

Tuesday, June 8, 2021
Medway Planning and Economic Development Board
155 Village Street
Medway, MA 02053

Members	Andy Rodenhiser	Bob Tucker	Tom Gay	Matt Hayes	Rich Di Iulio	Jessica Chabot
Attendance	X	X	X	X	X	X

ALSO PRESENT:

- Susy Affleck-Childs, Planning and Economic Development Coordinator
- Steve Bouley, Tetra Tech (via speakerphone)

PUBLIC COMMENTS:

- There were no public comments.

316 VILLAGE STREET – MULTI-FAMILY SPECIAL PERMIT:

The Board is in receipt of the following: **(See Attached)**

- Public Hearing Continuation Notice
- Hand-drawn sketch showing driveway and parking areas
- Draft special permit

The Board was made aware that the applicant closed on the property this morning. A copy of the conveyance deed was provided. A layout of the roadway with parking was included in packet. The members reviewed the sketch and were fine with what was presented. The Fire Chief has not provided any comments.

The Board is in receipt of a draft decision. The property owner section will be revised. The Board was asked to provide input on the impact on the abutting properties referenced on Page 5. The Board communicated that there is a precedent for this type of housing since the neighborhood already has a mix of housing in this area. The owner is discussing with the Building Inspector if sprinklers are needed. It was suggested to add “as implemented through the State Building Code” on page 7 in the condition regarding compliance with other codes. The work on this site is specifically for interior work. It is suggested to eliminate Item C on Page 8. In the construction section it was suggested to keep Item #4, #5, #7, and #8 and eliminate Items #1, #2, #3 and #6. The Board would like a drawing added to the decision to reference how the interior space will be divided.

Vote on Findings:

On a motion made by Bob Tucker and seconded by Tom Gay, the Board voted unanimously to approve the modified findings as amended.

Vote on Decision:

On a motion made by Bob Tucker and seconded by Matthew Hayes, the Board voted unanimously to approve the multi-family special permit decision for 316 Village Street.

Close Hearing:

On a motion made by Matt Hayes and seconded by Jessica Chabot, the Board voted unanimously to close the hearing for 316 Village Street.

ELECT OFFICERS AND APPOINT COMMITTEE REPRESENTATIVES:

The Board was in receipt of the following document: **(See Attached)**

- Memo from Susy Affleck-Childs dated May 2, 2021 listing officers and boards/committees representatives and liaisons.

Chairman:

On a motion made by Matt Hayes and seconded by Jessica Chabot, the Board voted unanimously to appoint Andy Rodenhiser as the Chairman of the Planning and Economic Development Board.

Vice Chairman:

On a motion made by Matt Hayes and seconded by Jessica Chabot, the Board voted unanimously to appoint Bob Tucker as the Vice Chairman to the Planning and Economic Development Board.

Clerk:

On a motion made by Jessica Chabot and seconded by Matt Hayes, the Board voted unanimously to appoint Rich Di Iulio as the clerk to the Planning and Economic Development Board.

Liaison Assignments:

The members would like to remain with their current appointments with the exception of the following:

- Member Jessica Chabot will serve as back-up representative on the DRC to fill in when Tom Gay cannot.
- Chairman Rodenhiser will be the Finance Committee liaison instead of member Tucker.
- Member Chabot will be the Business Council liaison.

PEDB MEETING MINUTES:

May 25, 2021:

On a motion made by Rich Di Iulio and seconded by Jessica Chabot, the Board voted unanimously to approve the PEDB meeting minutes of May 25, 2021 as written.

Report on Master Plan:

The Board was informed that there was a successful Master Plan Community Forum; it was held via ZOOM. There were over 100 people. The Committee has committed to an aggressive schedule for the summer meetings. There will be a series of surveys going out to the community. The majority of the information gathered to date shows that the community wants to see Medway Plaza have more of a downtown feel. Community members were most proud of the parks, open space areas and trails. A series of “meetings in a box” are being planned for the summer. These meetings will be more personal conversations with neighbors and friends, to be hosted by MP Committee members. Those who want to hold a “box” meeting will get instructions. The next meeting of the Master Plan Committee will be June 28, 2021.

PUBLIC HEARING - GOOD FEELS MARIJUANA SPECIAL PERMIT MODIFICATION - 23 JAYAR ROAD

The Board is in receipt of the following documents. (**See Attached**)

- Public Hearing Notice dated 5-18-21
- Application to modify marijuana special permit dated 5-4-21
- Explanation of proposed modification
- Drawings showing exterior chiller, generator, and sound barrier dated 5-13-21 by Joe the Architect
- Noise analysis dated 5-26-21 by Noise Control Engineering (NCE) (for the applicant)
- Review dated 6-2-21 by Chris Menge of HMMH (PEDB’s noise consultant)
- 6-7-21 email from abutter John Lally
- 6-8-21 email from abutter John Lally

Applicant Jason Reposa and project architect Alex Siekierski were present for the hearing. The Board was informed that this is a proposed modification to the previously issued Marijuana Special Permit to allow for the permanent outdoor installation of an enclosed back-up emergency generator and chiller with sound installation along with back wall of the building at 23 Jayar Road. The plan modification is shown on Good Feels, Inc. Permit Plan, dated 5/13/2021 prepared by Joe the Architect, LLC.

It was explained that the applicant wants to make two modifications to their existing Special Permit to add a generator external to the facility, to be located along the back wall. There were specifications shown of the proposed generator and chiller. The architect drawings show the proposed location of all the equipment. The Cannabis Control Commission requires a minimum 24-hour power back up system for the security cameras and odor control equipment. s. The generator will only be used for emergency situations. The project also includes adding a chiller to be placed outside the facility to ensure optimal operation since if it were inside it would compete with the HVAC system.

The Board’s noise consultant, Chris Menge of HMMH was present during the meeting via speakerphone. He supplied an email dated June 2, 2021 with review comments. Consultant Menge explained that after reviewing all the information provided by the applicant’s noise consultant and vendor, he understands that the projected generator will have a noise decibels level of 44 dBA for the nighttime limit. It was recommended that the Town require the applicant to conduct the monthly five-minute generator operation testing during the daytime hours as had

been mentioned in the NCE noise analysis report from Jeff Komrower of Noise Control Engineering. NOTE. Mr. Komrower also participated in the meeting via speaker phone.

Mr. Reposa explained that the security system works off its own back-up battery system first and then if there is a power outage the generator would kick on.

A comment was offered regarding the information about the selected generator as provided on the company's website. The information notes information about that model for internal use and does not provide any noise information regarding external installation. The applicant communicated that there are other external products available.

The proposed chiller was shown on the presentation screen.

It was explained that the proposed sound wall will help with the noise along the rear property line. There was a comment that it will not meet the daytime noise standards. In regard to the night control from the generator, the level would drop to 44 dBA. The applicant could further reduce noise from the emergency generator with a Level 2 enclosure and a taller noise barrier. It is the opinion of the applicant and his consultant that the Level 2 approach is more costly and not really needed. All were reminded that the generator is for emergency, back-up use and will not be the sole source of electricity and will not be continuous noise. This is emergency only and the Board has discretion. There was a recommendation to allow this for limited days and the testing could occur on weekends. The Board thinks the mitigation is adequate.

Resident Mr. Lally was present at the meeting. He provided an email dated June 7, 2021. He asked the following questions. What is the predicted noise level at the northern property line when the backup generator is operating? He explained that it could be argued that the noise from the backup generator isn't continuous so special condition C.2.b might not even apply. However, if the generator were to run all night and is predicted to be at 51dBA at the northern property line, it would violate the existing bylaw by 4dBA. The level 2 acoustic enclosure might bring the facility into noise compliance. He would like to see the level 2 acoustic enclosure put in place.

The applicant communicated that Level 2 is only made for commercial generators and not residential. Mr. Lally responded that the study presented was done with an MG130 generator. The Board questioned whether the reports presented were referencing the correct generator. The specifications were provided by the electrician. It was suggested that the applicant go to the manufacturer to make sure the correct equipment is referenced. The Consultants will confirm the information on the model unit and provide an updated review for the next meeting.

On a motion made by Rich Di Iulio and seconded by Matt Hayes, the Board voted unanimously to continue the hearing to June 22, 2021 at 7:30 pm.

PUBLIC HEARING PHYTOPIA – 6 INDUSRIAL PARK ROAD:

The Board is in receipt of the following documents: (See Attached)

- Public Hearing Notice dated 5-19-21

- Applications - medical marijuana and adult use recreational marijuana special permit, major site plan review, groundwater protection special permit, and reduced parking special permit
- Project Description
- Site Plan dated 4-1-21 by William Sparages Engineers Planners and Surveyor of Middleton, MA
- Architectural drawings dated 6-2-21 by Anderson Porter Design of Cambridge, MA
- Requests for Waivers from the *Rules and Regulations*
- Noise Study dated 4-12-21 prepared by Acentech of Cambridge, MA
- Odor mitigation undated by BLW Engineers of Littleton, MA
- Parking Evaluation dated 5-12-21 by MDM
- Letter dated 5-10-21 from Knoll Environmental
- Project review letter dated 6-8-21 from Tetra Tech

On a motion made by Rich Di Iulio and seconded by Matt Hayes, the Board voted unanimously to open the hearing and waive the reading of the public hearing notice.

The Board's engineering consultant Steve Bouley was called in by telephone.

The applicant has proposed to use the existing 53,128 sq. ft. industrial manufacturing building at 6 Industrial Park Road and construct a 66,238 sq. ft. 2 story addition to the existing building for the cultivation, manufacturing, processing, and packaging of marijuana for medical use and adult recreational use and the delivery of such products off site to retail marijuana establishments in other communities. A retail marijuana operation is not proposed. This is a 4.24-acre property located on the east side of Industrial Park Road in the East Industrial Zoning District. The property is located within the Town's groundwater protection district. The site includes wetland resources which are under the jurisdiction of the Medway Conservation Commission. The work for this project includes interior renovations to the existing building, construction of the addition, improvements to the access/egress driveways, installation of curbing, landscaping, parking area improvements, lighting, and installation of and improvement to the stormwater drainage facilities.

The applicant's representative, attorney Edward Cannon, was present, and the team was introduced. The civil engineer on the project is Chris Sparages. Mr. Sparages has prepared the site plan. He also has filed the Notice of Intent with the Conservation Commission. Mr. Sparages showed the site plan on the screen in the room. It was explained that all vehicular and pedestrian access is off Industrial Park Road which runs northerly off of Main Street/Route 109. The operation will consist of approximately 90 employees on site. The hours of operation will be 8:00 am to 8:00 pm. There will be 92 off-street parking spaces. The project will use the existing connections to municipal water and sewer.

Consultant Bouley explained that the applicant should coordinate with the Medway DPW to determine if these connections should be consolidated as part of this project. It was also recommended that the applicant provide a narrative to determine if the existing connection is sufficient to serve the project as it appears the size of the existing service is unknown.

There was discussion about the curb cuts; four are proposed – 2 off of Industrial Park Road and 2 off of Jayar Road. The Board noted that four curb cuts is excessive. The truck traffic will occur at the rear where the loading docks are located. There will be enclosed dumpsters. There will need to be snow storage. The project will have landscaped screening on the east side. There will be lighting, and it appears to spill beyond the property lines. This will need to be looked at further. The Board was informed that the applicant has been in front of the Conservation Commission and also the Design Review Committee. The applicant was reminded that they need to file their land disturbance application with the Conservation Commission.

Project architect Brian Anderson of Anderson Porter Design provided a color rendering of the buildings and reviewed the architecture and floor plan. There will be a sprinkler system. The main entrance was noted to face Industrial Park Road. There is a cooling system at the facility. The only things on the roof will be bathroom vents and air ventilation.

There is a generator in the front of the building since the electrical room is inside in that part of the building. The applicant will need to address how to attenuate that noise. This can be addressed at another time. There is a plan for odor mitigation which will be provided at another meeting.

Engineer Kevin Doherty of Knoll Engineering provided information to the Board about the environmental issues through the years at this site. He reviewed some slides which showed how the area looked 40 years ago. The investigation of the site started in 2018. There were chemicals spills by the former occupant of the property which hit the water table. The initial concern was the water supply. The soil was tested and contamination was found. There are 31 monitoring wells to determine the extent of the contamination. There will be more wells put in place next week. The outcropping of the rocks and a visual of the contaminated areas were shown. The red circles correspond to the higher levels of contamination. There are three levels of contamination. The goal is to map out the exact boundaries and then they must determine how to remove the contamination. A plan will be put in place to mitigate which will be coordinated with the MA DEP and the Conservation Commission.

Resident John Lally:

Mr. Lally wanted to know the extent of the ground water direction. Will this affect the velocity and recharge of the Town's nearby well and will the plume influence the directional change.

The applicant has submitted the following requests for waivers from the Site Plan Rules and Regulations

- Section 204-5. C.3 – Landscape Inventory
- Section.204-3. F – Development Impact Statement
- Section S.204-A. A – Registered Landscape Architect

On a motion made by Rich Di Iulio and seconded by Bob Tucker, the Board voted unanimously to continue the hearing to June 22, 2021 at 8:00 pm.

The discussion at the next hearing will focus on odor and waiver requests.

PUBLIC HEARING CONTINUATION - MEDWAY MILL SITE PLAN:

The Board is in receipt of the following documents: (See Attached)

- Public Hearing Continuation Notice
- Draft Site plan decision 6-7-21

This draft decision document had been provided to the applicant, engineer and attorney.

Present were applicant John Green, engineer Amanda Cavaliere, and attorney Danielle Justo.

The following Findings were reviewed.

- Item 1: Include additional language about that the access is improved to the site.
- Item 3: Include additional language about the abutter views and the mitigation plan which shows fencing and proposed landscaping for abutters on Lincoln Street.
- Item 5: Include additional language about the type of tree which is balsam fir in the riverfront area. There is a revision to change tree height to 10 ft. not 10 inches.
- Item 6: Include language that this will accommodate provisions of four bicycles.

Other items which were discussed:

- There is no Order of Conditions to date from the Conservation Commission.
- There was a memo from a contractor about rebuilding the stone wall at the corner of 42 Lincoln Street and the Lincoln Street driveway into the site. This information was included in the last packet. Abutter, Janine Clifford of 42 noted that the referenced letter is not from a structural engineer. John Greene explained it will be mortared at the corners and disassembled. Ms. Clifford's concern is her driveway because the stone wall holds it up. This would require the Building Inspectors determination if a structural engineer is needed. This could be addressed through a condition in the decision. There needs to be language about the finished product with similar aesthetic appearance to a rustic stone wall. The Board would like a detail included in the plan set
- The Board would like the landscaping plan for this area included in the plan set.
- The prior Special Permit from 1995 was noted as misc. findings.

The Waivers were next discussed.

- Written development impact statement. Most concerns are addressed by the Conservation Commission. The Board is ok with this.
- Waiver to not show electrical lines and locations.
- The dumpsters will have enclosure with standards about fencing as related to Design Guidelines.
- Sidewalks which come from new parking area do not ADA standards, but handicap spaces are offered at another location on site closer to the building.
- Solid waste removal requirement to use trash compactors for multi-tenant developments. The two 8-yard containers will be used. This is a pre-existing condition. The Board has no issue with this waiver.
- Landscaping buffer on western edge of property. The waiver is not needed.

- Regarding tree removal, there are 46 trees being planted. There are 12 trees in excess of 20 inches which are going to be lost due to construction. Those will be marked in field and on the plan prior to being removed. There are also trees to be planted in the remediation area. The Board wants Susy Affleck-Childs to run the numbers for the tree replacement calculations.

The conditions were next discussed:

- The bridge elevations and visual aesthetics still have not provided. Structural drawings stamped by an engineer will be included as a condition with the Conservation Commission's order of conditions. The Board still does not know how the bridge will look. A rendering can be provided. The conceptual structural plans are provided but the engineering of the bridge is through Conservation Commission. The Board should condition its approval on the rendering being provided before endorsement with review by DRC and with stamped drawings prior to construction.
- There is a condition about the fencing on site.
- The light fixtures are 20 ft. high, and this is standard. The 6 ft. alternative is on the low side. The applicant wants 12 ft. instead of 20 ft. These are box lights with shields with no overflow light. The Board is ok with the 12 ft.

It was recommended that the Board not vote until the revisions are made to the draft decision.

On a motion made by Jessica Chabot and seconded by Matt Hayes, the Board voted unanimously to continue the hearing for Medway Mills to June 22, 2021 at 9:00 pm.

CONSTRUCTION REPORTS:

The Board is in receipt of the following reports: **(See Attached)**

- Evergreen Village Summary Report by Tiberi dated May 2021
- Tetra Tech Choate Trail Field Reports dated 5-24-21 and 5-27-21
- Tetra Tech Salmon/Willows Report 5-24-21, 5-27-21, 6-1-21, 6-2-21

Salmon/Willows:

The paving at the main entrance of Salmon has been completed. There has been painting of stripes.

Evergreen Village:

The stormwater infrastructure has been brought in and will be installed in the near future.

42 Highland Choate Trail Project:

The stormwater basin is almost complete.

William Wallace:

The stormwater piping has been installed at the back of the site. The plastic structures are on site.

ZBA PETITIONS:

The Board is in receipt of the following petitions to the Zoning Board of Appeals: (**See Attached**)

- 5 Nipmuc Street
- 1 Kenart Road

5 Nipmuc Street:

The Board is not in support of this plan since the proposed garage is less than 2 ft. from the road. This is town right of way. A letter of opposition will be provided.

1 Kenart Road:

This is existing non-conforming. The applicant is making the non-conforming worse. The Planning Board recommends against this petition by 3 to 1 straw vote and direct Susy to prepare a letter to the ZBA.

PLAN REVIEW ESTIMATES – PHYTOPIA – 6 INDUSTRIAL PARK ROAD:

The Board is in receipt of the following documents: (**See Attached**)

- Estimate dated 6-3-21 from Noise Control Engineering for \$3,900 to review the noise study and mitigation plan
- Estimate dated 6-2-21 from Bruce Straughan for \$1440 to review the odor study and mitigation plan
- Estimate dated 6-3-21 from Tetra Tech for \$2,234 to review the parking study

On a motion made by Jessica Chabot and seconded by Matt Hayes, the Board voted to unanimously approve the plan estimates fees as presented.

PLAN REVIEW AND CONSTRUCTION OBSERVATION FUNDS:

The Board is in receipt of the following document: (**See Attached**)

- Memo dated 6-3-21 from Susy Affleck -Childs with recommended refunds.

On a motion made by Jessica Chabot and seconded by Matt Hayes, the Board voted to unanimously approve the plan review and construction observation refunds as presented.

BATTERY ENERGY STORAGE SYSTEM (BESS):

The Board is in receipt of the following: (**See Attached**)

- Collection of emails from local residents (Larry Ellsworth, Paul Yorkis, Marvin Dainoff, Michael Fahey, and Charlie Myers) identifying issues and information needs for the Board's BESS research.

It was recommended that the questions and concerns noted in the variety of emails be consolidated into different topic "buckets" which will then be placed into focus areas.

FUTURE MEETINGS:

- Wednesday, June 16, 2021 – Special Meeting (BESS training)
- Tuesday, June 22, 2021 – Regular Meeting

ADJOURN:

On a motion made by Jessica Chabot and seconded by Matt Hayes, the Board voted to adjourn the meeting.

The meeting was adjourned at 11:20 pm.

Prepared by,
Amy Sutherland
Recording Secretary

Reviewed and edited by,
Susan E. Affleck-Childs
Planning and Economic Development Coordinator



June 8, 2021

**Medway Planning & Economic Development Board
Meeting**

**Public Hearing Continuation – 316
Village Street Multi-Family Special
Permit**

- Public Hearing continuation notice
- Hand-drawn sketch showing driveway and parking areas
- Draft special permit decision

Board Members

Andy Rodenhiser, Chair
Robert Tucker, Vice Chair
Jessica, Chabot, Member
Richard Di Iulio, Member
Matthew Hayes, P.E.,
Member



Medway Town Hall
155 Village Street
Medway, MA 02053
Phone (508) 533-3291
Fax (508) 321-4987
Email: planningboard@townofmedway.org
www.townofmedway.org

TOWN OF MEDWAY
COMMONWEALTH OF MASSACHUSETTS
**PLANNING AND ECONOMIC
DEVELOPMENT BOARD**

RECEIVED TOWN CLERK
MAY 26 '21 PM2:15

MEMORANDUM

May 25, 2021

TO: Stefany Ohannesian, Town Clerk
Town of Medway Departments, Boards and Committees
FROM: Susy Affleck-Childs, Planning and Economic Development Coordinator
RE: **Public Hearing Continuation for 316 Village Street**
Multi-Family Housing special permit
Continuation Date – Tuesday, June 8, 2021 at 7:00 p.m.

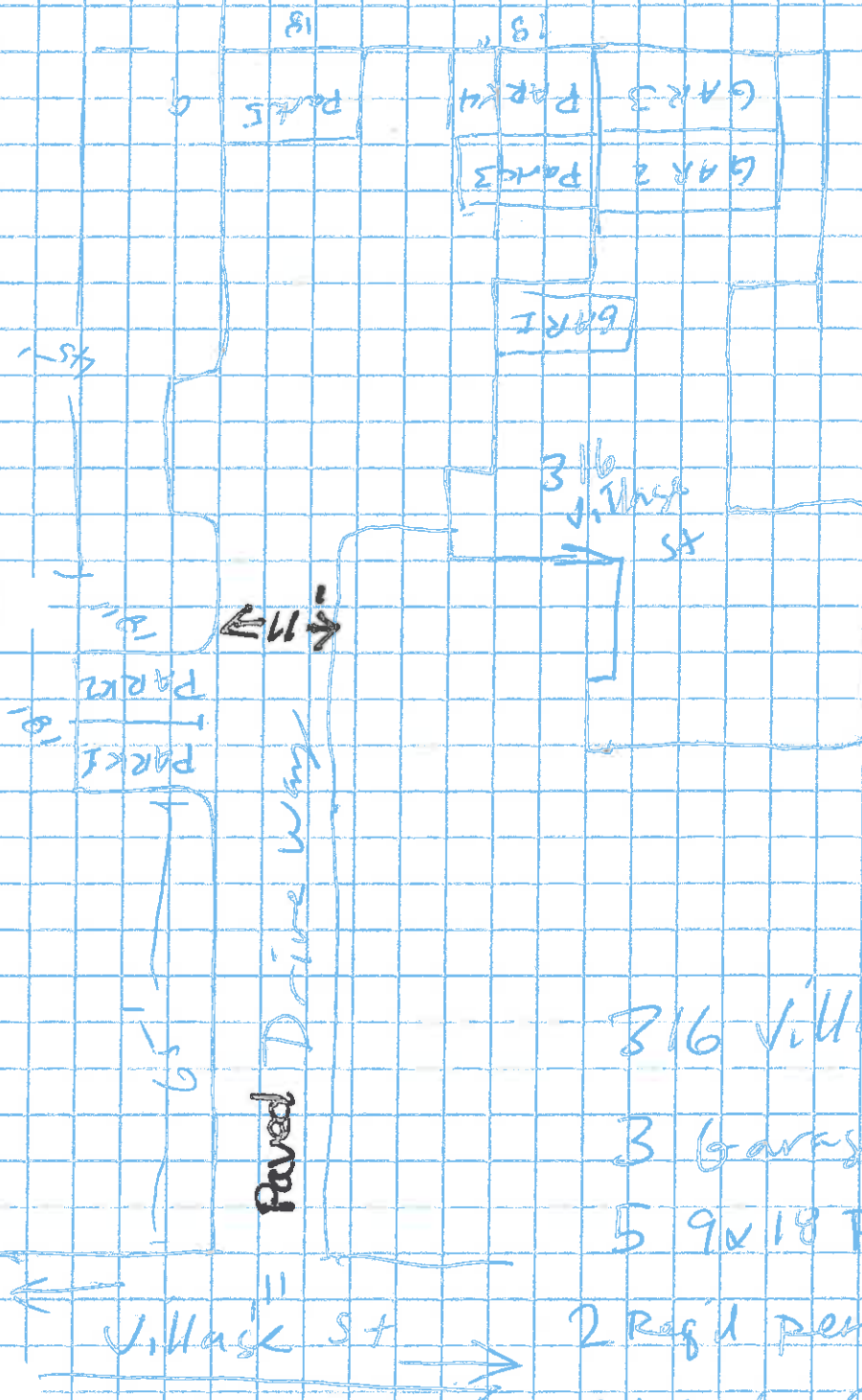


At its May 25, 2021 meeting, the Planning and Economic Development Board voted to continue the public hearing on the application of James Maloney of Hopkinton, MA for approval of a Multi-Family Housing Special Permit for the existing house at 316 Village Street. The applicant proposes to convert the premises into three dwelling units. The property is located in the Village Commercial zoning district and the Multi-Family Overlay District. It is .76 acres in size.

The applicant plans to make minor interior alterations to convert the main house into two dwelling units. The existing apartment above the attached garage, previously approved as an accessory family dwelling unit, will function without the accessory family dwelling unit designation. No other construction, changes to infrastructure, or other site improvements are planned. Nine off-street parking spaces are available. Access will be from a single curb cut (the existing driveway) from Village Street.

The application and associated documents are on file at the offices of the Town Clerk and the Planning and Economic Development Board at Medway Town Hall, 155 Village Street and may be reviewed during regular business hours. The site plan and application materials have also been posted at the Board's web page at: <https://www.townofmedway.org/planning-economic-development-board/pages/316-village-street>

The Board will review a draft decision at the June 8th hearing and is expected to vote its decision. If you have any comments or concerns about the proposal, please email me by June 2. Thanks.



316 Village Parking

3 Garage

5 9x18 Parkings Places

2 Reg'd per unit.

Not to Scale

James Malgray 27 May 2021 617 686 4860

Board Members

Andy Rodenhiser, Chair
Robert Tucker, Vice Chair
Jessica Chabot, Associate
Member
Richard Di Iulio, Member
Matthew Hayes, P.E., Member



TOWN OF MEDWAY
COMMONWEALTH OF MASSACHUSETTS

**PLANNING AND ECONOMIC
DEVELOPMENT BOARD**

Medway Town Hall
155 Village Street
Medway, MA 02053
Telephone (508) 533-3291
Fax (508) 321-4987
Email: planningboard
@townofmedway.org
www.townofmedway.org

DRAFT - June 4, 2021

MULTI-FAMILY HOUSING SPECIAL PERMIT
316 Village Street
_____ with Conditions

Decision Date: June 8, 2021

Name of Applicant/Permittee: James Maloney

Address of Applicant: 15 Church Street
Hopkinton, MA 01748

Name/Address of Property Owners: Brian and Elizabeth Curran
Stephen and Bonny Gray
316 Village Street
Medway, MA 02053

Property Location: 316 Village Street

Assessors' Reference: Map 58, Parcel 204

Zoning District: Village Commercial District
Multi-Family Housing Overlay District

Commented [SA1]: The applicant is closing on the purchase of the property on 6-8-21 at 8 am.

I. PROJECT DESCRIPTION – The applicant proposes to convert the existing residential building at 316 Village Street into three dwelling units. This entails making minor interior alterations to convert the main house into two dwelling units. The existing apartment above the attached garage, previously approved as an accessory family dwelling unit, will function without the accessory family dwelling unit designation. No other construction, changes to infrastructure, or other site improvements are planned. Nine off-street parking spaces are available. Access will be from the existing driveway from Village Street. The property is 0.76 acres in size. The house is vintage 1860. The applicant is the buyer on a purchase and sale agreement.

The proposed use requires a multi-family housing special permit pursuant to Sections 5.6.4 and 3.4 of the Town of Medway *Zoning Bylaw* (the “Bylaw”).

II. VOTE OF THE BOARD – After reviewing the application and information gathered during the public hearing and review process, the Medway Planning and Economic Development Board (the “Board”), at a meeting held on June 8, 2021, on a motion made by _____ and seconded by _____ **voted to _____ with CONDITIONS a Multi-Family Housing Special Permit to James Maloney of Hopkinton, MA (hereafter referred to as the Applicant or the Permittee) for the use of 316 Village Street as a three unit, multi-family building.**

The motion was _____ by a vote of ____ in favor and ____ opposed.

Planning & Economic Development Board Member	Vote
Jessica Chabot	
Richard Di Iulio	
Matthew Hayes	
Andy Rodenhiser	
Robert Tucker	

III. PROCEDURAL HISTORY

- A. May 3, 2021 – Special permit application and associated materials filed with the Planning and Economic Development Board.
- B. May 6, 2021 – Special permit application and associated materials filed with the Town Clerk.
- C. May 6, 2021 - Public hearing notice filed with the Town Clerk and posted at the Town of Medway web site.
- D. May 6, 2021 - Public hearing notice mailed to abutters by certified sent mail.
- E. May 10, 2021 – Project information distributed to Town boards, committees and departments for review and comment.
- F. May 10 and 18, 2021 - Public hearing notice advertised in *Milford Daily News*.
- G. May 25, 2021 - Public hearing commenced. The public hearing was continued to June 8, 2021 when a decision was rendered and the hearing was closed.

IV. INDEX OF SPECIAL PERMIT DOCUMENTS

- A. The application materials for the proposed multi-family development at 316 Village Street included the following documents that were provided to the Board at the time the application was filed:
 - 1. Multi-Family Housing Special Permit application dated April 28, 2021.
 - 2. Project Description

3. Certified Abutters List from Medway Assessor's office dated April 28, 2021
4. Purchase and Sale Agreement for 316 Village Street dated April 20, 2021
5. Medway ZBA decision dated September 21, 2011 regarding the use of the property for an accessory family dwelling unit
6. Hand drawn floor plan showing division of main building into two dwelling units

B. During the course of the Board's review, a variety of other materials were submitted to the Board by the Applicant:

1. Mortgage Inspection plan dated October 15, 2019 by Reney, Moran, & Tivnan, Registered Land Surveyors, Worcester, MA
2. Hand drawn plot plan showing driveway, garages and parking spaces.

C. Other documentation submitted to the Board during the course of the public hearing:

1. Collection of property photos compiled from online sources
2. Review comments dated May 21, 2021 from Susy Affleck-Childs, Planning and Economic Development Coordinator

V. **TESTIMONY** – The first night of the public hearing, pursuant to Governor Baker's March 12, 2020 Order Suspending Certain Provisions of the Open Meeting Law, and the Governor's Orders imposing strict limitations on the number of people that may gather in one place, was held via ZOOM online meeting platform. All persons participated remotely. The second night of the public hearing on June 8, 2021 was held in person.

In addition to the special permit application materials as submitted and provided during the course of its review, the Board heard and received verbal testimony from:

- James Maloney, applicant

Abutter Testimony During the Public Hearing

- Adam Rosa, 312 Village Street – verbal and written testimony
- Jane Norris, 314 Village Street – verbal and written testimony

VI. **FINDINGS** - The Board, at its meeting on June 8, 2021, on a motion made by _____ and seconded by _____, voted to _____ the following **FINDINGS** regarding the Special Permit for the proposed multi-family development at 316 Village Street. The motion was _____ by a vote of ____ in favor and ____ opposed.

A. MULTIFAMILY HOUSING SPECIAL PERMIT FINDINGS - The Board makes the following findings in relation to this development's compliance with Section 5.6.4 Multifamily Housing of the *Bylaw*.

Applicability

1. Location - The property is located within the Multi-Family Overlay District and the proposal is for the preservation of an existing house which the Bylaw encourages. Thus the property is eligible for a multi-family special permit.
2. Traffic capacity – Village Street is an east-west through street and has sufficient capacity to handle the traffic from the three units that are proposed. The three units do not rise to the level of triggering the requirement for preparation of a traffic study.

3. Parcel size and frontage - The site has 107.25' of frontage on Village Street, more than the minimum 50' requirement for a multi-family development. The property is 0.76 acres in size and exceeds the minimum lot size of 10,000 sq. ft. for the Village Commercial Zoning District.

Dimensional Requirements

4. The dimensional requirements of the underlying Village Commercial zoning district apply to the project, as set forth in Table 2 of Section 6 of the *Zoning Bylaw*. The provided 2019 mortgage inspection plan does not specify the front, rear and side setbacks but upon analysis of that plan, it is evident that the building meets the minimum 20' front setback, and 10' side and rear setback requirements of the Village Commercial district.
5. The *Bylaw* requires that the building height not exceed 40'. We cannot determine what the building height is. However, the Board finds that the intent of the *Bylaw*'s height limitation language pertains to the height of proposed new construction, not to the height of an existing structure.

Density

6. Density – The *Bylaw* specifies that the maximum possible density shall not exceed eight dwelling units per whole acre. For a lot under one acre in size such as this one, the density of a multi-family building shall not exceed its relative portion of an acre. As the property is 0.76 acres, the maximum possible number of units that could be approved is six. The applicant is proposing three dwelling units. Therefore, the project meets the allowed density.

Special Regulations

7. Affordable Housing - The project does not need to comply with the Town's Affordable Housing Requirement as the quantity of multi-family residential units (3) does not trigger its applicability.
8. Open Space – The *Bylaw* prescribes that there shall be open space or yard area equal to at least 15% of the parcel's total area. Although the 2019 mortgage inspection plan does not specify an amount of open space, it is evident from that plan that more than 15% of the site is yard area.
9. Parking – The *Bylaw* requires at least 2 parking spaces per unit. There are nine existing parking spaces, 3 in the garage and 6 outside.
10. Town water and sewer service - The project will be served by Town water and sewer service presently located in Village Street.
11. Historic Property – The Medway Assessor's records indicate the existing building is vintage 1860. The vintage building will be retained under this Special Permit.
12. Site Plan – A site plan has not been provided as no new site improvements are proposed.

Decision Criteria

13. Meets the purposes of the Multi-Family Housing section of the *Zoning Bylaw* (Section 5.6.4) - *The project meets the following purposes of the Multifamily Housing section of the Bylaw: (1) provide a diversity of housing types in the form of apartment units; (2) promote pedestrian oriented development as the subject property is located within an older,*

walkable neighborhood; and (3) encourage the preservation of older and architecturally significant properties.

14. Consistent with the Medway Housing Production Plan (HPP) - *The proposed development meets the HPP's implementation strategy of encouraging the use of the Multi-Family Housing special permit provisions of the Zoning Bylaw and providing additional options for multi-family housing.*
15. Impact on abutting properties and adjacent neighborhoods –Two abutting property owners of single-family residences provided testimony opposing issuance of the multi-family special permit.

MORE NEEDED HERE – What does the Board want to say?

16. Variety of housing stock - *The development increases the variety of housing stock in the community by adding a total of three apartments to the town's predominantly detached single-family housing supply.*
17. Designed to be reflective of or compatible with the character of the surrounding neighborhood - *The surrounding neighborhood includes a mix of housing types including single family, two-family and multi-family residences. This proposal is for the re-use of the existing building; no new construction is planned where the building design might not be compatible with the character of the neighborhood. The proposal is both reflective of and compatible with the character of the surrounding neighborhood. Further, the proposed residential use is more in keeping with adjacent properties than commercial uses which are allowed by right in the Village Commercial district.*

B. GENERAL SPECIAL PERMIT DECISION CRITERIA FINDINGS – Unless otherwise specified herein, special permits shall be granted by the special permit granting authority only upon its written determination that the adverse effects of the proposed multifamily housing use will not outweigh its beneficial impacts to the town or the neighborhood, in view of the particular characteristics of the site, and of the proposal in relation to that site.

The Board makes the following findings in accordance with Section 3.4 of the *Zoning Bylaw*. In making its determination, the special permit granting authority, in addition to any specific factors that may be set forth in other sections of the *Bylaw*, shall make findings on all of the applicable criteria specified below:

1. The proposed site is an appropriate location for the proposed use. *The proposed use is a multi-family development within the Multi-Family Housing Overlay District as approved by Town Meeting. The surrounding neighborhood includes a mixture of single family, two-family, and multi-family dwellings. Therefore, the proposed use is in an appropriate location.*
2. Adequate and appropriate facilities will be provided for the operation of the proposed use. *As documented in the submitted materials, adequate and appropriate facilities will be provided for the operation of the proposed uses. The project will be serviced by Town water and sewer systems. Private electric and gas utilities will be provided. There is no increase in impervious surface area that would necessitate new stormwater management facilities.*
3. The proposed use as developed will not create a hazard to abutters, vehicles, pedestrians or the environment. *Town officials were provided an opportunity to comment on the proposed*

development and no review comments were received. The Board has not received any testimony that the proposed use of the property for 3 residential units will create a hazard to abutters, vehicles, pedestrians or the environment.

4. The proposed use will not cause undue traffic congestion or conflicts in the immediate area. *Village Street has the capacity to handle the traffic from the 3 residential units. As conditioned herein, the development is not permitted to have additional resident parking on Village Street.*
5. The proposed use will not be detrimental to the adjoining properties due to lighting, flooding, odors, dust, noise, vibration, refuse materials or other undesirable visual, site or operational attributes of the proposed use. *There are no changes planned to the site that would result in detriments to the adjoining properties. There is no expanded footprint that would necessitate stormwater management facilities. Household refuse will be disposed of by individual waste containers for each household. There will be no detrimental impact on abutters due to odors, dust, noise, vibration, refuse materials or other undesirable environmental impacts.*
6. The proposed use as developed will not adversely affect the surrounding neighborhood or significantly alter the character of the zoning district. *The proposed use is within the Multi-Family Housing Overlay District. The surrounding neighborhood includes other multi-family buildings and thus this development will not alter the character of the neighborhood.*
7. The proposed use is in harmony with the general purpose and intent of the Zoning Bylaw. *The Multi-Family Housing provisions of the Bylaw were specifically established to encourage this type of use subject to certain conditions to limit adverse impacts. The proposed use is in harmony with the general purpose and intent of the Bylaw.*
8. The proposed use is consistent with the goals of the Medway Master Plan. *The proposed use is consistent with the Master Plan goals of identifying housing needs and implementing projects to meet those needs such as increasing housing diversity.*
9. The proposed use will not be detrimental to the public good. *As documented in the plans and application, and the findings and conditions of this decision, the proposed use is in accordance with the goals of the Master Plan while protecting against potential adverse impacts. The proposed development has reasonable and appropriate density in a suitable location, and will not be detrimental to the public good.*

For all of the above reasons, the Board finds that the beneficial impacts of the proposed 3-unit apartment development at 316 Village Street outweigh the effects of the proposed use on the Town and neighborhood.

- VII. CONDITIONS** - The *Special and General Conditions* included in this Decision shall assure that the Board's approval of this site plan complies with the *Bylaw*, Section 3.4 (Special Permits) and Section 5.6.4 (Multi-Family Housing), and that concerns of abutters and other town residents which were provided during the public hearing process have been considered. The Board's issuance of a special permit is subject to the following conditions:

SPECIFIC CONDITIONS OF APPROVAL

- A. Notwithstanding any future amendment of the *Bylaw*, G.L. c.40A, or any other legislative act:

1. The maximum number of dwelling units to be developed under this special permit shall be three.
 2. The tract of land on which this multi-family development will be located shall not be altered or used except:
 - a) as granted by this special permit;
 - b) in accordance with subsequent approved plans or amendments to this special permit.
 3. The tract of land and buildings comprising 316 Village Street development shall not be used, sold, transferred or leased except in conformity with this special permit and shall not be further divided.
- B. **Recording of Decision**
1. No building permit shall be issued before this special permit decision is recorded at the Norfolk County Registry of Deeds.
 2. The Permittee or its assigns or successors shall provide the Board with a receipt from the Norfolk County Registry of Deeds indicating that the specified documents have been duly recorded or supply another alternative verification that such recording has occurred.
- C. **Open Space/Yard Area** - At least 15% of the site shall be retained as open space and/or yard area in perpetuity. This is an ongoing obligation of the owner of 316 Village Street. This area shall be unpaved but may be landscaped or left natural, with the balance being trees, shrubs and grass suitable for the site. This area may include a play area or other communal recreational space.
- D. **Parking** – The project includes nine off-street parking spaces. Regular on-street parking of the occupants of the dwelling units on Village Street is prohibited.
- E. **Water Use and Conservation**
1. The development is relying on the Town’s public water system and the Town is being held to its Water Management Act Permit with the MA Department of Environmental Protection. The Permittee shall incorporate the following water conservation measures for any renovation of the units:
 - a. rain-gauge controlled irrigation systems
 - b. low flow household fixtures
 - c. water efficient appliances (dishwashers, washer/dryers, toilets, etc.)
 2. The Permittee shall not use Town water for irrigation of the site’s lawn and landscaping. A private well may be installed pursuant to application and receipt of necessary permits from the Board of Health.
- F. **Fire Protection** – This project is subject to local, state and federal fire codes.

GENERAL CONDITIONS OF APPROVAL

- A. The term “Applicant” and “Permittee” as used in this decision and permit refers to the owner, any successor in interest, title or successor in control of the property referenced in the applications, supporting documents and this decision and permit. The Board shall be notified in writing within 30 days of all transfers of title of any

portion of the property that take place prior to issuance of a Certificate of Site Plan Completion.

- B. **Other Permits** – This permit does not relieve the Permittee from its responsibility to obtain, pay and comply with all other required federal, state and Town permits. The contractor for the Permittee or assigns shall obtain, pay and comply with all other required Town permits.

- C. **Restrictions on Construction Activities** – During construction, all local, state and federal laws shall be followed regarding noise, vibration, dust and blocking of Town roads. The Permittee and its contractors shall at all times use all reasonable means to minimize inconvenience to abutters and residents in the general area. The following specific restrictions on construction activity shall apply.

Commented [SA2]: Is this section needed?

1. **Construction Time** - Construction work at the site and in the building and the operation of construction equipment including truck/vehicular and machine start-up and movement and construction deliveries shall commence no earlier than 7 a.m. and shall cease no later than 6 p.m. Monday – Saturday. No construction shall take place on Sundays and federal and/or state legal holidays without the advance approval of the Building Commissioner. These rules do not apply to interior construction work such as painting, installation of drywall, flooring, etc.
2. Prior to commencing any work on the site, the Permittee shall install a stone construction entrance (tracking pad) not less than 20' wide and not less than 30' in length, of a stone size averaging 1" to 4".
3. The Permittee shall take all measures necessary to ensure that no excessive dust leaves the premises during construction including use of water spray to wet down dusty surfaces.
4. There shall be no tracking of construction materials onto any public way. Daily sweeping of roadways adjacent to the site shall be done to ensure that any loose gravel/dirt is removed from the roadways and does not create hazardous or deleterious conditions for vehicles, pedestrians or abutting residents. In the event construction debris is carried onto a public way, the Permittee shall be responsible for all clean-up of the roadway which shall occur as soon as possible and in any event within twelve (12) hours of its occurrence.
5. The Permittee is responsible for having the contractor clean-up the construction site and the adjacent properties onto which construction debris may fall on a daily basis.
6. All erosion and siltation control measures shall be installed by the Permittee prior to the start of construction and observed by the Board's consulting engineer and maintained in good repair throughout the construction period.
7. **Construction Traffic/Parking** – During construction, adequate provisions shall be made on-site for the parking, storing, and stacking of construction materials and vehicles. All parking for construction vehicles and construction related traffic shall be maintained on site. No parking of

construction and construction related vehicles shall take place on adjacent public or private ways or interfere with the safe movement of persons and vehicles on adjacent properties or roadways.

8. *Noise* - Construction noise shall not exceed the noise standards as specified in the Medway General Bylaws and the *Bylaw*, 7.3 Environmental Standards.
- D. *Snow Storage and Removal* - On-site snow storage shall not encroach upon nor prohibit the use of any parking spaces required by the *Bylaw* or this permit.
- E. *Construction Standards* - All construction shall be completed in full compliance with all local, state and federal laws, including but not limited to the Americans with Disabilities Act and the regulations of the Massachusetts Architectural Access Board for handicap accessibility as applicable.
- F. *Conflicts* – If there is a conflict between this Decision and the *Bylaw*, the *Bylaw* shall apply.

VIII. APPEAL

The Board and the Applicant have complied with all statutory requirements for the issuance of this Decision on the terms set forth herein. A copy of this Decision will be filed with the Medway Town Clerk and mailed to the Applicant, and notice will be mailed to all parties in interest as provided in G.L. c. 40A §15.

Any person aggrieved by the decision of the Board may appeal to the appropriate court pursuant to Massachusetts General Laws, Chapter 40A, §17, and shall be filed within twenty days after the filing of this decision in the office of the Medway Town Clerk.

In accordance with G.L. c. 40A, §11, no special permit shall take effect until a copy of the Decision is recorded in the Norfolk County Registry of Deeds, and indexed in the grantor index under the name of the owner of record, or is recorded and noted on the owner's certificate of title, bearing the certification of the Town Clerk that twenty days have elapsed after the Decision has been filed in the office of the Town Clerk and no appeal has been filed within said twenty day period, or that an appeal has been filed. The person exercising rights under a duly appealed special permit does so at risk that a court will reverse the permit and that any construction performed under the permit may be ordered undone. The fee for recording or registering shall be paid by the Applicant. A copy of the recorded Decision, and notification by the Applicant of the recording, shall be furnished to the Board.

###

Medway Planning and Economic Development Board
316 Village Street MULTI-FAMILY SPECIAL PERMIT

Approved by the Medway Planning & Economic Development Board: _____

Signatures:

Printed Name _____

Printed Name _____

Printed Name _____

Printed Name _____

Printed Name _____

Copies to: Michael Boynton, Town Administrator
David D’Amico, Department of Public Works
Mike Fasolino, Deputy Fire Chief
Donna Greenwood, Assessor
Beth Hallal, Health Agent
Jeff Lynch, Fire Chief
Jack Mee, Building Commissioner and Zoning Enforcement Officer
Pete Pelletier, Department of Public Works
Erika Robertson, Building Department Compliance Officer
Joanne Russo, Treasurer/Collector
Barbara Saint Andre, Director of Community and Economic Development
Jeff Watson, Police Department
James Maloney
Brian and Elizabeth Curran
Stephen and Bonny Gray



June 8, 2021

**Medway Planning & Economic Development Board
Meeting**

**Elect Officers and Appoint Committee
Representatives & Liaisons**

- Memo from Susy Affleck-Childs dated May 20,
Collection listing officers and boards/committees

Susan E. Affleck-Childs

Planning and Economic
Development Coordinator



Medway Town Hall
155 Village Street
Medway, MA 02053
Phone (508) 533-3291
Fax (508) 321-4987
Email: sachilds@
townofmedway.org
www.townofmedway.org

TOWN OF MEDWAY
COMMONWEALTH OF MASSACHUSETTS
PLANNING AND ECONOMIC
DEVELOPMENT OFFICE

May 20, 2021

TO: Planning & Economic Development Board Members
FROM: Susy Affleck-Childs
RE: Board Reorganization - Board/Committee Officers, Representatives and Liaisons

It is that time of year for the PEDB to select PEDB officers and members to serve on or function as liaisons to other Town boards and committees for Fiscal Year 22 (July 1, 2021 – June 30, 2022). Please review the lists below and be prepared to discuss your interests at the May 25, 2021 meeting.

PEDB Officers

Chair
Vice-Chair
Clerk

PEDB Representatives and Liaisons

Presently Assigned

FY 22

The PEDB has official representation on the following committees.

This involves regular attendance at meetings.

Community Preservation Committee	Matt Hayes	_____
Design Review Committee	Tom Gay	_____
	(Rich Di Iulio alt.)	_____
Economic Development Committee	Rich Di Iulio	_____
Open Space & Recreation Plan Update Task Force	Matt Hayes	_____
Sign Bylaw Review Task Force	Tom Gay	_____
Town Bylaw Review Committee	Tom Gay	_____
Master Plan Committee	Jess Chabot	_____

Board/Committee Liaisons – Regular meeting attendance not required

Affordable Housing Committee & Trust	Andy Rodenhiser	_____
Agricultural Commission	Bob Tucker	_____
Board of Assessors	Andy Rodenhiser	_____
Board of Health	Andy Rodenhiser	_____
Board of Water/Sewer Commissioners	Andy Rodenhiser	_____
Capital Improvements Planning Committee	Matt Hayes	_____
Conservation Commission	Bob Tucker	_____
Energy & Sustainability Committee	Bob Tucker	_____
Finance Committee	Bob Tucker	_____
Historical Commission	Matt Hayes	_____
Open Space Committee	Rich Di Iulio	_____
Redevelopment Authority	Andy Rodenhiser	_____
SWAP	Rich Di Iulio	_____
Town Manager/Board of Selectmen	Andy Rodenhiser	_____
Zoning Board of Appeals	Jess Chabot	_____

Other Groups

Medway Business Council	Andy Rodenhiser	_____
-------------------------	-----------------	-------



June 8, 2021

**Medway Planning & Economic Development Board
Meeting**

**Public Hearing – Good Feels Special
Permit Modification**

UPDATED

- Public Hearing Notice dated 5-18-21
- Application to modify marijuana special permit dated 5-4-21
- Explanation of proposed modification
- Drawings showing exterior chiller, generator and sound barrier dated 5-13-21 by Joe the Architect
- Noise analysis dated 5-26-21 by Noise Control Engineering (for the applicant)
- Review dated 6-2-21 by HMMH (PEDB's consultant) of applicant's noise analysis
- **6-7-21 email from John Lally**
- **6-8-21 email from John Lally**



Board Members

Andy Rodenhiser, Chair
Robert Tucker, Vice Chair
Thomas Gay, Clerk
Matthew Hayes, P.E.,
Member
Richard Di Iulio, Member
Jessica Chabot, Associate
Member

Medway Town Hall
155 Village Street
Medway, MA 02053
Phone (508) 533-3291
Fax (508) 321-4987
Email: planningboard@townofmedway.org
www.townofmedway.org

TOWN OF MEDWAY
COMMONWEALTH OF MASSACHUSETTS
PLANNING AND ECONOMIC
DEVELOPMENT BOARD

May 18, 2021

NOTICE OF PUBLIC HEARING

Good Feels Inc. - 23 Jayar Road
Proposed Modification to Recreational Marijuana Establishment
Special Permit and Site Plan

In accordance with the *Medway Zoning Bylaw*, Section 8.10 Recreational Marijuana and the provisions of Chapter 40A, Massachusetts General Laws, notice is given that the ***Medway Planning and Economic Development Board (PEDB) will hold a public hearing on Tuesday, June 8, 2021 at 7:30 p.m. to consider the application of Good Feels Inc. of Medway, MA for approval of a modification to the previously issued special permit to operate a recreational marijuana product manufacturing establishment at 23 Jayar Road and to the associated site plan.*** The hearing will take place at Medway Town Hall, 155 Village Street. The meeting room is accessible via elevator for individuals with physical disabilities or challenges.

The 1.374 acre property (Map 24, Parcel 014) is owned by the William F. Reardon Revocable Trust of Medway, MA. It is located on the north side of Jayar Road in the East Industrial zoning district. The subject property is east of property owned by Ellen Realty Trust, south of property owned by John and Anne Lally, and west of property owned by 25 Jayar Road Trust. The property is located within the Town's Groundwater Protection District.

In January 2021, the PEDB granted a marijuana special permit decision to use 1,896 sq. ft. of the existing commercial/industrial building at 23 Jayar Road for the production and packaging of marijuana infused products for adult recreational use. The proposed change is to modify the previously issued decision in order to allow for the outdoor installation of an enclosed back-up emergency generator and chiller with sound insulation along the back wall of the building. The plan modification is shown on *Good Feels Inc. Permit Plan*, dated 5/13/2021 prepared by Joe the Architect, LLC of Somerville, MA.

The application and associated documents are on file at the offices of the Town Clerk and the Planning and Economic Development Board at Medway Town Hall, 155 Village Street and may be reviewed during regular business hours. The application materials have been posted at the Board's web page at: <https://www.townofmedway.org/planning-economic-development-board/pages/current-applications-pedb-0>

Members of the public may watch the meeting on Medway Cable Access - channel 11 on Comcast Cable or channel 35 on Verizon Cable, on <https://www.facebook.com/medwaycable/> or <https://livestream.com/medwaycableaccess/events/7583840>.

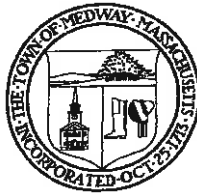
Interested persons are invited to review the application, attend the public hearing, and express their views. Written comments may be forwarded to: planningboard@townofmedway.org. All comments will be entered into the record during the hearing. Questions should be directed to the Planning and Economic Development office at 508-533-3291.

Andy Rodenhiser, Chairman

For publication in the *Milford Daily News*:

Monday, May 24, 2021

Tuesday, June 1, 2021



Planning & Economic Development Board - Town of Medway, MA

MARIJUANA SPECIAL PERMIT

Application to Modify a Previously Approved Marijuana Special Permit Decision and/or Plan

INSTRUCTIONS TO APPLICANT/OWNER

This Application is made pursuant to the Medway Zoning Bylaw.

The Board may ask the Town's Planning and Engineering Consultants to review the application and the proposed Special Permit modification and provide review letters. A copy of those review letters will be provided to you in advance of the meeting.

You and/or your duly authorized Agent/Designated Representative are expected to attend the Board meetings at which your application will be considered to answer any questions and/or submit such additional information as the Board may request. Your absence may result in a delay in the Board's review of the proposed modification.

May 10th, 2021

APPLICANT INFORMATION

Applicant's Name: Good Feels Inc

Mailing Address: 1 Shady Ln, Medway, MA 02053

Name of Primary Contact: Jason Reposa

Telephone: Office: Cell: 617-201-6025

Email address: jason@getgoodfeels.com

PREVIOUS MARIJUANA SPECIAL PERMIT INFORMATION

Development Name: Good Feels Inc. Medway Suite 6

Date of Marijuana Special Permit Decision: January 12th, 2021

Date of Plan Endorsement: January 12th, 2021

RECEIVED TOWN CLERK
MAY 17 '21 PM 1:57

Type of Permit:

- ☐ Retail Registered Medical Marijuana Facility
☐ Non-Retail Registered Medical Marijuana Facility
☒ Recreational (Adult Use) Marijuana Establishment

Recording information of previous permit and plan (book & page info, date)

Book 39267, Page 295

4/13/2021 @ 10:16a

PROPERTY INFORMATION

Location Address: 23 Jayar Rd., Suite #6, Medway, MA 02053

The land shown on the plan is shown on Medway Assessor's Map # 24 as Parcel # 014

SCOPE OF PROPOSED MODIFICATION

This is a petition to: (Check all that apply)

1. ☒ **Amend/Modify/Revise a previously approved marijuana site plan**

What modifications are proposed? Why does the Plan need to be modified? **Attach a complete description of the proposed modified scope of work.**

Plan Modification Title: Good Feels Inc. Medway Suite 6

Plan Date: 5/13/2021

Prepared by:

Name: Alberto Cabre

Firm: Joe The Architect LLC

Phone #: 617-764-3593 Email: alberto@joethearchitect.com

2. ☒ **Amend/Modify/Revise a previously approved special permit decision.**

How and why does the Decision need to be modified? **Attach a thorough description/ explanation. Specify which condition needs to be changed.**

3. ☐ **Request Additional Waivers from the Site Plan Rules and Regulations**

Provide a completed Waiver Request form for each additional waiver request you seek.

PROPERTY OWNER INFORMATION (if not applicant)

Property Owner's Name: William F. Reardon 2007 Revocable Trust

Mailing Address: 89 Main St., Suite 105, Medway, MA 02053

Primary Contact: David Moniz

Telephone:
Office: 508-533-8100 Cell: 508-223-6916

Email address: reardonproperties89@gmail.com

CONSULTANT INFORMATION

ENGINEER: Colonial Engineering, Inc.

Mailing Address: 11 Awl St
Medway, MA 02053

Primary Contact: Paul DeSimone

Telephone:
Office: 508 533 1644 Cell:

Email address: colonial.eng@verizon.net

Registered P.E. License #:

SURVEYOR: Colonial Engineering, Inc. _____

Mailing Address: 11 Awl St _____
Medway, MA 02053 _____

Primary Contact: Paul DeSimone _____

Telephone: _____
Office: 508 533 1644 _____ Cell: _____

Email Address: colonial.eng@verizon.net _____

Registered P.L.S. License #: 34303 _____

ARCHITECT: Joe The Architect LLC _____

Mailing Address: 343 Medford Street 4C _____
Somerville, MA 02145 _____

Primary Contact: Alberto Cabre _____

Telephone: _____
Office: 617-764-3593 _____ Cell: _____

Email address: alberto@joethearchitect.com _____

Registered Architect License #: 10708 _____

LANDSCAPE ARCHITECT/DESIGNER: _____

Mailing Address: _____

Primary Contact: _____

Telephone: _____
Office: _____ Cell: _____

Email address: _____

Registered Landscape Architect License #: _____

DESIGNATED REPRESENTATIVE INFORMATION

Name: _____

Address: _____

Telephone: _____
Office: _____ Cell: _____

Email address: _____

SIGNATURES

The undersigned, being the Applicant for approval of a modification to a previously approved marijuana special permit and/or associated site plan, herewith submits this application to the Medway Planning and Economic Development Board for review and approval.

I hereby certify, under the pains and penalties of perjury, that the information contained in this application is a true, complete and accurate representation of the facts regarding the property under consideration.

(If applicable, I hereby authorize None to serve as my Agent/ Designated Representative to represent my interests before the Medway Planning & Economic Development Board with respect to this application.)

In submitting this application, I authorize the Board, its consultants and agents, Town staff, and members of the Design Review Committee to access the site during the plan review process.

<u>David Moniz</u>	<u>DAVID MONIZ</u>	<u>05-10-2021</u>
Signature of Property Owner	Printed Name	Date
<u>[Signature]</u>	<u>Jason Reposa</u>	<u>5/10/2021</u>
Signature of Applicant (if other than Property Owner)	Printed Name	Date

_____ Signature of Agent/Designated Representative	_____ Printed Name	_____ Date
---	-----------------------	---------------

MARIJUANA SPECIAL PERMIT MODIFICATION FEES

Filing Fee (modification to decision) - \$250

Filing Fee (modification to plan) - \$250

Advance on Plan Review Fee - \$500

(Submit a separate check for the plan review fee)

Make checks payable to: Town of Medway

Please call the Planning and Economic Development Office with any fee questions. 508-533-3291.

MARIJUANA SPECIAL PERMIT MODIFICATION APPLICATION CHECKLIST

- _____ Two (2) original marijuana special permit modification applications with signatures.
- _____ IF APPLICABLE, three (3) full size copies and one (1) 11" x 17" version of the proposed Site Plan Modification prepared in accordance with Sections 204-4 and 204-5 of the *Medway Site Plan Rules and Regulations* plus an electronic version.
- _____ Certified Abutters List and 3 sets of labels from the Medway Assessor's office – for 300 feet around the subject property.
- _____ Explanation as to how and why the plan and/or decision need to be modified.
- _____ IF APPLICABLE, Request(s) for Waivers from the *Medway Site Plan Rules and Regulations* - Form Q.
- _____ IF APPLICABLE, two (2) copies of revised Stormwater Drainage Calculations prepared in conformance with Section 204 – 3, G of the *Site Plan Rules and Regulations*
- _____ Marijuana Permit Modification Filing Fee – Payable to Town of Medway
- _____ Advance of Plan Review Fee – Payable to Town of Medway



Explanation of Modifications to Special Permit

Last Updated: **May 26th, 2021**

Author: **Jason Reposa**

Proposed Modifications

Good Feel proposes to make two modifications to the existing Special Permit.

1. We would like to amend a previously approved marijuana site plan, to include:
 - a. A **generator** external to the facility along the back wall, as seen in the architectural drawings.
 - b. A **chiller** external to the facility along the back wall alongside the generator, as seen in the architectural drawings.
 - c. A padlocked enclosure to secure the equipment from intrusion.
 - d. 2" sound absorption panels on the wall where the equipment will be located
 - e. Bollards to protect the equipment from accidental damage.
2. We would like to revise a previously approved special permit decision, as such:
 - a. Removal of specific condition E.

~~E. **Outdoor Storage of Equipment**—The Permittee is not authorized to construct a permanent installation for a back-up generator outside the building.~~

- b. Addition of waiver for emergency generator

The Permittee is allowed to operate a back-up generator for emergency purposes only and for its monthly maintenance test, lasting approximately 5 minutes.

Supporting Documentation

1. Spec sheets for both the generator and chiller are included.
2. The spec sheet for the proposed sound absorbing panels is included.
3. The architect's drawing shows the proposed location of all equipment.
4. A sound engineer's report has been included to confirm the equipment and location are within the allowable limits of the current Special Permit plan.

Explanation of Modifications

Generator

The original plan of contracting with an on-demand generator company was not resolvable. Having a permanently installed generator allows for continuous operation of the facility's security system and lighting. The Cannabis Control Commission requires at minimum a 24 hour power backup for the security cameras and access control doors.

Outside of a monthly test cycle that lasts approximately 5 minutes, the generator is only to be used in emergency situations.

Chiller

It was anticipated that we would be able to use an internal (inside the facility) chiller to cool down the water for our products. However, it was brought to our attention that using an internal chiller would compete with the HVAC system, causing unnecessary energy usage. Therefore, it will need to be placed outside of the facility to ensure optimal operation.

Enclosure

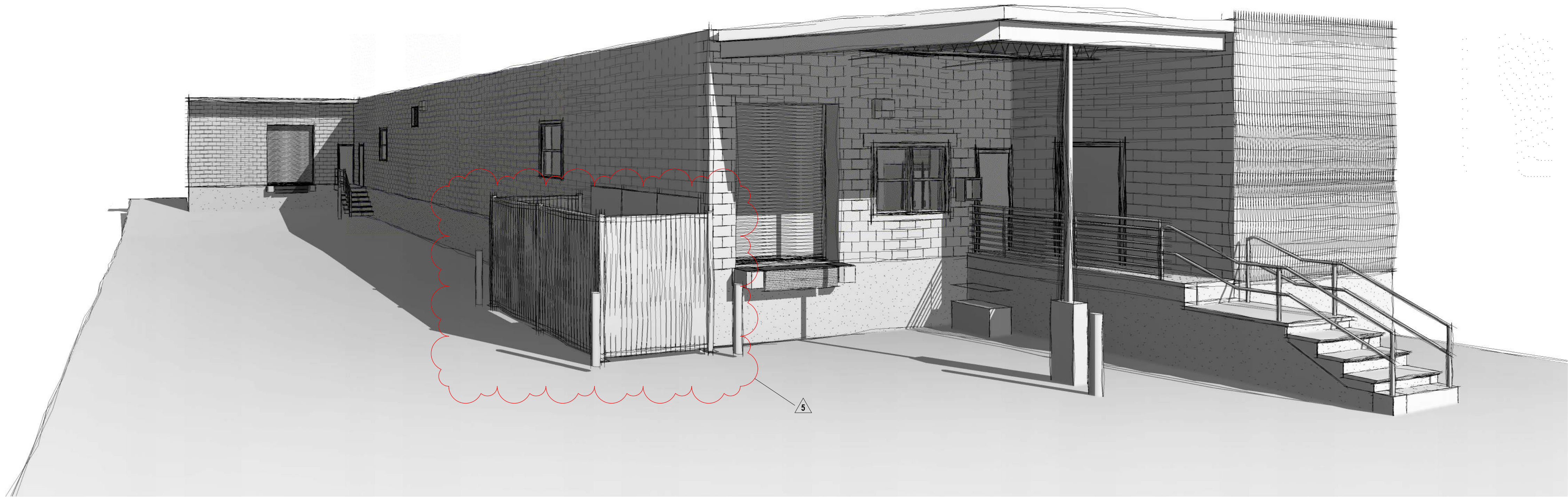
In order to prevent intrusion we would like to build an enclosure to secure the equipment. The enclosure will only be unlocked for maintenance purposes.

Bollards

Bollards are to protect the externally placed equipment from accidental damage.

Sound absorption panels

Sound absorption panels reduce the noise and echo coming from the equipment to well below the allotted sound threshold that our Special Permit requires.



WARNING:
This document may not be secure, may be corrupted in transmission or due to software incompatibility and/or may be amended or altered by third parties after leaving Joe The Architect LLC's possession. Joe The Architect LLC is not responsible for and accepts no liability for such matters. Subject only to any conflicting provision within any prior binding agreement by Joe The Architect LLC (which agreement may also contain additional conditions relating to this document and its use):
1. the content of this document is confidential and copyright in it belongs to Joe The Architect LLC. They are permitted only to be opened, read and used by the addressee.
2. all users of this document must carry out all relevant investigations and must examine, take advice as required and satisfy themselves concerning the contents, correctness and sufficiency of the attachment and its contents for their purposes.
3. to the extent permitted by law, all conditions and warranties concerning this document or any use to which they may be put (whether as to quality, outcome, fitness, care, skill or otherwise) whether express or implied by statute, common law, equity, trade, custom or usage or otherwise are expressly excluded.
4. any person using or relying document releases and indemnifies and will keep indemnified Joe The Architect LLC against all claims, liabilities, loss, costs and expenses arising directly or indirectly out of or in connection with such use or reliance including without limitation any misrepresentation, error or defect in this document.

Contractors to use Architectural drawings for set out. Contractors to check and verify all Dimensions on Site prior to Construction/Fabrication. Figured Dimensions take precedence over Scaled Dimensions. Any discrepancies should be immediately referred to the Architect. All work to comply with I.B.C. Statutory Authorities and relevant American Standards.



project number 302 drawing number A000 revision 5 05/12/2021

Index of Drawings

SHEET LIST	
Sheet Number	Sheet Name
A000	COVER SHEET
A001	SITE CONTEXT AND CODE ANALYSIS
A010	MEANS OF EGRESS PLAN
A030	EXISTING FLOOR PLAN & REFLECTED CEILING
A031	EXISTING ELEVATIONS
A040	DEMOLITION PLAN
A110	FLOOR PLAN & FINISH PLAN
A111	EQUIPMENT PLAN
A120	REFLECTED CEILING & SWITCHING PLAN
A200	EXTERIOR ELEVATIONS
A600	INTERNAL ELEVATIONS
A601	INTERNAL ELEVATIONS
S0000	COVER SHEET SECURITY
S0001	SECURITY PLAN DRAWING

PROJECT ROSTER

CLIENT

Jason Reposa
CEO
Good Feels Inc.
1 Shady Lane
Medway, MA 02053
(617) 201-6025
jason@getgoodfeels.com

ARCHITECTURE

Alex Siekierski
Project Manager
Joe The Architect, LLC
343 Medford Street, 4C
Somerville, MA 02145
Phone: 617-764-3593
alex@joethearchitect.com

CONTRACTOR

Brady Bankston
Principal
Popularis Construction Inc.
6A Main Street
Medway, MA 02053
Phone: 508-243-2435
brady@popularisconstruction.com

BUILDING OWNER

Reardon Properties
89 Main Street Suite 105
PO Box 98
Medway, MA 02053
reardonproperties89@gmail.com

For Construction

PROJECT NAME:

Good Feels Inc. Medway Suite 6

PROJECT ADDRESS:

23 Jayar Road, Medway, MA 02053

PROJECT NO: 302

ISSUE DATE: 05/12/2021

5/13/2021 10:51:47 AM

JOE THE ARCHITECT

343 Medford Street, Suite 4C,
Somerville, MA 02145
t: +1(617) 764-3593
e: info@joethearchitect.com
www.joethearchitect.com

J t A

CLIENT NAME:

Good Feels Inc.

CLIENT ADDRESS:

23 Jayar Road, Medway, MA 02053

good feels™



EXISTING NORTH-WEST CORNER



EXISTING NORTH-WEST CORNER



EXISTING SOUTH-WEST CORNER



EXISTING TENANT SPACE (TOWARD EAST)



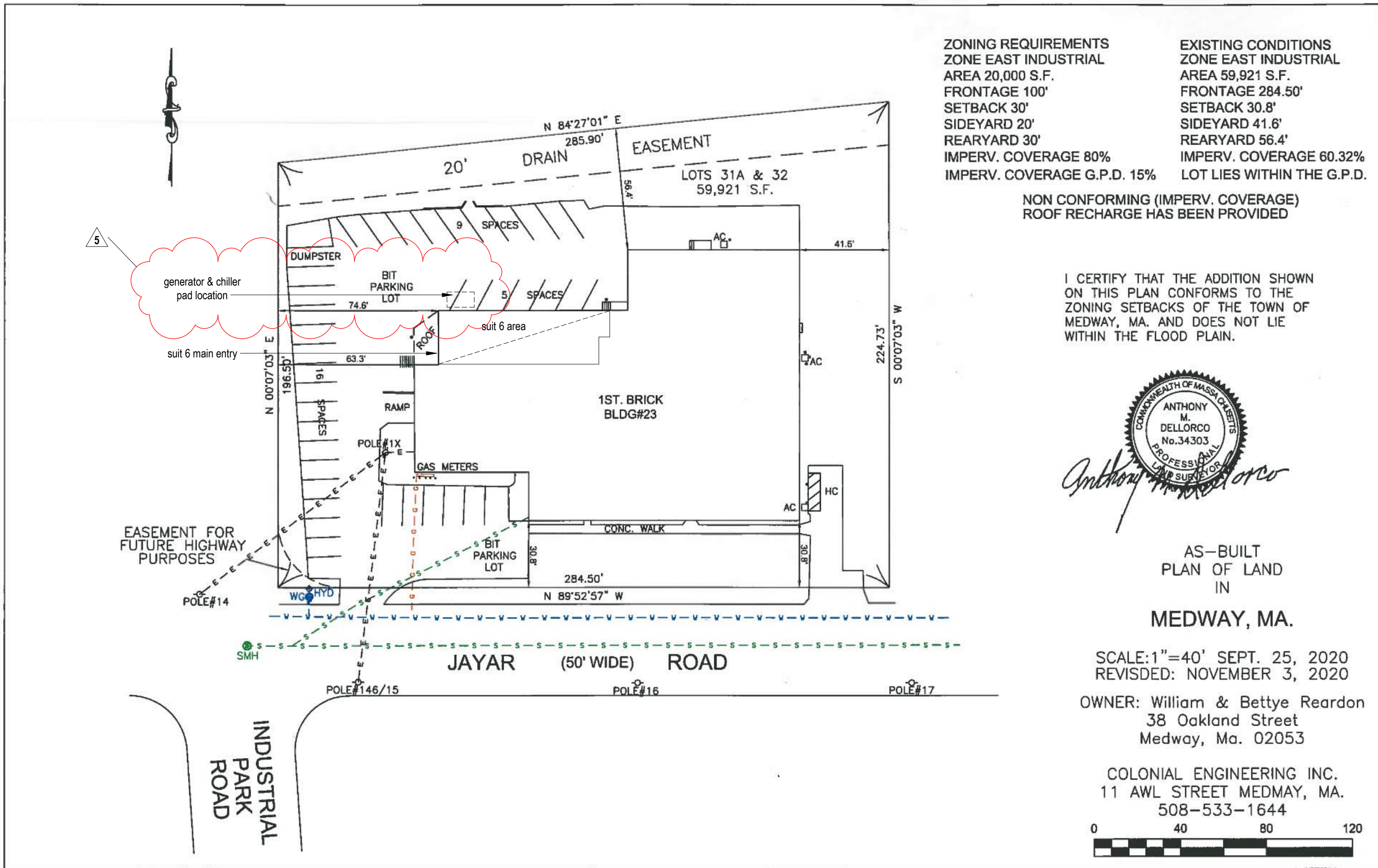
EXISTING TENANT SPACE (TOWARD WEST)

PRIMARY ENTRANCE
LOADING DOCK DOOR

SECOND MEANS OF EGRESS

TENANT AREA AROUND CORNER

LOADING DOCK DOOR
PRIMARY ENTRANCE



LOCUS MAP



23 JAYAR ROAD, MEDWAY, MA

USE & TYPE OF CONSTRUCTION (780 CMR CH 3 & 6)

Per Massachusetts state building code 780 CMR 9th edition/ international building code			
		Existing	Proposed
Use Group (780 CMR Section 304)	F-2 Factory Industrial	F-2 Factory Industrial	
Type of construction (780 CMR Section 602)	IIB	IIB	
Number of stories	1	1	
Fire Protection	NS - Not Sprinklered		
Building Element (780 CMR Section 601)		Fire Resistance Rating	
primary structural frame	0		
bearing walls	0		
exterior walls	0		
interior walls	0		
non bearing walls and interior	0		
floor construction and secondary members	0		
roof construction and secondary members	0		

OCCUPANT LOAD ANALYSIS (780 CMR CH 10)

Area Analysis		Gross Areas		Net (Usable) Areas	
First Floor	18185	GSF	Tenant Suite 6	1695	Net
Total Building Area	18185	GSF	Total Building Area	18185	Net
Floor	Function of Space (Use) Table 1004.1.2	Occupant Load Factor	Area (SF)	Occupancy	
1	F-2 Low-hazard Factory Industrial	100 Gross	1695	16 allowable	
			Total Occupant Load	16	

PROJECT ZONING INFORMATION (LOCAL REGULATIONS)

Property Class	EI - East Industrial			
Map/Lot	24-014			
Neighborhood	East Industrial			
Zoning Ordinance	Medway Zoning & Bylaw Map including amendments November 18, 2019			
Use & Lot	Zoning Data		Required	
	Use	Industrial	Existing	Proposed
	Lot Area	20000	sf	59920 units
	Impervious Coverage	80	%	60.32 %
	Gross Floor Area Footprints			18185 gsf
	Front Yard Setback	30	ft	30.8 ft
	Rear Yard Setback	30	ft	56.4 ft
Building Setbacks	Side Yard Setback (left)	20	ft	63.3 ft
	Side Yard Setback (right)	20	ft	41.6 ft
	Street Frontage	100	ft	284.50 ft
Parking Analysis	# of Parking Spaces		37	37
	# of Loading Spaces		3	3

APPLICABLE CODES & REGULATIONS (9th EDITION 780 CMR)

Code Type	Applicable Code
MA Building	780 CMR: Massachusetts State Building Code - 9th Edition As a reminder, the new, ninth edition code is based on modified versions of the following 2015 codes as published by the International Code Council (ICC).
Residential	International Residential Code 2015 (IRC 2015)
Existing Buildings	International Existing Building Code (IEBC)
Plumbing	248 CMR 10.00: Uniform State Plumbing Code
Energy	International Energy Conservation Code (IECC)
Accessibility	521 CMR: Massachusetts Architectural Access Board Regulations

PROJECT GENERAL INFORMATION (PROJECT DATA SHEET)

Project Number	302
Project Title	Good Feels Inc. Medway Suite 6
Project Address	23 Jayar Road, Medway, MA 02053
Client Name	Good Feels Inc.
Client Address	23 Jayar Road, Medway, MA 02053

PROJECT DESCRIPTION

Client if building out roughly 1896sf for the processing and bottling of liquid based THC. The existing egress hallway and life safety devices will remain in place. The scope of work includes a secured storage space, processing area, open office, secure reception/greeting area, shipping and receiving, open storage and utility closet. All processing odors and noise will be contained within the building envelope.

WARNING:
The Architect, Inc., all drawings and written material herein constitute the original and unpublished work of the architect, and the same may not be duplicated, used, or disclosed without the written consent of the architect. Contractors to use Architectural drawings for set out. Contractors to check and verify all Dimensions on Site prior to Construction/Installation. Figure Dimensions take precedence over Scaled Dimensions. Any discrepancies should be immediately referred to the Architect. The project manager shall be notified in writing of any discrepancies prior to proceeding with the work. The scale of drawings may change when copied or traced. All work to comply with I.B.C. Regulations and relevant American Standards.
© 2020 - all rights reserved

consultant / contractor information:

stamp



revision

1 PERMIT DOCUMENT SET
4 PERMIT REV 3
5 FOR CONSTRUCTION

date

01/16/2021
03/10/2021
05/12/2021

project title

Good Feels Inc. Medway Suite 6
23 Jayar Road, Medway, MA 02053

client

Good Feels Inc. good feels™
23 Jayar Road, Medway, MA 02053

J t A

JOE THE ARCHITECT

343 Medford Street, Suite 4C Somerville, MA 02145
t: +1(617) 764-3593 e: askjoe@joethearchitect.com
www.joethearchitect.com

For Construction

drawing title
SITE CONTEXT AND CODE ANALYSIS

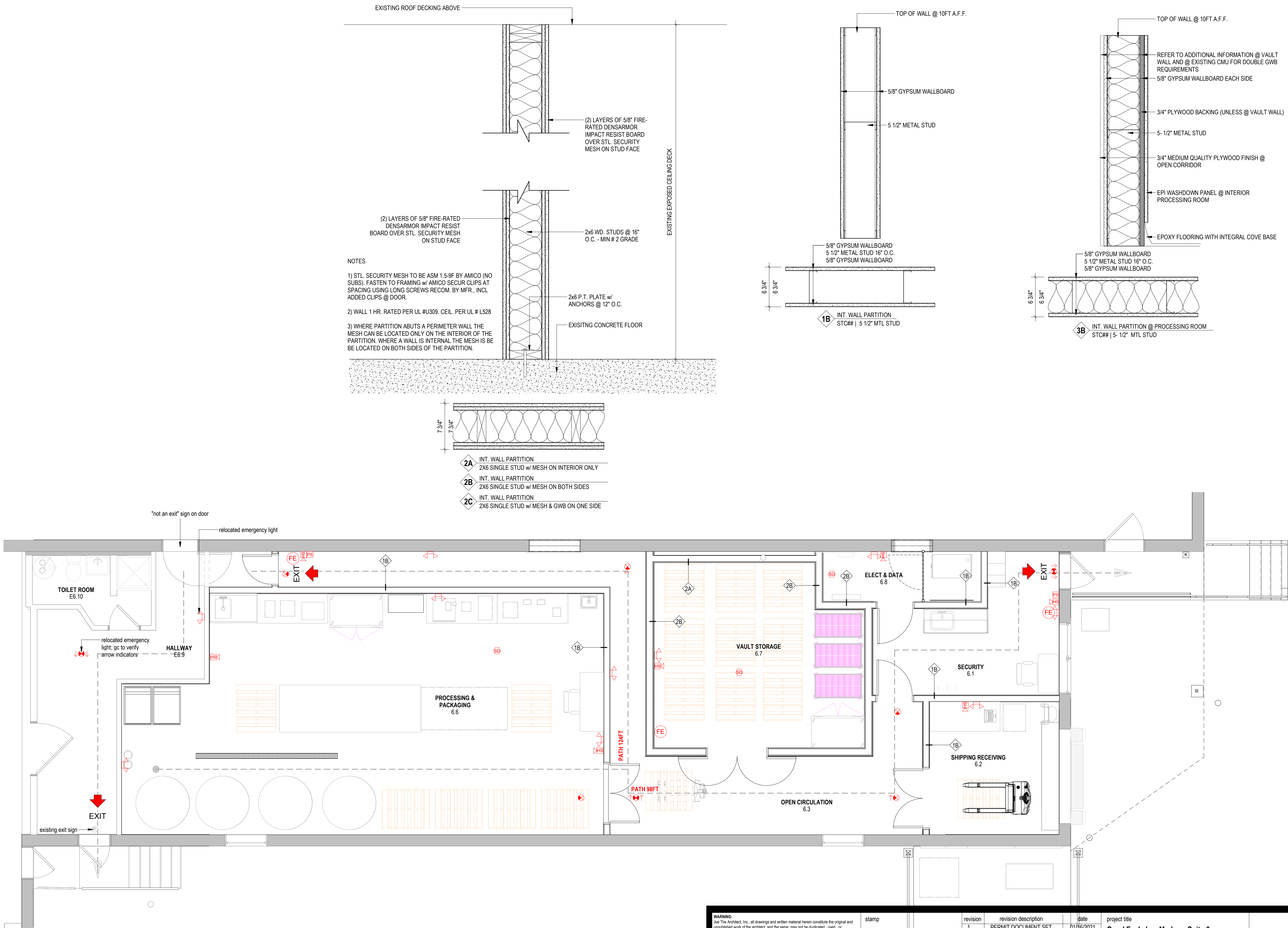
project number
302

drawing scale
As indicated

approver
Approver

revision
5

A001



GENERAL NOTES AND LEGENDS LIFE SAFETY

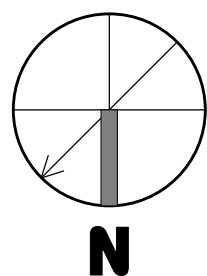
- • • • • sprinkler | standard; concealed; upright
- FS fire alarm pull station
- FACP fire alarm control panel
- RFAP fire alarm remote panel
- FEC fire extinguisher cabinet
- FE fire extinguisher wall hung
- FSH fire alarm horn & strobe
- SD photoelectric smoke detector
- CM carbon monoxide detector
- SC smoke / carbon monoxide detector
- EL emergency lighting; battery pack
- ES exit signage with direction indicator
- EXIT building exit arrow indicator
- egress path of travel indicator
- egress exit triangle indicator
- egress exit triangle indicator; horizontal exit
- egress exit triangle indicator; exit discharge
- door mark indicator number

GENERAL NOTES AND LEGENDS EGRESS NOTES

- the floor plan background for new and existing construction is shown in gray half-tone. designations for fire rated partitions, smoke partitions and other code compliance related information are shown in full black tone. refer to contract drawings to determine which components are new and which are existing.
- the fire and smoke designations for existing construction are shown for reference only and are based on information provided by the owner/client. this information has not been independently verified by Joe The Architect, LLC.
- refer to electrical drawings if applicable for locations of exit lights, emergency lights, and fire alarm system.
- refer to fire protection drawings if applicable for locations of sprinklers and fire pump.
- refer to plumbing drawings if applicable for all plumbing fixture counts.
- refer to structural drawings if applicable for all structural loads.

ROOM SCHEDULE

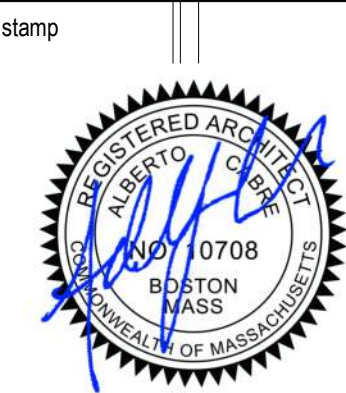
Number	Room Name	Level	Area
6.1	SECURITY	Main floor	146 SF
6.2	SHIPPING RECEIVING	Main floor	124 SF
6.3	OPEN CIRCULATION	Main floor	335 SF
6.6	PROCESSING & PACKAGING	Main floor	779 SF
6.7	VAULT STORAGE	Main floor	264 SF
6.8	ELECT & DATA	Main floor	56 SF
6			1704 SF



1
A010
PROPOSED EGRESS PLAN
1/4" = 1'-0"

WARNING:
Joe The Architect, Inc., all drawings and written material herein constitute the original and unpublished work of the architect, and the same may not be duplicated, used, or disclosed without the written consent of the architect. Contractors to use Architectural drawings for set out. Contractors to check and verify all Dimensions on Site prior to Construction/Installation. Figured Dimensions take precedence over Scaled Dimensions. Any discrepancies should be immediately referred to the Architect. The project manager shall be notified in writing of any discrepancies prior to proceeding with the work. The scale of drawings may change when copied or faxed. All work to comply with I.B.C. Regulations and relevant American Standards.
© 2020 - all rights reserved

consultant / contractor information:



revision	revision description	date
1	PERMIT DOCUMENT SET	01/16/2021
4	PERMIT REV. 3	03/10/2021

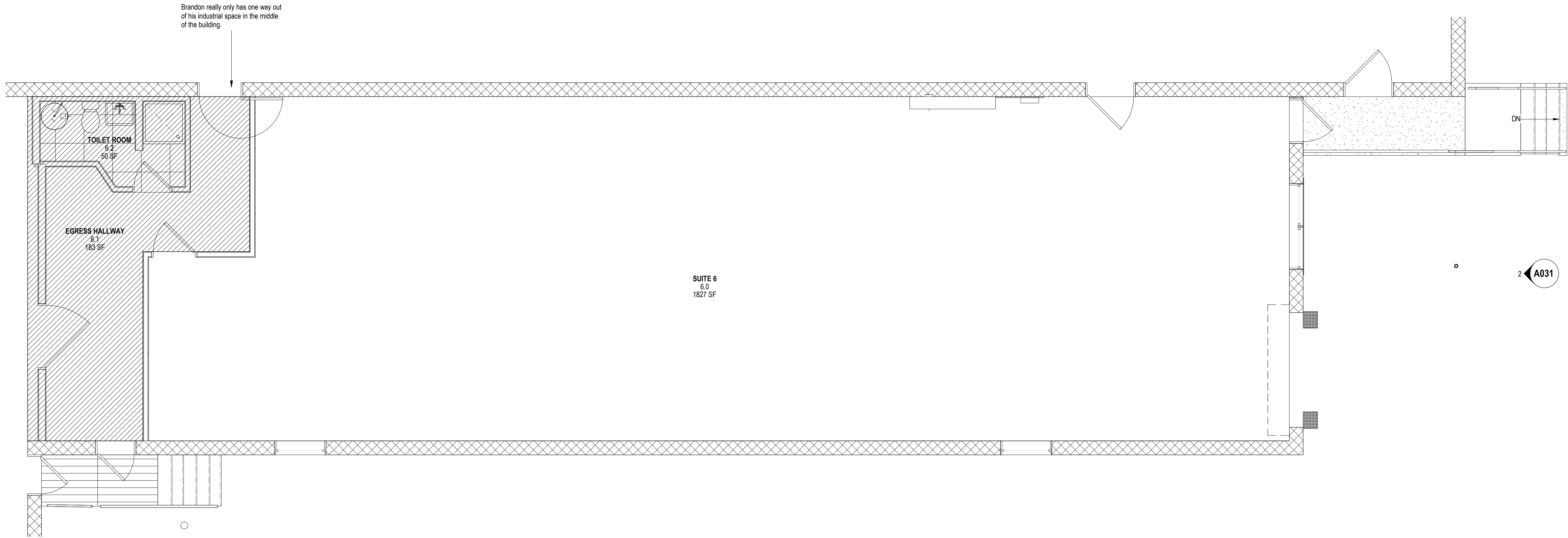
project title
Good Feels Inc. Medway Suite 6
23 Jayar Road, Medway, MA 02053
client
Good Feels Inc. **good feels™**
23 Jayar Road, Medway, MA 02053

J t A
JOE THE ARCHITECT
343 Medford Street, Suite 40C Somerville, MA 02145
t: +1(617) 764-3593 e: askjoe@joethearchitect.com
www.joethearchitect.com

For Construction

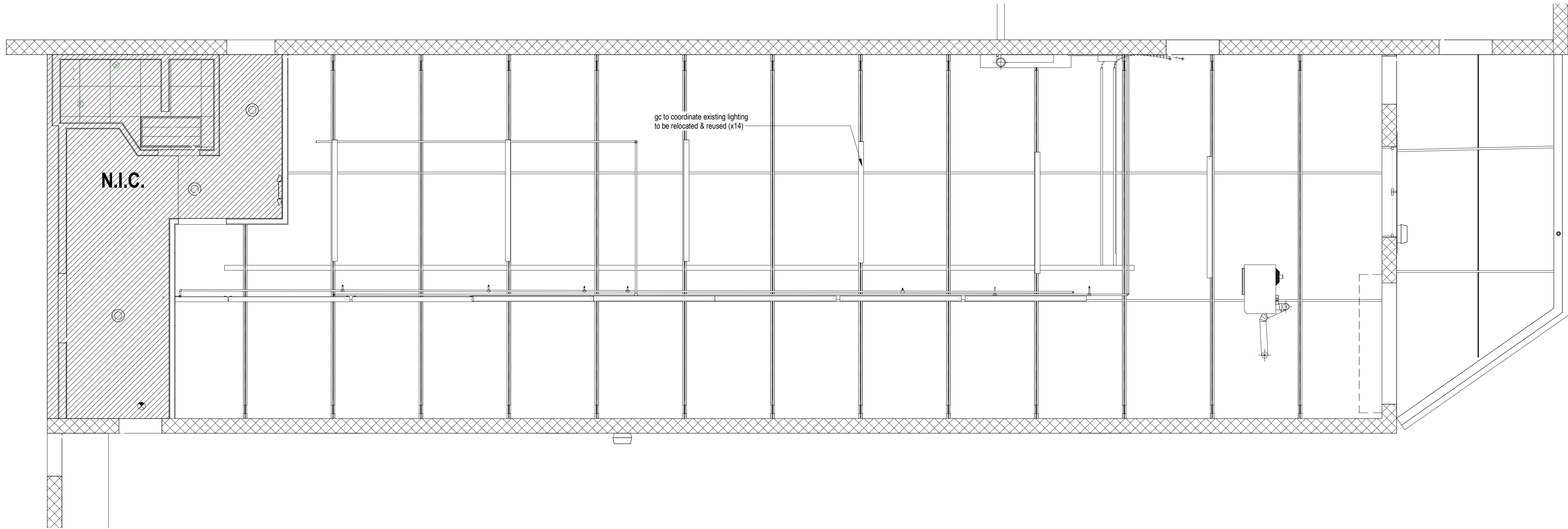
drawing title
**MEANS OF EGRESS
PLAN**

project number 302	drawing scale As indicated	approver Approver
drawing number A010		revision 4



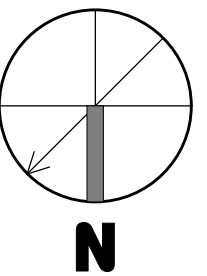
2 EXISTING FLOOR PLAN
1/4" = 1'-0"

1
A031



1 EXISTING REFLECTED CEILING
1/4" = 1'-0"

CONSTRUCTION LEGEND	
existing full height solid, glazed or part glazed partition to remain.	
existing full height solid, glazed or part glazed partition to be demolished	
new full height solid, glazed or part glazed partition to be demolished	
existing door to be demolished	
existing wall finish to be removed, to be read in conjunction with proposed works	
existing door to remain	
new door	
demolition hatch	
partial area demolition	
NIC - Not In Construct Hatch	



WARNING:
Joe The Architect, Inc., all drawings and written material herein constitute the original and unpublished work of the architect, and the same may not be duplicated, used, or disclosed without the written consent of the architect. Contractors to use Architectural drawings for set out. Contractors to check and verify all Dimensions on Site prior to Construction/Installation. Figured Dimensions take precedence over Scaled Dimensions. Any discrepancies should be immediately referred to the Architect. The project manager shall be notified in writing of any discrepancies prior to proceeding with the work. The scale of drawings may change when copied or faxed. All work to comply with I.B.C. Regulations and relevant American Standards.
© 2020 - all rights reserved

consultant / contractor information:

stamp



revision

1 PERMIT DOCUMENT SET
4 PERMIT REV. 3

date

01/16/2021
03/10/2021

project title

Good Feels Inc. Medway Suite 6
23 Jayar Road, Medway, MA 02053

client

Good Feels Inc. good feels™
23 Jayar Road, Medway, MA 02053

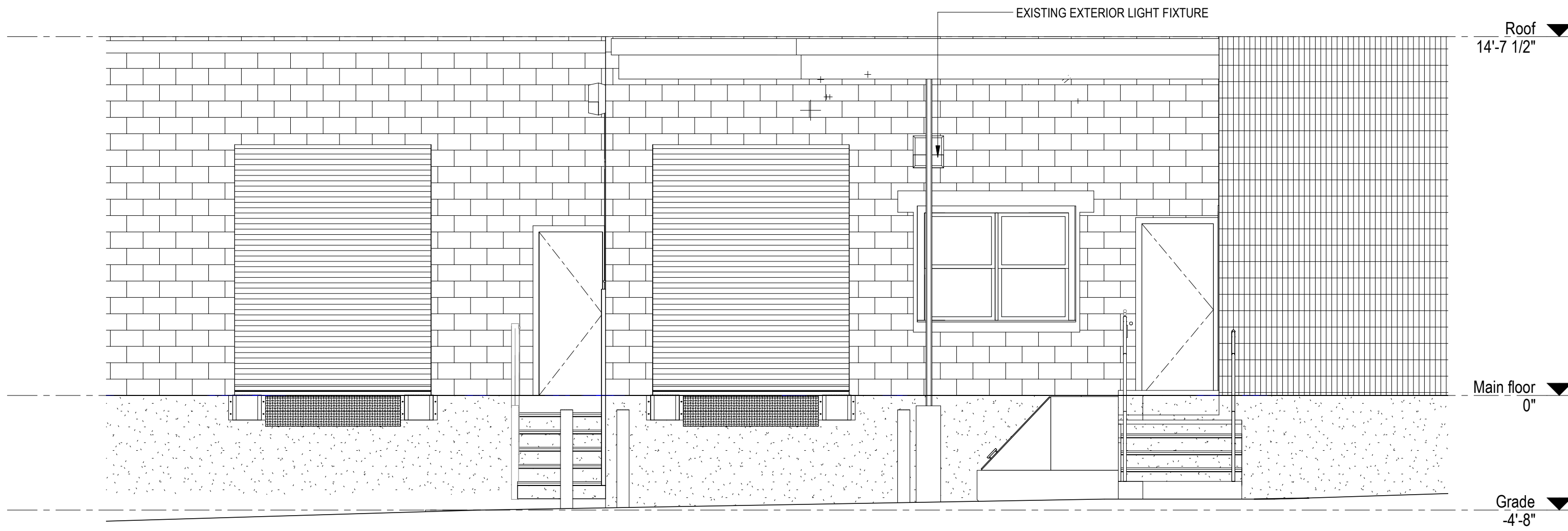
J t A

JOE THE ARCHITECT
343 Medford Street, Suite 4C Somerville, MA 02145
t: +1(617) 764-3593 e: askjoe@joethearchitect.com
www.joethearchitect.com

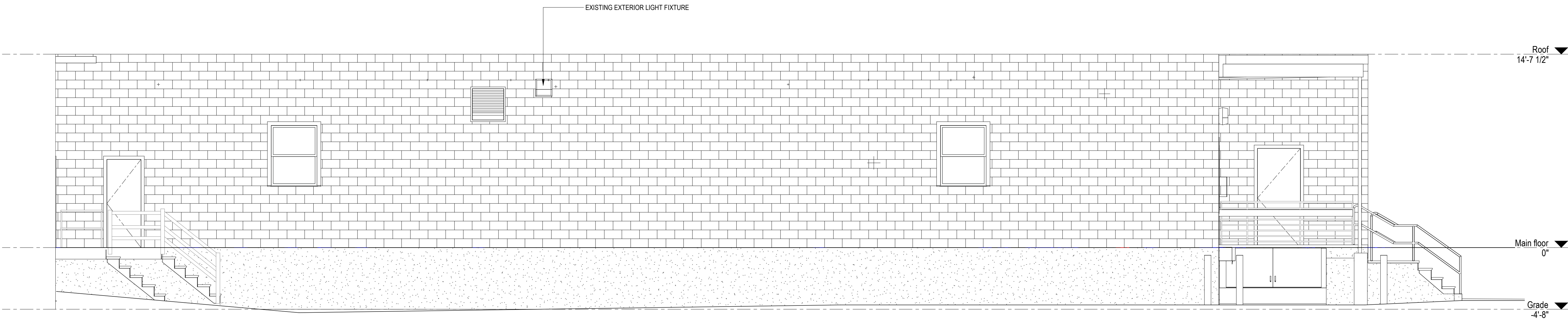
For Construction

drawing title
EXISTING FLOOR PLAN
& REFLECTED CEILING

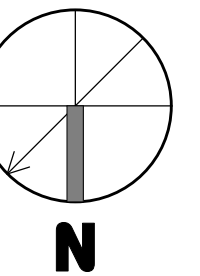
project number 302	drawing scale As indicated	approver Approver
drawing number A030	revision 4	



2 EXISTING WEST ELEVATION
A031 1/4" = 1'-0"



1 EXISTING NORTH ELEVATION
A031 1/4" = 1'-0"



WARNING:
Joe The Architect, Inc., all drawings and written material herein constitute the original and unpublished work of the architect, and the same may not be duplicated, used, or disclosed without the written consent of the architect. Contractors to use Architectural drawings for set out. Contractors to check and verify all Dimensions on Site prior to Construction/ fabrication. Figured Dimensions take precedence over Scaled Dimensions. Any discrepancies should be immediately referred to the Architect. The project manager shall be notified in writing of any discrepancies prior to proceeding with the work. The scale of drawings may change when copied or faxed. All work to comply with I.B.C. Regulations and relevant American Standards.
© 2020 - all rights reserved

consultant / contractor information:

stamp



revision

1
4

revision description

PERMIT DOCUMENT SET
PERMIT REV. 3

date

01/16/2021
03/10/2021

project title

Good Feels Inc. Medway Suite 6
23 Jayar Road, Medway, MA 02053

client

Good Feels Inc. good feels™
23 Jayar Road, Medway, MA 02053

J t A

JOE THE ARCHITECT
343 Medford Street, Suite 40C Somerville, MA 02145
t: +1(617) 764-3593 e: askjoe@joethearchitect.com
www.joethearchitect.com

For Construction

drawing title
EXISTING ELEVATIONS

project number
302

drawing scale
1/4" = 1'-0"

approver
Approver

drawing number
A031

revision
4

CONSTRUCTION LEGEND

existing full height solid, glazed or part glazed partition to remain.

existing full height solid, glazed or part glazed partition to be demolished

new full height solid, glazed or part glazed partition to be demolished

existing door to be demolished

existing wall finish to be removed, to be read in conjunction with proposed works

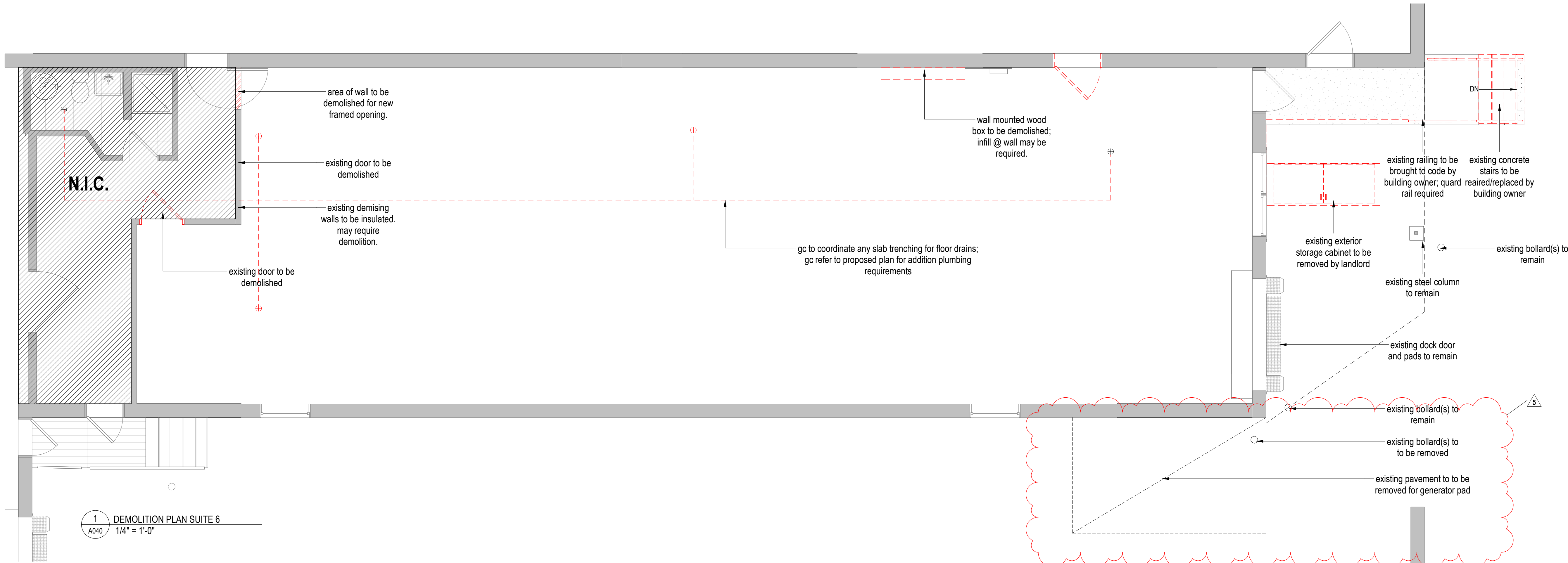
existing door to remain

new door

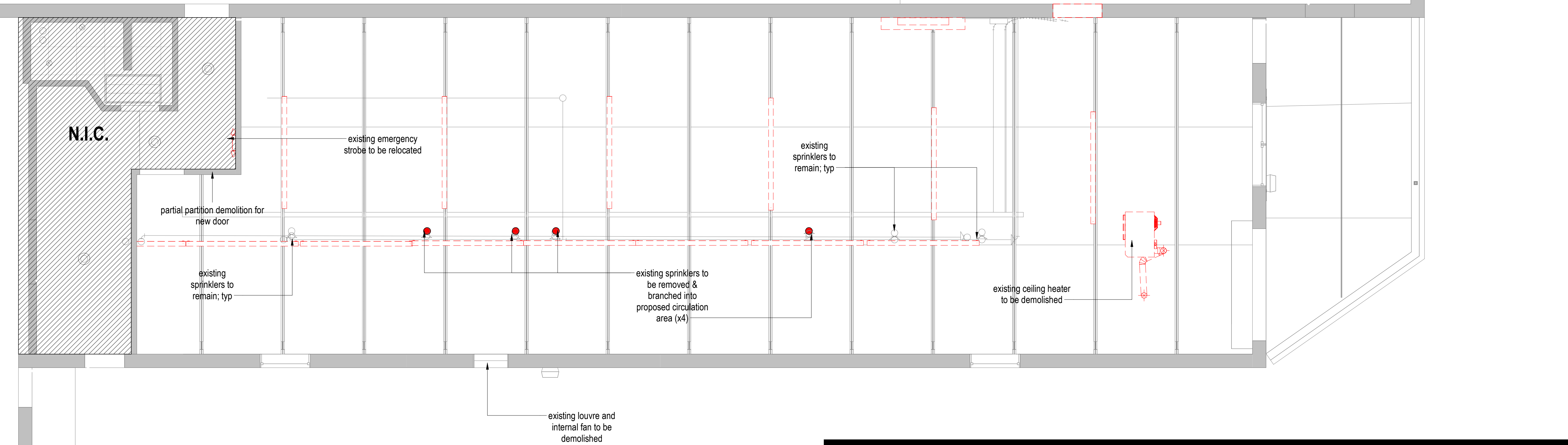
demolition hatch

partial area demolition

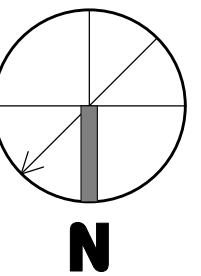
NIC - Not In Construct Hatch



1
A040
DEMOLITION PLAN SUITE 6
1/4" = 1'-0"



2
A040
1 First Floor RCP D
1/4" = 1'-0"



WARNING:
See The Architect, Inc., all drawings and written material herein constitute the original and unpublished work of the architect, and the same may not be duplicated, used, or disclosed without the written consent of the architect. Contractors to use Architectural drawings for set out. Contractors to check and verify all Dimensions on Site prior to Construction/Installation. Figure Dimensions take precedence over Scaled Dimensions. Any discrepancies should be immediately referred to the Architect. The project manager shall be notified in writing of any discrepancies prior to proceeding with the work. The scale of drawings may change when copied or faxed. All work to comply with I.B.C. Regulations and relevant American Standards.
© 2020 - all rights reserved

consultant / contractor information:

stamp



revision

revision description

date

project title

Good Feels Inc. Medway Suite 6

23 Jayar Road, Medway, MA 02053

client

Good Feels Inc. good feels™

23 Jayar Road, Medway, MA 02053

J t A

JOE THE ARCHITECT

343 Medford Street, Suite 40 Somerville, MA 02145
t: +1(617) 764-3593 e: askjoe@joethearchitect.com
www.joethearchitect.com

For Construction

drawing title
DEMOLITION PLAN

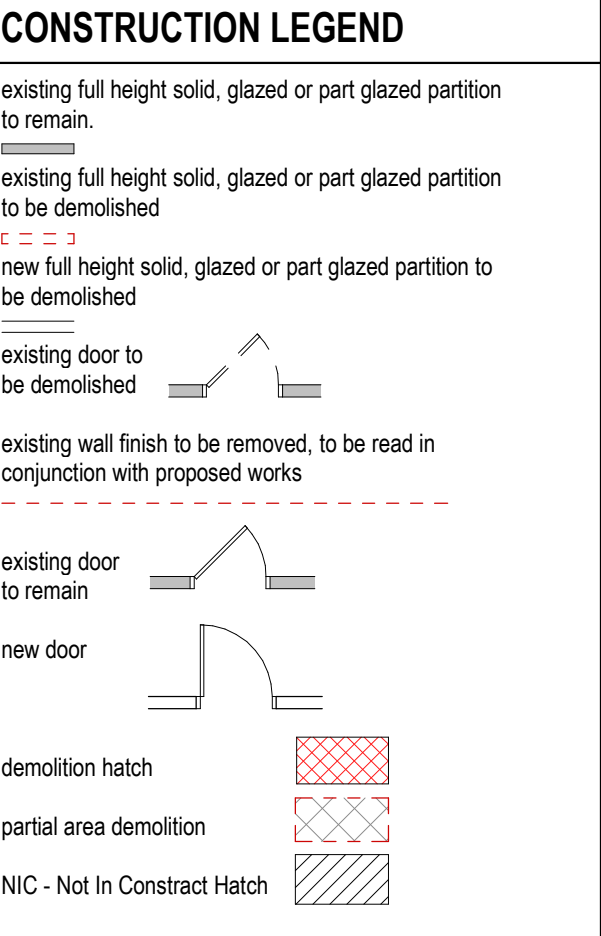
project number
302

drawing scale
As indicated

approver
Approver

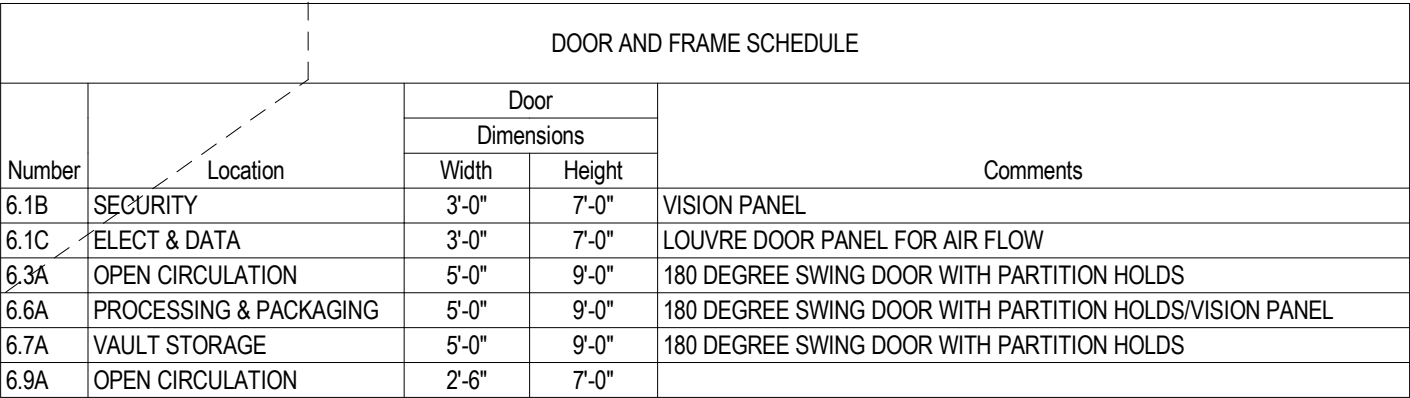
drawing number
A040

revision
5



- ## GENERAL NOTES AND LEGENDS CONSTRUCTION
1. see interior elevations for additional information on wall finish materials and typical mounting heights required.
 2. see reflected ceiling plans for ceiling finish materials.
 3. the contractor shall verify all existing conditions after demolition is complete.
 4. all locations where infill walls meet existing walls with new gwb finish surfaces shall align at adjacent edges unless otherwise noted.
 5. existing walls shown with additional lines graphically represent new finishes and should not be scaled or dimensioned. new partitions should be built and finished according to partition and finish schedule.
 6. coordinate areaway drains and floor drains.
 7. provide blocking for wall hanging equipment, luminaire fixtures, mill work at all require locations.
 8. all dimensions indicated with a \pm represent field measurements to be provided to architect and verified by contractor.
 9. see door schedule for all door sizes, door info and details.
 10. all glass within 18" a.f.f. and/or within 4'-0" of the door swing shall be tempered safety glass.
 11. all partitions to be patched where existing doors/walls were removed.
 12. existing concrete floor areas to be cleaned/ground flush and patched were needed.
 13. no flooring transitions are to exceed 1/2" in height.
 14. provide in-wall blocking as required.
 15. provide in-wall blocking for all future built-in casework where indicated.
 16. patch existing gwb at all locations where a partition has been removed.
 17. at all areas of mep/p equipment removed from walls, contractor to patch / repair holes in finish from removed fasteners. blind patching to match existing finish to remain.
 18. seal air tight any penetrations made through air & vapor barriers.
 19. paint at (n) and (e) gwb & plaster finishes in work area unless noted
 20. interior dimensions are indicated to finish wall (cmu or gypsum board) materials, u.o.
 21. mep/p elements shown are schematic and are provided for reference. only refer to mep/p drawings & specifications for more information.
 22. all material installation to be level & plumb.
 23. see finish plan for additional information.
 24. painting scope:
 - A. all interior walls to be painted standard white; commercial grade paint
 - B. all existing cmu exterior partitions and exposed structure to NOT be painted.

