Tuesday, June 28, 2022
Medway Planning and Economic Development Board
Zoom Meeting

Members	Bob Tucker	Tom Gay	Matt Hayes	Sarah Raposa	Rich Di Iulio	Jessica Chabot
Attendance	Absent	X	X	X	X	X

ALSO PRESENT via ZOOM:

Susy Affleck-Childs, Planning and Economic Development Coordinator

The meeting was called to order by Chairman Hayes.

PUBLIC HEARING CONTINUATION – 288 VILLAGE STREET MULTI-FAMILY HOUSE SPECIAL PERMIT, SITE PLAN, AND LAND DISTURBANCE PERMIT:

The Board is in receipt of the following: (**See Attached**)

- Public Hearing Continuation Notice dated 5-31-2022
- Email from Stephanie Carlisle re: MS4 permit dated 6-3-2022
- Tetra Tech review comments dated 5-17-2022, revised 6-13-2022
- Land Planning, Inc. response letter to Tetra Tech review comments dated 5-25-2022
- Site Plan dated 4-1-2022, revised 5-25-2022, by Land Planning, Inc.
- Site Plan dated 4-1-2022, revised 6-21-2022, by Land Planning, Inc.
- Request for Waiver dated 4-26-2022, 6-1-2022, 6-23-2022
- Email from Barry Smith re: DPW utility confirmation dated 6-13-2022
- Revised Land Disturbance Permit dated 6-23-2022
- Revised Stormwater Report dated 6-23-2022
- Email communication dated May 23, 2022 from Deputy Fire Chief Mike Fasolino.

The continuation of the public hearing for 288 Village Street was opened.

The applicant Tony Leland and his representatives Bill Halsing and Steve Bacewicz of Land Planning Inc. were present via Zoom. It was explained that the majority of the comments from Tetra Tech's 5-17-22 review letter had been addressed in the updated site plan (dated 6-21-22).

The Applicant wanted to discuss the following with the Board:

- The Applicant does not think they need a full Construction Management Plan since this is a residential dwelling and not a commercial space. The Applicant will provide a written request to waive this requirement.
- The Earth Removal calculations have been provided.
- The Architectural plans were attached and emailed to the Town.
- Floor plans were provided.

- The Fire Department approved the 16 ft. wide pavement for the driveway into the site from Village Street. There is written approval from Fire Department dated 5-23-22. The applicant will provide the waiver request.
- The Applicant would like the electric service to go above ground due to the utility pole being on the other side (south) of Village Street. This will need a waiver. It was suggested to have the above ground connection be from the building to the pole on the south side of Village Street. There was a recommendation to add a note on this detail to the design plan.
- The DPW provided a review letter dated June 13, 2022 regarding the sewer/water plan.
- It was recommended by Tetra Tech that there be a larger radius at the driveway intersection at Village Street. It was suggested that this be granite curbing. Chair Hayes suggested matching what is done along the rest of Village Street but with 6' of granite curbing at entrance. There will need to be a waiver to waive the radius requirement.
- There is no curbing on the perimeter of the parking lot.
- The Land Disturbance permit application was updated and provided last week.
- The proposed rain garden is designed with an exfiltration rate of 2.41 inches per hour. There needs to be at least 44% TSS pretreatment required.
- There was a question on the landscaping plan. The updated site plan does not include one. The Applicant noted it had been included in the original submittal. That sheet needs to be included in the plan set.
- The Applicant has not supplied information related to phosphorus removal. This matter needs to be further reviewed by Tetra Tech.
- There was a suggestion to have the pop-up emitters with a stone or rip rap collar to prevent them from being damaged during grass mowing and prevent erosion during discharge.
- There was an email from Medway DPW Compliance Officer indicating that a MS4 connection permit will not be needed.
- The Board would like confirmation from the Conservation Commission that this site is not within their jurisdiction.
- The building/porch will be moved closer to the street.
- A waiver is needed for the driveway setback from the property line.

A share screen was shown of the various waiver requests. The following were noted:

- Chapter 200 Section 204-3 F.1 – Traffic Assessment
- Chapter 200 Section 204-3 F.2 – Full Environmental Impact Assessment
- Chapter 200 Section 204-3 F.3 – Full Neighborhood Impact Assessment
- Chapter 200 Section 204-3 F.4 – Parking Impact Assessment
- Chapter 200 Section 204-5 D.8 – Landscape Plan by Landscape Architect
- Chapter 200 Section 204-D. 14 – Master Signage Plan
- Chapter 200 Section 207-11 A.3 – Reduce driveway width requirement from 20' to 16'
- Chapter 200 Section 207-11 A.4 – Eliminate vertical granite curb at driveway entrance
- Chapter 200 Section 207-11 A.13 – Reduce 15 ft. driveway side lot setback requirement from 15' to 11'
- Chapter 200 Section 207-12 G. 3. b. – Reduce parking space property line setback requirement from 15' to 9'

- Chapter 200 Section 207-12 G. 3 d – Reduce two-way parking drive aisle width requirement from 24' to 16'
- Chapter 200 Section 207-12 H.1 – Eliminate requirement for perimeter parking granite curb
- Chapter 200 Section 207-12 H.2 – Reduce driveway apron radii requirement from 3' to 2'

- Zoning Bylaw Section 6.1-Table 2. Dimensional & Density Regulations (reduce front yard setback to 30 ft.)

The Board would like to see the landscape plan and it should be noted on the index of the plan cover sheet. It is not included in the plan set dated 6-21-22.

On a motion made by Sarah Raposa, seconded by Jessica Chabot, the Board voted by roll call vote to approve the waivers as presented. The motion passed unanimously.

Roll Call Vote:
Matt Hayes aye
Jessica Chabot aye
Sarah Raposa aye
Rich Di Iulio aye

The Board would like Susy to begin drafting a decision for review at the next meeting.

On a motion made by Sarah Raposa, seconded by Jessica Chabot, the Board voted by Roll Call to continue the hearing to July 12, 2022 at 8:30 pm. The motion passed unanimously.

Roll Call Vote:
Matt Hayes aye
Jessica Chabot aye
Sarah Raposa aye
Rich Di Iulio aye

NOTE - Member Tucker will sign a Mullin Rule certification to allow him to participate in the vote on this project.

PUBLIC BRIEFING CONTINUATION – MEDWAY COMMONS – Bright Path Child Care Center:

The Board is in receipt of the following: (**See Attached**)

- Email from Deputy Fire Chief Michael Fasolino dated June 14, 2022
- Charter Realty response letter dated June 14, 2022 to Tetra Tech review comments (6-9-22).
- Waiver Request dated June 22, 2022
- Revised Site Plan dated June 22, 2022 by Tighe and Bond
- Tetra Tech review letter dated June 28, 2022
- Draft Decision

The continued public briefing for the Medway Commons BrightPath Child Care site plan was opened.

The Applicant was represented via Zoom by Karen Johnson, Charter Realty and Development; Harry Freeman of BrightPath; and John Lorden from Tighe and Bond.

The Applicant presented the changes made to the site plan since the last meeting and provided a response letter to the previous Tetra Tech comments. The following changes were noted:

- Inclusion of a signature block
- Included as built plans
- Revised pavement detail
- Lighting post will be removed with the triple head and will be a double head
- Southerly corner – three bollards will be added
- Added the parking count for the entire plaza
- Will maintain the crosswalk with egress gate to get out. This is a new addition. The median strip within the drive aisle has been extended down (southerly)
- There will be fencing from the playground to building
- The pavement will be squared off as requested and smooth the curved transitions
- There is a note about the construction fencing, this is on the plan
- The paving of the fire lane was noted and included
- The striped island will be provided
- The correct configuration of the Starbucks driveway through was included.

<u>Comments from Public:</u>
Resident Charlie Myers, 9 Curtis Lane was present via Zoom. He is concerned about the drive-thru lines from Starbucks which may run into day care parking lot and the queue lines in the morning when the drive-thru lines are worse. His concern is the shutting down of the second entrance and that the traffic will need to go through the one intersection. It was also asked if the tenant who leases space has rights of parking areas in front of their business.

Mr. Freeman communicated that the drop off times is over a period of 2 to 2 ½ hours with varied times. There maybe be 12 cars during this time frame. Those cars will be parked, and parents will need to walk the students in. They do not think there will be a backup in the Starbucks area.

Ms. Johnson noted the parking area in question is under the control of Shaw's Supermarket. The hope is to have a new occupant for the McDonalds space which could affect the traffic pattern. If there are modifications needed to this area, the landlord does not have the right to make a change without Shaw's approval. There has been a struggle with tenant occupancy. This business would be a good fit for the center. The Applicant is making a big investment since some of the current tenants will need to be moved. Mr. Freeman noted this is a big investment for BrightPath and they intend to be there for a 20-year lease.

