABUTTERS.
- SECTION 4.2: TO WAIVE ALL CONSTRUCTION STANDARDS FOR A TYPICAL ROADWAY AND ALLOW THE PROPOSED WAY TO BE CONSTRUCTED AS SHOWN ON THE APPROVED DRAWING. SPECIFIC EXCLUSIONS ARE:
- 4.2.2.2: TO ELIMINATE THE MINIMUM CENTERLINE RADIUS OF THE ROADWAY AND ALLOW THE ROAD LAYOUT AS SHOWN.
 - 4.2.3.1: TO REDUCE THE ROADWAY RIGHT OF WAY FROM FIFTY (50) FEET TO FORTY FIVE (45) FEET THROUGHOUT THE ROADWAY.
 - 4.2.4.3: TO ELIMINATE THE REQUIREMENT FOR A SEPARATE LEVELING AREA AND ALLOW IT TO BE INCORPORATED IN THE VERTICAL CURVE.
 - 4.2.6.7: TO REDUCE THE ROADWAY WIDTH FROM 26'-0" TO 20'-0" WITH GRASS SWALES.
 - 4.2.6.8: TO ALLOW THE USE OF A RECYCLED ASPHALT MATERIAL FOR THE ROADWAY SURFACE IN LIEU OF FULL BITUMINOUS PAVEMENT (APPLICANT HAS THE OPTION TO PAVE IF DESIRED).
 - 4.2.7: TO ELIMINATE THE REQUIREMENT FOR CURBING ALONG THE EDGE OF THE ROAD.
 - 4.2.8: TO ELIMINATE THE CURB CUT REQUIREMENTS.
 - 4.2.9.1 & 2: TO ELIMINATE THE REQUIREMENT FOR SIDEWALKS.
- SECTION 4.9.1: TO ALLOW FOR NO STREET LIGHTING.
- SECTION 4.11.1: TO WAIVE THE REQUIREMENT FOR STREET TREES AS THE SITE HAS MANY MATURE TREES THAT WILL REMAIN AFTER CONSTRUCTION.
- SECTION 7.7.2.P: TO NOT REQUIRE INFILTRATION BASINS TO BE ON SEPARATE PARCELS.
- SECTION 7.7.4.B: TO ALLOW HDPE STORMWATER PIPE WHERE SHOWN



LOCUS MAP
1' = 100'

INDEX TO DRAWINGS:

- SHEET C-0: COVER SHEET
SHEET C-1: KEY SHEET
SHEET C-2: EXISTING CONDITIONS
SHEET C-3: LAYOUT
SHEET C-4: GRADING & UTILITIES
SHEET C-5: EROSION CONTROL
SHEET C-6: PROFILES & PLAN VIEW
SHEET C-7: CONSTRUCTION DETAILS
SHEET C-8: CONSTRUCTION DETAILS
SHEET C-9: CONSTRUCTION DETAILS



Digitally signed by Daniel J. Merrikin, P.E.
Date: 2022.09.12 14:22:06
04'00"

FOR REGISTRY USE

NOT FOR CONSTRUCTION.
ISSUED FOR REVIEW.

OWNER/APPLICANT
EUGENE & KARYL WALSH
168 HOLLISTON STREET
MEDWAY, MA 02053

ZONING DISTRICT
AR-1

ASSESSORS PARCEL
MAP 9 PARCELS 34, 35, 36, 37

PLAN & DEED REFERENCE
DEED: BOOK 25288, PAGE 92
DEED: BOOK 35797, PAGE 582
PLAN: BOOK 574 NO. 64

NOTE: THIS SUBDIVISION PLAN IS A MODIFICATION TO A PREVIOUSLY APPROVED SUBDIVISION BY CONSOLIDATED DESIGN GROUP INC., RECORDED IN THE NORFOLK COUNTY REGISTRY OF DEEDS IN PLAN BOOK 574 NO. 64 AND PLAN BOOK 575 NO. 78.

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

PROFESSIONAL LAND SURVEYOR

APPROVED _____, SUBJECT TO COVENANT CONDITIONS SET FORTH IN A COVENANT EXECUTED BY TRUSTEES OF THE WINGATE FARM REALTY TRUST DATED NOVEMBER 5, 2007 AND RECORDED AT NORFOLK REGISTRY OF DEEDS, BOOK NO. 25288, PAGE NO. 94.

I CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE THE PLANNING BOARD APPROVAL AND NO APPEAL HAS BEEN FILED IN THIS OFFICE.

TOWN CLERK _____ DATE _____

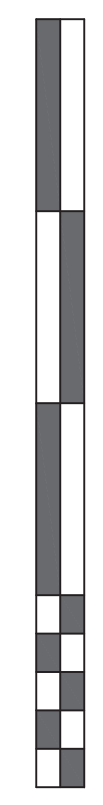
DATE APPROVED: _____

DATE ENDORSED: _____

TOWN OF MEDWAY PLANNING BOARD

PLANNING BOARD ENDORSEMENT DOES NOT CONSTITUTE A DETERMINATION OF COMPLIANCE WITH THE MEDWAY ZONING BY-LAW.

PLAN SCALE: AS NOTED



REVISION	DATE	BY	DATE	BY
1	2022-09-12	DJM		
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WINGATE FARM DEFINITIVE
SUBDIVISION MODIFICATION
COVER SHEET
PLAN OF LAND IN
MEDWAY, MA

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)

C-0



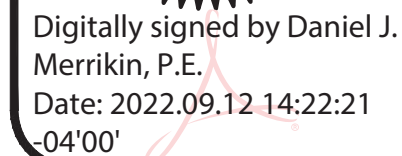
LEGACY
ENGINEERING

1. SURVEY NOTES:
 - A. SURVEY BY COLONIAL ENGINEERING, INC.
 - B. DATUM: NAVD29 (TO CONVERT TO NAVD88, LOWER ELEVATIONS BY 0.77 FEET)
2. EXISTING UTILITY INFORMATION IS BASED ON BEST AVAILABLE RECORDS FROM THE TOWN OF NORWOOD AND OTHER SOURCES AND VISIBLE SURFACE FEATURES SUCH AS MANHOLES, CATCH BASINS, UTILITY POLES/HYDRANTS, VALVE BOXES, ETC.... EXISTING UTILITY INFORMATION DEPICTED ON THESE PLANS ARE NOT WARRANTED TO BE CORRECT AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING ALL LOCATIONS PRIOR TO COMMENCEMENT OF WORK.
3. WINGATE FARM WAS ORIGINALLY APPROVED ON MAY 23, 2000. CONSTRUCTION BEGAN BUT HAS NOT YET BEEN COMPLETED. AS A RESULT, PORTIONS OF THE DEPICTED IMPROVEMENTS ARE INSTALLED AS OF THE DATE OF THIS PLAN.

1. THE CONTRACTOR SHALL CONTACT DIGSAFE AT 811 PRIOR TO ANY EXCAVATION ACTIVITIES.
2. THE DEVELOPER SHALL BE RESPONSIBLE FOR PROVIDING THE REQUIRED STREET NAME AND STOP SIGNS.
3. UNLESS OTHERWISE NOTED, ALL CONSTRUCTION SHALL CONFORM TO THE SUBDIVISION REGULATIONS.
4. DETAILS HAVE BEEN PROVIDED ON THE LAST SHEETS OF THIS PLAN SET. MOST OF THE DETAILS INCLUDED THEREIN ARE INTENDED TO MATCH THE REQUIREMENTS OF THE TOWN OF MEDWAY LAND "SUBDIVISION RULES" AND REGULATIONS FOR ROADWAY AND UTILITY CONSTRUCTION. WHERE THE STANDARD DETAILS INCLUDED HEREIN DIFFER FROM THE SUBDIVISION RULES, THE SUBDIVISION RULES SHALL BE ADHERED TO UNLESS OTHERWISE AGREED BY THE PLANNING AND ECONOMIC DEVELOPMENT BOARD.

1. ALL PIPELINE NEAR FOOTAGES REFERENCED IN THESE PLANS ARE HORIZONTAL DISTANCES AND DO NOT REFLECT THE SLOPED DISTANCE OF THE PIPELINE.
2. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE DESIGN OF ALL UNDERGROUND FIRE ALARM, GAS, ELECTRICAL, TELEPHONE, AND CABLE DISTRIBUTION SYSTEMS WITHIN THE ROADWAY RIGHT-OF-WAY. DESIGN SHALL INCLUDE APPROPRIATE CONDUIT RUNS AND JUNCTION BOX LOCATIONS. JUNCTION BOXES HAVE BEEN APPROXIMATELY SHOWN ON THE LOT CORNERS BUT SUCH LOCATIONS MAY BE CHANGED BY THE ELECTRIC COMPANY AT THE TIME OF CONSTRUCTION.
3. WATER MAINS SHALL BE CLASS 52 CEMENT LINED DUCTILE IRON PIPE. ALL BRASS GOODS FOR POTABLE WATER SYSTEMS TO BE LEAD FREE. OTHER MATERIALS TO BE USED WITHIN THE STREET LAYOUT SHALL BE CLASS III REINFORCED CONCRETE PIPE (RCP) EXCEPT WHERE OTHERWISE NOTED. DRAIN PIPING ON INDIVIDUAL LOTS MAY BE HOPE SUITABLE FOR H2O LOADINGS.

CB	CIRCLE—GRATE CATCH BASIN
CB	DOUBLE—GRATE CATCH BASIN
PTU	XU—PROPRIETARY STORMWATER UNIT
DM	DRIVE MANHOLE
TR. DR.	TRENCH DRAIN
INFIL. TR.	INFILTRATION TRENCH
DR	RAIN DRAIN PIPE
RC	REINFORCED CONCRETE PIPE
PVC	POLYVINYL CHLORIDE PIPE
○ SMH	SEWER MANHOLE
○ S	SEWER PIPELINE
○ C	SEWER SERVICE CLEANOUT
○ XW	WATER MAIN
HYD.	HYDRANT
W	WATER SERVICE VALVE
○ S.V.	SEWER CURB STOP
○ M.B.	WATER SERVICE METER BOX
○ C	GAS PIPELINE
○ E	ELECTRIC CONDUIT
L.P.	LIGHT POLE
U.P.	UTILITY POLE
G.Y.	GUY WIRE
S.P.	TRAFFIC SIGNAL
252	EXISTING CONTOUR
252a	PROPOSED CONTOUR
E.O.P.	EDGE OF CONTOUR
V.B.B.	VERTICAL SLOPED BIT. BERM
S.G.C.	SLOPED GRANITIC BERM
V.G.C.	VERTICAL GRANITE CURB
V.C.C.	VERTICAL CONCRETE CURB
E.C.	EDGE CONCRETE SLAB
G.V.	GRADE
L.F.L.F.	LEAVE LINK FENCE
W.S.	WOOD STOCKADE FENCE
P.P.F.	PICKET FENCE
R.R.	RAILROAD RAILROAD
C.	HANDICAP CURB CUT



FOR REGISTRY USE

NOT FOR CONSTRUCTION.
ISSUED FOR REVIEW.

OWNER/APPLICANT
EUGENE & KARYL WALSH
168 HOLLISTON STREET
MEDWAY, MA 02053

ZONING DISTRICT
AR-1

ASSESSORS PARCEL
MAP 9 PARCELS 34, 35, 36, 37

PLAN & DEED REFERENCE
DEED: BOOK 25288, PAGE 92
DEED: BOOK 35797, PAGE 582
PLAN: BOOK 574 NO. 64

NOTE: THIS SUBDIVISION PLAN IS A
MODIFICATION TO A PREVIOUSLY
APPROVED SUBDIVISION BY
CONSOLIDATED DESIGN GROUP INC.,
RECORDED IN THE NORFOLK COUNTY
REGISTRY OF DEEDS IN PLAN BOOK
574 NO. 64 AND PLAN BOOK 575
NO. 78.

I CERTIFY THAT THIS PLAN HAS BEEN
PREPARED IN CONFORMITY WITH THE RULES
AND REGULATIONS OF THE REGISTERS OF
DEEDS OF THE COMMONWEALTH OF
MASSACHUSETTS.

PROFESSIONAL LAND SURVEYOR

APPROVED _____, SUBJECT
TO COVENANT CONDITIONS SET FORTH IN A
COVENANT EXECUTED BY TRUSTEES OF THE
WINGATE FARM REALTY TRUST DATED NOVEMBER
5, 2007 AND RECORDED AT NORFOLK REGISTRY
OF DEEDS, BOOK NO. 25288, PAGE NO. 94.

I CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE
THE PLANNING BOARD APPROVAL AND NO
APPEAL HAS BEEN FILED IN THIS OFFICE.

TOWN CLERK _____ DATE _____

DATE APPROVED: _____

DATE ENDORSED: _____

TOWN OF MEDWAY PLANNING BOARD

PLANNING BOARD ENDORSEMENT DOES NOT
CONSTITUTE A DETERMINATION OF COMPLIANCE
WITH THE MEDWAY ZONING BY-LAW.

PLAN SCALE: 1":200'

[illegible]

WINGATE FARM DEFINITIVE
SUBDIVISION MODIFICATION
EXISTING CONDITIONS
PLAN OF LAND IN
MEDWAY, MA

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)



LEGACY
ENGINEERING

NOTES:
1. ON-SITE EXISTING CONDITIONS INFORMATION DEPICTED ON THIS SHEET REPRESENTS CONDITIONS PRIOR TO THE ONGOING SITE DEVELOPMENT AND IS TAKEN FROM THE PREVIOUS SUBDIVISION PLANS.
2. OFF-SITE CONDITIONS TAKE FROM AERIAL PHOTOGRAPHS AND OTHER AVAILABLE INFORMATION.



Digitally signed by Daniel J. Merrikin, P.E.
Date: 2022.09.12 14:22:36 -04'00'

FOR REGISTRY USE

FAIRWAY LANE
(PUBLIC-50' WIDE)

N/F ROBERT
HOWLETT

HOUSE
171

N/F JOSEPH
MARTINO

HOUSE
169

N/F WILLIAM
RICHARDS

HOUSE
167

N/F TIMBER
CREST LLC

HOUSE
165

HOLLISTON STREET

HOUSE
170

N/F JOHN TIGHE

TBM NAIL
IN 14" OAK
ELEV=258.68

TBM NAIL
IN 12" PINE
ELEV=269.61

EXISTING LOT
239,923 S.F.
5.5 ACRES

LIMIT OF
BORDERING
VEGETATED
WETLAND

BORDERING
VEGETATED
WETLANDS

N/F MARC
MCNULTY

NOT FOR CONSTRUCTION.
ISSUED FOR REVIEW.

OWNER/APPLICANT
EUGENE & KARYL WALSH
168 HOLLISTON STREET
MEDWAY, MA 02053

ZONING DISTRICT
AR-1

ASSESSORS PARCEL
MAP 9 PARCELS 34, 35, 36, 37

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PROFESSIONAL LAND SURVEYOR

APPROVED _____ SUBJECT TO COVENANT CONDITIONS SET FORTH IN A COVENANT EXECUTED BY TRUSTEES OF THE WINGATE FARM REALTY TRUST DATED NOVEMBER 5, 2007 AND RECORDED AT NORFOLK REGISTRY OF DEEDS, BOOK NO. 25288, PAGE NO. 94.

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TOWN CLERK _____ DATE _____

DATE APPROVED: _____

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TOWN OF MEDWAY PLANNING BOARD

PLANNING BOARD ENDORSEMENT DOES NOT CONSTITUTE A DETERMINATION OF COMPLIANCE WITH THE MEDWAY ZONING BY-LAW.

PLAN SCALE: 1"=40'

PLAN DATE: AUGUST 18, 2022

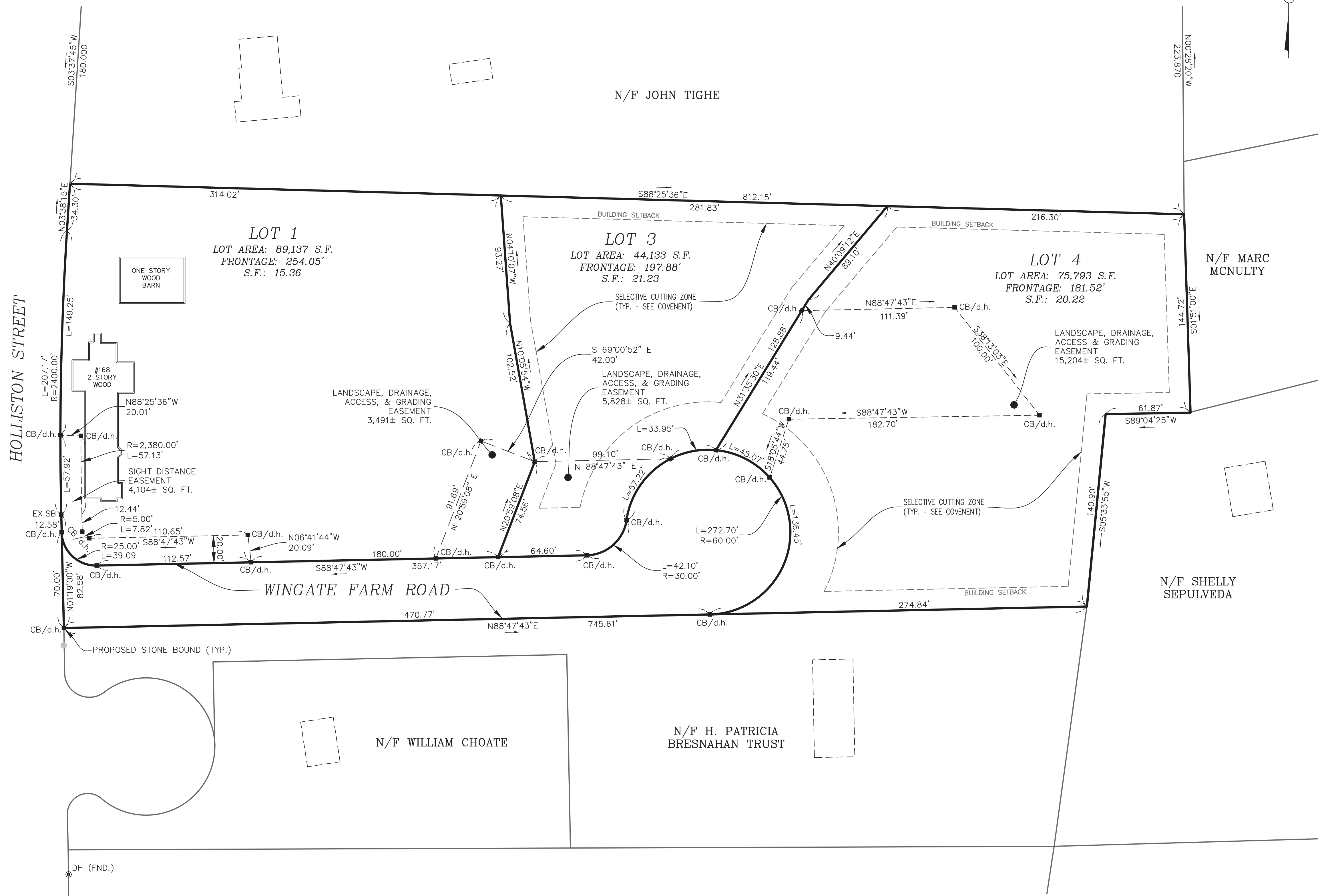
REVISION	DATE	BY
UPDATES FOR LAND DIST. APPLICATION	2022-09-12	DJM

WINGATE FARM DEFINITIVE
SUBDIVISION MODIFICATION
EXISTING CONDITIONS
PLAN OF LAND IN
MEDWAY, MA

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)



LEGACY
ENGINEERING



NOT FOR CONSTRUCTION.
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OWNER/APPLICANT
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168 HOLLISTON STREET
MEDWAY, MA 02053

ZONING DISTRICT
AR-1

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ZONING REQUIREMENTS:

ZONE: AR-1
MIN. LOT AREA: 44,000 S.F.
MIN. FRONTAGE: 180'
SHAPE FACTOR: <22
MIN. FRONT SETBACK: 35'
MIN. SIDE SETBACK: 15'
MIN. REAR SETBACK: 15'
MAX. HEIGHT: 35'
MAX. LOT COVERAGE: 25%

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)

C-3



LEGACY
ENGINEERING

FOR REGISTRY USE

PLAN SCALE: 1"=40'



PLAN DATE: AUGUST 18, 2022

REVISION	DATE	BY
UPDATES FOR LAND DIST. APPLICATION	2022-09-12	DJM

WINGATE FARM DEFINITIVE
SUBDIVISION MODIFICATION
PROPOSED LAYOUT
PLAN OF LAND IN
MEDWAY, MA

- NOTES:
1. NO DWELLING WILL BE CONSTRUCTED ON ANY LOT WITHOUT FIRST SECURING FROM THE BOARD OF HEALTH THE DISPOSAL WORKS CONSTRUCTION PERMIT REQUIRED BY TITLE 5 OF THE STATE ENVIRONMENTAL CODE.
 2. INSTALL 30" W2-2L (LEFT INTERSECTION AHEAD SIGN) WITH W16-4 ("250 FEET"). IF NOT INSTALLED BY OTHERS PRIOR TO LOT DEVELOPMENT, INSTALL A SPEED DISPLAY FEEDBACK SIGN. SPECIFIC SIGN AND LOCATION TO BE APPROVED BY MEDWAY POLICE DEPARTMENT.



FOR REGISTRY USE

FAIRWAY LANE
(PUBLIC-50' WIDE)

N/F ROBERT
HOWLETT

N/F JOHN TIGHE

N/F MARC
MCNULTY

NOT FOR CONSTRUCTION.
ISSUED FOR REVIEW.

OWNER/APPLICANT
EUGENE & KARYL WALSH
168 HOLLISTON STREET
MEDWAY, MA 02053

ZONING DISTRICT
AR-1

ASSESSORS PARCEL
MAP 9 PARCELS 34, 35, 36, 37

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PLAN SCALE: 1"=40'



PLAN DATE: AUGUST 18, 2022

REVISION	DATE	BY
UPDATES FOR LAND DIST. APPLICATION	2022-09-12	DJM

WINGATE FARM DEFINITIVE
SUBDIVISION MODIFICATION
GRADING AND UTILITY
PLAN OF LAND IN
MEDWAY, MA

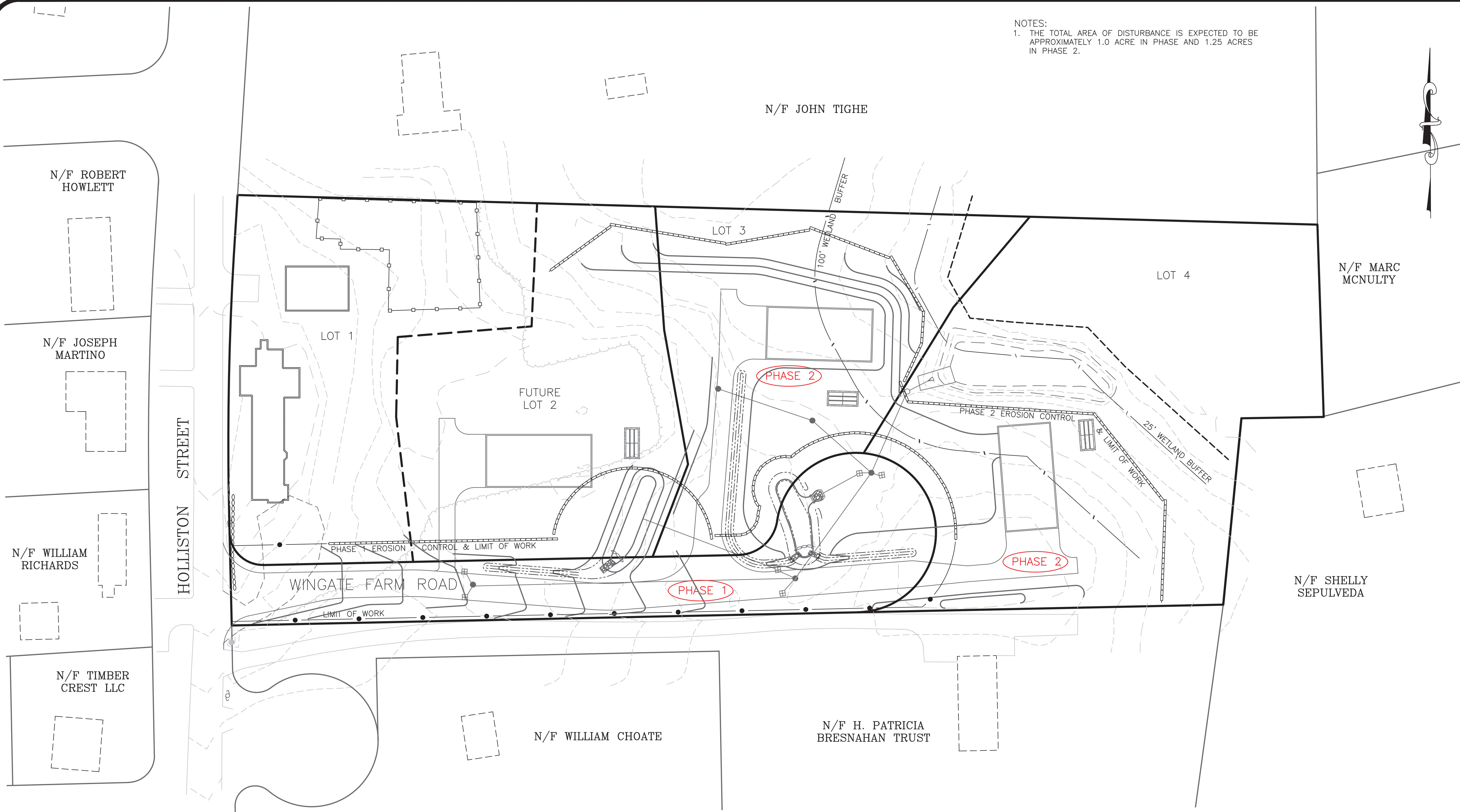
1. SOIL VOLUMES FOR PHASE 1:
 - 1.1. CUT: 900 C.Y.
 - 1.2. FILL: 750 C.Y.
 - 1.3. TOTAL: 150 C.Y. CUT
2. SOIL VOLUMES FOR PHASE 2:
 - 2.1. CUT: 2,150 C.Y.
 - 2.2. FILL: 1,950 C.Y.
 - 2.3. TOTAL: 200 C.Y. CUT

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)

C-4



LEGACY
ENGINEERING



NOTES:
1. THE TOTAL AREA OF DISTURBANCE IS EXPECTED TO BE APPROXIMATELY 1.0 ACRE IN PHASE AND 1.25 ACRES IN PHASE 2.



Digitally signed by
Daniel J. Merrikin, P.E.
Date: 2022.09.12
14:23:07 -04'00'

FOR REGISTRY USE

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OWNER/APPLICANT
EUGENE & KARYL WALSH
168 HOLLISTON STREET
MEDWAY, MA 02053

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TOWN OF MEDWAY PLANNING BOARD

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SEDIMENT & EROSION CONTROL NOTES

GENERAL

- IF APPLICABLE (I.E. >1 ACRE OF DISTURBANCE), FOR COMPLETE EROSION CONTROL AND CONSTRUCTION ACTIVITY GUIDANCE, REFER TO THE SWPPP. OTHERWISE FOLLOW THE SUBDIVISION PLAN.
- FOR SWPPP PROJECTS, A NOTICE SHALL BE POSTED VISIBLE FROM A PUBLIC RIGHT-OF-WAY WITH CONTACT INFORMATION AND INSTRUCTIONS TO FIND A COPY OF THE SWPPP.

PHASING AND CONSTRUCTION SEQUENCE

- PHASE 1 – INFRASTRUCTURE CONSTRUCTION SEQUENCE
 - STAKEOUT AND INSTALL EROSION AND PERIMETER CONTROLS (WHICH WILL DELINEATE THE LIMIT OF WORK FOR THE PROJECT);
 - DEMARCATÉ THE LOCATION OF EXISTING UTILITIES ON AND AROUND THE CONSTRUCTION AREA;
 - CLEAR THE PROPOSED ENTRY AREAS. THE EXISTING DRIVEWAY SHALL SERVE AS THE CONSTRUCTION CONSTRUCTION ENTRANCE APRON;
 - CLEAR AND GRUB THE REMAINING PORTIONS OF THE PHASE'S DEVELOPMENT AREA;
 - STRIP AND STOCKPILE TOPSOIL;
 - COMMENCE ROUGH GRADING TO SUB-GRADE ELEVATIONS;
 - INSTALL NEW SITE UTILITIES, INCLUDING THE STORMWATER MANAGEMENT SYSTEM.
 - PAVE/GRAVEL THE ROAD/DRIVEWAY TO BINDER COURSE;
 - LOAM, SEED, AND STABILIZE DISTURBED AREAS;
 - CLEANOUT ALL CATCH BASINS AND NEW STORMWATER BMPs IN THE PORTION OF THE SITE AFFECTED BY CONSTRUCTION ACTIVITIES AFTER THE SITE IS FULLY STABILIZED.
- PHASE 2 – BUILDING CONSTRUCTION SEQUENCE
 - INSTALL CONSTRUCTION ENTRANCE AND PERIMETER EROSION CONTROLS AROUND EACH BUILDING CONSTRUCTION AREA;
 - GRUB THE BUILDING DEVELOPMENT AREA
 - GRADE DEVELOPMENT AREA TO SUB-GRADE;
 - INSTALL BUILDING FOUNDATION(S) AND BEGIN BUILDING CONSTRUCTION;
 - INSTALL UTILITIES TO NEW BUILDING;
 - COMPLETE CONSTRUCTION OF NEW BUILDING(S) AND COMPLETE LANDSCAPING;
 - TOP COURSE PAVE THE ROAD/DRIVEWAY AND SIDEWALK (IF APPLICABLE);
 - TEMPORARY EROSION CONTROLS WILL BE INSTALLED AS NEEDED AND AS REQUIRED BY THIS PLAN;
 - CLEANOUT ALL CATCH BASINS AND NEW STORMWATER BMPs IN THE PORTION OF THE SITE AFFECTED BY CONSTRUCTION ACTIVITIES AFTER THE SITE IS FULLY STABILIZED.

PERIMETER EROSION CONTROL AND SEDIMENT CONTROLS

- PERIMETER EROSION AND SEDIMENT CONTROL BARRIERS WILL BE PROVIDED, INSTALLED, AND MAINTAINED DOWNSTREAM OF ALL PROPOSED CONSTRUCTION ACTIVITIES IN ACCORDANCE WITH THE SWPPP (IF APPLICABLE), THE SITE PLAN, AND ALL PERMITS ISSUED FOR THE SITE DEVELOPMENT. SUCH CONTROLS MUST BE INSTALLED BEFORE ANY EARTH-DISTURBING ACTIVITIES OCCUR ON THE SITE IN QUESTION. EROSION AND SEDIMENT CONTROLS MAY BE INSTALLED IN PHASES SO LONG AS IT PRECEDES ANY EARTH-DISTURBING ACTIVITIES WITHIN THE CONTROLS' UPSTREAM WATERSHED.
- SEDIMENT SHALL BE REMOVED ALONG SUCH CONTROLS ON A REGULAR BASIS. IN NO CASE, SHALL SEDIMENT BE ALLOWED TO REACH A DEPTH EQUAL TO ONE HALF OF THE ABOVE GROUND HEIGHT OF THE EROSION CONTROL DEVICE.

SITE ACCESS CONTROLS

- CONSTRUCTION VEHICLES WILL USE DESIGNATED ENTRY POINTS FOR EACH SITE. CRUSHED STONE OR RIP-RAP ENTRY APRON(S) WILL BE INSTALLED AND PROPERLY MAINTAINED DURING CONSTRUCTION UNTIL THE SITE IS PAVED. ALL CONSTRUCTION ACCESS WILL BE VIA THE FRONTAGE PUBLIC ROAD STREET, WHICH WILL BE KEPT CLEAN AND SWEEPED AS NEEDED TO MINIMIZE THE TRACKING OF SOILS AND DUST FROM THE SITE.

STOCKPILED SOILS

- SOIL STOCKPILES TO BE LEFT IN PLACE MORE THAN 24 HOURS SHALL BE SURROUNDED WITH A LINE OF SILT FENCE OR COMPOST SOCK TO PREVENT THE PILES FROM ERODING INTO THE SITE AND TO DISCOURAGE ON-SITE RUNOFF FROM ERODING THE STOCKPILES. SOIL STOCKPILES TO BE LEFT IN PLACE MORE THAN 14 DAYS SHALL BE STABILIZED TEMPORARILY. DUST CONTROL MEASURES SHALL BE IMPLEMENTED TO PREVENT WIND EROSION OF THE STOCKPILES.

DUST CONTROL

- DUST CONTROL MEASURES WILL BE IMPLEMENTED REGULARLY TO PREVENT THE OFF-SITE DEPOSITION OF WIND-ERODED SOILS. THE PRINCIPAL FORM OF DUST CONTROL WILL BE WATER APPLICATION.

DISTURBANCE OF STEEP SLOPES

- CONTRACTORS MUST PAY CAREFUL ATTENTION TO STEEP SLOPES AND MUST IMPLEMENT ADDITIONAL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES DURING WORK ON STEEP SLOPES TO PREVENT EROSION. INSTALL EROSION CONTROL BLANKETS IF NEEDED.

SOIL COMPACTION

- AREAS DESIGNATED FOR FINAL VEGETATIVE SURFACES OR CONSTRUCTION-STAGE OR FINAL STORMWATER INFILTRATION PRACTICES SHALL BE PROTECTED FROM EXCESSIVE COMPACTION BY RESTRICTING VEHICLE ACCESS AND THE TYPES OF EQUIPMENT THAT MAY BE USED IN SUCH AREAS. PRIOR TO SEEDING/PLANTING OF SUCH AREAS, EXPOSED SOIL THAT HAS BEEN COMPACTED SHALL BE LOOSENED BY TILLING OR OTHER SIMILAR METHODS. CONDITIONING SHALL CONSIST OF DEEP TILLING WITH A ROTARY TILLER, DISC HARROWING, OR MANUAL LOOSENING AND RE-GRADEING WITH AN EXCAVATOR BUCKET. CONDITIONING SHALL EXTEND TO A DEPTH OF AT LEAST 12-INCHES.

PROTECTION OF STORM DRAIN INLETS

- ALL STORM DRAIN SYSTEM INLETS INSIDE OF PERIMETER CONTROLS SHALL BE PROTECTED WITH SEDIMENT CONTROL MEASURES DESIGNED TO REMOVE SEDIMENT FROM STORMWATER PRIOR TO ENTERING THE INLET. CATCH BASINS ALONG THE STREET FRONTAGE SHALL ALSO BE PROTECTED. SUCH MEASURES SHALL BE PERIODICALLY MAINTAINED AND REPLACED AS NEEDED TO ENSURE THEIR PROPER FUNCTIONALITY. SEDIMENT SHALL BE REMOVED DAILY WHERE FOUND.

TEMPORARY STABILIZATION

- FOR PERMANENTLY OR TEMPORARILY (14 DAYS) CEASED CONSTRUCTION ACTIVITIES, TEMPORARY SOIL STABILIZATION MEASURES WILL BE EMPLOYED AS SOON AS PRACTICABLE BUT NO LONGER THAN 14 CALENDAR DAYS AFTER STABILIZATION HAS BEEN INITIATED. WHERE APPLICABLE, SEE THE SWPPP FOR ADDITIONAL REQUIREMENTS.

MAINTENANCE OF EROSION & SEDIMENT CONTROL MEASURES

- EROSION AND SEDIMENT CONTROL MEASURES WILL BE MAINTAINED IN GOOD CONDITION FOR THE DURATION OF THE CONSTRUCTION ACTIVITY AND UNTIL SUCH TIME AS THE UPSTREAM AREAS ACHIEVE FINAL STABILIZATION. SEDIMENT WILL BE

REMOVED ALONG PERIMETER EROSION CONTROLS WHEN THE DEPTH EXCEEDS FOUR-INCHES. ALL CONTROL MEASURES WILL BE MAINTAINED IN EFFECTIVE OPERATING CONDITION. IF SITE INSPECTIONS IDENTIFY CONTROL MEASURES THAT ARE NOT OPERATING EFFECTIVELY OR FINDS OTHER PROBLEMS, THE CONTRACTOR MUST:

- INITIATE WORK TO CORRECT THE PROBLEM IMMEDIATELY UPON DISCOVERY AND COMPLETE THE WORK BY THE CLOSE OF THE NEXT WORK DAY IF THE PROBLEM CAN BE CORRECTED THROUGH ROUTINE MAINTENANCE;
- FOR MORE SIGNIFICANT REPAIRS OR WHERE INSPECTIONS DETERMINE THAT ADDITIONAL EROSION AND SEDIMENT CONTROLS ARE NEEDED, SUCH WORK MUST BE COMPLETED AND OPERATION NO LATER THAN 7 CALENDAR DAYS AFTER DISCOVERY OF THE PROBLEM.

POLLUTION PREVENTION

- CONSTRUCTION STAGING AREAS WILL BE LIMITED IN QUANTITY AND WILL BE MAINTAINED IN A NEAT AND ORDERLY FASHION. REFER TO THE SITE PLAN FOR STAGING AREA LOCATION(S).
- VEHICLES SHALL BE STORED IN FUELED IN DESIGNATED AREAS. MONITOR ALL EQUIPMENT FOR LEAKS. WHERE APPLICABLE, REFER TO THE SWPPP FOR ADDITIONAL VEHICLE STORAGE AREA REQUIREMENTS.
- VEHICLE OR EQUIPMENT WASHING IS NOT ALLOWED ON-SITE.
- MATERIALS AND EQUIPMENT SHALL BE STORED PROPERLY AND ORDERLY.
- WHERE APPLICABLE, REFER TO THE SWPPP FOR:
 - FURTHER INSTRUCTIONS ON PROPER MATERIAL AND EQUIPMENT STORAGE.
 - REFER TO THE SWPPP FOR DISPOSAL OF WASTE, INCLUDING HAZARDOUS WASTE.
 - REFER TO THE SWPPP FOR SPILL PREVENTION AND RESPONSE PROCEDURES.