WINDOW SCHEDULE					
TYPE MARK	SIZE		QUANTITY	MATERIAL	NOTES
	WIDTH	HEIGHT			
W1	3'-7"	4'-8"	2		GLAZING TO RECEIVE PRIVACY FILM & 3M SECURITY FILM; WHITE FILM PREFERRED OVER TINTED
W2	6'-0"	4'-6"	1		GLAZING TO RECEIVE PRIVACY FILM & 3M SECURITY FILM; WHITE FILM PREFERRED OVER TINTED



2 PROPOSED FINISHES PLAN
A110 1/4" = 1'-0"

WARNING:
Joe The Architect, Inc., all drawings and written material herein constitute the original and unpublished work of the architect, and the same may not be duplicated, used, or disclosed without the written consent of the architect. Contractors to use Architectural drawings for sale out. Contractors to check and verify all dimensions on Site prior to Construction/Installation. Fugard Dimensions take precedence over Scaled Dimensions. Any discrepancies should be immediately referred to the Architect. The project manager shall be notified in writing of any discrepancies prior to proceeding with the work. The scale of drawings may change when copied or faded. All work to comply with I.B.C. Regulations and relevant American Standards
© 2020- all rights reserved

consultant / Contractor information:

consultant / contractor information:



revision	revision description	date
1	PERMIT DOCUMENT SET	01/16/2021
4	PERMIT REV.3	03/10/2021
5	FOR CONSTRUCTION	05/12/2021

project title	
Good Feels Inc. Medway Suite 6	
23 Jayar Road, Medway, MA 02053	
client	
Good Feels Inc.	good feels
23 Jayar Road, Medway, MA 02053	

J t A

JOE THE ARCHITECT

343 Medford Street, Suite 4C Somerville, MA 02145
t: +1(617) 764-3593 e: askjoe@joethearchitect.com
www.joethearchitect.com

For Construction

drawing title
**FLOOR PLAN & FINISH
PLAN**

project number 302	drawing scale As indicated	approver Approve
drawing number A110		revision 5

EQUIPMENT SCHEDULE		
Type Mark	Description	Count
EE2	POWERWALL BATTERY STORAGE	1
EE3	PORTABLE GENERATOR	2
EE5	DATA SERVER CABINET	1
EP1	COMMERCIAL HANDSINK	1
EP2	COMMERCIAL DISHWASHER	1
EP3	OVERMOUNT SINK	1
EP4	30x48 SS WORK TABLE & SINK	1
EP7	METAL TRENCH DRAIN	1
EQ1	STAINLESS STEEL WORKTABLE (VERIFY BACKSPASH)	1
EQ3	NTEP CERTIFIED SCALE	1
EQ4	MAGNETIC STIRRER	2
EQ5	TABLE TOP LABELER	1
EQ6	PERISTALTIC PUMP	1
EQ8	STAINLESS STEEL SHELF; WALL MOUNTED	4
EQ9	DISHWASHER	1
EQ10	PROCESS LIQUID VESSEL	1
EQ11	PIEZOELECTRIC TRANSDUCER	1
EQ12	ULTRASONIC GENERATOR	1
EQ14	TABLE TOP BOTTLE FILLER	1
EQ15	COMMERCIAL REACH-IN REFRIGERATOR	2
EQ16	CHEMICAL STORAGE CABINET	1
EQ17	MICRO BOTTLING MACHINE	1
EQ18	STAINLESS STEEL WORKTABLE (NO SHELF BELOW)	2
EQ19	LARGE WASTE/RECYCLING BINS; SECURED/LOCKED	2
EQ20	STAINLESS STEEL SHELF W/ HOOKS; WALL MOUNTED	1
EQ21	20LB CO2 TANK	2
EQ24	WATER RO SYSTEM	1
EQ25	16 BBL BRITTE TANK	4
EQ26	ENOS T3 LABELER	1
EQ29	EXTERIOR CHILLER	1
EQ30	GAS GENERATOR	1
ES2	EYE WASH STATION; WALL MOUNTED	1
ES5	EMPLOYEE/GUEST LOCKER; METAL	3
ES6	STANDARD SIZE WOOD PALLET	17
ES7	METAL DOUBLE DOOR STORAGE CABINET	1
ES8	HAND TRUCK/DOLLIE	1
ES9	PALLET JACK	1
ES10	SOAP DISPENSER; WALL MOUNTED	3
ES11	PAPER TOWEL DISPENSER; WALL MOUNTED	3
ES14	LOUNGE UNDERCOUNTER REFRIGERATOR	1
ES15	Mobile Shelving Unit, Polymer/Wire, 5-Tier	3
Grand total: 77		

GENERAL NOTES AND LEGENDS CONSTRUCTION

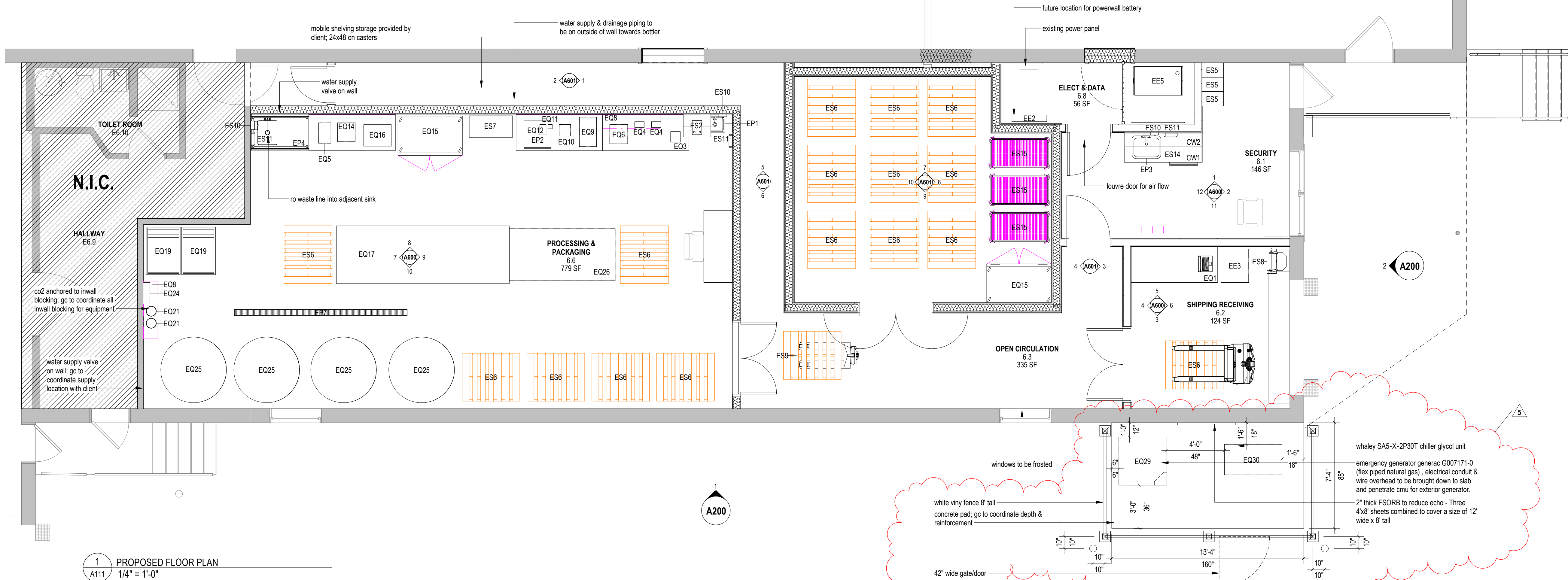
- see interior elevations for additional information on wall finish materials and typical mounting heights required.
- see reflected ceiling plans for ceiling finish materials. the contractor shall verify all existing conditions after demolition is completed.
- all locations where infill walls meet existing walls with new gwb finish surfaces shall align at adjacent edges unless otherwise noted.
- existing walls shown with additional lines graphically represent new finishes and should not be scaled or dimensioned from. partitions should be built and finished according to partition and finish schedule.
- coordinate areaway drains and floor drains.
- provide blocking for wall hung equipment, plumbing fixtures, mill work at all require locations.
- all dimensions indicated with a ± represent field measurements to be provided to architect and verified by contractor.
- see door schedule for all door sizes, door info and details.
- all glass within 18" a.f.f. and/or within 4'-0" of a door swing shall be tempered safety glass.
- all existing walls to be patched where existing doors/walls were removed.
- existing concrete floor areas to be cleaned; ground flush and patched were needed.
- no flooring transitions are to exceed 1/2" in height.
- provide in-wall blocking as required.
- provide in-wall blocking for all future built-in casework where indicated.
- patch existing gwb at all locations where a partition has been removed.
- at all areas of mep/fp equipment removed from walls, contractor to patch / repair holes in finish from removed fasteners. blend patching to match existing finish to remain.
- seal air tight any penetrations made through air & vapor barriers.
- paint all (n) and (e) gwb & plaster finishes in work area unless noted.
- interior dimensions are indicated to finish wall (cmu or gypsum board) materials. u.n.o.
- mep/fp elements shown are schematic and are provided for reference. only refer to mep/fp drawings & specifications for more information.
- all material installation to be level & plumb.
- see finish plan for additional information.
- painting scope:
 - all interior walls to be painted standard white; commercial grade paint
 - all existing cmu exterior partitions and exposed structure to NOT be painted.

CONSTRUCTION LEGEND

- existing full height solid, glazed or part glazed partition to remain.
- existing full height solid, glazed or part glazed partition to be demolished
- new full height solid, glazed or part glazed partition to be demolished
- existing door to be demolished
- existing wall finish to be removed, to be read in conjunction with proposed works
- existing door to remain
- new door
- demolition hatch
- partial area demolition
- NIC - Not In Construct Hatch

EQUIPMENT DESIGNATIONS

EE - EQUIPMENT ELECTRICAL
EP - EQUIPMENT PLUMBING
ES - EQUIPMENT SPECIALTIES
EQ - GENERAL/LAB EQUIPMENT
CW - CASEWORK



1 PROPOSED FLOOR PLAN
A111 1/4" = 1'-0"

WARNING:
See The Architect, Inc., all drawings and written material herein constitute the original and unpublished work of the architect, and the same may not be duplicated, used, or disclosed without the written consent of the architect. Contractors to use Architectural drawings for set out. Contractors to check and verify all Dimensions on Site prior to Construction/Installation. Figured Dimensions take precedence over Scaled Dimensions. Any discrepancies should be immediately referred to the Architect. The project manager shall be notified in writing of any discrepancies prior to proceeding with the work. The scale of drawings may change when copied or traced. All work to comply with I.B.C. Regulations and relevant American Standards.
© 2020 - all rights reserved

consultant / contractor information:

stamp



revision

revision description

date

project title

Good Feels Inc. Medway Suite 6

23 Jayar Road, Medway, MA 02053

client

Good Feels Inc. good feels™

23 Jayar Road, Medway, MA 02053

J t A

JOE THE ARCHITECT

343 Medford Street, Suite 40 Somerville, MA 02145
t: +1(617) 764-3593 e: askjoe@joethearchitect.com
www.joethearchitect.com

For Construction

drawing title
EQUIPMENT PLAN

project number

302

drawing number

A111

drawing scale

As indicated

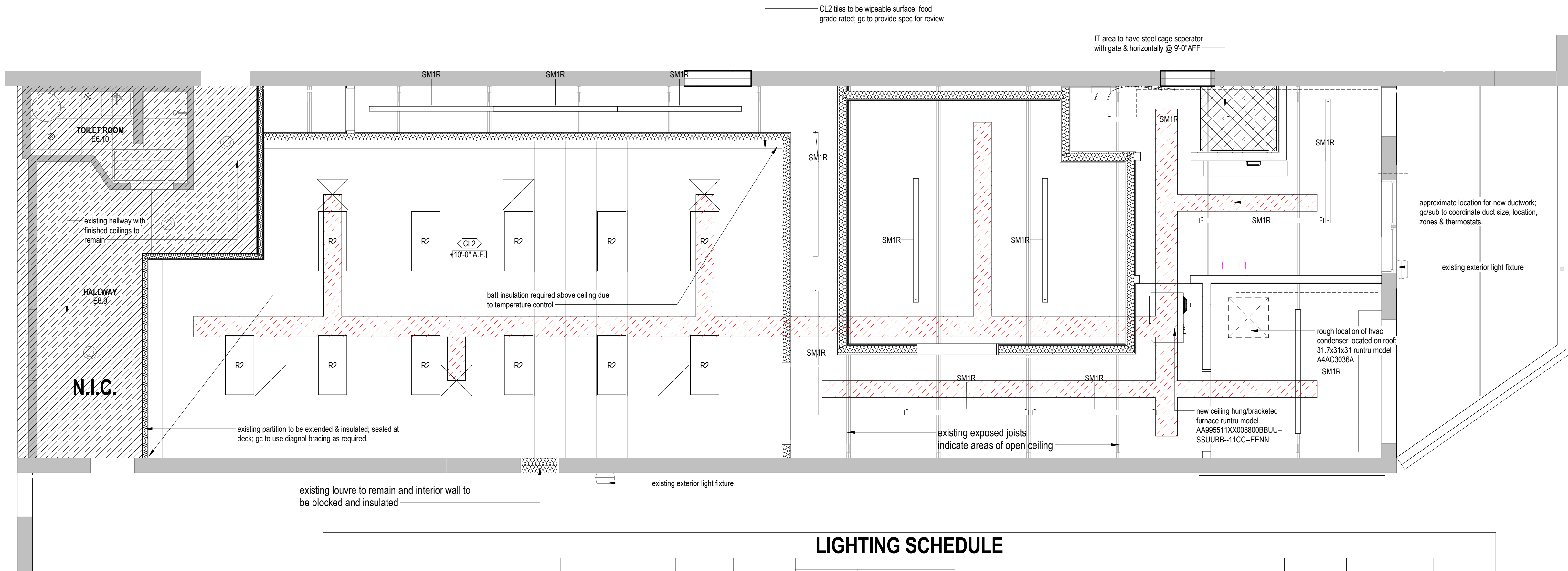
approver

AS

revision

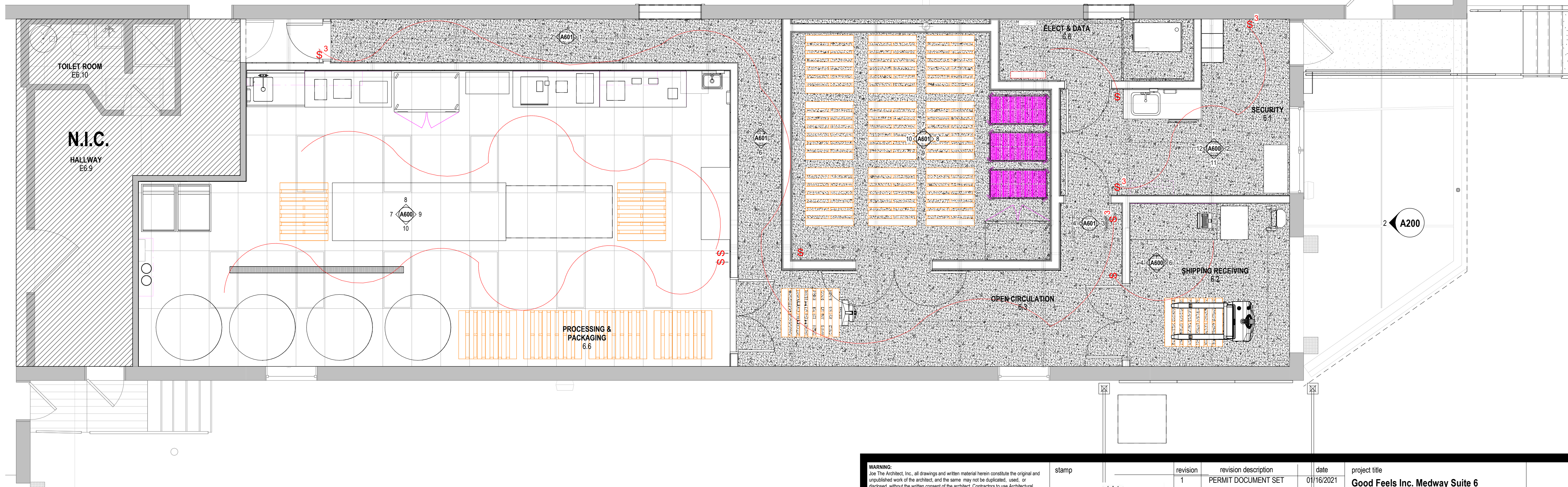
5

5/13/2021 10:52:06 AM



1 PROPOSED CEILING PLAN
1/4" = 1'-0"

LIGHTING SCHEDULE												
Type Mark	Count	Description	Manufacturer	Model	Dimensions	Lamp	Watts	Control	Cost	Remarks	Location	Mounting
R2	11		TBD									RECESSED
SM1R	14	RELOCATED FIXTURES										SURFACE MOUNTED



2 1 First Floor Electrical
1/4" = 1'-0"

REFLECTED CEILING SYMBOLS

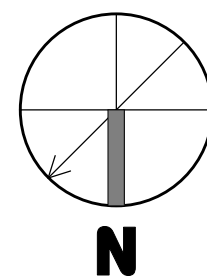
- return register; size varies
- supply register; size varies
- occupancy; motion sensor
- sprinkler | standard; concealed; upright
- emergency lighting; battery pack
- exit signage with direction indicator
- ceiling mounted recessed fixture; see schedule for size, lens style; light direction
- round recessed/surface mounted downlight and wall washer
- linear surface mounted light fixture
- not in contract hatch
- ACT1 - acoustic ceiling tile; washable
- GWB - gypsum ceiling

GENERAL NOTES AND LEGENDS POWER NOTES

- refer to general demolition notes for additional requirements.
- receptacles, switches and devices shall be installed at mounting heights and locations as indicated per code. contractor shall refer to the architectural drawings for additional information.
- exact circuit numbers shall be determined in field and shall be noted on the contractors as-built drawings.
- coordinate exact location of all mechanical equipment with hvac, plumbing and fire protection shop drawings.
- conduits and light fixture chains will be mask off and protect from being painted over.
- gc to protect all cat 5e and any other power device wires close to ceiling prior to painting.
- contractor to coordinate with electrical subcontractor all additional power requirements based on client provided equipment specifications and security consultant specifications.
- all lighting to be on dimmable switches.

REFLECTED CEILING NOTES

- see general construction notes on sheet A000.
- field verify all existing ceiling conditions including dimensions, structure, utility lines, etc. discrepancies with the drawings shall be reported to the architect.
- dimensions:
- dimensions noted as "crl." mean clear dimension to face of finish.
- all horizontal dims. are shown on plans and vertical dims.
- all ceiling elevations noted on the rcp are from finish floor elevation unless noted.
- the contractor shall protect all ceiling materials and equipment's noted to remain
- see mechanical, electrical, and fire protection drawings for all light fixture types, exit signs, sprinkler head locations, and air registers. see architectural drawings for final location of all light fixture and ceiling equipments.
- all sprinkler heads to align with lighting, door openings, windows, and should be centered on ceiling tiles. contractor shall be responsible for sprinkler coordination.
- all exposed duct work, pipes, conduit, etc. to be primed and painted.
- underside of existing and new concrete deck, & all existing exposed concrete encased steel beams to be primed, and painted.
- all ceiling tiles to be 2' x 2' uno and all ceiling tile grids to be centered in room, uno
- where no ceiling material is indicated, finish is to be underside of exposed slab and beams, cleaned, primed, and painted.
- center a.c.t. in room in both directions u.o.n. no a.c.t. shall be no less than half a tile.
- cut a.c.t. as req'd to center hvac registers/diffusers when smaller than a.c.t.
- where (e) plaster or gypboard clgs are to be infilled or patched, patch such that the joint is smooth, flush and invisible when completed.
- align ceiling devices including smoke detectors, sprinkler heads, etc. with ceiling mounted lighting fixtures and center between elements or within grid in both directions as shown, u.o.n.
- paint all (n) + (e) gwb & plaster finishes in the ceiling area.
- align fire alarm, and all other electric devices, w/lighting as shown.
- see sheet axxx for partition types.



WARNING:
See The Architect, Inc., all drawings and written material herein constitute the original and unpublished work of the architect, and the same may not be duplicated, used, or disclosed without the written consent of the architect. Contractors to use Architectural drawings for set out. Contractors to check and verify all Dimensions on Site prior to Construction/Installation. Figured Dimensions take precedence over Scaled Dimensions. Any discrepancies should be immediately referred to the Architect. The project manager shall be notified in writing of any discrepancies prior to proceeding with the work. The scale of drawings may change when copied or traced. All work to comply with I.B.C. Regulations and relevant American Standards.
© 2020 - all rights reserved

consultant / contractor information:

stamp



revision

revision description

date

project title
Good Feels Inc. Medway Suite 6

23 Jayar Road, Medway, MA 02053

client

Good Feels Inc. good feels™

23 Jayar Road, Medway, MA 02053

J t A
JOE THE ARCHITECT
343 Medford Street, Suite 4C Somerville, MA 02145
t: +1(617) 764-3593 e: askjoe@joethearchitect.com
www.joethearchitect.com

For Construction

drawing title
REFLECTED CEILING & SWITCHING PLAN

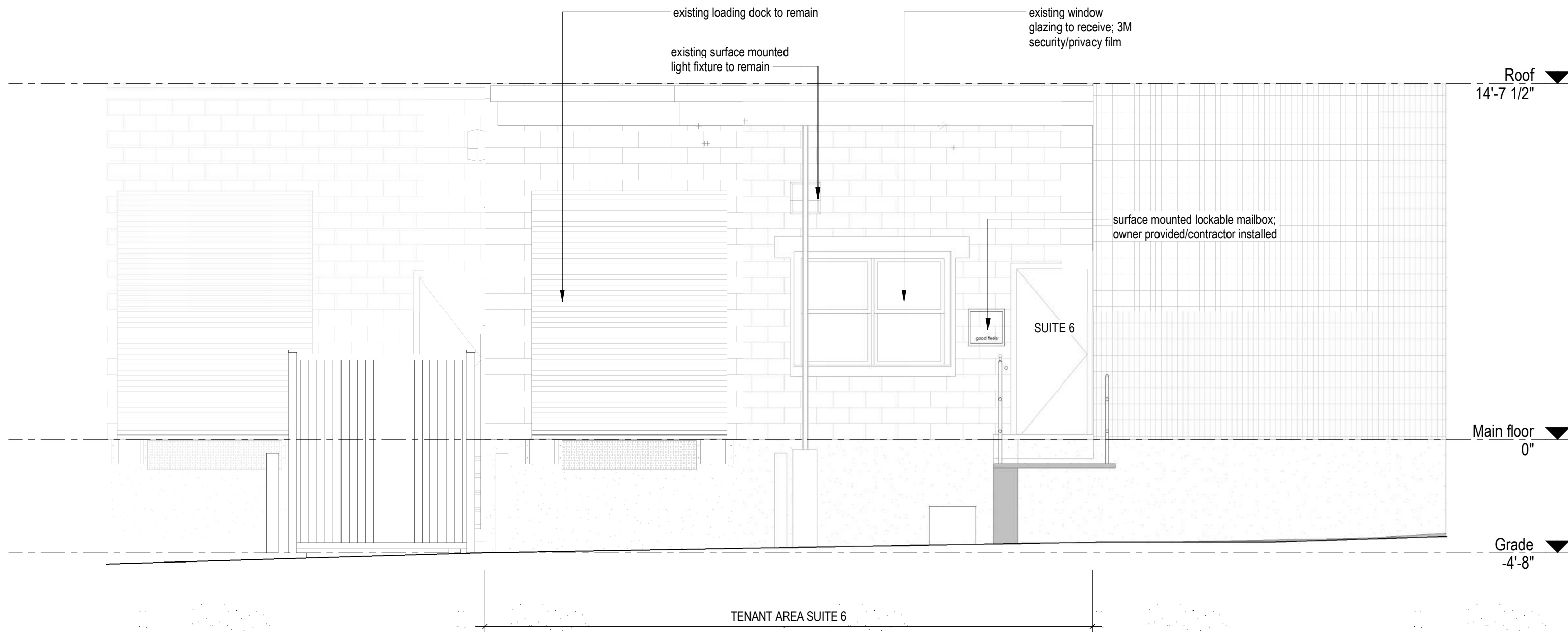
project number
302

drawing number
A120

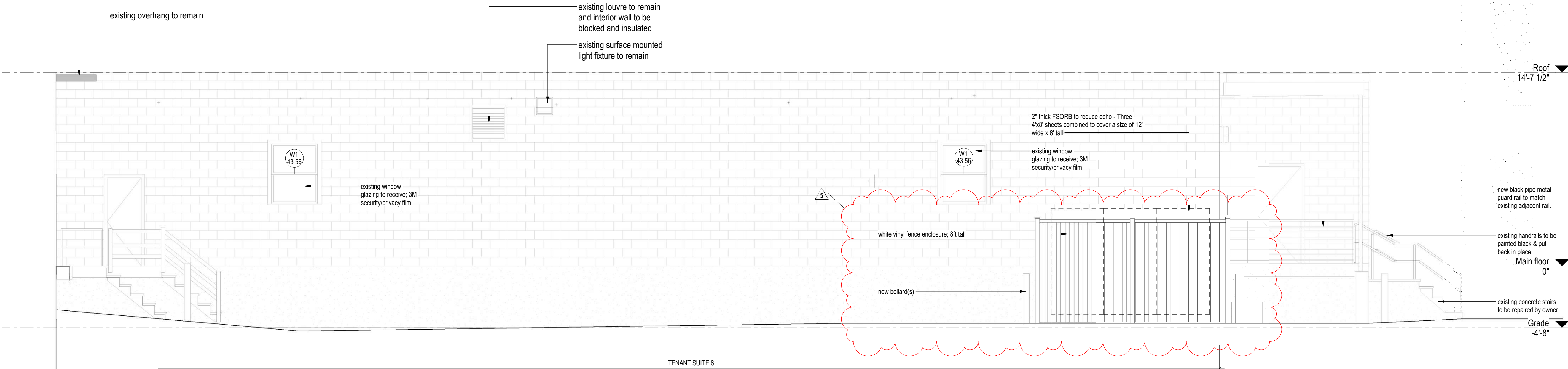
drawing scale
As indicated

approver
Approver

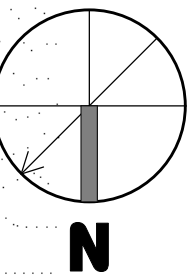
revision
4



2 PROPOSED WEST ELEVATION
1/4" = 1'-0"



1 PROPOSED NORTH ELEVATION
1/4" = 1'-0"



WARNING:
Joe The Architect, Inc., all drawings and written material herein constitute the original and unpublished work of the architect, and the same may not be duplicated, used, or disclosed without the written consent of the architect. Contractors to use Architectural drawings for set out. Contractors to check and verify all Dimensions on Site prior to Construction/ fabrication. Figure Dimensions take precedence over Scale Dimensions. Any discrepancies should be immediately referred to the Architect. The project manager shall be notified in writing of any discrepancies prior to proceeding with the work. The scale of drawings may change when copied or faxed. All work to comply with I.B.C. Regulations and relevant American Standards.
© 2020 - all rights reserved

consultant / contractor information:

stamp

revision

revision description

date

project title

Good Feels Inc. Medway Suite 6

23 Jayar Road, Medway, MA 02053

client

Good Feels Inc.

23 Jayar Road, Medway, MA 02053

good feels™

J t A

JOE THE ARCHITECT

343 Medford Street, Suite 4C Somerville, MA 02145
t: +1(617) 764-3593 e: askjoe@joethearchitect.com
www.joethearchitect.com

For Information

drawing title
EXTERIOR ELEVATIONS

project number
302

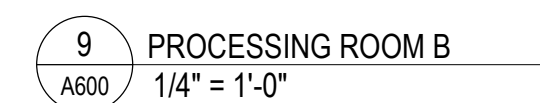
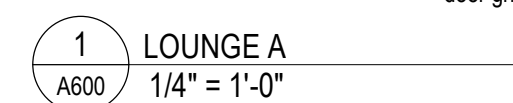
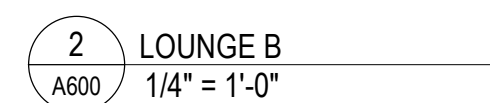
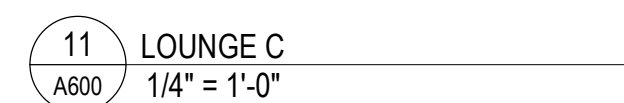
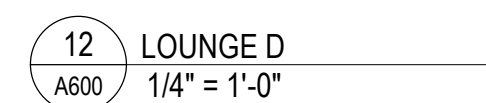
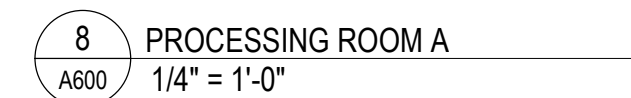
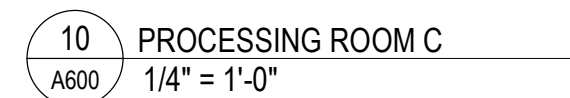
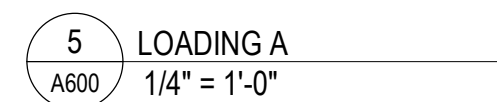
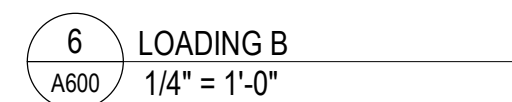
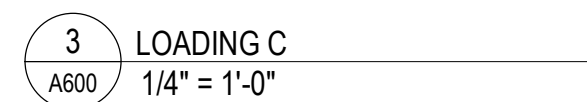
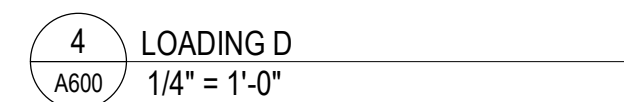
drawing scale
1/4" = 1'-0"

approver
Approver

drawing number
A200

revision
5

NOT FOR CONSTRUCTION
5/13/2021 10:52:10 AM



consultant / contractor information.

01/16/2021	
03/10/2021	

01/16/2021	
03/10/2021	

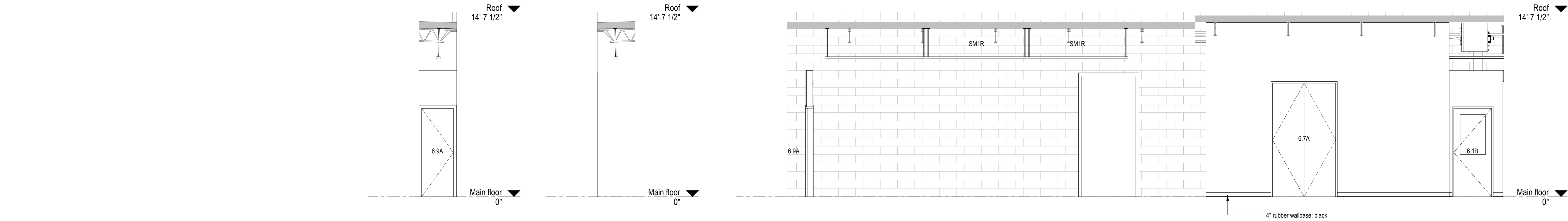
client
Good Feels Inc. **good**
23 Jayar Road, Medway, MA 0205

J t A

JOE THE ARCHITECT

343 Medford Street, Suite 4C Somerville, MA 02145
t: +1(617) 764-3593 e: askjoe@joethearchitect.com
www.joethearchitect.com

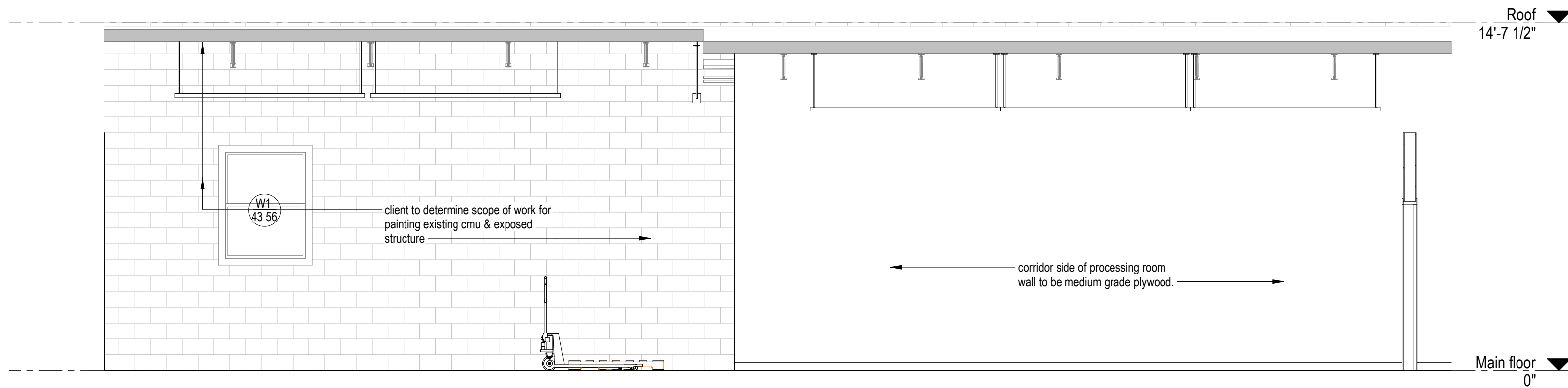
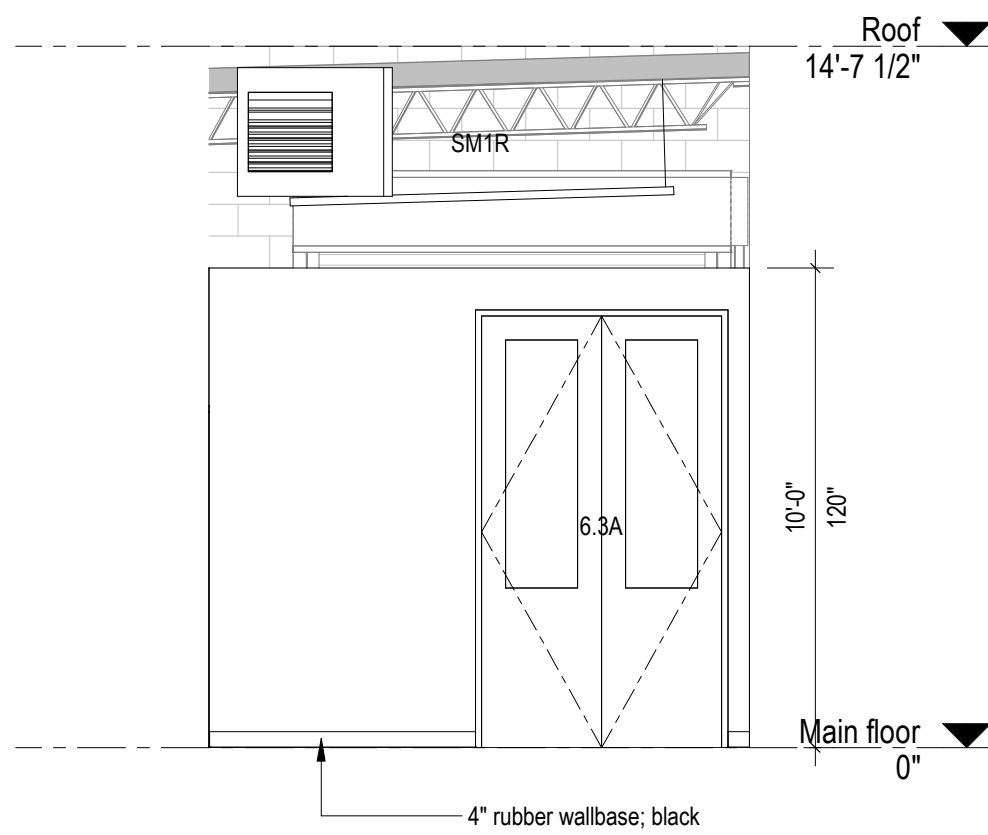
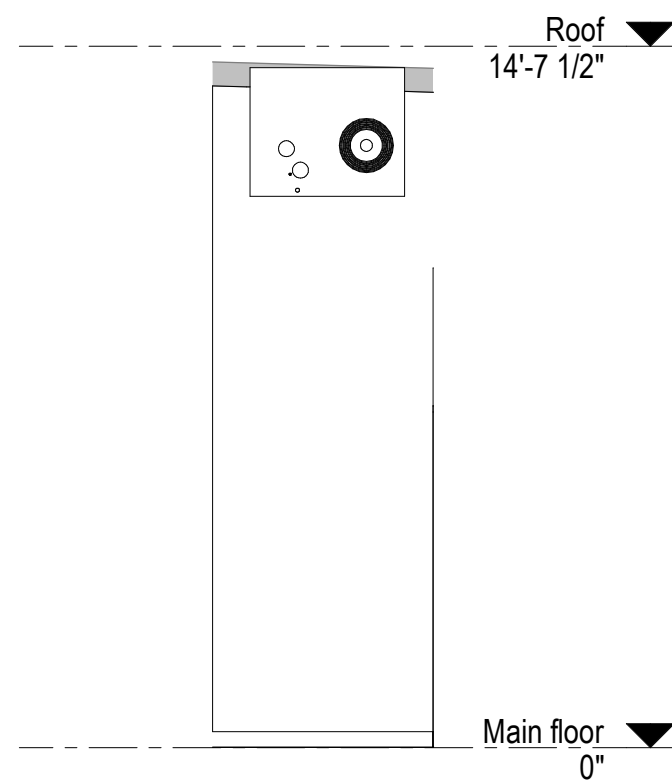
project number 302	drawing scale 1/4" = 1'-0"	approver Approver
drawing number A600		revision 4



2 OPEN OFFICE D
A601 1/4" = 1'-0"

1 OPEN OFFICE B
A601 1/4" = 1'-0"

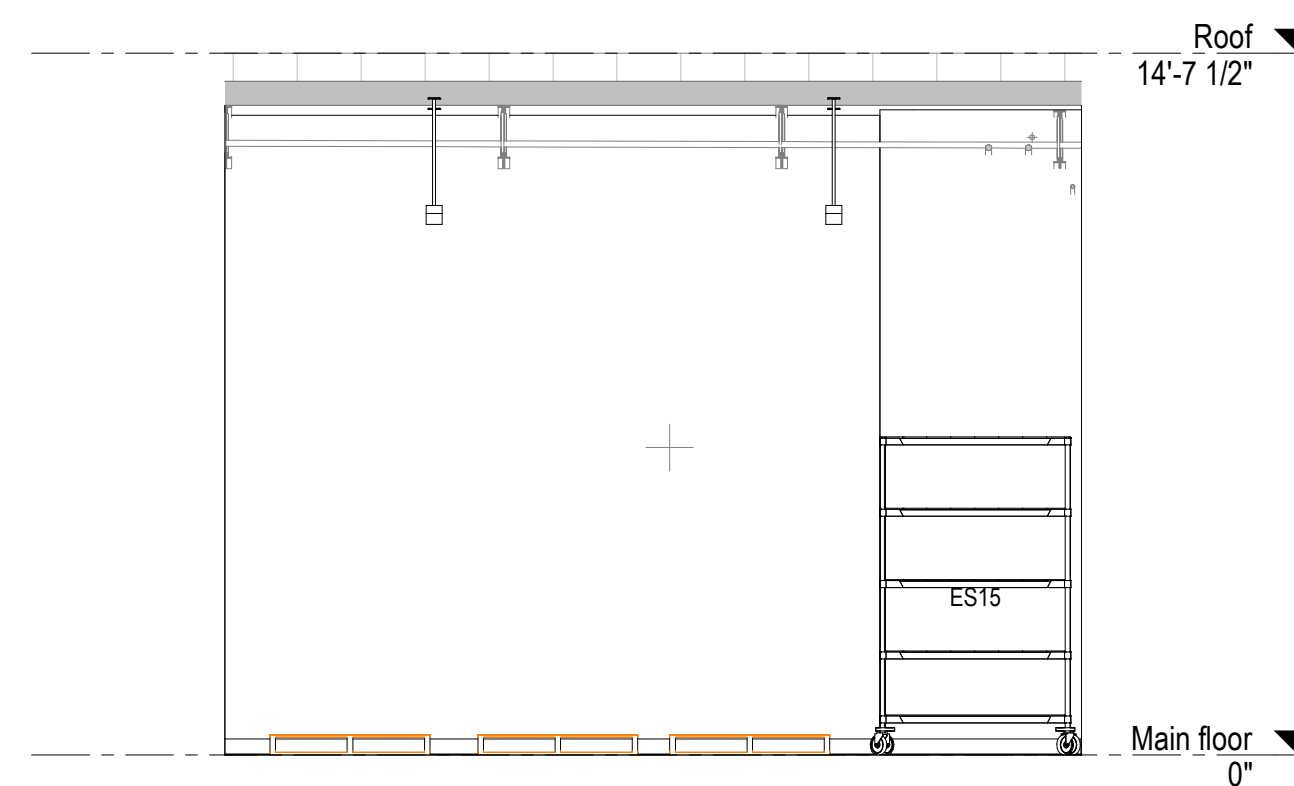
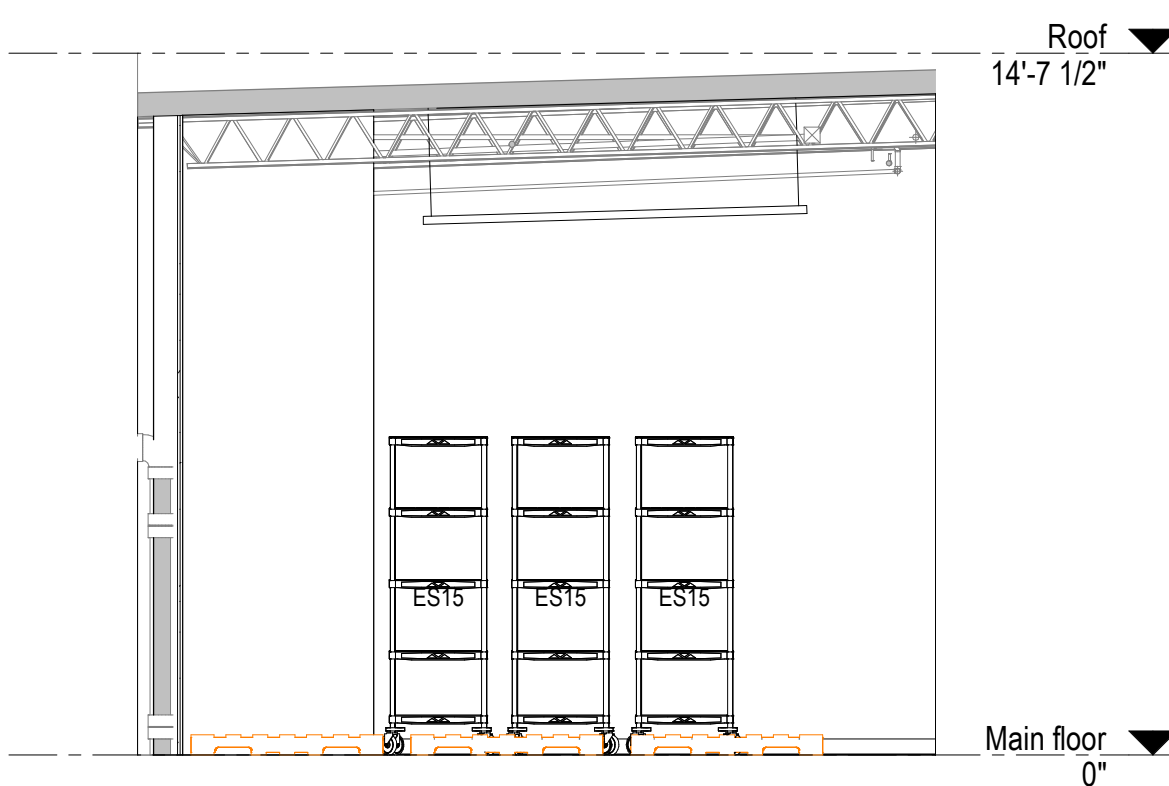
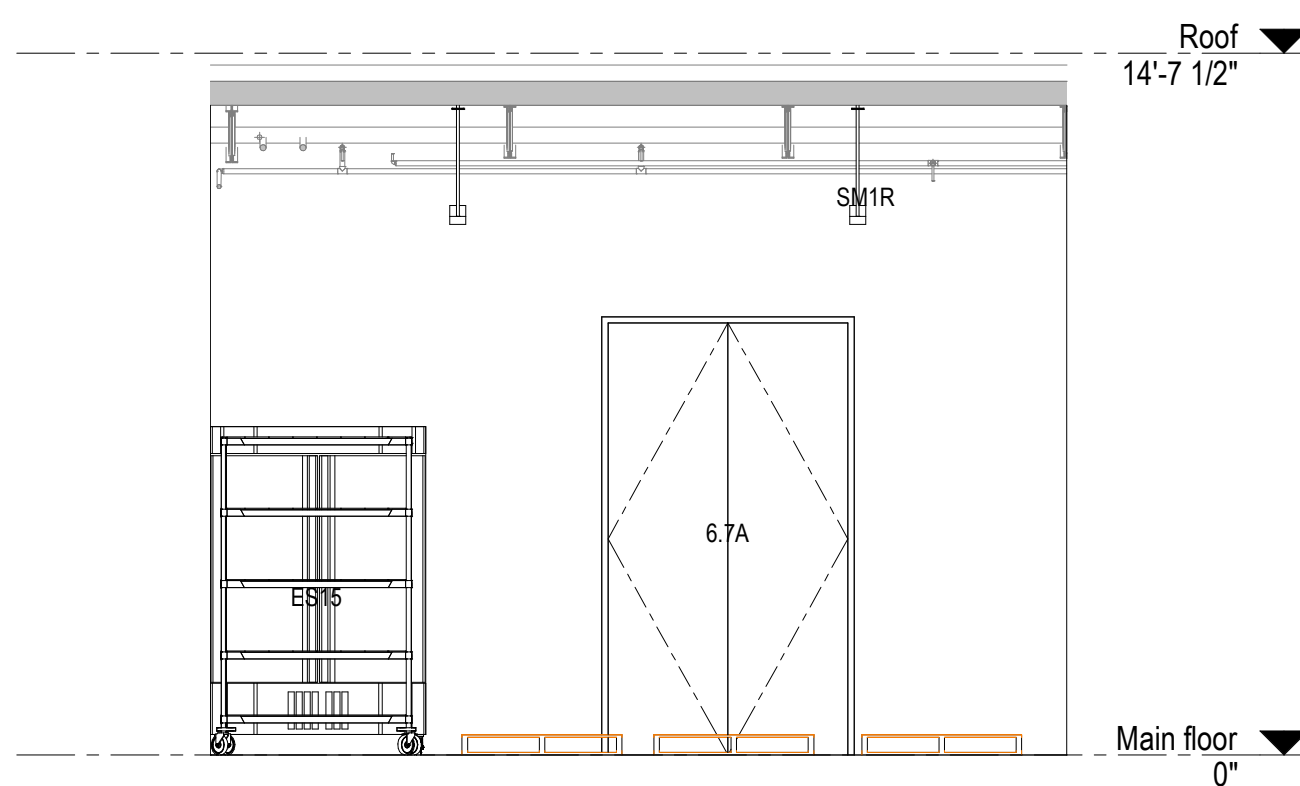
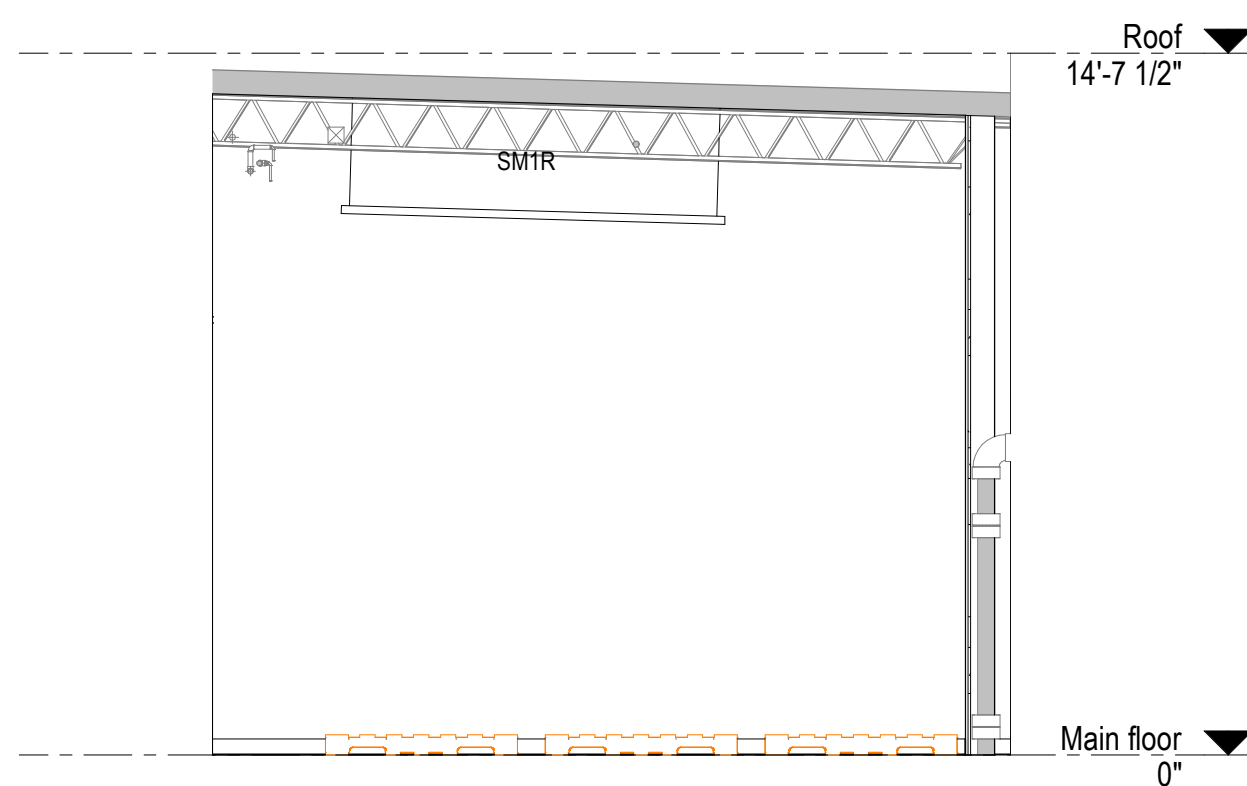
5 STORAGE CORRIDOR A
A601 1/4" = 1'-0"



4 OPEN STORAGE D
A601 1/4" = 1'-0"

3 OPEN STORAGE B
A601 1/4" = 1'-0"

6 STORAGE CORRIDRO C
A601 1/4" = 1'-0"

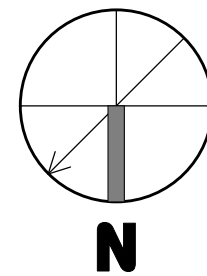


10 VAULT D
A601 1/4" = 1'-0"

9 VAULT C
A601 1/4" = 1'-0"

8 VAULT B
A601 1/4" = 1'-0"

7 VAULT A
A601 1/4" = 1'-0"



WARNING:
See The Architect, Inc., all drawings and written material herein constitute the original and unpublished work of the architect, and the same may not be duplicated, used, or disclosed without the written consent of the architect. Contractors to use Architectural drawings for set out. Contractors to check and verify all Dimensions on Site prior to Construction/ fabrication. Figure Dimensions take precedence over Scaled Dimensions. Any discrepancies should be immediately referred to the Architect. The project manager shall be notified in writing of any discrepancies prior to proceeding with the work. The scale of drawings may change when copied or traced. All work to comply with I.B.C. Regulations and relevant American Standards.
© 2020 - all rights reserved

consultant / contractor information:



revision	revision description	date
1	PERMIT DOCUMENT SET	01/16/2021
4	PERMIT REV 3	03/10/2021

project title
Good Feels Inc. Medway Suite 6
23 Jayar Road, Medway, MA 02053

client
Good Feels Inc. **good feels™**
23 Jayar Road, Medway, MA 02053

J t A
JOE THE ARCHITECT
343 Medford Street, Suite 4C Somerville, MA 02145
t: +1(617) 764-3593 e: askjoe@joethearchitect.com
www.joethearchitect.com

For Construction
drawing title
INTERNAL ELEVATIONS

project number 302	drawing scale 1/4" = 1'-0"	approver Approver
drawing number A601	revision 4	



NCE JOB MEMO 2020-016-R2

TO: Jason Reposa

COMPANY: Good Feels, Inc.

FROM: Jeffrey Komrower, Noise Control Engineering

DATE: May 26, 2021

SUBJECT: Noise Predictions for Chiller and Backup Generator

Good Feels, Inc. is proposing to establish a Marijuana Product Manufacturing (MPM) facility located at 23 Jayar Road in Medway, MA. The location is in an industrial park and is not near any residential abutters, but still must meet noise regulations if any equipment will be installed that would be a noise source. Because of the type of facility, there is no cultivation requirements and thus no extreme requirements for supporting equipment. Calculations have previously been performed for a rooftop HVAC unit to support the facility operations. Since these calculations have been performed, there has been an addition of a chiller unit and backup generator to the facility. Both these units will be located at the back of the building as shown in Figure 1. The chiller unit is a Whaley SA5-3-2P30T packaged air chiller. Specifications are given in Appendix A. Appendix B shows the specifications for a Generac G9.0L SG/MG130 generator with a Level 1 sound enclosure.

Using measurements taken from MassGIS's online mapping tool (Figure 2), the distance to the closest property line (North property line) was determined to be 68 feet. The assumption is that if the units meet the noise requirements at this property line, it will also meet the requirements at the property line of the closest commercial abutter, which is on the opposite side of the building at a distance of 120 feet and in the shadow zone of the building. Absorption material will be installed on the wall behind the chiller and generator to eliminate any reflections off the building and an eight-foot-high barrier will be installed around the units.

The Town of Medway Environmental Standards for continuous noise are as follows:

Continuous Noise. For the purposes of this bylaw, continuous noise restrictions apply to permanent non-residential uses and home-based businesses where noise is a by-product of business operations (such as from exhaust equipment). Maximum permissible sound pressure levels (SPL) measured at the property line of the noise source shall not exceed the values specified in the Table 1 below. In addition, maximum permissible sound levels measured at sensitive receptors located within one-thousand feet of the property line of the noise source for noise radiated continuously from the noise source shall not exceed the values specified in the table below. Daytime is defined as between the hours of 7:00 a.m. and 9:00 p.m. and Nighttime is defined as between the hours of 9:00 p.m. and 7:00 a.m.

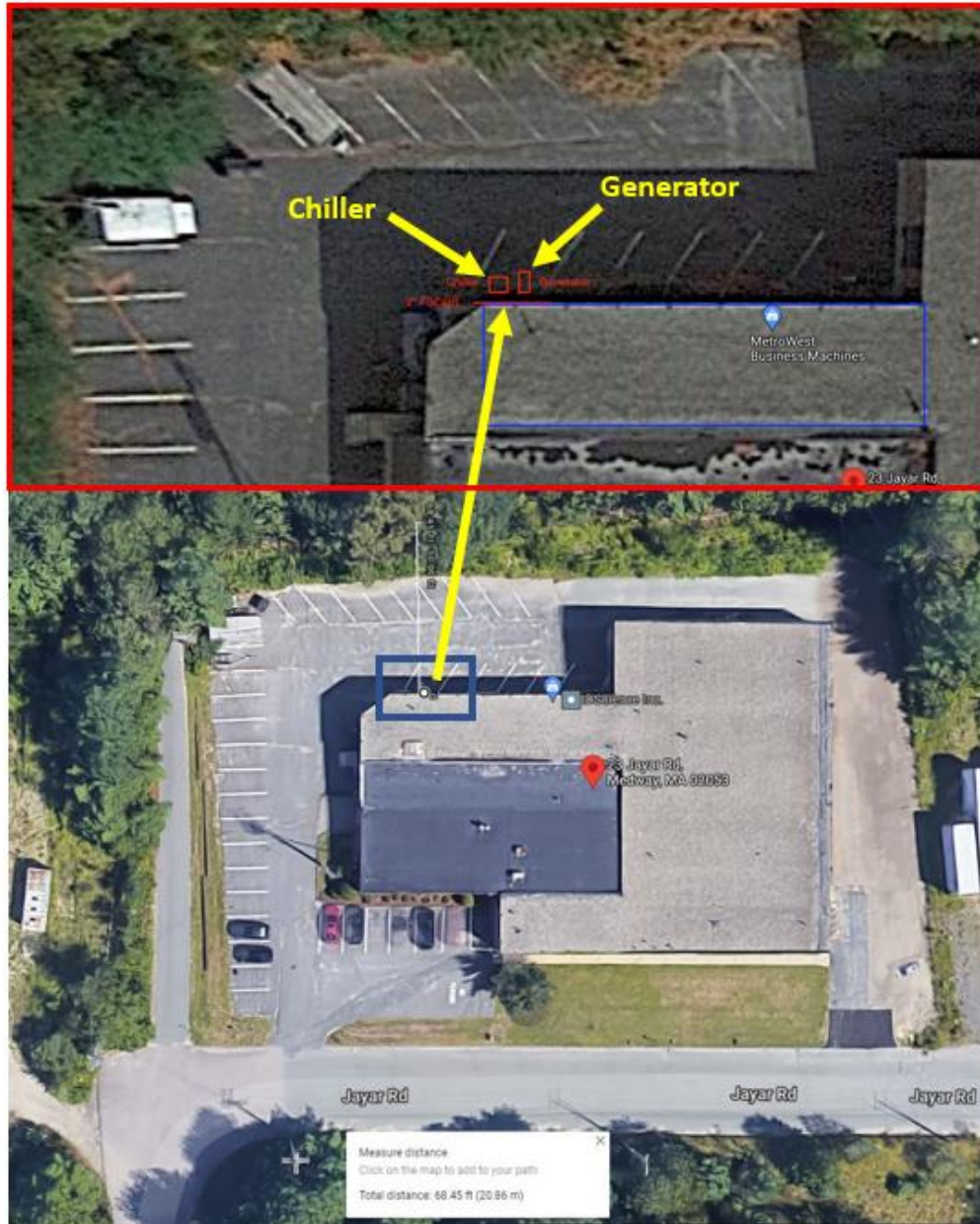


Figure 1. Location of proposed chiller unit and backup generator



Figure 2. Distance of proposed chiller and generator units to closest property lines

Octave Band Center Frequency (Hz)	Daytime (dB) 7:00 a.m. – 9:00 p.m.	Nighttime (dB) 9:00 p.m. – 7:00 a.m.
63	72	55
125	60	48
250	53	42
500	47	39
1000	43	36
2000	40	33
4000	37	30
8000	33	27
Overall Level (dBA)	52	42

Table 1: Town of Medway maximum permissible sound pressure levels

Published sound power levels for the chiller were obtained from manufacturer's published specifications which is provided in Appendix A. Calculations using hemispherical spreading were performed to predict noise levels from this unit at the property line. The results of this calculation for the overall SPL in dB(A) as well as the SPL for the individual octave bands in unweighted dB is presented in Table 2 along with the Town of Medway noise limits. The daytime noise levels are met without a barrier, however, the overall nighttime limit of 42 dB(A) is exceeded by 2 dB and several of the octave bands exceed the nighttime limits by up to 3 dB. With an eight-foot barrier around the chiller and generator units, the nighttime levels in all octave bands as well as the overall level are well below the limits. The barrier prediction model is shown in Figure 3. The manufacturer's specifications did not include the 63 Hz octave band (which will not significantly contribute to the overall level) so it was assumed to be at the same level as the 125 Hz octave band. It is not anticipated that the operation of this chiller unit will result in any noise pollution as described in the Town of Medway Environmental Standards.

		Whaley SA5 Packaged Chiller Unit No. TSA060H4 - No Barrier			With Barrier		Town of Medway Environmental Standards			
Hz	A-wt	Unit No. TSA060H4 Published Sound Power Levels (Lw)	Predicted Sound Pressure Levels at 68 feet		Predicted Sound Pressure Levels at 68 feet		Daytime Limits (7 am to 9 PM)		Nighttime Limits (7 am to 9 PM)	
Octave	Filters	dB	dB	dB(A)	dB	dB(A)	dB	dB(A)	dB	dB(A)
125	-16	77	42	26	32	16	60	44	48	32
250	-9	78	43	35	32	23	53	44	42	33
500	-3	78	43	40	29	26	47	44	39	36
1000	0	74	39	39	27	27	43	43	36	36
2000	1	69	35	36	20	21	40	41	33	34
4000	1	64	29	30	12	13	37	38	30	31
8000	-1	61	26	25	5	4	33	32	27	26
OA		83	48	44	37	31	61	51	50	42

Table 2: Predicted noise levels from chiller at nearest property line

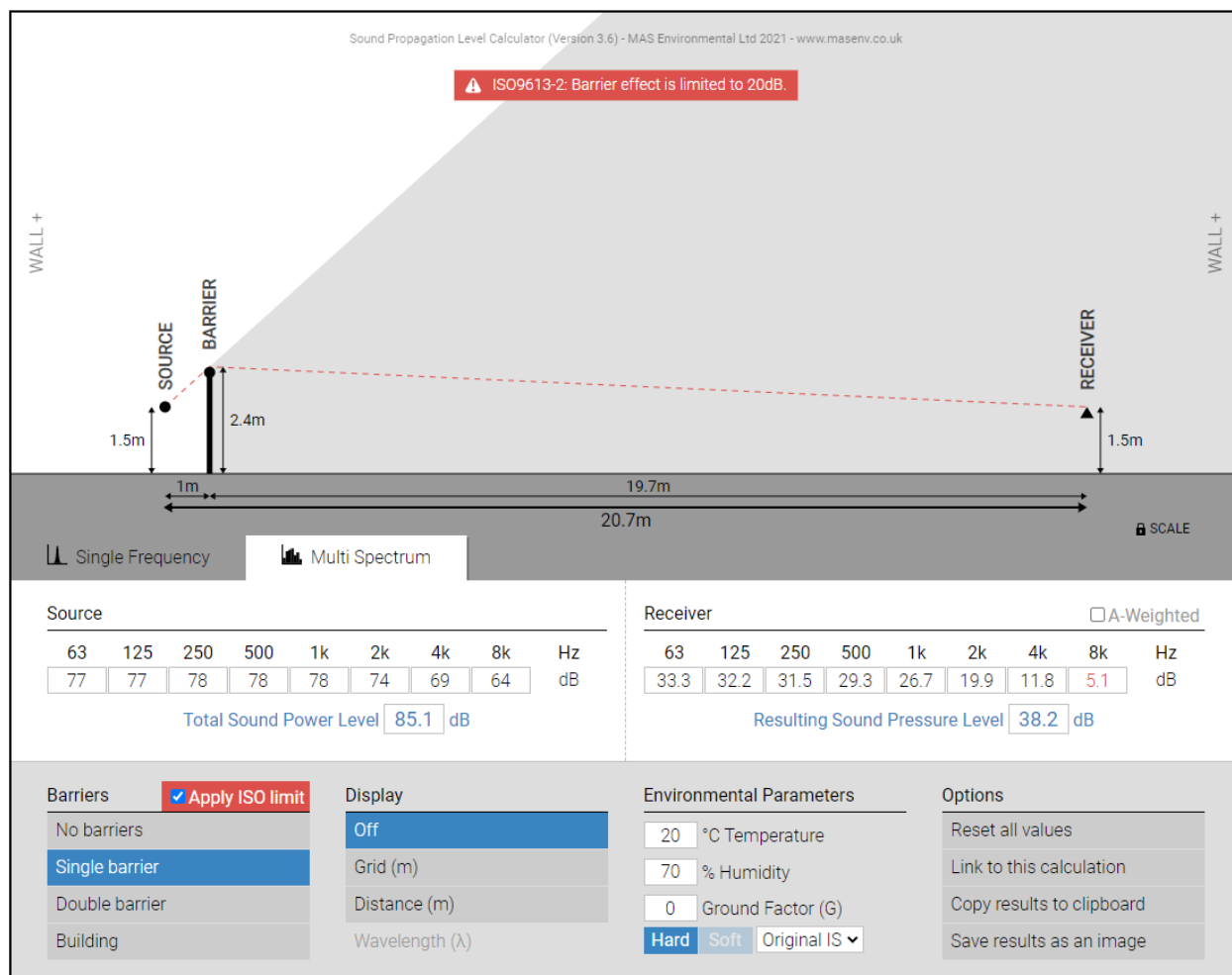


Figure 3. Barrier calculation for chiller with eight-foot barrier

For the backup generator, SPL's at 7 meters from the unit were obtained from the manufacturer's specification sheet which is provided in Appendix B. The generator is expected to only be operated for a 5-minute test cycle monthly during daytime hours unless there is an emergency situation. Calculations using hemispherical spreading were performed to predict noise levels from this unit at the North property line. The results of this calculation for the overall SPL in dB(A) as well as the SPL for the individual octave bands in unweighted dB is presented in Table 3 along with the Town of Medway noise limits. As can be seen, the calculated noise levels at the property line when the backup generator is in operation exceed both the daytime and nighttime limits without the barrier. The barrier prediction is shown in Figure 4. With the barrier in place, noise levels meet the daytime overall noise level, but there are two octave bands that are slightly above the limits. However, neither the overall nor octave band nighttime limits are met at this property line.

		Generac G9.0L SG/MG130 with Level 1 Sound Attenuated Enclosure Q=2 for hemispherical Spreading					With Barrier		Town of Medway Environmental Standards			
Hz	A-wt	Sound Power Levels (Lw)	Sound Pressure Level at 7 meters		Equivalent Sound Pressure Levels at 68 feet		Equivalent Sound Pressure Levels at 68 feet		Daytime Limits (7 am to 9 PM)		Nighttime Limits (7 am to 9 PM)	
Octave	Filters	dB	dB	dB(A)	dB	dB(A)	dB	dB(A)	dB	dB(A)	dB	dB(A)
63	-26	113	88	62	79	53	69	43	72	46	55	29
125	-16	108	83	67	74	58	63	47	60	44	48	32
250	-9	101	77	68	67	59	54	45	53	44	42	33
500	-3	93	68	65	59	56	43	40	47	44	39	36
1000	0	90	65	65	56	56	38	38	43	43	36	36
2000	1	83	58	59	48	50	28	29	40	41	33	34
4000	1	77	52	53	43	44	19	20	37	38	30	31
8000	-1	74	49	48	40	39	15	14	33	32	27	26
OA		115	90	73	80	64	70	51	72	52	56	42

Table 3: Predicted noise levels from backup generator at nearest property line

Since the backup generator was above limits at the North property line, a calculation was performed at the South property line near Jayer Road. In this calculation, shown in Table 4, the building acts as a barrier and the distance from the generator is 120 feet. As can be seen, the daytime noise levels are met, however the overall level is slightly above the nighttime limits and the lower three octave bands are also above the nighttime limits. However, again, it is not expected that the generator will be operating at night except during an emergency situation.

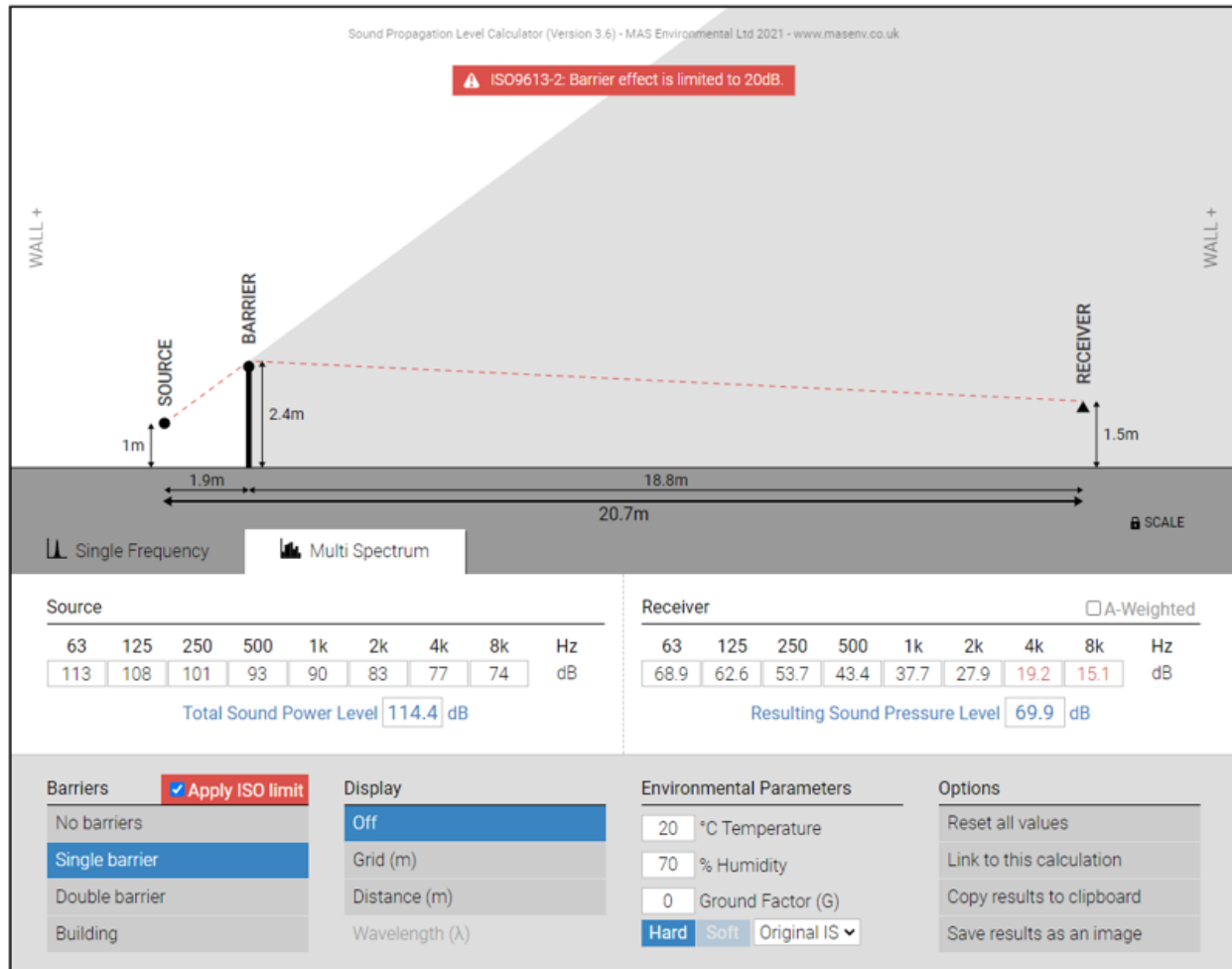


Figure 3. Barrier calculation for generator with eight-foot barrier

		Generac G9.0L SG/MG130 with Level 1 Sound Attenuated Enclosure			Opposite Side of Building		Town of Medway Environmental Standards			
Hz	A-wt	Sound Power Levels (Lw)	Sound Pressure Level at 7 meters		Predicted Sound Pressure Levels at 120 feet		Daytime Limits (7 am to 9 PM)		Nighttime Limits (7 am to 9 PM)	
Octave	Filters	dB	dB	dB(A)	dB	dB(A)	dB	dB(A)	dB	dB(A)
63	-26	113	88	62	63	37	72	46	55	29
125	-16	108	83	67	56	40	60	44	48	32
250	-9	101	77	68	46	37	53	44	42	33
500	-3	93	68	65	35	32	47	44	39	36
1000	0	90	65	65	31	31	43	43	36	36
2000	1	83	58	59	23	24	40	41	33	34
4000	1	77	52	53	17	18	37	38	30	31
8000	-1	74	49	48	12	11	33	32	27	26
OA		115	90	73	64	44	72	52	56	42

Table 4: Predicted noise levels from backup generator at Jayar Road property line

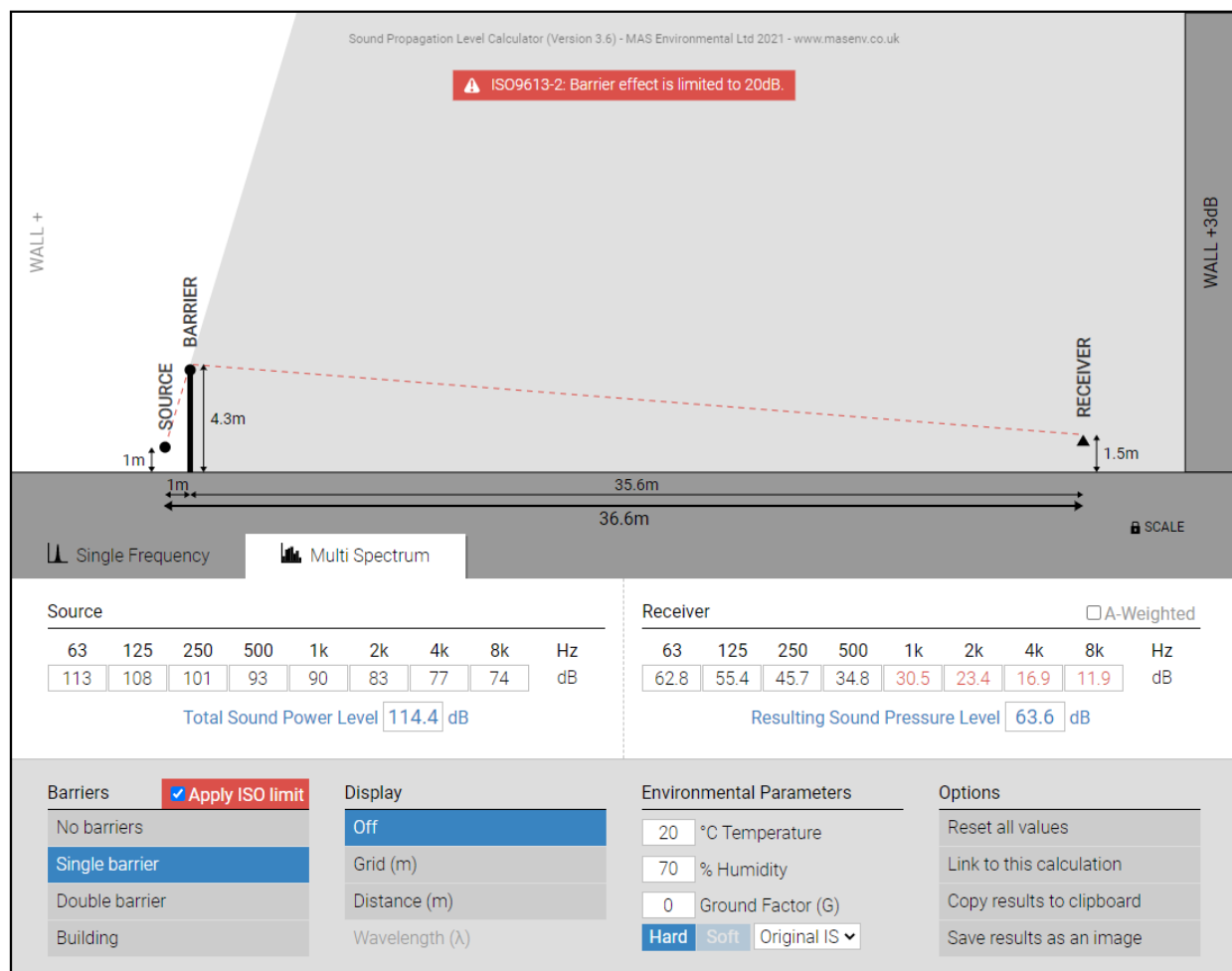


Figure 4. Barrier calculation for backup generator at Jayar Road

Appendix A: Specifications for Whaley SA5-3-2P30T Packaged Air Chiller

BUDGETARY QUOTATION

QUOTATION#: NRE2110481.00

REFERENCE: CONTROL POINT 2 15 BBL BBTFINAL661

CLIENT: CONTROL POINT

PROSPERO

#	DESCRIPTION
5	<p>WHA-SA532P30TU0 \$11,350.00</p> <p>SA5-3-2P30T - PACKAGED AIR COOLED CHILLER</p> <p>STANDARD FEATURES</p> <p>High Efficient R-410A Refrigerant</p> <p>Copeland Scroll compressor(s)</p> <p>Insulated stainless steel copper-brazed plate evaporator(s) (others available)</p> <p>Cast iron end suction centrifugal supply pump rated at 2.4gpm per ton at 100' TDH (stainless available)</p> <p>Insulated polypropylene reservoir with fill port and liquid level sight glass (larger volumes available)</p> <p>Thermostatic expansion valve, filter drier, sight glass installed on refrigerant circuit(s)</p> <p>Service ports and valves</p> <p>NEMA 4 control panel with digital temperature controller</p> <p>High and low pressure safety</p> <p>Single point power connection</p> <p>Direct drive fan(s) made to run slower and more quiet</p> <p>Vertical air discharge fans minimizes operating sound</p> <p>Weather resistant fan motor made to survive in the elements.</p> <p>Highly efficient coil provides excellent heat transfer and low air resistance</p> <p>Energy Star qualified unit</p> <p>Assembled, plumbed, and wired on industrial epoxy-coated steel frame</p> <p>Refrigerant circuit(s) pressure tested for leaks with nitrogen charge</p> <p>Refrigerant circuit(s) vacuum tested for leaks to negative-psi pressure</p> <p>Refrigerant circuit(s) fully charged with refrigerant</p> <p>Hydronic circulation loop leak tested under full flow using the WHALE-SOFT™ Testing Platform</p> <p>Complete systems fully run tested under heat load using the WHALE-SOFT™ Testing Platform</p> <p>COOLING PERFORMANCE AT 50F GLYCOL / 95F AMB / 0% GLYCOL <u>Nominal Tons: 5 Tons</u> KW: 17.55 BTU/hr: 60000</p> <p>COOLING PERFORMANCE AT 25F GLYCOL / 95F AMB / 50% GLYCOL <u>Nominal Tons: 2.46 Tons</u> KW: 9.02</p>



sample image only

BUDGETARY QUOTATION

QUOTATION#: NRE2110481.00

REFERENCE: CONTROL POINT 2 15 BBL BBTFINAL661

CLIENT: CONTROL POINT

PROSPERO

#	DESCRIPTION
	BTU/hr: 29460 REFRIGERATION CIRCUIT DETAILS: Compressor QTY: 1 Configuration: Single circuit PUMP AND TANK DETAILS Supply Pump Flow & Pressure: 12gpm @ 100tdh (43psi) <u>Tank Volume: 30 gallon</u> CONNECTIONS Inlet/Outlet: 1.0" FNPT PHYSICAL DATA Length: 40" Width: 40" Height: 67.25" ELECTRICAL SPECIFICATIONS Voltage: 208-240v/3ph/60hz UNIT FLA: 23.5 UNIT MCA: 29.375 UNIT MOCP: 30.0 F.O.B. Burkburnett, TX

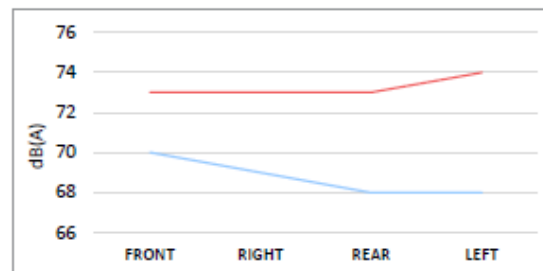
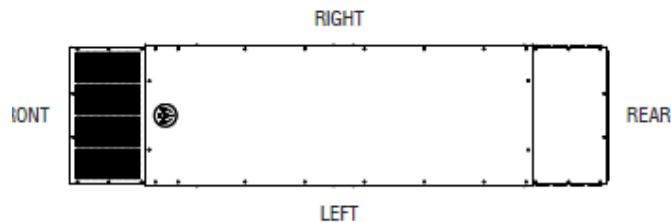
Unit	Octave Band Linear Sound Power Levels dB, re 10 ⁻¹² Watts Center Frequency - HZ						
Model No.	125	250	500	1000	2000	4000	8000
SA3 PACKAGED	73.5	75.0	74.0	72.5	67.5	62.5	56.5
SA4 PACKAGED	76.5	74.0	73.5	73.5	70.0	62.5	58.5
SA5 PACKAGED	76.5	77.5	77.5	73.5	69.0	63.5	60.5

Appendix B: Specifications for Generac G9.0L SG/MG130 with Level 1 Sound Enclosure

LEVEL 1 SOUND ATTENUATED ENCLOSURE G9.0L Generac, SG/MG130

60Hz NO-LOAD, dB(A)										DISTANCE: 7 METERS
MICROPHONE LOCATION	OCTAVE BAND CENTER FREQUENCY (Hz)									
	31.5	63	125	250	500	1,000	2,000	4,000	8,000	dB(A)
FRONT	37	53	57	62	66	66	59	52	45	70
RIGHT	38	55	59	63	63	64	57	52	45	69
REAR	39	58	64	59	61	64	52	47	42	68
LEFT	39	55	61	63	63	61	56	51	45	68
AVERAGE	38	55	60	62	63	64	56	50	44	69

60Hz FULL-LOAD, dB(A)										DISTANCE: 7 METERS
MICROPHONE LOCATION	OCTAVE BAND CENTER FREQUENCY (Hz)									
	31.5	63	125	250	500	1,000	2,000	4,000	8,000	dB(A)
FRONT	35	61	63	67	66	70	60	55	48	73
RIGHT	36	59	65	71	66	62	60	54	50	73
REAR	37	66	71	66	62	64	54	48	44	73
LEFT	36	63	69	69	67	63	61	53	49	74
AVERAGE	36	62	67	68	65	65	59	53	48	73



- All positions at 23 feet (7 meters) from side faces of generator set.
- Test conducted on a 100 foot diameter asphalt surface.
- Sound pressure levels are subject to instrumentation, installation and testing conditions.
- Sound levels are ± 2 dB(A).

Table 2: Sound pressure levels at 1 meter from manufacturer's specification sheet

		Mitsubishi MXZ-8C48NAHZ2						Town of Medway Environmental Standards			
Hz	A-wt	Sound Pressure Level at 1 meter		Equivalent Sound Pressure Levels at 120 feet		Equivalent Sound Pressure Levels at 80 feet		Daytime Limits (7 am to 9 PM)		Nighttime Limits (7 am to 9 PM)	
Octave	Filters	dB	dB(A)	dB	dB(A)	dB	dB(A)	dB	dB(A)	dB	dB(A)
63	-26	65	39	37	11	40	14	72	46	55	29
125	-16	56	40	28	12	31	15	60	44	48	32
250	-9	55	46	27	18	30	22	53	44	42	33
500	-3	53	50	25	22	28	25	47	44	39	36
1000	0	48	48	20	20	23	23	43	43	36	36
2000	1	43	44	15	16	18	19	40	41	33	34
4000	1	39	40	11	12	14	15	37	38	30	31
8000	-1	33	32	5	4	8	7	33	32	27	26
OA		66	54	38	26	41	29	72	52	56	42

Table 3: Predicted noise levels from rooftop HVAC equipment at nearest property lines

Susan Affleck-Childs

From: Christopher Menge <cmenge@hmmh.com>
Sent: Wednesday, June 2, 2021 4:26 PM
To: Susan Affleck-Childs
Subject: RE: Good Feels (23 Jayar Road) - Medway - Further noise review
Attachments: Generac_MG130_SpecSheet.pdf

Hello Susan,

I have reviewed the updated noise report from NCE on the subject application dated May 26, 2021; this memo provides my formal comments on the report. I find the analysis to be appropriate, and it appears to be accurate. The source data appears to be well supported with manufacturers' specifications for both the chiller and the emergency generator. NCE makes it clear that the chiller nearly meets the Medway nighttime property line noise limits at the nearest property line to the north without a noise barrier. However, with the proposed 8-foot-high noise barrier, the chiller will be significantly below the nighttime limits, and so will be fully compliant.

The noisier emergency generator is a different story. While the generator will only operate for a few minutes each month except during power outages, it will not be fully compliant with Medway's daytime or nighttime noise limits as it is proposed. The applicant is proposing to use a "Level 1" noise abatement enclosure around the unit. That, in combination with the proposed 8-foot-high noise barrier will allow the generator to be just under the 52 dBA daytime property line limit at the northern property line, with a level of 51 dBA. Generator noise in two of the lower-frequency octave bands will not meet the daytime octave band limits, however. The generator noise level at the north property line will be 9 decibels over the nighttime limit of 42 dBA. The NCE report projects the generator noise level to the nearest developed commercial property line to the south, at Jayar Rd., allowing for the greater distance and greater barrier effect of the building. The projected generator noise level at that location is 44 dBA, 2 decibels above the nighttime limit.

It very likely would be possible for the applicant to even meet the nighttime noise limit at the nearest property line to the north by specifying a more effective noise abatement enclosure for the generator (perhaps the Level 2 enclosure mentioned in the attached specification would be sufficient) and possibly also a taller noise barrier. However, these treatments could be significantly more costly. Given that residential or other noise-sensitive land use is not near the facility, and that the generator will operate a small percentage of the time, the Town may decide that requiring full compliance of the generator with the nighttime noise limits is not necessary. Certainly, the Town could require the applicant to conduct the monthly 5-minute generator operation testing during daytime hours, as mentioned in the NCE report. Then, the only nighttime operation would occur during power outages at night when the facility is operating.

Please let me know if you have any questions or comments.

Sincerely,

Christopher Menge

Sr. Vice President/Principal Consultant



www.hmmh.com

☎ 781.852.3153 | 📠 781.223.8944

cmenge@hmmh.com

From: Susan Affleck-Childs <sachilds@townofmedway.org>
Sent: Thursday, May 27, 2021 4:25 PM
To: Christopher Menge <cmenge@hmmh.com>
Subject: FW: Good Feels (23 Jayar Road) - Medway - Further noise review

[EXTERNAL]

Hi Chris,

We have payment in hand from the applicant. Attached is the purchase order.

Also attached is an updated memorandum from Noise Control Engineering. From my quick read, it appears the chiller is compliant. However, the back-up generator is not. I think it would be fine if you want to reach out to Jeff Komrower at NCE with any questions.

Thanks for being available to help us out with this review.

The next hearing for this project is June 8th. Can you email me your review comments by June 3rd?

Enjoy the long weekend!

Susy

Susan E. Affleck-Childs
Planning and Economic Development Coordinator



Town of Medway
155 Village Street
Medway, MA 02053
508-533-3291
sachilds@townofmedway.org

From: Susan Affleck-Childs
Sent: Thursday, May 27, 2021 8:32 AM
To: Christopher Menge <cmenge@hmmh.com>
Subject: RE: Good Feels (23 Jayar Road) - Medway - Further noise review

Hi,

I am expecting payment today from our applicant. Will let you know when I get it. The applicant has provided some updated (corrected) info from their noise consultant that I will forward to you.

Last time we did a PO for your services. I am hoping we could do so again. OK?

Susy

From: Christopher Menge [<mailto:cmenge@hmmh.com>]
Sent: Tuesday, May 18, 2021 10:35 AM
To: Susan Affleck-Childs <sachilds@townofmedway.org>
Subject: RE: Good Feels (23 Jayar Road) - Medway - Further noise review

Sounds good. Thanks for the heads up on the schedule.

Chris

Christopher Menge

Sr. Vice President/Principal Consultant



www.hmmh.com

☎ 781.852.3153 | 📠 781.223.8944

cmenge@hmmh.com

From: Susan Affleck-Childs <sachilds@townofmedway.org>
Sent: Tuesday, May 18, 2021 10:27 AM
To: Christopher Menge <cmenge@hmmh.com>
Subject: RE: Good Feels (23 Jayar Road) - Medway - Further noise review

[EXTERNAL]

Hi Chris,

Thanks very much. Stay tuned.

The Board will review your proposal at its May 25th meeting and I will let you know whether or not to proceed.

Best regards,

Susy

Susan E. Affleck-Childs
Planning and Economic Development Coordinator
Town of Medway
155 Village Street
Medway, MA 02053
508-533-3291
sachilds@townofmedway.org

From: Christopher Menge [<mailto:cmenge@hmmh.com>]
Sent: Tuesday, May 18, 2021 10:22 AM
To: Susan Affleck-Childs <sachilds@townofmedway.org>
Subject: RE: Good Feels (23 Jayar Road) - Medway - Further noise review

Hi Suzy,

Please find our proposal attached.

We look forward to supporting the Town of Medway again.

My best,

Chris

Christopher Menge

Sr. Vice President/Principal Consultant



www.hmmh.com

☎ 781.852.3153 | 📠 781.223.8944

cmenge@hmmh.com

From: Susan Affleck-Childs <sachilds@townofmedway.org>
Sent: Monday, May 17, 2021 2:59 PM
To: Christopher Menge <cmenge@hmmh.com>
Subject: RE: Good Feels (23 Jayar Road) - Medway - Further noise review

[EXTERNAL]

Yay! Fantabulous. Thanks.

Susy

Susan E. Affleck-Childs
Planning and Economic Development Coordinator
Town of Medway
155 Village Street
Medway, MA 02053
508-533-3291
sachilds@townofmedway.org

From: Christopher Menge [<mailto:cmenge@hmmh.com>]
Sent: Monday, May 17, 2021 2:56 PM
To: Susan Affleck-Childs <sachilds@townofmedway.org>
Subject: RE: Good Feels (23 Jayar Road) - Medway - Further noise review

Hello Susy,

Sure - I'm happy to help you out again. And, I'm available on the evening of June 8.

I'll get you a proposal tomorrow.

Chris

Christopher Menge

Sr. Vice President/Principal Consultant



www.hmmh.com

☎ 781.852.3153 | 📠 781.223.8944

cmenge@hmmh.com

From: Susan Affleck-Childs <sachilds@townofmedway.org>
Sent: Monday, May 17, 2021 12:53 PM
To: Christopher Menge <cmenge@hmmh.com>
Subject: Good Feels (23 Jayar Road) - Medway - Further noise review

[EXTERNAL]

Hi Chris,

You helped us out this past winter reviewing the noise generation aspects of a small project in Medway.

The permittee now finds that a generator has to be installed outdoors and they also need to install a chiller.

Attached is the information provided to us.

We would like to engage you again to review these attached materials, provide an email response, and possibly be available to ZOOM in for the public hearing on June 8th. Please send me a proposal for your services.

Thanks for your help.

Susy Affleck-Childs

Susan E. Affleck-Childs
Planning and Economic Development Coordinator
Town of Medway
155 Village Street
Medway, MA 02053
508-533-3291
sachilds@townofmedway.org

Technical Excellence. Client Satisfaction.
www.hmmh.com

NOTICE: This electronic mail message, including any files or attachments, may contain PRIVILEGED AND/OR CONFIDENTIAL INFORMATION intended only for the use of the addressee. If you are not the addressee, or if you have received this electronic message in error, you may not copy or disclose its contents to anyone. If you received this message by mistake, please notify HMMH immediately by e-mail reply and delete the original message and all copies from your system.

Technical Excellence. Client Satisfaction.
www.hmmh.com

NOTICE: This electronic mail message, including any files or attachments, may contain PRIVILEGED AND/OR CONFIDENTIAL INFORMATION intended only for the use of the addressee. If you are not the addressee, or if you have received this electronic message in error, you may not copy or disclose its contents to anyone. If you received this message by mistake, please notify HMMH immediately by e-mail reply and delete the original message and all copies from your system.

Technical Excellence. Client Satisfaction.
www.hmmh.com

NOTICE: This electronic mail message, including any files or attachments, may contain PRIVILEGED AND/OR CONFIDENTIAL INFORMATION intended only for the use of the addressee. If you are not the addressee, or if you have received this electronic message in error, you may not copy or disclose its contents to anyone. If you received this message by mistake, please notify HMMH immediately by e-mail reply and delete the original message and all copies from your system.

Technical Excellence. Client Satisfaction.
www.hmmh.com

NOTICE: This electronic mail message, including any files or attachments, may contain PRIVILEGED AND/OR CONFIDENTIAL INFORMATION intended only for the use of the addressee. If you are not the addressee, or if you have received this electronic message in error, you may not copy or disclose its contents to anyone. If you received this message by mistake, please notify HMMH immediately by e-mail reply and delete the original message and all copies from your system.

Susan Affleck-Childs

From: Lally, John - 0666 - MITLL <jlally@ll.mit.edu>
Sent: Monday, June 7, 2021 8:38 AM
To: Susan Affleck-Childs
Subject: 23 Jayar Rd
Attachments: good_feels_-_nce_llc_job_memo_2021-016_14-may-2021_-_noise_analysis (2).pdf

Good morning Susy,

From the latest PEDB Agenda for the 8June2021 PEDB meeting it appears this meeting will be held in person with no ZOOM option, correct?