There was a suggestion to look at developing some internal directory signage to guide vehicles throughout the site. The applicant will work with the sign contractor to look at locations for possible directional and wayfinding signs. It was suggested to maybe have a fourth stop sign at the major intersection of the two internal driveways (toward the front of the site). What are the rules for stopping at this location?

The Board does have confirmation from Deputy Fire Chief Fasolino that there are no concerns. The Board would like to get written confirmation from Safety Officer Sergeant Watson about his comments on this project. Both Susy Affleck-Childs and Karen Johnson reached out twice to request comments.

The Applicant is in receipt of draft decision. The decision was shown on the share screen. Tetra Tech provided a review letter this afternoon. The applicant has not been able to review those comments.

The Board discussed the waiver request to use the NGVD29 datum instead of the required NAVD88. This is because the original Medway Commons survey and site plan were prepared in 2003 and 2004 using HGVD29.

On a motion made by Sarah Raposa, seconded by Rich Di Iulio, the Board voted by roll call to approve the waiver as discussed. The motion was approved unanimously.

Roll Call Vote:
Matt Hayes aye
Jessica Chabot aye
Sarah Raposa aye
Rich Di Iulio aye

The Board was informed that Member Tucker will not be able to submit a Mullin Certification for this project as he also missed the June 14th meeting. Member Chabot will need to sign a Mullin Certificate for the June 14, 2022 meeting to vote on the decision.

The draft decision was reviewed. There was a concern that the Findings could change based on the recommendation of Safety Officer Sergeant Watson. The applicant is fine with what was noted regarding the Findings so far. It was recommended that Susy review the previous decision from 2002 for the entire center. The Board would like to keep the language regarding having a pre-construction meeting within the decision. There will be a section added on field changes.

On a motion made by Sarah Raposa, seconded by Rich Di Iulio, the Board voted by roll call to continue the briefing to July 12, 2022 at 7:00 pm. The motion was unanimously approved.

Roll Call Vote:
Matt Hayes aye
Jessica Chabot aye
Sarah Raposa aye
Rich Di Iulio aye

OTHER BUSINESS:

Medway Mill – Field Change 165 Main Street:
The Board is in receipt of proposed field changes for the Medway Mill project for 165 Main Street. (**See Attached**.) Developer and owner John Greene was present via Zoom. This field

change is to change the footings on the light poles in the parking lot from 20" by 20" square to an 18" round cylinder. The round footing will include more rebar. A photo of this was shown. This is a more reinforced method.

The next change would involve planting the new trees in front of the new fence on the northern edge of the site instead of outside the fence. The maple trees on the outside of the fence have been saved. Mr. Greene provided photos of the trees. There were to be 6 trees as shown on the previously approved plan. The developer plans to plan the 6 trees on the inside and south of the fence. Consultant Tetra Tech has no concerns with the field change. The Board does not have an issue with the field change.

On a motion made by Sarah Raposa, seconded by Jessica Chabot, the Board voted by roll call vote to approve the requested field change. The motion was unanimously approved.

Roll Call Vote:

Matt Hayes	**aye**
Jessica Chabot	**aye**
Sarah Raposa	**aye**
Rich Di Iulio	**aye**

Salmon Field Change:

Salmon representatives wanted to meet with the Board about changing the cottages from duplex to single family buildings in Phase one. Cottage developer John Burns of Black Brook Realty was present via Zoom along with project engineer Peter Bemis. (**See attached**.) They met last week with the Design Review Committee and received comments in support of this field change. (See attached.) A site plan was provided showing the footprints of the singles. This option would provide more flexibility. There was a screen share of the singles footprints shown by John Burns. The Phase 2 of the units will be discussed at a later date.

The Consultant Tetra Tech has no issue with smaller units and proposed changes.

On a motion made by Sarah Raposa, seconded by Rich Di Iulio, the Board voted by roll call vote to approve the requested field change for architecture and single-family dwellings for phase one. The motion was unanimously approved.

Roll Call Vote:

Matt Hayes	**aye**
Jessica Chabot	**aye**
Sarah Raposa	**aye**
Rich Di Iulio	**aye**

Susy Affleck-Childs reminded the developer that they need to provide their stormwater reports to the Conservation Commission.

Zoning Bylaw discussion for Fall Town Meeting.

A share screen was provided of the possible Zoning Bylaws for the Fall 2022. **See Attached**. Ms. Affleck-Childs reported that she had met with Jack Mee and Barbara Saint Andre and the master zoning list was updated. There was a question about the status of a BESS zoning bylaw.

Susy reported that Barbara was working on a draft based on the New York State model and the information provided by ARUP, the Town's BESS consultant.

Other possible ideas:

Multi-Family/Triplexes:
Updating the Multi-Family section and density. There was a suggestion to adjust or change the language to include something similar to the OSRD language and take into account wetland resources and reducing overall density accordingly. The Board would like to look at triplexes and how they are differentiated from a multi-family. Another suggestion was looking at density and tying it into the existing structure. The density could be higher when a conversion is involved. The Harmony Village project did a good job keeping in line with the bylaw.

Solar Bylaw:
The Board would like this added to the zoning list for discussion. The Board would like to see solar parking canopies these on parking lots. There was a suggestion to have rooftop solar required for new commercial and industrial buildings.

Common Driveways:
Interest was expressed in developing common driveway language for the bylaw.

Adjourn:
On a motion made by Jessica Chabot, seconded by Sarah Raposa, the Board voted by roll call vote to adjourn the meeting. The motion was passed unanimously.

Roll Call Vote:

Matt Hayes	**aye**
Jessica Chabot	**aye**
Sarah Raposa	**aye**
Rich Di Iulio	**aye**

The meeting was adjourned at 9:57 p.m.

Respectfully Submitted,
Amy Sutherland
Recording Secretary

Reviewed and edited by,
Susan E. Affleck-Childs
Planning and Economic Development Coordinator

June 28, 2022
Medway Planning & Economic Development Board Meeting

Public Hearing Continuation – 288 Village Street Multi-Family Special Permit and Land Disturbance Permit

- Public Hearing Continuation Notice dated 5-31-2022
- Email from Stephanie Carlisle re: MS4 permit dated 6-3-2022
- Tetra Tech review comments dated 5-17-2022, revised 6-13-2022
- Land Planning, Inc. response letter to Tetra Tech review comments dated 5-25-2022
- Site Plan dated 4-1-2022, revised 5-25-2022, by Land Planning, Inc.
- Site Plan dated 4-1-2022, revised 6-21-2022, by Land Planning, Inc.
- Request for Waiver dated 4-26-2022, 6-1-2022, 6-23-2022
- Email from Barry Smith re: DPW utility confirmation dated 6-13-2022
- Revised Land Disturbance Permit dated 6-23-2022
- Revised Stormwater Report dated 6-23-2022

Board Members
Matthew Hayes, P.E., *Chair*
Robert Tucker, *Vice Chair*
Richard Di Iulio, *Clerk*
Jessica Chabot, *Member*
Sarah Raposa, A.I.C.P., *Member*
Thomas Gay, *Associate Member*

Medway Town Hall
155 Village Street
Medway, MA 02053
Phone (508) 533-3291
Fax (508) 321-4987
Email: planningboard
@townofmedway.org
www.townofmedway.org

TOWN OF MEDWAY

COMMONWEALTH OF MASSACHUSETTS

PLANNING AND ECONOMIC DEVELOPMENT BOARD

RECEIVED TOWN CLERK
MAY 31 '22 PM4:02

MEMORANDUM

May 31, 2022

TO: Stefany Ohannesian, Town Clerk
Town of Medway Departments, Boards and Committees

FROM: Susy Affleck-Childs, Planning and Economic Development Coordinator

RE: ***Public Hearing Continuation for 288 Village Street Multi-Family Special Permit, Site Plan, and Land Disturbance Permit***
Continuation Date – Tuesday, June 28, 2022 at 7:00 p.m.

At its May 24, 2022 meeting, the Planning and Economic Development Board voted to continue the public hearing on the application of Tony and Dawn Leland of Medway, MA for approval of a special permit, land disturbance permit, and site plan for the proposed, 3-unit multi-family development at 288 Village Street to Tuesday, June 28, 2022 at 7:00 p.m.

The proposed project includes construction of a three-family, townhouse style building and includes a driveway, parking, utilities, grading, lighting, landscaping, and stormwater management facilities. Nine parking spaces are proposed. The planned improvements are shown *on Site Development Plan, Multi-Family Building located at 288 Village Street, Medway, MA*, dated April 1, 2022, prepared by Land Planning Inc. of Bellingham, MA.