DEWATERING PRACTICES

- THIS SITE IS NOT EXPECTED TO ENCOUNTER SIGNIFICANT QUANTITIES OF GROUNDWATER DURING CONSTRUCTION ACTIVITIES BUT IF IT DOES, THE FOLLOWING PRACTICES WILL BE IMPLEMENTED:
 - DO NOT DISCHARGE ANY FLOATING SOLIDS OR FOAM.
 - IF DEWATERING WATER IS FOUND TO CONTAIN OIL, GREASE, ETC... IT MUST BE FILTERED OR PASSED THROUGH AN OIL/WATER SEPARATOR PRIOR TO DISCHARGE.
 - WHEREVER POSSIBLE, DISCHARGE DEWATERING WATER TO VEGETATED UPLAND AREAS FOR INFILTRATION. WHERE THIS IS NOT POSSIBLE, DISCHARGE DEWATERING WATER INTO A FILTERING PIT CONSISTING OF A PERIMETER OF DOUBLE ROWS OF HAYBALES LINED WITH THREE LAYERS OF FILTER FABRIC. DO NOT DIRECT DEWATERING WATER INTO WETLANDS WITHOUT PRIOR TREATMENT;
 - VELOCITY DISSIPATION MEASURES MUST BE INCLUDED AT ALL DISCHARGE POINTS (RIP-RAP OR CRUSHED STONE APRON).

INSPECTIONS

- WHERE APPLICABLE, REFER TO SWPPP FOR INSPECTION & REPORTING REQUIREMENTS IN ADDITION TO THE FOLLOWING:
 - THE SITE SHALL BE INSPECTED AT LEAST ONCE EVERY 14 CALENDAR DAYS AND WITHIN 24 HOURS OF THE OCCURRENCE OF A STORM EVENT OF 0.25 INCHES OR GREATER. INSPECTIONS MAY BE REDUCED DURING THE WINTER AND IN STABILIZED AREAS.
 - ANY DEFICIENCIES SHALL BE REMEDIATED IMMEDIATELY AND NO LATER THAN 7 DAYS AFTER DISCOVERY OF THE DEFICIENCY, AND IF POSSIBLE, PRIOR TO THE NEXT RAINFALL EVENT.

PLAN SCALE: 1"=40'



PLAN DATE: AUGUST 18, 2022

REVISION	DATE	BY
UPDATES FOR LAND DIST. APPLICATION	2022-09-12	DJM

WINGATE FARM DEFINITIVE
SUBDIVISION MODIFICATION
EROSION CONTROL
PLAN OF LAND IN
MEDWAY, MA

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)

C-5



LEGACY
ENGINEERING



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04'00"

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TOWN CLERK _____ DATE _____

DATE APPROVED: _____

DATE ENDORSED: _____

TOWN OF MEDWAY PLANNING BOARD

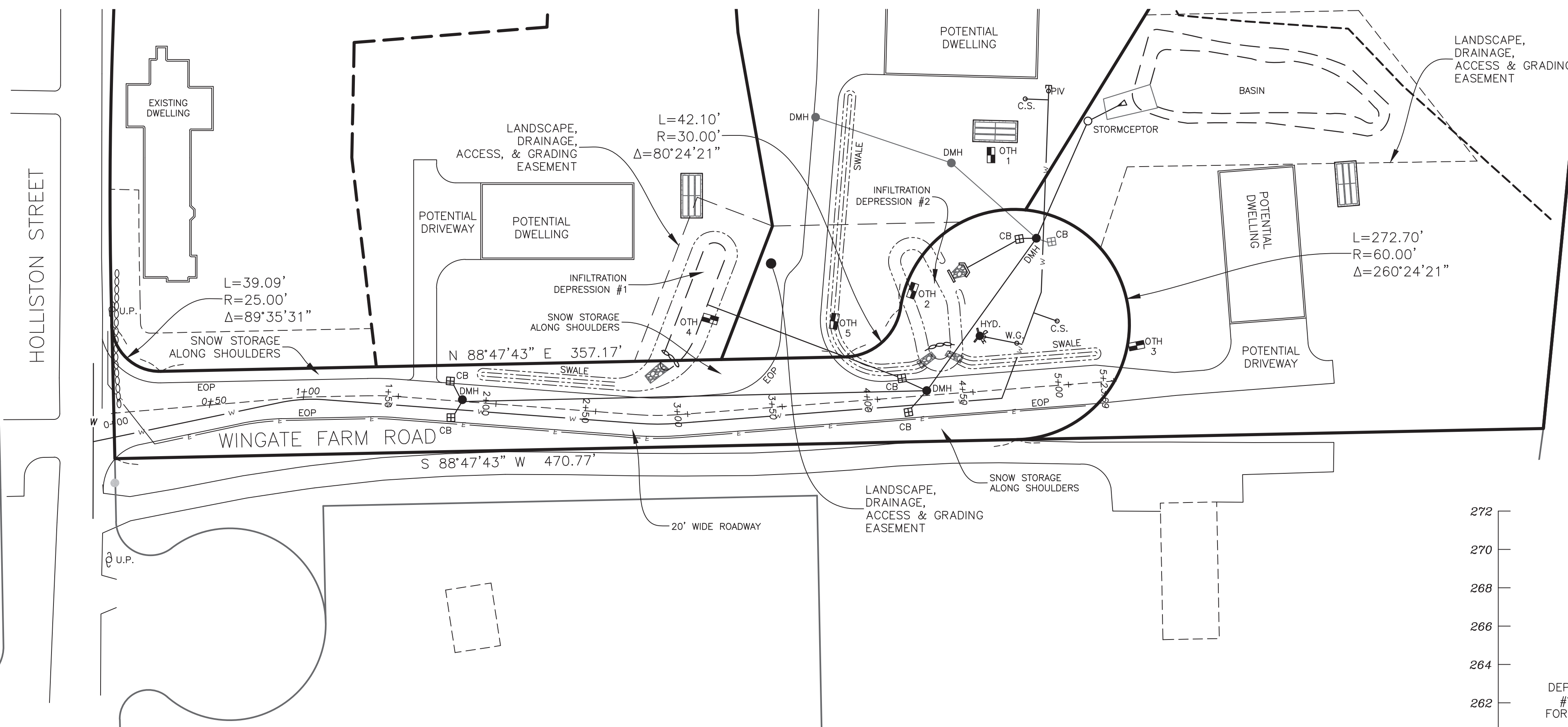
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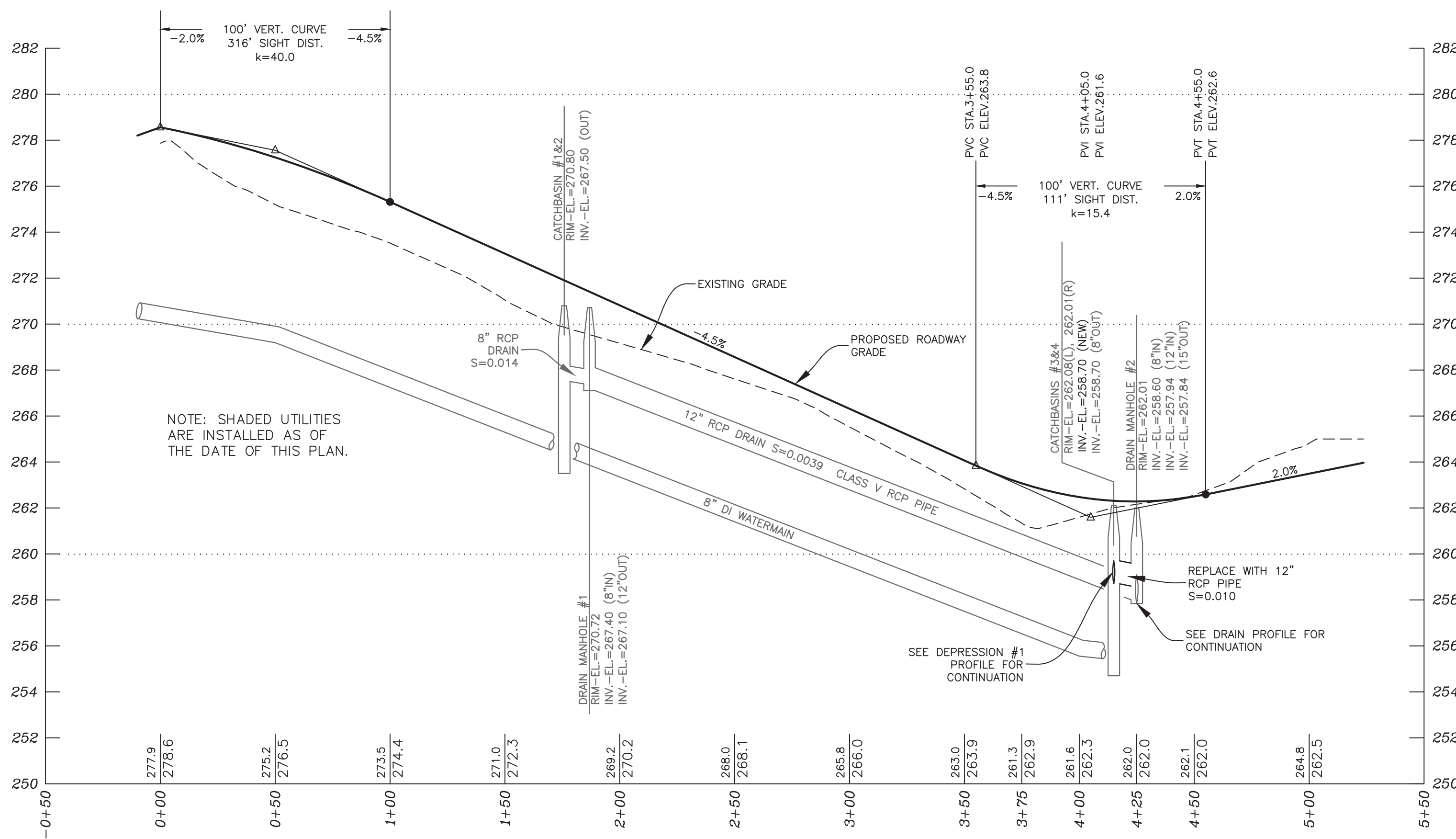
C-6



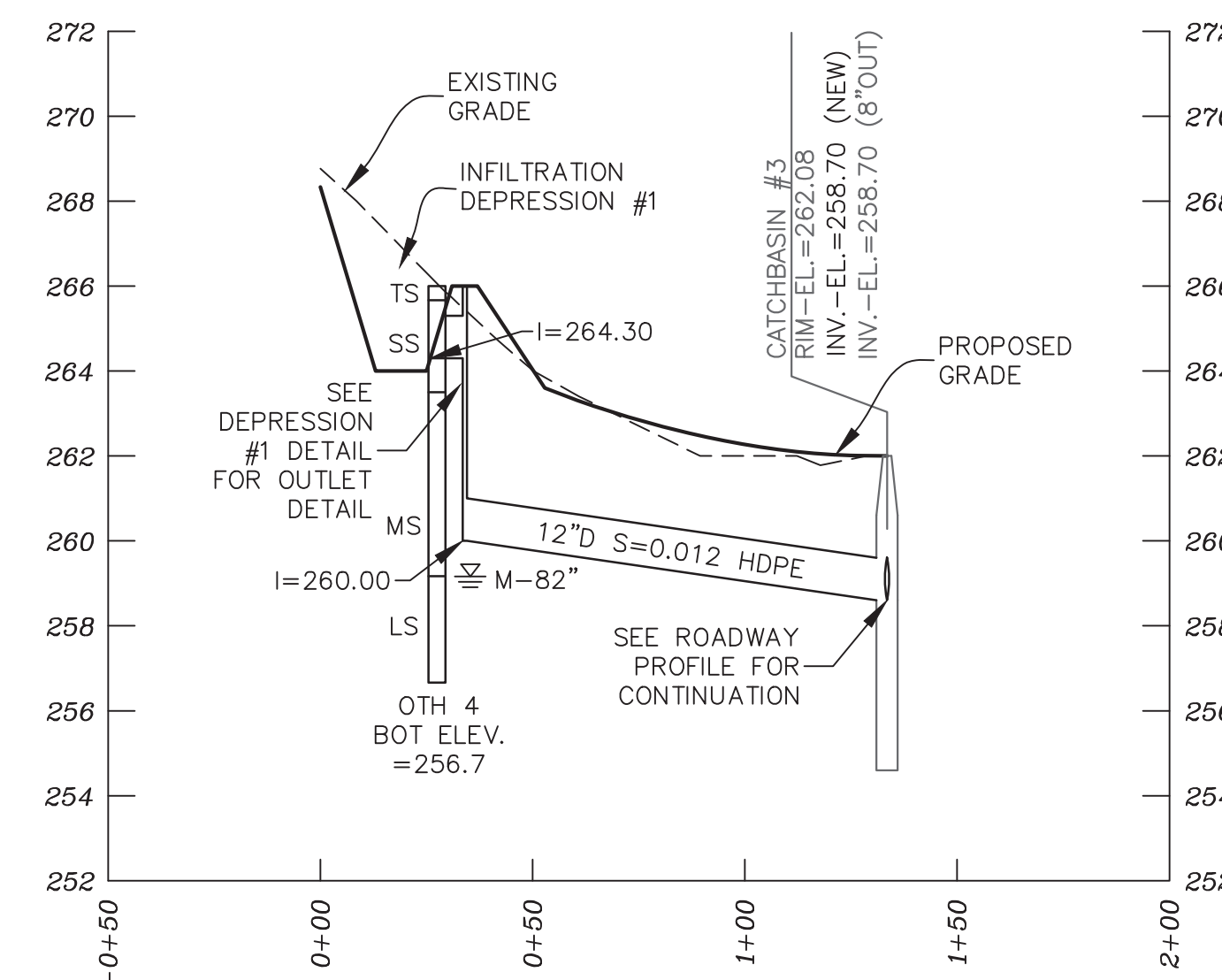
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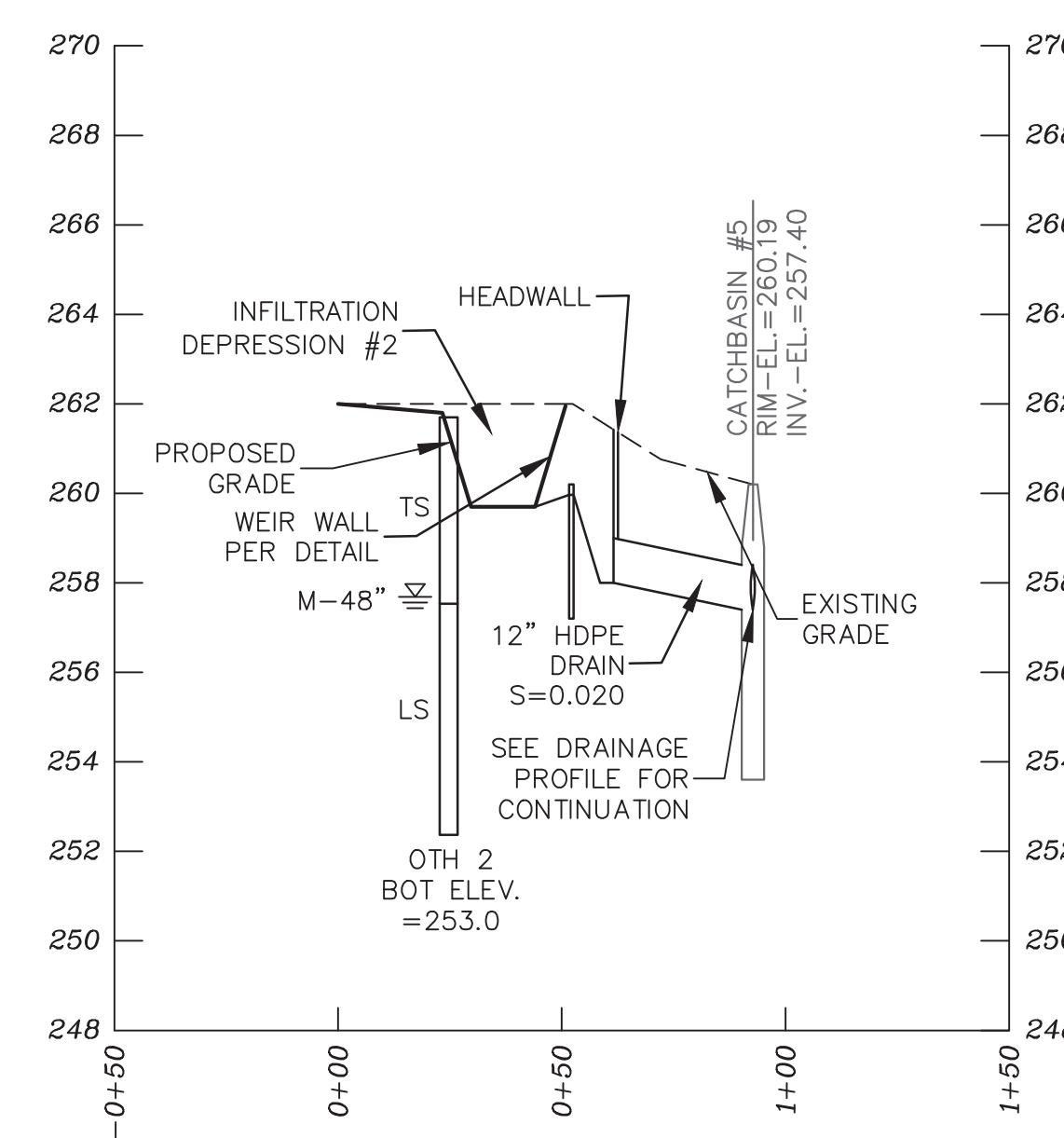
WINGATE FARM ROAD LAYOUT
SCALE: 1" = 40'



WINGATE FARM ROAD PROFILE
SCALE: HOR. 1" = 40'
VERT. 1" = 4'



INFILTRATION DEPRESSION #1 PROFILE
SCALE: HOR. 1" = 40'
VERT. 1" = 4'

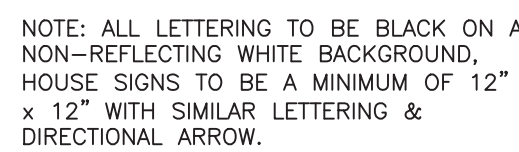


INFILTRATION DEPRESSION #2 PROFILE
SCALE: HOR. 1" = 40'
VERT. 1" = 4'

PLAN SCALE: AS NOTED

PLAN DATE: AUGUST 18, 2022

WINGATE FARM DEFINITIVE
SUBDIVISION MODIFICATION
PROFILES & PLAN VIEW
PLAN OF LAND IN
MEDWAY, MA



- ## DECIDUOUS TREE PLANTING – STAKED

- NOTES:
1. COMPACT "T-BASE" MATERIAL TO 95% DENSITY, WITH VIBRATORY ROLLER.
2. TO BE SUPERELEVATED TOWARDS SWALE



1. STONE SIZE: USE 2" DIAMETER STONE OR RECLAIMED/RECYCLED CONCRETE EQUIVALENT.
2. LENGTH: RECOMMEND GREATER THAN 30 FEET WHERE PRACTICAL.
3. THICKNESS: NOT LESS THAN 4 INCHES BEHIND THE FACE.
4. WIDTH: 15 FEET MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCUR.
5. FILTER CLOTH: SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO THE PLACING OF STONE.
6. SURFACE WATER: ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. EXCESSIVE IS IMPROPER.
7. MAINTENANCE: THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO THE ADJACENT RIGHT-OF-WAY. PERIODIC PERIODIC TRAP DRESSING WITH ADDITIONAL STONE AS CONDITIONED. DEMOLITION AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED.
9. REMOVE STABILIZED CONSTRUCTION ENTRANCE PRIOR TO PLACEMENT OF BITUMINOUS BASE COURSE.



PRECAST STORM DRAIN MANHOLE
NTS

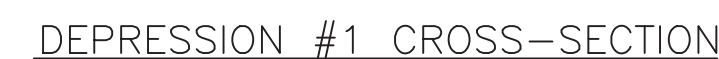
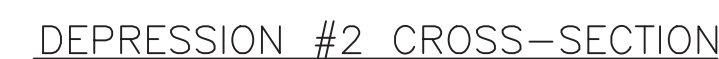
LEGACY
ENGINEERING

PLAN SCALE: N.T.S.

PLAN DATE: AUGUST 18, 2022

REVISION	DATE	BY
UPDATES FOR I AND DIST APPLICATION	2022-09-12	DJM

WINGATE FARM DEFINITIVE
SUBDIVISION MODIFICATION
DETAILS
PLAN OF LAND IN
MEDWAY, MA



- TYPICAL INFILTRATION DEPRESSION CROSS-SECTION



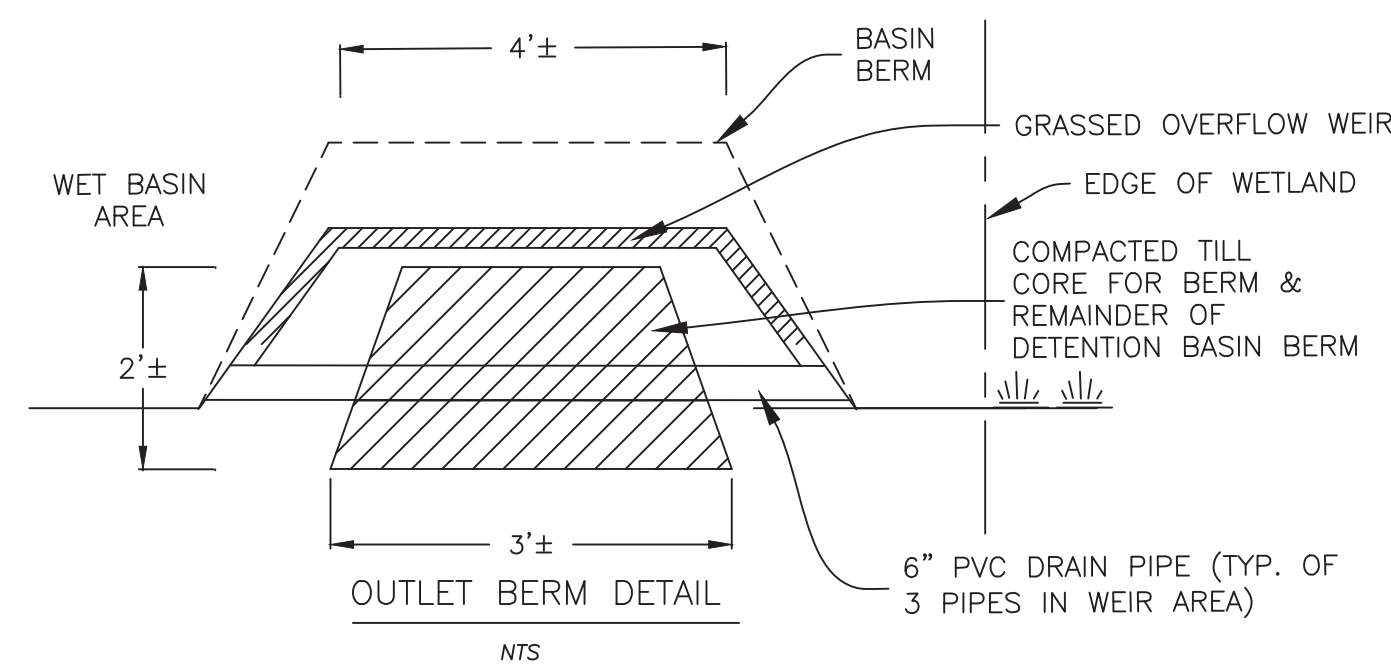
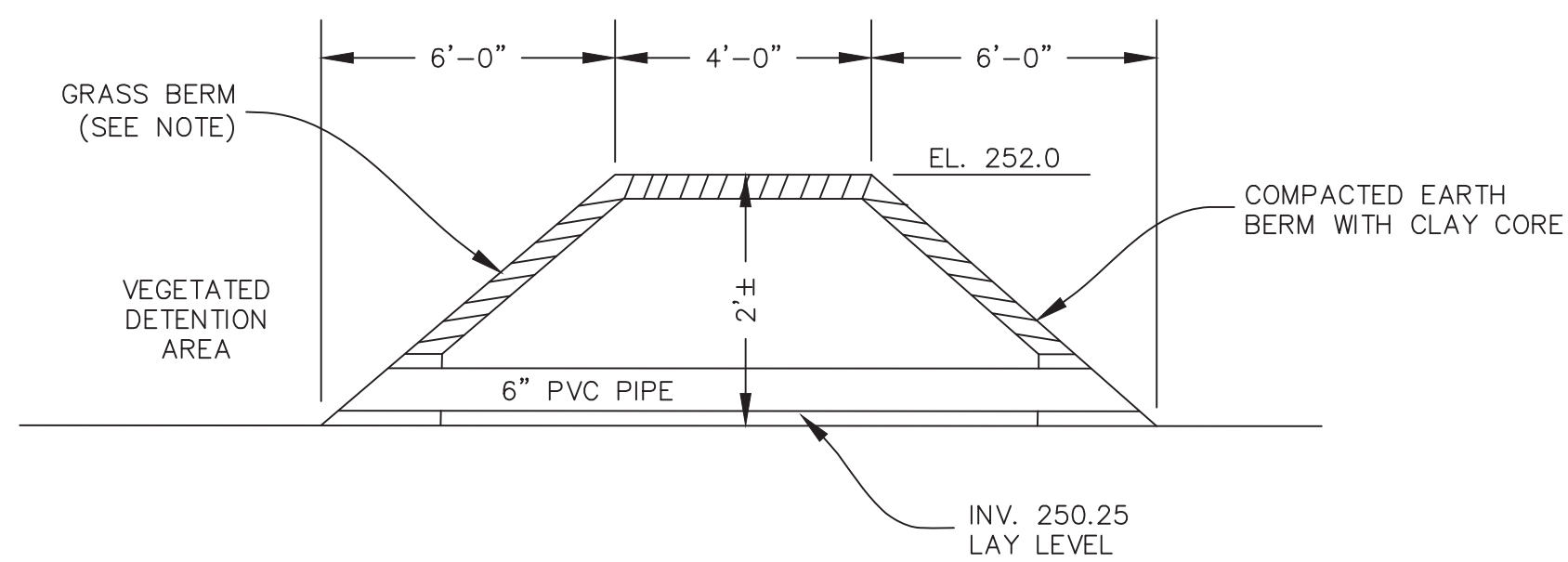
ROOF RUNOFF INFILTRATION FIELD

FLARED END OUTLET

CATCH BASIN SILT SACK DETAIL

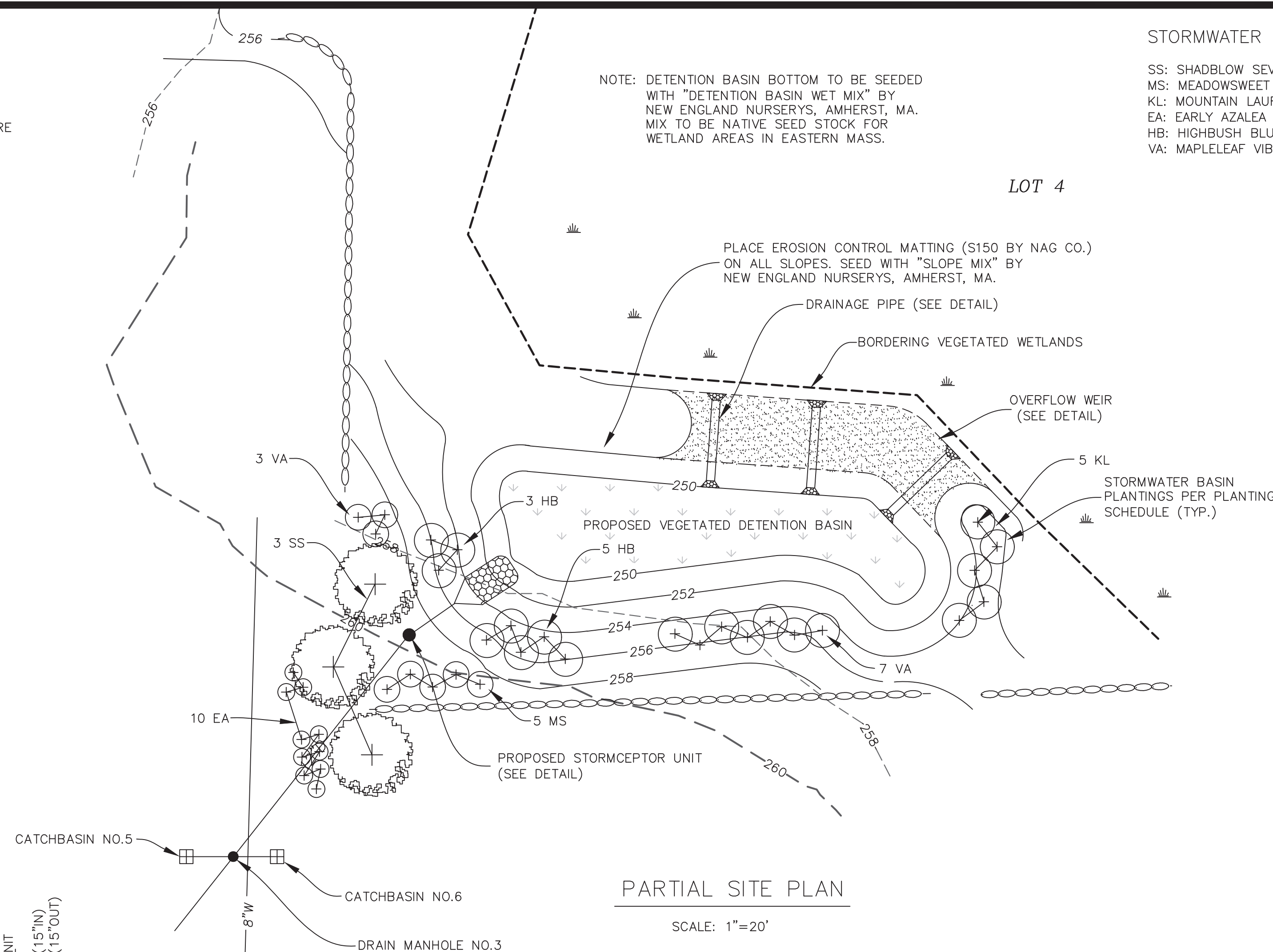
LEGACY
ENGINEERING

WINGATE FARM DEFINITIVE
SUBDIVISION MODIFICATION
DETAILS
PLAN OF LAND IN
MEDWAY, MA



NOTE: CONTRACTOR TO GRADE BERM
2" BELOW GRADE AND LOAM & SEED
ALL SIDES.

OVERFLOW WEIR DETAIL
NTS



PARTIAL SITE PLAN

SCALE: 1"=20'

STORMWATER BASIN PLANTING SCHEDULE

SS: SHADBLOW SERVICEBERRY (A. CANADENSIS): THREE 5' B&B
MS: MEADOWSWEET (SPIREA LATIFOLIA): FIVE #2 POT
KL: MOUNTAIN LAUREL (KALMIA LATIFOLIA): FIVE 2-2.5' B&B
EA: EARLY AZALEA (R. ROSEUM): TEN #3 POT
HB: HIGHBUSH BLUEBERRY (VACCINIUM CORYMBOSUM): EIGHT #3 POT
VA: MAPLEAF VIBURNUM (VIBURNUM ACERIFOLIUM): TEN 18-24" B&B



FOR REGISTRY USE

NOT FOR CONSTRUCTION.
ISSUED FOR REVIEW.

OWNER/APPLICANT
EUGENE & KARYL WALSH
168 HOLLISTON STREET
MEDWAY, MA 02053

ZONING DISTRICT
AR-1

ASSESSORS PARCEL
MAP 9 PARCELS 34, 35, 36, 37

PLAN & DEED REFERENCE
DEED: BOOK 25288, PAGE 92
DEED: BOOK 35797, PAGE 582
PLAN: BOOK 574 NO. 64

NOTE: THIS SUBDIVISION PLAN IS A
MODIFICATION TO A PREVIOUSLY
APPROVED SUBDIVISION BY
CONSOLIDATED DESIGN GROUP INC.,
RECORDED IN THE NORFOLK COUNTY
REGISTRY OF DEEDS IN PLAN BOOK
574 NO. 64 AND PLAN BOOK 575
NO. 78.

I CERTIFY THAT THIS PLAN HAS BEEN
PREPARED IN CONFORMITY WITH THE RULES
AND REGULATIONS OF THE REGISTERS OF
DEEDS OF THE COMMONWEALTH OF
MASSACHUSETTS.

PROFESSIONAL LAND SURVEYOR

APPROVED _____, SUBJECT
TO COVENANT CONDITIONS SET FORTH IN A
COVENANT EXECUTED BY TRUSTEES OF THE
WINGATE FARM REALTY TRUST DATED NOVEMBER
5, 2007 AND RECORDED AT NORFOLK REGISTRY
OF DEEDS, BOOK NO. 25288, PAGE NO. 94.

I CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE
THE PLANNING BOARD APPROVAL AND NO
APPEAL HAS BEEN FILED IN THIS OFFICE.

TOWN CLERK _____

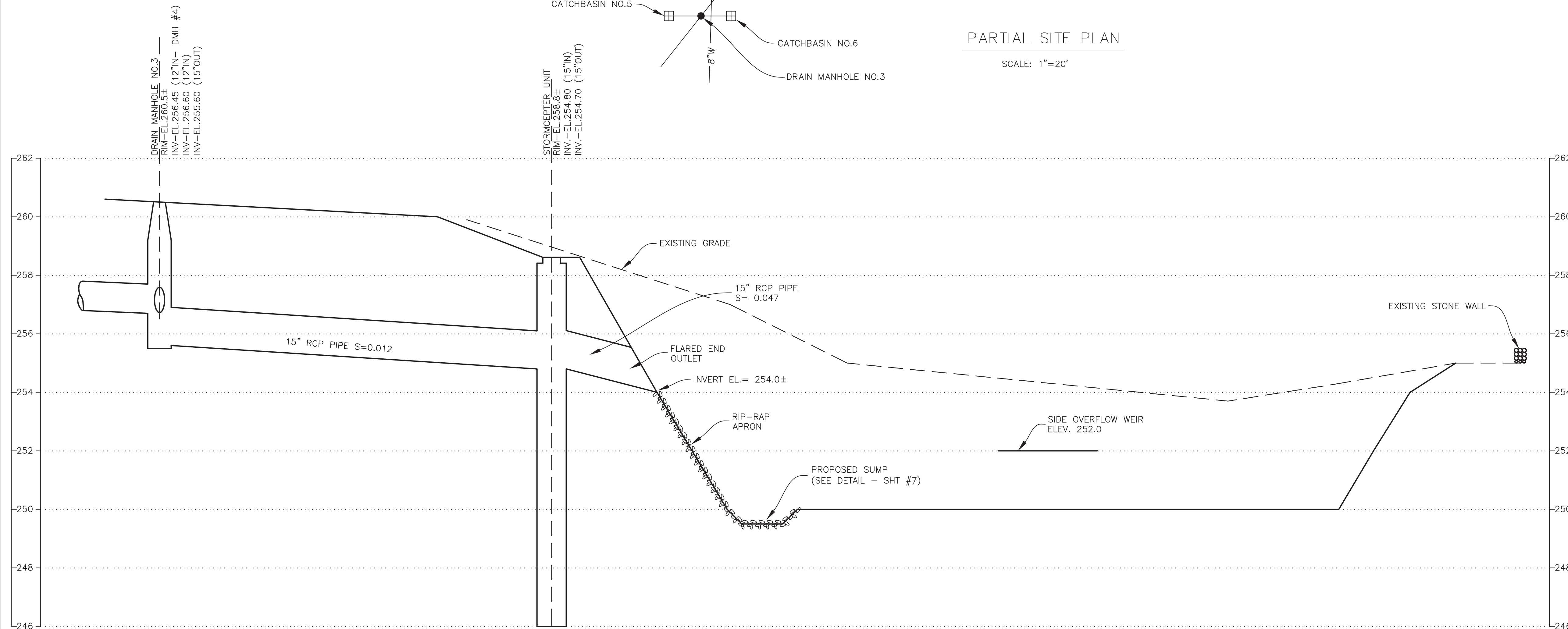
DATE _____

DATE APPROVED: _____

DATE ENDORSED: _____

TOWN OF MEDWAY PLANNING BOARD

PLANNING BOARD ENDORSEMENT DOES NOT
CONSTITUTE A DETERMINATION OF COMPLIANCE
WITH THE MEDWAY ZONING BY-LAW.



DETENTION BASIN SECTION

SCALE: HOR 1"=10'
VERT 1"=2'

PLAN SCALE: N.T.S.

PLAN DATE: AUGUST 18, 2022

WINGATE FARM DEFINITIVE
SUBDIVISION MODIFICATION
DETAILS
PLAN OF LAND IN
MEDWAY, MA

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)

C-9



LEGACY
ENGINEERING

Anna Rice

From: Daniel Merrikin <dan@legacy-ce.com>
Sent: Monday, September 12, 2022 2:58 PM
To: Barbara Saint Andre; Anna Rice
Subject: Fwd: [External] Re: Wingate Farm

Hi Barbara,

Just wanted to forward the Fire Department approval for Wingate Farm (below).

Dan

Daniel J. Merrikin, P.E.
President



Legacy Engineering LLC
730 Main Street
Suite 2C
Millis, MA 02054

www.legacy-ce.com

dan@legacy-ce.com
508-376-8883(office)
508-868-8353(cell)

----- Forwarded message -----

From: Mike Fasolino <mfasolino@townofmedway.org>
Date: Mon, Sep 12, 2022 at 2:56 PM
Subject: Re: [External] Re: Wingate Farm
To: Daniel Merrikin <dan@legacy-ce.com>
Cc: Susan Affleck-Childs <sachilds@townofmedway.org>, Craig Vinton <cvinton@townofmedway.org>, Jeff Lynch <ChiefLynch@townofmedway.org>

Hi Dan,

The Fire Department is ok with the proposed Wingate Farm Subdivision as follows:

The proposed road is widened to 20'.

The proposed "turn around" is acceptable to us.