Below is my input to the public hearing for the 23 Jayar Rd facility, I ask that you please distribute this email and attachment to PEDB members for their consideration, and also to make sure they're included in the public record. Please feel free to distribute this email and attachment to others as you see fit.

Questions:

- 1.) What is the predicted noise level at the 23 Jayar Rd North property line when the backup generator is operating?
 - a. I had a hard time reconciling the text descriptions versus the figures and tables, they didn't seem to match:
 - i. Table 3 is described in the text and labeled as being for the backup generator, but it looks like the predictions for the chiller were duplicated in Table 3?
 - ii. Couldn't find a backup generator noise prediction figure that showed an 8ft tall barrier with a distance of 68ft to the property line, i.e. the closest property line
 1. I see one for the chiller on Pg. 4 but don't see an equivalent figure using backup generator.
 2. Figure 3 on Pg. 6 (there's also a figure 3 on Pg. 4?) is labeled as generator with 8ft barrier but in the figure it shows a 4.3M (14ft) tall barrier and a distance to Jayar Rd not closest property line.
 - b. I think the existing noise Bylaw would set the noise limit for the backup generator to: Daytime operation only +5dB, & Noise source operated less than 20% of any 1-hour period +5 dB?
- 2.) Has the applicant considered additional noise mitigation for the backup generator?
 - a. If yes, can the applicant please describe what was considered and why none is being proposed?
 - b. If no, can the applicant please explain why not and perhaps consider additional noise mitigation?

The concern is for the folks over on Green Valley Rd, especially with the trend towards more folks working from home and being on zoom calls, noise during the day might not be as benign as it once was.

Requests:

- 1.) Excluding emergency situations backup generator operation limited to:
 - a. Frequency: Not more than once per month for testing purposes only.
 - b. Duration: Not more than 5minutes.
 - c. Days of Operation: M-F, excluding holidays.
 - d. Times of Operation between: 9:30am-3:30pm
- 2.) Emergency situations shall be resolved as soon as ????????? so as to minimize the use of the emergency backup generator.

- a. Not sure what should go at ???????
 - i. As soon as **practicable** seemed too ambiguous.
 - ii. As soon as **possible** seemed too onerous.
- b. The idea is, wouldn't want the backup generator running out of convenience or simply to prevent a reduction in profit margin etc.

Respectfully Submitted,
John Lally, Resident
35 Coffee Street
Medway, MA 02053

Susan Affleck-Childs

From: Lally, John - 0666 - MITLL <jlally@ll.mit.edu>
Sent: Tuesday, June 8, 2021 8:06 AM
To: Susan Affleck-Childs
Subject: RE: 23 Jayar Rd
Attachments: Generac_MG_Series.pdf

Thank you for the noise update Susy,

Some observations, and a question to please share with PEDB members and Jason:

Because the backup generator is only used during emergency situations it could be argued that the noise from the backup generator isn't continuous, so special condition C.2.b in the Good Feels Special permit might not apply to noise from the backup generator.

However, the existing Noise Bylaw applies to "noise radiated continuously...between 10pm and 7am..." so if the backup generator were to run all night and be at the predicted 51dBA at the North property line, I think it would be in violation of the existing bylaw by 4dBA.

Coincidentally, it looks like Generac offers a Level 2 acoustic enclosure which is 4dBA quieter than the Level 1, please see page 6 of the attached.

It appears that a level 2 acoustic enclosure might bring the facility into noise compliance under all conditions.

Why is a Level 1 acoustic enclosure proposed instead of a Level 2 acoustic enclosure?

Thank you again Susy,
-John

From: Susan Affleck-Childs <sachilds@townofmedway.org>
Sent: Monday, June 7, 2021 11:17 AM
To: Lally, John - 0666 - MITLL <jlally@ll.mit.edu>
Subject: RE: 23 Jayar Rd

Hi,

Wanted to let you know that NCE updated their memo. Unfortunately, I did not load that revised version to the web site. My apologies.

See attached.

Susy

From: Lally, John - 0666 - MITLL [<mailto:jlally@ll.mit.edu>]
Sent: Monday, June 7, 2021 8:38 AM
To: Susan Affleck-Childs <sachilds@townofmedway.org>
Subject: 23 Jayar Rd

Good morning Susy,

From the latest PEDB Agenda for the 8June2021 PEDB meeting it appears this meeting will be held in person with no ZOOM option, correct?

Below is my input to the public hearing for the 23 Jayar Rd facility, I ask that you please distribute this email and attachment to PEDB members for their consideration, and also to make sure they're included in the public record. Please feel free to distribute this email and attachment to others as you see fit.

Questions:

- 1.) What is the predicted noise level at the 23 Jayar Rd North property line when the backup generator is operating?
 - a. I had a hard time reconciling the text descriptions versus the figures and tables, they didn't seem to match:
 - i. Table 3 is described in the text and labeled as being for the backup generator, but it looks like the predictions for the chiller were duplicated in Table 3?
 - ii. Couldn't find a backup generator noise prediction figure that showed an 8ft tall barrier with a distance of 68ft to the property line, i.e. the closest property line
 1. I see one for the chiller on Pg. 4 but don't see an equivalent figure using backup generator.
 2. Figure 3 on Pg. 6 (there's also a figure 3 on Pg. 4?) is labeled as generator with 8ft barrier but in the figure it shows a 4.3M (14ft) tall barrier and a distance to Jayar Rd not closest property line.
 - b. I think the existing noise Bylaw would set the noise limit for the backup generator to: Daytime operation only +5dB, & Noise source operated less than 20% of any 1-hour period +5 dB?
- 2.) Has the applicant considered additional noise mitigation for the backup generator?
 - a. If yes, can the applicant please describe what was considered and why none is being proposed?
 - b. If no, can the applicant please explain why not and perhaps consider additional noise mitigation?

The concern is for the folks over on Green Valley Rd, especially with the trend towards more folks working from home and being on zoom calls, noise during the day might not be as benign as it once was.

Requests:

- 1.) Excluding emergency situations backup generator operation limited to:
 - a. Frequency: Not more than once per month for testing purposes only.
 - b. Duration: Not more than 5minutes.
 - c. Days of Operation: M-F, excluding holidays.
 - d. Times of Operation between: 9:30am-3:30pm
- 2.) Emergency situations shall be resolved as soon as ???????? so as to minimize the use of the emergency backup generator.
 - a. Not sure what should go at ????????
 - i. As soon as **practicable** seemed too ambiguous.
 - ii. As soon as **possible** seemed too onerous.
 - b. The idea is, wouldn't want the backup generator running out of convenience or simply to prevent a reduction in profit margin etc.

Respectfully Submitted,
John Lally, Resident
35 Coffee Street
Medway, MA 02053

MG Series
Paralleling Unit

GENERAC®

**INDUSTRIAL
POWER**

MG130

9.0L

Industrial Spark-Ignited Generator Set

EPA Certified Stationary Emergency

MG130 130 kW

Standby Power Rating
130 kW 163 kVA 60 Hz



*Built in the USA using domestic
and foreign parts

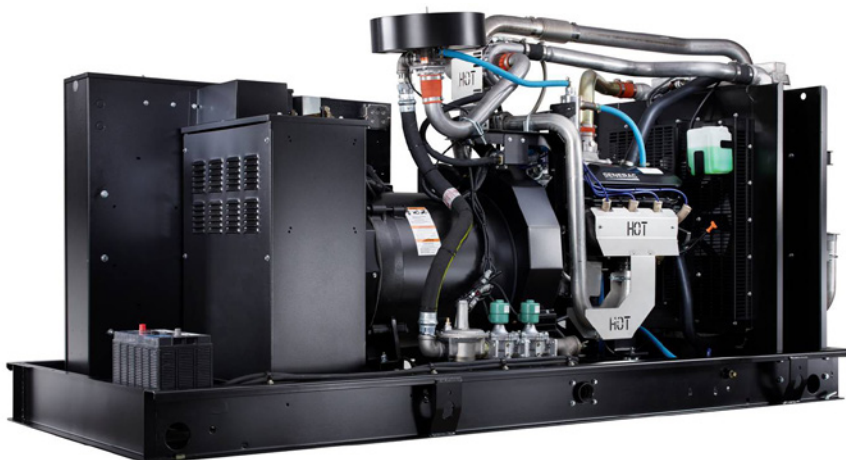


Image used for illustration purposes only

Codes and Standards

Generac products are designed to the following standards:



UL2200, UL508, UL142, UL498



NFPA70, 99, 110, 37



NEC700, 701, 702, 708



ISO9001, 8528, 3046, 7637, Pluses #2b, 4



NEMA ICS10, MG1, 250, ICS6, AB1



ANSI C62.41
American National Standards Institute



IBC 2009, CBC 2010, IBC 2012, ASCE 7-05,
ASCE 7-10, ICC-ES AC-156 (2012)

Powering Ahead

For over 50 years, Generac has led the industry with innovative design and superior manufacturing.

Generac ensures superior quality by designing and manufacturing most of its generator components, including alternators, enclosures and base tanks, control systems and communications software.

Generac's gensets utilize a wide variety of options, configurations and arrangements, allowing us to meet the standby power needs of practically every application.

Generac searched globally to ensure the most reliable engines power our generators. We choose only engines that have already been proven in heavy-duty industrial application under adverse conditions.

Generac is committed to ensuring our customers' service support continues after their generator purchase.

MG130

Standard Features

ENGINE SYSTEM

- General
- Oil Drain Extension
- Air Cleaner
- Fan Guard
- Stainless Steel flexible exhaust connection
- Critical Exhaust Silencer
- Factory Filled Oil
- Radiator duct adapter (open set only)

Fuel System

- Primary and Secondary Fuel Shutoff
- Flexible Fuel Line - NPT Connection

Cooling System

- Closed Coolant Recovery System
- UV/Ozone resistant hoses
- Factory-installed Radiator
- 50/50 Ethylene glycol antifreeze

Engine Electrical System

- Battery charging alternator
- Battery Cables
- Battery Tray
- Solenoid activated starter motor
- Rubber-booted engine electrical connections

ALTERNATOR SYSTEM

- UL2200 GENprotect™
- Class H insulation material
- 2/3 Pitch
- Skewed Stator
- Brushless Excitation
- Sealed Bearings
- Amortisseur winding
- Full load capacity alternator

GENERATOR SET

- Internal Genset Vibration Isolation
- Separation of circuits - high/low voltage
- Separation of circuits - multiple breakers
- Wrapped Exhaust Piping (enclosed units only)
- Standard Factory Testing
- 2 Year Limited Warranty (Standby rated Units)
- Silencer mounted in the discharge hood (enclosed only)

ENCLOSURE (if selected)

- Rust-proof fasteners with nylon washers to protect finish
- High performance sound-absorbing material
- Gasketed doors
- Stamped air-intake louvers
- Air discharge hoods for radiator-upward pointing
- Stainless steel lift off door hinges
- Stainless steel lockable handles
- Rhino Coat™ - Textured polyester powder coat

CONTROL SYSTEM

Control Panel

- Digital G-200 Paralleling Control Panel - Touch-screen
- Programmable Crank Limiter
- 7-Day Programmable Exerciser
- Special Applications Programmable PLC
- RS-232/485
- All-Phase Sensing DVR
- Full System Status
- Low Fuel Pressure Indication
- 2-Wire Start Compatible
- Power Output (kW)
- Power Factor
- kW Hours, Total & Last Run
- Real/Reactive/Apparent Power
- All Phase AC Voltage
- All Phase Currents
- Oil Pressure
- Coolant Temperature
- Coolant Level
- Engine Speed
- Battery Voltage
- Frequency
- Date/Time Fault History (Event Log)
- Isochronous Governor Control
- Waterproof/sealed Connectors
- Audible Alarms and Shutdowns
- Not in Auto (Flashing Light)
- Auto/Off/Manual Switch
- E-Stop (Red Mushroom-Type)
- Customizable Alarms, Warnings, and Events
- Modbus protocol
- Predictive Maintenance algorithm
- Sealed Boards
- Password parameter adjustment protection
- Single point ground
- 15 channel data logging
- 0.2 msec high speed data logging
- Alarm information automatically comes up on the display

Alarms

- Oil Pressure (Pre-programmable Low Pressure Shutdown)
- Coolant Temperature (Pre-programmed High Temp Shutdown)
- Coolant Level (Pre-programmed Low Level Shutdown)
- Low Fuel Pressure Alarm
- Engine Speed (Pre-programmed Over speed Shutdown)
- Battery Voltage Warning
- Alarms & warnings time and date stamped
- Alarms & warnings for transient and steady state conditions
- Snap shots of key operation parameters during alarms & warnings
- Alarms and warnings spelled out (no alarm codes)

PARALLELING CONTROLS

- Auto-synchronization process
- Isochronous load sharing
- Reverse power protection
- Maximum power protection
- Electrically operated, mechanically held paralleling switch
- Sync check system
- Independent on-board paralleling
- Optional programmable logic full auto back-up control (pls)
- Shunt Trip and Auxiliary Contact

MG130

Configurable Options

ENGINE SYSTEM

- General
- ☐ Engine Block Heater
- ☐ Oil Heater
- ☐ Air Filter Restriction Indicator
- ☐ Stone Guard (Open Set Only)
- ☐ Critical Exhaust Silencer (Open Set Only / Standard on Ultra Low Emissions Option)

Engine Electrical System

- ☐ 10A UL battery charger
- ☐ Battery Warmer

ALTERNATOR SYSTEM

- ☐ Alternator Upsizing
- ☐ Anti-Condensation Heater
- ☐ Tropical coating
- ☐ Permanent Magnet Excitation

GENERATOR SET

- ☐ Gen-Link Communications Software (English Only)
- ☐ Extended Factory Testing (3 Phase Only)
- ☐ IBC Seismic Certification
- ☐ 8 Position Load Center
- ☐ 2 Year Extended Warranty
- ☐ 5 Year Warranty
- ☐ 5 Year Extended Warranty

CIRCUIT BREAKER OPTIONS

- ☐ Main Line Circuit Breaker
- ☐ 2nd Main Line Circuit Breaker
- ☐ Electronic Trip Breakers

ENCLOSURE

- ☐ Standard Enclosure
- ☐ Level 1 Sound Attenuation
- ☐ Level 2 Sound Attenuation
- ☐ Steel Enclosure
- ☐ Aluminum Enclosure
- ☐ 150 MPH Wind Kit
- ☐ 12 VDC Enclosure Lighting Kit
- ☐ 120 VAC Enclosure Lighting Kit
- ☐ AC/DC Enclosure Lighting Kit
- ☐ Door Alarm Switch

CONTROL SYSTEM

- ☐ Oil Temperature Sender with Indication Alarm
- ☐ Remote E-Stop (Break Glass-Type, Surface Mount)
- ☐ Remote E-Stop (Red Mushroom-Type, Surface Mount)
- ☐ Remote E-Stop (Red Mushroom-Type, Flush Mount)
- ☐ Remote Communication - Ethernet
- ☐ 10A Run Relay
- ☐ Ground fault indication and protection functions

Engineered Options

ENGINE SYSTEM

- ☐ Coolant heater ball valves
- ☐ Fluid containment pans

GENERATOR SET

- ☐ Special Testing
- ☐ Battery Box

CONTROL SYSTEM

- ☐ Spare inputs (x4) / outputs (x4) - H Panel Only
- ☐ Battery Disconnect Switch

ALTERNATOR SYSTEM

- ☐ 3rd Breaker Systems

ENCLOSURE

- ☐ Motorized Dampers
- ☐ Enclosure Ambient Heaters
- ☐ 150 MPH Wind Kit

Rating Definitions

Standby – Applicable for a varying emergency load for the duration of a utility power outage with no overload capability.

Power ratings in accordance with ISO 8528-1, Second Edition dated 2005-06-01, definitions for Prime Power (PRP) and Emergency Standby Power (ESP).

MG130

application and engineering data

ENGINE SPECIFICATIONS

General

Make	Generac
Cylinder #	8
Type	V
Displacement - L (Cu In)	8.9L (540)
Bore - mm (in)	114.23 (4.49)
Stroke - mm (in)	107.15 (4.25)
Compression Ratio	10.5:1
Intake Air Method	Turbocharged/Aftercooled
Number of Main Bearings	5
Connecting Rods	Forged
Cylinder Head	Cast Iron
Cylinder Liners	No
Ignition	High Energy
Pistons	Aluminum Alloy
Crankshaft	Forged Steel
Lifter Type	Hydraulic Roller
Intake Valve Material	Steel Alloy
Exhaust Valve Material	Stainless Steel
Hardened Valve Seats	Yes

Engine Governing

Governor	Electronic
Frequency Regulation (Steady State)	+/- 0.25%

Lubrication System

Oil Pump Type	Gear
Oil Filter Type	Full-flow spin-on cartridge
Crankcase Capacity - L (qts)	8.5 (8.0)

Cooling System

Cooling System Type	Pressurized Closed
Water Pump Flow - gpm (lpm)	26 (98)
Fan Type	Pusher
Fan Speed (rpm)	2330
Fan Diameter mm (in)	558 (22)
Coolant Heater Wattage	1500
Coolant Heater Standard Voltage	120 V

Fuel System

Fuel Type	Natural Gas, Propane Vapor
Carburetor	Down Draft
Secondary Fuel Regulator	Standard
Fuel Shut Off Solenoid	Standard
Operating Fuel Pressure (Standard)	7" - 11" H ₂ O

Engine Electrical System

System Voltage	12 VDC
Battery Charging Alternator	Standard
Battery Size	See Battery Index 0161970SBY
Battery Voltage	12 VDC
Ground Polarity	Negative

ALTERNATOR SPECIFICATIONS

Standard Model	390 mm
Poles	4
Field Type	Revolving
Insulation Class - Rotor	H
Insulation Class - Stator	H
Total Harmonic Distortion	<5%
Telephone Interference Factor (TIF)	< 50
Standard Excitation	Brushless
Bearings	Sealed Ball
Coupling	Direct Drive
Prototype Short Circuit Test	Yes

Voltage Regulator Type	Full Digital
Number of Sensed Phases	All
Regulation Accuracy (Steady State)	+/- 0.25%

MG130

operating data

MG130 130 kW

POWER RATINGS

	Natural Gas		Propane Vapor	
Single-Phase 120/240 VAC @1.0pf	130 kW	Amps: 541	130 kW	Amps: 541
Three-Phase 120/208 VAC @0.8pf	130 kW	Amps: 551	130 kW	Amps: 551
Three-Phase 120/240 VAC @0.8pf	130 kW	Amps: 541	130 kW	Amps: 541
Three-Phase 277/480 VAC @0.8pf	130 kW	Amps: 196	130 kW	Amps: 196
Three-Phase 346/600 VAC @0.8pf	130 kW	Amps: 156	130 kW	Amps: 156

STARTING CAPABILITIES (sKVA)

		sKVA vs. Voltage Dip											
		480 VAC						208/240 VAC					
Alternator	kW	10%	15%	20%	25%	30%	35%	10%	15%	20%	25%	30%	35%
Standard	130	116	174	232	293	348	406	87	131	174	218	261	305
Upsize 1	150	133	199	265	332	398	464	100	146	199	249	299	348
Upsize 2	200	187	280	373	467	560	653	140	210	280	350	420	490

FUEL CONSUMPTION RATES*

Natural Gas – ft³/hr (m³/hr)		Propane Vapor – ft³/hr (m³/hr)	
Percent Load	Standby	Percent Load	Standby
25%	532.7 (15.1)	25%	191.4 (5.4)
50%	868.0 (24.6)	50%	325.1 (9.2)
75%	1198.3 (33.9)	75%	452.5 (12.8)
100%	1572.9 (44.5)	100%	580.4 (16.4)

*Fuel supply installation must accommodate fuel consumption rates at 100% load.

COOLING

		Standby
Air Flow (inlet air combustion and radiator)	ft³/min (m³/min)	5757 (163.0)
Coolant Flow per Minute	gpm (lpm)	26 (98)
Coolant System Capacity	gal (L)	6.0 (22.7)
Heat Rejection to Coolant	BTU/hr	302,400 / 241,920
Maximum Operating Ambient Temperature	°F (°C)	122 (50)
Maximum Additional Radiator Backpressure	in H ₂ O	0.5

COMBUSTION AIR REQUIREMENTS

	Standby
Flow at Rated Power cfm (m³/min)	378.2 (10.7)

ENGINE

		Standby
Rated Engine Speed	rpm	1800
Horsepower at Rated kW**	hp	204.3
Piston Speed	ft/min (m/min)	1275 (389)
BMEP	psi	163.7

** Refer to "Emissions Data Sheet" for maximum bHP for EPA and SCAQMD permitting purposes.

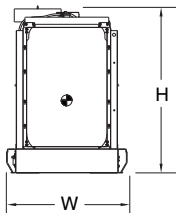
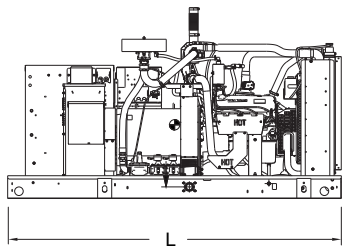
EXHAUST

		Standby
Exhaust Flow (Rated Output)	cfm (m³/min)	1367.6 (38.7)
Maximum Additional Back Pressure (post silencer)	inHg	0.75
Exhaust Temp (Rated Output)	°F (°C)	1280 (693)
Exhaust Outlet Size (Open Set)	in	3.0" ID Flex (No Muffler)

Deration – Operational characteristics consider maximum ambient conditions. Derate factors may apply under atypical site conditions. Please consult a Generac Power Systems Industrial Dealer for additional details. All performance ratings in accordance with ISO3046, BS5514, ISO8528 and DIN6271 standards.

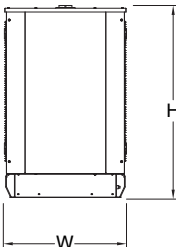
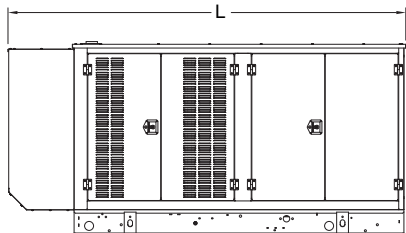
MG130

dimensions, weights, and sound levels



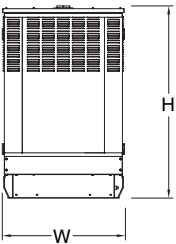
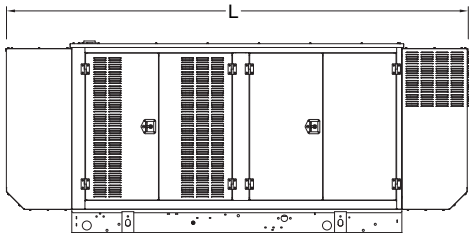
OPEN SET (Includes Exhaust Flex)

L x W x H in (mm)	110 (2795) x 39.4 (1000.2) x 54.3 (1378)
Weight lbs (kg)	2672 (1213)
Sound Level (dBA*)	81



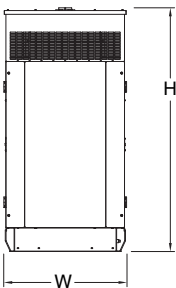
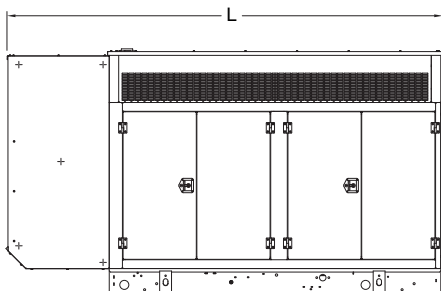
STANDARD ENCLOSURE

L x W x H in (mm)	132.72 (3371.1) x 40.46 (1027.8) x 64.05 (1627)
Weight lbs (kg)	Steel: 3433 (1558) Aluminum: 3054 (1386)
Sound Level (dBA*)	80



LEVEL 1 ACOUSTIC ENCLOSURE

L x W x H in (mm)	154.13 (3914.9) x 40.46 (1027.8) x 64.05 (1627)
Weight lbs (kg)	Steel: 3669 (1665) Aluminum: 3155 (1432)
Sound Level (dBA*)	74



LEVEL 2 ACOUSTIC ENCLOSURE

L x W x H in (mm)	144.53 (3671) x 40.46 (1027.8) x 80.88 (2054.3)
Weight lbs (kg)	Steel: 3788 (1719) Aluminum: 3206 (1455)
Sound Level (dBA*)	70

*All measurements are approximate and for estimation purposes only. Sound levels measured at 23 ft (7 m) and does not account for ambient site conditions.

YOUR FACTORY RECOGNIZED GENERAC INDUSTRIAL DEALER

Specification characteristics may change without notice. Please consult a Generac Power Systems Industrial Dealer for detailed installation drawings.



June 8, 2021

**Medway Planning & Economic Development Board
Meeting**

**Public Hearing – Phytopia, Inc. (6 Industrial
Park Road) - Marijuana Special Permits,
Major Site Plan, Groundwater Protection
Special Permit and Reduced Parking
Special Permit**

- Public Hearing Notice dated 5-19-21
- Applications – medical marijuana and adult use (recreational) marijuana special permit, major site plan review, groundwater protection special permit and reduced parking special permit
- Project Description
- Site plan dated 4-1-21 by William Sparages Engineers, Planners and Surveyors of Middleton, MA
- Architectural drawings dated 6-2-21 by Anderson Porter Design of Cambridge, MA
- Requests for Waivers from the *Site Plan Rules and Regulations*
- Noise Study dated 4-12-21 by Acentech of Cambridge, MA

- Odor Study, undated, by BLW Engineers of Littleton, MA
- Parking Evaluation dated 5-12-21 by MDM Transportation Consultants of Marlborough, MA
- Letter dated 5-10-21 from Knoll Environmental with a summary and status of the investigation and remedial efforts at 6 Industrial Park Road to address contaminants in the groundwater and soil gas associated with the release of tetrachloroethene (PCD) from the previous General Display business operations at the site.
- Email dated 6-7-21 from John Lally regarding noise and odor with attachments

Note – Tetra Tech's review of the site plan is underway. The project is also subject to the Conservation Commission's jurisdiction for an Order of Conditions and a Land Disturbance Permit. Elsewhere on the agenda for the 6-8 meeting, you are asked to review and approve cost estimates from 3 outside consultants to review the noise study, odor study, and parking evaluation.



Board Members

Andy Rodenhiser, Chair
Robert Tucker, Vice Chair
Jessica Chabot, Member
Matthew Hayes, P.E.,
Member
Richard Di Iulio, Member

Medway Town Hall
155 Village Street
Medway, MA 02053
Phone (508) 533-3291
Fax (508) 321-4987
Email: planningboard@townofmedway.org
www.townofmedway.org

TOWN OF MEDWAY
COMMONWEALTH OF MASSACHUSETTS
PLANNING AND ECONOMIC
DEVELOPMENT BOARD

May 19, 2021

NOTICE OF PUBLIC HEARING

6 Industrial Park Road

**Recreational and Medical Marijuana Establishments Special Permits,
Groundwater Protection Special Permit, Reduced Parking Special Permit
and Major Site Plan Review**

In accordance with the *Medway Zoning Bylaw*, Section 8.9 Registered Medical Marijuana Facilities, Section 8.10 Recreational Marijuana, Section 3.5 Site Plan Review, and Section 5.6.3 Groundwater Protection District, and the provisions of Chapter 40A, Massachusetts General Laws, and the *Medway Site Plan Rules and Regulations*, notice is given that the ***Medway Planning and Economic Development Board will commence a public hearing on Tuesday, June 8, 2021 at 8:00 p.m. in Sanford Hall at Medway Town Hall, 155 Village Street to consider the applications of Phytopia, Inc. of Peabody, MA for approval of special permits to operate a non-retail Registered Medical Marijuana cultivation and processing establishment and a Recreational Marijuana cultivation and processing establishment, a major site plan, a groundwater protection district special permit, and a reduced parking special permit for a proposed development at 6 Industrial Park Road.***

The applicant proposes to use the existing 53,128 sq. ft. industrial manufacturing building at 6 Industrial Park Road (Map 33, Parcel 004) and construct a 66,238 sq. ft., 2-story addition to the existing building for the cultivation, manufacturing, processing, and packaging of marijuana for medical use and adult recreational use and the delivery of such products off site to retail marijuana establishments in other communities. A retail marijuana operation is NOT proposed.

The 4.24 acre property, owned by Medway Flower, LLC of Swampscott, MA, is located on the east side of Industrial Park Road in the East Industrial Zoning District. The subject property is bounded on the north by Jayar Road, on the south by property owned by Robert Potheau (4 Main Street) and 4 Industrial Park Road, LLC, and on the east by property owned by MARA Realty Trust (24 Jayar Road). The property is located within the Town's Groundwater Protection District. The site includes wetland resources which are under the jurisdiction of the Medway Conservation Commission for an

The planned scope of work includes interior renovations to the existing building, construction of the addition, improvements to the access/egress driveways, installation of curbing, parking area improvements, landscaping, lighting, and installation of and improvements to stormwater drainage facilities. The planned work is shown on a plan titled *Industrial Park Road*, dated April 1, 2021 prepared by Williams & Sparages Engineers, Planners and Surveyors of Middleton, MA. The architectural drawings dated April 6, 2021 were prepared by Anderson Porter Design of Cambridge, MA.

The planned marijuana establishment use requires two special use permits, the overall project requires major site plan review and approval, a reduced parking special permit, and a groundwater protection district special permit due to the extent of proposed impervious surface.

The applications, site plan, noise and odor mitigation reports, and other associated documents are on file with the Medway Town Clerk and at the office of the Planning and Economic Development Board at Medway Town Hall, 155 Village Street and may be reviewed during regular business hours. The materials have also been posted at the Planning and Economic Development Board's web page at:

<https://www.townofmedway.org/planning-economic-development-board/pages/current-applications-pedb-0>

Interested persons are invited to review the applications, attend the public hearing, and express their views at the designated time and place. The Sanford Hall meeting room is accessible via elevator to individuals with physical disabilities and challenges. Written comments are encouraged and may be forwarded to:

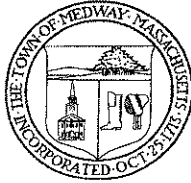
planningboard@townofmedway.org. Questions should be directed to the Medway Planning and Economic Development office at 508-533-3291.

Andy Rodenhiser, Chairman

For publication in the Milford Daily News

Monday, May 24, 2021

Tuesday, June 1, 2021



Planning & Economic Development Board
Town of Medway, MA

MARIJUANA SPECIAL PERMIT APPLICATION

INSTRUCTIONS TO APPLICANT/OWNER

This Application is made pursuant to Section 8.9 or 8.10 of the *Medway Zoning Bylaw*.
The provisions of Section 3.5 Site Plan Review may also apply.

The Town's planning and engineering consultants will review the Application and
provide review letters to the Planning and Economic Development Board.
A copy of those review letters will be provided to you in advance of the public hearing.

You and/or your duly authorized Agent/Official Representative are expected to attend the
Board meetings at which your Application will be considered to answer any questions and/or
submit such additional information as the Board may request.

Your absence at hearings may result in a delay in the Board's review of the special permit application.

April 30, 2021

APPLICANT INFORMATION

Applicant's Name: Phytopia, Inc.

Mailing Address: 25 Newbury St.

Peabody, MA 01960

Name of Primary Contact: Alex Athanas

Telephone: Office: _____ Cell: 603 630-4575

Email address: alex.athanas@gmail.com

☐ Please check here if the Applicant is the equitable owner (purchaser on a purchase and sales agreement.)

PROJECT INFORMATION

Development Name: N/A

Project Address: 6 Industrial Park Road

Plan Title: Industrial Park Road

Plan Date: April 1, 2021

Plan prepared by:
Name: Chris Sparages

Firm: Williams & Sparages

Type of Facility:

- ☐ Retail Registered Medical Marijuana Facility (allowed only in the Business Industrial Zoning District)
- ☒ Non-Retail Registered Medical Marijuana Facility (allowed only in the East and West Industrial Zoning Districts)
- ☒ Recreational (Adult Use) Marijuana Establishment (allowed only in the East and West Industrial Zoning Districts)

Type of Project:

- ☐ Construction of a New Building(s)
How many buildings? _____
Dimensions of New Building(s) _____
Gross Square Footage of New Building(s) _____
- ☒ Renovation of Existing Structure(s)
How many buildings? 1
Building Dimensions Approx 220' x 250'
Gross Square Footage of Existing Structure(s) 53,128 SF
- ☒ Construction of an addition to an Existing Structure
Addition Dimensions 146.33' x 226.33'
Gross Square Footage of Addition 66,238 SF
- ☐ Demolition of any structures on the site? If yes, please explain. _____
- ☐ Use of an existing building without renovation or site changes

How many parking spaces presently exist? 37

How many new parking spaces are proposed? 55

What is the existing amount of impervious surface (buildings and paved area) on the property?
89,869 SF

How much additional impervious surface is planned? 49,784

Please note that a Stormwater Management and Land Disturbance Permit pursuant to Medway General Bylaws Section 26 may also be needed depending on the scope of the proposed project and the amount of planned land disturbance.

PROPERTY INFORMATION

The subject property is shown on the plan as Medway Assessor's Map # 33, Parcel # 004

Total Acreage of Land Area: 4.24 acres

General Description of Property: Existing industrial block building on flat upland with existing paving.

Current Use of Property: Vacant

Medway Zoning District Classification: East Industrial

Length of Existing Frontage: 374.02' On what street? Industrial Park Rd.

Setbacks for Existing Structure (if applicable)

Front: 53'
Back: 81.4'

Side: 25' 24.9'
Side: 725' 32.1'

Is this property pre-existing, non-conforming to the *Medway Zoning Bylaw*? If yes, how? No

Is the existing structure on this property pre-existing, non-conforming to the *Medway Zoning Bylaw*? If yes, how? No

Has this property received any previous variances or special permits? Yes ☒ No
If so, please provide a copy of each decision with this application.

Wetlands

Is any portion of the property within a Wetland Resource Area? ☒ Yes ☐ No

Groundwater Protection

Is any portion of the property within a Groundwater Protection District?
☒ Yes ☐ No

Flood Plain

Is any portion of the property within a Designated Flood Plain? ☐ Yes ☒ No

Access to Town Water and Sewer

Is Town water and sewer available in the street on which the proposed project has its frontage? ☒ Yes ☐ No

PROPERTY OWNER INFORMATION (if not applicant)

Property Owner's Name: Medway Flower, LLC

Mailing Address: 990 Paradise Rd.
Swampscott, MA 01907

Primary Contact: Alex Athanas

Telephone:

Office: _____ Cell: 603 630 - 4575

Email address: alex.athanas@gmail.com

The owner's title to the land that is the subject matter of this application is derived under deed from: Alexander S. Athanas to Medway Flower, LLC dated 5/28/19 and recorded in Norfolk County Registry of Deeds, Book 36836 Page 269 or Land Court Certificate of Title Number _____, Land Court Case Number _____, registered in the Norfolk County Land Registry District Volume _____, Page _____.

CONSULTANT INFORMATION

ENGINEER:Williams & Sparages

Mailing Address:

189 North Main St., Ste. 101Middleton, MA 01949

Primary Contact:

Chris Sparages

Telephone:

Office: 978 539-8088

Cell: _____

Email address:

csparages@wsengineers.com

Registered P.E. License #:

40174**SURVEYOR:**

Mailing Address:

Primary Contact:

Telephone:

Office: _____

Cell: _____

Email Address: _____

Registered P.L.S. License #:

ARCHITECT:Anderson Porter Design

Mailing Address:

675 Main St.Cambridge, MA 02139

Primary Contact:

Brian Anderson

Telephone:

Office: 617 354-2501

Cell: _____

Email address:

brian@andersonporter.com

Registered Architect License #:

20234**LANDSCAPE ARCHITECT/DESIGNER:**Williams & Sparages

Mailing Address:

189 North Main St., Ste 101Middleton, MA 01949

Primary Contact:

Chris Sparages

Telephone:

Office: 978-539-8088

Cell: _____

Email address:

csparages@wsengineers.com

Registered Landscape Architect License #:

40174

ATTORNEY: Doherty, Dugan, Cannon, Raymond & Weil, P.C.
Mailing Address: 124 Grove St., Ste. 220
Franklin, MA 02038
Primary Contact: Ted Cannon
Telephone:
Office: 508 541-3000 x218 Cell: 508 735-8852
Email address: evc@ddcrwlaw.com

OFFICIAL REPRESENTATIVE INFORMATION (if applicable)

Name: _____
Address: _____

Telephone:
Office: _____ Cell: _____
Email address: _____

SIGNATURES

The undersigned, being the Applicant for approval of a Marijuana Special Permit submits this application and Plan to the Medway Planning and Economic Development Board for review and approval. I hereby certify, under the pains and penalties of perjury, that the information contained in this application is a true, complete and accurate representation of the facts regarding the property and proposed development under consideration.

(If applicable, I hereby authorize _____ to serve as my Agent/Official Representative to represent my interests before the Medway Planning & Economic Development Board with respect to this application.)

I have reviewed Section 8.9 or 8.10 of the *Medway Zoning Bylaw* and understand and agree to the requirements and responsibilities specified therein.

In submitting this application, I authorize the Board, its consultants and agents, Town staff, and members of the Design Review Committee to access the site during the review process.

I understand that pursuant to M.G.L. 53G, the Medway Planning and Economic Development Board may retain outside professional consultants to review this application and that I am responsible for the costs associated with such reviews.

I understand that the Planning and Economic Development Board, its agents, staff, consultants, and other Town staff and committees may request additional information which I am responsible for providing to assist them in reviewing the proposed development.

Alexander Althaus Mungo
Signature of Property Owner

April 30, 2021
Date

[Signature]
Signature of Applicant (if other than Property Owner)

4/30/21
Date

Edward V. Cannon, Jr.
Att. for Phytoeia, Inc.
Signature of Agent/Official Representative

Date

MARIJUANA SPECIAL PERMIT FEES

Application/Filing Fee - \$500

(Not required if also applying for site plan review)

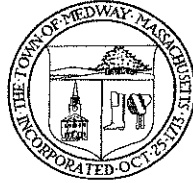
Advance on Review Fee - \$500

Please submit 2 separate checks each made payable to: Town of Medway

MARIJUANA SPECIAL PERMIT APPLICATION CHECKLIST

To be Completed by Applicant

- ☒ Special Permit Application (2 signed originals) – one for Town Clerk and one for Planning and Economic Development Board
- ☒ Two (2) copies of a *Project Description* – one for the Town Clerk and one for the Planning and Economic Development Board. This description should provide a complete and thorough explanation of what is proposed and must address how the proposed project meets the requirements of Section 8.9 or 8.10 of the *Medway Zoning Bylaw*.
- ☒ Three (2) full size copies of a Site Plan prepared in accordance with Sections 204-4 and 204-5 of the *Medway Site Plan Rules and Regulations* – one for Town Clerk and one for Planning and Economic Development Board
- ☒ One (1) ledger size (11" x 17") copy of the Site Plan
- ☒ Electronic Version of the Site Plan and all associated application documents. Provide disk or flash drive or email the plan and documents to: planningboard@townofmedway.org.
- ☒ Certified Abutters List and mailing labels from the Medway Assessor's office for all property located within 300 feet of the subject property
- ☒ Request(s) for waivers from the *Site Plan Rules and Regulations*. Check with the Planning and Economic Development office for the proper form.
- ☒ One (1) copy of previous variance or special permit decisions for the subject property.
- ☒ Depending on the size and scope of the project, two (2) copies of a *Stormwater Drainage Calculations/Report* prepared in conformance with Section 204 – 3, 3) of the *Site Plan Rules and Regulations* or two (2) copies of a stormwater drainage analysis report. Check with Planning and Economic Development office.
- _____ Depending on the size and scope of the project, two (2) copies of a traffic study or analysis. Check with Planning and Economic Development office.
- ☒ One (1) copy of all relevant approvals received to date from other Town boards/committees/departments
↳ Requesting Waiver
- ☒ Proof of present or pending ownership of all land within the development site.
- ☒ *Marijuana Special Permit Filing Fee* – Payable to Town of Medway. Not required if also applying for site plan review.
- ☒ *Advance of Special Permit Review Fee* – Payable to Town of Medway, Not required if also applying for site plan review.



Planning & Economic Development Board - Town of Medway, MA
SITE PLAN REVIEW

Application for Major Site Plan Approval

INSTRUCTIONS TO APPLICANT/OWNER

This Application is made pursuant to the *Medway Zoning Bylaw* and the Board's *Rules and Regulations for the Submission and Review of Site Plans*

The Town's Planning and Engineering Consultants will review the Application and the proposed Site Plan and provide review letters to the Planning and Economic Development Board.
A copy of those review letters will be provided to you in advance of the meeting.

You and/or your duly authorized Agent/Official Representative are expected to attend the Board meetings at which your Application will be considered to answer any questions and/or submit such additional information as the Board may request.

Your absence at hearings may result in a delay in the Board's review of the site plan.

April 30, 2021

APPLICANT INFORMATION

Applicant's Name: Phytopia, Inc.

Mailing Address: 25 Newbury St.

Peabody, MA 01960

Name of Primary Contact: Alex Athanas

Telephone: Office: _____ Cell: 603 630-4575

Email address: alex.athanas@gmail.com

☐ Please check here if the Applicant is the equitable owner (purchaser on a purchase and sales agreement.)

MAJOR SITE PLAN INFORMATION

Development Name: N/A

Plan Title: Industrial Park Road

Plan Date: April 1, 2021

Prepared by: Name: Chris Sparages

Firm: Williams & Sparages

Phone #: 978 539-8088

Email: csparages@wsengineers.com

PROPERTY INFORMATION

Location Address: 6 Industrial Park Rd.

The land shown on the plan is shown on Medway Assessor's Map # 33 as Parcel # 004

Total Acreage of Land Area: 4.24 acres

General Description of Property: Existing industrial block building
on flat upland with existing paving.

Medway Zoning District Classification: East Industrial

Current Use of Property: Vacant

Length of Existing Frontage: 374.02' On what street? Industrial Park Rd.

Setbacks for Existing Structure (if applicable)

Front: 53.0'

Side: ~~30.0'~~ 32.1'

Back: 81.4'

Side: 24.9'

Scenic Road

Does any portion of this property have frontage on a Medway Scenic Road?

☐ Yes ☒ No If yes, please name street: _____

Historic District

Is any portion of this property located within a Medway National Register Historic District?

☐ Yes - Rabbit Hill ☐ Yes - Medway Village

Wetlands

Is any portion of the property within a Wetland Resource Area? ☒ Yes ☐ No

Groundwater Protection

Is any portion of the property within a Groundwater Protection District? ☒ Yes ☐ No

Flood Plain

Is any portion of the property within a Designated Flood Plain? ☐ Yes ☒ No

PROPOSED DEVELOPMENT PROJECT INFORMATION

Development Name: N/A

Major Site Plan Review applies to the following. Please check all that apply.

- ☒ a. New construction or any alteration, reconstruction, renovation, and/or change in use of any multi-family, commercial, industrial, institutional, or municipal building or use which involves one or more of the following:
- i. the addition of 2,500 square feet or more of gross floor area; or
 - ii. the addition of twenty or more new parking spaces

- ☒ b. The redesign, alteration, expansion or modification of an existing parking area involving the addition of twenty or more new parking spaces

- ☐ c. The redesign of the layout/configuration of an existing parking area of forty or more parking spaces
- ☐ d. Construction of ground mounted solar photovoltaic installations of any size in any zoning district including solar canopy type systems in parking areas
- ☒ e. Removal, disturbance, and/or alteration of 20,000 sq. ft. or more of existing impervious surface

SPECIAL PERMIT - Will this project also require a variance or special permit from the Zoning Board of Appeals?

____ Yes ☒ No

Explanation: _____

SPECIAL PERMIT - Will this project also require a special permit from the Planning and Economic Development Board?

☒ Yes ☐ No

Explanation: Medical & Recreational Marijuana
cultivation and processing. Special Permit for 18 of
parking spaces

PROPERTY OWNER INFORMATION (if not applicant)

Property Owner's Name: Medway Flower, LLC

Mailing Address: 990 Paradise Rd.

Swampscott, MA 01907

Primary Contact: Alex Athanas

Telephone: Office: _____ Cell: 603 630-4575

Email address: alex.athanas@gmail.com

The owner's title to the land that is the subject matter of this application is derived under deed from: Alexander S. Athanas to Medway Flower, LLC dated 5/28/19 and recorded in Norfolk County Registry of Deeds, Book 36836 Page 269 or Land Court Certificate of Title Number _____, Land Court Case Number _____, registered in the Norfolk County Land Registry District Volume _____, Page _____.

CONSULTANT INFORMATION

ENGINEER: Chris Sparages

Mailing Address: Williams & Sparages, 189 N. Main St., Ste 101
Middleton, MA 01949

Primary Contact: Chris Sparages

Telephone: Office: 978-539-8088 Cell: _____

Email address: csparages@wsengineers.com

Registered P.E. License #: 40174

SURVEYOR: _____
Mailing Address: _____

Primary Contact: _____
Telephone: _____
Office: _____ Cell: _____
Email Address: _____
Registered P.L.S. License #: _____

ARCHITECT: Anderson Porter Design
Mailing Address: 675 Main St.
Cambridge, MA 02139
Primary Contact: Brian Anderson
Telephone: _____
Office: 617 354-2501 Cell: _____
Email address: brian@andersonporter.com
Registered Architect License #: 20234

LANDSCAPE ARCHITECT/DESIGNER: Williams & Spragues
Mailing Address: 189 N. Main St., Ste 101
Middleton, MA 01949
Primary Contact: Chris Spragues
Telephone: _____
Office: 978-539-8088 Cell: _____
Email address: cspragues@wsengineers.com
Registered Landscape Architect License #: 40174

ATTORNEY: Doherty, Dugan, Cannon, Raymond & Weil, PC
Mailing Address: 124 Grove St., Ste 220
Franklin, MA 02038
Primary Contact: Ted Cannon
Telephone: _____
Office: 508 541-3000 x218 Cell: _____
Email address: evc@ddcrwlaw.com

OFFICIAL REPRESENTATIVE INFORMATION

Name: _____

Address: _____

Telephone: _____
Office: _____ Cell: _____

Email address: _____

SIGNATURES

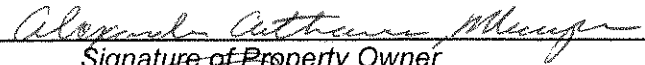
The undersigned, being the Applicant for approval of a Major Site Plan Project, herewith submits this application and Site Plan to the Medway Planning and Economic Development Board for review and approval. I hereby certify, under the pains and penalties of perjury, that the information contained in this application is a true, complete and accurate representation of the facts regarding the property and proposed development under consideration.

(If applicable, I hereby authorize _____ to serve as my Agent/Official Representative to represent my interests before the Medway Planning & Economic Development Board with respect to this application.)

In submitting this application, I authorize the Board, its consultants and agents, Town staff, and members of the Design Review Committee to access the site during the plan review process.

I understand that pursuant to MGL 53G, the Medway Planning and Economic Development Board may retain outside professional consultants to review this application and that I am responsible for the costs associated with such reviews.

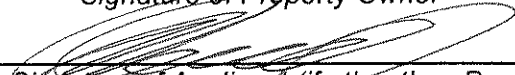
I understand that the Planning and Economic Development Board, its agents, staff, consultants, and other Town staff and committees may request additional information which I am responsible for providing to assist them in reviewing the proposed development.



Signature of Property Owner

April 30, 2021

Date



Signature of Applicant (if other than Property Owner)

4/30/21

Date

Edward V. Cannon, Jr.
Atty for Phytopia, Inc.

Signature of Agent/Official Representative

Date

MAJOR SITE PLAN FEES

Filing Fee

For projects up to 4,999 sq. ft. /gross floor area = \$750 plus \$.25/sq. ft.
For projects of 5,000 – 9,999 sq. ft. /gross floor area = \$1,000 plus \$.25/sq. ft.
For projects of 10,000 – 14,999 sq. ft. /gross floor area = \$1,500 plus \$.25/sq. ft.
For projects of 15,000 sq. ft. or more/gross floor area = \$1,500 plus \$.25/sq. ft.

Advance on Plan Review Fee

For projects up to 4,999 sq. ft. /gross floor area = \$1,000 deposit
For projects of 5,000 – 9,999 sq. ft. /gross floor area = \$1,500 deposit
For projects of 10,000 – 14,999 sq. ft. /gross floor area = \$2,000 deposit
For projects of 15,000 sq. ft. or more/gross floor area = \$2,500 deposit

Submit 2 separate checks each made payable to: Town of Medway

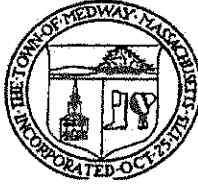
MAJOR SITE PLAN APPLICATION CHECKLIST

- ☒ Major Site Plan Application (2 signed originals – one for Town Clerk and one for Planning and Economic Development Board)
- ☒ Three (3) full size (24" x 36") copies of the Site Plan prepared in accordance with Sections 204-4 and 204-5 of the *Medway Site Plan Rules and Regulations* – one for the Town Clerk and two for the Planning and Economic Development Board.
- ☒ One (1) ledger size (11" x 17") copy of the Site Plan
- ☒ Electronic version of the Site Plan and ALL associated application documents. Provide disk or flash drive or email.
- ☒ Certified Abutters List from the Medway Assessor's office – for 300 feet around the subject property – Form E
- ☒ One (1) copy of a *Project Description* as described in Section 204 - 3, 6) of the *Medway Site Plan Rules and Regulations*. This description should also include a narrative on how the proposed project meets the requirements of the *Medway Zoning Bylaw* for parking (Section 7.1.1) and outdoor lighting (Section 7.1.2)
- ☐ One (1) copy of a *Development Impact Statement* as described in Section 204 - 3, 7) of the *Medway Site Plan Rules and Regulations*
- ☒ Request for Waivers from the *Medway Site Plan Rules and Regulations*. Use Form Q. *↳ Requesting Waiver*
- ☒ Two (2) copies of the *Stormwater Drainage Report* prepared in conformance with the *Site Plan Rules and Regulations*
- ☐ Two (2) copies of a traffic study, depending on the size and scope of the proposed development project. *↳ Requesting Waiver*
- ☒ One (1) copy of all relevant approvals received to date from other Town boards/committees/departments
- ☒ Proof of present or pending ownership of all land within the proposed development.
- ☒ Major Site Plan Filing Fee – Payable to Town of Medway
- ☒ Advance of Plan Review Fee – Payable to Town of Medway

Project Description

6 Industrial Park Road

This is the proposed redevelopment of a vacant industrial building at 6 Industrial Park Road and the currently paved parking area, all of which site on 4.24 acres of land. The building contains approximately 53,128 square feet of finished floor area on one floor. The proposed redevelopment includes the construction of an attached two-story addition with 33,119 square feet per story. The proposed new use is for a registered medical and recreational marijuana cultivation and manufacturing facility. There will be no retail sales out of this location. All vehicular and pedestrian access is off Industrial Park Road which runs northerly off of Main Street/Route 109. The proposed use will consist of growing and processing marijuana plants and byproducts, all of which will be shipped offsite. The operation will consist of approximately 90 employees on site at any one time with the hours of operation being daily from 8:00 a.m. to 8:00 p.m. The applicant anticipates completing all redevelopment within 12 months from the start of work. The property is located in the groundwater protection district and includes a small portion of work within wetlands jurisdiction. The proposed use requires a Special Permit from the Planning & Economic Development Board, and the overall project requires major site plan review and approval. The applicant is also requesting a Special Permit from the Planning & Economic Development Board to allow fewer parking spaces than the strict calculation of required spaces under the Zoning Bylaw, and the applicant will require a Land Disturbance Permit. Proposed site work includes improvement of existing access/egress driveways, curbing, 92 off-street parking spaces, landscaping, lighting, installation or improvement of stormwater drainage facilities. The property has existing connections to municipal water and sewer.



TOWN OF MEDWAY
BOARD OF ASSESSORS
155 VILLAGE STREET
MEDWAY, MA 02053
PHONE: 508-533-3203 FAX: 508-321-4981
www.townofmedway.org

RECEIVED

APR - 6 2021

MEDWAY ASSESSORS
MEDWAY, MA 02053

REQUEST FOR ABUTTERS

Date of Request: 4/05/2021
Property owner: Medway Flower, LLC
Property location: 6 Industrial Park Road
Parcel (Property) ID: 33-004

Please specify: 100', 300' or 500' from subject parcel: 300'

THIS LIST IS REQUESTED FOR:

☐ Planning & Economic Development Board
☐ Zoning Board of Appeals
☐ Conservation Commission

REQUESTER INFORMATION:

Name: Victoria Ireton Email address: victoria@tenaxstrategies.com
Address: 12 Post Office Sq, 6th Floor
Boston, MA 02109
Phone: 617-943-8130

Please Return to MEDWAY ZBA
Community & Economic Development Department

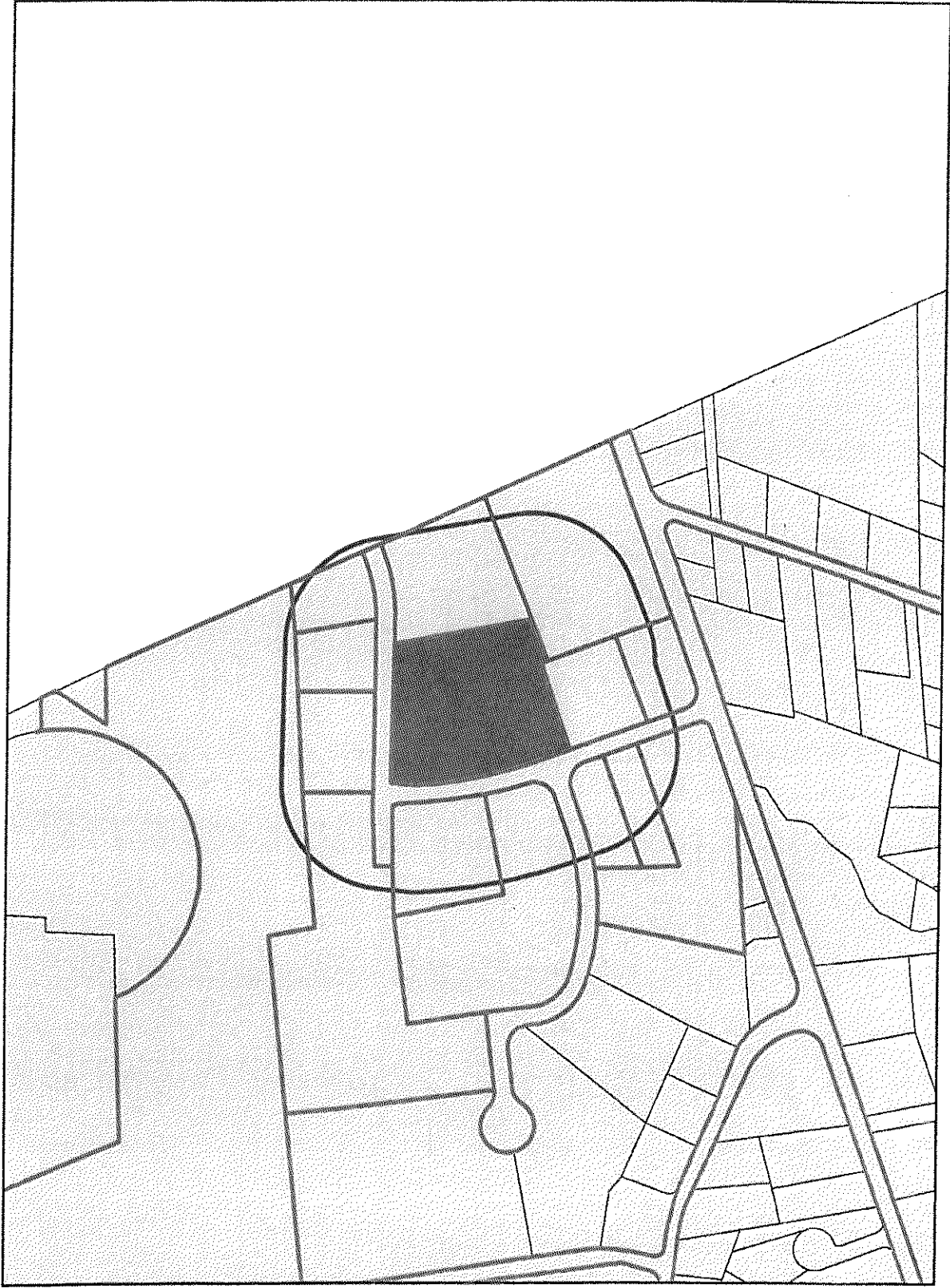
THERE IS A FEE OF \$15.00 DUE AT THE TIME OF REQUEST. THE LIST IS VALID FOR 90 DATE OF CERTIFICATION DATE.

THE BOARD OF ASSESSORS RESERVES 10 WORKING DAYS TO PROVIDE ALL CERTIFIED LISTS OF ABUTTERS.

***IF YOU WISH TO HAVE THE LISTS MAILED BACK TO YOU,

YOU MUST PROVIDE A SELF ADDRESSED STAMPED ENVELOPE LARGE ENOUGH FOR THREE SETS OF LABELS.***

2017 ZBA Application



300' 33-004

4 INDUSTRIAL PARK RD	33-008
	LUC: 400
4 INDUSTRIAL PARK ROAD LLC MCCONAGHY WILLIAM & JO 63 SAGAMORE RD WELLESLEY, MA 02481	
9 INDUSTRIAL PARK RD	33-003
	LUC: 400
BIMBA PROPERTIES, INC 9 INDUSTRIAL PARK RD MEDWAY, MA 02053	
2 MARC RD	33-001
	LUC: 400
ELLEN REALTY TRUST ELLEN ROSENFELD, TR. 730 MAIN ST UNIT 2A MILLIS, MA 02054	
6 MAIN ST	33-007
	LUC: 440
ELLEN REALTY TRUST ELLEN ROSENFELD, TR. 730 MAIN ST UNIT 2A MILLIS, MA 02054	
1 MARC RD	33-009
	LUC: 400
GREENBERG CONSTANCE T/TR MARC ROAD REALTY TRUST 1 MARC RD MEDWAY, MA 02053	
7 INDUSTRIAL PARK RD	33-002
	LUC: 400
INDUSTRIAL PARK REALTY LLC P.O. BOX 368 DOVER, MA 02030	
0 R COFFEE ST	24-010-0001
	LUC: 718
LALLY JOHN D LALLY KATHLEEN 35 COFFEE ST. MEDWAY, MA 02053	
24 JAYAR RD	33-005
	LUC: 400
MARA REALTY TRUST GEORGE A MARAVELIAS, TR 24 JAYAR RD. MEDWAY, MA 02053	
6 INDUSTRIAL PARK RD	33-004
	LUC: 400
MEDWAY FLOWER LLC 186 GUNSTOCK HILL RD GILFORD, NH 03249	
3 INDUSTRIAL PARK RD	33-010
	LUC: 332
NICHOLAS YEBBA TRUSTEE ABBNEY MEDWAY REALTY TRUST 20 COMMERCIAL DR WRENTHAM, MA 02093	

4 MAIN ST	33-006
	LUC: 338
POTHEAU ROBERT J PO BOX 573 MILLIS, MA 02054	
23 JAYAR RD	24-014
	LUC: 401
REARDON WILLIAM F/BETTYE C/TRS WILLIAM F REARDON REVOCABLE TR 89 MAIN ST SUITE 105 MEDWAY, MA 02053	
25 JAYAR RD	24-013
	LUC: 401
SOLARI TRUSTEE JOHN J JR SOLARI TRUSTEE CAROLINE C 18 WINTHROP ST. MEDWAY, MA 02053	
27 JAYAR RD	24-012
	LUC: 332
SOLARI TRUSTEE JOHN J JR SOLARI TRUSTEE CAROLINE C 27 JAYAR RD. MEDWAY, MA 02053	
10 MAIN ST	33-011
	LUC: 325
SWENSON GRANITE COMPANY LLC 369 NORTH STATE ST CONCORD, NH 03301	



THIS IS A CERTIFIED ABUTTERS LIST FROM THE TOWN OF MEDWAY.
WE CERTIFY THAT AT TIME OF LAST ASSESSMENT, THE NAMES AND
ADDRESSES OF ALL PROPERTY OWNERS ARE ACCURATE.

John D. Magno 4/6/2021
Office of the Board of Assessors

Medway Planning and Economic Development Board
Request for Waiver from Subdivision Rules and Regulations
 Complete 1 form for each waiver request

Project Name:	6 Industrial Park Road
Property Location:	6 Industrial Park Road
Type of Project/Permit:	Redevelopment & Addition / Special Permits & Site Plan Review
Identify the number and title of the relevant Section of the Subdivision Plan Rules and Regulations from which a waiver is sought.	S.204-4.A - Registered Landscape Architect
Summarize the text of the relevant Section of the Rules and Regulations from which a waiver is requested.	Have a Registered Landscape Architect submit a Landscape Plan
What aspect of the Regulation do you propose be waived?	The requirement of having to retain and utilize a Registered Landscape Architect
What do you propose instead?	Submission of a Landscape Plan by Williams & Sparages, LLC.
Explain/justify the waiver request. Why is the waiver needed? Describe the extenuating circumstances that necessitate the waiver request.	This is an existing industrial site. The addition of a Registered Landscape Architect is not necessary for this project and will add substantially to the development cost.
What is the estimated value/cost savings to the applicant if the waiver is granted?	\$5,000.00
How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	The applicant will supply a comprehensive Landscape Plan prepare by the engineer who has completed many such plans for many other projects.
What is the impact on the development if this waiver is denied?	None.
What are the design alternatives to granting this waiver?	None. A comprehensive Landscape Plan will still be provided.
Why is granting this waiver in the Town's best interest?	The Town will still be provided with a comprehensive Landscape Plan.
If this waiver is granted, what is the estimated cost savings and/or cost avoidance to the Town?	None.
What mitigation measures do you propose to offset not complying with this particular Rule/Regulation?	None.
What is the estimated value of the proposed mitigation measures?	A comprehensive Landscape Plan will still be provided.
Other Information?	
Waiver Request Prepared By:	Edward V. Cannon, Jr. , Esq.
Date:	April 30, 2021
Questions?? - Please contact the Medway PED office at 508-533-3291.	
	Updated 10-23-18

Medway Planning and Economic Development Board
Request for Waiver from Subdivision Rules and Regulations
Complete 1 form for each waiver request

Project Name:	6 Industrial Park Road
Property Location:	6 Industrial Park Road
Type of Project/Permit:	Redevelopment & Addition / Special Permits & Site Plan Review
Identify the number and title of the relevant Section of the Subdivision Plan Rules and Regulations from which a waiver is sought.	S.204-5.C.3 - Landscape Inventory
Summarize the text of the relevant Section of the Rules and Regulations from which a waiver is requested.	Submit a landscape inventory
What aspect of the Regulation do you propose be waived?	There is no notable landscape inventory present on the site
What do you propose instead?	To provide a comprehensive Landscape Plan
Explain/justify the waiver request. Why is the waiver needed? Describe the extenuating circumstances that necessitate the waiver request.	There is no notable landscape inventory present on the site
What is the estimated value/cost savings to the applicant if the waiver is granted?	\$1,800.00
How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	The quality of the design and development will not be impacted if there is no inventory of current landscape features.
What is the impact on the development if this waiver is denied?	None
What are the design alternatives to granting this waiver?	Providing a comprehensive Landscape Plan
Why is granting this waiver in the Town's best interest?	There is no notable landscape inventory present on the site
If this waiver is granted, what is the estimated cost savings and/or cost avoidance to the Town?	None.
What mitigation measures do you propose to offset not complying with this particular Rule/Regulation?	None.
What is the estimated value of the proposed mitigation measures?	None.
Other Information?	
Waiver Request Prepared By:	Edward V. Cannon, Jr. , Esq.
Date:	April 30, 2021
Questions?? - Please contact the Medway PED office at 508-533-3291.	
	Updated 10-23-18

Medway Planning and Economic Development Board
Request for Waiver from Subdivision Rules and Regulations
 Complete 1 form for each waiver request

Project Name:	6 Industrial Park Road
Property Location:	6 Industrial Park Road
Type of Project/Permit:	Redevelopment & Addition / Special Permits & Site Plan Review
Identify the number and title of the relevant Section of the Subdivision Plan Rules and Regulations from which a waiver is sought.	S.204-3.F - Development Impact Statement
Summarize the text of the relevant Section of the Rules and Regulations from which a waiver is requested.	Provide comprehensive traffic, environmental, parking & neighborhood impact assessments
What aspect of the Regulation do you propose be waived?	The strict requirement for a single Development Impact Statement
What do you propose instead?	See explanation below
Explain/justify the waiver request. Why is the waiver needed? Describe the extenuating circumstances that necessitate the waiver request.	This property is subject to intense environmental scrutiny, a traffic professional will address the parking, and detailed odor and noise mitigation will address neighborhood impacts.
What is the estimated value/cost savings to the applicant if the waiver is granted?	\$12,000.00
How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	The information that the town would like to gather will be provided via the environmental work, the parking professional, and the neighborhood concerns will be addressed throughout the hearing.
What is the impact on the development if this waiver is denied?	None
What are the design alternatives to granting this waiver?	None
Why is granting this waiver in the Town's best interest?	Town will be provided with all of the pertinent information as part of the hearing process.
If this waiver is granted, what is the estimated cost savings and/or cost avoidance to the Town?	None
What mitigation measures do you propose to offset not complying with this particular Rule/Regulation?	None.
What is the estimated value of the proposed mitigation measures?	None.
Other Information?	None.
Waiver Request Prepared By:	Edward V. Cannon, Jr. , Esq.
Date:	April 30, 2021
Questions?? - Please contact the Medway PED office at 508-533-3291.	
	Updated 10-23-18

N O T QUITCLAIM DEED N O T
A N A N

I, Alexander S. Athanas of 82 Andover Street, Peabody, Essex County, Massachusetts 01960, in consideration of One Dollar and other good and valuable consideration.

GRANT TO Medway Flower, LLC, a Massachusetts limited liability company with offices located at 990 Paradise Road in Essex County, MA 01907.

The consideration being less than \$100, no documentary stamps are hereto affixed.

With QUITCLAIM COVENANTS

All of the land with the buildings and improvements thereon located in Medway, Norfolk County, Massachusetts and being more particularly bounded and described as follows:

Beginning at the southwesterly corner of the parcel on the easterly sideline of an industrial park road at a point is N-19-43-40-W and 375 feet distant from a drill hole in a concrete bound, thence running

N-19-43-40-W by said easterly sideline a distance of 100 feet to a drill hole in a concrete bound located on said easterly sideline at a point of curvature, thence running

Northwesterly Along the arc of a curve to the right having a radius of 1041.31 feet distance of 291.07 feet to a point of tangency, thence running

N-03-43-40-W Still on the easterly sideline of said industrial park road a distance of 89/90 feet to another point of curvature, thence running

Northerly and northeasterly along the arc of a curve to the right having a radius of 25.00 feet a distance of 40.95 feet to a point of tangency located on the southerly sideline of another industrial park road, thence running

RECEIVED AND RECORDED
NORFOLK COUNTY
REGISTRY OF DEEDS
DORCHESTER, MA

CERTIFY

William P. O'Donnell
WILLIAM P. O'DONNELL, REGISTER

Property Address: 6 Industrial Park Road, Medway, MA 02053

M

- S-89-52-57-E Along said southerly sideline a distance of 374.02 feet to the northeasterly corner of the parcel located at the northwesterly corner of Lot 19 as shown on a plan hereinafter referred to, thence running
- S-11-52-03-E by said Lot 19, a distance of 393.37 feet to a corner at land now or formerly of Ian Black, thence running
- S-69-02-27-W by said land now or formerly of Black, a distance of 120.71 feet to a drill hole in a concrete bound, thence running
- N-09-02-35-W by Lot 12 as shown on said plan a distance of 15.00 feet to a corner, thence running
- S-73-11-25-W by said Lot 12 a distance of 278.14 feet to the point of beginning.

Said parcel contains of 4.24 acres of land and is more particularly shown as Lots 13,14,15,16,17 and 18 Sheet number 2 and 4 sheets on a plan entitled: "Subdivision Plan of Industrial Zoned Land in Millis, Mass., Property of: Rosenfield Realty Trust, 1967, Bowie Engineering Co. Civil Engineers & Land Surveyors 707 Main Street., Millis, Mass.", recorded with Norfolk Deeds as Plan No. 242 of 1967, Plan Book 222.

For my title, see deed of Dartmouth Associates limited partnerships dated January 9th, 2019, and recorded at Norfolk County Registry of Deeds in Book 36551 Page 143.

Together with the right to use said Industrial Park Road in common with others entitled thereto.

IN WITNESS WHEREON, the said Alexander Athanas has caused his seal to be affixed and these presents to be signed by him on this 28th day of MAY, 2019.

O F F I C I A L
C O P Y

O F F I C I A L
C O P Y

By:

Alex Athanas
Alexander Athanas

COMMONWEALTH OF MASSACHUSETTS

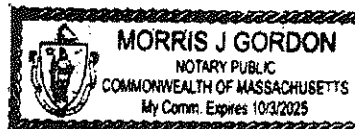
County of ~~Norfolk~~ Essex

On this 28th day of MAY, 2019, before me, the undersigned notary public, personally appeared, Alexander Athanas, proved to me through satisfactory evidence of identification, which were:

- ☐ Massachusetts Driver's License(s) or
- ☐ Passport (s) or
- ☒ Personal knowledge or Identity or
- ☐ _____

To be the person whose name are signed on the preceding or attached document, and acknowledge to me that he signed it voluntarily for its stated purpose, and as his free act and deed as General Partner.

Morris J Gordon
Notary Public:





The Commonwealth of Massachusetts
William Francis Galvin

Minimum Fee: \$500.00

Secretary of the Commonwealth, Corporations Division
 One Ashburton Place, 17th floor
 Boston, MA 02108-1512
 Telephone: (617) 727-9640

Annual Report

(General Laws, Chapter)

Identification Number: 001386027

Annual Report Filing Year: 2021

1.a. Exact name of the limited liability company: MEDWAY FLOWER, LLC

1.b. The exact name of the limited liability company as amended, is: MEDWAY FLOWER, LLC

2a. Location of its principal office:

No. and Street: 82 ANDOVER STREET
 City or Town: PEABODY State: MA Zip: 01960 Country: USA

2b. Street address of the office in the Commonwealth at which the records will be maintained:

No. and Street: 82 ANDOVER STREET
 City or Town: PEABODY State: MA Zip: 01960 Country: USA

3. The general character of business, and if the limited liability company is organized to render professional service, the service to be rendered:

REAL ESTATE HOLDONG

4. The latest date of dissolution, if specified:

5. Name and address of the Resident Agent:

Name: MORRIS J. GORDON, ESQ.
 No. and Street: 990 PARADISE ROAD
 City or Town: SWAMPSCOTT State: MA Zip: 01907 Country: USA

6. The name and business address of each manager, if any:

Title	Individual Name First, Middle, Last, Suffix	Address (no PO Box) Address, City or Town, State, Zip Code
MANAGER	ALEXANDER ATHANAS	186 GUNSTOCK HILL ROAD GILFORD, NH 03249 USA

7. The name and business address of the person(s) in addition to the manager(s), authorized to execute documents to be filed with the Corporations Division, and at least one person shall be named if there are no managers.

Title	Individual Name First, Middle, Last, Suffix	Address (no PO Box) Address, City or Town, State, Zip Code

8. The name and business address of the person(s) authorized to execute, acknowledge, deliver and record any recordable instrument purporting to affect an interest in real property:

Title	Individual Name First, Middle, Last, Suffix	Address (no PO Box) Address, City or Town, State, Zip Code

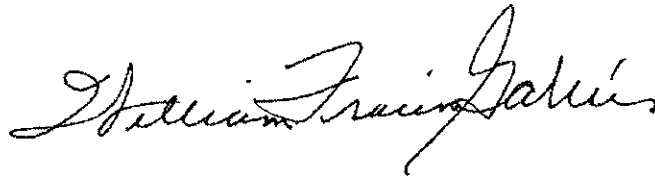
9. Additional matters:

SIGNED UNDER THE PENALTIES OF PERJURY, this 21 Day of January, 2021,
ALEXANDER ATHANAS , Signature of Authorized Signatory.

THE COMMONWEALTH OF MASSACHUSETTS

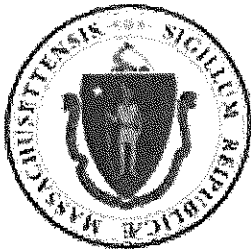
I hereby certify that, upon examination of this document, duly submitted to me, it appears that the provisions of the General Laws relative to corporations have been complied with, and I hereby approve said articles; and the filing fee having been paid, said articles are deemed to have been filed with me on:

January 21, 2021 01:48 PM

A handwritten signature in black ink, reading "William Francis Galvin". The signature is written in a cursive style with a large, stylized initial "W".

WILLIAM FRANCIS GALVIN

Secretary of the Commonwealth



The Commonwealth of Massachusetts
William Francis Galvin

No Fee

Secretary of the Commonwealth, Corporations Division
 One Ashburton Place, 17th floor
 Boston, MA 02108-1512
 Telephone: (617) 727-9640

Statement of Change of Supplemental Information

(General Laws, Chapter 156D, Section 2.02 AND Section 8.45; 950 CMR 113.17)

1. Exact name of the corporation: PHYTOTHERAPY, INC.

2. Current registered office address:

Name: JENNIFER K. CRAWFORD
 No. and Street: 50 CONGRESS ST., SUITE 420
 City or Town: BOSTON State: MA Zip: 02109 Country: USA

3. The following supplemental information has changed:

☒ *Names and street addresses of the directors, president, treasurer, secretary*

Title	Individual Name First, Middle, Last, Suffix	Address (no PO Box) Address, City or Town, State, Zip Code
PRESIDENT	DALE BUCKMAN	40 NOUVELLE WAY #N848 NATICK, MA 01760 USA
TREASURER	GEORGE FRANGIADAKIS	35 MORGAN FARM ROAD WESTFORD, MA 02090 USA
SECRETARY	ALEXANDER ATHANAS	25 NEWBURY ST. PEABODY, MA 01960 USA
CFO	GEORGE FRANGIADAKIS	35 MORGAN FARM ROAD WESTFORD, MA 02090 USA
CLERK / SECRETARY	ALEXANDER ATHANAS	25 NEWBURY ST. PEABODY, MA 01960 USA
COO	JAMES ANGELO FRANGOULIDIS	50 SHERBURN CIRCLE WESTON, MA 02493 USA
PRESIDENT / CEO	DALE BUCKMAN	40 NOUVELLE WAY #N848 NATICK, MA 01760 USA
DIRECTOR	ALEXANDER ATHANAS	25 NEWBURY ST. PEABODY, MA 01960 USA
DIRECTOR	GEORGE FRANGIADAKIS	35 MORGAN FARM ROAD WESTFORD, MA 02090 USA
DIRECTOR	DALE BUCKMAN	40 NOUVELLE WAY #N848 NATICK, MA 01760 USA
DIRECTOR	JAMES ANGELO FRANGOULIDIS	50 SHERBURN CIRCLE WESTON, MA 02493 USA
DIRECTOR	GEORGE DELIGIANNIDES	44 ATLANTIC AVENUE SWAMPSCOTT, MA 01907 USA

 Fiscal year end:
 December

☒ **Type of business in which the corporation intends to engage:**

ALL PERMITTED ACTIVITY OF MANUFACTURE & SALES.

Principal office address:

No. and Street: 25 NEWBURY STREET

City or Town: PEABODY State: MA Zip: 01960 Country: USA

g. Street address where the records of the corporation required to be kept in the Commonwealth are located (post office boxes are not acceptable):

No. and Street: 25 NEWBURY STREET

City or Town: PEABODY State: MA Zip: 01960 Country: USA

which is

☒ its principal office

☐ an office of its transfer agent

☐ an office of its secretary/assistant secretary

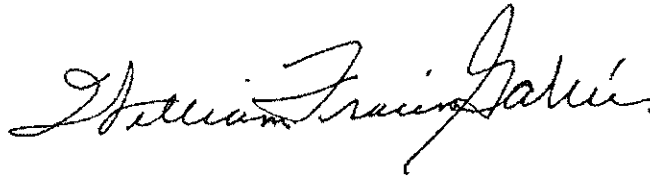
☐ its registered office

Signed by DALE BUCKMAN, its PRESIDENT
on this 4 Day of June, 2020

THE COMMONWEALTH OF MASSACHUSETTS

I hereby certify that, upon examination of this document, duly submitted to me, it appears that the provisions of the General Laws relative to corporations have been complied with, and I hereby approve said articles; and the filing fee having been paid, said articles are deemed to have been filed with me on:

June 04, 2020 04:32 PM

A handwritten signature in black ink, reading "William Francis Galvin". The signature is written in a cursive style with a large, stylized initial "W".

WILLIAM FRANCIS GALVIN

Secretary of the Commonwealth



April 5, 2021

Phytotherapy, Inc.
MTC Provisional License
peter@tenaxstrategies.com

NOTICE: CHANGE OF NAME APPROVAL

WHY ARE YOU RECEIVING THIS NOTICE?

This letter provides notice that the Marijuana Establishment ("ME") and/or Medical Marijuana Treatment Center ("MTC") has been approved by the Commission to officially change its business name from Phytotherapy, Inc. to Phytopia, Inc.

WHAT ARE YOUR NEXT STEPS?

The ME/MTC may now change its business name with the Massachusetts Secretary of the Commonwealth. Within 30 days from the date of this notice, the ME/MTC shall submit to the Commission a certificate of good standing from the Massachusetts Secretary of the Commonwealth, Articles of Organization, and Bylaws reflecting the new name of the ME/MTC. This information shall be sent to licensing@cccmass.com.

Please be advised that the ME/MTC, within 30 days, should be in full compliance with Commission regulations pertaining to disclosing or displaying the business name on buildings and products. The ME/MTC is subject to inspection, at any time without prior notice, to ensure full compliance with 935 CMR 500.000 and 935 CMR 501.000. 935 CMR 500.301; 935 CMR 501.301.

If you have any questions regarding this notice, please contact the Commission by email at licensing@cccmass.com.

Sincerely,

Shawn Collins
Executive Director





6PD

Planning & Economic Development Board - Town of Medway, MA SPECIAL PERMITS

Application for Special Permit Approval

INSTRUCTIONS TO APPLICANT/OWNER

This Application is made pursuant to the Medway Zoning Bylaw. Certain special permits are issued by the Planning and Economic Development Board instead of the Zoning Board of Appeals.

The Town's Planning and Engineering Consultants may review the Application and associated submittals and provide review letters to the Planning and Economic Development Board.

A copy of those review letters will be provided to you in advance of the meeting.

You and/or your duly authorized Agent/Official Representative are expected to attend the Board meeting at which your Application will be considered to answer any questions and/or submit such additional information as the Board may request.

Your absence may result in a delay the Board's review of the special permit application.

May 1, 2021

APPLICANT INFORMATION

Applicant's Name: Phytopia, Inc.

Mailing Address: 25 Newbury St.
Peabody, MA 01960

Name of Primary Contact: Alex Athanas

Telephone: _____

Office: _____ Cell: 603 630-4575

Email address: alex.athanas@gmail.com

☐ Please check here if the Applicant is the equitable owner (purchaser on a purchase and sales agreement.)

PROPERTY INFORMATION

Location Address: 6 Industrial Park Rd.

The land shown on the plan is shown on Medway Assessor's Map # 33 as Parcel # 004

Size of Development Parcel(s): 4.24 acres

Development Name: 6 Industrial Park Rd.

General Description of Property: Existing industrial block building
on flat upland.

Medway Zoning District Classification: East Industrial

TYPE OF SPECIAL PERMIT

Check all that apply:

- ☐ Infill Dwelling Unit (Section 8.1)
- ☐ Mixed-Use Development in the Central Business District (Section 5.4.1)
- ☐ Reduced Parking (Section 7.1.1.J.)
- ☐ Vehicle fuel station with repair services
- ☐ Vehicle fuel station with car wash
- ☐ Vehicle fuel station with convenience store
- ☐ Car wash
- ☐ Vehicle repair
- ☐ Auto body shop
- ☐ Drive-thru facility
- ☐ Assisted living residence facility
- ☒ Other special permit uses, normally reviewed by the Zoning Board of Appeals, such as a Groundwater Protection District Special Permit and a Flood Plain Special Permit, but which are reviewed instead by the Planning and Economic Development Board when the project also requires site plan review (Section 3.4 H)

NOTE – There are separate application forms for the following special permits:

- Open Space Residential Development (OSRD)
- Adult Retirement Community Planned Unit Development (ARCPUD)
- Multi-Family Housing Overlay District (MHOD)
- Adaptive Use Overlay District (AUOD).
- Marijuana Facilities and Establishments (medical and adult recreational)
- Affordable Housing
- Oak Grove

Do not use this application form for the above noted types of developments.

PROPERTY OWNER INFORMATION (if not applicant)

Property Owner's Name: Medway Flower, LLC

Mailing Address: 990 Paradise Rd.
Swampscott, MA 01907

Primary Contact: Alex Athanas

Telephone: Office: _____ Cell: 603 630-4875

Email address: alex.athanas@gmail.com

DESIGNATED REPRESENTATIVE INFORMATION

Name: _____

Address: _____

Telephone: _____

Office: _____ Cell: _____

Email address: _____

Relationship to Applicant: _____

SIGNATURES

The undersigned, being the Applicant, herewith submits this application for a special permit(s) to the Medway Planning and Economic Development Board for review and action.

I hereby certify, under the pains and penalties of perjury, that the information contained in this application is a true, complete and accurate representation of the facts regarding the property under consideration.

(If applicable, I hereby authorize _____ to serve as my Agent/Designated Representative to represent my interests before the Planning & Economic Development Board with respect to this application.)

In submitting this application, I authorize the Board, its consultants and agents, Town staff, and members of the Design Review Committee and other Town boards and committees to access the site during the special permit review process.

Alexander Athanas, Manager
Signature of Property Owner (printed name) Date April 30, 2012

Signature of Property Owner (printed name) Date _____

Edward V. Cannon, Jr.
Signature of Applicant (if other than Property Owner) printed name) Date 4/30/12

Athy for Phytopia, Inc.
Signature of Agent/Designated Representative (printed name) Date _____

SPECIAL PERMIT APPLICATION/FILING FEES

There is no separate special permit application fee when the project also requires site plan review.

SPECIAL PERMIT APPLICATION CHECKLIST

It is understood that the applicant shall simultaneously file a corresponding application for Site Plan Review and Approval with all required submittals.

- ☒ Special Permit Application (2 signed originals) – one for the Town Clerk and one for the Planning and Economic Development Board
- ☐ Submit a detailed narrative on how the proposed development project meets the special permit criteria included in the Medway Zoning Bylaw, SECTION 3.4 Special Permit Criteria AND any specific criteria included in the particular section(s) of the Zoning Bylaw for which a special permit is sought,
↳ To be submitted from traffic expert promptly
- ☒ Any additional information required by the specific section of the Zoning Bylaw for the requested type of special permit

Project Description

6 Industrial Park Road

This is the proposed redevelopment of a vacant industrial building at 6 Industrial Park Road and the currently paved parking area, all of which site on 4.24 acres of land. The building contains approximately 53,128 square feet of finished floor area on one floor. The proposed redevelopment includes the construction of an attached two-story addition with 33,119 square feet per story. The proposed new use is for a registered medical and recreational marijuana cultivation and manufacturing facility. There will be no retail sales out of this location. All vehicular and pedestrian access is off Industrial Park Road which runs northerly off of Main Street/Route 109. The proposed use will consist of growing and processing marijuana plants and byproducts, all of which will be shipped offsite. The operation will consist of approximately 90 employees on site at any one time with the hours of operation being daily from 8:00 a.m. to 8:00 p.m. The applicant anticipates completing all redevelopment within 12 months from the start of work. The property is located in the groundwater protection district and includes a small portion of work within wetlands jurisdiction. The proposed use requires a Special Permit from the Planning & Economic Development Board, and the overall project requires major site plan review and approval. The applicant is also requesting a Special Permit from the Planning & Economic Development Board to allow fewer parking spaces than the strict calculation of required spaces under the Zoning Bylaw, and the applicant will require a Land Disturbance Permit. Proposed site work includes improvement of existing access/egress driveways, curbing, 92 off-street parking spaces, landscaping, lighting, installation or improvement of stormwater drainage facilities. The property has existing connections to municipal water and sewer.



Planning & Economic Development Board - Town of Medway, MA SPECIAL PERMITS

Application for Special Permit Approval

INSTRUCTIONS TO APPLICANT/OWNER

This Application is made pursuant to the Medway Zoning Bylaw. Certain special permits are issued by the Planning and Economic Development Board instead of the Zoning Board of Appeals.

The Town's Planning and Engineering Consultants may review the Application and associated submittals and provide review letters to the Planning and Economic Development Board.

A copy of those review letters will be provided to you in advance of the meeting.

You and/or your duly authorized Agent/Official Representative are expected to attend the Board meeting at which your Application will be considered to answer any questions and/or submit such additional information as the Board may request.

Your absence may result in a delay the Board's review of the special permit application.

_____ May _____, 2021

APPLICANT INFORMATION

Applicant's Name: Phytopia, Inc.

Mailing Address: 25 Newbury St.

Peabody, MA 01960

Name of Primary Contact: Alex Athanas

Telephone: _____
Office: _____ Cell: 603 630-4575

Email address: alex.athanas@gmail.com

☐ Please check here if the Applicant is the equitable owner (purchaser on a purchase and sales agreement.)

PROPERTY INFORMATION

Location Address: 6 Industrial Park Rd.

The land shown on the plan is shown on Medway Assessor's Map # 33 as Parcel # 004

Size of Development Parcel(s): 4.24 acres

Development Name: 6 Industrial Park Rd.

General Description of Property: Existing industrial block building
on flat upland.

Medway Zoning District Classification: East Industrial

TYPE OF SPECIAL PERMIT

Check all that apply:

- ☐ Infill Dwelling Unit (Section 8.1)
- ☐ Mixed-Use Development in the Central Business District (Section 5.4.1)
- ☒ Reduced Parking (Section 7.1.1.J.)
- ☐ Vehicle fuel station with repair services
- ☐ Vehicle fuel station with car wash
- ☐ Vehicle fuel station with convenience store
- ☐ Car wash
- ☐ Vehicle repair
- ☐ Auto body shop
- ☐ Drive-thru facility
- ☐ Assisted living residence facility
- ☐ Other special permit uses, normally reviewed by the Zoning Board of Appeals, such as a Groundwater Protection District Special Permit and a Flood Plain Special Permit, but which are reviewed instead by the Planning and Economic Development Board when the project also requires site plan review (Section 3.4 H)

NOTE – There are separate application forms for the following special permits:

- Open Space Residential Development (OSRD)
- Adult Retirement Community Planned Unit Development (ARCPUD)
- Multi-Family Housing Overlay District (MHOD)
- Adaptive Use Overlay District (AUOD).
- Marijuana Facilities and Establishments (medical and adult recreational)
- Affordable Housing
- Oak Grove

Do not use this application form for the above noted types of developments.

PROPERTY OWNER INFORMATION (if not applicant)

Property Owner's Name: Medway Flower, LLC

Mailing Address: 990 Paradise Rd.

Swampscott, MA 01907

Primary Contact: Alex Athanas

Telephone:

Office: _____ Cell: 603 630-4875

Email address: alex.athanas@gmail.com

DESIGNATED REPRESENTATIVE INFORMATION

Name: _____

Address: _____

Telephone:

Office: _____ Cell: _____

Email address: _____

Relationship to Applicant: _____



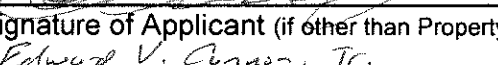
SIGNATURES

The undersigned, being the Applicant, herewith submits this application for a special permit(s) to the Medway Planning and Economic Development Board for review and action.

I hereby certify, under the pains and penalties of perjury, that the information contained in this application is a true, complete and accurate representation of the facts regarding the property under consideration.

(If applicable, I hereby authorize _____ to serve as my Agent/Designated Representative to represent my interests before the Planning & Economic Development Board with respect to this application.)

In submitting this application, I authorize the Board, its consultants and agents, Town staff, and members of the Design Review Committee and other Town boards and committees to access the site during the special permit review process.

<u></u>	_____	<u>April 30, 2021</u>
Signature of Property Owner	(printed name)	Date
<u></u>	_____	_____
Signature of Property Owner	(printed name)	Date
<u></u>	_____	<u>4/30/21</u>
Signature of Applicant (if other than Property Owner)	printed name	Date
<u>Edward V. Carson, Jr.</u> <u>Atty for Phytoplan, Inc.</u>	_____	_____
Signature of Agent/Designated Representative	(printed name)	Date

SPECIAL PERMIT APPLICATION/FILING FEES

There is no separate special permit application fee when the project also requires site plan review.

SPECIAL PERMIT APPLICATION CHECKLIST

It is understood that the applicant shall simultaneously file a corresponding application for Site Plan Review and Approval with all required submittals.

- ☒ Special Permit Application (2 signed originals) – one for the Town Clerk and one for the Planning and Economic Development Board
- ☐ Submit a detailed narrative on how the proposed development project meets the special permit criteria included in the Medway Zoning Bylaw, SECTION 3.4 Special Permit Criteria AND any specific criteria included in the particular section(s) of the Zoning Bylaw for which a special permit is sought.
- ☒ ^{to be submitted from traffic expert promptly} Any additional information required by the specific section of the Zoning Bylaw for the requested type of special permit

Project Description

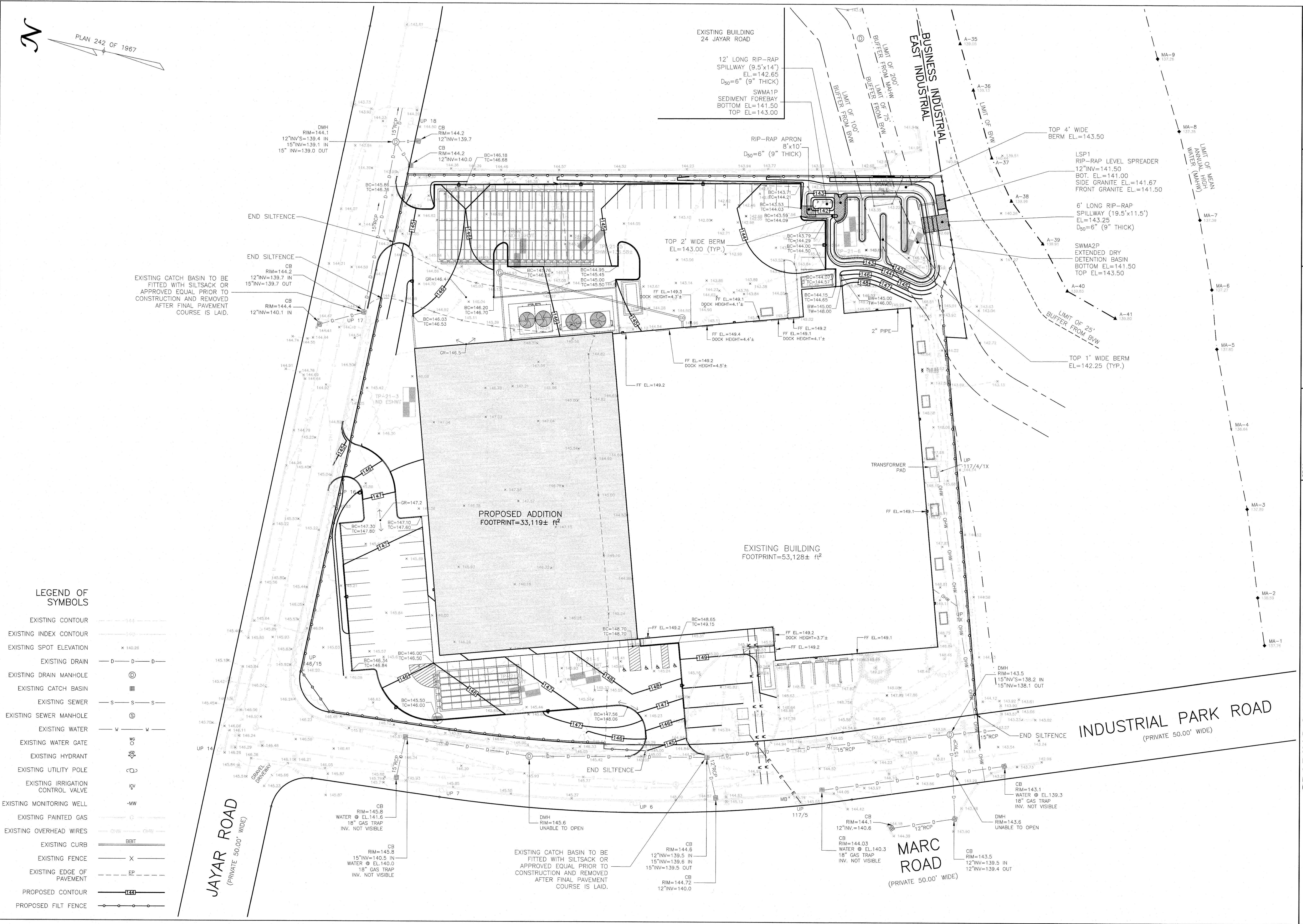
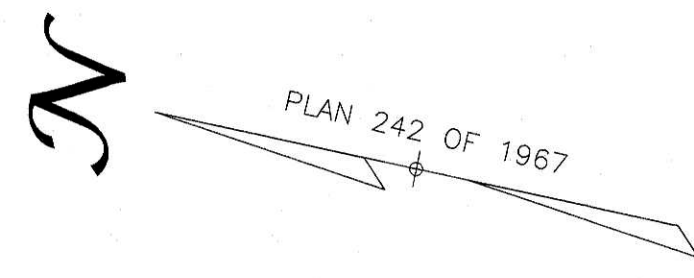
6 Industrial Park Road

This is the proposed redevelopment of a vacant industrial building at 6 Industrial Park Road and the currently paved parking area, all of which site on 4.24 acres of land. The building contains approximately 53,128 square feet of finished floor area on one floor. The proposed redevelopment includes the construction of an attached two-story addition with 33,119 square feet per story. The proposed new use is for a registered medical and recreational marijuana cultivation and manufacturing facility. There will be no retail sales out of this location. All vehicular and pedestrian access is off Industrial Park Road which runs northerly off of Main Street/Route 109. The proposed use will consist of growing and processing marijuana plants and byproducts, all of which will be shipped offsite. The operation will consist of approximately 90 employees on site at any one time with the hours of operation being daily from 8:00 a.m. to 8:00 p.m. The applicant anticipates completing all redevelopment within 12 months from the start of work. The property is located in the groundwater protection district and includes a small portion of work within wetlands jurisdiction. The proposed use requires a Special Permit from the Planning & Economic Development Board, and the overall project requires major site plan review and approval. The applicant is also requesting a Special Permit from the Planning & Economic Development Board to allow fewer parking spaces than the strict calculation of required spaces under the Zoning Bylaw, and the applicant will require a Land Disturbance Permit. Proposed site work includes improvement of existing access/egress driveways, curbing, 92 off-street parking spaces, landscaping, lighting, installation or improvement of stormwater drainage facilities. The property has existing connections to municipal water and sewer.

Project Description

6 Industrial Park Road

This is the proposed redevelopment of a vacant industrial building at 6 Industrial Park Road and the currently paved parking area, all of which site on 4.24 acres of land. The building contains approximately 53,128 square feet of finished floor area on one floor. The proposed redevelopment includes the construction of an attached two-story addition with 33,119 square feet per story. The proposed new use is for a registered medical and recreational marijuana cultivation and manufacturing facility. There will be no retail sales out of this location. All vehicular and pedestrian access is off Industrial Park Road which runs northerly off of Main Street/Route 109. The proposed use will consist of growing and processing marijuana plants and byproducts, all of which will be shipped offsite. The operation will consist of approximately 90 employees on site at any one time with the hours of operation being daily from 8:00 a.m. to 8:00 p.m. The applicant anticipates completing all redevelopment within 12 months from the start of work. The property is located in the groundwater protection district and includes a small portion of work within wetlands jurisdiction. The proposed use requires a Special Permit from the Planning & Economic Development Board, and the overall project requires major site plan review and approval. The applicant is also requesting a Special Permit from the Planning & Economic Development Board to allow fewer parking spaces than the strict calculation of required spaces under the Zoning Bylaw, and the applicant will require a Land Disturbance Permit. Proposed site work includes improvement of existing access/egress driveways, curbing, 92 off-street parking spaces, landscaping, lighting, installation or improvement of stormwater drainage facilities. The property has existing connections to municipal water and sewer.