The plan and associated application documents are on file with the Medway Town Clerk and the Community and Economic Development office at Medway Town Hall. The information is also posted at Board's page at: https://www.townofmedway.org/planning-economic-development-board/pages/288-village-street-multi-family-housing-development

Based on the reviews by the Board's engineering consultant and staff, and the discussion at the May 24th hearing, the applicant is revising the site plan and is expected to file that revised plan with the Board early next week. It will be uploaded to the web site upon receipt.

Please review the revised site plan and forward any comments to Anna Rice in the Community and Economic Development office by June 23, 2002. Please don't hesitate to contact me if you have any questions. Thanks.

Susan Affleck-Childs

From: Stephanie Carlisle
Sent: Friday, June 3, 2022 8:37 AM
To: sbalcewicz@landplanninginc.com; Susan Affleck-Childs
Cc: 'Bill Halsing'; Peter Pelletier; Sean Harrington; Nolan Lynch
Subject: RE: [External] 288 Village Street - Multifamily Development - MS4CD applicability
Attachments: 288 Village Street - Leland - DPW stormwater request.pdf

Good morning,
Thank you for sending this clarifying letter over in regards to the MS4CD Permit. I discussed the proposal with our Director, Deputy Director, and Highway Superintendent and we determined that an MS4CD Permit is not required for this project. The infiltration system, rain garden, and net decrease in post-construction runoff volume is sufficient and aligns with the intent of the MS4CD Permit rules and regulations.
Thank you for your due diligence.

Susy – can you file this letter with the other documentation for this site? Thank you!

Sincerely,
Stephanie

Stephanie Carlisle
Compliance Coordinator
Town of Medway
45B Holliston Street
Medway, MA 02053
(508)-321-4871

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From: sbalcewicz@landplanninginc.com <sbalcewicz@landplanninginc.com>
Sent: Thursday, June 2, 2022 11:40 AM
To: Stephanie Carlisle <scarlisle@townofmedway.org>
Cc: 'Bill Halsing' <bellingham@landplanninginc.com>
Subject: [External] 288 Village Street - Multifamily Development - MS4CD applicability

Hello Stephanie,

As requested, see the letter attached.

Thank you,

Stephen A. Balcewicz, EIT#26052
Land Planning Inc
214 Worcester Street
North Grafton MA

Land Planning Inc

June 2, 2022

Medway DPW
45B Holliston Street
Medway, MA 02053

Re: Multi-Family Development Major Site Plan Review 288 Village St. Medway, Massachusetts

To whom it may concern:

Land Planning, Inc. has been contracted by Tony Leland, the property owner, to design and represent a project located at 288 Village Street. The proposal is to construct a: three-unit multi-family dwelling, water service line, sanitary sewer line, paved parking lot and stormwater management facility.

On May 24, 2022 a hearing was opened with the Planning and Economic Development Board for the project. The board has requested a review of the project regarding:

- MS4CD permitting

The stormwater management system as proposed achieves equivalent pre and post development discharge rates, creates no new discharges, and meets infiltration standards. See the complete Drainage Report on the Boards webpage as applicable.

Regarding the impervious area intercepted by the municipal catch basin east of the driveway curb cut a reduction of 200 ft^2 has been proposed. See runoff volume for the driveway area intercepted by the municipal storm drain.

Impervious Driveway Runoff (cfs)					
2 Year		10 Year		100 Year	
Pre	Post	Pre	Post	Pre	Post
0.21	0.19	0.33	0.30	0.52	0.48

Norman Hill, P.E. Date 6-2-22
Norman Hill, PE
Land Planning, Inc

214 Worcester Street, North Grafton, MA 01536 Phone: 508-839-9526 Fax: 508-839-9528
www.landplanninginc.com

May 17, 2022
(revised June 13, 2022)

Ms. Susan E. Affleck-Childs
Medway Planning and Economic Development Coordinator
Medway Town Hall
155 Village Street
Medway, MA 02053

Re: Multi-Family Development
Major Site Plan Review
288 Village St.
Medway, Massachusetts

Dear Ms. Affleck-Childs:

Tetra Tech (TT) has performed a review of the proposed Site Plan for the above-mentioned Project at the request of the Town of Medway Planning and Economic Development Board (PEDB). The proposed Project is located at 288 Village Street in Medway, Massachusetts. The Project consists of construction of a three-unit multifamily dwelling, paved parking lot, and stormwater management system to mitigate runoff on-site.

TT is in receipt of the following materials:

- A plan (Plans) set titled "Site Development Plan, Multi-Family Building" dated April 1, 2022, prepared by Land Planning, Inc. (LPI).
- A stormwater report (Report) titled "Stormwater Report, Multi-Family Site Development, 288 Village St., Medway, MA" dated April 5, 2022, prepared by LPI.
- An Application for Major Site Plan Approval, dated April 27, 2022, prepared by Tony Leland (Applicant).
- An Application for Land Disturbance Permit, dated April 11, 2022, prepared by the Applicant.
- A Multifamily Housing Special Permit Application, dated April 12, 2022, prepared by the Applicant.

The Plans and accompanying materials were reviewed for conformance with the following Regulations and Bylaws:

- Town of Medway Planning & Economic Development Board Rules and Regulations, Chapter 200 – Site Plans, Rules & Regulations for Submission, Review and Approval of Site Plans. (Amended October 8, 2019)
- Town of Medway General Bylaws – Article XXVI Stormwater Management and Land Disturbance (Amended June 8, 2020)
- Massachusetts Department of Environmental Protection's (MA DEP) Stormwater Standards (Standards) and appurtenant Stormwater Handbook (Handbook). (Amended February 2008)

The Project was also reviewed for good engineering practice and overall site plan efficiency. Review of the Project for zoning related matters is being conducted by Town personnel and is excluded from this review.

TT 6/13/22 Update

The Applicant has supplied TT with a revised submission addressing comments provided in our previous letter including the following documents:

- A Response to Comments letter dated May 25, 2022, prepared by LPI.

Infrastructure Northeast
Marlborough Technology Park 100 Nickerson Road, Marlborough, MA 01752
Tel 508.786.2200 Fax 508.786.2201 tetratech.com

- A plan (Plans) set titled "Site Development Plan, Multi-Family Building" dated April 1, 2022, prepared by Land Planning, Inc. (LPI).
- Waiver request forms dated June 1, 2022, prepared by LPI.

The revised Plans and supporting information were reviewed against our previous comment letter (May 17, 2022) and comments have been tracked accordingly. Text shown in gray represents information contained in previous correspondence while new information is shown in black text.

SITE PLAN REVIEW

Site Plan Rules and Regulations (Chapter 200)

1. A Traffic Impact Assessment has not been provided. A waiver has been requested from this Regulation. (Ch. 200 §204-3.F.1)
   - *LPI 5/25/22 Response: No comment.*
     - **TT 6/13/22 Update: No action necessary until PEDB decision on Waiver requests.**
2. An Environmental Impact Assessment has not been provided. A waiver has been requested from this Regulation. (Ch. 200 §204-3.F.2)
   - *LPI 5/25/22 Response: No comment.*
     - **TT 6/13/22 Update: No action necessary until PEDB decision on Waiver requests.**
3. A Neighborhood Impact Assessment has not been provided. A waiver has been requested from this Regulation. (Ch. 200 §204-3.F.3)
   - *LPI 5/25/22 Response: No comment.*
     - **TT 6/13/22 Update: No action necessary until PEDB decision on Waiver requests.**
4. A Parking Impact Assessment has not been provided. However, the Project does not exceed 30 parking spaces and therefore a Parking Impact Assessment is not required. A waiver has been requested from this Regulation. (Ch. 200 §204-3.F.4)
   - *LPI 5/25/22 Response: No comment.*
     - **TT 6/13/22 Update: No action necessary until PEDB decision on Waiver requests.**
5. A construction sequence has been provided in the Project Description. However, a full Construction Management Plan (CMP) that includes a timetable, methods for managing the construction process and minimizing the impacts of construction on public ways and abutters, and hours of construction and deliveries associated with construction has not been provided. (Ch. 200 §204-3.H)
   - *LPI 5/25/22 Response: Construction activities will take place within the requirements of the building department. All deliveries shall occur Monday through Saturday 7am – 5pm.*
     - **TT 6/13/22 Update: The CMP is required to provide details about the overall site construction of the proposed development, not only construction of the building. We recommend the PEDB discuss this item at the next hearing.**
6. Earth removal calculations have not been provided. (Ch. 200 §204-3.I)
   - *LPI 5/25/22 Response: The proposed total cut volume is ± 745 cys. The proposed total fill volume is ± 200 cys.*
     - **TT 6/13/22 Update: These items should be provided on the Plans since these estimates shall be stamped by a Massachusetts PE.**
7. Earth fill estimates have not been provided. (Ch. 200 §204-3.J)
   - *LPI 5/25/22 Response: The net site earthwork is ± 545 cys cut.*
     - **TT 6/13/22 Update: This item should be provided on the Plans since this estimate shall be stamped by a Massachusetts PE.**