Thank you,

Michael Fasolino
Deputy Chief
Town of Medway
155 Village Street
Medway, Ma 02053
508-533-3211

Mailing Address:
44 Milford Street
Medway, Ma 02053

From: Daniel Merrikin <dan@legacy-ce.com>
Sent: Monday, September 12, 2022 2:07 PM
To: Mike Fasolino <mfasolino@townofmedway.org>
Cc: Susan Affleck-Childs <sachilds@townofmedway.org>
Subject: [External] Re: Wingate Farm

Hi Mike,

Wondering if you could either reply here or send a note to Susy indicating that the plans I sent over for the Wingate Farm Subdivision (Karyl Walsh) are ok with the Fire Dept.

We meet with them again tomorrow night and are trying to wrap things up.

Thanks and let me know if you have any questions.

Dan

Daniel J. Merrikin, P.E.
President



Legacy Engineering LLC
730 Main Street
Suite 2C
Millis, MA 02054

www.legacy-ce.com

dan@legacy-ce.com
508-376-8883(office)
508-868-8353(cell)

On Mon, Aug 22, 2022 at 11:12 AM Daniel Merrikin <dan@legacy-ce.com> wrote:

Hi Mike,

Just following up on our discussions regarding Wingate. Attached are the plans we submitted along with a fire truck turning plan. Note that as we discussed, the road will be widened to 20 feet throughout.

I would appreciate it if you could email Susy (cc'd) and let her know if this is satisfactory to the Department. We have a meeting tomorrow night, if you have time before then. Otherwise, I expect we will meet again with the Board on 9/13.

If you have an questions or need additional information, please let me know.

Thanks

Dan

Daniel J. Merrikin, P.E.
President



Legacy Engineering LLC
730 Main Street
Suite 2C
Millis, MA 02054

www.legacy-ce.com

dan@legacy-ce.com
508-376-8883(*office*)
508-868-8353(*cell*)



September 13, 2022
Medway Planning & Economic Development Board
Meeting

Sanderson View (16 Holliston Street)
Major Site Plan Application

- Major Site Plan Application dated July 26, 2022
- Multifamily Housing Special Permit Application dated July 26, 2022
- Email from Susy Affleck-Childs to Cameron Bagherpour RE: application package
- Site plan set dated June 20, 2022, by Anthony Dellorco, Colonial Engineering of Medway, MA
- Architectural drawings dated July 8, 2022, by Damon McQuaid Architect of Lunenburg, MA
- Project Narrative
- Requests for Waivers from the *Site Plan Rules and Regulations*
- Landscape and Lighting Plan
- 8-23-2022 email from Susy Affleck-Childs to Town Staff and Boards

- 8-24-2022 email from Derek Kwok, Board of Health Agent
- 8-25-2022 email from Barbara Saint Andre, Director of Community and Economic Development
- Tetra Tech review letter dated September 8, 2022

RECEIVED



RECEIVED TOWN CLERK
AUG 22 '22 PM 1:40

AUG 18 2022
Planning & Economic Development Board - Town of Medway, MA
Medway Planning and Economic Development Board
SITE PLAN REVIEW

Application for Major Site Plan Approval

INSTRUCTIONS TO APPLICANT/OWNER

This Application is made pursuant to the *Medway Zoning Bylaw* and the Board's *Rules and Regulations for the Submission and Review of Site Plans*

The Town's Planning and Engineering Consultants will review the Application and the proposed Site Plan and provide review letters to the Planning and Economic Development Board.

A copy of those review letters will be provided to you in advance of the meeting.

You and/or your duly authorized Agent/Official Representative are expected to attend the Board meetings at which your Application will be considered to answer any questions and/or submit such additional information as the Board may request.

Your absence at hearings may result in a delay in the Board's review of the site plan.

JULY 26 _____, 20 22

APPLICANT INFORMATION

Applicant's Name: LARKIN REAL ESTATE GROUP INC

Mailing Address: 383 MAIN ST MEDFIELD, MA 02052

Name of Primary Contact: CAMERON BAGHERPOUR

Telephone:
Office: 919-434-9001 Cell: _____

Email address: bagherc@gmail.com

☒ Please check here if the Applicant is the equitable owner (purchaser on a purchase and sales agreement.)

MAJOR SITE PLAN INFORMATION

Development Name: SANDERSON VIEW

Plan Title: SANDERSON VIEW PLAN OF LAND T-1

Plan Date: MAY 11, 2022

Prepared by:
Name: ANTHONY DELLORCO
Firm: COLONIAL ENGINEERING INC
Phone #: 508-533-1644
Email: colonial.eng@verizon.net

PROPERTY INFORMATION

Location Address: 16 HOLLISTON STREET MEDWAY

The land shown on the plan is shown on Medway Assessor's Map # 60 as Parcel # 19

Total Acreage of Land Area: .88

General Description of Property: EXISTING CONFORMING LOT WITH EXISTING CONFORMING 2 STORY SINGLE FAMILY HOME

Medway Zoning District Classification: VILLAGE RESIDENTIAL & MHOD

Current Use of Property: SINGLE FAMILY RESIDENCE

Length of Existing Frontage: 156', 22' On what street? HOLLISTON, SANDERSON

Setbacks for Existing Structure (if applicable)

Front: <u>26</u>	Side: <u>32</u>
Back: <u>152</u>	Side: <u>95</u>

Scenic Road

Does any portion of this property have frontage on a Medway Scenic Road?

☐ Yes ☒ No If yes, please name street: _____

Historic District

Is any portion of this property located within a Medway National Register Historic District?

☐ Yes - Rabbit Hill ☒ Yes - Medway Village

Wetlands

Is any portion of the property within a Wetland Resource Area? ☐ Yes ☒ No

Groundwater Protection

Is any portion of the property within a Groundwater Protection District? ☐ Yes ☒ No

Flood Plain

Is any portion of the property within a Designated Flood Plain? ☐ Yes ☒ No

PROPOSED DEVELOPMENT PROJECT INFORMATION

Development Name: SANDERSON VIEW

Major Site Plan Review applies to the following. Please check all that apply.



a. New construction or any alteration, reconstruction, renovation, and/or change in use of any multi-family, commercial, industrial, institutional, or municipal building or use which involves one or more of the following:

- i. the addition of 2,500 square feet or more of gross floor area; or
- ii. the addition of twenty or more new parking spaces



b. The redesign, alteration, expansion or modification of an existing parking area involving the addition of twenty or more new parking spaces

- ☐ c. The redesign of the layout/configuration of an existing parking area of forty or more parking spaces
- ☐ d. Construction of ground mounted solar photovoltaic installations of any size in any zoning district including solar canopy type systems in parking areas
- ☐ e. Removal, disturbance, and/or alteration of 20,000 sq. ft. or more of existing impervious surface

SPECIAL PERMIT - Will this project also require a variance or special permit from the *Zoning Board of Appeals*?

_____ Yes X No

Explanation: _____

SPECIAL PERMIT - Will this project also require a special permit from the *Planning and Economic Development Board*?

☒ Yes ☐ No

Explanation: APPLICANT IS SEEKING A MULTI-FAMILY HOUSING SPECIAL PERMIT FROM
THE PLANNING AND ECONOMIC DEVELOPMENT BOARD

PROPERTY OWNER INFORMATION (if not applicant)

Property Owner's Name: MAURIZIO & MICHELLE SANTANGELO

Mailing Address: 16 HOLLISTON STREET
MEDWAY, MA 02053

Primary Contact: MAURIZIO SANTANGELO

Telephone:
Office: 508-333-0293 Cell: _____

Email address: mspropertymgt28@gmail.com

The owner's title to the land that is the subject matter of this application is derived under deed from: Brian Leey & Lisa Graves to Maurizio Santangelo & Michele Santangelo dated 8/23/2017 and recorded in Norfolk County Registry of Deeds, Book 35399 Page 426 or Land Court Certificate of Title Number _____, Land Court Case Number _____, registered in the Norfolk County Land Registry District Volume _____, Page _____.

CONSULTANT INFORMATION

ENGINEER: _____

Mailing Address: _____

Primary Contact: _____

Telephone:
Office: _____ Cell: _____

Email address: _____

Registered P.E. License #: _____

SURVEYOR: COLONIAL ENGINEERING INC
Mailing Address: 11 AWL ST
MEDWAY, MA 02053
Primary Contact: ANTHONY DELLORCO
Telephone: Office: 508-533-1644 Cell: _____
Email Address: colonial.eng@verizon.net
Registered P.L.S. License #: 34303

ARCHITECT: DAMON MCQUAID ARCHITECT
Mailing Address: 49 BROOKVIEW TERRACE
LUNENBURG, MA 01462
Primary Contact: DAMON MCQUAID
Telephone: Office: 978-340-5922 Cell: _____
Email address: dm@dmcquaidarchitect.com
Registered Architect License #: 951377

LANDSCAPE ARCHITECT/DESIGNER: KATTMAN CORPORATION
Mailing Address: 24 WATER ST
HOLLSTON, MA 01746
Primary Contact: RICHARD KATTMAN
Telephone: Office: 508-893-6232 Cell: _____
Email address: richard.kattman@gmail.com
Registered Landscape Architect License #: 606

ATTORNEY: MICHAEL LARKIN
Mailing Address: 383 MAIN ST
MEDFIELD, MA 02052
Primary Contact: MICHAEL LARKIN
Telephone: Office: 978-658-0333 Cell: _____
Email address: michael@lawlarkin.com

OFFICIAL REPRESENTATIVE INFORMATION

Name: CAMERON BAGHERPOUR
Address: 741 WASHINGTON ST
CANTON, MA 02021
Telephone: _____
Office: 919-434-9001 Cell: _____
Email address: bagherc@gmail.com

SIGNATURES


The undersigned, being the Applicant for approval of a Major Site Plan Project, herewith submits this application and Site Plan to the Medway Planning and Economic Development Board for review and approval. I hereby certify, under the pains and penalties of perjury, that the information contained in this application is a true, complete and accurate representation of the facts regarding the property and proposed development under consideration.

(If applicable, I hereby authorize LARKIN REAL ESTATE GROUP INC. to serve as my Agent/Official Representative to represent my interests before the Medway Planning & Economic Development Board with respect to this application.)


In submitting this application, I authorize the Board, its consultants and agents, Town staff, and members of the Design Review Committee to access the site during the plan review process.

I understand that pursuant to MGL 53G, the Medway Planning and Economic Development Board may retain outside professional consultants to review this application and that I am responsible for the costs associated with such reviews.

I understand that the Planning and Economic Development Board, its agents, staff, consultants, and other Town staff and committees may request additional information which I am responsible for providing to assist them in reviewing the proposed development.


Signature of Property Owner

8/2/22
Date


Signature of Applicant (if other than Property Owner)

8/17/22
Date

Signature of Agent/Official Representative

Date

MAJOR SITE PLAN FEES

Filing Fee

For projects up to 4,999 sq. ft. /gross floor area = \$750 plus \$.25/sq. ft.
For projects of 5,000 – 9,999 sq. ft. /gross floor area = \$1,000 plus \$.25/sq. ft.
For projects of 10,000 – 14,999 sq. ft. /gross floor area = \$1,500 plus \$.25/sq. ft.
For projects of 15,000 sq. ft. or more/gross floor area = \$1,500 plus \$.25/sq. ft.

Advance on Plan Review Fee

For projects up to 4,999 sq. ft. /gross floor area = \$1,000 deposit.
For projects of 5,000 – 9,999 sq. ft. /gross floor area = \$1,500 deposit
For projects of 10,000 – 14,999 sq. ft. /gross floor area = \$2,000 deposit
For projects of 15,000 sq. ft. or more/gross floor area = \$2,500 deposit

Submit 2 separate checks each made payable to: Town of Medway

MAJOR SITE PLAN **APPLICATION CHECKLIST**

- ☐ Major Site Plan Application (2 signed originals – one for Town Clerk and one for Planning and Economic Development Board)
- ☐ Three (3) full size (24" x 36") copies of the Site Plan prepared in accordance with Sections 204-4 and 204-5 of the *Medway Site Plan Rules and Regulations* – one for the Town Clerk and two for the Planning and Economic Development Board.
- ☐ One (1) ledger size (11" x 17") copy of the Site Plan
- ☐ Electronic version of the Site Plan and ALL associated application documents. Provide disk or flash drive or email.
- ☐ Certified Abutters List from the Medway Assessor's office – for 300 feet around the subject property – Form E
- ☐ One (1) copy of a *Project Description* as described in Section 204 - 3, 6) of the *Medway Site Plan Rules and Regulations*. This description should also include a narrative on how the proposed project meets the requirements of the *Medway Zoning Bylaw* for parking (Section 7.1.1) and outdoor lighting (Section 7.1.2)
- ☐ One (1) copy of a *Development Impact Statement* as described in Section 204 - 3, 7) of the *Medway Site Plan Rules and Regulations*
- ☐ Request for Waivers from the *Medway Site Plan Rules and Regulations*. Use Form Q.
- ☐ Two (2) copies of the *Stormwater Drainage Report* prepared in conformance with the *Site Plan Rules and Regulations*
- ☐ Two (2) copies of a traffic study, depending on the size and scope of the proposed development project.
- ☐ One (1) copy of all relevant approvals received to date from other Town boards/committees/departments
- ☐ Proof of present or pending ownership of all land within the proposed development.
- ☐ Major Site Plan Filing Fee – Payable to Town of Medway
- ☐ Advance of Plan Review Fee – Payable to Town of Medway



RECEIVED

AUG 18 2022

Medway Planning and Economic
Development Board

**Planning & Economic Development Board
Town of Medway, MA**

MULTIFAMILY HOUSING SPECIAL PERMIT APPLICATION

INSTRUCTIONS TO APPLICANT/OWNER

This Application is made pursuant to Section 5.6.4 of the *Medway Zoning Bylaw*. The provisions of Section 8.6. Affordable Housing may also apply.

The Town's Planning and Engineering Consultants will review the Application and the proposed Plan and provide review letters to the Planning and Economic Development Board.

A copy of those review letters will be provided to you in advance of the meeting.

You and/or your duly authorized Agent/Official Representative are expected to attend the Board meetings at which your Application will be considered to answer any questions and/or submit such additional information as the Board may request.

Your absence at hearings may result in a delay in the Board's review of the special permit application.

July 26, 2022

APPLICANT INFORMATION

Applicant's Name: LARKIN REAL ESTATE GROUP INC.

Mailing Address: 383 MAIN ST MEDFIELD MA 02052

Name of Primary Contact: CAMERON BAGHERPOUR

Telephone: Office: 919-434-9001 Cell: _____

Email address: bagherc@gmail.com

☒ Please check here if the Applicant is the equitable owner (purchaser on a purchase and sales agreement.)

PROJECT INFORMATION

Development Name: SANDERSON VIEW

Project Address: 16 HOLLISTON ST MEDWAY, MA 02053

Plan Title: SANDERSON VIEW T-1 PLAN OF LAND

Plan Date: 6.20.22

Plan prepared by: ANTHONY DELLORCO
Name: _____

Firm: COLONIAL ENGINEERING INC

Type of Project:

_____ Renovation of Existing Structure(s)
How many buildings? _____
Building Dimensions _____
Gross Square Footage of Existing Structure _____
How many residential units presently exist? _____
How many additional residential units are proposed? _____
How many affordable units? _____

_____ Construction of an addition to an Existing Structure
Addition Dimensions _____
Gross Square Footage of Addition _____
How many new residential units are proposed? _____
How many affordable units? _____

X _____ Construction of a New Building(s)
How many buildings? 1
Dimensions of New Building(s) 32X72
Gross Square Footage of New Building(s) 6912
How many new residential units are proposed? 3
How many affordable units? 0

_____ Demolition of any structures on the site? If yes, please explain. _____

How many parking spaces presently exist? 4

How many new parking spaces are proposed? 9

PROPERTY INFORMATION

The land shown on the plan is shown on Medway Assessor's Map # 60 as Parcel # 19

Total Acreage of Land Area: .88

General Description of Property: EXISTING CONFORMING SINGLE FAMILY RESIDENTIAL

Current Use of Property: SINGLE FAMILY HOME

Medway Zoning District Classification: VILLAGE RESIDENTIAL & MHOD

Length of Existing Frontage: 156' + 22' On what street? HOLLISTON, SANDERSON

Setbacks for Existing Structure (if applicable)

Front: <u>26</u>	Side: <u>32</u>
Back: <u>152</u>	Side: <u>95</u>

Is this property pre-existing, non-conforming to the Medway Zoning Bylaw? If yes, how? NO

Is the existing structure on this property pre-existing, non-conforming to the Medway Zoning Bylaw? If yes, how? NO

Scenic Road

Does any portion of this property have frontage on a Medway Scenic Road?

____ Yes ☒ No If yes, please name street: _____

Historic District

Is any portion of this property located within a Medway National Register Historic District?

____ Yes - Rabbit Hill ☒ Yes - Medway Village

Wetlands

Is any portion of the property within a Wetland Resource Area? ____ Yes ☒ No

Groundwater Protection

Is any portion of the property within a Groundwater Protection District? ____ Yes ☒ No

Flood Plain

Is any portion of the property within a Designated Flood Plain? ____ Yes ☒ No

Access to Town Water and Sewer

Is Town water and sewer available in the street on which the proposed project has its frontage? ☒ Yes ____ No

PROPERTY OWNER INFORMATION (if not applicant)

Property Owner's Name: MAURIZIO & MICHELE SANTANGELO

Mailing Address: 16 HOLLISTON ST MEDWAY, MA 02053

Primary Contact: MAURIZIO SANTANGELO

Telephone: Office: 508-333-0293 Cell: _____

Email address: mspropertymgt28@gmail.com

The owner's title to the land that is the subject matter of this application is derived under deed from: Brian Leey & Lisa Graves to Maurizio Santangelo & Michele Santangelo dated 8/23/2017 and recorded in Norfolk County Registry of Deeds, Book 35399 Page 426 or Land Court Certificate of Title Number _____, Land Court Case Number _____, registered in the Norfolk County Land Registry District Volume _____, Page _____.

CONSULTANT INFORMATION

ENGINEER: _____

Mailing Address: _____

Primary Contact: _____

Telephone: Office: _____ Cell: _____

Email address: _____

Registered P.E. License #: _____

SURVEYOR: COLONIAL ENGINEERING INC
Mailing Address: 11 AWL ST MEDWAY, MA 02053

Primary Contact: ANTHONY DELLORCO
Telephone: Office: 508-533-1644 Cell: _____
Email Address: colonial.eng@verizon.net
Registered P.L.S. License #: 34303

ARCHITECT: DAMON MCQUAID ARCHITECT
Mailing Address: 49 BROOKVIEW TERRACE
LUNENBURG, MA 01462
Primary Contact: DAMON MCQUAID
Telephone: Office: 978-340-5922 Cell: _____
Email address: dm@dmcquaidarchitect.com
Registered Architect License #: 951377

LANDSCAPE ARCHITECT/DESIGNER: KATTMAN CORPORATION
Mailing Address: 24 WATER ST
HOLLISTON, MA 01746
Primary Contact: RICHARD KATTMAN
Telephone: Office: 508-893-6232 Cell: _____
Email address: richard.kattman@gmail.com
Registered Landscape Architect License #: 606

ATTORNEY: MICHAEL LARKIN
Mailing Address: 383 MAIN ST MEDFIELD MA 02052

Primary Contact: MICHAEL LARKIN
Telephone: Office: 978-658-0333 Cell: _____
Email address: michael@lawlarkin.com

OFFICIAL REPRESENTATIVE INFORMATION (if applicable)

Name: CAMERON BAGHERPOUR

Address: 741 WASHINGTON ST CANTON, MA 02021

Telephone: Office: 919-434-9001 Cell: _____

Email address: bagherc@gmail.com

SIGNATURES

The undersigned, being the Applicant for approval of a Multifamily Housing Special Permit herewith submits this application and Plan to the Medway Planning and Economic Development Board for review and approval.

I hereby certify, under the pains and penalties of perjury, that the information contained in this application is a true, complete and accurate representation of the facts regarding the property and proposed development under consideration.

(If applicable, I hereby authorize LARKIN REAL ESTATE GROUP INC. to serve as my Agent/Official Representative to represent my interests before the Medway Planning & Economic Development Board with respect to this application.)

I have reviewed Section 5.6.4 Multifamily Housing and Section 8.6 Affordable Housing of the *Medway Zoning Bylaw* and understand and agree to the requirements and responsibilities specified therein.

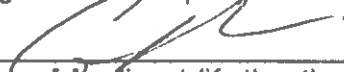
In submitting this application, I authorize the Board, its consultants and agents, Town staff, and members of the Design Review Committee and Open Space Committee to access the site during the plan review process.

I understand that pursuant to MGL 53G, the Medway Planning and Economic Development Board may retain outside professional consultants to review this application and that I am responsible for the costs associated with such reviews.

I understand that the Planning and Economic Development Board, its agents, staff, consultants, and other Town staff and committees may request additional information which I am responsible for providing to assist them in reviewing the proposed development.


Signature of Property Owner

8/2/22
Date


Signature of Applicant (if other than Property Owner)

8/17/22
Date

Signature of Agent/Official Representative

Date

MULTIFAMILY HOUSING SPECIAL PERMIT FEES

Filing Fee - \$500

Plus \$25 per proposed dwelling unit up to a maximum of 40 units

Advance on Plan Review Fee

Up to 8 units = \$500

9 – 40 units = \$1,000

Please submit 2 separate checks each made payable to: Town of Medway

MULTIFAMILY HOUSING SPECIAL PERMIT APPLICATION CHECKLIST

To be Completed by Applicant

- _____ Multifamily Housing Special Permit Application (2 signed originals) – one for Town Clerk and one for Planning and Economic Development Board
- _____ Two (2) copies of a *Project Description* – one for Town Clerk and one for Planning and Economic Development Board. This description should provide a complete and thorough explanation of what is proposed and must address how the proposed project meets the requirements of Section 5.6.4 Multifamily Housing of the *Medway Zoning Bylaw* including the provision of affordable dwelling units, open space and parking.
- _____ Ten (10) full size copies of a Site Plan prepared in accordance with Sections 204-4 and 204-5 of the *Medway Site Plan Rules and Regulations* – one for Town Clerk and nine for Planning and Economic Development Board
- _____ One (1) ledger size (11" x 17") copy of the Site Plan
- _____ Electronic Version of the Site Plan and all associated application documents. Provide disk or flash drive or email the plan and documents to: planningboard@townofmedway.org.
- _____ Certified Abutters List and mailing labels from the Medway Assessor's office for all property located within 300 feet of the subject property
- _____ Request(s) for waivers from the *Site Plan Rules and Regulations*. Check with the Planning and Economic Development office for the proper form.
- _____ Depending on the size and scope of the project, two (2) copies of a *Stormwater Drainage Calculations/Report* prepared in conformance with Section 204 – 3, 3) of the *Site Plan Rules and Regulations* or/ two (2) copies of a stormwater drainage analysis report. Check with Planning and Economic Development office.
- _____ Depending on the size and scope of the project, two (2) copies of a traffic study or analysis. Check with Planning and Economic Development office.
- _____ One (1) copy of all relevant approvals received to date from other Town boards/committees/departments
- _____ Proof of present or pending ownership of all land within the development site.
- _____ Multifamily Housing Special Permit Filing Fee – Payable to Town of Medway
- _____ Advance of Plan Review Fee – Payable to Town of Medway

Susan Affleck-Childs

From: Susan Affleck-Childs
Sent: Thursday, August 25, 2022 11:35 AM
To: Cameron Bagherpour
Cc: Steve Bouley ; Matthew Hayes
Subject: Sanderson View - 16 Holliston Street

Dear Cam,

Steve Bouley from Tetra Tech and I have conducted a preliminary review of the recent submittal for major site plan review and a multi-family special permit for Sanderson View at 16 Holliston Street. We have a few comments to share. This email does not constitute a full completeness review of the submittal.

We note that no information has been included on the site plan for stormwater management or grading. You have indicated that a Land Disturbance Permit under Medway General Bylaws, Article XXVI is not needed as the expected land disturbance area for the site is only 16,464 sq. ft. which is less than the 20,000 sq. ft. size that triggers the requirement for a Land Disturbance Permit.

Nonetheless, you are still required to prepare and submit stormwater management documentation as specified in the *Site Plan Rules and Regulations*, Section 204 – 3 Submittals, G. Stormwater Documentation. (See page 10.) This includes a Post-Construction Stormwater Management Plan with a Long-Term Stormwater Operation and Management Plan, and a Stormwater Drainage Report in accordance with Mass DEP standards and the Site Plan Standards specified in Section 204-14 of the *Site Plan Rules and Regs*.

Please prepare and submit this information as soon as possible and advise as to when you expect to be able to do so. Alternatively, you could request a waiver from these provisions. However, I would advise that it is extremely unlikely the Board would grant such a waiver given past Decisions on projects of comparable size and the Town's continued efforts to reduce development impact on stormwater infrastructure.

We also question the land disturbance area you have calculated. We do not believe it covers the full extent of expected land disturbance. We note that new underground electrical service is proposed running approximately 160 linear feet from Holliston Street to the new building. That area needs to be included in the land disturbance calculation. We suggest an area of 160' x 5' for an added 800 sq. ft. Further, when suitable stormwater management measures are incorporated into the site plan, it is expected that additional land disturbance area will result, and you will need to add that to the calculation as well. So, we will wait on a land disturbance permit determination once we have a more complete picture.

Best regards,

Susy

Susan E. Affleck-Childs
Planning and Economic Development Coordinator
Town of Medway
155 Village Street
Medway, MA 02053
508-533-3291



SANDERSON VIEW

SITE PLAN APPROVAL

DATE APPROVED: _____

TOWN OF MEDWAY PLANNING BOARD

DATE ENDORSED: _____

I _____, Clerk
of the Town of Medway, received and recored approval from the Planning
and Economic Development Board of this plan and its corresponding decision
on _____ and no appeal was
taking for twenty (20) days, thereafter.

Signature _____ Date: _____

OWNER:
MAURIZIO & MICHELE SANTANGELO
16 HOLLISTON STREET
MEDWAY, MA 02053

APPLICANT:
LARKIN REAL ESTATE GROUP INC.
383 MAIN STREET
MEDFIELD, MA 02052

ARCHITECT:
DAMON MCQUAIDE
49 BROOKVIEW TERRACE
LUNENBURG MA, 01462

LANDSCAPE DESIGN:
RICHARD KATTMAN
24 WATERS STREET
HOLLISTON, MA 01746

LAND SURVEYOR:
COLONIAL ENGINEERING, INC.
P.O. BOX 95
MEDWAY, MA 02053
508-533-1644
COLONIAL.ENG@VERIZON.NET

PARKING REQUIREMENT (SECTION 5.6.4.E.3)
1.5 SPACES PER UNIT 4 UNITS X 1.5 = 6 SPACES
1 SPACE PER EVERY 2 DWELLING UNITS = 2 SPACES
REQUIRED 8 PARKING SPACES
PROPOSED 13 PARKING SPACES

MULTIFAMILY HOUSING TABLE		
	REQUIRED	PROPOSED
LOT AREA	22,500 SF.	38,629 SF.
LOT FRONTAGE	150 FT.	178.57 FT.
UNIT DENSITY	7	4
AFFORDABLE UNITS	0	N/A
BLDG. HEIGHT	35 FT.	34.2 FT.
OPEN SPACE	15%	15.52%
PARKING SPACES	8	13

DENSITY REGULATIONS (SECTION 5.6.4.D.2)
 MAXIMUM DENSITY = 4 UNITS PER 1/2 ACRE
 38,629 S.F. DIVIDED 43,560 = 0.88 ACRES
 0.88 ACRES X 8 UNITS = 7 UNITS MAX.
 PROPOSED 3 NEW UNITS AND 1 EXISTING UNIT (HOUSE)

OPEN SPACE REQUIREMENT (SECTION 5.6.4.E.2):
 15% OF TOTAL LOT AREA:
 38,629 SF. X 0.15 = 5,794 SF. REQUIRED
 PROPOSED TOTAL OPEN SPACE AREA = 69.11 % OR 26,695 SF.
 RESERVED OPEN SPACE AREA 15.52% OR 5,977 SF.

PLAN INDEX

T-1 COVER SHEET
S-0 EXISTING CONDITIONS PLAN
S-1 SITE & UTILITY LAYOUT PLAN
S-2 DRAINAGE AND GRADING PLAN
S-3 EROSION CONTROL & CONSTRUCTION PLAN
S-4 DETAIL SHEET
L-1 LANDSCAPE & LIGHTING PLAN

I CERTIFY THAT THIS PLAN HAS BEEN
PREPARED IN CONFORMITY WITH THE
RULES AND REGULATIONS OF THE
REGISTERS OF DEEDS OF THE
COMMONWEALTH OF MASSACHUSETTS

COMMONWEALTH OF MASSACHUSETTS
Anthony M. Dellorco
DATE: 8/2/22



WAVIER REQUEST LIST

- 1). Article VII Section 207-11.B.2 / 207-11.A.4 & 207-12.H.1 Curbing
- 2). Article VII Section 207-11.B.3 Internal Drive Aisle Width
- 3). Article VII Section 207-11.A.13 Driveway distance to side property line
- 4). Article VII Section 207- 9.B.1 Sidewalks along driveway
- 5). Multi-Family bylaw (5.6.4 E-4) Water & Sewer tie in on Sanderson St.

ZONING REQUIREMENTS

ZONED VILLAGE RESIDENTIAL VR (MULTI FAMILY HOUSING OVERLAY DISTRICT)		
	REQUIRED	PROPOSED
LOT AREA	22,500 SF.	36,289 SF.
FRONTAGE	150 FT.	178.57 FT.
FRONT YARD	20 FT.	26.0 FT.
SIDE YARD	10 FT.	32.1 FT.
REAR YARD	10 FT.	45.9 FT.
BUILDING HEIGHT	35 FT.	34.25 FT.
BUILDING LOT COVERAGE	30%	11.82%
IMPERVIOUS LOT COVERAGE	40%	30.89%

PROPERTY IS NOT WITHIN THE GPD

PROPOSED NEW LOT DISTURBANCE AREA = 16,464 SF. ±

SANDERSON VIEW
PLAN OF LAND
IN
MEDWAY, MA

OWNER: MAURIZIO & MICHELE SANTANGELO
16 HOLLISTON STREET
MEDWAY, MA 02053

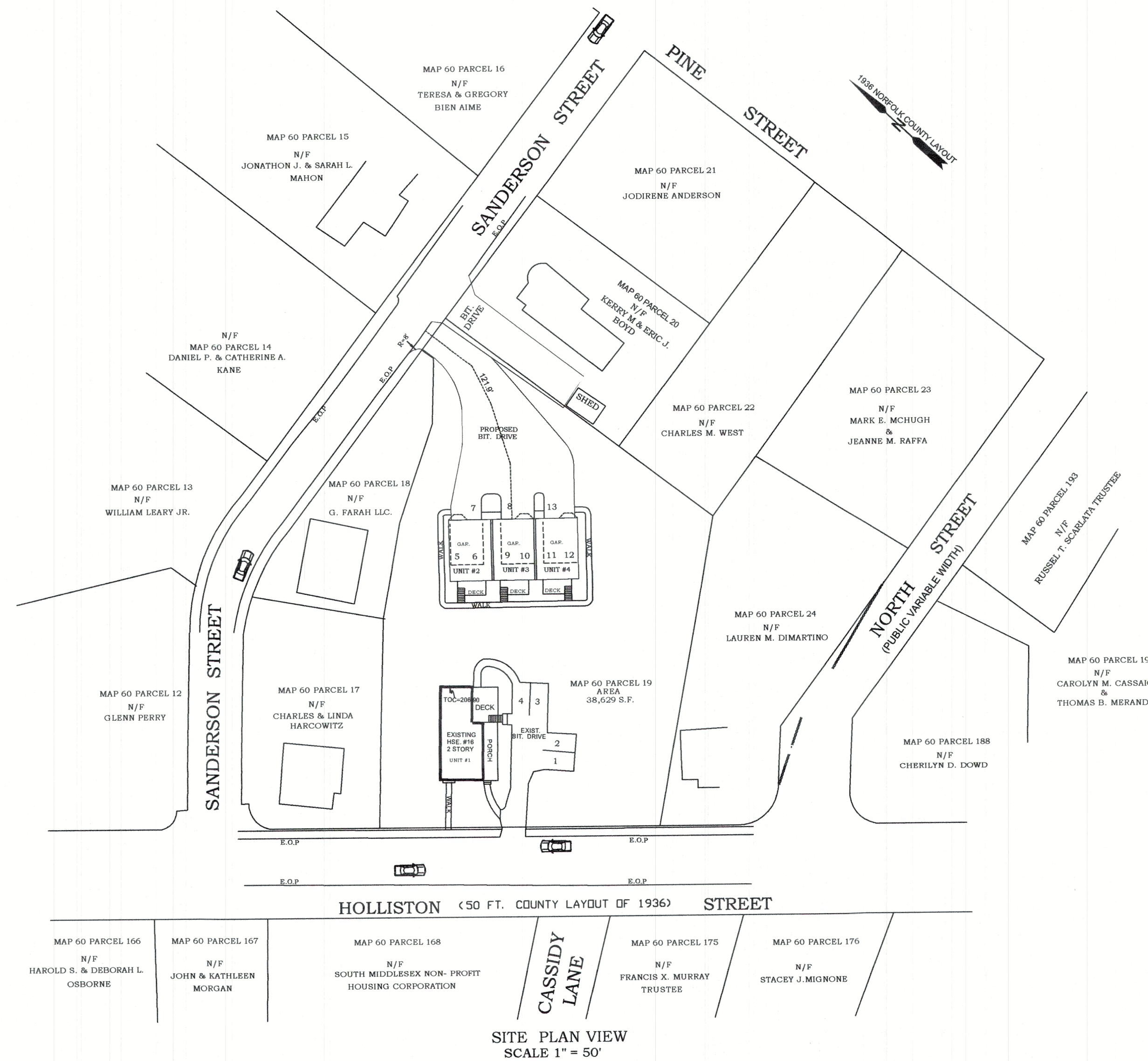
APPLICANT: LARKIN REAL ESTATE GROUP INC.
383 MAIN STREET
MEDFIELD, MA 02052

DATE: JUNE 20, 2022 SCALE AS NOTED

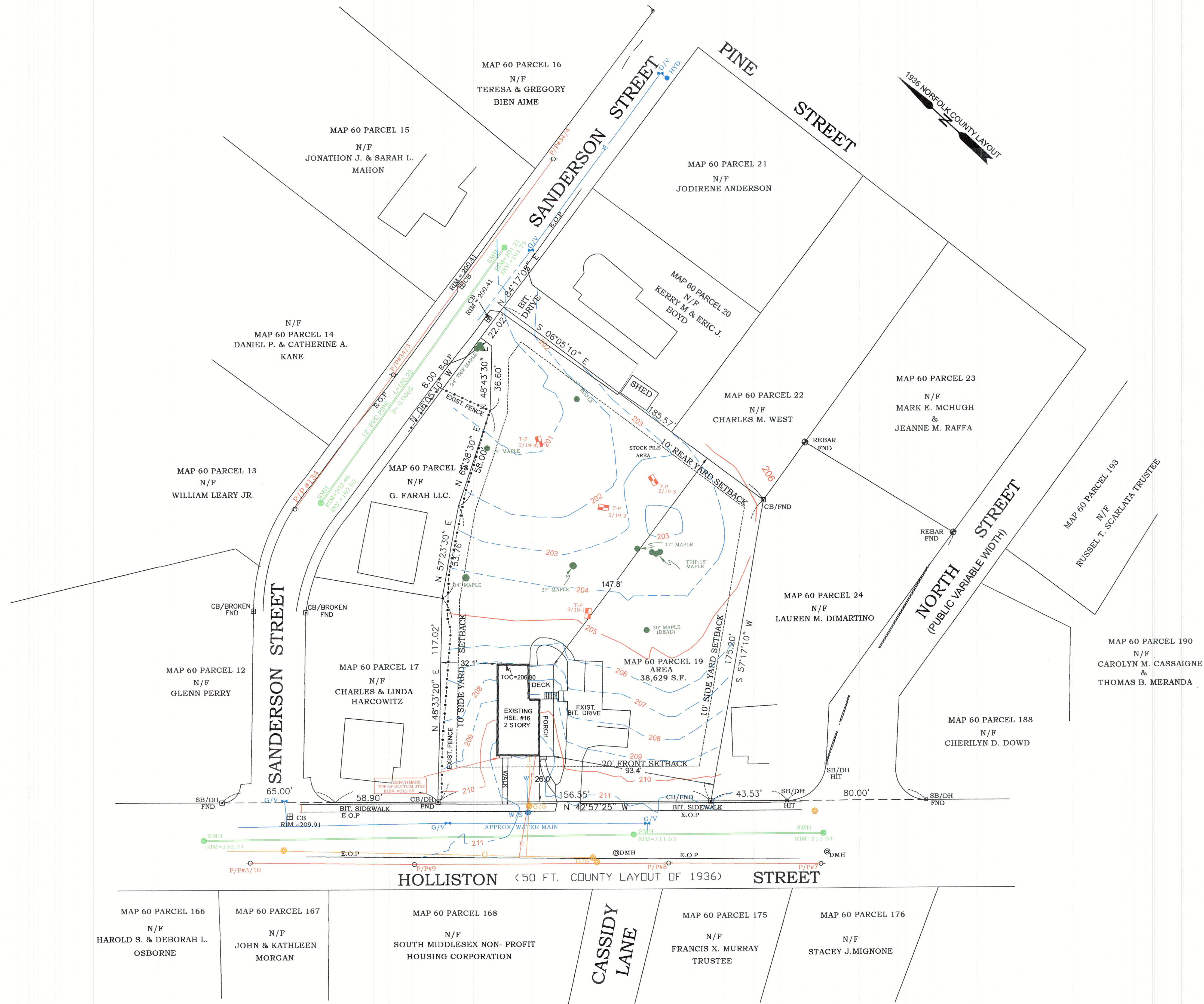
COLONIAL ENGINEERING, INC.
P.O. BOX 95
MEDWAY, MA 02053
508-533-1644

COLONIAL.ENG@VERIZON.NET

T-1 COVER SHEET



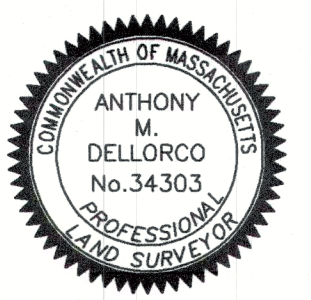
16 HOLLISTON STREET
ASSESSOR ID. MAP 60 PARCEL 19
ZONED - VR MULTI FAMILY HOUSING OVERLAY DISTRICT



I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS

Anthony M. Dellorco

DATE: 8/2/22



I CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL FIELD INSTRUMENT SURVEY, PLANS AND DEEDS ON RECORD AT THE NORFOLK COUNTY REGISTRY OF DEEDS.