LEGEND OF SYMBOLS

- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- EXISTING SPOT ELEVATION
- EXISTING DRAIN
- EXISTING DRAIN MANHOLE
- EXISTING CATCH BASIN
- EXISTING SEWER
- EXISTING SEWER MANHOLE
- EXISTING WATER
- EXISTING WATER GATE
- EXISTING HYDRANT
- EXISTING UTILITY POLE
- EXISTING IRRIGATION CONTROL VALVE
- EXISTING MONITORING WELL
- EXISTING PAINTED GAS
- EXISTING OVERHEAD WIRES
- EXISTING CURB
- EXISTING FENCE
- EXISTING EDGE OF PAVEMENT
- PROPOSED CONTOUR
- PROPOSED FILT FENCE

WILLIAMS & SPARAGES
ENGINEERS, PLANNERS, LANDSCAPERS
100 NORTH MAIN STREET
MIDDLETON, MA 01949
PHONE (978) 539-8888
FAX (978) 539-8889
WWW.WSENGINEERS.COM

Owner: Medway Flower, LLC
990 Paradise Road
Swampscott, MA 01907
Applicant: Phytopia, Inc.
25 Newbury Street
Peabody, MA 01960

Designed By: MEM
Drawn By: MEM
Reviewed By: CPS
Project Manager: CPS
Job File Number: MEDW-0017
Drawing File Folder: MEDW17
☒ Drawing Issued for Review
☐ Drawing Issued for Permit
☐ Drawing Issued for Construction

SEAL
COMMONWEALTH OF MASSACHUSETTS
CHRISTOPHER P. SPARGES
No. 4074
Professional Engineer
(4/7/21)

GRADING & DRAINAGE PLAN
INDUSTRIAL PARK ROAD
6 INDUSTRIAL PARK ROAD, MEDWAY, MA

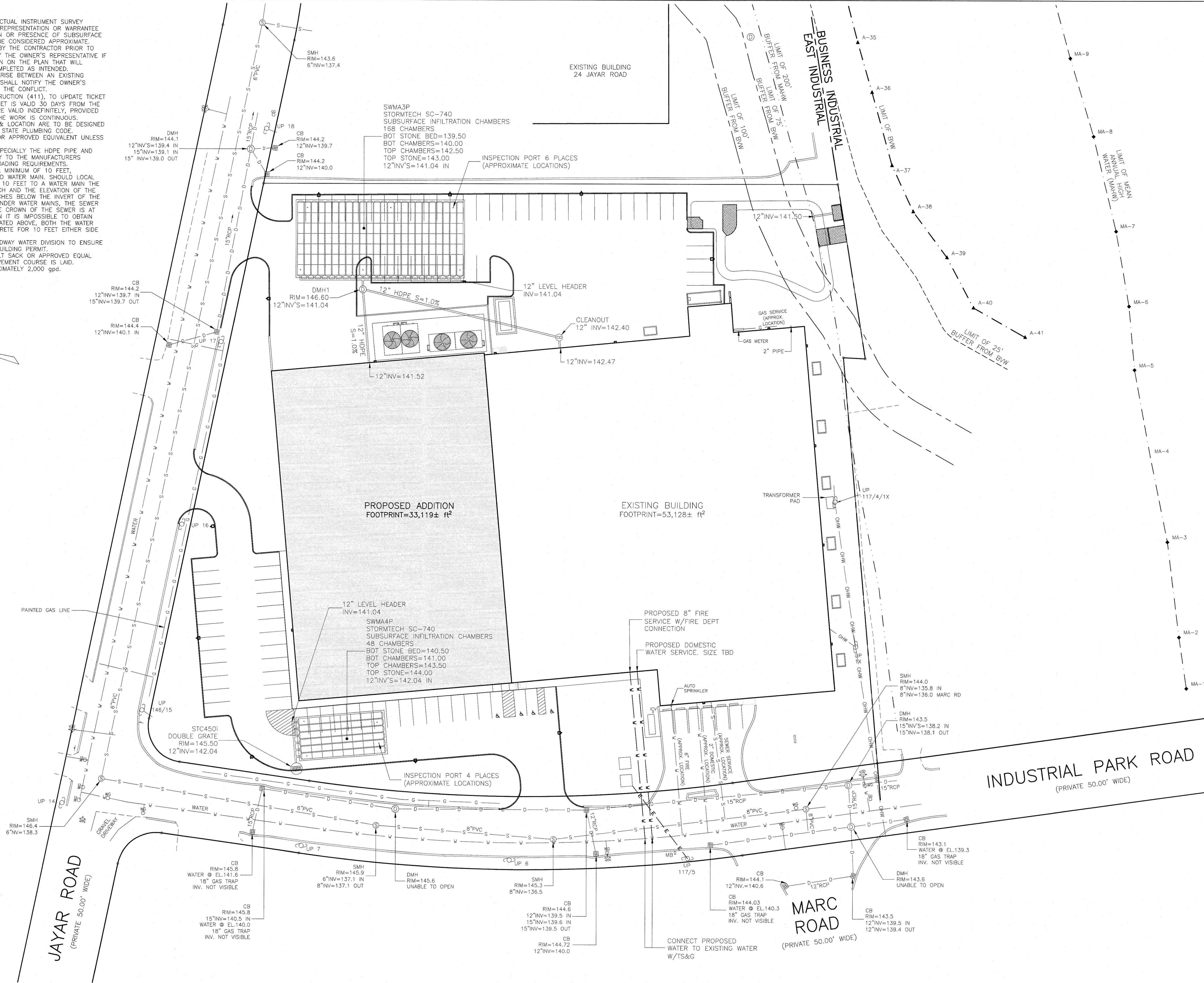
12	11	10	9	8	7
6	5	4	3	2	1

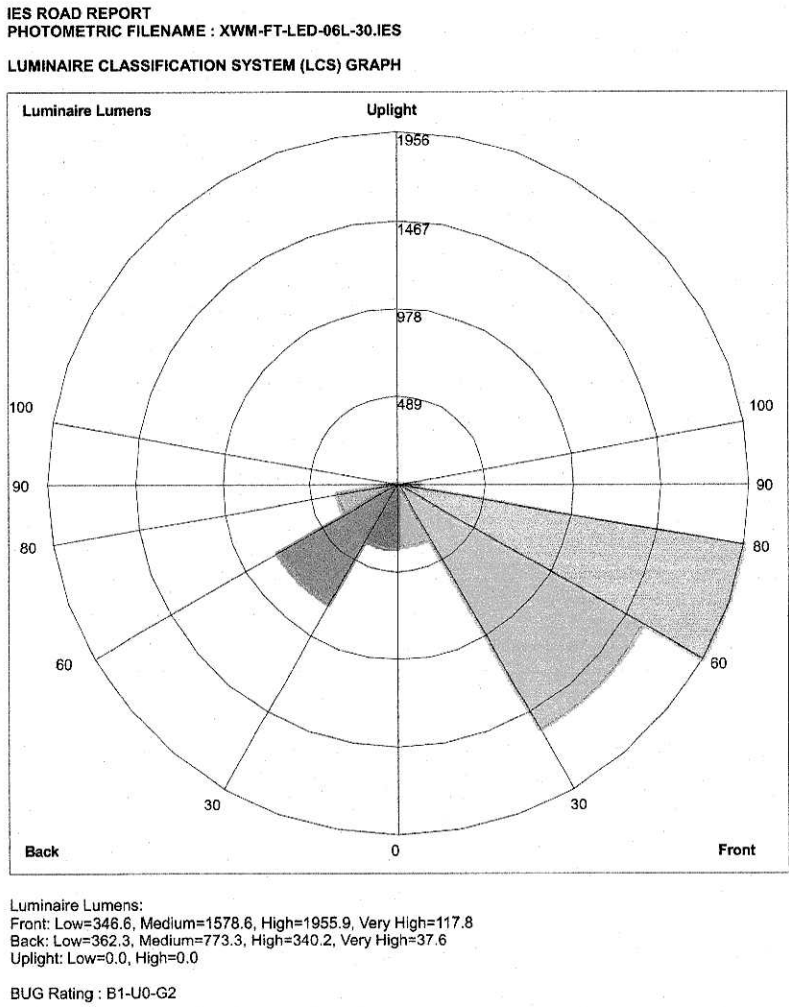
DRAWING: C3.1
SHEET 3 OF 9

SCALE: 1"=30'
APRIL 1, 2021

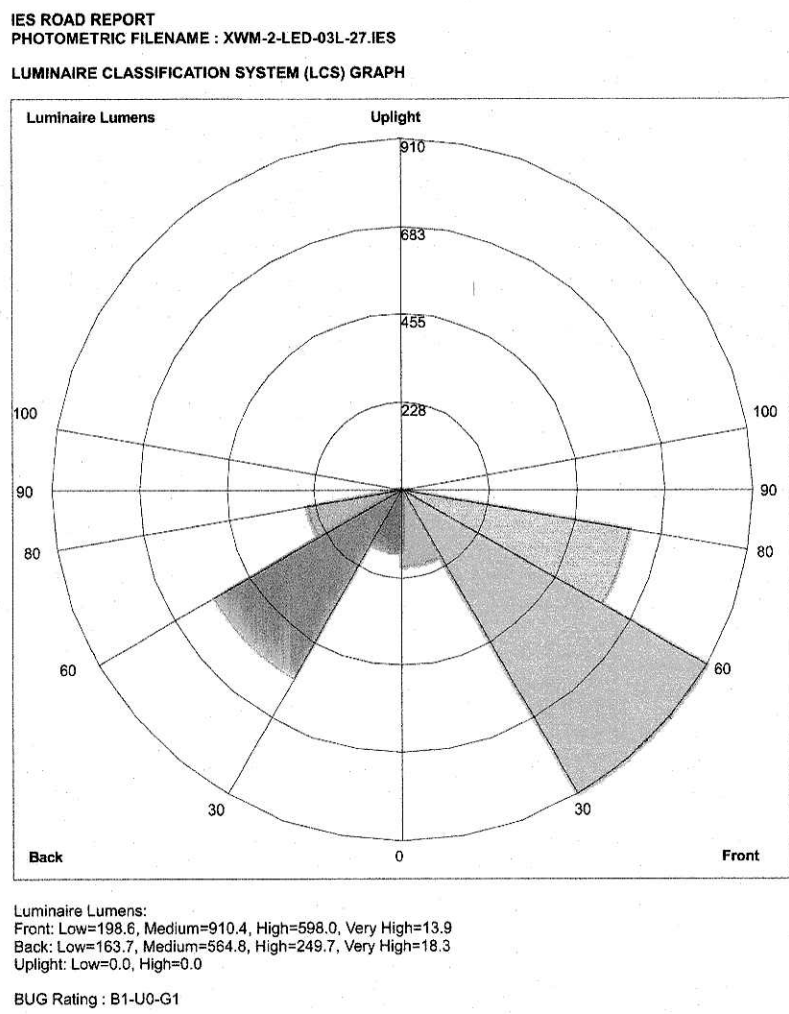
PROJECT NOTES:

1. THE UTILITIES SHOWN ARE THE RESULT OF AN ACTUAL INSTRUMENT SURVEY PERFORMED BY WILLIAMS & SPARAGES LLC. NO REPRESENTATION OR WARRANTY IS MADE AS TO THE ACCURACY OF THE LOCATION OR PRESENCE OF SUBSURFACE UTILITIES AND THOSE UTILITIES SHOWN SHOULD BE CONSIDERED APPROXIMATE.
2. ALL UTILITIES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION AND SHALL NOTIFY THE OWNER'S REPRESENTATIVE IF EXISTING CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN THAT WILL PREVENT THE PROPOSED WORK FROM BEING COMPLETED AS INTENDED.
3. IF DURING CONSTRUCTION A CONFLICT SHOULD ARISE BETWEEN AN EXISTING UTILITY AND PROPOSED WORK THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE IN WRITING FOR RESOLUTION OF THE CONFLICT.
4. CONTRACTOR TO CALL DIGSAFE PRIOR TO CONSTRUCTION (411), TO UPDATE TICKET AND/OR VERIFY TICKET VALIDATION. DIGSAFE TICKET IS VALID 30 DAYS FROM THE DATE OF ISSUE. BEYOND THIS POINT, TICKETS ARE VALID INDEFINITELY, PROVIDED THAT 1) THE MARKS ARE MAINTAINED, AND 2) THE WORK IS CONTINUOUS.
5. THE PROPOSED WATER CONNECTION SIZE, TYPE & LOCATION ARE TO BE DESIGNED IN ACCORDANCE WITH 248 CMR 10.00: UNIFORM STATE PLUMBING CODE.
6. ALL PROPOSED DRAIN PIPES ARE TO BE HDPE OR APPROVED EQUIVALENT UNLESS OTHERWISE SPECIFIED.
7. THE INSTALLATION OF DRAINAGE STRUCTURES, ESPECIALLY THE HDPE PIPE AND SUBSURFACE CHAMBERS, SHALL ADHERE STRICTLY TO THE MANUFACTURERS' INSTALLATION REQUIREMENTS TO MEET AASHTO LOADING REQUIREMENTS.
8. WHEREVER FEASIBLE, SEWERS WILL BE LAID AT A MINIMUM OF 10 FEET, HORIZONTALLY, FROM ANY EXISTING OR PROPOSED WATER MAIN. SHOULD LOCAL CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET TO A WATER MAIN THE SEWER MAIN WILL BE LAID IN A SEPARATE TRENCH AND THE ELEVATION OF THE CROWN OF THE SEWER PLACED AT LEAST 18 INCHES BELOW THE INVERT OF THE WATER MAIN. WHENEVER SEWERS MUST CROSS UNDER WATER MAINS, THE SEWER SHALL BE LAID AT SUCH AN ELEVATION THAT THE CROWN OF THE SEWER IS AT LEAST 18 INCHES BELOW THE WATER MAIN, WHEN IT IS IMPOSSIBLE TO OBTAIN HORIZONTAL OR VERTICAL SEPARATION AS STIPULATED ABOVE, BOTH THE WATER MAIN AND SEWER SHOULD BE ENCASED IN CONCRETE FOR 10 FEET EITHER SIDE OF THE CROSSING.
9. THE APPLICANT SHALL COORDINATE WITH THE MEDWAY WATER DIVISION TO ENSURE PROPER DOMESTIC AND FIRE FLOWS PRIOR TO BUILDING PERMIT.
10. PROPOSED CATCH BASINS TO BE FITTED WITH SILT SACK OR APPROVED EQUAL WHEN INSTALLED AND REMOVED AFTER FINAL PAVEMENT COURSE IS LAID.
11. DAILY WATER USAGE IS EXPECTED TO BE APPROXIMATELY 2,000 gpd.

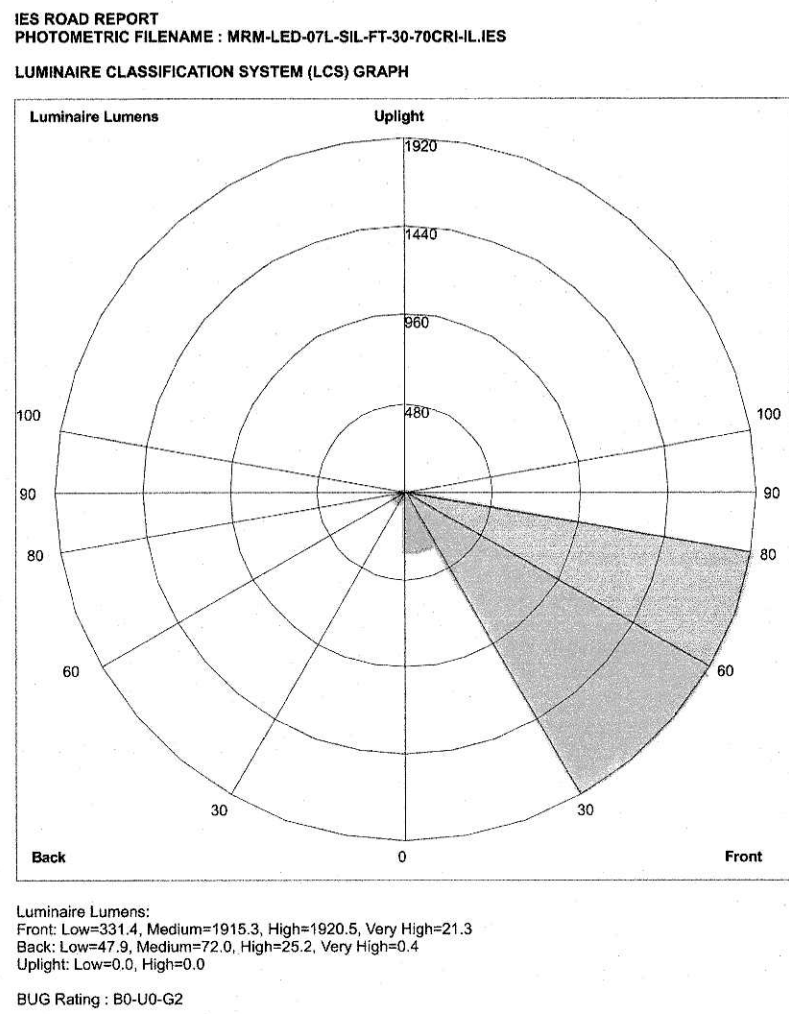




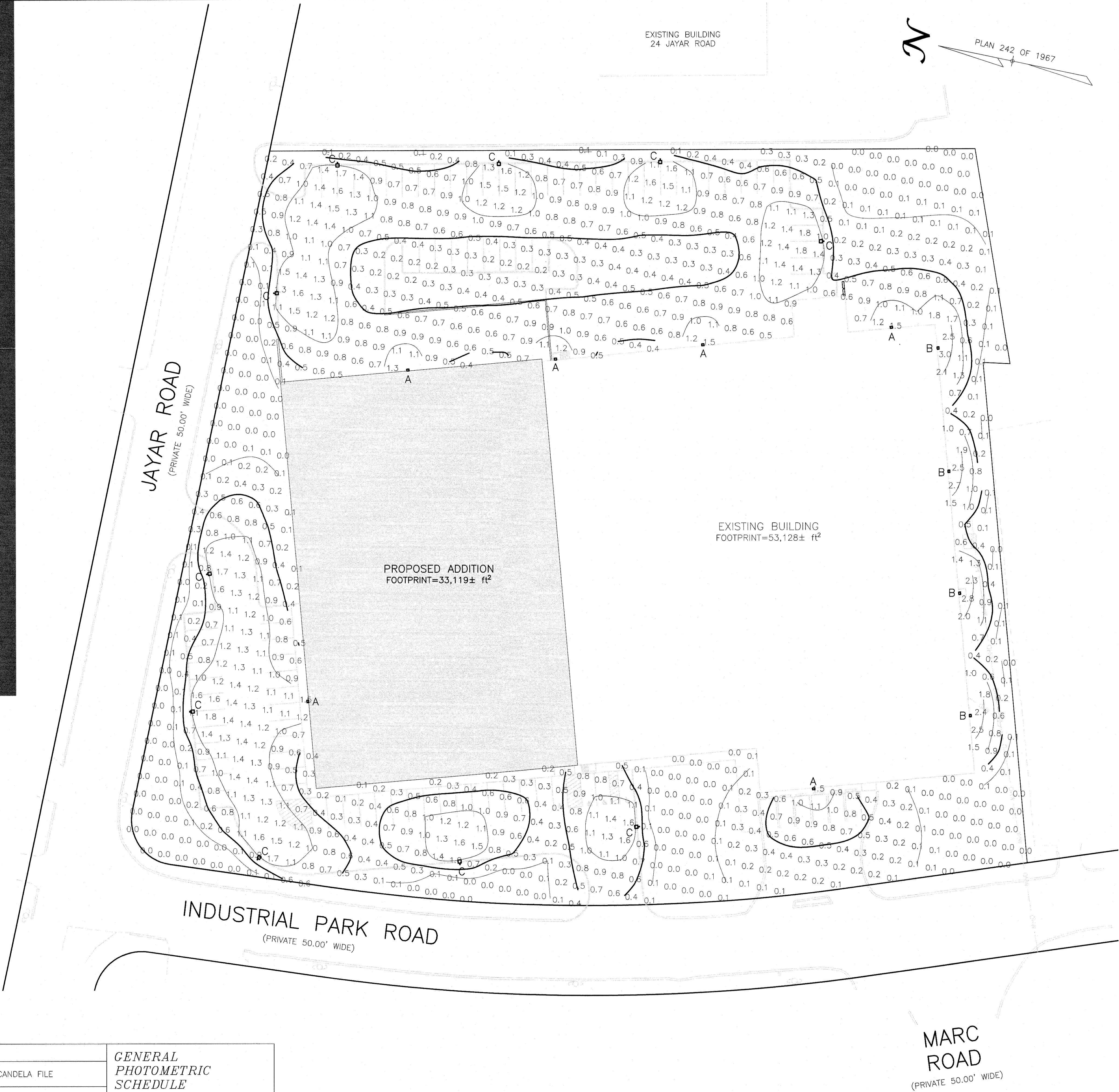
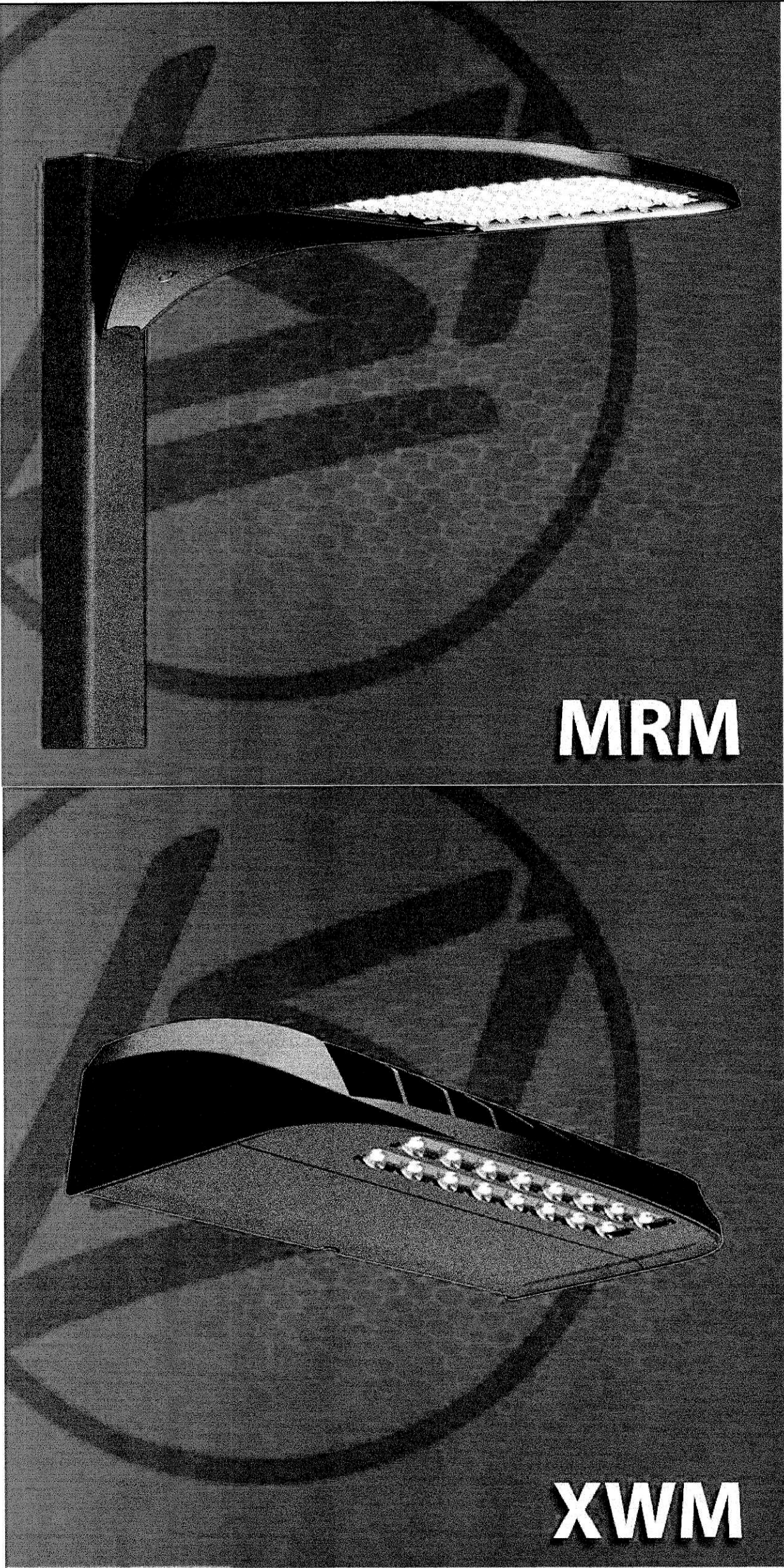
Photometric Toolbox Professional Edition - Copyright 2002-2011 by Lighting Analysts, Inc.
Calculations based on published E2 Method and assumptions. Values provided for display purposes.
Results derived from content of manufacturer photometric file.



Photometric Toolbox Professional Edition - Copyright 2002-2011 by Lighting Analysts, Inc.
Calculations based on published E2 Method and assumptions. Values provided for display purposes.
Results derived from content of manufacturer photometric file.



Photometric Toolbox Professional Edition - Copyright 2002-2011 by Lighting Analysts, Inc.
Calculations based on published E2 Method and assumptions. Values provided for display purposes.
Results derived from content of manufacturer photometric file.



WILLIAMS & SPARGES

183 NORTH MAIN STREET
MIDDLETON, MA 01949
PHONE: (978) 539-8088
FAX: (978) 539-8080
WWW.WSENGINEERS.COM

Owner:
Medway Flower, LLC
990 Paradise Road
Swampscott, MA 01907

Applicant:
Phytopia, Inc.
25 Newbury Street
Peabody, MA 01960

Designed By: MEM
Drawn By: MEM
Reviewed By: CPS
Project Manager: MEDW-0017
Job File Number: MEDW17
Drawing File Folder: MEDW17

Drawing Issued for Review
Drawing Issued for Permit
Drawing Issued for Construction

SEAL

STATE OF MASSACHUSETTS
COMMISSIONER OF REGISTRATION
CHRIST P. SPARGES
CIVIL ENGINEER
No. 40174
(4/17/21)

PHOTOMETRIC PLAN
INDUSTRIAL PARK ROAD
6 INDUSTRIAL PARK ROAD, MEDWAY, MA

12
11
10
9
8
7

6
5
4
3
2
1

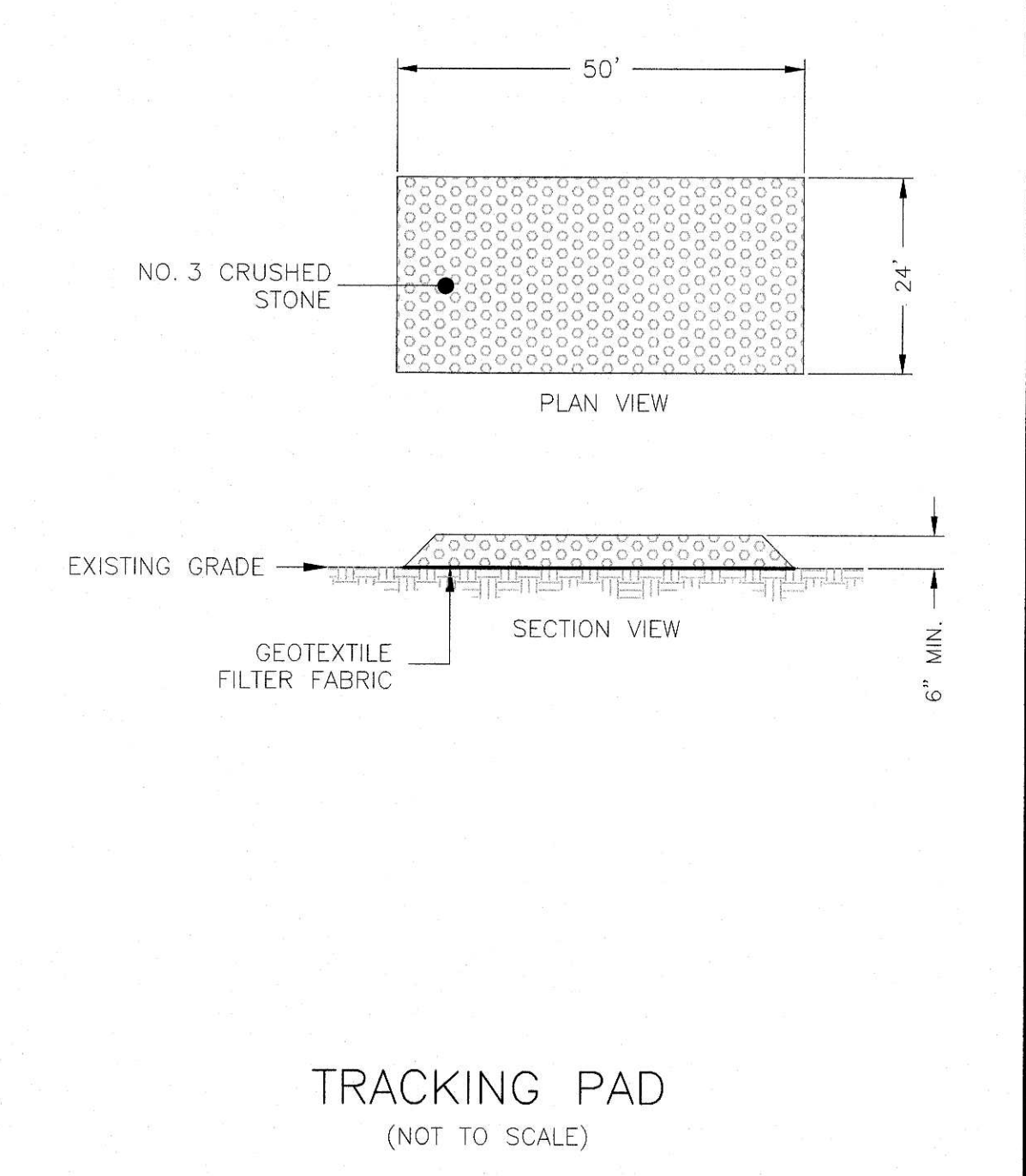
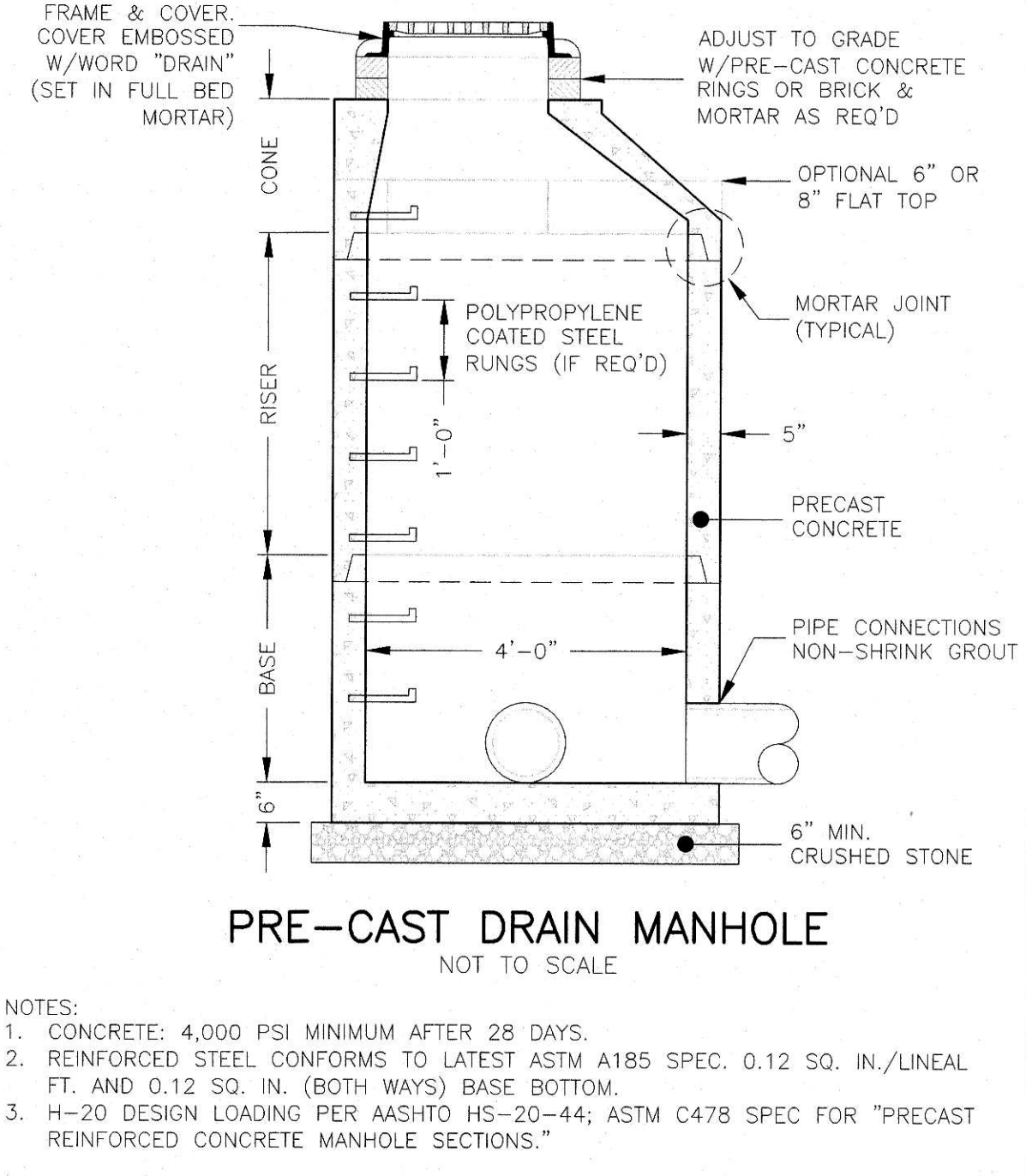
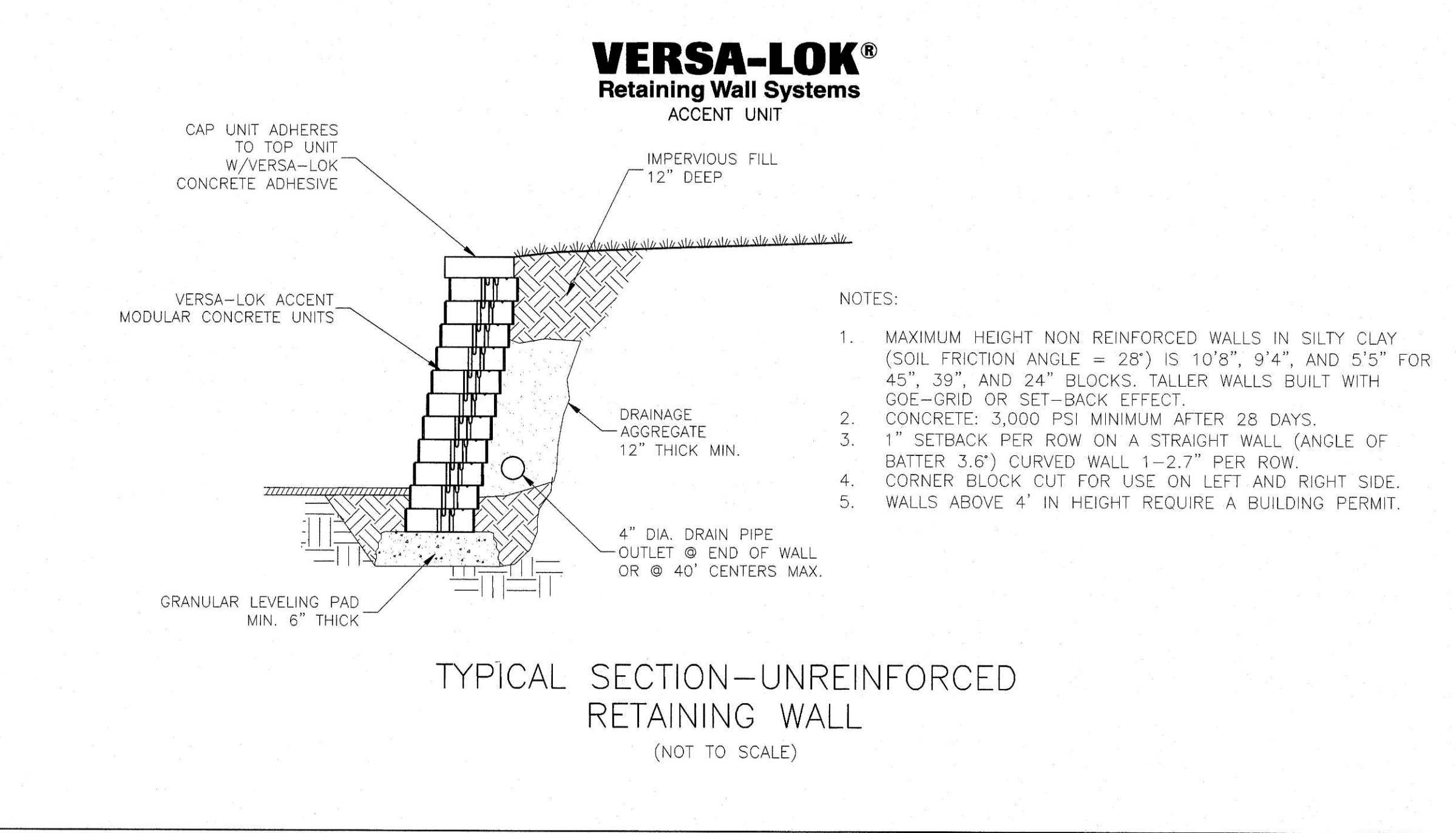
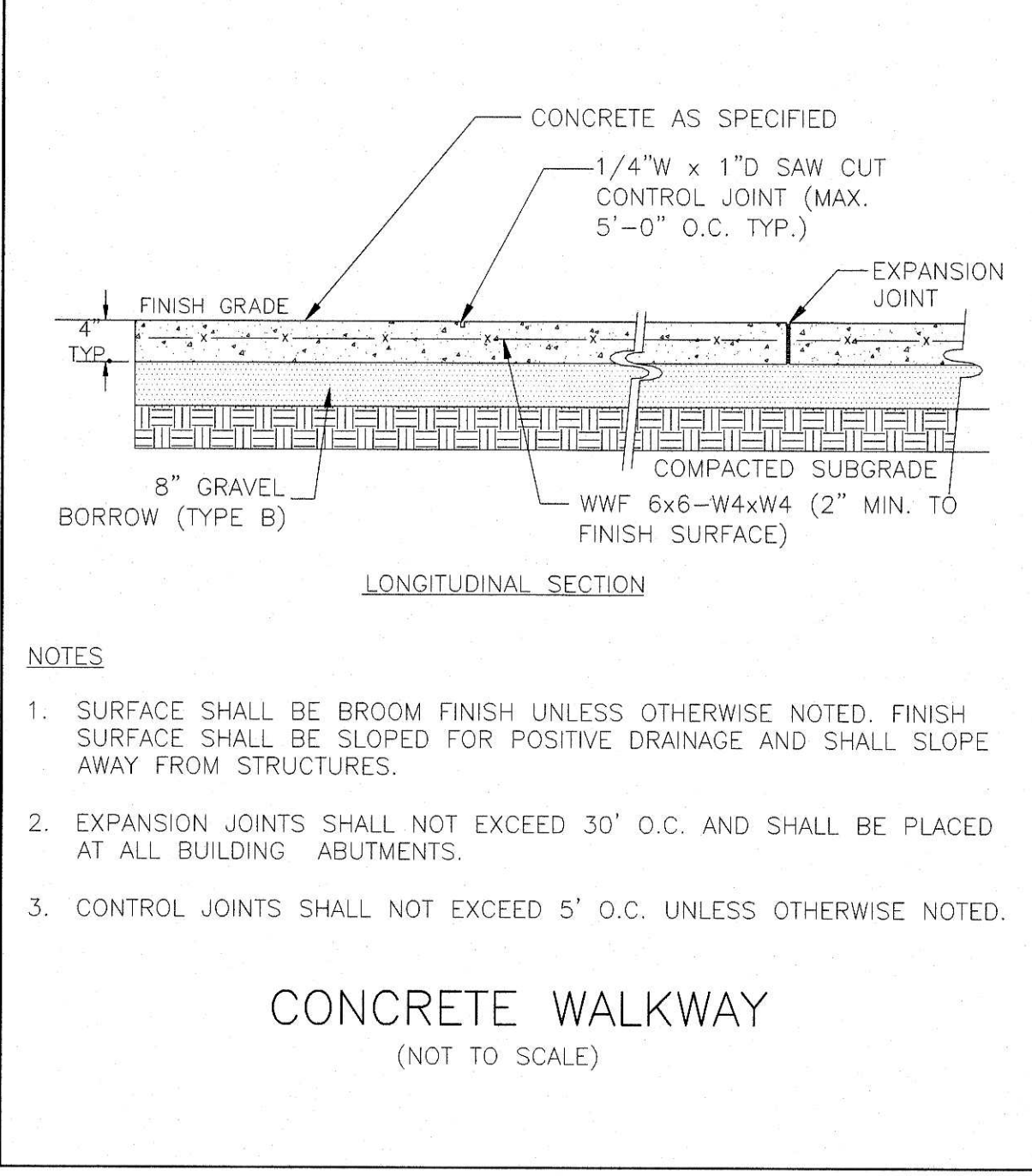
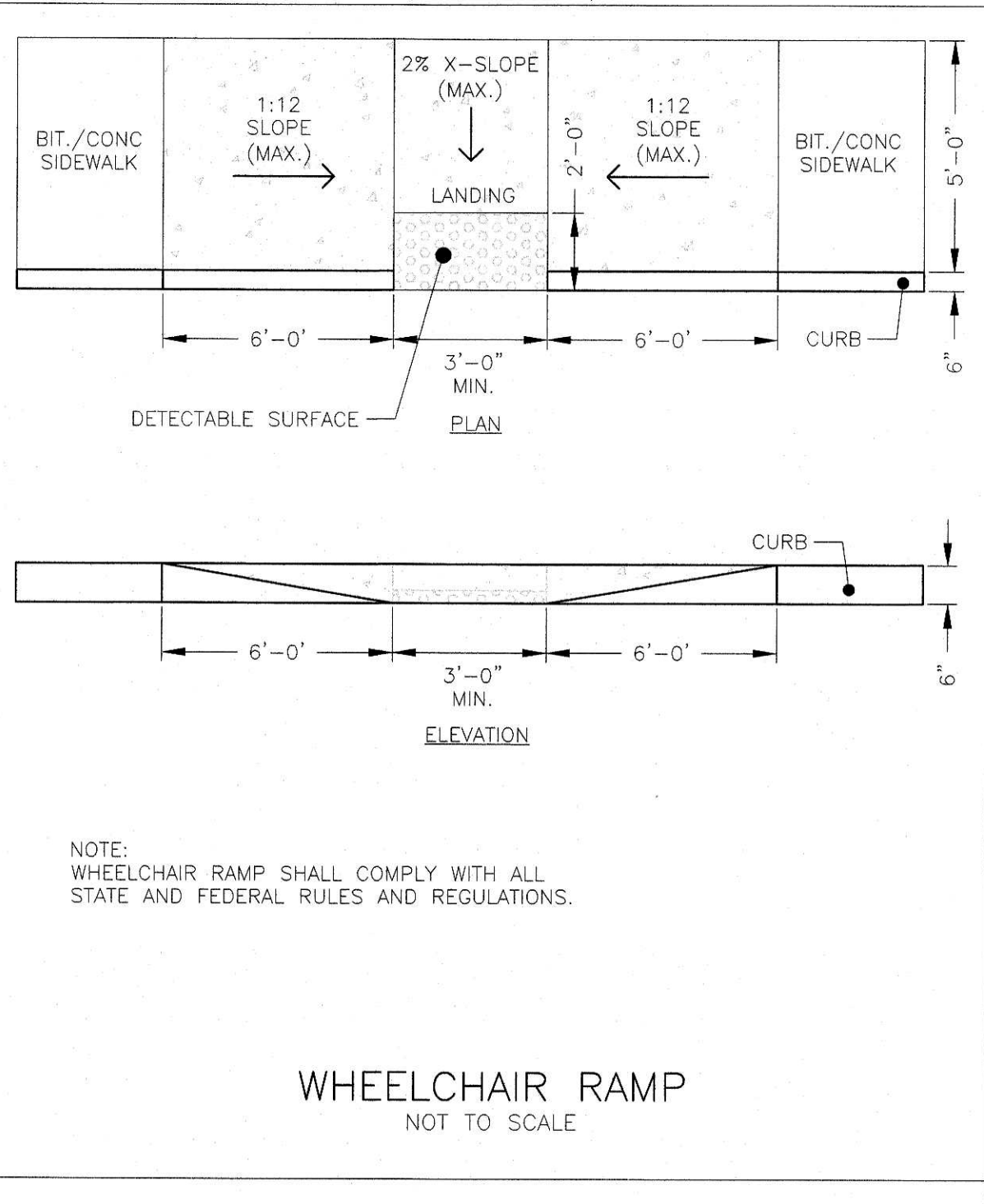
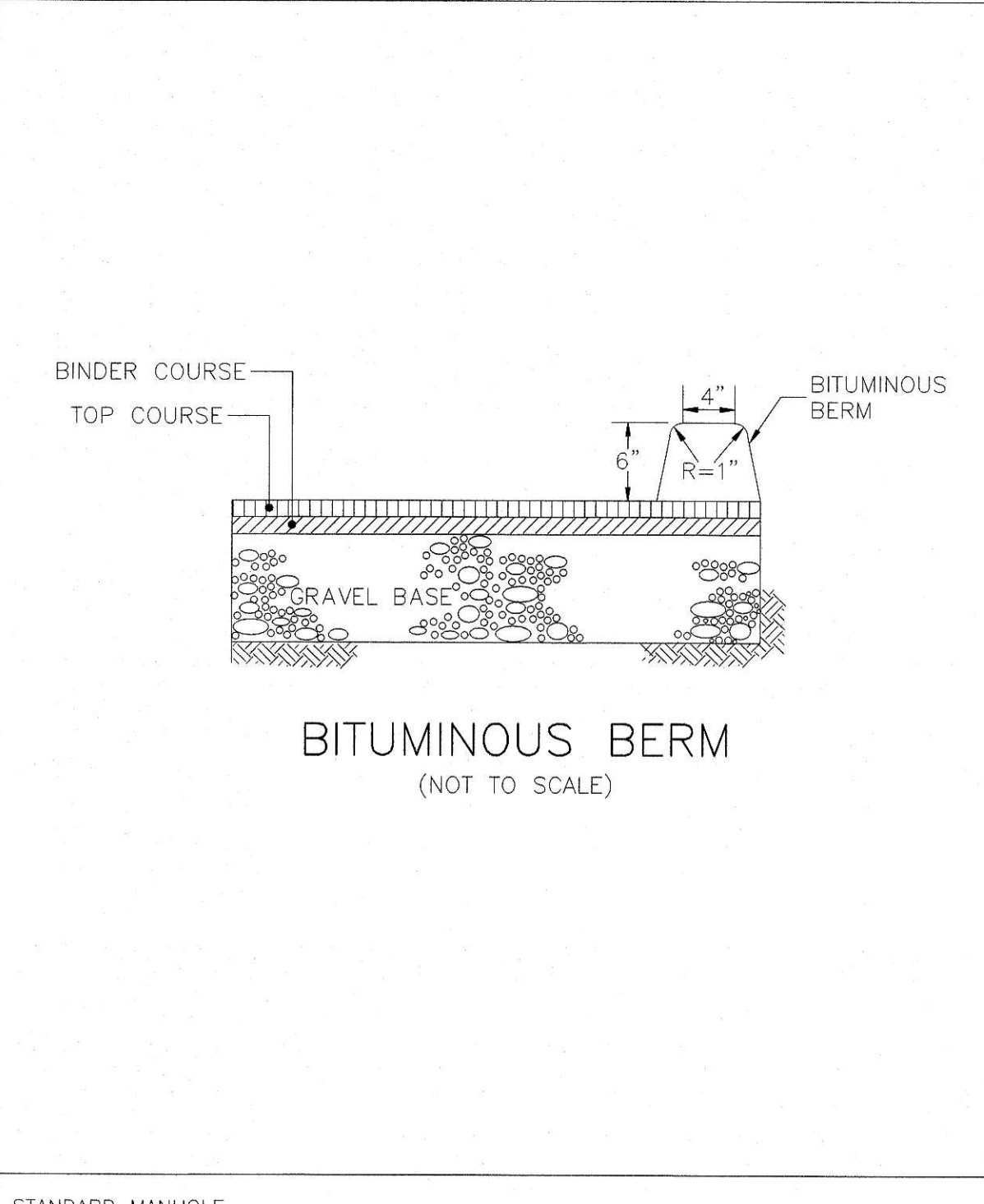
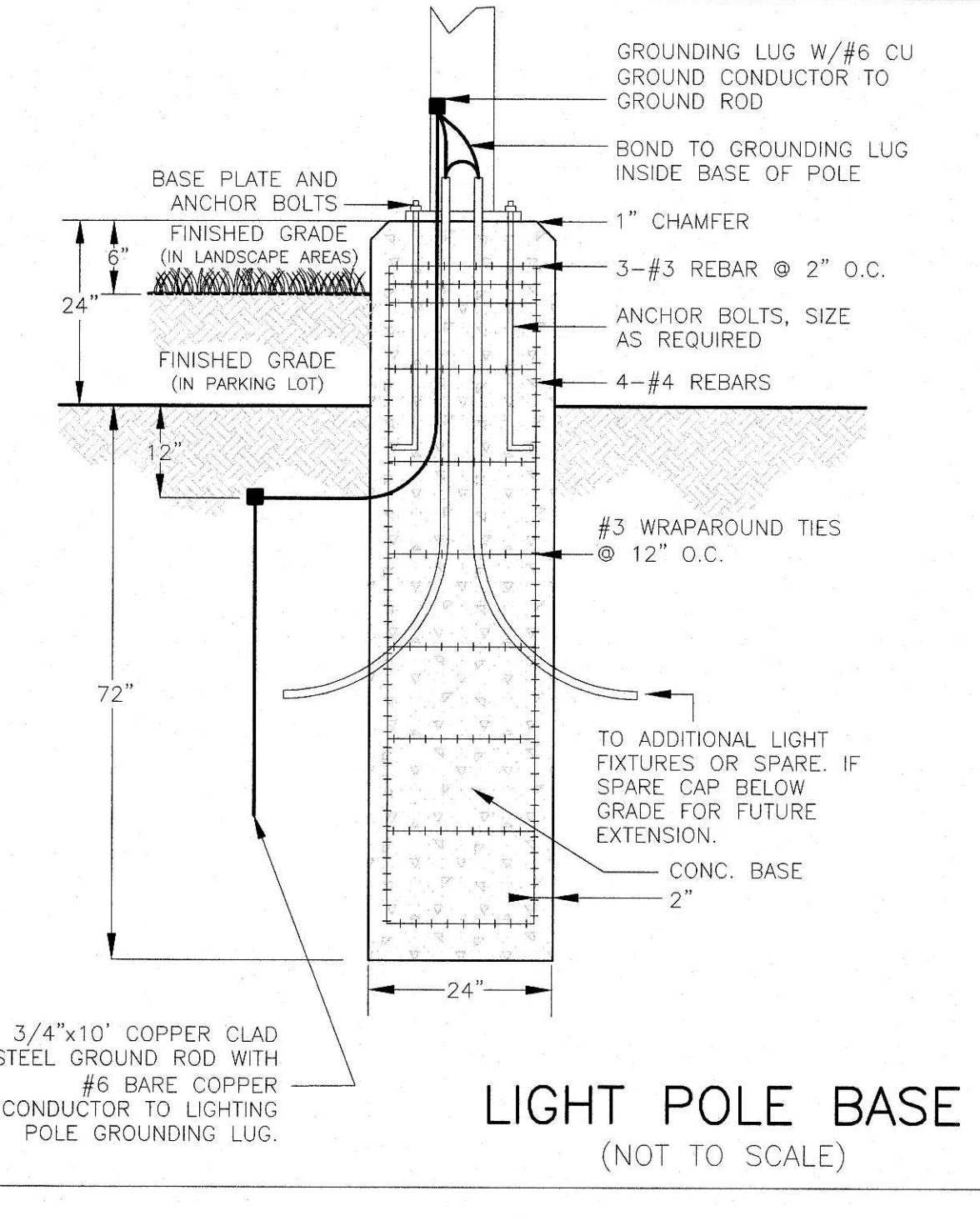
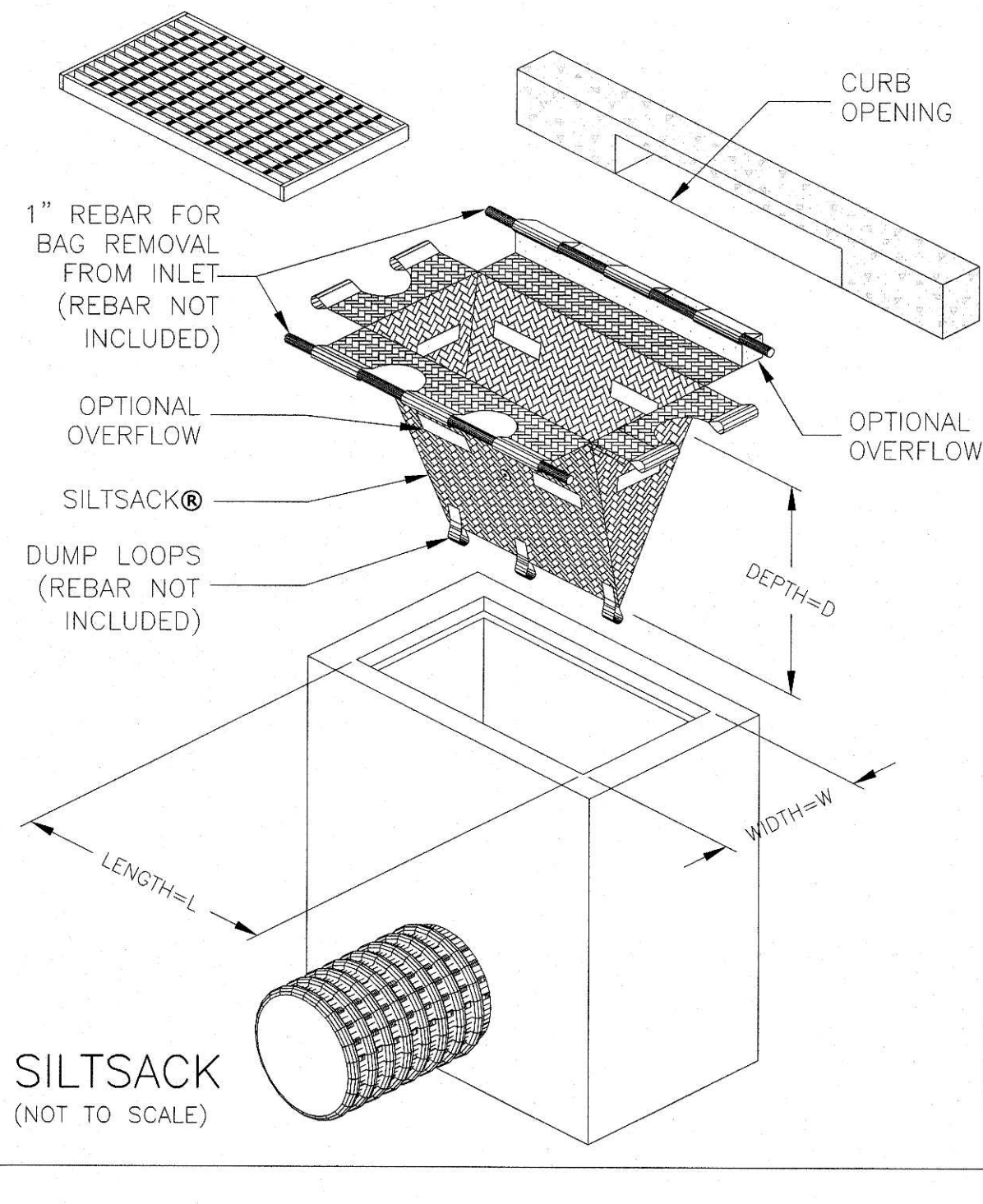
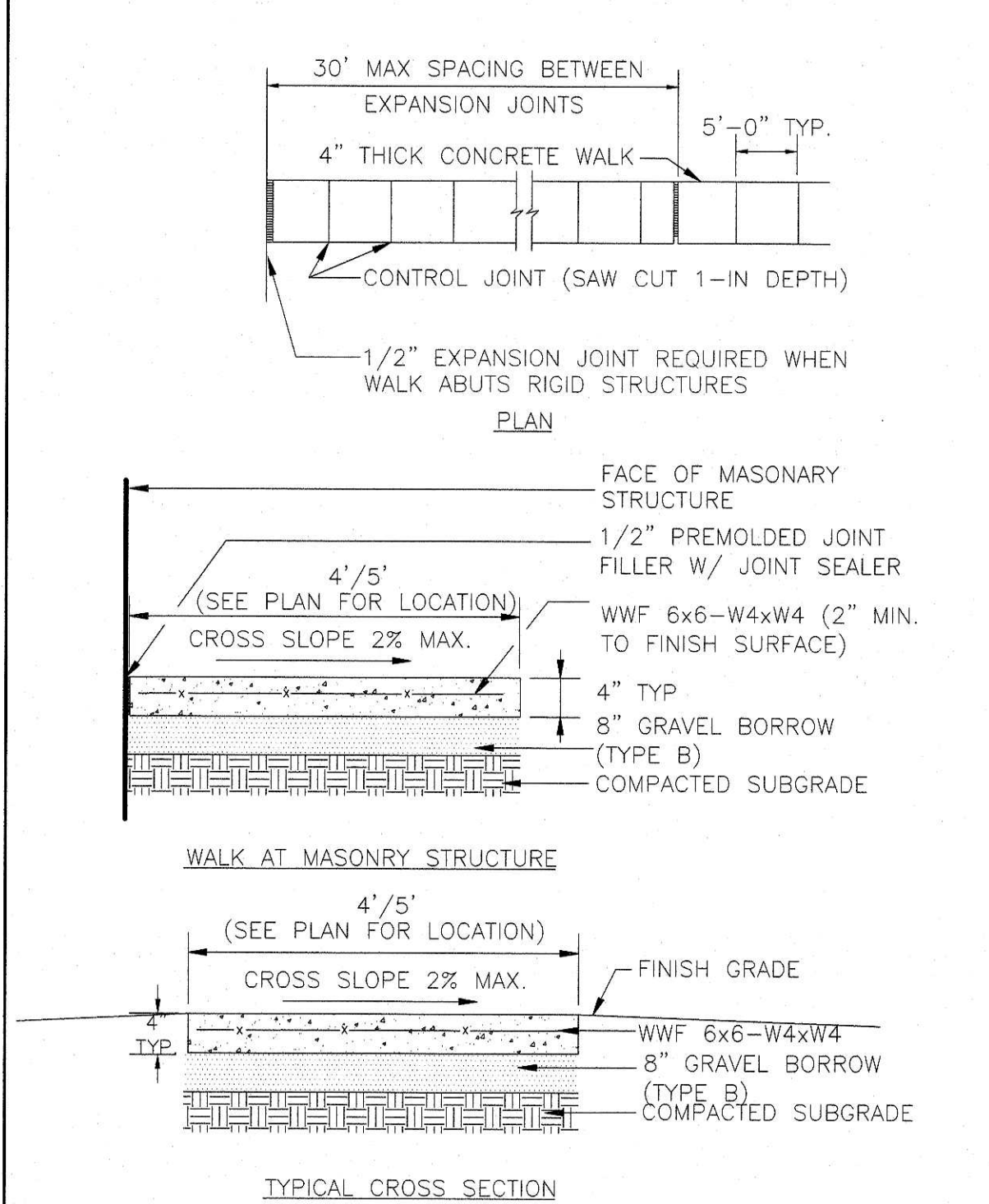
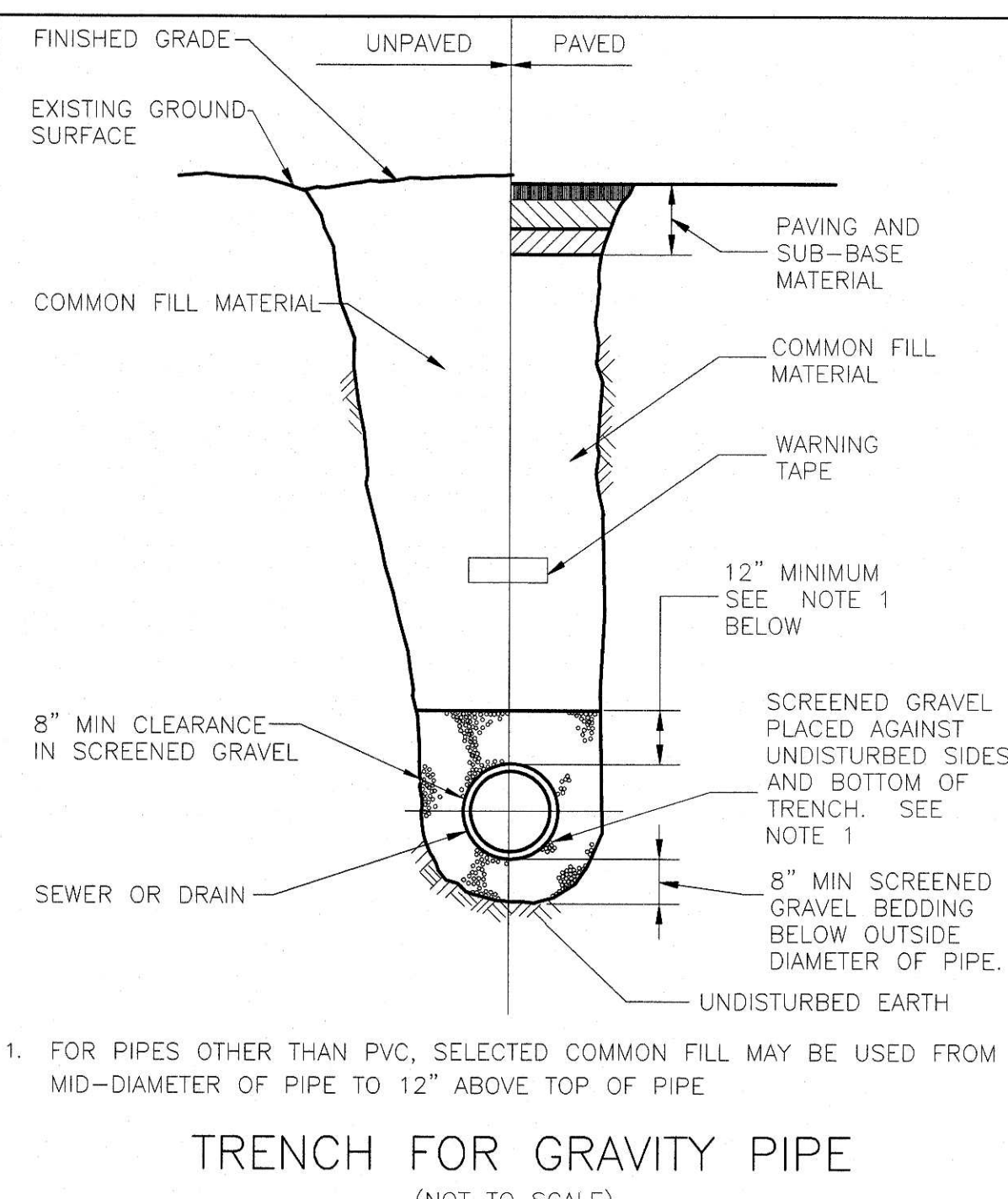
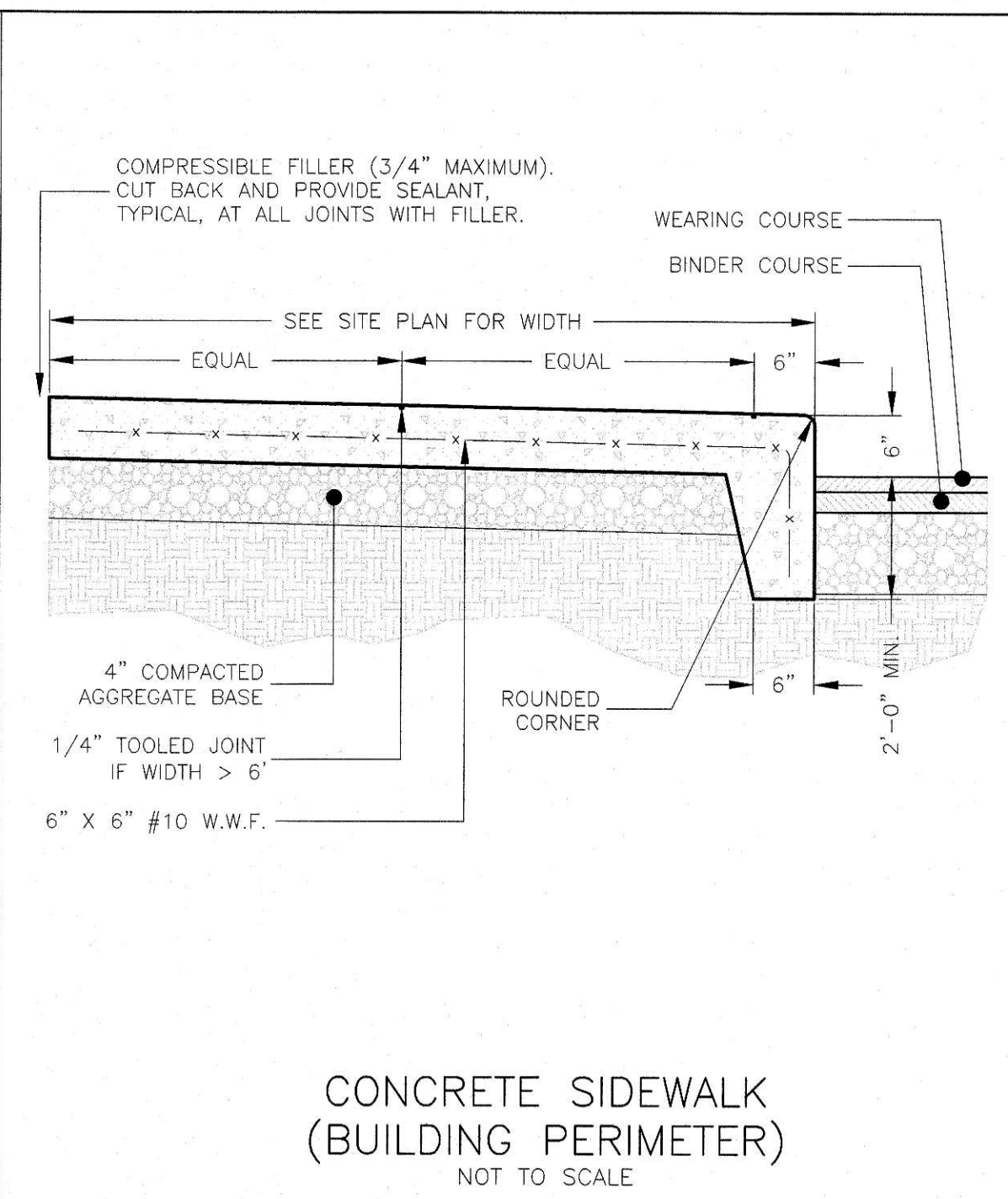
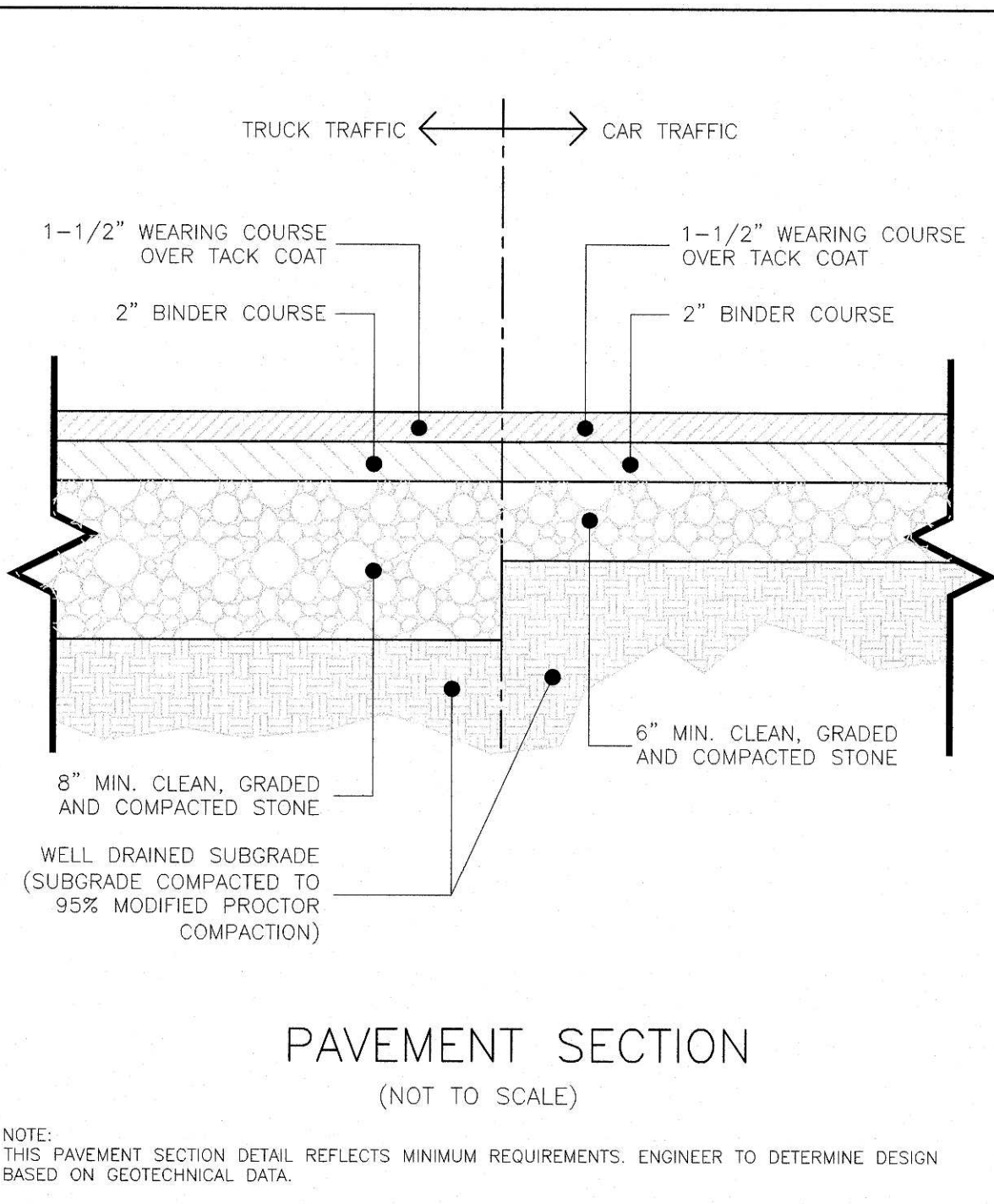
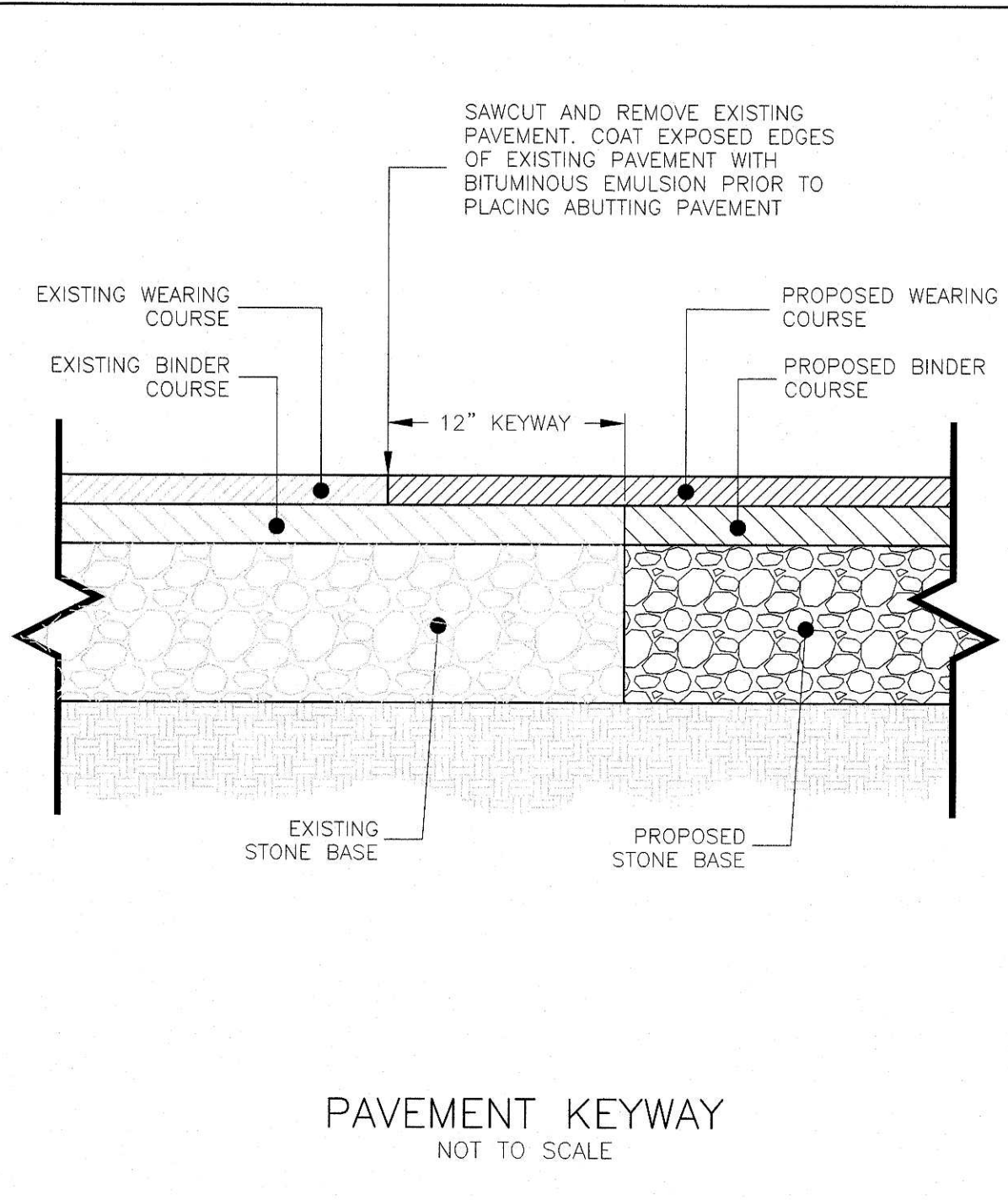
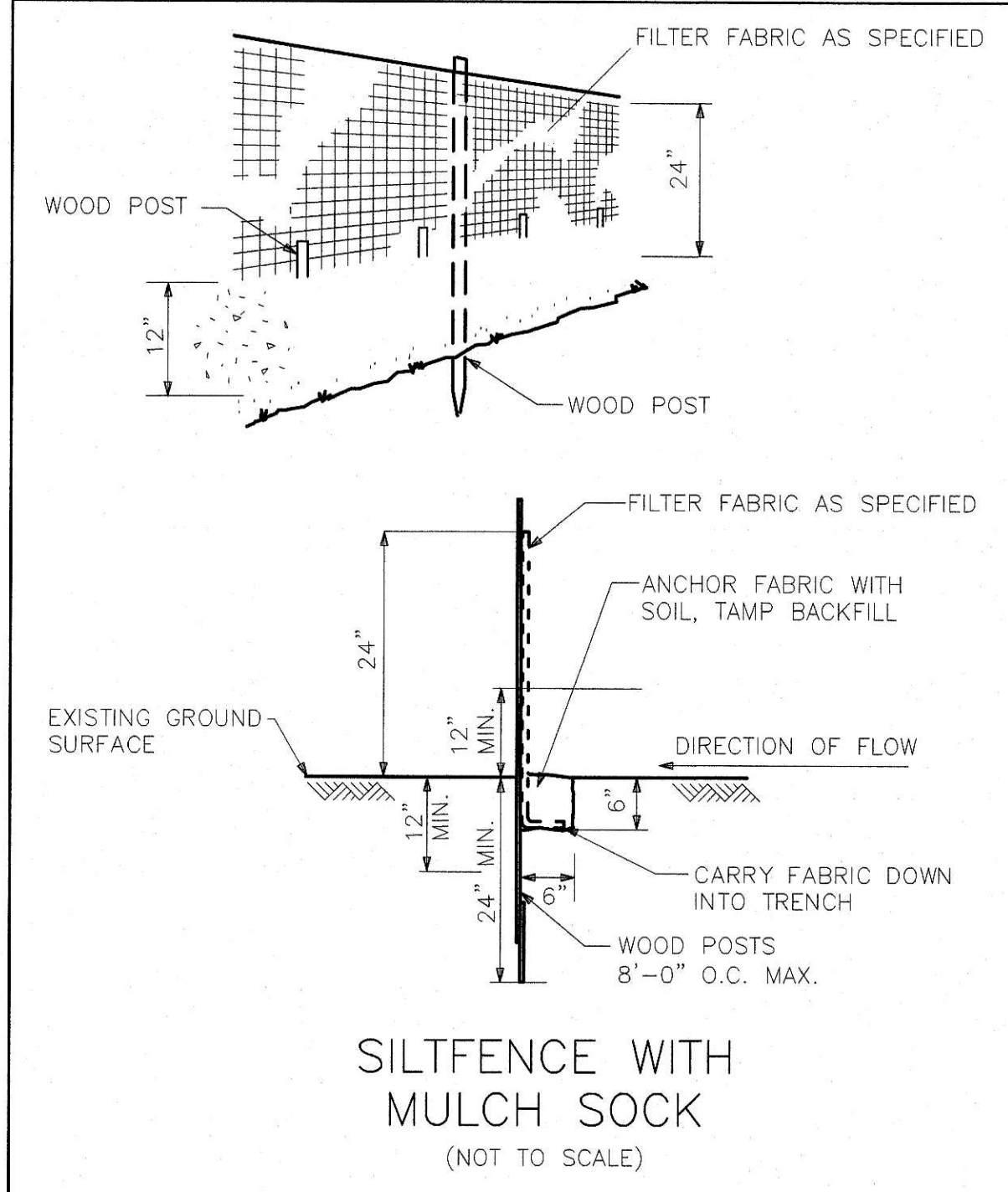
DRAWING: C6.1

SHEET 6 OF 9

LUMINAIRE SCHEDULE								GENERAL PHOTOMETRIC SCHEDULE	
SYMBOL	LABEL	QUANTITY	CATALOG NUMBER LSI INDUSTRIES, INC.	DESCRIPTION	LAMP	TILT	LLF	CANDELA FILE	
■	A	6	MIRADA WALL SCONCE LED XWM-FT-LED-06L-30 (FINISH & ELECTRICAL TO BE SPECIFIED BY OTHERS)	FORWARD THROW OPTICS 20' MOUNTING HEIGHT (WALL MOUNTED)	3000K 5512 LUMENS PER LAMP	0°	0.85	XWM-FT-LED-06L-30.ies	AVERAGE FOOT-CANDLES 0.58
■	B	4	MIRADA WALL SCONCE LED XWM-2-LED-03L-27 (FINISH & ELECTRICAL TO BE SPECIFIED BY OTHERS)	TYPE 2 OPTICS 10' MOUNTING HEIGHT (WALL MOUNTED)	3000K 2717 LUMENS PER LAMP	0°	0.85	XWM-2-LED-03L-27.ies	MAXIMUM FOOT-CANDLES 3.0
■	C	10	MIRADA AREA LED MRM-LED-07L-SIL-FT-IL (FINISH & ELECTRICAL TO BE SPECIFIED BY OTHERS)	TYPE 3 OPTICS 20' MOUNTING HEIGHT (POLE MOUNTED)	3000K 6701 LUMENS PER LAMP	0°	0.85	MRM-LED-07L-SIL-FT-30-70CRI-IL.ies	MINIMUM FOOT-CANDLES 0.0
									MINIMUM TO MAXIMUM FC RATIO 0.00
									MAXIMUM TO MINIMUM FC RATIO 763.81
									AVERAGE TO MINIMUM FC RATIO 144.64

NOTES:

1. SECURITY LIGHTING TO BE DETERMINED.
2. ILLUMINANCE VALUES CREATED FROM MANUFACTURERS PHOTOMETRIC DATA.
3. ILLUMINANCE VALUES SHOWN REPRESENT HORIZONTAL FOOTCANDLES AT GROUND LEVEL.
4. FOOT CANDLE VALUES SHOWN DO NOT ACCOUNT FOR LIGHT REFLECTION, EXISTING LIGHT SOURCES, SLOPING GRADE OR EXISTING OR PROPOSED THREE DIMENSIONAL OBJECTS.



WILLIAMS & SPARAGES
ENGINEERS, PLANNERS, ARCHITECTS
500 NORTH MAIN STREET
MIDDLETON, MA 01949
PHONE (978) 539-8088
FAX (978) 539-8080
WWW.WSENGINEERS.COM

Owner: Medway Flower, LLC
990 Paradise Road
Swampscott, MA 01907

Applicant: Phytopia, Inc.
25 Newbury Street
Peabody, MA 01960

Designed By: MEM
Drawn By: MEM
Reviewed By: CPS
Project Manager: CPS
Job File Number: MEDW-0017
Drawing File Folder: MEDW17

☒ Drawing Issued for Review
☐ Drawing Issued for Permit
☐ Drawing Issued for Construction

SEAL

CHRIST P. SPARAGES
REGISTERED PROFESSIONAL ENGINEER
NO. 40774
STATE OF MASSACHUSETTS

(4/1/21)

CONSTRUCTION DETAILS PLAN
INDUSTRIAL PARK ROAD
6 INDUSTRIAL PARK ROAD, MEDWAY, MA

12	11	10	9	8	7
6	5	4	3	2	1

SCALE: NONE

APRIL 1, 2021

DRAWING: C8.1

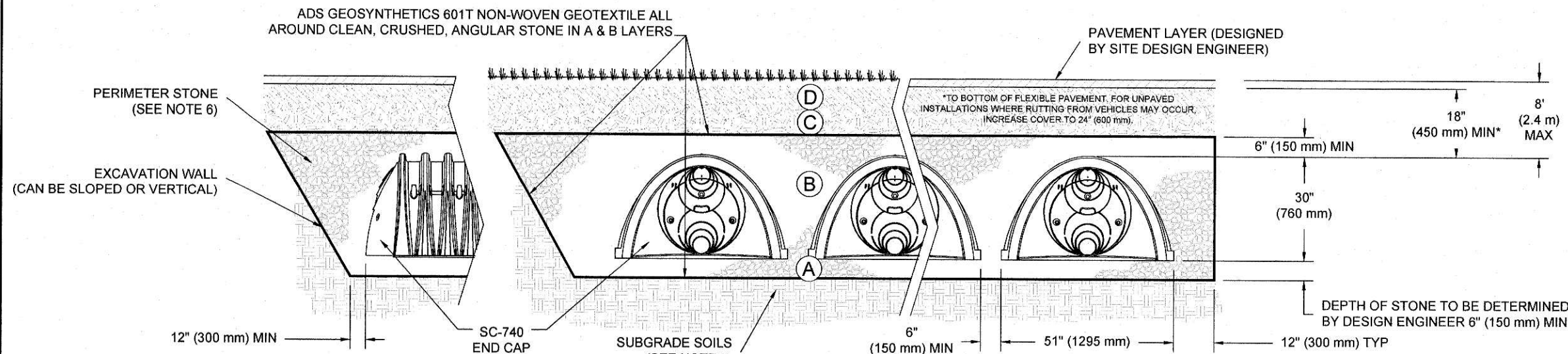
SHEET 8 OF 9

ACCEPTABLE FILL MATERIALS: STORMTECH SC-740 CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	ANY SOIL/ROCK MATERIALS, NATIVE SOILS, OR PER ENGINEER'S PLANS. CHECK PLANS FOR PAVEMENT SUBGRADE REQUIREMENTS.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE (B' LAYER) TO 18" (450 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, <35% FINES OR PROCESSED AGGREGATE. MOST PAVEMENT SUBBASE MATERIALS CAN BE USED IN LIEU OF THIS LAYER.	AASHTO M145* A-1, A-2.4, A-3 OR AASHTO M43* 3, 357, 4, 467, 5, 56, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 12" (300 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 6" (150 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 lbs (53 kN). DYNAMIC FORCE NOT TO EXCEED 20,000 lbs (89 kN).
B EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE (A' LAYER) TO THE 'C' LAYER ABOVE.	CLEAN, CRUSHED, ANGULAR STONE, NOMINAL SIZE DISTRIBUTION BETWEEN 3/4-2 INCH (20-50 mm)	AASHTO M43* 3, 357, 4, 467, 5, 56, 57	NO COMPACTION REQUIRED.
A FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	CLEAN, CRUSHED, ANGULAR STONE, NOMINAL SIZE DISTRIBUTION BETWEEN 3/4-2 INCH (20-50 mm)	AASHTO M43* 3, 357, 4, 467, 5, 56, 57	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. *

PLEASE NOTE:

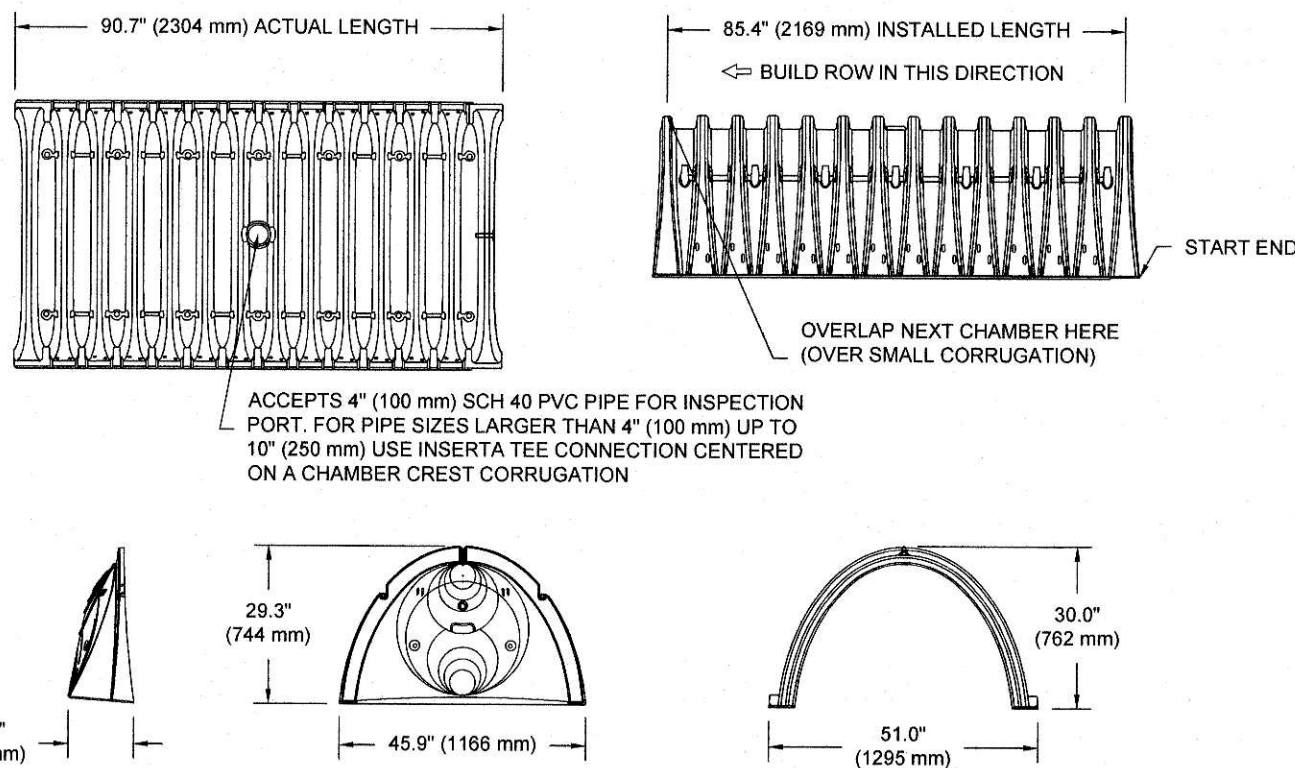
- THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR, FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
- STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 6" (150 mm) MAX LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
- WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.



NOTES:

- SC-740 CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2418 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS", OR ASTM F2022 "STANDARD SPECIFICATION FOR POLYETHYLENE (PE) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- SC-740 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- "ACCEPTABLE FILL MATERIALS" TABLE ABOVE PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS FOR FOUNDATION, EMBEDMENT, AND FILL MATERIALS.
- THE "SITE DESIGN ENGINEER" REFERS TO THE ENGINEER RESPONSIBLE FOR THE DESIGN AND LAYOUT OF THE STORMTECH CHAMBERS FOR THIS PROJECT.
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
- PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
- ONCE LAYER 'C' IS PLACED, ANY SOLI/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.

STORMTECH SC-740 CROSS SECTION NOT TO SCALE



NOMINAL CHAMBER SPECIFICATIONS	51" (1295 mm) X 30" (762 mm) X 85.4" (2169 mm)	1295 mm X 762 mm X 2169 mm
SIZE (W X H X INSTALLED LENGTH)	45.9 CUBIC FEET	(1.30 m³)
CHAMBER STORAGE	74.9 CUBIC FEET	(2.12 m³)
MINIMUM INSTALLED STORAGE*	75.0 lbs.	(33.6 kg)

*ASSUMES 8" (152 mm) STONE ABOVE, BELOW, AND BETWEEN CHAMBERS

STUBS AT BOTTOM OF END CAP FOR PART NUMBERS ENDING WITH "B"

STUBS AT TOP OF END CAP FOR PART NUMBERS ENDING WITH "T"

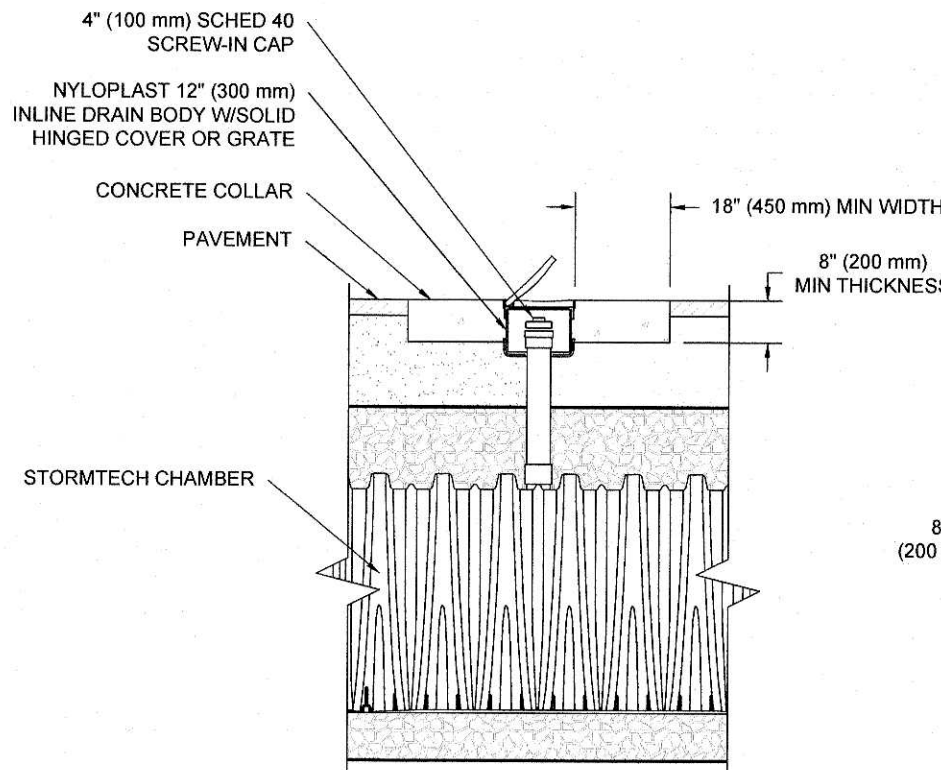
PART #	STUB	A	B	C
SC740EPE06T / SC740EPE06TFC	6" (150 mm)	10.9" (277 mm)	18.5" (470 mm)	---
SC740EPE06B / SC740EPE06BFC	6" (150 mm)	10.9" (277 mm)	18.5" (470 mm)	0.5" (13 mm)
SC740EPE08T / SC740EPE08TFC	8" (200 mm)	12.2" (310 mm)	16.5" (419 mm)	0.6" (15 mm)
SC740EPE08B / SC740EPE08BFC	8" (200 mm)	12.2" (310 mm)	16.5" (419 mm)	0.6" (15 mm)
SC740EPE10T / SC740EPE10TFC	10" (250 mm)	13.4" (340 mm)	14.5" (368 mm)	0.7" (18 mm)
SC740EPE10B / SC740EPE10BFC	10" (250 mm)	13.4" (340 mm)	14.5" (368 mm)	0.7" (18 mm)
SC740EPE12T / SC740EPE12TFC	12" (300 mm)	14.7" (373 mm)	12.5" (318 mm)	1.2" (30 mm)
SC740EPE12B / SC740EPE12BFC	12" (300 mm)	14.7" (373 mm)	12.5" (318 mm)	1.2" (30 mm)
SC740EPE15T / SC740EPE15TFC	15" (375 mm)	18.4" (467 mm)	9.0" (229 mm)	1.3" (33 mm)
SC740EPE15B / SC740EPE15BFC	15" (375 mm)	18.4" (467 mm)	9.0" (229 mm)	1.3" (33 mm)
SC740EPE18T / SC740EPE18TFC	18" (450 mm)	19.7" (500 mm)	5.0" (127 mm)	---
SC740EPE18B / SC740EPE18BFC	18" (450 mm)	19.7" (500 mm)	5.0" (127 mm)	1.8" (41 mm)
SC740EPE24B*	24" (600 mm)	18.5" (470 mm)	---	0.1" (3 mm)

ALL STUBS, EXCEPT FOR THE SC740EPE24B ARE PLACED AT BOTTOM OF END CAP SUCH THAT THE OUTSIDE DIAMETER OF THE STUB IS FLUSH WITH THE BOTTOM OF THE END CAP. FOR ADDITIONAL INFORMATION CONTACT STORMTECH AT 1-888-892-2694.

*FOR THE SC740EPE24B THE 24" (600 mm) STUB LIES BELOW THE BOTTOM OF THE END CAP APPROXIMATELY 1.75" (44 mm). BACKFILL MATERIAL SHOULD BE REMOVED FROM BELOW THE N-12 SUB SO THAT THE FITTING SITS LEVEL.

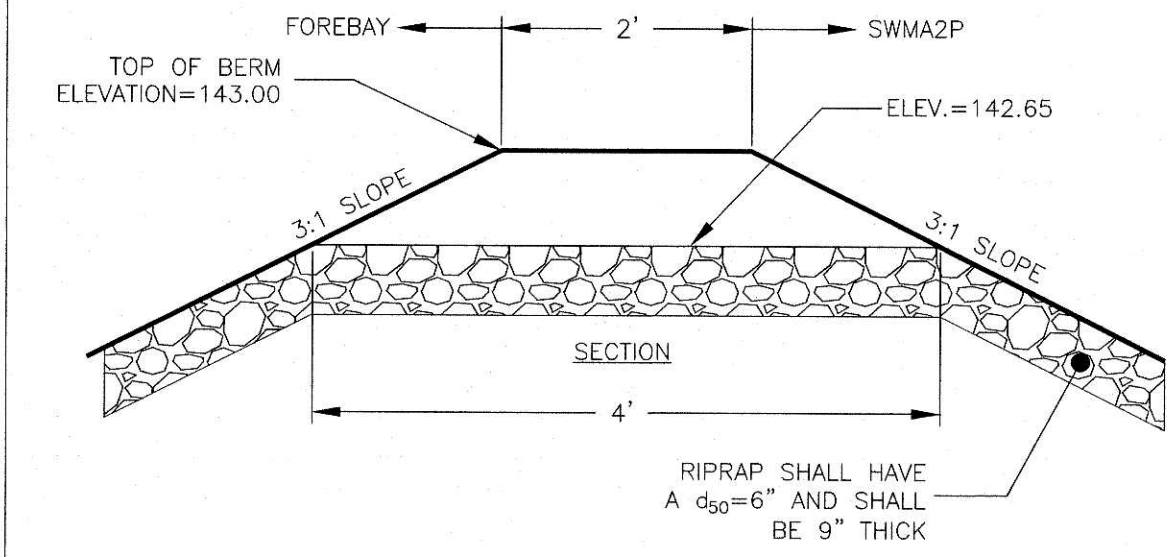
NOTE: ALL DIMENSIONS ARE NOMINAL

STORMTECH SC-740 TECHNICAL SPECIFICATIONS NOT TO SCALE

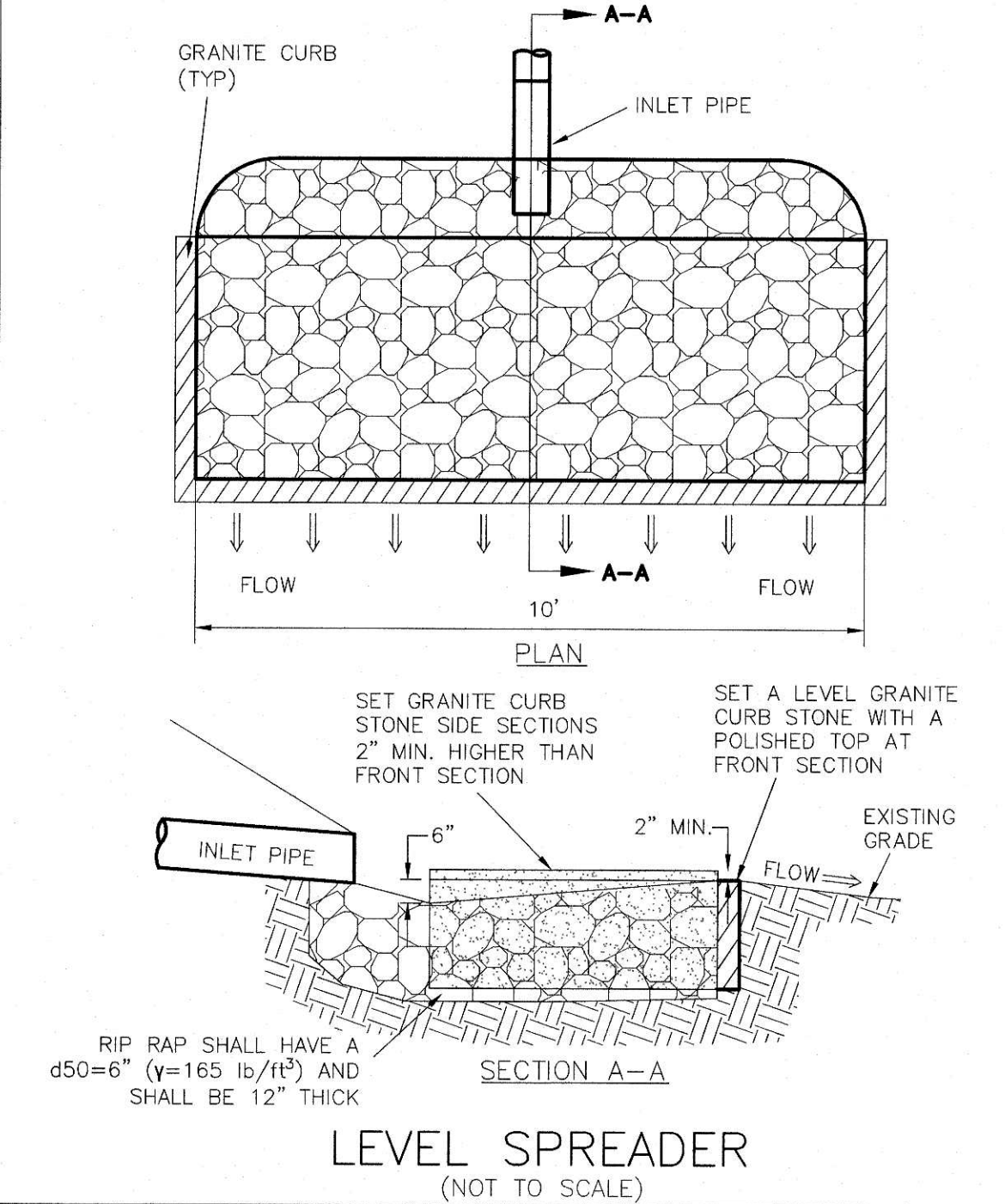


- INSPECTION PORTS MAY BE CONNECTED THROUGH ANY CHAMBER CORRUGATION VALLEY
- ALL SCHEDULE 40 FITTINGS TO BE SOLVENT CEMENTED.