8. A copy of a Determination of Applicability with a finding from the Conservation Commission that the proposed Project is not within its jurisdiction has not been provided. (Ch. 200 §204-3.K)
   - *LPI 5/25/22 Response: A waiver will be requested for this item.*
     - **TT 6/13/22 Update: No action necessary until PEDB decision on Waiver requests.**
9. A Board Signature Block has been provided but it should read "Planning and Economic Development Board" to reflect the name of the Board. (Ch. 200 §204-4.E)
   - *LPI 5/25/22 Response: This item has been amended.*
     - **TT 6/13/22 Update: In our opinion, this comment is resolved.**
10. The Locus Map provided on the Cover Sheet shows streets within two thousand feet of the site perimeter. However, the locus map is missing clearly labeled wooded areas, recreation fields, protected open space, landmarks, public facilities, etc. Locus Plan is generally difficult to read on the electronic version of the Plans. (Ch. 200 §204-5.B.1)
    - *LPI 5/25/22 Response: The 2000' locus map does not include and of these site features.*
      - **TT 6/13/22 Update: In our opinion, this comment is resolved.**
11. Abutters' names and addresses with assessor's references for properties within 300' of the development site are not provided on the Cover Sheet. (Ch. 200 §204-5.B.2)
    - *LPI 5/25/22 Response: This item has been added.*
      - **TT 6/13/22 Update: In our opinion, this comment is resolved.**
12. An overall site Landscape Plan has not been provided. A waiver has been requested from this Regulation. (Ch. 200 §204-5.D.8)
    - *LPI 5/25/22 Response: No comment.*
      - **TT 6/13/22 Update: No action necessary until PEDB decision on Waiver requests.**
13. Color renderings of the Project and buildings from at least four different directions have not been provided. (Ch. 200 §204-5.D.10)
    - *LPI 5/25/22 Response: No comment – request from project Architect.*
      - **TT 6/13/22 Update: The Applicant shall provide these documents or request a waiver. We recommend the PEDB discuss this item at the next hearing.**
14. Floor plans with the use of all interior areas have not been provided. (Ch. 200 §204-5.D.11)
    - *LPI 5/25/22 Response: No comment – request from project Architect.*
      - **TT 6/13/22 Update: The Applicant shall provide these documents or request a waiver. We recommend the PEDB discuss this item at the next hearing.**
15. A Master Signage Plan has not been provided. (Ch. 200 §204-5.D.14)
    - *LPI 5/25/22 Response: A waiver will be requested for this item.*
      - **TT 6/13/22 Update: No action necessary until PEDB decision on Waiver requests.**
16. A Lighting Plan has not been provided. A waiver has been requested from this Regulation. (Ch. 200 §204-5.D.15)
    - *LPI 5/25/22 Response: No comment.*
      - **TT 6/13/22 Update: No action necessary until PEDB decision on Waiver requests.**
17. The site entrance and exit driveways shall have an unobstructed paved width of at least 20 feet which does not appear to be provided in the Project scope. A waiver has been requested from this Regulation. (Ch. 200 §207-11.A.3)
    - *LPI 5/25/22 Response: No comment.*
      - **TT 6/13/22 Update: No action necessary until PEDB decision on Waiver requests.**

18. The site driveway entrance does not contain vertical granite curbing. A waiver has been requested from this Regulation. (Ch. 200 §207-11.A.4)
    - *LPI 5/25/22 Response: No comment.*
        - **TT 6/13/22 Update: No action necessary until PEDB decision on Waiver requests.**
19. The proposed driveway is within 15 feet of the side property line within a residential zone. A waiver has been requested from this Regulation. (Ch. 200 §207-11.A.13)
    - *LPI 5/25/22 Response: No comment.*
        - **TT 6/13/22 Update: No action necessary until PEDB decision on Waiver requests.**
20. The driveway is graded such that stormwater will runoff onto Village Street. We recommend stormwater runoff from the driveway be collected on-site prior to entering the public way. (Ch. 200 §207-11.A.15)
    - *LPI 5/25/22 Response: The proposed impervious area draining to the catch basin is 200 s.f. less than the existing drainage area intercepted by the municipal storm drain. See response from Municipal DPW regarding MS4CD permitting.*
        - **TT 6/13/22 Update: TT has reviewed the June 3, 2022, email correspondence received from Medway DPW regarding this item. In our opinion, this comment is resolved.**
21. The perimeter of drive aisles shall be bounded with vertical granite curb. (Ch. 200 §207-11.B.2)
    - *LPI 5/25/22 Response: A waiver will be requested for this item.*
        - **TT 6/13/22 Update: No action necessary until PEDB decision on Waiver requests.**
22. Parking spaces shall not be within 15 feet of the front, side, and rear property lines. (Ch. 200 §207-12.G.3.b)
    - *LPI 5/25/22 Response: A waiver will be requested for this section.*
        - **TT 6/13/22 Update: No action necessary until PEDB decision on Waiver requests.**
23. Two-way drive aisles shall be 24 feet in width. (Ch. 200 §207-12.G.3.d)
    - *LPI 5/25/22 Response: 24 feet has been provided between the ends of proposed parking spaces.*
        - **TT 6/13/22 Update: Our original comment referenced the access driveway from Village Street. The Applicant shall provide the required width or request a waiver. We recommend the PEDB discuss this item at the next hearing.**
24. The Project does not propose curbing around the perimeter of the parking area. A waiver has been requested from this Regulation. (Ch. 200 §207-12.H.1)
    - *LPI 5/25/22 Response: No comment.*
        - **TT 6/13/22 Update: No action necessary until PEDB decision on Waiver requests.**
25. The driveway apron is designed with curb radii measuring two feet (using bullnose curbs). All curbing shall have a minimum radius of three feet. (Ch. 200 §207-12.H.2)
    - *LPI 5/25/22 Response: Curbing radii greater than two feet will encroach into the existing sidewalk. A waiver will be requested for this item.*
        - **TT 6/13/22 Update: No action necessary until PEDB decision on Waiver requests. Additionally, we recommend the Applicant coordinate with DPW regarding this item.**
26. Provisions for the installation of underground electric, telephone, and cable TV have not been provided on the Plans. (Ch. 200 §207-16.A)
    - *LPI 5/25/22 Response: Overhead unless otherwise determined by utility company.*
        - **TT 6/13/22 Update: The Applicant shall provide the required underground utilities in the design or request a waiver. We recommend the PEDB discuss this item at the next hearing.**

27. Designated locations for dumpsters or trash barrels have not been provided on the Plans. (Ch. 200 §207-17.B)
    - *LPI 5/25/22 Response: Individual unit trash barrels stored to the back of the multifamily units.*
        - **TT 6/13/22 Update: In our opinion, this comment is resolved.**

General Site Plan Comments

28. The proposed water main dead ends under the proposed driveway. We recommend the main be continued to a hydrant to maintain sufficient water quality. Additionally, the town typically requires cut-in with valves for water main connections. We recommend the Applicant coordinate this design with the Medway DPW.
    - *LPI 5/25/22 Response: See letter from Municipal DPW regarding MS4CD permitting.*
        - **TT 6/13/22 Update: This item is not related to the MS4CD permitting process and we have not been provided with a letter to review this item against. The Applicant should provide all confirmatory documentation in future submissions.**
29. We anticipate right turns into the property from village street may be difficult for larger vehicles which may require them to mount the curb when turning. We recommend a larger radius at the driveway intersection.
    - *LPI 5/25/22 Response: A larger radii will encroach into the sidewalk. A waiver will be requested for this item.*
        - **TT 6/13/22 Update: We recommend the PEDB discuss this item at the next hearing.**
30. Values for calculated area of limit of disturbance varies between the Land Disturbance Permit application and the Stormwater Report (see Storm Water Pollution Prevention Plan). Please update with the correct value.
    - *LPI 5/25/22 Response: Land Disturbance permit shall be updated to reflect the 19,000 s.f. reported in the stormwater pollution prevention plan.*
        - **TT 6/13/22 Update: We have not received a copy of the revised Land Disturbance Permit application.**
31. We recommend future scans of the Plans be true to the 24”x36” hard copy Plans to ensure the plan can we reviewed at its true scale. Applicant submitted Plans on 11”x17” sheets which impacts the provided scale of the drawing.
    - *LPI 5/25/22 Response: All subsequent digital documents will be true to size.*
        - **TT 6/13/22 Update: In our opinion, this item is resolved.**