NOTE: NO WETLANDS SHOWN ON PUBLIC RECORDS WITHIN 100 FT. OF PROPERTY.

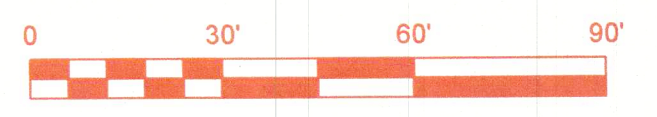
SANDERSON VIEW
PLAN OF LAND
IN
MEDWAY, MA

OWNER: MAURIZIO & MICHELE SANTANGELO
16 HOLLISTON STREET
MEDWAY, MA 02053

APPLICANT: LARKIN REAL ESTATE GROUP INC.
383 MAIN STREET
MEDFIELD, MA 02052

DATE: JUNE 20, 2022 SCALE 1" = 30'

COLONIAL ENGINEERING, INC.
P.O. BOX 95
MEDWAY, MA 02053
508-533-1644



COLONIAL.ENG@VERIZON.NET

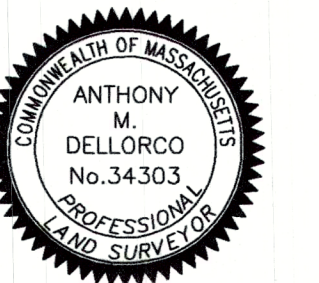
S-0 EXISTING CONDITIONS PLAN



NOTE:

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTORS TO VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. DIG SAFE IS TO BE NOTIFIED 72 WORKING HOURS IN ADVANCE OF CONSTRUCTION. DIG SAFE 1-888-DIG-SAFE.

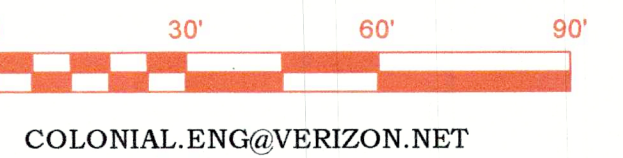
I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.
Anthony M. Dell'Orco
DATE: 8/2/22



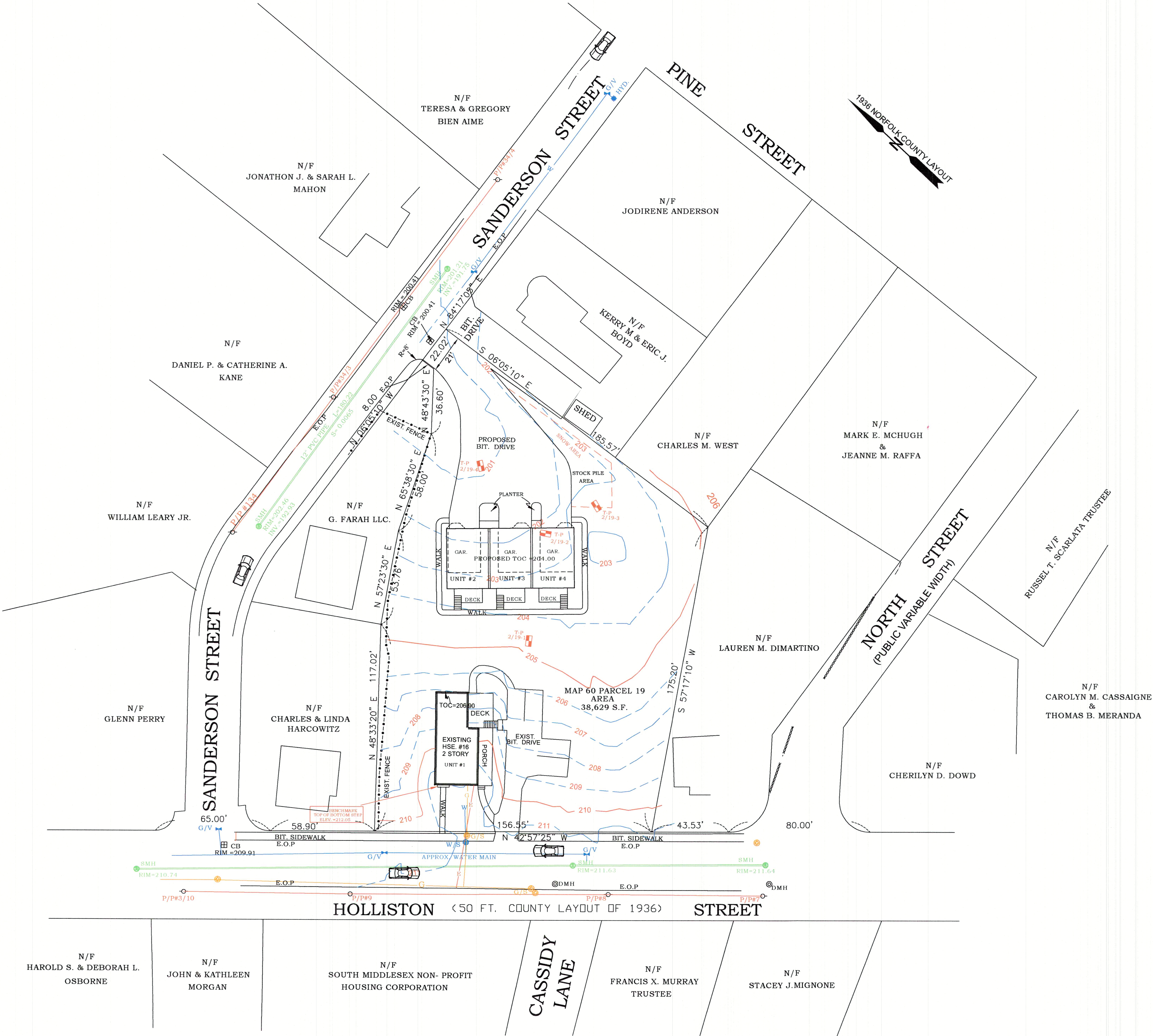
I CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL FIELD INSTRUMENT SURVEY, PLANS AND DEEDS ON RECORD AT THE NORFOLK COUNTY REGISTRY OF DEEDS.

NOTE: NO WETLANDS SHOWN ON PUBLIC RECORDS WITHIN 100 FT. OF PROPERTY.

SANDERSON VIEW
PLAN OF LAND
IN
MEDWAY, MA
OWNER: MAURIZIO & MICHELE SANTANGELO
16 HOLLISTON STREET
MEDWAY, MA 02053
APPLICANT: LARKIN REAL ESTATE GROUP INC.
383 MAIN STREET
MEDFIELD, MA 02052
DATE: JUNE 20, 2022 SCALE 1" = 30'
COLONIAL ENGINEERING, INC.
P.O. BOX 95
MEDWAY, MA 02053
508-533-1644



S-1 PROPOSED SITE & UTILITY LAYOUT PLAN



NOTE:

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTORS TO VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION
DIG SAFE IS TO BE NOTIFIED 72 WORKING HOURS IN ADVANCE OF CONSTRUCTION
DIG SAFE 1-888-DIG-SAFE

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS
Anthony M. Dellorco
DATE: 8/2/22



I CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL FIELD INSTRUMENT SURVEY, PLANS AND DEEDS ON RECORD AT THE NORFOLK COUNTY REGISTRY OF DEEDS.

NOTE: NO WETLANDS SHOWN ON PUBLIC RECORDS WITHIN 100 FT. OF PROPERTY.

SANDERSON VIEW
PLAN OF LAND
IN
MEDWAY, MA
OWNER: MAURIZIO & MICHELE SANTANGELO
16 HOLLISTON STREET
MEDWAY, MA 02053
APPLICANT: LARKIN REAL ESTATE GROUP INC.
383 MAIN STREET
MEDFIELD, MA 02052
DATE: JUNE 20, 2022 SCALE 1" = 30'
COLONIAL ENGINEERING, INC.
P.O. BOX 95
MEDWAY, MA 02053
508-533-1644
COLONIAL.ENG@VERIZON.NET

S-2 PROPOSED DRAINAGE
&
GRADING PLAN

CONSTRUCTION SEQUENCE

- 1) Install erosion control around perimeter of proposed disturbance area.
- 2) Site clearance.
- 3) Build temporary stabilized construction entrance at Sanderson Street access to limit off site tracking
- 4) Locate staging areas along both sides of proposed new driveway.
- 5) Set up temporary services.
- 6) Excavate for foundations, backfilland rough grade, keeping stockpiles within the disturbance area.
- 7) Construct dwelling units, keeping materials within disturbance area.
- 8) Install underground utilities.
- 9) Install site drainage.
- 10) Spread loam, final grade
- 11) Install driveway/parking area base and pave.
- 12) Completion of all sitework/landscaping/hardscapes.
- 13) Removal of erosion control.

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS

DATE: 8/21/22

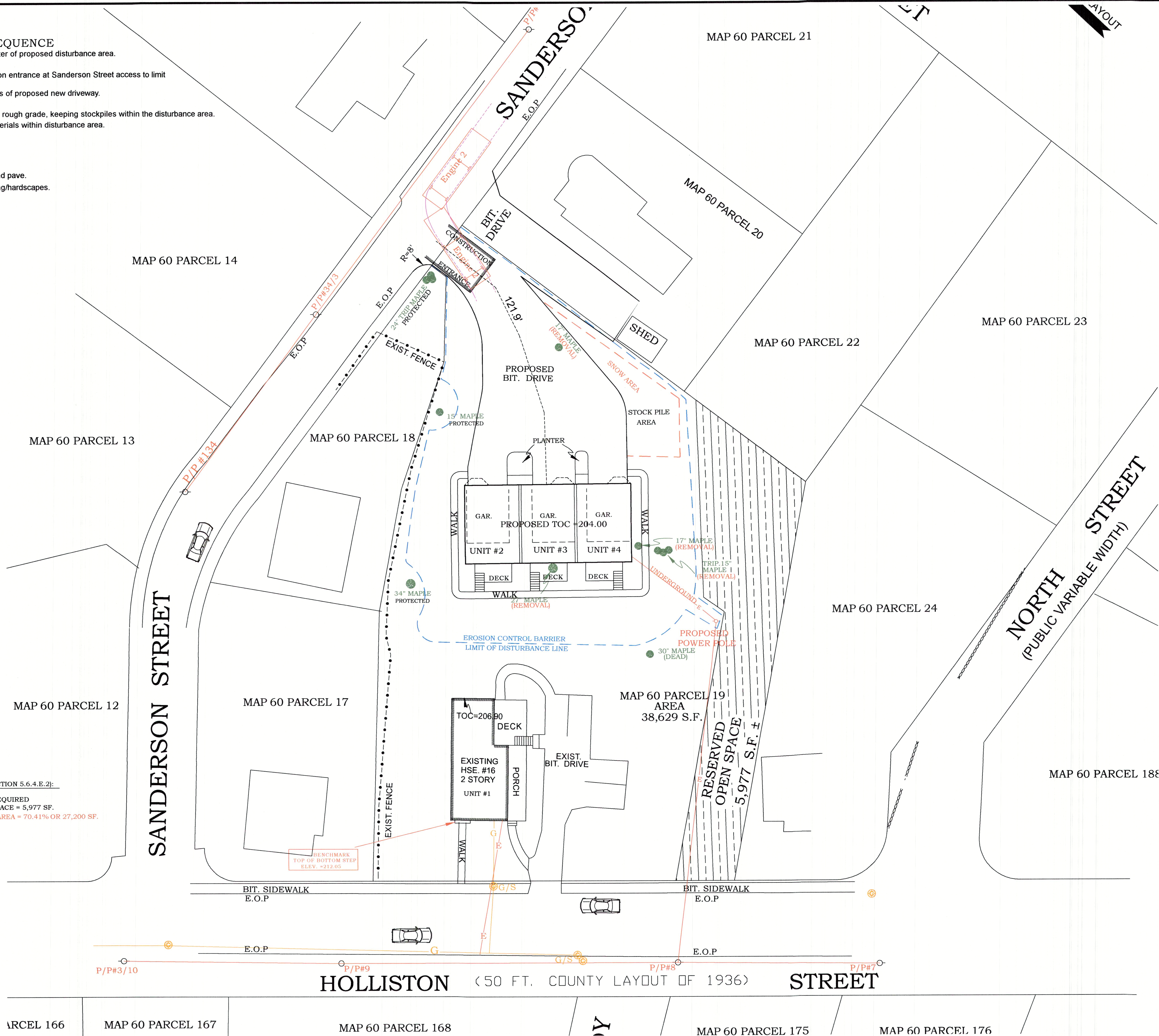


I CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL FIELD INSTRUMENT SURVEY, PLANS AND DEEDS ON RECORD AT THE NORFOLK COUNTY REGISTRY OF DEEDS.

NOTE: NO WETLANDS SHOWN ON PUBLIC RECORDS WITHIN 100 FT. OF PROPERTY.

PROPOSED NEW LOT DISTURBANCE AREA = 16,364 SF. ±

OPEN SPACE REQUIREMENT (SECTION 5.6.4.E.2):
15% OF TOTAL LOT AREA:
38,629 SF. X 0.15 = 5,794 SF. REQUIRED
RESERVED RESTRICTED OPEN SPACE = 5,977 SF.
PROPOSED TOTAL OPEN SPACE AREA = 70.41% OR 27,200 SF.



SANDERSON VIEW
PLAN OF LAND
IN
MEDWAY, MA
OWNER: MAURIZIO & MICHELE SANTANGELO
16 HOLLISTON STREET
MEDWAY, MA 02053
APPLICANT: LARKIN REAL ESTATE GROUP INC.
383 MAIN STREET
MEDFIELD, MA 02052
DATE: JUNE 20, 2022 SCALE 1" = 20'
COLONIAL ENGINEERING, INC.
P.O. BOX 95
MEDWAY, MA 02053
508-533-1644



COLONIAL.ENG@VERIZON.NET

S-3 EROSION CONTROL
&
CONSTRUCTION PLAN



NOT TO SCALE



S-4 DETAIL SHEET



Damon McQuaid
Architect
Architecture - Interiors - Land Planning
49 Brookview Terr. Lunenburg, MA 01462
dm@dmcquidarchitect.com
978-340-5922

3 UNIT TOWN HOUSE

prepared for:	LARRON REAL ESTATE
location:	Approver
title	

STREET RENDERING

DMA 2020 ©

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Mark	Date
Revisions	
Date	2022-07-08
Scale	12" = 1'-0"
Job No.	200901
Sheet No.	

A001



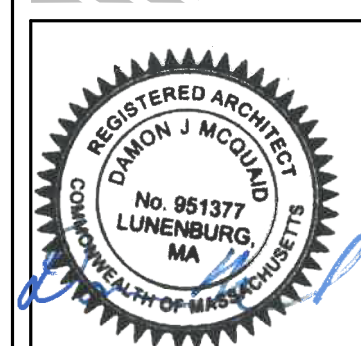
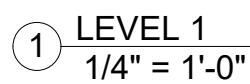
3 UNIT TOWN HOUSE

BUILDING RENDERINGS

Prepared for: LARION REAL ESTATE
Location: 19 Hospital Road, Medway
Title:

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Mark	Date
	Revisions
	2022-07-08
	Scale 1/2" = 1'-0"
	Job No. 200901
	Sheet No.



3 UNIT TOWN HOUSE

FLOOR PLAN LEVEL 1

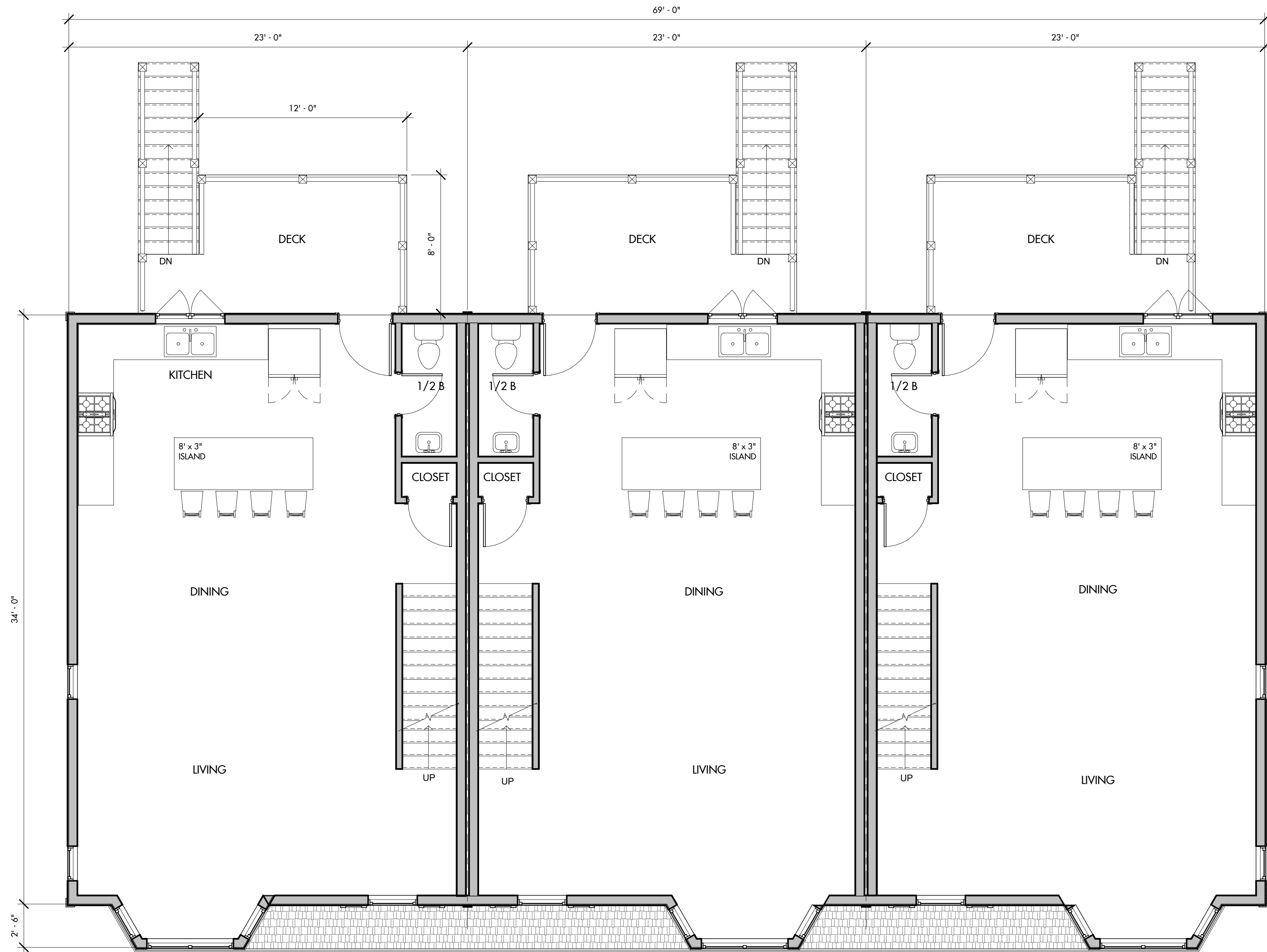
prepared for:	LARKIN REAL ESTATE
location:	19 Hospital Road Medway
title	

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Mark	Date
Revisions	
Date	2022-07-08
Scale	1/4" = 1'-0"
Job No.	200901
Sheet No.	

A101



1 LEVEL 2
1/4" = 1'-0"

FLOOR PLAN LEGEND

	EXISTING WALLS		SOFFIT / CEILING CHANGE OR CABINETS ABOVE
	DEMO WALLS		SPOT ELEVATION
	NEW WALLS	Room name 	ROOM NAME AND NUMBER
	DOOR & DOOR TAG DOOR HEIGHT (INCHES) DOOR WIDTH (INCHES)		REVISION
	WINDOW & WINDOW TAG		SIM BUILDING SECTION NUMBER AND SHEET
	SIM WALL SECTION NUMBER AND SHEET		SIM BUILDING SECTION NUMBER AND SHEET

Damon McQuaid
Architect
Architecture - Interiors - Land Planning
49 Brookview Terr. Lunenburg, MA 01462
dm@dmcquidarchitect.com
978-340-5922



3 UNIT TOWN HOUSE

FLOOR PLAN LEVEL 2

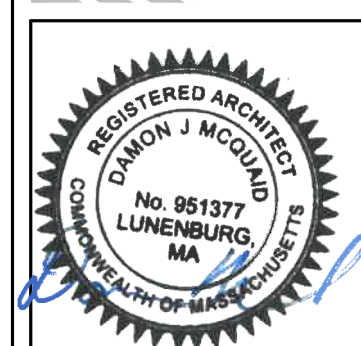
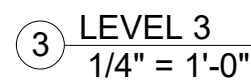
prepared for: LARION REAL ESTATE
Location: Approver
Title

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Mark	Date
Revisions	
Date	2022-07-08
Scale	1/4" = 1'-0"
Job No.	200901
Sheet No.	

A102



FLOOR PLAN LEVEL 3

prepared for:	LARKIN REAL ESTATE
location:	19 Hospital Road Medway
title	

DMA 2020 ©

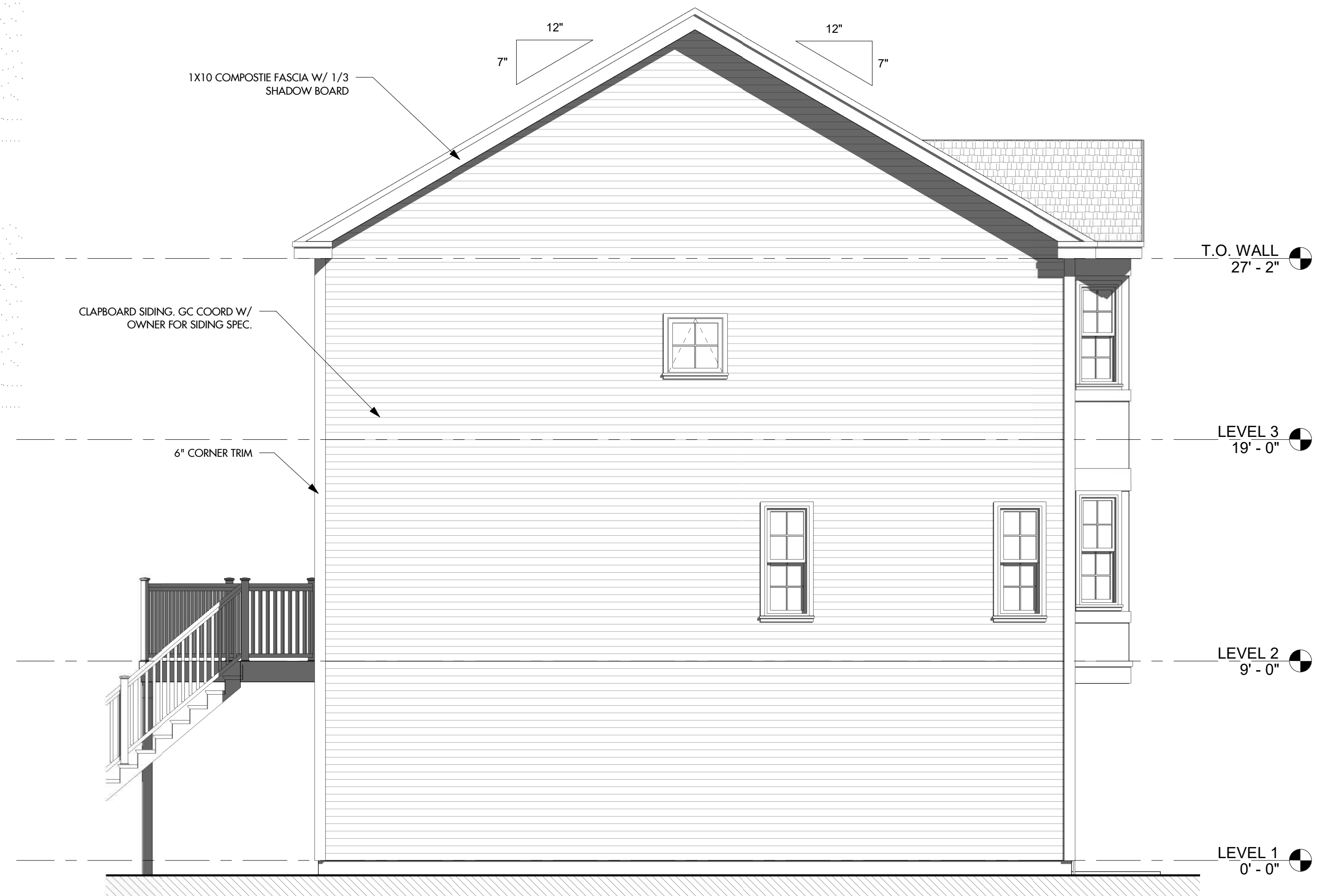
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Mark	Date
Revisions	
Date	2022-07-08
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Job No.	200901
Sheet No.	

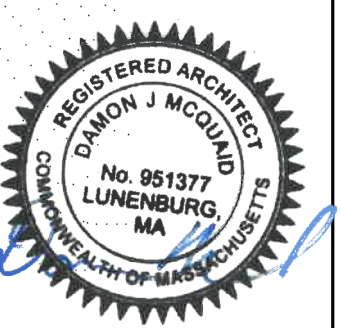
A103



① FRONT ELEVATION(-)
1/4" = 1'-0"



② LEFT SIDE ELEVATION(-)
1/4" = 1'-0"



3 UNIT TOWN HOUSE

EXTERIOR ELEVATIONS

prepared for: LARION REAL ESTATE
location: 19 Hospital Road Medway
title:

DMA 2020 ©

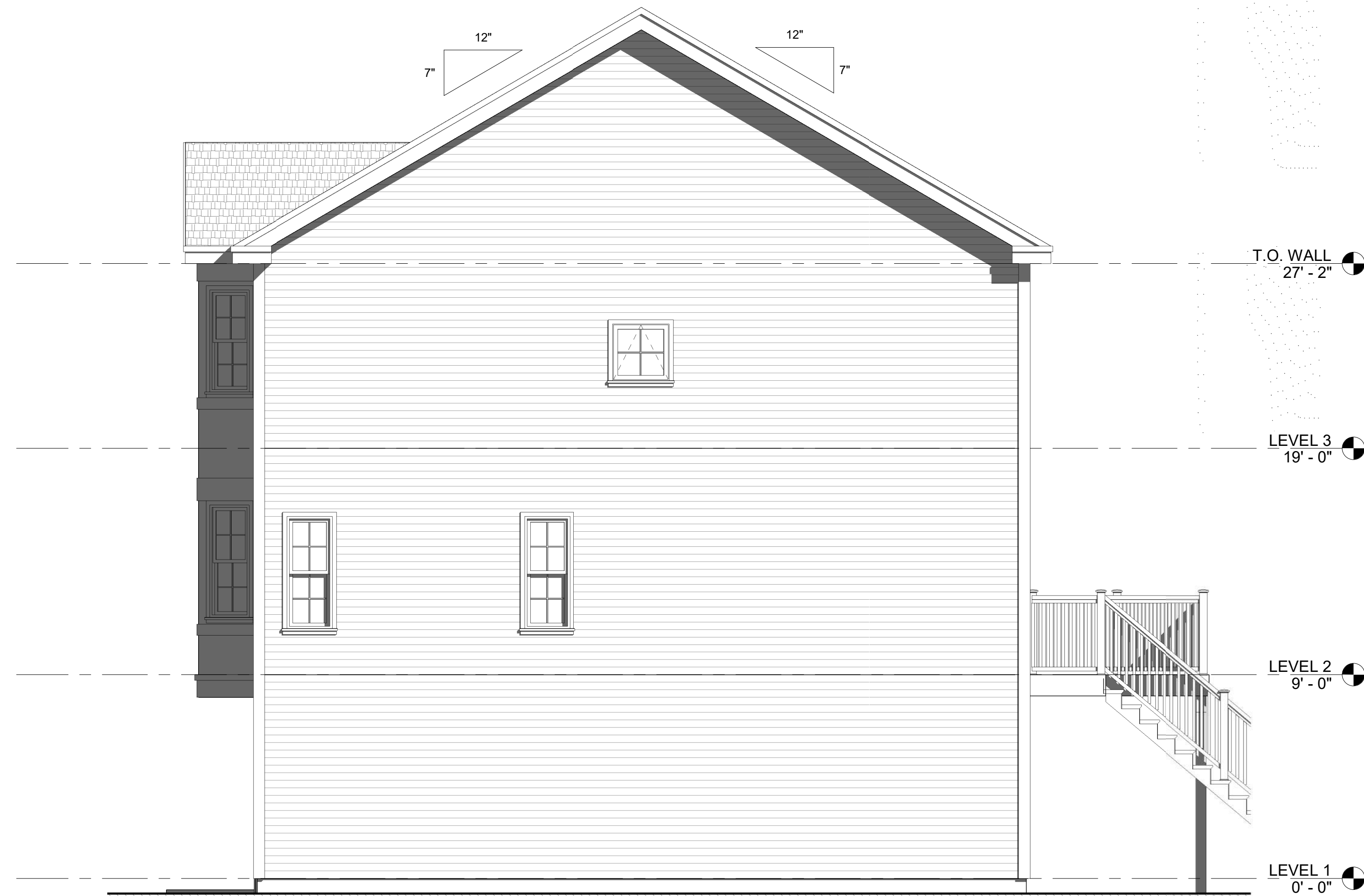
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Mark	Date
Revisions	
Date	2022-07-08
Scale	1/4" = 1'-0"
Job No.	200901
Sheet No.	

A200



① REAR ELEVATION-()
 1/4" = 1'-0"



② RIGHT SIDE ELEVATION-()
 1/4" = 1'-0"



3 UNIT TOWN HOUSE

EXTERIOR ELEVATIONS CONT.

prepared for: LARION REAL ESTATE
Location: Approver
Title

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Mark	Date
Revisions	
Date	2022-07-08
Scale	1/4" = 1'-0"
Job No.	200901
Sheet No.	

A201

PROJECT NARRATIVE

Development Name: Sanderson View

Property Address: 16 Holliston Street, Medway

PROJECT DESCRIPTION

The Applicant proposes to develop the 0.83 acre property at 16 Holliston Street (Assessors Map 60, Parcel 19). The existing single family house, built in 1852, shall be kept unchanged and will become part of the new development. A three (3) unit townhouse style condominium building is proposed at the rear of the lot.

Access to the three new residential dwellings shall be from a new 122' long private driveway off of Sanderson Street. The existing curb cut on Holliston Street will remain to provide exclusive access to the existing single family home. A single new curb cut will be made on Sanderson Street for driveway access to the new residential dwellings. A total of 13 parking spaces will be provided for the site: 6 new garaged parking spaces (2 per each new dwelling unit) plus 3 new additional driveway parking spaces for the new units and 4 existing off street parking spaces will remain next to the existing house.

Landscaping & lighting will be installed on the Property. Adequate snow storage will be provided on the Property. Household refuse will be disposed of by individual waste containers for each household and will be kept inside each unit's garage. Connections will be made to the existing Town sewer and water services in Sanderson Street. Neither Holliston Street nor Sanderson Street are designated as Medway Scenic Roads.

As the proposed project is for a net gain of 3 units, no affordable housing units are required to be provided. Private electric and gas utilities will be provided.

The proposed use requires a multi-family housing special permit pursuant to Sections 5.6.4 and 3.4 of the Town of Medway Zoning Bylaw (the "Bylaw"), site plan review and approval pursuant to Section 3.5 of the Bylaw and the Board's Site Plan Rules and Regulations as amended December 3, 2002.

The property does not include wetland resources as confirmed by a site visit with Conservation Agent Bridget Graziano on May 5, 2022 and as the proposed disturbance area is to be less than 20,000 square feet and the proposed impervious surface area will be less than 10,000 square feet, the site falls outside the jurisdiction of the Medway Conservation Commission pursuant to Medway General Bylaws, Article 26.5.1. See S-3 EROSION CONTROL AND CONSTRUCTION PLAN.

Applicability

1) Location - The site is within the Multi-Family Housing Overlay District (Section 5.6.4) and thus is eligible for the multi-family housing proposal.

2) Traffic capacity – Sanderson Street is a local street connecting Holliston Street with Pine Street and has sufficient capacity to handle the traffic from the 3 new units that are proposed. The 3 units do not rise to the level for the requirement to prepare a full formal traffic study. See the provided *Development Impact Statement* for traffic analysis.

3) Parcel size & frontage – The site consists of .88 acres (36,289 sq. ft.) which exceeds the minimum area requirement of 22,500 sq. ft. for the underlying Village Residential zoning district. The site has a total of 178.57 ft of frontage (156.55 ft. of frontage on Holliston Street and 22.02 ft of frontage on Sanderson Street), so it exceeds the minimum 150-foot frontage requirement of the Bylaw.

Dimensional Requirements

4) Dimensional Adjustments – The dimensional requirements of the underlying Village Residential zoning district apply to the project, as set forth in Table 2 of Section 6 of the Bylaw. The plan dated December 28, 2021 shows the new building's setback of 138 feet from Sanderson Street; the minimum front setback for the VR district is 20 feet. The plan also shows a side setback of 25.3 feet where the minimum required is 10 feet. The plan also shows a rear setback of 45.9 feet where the minimum required is 10 feet. The plan indicates that the project complies with maximum building coverage requirements (11.82% provided vs. 30% maximum allowed). The plan indicates that the project complies with maximum impervious coverage requirements (30.89% provided vs. 40% maximum allowed)

5) Building Height - The height of the new building will be approximately 34 feet which is less than the maximum 35 feet allowed.

Density

6) Density – Pursuant to the Zoning Bylaw in effect at the time of applications, the maximum possible density for multi-family projects is 8 units per whole acre. With 0.83 acres, the property could potentially include a maximum possible seven (6) dwelling units, therefore the project is substantially less dense than the allowed density.

Special Regulations

7) Affordable housing – As this Multi-Family Development results in a net increase of 3 new Dwelling Units, the Affordable Housing Bylaw does not apply pursuant to Section 8.6.B. of the Bylaw.

8) Open Space - Minimum Open Space shall be met as per the Medway Bylaws and shown on S-3 Erosion Control & Construction Plan

9) Parking spaces - Eight (8) parking spaces (one and a half parking spaces per unit plus one visitor parking space per two units) are the minimum required per Section 5.6.4 E. 3 of the Bylaw while 13 paved, off-street parking spaces are provided, 2 in each garage and the remaining in the driveways. Electric Vehicle Parking: As this project has fewer than 15 parking spaces (13), no electric vehicle parking spaces are required pursuant to 7.1.E4 of the bylaw. However, each new housing unit will be equipped with a 200 Amp electric panel, which will be sufficient to provide for electric vehicle charging in all three of the new garages if the new owners choose to install that upgrade.

10) Town water and sewer service - The project has frontage on Holliston St and Sanderson St. There is ample access and capacity to town water and sewer service on either street. The project proposes to access the Town water and sewer service presently located in Sanderson Street.

11) Number of units - The number of total new and existing units proposed (4) is 33% less than the 6-unit maximum potential number of units allowed under the Bylaw for a property of this size.

12) Historic Properties – The existing dwelling at the Property was built in 1852. No determination has been made if the existing house qualifies as historic. Regardless, the proposal before the Board will keep the existing vintage home unchanged as part of this Project.

Decision Criteria

13) Meets purposes of Multi-Family Housing section of the Bylaw (Section 5.6.4) and the Site Plan Rules and Regulations - The project meets the following purposes of the Multifamily Housing section of the Bylaw: (1) provide a diversity of housing types in the form of townhouse style conditions; (2) promote pedestrian oriented development as the subject property is located within an older, walkable neighborhood. It also meets the purpose of the Site Plan Rules and Regulations.

14) Consistent with the Medway Housing Production Plan - The development meets the HPP's implementation strategy of encouraging the use of the Multifamily Housing special permit provision of the Bylaw and providing additional options for multi-family housing.

15) Impact on abutting properties and adjacent neighborhoods - The impact on abutting properties and adjacent neighborhoods will be addressed through vegetative screening, fencing and the positive aesthetics of the buildings to be constructed. See *Architectural and Landscape Plans*

16) Variety of housing stock - The development increases the variety of housing stock in the community by providing a total of three townhome style condominiums to the town's predominantly single-family detached housing supply.

17) Designed to be reflective of or compatible with the character of the surrounding neighborhood - The surrounding neighborhood includes a mix of housing types including single family, two-family and multi-family residences. Therefore, the proposed development is compatible with the surrounding neighborhood.

DEVELOPMENT IMPACT STATEMENT

16 Holliston St Medway, MA
Sanderson View

Sanderson View will have no negative impact on the Town of Medway or the immediate neighborhood and its abutters. With only three new proposed townhouse style units on Sanderson Street, the site is more than adequate for required parking and impervious area/stormwater management.

Traffic Impact Statement: Based on ITE Trip Generation Table (8th Edition) the project would produce an average of 5.81 daily trips (pre-COVID). With the 3 new units on Sanderson Street, a total of some 18 vehicle trips per day would be generated and would not produce a significant impact to local traffic. To the immediate South is Village St, a main road in Medway and a very short trip from 16 Holliston St, reducing the amount of neighborhood driving that is required. Applicant is seeking a waiver to produce a full Traffic Impact Assessment due to the small size of the development.

Sanderson View lies outside of conservation, wetland and floodplain areas as confirmed by a site visit with Conservation Agent Bridget Graziano on May 5, 2022. The impact to the immediate environment will be nominal. The existing impervious area is 8.94% of the total lot area. At the end of the project, 30.89% of the lot will consist of impervious area, well within the allowable 40% impervious allowed under the Bylaw. New impervious building and driveway runoff will be managed on site and will not affect abutting properties or Medway's public drainage system.