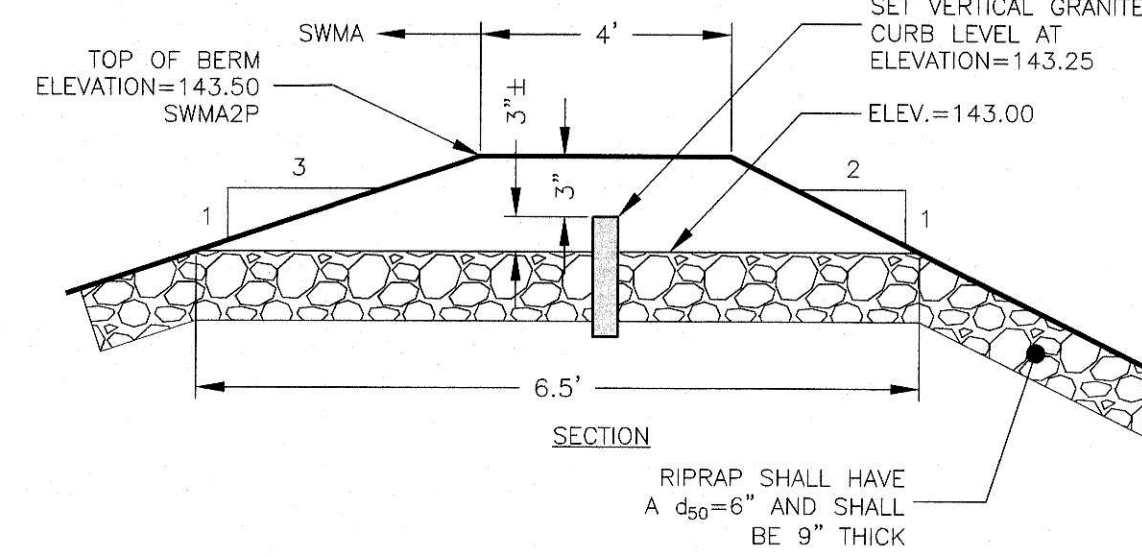
INSPECTION PORT NOT TO SCALE



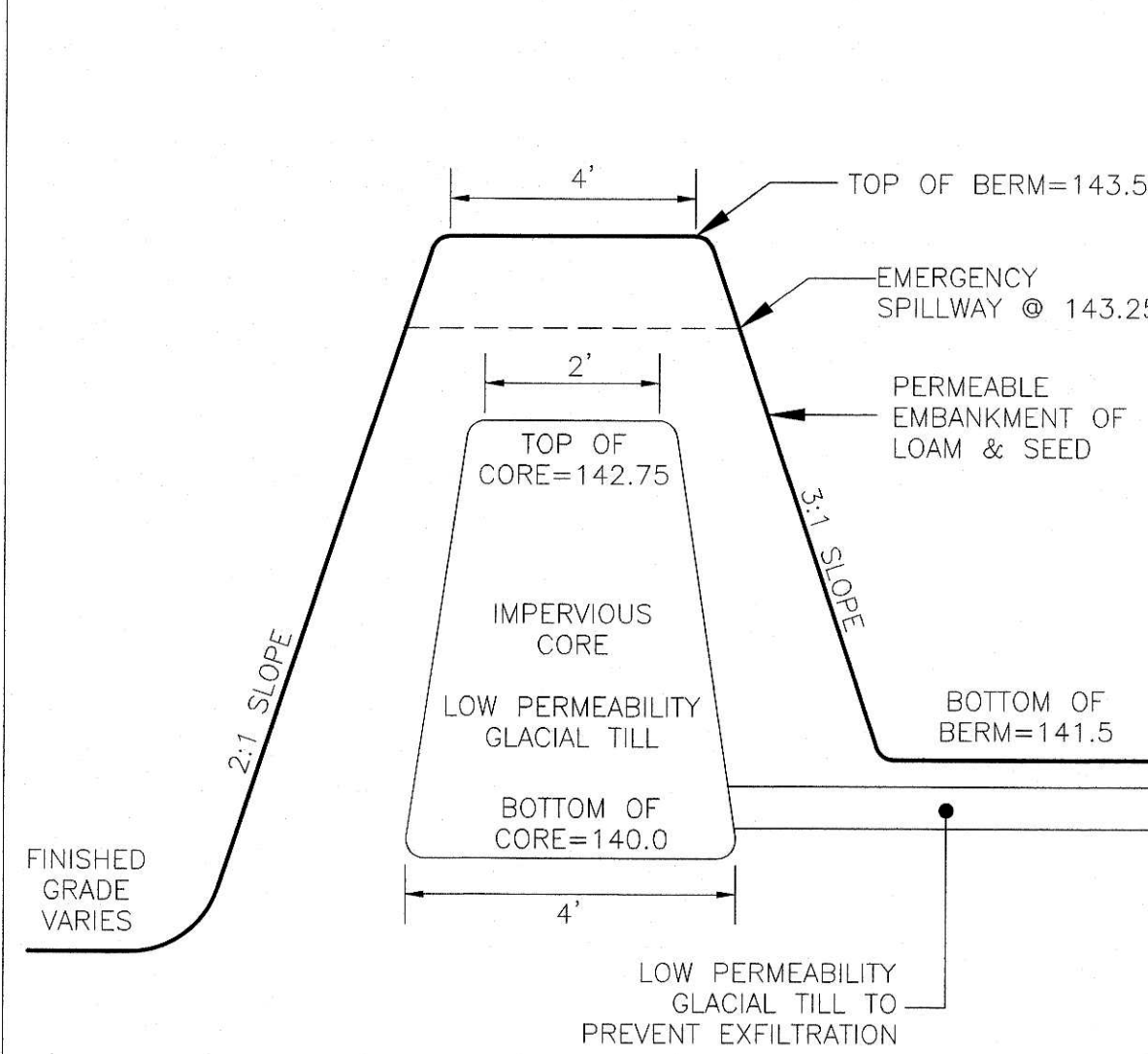
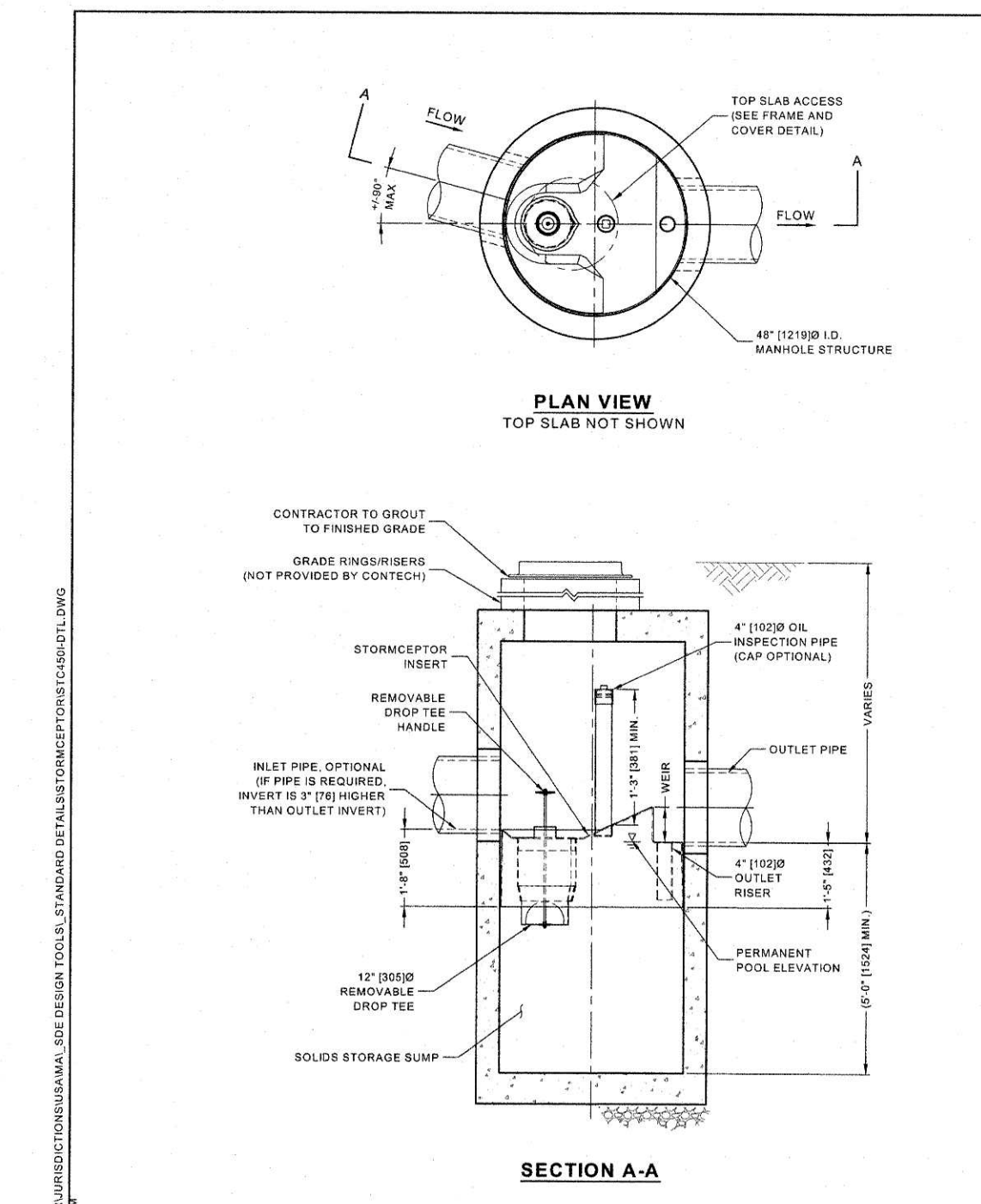
SEDIMENT FOREBAY SWMA1P SPILLWAY CONSTRUCTION (NOT TO SCALE)



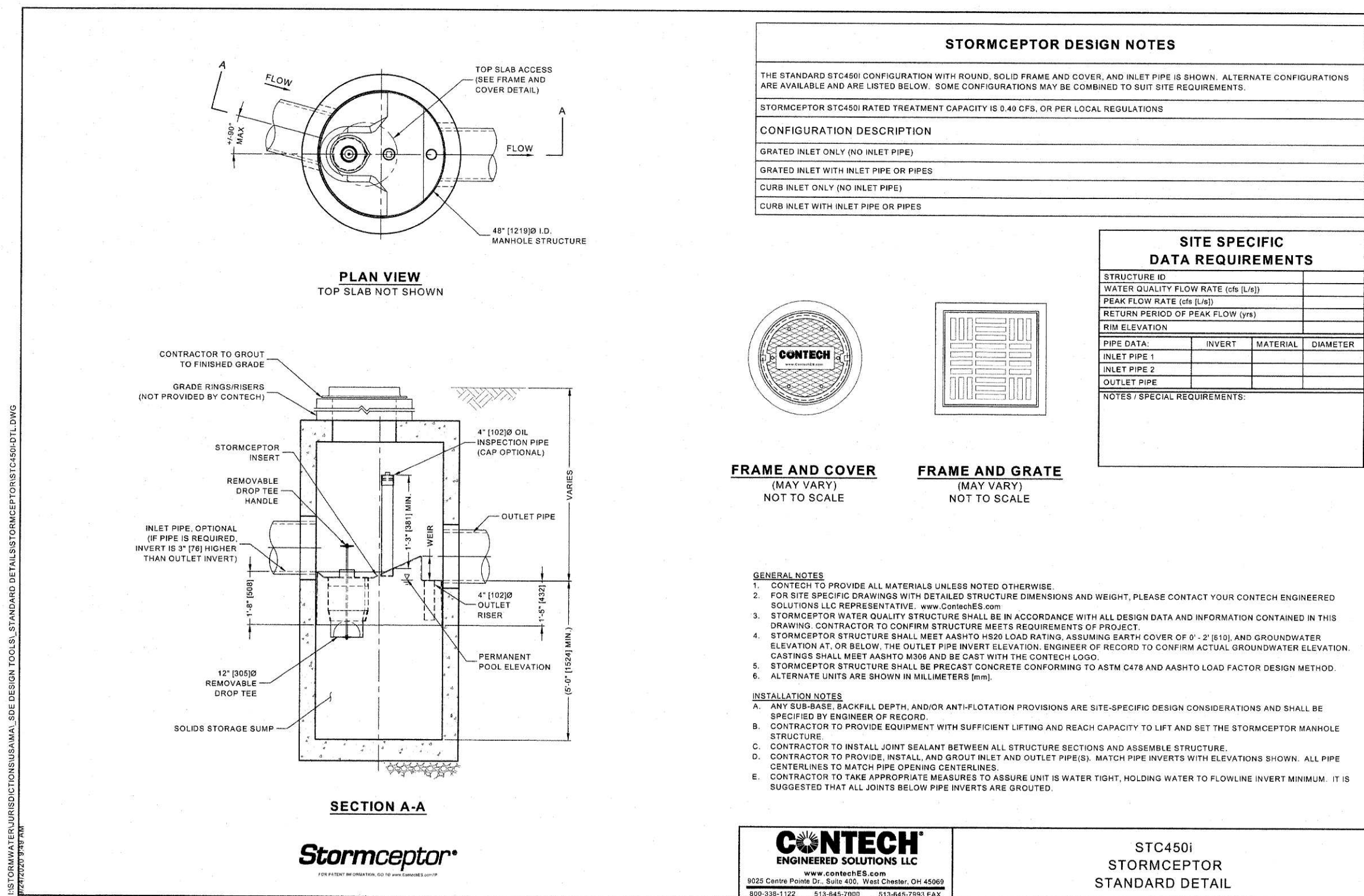
LEVEL SPREADER (NOT TO SCALE)



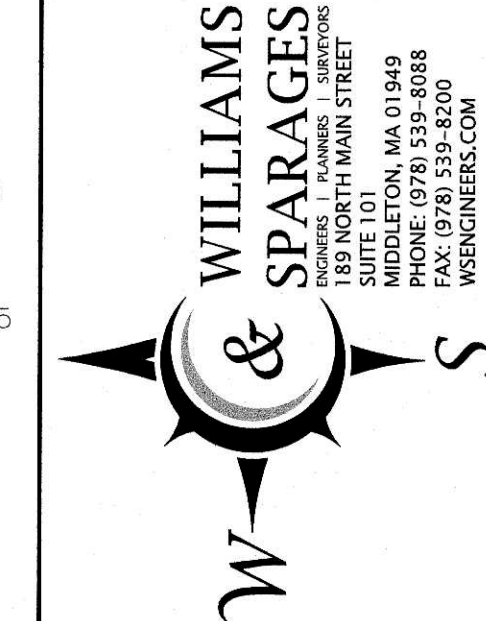
DETENTION BASIN SWMA2P EMERGENCY SPILLWAY CONSTRUCTION (NOT TO SCALE)



DETENTION BASIN EARTH BERM CONSTRUCTION (NOT TO SCALE)

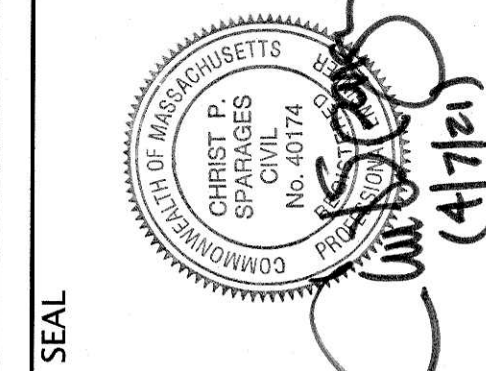


CONTECH
ENGINEERED SOLUTIONS LLC
1000 State Road 10, Suite 400, West Chester, OH 45380
937.733.1172 • 937.443.1172 • 937.443.1172



Owner:
Medway Flower, LLC
990 Paradise Road
Swampscott, MA 01907
Applicant:
Phytotopia, Inc.
25 Newbury Street
Peabody, MA 01960

Designed By: MEM
Drawn By: MEM
Reviewed By: CPS
Project Manager: CPS
Job File Number: MEDW-0017
Drawing File Folder: MEDW17
Drawing Issued for Review
Drawing Issued for Permit



CONSTRUCTION DETAILS PLAN INDUSTRIAL PARK ROAD 6 INDUSTRIAL PARK ROAD, MEDWAY, MA

SCALE: NONE	12	11	10	9	8	7
	6	5	4	3	2	1

DRAWING: C8.2

SHEET 9 OF 9

APRIL 1, 2021



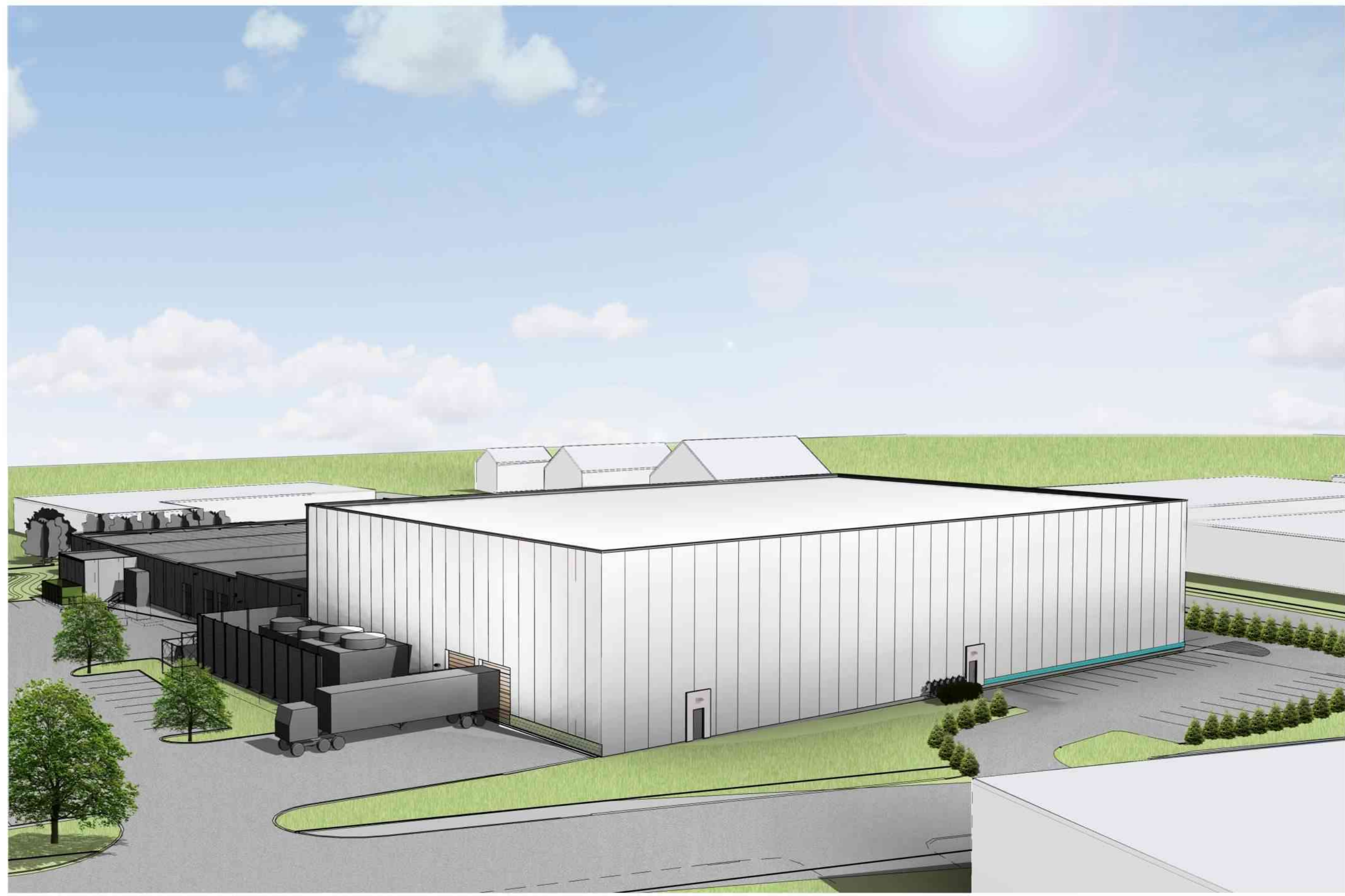
1 VIEW FROM THE NORTHWEST



2 VIEW FROM THE SOUTHWEST



3 VIEW FROM THE SOUTHEAST



4 VIEW FROM THE NORTHEAST

SPECIAL PERMIT

REVISIONS		
No.	Description	Date
1	RENDERING UPDATE	2021.06.02

AndersonPorterDesign
875 Main Street, Cambridge, MA 02139
Tel. 617.354.2501 Fax. 617.354.2509

Project: Phytotherapy

Address: 6 Industrial Park Road,
Medway, Ma. 02053

Title: COVER SHEET

Drawing Issued By: ANDERSON PORTER DESIGN

Project #: 2023

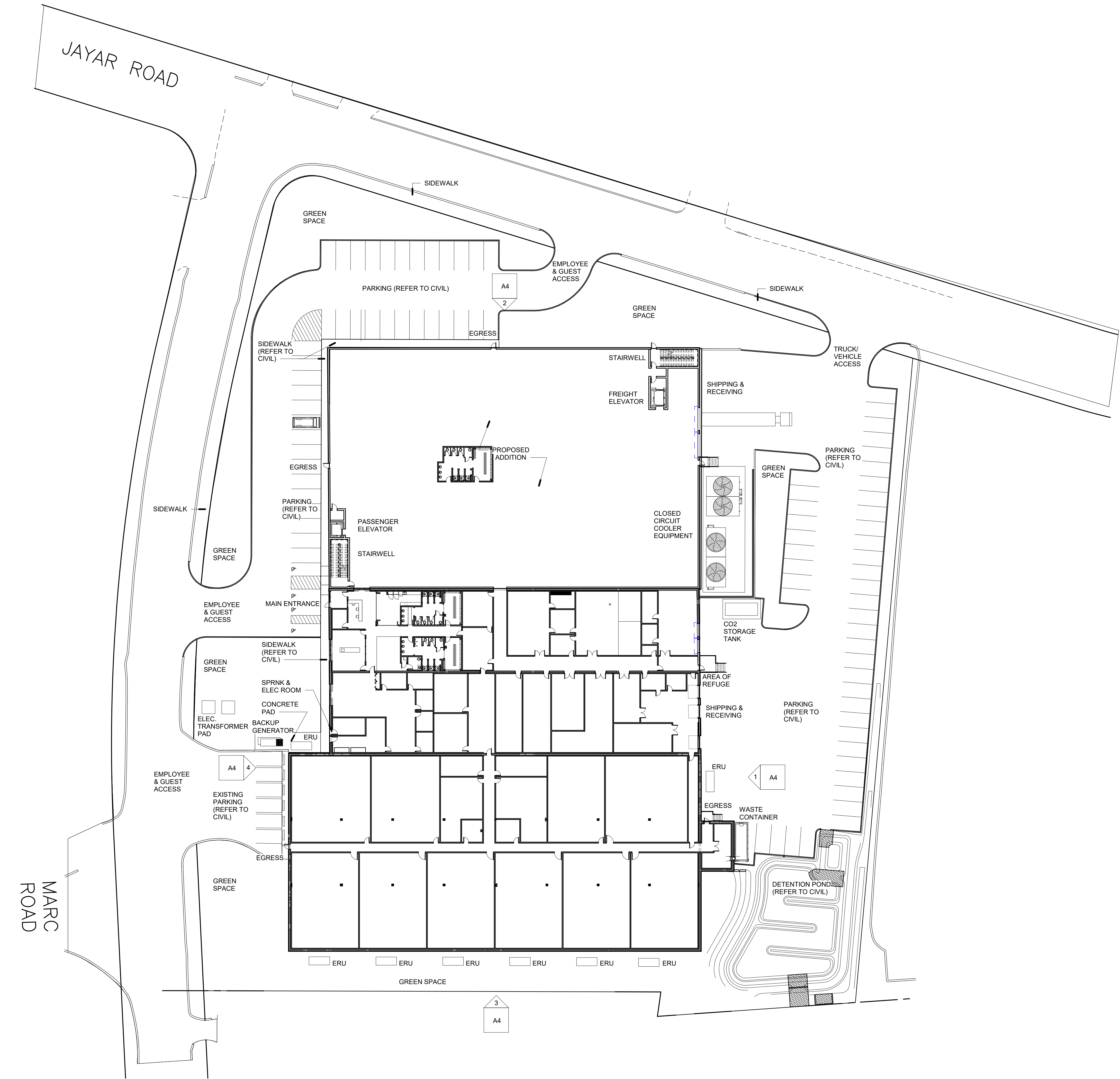
Drawn No.

Date: 2021.04.06

Scale:

Drawn by:

A1



1 FIRST FLOOR PLAN EGRESS (Special Permit)
1" = 30'-0"

SPECIAL PERMIT

REVISIONS		
No.	Description	Date

AndersonPorterDesign
875 Main Street, Cambridge, MA 02139
Tel. 617.354.2501 Fax. 617.354.2509

Project: Phytotherapy	
Address: 6 Industrial Park Road, Medway, Ma. 02053	
Title: ARCHITECTURE SITE PLAN	
Drawing Issued By: ANDERSON PORTER DESIGN	
Project # 2023	Drawn No.
Date 2021.04.06	A2
Scale 1" = 30'-0"	
Drawn by SC	



PLAN LEGEND	
	BUSINESS AREAS
	HORTICULTURAL AREAS
	MANUFACTURING AREAS
	SERVICE ACCESSWAYS
	PERSONNEL INGRESS/EGRESS

ANDERSON
PORTER
DESIGN

SPECIAL PERMIT

REVISIONS		
No.	Description	Date

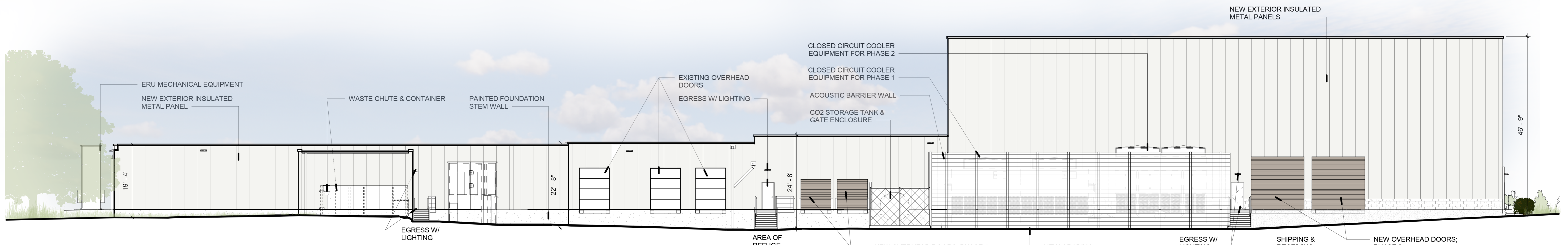
AndersonPorterDesign
875 Main Street, Cambridge, MA 02139
Tel. 617.354.2501 Fax. 617.354.2509

Project: Phytotherapy
Address: 6 Industrial Park Road,
Medway, Ma. 02053

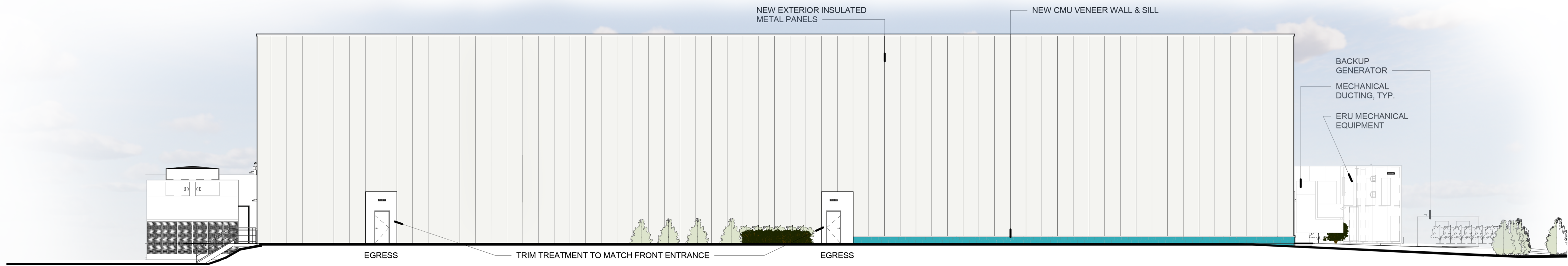
Title: FIRST FLOOR PLAN

Drawing Issued By: ANDERSON PORTER DESIGN	
Project # 2023	Drawn No.
Date 2021.04.06	A3
Scale As indicated	
Drawn by Author	

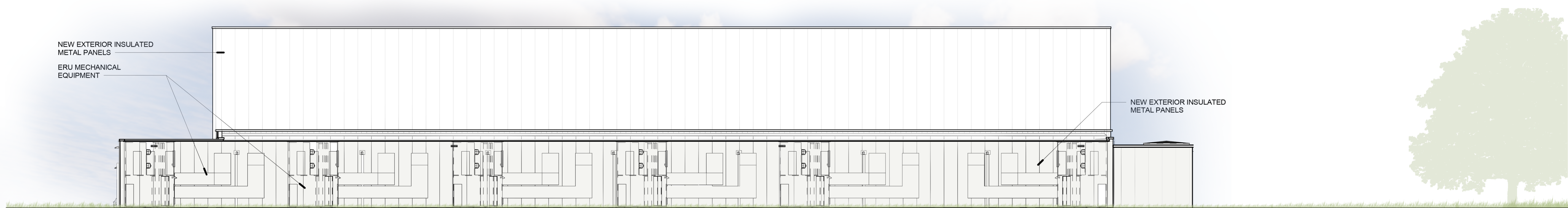
1 FIRST FLOOR PLAN (Special Permit)
1" = 20'-0"



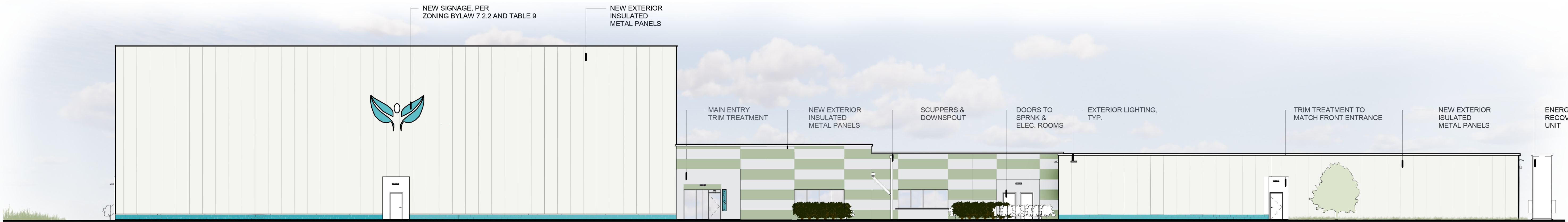
① PROPOSED EAST ELEVATION EXPANSION
1 : 160



② PROPOSED NORTH ELEVATION EXPANSION
1 : 160



③ PROPOSED SOUTH ELEVATION EXPANSION
1 : 160



④ PROPOSED WEST ELEVATION EXPANSION
1 : 160

SPECIAL PERMIT

REVISIONS		
No.	Description	Date
1	RENDERING UPDATE	2021.06.02

AndersonPorterDesign
875 Main Street, Cambridge, MA 02139
Tel. 617.354.2501 Fax. 617.354.2509

Project: Phytotherapy
Address: 6 Industrial Park Road,
Medway, Ma. 02053

Title: PROPOSED EXTERIOR
ELEVATIONS

Drawing Issued By: ANDERSON PORTER DESIGN	Project # 2023	Drawn No.
Date 2021.04.06	Scale 1 : 160	A4
Drawn by SC/SW		

Medway Planning and Economic Development Board
Request for Waiver from Subdivision Rules and Regulations
 Complete 1 form for each waiver request

Project Name:	6 Industrial Park Road
Property Location:	6 Industrial Park Road
Type of Project/Permit:	Redevelopment & Addition / Special Permits & Site Plan Review
Identify the number and title of the relevant Section of the Subdivision Plan Rules and Regulations from which a waiver is sought.	S.204-4.A - Registered Landscape Architect
Summarize the text of the relevant Section of the Rules and Regulations from which a waiver is requested.	Have a Registered Landscape Architect submit a Landscape Plan
What aspect of the Regulation do you propose be waived?	The requirement of having to retain and utilize a Registered Landscape Architect
What do you propose instead?	Submission of a Landscape Plan by Williams & Sparages, LLC.
Explain/justify the waiver request. Why is the waiver needed? Describe the extenuating circumstances that necessitate the waiver request.	This is an existing industrial site. The addition of a Registered Landscape Architect is not necessary for this project and will add substantially to the development cost.
What is the estimated value/cost savings to the applicant if the waiver is granted?	\$5,000.00
How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	The applicant will supply a comprehensive Landscape Plan prepare by the engineer who has completed many such plans for many other projects.
What is the impact on the development if this waiver is denied?	None.
What are the design alternatives to granting this waiver?	None. A comprehensive Landscape Plan will still be provided.
Why is granting this waiver in the Town's best interest?	The Town will still be provided with a comprehensive Landscape Plan.
If this waiver is granted, what is the estimated cost savings and/or cost avoidance to the Town?	None.
What mitigation measures do you propose to offset not complying with this particular Rule/Regulation?	None.
What is the estimated value of the proposed mitigation measures?	A comprehensive Landscape Plan will still be provided.
Other Information?	
Waiver Request Prepared By:	Edward V. Cannon, Jr. , Esq.
Date:	April 30, 2021
Questions?? - Please contact the Medway PED office at 508-533-3291.	
	Updated 10-23-18

Medway Planning and Economic Development Board
Request for Waiver from Subdivision Rules and Regulations
 Complete 1 form for each waiver request

Project Name:	6 Industrial Park Road
Property Location:	6 Industrial Park Road
Type of Project/Permit:	Redevelopment & Addition / Special Permits & Site Plan Review
Identify the number and title of the relevant Section of the Subdivision Plan Rules and Regulations from which a waiver is sought.	S.204-5.C.3 - Landscape Inventory
Summarize the text of the relevant Section of the Rules and Regulations from which a waiver is requested.	Submit a landscape inventory
What aspect of the Regulation do you propose be waived?	There is no notable landscape inventory present on the site
What do you propose instead?	To provide a comprehensive Landscape Plan
Explain/justify the waiver request. Why is the waiver needed? Describe the extenuating circumstances that necessitate the waiver request.	There is no notable landscape inventory present on the site
What is the estimated value/cost savings to the applicant if the waiver is granted?	\$1,800.00
How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	The quality of the design and development will not be impacted if there is no inventory of current landscape features.
What is the impact on the development if this waiver is denied?	None
What are the design alternatives to granting this waiver?	Providing a comprehensive Landscape Plan
Why is granting this waiver in the Town's best interest?	There is no notable landscape inventory present on the site
If this waiver is granted, what is the estimated cost savings and/or cost avoidance to the Town?	None.
What mitigation measures do you propose to offset not complying with this particular Rule/Regulation?	None.
What is the estimated value of the proposed mitigation measures?	None.
Other Information?	
Waiver Request Prepared By:	Edward V. Cannon, Jr. , Esq.
Date:	April 30, 2021
Questions?? - Please contact the Medway PED office at 508-533-3291.	
	Updated 10-23-18

Medway Planning and Economic Development Board
Request for Waiver from Subdivision Rules and Regulations
 Complete 1 form for each waiver request

Project Name:	6 Industrial Park Road
Property Location:	6 Industrial Park Road
Type of Project/Permit:	Redevelopment & Addition / Special Permits & Site Plan Review
Identify the number and title of the relevant Section of the Subdivision Plan Rules and Regulations from which a waiver is sought.	S.204-3.F - Development Impact Statement
Summarize the text of the relevant Section of the Rules and Regulations from which a waiver is requested.	Provide comprehensive traffic, environmental, parking & neighborhood impact assessments
What aspect of the Regulation do you propose be waived?	The strict requirement for a single Development Impact Statement
What do you propose instead?	See explanation below
Explain/justify the waiver request. Why is the waiver needed? Describe the extenuating circumstances that necessitate the waiver request.	This property is subject to intense environmental scrutiny, a traffic professional will address the parking, and detailed odor and noise mitigation will address neighborhood impacts.
What is the estimated value/cost savings to the applicant if the waiver is granted?	\$12,000.00
How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	The information that the town would like to gather will be provided via the environmental work, the parking professional, and the neighborhood concerns will be addressed throughout the hearing.
What is the impact on the development if this waiver is denied?	None
What are the design alternatives to granting this waiver?	None
Why is granting this waiver in the Town's best interest?	Town will be provided with all of the pertinent information as part of the hearing process.
If this waiver is granted, what is the estimated cost savings and/or cost avoidance to the Town?	None
What mitigation measures do you propose to offset not complying with this particular Rule/Regulation?	None.
What is the estimated value of the proposed mitigation measures?	None.
Other Information?	None.
Waiver Request Prepared By:	Edward V. Cannon, Jr. , Esq.
Date:	April 30, 2021
Questions?? - Please contact the Medway PED office at 508-533-3291.	
	Updated 10-23-18



ACENTECH

33 Moulton Street
Cambridge MA 02138
617 499 8000
acentech.com

April 12, 2021

Brian Anderson
Anderson Porter Design
875 Main Street
Cambridge, MA

Phone 617-354-2501
Email brian@andersonporter.com

Subject Noise Mitigation Plan, 65 dBA property line criteria
Phytotherapy Cannabis Cultivation Facility – Medway, MA
Acentech Project No. 634341

Dear Brian,

Phytotherapy has retained Acentech to conduct a study of community noise produced by mechanical equipment serving the proposed cannabis cultivation and processing facility located at 6 Industrial Park Road in Medway, Massachusetts (the facility).

SUMMARY

Acentech has worked with Phytotherapy to develop this Noise Mitigation Plan, which is required as part of the Town of Medway's Special Permit Process. This Noise Mitigation Plan has been reviewed by an acoustical consultant whose qualifications include Institute of Noise Control Engineering (INCE) board certification.

We have reviewed submitted project drawings and sound data for noise-producing equipment to develop a community noise model. From the results of this modeling, we have developed concept noise-control recommendations. With the implementation of these controls, facility sound is expected to achieve the limits on sound discussed in this report.

PROJECT NOISE REQUIREMENTS

PHYTOTHERAPY PROPOSED NOISE LIMITS

The project team has directed us to develop concept noise controls to achieve 65 dBA at facility property lines with other industrial uses. This is an industrial-to-industrial limit similar to those found in the noise codes of similar municipalities in the region.

The proposed 65 dBA limit would apply only to other industrial uses, and the developers intend to fully comply with the MassDEP noise policy at all nearby residential structures as described in the following section.

MASSDEP NOISE POLICY

The Massachusetts Department of Environmental Protection (MassDEP) has a noise policy which applies to facility sound¹. Our current engagement does not include measurement of ambient sound levels in connection with this noise policy. However, we have previously measured nighttime ambient background sound levels (L_{A90}) as low as 27 dBA in the Medway community. Therefore, we recommend that noise levels at the nearest residences not exceed 37 dBA during nighttime hours.

¹ <https://www.mass.gov/files/documents/2018/01/31/noise-interpretation.pdf>

The MassDEP noise policy also contains language prohibiting tonal noise. We have evaluated compliance with the tonal requirements of the MassDEP noise policy assuming a nighttime ambient background level (L_{A90}) of 27 dBA, with corresponding background spectra decreasing at a linear rate of 4 dB/octave.

COMMUNITY NOISE MODELING

NOISE SOURCES

The facility has noise-producing equipment located on-grade that includes one two-cell cooling tower for Phase 1, and a second two-cell cooling tower for Phase 2. The mechanical equipment is identified schematically in FIGURE 1, and shown in greater detail in the project mechanical drawings.

The sound power levels of the equipment are given in TABLE II in APPENDIX A. Currently, we have assumed that all equipment will run at all hours at maximum capacity. We have modeled noise levels at nine residential receptors (17 ft receptor height, R01 – R09), twelve ground-level receivers (5 ft receptor height) along the facility property line (5 ft height, PLI01 – PLI12), and six residential property lines (PLR01 – PLR06), as shown in FIGURE 2.

MODEL DESCRIPTION

We have developed a computer model of facility sound using CadnaA, an acoustic modeling software that considers 3-dimensional propagation of sound. This model implements the methods and equations of ISO 9613-2 "Attenuation of sound during propagation outdoors – Part 2: General method of calculation". FIGURE 2 presents the receptor locations used in computer modeling.

ASSUMPTIONS

The results presented in this report describe Phase 2 sound levels, and depend to a large degree on the Phase 2 building for acoustic shielding.

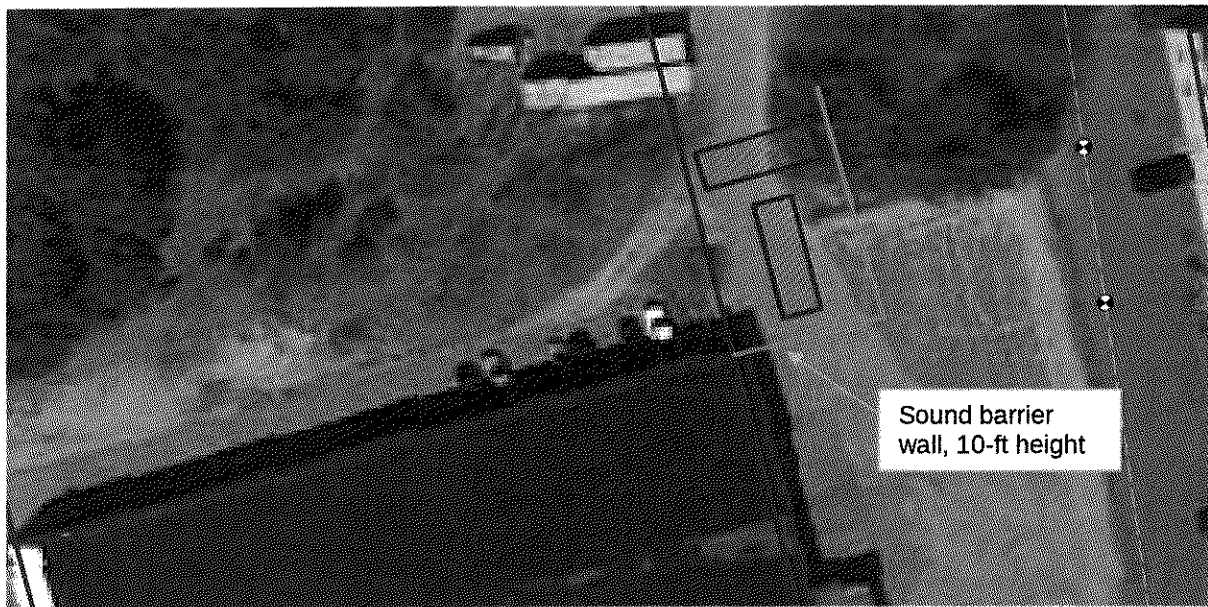
NOISE CONTROL

RECOMMENDATIONS AND RESULTS

You have asked that we determine the noise controls required to achieve 65 dBA at the facility's industrial property lines, and to comply with the MassDEP noise policy.

No noise controls are required to achieve 65 dBA at the facility property line. However, controls are required to not exceed the MassDEP noise policy at the nearest residences to the south. These controls include an L-shaped sound barrier wall of 10' height. FIGURE 3 shows community sound levels with the recommended control measures, with octave-band estimates shown in TABLE 3 (APPENDIX A).

INSET 1 shows the configuration of the sound barrier in greater detail.



INSET 1. Barrier configuration for 65 and 60 dBA facility property line design goals

BARRIER DESIGN REQUIREMENTS

Sound barriers should be solid and continuous, and should achieve a minimum STC rating of 30. If STC data are not available for a given product you may wish to consider, the barrier should be at least 4 lbs/sq ft surface weight in order to be sufficiently-massive for the task at hand. The undercut at the bottom of the barrier should not exceed 6 inches if possible.

For this project, the barriers do not require a sound absorptive treatment on either face. Suitable products for this application include Tuf-Barrier by AIL Sound Walls² or similar.

MODEL RESULTS, NOISE CONTROLS

With the noise controls recommended in this report, we expect that sound produced by the proposed equipment will comply with the criteria described above.

It is possible that some equipment will have reduced fan speeds during nighttime operation, leading to reduced sound levels. Currently, we have assumed that all equipment will run at all hours at maximum capacity. Nighttime sound data for major equipment could influence the noise control recommendations.

* * * * *

² <https://www.ailsoundwalls.com/product/tuf-barrier-reflective/>

I trust this report provides the information you need at this time. Please contact us if you have any questions or comments.

Sincerely,

A handwritten signature in black ink, appearing to read "Andy C.", with a stylized flourish at the end.

Andy Carballeira, INCE Bd Cert
Principal Consultant
617-499-8025

CC: none
Encl: FIGURES
APPENDIX A: Model Inputs and Results

FIGURES

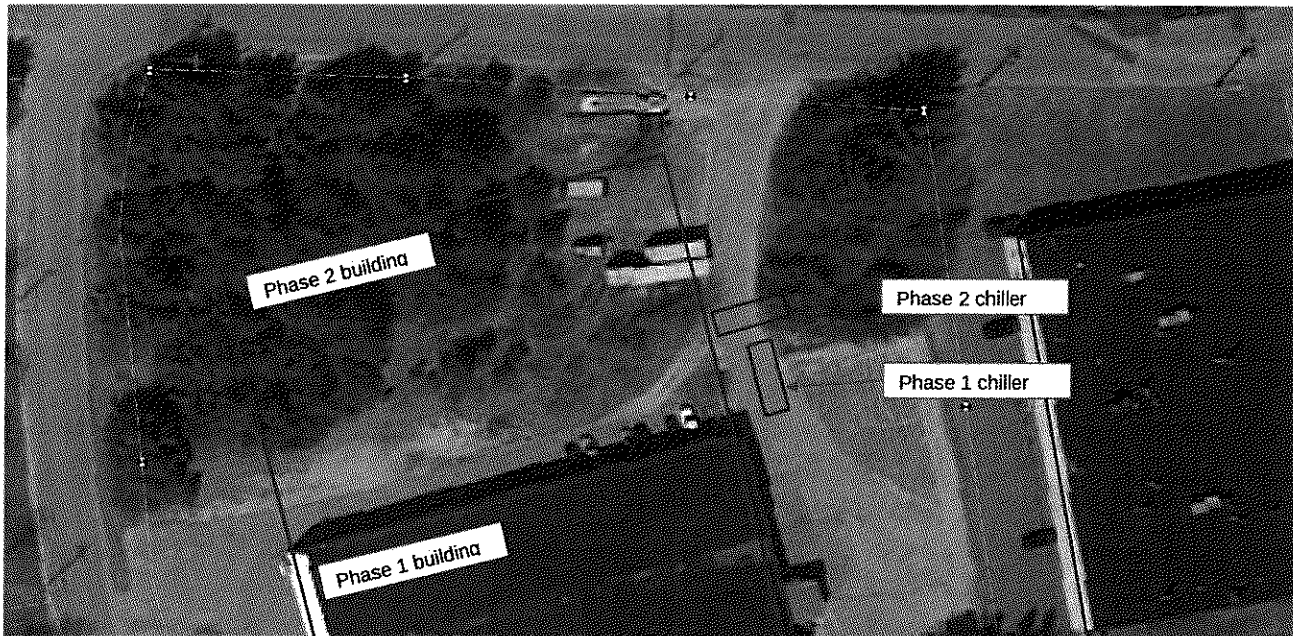


FIGURE 1. Facility layout in computer model (see project mechanical drawings for source locations)

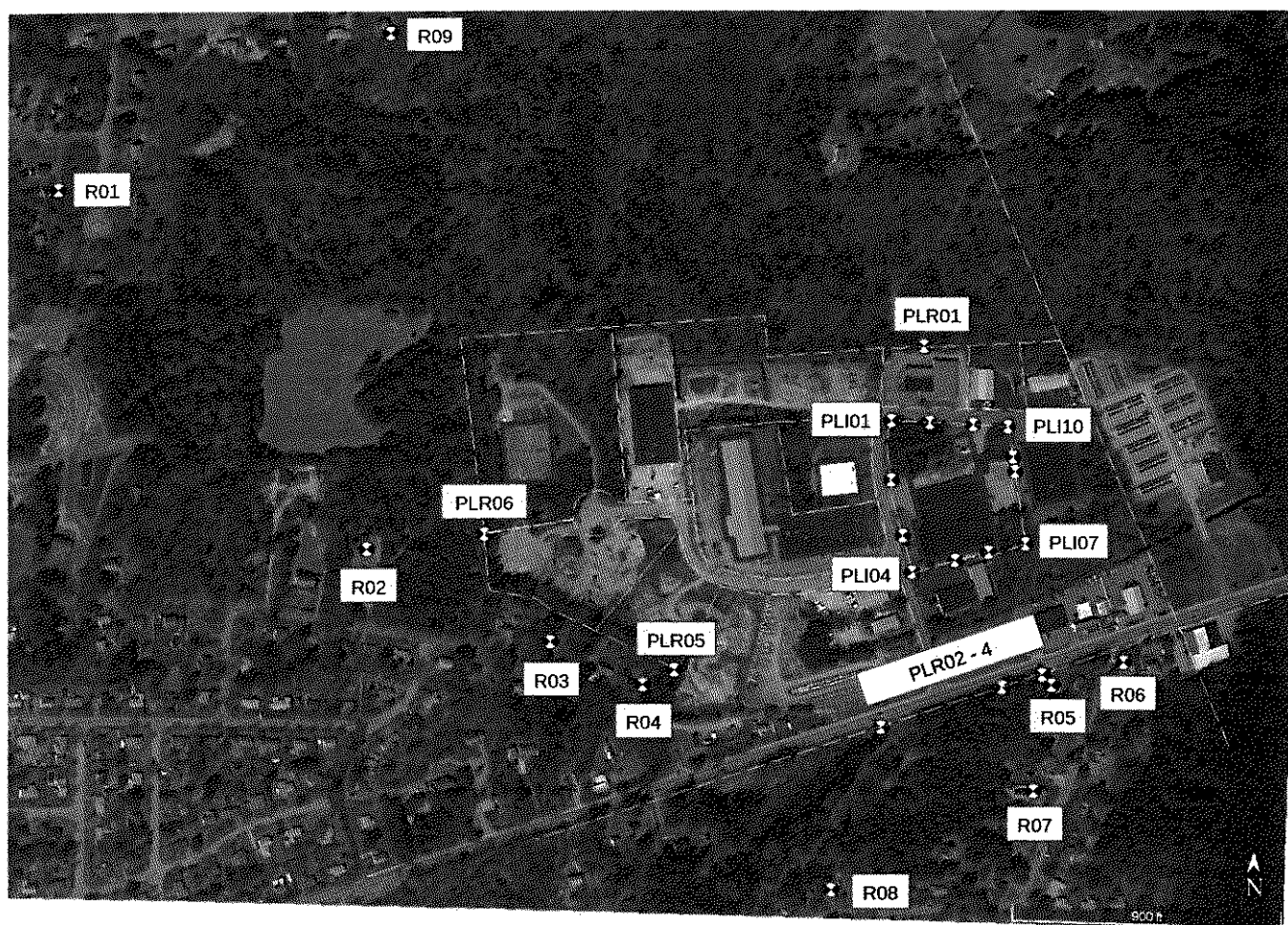


FIGURE 2. Computer model receptor points at residences (R01 – R09), at facility property lines (PLI01 – PLI12), and at residential property lines (PLR01 – PLR06)



FIGURE 3. Estimated Phase 2 community sound levels, noise controls for 65 dBA facility property line limit

APPENDIX A

MODEL INPUTS AND RESULTS

TABLE II. Equipment sound power levels used in computer modeling

Description	Sound power level (dB re: 1pW)								dBA
	63	125	250	500	1000	2000	4000	8000	
Octave-band center frequency (Hz)									
Evapco 2-cell ATWB 24-7020, 3400 gpm	102	98	91	87	86	83	81	82	92
Evapco 2-cell ATWC 12-3M36-Z, 2200 gpm	98	94	88	85	85	83	81	82	90

TABLE III. Estimated nighttime octave-band sound levels with mitigation for 65 dBA goal (dB re: 20 µPa)

Receptor	63	125	250	500	1000	2000	4000	8000	dBA
Residence NW, R01	24	19	9	4	1	0	0	0	8
Residence W, R02	26	21	12	7	5	0	0	0	11
Residence W, R03	25	19	10	6	12	8	0	0	15
Residence W, R04	28	22	13	12	16	12	0	0	19
Residence S, R05	41	38	33	32	31	29	22	4	36
Residence S, R06	42	39	32	32	30	28	21	2	35
Residence S, R07	38	35	29	27	25	22	13	0	30
Residence S, R08	25	19	10	7	5	1	0	0	11
Residence N, R09	28	21	11	7	3	0	0	0	11
Industrial PL 1, PLI01	41	34	24	21	20	18	14	7	26
Industrial PL 2, PLI02	37	31	22	21	20	18	15	8	25
Industrial PL 3, PLI03	37	31	22	21	22	19	14	5	26
Industrial PL 4, PLI04	36	31	22	19	19	16	11	1	24
Industrial PL 5, PLI05	39	34	25	22	20	18	14	6	26
Industrial PL 6, PLI06	43	38	29	25	25	23	19	11	30
Industrial PL 7, PLI07	50	47	40	40	39	38	34	28	45
Industrial PL 8, PLI08	59	56	50	49	48	46	44	43	54
Industrial PL 9, PLI09	60	57	51	50	49	48	46	44	55
Industrial PL 10, PLI10	61	57	50	49	49	48	46	43	55
Industrial PL 11, PLI11	64	60	53	52	52	51	49	47	58
Industrial PL 12, PLI12	46	39	29	26	25	23	20	15	31
Residential PL N, PLR1	49	45	37	36	36	35	31	21	41
Residential PL S, PLR2	42	39	33	32	31	30	24	6	36
Residential PL S, PLR3	40	37	30	27	25	22	16	0	31
Residential PL S, PLR4	34	30	22	19	17	21	12	0	25
Residential PL W, PLR5	29	23	14	13	17	13	2	0	20
Residential PL W, PLR6	28	23	13	9	7	3	0	0	13



Company Background

BLW Engineers, Inc.

311 Great Road
P.O. Box 1551
Littleton, MA 01460

Tel: 978.486.4301
Fax: 978.486.0067

Year Established: 1999

Year Incorporated: 1999

Years in Business: 22

OFFICERS OF THE FIRM

Kenneth R. Beck, P.E., LEED AP, MCPPO, CPHC, Principal	978.486.4301 x 13
William J. Scanlon, P.E., Principal	978.486.4301 x 14
John C. Pierga, P.E., Principal	978.486.4301 x 15
Michael J. Denommee, P.E., LEED AP, Principal	978.486.4301 x 83
Erik Gath, P.E., Associate Principal	978.486.4301 x 72
Daki Koutouvides, P.E., Associate Principal	978.486.4301 x 94

SIZE OF FIRM

MECHANICAL ENGINEERS: 29 ELECTRICAL ENGINEERS: 14 CAD DESIGNERS: 4 OFFICE PERSONNEL: 4

PERSONNEL

Principals/Owners	Kenneth R. Beck, P.E., LEED AP, MCPPO, CPHC, Principal William J. Scanlon, P.E., Principal John C. Pierga, P.E., Principal Michael J. Denommee, P.E., LEED AP, Principal Erik Gath, P.E., Associate Principal Daki Koutouvides, P.E., Associate Principal
Mechanical	Kenneth R. Beck, P.E., LEED AP, MCPPO, CPHC, Principal William J. Scanlon, P.E., Principal Erik Gath, P.E., Associate Principal Vincent Salemi, Engineer Wayne Forte, CAD Designer David Scibilia, Engineer Daniel Crory, Engineer John Pugh, P.E., Engineer Rebekah Drehman, Engineer Jeffrey Fleishman, Engineer Brian Bourgeois, CPHC, Engineer Belinda Vuto, CPHC, Engineer Christopher Wilk, Engineer Alec Nicotra, Engineer Nick Kapuscinski, Engineer John Benham, Engineer Dylan Thombs, Engineer Yovanny Duran, Engineer



Company Background

Plumbing/Fire Protection

Michael J. Denommee, P.E., LEED AP, Principal
David Catanzaro, Senior Engineer
Christopher Gada, Engineer
Cedric Mukania, Engineer
Leo Enrico, Engineer
Keith Young, Engineer
Tyler Allen, Engineer
Joshua A. Ritchie, Engineer
Justin Keene, Engineer
Dustin White, Engineer
Paul Danyliw, Engineer
Nicholas Foley, Engineer

Electrical

John C. Pierga, P.E., Principal
Daki Koutouvides, P.E., Associate Principal
Michael Gagne, Senior Engineer
Scott Daigneault, Engineer
Chadwick Nelson, Revit Designer
Joseph Saint Germain, Engineer
Mark Brodeur, Engineer
David Fitzgerald, Senior Engineer
Shane Wiebe, Designer
Juandiego Gonzalez, Engineer
Joshua Pierga, Designer
Jeremy Careau, P.E., Senior Engineer
Kevin Vanderhoof, Engineer
Chuck Mace, P.E., Senior Engineer
Jeffrey Martin, Engineer
Ethan Rong, Engineer
Jorge A. Elias, Engineer

Administration

Donna Hagens, Operations/Accounting
Maria Fini, Administrative Assistant
Beth Grande, Administrative Assistant
Lauren Opie, Administrative Assistant

OUR ENGINEERING SERVICES

- Feasibility Studies
- Analysis for Existing Facilities
- Energy Conservation/Green Build
- Engineered Designs:
 - Heating, Ventilating and Air Conditioning
 - Mechanical
 - Plumbing
 - Fire Protection
 - Electrical
 - Life Safety
 - Telecommunications
 - Security
 - Fire Alarm
- Construction Administration
- Project Management

BLW ENGINEERS, INC.

311 Great Road, Post Office Box 1551, Littleton, MA 01460

CONSULTANTS

T: 978.486.4301 F: 978.428.0067



Company Background

HISTORY AND EXPERIENCE

BLW Engineers is a consulting engineering firm providing design related services for HVAC, Plumbing, Fire Protection and Electrical building systems. Our services include feasibility studies, energy conservation evaluations, and engineered designs; cost estimating, construction administration and project management.

BLW Engineers, Inc. was founded in 1999 and has 51 employees, including electrical, mechanical, plumbing and fire protection engineers. BLW has extensive experience working within corporate environments and understands the special needs and time frames involved when working within occupied facilities. Our project managers are registered professional engineers that work on each project to ensure a complete and fully operable system will be provided.

Principals Kenneth R. Beck, William J. Scanlon, John C. Pierga and Michael J. Denommee have experience in the design of building systems for various size and types of projects. In addition, the firm is thoroughly experienced with the preparation of bidding documents for public bidding laws, including M.G.L. c.149 and c.30.

Kenneth R. Beck, Principal, William J. Scanlon, Principal and Erik Gath, Associate Principal are mechanical engineers and project managers for several multi-disciplined projects. Responsibilities include mechanical design, quality control, construction administration, client relations and personnel management.

John C. Pierga, Principal and Daki S. Koutouvides, Associate Principal are electrical engineers and project managers responsible for electrical engineering design, project coordination, construction administration and supervision and training of junior personnel.

Michael J. Denommee, Principal is a plumbing and fire protection engineer and project manager for several multi-disciplined projects. Responsibilities include plumbing and fire protection design, quality control, construction administration, client relations and personnel management.

Our Mechanical Engineering staff has extensive experience in the mechanical, plumbing and fire protection industry. The staff that will be assigned to this project will consist of a Project Manager, Senior Mechanical Engineer and additional mechanical engineers as needed. The Project Manager, Kenneth Beck is a Principal of the company with over 30 years of experience, is a Registered Professional Engineer in Massachusetts, LEED Certified for green build projects and is a Certified Passive House Consultant. Ken will oversee design and will be involved through construction right up to the final inspection.

Our Electrical Engineering staff has extensive experience in the electrical lighting and power industry and is up to date on all the latest standards, codes and guidelines for the Electrical Industry. The staff that will be assigned to this project will consist of a Senior Electrical Engineer and additional electrical engineers as needed. John Pierga, a Principal of the company and a Registered Professional Engineer in Massachusetts with over 30 years of experience will oversee the electrical design through construction right up to the final inspection.

BLW is dedicated to providing engineering services of the highest quality, innovative solutions and attention to detail for large projects to the most intricate design plans. Our firm realizes the importance of providing complete and coordinated designs that focus on the particular project requirements in a professional setting with complete client satisfaction; our reputation depends on it.

PHYTOTHERAPY MEDWAY, MA

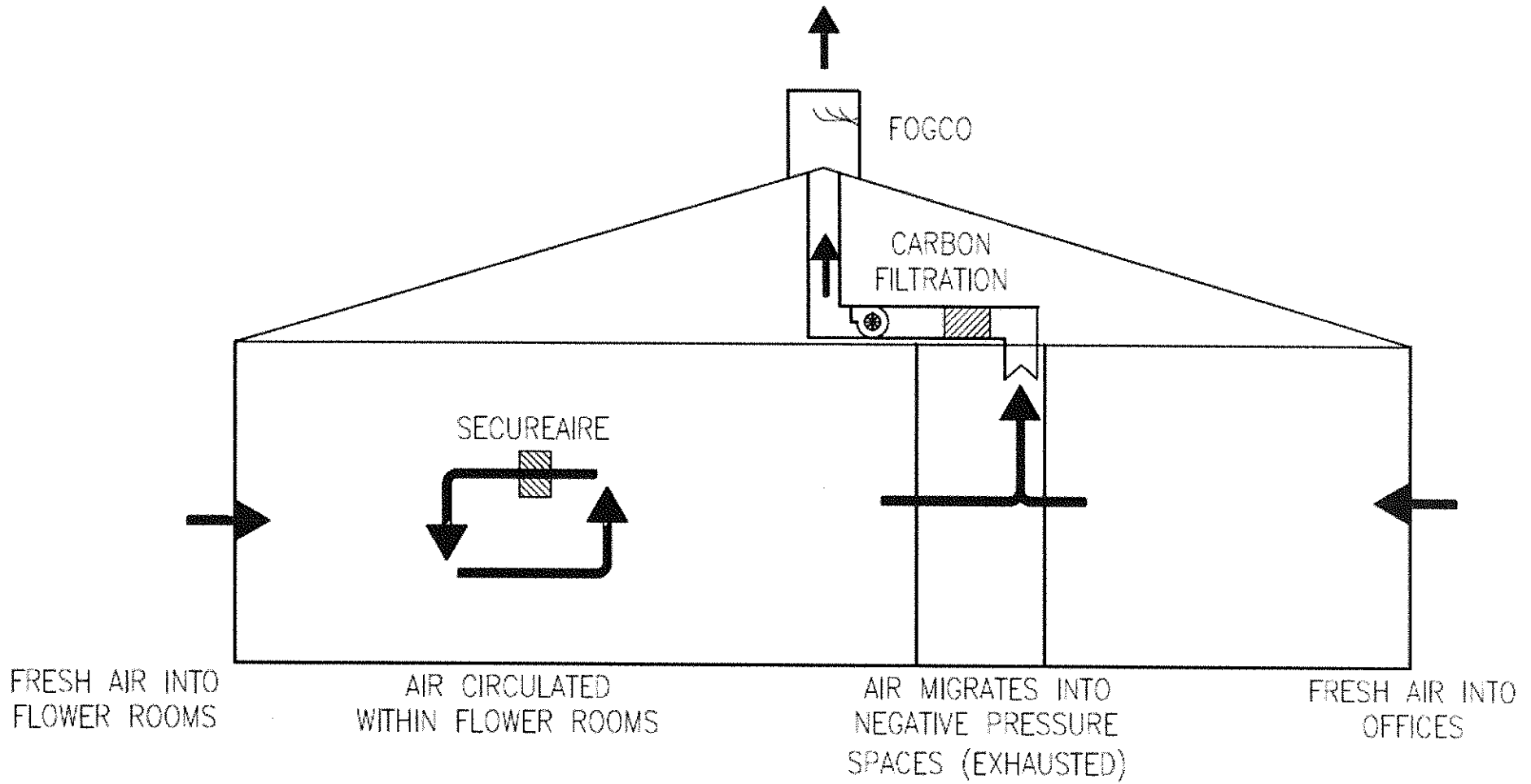
Odor Control Approach

OVERVIEW

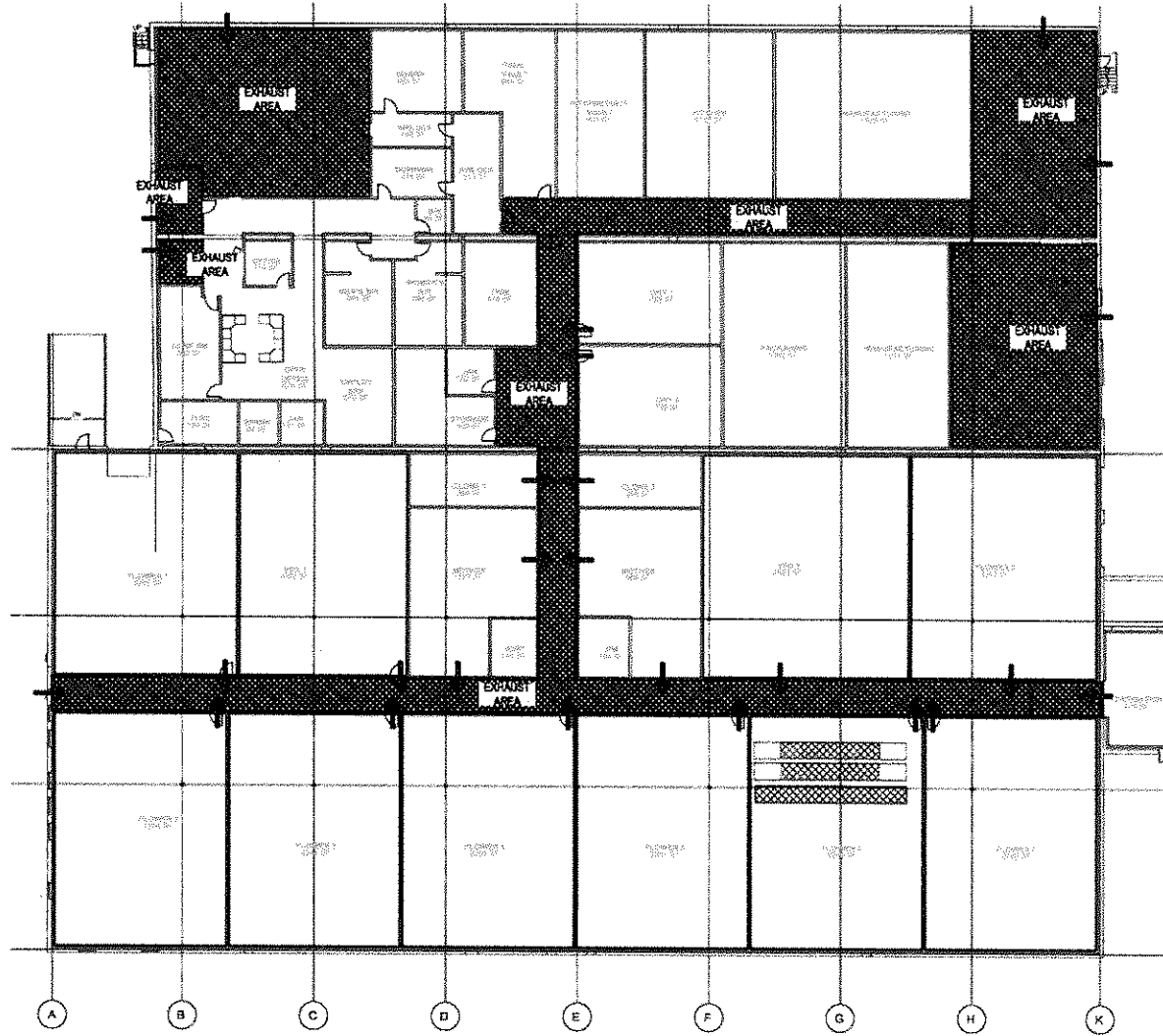
MULTI-FACETED APPROACH TO ODOR CONTROL

1. BUILDING PRESSURE
2. SECURE AIR FILTRATION INSIDE OF BUILDING
3. CHARCOAL FILTRATION
4. FOGCO ODOR NEUTRALIZATION ON EXHAUST AIR

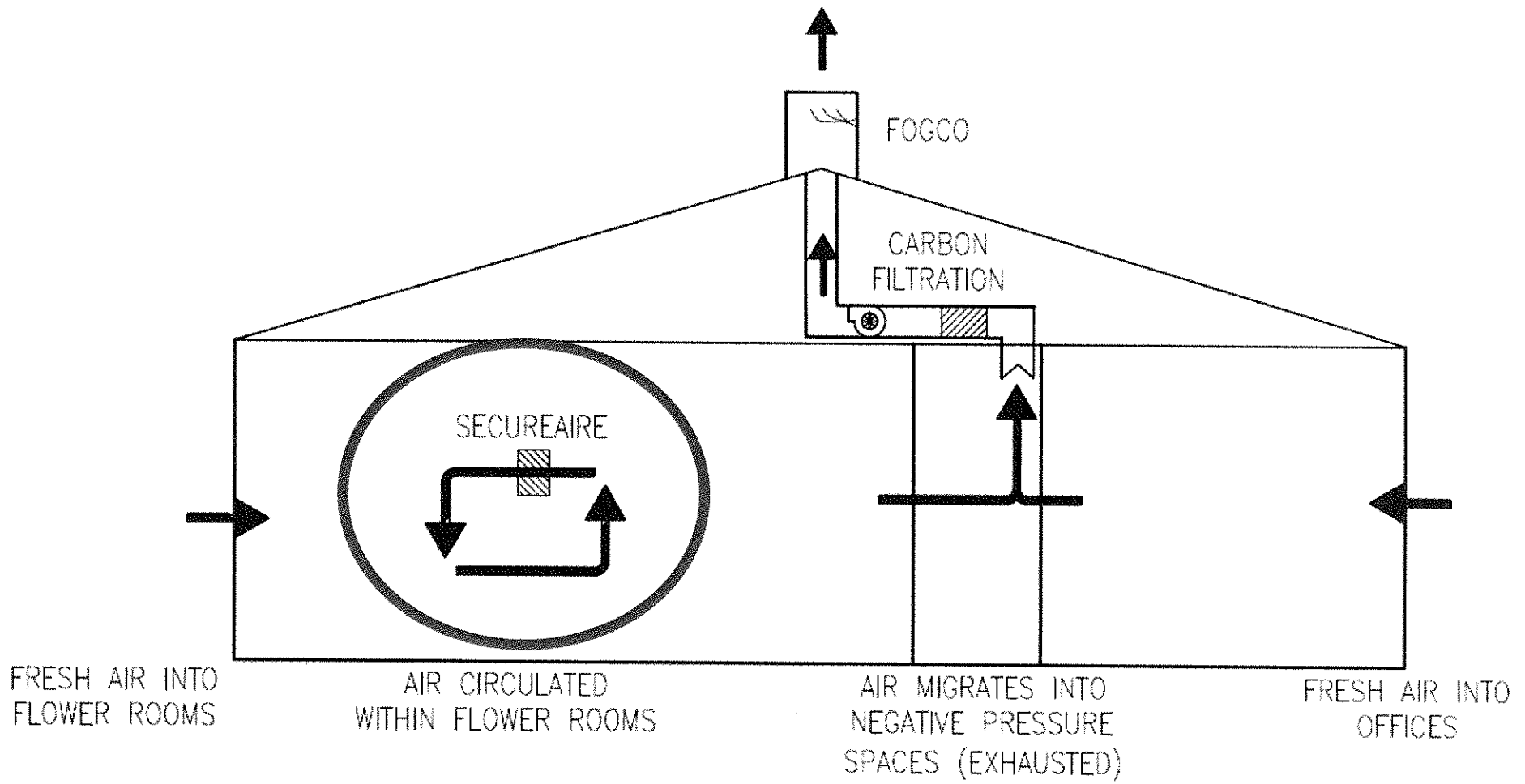
MULTI FACETED APPROACH



I. BUILDING PRESSURE



2. SECUREAIRE

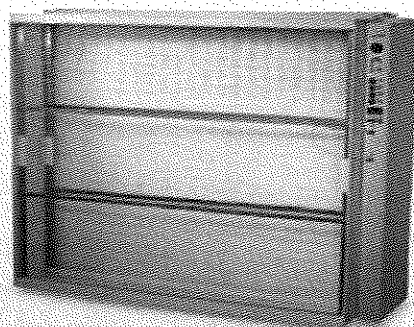


2. SECUREAIRE

- * This system is being used at Non-Disclosed Facilities in CA and CO and is currently being designed into the MA market.
- * This is a proven Hospital technology that is being implemented into Cannabis Grow Facilities. As previously mentioned, SecureAire recently published a White Paper in the American Journal of Infection Control as written by Mayo Clinic Doctor Mark Erath.
- * This is how it works...



Advanced Collector System ACS



SecureAire has developed the most advanced and optimized Electronically Enhanced Air Purification System in today's marketplace. Prior to today, the market has provided devices that are mostly substandard and only partially deliver the performance and benefits that have been advertised.

SecureAire's Advanced Collector System or ACS utilizes semiconductor airborne contamination reduction technologies to increase the efficiency and effectiveness of SecureAire's proprietary filtration media. The ACS System results in the most advanced Electronically Enhanced Air Purification System while also providing an airborne pathogen inactivation benefit thru our INACTIVATE™ Technology. INACTIVATE reduces organisms ability to grow and provides the necessary voltage strength to oxidize and kill airborne pathogens.

In addition, "the ACS is the only system" that utilizes Particle Control Technology which actually controls the movement of particles in a space. Particle Control Technology provides the ability to treat all airborne challenges (Particles, TVOC's, Smoke, and dissolved gases) the same.

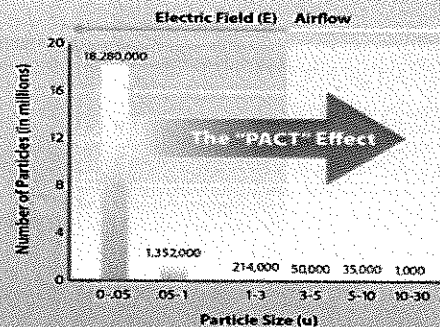
Particle Control Technology is the combination of Electrostatic and Electrodynamic fields, which together combine to make airflow the dominant transport mechanism for airborne particles in any space. It is this combination of Electrical Enhancement that makes SecureAire's ACS System the most advanced system available today.

System Technology

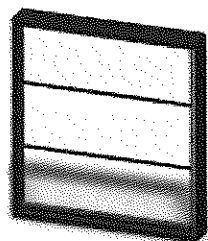
The ACS System is based on three elements the **Particle Conditioning Unit**, the **Collector** and the **Internal Particle Collider**.

As unfiltered air moves through the ACS System, it first passes through the Particle Conditioning Unit (PCU). The PCU emits equal amounts of positive and negative charges at a high voltage and low current to avoid generating ozone. As particles move and pass through this section they will pick up these charges thus becoming conditioned. These conditioned particles are now more influenced by the electric fields, which increases their force of attraction, thus enhancing inelastic collisions between them.

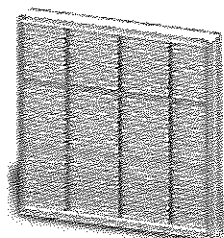
Particle Size Distribution in Air



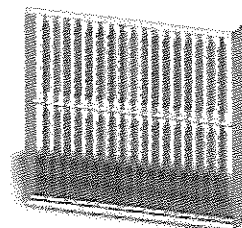
The PCU



The Collector



The Internal Particle Collider



The Collector by virtue of the associated electrical fields is polarized and provides high efficiency filtration up to MERV 15 levels as defined by ASHRAE 52.2. In addition, the constant High Voltage Electrostatic Fields provide the setting for our INACTIVATE Technology which targets any viable airborne pathogen that comes into contact with the system.

Lastly, the Internal Particle Collider uses a pulsed High Voltage Electrodynamics Field to condition any particles that may have escaped the Collector. This section is well

suited for all air flow applications. Both positively and negatively charged articles will pass through the Particle Collider and be forced to have inelastic collisions. These inelastic collisions will occur hundreds of times thus creating larger particles that have a net neutral charge. These particles will then proceed out into the occupied space to further collect other particles, TVOCs, gases, odors, bacteria, viruses, and other viable airborne particles. The ACS is today's most advanced electrically enhanced filtration system.

System Overview

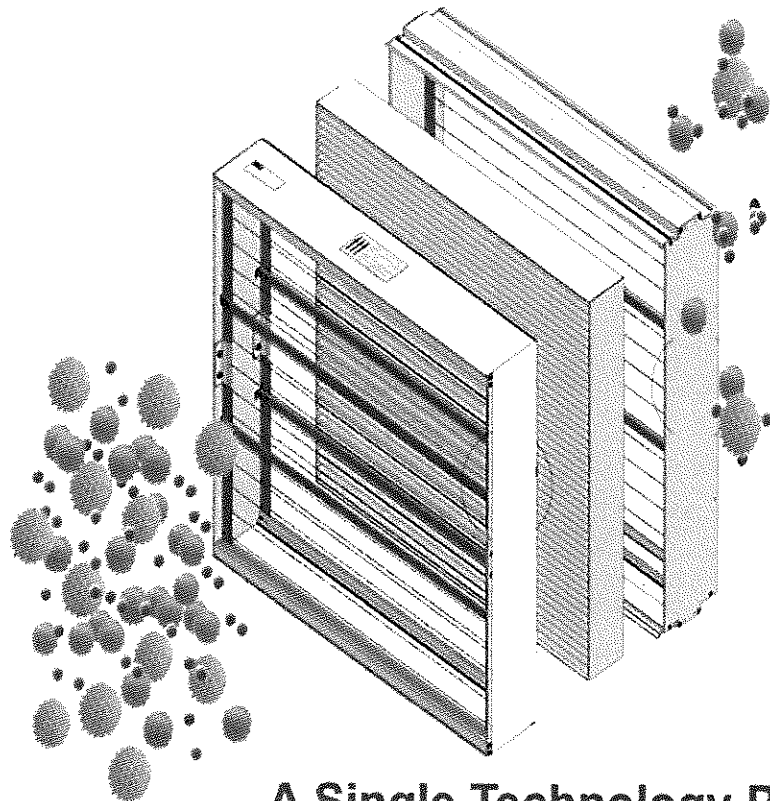
The ACS System consists of the following:

- **The ACS Units** are the basis of the system, which contain the Particle Conditioning Unit, the Collector, and the Internal Particle Collider.
- **The System Control Module (SCM-200)** contains all of the ACS system's embedded electronics including diagnostics, safety circuits and controls. It also provides the diagnostic interface between the ACS System and the building's automation and control systems. The SCM-200 notifies the user of normal operation as well as the need for service.

System Specifications

Standard Filter Sizes:	24" x 24", 24" x 18", 24" x 12", 18" x 24", 12" x 24", and 12" x 12"
Filtration Efficiency Rating:	MERV 15 per ASHRAE 52.2 Standard Test
Power Supply/Power Consumption	5 watts per filter position; 120/240 Single Phase VAC
Clean Pressure Drop	<0.25" WG at 500 fpm
Safety Current Protection	SB 0.5 A/250V fuses
Humidity Range	< 95% Non-Condensing RH
Overall System Depth:	9" in airway length
Racking Requirements	2" U-channel
Blank-offs	As required to prevent air bypass
Safety Interlocks	Turn off system if any AHU door is opened
BAS Integration	SCM easily integrates into a building's automation system

The SecureAire ACTIVE Particle Control Process



- Particles are **“Conditioned”** with Charge
- Charged Particles are forced to **“Collide”**
- Particles Gain Mass and are **“Net Neutral”**
- Particles are more easily **“Captured”**
- Captured Pathogens are Killed By **INACTIVATE™ Technology**
- **“Particles that Escape”** are Conditioned to **“Remove Critical Contaminants”** from the Treated Space

A Single Technology Platform for all Airborne Contaminants!

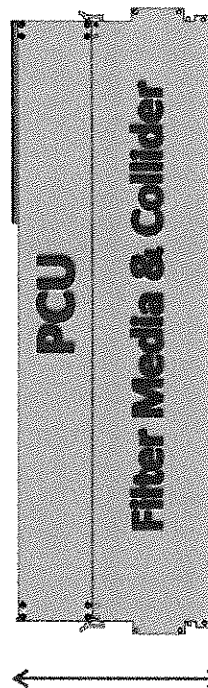
SecureAire

The SecureAire ACS System

Typical Installation



Side View

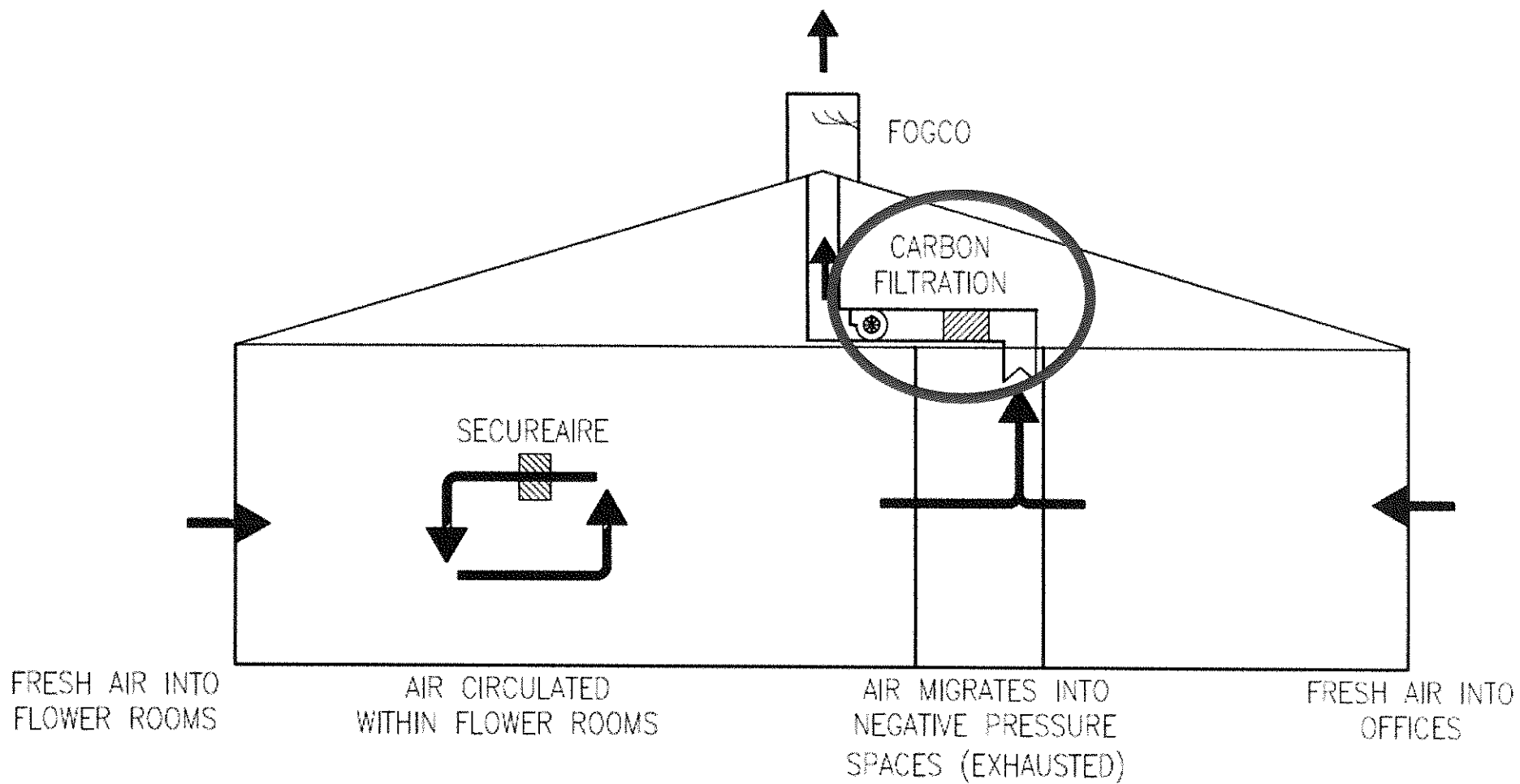


Performance Metrics

- The ACS has a 52.2 Filter Rating of MERV 13 and 15
- ACS INACTIVATE Technology kills up to 99% of captured biological organisms
- The ACS has an initial pressure drop of 0.18 and 0.28 inches W.G.
- Particles that do exit the ACS are conditioned to go out into the occupied space and "clean it"
- Complete System Depth is 9"

SecureAire

3. CARBON FILTRATION



3. CHARCOAL FILTRATION

- Proven technology... Used in various industries to remove VOC/Odor
- This is how it works...
- This system is being used at the Following facilities...
- Here are some big ones in Canada (we have 40+ Systems or more at each one) :
 - Aphria
 - Cannara
 - Cannatech
 - Sundial

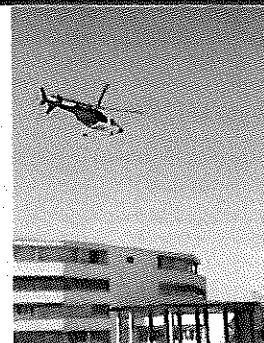
MODERATE DUTY APPLICATIONS



Airport Jet Fumes



Cannabis
Grow/Extraction
Odors



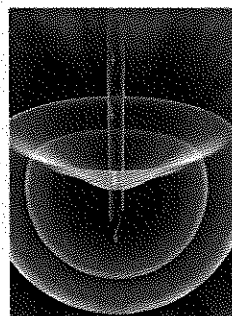
Hospital
Helipad Fumes



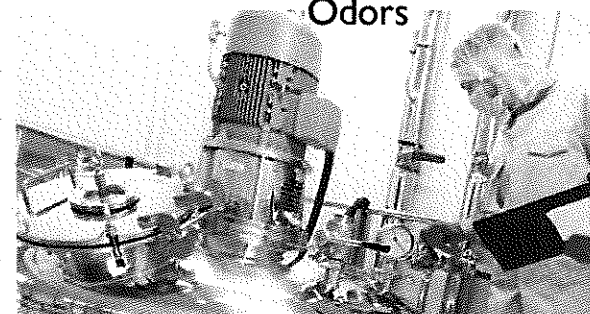
Wastewater
Treatment
Odors



Medical Products Warehouse
Ethylene Oxide Fumes



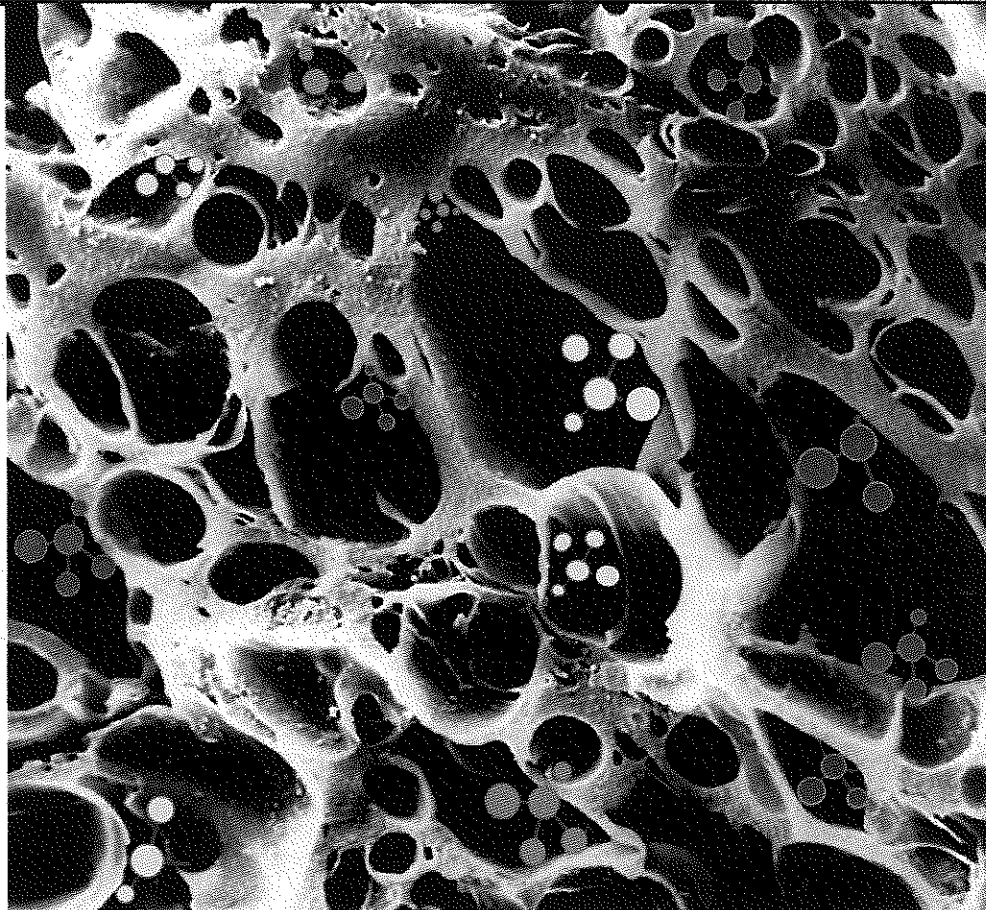
In-Vitro Fertilization
VOCs



Industrial Process Odors &
Fumes

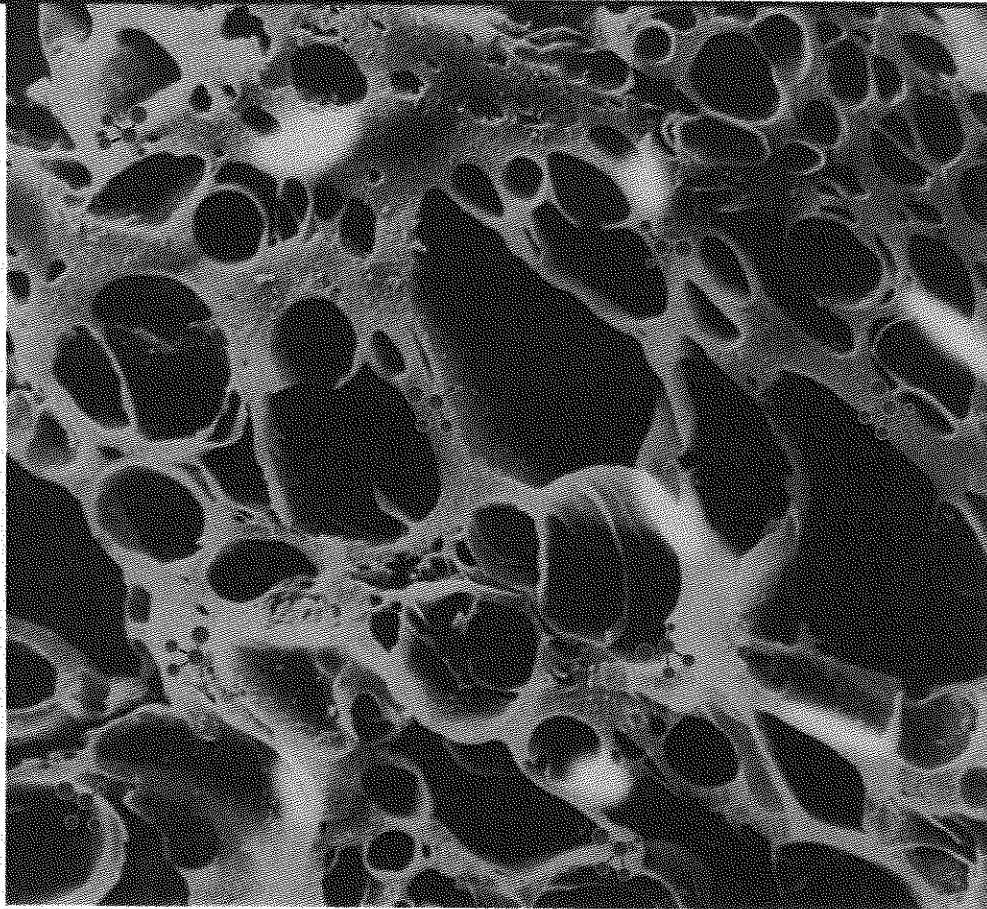
HOW DOES MOLECULAR FILTRATION WORK: PHYSICAL ADSORPTION

- Relatively large and slow molecules travel into the network of pores and stick to the surface through light intermolecular forces (like a spider climbing a wall)
- Examples:
 - beta-myrcene (cannabis), ozone & nitrogen dioxide (traffic and jet fumes)
 - millions of VOCs



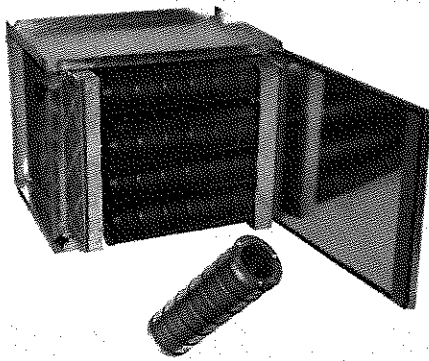
HOW DOES MOLECULAR FILTRATION WORK: CHEMICAL ADSORPTION

- Smaller and faster (aka- more volatile) gas molecules collide with the surface to create an irreversible chemical reaction (often discoloring the filter media)
- Examples:
 - hydrogen sulfide (wastewater)
 - formaldehyde (morgues)
 - chlorine gas (battery plants)

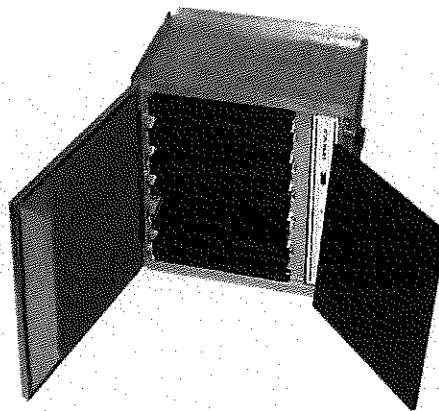


TYPICAL ODOR CONTROL FILTRATION SYSTEMS IN CANNABIS FACILITIES

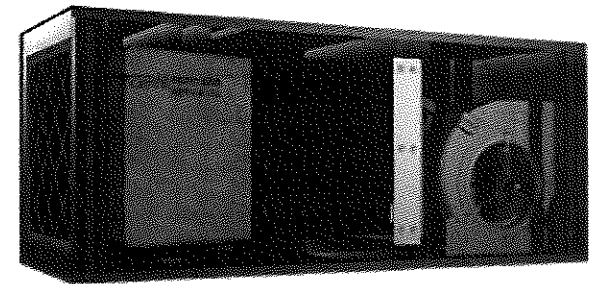
(HUNDREDS OF POUNDS OF ACTIVATED CARBON)



CamCarb CG Cylinders
with activated carbon media
Sized for 250 feet/minute
Excellent removal efficiency
Inherently leak-free
Exhaust or recirculation

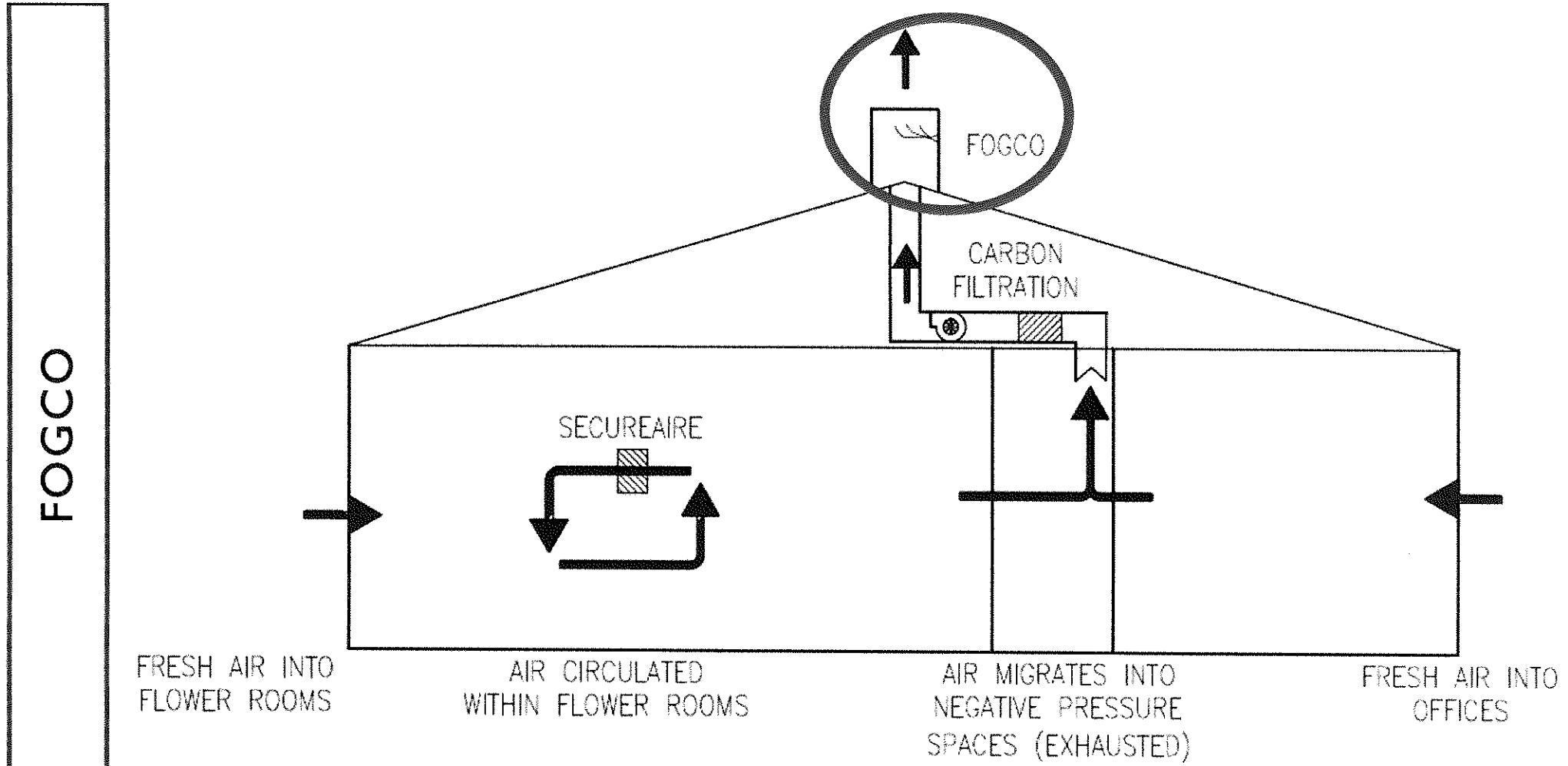


CamCarb PG Panels
With activated carbon media
Sized for 250 feet/minute
Good removal efficiency
Low pressure drop
Exhaust or recirculation



CamCarb PG Panels
4-8 Air Changes/Hour
Modular design
Cylinders in molecular state
Designed for recirculation

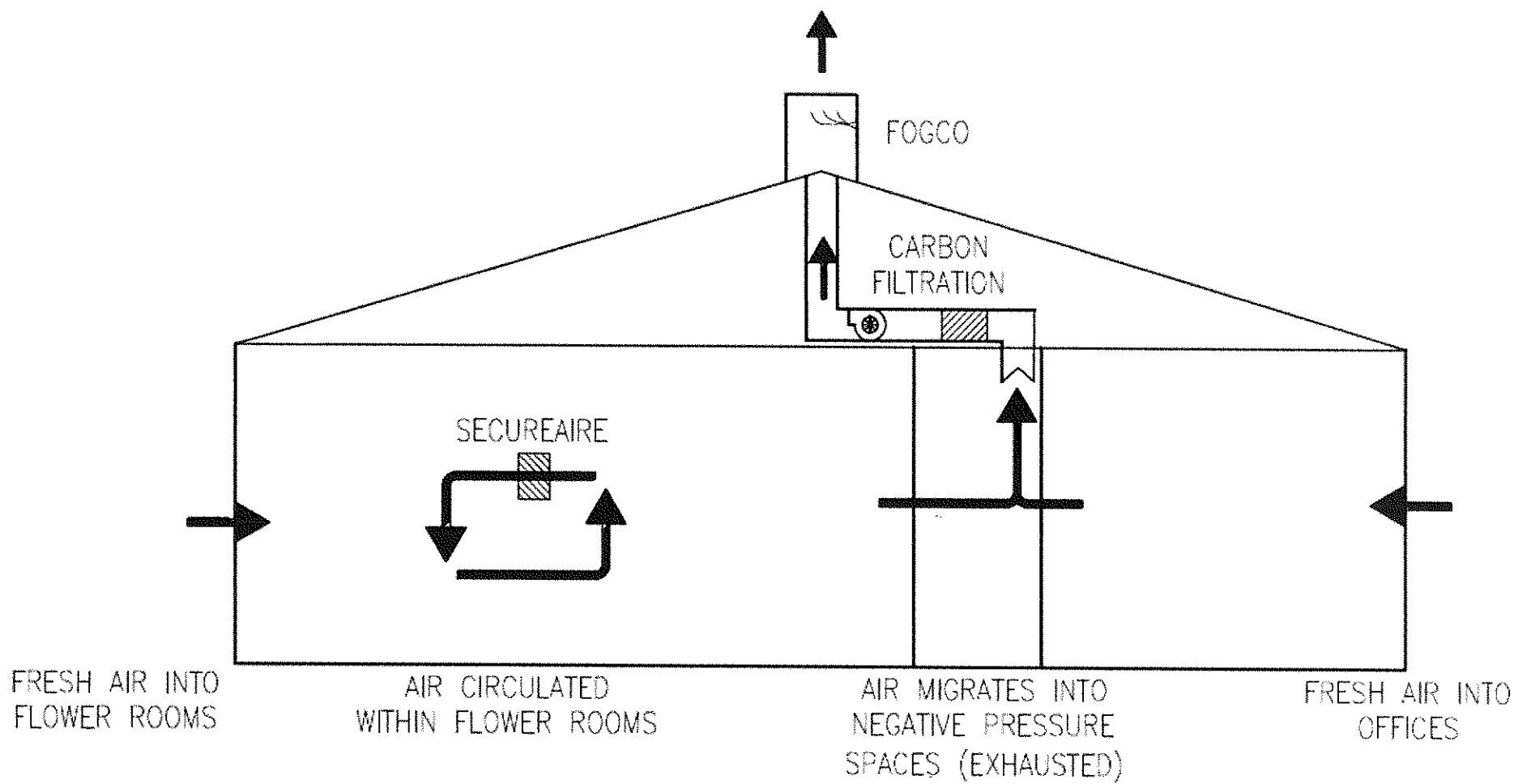
Note: pleated carbon filters cannot handle the concentrations of odors generated in a cannabis facility!



4. FOGCO

- * Fogco has over 20 years of odor mitigation experience in a variety of different industries to include industrial petroleum refining, sewage treatment plants, slaughterhouses and rendering facilities, waste processing and transfer stations, etc. Fogco was the first high pressure fog company to enter the cannabis space to provide odor control.
- * Over 100 active cannabis facilities in the US and Canada with ZERO complaints
 - * Osiris LLC - Glenwood Springs, CO,
 - * Valley Crest Farms - Carpinteria, CA
 - * Flower One - Las Vegas, NV (replaced competitive system due to complaints)
- * Scientific **Subtractive Odor Control™** technology
 - * True neutralizer - not an additive, masking agent or perfume.
 - * How it works - Selected essential oils introduced via high pressure fog mix with airborne malodors resulting in a series of reactions to include antagonistic pairing, absorption and adsorption, and pluralistic effects modifying the chemical shape/structure of the odor molecule which in turn, neutralizes and eliminates the malodor.
 - * Independently tested and proven by a third-party laboratory certified in ASTM International, CEN (European), and ISO method practices.

MULTI FACETED APPROACH



DATE: May 12, 2021

TO: Alexander Athanas
Phytotherapy, Inc.
25 Newbury Street
Peabody, MA 01960

FROM: Robert J. Michaud, P.E. – Managing Principal
Daniel A. Dumais, P.E. – Senior Project Manager



RE: Parking Evaluation – Proposed Marijuana Cultivation Facility
6 Industrial Park Road, Medway, MA

MDM Transportation Consultants, Inc. (MDM) has prepared this parking evaluation for the proposed Marijuana Cultivation Facility to be located at 6 Industrial park Road in Medway, Massachusetts. The location of the site relative to adjacent roadways is shown in **Figure 1**. This memorandum provides a basis for local permitting purposes that quantifies anticipated parking needs based on proposed employment levels, empirical data for other cultivation facilities and parking generation characteristics for industrial uses with characteristics that are aligned with the proposed use as published by the Institute of Transportation Engineers (ITE).