STORMWATER REVIEW

MA DEP Stormwater Standards/Handbook

32. It appears multiple design points are required to ensure runoff is properly accounted for in the analysis. Stormwater discharges off-site in the northwest, east and south. These points should be included since runoff is proposed to these locations in the post-development condition. (Standard 2)
    - *LPI 5/25/22 Response: Drainage characteristics to these areas are unchanged and therefore equivalent runoff is expected pre and post construction.*
        - **TT 6/13/22 Update: In our opinion, this comment is resolved.**
33. One test pit has been provided with soil characteristics and estimated seasonal high groundwater (ESHGW) elevation. However, test pit was performed outside the footprint of both the proposed rain garden and subsurface infiltration system. We recommend additional test pits be performed at each infiltration area to ensure soil characteristics are consistent with the design. (Standard 3)
    - *LPI 5/25/22 Response: Additional test pit has been added to the plans adjacent to stormwater systems.*
        - **TT 6/13/22 Update: In our opinion, this comment is resolved.**

34. The proposed rain garden is designed with an exfiltration rate of 2.41 inches per hour. Therefore, at least 44% TSS pretreatment is required prior to discharge to the rain garden. (Standard 3)
    - *LPI 5/25/22 Response: Pretreatment is required at rates "greater than 2.41 in/hr". 44% pretreatment is not required prior to discharge to the rain garden.*
        - **TT 6/13/22 Update: The handbook states "*At least 44% of the TSS must be removed prior to discharge to the infiltration structure if the discharge is within an area with a rapid infiltration rate (greater than 2.4 inches per hour)*". The soils below the rain garden exceed the 2.4 in/hr rate and therefore 44% pre-treatment must be achieved prior to discharge to the rain garden.**
35. A mounding analysis is required for the subsurface infiltration system as it is within four feet of ESHGW. (Standard 3)
    - *LPI 5/25/22 Response: Four feet has been provided; mounding analysis not required.*
        - **TT 6/13/22 Update: In our opinion, this comment is resolved.**
36. The Applicant has not directed all impervious area to recharge bmp's and therefore will require a capture area adjustment calculation to ensure the Project meets the required recharge. (Standard 3)
    - *LPI 5/25/22 Response: Stormwater analysis does not account for all impervious area to be directed to the infiltration BMP's. This adjustment is not required. Existing impervious area runoff has been reduced by approximately 200 s.f.. see stormwater analysis.*
        - **TT 6/13/22 Update: We calculated the adjusted recharge volume, and the Applicant would meet this given the current design. In our opinion, this comment is resolved.**
37. Infiltration BMP's are proposed in rapidly infiltrating soils (>2.41 in/hr) and require one-inch water quality volume be calculated for the Project. (Standard 4)
    - *LPI 5/25/22 Response: The infiltration BMP has been sized per the infiltration volume (2,025 ft^3). One-inch water quality volume is 726 ft^3. The system as proposed is adequately sized for the one inch of runoff volume.*
        - **TT 6/13/22 Update: The water quality volume of the BMP's exceeds the requirement. However, the BMPs' location in rapidly infiltrating soils require additional pre-treatment as discussed in the update at Comment 34. In our opinion, this comment is resolved.**

Town Stormwater Management and Land Disturbance Bylaw (Article 26)

38. The Sediment and Erosion Control Plan does not contain the proposed limit of work with the calculated area of disturbance. (§26.5.6.3.i)
    - *LPI 5/25/22 Response: This item has been added.*
        - **TT 6/13/22 Update: In our opinion, this comment is resolved.**
39. A description of provisions for phasing the Project shall be provided on the Sediment and Erosion Control Plan. (§26.5.6.3.n)
    - *LPI 5/25/22 Response: Project shall be in sequence and follow typical residential construction.*
        - **TT 6/13/22 Update: Project sequencing has not been added to the Plans.**
40. The Applicant has not supplied information related to Phosphorus removal for the Project. The Town of Medway is tributary to the Charles River which has a TMDL listed for nutrients, of which Phosphorus is the primary nutrient of concern. However, it is unclear if this section of the Bylaw is required since the stormwater system is retaining the one-inch storm event and we defer action on this item to the PEDB. (§26.5.8.3.b.7)
    - *LPI 5/25/22 Response: The phosphorus removal efficiency for the proposed BMPs are as follows:*

      Rain Garden 30% - 90%

      Infiltration chambers not applicable (roof runoff only)

- **TT 6/13/22 Update: The Applicant shall provide calculations showing the Projects' compliance with this section of the Bylaw. The Applicant is directly discharging 29% of the impervious coverage to the MS4 so the percentages listed above apply only to tributary area to the treatment. Calculations shall be provided based on the EPA Region 1 BMP Performance Extrapolation Tool, or other references listed in the Bylaw if BMPs proposed on the Project are not addressed in the EPA tool.**

Medway Site Plan Stormwater Regulations (Ch. 200 §207-14)

41. The Plans should display the locations of the inspection ports within the proposed infiltration system. (Ch. 200 §207-14.D)
    - *LPI 5/25/22 Response: The inspection port location will be noted on the plan.*
      - **TT 6/13/22 Update: In our opinion, this comment is resolved.**

General Stormwater Comments

42. We recommend the Applicant protect the pop-up emitters with a stone or rip-rap collar to prevent them from being damaged during grass mowing and prevent erosion during discharge.
    - *LPI 5/25/22 Response: Rip-rap protection has been added to the plan.*
      - **TT 6/13/22 Update: In our opinion, this comment is resolved.**
43. Please provide a detail of the pop-up emitters shown on the Plans.
    - *LPI 5/25/22 Response: A detail will be added to the plan and resubmitted.*
      - **TT 6/13/22 Update: In our opinion, this comment is resolved.**

These comments are offered as guides for use during the Town's review and additional comments may be generated during the course of review. The Applicant shall be advised that any absence of comment shall not relieve them of the responsibility to comply with all applicable local, state and federal regulations for the Project. If you have any questions or comments, please feel free to contact us at (508) 786-2200.

Very truly yours,

Steven M. Bouley, PE
Project Manager

Bradley M. Picard, EIT
Civil Engineer

P:\21583\143-21583-22012 (PEDB 288 VILLAGE ST)\DOCS\288 VILLAGE ST-PEDBREV(2022-06-13).DOCX

May 25, 2022

Ms. Susan E. Affleck-Childs
Medway Planning and Economic Development
Coordinator Medway Town Hall
155 Village Street
Medway, MA 02053

Re: Multi-Family Development Major Site Plan Review 288 Village St. Medway, Massachusetts

Dear Ms. Affleck-Childs:

In response to the review by Tetra Tech, the following comments are addressed.

SITE PLAN REVIEW

Site Plan Rules and Regulations (Chapter 200)

1. **A Traffic Impact Assessment has not been provided. A waiver has been requested from this Regulation. (Ch. 200 §204-3.F.1)**

   No comment

2. **An Environmental Impact Assessment has not been provided. A waiver has been requested from this Regulation. (Ch. 200 §204-3.F.2)**

   No comment

3. **A Neighborhood Impact Assessment has not been provided. A waiver has been requested from this Regulation. (Ch. 200 §204-3.F.3)**

   No comment

4. **A Parking Impact Assessment has not been provided. However, the Project does not exceed 30 parking spaces and therefore a Parking Impact Assessment is not required. A waiver has been requested from this Regulation. (Ch. 200 §204-3.F.4)**

   No comment

5. **A construction sequence has been provided in the Project Description. However, a full Construction Management Plan (CMP) that includes a timetable, methods for managing the construction process and minimizing the impacts of construction on public ways and abutters, and hours of construction and deliveries associated with construction has not been provided. (Ch. 200 §204-3.H)**

   Construction activities will take place within the requirements of the building department. All deliveries shall occur Monday through Saturday 7am - 5pm.

6. **Earth removal calculations have not been provided. (Ch. 200 §204-3.I)**

   The proposed total cut volume is +/- 745 cys

   The proposed total fill volume is +/- 200 cys

7. **Earth fill estimates have not been provided. (Ch. 200 §204-3.J)**

   The net site earthworks is +/- 545 cys cut.

8. **A copy of a Determination of Applicability with a finding from the Conservation Commission that the proposed Project is not within its jurisdiction has not been provided. (Ch. 200 §204-3.K)**

   A waiver will be requested for this item

9. **A Board Signature Block has been provided but it should read "Planning and Economic Development Board" to reflect the name of the Board. (Ch. 200 §204-4.E)**

   This item has been amended.

10. **The Locus Map provided on the Cover Sheet shows streets within two thousand feet of the site perimeter. However, the locus map is missing clearly labeled wooded areas, recreation fields, protected open space, landmarks, public facilities, etc. Locus Plan is generally difficult to read on the electronic version of the Plans. (Ch. 200 §204-5.B.1)**

    The 2000' locus map does not include any of these site features.

11. **Abutters' names and addresses with assessor's references for properties within 300' of the development site are not provided on the Cover Sheet. (Ch. 200 §204-5.B.2)**

    This item has been added.