Sanderson View is proposing 13 parking spaces on the property. With a minimum requirement of 8 spaces, this amount is adequate to service the 4 units and is enough to help prevent extra parking on the street.

Sidewalks: There is an existing concrete sidewalk along the property's entire Holliston Street frontage. There are no sidewalks on either side of Sanderson Street. The new proposed driveway on Sanderson Street will pave the entire width of the property's Sanderson Street frontage (22'). Both sides of the Sanderson Street driveway can be integrated seamlessly into future sidewalk construction from abutting properties.

Environmental Impact Assessment

This project does not fall under any of the 4 criteria that would trigger the requirement for an Environmental Impact Assessment. Those criteria are as follows:

1. proposes an additional thirty or more parking spaces; or
Proposal of 9 additional parking spaces
2. proposes a building footprint of fifteen thousand square feet or greater; or
Proposal of a building footprint of 2,448 SF
3. proposes to disturb twenty thousand square feet of land or greater; or
Proposal to disturb 16,364 SF of land
4. proposes a project that is subject to the Town's Stormwater and Land Disturbance Bylaw.

Proposal is too small to apply the Town's Stormwater and Land Disturbance Bylaw:

Pursuant to Medway General Bylaws, Article 26.5.1, the Town's Stormwater and Land Disturbance bylaw, two conditions trigger the need for a Land Disturbance Permit:

Section 26.5.1 Applicability

This section shall apply to all activities in which the limit of work results in disturbance of:

- a. 20,000 square feet or more or
- b. Review for removal, disturbance, alteration, or addition of 10,000 square feet or more of impervious surface.

Proposal is less than 20,000 square feet of disturbance (16,364 SF) AND less than 10,000 square feet (8,481 SF) of additional impervious surface

Land Disturbance Permit

Pursuant to Medway General Bylaws, Article 26.5.1, the Town's Stormwater and Land Disturbance bylaw, two conditions trigger the need for a Land Disturbance Permit:

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This section shall apply to all activities in which the limit of work results in disturbance of:

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Proposal is too small to apply for a Land Disturbance Permit:

Proposal is less than 20,000 square feet of disturbance (16,364 SF) AND less than 10,000 square feet (8,481 SF) of impervious surface

Parking Impact Assessment

A Parking Impact Assessment is not required as the proposed site does not add thirty or more parking spaces. The proposed development adds a total of 9 new parking spaces. Applicant is requesting confirmation from the Board that a Parking Impact Assessment is not necessary for the Board to complete its review.

Neighborhood Impact Assessment

Sanderson View will have no negative impact on the Town of Medway or the immediate neighborhood and its abutters. The proposed use will not be detrimental to the adjoining properties due to lighting, flooding, odors, dust, noise, vibration, refuse materials or other undesirable visual, site or operational attributes of the proposed use.

The proposed use is in harmony with the general purpose and intent of the Zoning Bylaw. The Multi-Family Housing provisions of the Bylaw were specifically established to encourage this type of use subject to certain conditions to limit adverse impacts. The proposed use is in harmony with the general purpose and intent of the Bylaw.

The proposed use is consistent with the goals of the Medway Master Plan. The proposed use is consistent with the Master Plan goals of identifying housing needs and implementing projects to meet those needs such as increasing housing diversity.

The proposed site is an appropriate location for the proposed use. The proposed use is a multi-family development within the Multi-Family Housing Overlay District as approved by Town Meeting. Therefore, the proposed use is in an appropriate location.

The proposed use will not cause undue traffic congestion or conflicts in the immediate area. Sanderson Street has the capacity to handle the traffic from the additional 3 residential units. The entrance has been designed for maximum sight distance so the development will not cause undue traffic congestion or conflicts.

Adequate and appropriate facilities will be provided for the operation of the proposed use. As documented in the plans and associated materials, adequate and appropriate facilities will be provided for the operation of the proposed uses.

With only three new proposed units the site is more than adequate for its size and density.

The proposed use as developed will not adversely affect the surrounding neighborhood or significantly alter the character of the zoning district. The proposed use is within the Multi-Family Housing Overlay District. The surrounding neighborhood includes other multifamily buildings in the neighborhood and thus this development will not alter the character of the neighborhood.

The proposed use will not be detrimental to the public good. As documented in the plans and application, the proposed use is in accordance with the goals of the Master Plan while protecting against potential adverse impacts. The proposed development has reasonable and appropriate density in a suitable location.

Community Mailbox - It is anticipated that the U.S. Postal Service will require the use of roadside mailboxes vs. mail delivery to each individual dwelling unit. The plans provide 3 individual mailboxes mounted to a post at the driveway entrance on Sanderson Street. It is anticipated that the assessor will assign the house numbers 6-A, 6-B & 6-C Sanderson Street to the new units.

Construction Management Plan

Approximate Construction Sequence:

Install erosion control around perimeter of proposed disturbance area

Site clearance

Build temporary stabilized construction entrance at Sanderson Street access to limit off site tracking

Locate material stockpile / staging areas along the side of the proposed new driveway

Set up temporary services

Excavate for foundations, backfill and rough grade, keeping stockpiles within disturbance area

Construct dwelling units, keeping materials within disturbance area

Install underground utilities

Spread loam, final grade

Install driveway/parking area base and pave

Completion of all sitework/landscaping/hardscapes

Removal of erosion control

Hours of construction and deliveries will be Monday-Friday 7a-6p and Saturday 8a-5p

The entire project start to finish will take approximately 12 months.

Earth Removal Calculations, approximate

Anticipated earth work is as follows:

Driveway prep	450 cy
Slab & frost wall excavation	280 cy
Utilities& walkways	70 cy
Total Estimated excavation:	800 cy

Earth Fill Estimates

No fill materials are anticipated, site grading is proposed to match existing grading as close to existing as possible and maintain drainage flows.

List of Waivers Being Requested

Driveway distance to side property line (Article VII Section 207-11.A.13): Applicant is requesting to place its egress driveway within 15' of side property lines on Sanderson St in order to access that egress road. This waiver is needed in order to provide the site access on Sanderson St and keep access for the new units off of Holliston St.

Curbing (Article VII Sections 207-11.A.4, 207-11.B.2, 207-12.H.1,): Applicant is requesting waivers from the requirement for granite curbing at the site entrance, drive aisles and the parking area. This is a residential setting, not a commercial development. There is no curbing at all on Sanderson Street or the nearby areas on Holliston Street and installing curbing on this site would make this driveway out of character with the existing neighborhood.

Sidewalks along driveway (Article VII 207-9.B.1): Applicant is requesting to not have internal sidewalks along the perimeter of the parking area. This is a small residential setting not a commercial development. 5' wide sidewalks along the parking area would be out of character with the existing residential neighborhood.

Water & sewer tie ins on Sanderson St: Although the Multi-Family bylaw (5.6.4 E-4) states that "There shall be Town water and sewer available in the street on which the Multi-Family Development has its frontage and said water and sewer lines shall have sufficient capacity to accommodate the project.", it does not state that the new development must tie in to the Town water & sewer located on the street that provides the property's primary frontage. Therefore applicant is requesting confirmation from the board that the project can tie in to the Town water and sewer located on the property's secondary frontage, Sanderson Street. Applicant has confirmed with DPW that the Town water & sewer on Sanderson Street have sufficient capacity to accommodate the project.

STORMWATER MANAGEMENT

Project Introduction & Description:

16 Holliston St currently consists of an existing 1,800 square foot house currently used as a single family residence which sits on a 38,629 sf lot. We are proposing to build a new townhouse style condominium building which will accommodate 3 dwelling units. The new building footprint will be 34' x 72' or 2,448 sf.

The lot slopes front to back and is almost completely cleared, with a few trees in the construction area which will be removed and a perimeter of trees which are to be kept intact.

Erosion control barriers will be installed to protect boundaries and abutting properties during construction. (See sheet S-3 EROSION CONTROL & CONSTRUCTION PLAN).

The existing home's roof surface and driveway runoff are directed to surface. This will remain unchanged.

Overall drainage patterns will remain unchanged on the site.

Construction Period Pollution Prevention and Erosion and Sediment Control:

The applicant will use straw wattle erosion controls. Project limits, lay down and stockpile / staging areas are noted on Sheet S-3 EROSION CONTROL & CONSTRUCTION PLAN.

The Applicant: Larkin Real Estate Group Inc, 383 Main Street Medfield, MA 02052, will be ultimately responsible for compliance, until a Condominium Association is established. A staked straw wattle will be placed along the downstream boundary of disturbed material. The wattle will be installed at the onset of construction and will be removed on the establishment of the vegetation. See the plans for the landscaping planning and the site development, as well as attached S-4 DETAIL SHEET. The project's construction supervisor will be responsible for monitoring the controls. This project site does not disturb more than one acre area not initiating an NPDES permit requirement.

There are no expected illicit discharges from applicants' use of its property.

Stormwater Operations and Maintenance Plan

For

“Sanderson View”

16 Holliston Street

Medway, Massachusetts

Operation & Maintenance Responsibility:

Larkin Real Estate Group Inc

383 Main Street

Medfield, MA 02052 or its successor in title (the "Owner")

Prepared June 20, 2022

Introduction

All measures both temporary and permanent taken shall be coordinated with all the approved documents for the project including but not limited to the Erosion Control & Construction Plan (sheet S-3), the approved Order of Conditions and the Town of Medway regulations.

Temporary Stormwater Measures

Temporary stormwater measures are the structural or non-structural practices employed to reduce or eliminate stormwater degradation and site erosion during construction. The placement, monitoring and successful operations of temporary measures shall be the Owner's responsibility with authority assigned to the construction manager, general contractor or site contractor, as applicable.

The temporary stormwater measures are as follows:

- Stabilized Construction Entrance
- Staked Erosion Control Barriers
- Material Stockpiles with Containment Barrier and/or Mulch Covering

The proposed stormwater measures are as follows:

- Bituminous Pavement (Access Drives and Parking) (30-yr replacement schedule)
- Asphalt Roof (30-yr replacement schedule)

Material and Equipment Storage

Material and equipment storage will vary according to the project phase. During construction, all material and equipment will be stored in an organized stockpile / staging area. In general, the Owner is responsible for the typical assignment and agency granted to the construction manager, general contractor or site contractor for all temporary material and equipment storage, in accordance with usual and customary construction means and methods.

At no time will equipment maintenance or long-term fuel storage be permitted on site. All equipment maintenance will be performed off site. Re-fuelers are permitted on site, but must operate within the temporary storage area.

Preventative landscaping and grounds control

Permanent Seeding & Lawn care – Permanent Seeding should be done immediately after the final design grades are achieved. Native species of grass should be used to establish perennial vegetative cover on disturbed areas. The revegetation should be completed early enough in the fall so that a good cover is established before cold weather inhibits growth until the spring. A good cover typically represents vegetation covering 75 percent or more of the ground surface.

Permanent Seeding Seedbed Preparation

- a) In infertile or coarse-textured subsoil, it is recommended to spread topsoil over the finished slope at a minimum 2 to 6-inch depth and roll it to provide a firm seedbed. The topsoil must have a sandy loam to silt loam texture with 15% to 20% organic content. If construction fill operations have left soil exposed with a loose, rough, or irregular surface, smooth with blade and roll.
- b) Loosen the soil to a depth of 3-5 inches with suitable agricultural or construction equipment.
- c) Areas not to receive topsoil shall be treated to firm the seedbed after incorporation of the lime and fertilizer so that it is depressed no more than $\frac{1}{2}$ - 1 inch beneath foot traffic. Areas to receive topsoil shall not be firmed until after topsoil, lime and fertilizer is applied and incorporated, at which time it shall be treated to firm the seedbed as described above.

Permanent Seeding Grass Selection/Application

- a) Select an appropriate cool or warm season grass based on site conditions and seeding date. Apply the seed uniformly by hydroseeding, broadcasting, or by hand. Uniform seed distribution is essential. On steep slopes, hydroseeding may be the most effective seeding method. Surface roughening is particularly important when preparing slopes for hydroseeding.
- b) Lime and fertilize.
- c) Mulch the seedlings with straw applied at the rate of $\frac{1}{2}$ tons per acre. Anchor the mulch with erosion control netting or fabric on sloping areas.

Permanent Seeding Inspection/Maintenance

- a) Frequently inspect seeded areas for failure and make necessary repairs and reseed immediately. Conduct or follow-up survey after one year and replace failed grasses where necessary.
- b) If vegetative cover is inadequate to prevent rill erosion, overseed and fertilize in accordance with soil test results.
- c) If a stand has less than 40% cover, reevaluate choice of grass seed and quantities of lime and fertilizer. Re-establish the stand following seedbed preparation and seeding recommendations, omitting lime and fertilizer in the absence of soil test results. If the season prevents re-sowing, mulch or jute netting is an effective temporary cover.
- d) Seeded areas should be fertilized during the second growing season. Lime and fertilize thereafter at periodic intervals, as needed.

Fertilizers/Detergents

Fertilizers and detergents contain nutrients such as phosphorous and nitrogen which can contribute to water pollution. The following practices should be utilized to reduce the risks of using fertilizer/detergent products.

- 1) Limit the application of fertilizers to the minimum area and the minimum recommended amounts.
- 2) Reduce the exposure of nutrients to storm water runoff by working the fertilizer deep into the soil (depth of 4 to 6 inches) instead of letting it remain on the surface.
- 3) Apply fertilizer more frequently, but at lower application rates.
- 4) Hydro-seeding where lime and fertilizers are applied to the ground surface in one application should be limited where possible.
- 5) Limit the use of detergents onsite; wash water containing detergents should not be discharged in the storm water system.
- 6) Apply fertilizer and use detergents only in the recommended manner and only in recommended amounts.

Snow Operations Management

The proper management of snow and snow melt, in terms of snow removal and storage, use of deicing compounds, and other practices will prevent or minimize the major runoff and pollutant loading impacts. The following practices should be employed to avoid pollution impacts from snow.

1) Use of De-icing Compounds

a) The Town of Medway may agree to the use of certain chemicals for de-icing. Alternative de-icing compounds such as calcium chloride (CaCl_2) and calcium magnesium acetate (CMA) are possibilities.

b) Use of sand only for deicing road treatment.

c) There are no stockpiles of salt and sand stored or proposed on this site for de-icing.

2) Snow Removal and Storage: Place plowed snow in designated pervious areas where it can slowly infiltrate. This can be accomplished at the edge of the parking area surface.

3) Blow snow from paved areas to grass or pervious areas.

4) Utilize pavement sweeping as a minimum bi-annual in the early spring (after winter storms), and mid-fall (after the leaf drop).

The preceding does not cover sweepings known to be contaminated by spills, and such sweepings should be collected separately and kept segregated.

Stormwater Systems

The temporary stormwater systems are documented within the project documents. The Owner is responsible with typical authority granted to the construction manager, general contractor or site contractor.

The associated site access and parking areas are conventional bituminous pavement with edging to direct surface flow to grade.

Stormwater Operations and Maintenance

The combined stormwater systems operations and maintenance can be performed by the Larkin Real Estate Group Inc construction manager, new owners or their assigned agent. The following activities should be carried out on an on-going basis to maintain good site

operations:

- **Site Maintenance:** The site and all components are to be kept in a neat, orderly and clean fashion. Routine upkeep shall be performed by either the Owner's representatives, Property Management Staff and/or their assignees. Typical site maintenance activities shall include responsible construction practices, careful employment of temporary erosion control methods, street sweeping, landscape management and grounds maintenance.
- **Trash Disposal:** All common household waste materials shall be collected and stored in securely fastened metal dumpsters within garages and removed from site by a refuse collection vendor.
- **Spill Control & Containment:** Good housekeeping and spill control practices will minimize stormwater contamination from petroleum products, paints and cleaning products.

Tree Preservation Plan

A tree survey was performed on the site to determine location and number of trees exceeding 15" diameter as measured four feet above finish grade. The following four (4) trees were located to be removed for the site's development. A 17" maple in the driveway, a 17" maple in the new building footprint, a triple 15" maple in the new building footprint, a 27" maple in the new building footprint.

A total of one (1) tree over 24" is to be removed from the site. (27" maple)

Replacement trees shall be planted of type and size as per landscaping plan.

Tree Size – Replacement trees shall have a diameter of at least an average of two and one-half inches as measured four feet above finish grade and shall be a minimum of twelve feet in height.

Medway Planning and Economic Development Board
Request for Waiver from Site Plan Rules and Regulations
 Complete 1 form for each waiver request

Project Name	
Property Location	
Type of Permit	
Identify the number and title of the relevant section of the <i>Site Plan Rules and Regulations</i> from which a waiver is sought.	
Summarize the text of the relevant section of the <i>Rules and Regulations</i> from which a waiver is requested.	
What aspect of the <i>Rule and Regulation</i> do you propose be waived?	
What do you propose as an alternative to the standard?	
Explanation/justification for the waiver request. How does the particular rule/regulation not apply to the site or situation under review?	
Explanation/justification. How would approval of this waiver request not be significantly detrimental to achieving the purposes of site plan review?	
Explanation/justification. How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	
What is the impact on the development if this waiver request is denied?	
What mitigation measures do you propose to offset not complying with the particular Rule/Regulation?	
Waiver Request Prepared By:	
Date:	
Questions?? - Please contact the Medway PEDB office at 508-533-3291.	

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BASELITE – YARD LITE – LED – SPECIFICATION SHEET



PROJECT NAME: _____ PROJECT TYPE: _____

MODEL #	/	/	/	/	/	/	/	/	/	/	/	/
	A	B	C	D	E	F	G	H	I	J	K	
EXAMPLE:	YP14	41	E16	SQ ½"	43	45W	3K	LDM120	PR3	GR14	44	

*SKIP SECTION IF OPTION DOES NOT APPLY

NOTES:



YP16/50-49/ST18/49/STC/150INC

A - SHADES

YARD LITES

YL14 - 25WLED (MAX)
YL16 - 25WLED (MAX)
YP14 - 25WLED (MAX)
YP16 - 25WLED (MAX)
CYP14 - 25WLED (MAX)
CYP16 - 25WLED (MAX)

B - FINISH OPTIONS

(SEE WEBSITE FOR SWATCH COLORS)
 (*SEE NOTES FOR LIMITATIONS*)

14, 15, 16, 17, 18, 19, 19P, 20, 20P, 20PB,
 20SB, 21, 21P, 22, 22P, 23, 23P, 38, 39, 40, 41,
 41.5, 42, 43, 44, 45, 46, 48, 49, 50, 51, 52, 53,
 54, 55, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66,
 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81,
 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93,
 94, 95, 96, 97, 98, 99, 100, MG.

C – MOUNTING OPTIONS

½" ARM EXTENSIONS

E1, E2, E3, E4, B1, E16, E17

¾" ARM EXTENSIONS

E3A, E4A, E5, E6, E7, E8, E9,
 E10, E11, E12, E13, B15, B15S,
 E19, E20, E21, *E22, E25

E14 - CREATE YOUR OWN

(BASELITE WILL TAKE YOUR SKETCH AND
 FABRICATE A CUSTOM ARM EXTENSION TO
 MEET YOUR NEEDS).

½" WALL MOUNT

B13, WM13R, WM13X, B10, B11, B101

¾" WALL MOUNT

B9, B9C, B12, WM14X, WM15,
 WM35X, WM55X, WM60X,
 WM61X WM70X, WM71X

LED CORD MOUNT

LBLC, LWHC, LTCB, LTCW, LTCHB,
 LTCHW, LTLB, LTLW, LTLB, LTLW, LRCL,
 LRCW, LRCHB, LRCHW, LFHB, LFHW,
 LHBL, LHWHC, LCBLC, LCWHC

STEM MOUNT

ST6, ST12, ST18, ST24, ST36, ST48, STXX

D – MOUNTING ADD-ONS

LED ADD-ONS

LWTM, LSLC, LSTC

UNIVERSAL ADD-ONS

SQ ½", SQ ¾", FH ½", FH ¾", TRB ½", TRB ¾",
 SWL, LGSWL, CNK, INB, RINB

E – MOUNTING COLOR

SEE SECTION "B" FOR COLOR OPTIONS.

F – LIGHT SOURCE

(SEE PAGE 4 FOR WATTAGE LIMITATIONS)

LIGHT EMITTED DIODE (LED)

10W, 12W, 20W, 25W

*NOTE – MAX WATTAGE IS LISTED NEXT TO THE
 SHADE MODEL NUMBER IN SECTION "A". ALL
 WATTAGES BELOW THAT ARE ALSO AVAILABLE FOR
 THE SAME MODEL NUMBER.

G – LED COLOR TEMP

27K – 2700 K

3K – 3000 K

35K – 3500 K

4K – 4000 K

5K – 5000 K

H – ELECTRICAL OPTION

(SEE PAGE 4 FOR DIMMING OPTION SPECIFICATIONS)

LDM120

LDM277

LDM0-10

I – GLASS OPTIONS

CL3, CL4, CLT3, CLT4, BL3, BL4, RE3, RE4,
 GR3, GR4, AH3, AH4, FR3, FR4, FRT3, FRT4,
 PR3, PR4, BA, BAX, BAF, PR8, PR8F, FN, OC

J – ACCESSORIES

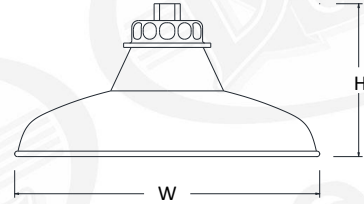
GR14, GR16, REF, UGR, LGR14, LGR16,
 CRL14, CRL16, FLE14, FLE16, FGR14, FGR16,
 GU-1, GU-2, WG-1, WG-2

K – ACCESSORY COLOR

SEE SECTION "B" FOR COLOR
 OPTIONS.

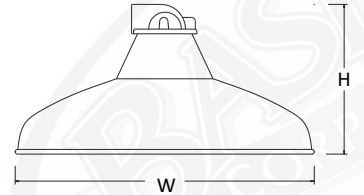
NOTES

- (1). FINISH OPTIONS 20, 21, 22, 23 ARE FOR SOLID BRASS FIXTURES ONLY.
 - (2). FINISH OPTIONS 19, 21, 22, 23, 75, 76, 77, 83, 84, 88, 93 AND 98 ARE APPLIED BY HAND. THESE FINISHES WILL VARY IN CONSISTENCY.
 - (3). FINISH OPTIONS 19, 38, 39, 40, 49, 54, 57, 58, 61, 62, 63, 70, 71, 72, 73, 78, 83, 84, 88, 92, 93, 98 ONLY AVAILABLE INSIDE AND OUT OF FIXTURE. OTHER FINISHES ARE WHITE INSIDE.
 - (4). FINISH OPTIONS 61, 62, 70, 71, 72, 73 ARE FINISHED WITH A SUPERCHROME ON THE INSIDE FOR ALL LED LIGHT SOURCE OPTIONS.
 - (5). COLOR CORDS ARE NOT APPLICABLE FOR LED OPTIONS.
- *ALL ARMS COME WITH A CAST BACKPLATE (CB1/2", CB3/4", LWTM, CFWTM, ECT.).
- *ACCORDING TO THE LIGHT SOURCE THE BACKPLATE MAY VARY IN SIZE.
 (EXAMPLE: LED LIGHT SOURCE WILL HAVE A DEEPER BACKPLATE TO HOUSE THE DRIVER.).
- *ALL FIXTURES MOUNT TO A 4-0 JUNCTION BOX.
- *FIXTURE DIMENSIONS MAY VARY ±0.25.
- *CORD AND CANOPY COME IN THE SAME COLOR.
- *E22 ¾" ARM EXTENSION FOR YL14 AND YL16 ONLY



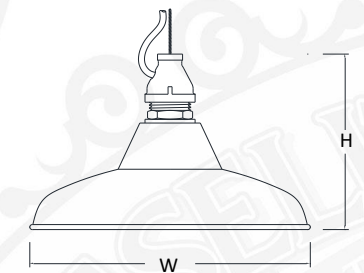
YP14 H-7.5" W-14"

YP16 H-8.5" W-16"



YL14 H-7" W-14"

YL16 H-8" W-16"



CYP14 H-8.75" W-14"

CYP16 H-9.75" W-16"



C - MOUNTING OPTIONS (CONTINUED)

3/4" WALL MOUNTS

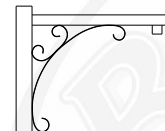
*MOUNTS RATED FOR WET LOCATION * MAXIMUM SECTIONS OF MOUNTS ARE DIMENSIONED



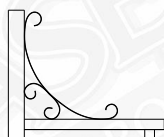
WM35X 26"(H) 22"(W)



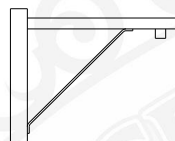
WM55X 19"(H) 27"(W)



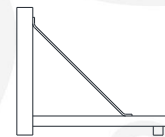
WM60X 18"(H) 22"(W)



WM61X 18"(H) 22"(W)



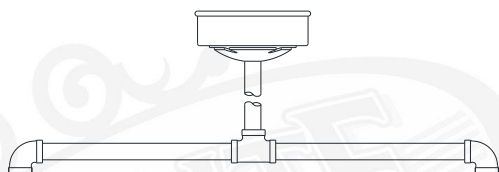
WM70X 18"(H) 22"(W)



WM71X 18"(H) 22"(W)

STEM MOUNTS

*STEMS RATED FOR DAMP LOCATION



DP24 DOUBLE PENDANT 20"(H) 24"(W)

*DP24 COMES STANDARD WITH LSTC AND ST18



ST(XX) STEM- 1/2" NPT

XX = LENGTH OF STEM

(EXAMPLE - "ST18" = STEM MOUNT 18" LENGTH)

*CANOPY NOT INCLUDED, ADD IN SECTION D

* 1/4" NPT AND 3/4" NPT AVAILABLE UPON REQUEST



SC24 SCROLL STEM 33"(H) 26"(W)

*SC24 COMES STANDARD WITH LSTC

LED CORD MOUNTS

*FOR LED & COMPACT FLUORESCENT OPTIONS, CANOPIES WILL VARY IN SIZE DUE TO SIZE OF THE DRIVER/BALLAST THAT WILL BE LOCATED INSIDE OF THE CANOPY.

*CORDS RATED FOR DRY LOCATION

*CANOPY DIMENSIONS: 4" (H) 5.5" (W)

*CORD AND CANOPY COME IN THE SAME COLOR.



LBLC 8' BLACK CORD

LWHC 8' WHITE CORD



LTCB 8' BLACK CORD, CABLE, and LOOP

LTCW 8' WHITE CORD, CABLE, and LOOP



LTCHB 8' BLACK CORD, 3' CHAIN, and LOOP

LTCHW 8' WHITE CORD, 3' CHAIN, and LOOP



LTLB 8' BLACK TELEPHONE CORD AND CABLE

LT LW 8' WHITE TELEPHONE CORD AND CABLE

* Not available with compact fluorescent



LRCB 8' BLACK CORD, CABLE, and LOOP

LRCW 8' WHITE CORD, CABLE, and LOOP



LRCHB 8' BLACK CORD, 3' CHAIN, and LOOP

LRCHW 8' WHITE CORD, 3' CHAIN, and LOOP



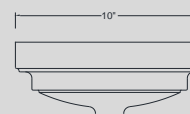
LFHB 8' BLACK CORD WITH FLAT HUB

LFHW 8' WHITE CORD WITH FLAT HUB



LCBLC 8' BLACK CORD and CABLE

LCWHC 8' WHITE CORD and CABLE



NOTES:

*DISTANCE TO LAMP (CF) 10'

*All compact fluorescent and LED housings may vary in size according to light source chosen.



I – GLASS OPTIONS

*NOTE: MUST USE TEMPERED GLASS FOR LIGHT FIXTURES USING HIGH INTENSITY DISCHARGE (HID) LIGHT SOURCE OPTION.



CL3 3" CLEAR GLASS



PR3 3" PRISMATIC GLASS



RE3 3" RED GLASS



BL3 3" BLUE GLASS

CL4 4" CLEAR GLASS

PR4 4" PRISMATIC GLASS

RE4 4" RED GLASS

BL4 4" BLUE GLASS

CLT3 3" CLEAR TEMPERED

CLT4 4" CLEAR TEMPERED



FR3 3" FROSTED GLASS



AH3 3" AMBER HYDE GLASS



GR3 3" GREEN GLASS

FR4 4" FROSTED GLASS

AH4 4" AMBER HYDE GLASS

GR4 4" GREEN GLASS

FRT3 3" FROSTED TEMPERED

FRT4 4" FROSTED TEMPERED

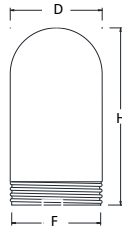
GLASS – DIMENSIONS

3" GLASS

Diameter 3.34"
Height 6.93"
Fitter 3.29"

4" GLASS

Diameter 4.34"
Height 8.37"
Fitter 4.29"



BA 6" OPAL BALL
(100W INC MAX/LED12W)



BAX 9" CLEAR GLOBE



FN 8" CLEAR TEXTURED GLOBE
(150W INC MAX/LED25W)



BA7 7" CLEAR GLOBE



PR8 8" PRISMATIC

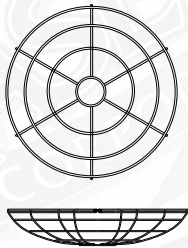


OC 8" OPAL TAPERED GLOBE
(60W INC MAX/LED25W)

BA7F 7" FROSTED GLOBE
(100W INC MAX/LED25W)

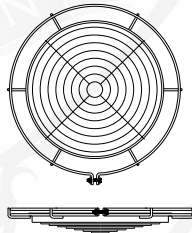
PR8F 8" PRISMATIC FROSTED
(200W INC MAX/LED45W)

J – ACCESSORIES



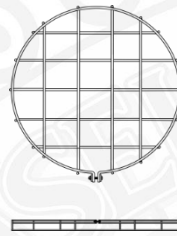
GR14 14" WIRE GRILL

GR16 16" WIRE GRILL



LGR14 14" LOUVERED GRILL

LGR16 16" LOUVERED GRILL



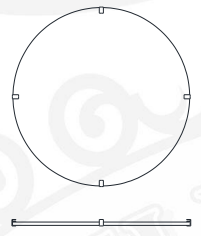
FGR14 14" FLAT GRILL

FGR16 16" FLAT GRILL



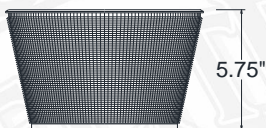
CRL14 14" CURVED POLYCARB LENS

CRL16 16" CURVED POLYCARB LENS



FLE14 14" FLAT CLEAR LENS

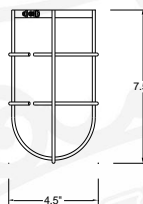
FLE16 16" FLAT CLEAR LENS



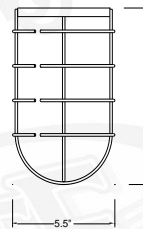
REF 9.5" DIAMETER REFRACTOR



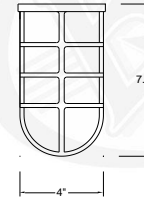
UGR U-WIRE GUARD



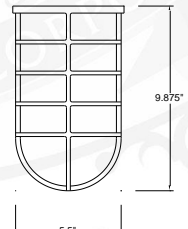
WG-1 WIRE GUARD



WG-2 WIRE GUARD



GU-1 CAST ALUMINUM GUARD



GU-2 CAST GUARD

Schedule											
Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Lamp	Filename	Lumens per Lamp	LLF	Wattage	Distribution
	W	6	Baselite Corp	YL14 41 E1 LWTM 10WLED 27K LDM0-10	Yard Lite; mounted at 8ft AFF	LED	LED25W-3K-1260984.ies	1820	0.36	22.2374	

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Driveway/Parking Lot	+	0.2 fc	3.6 fc	0.0 fc	N/A	N/A
Outside of Driveway/Parking Lot	+	0.1 fc	3.3 fc	0.0 fc	N/A	N/A
Planter	+	0.9 fc	1.6 fc	0.3 fc	5.3:1	3.0:1
Planter	+	0.4 fc	0.7 fc	0.2 fc	3.5:1	2.0:1



16 HOLLISTON ST - MEDWAY Site Lighting Layout

Designer
Heidi G. Connors
Visible Light, Inc.
24 Stickney Terrace
Suite 6
Hampton, NH 03842
Date
08/29/2022
Scale
1"=20'
Drawing No.

Summary

Susan Affleck-Childs

From: Susan Affleck-Childs
Sent: Tuesday, August 23, 2022 9:56 AM
To: Allison Potter; Barbara Saint Andre; Barry Smith; Brian White ; Bridget Graziano; Christopher Park; Denise Legee; Derek Kwok; Doug Havens; Jack Mee ; Jeff Lynch; Jeff Watson; Joanne Russo; Matthew Buckley; Michael Boynton; Mike Fasolino; Nolan Lynch; Peter Pelletier; Sandy Johnston; Sean Harrington; Stephanie Carlisle; Tina Wright ; William Kingsbury
Cc: Anna Rice
Subject: NEW APPLICATION for REVIEW - Sanderson View

Good morning,

The Planning and Economic Development Board has received an application for major site plan review and a multi-family housing special permit for a proposed 4 unit residential condominium at 16 Holliston Street.

Project Information and plans are available for your review at: <https://www.townofmedway.org/planning-economic-development-board/pages/sanderson-view-multi-family-housing-development>

The public hearing will begin Tuesday, September 13th. Please forward your review comments to Anna Rice by September 7th.

Thanks for your help.

Susy

Susan E. Affleck-Childs
Planning and Economic Development Coordinator
Town of Medway
155 Village Street
Medway, MA 02053
508-533-3291



Susan Affleck-Childs

From: Derek Kwok
Sent: Wednesday, August 24, 2022 7:30 AM
To: Anna Rice; Susan Affleck-Childs
Subject: RE: NEW APPLICATION for REVIEW - Sanderson View

Hello Anna and Susy,

Thank you for notifying me of this application. It appears town water and sewer are both available at this location, but if for some reason this development would not be able to connect, then my only comments would be to contact Medway Board of Health for approvals with installation of wells or a title V system.

Please let me know if you have any questions or concerns.

Best,
Derek Kwok, REHS/RS
Health Director
Board of Health
Town of Medway
155 Village Street
Medway, MA 02053
P: 508.321.4923

From: Susan Affleck-Childs <sachilds@townofmedway.org>
Sent: Tuesday, August 23, 2022 9:56 AM
To: Allison Potter <apotter@townofmedway.org>; Barbara Saint Andre <bsaintandre@townofmedway.org>; Barry Smith <bsmith@townofmedway.org>; Brian White <brian@treefortgroup.com>; Bridget Graziano <bgraziano@townofmedway.org>; Christopher Park <cpark@townofmedway.org>; Denise Legee <dlegee@comcast.net>; Derek Kwok <dkwok@townofmedway.org>; Doug Havens <dhavens@townofmedway.org>; Jack Mee <jmee@townofmedway.org>; Jeff Lynch <ChiefLynch@townofmedway.org>; Jeff Watson <jwatson@medwaypolice.com>; Joanne Russo <jrusso@townofmedway.org>; Matt Buckley <matt_buckley2@yahoo.com>; Michael Boynton <mboynton@townofmedway.org>; Mike Fasolino <mfasolino@townofmedway.org>; Nolan Lynch <nlynch@townofmedway.org>; Peter Pelletier <ppelletier@townofmedway.org>; Sandy Johnston <sjohnston@townofmedway.org>; Sean Harrington <sharrington@townofmedway.org>; Stephanie Carlisle <scarlisle@townofmedway.org>; Tina Wright <tina.wright@aleragroup.com>; William Kingsbury <wkingsbury@medwaypolice.com>
Cc: Anna Rice <arice@townofmedway.org>
Subject: NEW APPLICATION for REVIEW - Sanderson View

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Susan Affleck-Childs

From: Barbara Saint Andre
Sent: Thursday, August 25, 2022 1:12 PM
To: Susan Affleck-Childs
Cc: Anna Rice
Subject: RE: NEW APPLICATION for REVIEW - Sanderson View

Susy, I have a few initial comments regarding the application; please note these are just preliminary comments, subject to further more complete review.

1. It appears from the plan that the entire frontage of the lot on Sanderson Street will be taken up by the driveway. Site plan regulations require driveways to be located at least 15 feet back from the side lot line where, as here, the abutting property is a residential use. Section 207-11(A)(13). It does not seem possible for the driveway to comply with this requirement.
2. It also appears that the driveway will slope down towards Sanderson Street, and that there is a catchbasin in Sanderson Street right in front of the proposed driveway. How will the applicant prevent stormwater from running off the driveway into the street and the catchbasin, and/or onto adjoining properties? There is no stormwater management plan as required by Section 207-14.
3. The narrative states that the plan shows three mailboxes located on one post at the end of the driveway at Sanderson Street, but that is not shown on the plan (at least I could not find it). If the entire frontage is taken up by the driveway, where will the mailboxes be placed?
4. The landscape plan seems to rely almost exclusively on trees that are located on other properties with respect to the north side of the property (parcels 17 and 18). There should be landscaping on the site to provide the buffering required by the Site Plan Regulations.
5. I do not see any provision for solid waste disposal as required by Section 207-17.
6. The only requested waivers from the Site Plan Regulations relate to curbing for the driveway, but the application seems to lack a number of items required for major site plan review. See Section 204-3 et seq.

I look forward to seeing the comments from DPW, Tetra Tech and others.