Key findings of the parking evaluation are as follows:

- *Projected Parking Demands, Empirical Basis:* The empirical employment levels anticipated by the Proponent for the proposed Marijuana Cultivation facility include up to 87 total employees operating over two shifts, with a primary (daytime) shift peak of fewer than 75 employees. Assuming partial overlap of arriving and departing employees the peak parking demand would be no more than 87 vehicles, providing a reserve of at least 5 spaces for visitors. Visitor spaces will be located proximate to the building to facilitate these higher turnover trips.
- *Projected Parking Demands, ITE Basis:* The Institute of Transportation Engineers (ITE) *Parking Generation* 5th Edition provides parking rates for various industrial land use categories that are aligned with the proposed use and that provides a reasonable basis for estimating parking demands based on employment levels. Relevant land use categories include Land Use Code (LUC) 110 General Light Industrial and LUC 140 Manufacturing. Based on these land use categories the project at 87 employees would result in a peak parking demands ranging from 54 to 80 spaces inclusive of visitor activity. Accordingly, the proposed 92 parking space supply is expected to reasonably accommodate peak parking demands of the proposed cultivation facility.

- *Projected Parking Demands, Freetown Facility:* MDM was involved in permitting of a 880,000± sf cultivation facility in Freetown, MA with up to 300 total employees. This facility, while larger in size than the proposed Medway facility, provides a relevant reference point for proposed parking ratios based on proposed employment levels. The Freetown facility is permitted to include a parking supply of 315 spaces representing a parking supply ratio of 1.05 spaces per employee. Application of the Freetown parking ratio of 1.05 spaces per employee to the 87 employees cap for the Medway facility results in a parking supply of 92 spaces which is equivalent to the proposed parking supply for the Site.
- *Projected Parking Demands, Zoning Basis:* The Applicant proposes a parking supply based on building area and application of local zoning requirements 1 space per 1,000SF to the existing building (at 53,128 SF) and the first floor of the proposed addition (at 33,119 SF) totaling 86,247 SF. As the proposed building expansion beyond this area represents space primarily for growing product supported by the total anticipated 87 employee at buildout, additional parking for the expansion area is not required. The resulting parking supply of 92 spaces represents 87 required spaces under zoning on this basis plus 5 additional spaces available for visitors. This parking supply is consistent with the empirical and industry-standard parking demand projections cited above.

In summary, based on a review of proposed employment levels and programming for the facility, parking demand rates for relevant industrial uses published by ITE and prior permitted parking ratios for a similar cultivation facility in Freetown Massachusetts the 92-space parking supply for the proposed Marijuana Cultivation facility will in the opinion of MDM reasonably accommodate the peak parking demands for the use assuming a maximum employment level of 87 employees over two shifts at full buildout.

Existing and Proposed Site Programming

The Site includes an existing 53,128± square foot (sf) industrial building located on an approximate 4.2-acre tract of land within the Medway Industrial Park. The Site currently includes 6 marked parking spaces and undefined paved parking areas with access/egress provided via two (2) curb cuts along Industrial Park Road and one (1) curb cut along Jayar Road.

The proposed project under Phase I entails the conversion of the 53,128± sf of floor area occupied by a manufacturing company (General Display, Inc.) to a proposed Marijuana Cultivation facility with up to 53 employees. Phase II of the project assumes up to 66,238± sf of additional floor area within a 33,119± sf footprint addition for a total of 119,366± sf of Marijuana Cultivation use. Under Phase II the employment levels would result in up to 87 total employees operating over two shifts. As the proposed building expansion beyond this area represents space primarily for growing product supported by the total anticipated 87 employee at

buildout, additional parking for the expansion area is not required. Access/egress would be provided via two (2) driveways along Industrial Park Road and two (2) driveways along Jayar Road with 92 marked parking spaces. For reference purposes, the existing store layout as provided by Williams & Sparages is shown in **Figure 2**.

Estimated Peak Parking Demand – ITE Basis

This section provides estimated peak parking demand characteristics for the site based on industry standard parking rates and empirical parking rates for comparison to proposed parking developed per zoning by-law requirements described above.

Estimated Peak Parking Demand – ITE Based Methodology

The Institute of Transportation Engineers (ITE)¹ has documented peak parking demand characteristics for industrial uses in *Parking Generation* for Land Use Code (LUC) 140 Manufacturing and LUC 110 – General Light Industrial. For planning purposes, the following land uses as defined by ITE reasonably reflects the nature of likely programming at site and are defined as follows:

Manufacturing (LUC 140): “A manufacturing facility is an area where the primary activity is the conversion of raw materials or parts into finished products. Size and type of activity may vary substantially from one facility to another. In addition to the actual production of goods, manufacturing facilities generally also have office, warehouse, research, and associated functions. General light industrial (Land Use 110) and industrial park (Land Use 130) are related uses.”

General Light Industrial (LUC 110): “A light industrial facility is a free-standing facility devoted to a single use. The facility has an emphasis on activities other than manufacturing and typically has minimal office space. Typical light industrial activities include printing, material testing, and assembly of data processing equipment. Industrial park (Land Use 130) and manufacturing (Land Use 140) are related uses.”

The peak parking demand for space based on industry standard methodology is summarized in **Table 1** assuming the two closest land use categories (LUC 140 and LUC 110) based on total employment levels at full buildout of the project (87 employees). For reference, the ITE parking data is provided in the **Attachments**.

¹ *Parking Generation, 5th Edition*, Institute of Transportation Engineers, Washington, D.C. (2019)

TABLE 1
PROJECTED PEAK PARKING DEMAND – ITE BASIS

Land Use	Size (Employees)	Peak Parking Rate (Vehicles per Employee)		Peak Parking Demand (Vehicles Parked)	
		Average	95% Confidence	Average	95% Confidence
General Light Industrial ¹					
Phase I	53	0.55	0.62	30	33
<u>Phase II</u>	<u>34</u>	<u>0.55</u>	<u>0.62</u>	<u>19</u>	<u>22</u>
Total	87	0.55	0.62	48	54
Manufacturing ²					
Phase I	53	0.81	0.91	43	49
<u>Phase II</u>	<u>34</u>	<u>0.81</u>	<u>0.91</u>	<u>28</u>	<u>31</u>
Total	87	0.81	0.91	71	80

¹Based on peak parking rates using ITE LUC 110 General Light Industrial applied to employment levels.

²Based on peak parking rates using ITE LUC 140 Manufacturing applied to employment levels.

As summarized in **Table 1**,

- *General Light Industrial.* Based on ITE methodology as general light industrial, the use would generate a peak parking demand of 48 to 54 spaces under full build-out and occupancy by 87 employees.
- *Manufacturing.* Based on ITE methodology as manufacturing, the use would generate a peak parking demand of 71 to 80 spaces under the full build-out and occupancy by 87 employees.

In summary, based on relevant ITE land use categories the project's 92 parking space supply will provide ample parking to accommodate the peak parking demands at the upper limits of the employment at 87 total employees.

Summary & Conclusions

In summary, based on a review of proposed employment levels and programming for the facility, parking demand rates for relevant industrial uses published by ITE and prior permitted parking ratios for a similar cultivation facility in Freetown Massachusetts the 92-space parking supply for the proposed Marijuana Cultivation facility will in the opinion of MDM reasonably accommodate the peak parking demands for the use assuming a maximum employment level of 87 employees over two shifts at full buildout.

Attachments

- ITE Parking Data
 - LUC 110 (General Light Industrial)
 - LUC 140 (Manufacturing)

Land Use: 110 General Light Industrial

Description

A light industrial facility is a free-standing facility devoted to a single use. The facility has an emphasis on activities other than manufacturing and typically has minimal office space. Typical light industrial activities include printing, material testing, and assembly of data processing equipment. Industrial park (Land Use 130) and manufacturing (Land Use 140) are related uses.

Time of Day Distribution for Parking Demand

The following table presents a time-of-day distribution of parking demand on a weekday at 29 general urban/suburban study sites.

Hour Beginning	Percent of Weekday Peak Parking Demand
12:00–4:00 a.m.	0
5:00 a.m.	2
6:00 a.m.	15
7:00 a.m.	41
8:00 a.m.	83
9:00 a.m.	100
10:00 a.m.	99
11:00 a.m.	98
12:00 p.m.	94
1:00 p.m.	90
2:00 p.m.	94
3:00 p.m.	88
4:00 p.m.	68
5:00 p.m.	49
6:00 p.m.	9
7:00 p.m.	3
8:00 p.m.	3
9:00 p.m.	3
10:00 p.m.	0
11:00 p.m.	0

Additional Data

The number of employees for this land use was the total number of employees working on all shifts. Facilities with employees that work on shifts may peak at different hours. It is unclear from the data collected for this land use whether the parking demand counts occurred during, prior to, or after shift changes at the study sites.

The average parking supply ratio for the nine study sites with parking supply information is 1.2 spaces per 1,000 square feet GFA.

The sites were surveyed in the 1980s, the 1990s, and the 2010s in California, Illinois, Oklahoma, Texas, and Washington.

Source Numbers

149, 151, 201, 235, 261, 560, 561

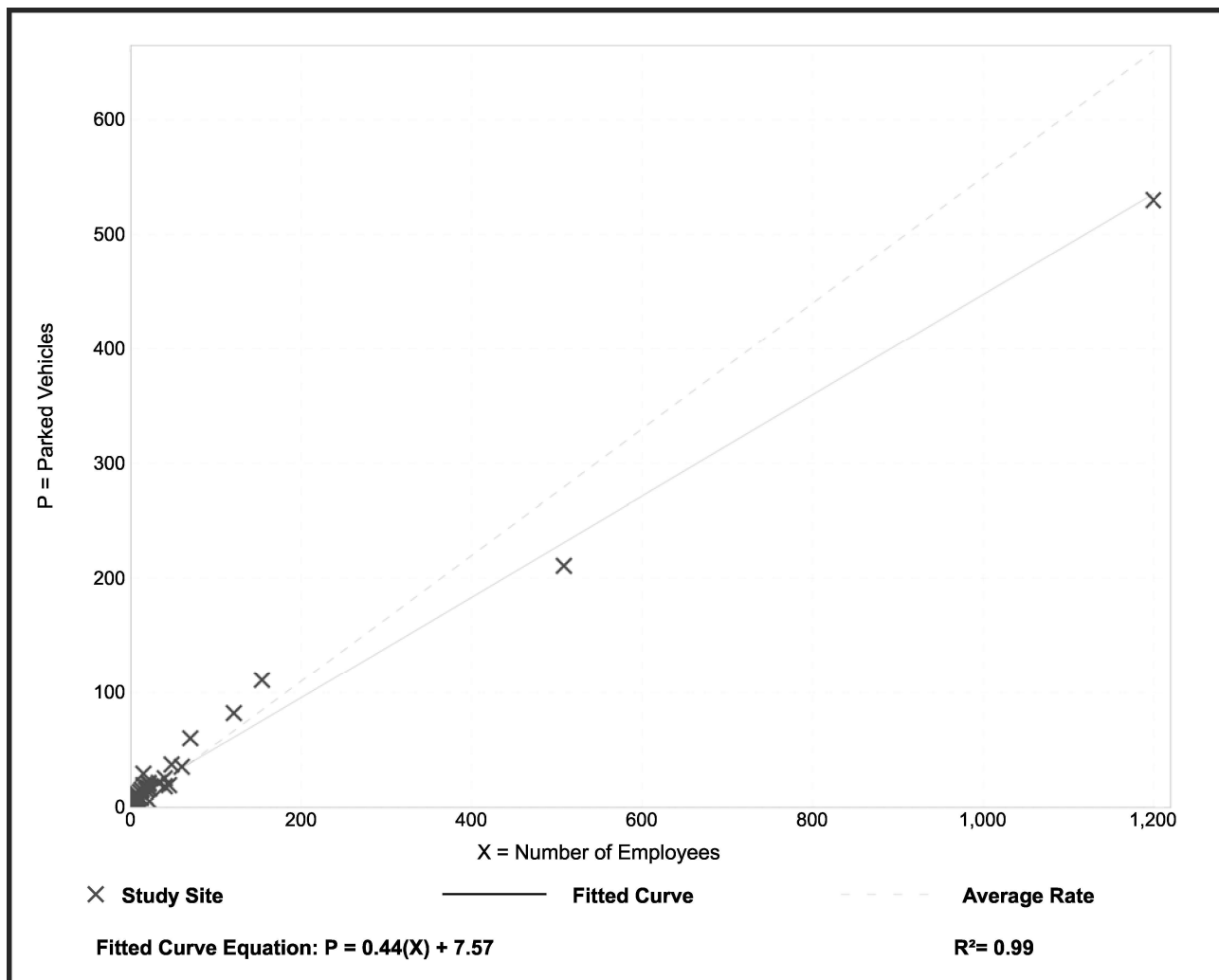
General Light Industrial (110)

Peak Period Parking Demand vs: Employees
 On a: Weekday (Monday - Friday)
 Setting/Location: General Urban/Suburban
 Peak Period of Parking Demand: 9:00 a.m. - 3:00 p.m.
 Number of Studies: 38
 Avg. Num. of Employees: 68

Peak Period Parking Demand per Employee

Average Rate	Range of Rates	33rd / 85th Percentile	95% Confidence Interval	Standard Deviation (Coeff. of Variation)
0.55	0.23 - 3.00	0.68 / 1.39	0.48 - 0.62	0.23 (42%)

Data Plot and Equation



Land Use: 140 Manufacturing

Description

A manufacturing facility is an area where the primary activity is the conversion of raw materials or parts into finished products. Size and type of activity may vary substantially from one facility to another. In addition to the actual production of goods, manufacturing facilities generally also have office, warehouse, research, and associated functions. General light industrial (Land Use 110) and industrial park (Land Use 130) are related uses.

Time of Day Distribution for Parking Demand

The following table presents a time-of-day distribution of parking demand on a weekday at 16 general urban/suburban study sites.

Hour Beginning	Percent of Weekday Peak Parking Demand
12:00–4:00 a.m.	5
5:00 a.m.	5
6:00 a.m.	15
7:00 a.m.	55
8:00 a.m.	76
9:00 a.m.	82
10:00 a.m.	84
11:00 a.m.	85
12:00 p.m.	90
1:00 p.m.	99
2:00 p.m.	100
3:00 p.m.	95
4:00 p.m.	58
5:00 p.m.	36
6:00 p.m.	15
7:00 p.m.	12
8:00 p.m.	11
9:00 p.m.	9
10:00 p.m.	9
11:00 p.m.	8

Additional Data

The average parking supply ratio for the three study sites with parking supply information is 1.4 spaces per 1,000 square feet GFA and 1.4 spaces per employee.

The sites were surveyed in the 1990s and the 2010s in Texas and Washington.

Source Numbers

122, 561

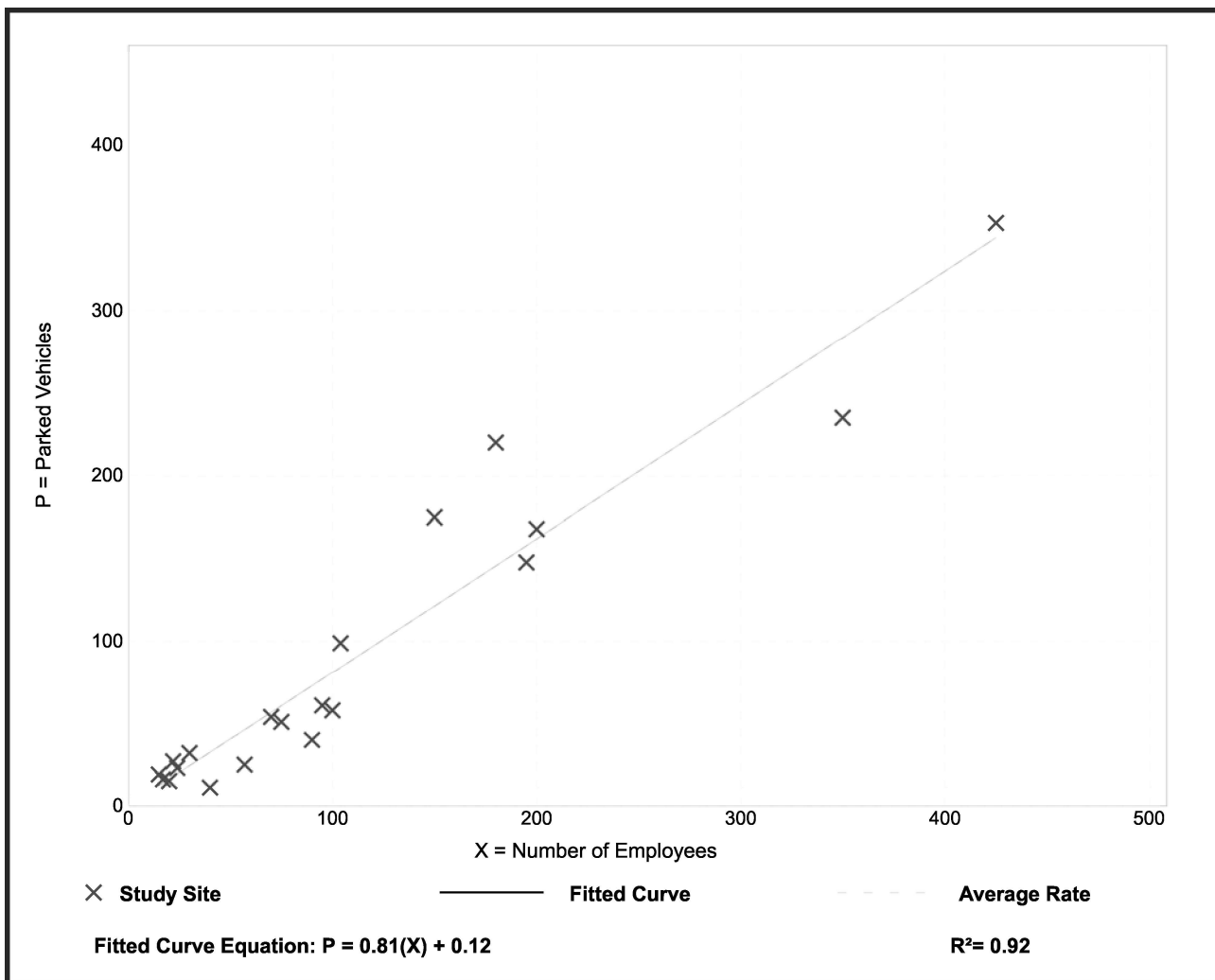
Manufacturing (140)

Peak Period Parking Demand vs: Employees
 On a: Weekday (Monday - Friday)
 Setting/Location: General Urban/Suburban
 Peak Period of Parking Demand: 10:00 a.m. - 3:00 p.m.
 Number of Studies: 20
 Avg. Num. of Employees: 113

Peak Period Parking Demand per Employee

Average Rate	Range of Rates	33rd / 85th Percentile	95% Confidence Interval	Standard Deviation (Coeff. of Variation)
0.81	0.28 - 1.27	0.68 / 1.21	0.71 - 0.91	0.23 (28%)

Data Plot and Equation





May 10, 2021

Susan E. Affleck-Childs
Planning and Economic Development Coordinator
Town of Medway
155 Village Street
Medway, MA 02053

Subject: Medway Flowers, LLC
6 Industrial Park Road
Medway, MA
RTN # 2-20717

Dear Ms. Childs:

This letter is written to present a brief summary and status of the results of the hydrogeologic subsurface and soil gas investigations and remedial efforts performed at 6 Industrial Park Road to date to address contaminants in groundwater and soil gas associated with a release of tetrachloroethene (PCE) from the former General Display business operations at the site. This information is presented chronologically by year.

2018

The "Disposal Site" ("Site") was reported to the MADEP by the property owner General Display, Inc., on November 19, 2018 based on PCE concentrations of 1090 ppb exceeding the RCGW-1 Reportable Concentration of 5 ppb. On December 10, 2018 Release Tracking Number (RTN) 2-20717 was assigned to the Site.

Environmental Investigations consisting of soil borings and observation wells were completed by Coneco Engineers & Scientists (Coneco) from August through September of 2018. The results of this investigation identified the former drum storage room, a small (8'x8' square room) that was added to the rear of the building, as one area where the PCE was released/spilled. The business used the chlorinated solvent Tetrachloroethylene (PCE) in their operations and stored two 55-gallon drums inside the drum storage area.

2019

In July of 2019 Knoll Environmental, Inc. (Knoll) continued site assessment activities consisting of soil borings inside the drum storage room and along the exterior. Based on these results, in August of 2019 a Release Abatement Measure Plan was implemented to remove the drum storage attached building and excavate contaminated soils. The remedial activities have been completed and are documented in a "Release Abatement Measure Completion" report.

Corporate Headquarters

69 Wexford Street
Needham, MA 02494
(781) 449-1566
Fax (781) 343-0730
P. O. Box 460
N. Kingstown, R.I. 02852

In July of 2019 Knoll conducted a background history of the site and located areas inside the building that were suspect release areas. The original building, which has had two additions, occupies the southern half of the current building footprint. In this half of the building were located a "Wire Department", "Sheet Metal & Painting Department", and a small office area. From July of 2019 through September of 2019 Knoll continued site assessment activities consisting of soil borings inside this portion of the building to locate the potential source area(s). A total of 13 monitor wells were installed (Knoll-7 through Knoll-19), 8 monitor wells in the Wire Department and Sheet Metal & Painting Department areas, and 5 monitor wells on the eastern half of the two additions.

Based on these results, Knoll conducted a 24-hour indoor air samples in October of 2019 throughout the interior of the building to determine if vapors beneath the slab were migrating into the indoor air of the building. The samples were analyzed for volatile organic compounds (VOCs) and revealed non-detect for PCE and its derivatives.

In November of 2019 Knoll oversaw the installation of two nested monitor wells, one at the rear of 6 Industrial Park Road and one downgradient on the adjacent 24 Jayar Road property. The results of the ground water sampling revealed PCE beneath the 24 Jayar Road property.

2020

On May 26, 2020 a Phase I Limited Site Investigation and Tier I Classification report was submitted to the MADEP.

From May 28, 2020 through August 25, 2020 Knoll continued site assessment activities to delineate the extent of PCE in the ground water. A total of 10 nested monitor wells were installed, Knoll-22 through Knoll-31. Each well location contains three monitor wells screening three depths of the aquifer, 15 feet, 30 feet, and 45/50 feet. The results of the hydrogeologic investigation defined the downgradient or eastern edge of the PCE plume in Knoll-31, located on the Route 109 Self Storage property. The southern edge of the PCE plume was also defined and is located inside the 6 Industrial Park Road building on the eastern half of the building footprint. The width of the plume, the northern and southern edge has been well defined at the 6 Industrial Park Road property, but requires additional monitor wells to accurately define the limits on the 24 Jayar Road property and the Route 109 Self Storage property.

The property is in a zone II drinking water supply area and one of the Town of Medway's water supply wells is located due north to the upgradient and sidegradient of the PCE plume. As a result, Knoll oversaw the installation of a "compliance well", Knoll-29, between the town well and the PCE plume. The results of the ground water sampling revealed non-detect for PCE and its biodegradation derivatives.

In June through August of 2020, 18 soil gas samples were collected and analyzed from the soil gas points, SG-1 through SG-18, located throughout the interior of the building. The soil gas points were installed to determine the concentration of PCE in vapors beneath the concrete slab. The results of the soil gas samples revealed PCE in all locations. The soil gas results revealed the highest concentration of PCE in and around the Wire Department and "Sheet Metal &



Painting Department”, coincident with the high concentrations in the ground water beneath the concrete slab.

In November of 2020 a 24-hour indoor air sample for PCE was conducted at the adjacent 24 Jayar Road property along the interior of the building in the office area and in the industrial operations area to determine if soil gases containing PCE migrated into the building. The building is a one story concrete block structure with a concrete floor and no basement. The results revealed 12 ug/m³ of PCE only with non-detect for all its degradation products, in the industrial operations area and 19 ug/m³ of PCE in the office area. As a result, Knoll conducted both a commercial (existing property use) and residential (potential future use without restrictions) to evaluate risk. Based on this one snapshot in time, an Imminent Hazard does not exist and there is not a long-term health risk as a commercial property.

2021

In February through March, 2021 eight (8) soil gas samples were collected and analyzed from the soil gas points, SG-1 through SG-8, located throughout the interior of the Innovative Coatings building at 24 Jayar Road. The soil gas points were installed to determine the concentration of PCE in vapors beneath the concrete slab. The results of the soil gas samples revealed PCE in 7 of the 8 locations. The soil gas results revealed the highest concentration of PCE in the center of the building in the operations area, with the next highest concentrations located along the southwestern wall bordering the 6 Industrial Park Road property.

From March through April, a hydrologic survey was conducted to characterize water table elevations, hydraulic gradients, and ground water flow directions. The depth to the ground water in the unconfined aquifer varies from 4 to 6 feet below land surface. Ground water monitoring of water quality parameters of temperature, dissolved oxygen, and ORP to evaluate the chemistry of the ground water.

Summary of Remedial Activities and Environmental Testing through March 2021

On the following page is an aerial view showing the Site, the location of water supply wells, wetlands, and other site details. The ground water investigation indicates that ground water was impacted by PCE directly beneath and in the vicinity of the drum storage area, in and around the former septic tank, and beneath the portion of the building that conducted solvent cleaning. The sampling results indicates that ground water impacts by PCE and its biodegradation derivatives have been delineated beneath the building.





The full extent of the PCE plume has not been delineated to date. From the survey conducted to date, the direction of ground water flow beneath the Site is from the west to the east toward Great Black Swamp and the Charles River. Additional observation wells are planned in the ongoing Phase II Comprehensive Site Assessment Scope of Work to delineate the full extent.

Additional indoor air sampling rounds at Innovative Coatings, 24 Jayar Road, would be needed to confirm that the results are consistent under worst-case scenarios such as heating season and high groundwater. Also, conditions could change over time with the migration and degradation of the plume (e.g., concentrations increase, degradation byproducts are present, etc.) as well as the condition of the building (e.g, cracks form in the slab and foundation, building modifications are made, etc.) and this needs to be considered as long as contaminants above GW-2 remain beneath/in proximity to the building.

Should you have any questions or require additional information, please feel free to contact me at 781-449-1566.

Cordially,
KNOLL ENVIRONMENTAL

Kevin A. Doherty
Hydrogeochemist
Director Environmental Services



Morgan Harris

From: Susan Affleck-Childs
Sent: Monday, June 7, 2021 9:11 AM
To: Andy Rodenhiser; Andy Rodenhiser; Bob Tucker; Robert Tucker; Jessica Chabot; Matthew Hayes ; Rich Di Iulio; Tom Gay
Cc: Bouley, Steven; Amy Sutherland; Barbara Saint Andre; Morgan Harris
Subject: FW: 6 Ind Prk Rd (Phytopia) Comments from John Lally
Attachments: 2_MarcRd_MitigatedNoise.pdf; 6_IndPrkRd_noise_control.pdf; Acentech_to_Neo_4MarcRd.pdf; ATWB_MechDwg.pdf; DetrimentalNoise_CoffeeSt.pdf

FYI.

Susy

From: Lally, John - 0666 - MITLL [mailto:jlally@ll.mit.edu]
Sent: Monday, June 7, 2021 8:31 AM
To: Susan Affleck-Childs <sachilds@townofmedway.org>
Subject: 6 Ind Prk Rd

Good morning Susy,

Below is my input to the public hearing for the 6 Industrial Park Rd facility, I ask that you please distribute this email and attachments to PEDB members for their consideration, and also to make sure they're included in the public record. Please feel free to distribute this email and attachments to others as you see fit.

Executive Summary: The documents submitted with the 6 Industrial Park Rd Special Permit Application(s) show the facility will be in violation of sections 7.3.C.2.a (Continuous Nighttime Noise) and 8.10.H (Prohibition against Nuisances) of the Medway Zoning Bylaw and therefore the facility should not be permitted as currently proposed. What follows are the supporting details and requests for the board's consideration which if granted, might at least in part, help to bring the application closer to a favorable decision for all stakeholders.

- 1.) ODOR- With regard to odor controls, I respectfully request:
 - a. The facility shall not produce any odor at or above the detection threshold of a person with normal olfactory sensitivity beyond the facilities property lines.
- 2.) NOISE- Questions, Issues, and Requests: NOTE- for Predicted Noise Levels & Locations please refer to Table III, and Figure 2 respectively within the Noise Control Memo from Acentech dated 12 April 2021, attached as "6_IndPrkRd_noise_control.pdf".
 - a. Is the 6 Industrial Park Rd facility proposed to operate before the Phase II addition is constructed?
 - i. If yes, I respectfully request noise level predictions without the Phase II addition, additional follow up likely when those predictions become known.
 1. The predicted noise levels submitted with the application depend to a large degree on the phase 2 building for acoustic shielding. See Pg 2 of attachment "6_indPrkRd_noise_control.pdf"
 - ii. If no, I respectfully request that a condition is added to the Special Permit Decision that does not allow operation of the facility before the construction of the Phase II addition is complete.
 - b. What are the noise specifications for the ERU's, (Energy Recovery Units)?

- i. If significant, I respectfully request noise predictions that include all the ERU's.
 - c. How tall are the proposed HVAC units, and how do those height(s) compare to the proposed sound barrier wall height(s)?
 - i. The noise modeling is described as done with a 10ft tall noise barrier, see highlighted text at bottom of Pg. 2 of "6_IndPrkRd_noise_control.pdf".
 - ii. The mechanical drawing for Evapco ATWB 24-7020 shows a height of ~18'-7", See ATWB_MechDwg.pdf attached.
 - iii. The architectural drawing shows a 20ft tall Acoustic Barrier.
 - iv. If the noise predictions used the incorrect noise barrier I respectfully request noise predictions are done using the correct noise barrier.
 - d. During phase 2 operation, noise levels at PLI08, PLI09, PLI10, and PLI11 are predicted to violate the limits in the existing Medway Zoning Bylaw Environmental Standards. I respectfully request that these predicted noise levels are not allowed to be produced.
 - e. During phase 2 operation, predicted noise levels at residences R05=36dBA, and at R06=35dBA, these are 9dBA and 8dBA above the nighttime community noise level of 27dBA as measured by the applicants noise consultant, see highlighted text on Pgs. 1 & 2 of "6_indPrkRd_noise_control.pdf" attachment. When a noise level reaches ~4dBA (~32% increase in loudness) above the background noise level it tends to be rather conspicuous. When noise is continuous and of an industrial nature e.g. from an HVAC source, it tends to be very harsh. Therefore, the noise levels at R05 and R06 from the 6 Industrial Park Rd facility are predicted to be conspicuous and very harsh, and to exist continuously throughout the night, this would be very detrimental to the residents at those locations. Consequently, I respectfully object to the facility generating the predicted noise levels at R05 & R06 during nighttime hours, and more generally at any residence. In addition:
 - i. It appears the applicant has directed their noise consultant to develop noise controls to be in compliance with the MassDEP noise policy. Please recall that prior to mitigation, 2 Marc Rd was in compliance with the MassDEP noise policy of Ambient + 10dBA at sensitive receptors, and there were noise complaints not only from Coffee St Residents but also from folks living ~1/2 mile away over on Green Valley Rd. This demonstrated the inadequacy of the MassDEP noise policy of Ambient + 10dBA to adequately protect Medway residents.
 - ii. Also please recall that nighttime noise levels were measured on Coffee Street by this applicant's noise consultant at 49 and 42 Coffee Street contemporaneous with numerous 2 Marc Rd noise complaints. These measurements were 36dBA and 30dBA respectively, see highlighted text on Pg 4 of attachment "DetrimentalNoise_CoffeeSt.pdf", these were presented at the 13Nov2018 PEDB meeting. This is compelling evidence that the 36dBA and 35dBA noise levels will no doubt be detrimental to the residents living at R05 & R06 and should not be allowed.
 - f. As described above, when continuous nighttime industrial noise approaches ~4dBA above the background noise level at residences, it is detrimental. I therefore, respectfully request that noise levels produced by this facility during the night at residences not exceed 3dBA above the background nighttime noise level of 27dBA, in other words not to exceed 30dBA
 - 1. Please recall this applicant's noise consultant during the 4 Marc Rd (Neo) public hearing process recommended that noise at residences should not exceed 30dBA. See highlighted text at the bottom of Pg. 1 of Acentech to Neo Organics Noise Mitigation memo dated 25Sep2019, attached as "Acentech_to_NEO_4MarcRd.pdf"
- 3.) Suggested continuous nighttime noise levels for 6 Industrial Park Rd property lines & Issues for further consideration:
- a. This application demonstrates how problematic it is to allow elevated noise levels at source property lines:

- i. The highest predicted noise level at the source property line closest to residents is PLI07=45dBA, 2dBA below the maximum nighttime level in the existing Environmental Standards Bylaw, which is 47dBA. Yet, noise levels at R05 and R06 which are at a significant distance from the noise source property line are predicted to be at detrimental levels.
 - ii. Furthermore, the 6 Industrial Park Rd facility will not exist in isolation, it will be part of a complex set of noise sources in the industrial park. Allowing a single facility to generate such loud noise at their property lines may leave little to no headroom for other facilities in the industrial park to generate continuous nighttime noise without compounding to detrimental levels at residences.
 1. This could seriously hamstring further development in the industrial park, unless of course the PEDB decides to allow noise to compound to detrimental levels. But that would be a rather troubling betrayal of the assurances the PEDB gave to residents that they would be protected from Noise & Odor during the public hearing process for the Recreational Marijuana Bylaw.
 - iii. In the event there are noise complaints, allowing elevated noise levels at source property lines will make it very difficult for the zoning enforcement officer to isolate which is the offending source. This is because with high noise levels allowed at source property lines the zoning enforcement officer can't rely on source property line noise measurements to isolate which is the offending source. The most likely outcome is a finger-pointing contest instead of resolution of the problem. This will be especially so, if turning off noise sources to isolate the offending source could compromise facility operations such as putting in jeopardy a valuable cannabis crop.
 1. You may recall early on in the 2 Marc Rd situation Ellen wasn't convinced the noise was coming from 2 Marc Rd. Due in part to considerable echoing from an adjacent building it wasn't obvious where the noise was coming from, and this was with no other obvious offending source. Now imagine how difficult it would be to sort out a noise problem with multiple potentially offending sources that are allowed to transmit elevated noise levels from their property lines, and won't cooperate with the zoning enforcement officer and refuse to turn off their noise source(s). The refrain heard from facility operators will likely be: "Hey, I comply at my property lines, I'm not responsible for that noise way over there..."
- b. In consideration of the foregoing, the following continuous nighttime noise limits for the 6 industrial park road facility property lines are offered for the boards consideration:
- i. 42dBA at all source property lines, an acceptable alternative might be:
 1. 47dBA at the East and North Property Lines, those property lines in furthest proximity to residences.
 2. 42dBA at the South & West Property Lines, those property lines in closest proximity to residences.
 - ii. For your reference, 2 Marc Rd with 2 x Rotary chillers each ~100dBA sound power level was predicted to achieve 39dBA at its property line and those HVAC units are about 3x closer to the 2 Marc Rd property line (~30ft) than the proposed HVAC units are at 6 Industrial Park Rd. (~90ft). See 2 Marc Rd mitigated predicted noise levels on Pgs. 15 & 16 of Acentech 2 Marc Rd modeling results dated 26Jun2019, attached as "2_MarcRd_MitigatedNoise.pdf".
 - iii. Also please recall that the Town's noise consultant has recommended that noise at facility property lines should not exceed 42dBA for a community like Medway.
 1. In addition 42dBA at source property lines was shown to be well correlated with reasonable sensitive receptor noise levels, see email from resident J. Lally to Susan Affleck-Childs dated 12Apr2021.

In summary:

The documents submitted with the 6 Industrial Park Rd facility application(s) show the facility as currently proposed will be in violation of sections 7.3.C.2.a and 8.10.H of the Medway Zoning Bylaw.

It is offered that these violations can be prevented by requiring the facility to:

- 1.) Not generate continuous nighttime noise at residences that exceeds 30dBA.
- 2.) Not generate continuous nighttime noise at its property lines that exceeds 42dBA or alternatively:
 - a. Not generate continuous nighttime noise at its South & West property lines that exceeds 42dBA
AND not generate continuous nighttime noise at its North and East property lines that exceeds 47dBA.
- 3.) Limit odors generated by the facility to below the detection threshold of a person with normal olfactory sensitivity beyond the facilities property lines.

Respectfully submitted,

John Lally, Resident

35 Coffee St

Medway, MA 02053.

Memorandum

TO Ellen Rosenfeld (CommCan)
FROM Andrew Carballeira
DATE June 26, 2019
PROJECT CommCan Medway Chiller Noise
SUBJECT Modeling Results
PROJECT NO 630410
CC Alex Odom (Acentech)

Dear Ellen,

This memo presents the results of our computer modeling of the chiller upgrades to the CommCan Medway facility.

Model Description

We have developed a computer model of facility sound using CadnaA, an acoustic modeling software which considers 3-dimensional propagation of sound. This model implements the methods and equations of ISO 9613-2 "Attenuation of sound during propagation outdoors -- Part 2: General method of calculation".

The facility has an existing chiller (Trane RTAC 225) on the southeast corner of the roof. In connection with the recent permit decision, the existing chiller will be relocated and a second chiller (Trane RTAF 310) will be added. Both chillers will be installed within a custom noise enclosure at ground level near the southwest corner of the facility. The chiller sound power levels as provided by Trane are given in TABLE I below.

TABLE I. Chiller sound power levels used in computer modeling

Description	Sound power level (dB re: 1pW)							
Octave-band center frequency (Hz)	63	125	250	500	1000	2000	4000	8000
RTAC 310 (new)	93	95	95	99	101	96	88	81
RTAC225 (existing)	103	104	100	101	98	93	88	85

APPENDIX A includes sound attenuation data from the enclosure vendor used in our computer model. The enclosure design as modeled includes 7-ft long attenuators on the air intakes (west face and roof of enclosure), and 4-ft long attenuators on the discharge (roof of enclosure). We have also considered sound transmission through the panels from which the north and south walls of the enclosure will be constructed. A 3D rendering of the modeled enclosure is shown in FIGURE 1 in APPENDIX B.

In addition to the enclosure, the chillers will be outfitted with source noise control treatments¹. These additional measures will be beneficial, but we have not included them in the model in order to make conservative predictions.

¹ BRD compressor and oil separator lagging wraps, as described in APPENDIX A

Model Results

We have reviewed the permit decision, which outlines the Medway noise ordinance in modern octave bands. We understand the noise ordinance to be applicable at the source property lines, the nearest of which is about 30 ft from the intake of the chiller enclosure.

Based on our computer model, we expect that the proposed equipment housed in the custom noise enclosure will comply with the Medway noise ordinance at all facility property lines. Further, the equipment will also comply with the ordinance at all nearby residential property lines. FIGURE 2 in APPENDIX B presents the receptor locations used in computer modeling, and TABLE II summarizes the calculated noise levels at the property lines. As shown in TABLE II, all estimated sound levels are below the octave-band provisions of the Medway noise regulation.

* * * * *

I trust this memo provides the information you need at this time. Please contact me with questions at 617-499-8025 or acarballeira@acentech.com.

Sincerely,



Andy Carballeira, INCE Bd Cert
Senior Consultant

APPENDIX A

NOISE ENCLOSURE SPECIFICATIONS

HUSH DUCT Submittal

Email: dan.burley@brd-nonoise.com
Web: www.Hushcore.net

HD-48/H
High Pressure Silencer
Tag: Exhaust

Dimensions

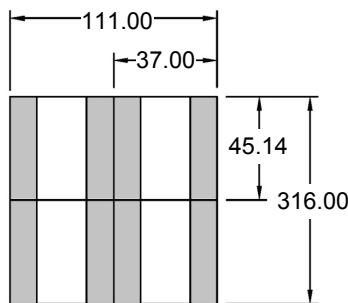
Quantity: 1
Weight (lb): 5106

Bank

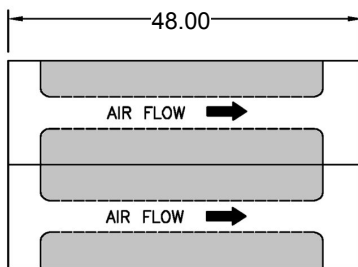
Width (in.): 111.00
Height (in.): 316.00
Length (in.): 48.00

Components

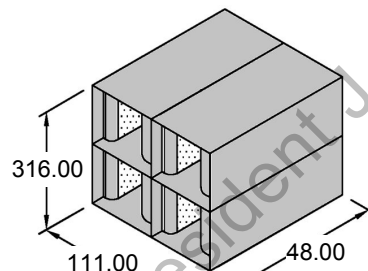
Quantity: 21
Width (in.): 37.00
Height (in.): 45.14



END VIEW



TOP VIEW



ISO VIEW

Images are generic representations of and not to scale. The actual configuration may not be shown.

Performance

Air Volume (cfm): 119725
Air Velocity (fpm): 492
Air Direction: Forward
Pressure Drop (in.w.g.): 0.09
Installed PD (in.w.g.): 0.12

Dynamic Insertion Loss (dB)

63 Hz	125 Hz	250 Hz	500 Hz	1000 Hz	2000 Hz	4000 Hz	8000 Hz
9	15	25	39	47	44	33	23

Generated Noise (dB)

63 Hz	125 Hz	250 Hz	500 Hz	1000 Hz	2000 Hz	4000 Hz	8000 Hz
56	33	40	49	48	44	34	27

Construction

Casing: 22 GA Galvanized
Perforated Liner: 22 GA Galvanized

Acoustic Media: Glass Fiber

Inlet Connection: 2" Slip
Outlet Connection: 2" Slip

Notes

- HUSH DUCT silencer material has flame spread classification < 25 and smoke development rating < 50 when tested in accordance with ASTM E84, UL723 and NFPA255.
 - System effects assume fan at the silencer inlet and ideal at the silencer outlet.
 - HUSH DUCT silencers consist of ASTM A653(M) steel casings and liners.
 - HUSH DUCT silencers are tested in our NVLAP-Accredited sound lab.
 - Performance data is derived from ASTM E477-13.
 - Silencer bank shall be structurally supported by Others.
 - Silencer shipped in multiple components for assembly by Others. Customer to confirm all dimensions.
- Performance data is obtained in a similar fashion as other silencer manufacturers using 24" x 24" cross section area test units.

PROJECT: CommCann
ENGINEER:
DESCRIPTION: High Pressure Silencer

CUSTOMER:
UNIT OF MEASURE: Imperial

SUBMITTAL DATE: 6/11/2019
QUOTE NO: DRAWING
REVISION:

HUSH DUCT Submittal

HD-48/H

High Pressure Silencer

Tag: Exhaust

Email: dan.burley@brd-nonoise.com

Web: www.Hushcore.net

Dimensions

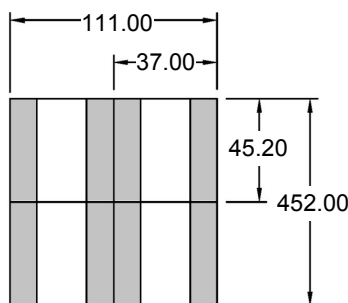
Quantity: 1
Weight (lb): 7302

Bank

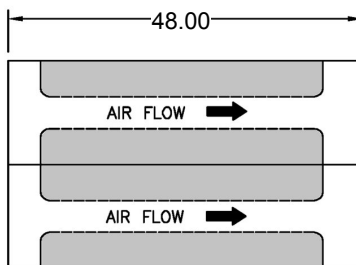
Width (in.): 111.00
Height (in.): 452.00
Length (in.): 48.00

Components

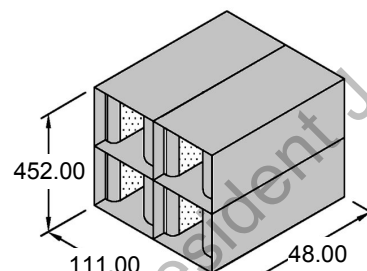
Quantity: 30
Width (in.): 37.00
Height (in.): 45.20



END VIEW



TOP VIEW



ISO VIEW

Images are generic representations of and not to scale. The actual configuration may not be shown.

Performance

Air Volume (cfm): 154000
Air Velocity (fpm): 442
Air Direction: Forward
Pressure Drop (in.w.g.): 0.08
Installed PD (in.w.g.): 0.10

Dynamic Insertion Loss (dB)

63 Hz	125 Hz	250 Hz	500 Hz	1000 Hz	2000 Hz	4000 Hz	8000 Hz
9	15	25	39	47	44	33	23

Generated Noise (dB)

63 Hz	125 Hz	250 Hz	500 Hz	1000 Hz	2000 Hz	4000 Hz	8000 Hz
55	31	39	48	48	42	32	25

Construction

Casing: 22 GA Galvanized
Perforated Liner: 22 GA Galvanized

Acoustic Media: Glass Fiber

Inlet Connection: 2" Slip

Outlet Connection: 2" Slip

Notes

- HUSH DUCT silencer material has flame spread classification < 25 and smoke development rating < 50 when tested in accordance with ASTM E84, UL723 and NFPA255.
 - System effects assume fan at the silencer inlet and ideal at the silencer outlet.
 - HUSH DUCT silencers consist of ASTM A653(M) steel casings and liners.
 - HUSH DUCT silencers are tested in our NVLAP-Accredited sound lab. Performance data is derived from ASTM E477-13.
 - Silencer bank shall be structurally supported by Others.
 - Silencer shipped in multiple components for assembly by Others.
 - Customer to confirm all dimensions.
- Performance data is obtained in a similar fashion as other silencer manufacturers using 24" x 24" cross section area test units.

PROJECT: CommCann
ENGINEER:
DESCRIPTION: High Pressure Silencer

CUSTOMER:
UNIT OF MEASURE: Imperial

SUBMITTAL DATE: 6/11/2019
QUOTE NO: DRAWING
REVISION:

HUSH DUCT Submittal

Email: dan.burley@brd-nonoise.com
Web: www.Hushcore.net

HD-84/M
Medium Pressure Silencer
Tag: Intake

Dimensions

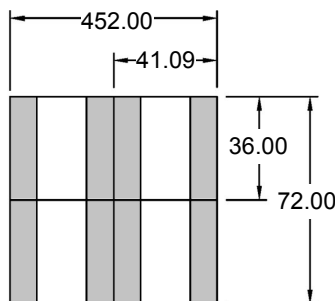
Quantity: 1
Weight (lb): 8209

Bank

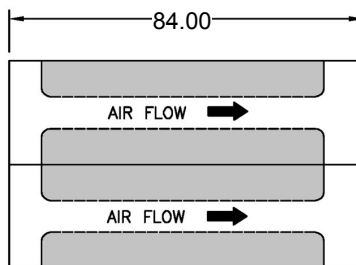
Width (in.): 452.00
Height (in.): 72.00
Length (in.): 84.00

Components

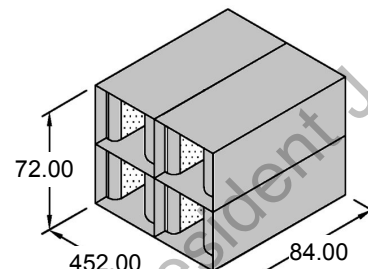
Quantity: 22
Width (in.): 41.09
Height (in.): 36.00



END VIEW



TOP VIEW



ISO VIEW

Images are generic representations of and not to scale. The actual configuration may not be shown.

Performance

Air Volume (cfm): 77000
Air Velocity (fpm): 341
Air Direction: Reverse
Pressure Drop (in.w.g.): 0.03
Installed PD (in.w.g.): 0.07

Dynamic Insertion Loss (dB)

63 Hz	125 Hz	250 Hz	500 Hz	1000 Hz	2000 Hz	4000 Hz	8000 Hz
11	21	36	50	55	53	46	29

Generated Noise (dB)

63 Hz	125 Hz	250 Hz	500 Hz	1000 Hz	2000 Hz	4000 Hz	8000 Hz
41	34	40	47	43	38	22	16

Construction

Casing: 22 GA Galvanized
Perforated Liner: 22 GA Galvanized

Acoustic Media: Glass Fiber

Inlet Connection: 2" Slip
Outlet Connection: 2" Slip

Notes

- HUSH DUCT silencer material has flame spread classification < 25 and smoke development rating < 50 when tested in accordance with ASTM E84, UL723 and NFPA255.
 - System effects assume ideal at the silencer inlet and abrupt plenum at the silencer outlet.
 - HUSH DUCT silencers consist of ASTM A653(M) steel casings and liners.
 - HUSH DUCT silencers are tested in our NVLAP-Accredited sound lab.
 - Performance data is derived from ASTM E477-13.
 - Silencer bank shall be structurally supported by Others.
 - Silencer shipped in multiple components for assembly by Others. Customer to confirm all dimensions.
- Performance data is obtained in a similar fashion as other silencer manufacturers using 24" x 24" cross section area test units.

PROJECT: CommCan
ENGINEER:
DESCRIPTION: Medium Pressure Silencer

CUSTOMER:
UNIT OF MEASURE: Imperial

SUBMITTAL DATE: 6/11/2019
QUOTE NO: RAWING
REVISION:

HUSH DUCT Submittal

Email: dan.burley@brd-nonoise.com
Web: www.Hushcore.net

HD-84/M
Medium Pressure Silencer
Tag: Intake

Dimensions

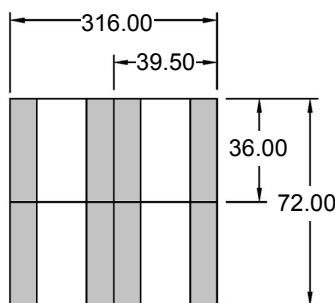
Quantity: 1
Weight (lb): 5866

Bank

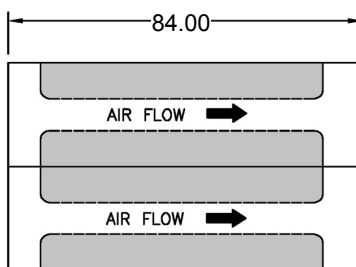
Width (in.): 316.00
Height (in.): 72.00
Length (in.): 84.00

Components

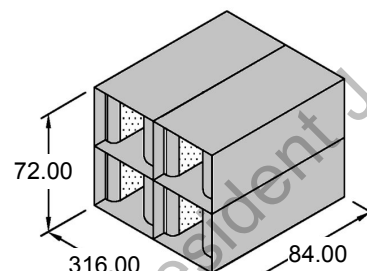
Quantity: 16
Width (in.): 39.50
Height (in.): 36.00



END VIEW



TOP VIEW



ISO VIEW

Images are generic representations of and not to scale. The actual configuration may not be shown.

Performance

Air Volume (cfm): 59862
Air Velocity (fpm): 379
Air Direction: Reverse
Pressure Drop (in.w.g.): 0.04
Installed PD (in.w.g.): 0.08

Dynamic Insertion Loss (dB)

63 Hz	125 Hz	250 Hz	500 Hz	1000 Hz	2000 Hz	4000 Hz	8000 Hz
11	21	36	50	55	53	46	29

Generated Noise (dB)

63 Hz	125 Hz	250 Hz	500 Hz	1000 Hz	2000 Hz	4000 Hz	8000 Hz
41	34	40	47	43	39	24	18

Construction

Casing: 22 GA Galvanized
Perforated Liner: 22 GA Galvanized

Acoustic Media: Glass Fiber

Inlet Connection: 2" Slip
Outlet Connection: 2" Slip

Notes

- HUSH DUCT silencer material has flame spread classification < 25 and smoke development rating < 50 when tested in accordance with ASTM E84, UL723 and NFPA255.
 - System effects assume ideal at the silencer inlet and abrupt plenum at the silencer outlet.
 - HUSH DUCT silencers consist of ASTM A653(M) steel casings and liners.
 - HUSH DUCT silencers are tested in our NVLAP-Accredited sound lab.
 - Performance data is derived from ASTM E477-13.
 - Silencer bank shall be structurally supported by Others.
 - Silencer shipped in multiple components for assembly by Others. Customer to confirm all dimensions.
- Performance data is obtained in a similar fashion as other silencer manufacturers using 24" x 24" cross section area test units.

PROJECT:
ENGINEER:
DESCRIPTION: Medium Pressure Silencer

CUSTOMER:
UNIT OF MEASURE: Imperial

SUBMITTAL DATE: 6/11/2019
QUOTE NO:
DRAWING REVISION:

Product Data Section

Removable/Reusable Blanket Insulation For Sound Attenuation At The Source



Ball Mill Wrap with exposed liner bolts at a cement plant.



HUSH COVER™ Model HC-500S-1" blankets for air cooled screw chiller compressors.

Advantages:

- Completely removable and reusable
- Easy to install
- Can be reused after maintenance
- Custom-fit to existing conditions
- Guaranteed fit
- Predictable performance based on laboratory tests
- Suitable for harsh environments where solvents, acids, oils, and other contaminants are present
- Outdoor weather-resistant construction
- High temperature capability
- Self-contained insulation system
- Asbestos free
- Good combination of acoustic and thermal performance

Applications:

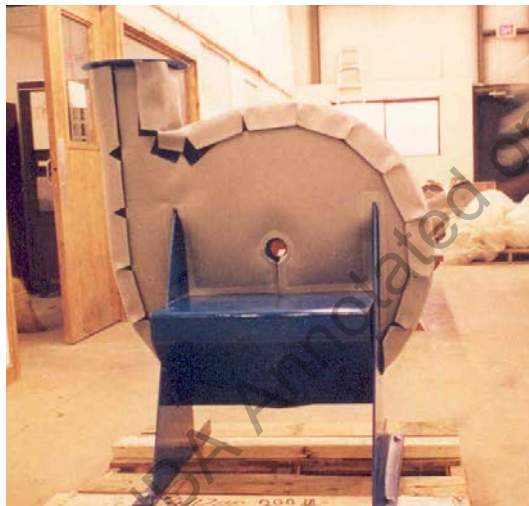
- Fans and blowers
- Compressor housings
- Gear boxes
- Valves
- Ejectors
- Steam and gas turbine casings
- Pumps
- Pipes and ducts
- Expansion joints
- Any hard to treat, irregular surface where removability is important
- Chillers and refrigeration equipment
- Engine exhaust systems
- Personnel protection (high temperature) for surfaces above 140°F
- Ball mills

GUARANTEED FIT ON ALL APPLICATIONS!

Product Data Section

About BRD HUSH COVER™ Acoustic Insulation:

BRD HUSH COVER™ acoustic blanket insulation is an extremely versatile and efficient solution to common industrial noise problems. It combines high density fiberglass mat with a mass-loaded vinyl sandwiched inside a weatherproof jacketing. The purpose of the fiberglass is to reduce reflected noise and to absorb noise energy, while the mass-loaded vinyl blocks transmitted noise. The fiberglass also has excellent thermal insulation qualities. Combining both an absorber material and a barrier material that are well matched yields a highly efficient and cost-effective means for solving industrial noise control problems.



Pressure blower housing treated with two-piece Velcro system.

Service:

The standard design (HC-450) can be used on equipment not exceeding 450°F (232°C). Other designs are available for equipment with temperatures exceeding 450°F.

Design Components For HC-500S

OUTER JACKET: 16 oz./yd.² PTFE
silicone impregnated
fiberglass cloth

ACOUSTIC BARRIER: Barium sulfate
loaded vinyl (1 lb. to 2 lb. density)

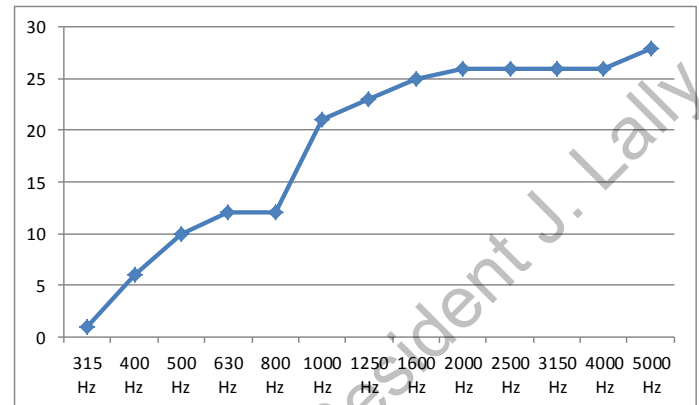
INSULATION: Fiberglass needle mat (11
lbs./ft.³ density)

INNER JACKET: 16 oz./yd.² PTFE
silicone impregnated
fiberglass cloth



HC-800 is suitable for up to 800° F. HC-1200 is suitable for up to 1200° F. Design components for these and other custom HUSH COVERS™ are available upon request.

Test Frequency (in Hz)	Noise Reduction (in dB)
315	1
400	6
500	10
630	12
800	12
1000	21
1250	23
1600	25
200	26
2500	26
3150	26
4000	26
5000	28



The above data is representative of ASTM test procedure E-1222-87 for the laboratory measurement of the insertion loss of pipe lagging systems. BRD will not be warranted for performance results of HUSH COVER™ blanket insulation expressed or implied. Additional test data is available for a variety of blanket constructions.



Liquid cooled screw chiller noise is tamed using HUSH COVER™ model HC-500S-1"

Acoustic Field Test Results

Based on previously tested installations, actual dBA reductions range between 3 – 5 dBA for HC-500S-1" and 4 – 6 dBA for HC-500S-2".



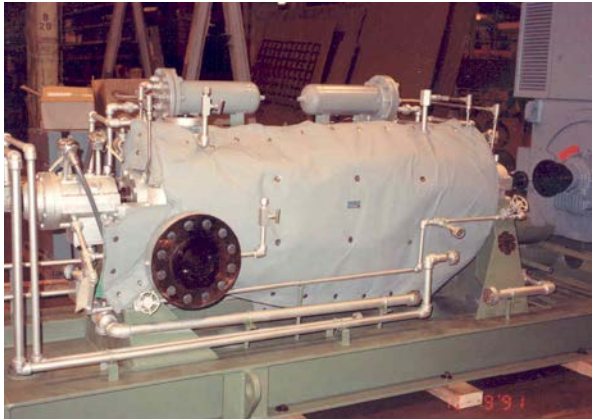
Ball mill HUSH COVER™ using HC-500S-1" with banding attachment.

True performance estimates must include field verification of dBA levels and frequency concentrations on an application basis.

Product Data Section

General Installation Instructions

1. Many of the blankets will have 2" flaps on the edges. These flaps are to be installed so that the flap on the upper blanket will cover over the edge of the lower blanket, creating a shingle effect.



Boiler feedwater pump at fit-up prior to lacing.

2. Blanket installation should follow the recommended order of installation provided on the assembly drawings. Most blankets will either seam at the horizontal or vertical centerlines. All panels are tagged for easy identification.

3. "D" Ring assemblies have been provided to ease installation. To use, simply lace the strap through the adjoining blankets "D" Ring assembly and secure. Velcro Flaps are provided to permanently secure closing seams and to lock material in place.

4. Occasionally, certain blankets may be difficult to install due to space limitations or obstructions. If this occurs, it may be necessary to modify the blanket's shape or size. Stainless steel staples are the recommended closure method for any modifications.

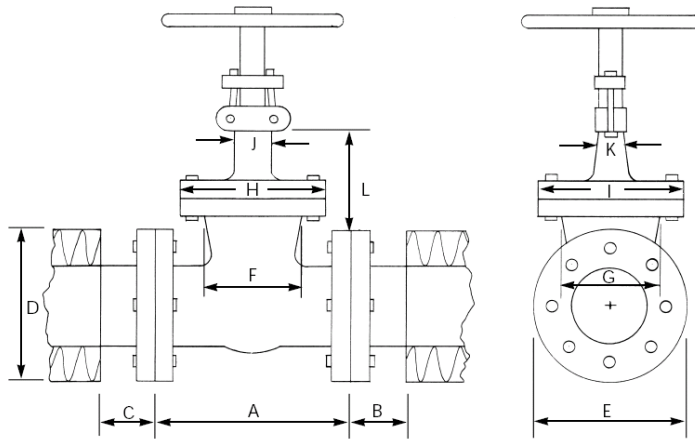
5. Generally, all tags should read from left to right and will be oriented horizontally. This will show the correct orientation of the acoustic blanket.

BRD Installation Services Available



Before and after views showing Velcro installation of HUSH COVER™ multi-piece design for a steam ejector.

Product Data Section



Valve Cover Take-Off Sheet

A	B	C	D
E	F	G	H
I	J	K	L

- HUSH COVER™ blankets can be quoted based on field sketches, equipment cut sheets or templates created in the field.
- Standard items such as valves, elbows, fittings, pumps, etc. can be quoted based on standardized take-off sheets such as the one shown above.
- Field measurements by a qualified BRD Representative may be required prior to fabrication.
- Fabrication techniques include computer aided design (CAD) capabilities to assure proper fit (see below).
- HUSH COVER™ designs are complete and require no additional tools or materials.
- When requesting a quotation, please supply the make and model of the equipment if known.
- For OEM applications, private labeling can be provided to meet customer specifications.



HUSH COVER™ on air cooled screw chiller suction lines, compressor, discharge line and oil separator.



Typical "D" ring and strap attachment feature

Product Data Section

Acoustic Performance Data:

Product	Sound Transmission Loss (dB) Frequency (Hz)						STC
	125	250	500	1000	2000	4000	
HG-200	17	23	34	47	55	57	37
HG-210	24	25	33	43	50	55	38
HG-400	21	28	39	48	56	58	40
HG-410	23	31	40	49	56	62	42
HG-420	27	34	41	46	53	59	44
HG-500	18	26	35	45	49	52	37

Product	Sound Absorption Coefficients Per Frequency (Hz)						NRC
	125	250	500	1000	2000	4000	
HG-200	0.15	0.66	1.07	1.06	0.97	0.86	0.95
HG-210	0.26	0.53	1.00	1.03	0.97	1.02	0.90
HG-400	0.60	1.13	1.12	1.09	1.03	0.91	1.00
HG-410	0.68	1.06	1.12	1.08	1.03	0.98	1.05
HG-420	0.45	0.96	1.15	1.10	1.05	0.97	1.05
HG-500	0.92	1.15	1.22	1.13	1.08	1.04	1.15

Panel Constructions:

	Thick- ness	Solid ¹ Skin	Perf. ¹ Skin ²	Weight per sq. ft.
HG-200	2"	18 ga.	22 ga.	4.0 lbs.
HG-210	2"	16 ga.	22 ga.	4.7 lbs.
HG-400	4"	18 ga.	22 ga.	5.0 lbs.
HG-410	4"	16 ga.	22 ga.	5.7 lbs.
HG-420	4"	16 ga.	22 ga.	9.6 lbs.
HG-500	5"	16 ga.	22 ga.	6.0 lbs.

1. Panel skins are all galvanized cold rolled steel.
2. Perf. skins have 3/32" holes on 3/16" staggered centers.
3. Optional aluminum and high density polyethylene constructions.
4. All stiffeners and panel channel framing is minimum 18 ga. steel with face sheets spot welded in place.
5. Panels are designed to withstand wind loads of 25 lbs/sq. ft., both negative and positive.
6. Panel fill is non-combustible high density semi-rigid non-hygroscopic HUSH BATT™ packed under 5% compression.

Panel Finishes:

1. Galvanized steel (std.)
2. Galvanneal "Paint Ready" steel
3. Air dried shop applied
4. Thermosetting TGIC Polyester Powder Coating in color selected by Architect
5. Custom as specified

Steel Finishes:

1. Prime Painted (standard)
2. Primer with air dried shop applied finish paint
3. Hot dip galvanized (availability dependent on final steel member sizing)
4. Colors available to match panels
5. Sand blasting prep only as specified by contractor
6. Custom as specified

APPENDIX B

MODELING RESULTS

Overall dBA Annotated on Pgs 15 & 16 by Resident J. Lally

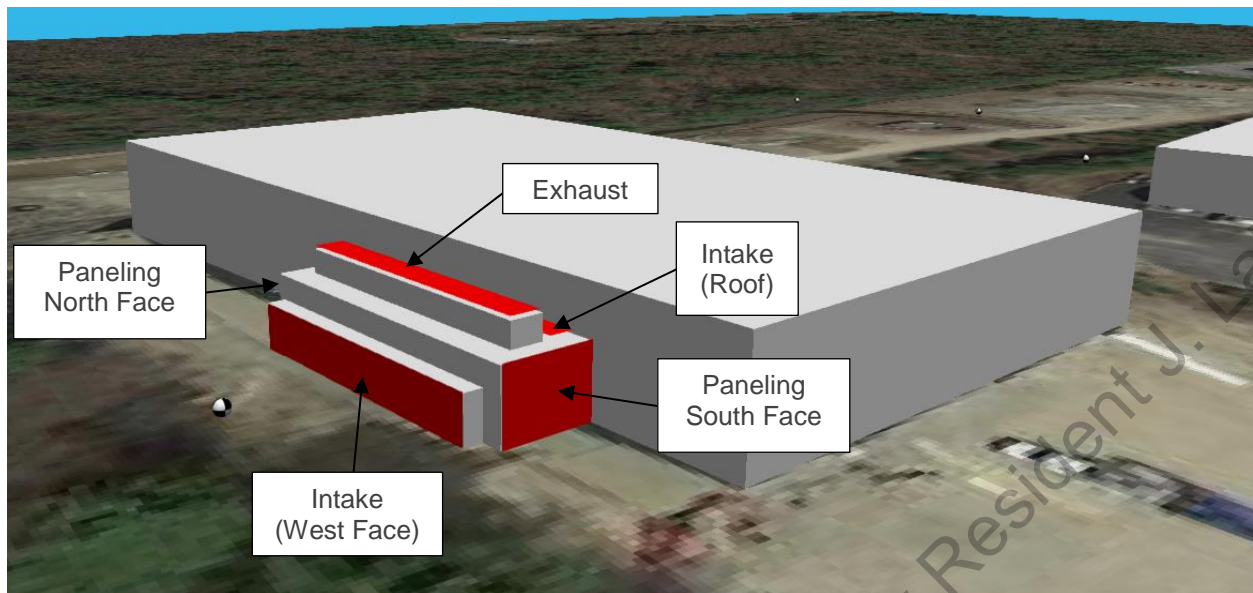


FIGURE 1. 3D Rendering of Modeled Enclosure, View from SW of Facility



FIGURE 2. Receptor points on source property line (see TABLE II)

TABLE II. Estimated octave-band sound levels at facility property lines (dB re: 20 µPa)

Property line location	63	125	250	500	1000	2000	4000	8000	Overall dB(A)
PL01	46	40	26	<20	<20	<20	<20	<20	<=29.4
PL02	54	47	35	26	<20	<20	<20	<20	<=34.6
PL03	61	52	35	22	<20	<20	<20	24	<=39.0
PL04	42	36	24	<20	<20	<20	<20	<20	<=28.1
PL05	28	<20	<20	<20	<20	<20	<20	<20	<=26.9
PL06	25	<20	<20	<20	<20	<20	<20	<20	<=26.9
PL07	26	<20	<20	<20	<20	<20	<20	<20	<=26.9
PL08	26	<20	<20	<20	<20	<20	<20	<20	<=26.9
PL09	29	20	<20	<20	<20	<20	<20	<20	<=26.9
PL10	32	22	<20	<20	<20	<20	<20	<20	<=26.9
PL11	34	24	<20	<20	<20	<20	<20	<20	<=27.0
PL12	35	25	<20	<20	<20	<20	<20	<20	<=27.0
PL13	40	32	<20	<20	<20	<20	<20	<20	<=27.4
PL14	41	34	21	<20	<20	<20	<20	<20	<=27.6
PL15	33	26	<20	<20	<20	<20	<20	<20	<=27.0
PL16	31	25	<20	<20	<20	<20	<20	<20	<=27.0
PL17	36	28	<20	<20	<20	<20	<20	<20	<=27.1
PL18	38	30	<20	<20	<20	<20	<20	<20	<=27.2
PL19	38	30	<20	<20	<20	<20	<20	<20	<=27.2
PL20	37	28	<20	<20	<20	<20	<20	<20	<=27.1
PL21	33	25	<20	<20	<20	<20	<20	<20	<=27.0
PL22	33	25	<20	<20	<20	<20	<20	<20	<=27.0
PL23	32	23	<20	<20	<20	<20	<20	<20	<=26.9
Medway Noise Ordinance	67	55	48	42	38	35	32	28	Max OdB(A)=39.0



33 Moulton Street
Cambridge MA 02138
617 499 8000
acentech.com

April 12, 2021

Brian Anderson
Anderson Porter Design
875 Main Street
Cambridge, MA

Phone 617-354-2501
Email brian@andersonporter.com

Subject Noise Mitigation Plan, 65 dBA property line criteria
Phytotherapy Cannabis Cultivation Facility – Medway, MA
Acentech Project No. 634341

Dear Brian,

Phytotherapy has retained Acentech to conduct a study of community noise produced by mechanical equipment serving the proposed cannabis cultivation and processing facility located at 6 Industrial Park Road in Medway, Massachusetts (the facility).

SUMMARY

Acentech has worked with Phytotherapy to develop this Noise Mitigation Plan, which is required as part of the Town of Medway's Special Permit Process. This Noise Mitigation Plan has been reviewed by an acoustical consultant whose qualifications include Institute of Noise Control Engineering (INCE) board certification.

We have reviewed submitted project drawings and sound data for noise-producing equipment to develop a community noise model. From the results of this modeling, we have developed concept noise-control recommendations. With the implementation of these controls, facility sound is expected to achieve the limits on sound discussed in this report.

PROJECT NOISE REQUIREMENTS

PHYTOTHERAPY PROPOSED NOISE LIMITS

The project team has directed us to develop concept noise controls to achieve 65 dBA at facility property lines with other industrial uses. This is an industrial-to-industrial limit similar to those found in the noise codes of similar municipalities in the region.

The proposed 65 dBA limit would apply only to other industrial uses, and the developers intend to fully comply with the MassDEP noise policy at all nearby residential structures as described in the following section.

MASSDEP NOISE POLICY

The Massachusetts Department of Environmental Protection (MassDEP) has a noise policy which applies to facility sound¹. Our current engagement does not include measurement of ambient sound levels in connection with this noise policy. However, we have previously measured nighttime ambient background sound levels (L_{A90}) as low as 27 dBA in the Medway community. Therefore, we recommend that noise levels at the nearest residences not exceed 37 dBA during nighttime hours.

¹ <https://www.mass.gov/files/documents/2018/01/31/noise-interpretation.pdf>

The MassDEP noise policy also contains language prohibiting tonal noise. We have evaluated compliance with the tonal requirements of the MassDEP noise policy assuming a nighttime ambient background level (L_{A90}) of 27 dBA, with corresponding background spectra decreasing at a linear rate of 4 dB/octave.

COMMUNITY NOISE MODELING

NOISE SOURCES

The facility has noise-producing equipment located on-grade that includes one two-cell cooling tower for Phase 1, and a second two-cell cooling tower for Phase 2. The mechanical equipment is identified schematically in FIGURE 1, and shown in greater detail in the project mechanical drawings.

The sound power levels of the equipment are given in TABLE II in APPENDIX A. Currently, we have assumed that all equipment will run at all hours at maximum capacity. We have modeled noise levels at nine residential receptors (17 ft receptor height, R01 – R09), twelve ground-level receivers (5 ft receptor height) along the facility property line (5 ft height, PLI01 – PLI12), and six residential property lines (PLR01 – PLR06), as shown in FIGURE 2.

MODEL DESCRIPTION

We have developed a computer model of facility sound using CadnaA, an acoustic modeling software that considers 3-dimensional propagation of sound. This model implements the methods and equations of ISO 9613-2 "Attenuation of sound during propagation outdoors – Part 2: General method of calculation". FIGURE 2 presents the receptor locations used in computer modeling.

ASSUMPTIONS

The results presented in this report describe Phase 2 sound levels, and depend to a large degree on the Phase 2 building for acoustic shielding.

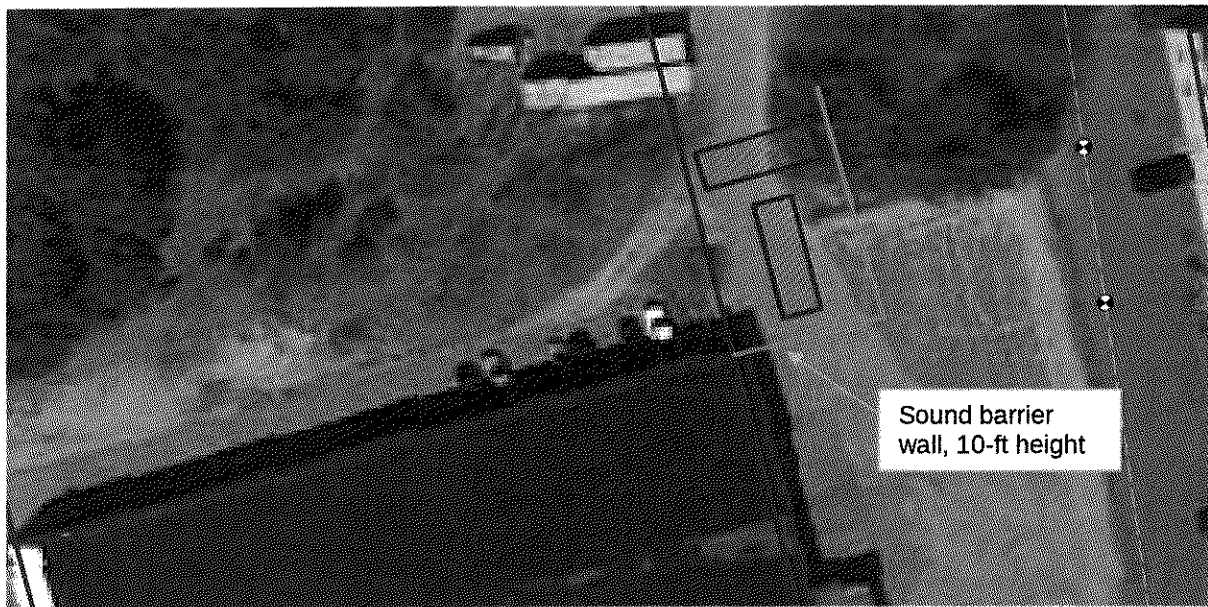
NOISE CONTROL

RECOMMENDATIONS AND RESULTS

You have asked that we determine the noise controls required to achieve 65 dBA at the facility's industrial property lines, and to comply with the MassDEP noise policy.

No noise controls are required to achieve 65 dBA at the facility property line. However, controls are required to not exceed the MassDEP noise policy at the nearest residences to the south. These controls include an L-shaped sound barrier wall of 10' height. FIGURE 3 shows community sound levels with the recommended control measures, with octave-band estimates shown in TABLE 3 (APPENDIX A).

INSET 1 shows the configuration of the sound barrier in greater detail.



INSET 1. Barrier configuration for 65 and 60 dBA facility property line design goals

BARRIER DESIGN REQUIREMENTS

Sound barriers should be solid and continuous, and should achieve a minimum STC rating of 30. If STC data are not available for a given product you may wish to consider, the barrier should be at least 4 lbs/sq ft surface weight in order to be sufficiently-massive for the task at hand. The undercut at the bottom of the barrier should not exceed 6 inches if possible.

For this project, the barriers do not require a sound absorptive treatment on either face. Suitable products for this application include Tuf-Barrier by AIL Sound Walls² or similar.

MODEL RESULTS, NOISE CONTROLS

With the noise controls recommended in this report, we expect that sound produced by the proposed equipment will comply with the criteria described above.

It is possible that some equipment will have reduced fan speeds during nighttime operation, leading to reduced sound levels. Currently, we have assumed that all equipment will run at all hours at maximum capacity. Nighttime sound data for major equipment could influence the noise control recommendations.

* * * * *

² <https://www.ailsoundwalls.com/product/tuf-barrier-reflective/>

I trust this report provides the information you need at this time. Please contact us if you have any questions or comments.

Sincerely,

A handwritten signature in black ink, appearing to read "Andy C.", with a stylized flourish at the end.

Andy Carballeira, INCE Bd Cert
Principal Consultant
617-499-8025

CC: none
Encl: FIGURES
APPENDIX A: Model Inputs and Results

FIGURES

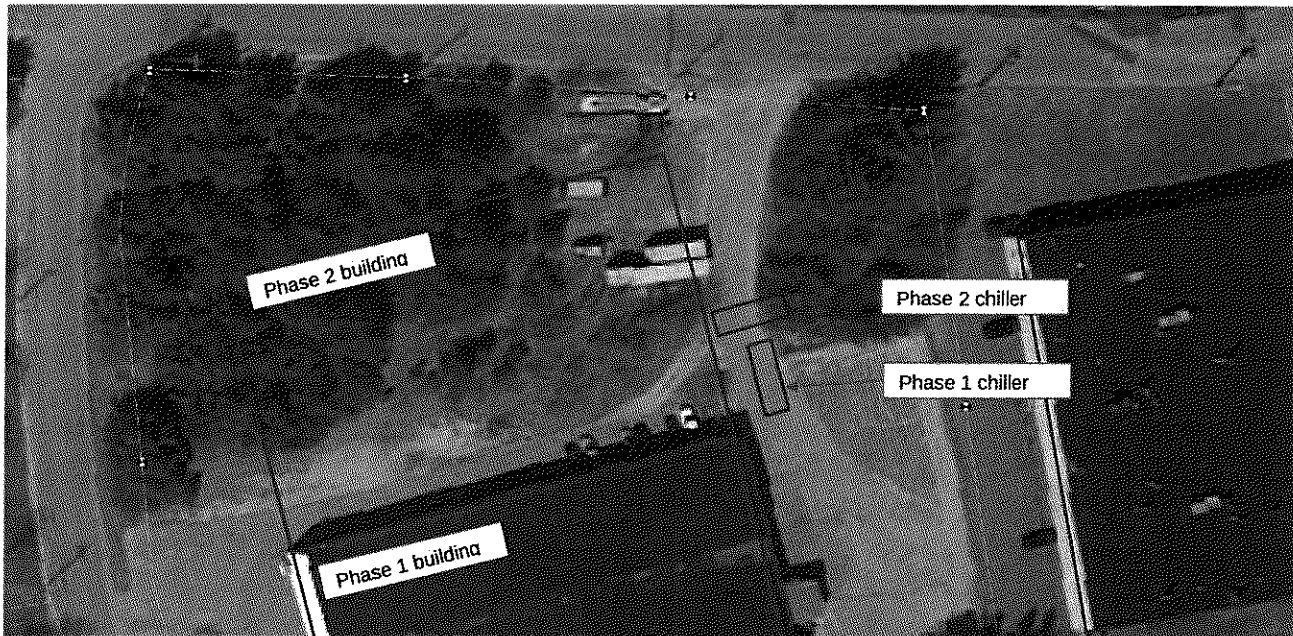


FIGURE 1. Facility layout in computer model (see project mechanical drawings for source locations)

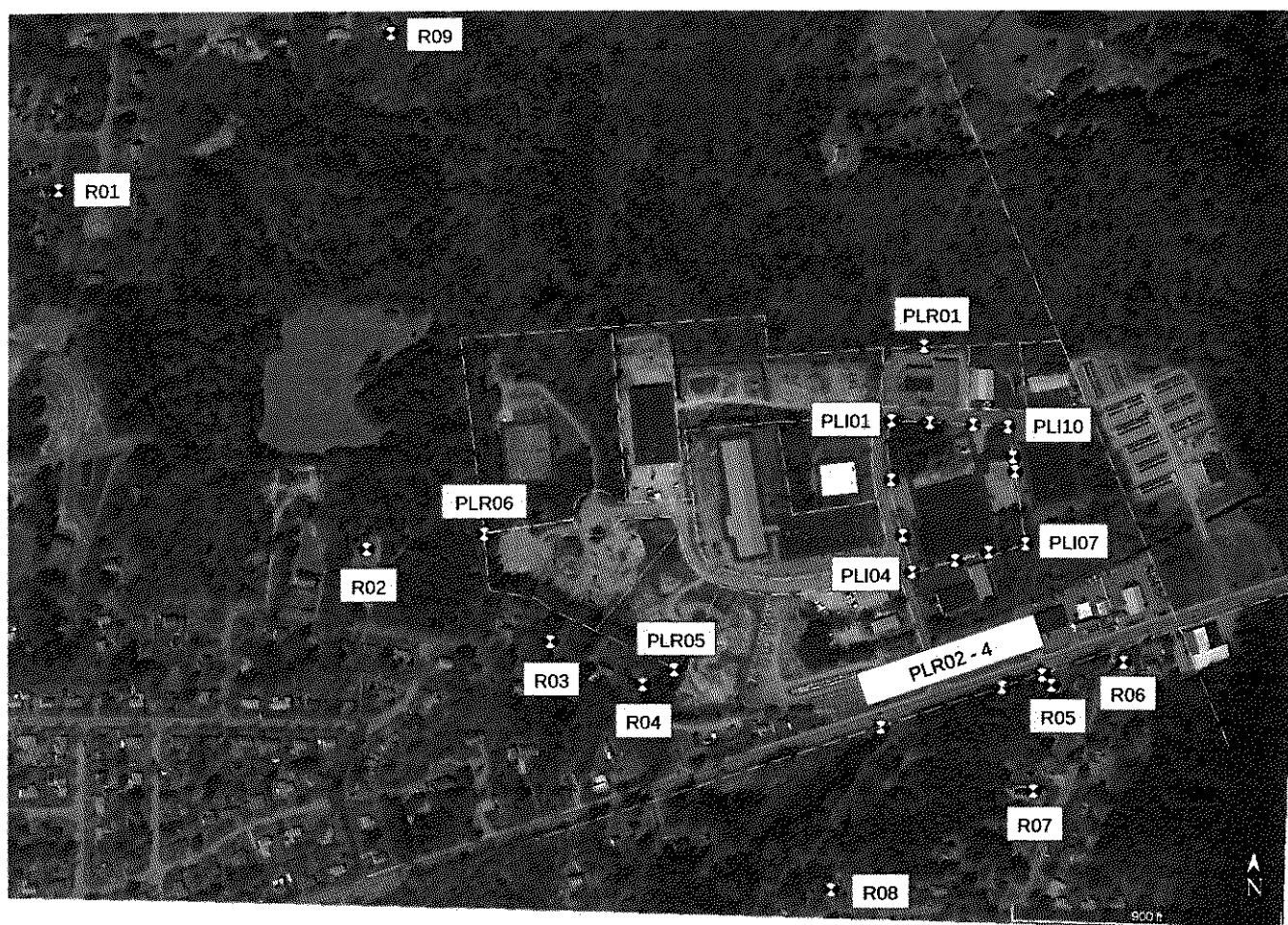


FIGURE 2. Computer model receptor points at residences (R01 – R09), at facility property lines (PLI01 – PLI12), and at residential property lines (PLR01 – PLR06)



FIGURE 3. Estimated Phase 2 community sound levels, noise controls for 65 dBA facility property line limit

APPENDIX A

MODEL INPUTS AND RESULTS

TABLE II. Equipment sound power levels used in computer modeling

Description	Sound power level (dB re: 1pW)								
	63	125	250	500	1000	2000	4000	8000	dBA
Octave-band center frequency (Hz)									
Evapco 2-cell ATWB 24-7020, 3400 gpm	102	98	91	87	86	83	81	82	92
Evapco 2-cell ATWC 12-3M36-Z, 2200 gpm	98	94	88	85	85	83	81	82	90

TABLE III. Estimated nighttime octave-band sound levels with mitigation for 65 dBA goal (dB re: 20 µPa)

Receptor	63	125	250	500	1000	2000	4000	8000	dBA
Residence NW, R01	24	19	9	4	1	0	0	0	8
Residence W, R02	26	21	12	7	5	0	0	0	11
Residence W, R03	25	19	10	6	12	8	0	0	15
Residence W, R04	28	22	13	12	16	12	0	0	19
Residence S, R05	41	38	33	32	31	29	22	4	36
Residence S, R06	42	39	32	32	30	28	21	2	35
Residence S, R07	38	35	29	27	25	22	13	0	30
Residence S, R08	25	19	10	7	5	1	0	0	11
Residence N, R09	28	21	11	7	3	0	0	0	11
Industrial PL 1, PLI01	41	34	24	21	20	18	14	7	26
Industrial PL 2, PLI02	37	31	22	21	20	18	15	8	25
Industrial PL 3, PLI03	37	31	22	21	22	19	14	5	26
Industrial PL 4, PLI04	36	31	22	19	19	16	11	1	24
Industrial PL 5, PLI05	39	34	25	22	20	18	14	6	26
Industrial PL 6, PLI06	43	38	29	25	25	23	19	11	30
Industrial PL 7, PLI07	50	47	40	40	39	38	34	28	45
Industrial PL 8, PLI08	59	56	50	49	48	46	44	43	54
Industrial PL 9, PLI09	60	57	51	50	49	48	46	44	55
Industrial PL 10, PLI10	61	57	50	49	49	48	46	43	55
Industrial PL 11, PLI11	64	60	53	52	52	51	49	47	58
Industrial PL 12, PLI12	46	39	29	26	25	23	20	15	31
Residential PL N, PLR1	49	45	37	36	36	35	31	21	41
Residential PL S, PLR2	42	39	33	32	31	30	24	6	36
Residential PL S, PLR3	40	37	30	27	25	22	16	0	31
Residential PL S, PLR4	34	30	22	19	17	21	12	0	25
Residential PL W, PLR5	29	23	14	13	17	13	2	0	20
Residential PL W, PLR6	28	23	13	9	7	3	0	0	13



Company Background

BLW Engineers, Inc.

311 Great Road
P.O. Box 1551
Littleton, MA 01460

Tel: 978.486.4301
Fax: 978.486.0067

Year Established: 1999

Year Incorporated: 1999

Years in Business: 22

OFFICERS OF THE FIRM

Kenneth R. Beck, P.E., LEED AP, MCPPO, CPHC, Principal	978.486.4301 x 13
William J. Scanlon, P.E., Principal	978.486.4301 x 14
John C. Pierga, P.E., Principal	978.486.4301 x 15
Michael J. Denommee, P.E., LEED AP, Principal	978.486.4301 x 83
Erik Gath, P.E., Associate Principal	978.486.4301 x 72
Daki Koutouvides, P.E., Associate Principal	978.486.4301 x 94

SIZE OF FIRM

MECHANICAL ENGINEERS: 29 ELECTRICAL ENGINEERS: 14 CAD DESIGNERS: 4 OFFICE PERSONNEL: 4

PERSONNEL

Principals/Owners	Kenneth R. Beck, P.E., LEED AP, MCPPO, CPHC, Principal William J. Scanlon, P.E., Principal John C. Pierga, P.E., Principal Michael J. Denommee, P.E., LEED AP, Principal Erik Gath, P.E., Associate Principal Daki Koutouvides, P.E., Associate Principal
Mechanical	Kenneth R. Beck, P.E., LEED AP, MCPPO, CPHC, Principal William J. Scanlon, P.E., Principal Erik Gath, P.E., Associate Principal Vincent Salemi, Engineer Wayne Forte, CAD Designer David Scibilia, Engineer Daniel Crory, Engineer John Pugh, P.E., Engineer Rebekah Drehman, Engineer Jeffrey Fleishman, Engineer Brian Bourgeois, CPHC, Engineer Belinda Vuto, CPHC, Engineer Christopher Wilk, Engineer Alec Nicotra, Engineer Nick Kapuscinski, Engineer John Benham, Engineer Dylan Thombs, Engineer Yovanny Duran, Engineer



Company Background

Plumbing/Fire Protection

Michael J. Denommee, P.E., LEED AP, Principal
David Catanzaro, Senior Engineer
Christopher Gada, Engineer
Cedric Mukania, Engineer
Leo Enrico, Engineer
Keith Young, Engineer
Tyler Allen, Engineer
Joshua A. Ritchie, Engineer
Justin Keene, Engineer
Dustin White, Engineer
Paul Danyliw, Engineer
Nicholas Foley, Engineer

Electrical

John C. Pierga, P.E., Principal
Daki Koutouvides, P.E., Associate Principal
Michael Gagne, Senior Engineer
Scott Daigneault, Engineer
Chadwick Nelson, Revit Designer
Joseph Saint Germain, Engineer
Mark Brodeur, Engineer
David Fitzgerald, Senior Engineer
Shane Wiebe, Designer
Juandiego Gonzalez, Engineer
Joshua Pierga, Designer
Jeremy Careau, P.E., Senior Engineer
Kevin Vanderhoof, Engineer
Chuck Mace, P.E., Senior Engineer
Jeffrey Martin, Engineer
Ethan Rong, Engineer
Jorge A. Elias, Engineer

Administration

Donna Hagens, Operations/Accounting
Maria Fini, Administrative Assistant
Beth Grande, Administrative Assistant
Lauren Opie, Administrative Assistant

OUR ENGINEERING SERVICES

- Feasibility Studies
- Analysis for Existing Facilities
- Energy Conservation/Green Build
- Engineered Designs:
 - Heating, Ventilating and Air Conditioning
 - Mechanical
 - Plumbing
 - Fire Protection
 - Electrical
 - Life Safety
 - Telecommunications
 - Security
 - Fire Alarm
- Construction Administration
- Project Management

BLW ENGINEERS, INC.

311 Great Road, Post Office Box 1551, Littleton, MA 01460

CONSULTANTS

T: 978.486.4301 F: 978.428.0067



Company Background

HISTORY AND EXPERIENCE

BLW Engineers is a consulting engineering firm providing design related services for HVAC, Plumbing, Fire Protection and Electrical building systems. Our services include feasibility studies, energy conservation evaluations, and engineered designs; cost estimating, construction administration and project management.

BLW Engineers, Inc. was founded in 1999 and has 51 employees, including electrical, mechanical, plumbing and fire protection engineers. BLW has extensive experience working within corporate environments and understands the special needs and time frames involved when working within occupied facilities. Our project managers are registered professional engineers that work on each project to ensure a complete and fully operable system will be provided.

Principals Kenneth R. Beck, William J. Scanlon, John C. Pierga and Michael J. Denommee have experience in the design of building systems for various size and types of projects. In addition, the firm is thoroughly experienced with the preparation of bidding documents for public bidding laws, including M.G.L. c.149 and c.30.

Kenneth R. Beck, Principal, William J. Scanlon, Principal and Erik Gath, Associate Principal are mechanical engineers and project managers for several multi-disciplined projects. Responsibilities include mechanical design, quality control, construction administration, client relations and personnel management.

John C. Pierga, Principal and Daki S. Koutouvides, Associate Principal are electrical engineers and project managers responsible for electrical engineering design, project coordination, construction administration and supervision and training of junior personnel.

Michael J. Denommee, Principal is a plumbing and fire protection engineer and project manager for several multi-disciplined projects. Responsibilities include plumbing and fire protection design, quality control, construction administration, client relations and personnel management.

Our Mechanical Engineering staff has extensive experience in the mechanical, plumbing and fire protection industry. The staff that will be assigned to this project will consist of a Project Manager, Senior Mechanical Engineer and additional mechanical engineers as needed. The Project Manager, Kenneth Beck is a Principal of the company with over 30 years of experience, is a Registered Professional Engineer in Massachusetts, LEED Certified for green build projects and is a Certified Passive House Consultant. Ken will oversee design and will be involved through construction right up to the final inspection.

Our Electrical Engineering staff has extensive experience in the electrical lighting and power industry and is up to date on all the latest standards, codes and guidelines for the Electrical Industry. The staff that will be assigned to this project will consist of a Senior Electrical Engineer and additional electrical engineers as needed. John Pierga, a Principal of the company and a Registered Professional Engineer in Massachusetts with over 30 years of experience will oversee the electrical design through construction right up to the final inspection.

BLW is dedicated to providing engineering services of the highest quality, innovative solutions and attention to detail for large projects to the most intricate design plans. Our firm realizes the importance of providing complete and coordinated designs that focus on the particular project requirements in a professional setting with complete client satisfaction; our reputation depends on it.



September 25, 2019

Jaime Lewis
Neo Organics
635 Boston Post Road #184
Sudbury, MA 01776

Phone 415-519-1063

Subject Noise Mitigation Plan
Neo-Organics Cannabis Cultivation Facility – Medway, MA
Acentech Project No. 632403

Dear Jaime,

Neo-Organics has retained Acentech to conduct a study of community noise produced by mechanical equipment serving proposed cannabis cultivation and processing facility located at 4 Marc Road in Medway, Massachusetts (the facility). Acentech has worked with Neo-Organics to develop this Noise Mitigation Plan, which is required as part of the Town of Medway's Special Permit Process. This Noise Mitigation Plan has been reviewed by an acoustical consultant whose qualifications include Institute of Noise Control Engineering (INCE) board certification.

We have reviewed project drawings and sound data for submitted noise-producing equipment to develop a community noise model. From the results of this modeling, we have developed concept noise-control recommendations.

PROJECT NOISE REQUIREMENTS OF THE TOWN OF MEDWAY

The Medway noise ordinance as currently written has outdated octave-band limits. The Town of Medway and their noise peer review consultant (NCE, Billerica, MA) have estimated corresponding limits in the current octave-bands in connection with another nearby facility, and we have referred to these estimates to facilitate our work. The daytime and nighttime noise limits from the ordinance in modern octave bands are shown below in TABLE 1. The daytime noise limits are 5 dB greater than the nighttime limits. We understand the noise ordinance to be applicable at the source property lines.

TABLE I. Medway Noise Ordinance

Octave-band center frequency (Hz)	63	125	250	500	1000	2000	4000	8000
Nighttime	67	55	48	42	38	35	32	28
Daytime	72	60	53	47	43	40	37	33

Our current engagement does not include review of facility sound in connection with the noise policies of the MassDEP, but based on our experience, **we recommend that noise levels at the nearest residences should not exceed ~30 dBA during nighttime hours.** Further, MassDEP has a noise policy preventing tonal noise. Determining compliance with the tonal requirements was not within the scope of our study.

COMMUNITY NOISE MODELING

Model Description

We have developed a computer model of facility sound using CadnaA, an acoustic modeling software that considers 3-dimensional propagation of sound. This model implements the methods and equations of ISO 9613-2 “Attenuation of sound during propagation outdoors -- Part 2: General method of calculation”. FIGURE 2 presents the receptor locations used in computer modeling.

The facility has noise-producing equipment located on grade that includes a 300 kw generator, a transformer, air handling units, and condensing units. In addition, there are two rooftop exhaust fans. The mechanical equipment is identified in FIGURE I. The sound power levels of the equipment are given in TABLE II below. APPENDIX A includes the sound data sheets from the manufacturers. Currently, we have assumed that all equipment, except the generator, will run at all hours at maximum capacity.

TABLE II. Equipment sound power levels used in computer modeling

Description	Sound power level (dB re: 1pW)								
Octave-band center frequency (Hz)	63	125	250	500	1000	2000	4000	8000	dBA
300 kw Generator*	83	89	91	96	96	91	86	81	99
Exhaust Fan (EF-X)	80	77	76	68	64	63	59	53	72
Air Handling Unit (AHU-1)	89	97	94	92	89	83	79	75	94
Ground mounted unit (GRTU-1)	89	85	87	81	79	78	73	62	85
GPod Condenser Small (GPCU-1)	73	74	69	68	66	62	56	52	71
GPod Condenser Large (GPCU-2)	38	55	56	60	62	61	52	49	66
Trane Condenser (CU-1)**	65	62	59	56	53	50	47	44	59
Trane Condenser (DCU)**	56	53	50	47	44	41	38	35	50
Mitsubishi Condenser (CU-2)**	65	62	59	56	53	50	47	44	59
2000 kVA Transformer***	80	82	77	77	71	66	61	54	77

* We have assumed daytime maintenance testing only.

**Octave band data unavailable, assumed spectrum.

*** Sound data estimated based on NEMA rating.

Model Results, No Noise Controls

Based on our baseline computer model (as designed, no noise mitigation), we expect that the proposed equipment will *not* comply with the Medway noise ordinance at all facility property lines (see APPENDIX B, Table IV).

Noise Control Recommendations

A partial contribution analysis of the noise-producing equipment revealed that the most significant noise sources are the GRTUs and AHUs. To mitigate the noise from these sources, we recommend placing barriers, identified in FIGURE 3, around the sources (3 m tall barriers for GRTUs, 4.5 m tall barriers for AHUs). We also recommend that you select a generator and enclosure that meets the criteria 64 dBA at a distance of 7 m.

Model Results, Noise Controls

TABLE III summarizes the calculated noise levels at the property lines with noise control applied. The estimated sound levels created by MEP equipment are all below the octave-band provisions of the Medway noise regulation.

However, our model predicts that the transformer will exceed the criteria by 1 dB in the 500 Hz octave band at one property line receptor. We have used generic estimates of transformer sound power levels based on the estimated NEMA rating and surface area. The 1 dB exceedance is within the uncertainty of our model, which we can refine upon receipt of more representative sound data.

It is possible that some equipment will have reduced fan speeds during nighttime operation, leading to reduced sound levels. Currently, we have assumed that all equipment, except the generator, will run at all hours at maximum capacity. Nighttime sound data for major equipment could influence the following noise control recommendations.

TABLE III. Estimated nighttime octave-band sound levels at facility property lines (dB re: 20 μ Pa)

Receptor	63	125	250	500	1000	2000	4000	8000
PL01	45	51	45	42	37	29	23	<20
PL02	45	46	41	39	35	29	23	<20
PL03	42	39	39	35	32	29	21	<20
PL04	47	44	45	39	37	35	28	<20
PL05	49	45	47	40	37	35	29	<20
PL06	42	38	39	35	32	29	20	<20
PL07	37	32	32	29	26	22	<20	<20
PL08	34	34	29	25	24	<20	<20	<20
PL09	36	40	36	31	26	20	<20	<20
PL10	37	40	37	32	27	21	<20	<20
PL11	40	45	40	36	31	24	<20	<20
PL12	42	47	42	38	32	25	<20	<20
PL13	41	46	41	37	31	24	<20	<20
PL14	48	52	47	43	38	31	26	<20
Medway Noise Ordinance	67	55	48	42	38	35	32	28

Full modeling results with and without mitigation are shown in APPENDIX B.

* * * * *

I trust this memo provides the information you need at this time. Please contact us if you have any questions or comments.