12. **An overall site Landscape Plan has not been provided. A waiver has been requested from this Regulation. (Ch. 200 §204-5.D.8)**

    No comment

13. **Color renderings of the Project and buildings from at least four different directions have not been provided. (Ch. 200 §204-5.D.10)**

    No comment – request from project Architect

14. **Floor plans with the use of all interior areas have not been provided. (Ch. 200 §204-5.D.11)**

    No comment – request from project Architect

15. **A Master Signage Plan has not been provided. (Ch. 200 §204-5.D.14)**

    A waiver will be requested for this item

16. **A Lighting Plan has not been provided. A waiver has been requested from this Regulation. (Ch. 200 §204- 5.D.15)**

    Not comment

17. **The site entrance and exit driveways shall have an unobstructed paved width of at least 20 feet which does not appear to be provided in the Project scope. A waiver has been requested from this Regulation. (Ch. 200 §207-11.A.3)**

    No comment

18. **The site driveway entrance does not contain vertical granite curbing. A waiver has been requested from this Regulation. (Ch. 200 §207-11.A.4)**

    No comment

19. **The proposed driveway is within 15 feet of the side property line within a residential zone. A waiver has been requested from this Regulation. (Ch. 200 §207-11.A.13)**

    No comment

20. **The driveway is graded such that stormwater will runoff onto Village Street. We recommend stormwater runoff from the driveway be collected on-site prior to entering the public way. (Ch. 200 §207-11.A.15)**

    The proposed impervious area draining to the catch basin is 200 s.f. less than the existing drainage area intercepted by the municipal storm drain. See response from Municipal DPW regarding MS4CD permitting.

21. **The perimeter of drive aisles shall be bounded with vertical granite curb. (Ch. 200 §207-11.B.2)**

    A waiver will be requested for this item.

22. **Parking spaces shall not be within 15 feet of the front, side, and rear property lines. (Ch. 200 §207- 12.G.3.b)**

    A waiver will be added for this section.

23. **Two-way drive aisles shall be 24 feet in width. (Ch. 200 §207-12.G.3.d)**

    24 feet has been provided between the ends of proposed parking spaces

24. **The Project does not propose curbing around the perimeter of the parking area. A waiver has been requested from this Regulation. (Ch. 200 §207-12.H.1)**

    No comment

25. **The driveway apron is designed with curb radii measuring two feet (using bullnose curbs). All curbing shall have a minimum radius of three feet. (Ch. 200 §207-12.H.2)**

    Curbing radii greater than two feet will encroach into the existing sidewalk. A waiver will be requested for this item

26. **Provisions for the installation of underground electric, telephone, and cable TV have not been provided on the Plans. (Ch. 200 §207-16.A)**

    Overhead unless otherwise determined by utility company

27. **Designated locations for dumpsters or trash barrels have not been provided on the Plans. (Ch. 200 §207- 17.B)**

    Individual unit trash barrels stored to the back of the multifamily units.

General Site Plan Comments

28. **The proposed water main dead ends under the proposed driveway. We recommend the main be continued to a hydrant to maintain sufficient water quality. Additionally, the town typically requires cut-in with valves for water main connections. We recommend the Applicant coordinate this design with the Medway DPW.**

    See letter from Municipal DPW regarding MS4CD permitting.

29. **We anticipate right turns into the property from village street may be difficult for larger vehicles which may require them to mount the curb when turning. We recommend a larger radius at the driveway intersection.**

    A larger radii will encroach into the sidewalk. A waiver will be requested for this item.

30. **Values for calculated area of limit of disturbance varies between the Land Disturbance Permit application and the Stormwater Report (see Storm Water Pollution Prevention Plan). Please update with the correct value.**

    Land disturbance permit shall be updated to reflect the 19,000 s.f. reported in the stormwater pollution prevention plan.

31. **We recommend future scans of the Plans be true to the 24”x36” hard copy Plans to ensure the plan can we reviewed at its true scale. Applicant submitted Plans on 11”x17” sheets which impacts the provided scale of the drawing.**

    All subsequent digital documents will be true to size.

STORMWATER REVIEW

MA DEP Stormwater Standards/Handbook

32. **It appears multiple design points are required to ensure runoff is properly accounted for in the analysis. Stormwater discharges off-site in the northwest, east and south. These points should be included since runoff is proposed to these locations in the post-development condition. (Standard 2)**

    Drainage characteristics to these areas are unchanged and therefore equivalent runoff is expected pre and post construction.

33. **One test pit has been provided with soil characteristics and estimated seasonal high groundwater (ESHGW) elevation. However, test pit was performed outside the footprint of both the proposed rain garden and subsurface infiltration system. We recommend additional test pits be performed at each infiltration area to ensure soil characteristics are consistent with the design. (Standard 3)**

    Additional test pit has been added to the plans adjacent to stormwater systems.

34. **The proposed rain garden is designed with an exfiltration rate of 2.41 inches per hour. Therefore, at least 44% TSS pretreatment is required prior to discharge to the rain garden. (Standard 3)**

    Pretreatment is required at rates “greater than 2.41 in/hr”. 44% pretreatment is not required prior to discharge to the rain garden.

35. **A mounding analysis is required for the subsurface infiltration system as it is within four feet of ESHGW. (Standard 3)**

    Four feet has been provided; mounding analysis not required.

36. **The Applicant has not directed all impervious area to recharge bmp's and therefore will require a capture area adjustment calculation to ensure the Project meets the required recharge. (Standard 3)**

    Stormwater analysis does not account for all impervious area to be directed to the infiltration BMP's. This adjustment is not required.

    Existing impervious area runoff has been reduced by approximately 200 s.f. See stormwater analysis.

37. **Infiltration BMP's are proposed in rapidly infiltrating soils (>2.41 in/hr) and require one-inch water quality volume be calculated for the Project. (Standard 4)**

    The infiltration BMP has been sized per the infiltration volume (2,025 ft^3). One-inch water quality volume is 726 ft^3. The system as proposed is adequately sized for the one-inch of runoff volume.

Town Stormwater Management and Land Disturbance Bylaw (Article 26)

38. **The Sediment and Erosion Control Plan does not contain the proposed limit of work with the calculated area of disturbance. (§26.5.6.3.i)**

    This item has been added.

39. **A description of provisions for phasing the Project shall be provided on the Sediment and Erosion Control Plan. (§26.5.6.3.n)**

    Project shall be in sequence and follow typical residential construction.

40. **The Applicant has not supplied information related to Phosphorus removal for the Project. The Town of Medway is tributary to the Charles River which has a TMDL listed for nutrients, of which Phosphorus is the primary nutrient of concern. However, it is unclear if this section of the Bylaw is required since the stormwater system is retaining the one-inch storm event and we defer action on this item to the PEDB. (§26.5.8.3.b.7)**

    The phosphorus removal efficiency for the proposed BMPs are as follows:

    Rain garden 30% - 90%

    Infiltration chambers not applicable (roof runoff only)

Medway Site Plan Stormwater Regulations (Ch. 200 §207-14)

41. **The Plans should display the locations of the inspection ports within the proposed infiltration system. (Ch. 200 §207-14.D)**

    The inspection port location will be noted on the plan.

General Stormwater Comments

42. We recommend the Applicant protect the pop-up emitters with a stone or rip-rap collar to prevent them from being damaged during grass mowing and prevent erosion during discharge.

Rip-rap protection has been added to the plan

43. Please provide a detail of the pop-up emitters shown on the Plans.

A detail will be added to the plan and resubmitted.