Barbara J. Saint Andre
Director, Community and Economic Development
Town of Medway
155 Village Street
Medway, MA 02053
(508) 321-4918

From: Susan Affleck-Childs <sachilds@townofmedway.org>
Sent: Tuesday, August 23, 2022 9:56 AM
To: Allison Potter <apotter@townofmedway.org>; Barbara Saint Andre <bsaintandre@townofmedway.org>; Barry Smith <bsmith@townofmedway.org>; Brian White <brian@treefortgroup.com>; Bridget Graziano <bgraziano@townofmedway.org>; Christopher Park <cpark@townofmedway.org>; Denise Legee <dlegee@comcast.net>; Derek Kwok <dkwok@townofmedway.org>; Doug Havens <dhavens@townofmedway.org>;

Jack Mee <jmee@townofmedway.org>; Jeff Lynch <ChiefLynch@townofmedway.org>; Jeff Watson <jwatson@medwaypolice.com>; Joanne Russo <jrusso@townofmedway.org>; Matt Buckley <matt_buckley2@yahoo.com>; Michael Boynton <mboynton@townofmedway.org>; Mike Fasolino <mfasolino@townofmedway.org>; Nolan Lynch <nlynch@townofmedway.org>; Peter Pelletier <ppelletier@townofmedway.org>; Sandy Johnston <sjohnston@townofmedway.org>; Sean Harrington <sharrington@townofmedway.org>; Stephanie Carlisle <scarlisle@townofmedway.org>; Tina Wright <tina.wright@alragroup.com>; William Kingsbury <wkingsbury@medwaypolice.com>

Cc: Anna Rice <arice@townofmedway.org>

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Thanks for your help.

Susy

Susan E. Affleck-Childs
Planning and Economic Development Coordinator
Town of Medway
155 Village Street
Medway, MA 02053
508-533-3291





September 8, 2022

Ms. Susan E. Affleck-Childs
Medway Planning and Economic Development Coordinator
Medway Town Hall
155 Village Street
Medway, MA 02053

**Re: Sanderson View
Major Site Plan Review
16 Holliston Street
Medway, Massachusetts**

Dear Ms. Affleck-Childs:

Tetra Tech (TT) has performed a review of the proposed development for the above-mentioned Project at the request of the Town of Medway Planning and Economic Development Board (PEDB). The Project is located on a 0.83-acre property at 16 Holliston St. in Medway, Massachusetts. The Project consists of renovating the existing building along with adding a three (3) unit condominium in back of the lot. Also included is a proposed driveway from Sanderson St., lighting, landscaping, and utility improvements.

TT is in receipt of the following materials:

- A plan (Plans) set titled "Sanderson View", dated June 20, 2022, prepared by Colonial Engineering Inc. (CEI).
- A Project narrative (Narrative) titled "Project Narrative, Development Name: Sanderson View, Project Address: 16 Holliston Street, Medway", prepared by CEI.
- Several Waiver Requests, prepared by CEI.

The Project documentation was reviewed for conformance with the following documents:

- Town of Medway Planning & Economic Development Board Rules and Regulations, Chapter 200 – Site Plans, Rules & Regulations for Submission, Review and Approval of Site Plans. (Amended October 8, 2019).

The Project was also reviewed for good engineering practice and overall site plan efficiency. Review of the Project for zoning related matters is being conducted by Town personnel and is excluded from this review. Our initial comments are provided below.

SITE PLAN REVIEW

Site Plan Rules and Regulations (Chapter 200)

1. The Applicant has provided a Project Narrative that describes the scope of the proposed Project. The Applicant has not provided the proposed hours of operation and timetable for Project completion. However, these items can be found in the Construction Management Plan. (Ch. 200 §204-3.C)
2. The Applicant has not provided a list of interested parties located within 300-feet of the Project site. (Ch. 200 §204-3.D)

3. The Applicant has provided a brief analysis of the existing traffic safety and the impact of the Project on such conditions. A Waiver request was submitted from this Regulation to provide a full Traffic Impact Assessment due to the small size of the development. (Ch. 200 §204-3.F.1)
4. A Stormwater Drainage Report was not included in the initial review submittal. (Ch. 200 §204-3.G.2)
5. The Applicant has not provided an Order of Resource Area Delineation (ORAD). The Applicant stated that the Project site is outside of Conservation Commission jurisdiction per Medway Conservation Agent. We recommend the Applicant provide written correspondence from Conservation for the record. (Ch. 200 §204-3.K)
6. The Applicant has not provided the latest recorded deed to the property. (Ch. 200 §204-3.L)
7. The Applicant does not explicitly state that existing and proposed elevations reference the North American Vertical Datum of 1988 (NAVD88). A note should be added to the Plans detailing the reference datum. (Ch. 200 §204-4.C)
8. A legend and applicable notes should be included on each plan sheet. (Ch. 200 §204-4.E)
9. A Site Context Sheet is not provided within the Plans; however, the required content is included on the Cover Sheet and Existing Conditions Sheet. (Ch. 200 §204-5.B.2)
10. The Existing Conditions Sheet does not include an Existing Landscape Inventory. The plan includes existing trees, however, it does not represent their respective drip lines. (Ch. 200 §204-5.C.3)
11. Sidewalks have not been proposed along the driveway of the Project. A Waiver request was submitted from this Regulation. (Ch. 200 §207-9.B)
12. Curbing has not been proposed on any portion of the Project. A Waiver request was submitted from this Regulation. (Ch. 200 §207-11.A.4, 11.B.2, 12.H)
13. The driveway to the proposed multi-family building is located within the required 15-foot buffer from the side property line. A Waiver request was submitted from this Regulation. (Ch. 200 §207-11.A.13)
14. The Applicant shall provide written confirmation from the Medway Fire Department that they have reviewed and approved the Project. (Ch. 200 §207-11.B.8)
15. The Applicant has not provided any stormwater mitigation on the Project. Additionally, a Stormwater Report has not been provided. (Ch. 200 §207-14)
16. The Applicant is proposing a utility pole south of the proposed multi-family units with overhead service form the street to the utility pole. We recommend the pole be located adjacent to the right of way and all services be located underground to the units. The Applicant should also research whether utilities could enter the property from Sanderson Street since that area will be disturbed during construction and utilities could be located underground. (Ch. 200 §207-16.A)
17. The Applicant should provide a photometrics plan to confirm light does not trespass on abutting properties. (Ch. 200 §207-18)
18. Minimal screening is proposed between the existing dwelling on the property and the proposed multi-family units. Additional screening in this area may provide additional privacy for the future tenants. (Ch. 200 §207-19)
19. Snow stockpile area is provided where landscaping is proposed. The Applicant shall provide sufficient snow storage areas to prevent damage to proposed landscaping. (Ch. 200 §207-21)

General Site Plan Comments

20. A portion of the abutters' driveway is located on the subject property. We recommend the Board discuss this at the next public hearing to determine if an easement is required for the encroachment. Additionally, the area where the driveways meet is proposed at an odd angle. We recommend a radius at the intersection point of the two driveways or other means to provide a more aesthetically pleasing marriage of the two driveways.

21. The Plans are difficult to read since existing and proposed information is provided in similar lineweights and thickness. We recommend proposed improvements be represented in black and existing conditions screened in grayscale to provide more contrast to the Plans.

These comments are offered as guides for use during the Town's review and additional comments may be generated during the course of review. The Applicant shall be advised that any absence of comment shall not relieve them of the responsibility to comply with all applicable local, state and federal regulations for the Project. If you have any questions or comments, please feel free to contact us at (508) 786-2200.

Very truly yours,



Steven M. Bouley, PE
Project Manager



Tucker D. Paradee, EIT
Civil Engineer

P:\21583\143-21583-22022 (PEDB 16 HOLLISTON ST)\DOCS\16 HOLLISTON ST-PEDBREV(2022-09-08).DOCX

Fw: [External] Sanderson St view Holliston St family housing

Susan Affleck-Childs <sachilds@townofmedway.org>

Tue 9/13/2022 8:30 AM

To: Barbara Saint Andre <bsaintandre@townofmedway.org>; Anna Rice <arice@townofmedway.org>
hi. forwarding along to you for tonite's mtg.

Susy

Susan E. Affleck-Childs
Town of Medway
Planning and Economic Development Coordinator
155 Village Street
Medway, MA 02053
508-533-3291
sachilds@townofmedway.org

From: Teresa B <teresalwba@gmail.com>
Sent: Monday, September 12, 2022 8:10 PM
To: Planning Board <PlanningBoard2@townofmedway.org>
Subject: [External] Sanderson St view Holliston St family housing

Hi,

My name is Teresa Bien-Aimé and I reside at 11 Sanderson St. and wanted to submit comments regarding the Sanderson view multi family housing.

1. Cars should exit on Holliston St because there are lots of walkers and kids that utilize Sanderson St due to the fact that there isn't a sidewalk on a portion of North St for safe passage and Sanderson St is much quieter. Students have to walk to school because of the stipulation of being within 1 mile of the schools.
2. There is already a crosswalk/intersection in front of the Holliston Street house that can aide to traffic and pedestrian movement. Even adding a flashing light to assist in slowing speeding traffic that's always speed down Holliston. (I.e. Accident on this past Sunday afternoon Sept 11th on Holliston St).
3. Post/ fix fallen "slow" sign(s) to help slow traffic speed on Sanderson St.



September 13, 2022
Medway Planning & Economic Development Board
Meeting

Milford Regional Hospital Hearing
Continuation

- Notice dated August 24, 2022, to continue public hearing to September 13, 2022
- Peer Review Response of Sound Study of 86 Holliston Street, Medway, MA, from TechEnvironmental, dated September 6, 2022
- DRAFT Major Site Plan, Parking Location Special Permit, Building Type Special Permit, and Groundwater Protection Special Permit decision, dated August 29, 2022

Board Members

Matthew Hayes, P.E., *Chair*
Robert Tucker, *Vice Chair*
Richard Di Iulio, *Clerk*
Jessica Chabot, *Member*
Sarah Raposa, A.I.C.P., *Member*
Thomas Gay, *Associate Member*



Medway Town Hall
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TOWN OF MEDWAY

COMMONWEALTH OF MASSACHUSETTS


PLANNING AND ECONOMIC DEVELOPMENT BOARD

MEMORANDUM

August 24, 2022

RECEIVED TOWN CLERK
AUG 24 '22 AM 11:01

TO: Stefany Ohannesian, Town Clerk
Town of Medway Departments, Boards and Committees

FROM: Susy Affleck-Childs, Planning and Economic Development Coordinator 

RE: **Public Hearing Continuation for Milford Regional Medical Center Site Plan, Groundwater Protection Special Permit, and Central Business District Special Permit for Building Type and Parking Location - 86 Main Street**
Continuation Date – Tuesday, September 13, 2022 at 8:45 p.m.

At its August 24, 2022 meeting, the Planning and Economic Development Board voted to continue the public hearing on the application of Lobisser Companies of Hopedale, MA for approval of a major site plan, a groundwater protection special permit, and a Central Business District special permit (building type and parking location) for the proposed 21,900 sq. ft. medical office building to be constructed on a portion of 86 Holliston Street to the Board's meeting on Tuesday, September 13, 2022 at 8:45 p.m. at Medway Town Hall, 155 Village Street.

The proposed facility is to be located on approximately 2.2 acres on the eastern end of the subject property. The building will be accessed from the existing curb cut and driveway from Main Street currently used by Walgreens. Other planned site improvements include parking, utilities, grading, lighting, landscaping, and stormwater management. The facility will offer pediatric care, women's health, wellness, urgent care, lab & x-ray services.

The planned improvements are shown on *Site Plan, 86 Holliston Street, Medway, MA* dated April 14, 2022, *LAST REVISED June 29, 2022*, prepared by Guerriere & Halnon, Inc. of Franklin, MA. The site is also under the jurisdiction of the Conservation Commission for an Order of Conditions and a Land Disturbance Permit.

The site plan and associated application documents are on file with the Medway Town Clerk and the Community and Economic Development office at Medway Town Hall. Those documents and the above referenced revised site plan is also posted at Board's page at:

https://www.townofmedway.org/sites/g/files/vyhlf8006/f/uploads/2022-06-30_milford_hospital_site_plan_set_rev1.pdf

The Board welcomes your review of the revised site plan. Please provide any comments to me and Anna Rice in our office by 7th. Please don't hesitate to contact me if you have any questions. Thanks.

September 6, 2022

Mr. Kevin Lobisser
Lobisser Companies
One Charlesview Road, Suite 1
Hopedale, MA 01747

Re: Peer Review Response of Sound Study of 86 Holliston Street, Medway, MA

Ref 4765

Dear Kevin:

Tech Environmental, Inc. (Tech) is pleased to provide this response to the comments of our “86 Holliston Street, Medway, MA – Sound Study” dated July 6, 2022. Those comments were presented in memorandum from Mr. Jeff Komrower of Noise Control Engineering LLC. (NCE) dated August 8, 2022. and generally stated that the sound study should demonstrate compliance with the Medway Zoning Noise Bylaw. Tech understands the comments provided by NCE and has revised our Sound Study to address each of them. Attached is a revised “86 Holliston Street, Medway, MA – Sound Study”. Furthermore, Tech is providing responses below to address each of the comments provided by NCE in their conclusions and recommendations.

- 1. Simplified calculations were performed to check noise levels predicted by CadnaA acoustical modeling software as presented in the sound study presented by Tech Environmental. These calculations will not be as accurate as the CadnaA modeling because they do not take into account a number of possible factors such as reflections off of hard surfaces, absorption by any soft surfaces (ground effects) and, as may exist in the proposed 86 Holliston Street Project, possible shielding effects of the building edge. However, for this proposed site configuration, it would be expected that predictions would be comparable. When taking into account source levels based on six (6) HVAC units, noise levels from this simplified model predict significantly higher levels at the receptor locations. Since some details of the assumptions used in the CadnaA model were not presented in the Tech Environmental memo, there may very well be another explanation for this difference. This should be investigated.*

Mr. Komrower performed a simple sound propagation calculation, which he concluded that his calculations were based on one (1) HVAC unit and that if he added the additional five (5) HVAC units that there could be an exceedance of the 32 dBA noise limits at the dwellings and that the predicted sound levels at all locations should be 8 dB higher. As he stated in his memo, his calculations will not be as accurate as the CadnaA modeling because it does include several factors, such as reflections off of hard surfaces, absorption by and soft surfaces (ground effects) and possible building shielding effects of the building edge. Tech reviewed our CadnaA model to determine that site and nearby terrain, soft ground surfaces

and the building edge do in fact reduce the noise levels by 8 dB. The table below presents the contribution of sound attenuation due to the factors described above.

Model Factors	Sound Reduction (dB)
Terrain	-4
Ground Absorption	-1
Source Height	-3
Total	-8

2. *As was stated in their memo, Tech Environmental did not investigate the criteria that limits the increase in broadband sound pressure levels to 2 dB above the existing ambient conditions at the residential property lines or residences. The Medway PEDB can choose to waive this requirement. However, it is a requirement in the ordinance and as a minimum, if a background survey for this site will not be performed, a comparable background level from a similar site should be provided to Tech Environmental so that they can check if the Project will meet this section of the by-laws. If background noise levels from a comparable site are not available, then a background noise survey should be performed.*

Tech conducted a long-term sound monitoring program for a 7-day period and those results are included in the revised Sound Study. The results of the ambient sound monitoring were used with our acoustic modeling results, which demonstrate that the Project will comply with the 2-dBA above ambient sound limit in Medway Zoning Noise Bylaw at the nearest residential property line and residential dwelling on Robin Circle.

I am hopeful that these responses to comments in the revised Sound Study will provide the Planning Board justification that the Sound Study is now complete, and the proposed medical building will comply with the Medway Zoning Noise Bylaw.

If you have any questions, please call me at 781-890-2220.

Sincerely,

TECH ENVIRONMENTAL, INC.



Marc C. Wallace, QEP, INCE
Vice President

September 6, 2022

Mr. Kevin Lobisser
Lobisser Companies
One Charlesview Road, Suite 1
Hopedale, MA 01747

Re: 86 Holliston Street, Medway, MA – Sound Study

Ref. 4765

Dear Kevin:

Tech Environmental, Inc. (Tech) is pleased to provide this letter report summarizing the results of an acoustic modeling study of the proposed medical building at 86 Holliston Street in Medway, MA. The proposed Project includes a 21,900 SF medical building. The one-story building will be approximately 15 feet tall. The goal of this study is to demonstrate that the Project will comply with the sound limits in the Town of Medway Zoning (Section 7.3 Environmental Standards).

This letter report summarizes the modeling analyses performed for this study. Section 1.0 introduces the common measures of environmental sound. Section 2.0 presents the applicable noise regulations, Section 3.0 presents the ambient sound monitoring approach and results, and Section 4.0 presents the acoustic modeling approach and results. The study concludes that the proposed medical building rooftop HVAC equipment and with the use of acoustic blankets on the HVAC compressors to reduce sound levels will fully comply with the Town of Medway Zoning (Section 7.3 Environmental Standards).

1.0 Common Measures of Environmental Sound

Noise is defined as "unwanted sound", which implies sound pressure levels that are annoying or disrupt activities that people are engaged in. The human sense of hearing is subjective and highly variable between individuals. Noise regulations and guidelines set quantitative limits to the sound pressure level (measured with sound analyzers and predicted with computer models) to protect people from sound exposures that most would judge to be annoying or disruptive.

The loudness of a sound is dependent on the radiated energy of the sound source and the propagation and attenuation characteristics of the air. The standard unit of sound pressure level (L_p) is the decibel (dB). A property of the decibel scale is that the sound pressure levels of two separate sounds are not directly additive. For example, if a sound of 40 dB is added to another sound of 40 dB, the total is only a 3 dB increase, not a doubling to 80 dB. For broadband sounds, a 3 dB change is the minimum change perceptible to the human ear. Table 1 presents the perceived change in loudness of different changes in sound pressure levels.

TABLE 1
SUBJECTIVE EFFECT OF CHANGES IN SOUND PRESSURE LEVELS

Change in Sound Pressure Level	Perceived Change in Loudness
3 dB	Just perceptible
5 dB	Noticeable
10 dB	Twice (or half) as loud

The acoustic environment in a rural commercial/residential area, such as that surrounding Holliston Street in Medway primarily results from motor vehicle traffic on local roadways. Typical sound levels associated with various activities and environments are presented in Table 2.¹

TABLE 2
COMMON SOUND LEVELS

Sound Level (dBA)	Common Indoor Sounds	Common Outdoor Sounds
110	Rock Band	Jet Takeoff at 1000'
100	Inside NYC Subway Train	Chain Saw at 3'
90	Food Blender at 3'	Impact Hammer (Hoe Ram) at 50'
80	Garbage Disposal at 3'	Diesel Truck at 100'
70	Vacuum Cleaner at 10'	Lawn Mower at 100'
60	Normal Speech at 3'	Auto (40 mph) at 100'
50	Dishwasher in Next Room	Busy Suburban Area at night
40	Empty Conference Room	Quiet Suburban Area at night
25	Empty Concert Hall	Rural Area at night

¹ U.S. DOT, FHWA, Noise Fundamentals Training Document, Highway Noise Fundamentals, September, 1980.

2.0 Local Noise Bylaws

This section describes the applicable noise bylaws used as part of this sound study.

2.1 Medway General Bylaw

The Town of Medway General Bylaw does not have applicable quantitative sound limits.

2.2 Medway Zoning Noise Bylaw

The Medway Zoning Bylaw has established sound limits under Section 7.3 Environmental Standards, D. 2. a. 1) for continuous sound sources that are applicable to this project. A summary of the applicable sound limits is presented below.

Continuous Noise. *For the purposes of this bylaw, continuous noise restrictions apply to permanent non-residential uses and home-based businesses where noise is a by-product of business operations (such as from exhaust equipment). Maximum permissible sound pressure levels measured at the property line of the noise source shall not exceed the values specified in the tables below. In addition, maximum permissible sound levels measured at Sensitive Receptors positioned anywhere on a property that is wholly or partially located within two-thousand feet of the property line of the source of continuously radiated noise shall not exceed the values in the tables below. In the calculation of day-evening-night levels (known as Lden), Daytime is defined as between the hours of 7:00 a.m. and 7:00 p.m.; Evening is defined as between the hours of 7:00 p.m. and 11:00 p.m.; and Nighttime is defined as between the hours of 11:00 p.m. and 7:00 a.m. These time periods will be used to determine compliance as per the tables below.*

Industrial or Commercial Zoned Property to Residential Zoned Property

- *The introduction of any potential new noise sources cannot result in an increase in broadband sound pressure levels of more than 2 dB above the existing ambient conditions at the nearest residential property line or any Sensitive Receptor; and*
- *The introduction of any potential noise sources cannot result in overall noise levels that exceed the following:*

	Daytime 7:00 a.m. – 7:00 p.m. @ any Residential Property Line	Evening 7:00 pm – 11:00 pm @ any Residential Property Line	Nighttime 11:00 p.m. – 7:00 a.m. @ any Residential Property Line	Evening & Nighttime 7:00 p.m. – 7:00 a.m. @ Sensitive Receptors
Maximum Overall Noise Level (dBA)	47	45	42	32

*2) **Tonal Requirements** – The presence of prominent discrete tones, as defined in Section 7.3 (c) herein at any industrial, commercial, or residential property line shall be considered a violation.*

3.0 Ambient Sound Monitoring

Tech performed ambient sound monitoring over a seven (7)-day monitoring period at the residential property line per the requirements under Medway Zoning Bylaw has established sound limits under Section 7.3 Environmental Standards, D. 2. c. 2). To identify the lowest averaged hourly L_{90} background level of the nearest residential property line to the project site, a long-term sound analyzer was used to measure hourly sound levels over a minimum of a seven-day period, including a weekend, to provide a complete picture of 24-hour sound conditions at the site. The location of the long-term sound level measurement is presented in Figure 1. The long-term sound analyzer measured hourly sound levels and octave band levels from Thursday, August 25 to Thursday, September 1, 2022.

The long-term measurements were collected with a Larson Davis 831 sound level analyzer. This analyzer is equipped with a 1/2" precision condenser microphone and has an operating range of 5 dB to 140 dB, and an overall frequency range of 3.5 to 20,000 Hz. This analyzer meets or exceeds all requirements set forth in the American National Standards Institute (ANSI) Type 1 Standards for quality and accuracy. Prior to and immediately following the measurement session, the sound analyzer was calibrated (no level adjustment was required; therefore, it was monitoring accurately) with an ANSI Type 1 calibrator, which has an accuracy traceable to the National Institute of Standards and Technology (NIST). For the measurement sessions, the microphone was fitted with a 7-inch windscreen to negate the effect of air movement across microphone diaphragm. Certificates of calibration for the sound meter, microphone and field calibrator are attached as Appendix A. All data were downloaded to a computer following the measurement session for the purposes of storage and further analysis. The ambient (L_{90}) sound measurements that included high-frequency natural sounds, such as from insects and birds, were removed and broadband L_{90} sound levels were recalculated.²

A tabular summary of the long-term ambient (L_{90}) sound measurement results is provided in Table 3. One-hour ambient (L_{90}) levels ranged from 32 to 51 dBA. The overall sound levels measured are typical of a suburban area near adjacent commercial areas. For the long-term measurements, the lowest averaged nighttime one-hour L_{90} level of 35 dBA was selected as the existing ambient sound level at the site during overnight hours (11:00 p.m. to 7:00 a.m.) per the procedures in the Medway Zoning Bylaw, Section 7.3 Environmental Standards, D. 2. c. 2).

² Acoustical Society of America, American National Standard ANSI/ASA S3/SC1.100-2014 and ANSI/ASA S12.100 "Methods to Define and Measure the Residual Sound in Protected Natural and Quiet Residential Areas", 2014.

TABLE 3

**SUMMARY OF LONG-TERM AMBIENT SOUND LEVELS (L₉₀, dBA)
AT THE PROPOSED LOGISTICS CENTER, OXFORD, MA**

Thursday, August 25, 2022 to Thursday, September 1, 2022

Start Hour	Thu 08/25	Fri 08/26	Sat 08/27	Sun 08/28	Mon 08/29	Tue 08/30	Wed 08/31	Thu 09/01	Average
12:00 AM	--	34.5	37.8	35.9	36.2	37.1	34.1	33.4	35.8
1:00 AM	--	34.7	36.6	34.9	35.8	36.3	34.2	33.5	35.3
2:00 AM	--	35.1	36.0	35.1	35.5	35.9	34.3	33.0	35.1*
3:00 AM	--	35.7	36.0	34.9	35.8	35.9	34.7	32.2	35.2
4:00 AM	--	37.4	36.7	34.7	37.8	36.4	33.9	33.3	36.0
5:00 AM	--	40.5	36.6	35.0	40.4	40.7	46.0	42.7	41.5
6:00 AM	--	43.0	38.2	36.8	46.8	45.1	42.8	47.4	44.2
7:00 AM	--	44.8	40.1	38.0	48.4	46.5	45.7	48.5	45.8
8:00 AM	--	44.5	42.2	39.6	46.0	46.5	44.3	46.1	44.7
9:00 AM	--	44.5	42.3	40.2	46.1	45.3	43.2	46.3	44.4
10:00 AM	45.4	44.6	43.5	42.3	46.7	46.0	43.6	45.6	44.9
11:00 AM	42.7	45.6	42.9	42.4	45.6	46.5	44.7	45.6	44.7
12:00 PM	45.3	48.3	43.1	42.4	45.7	48.2	45.5	--	46.0
1:00 PM	42.3	49.7	42.7	42.1	45.0	48.0	45.4	--	45.9
2:00 PM	41.9	50.1	42.9	42.9	47.9	48.6	46.0	--	46.7
3:00 PM	43.5	46.9	42.5	43.4	46.6	49.7	45.4	--	46.1
4:00 PM	44.6	50.7	42.5	43.5	46.2	47.0	47.1	--	46.7
5:00 PM	44.1	49.2	42.3	43.0	46.3	47.7	46.2	--	46.2
6:00 PM	44.7	47.9	41.8	44.3	46.3	45.5	45.0	--	45.4
7:00 PM	44.1	43.3	41.5	42.6	44.7	44.3	49.2	--	44.9
8:00 PM	42.6	42.3	40.4	41.3	43.4	42.2	43.2	--	42.3
9:00 PM	41.3	40.9	38.8	38.9	42.2	38.6	41.1	--	40.5
10:00 PM	37.8	39.9	37.3	42.7	40.2	35.8	36.1	--	39.2
11:00 PM	36.5	38.7	36.6	43.8	37.1	35.1	33.9	--	38.6

*Lowest average hourly L₉₀.

4.0 Modeling Assumptions and Results

This section describes the modeling approach and assumptions included in our acoustic modeling analysis and predicted sound levels at the residences nearest to the Project.

4.1 Modeling Assumptions

Future sound levels of the Project were calculated with the CadnaA acoustic model were based on the following assumptions:

1. The location of the Project and associated grading was based on site plans by Guerriere & Halnon, Inc.³ The plans show the proposed location of the medical building in the center of the lot.
2. The primary sources of continuous operational sounds are six (6) 10-ton Carrier or equivalent rooftop-mounted heating, ventilation, and air conditioning (HVAC) equipment. The locations of the HVAC equipment are in the center of the roof. The sound power levels for the HVAC equipment, including octave bands are included in Appendix A.
3. A small gas-fired emergency generator (14-kilowatts) was not included in the modeling analysis since it is exempt from air quality and noise requirements under the Massachusetts Department of Environmental Protection (MassDEP) 310 CMR 7.26(42). Furthermore, the unit will only operate during the daytime for weekly routine maintenance.
4. Modeling was performed to demonstrate compliance with the most restrictive nighttime sound limits of 42 dBA at the sensitive receptor property line and 32 dBA at the sensitive receptor.
5. The use of acoustic blankets on the AC compressors to reduce HVAC equipment sound levels by approximately 5 dB.⁴
6. The HVAC equipment has the potential to operate up to 24 hours per day, seven days per week.

4.2 Future Sound Levels

CadnaA is a sophisticated 3-D model for sound propagation and attenuation based on International Standard ISO 9613.⁵ Absorption of sound assumed standard conditions and is significant at large distances and at high frequencies. ISO 9613 was used to calculate propagation and attenuation of sound energy by hemispherical divergence with distance, surface reflection, ground, and shielding effects by barriers, buildings, and ground topography. Offsite topography was determined using MassGIS digital terrain models.⁶

³ Site Plan 86 Holliston Street Medway Massachusetts, 04/14/2022.

⁴ Brinmar HVAC Products – The Brinmar Universal Fit Sound Blankets.

⁵ International Standard, ISO 9613-2, Acoustics – Attenuation of Sound During Propagation Outdoors, -- Part 2 General Method of Calculation.

⁶<https://docs.digital.mass.gov/dataset/massgis-data-digital-terrain-model-dtm-files>

The predicted maximum sound levels are conservative because:

1. The model assumes a ground-based temperature inversion, such as may occur on a clear, calm night when sound propagation is at a maximum. This worst-case condition is infrequent.
2. The model assumes that all rooftop HVAC equipment operates at maximum load simultaneously (a worst-case condition not likely to occur).

The acoustic model included ten (10) sensitive receptor locations representing the five (5) nearest residential dwellings on Robin Circle and their five (5) abutting property lines to the Project. Figure 2 shows the sensitive receptor locations. Table 4 summarizes the modeling results that the Project would result in sound level impacts that range from 26 dBA to 31 dBA at the dwellings and range from 27 dBA to 32 dBA at the property lines. The sound level impacts from the Project at locations further away would be even less. Furthermore, the modeled sound level impact at the nearest property lines do not demonstrate the presence of a pure tone condition. Tables 4 and 5 present a comparison of ambient sound levels added to the predicted sound levels at each residential property line and residential dwelling to calculate future sounds and compares them to the 2-dBA above ambient sound limit. The change in sound levels when comparing future and existing sound levels were less than 2-dBA. Tables 4 through 6 confirms that the Project will comply with the sound limits in the Town of Medway Zoning (Section 7.3 Environmental Standards).

In conclusion, the proposed medical building rooftop HVAC equipment at 86 Holliston Road in Medway, MA will fully comply with the sound limits in the Town of Medway Zoning (Section 7.3 Environmental Standards).

If you have any questions, please call me at 781-890-2220.

Sincerely,

TECH ENVIRONMENTAL, INC.



Marc C. Wallace, QEP, INCE
Vice President

4765/Medway Medical Building Sound Study

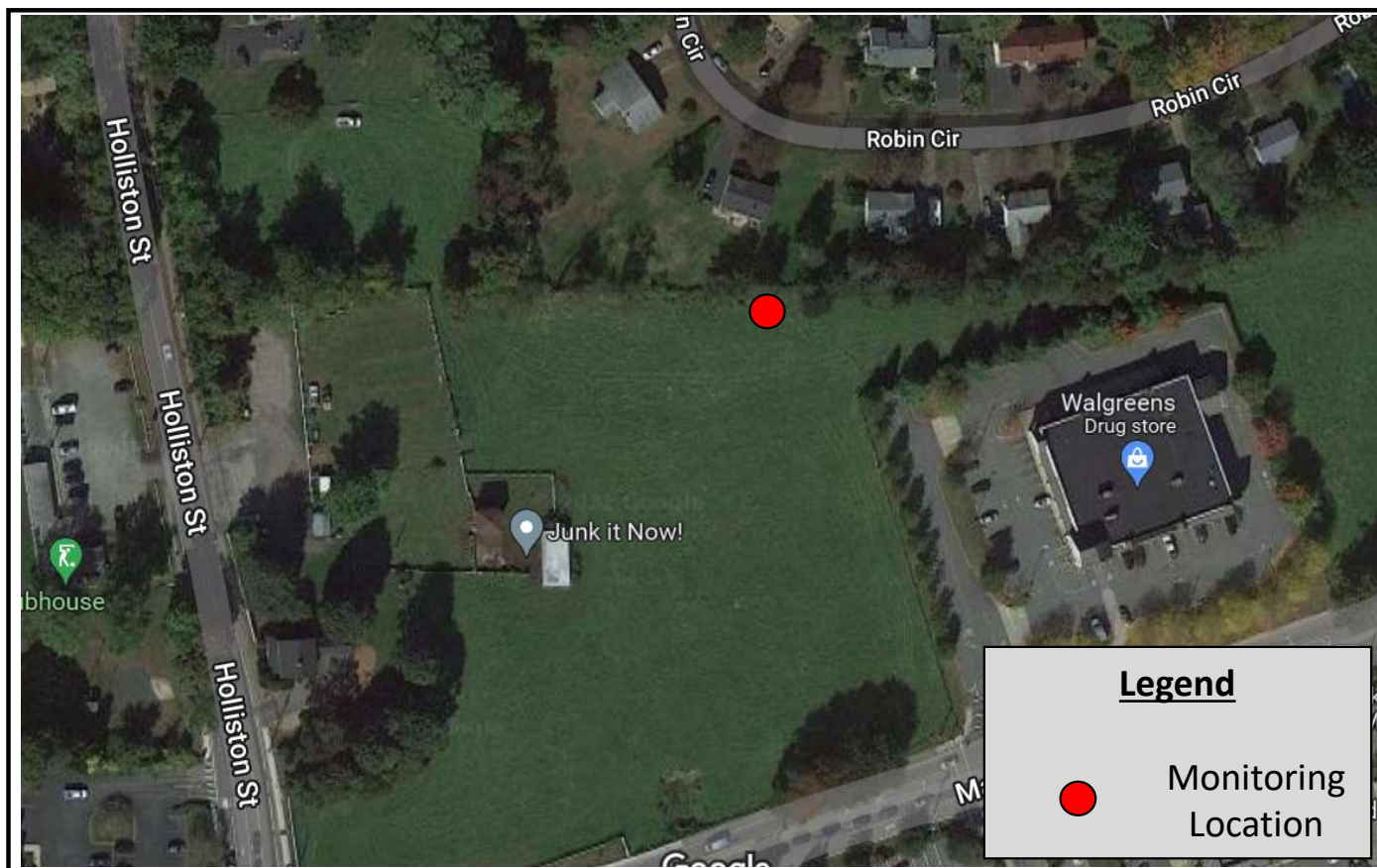


Figure 1
Sound Monitoring Location
86 Holliston Street, Medway, MA

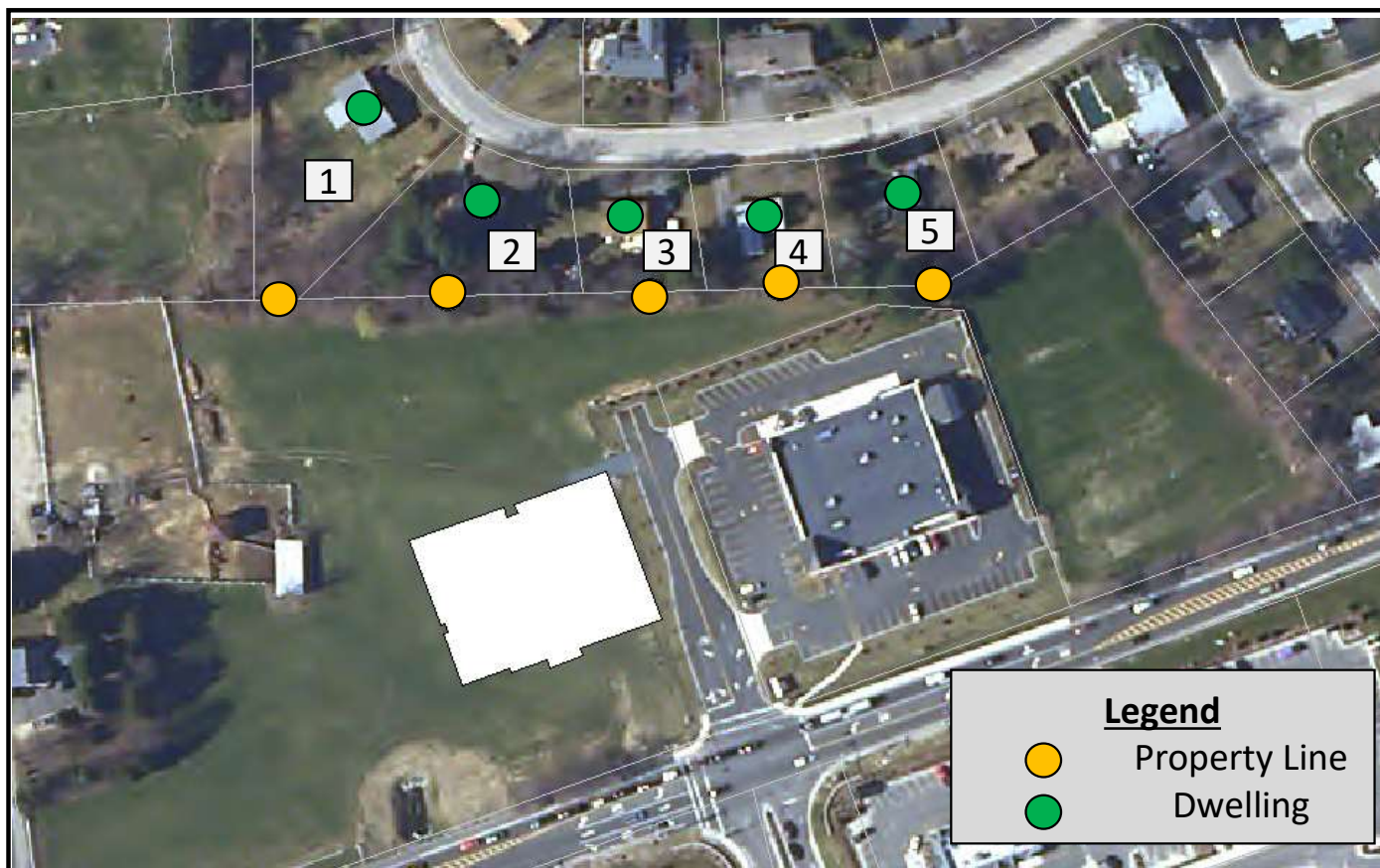


Figure 2
Receptor Locations
86 Holliston Street, Medway, MA

TABLE 4**PREDICTED SOUND LEVELS FROM THE MEDICAL BUILDING HVAC EQUIPMENT AT RESIDENTIAL PROPERTY LINES AND DWELLINGS**

Receptor ID	Address	Project Predicted Sound Level Impacts (dBA)		Complies?
		Property Line	Dwelling	
1	13 Robin Cir.	30	29	Yes
2	11 Robin Cir.	32	31	Yes
3	9 Robin Cir.	31	30	Yes
4	7 Robin Cir.	30	28	Yes
5	5 Robin Cir.	27	26	Yes
Medway Sound Limits		42	32	

TABLE 5**FUTURE SOUND LEVELS FROM THE MEDICAL BUILDING HVAC EQUIPMENT AT RESIDENTIAL PROPERTY LINES**

Receptor ID	Address	Ambient L ₉₀ (dBA)	Predicted Sound (dBA)	Total Future Sound (dBA)	Change in Sound Level (dBA)	Complies with 2-dBA above ambient
1	13 Robin Cir.	35	30	36.1	+1.1	Yes
2	11 Robin Cir.	35	32	36.8	+1.7	Yes
3	9 Robin Cir.	35	31	36.6	+1.6	Yes
4	7 Robin Cir.	35	30	36.1	+1.1	Yes
5	5 Robin Cir.	35	27	35.7	+0.6	Yes

TABLE 6**FUTURE SOUND LEVELS FROM THE MEDICAL BUILDING HVAC EQUIPMENT AT
RESIDENTIAL DWELLINGS**

Receptor ID	Address	Ambient L₉₀ (dBA)	Predicted Sound (dBA)	Total Future Sound (dBA)	Change in Sound Level (dBA)	Complies with 2-dBA above ambient
1	13 Robin Cir.	35	29	36.1	+1.0	Yes
2	11 Robin Cir.	35	31	36.5	+1.5	Yes
3	9 Robin Cir.	35	30	36.2	+1.1	Yes
4	7 Robin Cir.	35	28	35.9	+0.8	Yes
5	5 Robin Cir.	35	26	35.6	+0.6	Yes

APPENDIX A – REFERENCE SOUND POWER LEVELS (L_w , dB)

Sound Source	31 Hz	63 Hz	125 Hz	250 Hz	500 Hz	1K Hz	2K Hz	4K Hz	8K Hz	Total (dBA)
Carrier HVAC Equipment*	89	89	85	82	80	77	74	71	66	83

*The model includes that the acoustic blankets reduce HVAC equipment sound levels stated above by approximately 5 dB.