Sincerely,



Andy Carballeira, INCE Bd Cert
Senior Consultant
617-499-8025



Alex Odom
Consultant
617-499-8027

CC: Alex Odom (Acentech)
Encl: FIGURES
APPENDIX A: Manufacturer Noise Data
APPENDIX B: Modeling Results

FIGURES

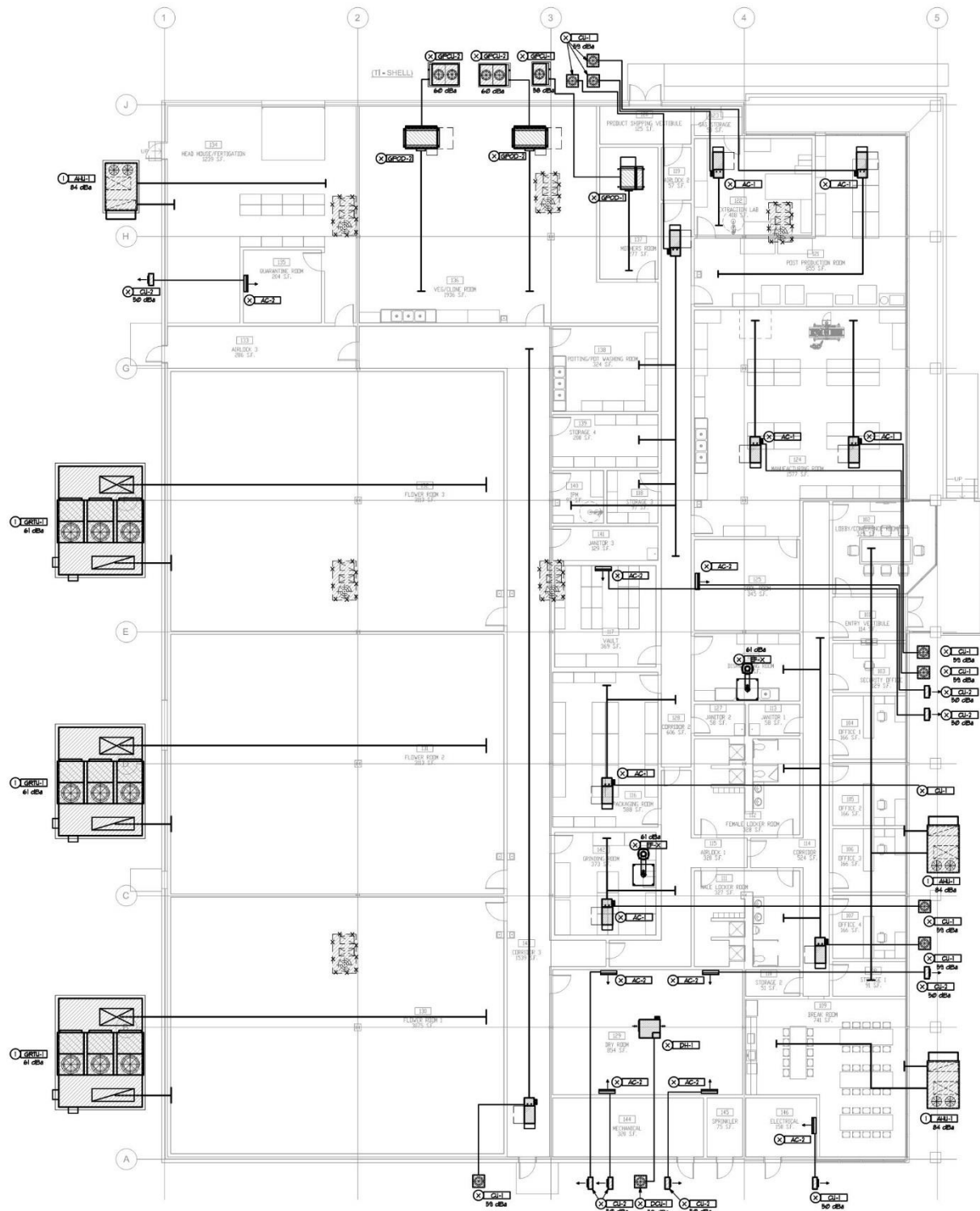


FIGURE 1. Facility Mechanical Plan



FIGURE 2. Computer model receptor points on source property line and beyond



FIGURE 3. Recommended Noise Control Solutions, Barriers shown in Orange around GRTUs and AHUs

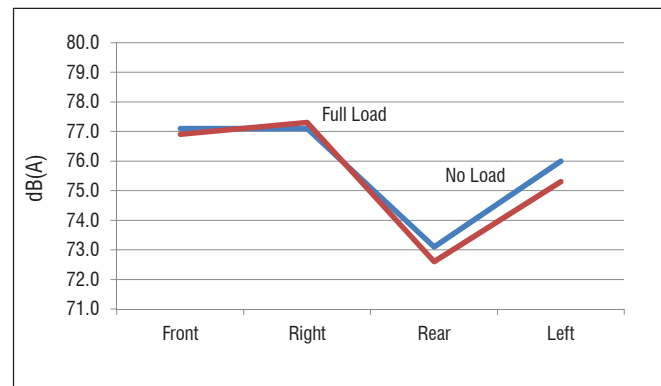
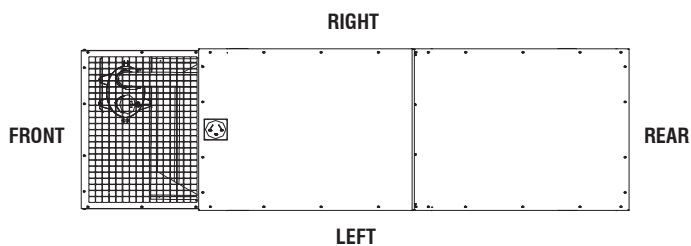
APPENDIX A

MANUFACTURER NOISE DATA

LEVEL 2 ACOUSTIC ENCLOSURE SD300 10.3L FPT

60Hz NO-LOAD DATA, dB(A)										DISTANCE: 7 METERS
MICROPHONE LOCATION	OCTAVE BAND CENTER FREQUENCY (Hz)									
	31.5	63	125	250	500	1000	2000	4000	8000	dB(A)
FRONT	45.9	57.9	62.8	67.0	73.2	71.6	65.6	64.9	60.7	77.1
RIGHT	43.9	61.4	64.9	67.3	70.7	73.0	68.8	62.7	58.1	77.1
REAR	40.1	55.9	62.1	65.2	68.1	68.2	61.7	54.9	49.2	73.1
LEFT	41.5	58.9	65.7	64.9	71.4	70.8	66.9	60.1	56.2	76.0
AVERAGE	42.9	58.5	63.9	66.1	70.9	70.9	65.7	60.6	56.0	75.8

60Hz FULL-LOAD DATA, dB(A)										DISTANCE: 7 METERS
MICROPHONE LOCATION	OCTAVE BAND CENTER FREQUENCY (Hz)									
	31.5	63	125	250	500	1000	2000	4000	8000	dB(A)
FRONT	46.9	58.3	64.5	68.6	73.1	69.1	67.5	65.2	61.3	76.9
RIGHT	44.0	60.6	66.4	67.8	72.4	70.8	69.2	64.9	61.6	77.3
REAR	41.9	57.4	62.7	65.0	68.6	65.5	60.7	56.2	53.9	72.6
LEFT	43.4	60.6	66.6	65.4	71.5	67.6	64.7	61.2	60.4	75.3
AVERAGE	44.0	59.2	65.1	66.7	71.4	68.2	65.5	61.9	59.3	75.6



1. All positions at 23 feet (7 meters) from side faces of generator set.
2. Test conducted on a 100 foot diameter asphalt surface.
3. Sound pressure levels are subject to instrumentation, installation and testing conditions.

**TRANE®**Job Name: Clover
Prepared By: Impact Engineering
Unit Tag: 15 Ton
Quantity: 1

Trane Voyager Gas/Electric Packaged Rooftop

Unit Overview - YHD180G4RHB**00B1A10000000000000000000000

Application	Unit Size	Supply Fan		External Dimensions (in.)			Weight		EER	IEER/SEER
Gas/Electric	15 Ton	Airflow	External Static Pressure	Height	Width	Length	Minimum	Maximum	12.1 EER	14.00
		6000 cfm	1.000 in H2O	66.250 in	84.188 in	121.688 in	2241.0 lb	2663.0 lb		

Unit Features

Panels/Filters Std panels/2" pltd filters MERV 8

Unit Electrical

Voltage/phase/hertz	460/60/3
MCA	33.00 A
MOP	45.00 A



Controls

Unit Controls Reliatel

Cooling Section

Entering Dry Bulb		80.00 F	Capacity	
Entering Wet Bulb		67.00 F	Gross Total	180.52 MBh
Ambient Temp		95.00 F	Gross Sensible	142.17 MBh
Leaving Coil Dry Bulb		58.06 F	Net Total	171.67 MBh
Leaving Coil Wet Bulb		57.30 F	Net Sensible	133.32 MBh
Leaving Unit Dry Bulb		59.77 F	Fan Motor Heat	8.85 MBh
Leaving Unit Wet Bulb		57.96 F	Refrig Charge-circuit 1	13.0 lb
Refrigeration System Options			Refrig Charge-circuit 2	8.5 lb
Leaving Dew Point		56.82 F		

Heating Section

Heat Type	Gas
Heating Stages	2
Output Heating Capacity	280.00 MBh
Heating EAT	55.00 F
Heating LAT	98.01 F
Heating Temp Rise	43.01 F

Fan Section

Indoor Fan Data		Outdoor Fan Data	
Type	FC Centrifugal	Type	Propeller
Drive Type	Belt	Fan Quantity	2
Indoor Fan Performance		Drive Type	Direct
Airflow	6000 cfm	Outdoor Fan Performance	
Design ESP	1.000 in H2O	Outdoor Motor Power	0.89 kW
Component SP	0.040 in H2O	Condenser Fan FLA	1.35 A
Total SP	1.058 in H2O	Exhaust Fan Performance	
Indoor Motor Operating Power	2.81 bhp	Exhaust Fan FLA	4.80 A
Indoor Motor Power	2.09 kW		
Indoor RPM	709 rpm		

Compressor Section

Power	12.28 kW
Circuit 1 RLA	14.70 A
Circuit 2 RLA	7.00 A

Accessories

Roof curb yes

Acoustics

Sound Path	63 Hz	125 Hz	250 Hz	500 Hz	1 kHz	2 kHz	4 kHz	8 kHz
Ducted Discharge	87 dB	82 dB	76 dB	79 dB	72 dB	70 dB	69 dB	63 dB
Ducted Inlet	91 dB	82 dB	74 dB	70 dB	65 dB	60 dB	60 dB	53 dB
Outdoor Noise	89 dB	97 dB	94 dB	92 dB	89 dB	83 dB	79 dB	75 dB

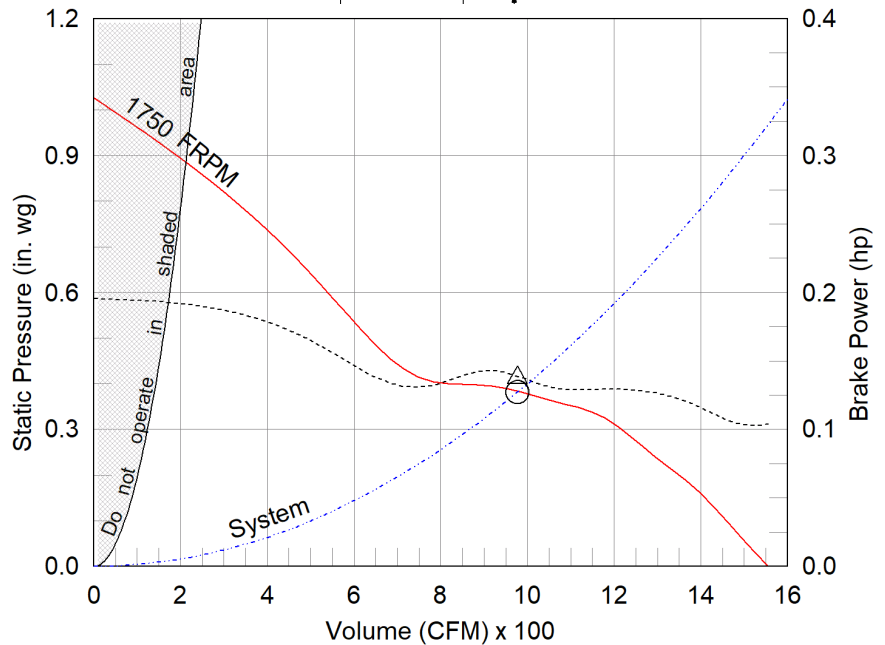
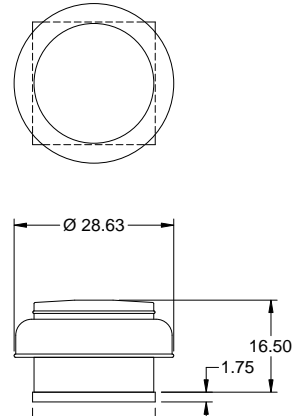
Model: AE-12-433-A4

Propeller Hooded Roof Direct Drive Exhaust Fan

Dimensional	
Quantity	1
Weight w/o Acc's (lb)	41
Weight w/ Acc's (lb)	43
Max T Motor Frame Size	0
Roof Opening (in.)	14.5 x 14.5

Performance	
Requested Volume (CFM)	1,000
Actual Volume (CFM)	976
Total External SP (in. wg)	0.381
Fan RPM	1750
Operating Power (hp)	0.14
Elevation (ft)	663
Airstream Temp.(F)	75
Air Density (lb/ft3)	0.073
Tip Speed (ft/min)	5,498
Static Eff. (%)	43

Motor	
Motor Mounted	Yes
Size (hp)	1/4
Voltage/Cycle/Phase	115/60/1
Enclosure	ODP
Motor RPM	1750
Windings	1



- △ Operating Bhp point
- Operating point at Total External SP
- Fan curve
- System curve
- Brake horsepower curve

Static Pressure Calculations

External SP	0.4 in. wg
Direct Drive RPM Adjustment	-0.019 in. wg
Total External SP	0.381 in. wg

Sound Power by Octave Band

Sound Data	62.5	125	250	500	1000	2000	4000	8000	LwA	dBA	Sones
Inlet	80	77	76	68	64	63	59	53	72	61	11.1

Notes:

All dimensions shown are in units of in.
*Please consult factory for actual motor amp draw
LwA - A weighted sound power level, based on ANSI S1.4
dBA - A weighted sound pressure level, based on 11.5 dB
attenuation per Octave band at 5 ft - dBA levels are not
licensed by AMCA International
Sones - calculated using AMCA 301 at 5 ft



Acoustic Analysis Report

Project	GRW
Date	September 13, 2019

PROJECT: GRW
LOCATION:
DATE: SEPTEMBER 13, 2019
REVISION:

REP NAME:
REP OFFICE:
ENGINEER:
CONTRACTOR:



General Unit Information:

Model: GRW

Tag: Unit 1

Casing: 0.08 Aluminum

Insulation Type: 3.5" Fiberglass

Liner: 0.08 Aluminum

Latent Fans: APM Size 27 Dual

Airflow: 22,000 CFM

TSP: 4.11 in.w.g.

Fan Speed: 1456 RPM

Sensible Fans: APD Size 355 Dual

Airflow: 4,070 CFM

TSP: 3.23 in.w.g.

Fan Speed: 2365 RPM

Compressors:

Qty 3 ZPDT31 Digital Tandem

Qty 3 ZPDT36 Digital Tandem

Cond Fans

Qty 6 33" fans, ~860 RPM, 10 degrees

Sound Analysis Definitions:

Sum = Logarithmic addition of sound sources less attenuation of components and adjustment for receiver distance.

Target = target sound pressure level at a specified distance

Current = A-weighted sound pressure (dBA) or sound power (LwA) level of the sum values

PROJECT: GRW
 LOCATION:
 DATE: SEPTEMBER 13, 2019
 REVISION:

REP NAME:
 REP OFFICE:
 ENGINEER:
 CONTRACTOR:



CONDENSER FANS

Element	63Hz	125Hz	250Hz	500Hz	1KHz	2KHz	4KHz	8KHz	Comments
Condenser Fan 1	78	74	74	72	71	70	65	53	
Condenser Fan 2	78	74	74	72	71	70	65	53	
Condenser Fan 3	78	74	74	72	71	70	65	53	
Condenser Fan 4	78	74	74	72	71	70	65	53	
Condenser Fan 5	78	74	74	72	71	70	65	53	
Condenser Fan 6	78	74	74	72	71	70	65	53	
Receiver	-24	-24	-24	-24	-24	-24	-24	-24	
Sum	62	58	58	56	55	54	49	37	

Target:

Current: 60 dBA

Notes:

Sound data created by theoretical methods

Sound pressure calculated at a distance of 20 feet using a directivity factor (Q) of 2 assuming one reflective surface. The environment influences sound pressure, therefore dBA levels cannot be guaranteed.

LATENT FANS RADIATED

Element	63Hz	125Hz	250Hz	500Hz	1KHz	2KHz	4KHz	8KHz	Comments
Supply Fan - Dual	89	92	98	93	90	85	80	77	
Breakout - <i>Cabinet Attenuation</i>	-11	-15	-20	-31	-38	-40	-40	-40	Thermoshield Cabinet
Receiver	-24	-24	-24	-24	-24	-24	-24	-24	
Sum	54	53	54	38	28	21	16	13	

Target:

Current: 46 dBA

Notes:

Sound data created by theoretical methods

Sound pressure calculated at a distance of 20 feet using a directivity factor (Q) of 2 assuming one reflective surface. The environment influences sound pressure, therefore dBA levels cannot be guaranteed.

PROJECT: GRW
 LOCATION:
 DATE: SEPTEMBER 13, 2019
 REVISION:

REP NAME:
 REP OFFICE:
 ENGINEER:
 CONTRACTOR:



LATENT FANS AT FA INLET

Element	63Hz	125Hz	250Hz	500Hz	1KHz	2KHz	4KHz	8KHz	Comments
Supply Fan - Dual	83	88	96	87	81	79	75	72	Inlet
4 Row Coil	0	-3	-3	-5	-6	-6	-8	-8	
6 Row Coil	0	-3	-5	-5	-7	-7	-9	-8	
6 Row Coil	0	-3	-5	-5	-7	-7	-9	-8	
4" Panel Filter	0	-1	-1	-2	-1	-3	-4	-4	
Receiver	-24	-24	-24	-24	-24	-24	-24	-24	
Sum	59	54	58	46	36	32	21	20	

Target:

Current: 51 dBA

Notes:

Sound data created by theoretical methods

Sound pressure calculated at a distance of 20 feet using a directivity factor (Q) of 2 assuming one reflective surface. The environment influences sound pressure, therefore dBA levels cannot be guaranteed.

SENSIBLE FANS RADIATED

Element	63Hz	125Hz	250Hz	500Hz	1KHz	2KHz	4KHz	8KHz	Comments
Sensible Fan - Dual	84	83	85	82	82	78	75	70	
Breakout - <i>Cabinet Attenuation</i>	-11	-15	-20	-31	-38	-40	-40	-40	Thermoshield Cabinet
Receiver	-24	-24	-24	-24	-24	-24	-24	-24	
Sum	49	44	41	27	20	14	11	6	

Target:

Current: 35 dBA

Notes:

Sound data created by theoretical methods

Sound pressure calculated at a distance of 20 feet using a directivity factor (Q) of 2 assuming one reflective surface. The environment influences sound pressure, therefore dBA levels cannot be guaranteed.

PROJECT: GRW
 LOCATION:
 DATE: SEPTEMBER 13, 2019
 REVISION:

REP NAME:
 REP OFFICE:
 ENGINEER:
 CONTRACTOR:



SENSIBLE FAN AT FA INLET

Element	63Hz	125Hz	250Hz	500Hz	1KHz	2KHz	4KHz	8KHz	Comments
Sensible Fan - Dual	84	83	85	78	73	73	70	66	Inlet
4 Row Coil	0	-3	-3	-5	-6	-6	-8	-8	
4" Panel Filter	0	-1	-1	-2	-1	-3	-4	-4	
Receiver	-24	-24	-24	-24	-24	-24	-24	-24	
Sum	60	55	57	47	42	40	34	30	

Target:

Current: 51 dBA (NC 49 / RC 43)

Notes:

Sound data created by theoretical methods

Sound pressure calculated at a distance of 20 feet using a directivity factor (Q) of 2 assuming one reflective surface. The environment influences sound pressure, therefore dBA levels cannot be guaranteed.

COMPRESSORS RADIATED

Element	63Hz	125Hz	250Hz	500Hz	1KHz	2KHz	4KHz	8KHz	Comments
ZPDT36 Compressor 1	73	63	71	78	79	80	76	71	
ZPDT36 Compressor 2	73	63	71	78	79	80	76	71	
ZPDT36 Compressor 3	73	63	71	78	79	80	76	71	
ZPDT31 Compressor 1	68	57	62	76	76	79	73	69	
ZPDT31 Compressor 2	68	57	62	76	76	79	73	69	
ZPDT31 Compressor 3	68	57	62	76	76	79	73	69	
Breakout - <i>Cabinet Attenuation</i>	-11	-15	-20	-31	-38	-40	-40	-40	Thermoshield Cabinet
Receiver	-24	-24	-24	-24	-24	-24	-24	-24	
Sum	43	29	32	31	24	24	19	15	

Target:

Current: 32 dBA

Notes:

Sound data created by theoretical methods

Sound pressure calculated at a distance of 20 feet using a directivity factor (Q) of 2 assuming one reflective surface. The environment influences sound pressure, therefore dBA levels cannot be guaranteed.

PROJECT: GRW
 LOCATION:
 DATE: SEPTEMBER 13, 2019
 REVISION:

REP NAME:
 REP OFFICE:
 ENGINEER:
 CONTRACTOR:



COMPRESSORS AT FA INLET

Element	63Hz	125Hz	250Hz	500Hz	1KHz	2KHz	4KHz	8KHz	Comments
ZPDT36 Compressor 1	73	63	71	78	79	80	76	71	
ZPDT36 Compressor 2	73	63	71	78	79	80	76	71	
ZPDT36 Compressor 3	73	63	71	78	79	80	76	71	
ZPDT31 Compressor 1	68	57	62	76	76	79	73	69	
ZPDT31 Compressor 2	68	57	62	76	76	79	73	69	
ZPDT31 Compressor 3	68	57	62	76	76	79	73	69	
Breakout - <i>Cabinet Attenuation</i>	-11	-14	-17	-23	-29	-35	-35	-35	Internal Walls
Receiver	-24	-24	-24	-24	-24	-24	-24	-24	
Sum	43	30	35	39	33	29	24	20	

Target:

Current: 39 dBA

Notes:

Sound data created by theoretical methods

Sound pressure calculated at a distance of 20 feet using a directivity factor (Q) of 2 assuming one reflective surface. The environment influences sound pressure, therefore dBA levels cannot be guaranteed.

SINGLE UNIT SUMMATION

Path	63Hz	125Hz	250Hz	500Hz	1KHz	2KHz	4KHz	8KHz
Condenser Fans	62	58	58	56	55	54	49	37
Latent Fans Radiated	54	53	54	38	28	21	16	13
Latent Fans at FA inlet	59	54	58	46	36	32	21	20
Sensible Fans Radiated	49	44	41	27	20	14	11	6
Sensible Fan at FA inlet	60	55	57	47	42	40	34	30
Compressors Radiated	43	29	32	31	24	24	19	15
Compressors at FA Inlet	43	30	35	39	33	29	24	20
Sum	65	61	63	57	55	54	49	38

Current: 61 dBA

Notes:

Sound data created by theoretical methods

Sound pressure calculated at a distance of 20 feet using a directivity factor (Q) of 2 assuming one reflective surface. The environment influences sound pressure, therefore dBA levels cannot be guaranteed.

AIR FLOW DATA

SYSTEM SIZE	36K	48K	58K
Outdoor (CFM)	2,130	4,500	4,415

SOUND PRESSURE

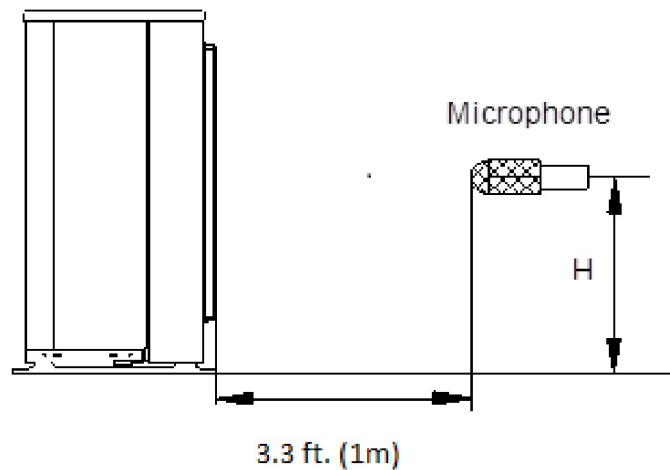
SYSTEM SIZE		36K	48K	58K
Outdoor sound pressure level	dBa	63	62.5	64

SOUND PRESSURE IN OCTAVE BANDS

SIZE	Frequency (Hz)	63	125	250	500	1000	2000	4000	8000
36K	Cooling dB(A)	51.3	59.2	56.3	51.3	49.4	46.8	42.6	35.7
	Heating dB(A)	53.8	62.3	60.8	53.7	52.0	48.4	45.8	37.8
48K	Cooling dB(A)	59.2	61.6	55.9	58.1	59.6	51.9	47.8	43.8
	Heating dB(A)	65.1	66.1	61.3	59.7	58.2	54.1	47.5	43.6
58K	Cooling dB(A)	22.9	41.3	46.6	50.1	50.8	52.6	46.0	40.4
	Heating dB(A)	30.0	46.8	48.4	52.0	54.3	52.8	43.7	41.3

OUTDOOR UNIT SOUND PRESSURE TEST CONDITIONS

Outdoor Unit



NOTE: $H = 0.5 \times \text{Height of outdoor unit}$

	INDOOR CONDITION		OUTDOOR CONDITION	
	DB	WB	DB	WB
Cooling	80.6F (27C)	66.2F (19C)	95F (35C)	75.2F (24C)
Heating	68F (20C)	59F (15C)	44.6F (7C)	42.8F (6C)

APPENDIX B

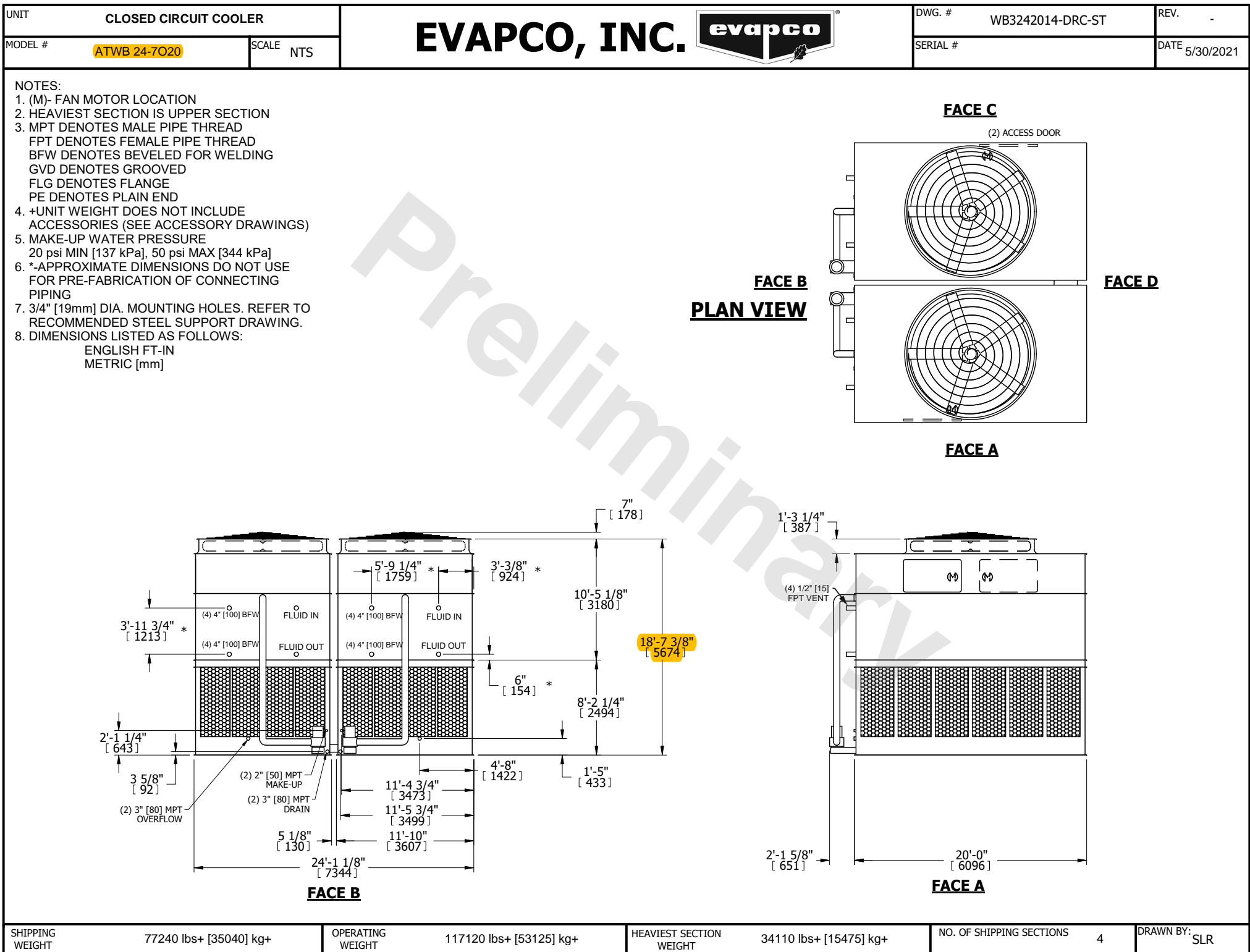
MODELING RESULTS

TABLE IV. Estimated nighttime octave-band sound levels without mitigation (dB re: 20 μ Pa)

Receptor	63	125	250	500	1000	2000	4000	8000	dBA
R01	26	24	25	<20	20	<20	<20	<20	23
R02	32	31	32	25	23	<20	<20	<20	28
R03	34	34	33	28	25	22	<20	<20	31
R04	36	39	36	33	29	24	<20	<20	34
R05	36	41	38	35	32	27	20	<20	37
R06	39	44	41	40	37	30	21	<20	41
R07	40	44	41	39	37	30	20	<20	41
PL01	51	58	53	51	49	43	38	30	54
PL02	51	55	50	49	46	41	35	27	51
PL03	42	42	41	36	34	34	28	<20	40
PL04	47	46	48	45	43	42	36	22	48
PL05	49	48	52	46	44	43	37	24	50
PL06	42	39	43	39	37	36	29	<20	43
PL07	36	35	35	30	35	30	22	<20	38
PL08	40	43	38	36	38	31	22	<20	41
PL09	44	50	44	43	42	35	27	<20	46
PL10	45	51	46	45	43	37	30	<20	47
PL11	48	55	51	49	48	42	36	24	52
PL12	49	56	52	51	49	43	37	27	53
PL13	49	55	50	49	47	41	35	25	51
PL14	55	62	57	56	54	48	43	36	58
Medway Noise Ordinance	67	55	48	42	38	35	32	28	-

TABLE V. Estimated nighttime octave-band sound levels with mitigation (dB re: 20 μ Pa)

Receptor	63	125	250	500	1000	2000	4000	8000	dBA
R01	26	22	23	18	15	10	-6	-54	20
R02	32	30	30	23	20	15	4	-25	26
R03	34	32	33	27	24	21	11	-16	30
R04	36	33	31	27	26	22	12	-12	31
R05	34	37	33	29	25	20	10	-12	31
R06	35	39	34	32	27	19	8	-16	33
R07	34	39	34	32	26	18	7	-19	32
PL01	45	51	45	42	37	29	23	13	43
PL02	45	46	41	39	35	29	23	13	40
PL03	42	39	39	35	32	29	21	3	38
PL04	47	44	45	39	37	35	28	13	43
PL05	49	45	47	40	37	35	29	15	44
PL06	42	38	39	35	32	29	20	7	38
PL07	37	32	32	29	26	22	13	-5	31
PL08	34	34	29	25	24	19	10	-2	28
PL09	36	40	36	31	26	20	11	-5	33
PL10	37	40	37	32	27	21	12	-2	34
PL11	40	45	40	36	31	24	17	5	38
PL12	42	47	42	38	32	25	18	7	39
PL13	41	46	41	37	31	24	18	6	38
PL14	48	52	47	43	38	31	26	17	45
Medway Noise Ordinance	67	55	48	42	38	35	32	28	-





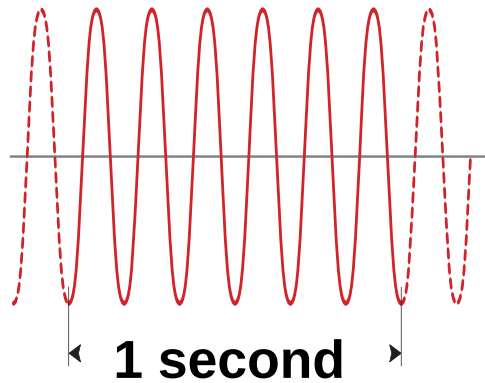
Amplitude

- Sound pressure [Pa] -> sound pressure level [dB]
- Humans can hear ~ 13 orders of magnitude
- Decibel (dB) is a ***log ratio***
 - Unitless
 - Manageable scale (roughly 0 to 130 dB)
 - Better matches perception (loudness)
 - “pressure level” and “power level”

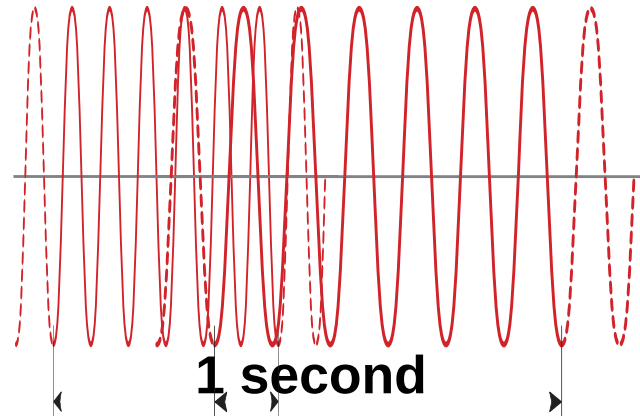


Frequency

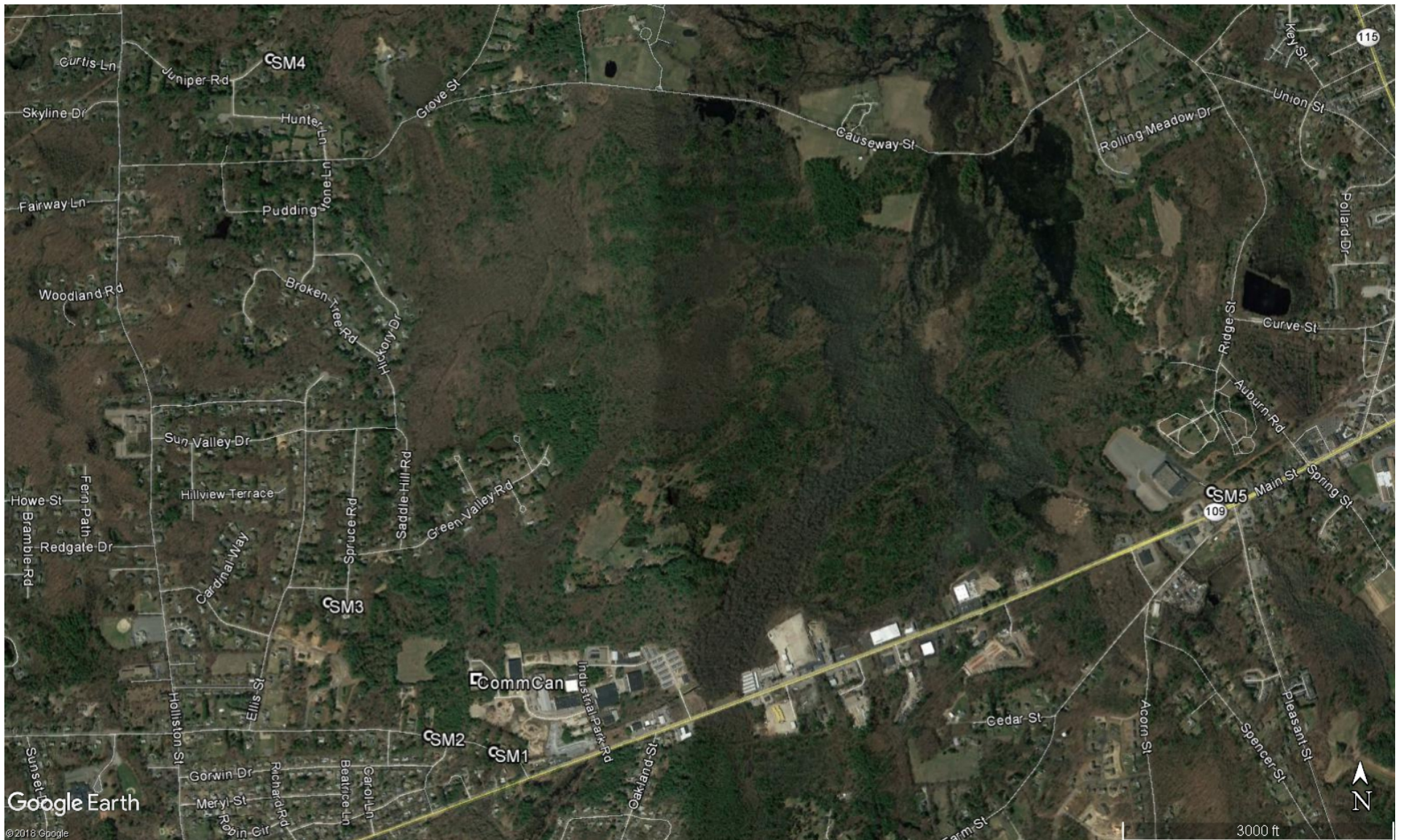
High Frequency
("Hissy")



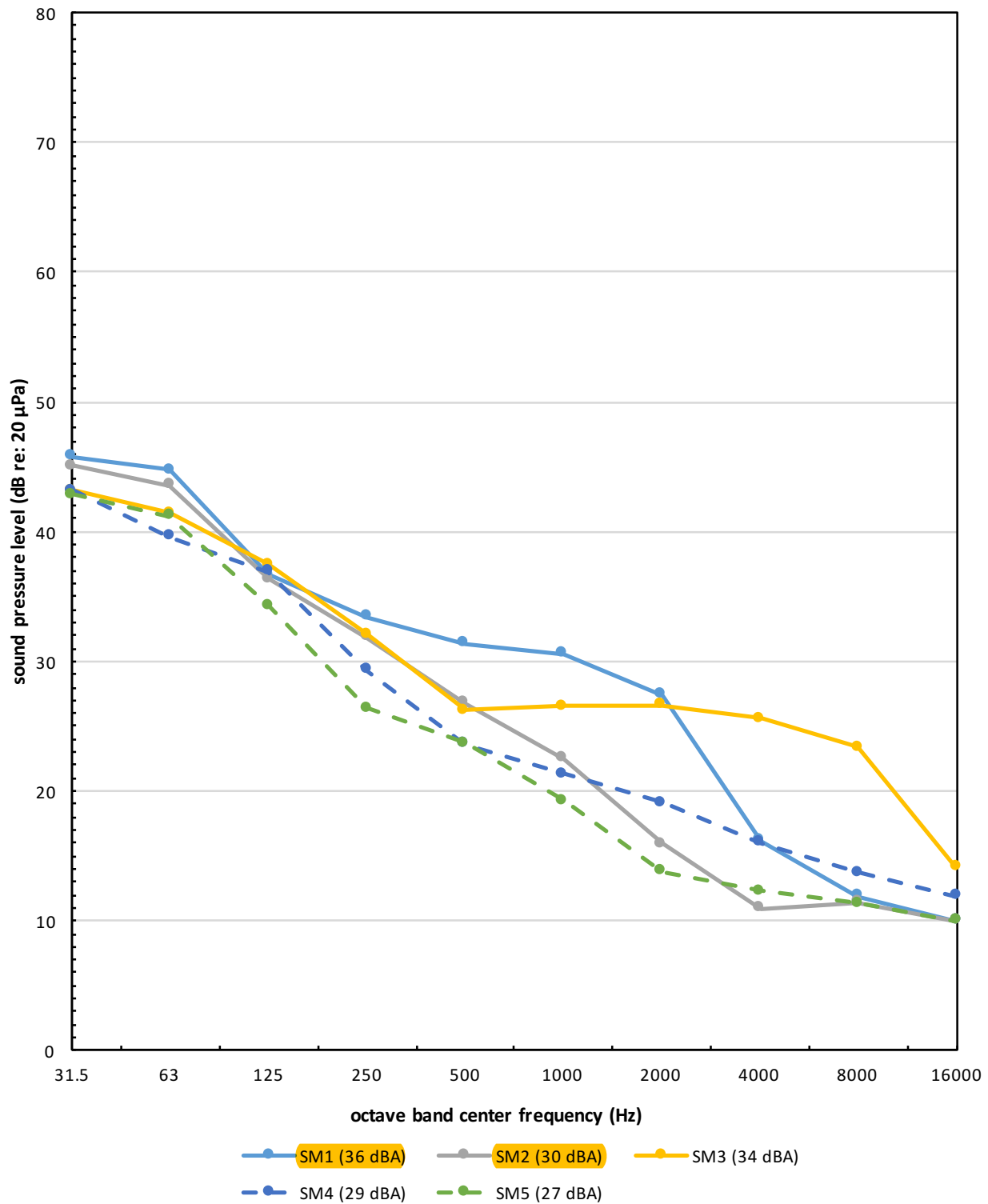
Low Frequency
("Boomy")



$$\text{Frequency (Hz)} = \frac{\text{cycles}}{\text{second}}$$

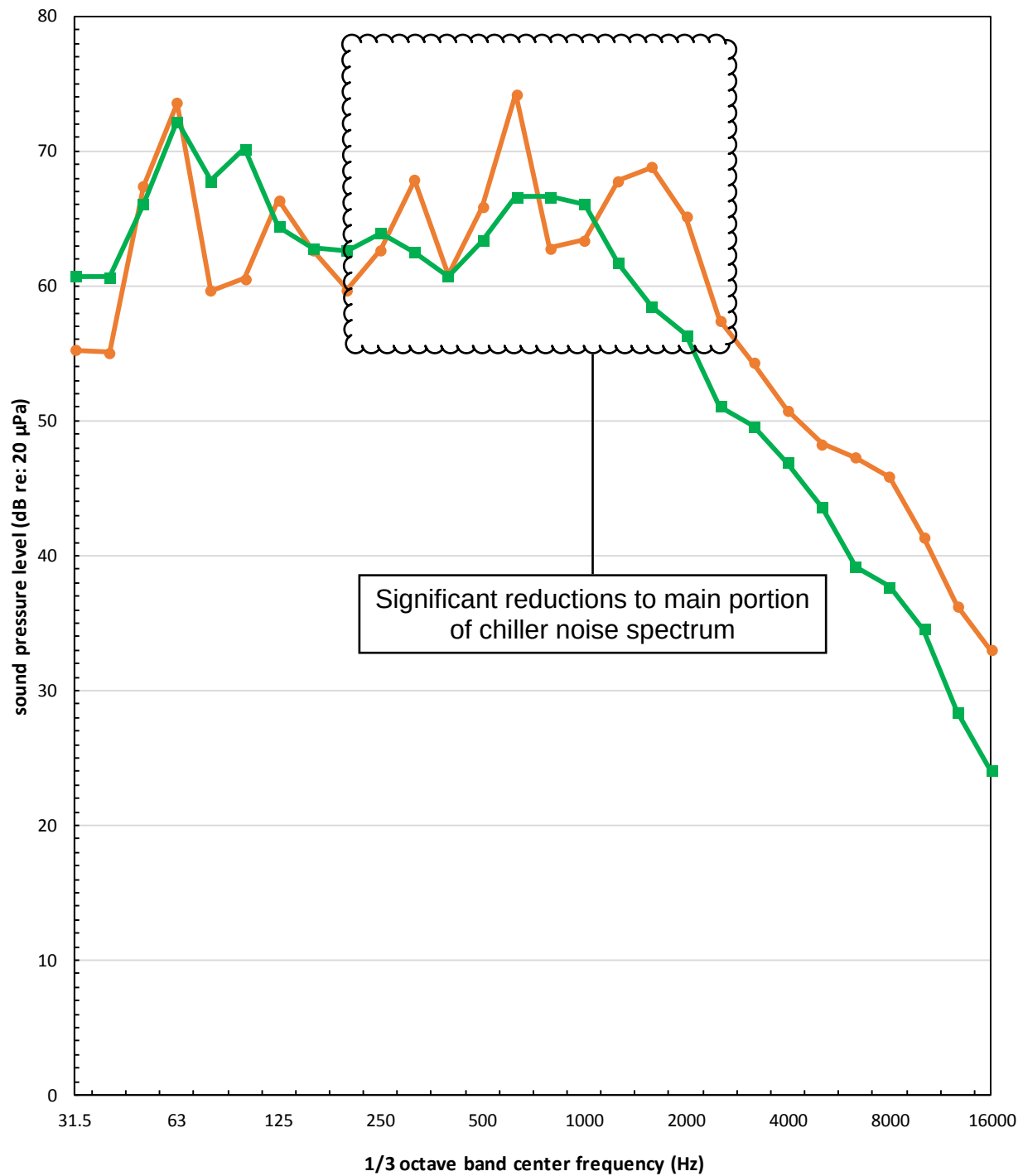


Sound measurement locations (SM1- SM5)

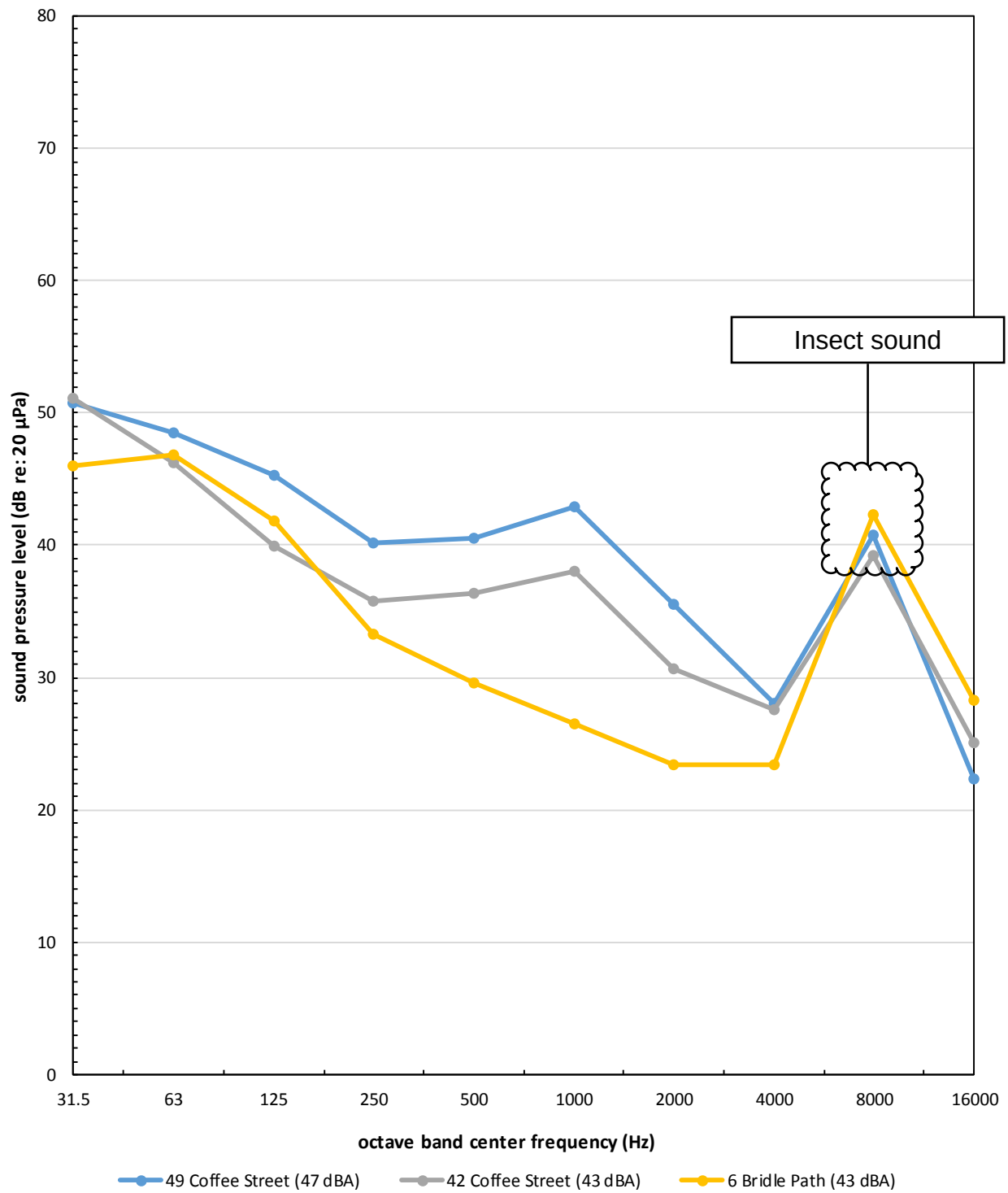


Late-night sound levels measured in community surrounding CommCan

from May 15, 2018 report



Measured sound levels at 30 ft from chiller, on rooftop along long side,
before and after noise controls



Daytime sound levels measured in community surrounding CommCan

from September 10, 2018 report



June 8, 2021

**Medway Planning & Economic Development Board
Meeting**

**Public Hearing Continuation – Medway
Mill Site Plan**

- Public Hearing Continuation Notice
- Draft site plan decision dated 6-7-21

Board Members

Andy Rodenhiser, Chair
Robert Tucker, Vice Chair
Jessica Chabot, Member
Richard Di Iulio, Member
Matthew Hayes, P.E.,
Member



Medway Town Hall
155 Village Street
Medway, MA 02053
Phone (508) 533-3291
Fax (508) 321-4987
Email: planningboard@townofmedway.org
www.townofmedway.org

TOWN OF MEDWAY

COMMONWEALTH OF MASSACHUSETTS

PLANNING AND ECONOMIC DEVELOPMENT BOARD

RECEIVED TOWN CLERK
MAY 26 '21 PM2:15

MEMORANDUM

May 26, 2021

TO: Stefany Ohannesian, Town Clerk
Town of Medway Departments, Boards and Committees

FROM: Susy Affleck-Childs, Planning and Economic Development Coordinator

RE: ***Public Hearing Continuation for Medway Mill Site Plan – 165 Main Street
Continuation Date – Tuesday, June 8, 2021 at 9:00 p.m.***

At its May 25, 2021 meeting, the Planning and Economic Development Board voted to continue the public hearing on the application of 165 Main Street Realty Trust of Medway, MA for site plan approval for proposed site improvements at Medway Mill at 165 Main Street to Tuesday, June 8, 2021 at 9:00 p.m.

Proposed are a series of site improvements to the 7.28 acre property located at 165 Main Street in the Agricultural-Residential II zoning district. These include creating a 41-space surface parking area with electrical vehicle charging stations and bike racks; installation of stormwater management facilities for the parking area; landscaping and lighting; and expansion of the bridge across Chicken Brook for approximately 25 linear feet on each side. As the site includes riverfront areas under the jurisdiction of the Conservation Commission, the project is also subject to its review for an Order of Conditions and a Land Disturbance Permit.

The application, site plan, and supporting documentation were filed with the Town on February 18, 2020. ***The Site Plan – Medway Mills originally dated February 14, 2020, last revised April 21, 2021,*** was prepared by Guerriere and Halnon of Franklin, MA. The documents are on file with the Medway Town Clerk and the Community and Economic Development Department at Medway Town Hall, 155 Village Street, Medway, MA. Project information including the revised site plan has been posted to the Planning and Economic Development Board's page at the Town's web site at: <https://www.townofmedway.org/planning-economic-development-board/pages/medway-mills-major-site-plan-review>.

The Board will begin its work on the site plan decision at the June 8th meeting. Please don't hesitate to contact me if you have any questions. Thanks.

Board Members

Andy Rodenhiser, Chair
Robert Tucker, Vice Chair
Jessica Chabot, Member
Richard Di Iulio, Member
Matthew Hayes, P.E.,
Member



Medway Town Hall
155 Village Street
Medway, MA 02053
Phone (508) 533-3291
Fax (508) 321-4987
Email: planningboard@townofmedway.org
www.townofmedway.org

TOWN OF MEDWAY
COMMONWEALTH OF MASSACHUSETTS
PLANNING AND ECONOMIC
DEVELOPMENT BOARD

DRAFT - June 7, 2021
5:17 p.m.

Major Site Plan
Medway Mill – 165 Main Street
_____ with Waivers and Conditions

Decision Date: _____

Name/Address of Applicant: 165 Main Street Realty Trust
And Permittee 165 Main Street
Medway, MA 02053

Name/Address of Property Owner: 165 Main Street Realty Trust
165 Main Street
Medway, MA 02053

Engineer and Designated Representative Guerriere & Halnon, Inc.
55 West Central Street
Franklin, MA 02038

Site Plan: *Site Plan – Medway Mill*
Dated February 14, 2020, last revised April 21, 2021 to be further revised as specified herein.

Location: 165 Main Street

Assessors' Reference: 48-92

Zoning District: Agricultural-Residential II

I. PROJECT DESCRIPTION – The applicant proposes a series of site improvements to the 7.28 acre property. These include creating a 41-space surface parking area with electrical vehicle charging stations and bike racks; installation of stormwater management facilities for the parking area; landscaping and lighting; and expansion of the bridge across Chicken Brook for approximately 25 linear feet on each side. The proposal requires site plan review and approval subject to Section 3.5 of the Medway *Zoning Bylaw* (the “Bylaw”). As the site includes riverfront areas under the jurisdiction of the Conservation Commission, the project is also subject to its review for an Order of Conditions and a Land Disturbance Permit.

II. VOTE OF THE BOARD – After reviewing the application and information gathered during the public hearing and review process, the Medway Planning and Economic Development Board (the “Board”), on _____, on a motion made by _____ and seconded by _____, **voted to _____ with WAIVERS and CONDITIONS** as specified herein, a site plan for the construction of site improvements at 165 Main Street as shown on *Site Plan – Medway Mill*, dated February 14, 2020, last revised April 21, 2021, to be further revised as specified herein.

The motion was _____ by a vote of _____ in favor and _____ opposed.

Planning & Economic Development Board Member

Vote

Richard Di Iulio
Matthew Hayes
Andy Rodenhiser
Robert Tucker

III. PROCEDURAL HISTORY

- A. February 18, 2020 - Site plan application and associated materials filed with the Board and Town Clerk
- B. March 5, 2020 – Notice for March 24, 2020 public hearing filed with the Town Clerk and posted at the Town of Medway web site’s master meeting calendar.
- C. March 5, 2020 - Site plan information distributed to Town boards, committees and departments for review and comment.
- D. March 6, 2020 – Notice for the March 24, 2020 public hearing was sent to abutters and parties of interest by certified sent mail.
- E. March 10 and 16, 2020 - Public hearing notice advertised in *Milford Daily News*.

COVID State of Emergency

- F. March 24, 2020 – Due to the COVID State of Emergency, the public hearing was continued without presentation or testimony to April 14, 2020, May 12, 2020, May 26, 2020, June 9, 2020, June 23, 2020, July 14, 2020, and July 28, 2020.
- G. July 23, 2020 - Notice for the August 11, 2020 public hearing was filed with the Town Clerk and posted at the Town of Medway web site’s master meeting calendar.
- H. July 23, 2020 - Notice for the August 11, 2020 public hearing was sent to abutters and parties of interest by certified sent mail.
- I. July 24, 2020 – Site plan information distributed to Town boards, committees and departments for review and comment.
- J. July 28 and August 3, 2020 – Public hearing notice advertised in the *Milford Daily News*.

- K. August 11, 2020 - Public hearing commenced. The public hearing was continued to September 22, 2020, October 13, 2020, November 10, 2020, January 12, 2021, February 9, 2021, February 23, 2021, March 23, 2021, April 27, 2021, May 25, 2021, June 8, 2021 and _____ when the hearing was closed and the *Decision* rendered.

IV. INDEX OF SITE PLAN DOCUMENTS

- A. The site plan application for the proposed Medway Mill site improvement project included the following plans, studies and information that were provided to the Board at the time the applications were filed:
1. Site Plan Application dated February 18, 2020, project narrative, certified abutters' list, deed, and requests for waivers from the *Site Plan Rules and Regulations*
 2. *Site Plan – Medway Mill*, dated February 14, 2020, prepared by Guerriere and Halnon, Inc. of Franklin, MA
 3. *Stormwater Report for Medway Mill Parking Expansion*, dated February 14, 2020, prepared by Guerriere & Halnon, Inc. of Franklin, MA
 4. Collection of photos and hand drawn sketches by John Greene to illustrate current conditions and planned improvements.
- B. During the course of the Board's review, a variety of other materials were submitted to the Board by the Applicant and its representatives:
1. Guerriere & Halnon letters:
 - 6-18-20 in response to PGC Associates review letter dated 3-19-20.
 - 12-29-20 in response to PGC Associates review letter dated 3-19-20
 - 4-6-21 in response to PGC Associates review letter dated 1-6-21
 2. Guerriere & Halnon letters:
 - 6-18-20 in response to Tetra Tech review letter dated 3-19-20
 - 12-29-20 in response to Tetra Tech review letter dated 7-9-20
 - 4-6-21 in response to Tetra Tech review letter dated 1-7-21
 3. Guerriere & Halnon letters:
 - 12-30-20 revised plan submittal letter
 - 2-23-21 email status report
 - 5-10-21 revised plan submittal letter
 3. *Site Plan – Medway Mill*, revisions dated 5-13-2020, 12-24-20 and 4-21-21
 4. *Stormwater Report for Medway Mill Parking Expansion* – revisions dated June 18, 2020, December 22, 2020, last revised April 21, 2021
 5. Long Term (stormwater) Operation and Maintenance Plan for Medway Mill Parking Expansion dated February 14, 202, last revised April 16, 2021.
 6. Email communication from Amanda Cavaliere dated October 28, 2020 with alternative parking lot layout options.
 7. Letter from attorney Danielle Justo of Rich May Attorneys at Law dated 3-21-21 with attachments

8. Collection of letters and memos from Medway Mill tenants and Town of Medway officials in support of the proposed parking lot expansion project (received 5-10-21)
9. Letter dated May 3, 2021 from Goddard Consulting re: discussion of River Protection Act (Alternatives Analysis)
10. Color renderings (undated) of proposed parking area by Kuth-Ranieri Architects (received 5-10-21)
11. Letter from Ed Thornlimb, Dowling Corporation, dated April 12, 2021 regarding rebuilding the existing stone wall along the property line with the abutter at 42 Lincoln Street.

- C. During the course of the Board's review, a variety of other materials were submitted to the Board by its staff, consultants, and other Town Boards and Committees.
- Medway ZBA Special permit decision dated August 2, 1995
 - Memorandum dated August 26, 2020 from Medway Cultural Council chair Jennifer Kendall and Vice-Chair Gail Hachenberg
 - Email communication dated October 20, 2020 from Police Sergeant Jeff Watson
 - Email communication dated March 16, 2021 from Conservation Agent Bridget Graziano of the March 15, 2021 site visit
 - Design Review Committee review memorandum dated May 21, 2021
 - Collection of letters and memos from Medway police and fire officials in support of the proposed parking lot expansion project (received 5-10-21)

V. TESTIMONY - In addition to the site plan application materials as submitted and provided during the course of the Board's review, the Board also received verbal or written testimony from:

- Steve Bouley, P.E. of Tetra Tech, Inc., the Town's Consulting Engineer – Site plan review letters dated March 19, 2020, July 9, 2020, January 7, 2021 and May 19, 2021 and commentary throughout the public hearing process.
- Gino Carlucci, PGC Associates, the Town's Consulting Planner – Site plan review letters dated March 19, 2020, August 14, 2020, January 5, 2021, and May 20, 2021 and commentary throughout the public hearing process.
- Amanda Cavaliere and Mike Hassett of Guerriere & Halnon, Inc., the Applicant's engineering consultant and designated representative
- Mark Arnold, Goddard Consulting

Abutter Testimony

- Janine Clifford, 42 Lincoln - verbal and written (2-14-20, 5-18-20, 3-10-21, 3-29-21 and 5-25-21)
- Myrna Flynn, 44 Lincoln - verbal and written (2-23-21)
- John Maloney, 31 Lincoln Street (verbal)
- John Kairit, 167 Main Street (verbal)
- Michael Marraffino, 39 Lincoln Street (verbal)
- Claudette Bannon, 31 Norfolk Avenue - written (4-4-21)

Town Staff Testimony

- Bridget Graziano, Conservation Agent (11-10-20)

VI. FINDINGS – The Board, at its meeting on _____, on a motion made by _____ and seconded by _____, voted to _____ the following **FINDINGS** regarding the site plan application for 165 Main Street. The motion was _____ by a vote of ____ in favor and ____ opposed.

Planning & Economic Development Board Member Vote

Richard Di Iulio
Matthew Hayes
Andy Rodenhiser
Robert Tucker

Site Plan Rules and Regulations Findings – The Board shall determine whether the proposed development is in conformance with the standards and criteria set forth in the *Site Plan Rules and Regulations, as amended December 3, 2002*, unless specifically waived.

In making its *Decision*, the Board shall determine the following:

- (1) Has internal circulation, queuing and egress been designed such that traffic safety is protected, access via minor streets servicing residential areas is minimized, and traffic backing up into the public way is minimized?

The proposed parking expansion project does not change access to the site. Access is from both Main Street and Lincoln Street. There will be no backing out onto a public way. Internal site circulation is improved with better organized parking for customers and employees and the expanded bridge over Chicken Brook. The site plan has been carefully evaluated for truck maneuverability and has been found to be satisfactory.

- (2) Does the site plan show designs that minimize any departure from the character, materials, and scale of buildings in the vicinity as viewed from public ways and places?

The site plan for the proposed parking area has been reviewed by the Town's consulting engineer, planner and the Medway Design Review Committee. The new parking area will not be visible from Main nor Lincoln Streets. There are no changes to the existing buildings.

- (3) Is reasonable use made of building location, grading and vegetation to reduce the visible intrusion of structures, parking areas, outside storage or other outdoor service areas (e.g. waste removal) from public views or from (nearby) premises residentially used and zoned.

The proposed parking area expansion will not be visible from Main nor Lincoln Streets. As conditioned herein, fencing and landscape buffering will be provided to help screen the parking area from the adjacent residential properties.

- (4) Is adequate access to each structure for fire and service equipment provided?

Access for fire and service equipment is provided. The new parking area will relieve the current unauthorized overflow customer parking on the Lincoln Street access driveway which has resulted in restricted emergency vehicle access to the site. Additional Police Department testimony was provided that the site's limited parking has resulted in tenant

customer frustrations and disputes. Additional Fire Department testimony supports the expanded parking area as it would make the Lincoln Street access driveway much safer.

- (5) Will the design and construction minimize, to the extent reasonably possible, the following environmental impacts?
- a) the volume of cut and fill;
 - b) the number of trees to be removed with particular care taken with mature trees and root systems;
 - c) the visual prominence of man-made elements not necessary for safety;
 - d) the removal of existing stone walls;
 - e) the visibility of building sites from existing streets;
 - f) the impacts on waterways and environmental resource areas;
 - g) soil pollution and erosion;
 - h) noise.

The proposed stormwater drainage system has been reviewed by the Town's Consulting Engineer and the Conservation Commission although an Order of Conditions has not yet been issued. Appropriate soil pollution and erosion controls have been incorporated into the plan. No extraordinary noise will be generated by the operation of the facility. Visibility is minimal from Main Street and Lincoln Street. The immediate abutters on Lincoln Street will have views to the parking area. As conditioned herein, the site plan will include an 8' high fence and 10" tall Green Giant arborvitaes to provide screening.

- (6) Is pedestrian and vehicular safety both on the site and egressing from it maximized?

The entrance and egress to the site remains unchanged. The primary vehicular access to the new parking area will be from the site driveway off of Lincoln Street. A sidewalk is provided from the new parking area to the Mill buildings. The site plan shows the provision of ___ bicycle racks to accommodate employees at the Mill and cycling customers. The Police Department's Safety Officer has provided written testimony that the proposed parking expansion will make the area safer for all who use the complex by reducing customer parking along the access driveway from Lincoln Street.

- (7) Does the design and will the construction incorporate, to the maximum extent possible, the visual prominence of natural and historic features of the site?

The visual prominence of the historic Medway Mill building and Chicken Brook are retained.

- (8) Does the lighting of structures and parking area avoid glare on adjoining properties and minimize light pollution within the town?

The lighting plan was reviewed by the Board's consulting planner and engineer. The planned site lighting minimizes light pollution by using shields on the light fixtures and there is no light spillage off site.

- (9) Is the proposed limit of work area reasonable and does it protect sensitive environmental and/or cultural resources? The site plan as designed should not cause substantial or irrevocable damage to the environment, which damage could be avoided or ameliorated through an alternative development plan or mitigation measures.

The limit of work is reasonable and it protects sensitive environmental resources. The project is under review by the Conservation Commission for an Order of Conditions and a Land Disturbance Permit. As conditioned herein, any changes to the site plan that are needed as a result of the forthcoming Order of Conditions and Land Disturbance will necessitate a modification to the site plan. The installation of a stormwater management system reduces the current impacts of presently untreated stormwater discharge to sensitive environmental resources located on the property.

Miscellaneous Findings

1. The Zoning Board of Appeals, on August 2, 1995, issued a special permit for the subject property to allow the owner to rent space to tenants for a mixed-use type of operation including office, retail (limited to 30% of the leased area), banking, restaurant, showroom facilities, light manufacturing, assembly and storage. Sales and storage of building materials was allowed for indoor use; no outside storage was authorized. Uses allowed in the Industrial IV district were allowed.

VII. WAIVERS – At its _____ meeting, the Board, on a motion made by _____ and seconded by _____ voted to _____ waivers from the following provisions of the *Rules and Regulations for the Submission and Approval of Site Plans, as amended December 3, 2002*. The Board's action and reasons for _____ each waiver are listed below. All waivers are subject to the *Special and General Conditions of Approval*, which follow this section.

The motion was _____ by a vote of _____ in favor and _____ opposed.

Planning & Economic Development Board Member	Vote
---	-------------

Richard Di Iulio	
Matthew Hayes	
Andy Rodenhiser	
Robert Tucker	

Site Plan Submittal Requirements/Plan Contents

1. **Section 204-5 B. Site Context Sheet is required as part of the plan set.** The Site Context Sheet shall include the following information:
 - A locus plan showing the site and its boundaries in relation to all surrounding streets within two thousand (2,000) feet of the perimeter of the site. The plan shall be at a maximum scale of one (1) inch equals one thousand (1,000) feet. Scenic roads shall be noted.
 - Abutters' names and addresses with assessor's reference.
 - Lot lines with dimensions and easement areas.
 - Existing topography at two (2) foot intervals from USGS survey maps or actual land survey.
 - All easements (*utility, conservation and other*) and rights-of-way.
 - Zoning district boundaries including groundwater protection district, wetlands, and flood plain zones.

A separate Site Context Sheet has not been provided as part of the plan set. However, the information specified to be included on a Site Context Sheet is included on other sheets in the plan set. For the foregoing reason, the Board APPROVES this waiver as being consistent

with the purpose and intent of the Site Plan Rules and Regulations which will have no significant detriment to the achievement of any of the purposes of Site Plan Review and Approval.

2. **Section 204-3 F. Written Development Impact Statement** which shall describe the potential and anticipated impacts of the proposed development, identify all positive and adverse impacts, and propose an acceptable program to prevent, reduce or mitigate adverse impacts. The Development Impact Statement shall consist of the following four elements: traffic impact assessment, environmental impact assessment, neighborhood impact assessment, and a parking impact assessment

The Applicant has requested a waiver from the requirement of providing traffic and environmental impact assessments as a majority of the site is already developed and the planned parking expansion is proposed to address existing parking limitations. No additional leasable space is contemplated by these site improvements. Environmental impacts are being considered by the Conservation Commission. The Board has spent considerable time during the hearing addressing abutter concerns. For the foregoing reasons, the Board APPROVES this waiver request as being consistent with the purpose and intent of the Site Plan Rules and Regulations which will have no significant detriment to the achievement of any of the purposes of Site Plan Review and Approval.

3. **Section 204-5 D. 7. Utilities Plan** – All proposed utilities, mechanisms, materials and layouts for refuse and trash disposal enclosures and systems, water, electricity, gas, cable, fire hydrants, and telephone service, sewage disposal, and methods of solid waste storage and disposal (shall be shown on the plan).

The site plan does not show the electrical lines and locations. The utility company generally will not provide such details until after a site plan is approved. This decision includes a condition, as recommended by the Board's consulting engineer, that the Applicant provide the proposed electrical layout at the pre-construction meeting for the project. For the foregoing reasons, the Board APPROVES this waiver as being consistent with the purpose and intent of the Site Plan Rules and Regulations which will have no significant detriment to the achievement of any of the purposes of Site Plan Review and Approval.

4. **Section 204-5 D. 8) Landscape Plan**

- a) A Landscape Plan shall be prepared by a Registered Professional Landscape Architect licensed to practice in the Commonwealth of Massachusetts or a Massachusetts Certified Landscape Professional.

The Applicant has requested a waiver from the requirement for the landscape plan to be prepared by a Registered Professional Landscape Architect. The landscaping needs of the proposed site improvements are relatively minimal, and the Applicant's engineering firm has experience in preparing landscape plans. For the foregoing reasons, the Board APPROVES this waiver request as being consistent with the purpose and intent of the Site Plan Rules and Regulations which will have no significant detriment to the achievement of any of the purposes of Site Plan Review and Approval.

Site Plan Development Standards

5. **Section 207-9 A.7) Pedestrian and Bicycle Access and Sidewalks** – Sidewalks and pedestrian ways and connections shall comply with the requirements of the Americans with Disabilities Act (ADA).

The grade of the planned sidewalk to connect the proposed parking area to the Mill buildings does not appear to meet ADA requirements. However, the subject parking area does not include handicapped spaces and the parking area is some distance away from the Mill buildings. The required number of handicapped parking spaces for the site are more suitably located elsewhere on the premises, closer to the buildings, as shown on the site plan. For the foregoing reasons, the Board APPROVES this waiver as being consistent with the purpose and intent of the Site Plan Rules and Regulations which will have no significant detriment to the achievement of any of the purposes of Site Plan Review and Approval.

6. **Section 207 – 17 Solid Waste Removal D.** Multi-tenant developments shall incorporate the use of shared trash compactors

What to do with this one??

7. **Section 207 – 19 Landscaping. B. Landscape Buffers 2)** Perimeter landscaping shall be provided around the entire site. Four season evergreen landscape buffers between the site and adjoining properties are required, particularly to protect adjacent residential uses to the greatest extent possible. Landscaped buffer areas shall be a minimum of fifteen feet in depth and may be comprised of existing woodlands and native vegetation supplemented by new landscape plantings. Vegetation in buffer areas may also be augmented with earth berms of a reasonable height and high quality and durable fencing using materials approximating wood.

NOTE – This decision is conditioned on the provision of an 8' fence and a run of twenty 10' tall Green Giant arborvitae. However, the landscape plan does not include a fully planted landscaped area within the 15' deep buffer area. How to handle this? Additional plantings in front of the arborvitae – seasonal mix of shrubs. DRC recommends a four season and varied landscaped buffer in addition to the arborvitae

8. **Section 207 – 19 Landscaping. C. Parking Areas 1) a.** A minimum of ten percent of the total internal parking area shall be provided as landscaped island areas, exclusive of perimeter landscaping.

No internal landscaped islands are provided as the applicant seeks to maximize the number of parking spaces provided. What is the square footage of the parking area as currently shown?

9. **Section 207 – 19 Landscaping. H.** – All hardwood trees twenty-four inches or more in diameter as measured four feet above finish grade that are to be removed from the site shall be replaced with new trees on the site.

What to do with this one?? Do we know how many of such trees are to be removed from the site?

VIII. CONDITIONS - The *Special and General Conditions* included in this *Decision* shall assure that the Board's approval of this site plan is consistent with the *Site Plan Rules and Regulations*, that the comments of various Town boards and public officials have been adequately addressed, and that concerns of abutters

and other town residents which were aired during the public hearing process have been carefully considered. The Board's approval of the site plan is subject to the following conditions.

SPECIFIC CONDITIONS OF APPROVAL

- A. **Plan Endorsement** - Within sixty (60) days after the Board has filed the *Decision* with the Town Clerk, the site plan for Medway Mill parking expansion dated February 14, 2020, last revised April 21, 2021 prepared by Guerriere & Halnon, Inc. of Franklin, MA shall be further revised to reflect all Conditions and required revisions and additions, including those as follows, and shall be submitted to the Board to review for compliance with the Board's *Decision*. (*Said plan is hereinafter referred to as the Plan*). The Applicant shall provide a set of the revised Plan in its final form to the Board for its signature/endorsement. All Plan sheets shall be bound together in a complete set.
- B. **Cover Sheet Revisions** – Prior to plan endorsement, the cover sheet of the April 21, 2021 site plan shall be revised as follows:
1. Revise the list of approved waivers from the *Site Plan Rules and Regulations*.
 - 2.
- C. **Other Plan Revisions** – Prior to plan endorsement, the following plan revisions shall be made to April 21, 2021 site plan set.
1. The eastern island at the parking lot entrance contains a protruding curb edge which may puncture tires of vehicles parking in the first space. The detail needs to be corrected prior to plan endorsement.
 2. Bridge elevations . . . for review and approval of the DRC. . .
 3. Fence height (8'), non-glossy, wood looking material and natural wood color and landscaping changes along western boundary.
 4. Material, color and height of other fences
 5. Adjust the photometric plan to indicate that the parking area lights will be turned off from 10 pm to 7:30 pm.
 6. Reduce height of parking lot light poles to 6' as recommended by the DRC
 7. DRC recommends reuse of rocks from displaced stone walls within the site. In what ways?
 8. Adjust fencing around detention pond to 4' height as recommended by the DRC.
- D. **Use Limitations**
1. Parking or use of the parking areas at the Medway Mill shall be limited only to vehicles for employees, deliveries and customers of those businesses who use Medway Mill for

their business operation. The parking area shall not be leased or made available to any non-resident business for any purposes.

2. Outdoor storage – What would you like to say about this?

GENERAL CONDITIONS OF APPROVAL

- A. **Fees** - Prior to site plan endorsement by the Board, the Permittee shall pay:

1. the balance of any outstanding plan review fees owed to the Town for review of the site plan by the Town's engineering, planning or other consultants; and
2. any construction inspection fee that may be required by the Board; and
3. any other outstanding expenses or obligations due the Town of Medway pertaining to this property, including real estate and personal property taxes business licenses, water/sewer bills, etc.

The Permittee's failure to pay these fees in their entirety shall be reason for the Board to withhold plan endorsement.

- B. **Other Permits** – This permit does not relieve the Applicant from its responsibility to obtain, pay and comply with all other required federal, state and Town permits. The contractor for the Permittee or assigns shall obtain, pay and comply with all other required Town permits.

- C. **Document/Plan Recording** - Within thirty (30) days of recording the *Decision* and the associated Plan, the Permittee or his assign shall provide the Board with a receipt from the Norfolk County Registry of Deeds indicating that all documents have been duly recorded, or supply another alternative verification that such recording has occurred.

- D. **Restrictions on Construction Activities** – During construction, all local, state and federal laws shall be followed regarding noise, vibration, dust and blocking of Town roads. The Permittee and its contractors shall at all times use all reasonable means to minimize inconvenience to abutters and residents in the general area. The following specific restrictions on construction activity shall apply.

1. **Construction Time** - Construction work at the site and in the building and the operation of construction equipment including truck/vehicular and machine start-up and movement shall commence no earlier than 7 a.m. and shall cease no later than 6 p.m. Monday – Saturday. No construction shall take place on Sundays or legal holidays without the advance approval of the Building Commissioner. These rules do not apply to interior construction work such as carpentry, installation of drywall, flooring, electrical and HVAC systems, painting, etc.
2. **Neighborhood Relations** – The Permittee shall notify neighbors in the general area around the site when site work and construction are scheduled to begin and provide a phone number for them to use for questions and concerns that arise during construction.
3. The Permittee shall take all measures necessary to ensure that no excessive dust leaves the premises during construction including use of water spray to wet down dusty surfaces.

4. There shall be no tracking of construction materials onto any public way. Daily sweeping of roadways adjacent to the site shall be done to ensure that any loose gravel/dirt is removed from the roadways and does not create hazardous or deleterious conditions for vehicles, pedestrians or abutting residents. In the event construction debris is carried onto a public way, the Permittee shall be responsible for all clean-up of the roadway which shall occur as soon as possible and in any event within twelve (12) hours of its occurrence.
5. The Permittee is responsible for having the contractor clean-up the construction site and the adjacent properties onto which construction debris may fall on a daily basis.
6. All erosion and siltation control measures shall be installed by the Permittee prior to the start of construction and observed by the Board's consulting engineer and maintained in good repair throughout the construction period.
7. *Construction Traffic/Parking* – During construction, adequate provisions shall be made on-site for the parking, storing, and stacking of construction materials and vehicles. All parking for construction vehicles and construction related traffic shall be maintained on site. No parking of construction and construction related vehicles shall take place on adjacent public or private ways or interfere with the safe movement of persons and vehicles on adjacent properties or roadways.
8. *Noise* - Construction noise shall not exceed the noise standards as specified in the *Bylaw*, SECTION V. USE REGULATIONS, Sub-Section B. Area Standards, Paragraph 2. b).

E. *Landscape Maintenance*

1. The site's landscaping shall be maintained in good condition throughout the life of the facility and to the same extent as shown on the endorsed Plan. Any shrubs, trees, bushes or other landscaping features shown on the Plan that die shall be replaced by the following spring.
2. Within 60 days after two years after the occupancy permit is issued, the Town's Consulting Engineer or the Building Commissioner shall inspect the landscaping to determine whether and which landscape items need replacement or removal and provide a report to the Board. At any time subsequent to this initial inspection, the Town's Consulting Engineer or the Building Commissioner may conduct further inspections of the landscaping to determine whether and which landscaping items need replacement or removal and provide a report to the Board. The Board may seek enforcement remedies with the Building Commissioner/Zoning Enforcement Officer to ensure that the comprehensive landscaping plan is maintained.

F. *Snow Storage and Removal*

1. On-site snow storage shall not encroach upon nor prohibit the use of any parking spaces required by the Bylaw.
2. Accumulated snow which exceeds the capacity of the designated snow storage areas on-site shall be removed from the premises within 24 hours after the conclusion of the storm event.

G. *Construction Oversight*

1. Construction Account

- a) Inspection of infrastructure and utility construction, installation of site amenities including landscaping, and the review of legal documents by Town Counsel is required. Prior to plan endorsement, the Permittee shall establish a construction account with the Board. The funds may be used at the Board's discretion to retain professional outside consultants to perform the items listed above as well as the following other tasks - inspect the site during construction/installation, identify what site plan work remains to be completed, prepare a bond estimate, conduct other reasonable inspections until the site work is completed and determined to be satisfactory, review as-built plans, and advise the Board as it prepares to issue a *Certificate of Site Plan Completion*.
 - b) Prior to plan endorsement, the Permittee shall pay an advance toward the cost of these services to the Town of Medway. The advance amount shall be determined by the Board based on an estimate provided by the Town's Consulting Engineer.
 - c) Depending on the scope of professional outside consultant assistance that the Board may need, the Permittee shall provide supplemental payments to the project's construction inspection account, upon invoice from the Board.
 - d) Any funds remaining in the Permittee's construction inspection account after the *Certificate of Site Plan Completion* is issued shall be returned to the Permittee.
2. Board members, its staff, consultants or other designated Town agents and staff shall have the right to inspect the site at any time, for compliance with the endorsed site plan and the provisions of this *Decision*.
 3. The Department of Public Works will conduct inspections for any construction work occurring in the Town's right-of way in conjunction with the Town of Medway Street Opening/Roadway Access Permit.
 4. The Permittee shall have a professional engineer licensed in the Commonwealth of Massachusetts conduct progress inspections of the construction of the approved site improvements. Inspections shall occur at least on a monthly basis. The engineer shall prepare a written report of each inspection and provide a copy to the Board within 5 days of inspection.

H. ***On-Site Field Changes***

1. During construction, the Permittee may be authorized to make limited, minor, on-site field changes to the approved plan based on unforeseen site or job conditions, situations, or emergencies necessitated by field conditions or due to practical considerations. These field changes shall not alter items which may affect the site's compliance with this *Decision* and the Bylaw nor conflict with a specific condition of the *Decision*. Field changes shall not substantially alter the intent, layout or design of the endorsed site plan.
2. Prior to undertaking such field changes, the Permittee and/or contractor shall discuss the possible field changes with the Town's Consulting Engineer and submit a letter and drawings to the Planning and Economic Development Coordinator and the Building Commissioner describing the proposed changes and what conditions, situations, or emergencies necessitate such changes. In accordance with Section 3.5.2.C of the Bylaw, the Building Commissioner may determine that the field change is insubstantial,

authorize the change, and so notify the Board. Otherwise, the Board shall review the proposed field changes at a public meeting and determine whether the proposed field changes are reasonable and acceptable based on the unforeseen conditions, situations, or emergencies and whether other options are feasible or more suitable. A written authorization of field change will be provided. Any approved field change shall be reflected in the as-built plan to be provided at project completion.

I. Modification of Plan and/or Decision

1. Proposed modifications, not included on-site field changes, to the *Decision* or endorsed plan shall be subject to review by the Board.
2. This site plan approval is subject to all subsequent conditions that may be imposed by other Town departments, boards, agencies or commissions. Any changes to the site plan that may be required by the decisions of other Town boards, agencies or commissions shall be submitted to the Board for review as site plan modifications.
3. Any work that deviates from the approved site plan or this *Decision* shall be a violation of the *Bylaw*, unless the Permittee requests approval of a plan modification pursuant to Section 3.5.2.A.3.c. and such approval is provided in writing by the Board.
4. The request for a modification to a previously approved site plan shall be subject to the same application and review process including a public hearing. Whenever additional reviews by the Board, its staff or consultants are necessary due to proposed site plan modifications, the Permittee shall be billed and be responsible for all supplemental costs including filing fees, plan review fees and all costs associated with another public hearing including legal notice and abutter notification. If the proposed revisions affect only specific limited aspects of the site, the Board may reduce the scope of the required review and waive part of the filing and review fees.
5. The Board shall issue a modification decision, file such with the Town Clerk, and provide copies to the Building Commissioner and other Town officials and the Permittee. Any modification approved by the Board shall be made a permanent part of the approved site plan project documents and shall be shown on the final as-built plan.

J. Compliance with Plan and Decision

1. The Permittee shall construct all improvements in compliance with the approved and endorsed site plan and this *Decision* any modifications thereto.
2. The Board or its agent(s) shall use all legal options available to it, including referring any violation to the Building Commissioner/Zoning Enforcement Officer for appropriate enforcement action, to ensure compliance with the foregoing Conditions of Approval.
3. The Conditions of Approval are enforceable under Section 3.1. F. of the Bylaw (non-criminal disposition) and violations or non-compliance are subject to the appropriate fine.

K. Project Completion

1. Site plan approval shall lapse after one (1) year of the grant thereof if substantial use has not commenced except for good cause. The work shown on the approved site plan shall be completed by the Permittee or its assignees within two (2) years of the date of plan endorsement. Upon receipt of a written request from the Permittee filed at least thirty

(30) days prior to the date of expiration, the Board may grant an extension for good cause. The request shall state the reasons for the extension and also the length of time requested. If no request for extension is filed and approved, the site plan approval shall lapse and may be reestablished only after a new filing, hearing and decision.

2. Prior to project completion, the Permittee shall request a ***Certificate of Site Plan Completion*** from the Board. The ***Certificate*** serves as the Board's confirmation that the completed work conforms to the approved site plan and any conditions and modifications thereto, including the construction of any required on and off-site improvements. The ***Certificate*** also serves to release any security/performance guarantee that has been provided to the Town of Medway. To secure a ***Certificate*** of Site Plan Completion, the Permittee shall:

- a) provide the Board with written certification from a Professional Engineer registered in the Commonwealth of Massachusetts that all building and site work has been completed in substantial compliance with the approved and endorsed site plan, and any modifications thereto; and
- b) submit an electronic version of an As-Built Plan, prepared by a registered Professional Land Surveyor or Engineer registered in the Commonwealth of Massachusetts, to the Board for its review and approval. The As-Built Plan shall show actual as-built locations and conditions of all buildings and site work shown on the original site plan and any modifications thereto. The As-Built Plan shall also show all utilities found during the construction process. The final As-Built Plan shall also be provided to the Town in CAD/GIS file format per MASS GIS specifications.

- L. ***Construction Standards*** - All construction shall be completed in full compliance with all applicable local, state and federal laws, including but not limited to the Americans with Disabilities Act and the regulations of the Massachusetts Architectural Access Board for handicap accessibility.
- M. ***Conflicts*** – If there is a conflict between the site plan and the *Decision's* Conditions of Approval, the *Decision* shall rule. If there is a conflict between this *Decision* and/or site plan and the Bylaw, the Bylaw shall apply.

IX. APPEAL – The Board and the Applicant have complied with all statutory requirements for the issuance of this *Decision* on the terms set forth herein. A copy of this *Decision* will be filed with the Medway Town Clerk and mailed to the Applicant/Permittee and notice will be mailed to all parties in interest as provided in G.L. c. 40A §15.

Any person aggrieved by the *Decision* of the Board may appeal to the appropriate court pursuant to Massachusetts General Laws, Chapter 40A, §17, and shall be filed within twenty days after the filing of this *Decision* in the office of the Medway Town Clerk.

###

Medway Planning and Economic Development Board
SITE PLAN
Medway Mill – 163 and 165 Main Street

Decision Date: _____

AYE:

Signature *Printed Name*

Signature *Printed Name*

Signature *Printed Name*

Signature *Printed Name*

NAY:

Signature *Printed Name*

ATTEST:

Susan E. Affleck-Childs
Planning & Economic Development Coordinator

Date

COPIES TO: Michael Boynton, Town Administrator
David D'Amico, DPW Director
Bridget Graziano, Conservation Agent
Donna Greenwood, Assessor
Beth Hallal, Health Agent
Jeff Lynch, Fire Chief
Jack Mee, Building Commissioner and Zoning Enforcement Officer
Pete Pelletier, DPW Deputy Director
Joanne Russo, Treasurer/Collector
Barbara Saint Andre, Director of Community and Economic Development
Jeff Watson, Police Department Safety Officer
John Green, 165 Main Street Realty Trust
Amanda Cavaliere, Guerriere & Halnon
Steven Bouley, Tetra Tech
Gino Carlucci, PGC Associates



June 8, 2021

**Medway Planning & Economic Development Board
Meeting**

Construction Reports

- Evergreen Village Summary Report by Tiberi dated May 2021
- Choate Trail Field Reports dated 5-24-21 and 5-27-21
- Salmon Field Reports dated 5-24-21, 5-27-21, 6-1-21, and 6-2-21
- William Wallace Village Report dated 6-4-2021

Progress Report

Project Details

Project name	Evergreen	
Location	22 Evergreen Road	Medway MA
Owner	Sampson Pond Development	Medway MA
Reporting period	4-29-2021 thru 5-29-2021	
Report compiled by	Ron Tiberi P.E. 	9 Mass Ave Natick MA
Date inspected/ submitted	5/28/21	

Summary

Site contractor Mobilized; construction controls established. Erosion controls installed. Road rough graded to subgrade. Phase 1 Structure foundation installed, framing completed.

Activities

Activity 1 Construction Controls

Status	Achieved
Objective	Layout & Construction controls set and Provided by Cheney Engineering
Activity dates	
Progress	Set- grade stakes & offsets Building foundations
Comments	Sanitary Facilities on-site, No construction trailers

Activity 2 Erosion Controls

Status	Achieved
Objective	Erosion controls implemented and approved on site Temporary sedimentation basins installed & maintained
Activity dates	During Month
Progress	Completed & Maintained
Comments	

Activity 3 Access Road

Status	In progress
Objective	Subgrade, Base material installed to subgrade
Activity dates	
Progress	Partially completed 70%, Base materials partially stock-piled on-site
Comments	Infiltration Materials delivered

Activity 4 Water & Sewer Utilities

Status	Achieved
Objective	Sewer line and water lines connected at Evergreen and complete with stubs to end of access road
Activity dates	
Progress	Completed
Comments	

Activity 5 Building

Status	In Progress
Objective	Building completely framed & Enclosed
Activity dates	During Month
Progress	
Comments	

Photographs

#1



Closed out Building

#2



Temporary drainage Basin

#3



Temporary Sediment Basin

#4



Drainage materials on Site

Tetra Tech
100 Nickerson Road, Suite 200
Marlborough, MA 01752

FIELD REPORT

Project Choate Trail – Copper Drive	Date 5/24/2021	Report No. 9
Location 42 Highland Street, Medway, MA	Project No. 143-21583-20008	Sheet 1 of 2
Contractor Bob Pace (Owner/General Contractor) Rhino Construction (Site Contractor)	Weather A.M. CLEAR P.M.	Temperature A.M. 55°F P.M.

FIELD OBSERVATIONS

On Monday, May 24, 2021, Bradley M. Picard, EIT from Tetra Tech (TT) visited the project location to inspect the current condition of the site and monitor construction progress. The following report outlines observations made during the site visit.

1. OBSERVATIONS

- A. Site Conditions/Erosion Controls: Site is firm throughout the limit of work. Highland Street is clean and free of sediment at the location of the construction entrance. Compost filter sock has been installed throughout the project limit as indicated on the endorsed Plans and appears to be in good condition. Silt fence has been installed along the western portion of the site adjacent to the existing wetland resource area and appears to be in good condition as well. Temporary sediment basins have been installed at the low points and appear to be functioning.
- B. TT on-site to conduct bottom inspections for the proposed subsurface infiltration system. Contractor is excavating the trench for the infiltration system as chambers are installed, additional bottom excavations will be performed as chamber installation progresses to ensure material is consistent throughout the footprint of the system. Contractor has excavated to bottom of stone elevation and grab samples were conducted. The samples collected were in compliance with the loamy sand designation used in the design for this system. Contractor to place 6" stone bed within the current limit of excavation and install the first 3 concrete chambers. A total of 60 chambers are proposed to be installed for the infiltration system. TT recommended to place filter fabric along the sides of the excavation to protect the crushed stone proposed to be installed around the sides of the chambers. Fine sediment could enter the voids within the stone and impact the performance of the system. As shown on the Plan, filter fabric is only required to be installed on top of the stone, as well as beneath the concrete chambers directly connected to the proposed Stormceptors for future cleanings.
- C. Contractor has installed the two catch basins, Stormceptor, and Outlet Control Structure at the northeastern side

CONTRACTOR'S FORCE AND EQUIPMENT						WORK DONE BY OTHERS	
Sup't		Bulldozer	1	Asphalt Paver		Dept. or Company	Description of Work
Foreman		Backhoe		Asphalt Reclaimer			
Laborers		Loader		Vib. Roller	1		
Drivers		Rubber Tire Backhoe/Loader		Static Roller			
Oper. Engr.	3	Skid Steer		Vib. Walk Comp.			
Carpenters		Hoeram		Compressor			
Masons		Excavator	1	Jack Hammer			
Iron Workers		Grader		Power Saw			
Electricians		Crane		Conc. Vib.			
Flagpersons		Scraper		Tack Truck			
Surveyors		Conc. Mixer		Man Lift			
Roofers		Conc. Truck		Skidder		OFFICIAL VISITORS TO JOB	
Mechanical/HVAC		Conc. Pump Truck		Compact Track Loader			
		Pickup Truck	3	Rock Truck	1		
		Tri-Axle Dump Truck					
		Trailer Dump Truck					
Police Details: N/A						RESIDENT REPRESENTATIVE FORCE	
Contractor's Hours of Work: 7:00 A.M. to 6:00 P.M.						Name	Time on-site
						Bradley M. Picard, EIT	9:00 A.M. – 9:30 A.M.

NOTE: Please use reverse side for remarks and sketches

Project Choate Trail – Copper Drive	Date 5/24/2021	Report No. 9
Location 42 Highland Street, Medway, MA	Project No. 143-21583-20008	Sheet 2 of 2

FIELD OBSERVATIONS CONTINUED

of the subsurface infiltration system. Structures are partially backfilled to current fill elevations.

2. SCHEDULE

- A. Contractor to continue installation of the subsurface infiltration system.
- B. TT will maintain communication with contractor and will inspect the site on an as-need basis.

3. NEW ACTION ITEMS

- A. N/A

4. PREVIOUS OPEN ACTION ITEMS

- A. Lift and stabilize leaning/fallen trees along the southeast property line per discussion with Conservation Agent.
- B. Remove existing tree stump adjacent to Highland Street per recommendation from Medway DPW. **TT Update: Contractor has removed the tree stump adjacent to Highland Street. In our opinion, this item has been resolved.**

5. MATERIALS DELIVERED TO SITE SINCE LAST INSPECTION

- A. Drainage manholes and headwalls.

Tetra Tech
100 Nickerson Road, Suite 200
Marlborough, MA 01752

FIELD REPORT

Project Choate Trail – Copper Drive	Date 5/27/2021	Report No. 10
Location 42 Highland Street, Medway, MA	Project No. 143-21583-20008	Sheet 1 of 2
Contractor Bob Pace (Owner/General Contractor) Rhino Construction (Site Contractor)	Weather A.M. CLEAR P.M.	Temperature A.M. 65°F P.M.

FIELD OBSERVATIONS

On Thursday, May 27, 2021, Tucker D. Paradee, EIT from Tetra Tech (TT) visited the project location to inspect the current condition of the site and monitor construction progress. The following report outlines observations made during the site visit.

1. OBSERVATIONS

- A. Site Conditions/Erosion Controls: Site is partially saturated in some spots due to recent rainfall. Highland Street is clean and free of sediment at the location of the construction entrance. Compost filter sock has been installed throughout the project limit as indicated on the endorsed Plans and appears to be in good condition. Silt fence has been installed along the western portion of the site adjacent to the existing wetland resource area and appears to be in good condition as well. Temporary sediment basins have been installed at the low points and appear to be functioning.
- B. TT on-site to conduct instillation inspection for the proposed subsurface infiltration system. Contractor is excavating the trench for the infiltration system as chambers are installed. Upon inspection, 39 chambers had been installed and contractor reports an average of 18 chambers are installed per day. A laser level and level rod were being used to obtain top of grade for the 6" stone bed prior to the chambers being placed. Soil grab samples were conducted which were in compliance with the loamy sand designation used in the design for this system.

CONTRACTOR'S FORCE AND EQUIPMENT					WORK DONE BY OTHERS	
Sup't		Bulldozer	1	Asphalt Paver	Dept. or Company	Description of Work
Foreman		Backhoe		Asphalt Reclaimer		
Laborers	3	Loader		Vib. Roller		
Drivers		Rubber Tire Backhoe/Loader		Static Roller		
Oper. Engr.	1	Skid Steer	1	Vib. Walk Comp.		
Carpenters		Hoeram		Compressor		
Masons		Excavator	1	Jack Hammer		
Iron Workers		Grader		Power Saw		
Electricians		Crane		Conc. Vib.		
Flagpersons		Scraper		Tack Truck		
Surveyors		Conc. Mixer		Man Lift		
Roofers		Conc. Truck		Skidder		
Mechanical/HVAC		Conc. Pump Truck		Compact Track Loader		
		Pickup Truck	3	Rock Truck	1	
		Tri-Axle Dump Truck				
		Trailer Dump Truck				
Police Details: N/A					OFFICIAL VISITORS TO JOB	
Contractor's Hours of Work: 7:00 A.M. to 6:00 P.M.					RESIDENT REPRESENTATIVE FORCE	
					Name	Time on-site
					Bradley M. Picard, EIT	8:00 A.M. – 8:30 A.M.

NOTE: Please use reverse side for remarks and sketches

Project Choate Trail – Copper Drive	Date 5/27/2021	Report No. 10
Location 42 Highland Street, Medway, MA	Project No. 143-21583-20008	Sheet 2 of 2

FIELD OBSERVATIONS CONTINUED

2. SCHEDULE

- A. Contractor to continue installation of the subsurface infiltration system.
- B. TT will maintain communication with contractor and will inspect the site on an as-need basis.

3. NEW ACTION ITEMS

- A. N/A

4. PREVIOUS OPEN ACTION ITEMS

- A. Lift and stabilize leaning/fallen trees along the southeast property line per discussion with Conservation Agent.

5. MATERIALS DELIVERED TO SITE SINCE LAST INSPECTION

- A. N/A

FIELD REPORT

Project Salmon Health and Retirement Community (The Willows)	Date 05/24/2021	Report No. 69
Location Village Street, Medway, MA	Project No. 143-21583-15011	Sheet 1 of 2
Contractor Rubicon Builders (General Contractor) Marois Brothers, Inc. (Site Contractor)	Weather A.M. CLEAR P.M. CLEAR	Temperature A.M. 55 °F P.M. 75 °F

FIELD OBSERVATIONS

On Monday, May 24, 2021, Bradley M. Picard, E.I.T. from Tetra Tech (TT) visited the project location to inspect the current condition of the site and monitor construction progress. The report outlines observations made during the site visit.

1. OBSERVATIONS

- A. Site Conditions/Erosion Controls: The western portion of the site along Willow Pond Circle is firm and dry. Stockpiled construction materials present throughout the main open portion of the site. Straw wattles are placed at the base of the large loam pile at the entrance to Willow Pond Circle from Village Street. Silt fence barrier (SFB) throughout the site appears to be recently maintained and is in good condition. Silt sacks installed in catch basins throughout the site are in good condition.
- B. TT on-site to inspect top course installation on the remaining portions of Willow Pond Circle surrounding the main campus building (approx STA. 26+50 – STA 33+50; approx STA 11+75 – STA 16+50), as well as the parking lot and driveway at the building's main entrance. Roadway is clear of sediment and debris prior to tack coat placement. Catch basin grates, manhole covers, and gate boxes for water and gas within the paving limit are set to proposed top course elevations. Aggregate Industries placed approximately 2" (loose) of bituminous concrete asphalt to achieve a final compacted depth of 1 ½". Top course temperatures range from 265 °F – 300 °F out of the paver screed. Asphalt was procured from Aggregate Industries in Wrentham, MA, quantities totaled 446.06 tons. Tonnage verified from paving slips provided by the Contractor. Aggregate Industries installed a monolithic berm at driveway openings within the limit of paving to maintain proposed drainage patterns and ensure stormwater runoff travels into the catch basins.
- C. Construction of amenities, irrigation lines, and landscaping adjacent to the main campus building is ongoing.
- D. Contractor has completed preparations for paver installation at the permeable pavement parking lot off of Willow Pond

CONTRACTOR'S FORCE AND EQUIPMENT						WORK DONE BY OTHERS	
Sup't	1	Bulldozer		Asphalt Paver		Dept. or Company	Description of Work
Foreman	1	Backhoe		Asphalt Reclaimer		Aggregate Industries	Top Course
Laborers	3	Loader	1	Vib. Roller	3		
Drivers	5+	Rubber Tire Backhoe/Loader		Static Roller			
Oper. Engr.	2	Skid Steer		Vib. Walk Comp.			
Carpenters		Hoeram		Compressor			
Masons		Excavator	1	Jack Hammer			
Iron Workers		Grader		Power Saw			
Electricians		Crane		Conc. Vib.			
Flagpersons		Scraper		Tack Truck			
Surveyors		Conc. Mixer		Man Lift			
		Conc. Truck		Skidder		OFFICIAL VISITORS TO JOB	
		Conc. Pump Truck		Compact Track Loader			
		Pickup Truck	5+	Water Truck			
		Tri-Axle Dump Truck	5+	Crane Truck			
		Trailer Dump Truck		Lull			
		Art. Dump Truck		BOMAG Remote Comp.			
Police Details: N/A						RESIDENT REPRESENTATIVE FORCE	
Contractor's Hours of Work: 7:00 A.M. to 3:30 P.M.						Name	Time on-site
						Bradley M. Picard, EIT	7:30 A.M. – 3:30 P.M.

Project Salmon Health and Retirement Community	Date 05/24/2021	Report No. 69
Location Village Street, Medway, MA	Project No. 143-21583-15011	Sheet 2 of 2

FIELD OBSERVATIONS CONTINUED

Circle. Gazebo construction adjacent to the permeable pavement parking lot is complete.

- E. Contractor has completed installation of crosswalk signage and wheelchair ramps on Village Street as shown on the Plans. Wheelchair ramp installation across Willow Pond Circle adjacent to the gazebo and adjacent to the construction trailer has also been completed.
- F. Construction of proposed entrance signage at Willow Pond Circle is complete.

2. SCHEDULE

- A. Milling and overlay on Village Street and paving of the entrance at Willow Pond Circle to be performed at a future date.
- B. Contractor to perform CCTV inspections of drainage infrastructure within Waterside Run.
- C. TT will maintain communication with contractor and will inspect the site as construction progresses.

3. NEW ACTION ITEMS

- A. N/A

4. PREVIOUS OPEN ACTION ITEMS

- A. Contractor to coordinate with Conservation Commission on drainage modification at the mechanical area south of Infiltration Trench 20.

5. MATERIALS DELIVERED TO SITE SINCE LAST INSPECTION

- A. Top course asphalt.

FIELD REPORT

Project	Date	Report No.
Salmon Health and Retirement Community (The Willows)	05/27/2021	70
Location	Project No.	Sheet 1 of
Village Street, Medway, MA	143-21583-15011	2
Contractor	Weather	Temperature
Rubicon Builders (General Contractor)	A.M. CLEAR	A.M. 65 °F
Marois Brothers, Inc. (Site Contractor)	P.M.	P.M.

FIELD OBSERVATIONS

On Thursday, May 27, 2021, Tucker D. Paradee, E.I.T. from Tetra Tech (TT) visited the project location to inspect the current condition of the site and monitor construction progress. The report outlines observations made during the site visit.

1. OBSERVATIONS

- A. Site Conditions/Erosion Controls: The western portion of the site along Willow Pond Circle is firm and dry. Stockpiled construction materials present throughout the main open portion of the site. Straw wattles are placed at the base of the large loam pile at the entrance to Willow Pond Circle from Village Street. Silt fence barrier (SFB) throughout the site appears to be recently maintained and is in good condition. Silt sacks installed in catch basins throughout the site are in good condition.
- B. TT was on-site to observe scheduled milling and top course instillation at the Village Street entrance to Willow Pond Circle. Upon arrival, site contractor informed TT of the rescheduling of this work for the following week. TT will maintain communication with the Contractor and inspect the milling and paving operations once the schedule is confirmed.
- C. TT inspected the top course installed at Willow Pond Circle surrounding the main campus building following the rain event from the previous night (0.24", obtained from Weather Underground- Medway Village Street West Station). Upon inspection, puddles and ponding water were not identified throughout the limit of top course.
- D. At-grade Basins 1 and 3 were inspected following the rain event from the previous night. Basin 1 appeared to be dry, staging water present in the forebay of the east flared end section (FES). Basin 3 also appeared to be completely dry and operating as designed.