Norman Hill, PE Date 6-3-22

Norman Hill, PE
Land Planning, Inc

Site Development Plan

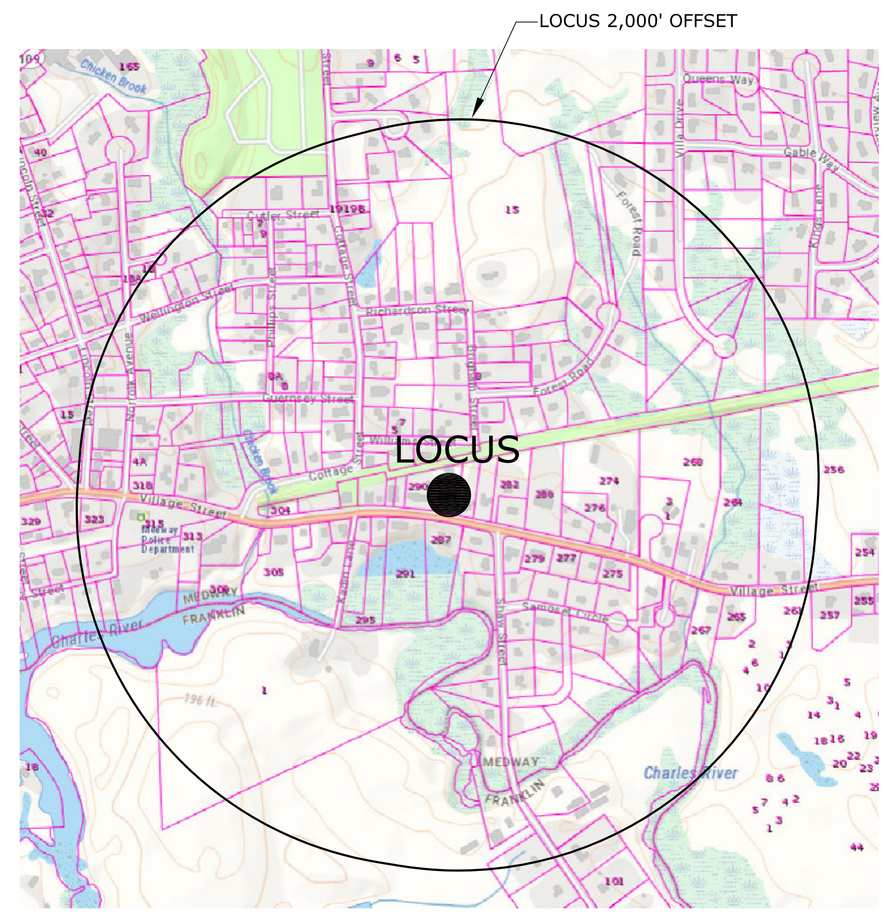
MULTI-FAMILY BUILDING

300' ABUTTERS SCHEDULE		
MAP PARCEL ID	SITE ADDRESS	OWNER*
58-094	6 WILLIAMS ST	LUZIETTI RICARDO A JR
58-074	4 BRIGHAM ST	HOPKINS STEPHEN E
58-100	295 VILLAGE ST	RYAN KEVIN
68-010	4 SHAW ST	MANHNKS DANIEL F
58-105	2 SHAW ST	BRANIGAN MARK E
58-081	284 VILLAGE ST	BARRIOS BLANCA ROSA
58-103	287 VILLAGE ST	POWER MICHAEL F
58-082	286 VILLAGE ST	BOUTLER MEGHAN
58-075	2 BRIGHAM ST	GRAY ROBERT A
58-065	11 WILLIAMS ST	MAHONEY CHRISTOPHER J
58-092	41 COTTAGE ST	GALLIHER PETER F
58-101	293 VILLAGE ST	KAIRIT VIRGINIA B LIFE ESTATE
58-079	282 A VILLAGE ST	HUGHES JANE D
58-095	281 VILLAGE ST	HANDVERGER LIFE ESTATE RICHARD A
58-087	294 VILLAGE ST	KELLEY LIFE ESTATE BRENDA J
58-104	283 VILLAGE ST	JOHNSON CYNTHIA DENISE
58-086	292 VILLAGE ST	NEW ENGLAND TELEPHONE COMPANY
58-102	291 VILLAGE ST	PRATT KEVIN C
51-026	0 VILLAGE ST	MEDWAY TOWN OF
58-085	292 VILLAGE ST	NEW ENGLAND TELEPHONE COMPANY
58-093	4 WILLIAMS ST	SKELTON LEE S
58-066	9 WILLIAMS ST	GOLDEN JOHN R
58-067	7 WILLIAMS ST	HEAVEY MICHAEL J.
58-080	282 VILLAGE ST	MACSWAIN DAVID A
58-084	290 VILLAGE ST	LELAND TONY J SR
58-083	288 VILLAGE ST	LELAND TONY J SR

* NOW OR FORMERLY

N

ABUTTERS LOCUS MAP
1" = 200'



LOCUS MAP

GRAPHIC SCALE
600 0 300 600 1200
(IN FEET)
1 inch = 600 ft.

WAIVER REQUESTS INVENTORY

TITLE & NUMBER	REQUIREMENT	REQUEST
Site Plan Rules & Regulations Chapter 200 Section 204-3 F. 1	Full Traffic Impact Assessment	Limit assessment to provided sight distance and trip generation
Site Plan Rules & Regulations Chapter 200 Section 204-3 F. 2	Full Environmental Impact Assessment	Limit to stormwater report
Site Plan Rules & Regulations Chapter 200 Section 204-3 F. 3	Neighborhood Impact Assessment	Eliminate (development is consistent with neighborhood)
Site Plan Rules & Regulations Chapter 200 Section 204-5 D. 15	Lighting Plan per Section 7.1.2 of the Zoning Bylaws	Eliminate (limit to building mounted lighting)
Site Plan Rules & Regulations Chapter 200 Section 204-3 F. 4	Parking Impact Assessment (greater than 30 spaces required)	Eliminate (under threshold)
Site Plan Rules & Regulations Chapter 200 Section 204-5 D. 8	Landscape Architect Plan	Eliminate (use typical residential plantings)
Site Plan Rules & Regulations Chapter 200 Section 207-11 A. 3	Site Entrance Width of 20 feet	Reduce to 16 feet
Site Plan Rules & Regulations Chapter 200 Section 207-11 A. 4	Vertical Granite Curbing at entrance	Eliminated curbing requirement
Site Plan Rules & Regulations Chapter 200 Section 207-11 A. 13	Driveway 15 feet from residential use side lot line	Reduce to 11 feet
Site Plan Rules & Regulations Chapter 200 Section 207-12 H. 1	Parking area perimeter granite curbing	Eliminated curbing requirement
Zoning Bylaw Section 6.1 Table 2. Dimensional And Density Regulations	35' Front Yard Setback	Reduce to 30' (minimize impervious area on-site)
Site Plan Rules & Regulations Chapter 200 Section 204-3. K	Determination of applicability from conservation Commission	Eliminate
Site Plan Rules & Regulations Chapter 200 Section 204-5. D.14	Master signage plan	Eliminate
Site Plan Rules & Regulations Chapter 200 Section 207-11. B.2	Perimeter driveway aisle granite curbing	Eliminate
Site Plan Rules & Regulations Chapter 200 Section 207-12. G.3.b	Parking space 15 feet from property line	Reduce to 9 feet
Site Plan Rules & Regulations Chapter 200 Section 207-12. H.2	3-foot curb radii at driveway apron	Reduce to 2-foot radii

Located at
288 Village Street
Medway, MA

SHEET INDEX

SHEET NO.	TITLE
1	COVER SHEET
2	EXISTING CONDITIONS PLAN
3	PROPOSED SITE & UTILITIES PLAN
4	PROPOSED DRAINAGE & GRADING PLAN
5	SEDIMENT & EROSION CONTROL PLAN
6	DETAILS & NOTES
7	DETAILS & NOTES

OWNER/ APPLICANT (S):
TONY J. LELAND, SR. & DAWN M. LELAND
290 VILLAGE STREET
MEDWAY, MA

ARCHITECT:
CME ARCHITECTS, INC.
6 WILKINS DRIVE, SUITE 210
PLAINVILLE, MA 02762
(508) 809-2509

ZONING DISTRICT: AGRICULTURAL-RESIDENTIAL II

	REQUIRED	EXISTING	PROPOSED
AREA:	22,500 S.F.	22,600 S.F.	22,600 S.F.
FRONTAGE:	150 FT.	133.22 FT.	133.22 FT.
FRONT YARD:	35 FT.	24.7 FT.	30 FT.
SIDE YARD:	15 FT.	25.6 FT.	17 FT.
REAR YARD:	15 FT.	75.0 FT.	73 FT.
LOT COVERAGE	30% MAX.	8.5%	15%
BLDG. HEIGHT	35 FT.	-	30 FT.
IMPERVIOUS COVERAGE	40% MAX.	21%	39.5%
PARKING	1.5 SPC./UNIT	N/A	9 SPC

THIS PROPERTY IS IN THE MULTI-FAMILY HOUSING OVERLAY DISTRICT

ZONING DISTRICT: MULTI-FAMILY HOUSING OVERLAY DISTRICT

	REQUIRED	PROPOSED
LOT FRONTAGE:	50 FT.	133.22 FT.
BLDG. HEIGHT:	40 FT.	30 FT.
OPEN SPACE:	15%	60.5%
PARKING SPACES:	6	9

PLANNING AND ECONOMIC DEVELOPMENT BOARD ENDORSEMENT
SIGNATURE DATE

APPROVED BY PLANNING

I, _____, CLERK OF THE TOWN OF MEDWAY, RECEIVED AND RECORDED APPROVAL FROM THE PLANNING AND ECONOMIC DEVELOPMENT BOARD OF THIS PLAN AND ITS CORRESPONDING DECISION ON _____ AND NO APPEAL WAS TAKEN FOR TWENTY (20) DAYS, THEREAFTER.

SIGNATURE:_____

DATE:_____

THIS PROJECT IS SUBJECT TO A PERFORMANCE SECURITY COVENANT TO BE RECORDED HEREWITH.