Board Members

Matthew J. Hayes, P.E., Chair
Robert Tucker, Vice Chair
Richard Di Iulio, Clerk
Jessica Chabot, Member
Sarah Raposa, A.I.C.P., Member
Thomas Gay, Associate Member



TOWN OF MEDWAY

COMMONWEALTH OF MASSACHUSETTS

PLANNING AND ECONOMIC DEVELOPMENT BOARD

Medway Town Hall
155 Village Street
Medway, MA 02053
Phone (508) 533-3291
Fax (508) 321-4987
Email:

planningboard@townofmedway.org
www.townofmedway.org

REVISED DRAFT – August 29, 2022

Major Site Plan, Parking Location Special Permit, Building Type Special Permit, and Groundwater Protection Special Permit

Decision Date: _____

Name/Address of Applicant/Permittee

Lobisser Companies
1 Charlesview Road
Hopedale, MA 01747

Name/Address of Property Owner:

Friel Realty II, LLC
86 Holliston Street
Medway, MA 02053

Location: 86 Holliston Street

Parcel Size: 8.027 acres

Assessors' Reference: 41-08

Zoning District: Central Business District
Groundwater Protection District (Mass DEP Zone II Wellhead Protection)

Engineer: Guerriere & Halnon, Inc.
55 West Central Street
Franklin, MA 02038

Site Plan: *Site Plan, 86 Holliston Street, Medway, MA* dated April 14, 2022, last revised June 29, 2022, prepared by Guerriere & Halnon, Inc. to be further revised as specified herein before plan endorsement

The architectural drawings dated February 11, 2022, prepared by HPA Design, Inc. of Milford, MA

Architectural drawings, undated, prepared by DiGiorgio Associates, Inc., of Boston, MA.

I. PROJECT DESCRIPTION - The Applicant seeks major site plan approval, a groundwater protection special permit, a parking location special permit, and a building type special permit pursuant to Sections 3.5, 5.6.3, 10.2, and 10.4 of the Medway *Zoning Bylaw* for the development of a medical building for Milford Regional Medical Center, to be located on a 2.2 acre portion of the 8+ acre parcel known as 86 Holliston Street.

The proposed development includes construction of a one-story, 21,900 sq. ft. medical building for the Milford Regional Medical Center to be accessed from the existing curb cut on Main Street for Walgreens. Other planned improvements include driveways, parking, utilities, grading, lighting, landscaping, and stormwater management facilities. The facility will consist of pediatric care, women's health, wellness, emergency care, lab, and x-ray services. A total of ___ parking spaces are proposed. The planned improvements are shown on *Site Plan, 86 Holliston Street, Medway, MA*, dated April 14, 2022, last revised June 29, 2022, to be further revised as specified herein.

The property also includes wetlands resources which are under the jurisdiction of the Medway Conservation Commission which issued an Order of Conditions and a Land Disturbance Permit pursuant to Article XXVI of the *Medway General Bylaws* on August 16, 2022.

It is noted that the Applicant and property owner intend to divide the subject property into 2 parcels, one for the medical office building with a new Main Street address, and the other to include the remaining property (86 Holliston Street).

II. VOTES OF THE BOARD

A. **MAJOR SITE PLAN** - After reviewing the application and information gathered during the public hearing and review process, including statements of the Applicant and its representatives, comments offered by the public, and comments provided by the Board's consultants and Town staff, the Medway Planning and Economic Development Board, on _____, voted to _____ with CONDITIONS and WAIVERS from the *Site Plan Rules and Regulations* as specified herein, a site plan titled *Site Plan, 86 Holliston Street, Medway, MA* dated April 14, 2022, last revised June 29, 2022, prepared by Guerriere & Halnon, Inc. to be further revised as specified herein before plan endorsement with associated attachments including architectural plans by _____, to be further revised as specified herein.

B. **PARKING LOCATION SPECIAL PERMIT** - After reviewing the application and information gathered during the public hearing and review process, including statements of the Applicant and its representatives, comments offered by the public, and comments provided by the Board's consultants and Town staff, the Medway Planning and Economic Development Board, on _____, voted to _____ with CONDITIONS a parking location special permit for 86 Holliston Street pursuant to Section 10.2. D. 2. C. Parking Placement of the *Zoning Bylaw*.

C. BUILDING TYPE SPECIAL PERMIT - After reviewing the application and information gathered during the public hearing and review process, including statements of the Applicant and its representatives, comments offered by the public, and comments provided by the Board's consultants and Town staff, the Medway Planning and Economic Development Board, on _____, voted to _____ with CONDITIONS a building type special permit for 86 Holliston Street pursuant to Section 10.4 C. 2 of the Zoning Bylaw.

D. GROUNDWATER PROTECTION SPECIAL PERMIT - After reviewing the application and information gathered during the public hearing and review process, including statements of the Applicant and its representatives, comments offered by the public, and comments provided by the Board's consultants and Town staff, the Medway Planning and Economic Development Board, on _____, voted to _____ with CONDITIONS a groundwater protection special permit for 86 Holliston Street pursuant to Section 5.6.3 of the Zoning Bylaw.

III. PROCEDURAL HISTORY

- A. April 14, 2022 – Major site plan approval and groundwater protection district special permit applications were filed with the Board and provided to the Town Clerk on April 25, 2022
- B. April 25, 2022 - Public hearing notice was filed with the Town Clerk and posted at the Town of Medway web site.
- C. April 25, 2022 - Public hearing notice was mailed to abutters by certified sent mail.
- D. April 25 and May 3, 2022 - Public hearing notice was advertised in the *Milford Daily News*
- E. April 25, 2022 - Notice was distributed to Town boards and departments requesting review and comments
- F. May 10, 2022 - Public hearing commenced. The public hearing was continued to June 14, July 26, August 23, and to _____, 2022 when a decision was rendered, and the hearing was closed.
- G. August 2, 2022 – Special permit application for Central Business District standards for Building Type and Parking Location was filed with the Board and provided to the Town Clerk
- H. August 3, 2022 – Second public hearing notice was mailed to abutters by certified sent mail.
- I. August 5, 2022 - Second public hearing notice was filed with the Town Clerk and posted to the Town of Medway web site.
- J. August 8 and 16, 2022 – Second public hearing notice was advertised in the *Milford Daily News*.

IV. INDEX OF DOCUMENTS

- A. The following documents were provided at the time the site plan and groundwater special permit applications were filed with the Board:
 - Major site plan application dated 4-13-22 and groundwater protection special permit application both dated 4-13-22 with Project Narrative, submittal letter, property deeds, and abutters list.

- *Site Plan, 86 Holliston Street, Medway, MA* dated April 14, 2022 by Guerriere & Halnon, Inc. of Franklin, MA
- Photometric Plan dated April 15, 2022 by Holbrook Associated
- Requests for Waivers from the *Medway Site Plan Rules and Regulations*, last revised October 8, 2019.
- *Stormwater Report for Medway Medical Building, 86 Holliston Street, Medway, MA* dated April 14, 2022, prepared by Robert J. Duff, P.E., Guerriere & Halnon, Inc. of Franklin, MA.

Commented [AC1]: Do you need to add date of waiver requests?

- B. During the course of the review, the following additional materials were submitted to the Board by the Applicant and its representatives and consultants:
- Ground floor plan of proposed medical facility dated April 7, 2022 prepared by The SLAM Collaborative
 - Architectural elevations dated April 18, 2022 by HPA Design, Inc.
 - *Transportation Impact Assessment, Proposed Medical Office Building, 86 Holliston Street, Medway, MA*, dated April 2022 by Vanasse & Associates, Inc. of Andover, MA
 - Letter from Jeffrey Dirk of Vanasse & Associates dated May 31, 2022 in response to the Tetra Tech review letter dated May 23, 2022
 - Underground Piping Inspection dated June 22, 2022 from DWD Engineering
 - Letter from Jeffrey Dirk of Vanasse & Associates dated July 15, 2022 as a follow-up to the July 14, 2022 meeting with Town staff and Tetra Tech re: transportation improvement measures to be undertaken in connection with the medical office building project at 86 Holliston Street
 - Updated site plan dated June 29, 2022 by Guerriere & Halnon.
 - *Ladder Truck Turning Plan* for 86 Holliston Street dated April 14, 2022, last revised June 29, 2022 by Guerriere & Halnon.
 - Additional Requests for Waivers from the *Site Plan Rules and Regulations*, dated July 2022
 - Letter from Marc Wallace of Tech Environmental dated July 6, 2022 summarizing the results of an acoustic modeling study of the proposed medical building at 86 Holliston Street.
 - Revised lighting plan and light fixture specifications dated July 6, 2022 by Holbrook Associated
 - *Development Impact Statement* dated July 25, 2022 prepared by Guerriere & Halnon
 - Letter from Amanda Cavaliere of Guerriere & Halnon dated July 25, 2022 in response to review comments dated April 27, 2022 from Community and Economic Development Director Barbara Saint Andre
 - Letter from Amanda Cavaliere of Guerriere & Halnon dated July 25, 2022 in response to review comments dated May 25, 2022 from DPW Director Pete Pelletier
 - Letter from Amanda Cavaliere of Guerriere & Halnon dated July 25, 2022 in response to review comments dated May 9, 2022 from Planning and Economic Development Coordinator Susy Affleck-Childs
 - Letter from Amanda Cavaliere of Guerriere & Halnon dated July 25, 2022 in response to review comments dated May 10, 2022 from Police Safety Officer Sergeant Jeff Watson

- Letter from Amanda Cavaliere of Guerriere & Halnon dated July 25, 2022 in response to review comments dated May 23, 2022 from Tetra Tech
 - Architectural elevations dated ????? by DiGiorgio Associates, Inc. of Boston, MA, received July 29, 2022
 - Renderings undated, source not specified, received August 1, 2022
 - Special permit application for parking location and building type, dated August 2, 2022, with associated narratives.
 - Email communication dated August 16, 2022 from Amanda Cavaliere of Guerriere & Halnon forwarding an email from Marc Wallace of Tech Environmental in response to the sound study review memorandum issued on August 8, 2022 by Jeff Komrower of Noise Control Engineering, the Board's noise consultant.
 - Xxx
 - Yyy
 - ZZZ
- C. During the course of the review, additional materials were submitted to the Board by the Board's consultants and Town staff:
- Plan review letter from Steve Bouley, P.E. Tetra Tech, dated May 23, 2022
 - *Road Safety Audit – Main Street (Route 109) at Medway Commons and Walgreens Driveways*, March 2022, prepared for Mass Department of Transportation by Vanasse & Associates, Inc. of Andover, MA
 - Review comments dated April 27, 2022 by Medway Community and Economic Development Director Barbara Saint Andre
 - Review comments dated May 9, 2022 from Fire Chief Jeff Lynch
 - Review comments dated May 9, 2022 from Planning and Economic Development Coordinator Susan Affleck-Childs
 - Review comments dated May 10, 2022 from Police Safety Officer Sergeant Jeff Watson
 - Review comments dated May 10, 2022 from the Medway Design Review Committee
 - Review comments dated May 25, 2022 from Medway DPW Director Pete Pelletier
 - Review comments dated July 21, 2022 from Building Commissioner Jack Mee re: building type within the Central Business District
 - Review comments dated August 8, 2022 from Jeff Komrower of Noise Control Engineering, the Board's noise consultant, of the noise modeling study prepared for the applicant by Tech Environmental
 - Plan review letter from Steve Bouley at Tetra Tech, dated July 19, 2022
 - Email comments dated July 27, 2022 from Medway DPW Director Pete Pelletier
 - Xxx
 - Yyy
 - Zzz
- D. Abutter Comments
- Email dated May 11, 2022 from resident Andrew Page, 11 Applegate Road

- Email dated May 15, 2022 from Matthew and Courtney Fricker, 110 Village Street

E. Other Documentation

1. Mullins Rule Certification dated July 10, 2022 for Board member Jessica Chabot pertaining to the June 14, 2022 hearing.
2. Mullins Rule Certification dated June 29, 2022 for Board member Robert Tucker pertaining to the June 14, 2022 hearing.

V. **TESTIMONY** – During the course of the public hearing, the Board heard and received verbal testimony from:

- Steve Bouley, P.E, Tetra Tech – Commentary throughout the public hearing process
- Courtney Sudak, P.E. Tetra Tech – Commentary related to parking and traffic
- Kevin Lobisser, Applicant
- Amanda Cavaliere, Guerriere & Halnon, engineering consultant for the Applicant
- Mike Hassett, Guerriere & Halnon, engineering consultant for the Applicant
- Jeffrey Dirk, Vanasse and Associates, traffic consultant for the Applicant
- Resident Nicholas Fair, 3 Howe Street
- Abutter Jessica Collins, 9 Robin Circle
- Abutter Robin????

VI. **FINDINGS**

A. **Site Plan Rules and Regulations Findings** – The Board shall determine whether the proposed development is in conformance with the standards and criteria set forth in the *Site Plan Rules and Regulations*, unless specifically waived. In making its decision, the Board makes the following findings in accordance with Section 204-8 of the *Site Plan Rules and Regulations*, as amended October 8, 2019. and Section 3.5 of the *Bylaw*:

- 1) **Has internal circulation, queuing and egress been designed such that traffic safety is protected, access via minor streets servicing residential areas is minimized, and traffic backing up into the public way is minimized?** *The site plan and traffic impact assessment study has been thoroughly reviewed by Town officials and the Board's Consulting Engineer. No access from minor streets is necessary or available, there is no backing onto a public way, and Main Street is adequate to safely handle the additional traffic from the new establishment. Based on input from the Board and Police Department, vehicular access to the parking area in front of the building has been adjusted so that the front parking area is not immediately accessible from the entry driveway into the site, so to avoid back-up out onto Main Street.*
- 2) **Does the site plan show designs that minimize any departure from the character, materials, and scale of buildings in the vicinity as viewed from public ways and places?** *The design of the proposed building has been positively reviewed by the Design Review Committee. There are no particularly distinguished buildings in the vicinity with which the proposed building renovation and new construction would conflict in terms of character, materials, and scale.*
- 3) **Is reasonable use made of building location, grading, and vegetation to reduce the visible intrusion of structures, parking areas, outside storage or other outdoor service areas (e.g., waste removal) from public views or from (nearby) premises**

residentially used and zoned. The subject property is located within the Central Business zoning district and abutted on the east and south sides by other business properties. The dumpster is located within the rear parking area in the northwestern corner of the site, well out of public view from Main Street. The landscaping plan shows a fence and landscape buffer along the southern property line to screen the building for nearby residential properties. A robust landscaping plan has been developed for the open space area between Main Street and the front parking area and adjacent to wetland resources.

- 4) **Is adequate access to each structure for fire and service equipment provided?** Access for fire and service equipment is provided with paved surfaces on four sides of the proposed building. The Fire Department has reviewed the proposed driveway and parking lot reconfiguration and the auto turn analysis provided by the Applicant's engineering consultant. **MORE NEEDED HERE, 8-17-22 SAC requested another letter from FD about turning analysis and addition of fire hydrants.**
- 5) **Will the design and construction minimize, to the extent reasonably possible, the following environmental impacts?**
- a) the volume of cut and fill;
 - b) the number of trees to be removed with particular care taken with mature trees and root systems;
 - c) the visual prominence of man-made elements not necessary for safety;
 - d) the removal of existing stone walls;
 - e) the visibility of building sites from existing streets;
 - f) the impacts on waterways and environmental resource areas;
 - g) soil pollution and erosion;
 - h) noise.

The site plan and proposed stormwater drainage system have been rigorously reviewed by the Town's Consulting Engineer and the Conservation Commission which issued an Order of Conditions and Land Disturbance Permit on August 16, 2022. Appropriate soil pollution and erosion controls have been incorporated into the plan. The building will be highly visible from Main Street. However, the robust landscaping plan and building design have been reviewed and positively recommended by the Design Review Committee. No stone walls are being removed. The site is presently undeveloped and functions as agricultural land for cow grazing. Since the site is located within a Groundwater Protection District, this Decision also includes a groundwater protection special permit to ensure that the project will not adversely affect groundwater.

ADD INFO HERE ON NOISE

- 6) **Is pedestrian and vehicular safety both on the site and egressing from it maximized?** The entrances and egresses to the site and its parking facilities have been designed for safe operation and have been reviewed by the Board's consulting engineer. The site plan has been revised to adjust access to the parking area in front of the building. The site plan shows the provision of bicycle racks to accommodate employees who may wish to

cycle to work. A sidewalk is planned on the three sides of the building with public access plus a connecting sidewalk to the Main Street sidewalk is included.

- 7) **Does the design and will the construction incorporate, to the maximum extent possible, the visual prominence of natural and historic features of the site?** *The site is presently undeveloped and functions as agricultural land for cow grazing. The prominent feature of the open field to the west of the proposed building will not be directly affected. The fencing design to separate the new commercial use from the agricultural use is in keeping with the agricultural character of the adjacent property.*
- 8) **Does the lighting of structures and parking area avoid glare on adjoining properties and minimize light pollution within the town?** *The lighting plan was reviewed by the Board's consulting engineer and the Permittee is required to comply with Section 7.1.2 of the Zoning Bylaw regarding Outdoor Lighting.*
- 9) **Is the proposed limit of work area reasonable and does it protect sensitive environmental and/or cultural resources?** *The site plan as designed should not cause substantial or irrevocable damage to the environment, which damage could be avoided or ameliorated through an alternative development plan or mitigation measures. The site plan has been vigorously reviewed by both the Conservation Commission and the Planning and Economic Development Board and their consulting engineer and has been modified to address environmental concerns. The limit of work is reasonable. The location of the building and parking on the site has been repositioned northerly onto the site to protect environmental resources. ~~The project has been reviewed by the Conservation Commission and a~~ An Order of Conditions has been issued.*

Commented [BSA2]: Redundant

Vote on Site Plan Findings - The Planning and Economic Development Board, at its meeting on _____ ~~on a motion made by _____ and seconded by _____~~ voted to _____ the above noted **Site Plan Findings** regarding the major site plan application for the Milford Regional Medical facility (the "Property"). ~~The motion was _____ by a vote of _____ in favor and _____ opposed.~~

Commented [BSA3]: Don't need who moved and seconded, etc., that is for the minutes. Just need to state that PEDB voted the findings.

B. **Groundwater Protection Special Permit Findings (Sub-Section 5.6.3 of the Zoning Bylaw)** – The subject property at 86 Holliston Street is located within the Town's Groundwater Protection District (MA Department of Environmental Protection Zone 2 recharge area). The scope of the project will increase the extent of impervious surface to more than 15% of the lot area. Accordingly, a groundwater protection special permit is required. Section 5.6.3 specifies that the following findings must be made in order to issue a groundwater protection special permit:

- 1) **Permitted Uses** – New construction ~~is~~ ~~are~~ permitted uses, subject to certain restrictions, within the Groundwater Protection District. As conditioned herein, the project will comply with those restrictions.
- 2) **Prohibited Uses** - The project includes an on-site emergency generator which is not allowed in the groundwater protection district unless required by statute, rule, or regulation. The Applicant has provided documentation that the Cannabis Control Commission requires marijuana facilities to maintain the ability to remain operational during power outages for a minimum of 4 hours, thus necessitating the installation of a generator.

- 3) **Uses and Activities Requiring a Groundwater Special Permit** – Specific to this project, the following activities are allowed only upon issuance of a special permit.

- Any use which will render impervious more than 15% or 2,500 sq. ft. of any lot whichever is greater. The proposed building and site improvements planned for the new parcel increase the extent of impervious surface from 0% to 68.3% of the site, thus triggering the need for a Groundwater Protection special permit.

- 4) **Special Permit Granting Authority** - The Board of Appeals is the designated special permit granting authority for the Groundwater Protection District. However, the Bylaw (Section 3.5. Site Plan Review, 4. a.) provides that authority to the Planning and Economic Development Board when both site plan approval and a special permit are needed so as to consolidate the review process.

- 5) **Does the site design include a system for groundwater recharge which does not degrade groundwater quality? Does the recharge system use stormwater infiltration basins, or a similar system covered with natural vegetation? Are such basins preceded by oil, grease, and sediment traps to facilitate removal of contamination? Is there a plan for all recharge areas to be permanently maintained in full working order by the owner? The proposed building and site improvements will render the site to be 68.3% impervious. The stormwater management plan**

The Board's Consulting Engineer has reviewed the stormwater management plan to ensure that groundwater recharge does not degrade groundwater quality. The Conservation Commission is responsible for stormwater review on this site and has issued its Order of Conditions and a Land Disturbance permit which includes numerous conditions and protective measures. As part of its review, the Commission

- 6) **Does the proposed use, during construction or thereafter, adversely affect the existing or potential quality or quantity of water that is available in the Groundwater Protection District?** The project has been reviewed by the Conservation Commission and the Town's Consulting Engineer to ensure that the planned stormwater management facilities and the associated groundwater recharge does not degrade groundwater quality. The Conservation Commission issued an Order of Conditions and Land Disturbance Permit on August 16, 2022 which specifies suitable measures to protect groundwater.
- 7) **Is the proposed development designed to avoid substantial disturbance of the soils, topography, drainage, vegetation, and other water-related natural characteristics of the site to be developed?** The plan for the proposed development has been developed and revised such that the impact of the planned stormwater infrastructure on groundwater is minimized.
- 8) **Has the applicant provided sufficiently detailed, definite, and credible information to supportive positive findings in relation to the standards given herein?** The Board finds that the Applicant has provided sufficiently detailed, definite, and credible information to support positive findings in relation to the standards for a Groundwater

Commented [SAC4]:

Need brief description from Amanda or check stormwater report.

Protection special permit as documented in the application materials and additional information provided during the course of the public hearing.

- 9) **Were the submission requirements and hearing procedures conducted in accordance with Section 3.4 of the Zoning Bylaw?** *The submission requirements and public hearing procedures have been conducted in accordance with Section 3.4 of the Bylaw and the Board's Site Plan Rules and Regulations including the posting of a public hearing notice with the Town Clerk, abutter notification, and legal advertisement- ~~in~~ in a local newspaper of general circulation. Information about the project has also been posted to the Board's web page and review and comments have been sought from the Board of Health, Conservation Commission, ~~Sewer and Water Commission~~ and the Department of Public Works.*
- 10) **Has the Board consulted with the Board of Health, Conservation Commission, ~~Water and Sewer Commission~~ and the Department of Public Works and referred this project to those entities for review and comment?** *The site plan has been provided to the Board of Health, Conservation Commission, ~~Water and Sewer Commission~~, and Department of Public Works Services for review and consultation. The noted boards and committees were kept apprised of the status of the Board's review of the project and were able to provide information and recommendations throughout the process.*
- 11) **For further protection, the Board has included a series of conditions in this decision which require certain measures to address groundwater protection. See Specific Condition [REDACTED]**

12) Accordingly, the Board finds that

Vote on Groundwater Protection Findings - The Planning and Economic Development Board, at its meeting on _____ on a motion made by _____ and seconded by _____ voted to _____ the above noted Groundwater Protection Special Permit Findings for the Milford Regional Medical office facility (the "Property"). The motion was _____ by a vote of _____ in favor and _____ opposed.

#

- C. **Central Business District Building Type Special Permit Findings** – Section 10.4 Central Business District, C. Building Types, 1. specifies a series of building types allowed in the Central Business District by right.

- 1) Building Commissioner/Zoning Enforcement Office Jack Mee has determined that that the proposed medical office building does not fit any of the specified building types allowed in the Central Business District. In particular, the proposed building with a footprint of 21,900 sq. ft. is larger than the 20,000 sq. ft. maximum size allowed for a general commercial building.
- 2) Section 10.4.C.2. authorizes the Planning and Economic Development Board to issue a special permit for alternative building types.
- 3) The proposed uses of the medical office building include pediatric care, women's health, family medicine, urgent care, laboratory, and x-ray services. These uses are consistent with a general commercial building.

- 4) The larger size of the proposed building is minimally larger than the 20,000 sq. ft. allowed by right for a General Commercial Building. The building design has been positively reviewed by the Design Review Committee and the Board finds that the scale is compatible and complimentary to the eCentral bBusiness zoning district.

5) Accordingly, the Board finds that

Vote on Central Business District Building Type Findings - The Planning and Economic Development Board, at its meeting on _____ ~~on a motion made by _____ and seconded by _____~~ voted to _____ the above noted Building Type Findings for the Milford Hospital facility for 86 Holliston Street, (the “Property”). ~~The motion was _____ by a vote of _____ in favor and _____ opposed.~~

- D. **Central Business District Parking Location Special Permit** - Section 10.2 Central Business District Site Development Standards, D.2.c. Parking Placement specifies that all off-street parking shall be located behind or beside buildings. Vehicle parking between the front building line and the street right-of-way line is permitted only if the Board grants a special permit and the applicant can demonstrate that no other reasonable alternative exists.

- 1) The proposed parking plan as shown on the June 29, 2022 revised site plan includes 88 parking spaces, 29 of which are located between the front building line and the Main Street right-of-way line. The remaining parking spaces are to be located north and west of the proposed building.
- 2) Parking and building placement were coordinated to align with the existing Walgreens building located to the east of the shared access driveway so has to provide a coordinated appearance from the street.
- 3) If the building were positioned on the site closer to Main Street and parking was relocated to the back of the building, customer accessibility to the main entrances of the various medical disciplines to be housed within the facility would be impacted. This would result in a longer walking distance to the customer entrances on the south and western sides of the building, and thus would be less convenient for the facility’s patients.
- 4) The positioning of the building further away from the frontage is dictated in great measure by the need to locate the building and parking area outside the 25’ no disturb buffer and 50’ no structure buffer under the Medway Wetlands Protection Bylaw.

5) Accordingly, the Board finds

Vote on Central Business Parking Location Findings - The Planning and Economic Development Board, at its meeting on _____ ~~on a motion made by _____ and seconded by _____~~ voted to _____ the above noted Parking Location Findings for the Milford Hospital facility for 86 Holliston Street, (the “Property”). ~~The motion was _____ by a vote of _____ in favor and _____ opposed.~~

- E. **Special Permit Decision Criteria Findings (Zoning Bylaw, Section 3.4 C. 1-9)**
Special permits shall be granted by the special permit granting authority only upon its written determination that the adverse effects of the proposed use will not outweigh its beneficial

impacts to the town or the neighborhood, in view of the particular characteristics of the site, and of the proposal in relation to that site. In making its determination, the special permit granting authority, in addition to any specific factors that may be set forth in other sections of the Bylaw, shall make findings on all of the applicable criteria. The Board makes the following Findings in accordance with Section 3.4 of the Bylaw.

- 1) **The proposed site is an appropriate location for the proposed use.** *The proposed use is a 21,900 sq. ft. medical office facility for Milford Regional Hospital to be located on Route 109, Medway's primary east/west travel route, in Central Business zoning district. It will offer a variety of medical services including pediatric care, women's health, family medicine, urgent care, and lab and x-ray services. Such a facility will be an asset to the community and provide additional health care services not presently available in Medway.*
- 2) **Adequate and appropriate facilities will be provided for the operation of the proposed use.** *As documented in the plans and associated materials, and conditioned herein, adequate, and appropriate facilities will be provided for the operation of the proposed medical facility. Town officials and the Town's Consulting Engineer have reviewed the proposed facility and associated site improvements. The project will be serviced by Town water and sewer systems. The stormwater management system has been designed in accordance with the applicable local and State regulations.*
- 3) **The proposed use as developed will not create a hazard to abutters, vehicles, pedestrians, or the environment.** *The proposed use will be a valuable addition to the Medway business community and provide needed additional health care services. The site plan and traffic impact assessment study has been thoroughly reviewed by the Board and its Consulting Engineer. Sidewalks are included to provide pedestrian access to the site and within the site. The access driveway to serve the facility is shared with the adjacent Walgreen's property so no new curb cuts are needed. Parking areas are provided. The project has been reviewed by the Conservation Commission which issued an Order of Conditions on August 16, 2022.*
- 4) **The proposed use will not cause undue traffic congestion or conflicts in the immediate area.** *The project's use of the existing curb cut for Walgreens for access will be instrumental in avoiding congestion at the intersection Main and Holliston Street. The expected traffic to be generated by the planned facility can be accommodated by Main Street.*
- 5) **The proposed use will not be detrimental to the adjoining properties due to lighting, flooding, odors, dust, noise, vibration, refuse materials or other undesirable visual, site or operational attributes of the proposed use.** *The Applicant has provided documentation reviewed by the Town's Consulting Engineer that its stormwater management plan is adequate to prevent flooding. The dumpster is located within the rear parking area in the northwestern corner of the site and will be fully screened from view. The photometric plan documents that there is no light trespass off the property. A substantial landscaping plan will be implemented to enhance the property's aesthetics and provide a buffer to the residential property to the north. A noise study was prepared and reviewed, and suitable noise mitigation measures have been incorporated into the project. **MORE NEEDED HERE . . .***

Commented [BSA5]: Not related to this criterion.

- 6) **The proposed use as developed will not adversely affect the surrounding neighborhood or significantly alter the character of the zoning district.** *The site is abutted on the east and south by other business properties. The project will include substantial landscaping and fencing to buffer the residential property to the north. A robust landscaping plan has been developed, particularly for the frontage area along Main Street to enhance the property's aesthetics. The architectural design of the been thoroughly reviewed by the Design Review Committee and the Board and modified to further refine the building's ~~agricultural~~ style and character.*
- 7) **The proposed use is in harmony with the general purpose and intent of the Zoning Bylaw.** *The proposed use fulfills one of the purposes of the Zoning Bylaw which is to support the most appropriate use of land throughout the town. This presently vacant parcel is located in the Central Business District (CBD). As the town has limited areas for commercial development, it is important to utilize the land area within the CBD to help strengthen the community's business tax base.*
- 8) **The proposed use is consistent with the goals of the Medway Master Plan.** *The proposed medical office building use is consistent with the 2009 Master Plan goals of facilitating smart redevelopment of the Route 109 corridor and encouraging commercial and industrial development in the community.*
- 9) **The proposed use will not be detrimental to the public good.** *As documented in the plans and application, and the Findings and Conditions of this decision, the proposed use is in accordance with the goals of the Master Plan while protecting against potential adverse impacts.*

For all of the above reasons, the Board finds the adverse effects of the proposed Milford Regional medical facility use will not outweigh the beneficial impacts of the proposed development to the town or neighborhood.

VII. WAIVERS - At its _____, 2022 meeting, the Board, ~~on a motion made by _____ and seconded by _____~~, voted to grant waivers from the following provisions of the *Rules and Regulations for the Submission and Approval of Site Plans, as amended _____, 2019*. The Board's action and reasons for granting each waiver are listed below. All waivers are subject to the *Special and General Conditions of Approval*, which follow this section.

~~The motion was _____ by a vote of _____ in favor and _____ opposed.~~

~~**Planning & Economic Development Board Member** _____ **Vote**~~

~~Jessica Chabot~~

~~Richard Di Iulio~~

~~Matthew Hayes~~

~~Sarah Raposa~~

~~Robert Tucker~~

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1. **Section 204-5 B. Site Context Sheet.** The site plan shall include site context sheet including a locus plan, abutters' names and addresses; lot lines with dimensions and easement area; existing topography at 2' intervals; easements and rights of way; zoning district boundaries.

The Applicant has requested a waiver from this requirement that all of the required information be included on one sheet. Instead, the site plan has been developed with the abutter information, zoning parcel IDs, and street names being shown on Sheet 2 of the plan set. This is an acceptable alternative as all the needed information is supplied. For the foregoing reason, the Board APPROVES this waiver request as being consistent with the purpose and intent of the Site Plan Rules and Regulations which will have no significant detriment to the achievement of any of the purposes of Site Plan Review and Approval.

2. **Section 204-5 D. Landscape Plan, 8. a)** A Landscape Plan shall be prepared by a Registered Professional Landscape Architect licensed to practice in the Commonwealth of Massachusetts or a Massachusetts Certified Landscape Professional.

The Applicant has requested a waiver from this requirement. Instead, a landscape plan has been prepared by personnel of Guerriere and Halnon with many years of experience and who have completed many such plans for other development projects. The landscape plan has been reviewed by both the Conservation Commission and the Design Review Committee and has been found to be acceptable. For the foregoing reasons, the Board APPROVES this waiver request as being consistent with the purpose and intent of the Site Plan Rules and Regulations which will have no significant detriment to the achievement of any of the purposes of Site Plan Review and Approval.

3. **Section 204-5 D. (14) Master Signage Plan.** The site plan submittal shall include a master signage plan with preliminary proposed designs, locations, materials, dimensions and lighting for the proposed development sign and all business identification signage, standards for tenant signs, etc.

The Applicant has requested a waiver from this regulation and has asked that the Board authorize a delay in the submittal of a master signage plan until such time as an occupancy permit is approved. The delay is needed because the design of the building façade has been modified during the course of project review and because input needs to be secured from all the various Milford Hospital groups and services that will be occupying the building. The Board has included a Condition in this Decision to require the master signage plan to be submitted within ____ days after plan endorsement. For the foregoing reasons, the Board APPROVES this waiver request with the noted condition as being consistent with the purpose and intent of the Site Plan Rules and Regulations which will have no significant detriment to the achievement of any of the purposes of Site Plan Review and Approval.

4. **Section 207-9 B. 1. Pedestrian and Bicycle Access and Sidewalks.** Five-foot sidewalks shall be provided within parking areas. Where sidewalks abut parking areas, the sidewalk width shall be increased by two feet to accommodate vehicular bumper overhang so as to not impede foot traffic.

The Applicant has requested a waiver to authorize them to provide a 5' sidewalk for approximately 28' feet in front of the building near the main entrance where a 7' sidewalk is required. The front entrances to the building are positioned perpendicular to the right and left of the proposed 5' sidewalk. Pedestrians can access the building from either entrance and will not be impeded by vehicular overhang. The doorways will not open outward into the sidewalk area. Further, there are no access points to the building within that 28' area. For the foregoing reasons, the Board APPROVES this waiver request with the noted condition as being consistent with the purpose and intent of the Site Plan Rules and Regulations which will have no significant detriment to the achievement of any of the purposes of Site Plan Review and Approval.

5. **Section 207-12 Parking, G. 3) a)** Parking spaces shall not be located in fire lanes or within twenty feet of building entrances, building exits, emergency access points, loading and unloading areas, pedestrian ways, and location for fire hydrants, and sprinkler and standpipe connections. Parking shall not be located within 20' of building entrances or exits

The Applicant has requested waiver from this requirement as they wish to locate parking within 20' of building entrances and exits. Due to the multiple medical services offered in the building with multiple entrances and exits and varied hours of operation, such a requirement would serve to reduce the amount of available parking. Allowing parking closer to the entrances would provide safer access/egress for patients. For the foregoing reasons, the Board APPROVES this waiver request with the noted condition as being consistent with the purpose and intent of the Site Plan Rules and Regulations which will have no significant detriment to the achievement of any of the purposes of Site Plan Review and Approval.

6. **Section 207-19 Landscaping, B. 2. Landscape Buffers.** Landscaping shall be provided around the perimeter of all parking areas to prevent direct views of parked vehicles from the streets and sidewalks, avoid spillover light, glare, noise or exhaust fumes onto adjacent properties, and to provide parking areas with a reasonable measure of shade.

The Applicant has requested a waiver from the full applicability of this requirement to all parking areas. Landscaping along the northern edge of the parking area in the rear is provided and a robust landscaping plan will be installed between the front parking area and Main Street. Adding landscaping along the western edge of the property and the side parking area will conflict with the existing sub-surface drainage piping in that area. For the foregoing reasons, the Board APPROVES this waiver request with the noted condition as being consistent with the purpose and intent of the Site Plan Rules and Regulations which will have no significant detriment to the achievement of any of the purposes of Site Plan Review and Approval.

7. Section 207-19 Landscaping, C. Parking Areas 1) d) At least one deciduous shade or canopy tree of a minimum three inches caliper with a height of not less than 12 feet above grade shall be provided for every parking spaces. Only trees providing shade to the parking area shall be counted as meeting this requirement. The Board may waive this requirement in favor of the preservation for existing site trees.

The Applicant has requested a waiver from this regulation. Instead, they propose to provide shade trees where possible that do not interfere with the required underground utilities and the stormwater drainage system which together limit planting options. For the foregoing reasons, the Board APPROVES this waiver request with the noted condition as being consistent with the purpose and intent of the Site Plan Rules and Regulations which will have no significant detriment to the achievement of any of the purposes of Site Plan Review and Approval.

NOTE – Check TT review letters to see if any other waivers may be needed

VIII. CONDITIONS The *Specific and General Conditions* included in this Decision are to assure that the Board's approval of the major site plan, groundwater protection special permit, and reduced parking special permit are consistent with the *Zoning Bylaw*, that the comments of various Town boards and public officials have been adequately addressed, and that concerns of abutters and other town residents which were aired during the public hearing process have been carefully considered. These conditions are binding on the Permittee.