CONTRACTOR'S FORCE AND EQUIPMENT					WORK DONE BY OTHERS	
Sup't	1	Bulldozer		Asphalt Paver	Dept. or Company	Description of Work
Foreman	1	Backhoe		Asphalt Reclaimer		
Laborers	3	Loader	1	Vib. Roller		
Drivers	5+	Rubber Tire Backhoe/Loader		Static Roller		
Oper. Engr.	2	Skid Steer		Vib. Walk Comp.		
Carpenters		Hoeram		Compressor		
Masons		Excavator	1	Jack Hammer		
Iron Workers		Grader		Power Saw		
Electricians		Crane		Conc. Vib.		
Flagpersons		Scraper		Tack Truck		
Surveyors		Conc. Mixer		Man Lift		
		Conc. Truck		Skidder	OFFICIAL VISITORS TO JOB	
		Conc. Pump Truck		Compact Track Loader		
		Pickup Truck	5+	Water Truck		
		Tri-Axle Dump Truck	5+	Crane Truck		
		Trailer Dump Truck		Lull		
		Art. Dump Truck		BOMAG Remote Comp.		
Police Details: N/A					RESIDENT REPRESENTATIVE FORCE	
Contractor's Hours of Work: 7:00 A.M. to 3:30 P.M.					Name	Time on-site
					Tucker D. Paradee, EIT	7:00 A.M. – 8:00 A.M.

Project Salmon Health and Retirement Community	Date 05/27/2021	Report No. 70
Location Village Street, Medway, MA	Project No. 143-21583-15011	Sheet 2 of 2

FIELD OBSERVATIONS CONTINUED

2. SCHEDULE

- A. Milling and overlay on Village Street and paving of the entrance at Willow Pond Circle to be performed at a future date.
- B. Contractor to perform CCTV inspections of drainage infrastructure within Waterside Run.
- C. TT will maintain communication with contractor and will inspect the site as construction progresses.

3. NEW ACTION ITEMS

- A. N/A

4. PREVIOUS OPEN ACTION ITEMS

- A. Contractor to coordinate with Conservation Commission on drainage modification at the mechanical area south of Infiltration Trench 20.

5. MATERIALS DELIVERED TO SITE SINCE LAST INSPECTION

- A. N/A

FIELD REPORT

Project Salmon Health and Retirement Community (The Willows)	Date 06/01/2021	Report No. 71
Location Village Street, Medway, MA	Project No. 143-21583-15011	Sheet 1 of 2
Contractor Rubicon Builders (General Contractor) Marois Brothers, Inc. (Site Contractor)	Weather A.M. CLOUDY P.M.	Temperature A.M. 54 °F P.M.

FIELD OBSERVATIONS

On Tuesday, June 1, 2021, Tucker D. Paradee, E.I.T. from Tetra Tech (TT) visited the project location to inspect the current condition of the site and monitor construction progress. The report outlines observations made during the site visit.

1. OBSERVATIONS

- A. Site Conditions/Erosion Controls: The western portion of the site along Willow Pond Circle is firm and dry. Stockpiled construction materials present throughout the main open portion of the site. Silt fence barrier (SFB) throughout the site appears to be recently maintained and is in good condition. Silt sacks installed in catch basins throughout the site are in good condition.
- B. TT was on-site to observe scheduled milling at the Village Street entrances to Willow Pond Circle and to Waterside Run. Subcontractor, Allied Paving Corporation, milled down 1.5 inches on Village Street for 100 yards in front of Willow Pond Circle and for 20 yards in front of Waterside Run. A water main valve box was broken while hammering the surrounding bituminous surface. Contractor was aware of the damage and will complete necessary repairs prior to paving. Milled surfaces were swept and cleared of all debris once operations were completed.
- C. TT inspected the top course installed at Willow Pond Circle surrounding the main campus building following heavy rains throughout the weekend. Upon inspection, puddles and ponding water were not identified throughout the limit of top course.
- D. At-grade Basins 1 and 3 were inspected following the rain event from the previous night. Staging water present within both Basin 1 and Basin 3, TT will continue to evaluate the performance of the at-grade basins during scheduled site inspections to ensure 72-hour drawdown is achieved.

CONTRACTOR'S FORCE AND EQUIPMENT						WORK DONE BY OTHERS	
Sup't	1	Bulldozer		Asphalt Paver		Dept. or Company	Description of Work
Foreman	1	Backhoe		Asphalt Reclaimer	1	Allied Paving Corporation	Milling on Village St.
Laborers	4	Loader		Vib. Roller			
Drivers	5+	Rubber Tire Backhoe/Loader		Static Roller			
Oper. Engr.	2	Skid Steer	1	Vib. Walk Comp.			
Carpenters		Hoeram		Compressor			
Masons		Excavator	1	Jack Hammer			
Iron Workers		Grader		Power Saw			
Electricians		Crane		Conc. Vib.			
Flagpersons		Scraper		Tack Truck			
Surveyors		Conc. Mixer		Man Lift			
		Conc. Truck		Skidder		OFFICIAL VISITORS TO JOB	
		Conc. Pump Truck		Compact Track Loader			
		Pickup Truck	5+	Water Truck			
		Tri-Axle Dump Truck	2	Crane Truck			
		Trailer Dump Truck		Sweeper	1		
		Art. Dump Truck		BOMAG Remote Comp.			
Police Details: N/A						RESIDENT REPRESENTATIVE FORCE	
Contractor's Hours of Work: 7:00 A.M. to 3:30 P.M.						Name	Time on-site
						Tucker D. Paradee, EIT	7:00 A.M. – 12:00 P.M.

Project Salmon Health and Retirement Community	Date 06/01/2021	Report No. 71
Location Village Street, Medway, MA	Project No. 143-21583-15011	Sheet 2 of 2

FIELD OBSERVATIONS CONTINUED

2. SCHEDULE

- A. Overlay on Village Street and paving of the entrance at Willow Pond Circle to be performed Wednesday, June 2, 2021.
- B. Contractor to perform CCTV inspections of drainage infrastructure within Waterside Run.
- C. TT will maintain communication with contractor and will inspect the site as construction progresses.

3. NEW ACTION ITEMS

- A. N/A

4. PREVIOUS OPEN ACTION ITEMS

- A. Contractor to coordinate with Conservation Commission on drainage modification at the mechanical area south of Infiltration Trench 20.

5. MATERIALS DELIVERED TO SITE SINCE LAST INSPECTION

- A. N/A

Tetra Tech
100 Nickerson Road, Suite 200
Marlborough, MA 01752

FIELD REPORT

Project Salmon Health and Retirement Community (The Willows)	Date 06/02/2021	Report No. 72
Location Village Street, Medway, MA	Project No. 143-21583-15011	Sheet 1 of 2
Contractor Rubicon Builders (General Contractor) Marois Brothers, Inc. (Site Contractor)	Weather A.M. PARTLY CLOUDY P.M. PARTLY CLOUDY	Temperature A.M. 58 °F P.M. 78 °F

FIELD OBSERVATIONS

On Wednesday, June 2, 2021, Tucker D. Paradee, E.I.T. from Tetra Tech (TT) visited the project location to inspect the current condition of the site and monitor construction progress. The report outlines observations made during the site visit.

1. OBSERVATIONS

- A. Site Conditions/Erosion Controls: The western portion of the site along Willow Pond Circle is firm and dry. Stockpiled construction materials present throughout the main open portion of the site. Silt fence barrier (SFB) throughout the site appears to be recently maintained and is in good condition. Silt sacks installed in catch basins throughout the site are in good condition.
- B. TT was on-site to observe scheduled top course instillation along Village Street in front of Willow Pond Circle and Waterside Run, along with the beginning of Willow Pond Circle (approx STA. 0+00 - STA. 3+00). Gate boxes for gas and water were raised as necessary to attain a smooth surface, damaged valve box repaired prior to paving operations. Roadway surfaces were swept and cleaned of loose debris prior to spraying tack coat. Allied Paving Corporation laid approximately 2" (loose) of bituminous concrete asphalt to achieve a compacted depth of 1 ½". Top course temperatures ranged from 240 °F - 280 °F out of the paver screed. A level was frequently used to verify proper slopes were achieved for drainage. The asphalt mix was taken from Aggregate Industries in Wrentham, MA, quantities totaled 209.62 tons. Once new asphalt was rolled, surface temperatures were allowed to drop to 140°F before allowing for traffic to pass over to ensure adequate settling.

CONTRACTOR'S FORCE AND EQUIPMENT						WORK DONE BY OTHERS	
Sup't	1	Bulldozer		Asphalt Paver	1	Dept. or Company	Description of Work
Foreman	1	Backhoe		Asphalt Reclaimer		Allied Paving Corporation	Paving along Village St.
Laborers	5+	Loader		Vib. Roller	3		
Drivers	5+	Rubber Tire Backhoe/Loader		Static Roller			
Oper. Engr.	2	Skid Steer		Vib. Walk Comp.			
Carpenters		Hoeram		Compressor			
Masons		Excavator		Jack Hammer			
Iron Workers		Grader		Power Saw			
Electricians		Crane		Conc. Vib.			
Flagpersons		Scraper		Tack Truck			
Surveyors		Conc. Mixer		Man Lift			
		Conc. Truck		Skidder		OFFICIAL VISITORS TO JOB	
		Conc. Pump Truck		Compact Track Loader			
		Pickup Truck	5+	Water Truck			
		Tri-Axle Dump Truck	2	Crane Truck			
		Trailer Dump Truck		Sweeper	1		
		Art. Dump Truck		BOMAG Remote Comp.			
Police Details: N/A						RESIDENT REPRESENTATIVE FORCE	
Contractor's Hours of Work: 7:00 A.M. to 3:30 P.M.						Name	Time on-site
						Tucker D. Paradee, EIT	7:00 A.M. – 3:30 P.M.

Project Salmon Health and Retirement Community	Date 06/02/2021	Report No. 72
Location Village Street, Medway, MA	Project No. 143-21583-15011	Sheet 2 of 2

FIELD OBSERVATIONS CONTINUED

2. SCHEDULE

- A. Contractor to perform CCTV inspections of drainage infrastructure within Waterside Run.
- B. TT will maintain communication with contractor and will inspect the site as construction progresses.

3. NEW ACTION ITEMS

- A. N/A

4. PREVIOUS OPEN ACTION ITEMS

- A. Contractor to coordinate with Conservation Commission on drainage modification at the mechanical area south of Infiltration Trench 20.

5. MATERIALS DELIVERED TO SITE SINCE LAST INSPECTION

- A. N/A



dan@legacy-ce.com

508-376-8883(o)

508-868-8353(c)

730 Main Street

Suite 2C

Millis, MA 02054

CONSTRUCTION INSPECTION REPORT

Date of Inspection: 6/4/2021 **Time On-Site:** 12:15 pm **Weather:** 80F, Sunny

Location: William Wallace Village, 274 Village Street, Medway, MA

Inspection By: Daniel J. Merrikin, P.E.

Date of Report: 6/7/2021

Observation Requested by: DTRT LLC
Medway Planning & Economic Development Board

Activity Summary:

At the time of inspection, it was noted that Building 1 construction and work on the original house structure is ongoing.

Note the following site construction activities since our last inspection.

- Stormwater piping and structures were installed at the rear of the site.
- Sewer installation on-site was nearly complete.
- Infiltration field construction continues.

Erosion Controls:

Perimeter erosion controls were inspected and found to be in good condition. Two temporary sediment basins have been excavated and appear to be functioning well.

The construction entrance needs to be re-established due to ongoing utility installation work. Erosion controls were temporarily removed behind unit 1 to install the new sewer. Contractor reports that he has consulted with the Conservation agent and that it will be re-established early this week.

Recommended Improvements:

1. Refresh construction entrance with new stone.
 2. Install new erosion control behind unit 1.
-









June 8, 2021

**Medway Planning & Economic Development Board
Meeting**

Review of Petitions to the ZBA

- 5 Nipmuc Street – Request for a dimensional variance to allow for the construction of a 1 car garage on a nonconforming lot
- 1 Kenart Road – Request for a dimensional variance and/or a special permit to allow for construction of a 2 car garage with a room above as an addition to an existing nonconforming structure on a nonconforming lot.

NOTE – The ZBA hearings for these petitions are scheduled for June 17th.

GENERAL APPLICATION FORM



TOWN OF MEDWAY

ZONING BOARD OF APPEALS

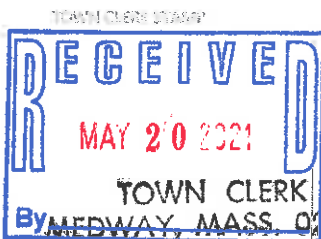
155 Village Street
Medway MA 02053

Phone: 508-321-4915 | zoning@townofmedway.org
www.townofmedway.org/zoning-board-appeal

NOTE: THE APPLICATION WILL NOT BE CONSIDERED "COMPLETE" UNLESS ALL NECESSARY DOCUMENTS, FEES, & WAIVER REQUESTS ARE SUBMITTED. A GENERAL APPLICATION FORM MUST BE COMPLETED FOR ALL APPLICATIONS.

TO BE COMPLETED BY THE APPLICANT

Applicant/Petitioner(s): Sheba Macmillan	Application Request(s):
Property Owner(s): Sheba Macmillan David Macmillan	Appeal <input type="checkbox"/> Special Permit <input type="checkbox"/> Variance <input checked="" type="checkbox"/> Determination/Finding <input type="checkbox"/> Extension <input type="checkbox"/> Modification <input type="checkbox"/> Comprehensive Permit <input type="checkbox"/>
Site Address(es): 5 Nipmuc St Medway MA 02053	
Parcel ID(s): 69-037	
Zoning District(s): Other Village Res	
Registry of Deeds Book & Page No. and Date or Land Court Certificate No. and Date of Current Title:	



TO BE COMPLETED BY STAFF:

Check No.: 160
Date of Complete Submittal: 5/20/21
Comments:

Megan Harris

5/20/21

GENERAL APPLICATION FORM

APPLICANT/PETITIONER INFORMATION

The owner(s) of the land must be included as an applicant, even if not the proponent. Persons or entities other than the owner may also serve as co-applicants in addition to the owner(s), however, in each instance, such person shall provide sufficient written evidence of authority to act on behalf of the owner(s). For legal entities such as corporations, LLCs, etc., list the type and legal status of ownership, the name of the trustees/officer members, their affiliation, and contact information. Please provide attachment for information if necessary.

Applicant/Petitioner(s): Shebra Macmillan		Phone: 774.292-6741
		Email: SMAC02465@AOL.COM
Address: 5 Nipmuc St		
Attorney/Engineer/Representative(s):		Phone:
		Email:
Address:		
Owner(s): Shebra Macmillan David Macmillan		Phone: 774.292-6741
		Email: SMAC02465@AOL.COM
Mailing Address: 5 Nipmuc St Medway, MA 02053		

Please list name and address of other parties with financial interest in this property (use attachment if necessary):

Please disclose any relationship, past or present, interested parties may have with members of the ZBA:

I hereby certify that the information on this application and plans submitted herewith are correct, and that the application complies with all applicable provisions of Statutes, Regulations, and Bylaws to the best of my knowledge, and that all testimony to be given by me during the Zoning Board of Appeals public hearing associated with this application are true to the best of my knowledge and belief.

Shebra H. Macmillan
Signature of Applicant/Petitioner or Representative

5-2-2021
Date

David T. Macmillan
Signature Property Owner (if different than Applicant/Petitioner)

5-2-2021
Date

APPLICATION INFORMATION

		YES	NO
Applicable Section(s) of the Zoning Bylaw: <u>6.1 3</u>	Requesting Waivers?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	Does the proposed use conform to the current Zoning Bylaw?	<input type="checkbox"/>	<input type="checkbox"/>
Present Use of Property: <u>Residential</u>	Has the applicant applied for and/or been refused a building permit?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	Is the property or are the buildings/structures pre-existing nonconforming?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Proposed Use of Property: <u>Residential / same</u>	Is the proposal subject to approval by the BOH or BOS?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	Is the proposal subject to approval by the Conservation Commission?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Date Lot was created:	Is the property located in the Floodplain District?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Date Building was erected: <u>1930</u>	Is the property located in the Groundwater Protection District?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Does the property meet the intent of the Design Review Guidelines? <u>Yes</u>	Is the property located in a designated Historic District or is it designated as a Historic Landmark?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Describe Application Request: <p><u>Requesting to build a 14x28 garage. Would like to have garage 1.8 feet from property line.</u></p> <p><u>There is no "actual" road that my property abuts to. The garage will be placed on a crushed stone foundation.</u></p>			

GENERAL APPLICATION FORM


FILL IN THE APPLICABLE DATA BELOW

Required Data	Bylaw Requirement	Existing	Proposed
A. Use			
B. Dwelling Units			
C. Lot Size	22500	22500	
D. Lot Frontage	150	150	
E. Front Setback	20	35	1.8
F. Side Setback	10	10	
G. Side Setback	10	87	
H. Rear Setback	10		
I. Lot Coverage			Structure 18.93 Impervious 39.07
J. Height			
K. Parking Spaces			
L. Other			

FOR TOWN HALL USE ONLY

To be filled out by the Building Commissioner:

5/20/21
Date Reviewed


Medway Building Commissioner

Comments:

After completing this form, please submit an electronic copy to zoning@townofmedway.org
and 4 paper copies to the Community & Economic Development Department.

**TOWN OF MEDWAY****ZONING BOARD OF APPEALS**

155 Village Street
Medway MA 02053

VARIANCE FORM**Case Number:** _____

Phone: 508-321-4915 | zoning@townofmedway.org
www.townofmedway.org/zoning-board-appeal

NOTE: THE APPLICATION WILL NOT BE CONSIDERED "COMPLETE" UNLESS ALL NECESSARY DOCUMENTS, FEES, & WAIVER REQUESTS ARE SUBMITTED. A GENERAL APPLICATION FORM MUST BE COMPLETED FOR ALL APPLICATIONS.

TO BE COMPLETED BY THE APPLICANT

Please provide evidence regarding how the Variance Criteria, outlined below, is met. All Variance Criteria must be met to be considered. Provide attachments if necessary.

1. What circumstances exist relating to the shape, topography, or soil conditions of the subject property which do not generally affect other land in the zoning district? (See MGL c. 40A Section 10)

2. What substantial hardship, financial or otherwise, is caused by the circumstances listed above when the literal enforcement of Medway Zoning Bylaw is applied? (See MGL c. 40A Section 10) (Cannot be *personal hardship*)

3. State why you believe the grant of relief would not nullify or derogate from the intent of the Zoning Bylaw.

Shuba H. Macmillan

Signature of Applicant/Petitioner or Representative

4/23/2021

Date

1. What circumstances exist relating to the shape, topography, or soil conditions of the subject property which do not generally affect other land in the zoning district?

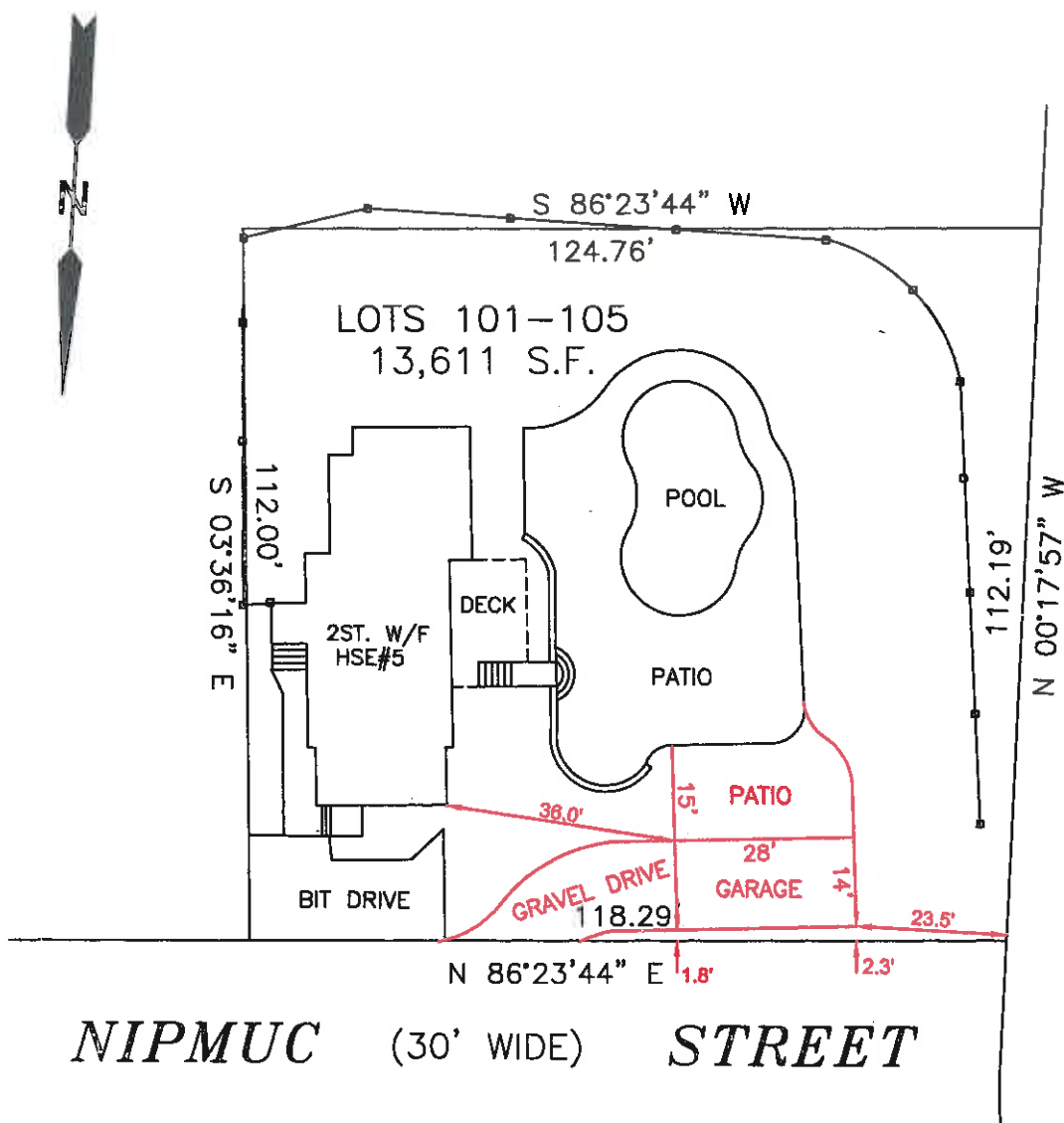
Our property, 5 Nipmuc Street, is located at the end of the street, backing into the new Willows Community. As the property is located at the end of the road, the town does not maintain the roadway. The addition of a garage will not impact any landowner as the proposed location of the garage is at the end, abutting the Willows Community. The community is enough of a distance from the proposed location as to interfere in any way.

2. What substantial hardship, financial or otherwise, is caused by the circumstances listed above when the literal enforcement of Medway Zoning Bylaw is applied?

The construction of The Willows Community has affected drainage to Nipmuc Street. As our property is the last property on the street, we are especially impacted. Rain water floods our front yard every time there is a storm, bringing with it not only water, but trash, and construction debris. We have spent resources to add additional surface soil, only to have it wash away every time it rains. The addition of the garage will give us the opportunity to add proper drainage to our property. This drainage is not only necessary for the proposed garage, but to protect the integrity of our home.

3. State why you believe the grant of relief would not nullify or derogate from the intent of the Zoning Bylaw.

The grant of the Zoning Bylaw variance does not impact our neighbors. The variance will help us increase the value of our property, while protect the integrity of our home. We will combine the construction of the garage with necessary drainage. This work will protect our property and help others with on the street with managing flooding and water flow.



ZONE VR
AREA 22,500 S.F.
FRONTAGE 150'
SETBACK 20'
SIDEYARD 10'
REAR YARD 10'
LOT COVERAGE
STRUCTURE 30%
IMPERVIOUS 40%

REQUEST RELIEF FROM ZONING
SEYBACK 35' TO 1.8'

PROPOSED LOT COVERAGE
STRUCTURE 18.93%
IMPERVIOUS 39.07%

I CERTIFY THAT THE PROPOSED GARAGE
DOES NOT LIE WITHIN THE FLOOD PLAIN.

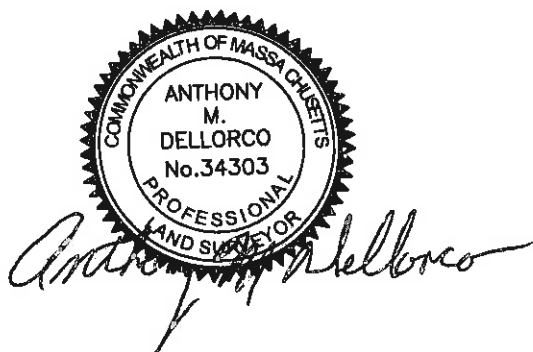
PROPOSED GARAGE
PLAN OF LAND

IN

MEDWAY, MA.

SCALE: 1"=30' APRIL 1, 2021

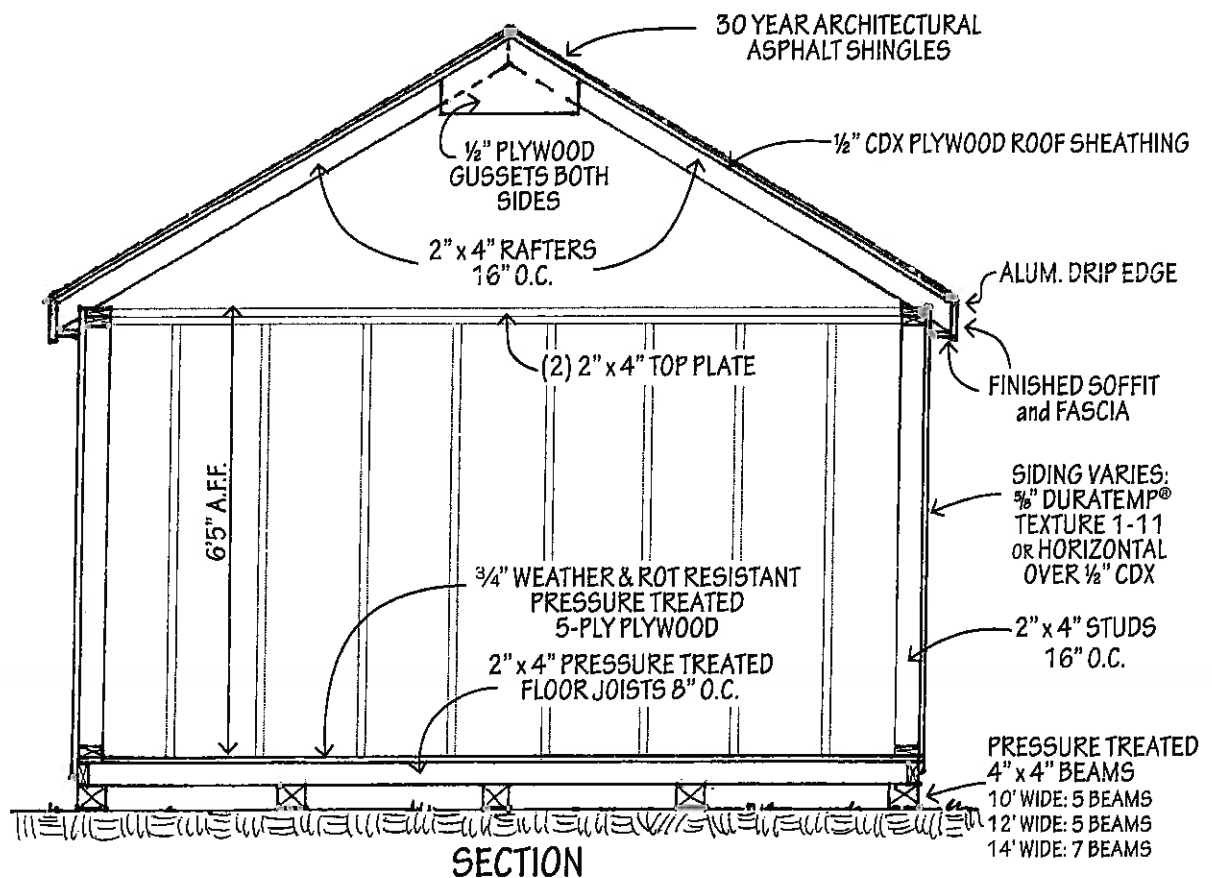
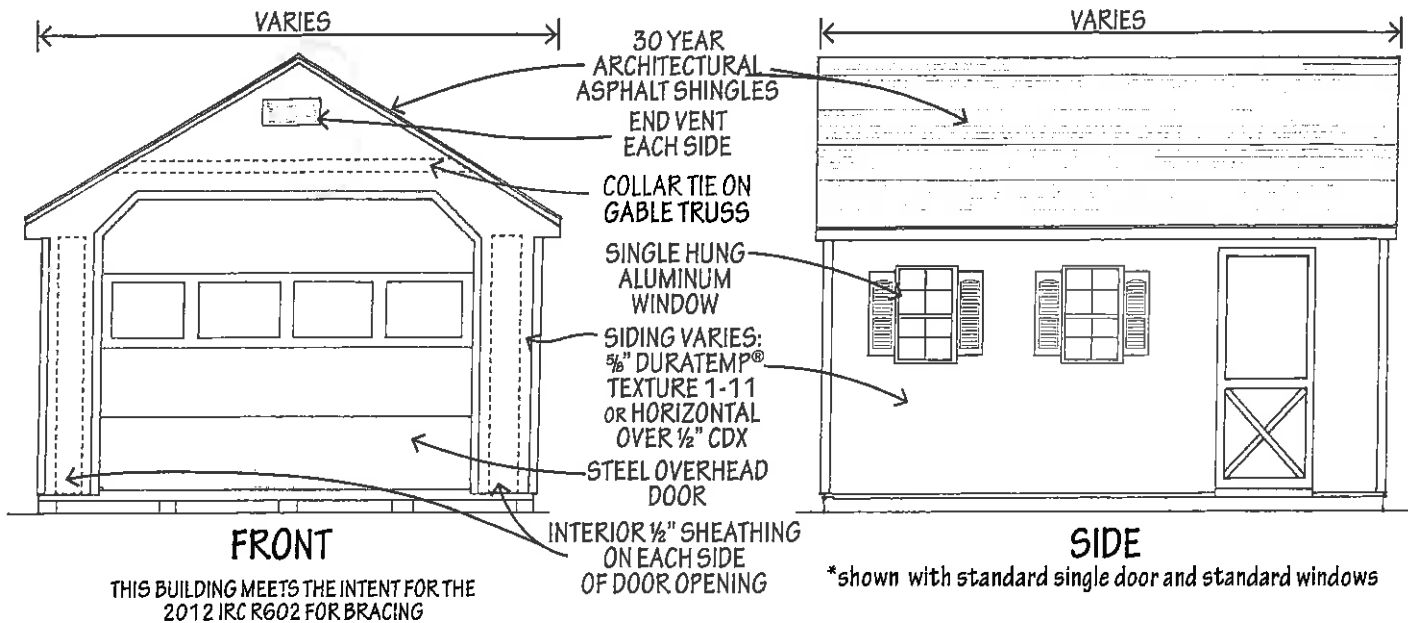
OWNER: David MacMillan & Sheba Kelly
5 Nipmuc Street
Medway, Ma. 02053



COLONIAL ENGINEERING INC.
11 AWL STREET MEDWAY, MA.
508-533-1644

Cape Storage Building

with overhead door



KLOTER FARMS

www.KloterFarms.com

860-871-1048 800-289-3463 Fax 860-871-1117
216 West Road (Rte 83), Ellington, CT 06029

NOTES:

Design meets requirements of 2018 IRC Section 301.5
Floor will support 2000# load applied over 20 sq. in.

Designed to resist wind gust of 130 MPH for 3 seconds
Design wind force - 34psf
Design snow load - 40 psf
Design floor load - 100 psf







300' 69-037

GENERAL APPLICATION FORM



TOWN OF MEDWAY

ZONING BOARD OF APPEALS

155 Village Street
Medway MA 02053

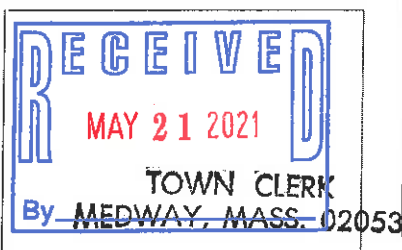
Phone: 508-321-4915 | zoning@townofmedway.org
www.townofmedway.org/zoning-board-appeal

NOTE: THE APPLICATION WILL NOT BE CONSIDERED "COMPLETE" UNLESS ALL NECESSARY DOCUMENTS, FEES, & WAIVER REQUESTS ARE SUBMITTED. A GENERAL APPLICATION FORM MUST BE COMPLETED FOR ALL APPLICATIONS.

TO BE COMPLETED BY THE APPLICANT

Applicant/Petitioner(s): Krunal & Ankita Patel	Application Request(s):
Property Owner(s): Krunal & Ankita Patel	Appeal <input type="checkbox"/> Special Permit <input checked="" type="checkbox"/> Variance <input checked="" type="checkbox"/> Determination/Finding <input type="checkbox"/> Extension <input type="checkbox"/> Modification <input type="checkbox"/> Comprehensive Permit <input type="checkbox"/>
Site Address(es): 1 Kenart Rd Medway, MA 02053	
Parcel ID(s): 50-027	
Zoning District(s): AR-1 Agricultural Residential 1	
Registry of Deeds Book & Page No. and Date or Land Court Certificate No. and Date of Current Title: Bk-Pg:32028-360	

TOWN CLERK STAMP



TO BE COMPLETED BY STAFF

Check No.: 584
Date of Complete Submittal: 5/21/21
Comments:

GENERAL APPLICATION FORM



TOWN OF MEDWAY

ZONING BOARD OF APPEALS

155 Village Street
Medway MA 02053

Phone: 508-321-4915 | zoning@townofmedway.org
www.townofmedway.org/zoning-board-appeal

NOTE: THE APPLICATION WILL NOT BE CONSIDERED "COMPLETE" UNLESS ALL NECESSARY DOCUMENTS, FEES, & WAIVER REQUESTS ARE SUBMITTED. A GENERAL APPLICATION FORM MUST BE COMPLETED FOR ALL APPLICATIONS.

TO BE COMPLETED BY THE APPLICANT

Applicant/Petitioner(s): Krunal & Ankita Patel	Application Request(s):	
Property Owner(s): Krunal & Ankita Patel	Appeal	<input type="checkbox"/>
	Special Permit	<input type="checkbox"/>
Site Address(es): 1 Kenart Rd Medway, MA 02053	Variance	<input checked="" type="checkbox"/>
	Determination/Finding	<input type="checkbox"/>
	Extension	<input type="checkbox"/>
	Modification	<input type="checkbox"/>
Parcel ID(s): 50-027	Comprehensive Permit	<input type="checkbox"/>
Zoning District(s): AR-1 Agricultural Residential 1		
Registry of Deeds Book & Page No. and Date or Land Court Certificate No. and Date of Current Title: Bk-Pg:32028-360		

TOWN CLERK STAMP

TO BE COMPLETED BY STAFF:

Check No.:
Date of Complete Submittal:
Comments:

GENERAL APPLICATION FORM

APPLICANT/PETITIONER INFORMATION

The owner(s) of the land must be included as an applicant, even if not the proponent. Persons or entities other than the owner may also serve as co-applicants in addition to the owner(s), however, in each instance, such person shall provide sufficient written evidence of authority to act on behalf of the owner(s). For legal entities such as corporations, LLCs, etc., list the type and legal status of ownership, the name of the trustees/officer members, their affiliation, and contact information. Please provide attachment for information if necessary.

Applicant/Petitioner(s): Krunal & Ankita Patel	Phone: 302-690-2825
	Email: krunalhpatel@yahoo.com
Address: 1 Kenart Rd, Medway, MA 02053	
Attorney/Engineer/Representative(s):	Phone:
	Email:
Address: 1 Kenart Rd, Medway, MA 02053	
Owner(s): Krunal & Ankita Patel	Phone: 302-690-2825
	Email: krunalhpatel@yahoo.com
Mailing Address: 1 Kenart Rd, Medway, MA 02053	

Please list name and address of other parties with financial interest in this property (use attachment if necessary):
N/A

Please disclose any relationship, past or present, interested parties may have with members of the ZBA:
N/A

I hereby certify that the information on this application and plans submitted herewith are correct, and that the application complies with all applicable provisions of Statutes, Regulations, and Bylaws to the best of my knowledge, and that all testimony to be given by me during the Zoning Board of Appeals public hearing associated with this application are true to the best of my knowledge and belief.

Krunal Patel 21 MAY 2021
Signature of Applicant/Petitioner or Representative Date

SAME
Signature Property Owner (if different than Applicant/Petitioner) Date

GENERAL APPLICATION FORM

APPLICATION INFORMATION

		YES	NO
Applicable Section(s) of the Zoning Bylaw:	Requesting Waivers?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5.5 Noconforming Uses & Structures	Does the proposed use conform to the current Zoning Bylaw?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Present Use of Property: Primary Residence	Has the applicant applied for and/or been refused a building permit?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	Is the property or are the buildings/ structures pre-existing nonconforming?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Proposed Use of Property: Primary Residence	Is the proposal subject to approval by the BOH or BOS?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	Is the proposal subject to approval by the Conservation Commission?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Date Lot was created: <u>UNKNOWN</u>	Is the property located in the Floodplain District?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Date Building was erected: <u>UNKNOWN ~ 1955</u>	Is the property located in the Groundwater Protection District?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Does the property meet the intent of the Design Review Guidelines?	Is the property located in a designated Historic District or is it designated as a Historic Landmark?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>Describe Application Request:</p> <p>Requesting to add an addition of a 2-car garage and a room above to the existing nonconforming structure. Existing Setbacks are not compliant with current zoning requirements.</p>			

APPLICATION INFORMATION

		YES	NO
Applicable Section(s) of the Zoning Bylaw:	Requesting Waivers?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6.1 8 5.5 5.5 Noconforming Uses & Structures	Does the proposed use conform to the current Zoning Bylaw?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Present Use of Property: Primary Residence	Has the applicant applied for and/or been refused a building permit?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	Is the property or are the buildings/ structures pre-existing nonconforming?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Proposed Use of Property: Primary Residence	Is the proposal subject to approval by the BOH or BOS?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	Is the proposal subject to approval by the Conservation Commission?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Date Lot was created:	Is the property located in the Floodplain District?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
UNKNOWN			
Date Building was erected:	Is the property located in the Groundwater Protection District?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
UNKNOWN ~1955			
Does the property meet the intent of the Design Review Guidelines?	Is the property located in a designated Historic District or is it designated as a Historic Landmark?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
YES			
<p>Describe Application Request:</p> <p>Requesting to add an addition of a 2-car garage and a room above to the existing nonconforming structure. Existing Setbacks are not compliant with current zoning requirements.</p>			

GENERAL APPLICATION FORM

FILL IN THE APPLICABLE DATA BELOW

Required Data	Bylaw Requirement	Existing	Proposed
A. Use		Primary Residence	Primary Residence
B. Dwelling Units		1	1
C. Lot Size	44,000 sq. ft	11,051 sq. ft	11,051 sq. ft
D. Lot Frontage	180 ft	110 ft	110 ft
E. Front Setback	35 ft	22 ft 3 in	22 ft 3 in
F. Side Setback	35 ft	43 ft 5 in	17 ft 5 in
G. Side Setback	15 ft	20 ft 1 in	20 ft 1 in
H. Rear Setback	15 ft	42 ft 3 in	42 ft 3 in
I. Lot Coverage	25%	11%	17%
J. Height	35 ft	23 ft	23 ft
K. Parking Spaces			
L. Other			

FOR TOWN HALL USE ONLY

To be filled out by the Building Commissioner:

Date Reviewed

Medway Building Commissioner

Comments:

After completing this form, please submit an electronic copy to zoning@townofmedway.org and 4 paper copies to the Community & Economic Development Department.

GENERAL APPLICATION FORM

FILL IN THE APPLICABLE DATA BELOW

Required Data	Bylaw Requirement	Existing	Proposed
A. Use		Primary Residence	Primary Residence
B. Dwelling Units		1	1
C. Lot Size	44,000 sq. ft	11,051 sq. ft	11,051 sq. ft
D. Lot Frontage	180 ft	110 ft	110 ft
E. Front Setback	35 ft	22 ft 3 in	22 ft 3 in
F. Side ^{Front} Setback	35 ft	43 ft 5 in	17 ft 5 in
G. Side Setback	15 ft	20 ft 1 in	20 ft 1 in
H. Rear Setback	15 ft	42 ft 3 in	42 ft 3 in
I. Lot Coverage	25%	11%	17%
J. Height	35 ft	23 ft	23 ft
K. Parking Spaces			
L. Other			

FOR TOWN HALL USE ONLY

To be filled out by the Building Commissioner:

5/25/2021

Date Reviewed

Medway Building Commissioner

Comments:

After completing this form, please submit an electronic copy to zoning@townofmedway.org and 4 paper copies to the Community & Economic Development Department.



TOWN OF MEDWAY

ZONING BOARD OF APPEALS

155 Village Street
Medway MA 02053

Phone: 508-321-4915 | zoning@townofmedway.org
www.townofmedway.org/zoning-board-appeal

NOTE: THE APPLICATION WILL NOT BE CONSIDERED "COMPLETE" UNLESS ALL NECESSARY DOCUMENTS, FEES, & WAIVER REQUESTS ARE SUBMITTED. A GENERAL APPLICATION FORM MUST BE COMPLETED FOR ALL APPLICATIONS.

TO BE COMPLETED BY THE APPLICANT

Please provide evidence regarding how the Variance Criteria, outlined below, is met. All Variance Criteria must be met to be considered. Provide attachments if necessary.

1. What circumstances exist relating to the shape, topography, or soil conditions of the subject property which do not generally affect other land in the zoning district? (See MGL c. 40A Section 10)

The existing lot is a pre-existing non-conforming lot. It is a corner lot and only 11,051 sq. ft in size. Due to the smaller size of the lot compared to the other lots in the area, and where the house sits on the existing lot, there would be no conforming location for the proposed addition.

2. What substantial hardship, financial or otherwise, is caused by the circumstances listed above when the literal enforcement of Medway Zoning Bylaw is applied? (See MGL c. 40A Section 10) (Cannot be *personal hardship*)

The hardship is owing to the size and location of the lot, which limits the ability to meet the setback requirement with the proposed addition. Due to the location of the existing structure and the septic system, there is no other confirming location on the property for this proposed addition. The substantial hardship, financial or otherwise, is to the current owner and all future owners.

3. State why desirable relief may be granted without substantial detriment to the public good.

The relief will not substantially detriment to the public good as the lot will still have more than 17 ft of set back after the addition and it will the same height and built to match the current structure. It will not intrude on the any of the neighbouring properties.

4. State why relief may be granted without nullifying or substantially derogating from the intent or purpose of the Zoning Bylaw.

The relief will neither nullifying or substantially derogating from the intent or purpose of the Zoning Bylaw. It will enhance the overall character and bring value to the neighborhood by updating this structure to the recently built houses in the area.

Handwritten signature

21-May-2021

Signature of Applicant/Petitioner or Representative

Date

GENERAL SPECIAL PERMIT FORM



TOWN OF MEDWAY

ZONING BOARD OF APPEALS

155 Village Street
Medway MA 02053

Phone: 508-321-4915 | zoning@townofmedway.org
www.townofmedway.org/zoning-board-appeal

NOTE: THE APPLICATION WILL NOT BE CONSIDERED "COMPLETE" UNLESS ALL NECESSARY DOCUMENTS, FEES, & WAIVER REQUESTS ARE SUBMITTED. A GENERAL APPLICATION FORM MUST BE COMPLETED FOR ALL APPLICATIONS.

TO BE COMPLETED BY THE APPLICANT

Please provide evidence regarding how the Special Permit Decision Criteria, outlined below, is met. Please write "N/A" if you believe any of the Criteria is Not Applicable. Provide attachments if necessary.

<p>1. The proposed site is an appropriate location for the proposed use:</p> <p>The site is an appropriate zone to allow for the current use and in the same use since the 1955</p>
<p>2. Adequate and appropriate facilities will be provided for the operation of the proposed use:</p> <p>The current dwelling has all necessary facility as required for the intended use. The proposal is to add a garage and additional living space. It will It will not alter the operation and purpose of the use as a dwelling. It will further enhance the facilities.</p>
<p>3. The proposed use as developed will not create a hazard to abutters, vehicles, pedestrians, or the environment:</p> <p>The proposed addition will not create a hazard to the abutters, vehicles, pedestrians, or the environment. The dwelling is located on a corner lot of two dead end streets and has extremely low vehicle traffic.</p>
<p>4. The proposed use will not cause undue traffic congestion or conflicts in the immediate area:</p> <p>The proposed addition will not create any undue traffic congestion or conflict in the immediate area as it is located on a corner lot of two dead end streets and has extremely low vehicle traffic.</p>
<p>5. The proposed use will not be detrimental to the adjoining properties due to lighting, flooding, odors, dust, noise, vibration, refuse materials, or other undesirable visual, site, or operational attributes of the proposed use:</p> <p>The proposed use of the dwelling is unchanged since 1955 and will not change after the proposed addition. It will not be detrimental to the adjoining properties.</p>
<p>6. The proposed use as developed will not adversely affect the surrounding neighborhood or significantly alter the character of the zoning district:</p> <p>The proposed as developed will not adversely affect the surrounding neighborhood or or significantly alter the character of the zoning district as the proposed use will remain the same.</p>

GENERAL SPECIAL PERMIT FORM

<p>7. The proposed use is in harmony with the general purpose and intent of this Zoning Bylaw: Yes. The proposed use is in harmony in the general purpose and intent of this zoning Bylaw and unchanged since 1955 and promotes the most appropriate use of land</p>
<p>8. The proposed use is consistent with the goals of the Medway Master Plan: Yes. The use of the dwelling is consistent with the goals of the Medway Master Plan and unchanged since 1955</p>
<p>9. The proposed use will not be detrimental to the public good: The proposed use will not be detrimental to the public good as the use has not been changed since 1955</p>



24-May-2021

Signature of Applicant/Petitioner or Representative

Date

THE LOT SHOWN AND THE DWELLING THEREON ARE NOT LOCATED WITHIN THE 100 YEAR FEDERAL FLOOD HAZARD AREA AS SHOWN ON THE FLOOD INSURANCE RATE MAPS FOR THE TOWN OF MEDWAY, MAP NUMBER 25021C0144E, DATED JULY 17, 2012.

ZONED: AGRI-RES 1
AREA = 44,000 sf
FRONTAGE = 180 feet
SETBACKS: FRONT = 35 feet
SIDE = 15 feet
REAR = 15 feet



PREPARED FOR:
VILLAGE COVE, LLC
1 KENART ROAD
MEDWAY, MA 02053

DATE: MAY 18, 2021 SCALE: 1"=20'

PROPOSED ADDITION PLAN

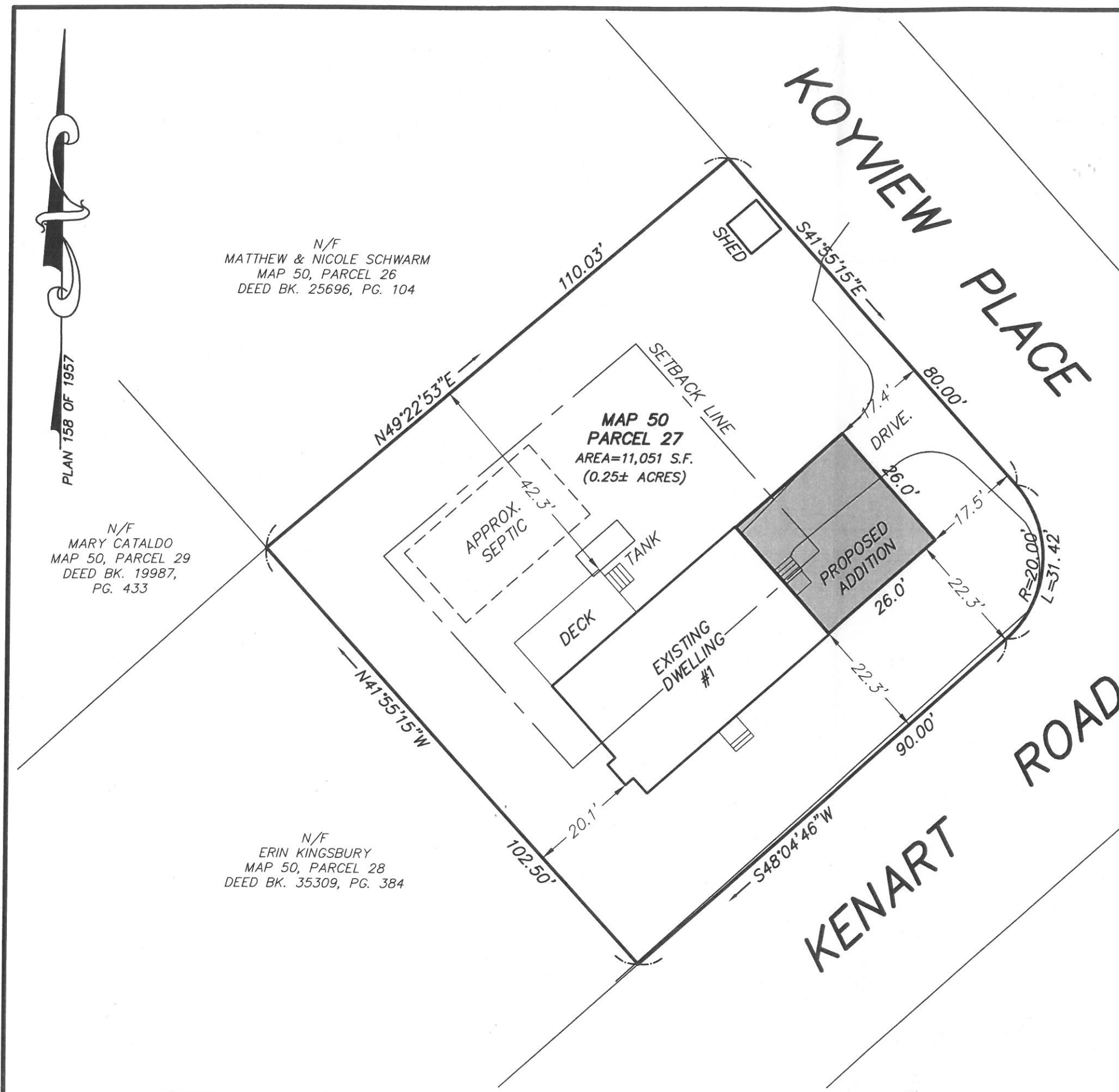
1 KENART ROAD

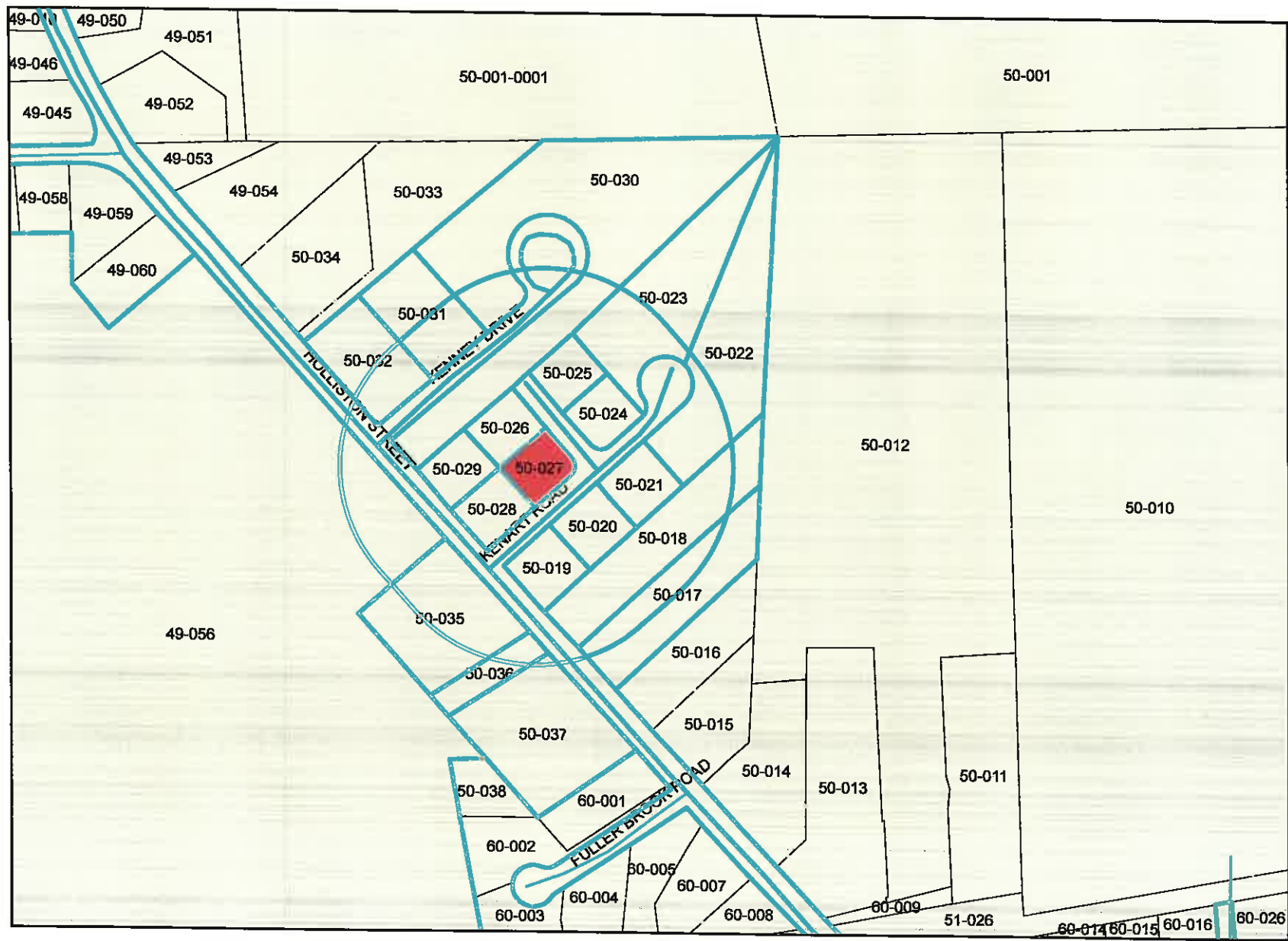
MEDWAY, MA

CONNORSTONE ENGINEERING

**CONSULTING CIVIL ENGINEERS
AND LAND SURVEYORS**

10 SOUTHWEST CUTOFF, SUITE 7
NORTHBOROUGH, MASSACHUSETTS 01532





300' 50-027



June 8, 2021

**Medway Planning & Economic Development Board
Meeting**

**Plan Review Estimates – Phytopia – 6
Industrial Park Road**

- Estimate dated 6-3-21 from Noise Control Engineering for \$3,900 to review noise study and mitigation plan
- Estimate dated 6-2-21 from Bruce Straughan for \$1440 to review odor study and mitigation plan
- Estimate dated 6-3-21 from Tetra Tech for \$,2243 to review parking study



June 3, 2021

NCE Proposal: P5097.21

Noise Plan Review for 6 Industrial Park Road Application

Susan Affleck-Childs
Town of Medway
155 Village Street
Medway, MA 02053

Dear Ms. Affleck-Childs:

Noise Control Engineering, LLC (NCE) is pleased to provide this proposal to provide consulting services to review the noise plan submitted in support of the permit application for a medical use marijuana cultivation, manufacturing, processing, and packaging facility.

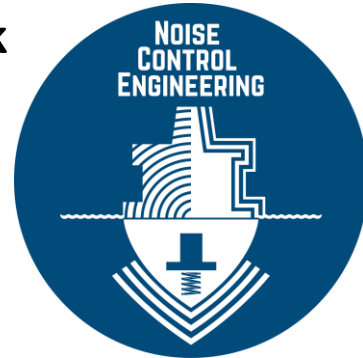
Thank you for your consideration of NCE for this project and I hope this quote meets your technical and budgetary requirements. If you should need anything else, or have any questions or would like to discuss, please feel free to contact me.

Sincerely,
NOISE CONTROL ENGINEERING, LLC

A handwritten signature in black ink that reads "Jeff M. Komrower".

Jeffrey M. Komrower
Senior Engineer
Ph: (978) 584-3026 (direct)
Jeff.komrower@noise-control.com

Noise Plan Review for 6 Industrial Park Road Application



Proposal P5098.21

June 3, 2021

Prepared for:

Town of Medway
155 Village Street
Medway, MA 02053
Attention: Ms. Susan Affleck-Childs

Technical Contact:

Jeffrey M. Komrower
Noise Control Engineering LLC
85 Rangeway Road
Building 2 – 2nd Floor
Billerica, MA 01821
(978) 584-3026 (direct)
jeffk@noise-control.com (email)

1.0 INTRODUCTION AND SCOPE OF WORK

A special permit application and site plan has been received by the Medway Planning and Economic Development Board (PEDB) for the development of a facility for the cultivation, manufacturing, processing, and packaging of marijuana for medical use and adult recreational use and the delivery of such products off site to retail marijuana establishments. The applicant proposes to use an existing 53,128 sq. ft. industrial manufacturing building located at 6 Industrial Park Road in Medway and a proposed addition for this facility. The scope of services would include but may not be limited to the following:

- Review of the noise plan submitted by the applicant and provide written comments
- Attend at least two PEDB meetings either in person or remotely
- Review and prepare written comments on any revisions to the applicant's noise plan.

2.0 PRICING

This project will be on a time & material not to exceed basis subject to the terms and conditions at the end of this proposal. The price for this effort as outlined above is \$3,900 and includes up to 19 hours of Engineering time plus travel expenses to attend two PEDB meetings in person. If attendance at the PEDB meetings can be accomplished remotely, the additional cost of \$500/meeting to attend in person would not be billed. Only actual time and expenses will be billed.

3.0 PROJECT MANAGEMENT

This project will be under the supervision of Mr. Jeffrey Komrower, Senior Acoustical Engineer and will be assisted by other NCE engineers as needed. Mr. Komrower holds a B.S. in Mechanical Engineering from Rensselaer Polytechnic Institute and a M.S. in Ocean Engineering from Florida Atlantic University. Mr. Komrower has over 40 years of experience in the noise and vibration field and has been the project manager for noise control efforts on US Navy Aircraft Carriers and for the Bureau of Reclamation Hydroelectric Powerplants including the Grand Coulee Powerhouses and Hoover Dam Powerplant. Mr. Komrower has extensive experience in environmental noise issues and has been involved in numerous projects where these issues needed to be addressed.

4.0 CONTRACTUAL TERMS

This proposal is accepted with the scope of work, schedule and pricing as indicated within the body of this proposal. All terms and conditions follow this page or are attached as a separate document.

PROPOSAL TITLE:	Noise Plan Review for 6 Industrial Park Road Application
NCE Proposal #:	P5098.21
Prepared For:	Town of Medway, MA
Accepted By: (Print Name)	
Title	
Signature and Date	
BILLING INFORMATION	
Accounts Payable Contact Person:	
Company Name:	
Street Address:	
City, State & Zip:	
Phone Number:	
Email:	
Special Instructions for Invoicing	

The information contained herein shall not be disclosed outside The Town of Medway and shall not be duplicated, used or disclosed in whole or in part. The data subject to this restriction is on all the pages of this proposal.

1. PROFESSIONAL SERVICES – FIXED FEE. Where the scope of services, including reimbursable expenses, subcontracts, and outside services can be clearly defined, Noise Control Engineering will customarily bill for services on a fixed fee basis. Invoices for fixed fee services will be issued monthly based on estimated percent of work scope complete unless other billing milestones and schedules are established.

2. PROFESSIONAL SERVICES – TIME & MATERIALS. When fixed fee services are not appropriate, Noise Control Engineering will bill on a time & materials basis to a mutually agreed-upon budget. Invoices for time & materials services will be issued monthly for: Hourly fees for services –based on time, including travel time, expended on the project by professional, technical, and administrative personnel.

Reimbursable expenses – billed at cost plus G&A and fee, including costs for travel out of the office as well as items such as non-routine communication, reproduction, and delivery charges.

Subcontracts and outside services – billed at cost plus G&A and fee, with copies of all invoices from subcontractor or outside service provider.

3. INVOICING AND PAYMENT. Invoices will be submitted monthly for the prior month's services. Payment is due upon the invoice date and becomes delinquent thirty (30) days thereafter. A late charge will be added to delinquent amounts at the rate of 1½ percent for each thirty (30) days delinquency.

4. SCOPE OF PROFESSIONAL SERVICES. The entire basic scope of professional services to be provided by Noise Control Engineering is described in the attached Proposal. If mutually agreed to in writing by Client and Noise Control Engineering, additional services may be added to the basic scope of service, understanding that payment and schedule will be adjusted accordingly.

5. PUBLIC LIABILITY & WORKERS' COMPENSATION. Noise Control Engineering is protected by public liability insurance for bodily injury and property damage, and will furnish a certificate thereof upon request. Noise Control Engineering is also protected by Massachusetts Industrial Insurance (Workers' Comp) as required by state statute.

6. LIMITATIONS OF PROFESSIONAL LIABILITY. No warranty, express or implied, is made or intended by our proposal for consulting services, by our furnishing oral or written reports, or by our inspection of work. In recognition of the relative risks and benefits of the project to the Client and to Noise Control Engineering, the Client agrees, to the fullest extent permitted by law, to limit the liability of Noise Control Engineering, its parent company, and all Noise Control Engineering subsidiaries and subcontractors supporting the project for any and all claims, losses, damages, or incurred expenses from any cause, so that the total aggregate liability to Noise Control Engineering, its parent company, and all subsidiaries and subcontractors supporting the project is limited to \$50,000 or the total fee paid for the project, whichever is less. Such claims and losses include, but are not limited to negligence, professional errors or omissions, strict liability, and breach of contract.

7. OTHER PROVISIONS.

(i) One or more waivers by either or both parties of any provision, part of any provision, term, condition, or covenant of this agreement shall not be construed as a waiver by either party of any other provision, part of any other provision, term, condition, or covenant of this agreement.

(ii) Unless specifically stated in the attached Proposal, Noise Control Engineering, its parent company, and all Noise Control Engineering subsidiaries and subcontractors have no responsibility for discovery, presence, handling, removal, disposal, or exposure of personnel to hazardous or toxic materials in any form as part of the project scope.

(iii) Unless specifically stated in the attached Proposal, it is understood that Noise Control Engineering will not provide design and construction review services relating to safety precautions of any contractor or subcontractor on the project and further, it is understood that Noise Control Engineering will not provide any supervisory services relating to the construction of the project. Any opinions from Noise Control Engineering relating to any such review or supervisory services shall be considered only as general information and shall not be the basis for any claim against Noise Control Engineering, its parent company, or its subsidiaries and subcontractors.

(iv) Any opinion of project cost offered by Noise Control Engineering represents the judgment of a design professional and is supplied only for general guidance, but Noise Control Engineering does not warrant the accuracy of its opinion as compared to actual contractor bids or actual cost.

8. DELAYS. Noise Control Engineering will prepare reports, drawings, and specifications in a timely manner, consistent with professional care and the orderly progress of work. It is understood that a time extension will be granted to Noise Control Engineering for any and all delays beyond our control (including delays in work being done by subsidiaries and subcontractors) and which could not reasonably have been foreseen at the time this agreement was executed.

9. TERMINATION. Either party may terminate this agreement with seven (7) days' written notice to the other in the event of a substantial failure of performance, including non-payment, by the other party through no fault of the terminating party. If this agreement is terminated, Noise Control Engineering shall be paid for services performed up to the termination notice date, including reimbursable expenses and subcontract obligations.

10. OWNERSHIP OF DOCUMENTS. Drawings, specifications and other documents, including those in electronic form, prepared by Noise Control Engineering, its parent company, and its subsidiaries and subcontractors, are instruments of service for use solely with respect to this project. Noise Control Engineering is the owner of these instruments of service and retains all common law, statutory and other reserved rights, including copyrights. Noise Control Engineering grants to Client a non-exclusive license to reproduce Noise Control Engineering's instruments of service solely for purposes of constructing, and using and maintaining the project, provided the Client complies with all obligations, including payment of all sums when due, under this agreement. Any termination of this Agreement prior to completion of the project shall terminate this license. Any subsequent use or changes to the instruments of service not made or specifically approved by Noise Control Engineering shall be at Client's sole risk and without liability to Noise Control Engineering, its parent company, or its subsidiaries and subcontractors.

11. ELECTRONIC DOCUMENT TRANSMITTAL. Noise Control Engineering accepts liability and responsibility only for instruments of service that can be verified as having been produced and released by Noise Control Engineering or its subsidiaries and subcontractors as indicated in hard copies by a hand-applied signature or in electronic copies by a verifiable digital signature. Drawings, Specifications, and other Documents supplied in electronic form as editable or native format files are provided solely for convenience of the Client as non-verifiable information and therefore will not be considered instruments of service. By accepting delivery of non-verifiable electronic files, the Client acknowledges that information in the electronic files may be incorrect and/or in conflict with the contracted instruments of service.

12. VENUE. This agreement shall be interpreted and enforced in accordance with the laws of the State of Washington. The venue of any action brought to interpret or enforce any of the terms of this agreement or otherwise adjudicate the rights or liabilities of the parties hereto shall be in King County, Washington.

Straughan Forensic, LLC
Forensic Mechanical Engineering

CONSULTING BUDGET

Odor Review for Phytopia, at 6 Industrial Park Road

TASK	HOURS	RATE	AMOUNT
Review Odor Mitigation Plan	2.00	\$ 180.00	\$ 360.00
Write review comments for plan	2.00	\$ 180.00	\$ 360.00
Follow-up review	1.00	\$ 180.00	\$ 180.00
Telephone conference calls	3.00	\$ 180.00	\$ 540.00
TOTAL			\$ 1,440.00

2-Jun-21

Date:	June 3, 2021	Amendment No.:	001
Project:	PEDB 6 Industrial Park Rd	Project No.:	143-21583-21011
To:	Ms. Susan Affleck-Childs	Amendment 001 Cost Estimate	
Co./Dept.:	Medway PEDB	Fee:	\$ 2,136.00
Address:	155 Village Street Medway, MA 02053	Expenses:	\$ 107.00
		Total:	\$ 2,243.00
		Revised Total Project Cost Estimate	
		Fee:	\$ 9,372.00
		Expenses:	\$ 469.00
		Total:	\$ 9,841.00
			Estimated Date of Completion 2021

SCOPE OF SERVICES

Scope Change Descriptions

New Task 4 - Parking Review

Review the parking evaluation prepared for the project for compliance with local regulations and industry standards and good engineering practice and provide comments summarized in a letter to be submitted to the Client. Specifically included in this scope is a review of the parking evaluation memorandum prepared for the project (*Parking Evaluation – Proposed Marijuana Cultivation Facility, 6 Industrial Park Road, Medway, MA*, prepared by MDM Transportation Consultants, Inc.; May 12, 2021). Additional funding may be required if quality and completeness of the parking evaluation is less than satisfactory as compared to industry standards.

Budget:

\$360 (2 hours @ \$180/hr)
 \$1,776 (12 hours @ \$148/hr)
 \$2,136 (Subtotal)
 \$107 (Expenses)
\$2,243 (Total CO 001)

Task	Task Description	Initial Contract	Revision 1	Project Total
1	Site Visit	\$444.00	-	\$444.00
2	Design Review	\$5,312.00	-	\$5,312.00
3	Meetings	\$1,480.00	-	\$1,480.00
4	Parking Review	-	\$2,136.00	\$2,136.00
	<i>Sub-Total</i>	\$7,236.00	\$2,136.00	\$9,372.00
	<i>Expenses</i>	\$362.00	\$107.00	\$469.00
	Total Fee	\$7,598.00	\$2,243.00	\$9,841.00

Please execute this change order to our existing Contract Agreement authorizing us to proceed with the above scope of service at the stated estimated cost. No work will be performed under this change order until it is signed and returned to Tetra Tech. Upon execution by both parties, this change order becomes part of our original Contract Agreement dated May 14, 2021.

Tetra Tech Authorization		Client Authorization (please sign and return)	
By:	Sean Reardon, P.E. 	By:	
Title:	Vice President	Title:	
Date:	June 3, 2021	Date:	

C:\USERS\STEVEN.BOULEY\DESKTOP\CO 001_PEDB_PEDB 6 INDUSTRIAL PARK RD_2021-06-03.DOCX



June 8, 2021

**Medway Planning & Economic Development Board
Meeting**

**Plan Review & Construction
Observation Refunds**

- Memo dated 6-3-21 from Susy Affleck-Childs with recommended refunds

Susan E. Affleck-Childs

Planning and Economic
Development Coordinator



Medway Town Hall
155 Village Street
Medway, MA 02053
Phone (508) 533-3291
Fax (508) 321-4987
Email: sachilds@
townofmedway.org
www.townofmedway.org

TOWN OF MEDWAY
COMMONWEALTH OF MASSACHUSETTS
PLANNING AND ECONOMIC
DEVELOPMENT OFFICE

MEMORANDUM

June 3, 2021

TO: Planning and Economic Development Board
FROM: Susy Affleck-Childs, Planning and Economic Development Coordinator
RE: Recommended Refunds from Revolving Funds

I recommend the Board authorize the following refunds, plus accrued interest, from the Board's revolving fund accounts. See attached project accounting spreadsheets for the noted developments.

Plan Review Fund

- 149A Holliston Street Preliminary Subdivision Plan \$ 428.00

Construction Observation Fund

- Milway Auto, 50 Alder Street \$ 397.70
- County Cottage, Summer Street \$1,345.13

DATE: February 12, 2021

[illegible]

DATE: June 3, 2021

REVENUES					EXPENSES					
Date Check Received	Amount	Check #	Payment Source	Date Check Turned Over to Treasurer	Consultant Review Fee	Consultant Name	Invoice Date	Invoice Number	Service Dates	Date Submitted to Town Accountant
6/11/2018	\$8,657.00	139	Alder ST Realty LLC	6/21/2018						
					\$ 280.00	Tetra Tech	8/16/2018	51343880	thru 08/03/18	to ml 08/20/18
					\$ 140.00	Tetra Tech	9/19/2018	51354963	thru 09/07/18	
					\$ 755.56	Tetra Tech	10/24/2018	51369003	thru 10/05/18	to ks 11/05/18
					\$ 797.33	Tetra Tech	2/22/2019	51412804	thru 02/08/19	to so 03/06/19
					\$ 140.84	Tetra Tech	3/29/2019	51424702	thru 03/05/19	to so 04/08/19
					\$ 165.00	Tetra Tech	4/26/2019	51434985	thru 04/05/19	to so 05/06/19
					\$ 680.00	Tetra Tech	5/24/2019	51444085	thru 05/10/19	to so 07/25/19
					\$ 380.00	Tetra Tech	6/28/2019	51458304	thru 06/07/19	to so 07/26/19
					\$ 138.81	Tetra Tech	7/26/2019	51468712	thru 07/12/19	to so 08/20/19
					\$ 1,520.83	Tetra Tech	11/22/2019	51523969	thru 11/8/19	to so 12/23/19
					\$ 143.00	Tetra Tech	12/19/2019	51533816	thru 11/30/19	to so 12/23/19
					\$ 1,717.17	Tetra Tech	7/6/2020	51607646	thru 6-30-20	to so 7-6-20
					\$ 296.00	Tetra Tech	8/5/2020	51619898	thru 7-31-20	to so 8-20-20
					\$ 840.76	Tetra Tech	9/14/2020	51634106	thru 8-31-20	to so 9-15-20
					\$ 264.00	Tetra Tech	10/4/2020	51651068	thru 9/30/20	to so 12-8-20
	\$8,657.00				\$ 8,259.30					
	Total				Total					
	Paid by				Consultants'					
	Applicant				Review Fees					

CONSTRUCTION SERVICES ACCOUNTING												
PROJECT NAME: Country Cottage Child Care												
PROJECT ADDRESS: 35-37 Summer Street												
APPLICANT: Robin Beaudreau												
DATE: June 3, 2021												
REVENUES					EXPENSES							BALANCE
Date Check	Received	Amount	Check #	Payment Source	Date Check	Turned Over to	Consultant	Consultant	Invoice	Invoice	Service	Date
					Treasurer	Review Fee	Name		Number	Dates	Submitted to Town	Accountant
												Balance
11/14/2019		\$9,891.00	2104	Robin Beaudreau	11/20/2017							
												\$ 9,891.00
						\$ 616.50	Tetra Tech	3/29/2018	51296314	thru 03/23/18	to ml 04/04/18	\$ 9,274.50
						\$ 2,734.81	Tetra Tech	5/16/2018	51312576	thru 04/27/18	to ml 05/17/18	\$ 6,539.69
						\$ 36.97	Tetra Tech	7/11/2018	51330881	thru 07/06/18	to ml 07/12/18	\$ 6,502.72
						\$ 1,469.00	Tetra Tech	9/19/2018	51354968	thru 09/07/18		\$ 5,033.72
						\$ 239.50	Tetra Tech	10/24/2018	51368997	thru 10/05/18	to ks 11/05/18	\$ 4,794.22
						\$ 1,234.25	Tetra Tech	11/21/2018	51380478	thru 11/09/18	to ks 11/29/18	\$ 3,559.97
						\$ 840.84	Tetra Tech	2/22/2019	51412508	thru 02/08/19	to so 03/06/19	\$ 2,719.13
						\$ 286.00	Tetra Tech	10/21/2019	51505990	thru 10/04/19	to so 11/15/19	\$ 2,433.13
						\$ 544.00	Tetra Tech	10/14/2020	51651067	thru 09/30/20	to SO 12/10/20	\$ 1,889.13
						\$ 222.00	Tetra Tech	11/6/2020	51661235	thru 10/31/20	to SO 12/10/20	\$ 1,667.13
						\$ 80.50	Tetra Tech	2/9/2021	51698079	thru 1/31/21	to SO 2-12-21	\$ 1,586.63
						\$ 161.00	Tetra Tech	3/3/2021	51706963	thru 2/28/21	3/12/2021	\$ 1,425.63
						\$ 80.50	Tetra Tech	4/19/2021	51725253	thru 3/31/21	to MH 4-29-21	\$ 1,345.13
		\$9,891.00				\$ 8,545.87						\$ 1,345.13
		Paid by				Consultants'						Balance
		Applicant				Review Fees						



June 8, 2021

**Medway Planning & Economic Development Board
Meeting**

Battery Energy Storage System (BESS)

- Collection of emails from local residents identifying issues and information needs for our BESS research

Questions for PEDB Consultants re: Study of BESS Siting and Zoning Bylaws

Larry Ellsworth, May 31, 2021

Consultant Qualifications

What are your qualifications to lead or assist the Medway Planning and Economic Development Board with a study of Battery Electric Storage Systems, including but not limited to helping the PEDB analyze the impact of, and develop regulations and requirements for:

- Permissions, approvals, permits, and other Town actions required to allow siting of a BES system in Medway;
- Land use for any BES system;
- Physical separation from dwellings, commercial and municipal buildings, roadways, gas lines, power lines, and other current or future structures and infrastructure;
- Physical separation from wetlands, well sites forests and treed areas, recreational areas and other sensitive or protected terrain;
- Fire safety, physical security, and cybersecurity;
- System configuration, including but not limited to the number of separate modules, vertical stacking of modules, overall facility footprint, and potential system expansion or reduction;
- System operation, especially system monitoring;
- Changes in equipment, system type, operation, and layout;
- System and site decommissioning, including safe disposal of all equipment, batteries, chemicals, contaminated soil and water, and other items, and any required restoration of the site;
- “Future-proofing” all regulations and requirements, to support and address new or changing BESS technology;
- Initial and recurring financial and operational responsibility for training and equipping Medway emergency response departments to handle incidents at a BESS facility and in the surrounding areas of residential and commercial properties, roadways and other infrastructure.
- Notifying the Town and its residents of any incident at a BESS site, including but not limited to emergency response departments, Town administration, Town residents, and commercial or industrial building operators and occupants;
- Assessing BESS operator performance against any and all regulations and requirements, and imposing penalties for non-compliance;
- BESS operator liability and responsibility (financial, legal, and other) for operational errors and failures, both incidental and catastrophic;
- Level, type and amount of insurance, performance bonds, escrows or other funds an operator must post or ensure;
- Assessing the value of any BESS operator’s physical plant and determining the operator’s financial payments to the Town;
- Determining the appropriate way to require an operator to pay for the privilege of siting a BES system in Medway, e.g. whether to use property taxation, a PILOT agreement, a host community agreement, or other form of agreement;
- Any and all other aspects of BESS siting, construction and operation.

What other municipalities have retained your firm to provide consulting services of the type Medway PEDB is requesting?

What other entities, including but not limited to public agencies, utilities, transmission service providers, or private companies, have retained your firm to provide consulting services of the type Medway PEDB is requesting?

Do you provide consulting or other services to any entity, including but not limited to utilities, BESS developers or operators, or firms supporting BESS operators, that may create an actual or apparent conflict of interest with your providing unbiased advice and analysis to the Medway PEDB?

What other services does your firm provide?

How would your firm support the Medway PEDB in evaluating a proposal to site a BESS in Medway?

How would your firm support the Medway PEDB in developing contracts and agreements with a BESS operator, including but not limited to host or PILOT agreements, liability and insurance, and system operation?

Does your firm have sufficient qualified staff in-house now to conduct this study and write the final report?

Would your firm, or the Medway PEDB, need to hire or retain other individuals or companies not part of your firm to conduct this study and write the final report?

Do you have suggestions for the Medway PEDB about how best to conduct the requested study?

6-2-21 Communication from Marvin Dainoff

I live at 8 Cedar Farms Road. I am submitting the following questions for consideration by PEDB's panel of consultants. I express this from my perspective of over 40 years as a safety professional. I have, in recent years, spent eight years at Liberty Mutual Insurance as a safety researcher where I was the Director of the Center for Behavioral Research at the Liberty Mutual Research Institute for Safety. During the past three years, I have been a contractor to the Idaho National Laboratories where I am working on safety issues associated with modernization of nuclear power plants.

1. Given the rapidly changing nature of battery storage, is the PEDB willing and able to select consultants familiar with state of the art science and technology in this field. Federal and State regulations are a starting place, but these sources inevitably lag the current level of knowledge. For reference, here are some sources of expertise:

Stan Whittingham, Binghamton University; --Nobel prize for Li-ion batteries.

George Crabtree, Argonne National Labs — Director of Joint Center for Energy Storage Research

Babu Chalamala, Sandia National Labs—Manager of Energy Storage Technology.

Daniel Steingart, Columbia University, Electrochemical Energy Center
(Note: The professional interests of Prof Steingart appear to be closest to the practical issues of concern facing the PEDB.)
<https://steingart.engineering.columbia.edu>

2. From the perspective of system safety, a hazard is defined as a set of conditions that, together with a particular set of worst-case conditions, will result in an accident. (Levenson, 2009). A recent energy industry newsletter (Colthorpe, 2021) —a link to which is attached below—identifies fire and explosion as hazards associated with lithium-ion battery storage. Four key paragraphs from that article extracted below identify the following central high level safety questions: (a) What are the worst-case hazards for fire and explosion? (b) what are state-of-the art design features available to mitigate these hazards? (c) What are state of the art fire/disaster planning requirements in the case of failure of mitigating design features?

Sections extracted from Colthorpe (2021):

The energy storage industry should be well prepared to deal with failure in lithium-ion battery systems so that thermal runaway in a single battery cell never becomes a fire or explosion.

Explosions caused by that gas and fires caused by propagation should not be acceptable..... Battery design should be such that failures should be prepared for, and so that those failures can be dealt with “elegantly”.

..... one challenge is that while it’s possible to test what will happen to a battery cell or system when things go wrong, it’s difficult to evaluate just how likely it is that something will go wrong in the field. That makes it hard to present what the risk is to the end user.....

Everything from transparency on testing, developing the best safety devices possible, engagement with fire departments and other agencies are equally crucial Additionally, codes and standards such as the US National Fire Protection Association’s NFPA 855 need to be implemented across the country to ensure uniformity of safe best practices.....

3. As a follow-up to question #2, what is the estimated radius of damage to be expected from a worst-case fire and/or explosion from a BESS with megawatt capability of that proposed for Medway?
4. As a follow-up to question #3, what additional resources and training will be required for the Fire and Police Departments of Medway to cope with such a worst-case fire and/or explosion.
5. As documented by experts such as Dekker (2011), investigations of serious industrial accidents (Bhopal, Deepwater Horizon, Columbia shuttle), reveal that technological and procedural mitigations initially put into place to guard against hazard can “drift into failure” when organizations fail to allow for proper maintenance and training to keep such mitigations current. These failures typically occur because of financial pressures on the parent organization. What safeguards can the Town of Medway rely on to guard against a potential deterioration of BESS safety systems?
6. As a follow-on to question #5, there is a normal life cycle for batteries after which the risk of failure increases due to deterioration of components. The normal rate of deterioration might increase if the system is exposed to environmental extremes or extreme operating conditions. What monitoring systems will be put in place to assure the community that such extremes are not exceeded?

7. Related to question #5, what is the secondary effect of a BESS system on the current Exelon peaker facility with specific focus on the possibility that financial pressures on Exelon could result in its safety mechanisms deteriorating to lack of allocated resources?
8. In the Colthorpe article cited above, the statement is made that battery storage is safer than nuclear. While this is certainly true in terms of worst-case outcomes, The Nuclear Energy Institute points out that the safety record of the nuclear industry currently exceeds that of all other components of the energy sector. This has been achieved by a collaborative effort between industry-based organizations (e.g., Institute of Nuclear Power Operations, Electrical Power Research Institute), National Laboratories, and Federal regulators (Nuclear Regulatory Commission), in which all safety-related incidents are continuously monitored and assessed. This requires a certain level of financial investment in the required infrastructure. Will supporters of BESS invest in parallel levels of safety assurance?
9. How will PEDB reassure the community that the consultants it retains are free of financial conflicts of interest in the outcome of this study?

REFERENCES

Colthorpe, A. (2021) Safe lithium-ion energy storage begins with knowing what to do if things go wrong. <https://www.energy-storage.news/news/safe-lithium-ion-energy-storage-begins-with-knowing-what-to-do-when-things>.

Dekker, S. (2011) Drift into Failure. Ashgate.

Leveson, N. (2011) Engineering a Safer World. MIT Press.

TO: Medway Planning and Economic Development Board

FROM: Michael Fahey

DATE: May 31, 2021

RE: Questions Regarding BESS

The following are questions that should be considered by the Medway BESS Consultant

1. There are many different types of energy storage batteries but Lithium-ion is the most common for BESS for now and undergoing a large amount of development of new battery types.
(https://batteryuniversity.com/index.php/learn/article/types_of_lithium_ion) Within Lithium-ion there are many different chemistries and with different characteristics including lifespan, charging cycle, energy density, stability, and risk of thermal runaway.
 - a. Will the Medway BESS conform to NFPA 855
 - b. Will the battery selection also conform to the highest standards of safety and stability?
2. Testing and Validation of Batteries
 - a. Will the consultant ask for and validate the battery, rack, and module testing was done in accordance with UL standards?
 - b. Who will be the manufacturer and what is the model of the batteries?
 - c. Where have they been used before in a BESS?
 - d. How large was the BESS?
 - e. How will the source of the batteries be validated?
3. BESS Controls
 - a. What are the shutdown controls?
 - b. How will overvoltage be detected and handled?
 - c. How will overcurrent be detected and handled?
 - d. What will be done to prevent thermal runaway?**
 - e. What will be the High Level Controls?
 - f. What will be the Rack Level Controls?
 - g. Where have any of the above controls been actually used in a production BESS?
4. Who will be present on site to monitor the system? Will it be 24x7?
 - a. If remote management and monitoring is used, what happens if the remote monitoring fails?
 - b. Will all fire suppression and monitoring be done locally?
5. What type of security will be available on-site? Will it be 24x7?

- a. What type of security monitoring would the consultant like to see taking into account the size of the BESS?
 - b. What type of security monitoring would the consultant like to see taking into account the battery technology proposed by the applicant?
 - c. Will the site have an always locked secure perimeter?
 - d. What is to prevent a malicious individual from entering the grounds of the BESS and committing sabotage?
 - e. If remote security monitoring is used, what happens if the remote monitoring fails?
 - f. If someone does make an unauthorized entry, how will they be detected?
 - g. What type of integration will the Medway BESS security have with Medway Police and Fire?
6. In a recent meeting sponsored by State Rep Jeff Roy, the people of Medway were told about two BESS examples, one being a 10MW system in North Reading, MA and the other a 300MW system in Monterey, CA at Moss Landing. The North Reading BESS is 1100 feet from the closest residence and the Moss Landing BESS is a mile away from the closest residence. The Medway 250 MW BESS, based on drawing submitted to the PEDB, will have a battery rack just 107 feet from the closest residence across Rt. 109 and will be very close to many other homes in the area.
- a. How much importance will the consultant place on distance from residences for safety concerns?
 - b. Will the placement of the BESS modules near residences and the safety rating of the enclosures conform to NFPA 855?
 - c. In a worst case scenario, taking into account the module enclosure safety rating, if one module exploded, what would be the blast radius for 15 psi, 10 psi, 5 psi, and 1 psi pressure waves?
 - d. What would be the radius for the pressure waves above if multiple modules exploded?
 - e. How many homes in the proposed location would be within those blast radii?
 - f. How large will an insurance policy have to be to cover the property damage and any lost lives from the explosions above?
 - g. How much damage would be done in the proposed BESS location versus the existing energy zone owned by Eversource?
7. Noise
- a. Will there be a noise study done as part of application process?
 - b. Will there be a peer review of the noise study?
 - c. How much importance will the consultant place on distance from residences for noise concerns?
 - d. What type of inverters, ventilation, and thermal management will be used with the Medway BESS and what will be the estimated measured noise levels, in decibels, under load?
 - e. Where are those being used today?

- f. If being used today, how large is the existing BESS configuration using the inverters, module ventilation, and module thermal management?
 - g. If being used today, what is the measured noise decibel reading from the existing configuration?
 - h. If being used today, how far is the BESS from the closest residence?
 - i. How much consideration will be given to the lower noise levels for closest residents at an alternative location such as the existing Energy Zone property owned by EverSource?
- 8. Insurance
 - a. Will the consultant make a recommendation on the types of insurance available during the review process?
 - b. Will there be a rubric the Town can use that evaluates insurance coverage values and situations?
 - c. Will the rubric be based on the volume of stored energy the BESS will have?
- 9. If the fire suppression system in a BESS is ever activated, insurance will require that all batteries exposed to fire suppression be replaced.
 - a. If one of the fire suppression systems is manually activated (usually water), who will make the decision to activate the fire suppression system?
 - b. What criteria will be used? Will it conform to NFPA 855?
 - c. Will the Town of Medway and the Medway Fire Department get to approve the criteria to activate the BESS fire suppression?
- 10. The Medway BESS being proposed will have many modules stacked two modules high.
 - a. Will there be any increase in risk of having an overheating module to cause a failure in another module when they are stacked on top of one another?
 - b. If a water fire suppression system is used, will it be internal to the module (aka "dry pipe") or will it be external?
 - c. If external, will it perform satisfactorily with stacked modules?
- 11. Will a comprehensive Risk Assessment be performed using one of accepted Risk Management frameworks used in the industry today?
 - a. Will there be a Risk Assessment of the overall BESS performed?
 - b. Will the management, monitoring and reporting systems include a cybersecurity Risk Assessment for power utilities as recommended by NIST or Sandia Labs.

Medway BESS Considerations – May 28, 2021

Charles Myers

It needs to be qualified if the consultant will be looking at residential versus grid scale storage.

For public consumption, Medway is not contracting for energy storage. This is important as local and regional BESS providers are likely to misinterpret what Medway is trying to do and they will be trying to sell Medway or convince Medway to purchase or only use their technology.

Medway is developing a strategy covering the review of applicants proposing to site a battery energy storage system within the Town. As such, the consultant should not recommend one battery technology over another. The consultant should be matrixing the technology topics, risks, plan review and inspections that should be addressed by the Town as it reviews applicants proposing the siting of a BESS in Medway.

BESS Technology

There are differences in BESS technologies based on the chemistry, power rating and the intended use of a grid scale BESS. The consultant should qualify and identify the risks associated with each.

- Power rating examples – less than 10 MW, greater than 10 MW but less than 100 MW, greater than 100 MW. Each of these may have different amounts of power in each of the modules installed that make up the overall installation on the site. There may be associated safety spacing issues associated with the number of modules on the site such as allowance for passage by first responders during an event.
- How the BESS is actually used will have an impact on battery life, the number of charging cycles that can be provided and the degree to which battery thermal management systems are needed and when they are needed. What are the technical risks that need addressing for cycles associated with peaking use versus spinning reserve use? Those are just two use case examples.
- Battery technologies include but are not limited to lithium ion, liquid metal, nickel metal cadmium and flow battery. The consultant should add to the list as appropriate. Each chemistry has its own distinct safety issues, fire risk issues, waste disposal issues and post-event toxicity issues that all should be addressed by the consultant on how a town should review and manage. Lithium ion batteries are pyrophoric, the others are not.

With respect to lithium ion technology battery technologies there is an established quality difference between those manufactured domestically versus those made in China. Chinese made batteries can represent a lower quality product that carries higher risk of premature failure of the battery.. How would the Consultant recommend Medway evaluate supplier risk and what form of quality validation should Medway ask from the applicant?

Note: If there is a battery failure or a battery caused incident on a BESS site in Medway and the batteries are 3rd party purchased product by the operator, what protections would the Consultant suggest the Medway include in site conditions?

In the course of operation, batteries will fail or reach end of life. For installations over 100 MW that involve hundreds of racks or a 250 MW BESS that involves nearly 2000 racks, what form of battery cell monitoring would the consultant recommend so that failed cells are identified before thermal issues occur that would cause a fire, an event? What type of removal, replacement and cell disposal plan should be submitted by the applicant so that these removed cells are not stored on site as such storage is typically

identified as a hazardous material? For example, lithium ion batteries at end of life are classified by the EPA as hazardous chemistry.

Note: This work may be done by a 3rd party under contract to the applicant doing work on yet another 3rd parties batteries. What qualifications does the consultant suggest Medway look for from the applicant that cover the 3rd party contractor? And then what follow up inspection does the Consultant feel Medway staff should be doing?

Similar question to the above but covering actions for when a module fails. What documentation does the consultant feel Medway should receive and how then should Medway evaluate the removal, storage and disposal of the module so that hazardous material is not stored on site? What are the appropriate use covenants that should be placed on the site?

Can the consultant comment on decommissioning risks to the Town of Medway and address the value and type of bond Medway should seek from a BESS operator that will protect Medway?

Grid scale energy battery energy storage (BESS) locations represent target sites for the use of repurposed used mobility battery technologies. In fact, the use of repurposed used mobility (car, truck, bus) batteries in a BESS is well publicized by companies marketing heavy duty electric battery powered vehicles as their recycling mechanism. Repurposed mobility batteries have their own quality risks and may not represent the same chemistries on which the site was originally permitted and reviewed. How does the consultant recommend Medway protect itself against the use of these repurposed batteries at some time in the future by an applicant? What are the appropriate use covenants to cover this issue that should be placed on the site?

How does the consultant recommend Medway protect itself from other battery technologies and chemistries being brought into an approved, existing BESS site operating in Medway in the future? The question relates to having the risks of multiple battery chemistries at one location. The question goes to the potential need for multiple monitoring systems within one location as well as multiple fire suppression technologies within a single grid scale energy storage location.

BESS technologies have optimal operating temperature ranges. Some battery technologies require heating to prevent freezing. Some battery technologies require temperature control to prevent overheating when charging and discharging. The consultant should advise the Town on how to evaluate applicants temperature management controls for static and operational use, what types of alarms are needed and what actions result from a failure of the thermal management. If the thermal management fails and the batteries freeze does it cause the batteries to break and leak chemistry? If so, what containment strategies would the consultant recommend.

The consultant should advise how Medway should evaluate the back up technologies and controls that protect the BESS against thermal management issues in the event of a single module outage and that of a grid outage.

BESS installations are typically unmanned and monitored from a distance. The type, number and alerts of such monitoring will vary based on the technology, power rating and number of modules. Examples within Massachusetts represent single or dual module containers with less than 10 MW total power. Medway has the potential for over 250 MW and in one case will have up to 50 modules located on site possibly configured in stacks of two, one module directly above another module.

The question for the consultant is how does the number of modules impact the selected monitoring system and what guidelines should Medway use to review the issue?

The Consultant should provide guidance on how Medway should review monitoring. For example, should Medway seek real time or interval based monitoring?

A BESS site will have monitoring inside each of the modules as well as other monitors responsible for the entire site. In buildings, fire departments and codes require periodic alarm testing. What alarm / monitoring testing protocol(s) would the consultant recommend and how should Medway document that? Some monitoring devices, like gas sniffers and fire eyes, require periodic recertification. Can the consultant identify those and provide guidance to Medway on how to incorporate the testing requirement, time interval and recording keeping into any site covenants?

If the monitoring is remote does the consultant recommend it be done by a real person or by some form of computerized alert? It goes to the question of what speed of growth a thermal event will have.

If the event of an alarm, would the consultant recommend shut down of the entire site, all modules or some section of modules or only the module that alarmed? If more than one module, how would the consultant recommend the notification be made to Medway first responders on which module alarmed of the 50 modules?

For unmanned BESS sites, what is the maximum response time the consultant would like to see for applicant staff to be onsite and supporting Medway first responders? If it varies by battery type that should be noted.

Periodic site inspections should be made to insure there has been no corrosion or other issues at the site. That same periodic inspection may be to remove leaves and debris that collects on the site and could contribute to a fire moving from one module to another. What frequency of site visits by applicant staff would the consultant suggest based on varying battery technologies?

There are a variety of BESS battery chemistries. Some pyrophoric, some not. Can the consultant make comment on the adequacy of fire suppression technologies a BESS might have? For example, some BESS modules may use have internal gaseous fire suppression while others may rely on water fire suppression. If gaseous, can the consultant suggest how to evaluate the volume of gas necessary for the battery energy level stored in the module of a proposed BESS to insure the volume is adequate? Then as a follow on question, what testing regime would the consultant suggest for a gaseous suppression system?

Though a battery energy storage module may be built to UL9540A standards and testing, how would the consultant want Medway to review those tests? Would the consultant require a copy of the UL certificate or would the consultant accept self certification from the applicant? And if the applicant was not the actual supplier of the module, who then would the consultant want the certification to be from?

No Massachusetts BESS installations are stacked modules, two high. If an applicant proposes a stacked module system where one module is located above another module, how would the consultant evaluate the associated module systems from thermal management to fire suppression to alarms? Will a thermal runaway or other event in the bottom module that breaches the housing cause direct fire to make contact with the deck / module above it and an event in the top module?

Note: In NFPA 855 the minimum horizontal module separation distance is 20 feet when noncombustable walls are used. NFPA 855 makes no comment on vertical separation distance. The consultant should offer guidance on this gap and how Medway should review stacked BESS module applications and an applicants' mitigation strategies.

Note: The NFPA 855 set back addresses the distance between modules but not the distance an event plume might travel after a module breach or event exhaust has taken place. Such plumes are expected to be toxic. Based on tests reported by TOTAL in NFPA 855 materials, a single module plume might travel 90 feet. Can the consultant make comment on what setback actions Medway should take, if any, on the distance between a module and the lot line?

NFPA 855 requires that BESS sites have an EAP (Emergency Action Plan) document in place that has been reviewed agreed to by the appropriate agencies within Medway. Can the consultant provide an outline of what additional topics he feels should be included in the EAP for a BESS?

A BESS will go through a commissioning before full operation. Can the consultant provide guidance to Medway on what commissioning items Medway should want to review and / or witness? Does the consultant feel that a final commissioning signoff by Medway should be done prior to operation of the BESS?

The consultant should comment on the Inspection / Audit list within UL 855 and the appropriate personnel and staff within Medway to do that work.

There will come a time for decommissioning a BESS. The battery chemistry can represent a toxic and hazardous material that has to be carefully disposed of. Can the consultant suggest items Medway should include in a BESS decommissioning plan to insure there is no associated environmental impact to Medway?

Should there be a fire in one or more modules there will likely be leakage of the battery chemistry outside the module regardless of the form of fire suppression used. Can the consultant comment on the appropriate site design characteristics to control such chemical leakage in such a way that prevents it from entering the water table or associated wetlands around the site? Can the consultant offer a formula that helps Medway determine the volume of any catch basin or chemistry leakage containment area, for site plan approval purposes?

Should the fire suppression system be water, even as a backup to gaseous suppression, can the consultant make comment on the volume of water that may be needed on a per module basis that allows for site plan review to take place.

Should water be used for fire suppression, the consultant should make comment on the site plan layout in consultation with the fire department on distances between modules and structure to insure water suppression can be used without concern for shocking first responders.

The Consultant should comment on the use of NFPA 855 as the base approval code.

UL855 requires site plans have a first responder building / location on them. Does the consultant agree?

The consultant should comment on a requirement for the applicant to maintain records of maintenance and safety inspections and who within Medway should receive, maintain and monitor those records. Note is a requirement within UL 855.

The Fire Department may require a standpipe system or other connected fire suppression system, a site plan and access consideration.

TO: Medway Planning and Economic Development Board
FROM: Paul G. Yorkis
DATE: June 1, 2021

RE: Questions Regarding BESS

Thank you very much for the opportunity to share the questions below.

1. What federal agencies including but not limited to CISA, DHS, EPA, FEMA, and FERC have issued guidance, regulations, and policies dealing with safety, security, siting, and operations of a BESS facility and how does this information impact the current energy resource zoning district as a possible location for a BESS facility?
2. What federal agencies including but not limited to CISA, DHS, EPA, FEMA, and FERC have issued guidance, regulations, and policies dealing with safety, security, siting, and operations of a BESS facility and how does this information impact the expansion of the current energy resource zoning district as a possible location for a BESS facility?
3. What federal agencies including but not limited to CISA, DHS, EPA, FEMA, and FERC have issued guidance, regulations, and policies dealing with safety, security, siting, and operations of a BESS facility and how does this information impact the creation of an additional energy resource zoning district as a possible location for a BESS facility?
4. What are the federal standards and Massachusetts standards, if any, regarding noise created by the operation of a BESS facility?
5. What federal agencies including but not limited to CISA, DHS, EPA, FEMA, and FERC have issued guidance, regulations, and policies dealing with decommissioning of a BESS facility? It is my understanding that some technologies are considered hazardous when decommissioned.
6. What Massachusetts agencies have issued guidance, regulations, and policies dealing with the decommissioning of a BESS facility.
7. What federal agencies including but not limited to CISA, DHS, FEMA, and FERC, and Massachusetts agencies have the responsibility for inspecting and monitoring the operation of a BESS facility and how often are inspections required to occur?
8. Is it appropriate to have twenty-five (25%) of the initial Massachusetts BESS storage goal located immediately adjacent to two important elements of the northeast electrical grid making the location an even more attractive target for a terrorist act? What is the appropriate size, if any, of a BESS facility in Medway as part of the total BESS Massachusetts energy plan?
9. What is the impact of a BESS facility in terms of services required from the Town of Medway including but not limited to police, fire, building department, board of health, and conservation commission?
10. Is the PEDB hiring a firm or one individual or multiple individuals? What are the selection criteria that the PEDB will be using in the selection of consultant, consultants, or consulting firms?

11. What are the recommended liability insurance requirements, if any, from federal agencies and Massachusetts agencies should there be an incident that results in harm to abutters, abutters property, natural resources, and Town of Medway property, infrastructure, resources?
12. What are the standards, if any, that are required, or should be required by the Town of Medway for the operators and operation of a BESS facility in Medway?
13. What are the projected fiscal impacts, both positive and negative of a BESS facility in Medway both short term and long term, initially and over the projected life of the facility?
14. What systems will be installed, if a BESS facility is constructed, that will notify residents and town first responders of an incident? Are these redundant systems?
15. Should there be a requirement that the facility have 24 hour a day on site personnel to monitor the operation of the facility?
16. Would a state funded program supporting the installation of peak and off-peak metering systems, solar panels, and BESS systems at residential, commercial, and industrial properties in Medway achieve similar energy conservation and efficiency goals? What guidance is the PEDB seeking from the consultant(s) regarding the placement of BESS storage systems at residences, commercial and industrial facilities in terms of inside or outside location?
17. Will the PEDB provide ongoing opportunities for questions to be submitted about BESS facilities after the consultant(s) have been employed?
18. Will the consultant(s) have experience and knowledge regarding CISA requirements for utilities to prevent a cyber-attack on a BESS facility?
19. Will the consultant(s) provide guidance on building, plumbing, electrical, and fire safety codes that should be modified within Medway based upon a BESS facility and installation of BESS systems in residences, commercial, and industrial building?

Federal Agencies

CISA - Cybersecurity and Infrastructure Security Agency
DHS – Department of Homeland Security
EPA – Environmental Protection Agency
FEMA – Federal Emergency Management Agency
FERC – Federal Energy Regulatory Commission