SPECIFIC CONDITIONS OF APPROVAL

- A. Notwithstanding any future amendment of the *Bylaw*, G.L. c.40A, or any other legislative act:
1. The tract(s) of land on which this proposed development will be located is presently located at 86 Holliston Street. It is understood that the parcel will be divided into two lots, one for the proposed medical facility (with a Main Street address) and the other for the remaining property at 86 Holliston Street. The new parcel shall not be altered or used except:
 - a) as granted by this site plan and special permits decision;
 - b) substantially as shown on the site plan titled *Site Plan, 86 Holliston Street, Medway, MA* dated April 14, 2022, last revised June 29, 2022, prepared by Guerriere & Halnon, Inc. including landscaping, lighting, and architectural plans, to be further revised as specified herein before plan endorsement
 - c) in accordance with any subsequently approved field changes, modified plans, or amendments to this site plan/special permit decision; and
 2. The tract of land and buildings comprising the Milford Regional medical facility Road shall not be used, sold, transferred, or leased except in conformity with this decision and approved site plan and shall not be further divided.
- B. **Plan Endorsement** - Within 60 days after the Board has filed its *Decision* with the Town Clerk, the site plan entitled *Site Plan, 86 Holliston Street, Medway, MA* dated April 14, 2022, last revised June 29, 2022, prepared by Guerriere & Halnon, Inc.

including building elevations, renderings, landscaping plan and lighting plan, shall be further revised to reflect all Conditions and required revisions as specified herein, and shall be submitted to the Board to review for compliance with the Board's *Decision*. (*Said plan is hereinafter referred to as the Plan*). Upon approval, the Applicant shall provide the revised Plan in its final form to the Board for its endorsement prior to recording at the Norfolk County Registry of Deeds along with this decision. All plan sheets shall be bound together in a complete set. Prior to plan endorsement, the Permittee shall also provide a Certificate of No Appeal from the Town Clerk's office.

- C. **Recording** - No construction shall begin on the site and no building permit for any work shall be issued before this Decision and the *Plan* are recorded at the Norfolk County Registry of Deeds and proof of such recording is provided to the Board within thirty days of recording.
- D. **Cover Sheet Revisions**
 - 1.
 - 2.
 - 3.
- E. **Other Plan Revisions**
 - 1.
 - 2.
- F. **Conditions Pertaining to CBD Parking Location Special Permit**
- G. **Conditions Pertaining to CBD Building Type Special Permit**
- H. **Conditions Pertaining to Groundwater Protection District Special Permit**
 - 1. Use and storage of toxic and hazardous materials is prohibited unless stored within a free-standing container located inside the building. Any accidental spillage shall also be contained within the building and any that enters the sewer system shall be treated prior to being discharged to the municipal sewer system. Operation and maintenance procedures are in place to prevent any accidental outdoor spillage from reaching groundwater.

2. Any commercial fertilizers, as defined in Massachusetts General Law, c. 128 §64 will be stored within containers and kept inside the ~~Milford Regional medical facility~~ building. Any fertilizers used on landscape material anywhere on the site shall be the slow-release organic granular type, and only the absolute minimum necessary. All storage of fertilizers must be in a free-standing container within a building, have adequate secondary storage capacity or be within a facility designed to prevent the generation and escape of contaminated runoff or leachate. Application of fertilizers on site must be done in a manner to ~~prevent~~minimize adverse impacts on groundwater.
 3. Outdoor storage anywhere on the site shall consist only of non-hazardous materials. Metal materials stored outside shall be under cover of a building or structure to prevent leaching of the metal into the groundwater.
 4. There shall be no outdoor storage of pesticides, herbicides, fungicides, or insecticides anywhere on the site. Any such products shall be stored inside.
 5. Deicing materials shall be limited to calcium chloride or other deicer material approved by the Medway Department of Public Works.
 6. Plowed snow for the site shall be stored only in the designated areas shown on the plan or taken off site in times of substantial storms.
 7. All vehicles shall be parked and stored on the paved surface to ensure treatment of any leaks of fluids from the vehicles. There shall be no outdoor maintenance or cleaning of vehicles.
 8. There shall be no earth removal within six feet of the historical high groundwater level except for excavations for building foundations, roads, or utility works.
 9. ~~The Town reserves the right to periodically inspect the site to ensure compliance with these conditions.~~
 10. **Reference any conditions in the CC Order of Conditions and Land Disturbance Permit?**
- I. **Hours of Operation** – The hours of operation for the facility are as follows:
- Monday – Friday from 7 am to 8 pm
 - Saturday and Sunday from 9 am to 5 pm.
- J. **Nuisance** – The Permittee shall construct and maintain the property and building so as to not create a nuisance to abutters or to the surrounding area, or create any hazard, including but not limited to fire, explosion, fumes, gas, smoke, odors, obnoxious dust, vapors, offensive noise or vibration, flashes, glare, objectionable effluent or electrical interference, which may impair the normal use and peaceful enjoyment of any property, structure, or dwelling in the area. The Permittee shall comply with Section 7.3 of the *Zoning Bylaw*, as ~~recently~~ amended at the November 15, 2021 Town Meeting.

Commented [BSA6]: See W.3

K. **Noise Management –**

Wait for results of noise study and any recommendations from Jeff Komrower.

L. **Tree Preservation** – Sheet __ Landscape Plan of the site plan denotes the location of __ trees which are specified to be retained. These include:

1. The Permittee and its contractors shall not remove the __ noted trees during site preparation and construction of infrastructure and the buildings.
2. The __ trees shall be clearly identified in the field and verified by the Board's consulting engineer before site preparation and construction commences.
3. If any of the __ identified trees are removed or damaged during site preparation or construction, the Permittee shall be responsible for tree restoration by replacing the removed or damaged trees with nursery grade trees on a one (+) square inch per two (2) square inch replacement basis within (1) year after the tree removal or damage has occurred. The one (+) square inch per two (2) square inch replacement amount is calculated by squaring 1/2 the established diameter of each tree that is removed or damaged and multiplying that amount by 3.14 to determine its trunk area (tree radius squared x pi rounded to 3.14). The resulting figure is halved, and that square inch total is the amount of required square inches of the replacement tree(s). The location of the replacement trees shall be recommended by the Permittee and approved by the Planning and Economic Development Board (as a field change). The species of replacement tree(s) shall be from those listed in the *Site Plan Rules and Regulations*

4. **TREES along the driveway?**

M. **Open Space** – At least 20% of the site shall be permanently retained as open space and/or yard in perpetuity. This is an on-going obligation of the Permittee. This area shall be unpaved but may be landscaped or left natural with the balance being trees, shrubs, and grass suitable for the site. The area may include communal gathering space for employees.

N. **Signage** – Prior to 120 days after plan endorsement, the Permittee shall provide a master signage plan for review by the Design Review Committee and approval of the Planning and Economic Development Board.

O. **Snow Storage and Removal**

1. On-site snow storage shall not encroach upon nor prohibit the use of any parking spaces required by the Bylaw.
2. Accumulated snow which exceeds the capacity of the designated snow storage areas on-site shall be removed from the premises.

P. **Water Conservation** – The development is relying on the Town's public water

system and the Town is being held to its Water Management Act Permit with the MA Department of Environmental Protection. The Permittee shall incorporate the following water conservation measures:

1. Any landscape irrigation system shall not be connected to municipal water supply. Irrigation wells must be permitted by the Board of Health.
2. rain-gauge controlled irrigation systems
3. low flow plumbing fixtures
4. water efficient appliances for toilets, etc.

Q. **Construction** – In conjunction with the pre-construction meeting (See General Condition ____), the Permittee shall provide the following:

1. Stormwater Pollution Prevention Plan (SWPPP) and documentation under the NPDES General Construction Permit program of the US EPA.
2. Construction Management Plan compliant with Section 204-3 H. Site Plan Submittals of the *Site Plan Rules and Regulations*

R. **Occupancy Permit**

NOTE – Need to review TT review letters and comments from various departments, boards and committees to include any additional specific conditions.

GENERAL CONDITIONS OF APPROVAL

S. **Applicability** – This Decision shall apply to any successor in control or successor in interest to the subject property

T. **Fees** - Prior to filing this Decision with the Town Clerk, the Board requires the Applicant to pay:

1. the balance of any outstanding project review fees owed to the Town for review of the application by the Town's engineering or other consultants;
2. any other outstanding expenses or obligations due the Town of Medway pertaining to this property, including real estate and personal property taxes and business licenses.

U. **Compliance with Other Permits** – This special permit does not relieve the Applicant from its responsibility to apply for, obtain, pay for, and comply with all other required federal, state and Town permits, licenses, and approvals. The Permittee or agent shall apply for, obtain, pay for, and comply with all other required Town permits.

V. **Restrictions on Construction Activities** – During construction, all local, state, and federal laws shall be followed regarding noise, vibration, dust and blocking of Town roads. The Permittee and its contractors shall at all times use all reasonable means to minimize inconvenience to abutters and residents in the general area. The following specific restrictions on construction activity shall apply.

1. *Construction Time* - ~~Work at construction sites and in the operation of construction equipment including start-up and movement of trucks, vehicles, and machines shall commence no earlier than 7 a.m. and shall cease no later than 6 p.m. Monday through Saturday. Construction work at the site and in the building and the operation of construction equipment including truck/vehicular and machine start-up and movement shall commence no earlier than 7 a.m. and shall cease no later than 6 p.m. Monday – Saturday.~~ No construction shall take place on Sundays or legal holidays without the advance approval of the Building Commissioner. These rules do not apply to interior construction work such as carpentry, installation of drywall, flooring, electrical and HVAC systems, painting, etc.
2. *Neighborhood Relations* – The Permittee shall notify neighbors in the general area around the site when site work and construction are scheduled to begin and provide a phone number for them to use for questions and concerns that arise during construction.
3. The Permittee shall take all measures necessary to ensure that no excessive dust leaves the premises during construction including use of water spray to wet down dusty surfaces.
4. There shall be no tracking of construction materials onto any public way. Daily sweeping of roadways adjacent to the site shall be done to ensure that any loose gravel/dirt is removed from the roadways and does not create hazardous or deleterious conditions for vehicles, pedestrians, or abutting residents. In the event construction debris is carried onto a public way, the Permittee shall be responsible for all clean-up of the roadway which shall occur as soon as possible and in any event within twelve (12) hours of its occurrence.
5. The Permittee is responsible for having the contractor clean-up the construction site and the adjacent properties onto which construction debris may fall on a daily basis.
6. All erosion and siltation control measures shall be installed by the Permittee prior to the start of construction and observed by the Board's consulting engineer and maintained in good repair throughout the construction period.
7. *Construction Traffic/Parking* – During construction, adequate provisions shall be made on-site for the parking, storing, and stacking of construction materials and vehicles. All parking for construction vehicles and construction related traffic shall be maintained on site. No parking of construction and construction related vehicles shall take place on adjacent public or private ways or interfere with the safe movement of persons and vehicles on adjacent properties or roadways.
8. *Noise* - Construction noise shall not exceed the noise standards as specified in the *Zoning Bylaw*, SECTION 7.3 Environmental Standards.
9. *Stormwater Management* – During construction, the Applicant shall maintain the site and installed stormwater management facilities in accordance with the

Commented [BSA7]: Language from ZBL.

Construction Period Pollution Prevention Plan included in

W. Construction Oversight

1. Pre-Construction Meeting – At least seven days prior to the start of any site preparation or construction, the Applicant shall meet with the Town’s Consulting Engineer, the Planning and Economic Development Coordinator, the Medway Department of Public Works, the Medway Conservation Agent, other Town officials as may be appropriate, and the Permittee’s project engineer and site contractors for a pre-construction meeting. The construction schedule shall be reviewed and the procedures for inspections discussed. **CONSTRUCTION MANAGEMENT PLAN, SWPPP, what else?**
2. Construction Account
 - a) Inspection of infrastructure and utility construction, installation of site amenities including landscaping, and the review of legal documents by Town Counsel is required. Prior to plan endorsement, the Permittee shall establish a construction account with the Board. The funds may be used at the Board’s discretion to retain professional outside consultants to perform the items listed above as well as the following other tasks - inspect the site during construction/installation, identify what site plan work remains to be completed, prepare a bond estimate, conduct other reasonable inspections until the site work is completed and determined to be satisfactory, review as-built plans, and advise the Board as it prepares to issue a *Certificate of Site Plan Completion*.
 - b) Prior to plan endorsement, the Permittee shall pay an advance toward the cost of these services to the Town of Medway. The advance amount shall be determined by the Board based on an estimate provided by the Town’s Consulting Engineer.
 - c) Depending on the scope of professional outside consultant assistance that the Board may need, the Permittee shall provide supplemental payments to the project’s construction inspection account, upon invoice from the Board.
 - d) Any funds remaining in the Permittee’s construction inspection account after the *Certificate of Site Plan Completion* is issued shall be returned to the Permittee.
3. Right to Enter Property - Board members, its staff, consultants or other designated Town agents and staff shall have the right to enter the property at reasonable times during construction and with advance notice to the Permittee to inspect the site for compliance with the terms and conditions of this decision and the Plan and while on site, may acquire any information, measurements, photographs, and observations ~~and/or materials~~ deemed necessary for that evaluation.
4. DPW Inspections – Permittee will coordinate with ~~the~~ Department of Public Works ~~will conduct~~ inspections for any construction work occurring in the

Town's right-of way in conjunction with the Town of Medway Street Opening/Roadway Access Permit.

5. Monthly Reports - The Permittee shall have a professional engineer licensed in the Commonwealth of Massachusetts conduct progress inspections of the construction of the approved site improvements. Inspections shall occur at least on a monthly basis and shall start immediately once any work begins on the property. The Permittee's engineer shall prepare a written report of each inspection and provide a copy to the Board within five days of inspection. The Board may provide a template for such monthly reports.

X. **On-Site Field Changes**

1. During construction, the Permittee may be authorized to make limited, minor, on-site field changes to the approved plan based on unforeseen site or job conditions, situations, or emergencies necessitated by field conditions or due to practical considerations. These field changes shall not alter items which may affect the site's compliance with this *Decision* and the *Zoning Bylaw* nor conflict with a specific condition of the *Decision*. Field changes shall not substantially alter the intent, layout, or design of the endorsed *Plan*.
2. Prior to undertaking such field changes, the Permittee and/or contractor shall discuss the possible field changes with the Town's Consulting Engineer and the Planning and Economic Development Coordinator and submit a letter and drawings to the Planning and Economic Development Coordinator and the Building Commissioner describing the proposed changes and what conditions, situations, or emergencies necessitate such changes. In accordance with Section 3.5.2.C of the *Zoning Bylaw*, the Building Commissioner may determine that the field change is insubstantial, authorize the change, and so notify the Board. Otherwise, the Board shall review the proposed field changes at a public meeting and determine whether the proposed field changes are reasonable and acceptable based on the unforeseen conditions, situations, or emergencies and whether other options are feasible or more suitable. A written authorization of field change will be provided. Any approved field change shall be reflected in the as-built plan to be provided at project completion.

Y. **Modification of Plan and/or Decision**

1. Proposed modifications, not including on-site field changes, to this *Decision* or the endorsed Plan shall be subject to review by the Board.
2. This site plan and special permit approval is subject to all subsequent conditions that may be imposed by other Town departments, boards, agencies, or commissions. Any changes to the site plan that may be required by the decisions of other Town boards, agencies or commissions shall be submitted to the Board for review as site plan modifications.
3. Any work that deviates from the approved *Plan* or this *Decision* ~~may~~shall be a violation of the *Zoning Bylaw* unless the Permittee requests approval of a modification pursuant to Section 208-4 of the *Site Plan Rules and Regulations*

and such approval is provided in writing by the Board, or as provided in condition X.

4. The request for a modification to a previously approved special permit and/or *Plan* shall be subject to the same application and review process including a public hearing. Whenever additional reviews by the Board, its staff or consultants are necessary due to proposed modifications, the Permittee shall be billed and be responsible for all supplemental costs including filing fees, review fees and all costs associated with another public hearing including legal notice and abutter notification. If the proposed revisions affect only specific limited aspects of the site, the Board may reduce the scope of the required review and waive part of the filing and review fees.
5. The Board shall issue a modification decision, file such with the Town Clerk, and provide copies to the Building Commissioner and other Town officials and the Permittee. Any modification approved by the Board shall be made a permanent part of the approved special permit documents and shall be shown on the final as-built plan

Z. Compliance with Plan and Decision

1. The Permittee shall construct all improvements in compliance with the approved and endorsed *Plan* and this *Decision* any modifications thereto.
2. The Board or its agent(s) may use all legal options available to it, including referring any violation to the Building Commissioner/Zoning Enforcement Officer for appropriate enforcement action, to ensure compliance with the decision and the foregoing Specific and General Conditions of Approval.
3. The Specific and General Conditions of Approval are enforceable under Section 3.1. F. of the *Zoning Bylaw* (non-criminal disposition) and violations or non-compliance are subject to the appropriate fine.

AA. Performance Security

1. ~~Prior to grant of an occupancy permit, the Board shall provide a Certificate of Site Plan Completion to the Building Commissioner, be granted until the Board has provided a written communication to the Building Commissioner/Zoning Enforcement Officer that the project, as constructed, conforms completely and fully to the approved site plan and that any conditions including construction of any required on and off site improvements, have been satisfactorily completed~~ OR that notify the Building Commissioner that suitable security/performance security-guarantee has been provided to the Town of Medway, to the Board's satisfaction, to cover the cost of all remaining work.
2. The Permittee shall propose a form of performance security which shall be of a source and in a form acceptable to the Board, the Treasurer/Collector and Town Counsel. The Board requires that the performance securityguarantee be accompanied by an agreement which shall define the obligations of the Permittee and the performance securityguarantee company including:
 - a) the date by which the Permittee shall complete construction

Commented [BSA8]: Incorporates the Certificate referenced below, rather than requiring a separate certification.

- b) a statement that the agreement does not expire until released in full by the Board
 - c) procedures for collection upon default.
3. The amount of the performance securityguarantee shall be equal to 100% of the amount that would be required for the Town of Medway to complete construction of the site infrastructure including installation of stormwater management facilities, utilities, services, pedestrian facilities, and all site amenities as specified in the approved Site Plan that remain unfinished at the time the performance securityguarantee estimate is prepared if the developer failed to do so.
 4. The performance security amount shall be approved by the Board based on an estimate provided by the Town's Consulting Engineer based on the latest weighted average bid prices issued by the Mass Highway Department. The estimate shall reflect the cost for the Town to complete the work as a public works project which may necessitate additional engineering, inspection, legal and administrative services, staff time and public bidding procedures. The estimate shall also include the cost to maintain the infrastructure in the event the Permittee fails to adequately perform such and the cost for the development of as-built plans. In determining the amount, the Board shall be guided by the following formula in setting the sum: estimate of the Town's Consulting Engineer of the cost to complete the work plus a 30% contingency.
 5. Something about reductions in performance security . . .
 6. Final release of performance security is contingent on project completion.

BB. Project Completion

- ~~1. Site plan approval shall lapse after two years of the grant thereof if construction has not begun except for good cause. The work shown on the approved Plan shall be completed by the Permittee or its assignees within ____ years of the date of plan endorsement. Upon receipt of a written request from the Permittee filed at least thirty (30) days prior to the date of expiration, the Board may grant an extension for good cause. The request shall state the reasons for the extension and specify the additional length of time requested. If no request for extension is filed and approved, the site plan approval shall lapse and may be reestablished only after a new filing, hearing, and decision.~~
1. Site plan approval shall lapse after two years of the grant thereof as provided in Section 3.5.7 of the Zoning Bylaw if construction has not begun except for good cause. Upon receipt of a written request from the Permittee filed at least thirty days prior to the date of expiration, the Board may grant an extension for good cause. The request shall state the reasons for the extension and specify the additional length of time requested. If no request for extension is filed and approved, the site plan approval shall lapse and may be reestablished only after a new filing, hearing, and decision.
2. The work shown on the approved Plan shall be completed by the Permittee or its assignees within ____ years of the date of plan endorsement. Upon receipt of a written request from the Permittee filed at least thirty days prior to the date of

Commented [BSA9]: Need to use the language from the ZBL; also, two different concepts as to lapse and completion.

expiration, the Board may grant an extension for good cause. The request shall state the reasons for the extension and specify the additional length of time requested. If no request for extension is filed and approved, the site plan approval shall lapse and may be reestablished only after a new filing, hearing, and decision.

32. Prior to issuance of a final occupancy permit, the Permittee shall request a **Certificate of Site Plan Completion** from the Board. The **Certificate** serves as the Board's confirmation that, in its opinion, the completed work conforms to the approved Plan and any conditions and modifications thereto, including the construction of any required on and off-site improvements. The **Certificate** also serves to release any security/performance guarantee that has been provided to the Town of Medway.

- a) Before issuing such Certificate, a Board member or the Board's Agent shall conduct a final inspection of the site and prepare a punch list to identify any remaining work to be completed. The Board may consult with its consulting engineer and various Town staff and boards or committees to determine whether the project is complete.
- b) To secure a Certificate of Site Plan Completion, the Permittee shall complete or provide the following items to the satisfaction of the Board.
 - i. receipts to document cleaning of the stormwater system
 - ii. a signed statement from the Permittee committing to the ongoing maintenance of the stormwater management facilities and replacement of landscaping.
 - iii. removal of erosion controls
 - iv. full stabilization of the site
 - v. a written certification from a Professional Engineer registered in the Commonwealth of Massachusetts that all building and site work has been completed in substantial compliance with the approved and endorsed site Plan, and any modifications thereto; and
 - vi. an electronic version of a final As-Built Plan, prepared by a registered Professional Land Surveyor or Engineer registered in the Commonwealth of Massachusetts, to the Board for its review and approval. The As-Built Plan shall show actual as-built locations and conditions of all buildings and site work shown on the original site plan and any modifications thereto. The As-Built Plan shall also show all utilities found during the construction process. The final As-Built Plan shall also be provided to the Town in CAD/GIS file format per MASS GIS specifications.

CC. **Landscaping Maintenance** - The site's landscaping shall be maintained in good condition throughout the life of the facility and to the same extent as shown on the *Plan of Record*. Any shrubs, trees, bushes, or other landscaping features shown on the Plan that die shall be replaced by the following spring.

~~DD. **Right to Enter Property** Board members, its staff, consultants, or other designated agents of the Town shall have the right to enter the property to ensure continued~~

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Commented [BSA10]: See condition W.3

~~compliance with the terms and conditions of this special permit and the endorsed site plan.~~

~~EE.~~ **Conflicts** – If there is a conflict between the Plan and the Decision’s Specific and General Conditions, the Decision shall rule. If there is a conflict between this Decision and the *Zoning Bylaw*, the *Bylaw* shall apply.

Commented [BSA11]: This is not a condition.

IX. APPEAL – The Board and the Applicant have complied with all statutory requirements for the issuance of this Decision on the terms set forth herein. A copy of this Decision will be filed with the Medway Town Clerk and mailed to the Permittee, and notice will be mailed to all parties in interest as provided in G.L. c. 40A §15.

Any person aggrieved by the decision of the Board may appeal to the appropriate court pursuant to Massachusetts General Laws, Chapter 40A, §17, and shall be filed within twenty days after the filing of this decision in the office of the Medway Town Clerk.

In accordance with G.L. c. 40A, §11, no special permit shall take effect until a copy of the Decision is recorded in the Norfolk County Registry of Deeds, and indexed in the grantor index under the name of the owner of record, or is recorded and noted on the owner’s certificate of title, bearing the certification of the Town Clerk that twenty days have elapsed after the Decision has been filed in the office of the Town Clerk and no appeal has been filed within said twenty-day period, or that an appeal has been filed. The person exercising rights under a duly appealed special permit does so at risk that a court will reverse the permit and that any construction performed under the permit may be ordered undone. The fee for recording or registering shall be paid by the Permittee. A copy of the recorded Decision, and notification by the Permittee of the recording, shall be furnished to the Board.

Decision Date: _____

AYE:

Jessica Chabot

Richard Di Iulio

Matthew Hayes

Sarah Raposa

Robert Tucker

COPIES TO: Michael Boynton, Town Manager
Stephanie Carlisle, DPW Compliance Officer
Michael Fasolino, Deputy Fire Chief
Bridget Graziano, Conservation Agent
Sean Harrington, Deputy DPW Director
William Kingsbury, Police Chief
Derek Kwok, Health Agent
Jeff Lynch, Fire Chief
Jack Mee, Building Commissioner and Zoning Enforcement Officer
Christopher Park, Assessor
Pete Pelletier, DPW Director
Joanne Russo, Treasurer/Collector
Barbara Saint Andre, Director of Community and Economic Development
Jeff Watson, Police Department
Steven Bouley, Tetra Tech
Kevin Lobisser, Lobisser Companies
Amanda Cavaliere, Guerriere & Halnon



September 13, 2022

**Medway Planning & Economic Development Board
Meeting**

**Field Change Discussion – Salmon
Willows – Waterside Run Units**

- Email from Peter Bemis requesting a minor field change to the Waterside Run Units
- Plan titled “Existing & Proposed Conditions Exclusive Use Area 3H,” dated August 8, 2022, revised August 25, 2022, by Engineering design Consultants, Inc.

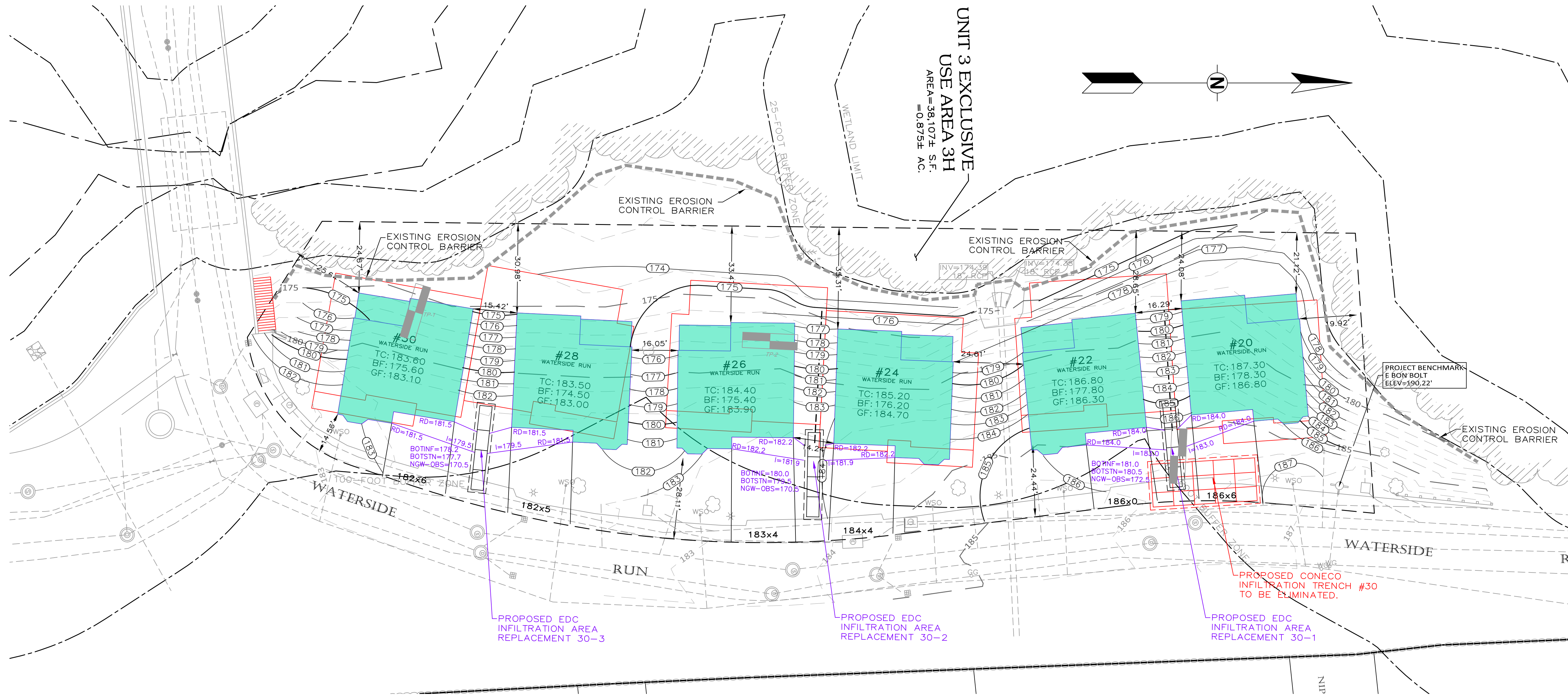
Susan Affleck-Childs

From: pbemis@edcma.com
Sent: Thursday, August 25, 2022 6:17 PM
To: Susan Affleck-Childs; Anna Rice; Bouley, Steven
Cc: jburns@blackbrookrealty.com; pburns@blackbrookrealty.com; pgermano@blackbrookrealty.com
Subject: [External] Minor Field Change Request Waterside Run Units 20-30 8-9-22 Rev2
Attachments: 3750 SITE PLAN AREA 3H - WATERSIDE RUN UNITS 20-30 8-9-22 Rev2.pdf

Suzy, Anna & Steve – attached please find Site Plan entitled “Existing & Proposed Conditions Exclusive Use Area 3H” Sheet 1 of 1 dated 8/8/22 and last revised 8/25/22 submitted to you for Minor Field Change Request as it relates to stormwater infiltration at Waterside Run Units 20-30. The approved Coneco Site Plan illustrated Infiltration Trench #30 as a block of 15 Infiltration Units with no further details that was to be located in front of Unit 20 and intended to treat stormwater from Units 20-30, however upon closer inspection we determined that this location in front of Unit 20 was approximately 4-feet higher in elevation than Unit 30 and it was approximately 260-feet away thereby making it nearly impossible to properly convey stormwater from Units 26, 28 and certainly 30 without putting the leaching chambers over 7-feet below grade. We determined that the best course of action was to break the leaching areas into 3 separate zones to be shared by 2 units between their common garage areas and to further support this approach we conducted test pits near each leaching area that were witnessed by Steve Bouley of TetraTech. Having 3 microunits will enable better distribution of stormwater, avoid placing units excessively deep below grade and recall that the total impervious area for these 6 units is approximately 25% less than what was originally approved. Thank you for your assistance in processing this request with the Planning Board and we will plan to attend the 9/13 meeting to present this information.

Peter Bemis
Engineering Design Consultants, Inc.
32 Turnpike Road
Southborough, MA 01772

(508)480-0225 Ext. 11



DIG SAFE NOTE

UNDERGROUND UTILITY LOCATIONS ARE NOT GUARANTEED. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. DIGSAFE IS TO BE NOTIFIED 72 BUSINESS HOURS IN ADVANCE OF CONSTRUCTION. CALL DIGSAFE AT 811.



3/24/16 ORIGINAL APPROVED PROJECT COVERAGE INFORMATION:

THE COVERAGE CALCULATION FOR THE 3/24/16 ORIGINAL APPROVED PROJECT BUILDING & DRIVEWAY LIMITS WITHIN EXCLUSIVE USE AREA 3H: 19,194 SF TOTAL COVERAGE

MINOR PLAN CHANGE AMENDMENT PROJECT MODIFICATION COVERAGE INFORMATION:

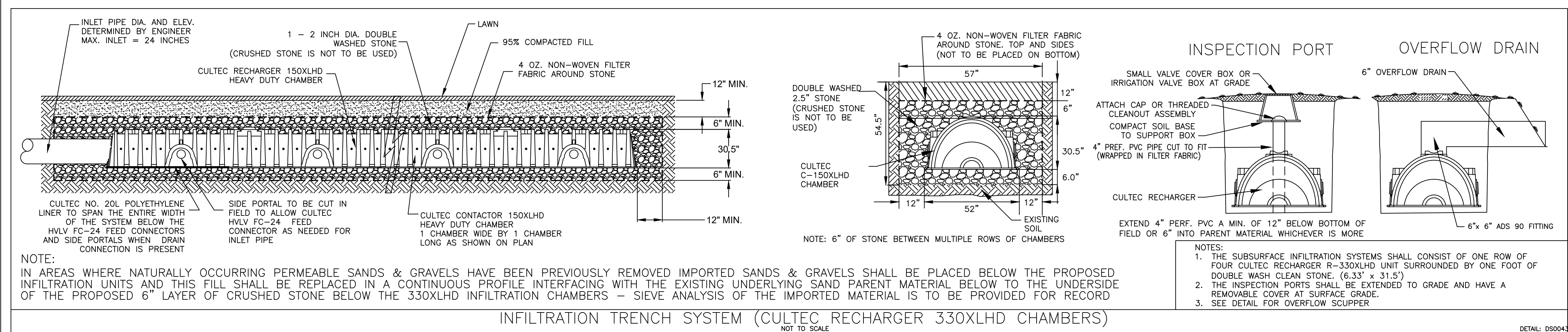
THE COVERAGE CALCULATION FOR THE MINOR PLAN CHANGE AMENDMENT PROJECT MODIFICATION REDUCED BUILDING & DRIVEWAY LIMITS WITHIN EXCLUSIVE USE AREA 3H TOTAL: 14,288 SF TOTAL COVERAGE OR A 25.6% REDUCTION IN TOTAL COVERAGE

WITH BUILDING & DRIVEWAY LIMITS AS ILLUSTRATED BELOW, PROJECT WORK LIMITS REMAIN UNCHANGED FROM ORIGINAL ORDER OF CONDITIONS 216-854

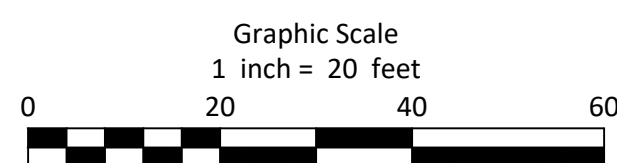
EDC MODIFICATION INFILTRATION AREA #30 CONECO APPROVED SITE PLAN:

CONECO DESIGN PROVIDED FOR A SINGLE INFILTRATION UNIT AREA #30 LOCATED AT NORTHEAST END EXCLUSIVE UNIT 3H CONSISTING OF 15 UNITS EDC DESIGN PROVIDES 3 SEPARATE 4 INFILTRATION UNIT AREAS EACH ASSOCIATED WITH 2 ADJACENT BUILDINGS 30-1, 30-2 AND 30-3 THIS ALSO ALLOWS THE INFILTRATION UNITS TO STEP WITH ROAD/SITE GRADE AND PROVIDE THE REQUISITE 4-FOOT GROUNDWATER OFFSET THAT THE APPROVED DESIGN WOULD NOT HAVE ALLOWED WITH ABOUT 260- FEET OF PIPE NEEDED (2.6- FEET) FOR UNIT 30 TO GRAVITY FLOW INTO THE APPROVED SINGLE LEACHING AREA. THE INDIVIDUAL LEACHING AREAS TOTAL 205 SF. OR 615 SF TOTAL SUPPORTING 9,246 SF. OF TOTAL BUILDING COVERAGE WHILE SLIGHTLY LESS THAN THE 654 SF. PROVIDED BY APPROVED CONECO DESIGN THAT WAS INTENDED TO SUPPORT 14,883 SF. OF TOTAL BUILDING COVERAGE, THEREFORE EDC DESIGN ACTUALLY PROVIDES 50% MORE OVERALL LEACHING CAPACITY THAN APPROVED CONECO DESIGN AND SITE OVERALL IS SIGNIFICANTLY LESS IMPERVIOUS THAN WAS ORIGINALLY APPROVED AT UNITS 20, 22, 24, 26, 28 & 30 WATERSIDE RUN.

SOIL TEST DATA					
SOIL TESTS PERFORMED BY: PETER BEWIS, SOIL EVALUATOR ON AUGUST 22, 2022. PETER BEWIS PASSED THE SOIL EVALUATOR EXAMINATION APPROVED BY DEP IN NOVEMBER 1994 AND HAS CERTIFIED THAT HIS ANALYSIS WAS PERFORMED CONSISTENT WITH 310 CMR 15.017. SOIL TESTS WITNESSED BY STEVE BOULEY, PEER REVIEW ENGINEER TETRATECH ENGINEERING.					
DEEP HOLE # TP-1	ELEV.	DEEP HOLE # TP-2	ELEV.	DEEP HOLE # TP-3	ELEV.
12"	175.0	30"	174.0	30"	174.0
BASE FILL		BOTTOM EXCAVATION		STRUCTURAL FILL	
12"	174.0	30"	174.0	30"	174.0
SAND		SAND		SAND	
2.5Y5/4		2.5Y5/4		2.5Y5/4	
54°C	170.5	48°C	170.5	48°C	172.5
MOTTLING: NONE		MOTTLING: NONE		MOTTLING: NONE	
PERCOLATION TEST: N/A		PERCOLATION TEST: N/A		PERCOLATION TEST: N/A	
SOIL CLASS: CLASS I		SOIL CLASS: CLASS I		SOIL CLASS: CLASS I	



REVISIONS:			
DRWN BY:	ZRB	2	8/25/22
CHK'D BY:	PSB	1	8/9/22
APRVD BY:	WML	0	8/8/22
REV #	DATE	DESCRIPTION	
2	8/25/22	COMPLETED TEST PITS & ADDED 330XLHD DETAILS	
1	8/9/22	ADD BUFFER LIMITS & REISSUED FOR BUILDING PERMIT	
0	8/8/22	ISSUED FOR BUILDING PERMIT	



PREPARED BY:



Engineering Design Consultants, Inc.
32 Turnpike Road
Southborough, Massachusetts
(508) 480-0225

PROJECT:

THE WILLOWS AT MEDWAY
AND WHITNEY PLACE CONDOMINIUM
261 VILLAGE STREET
(NORFOLK COUNTY)
MEDWAY, MASSACHUSETTS

TITLE:

EXISTING & PROPOSED CONDITIONS
EXCLUSIVE USE AREA 3H

PREPARED FOR:

BLACK BROOK REALTY
17 MAIN STREET
HOPKINTON, MA 01748

DATE:

AUGUST 8, 2022

1 OF 1

EDC PROJECT NUMBER
3750