COVER SHEET

Located at
288 Village Street
Medway, MA

Owned By
Tony J. Leland, Sr.
&
Dawn M. Leland
290 Village Street
Medway, MA

Prepared For
Tony J. Leland, Sr.
290 Village Street
Medway, MA

Scale: As Noted

LOCUS REFERENCES

Deed (Book / Page):	36356 / 499
Plan (Plan Book / Plan):	676 / 87
Assessors:	58 - 083

COMMONWEALTH OF MASSACHUSETTS
NORMAN G. HILL
CIVIL
No. 31887
REGISTERED PROFESSIONAL ENGINEER

Norman G. Hill, P.E.
Date: 6-03-22
Norman G. Hill, PE #31887

REVISIONS	
Date	Description
5/25/22	Revised per Tetra Tech review

Field By:	SB/DL	1/26/2022
Designed By:	SB	2/10/2022
Drawn By:	SB	2/10/2022
Checked By:	NGH	2/18/2022

Land Planning, Inc.
Civil Engineers • Land Surveyors
Environmental Consultants

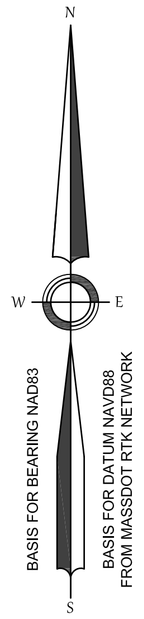
Bellingham
167 Hartford Ave.
Bellingham, MA 02019
508-966-4130

North Grafton
214 Worcester St.
N. Grafton, MA 01536
508-839-9526

Hanson
1115 Main Street
Hanson, MA 02341
781-294-4144

www.landplanninginc.com

Date April 1, 2022	Sheet No. 1
Job No. B1483	



TEST PIT RESULTS- TP

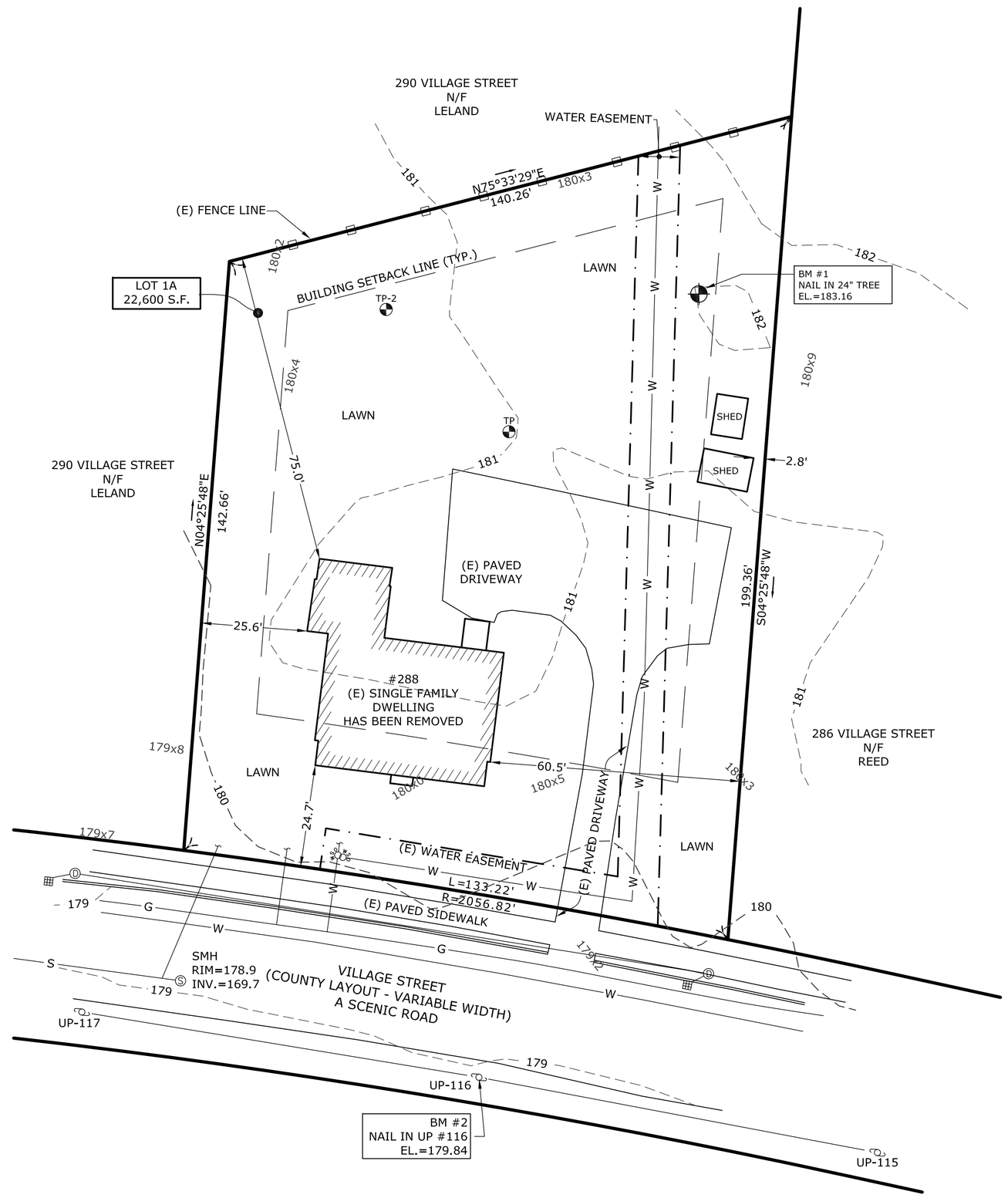
DEPTH (IN.)	HORIZON	TEXTURE	COLOR
0 - 4	FILL	-	-
4 - 28	B	LOAMY SAND	10YR 6/8
28 - 112	C	SAND	7.5YR 7/2

MOTTLES:N/A STANDING:N/A WEEPING: 100"

TEST PIT RESULTS- TP-2

DEPTH (IN.)	HORIZON	TEXTURE	COLOR
0 - 4	FILL	-	-
4 - 24	B	LOAMY SAND	10YR 6/8
24 - 108	C	SAND	7.5YR 7/2

MOTTLES:N/A STANDING:N/A WEEPING: N/A



IMPERVIOUS COVERAGE

EXISTING AREA:	4,784 S.F.
EXISTING COVERAGE	21% (40% ALLOWABLE)

GRAPHIC SCALE

20 0 10 20 20 80

(IN FEET)
1 inch = 20 ft.

GENERAL NOTES

1. TOPOGRAPHY DETERMINED BY AN ON-THE-GROUND SURVEY BY LAND PLANNING, INC. ALL ELEVATIONS REFER TO NAVD 1988 DATUM.
2. THE ENTIRE SITE IS NOT LOCATED WITHIN THE LIMITS OF THE 100 YEAR FLOOD ZONE AS SHOWN ON THE FIRM MAP #25021C0143E DATED JULY 17, 2012.
3. CONSERVATION COMMISSION APPROVAL IS NOT REQUIRED.
4. ALL UNDERGROUND UTILITY LOCATIONS SHOWN ARE BASED ON FIELD EVIDENCE AND RECORDS PROVIDED TO LAND PLANNING, INC.. THESE LOCATIONS SHOULD BE CONSIDERED APPROXIMATE. OTHER UTILITIES MAY EXIST WHICH ARE NOT EVIDENT OR FOR WHICH RECORD INFORMATION WAS NOT FOUND. THE CONTRACTOR MUST CONTACT ALL UTILITY COMPANIES AND "DIG SAFE" (888-DIG-SAFE) BEFORE EXCAVATION BEGINS. WE ASSUME NO RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES OMITTED OR INACCURATELY SHOWN.

EXISTING CONDITIONS PLAN

Located at
288 Village Street
Medway, MA

Owned By
Tony J. Leland, Sr.
&
Dawn M. Leland
290 Village Street
Medway, MA

Prepared For
Tony J. Leland, Sr.
290 Village Street
Medway, MA

Scale: As Noted

LEGEND

	BENCHMARK
(E)	EXISTING
(P)	PROPOSED
(F)	FOUND
(S)	SET
	BOUND (BND)
	IRON ROD (IR)
	IRON PIPE (IP)
	DRILL HOLE (DH)
— —000— —	EXISTING CONTOUR
000x0	EXISTING SPOT GRADE
— — —	ZONING SETBACK

COMMONWEALTH OF MASSACHUSETTS
NORMAN G. HILL
CIVIL
No. 31887
REGISTERED PROFESSIONAL ENGINEER

Norman G. Hill, P.E.
Date: 6-03-22
Norman G. Hill, PE #31887

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Checked By:	NGH	2/18/2022

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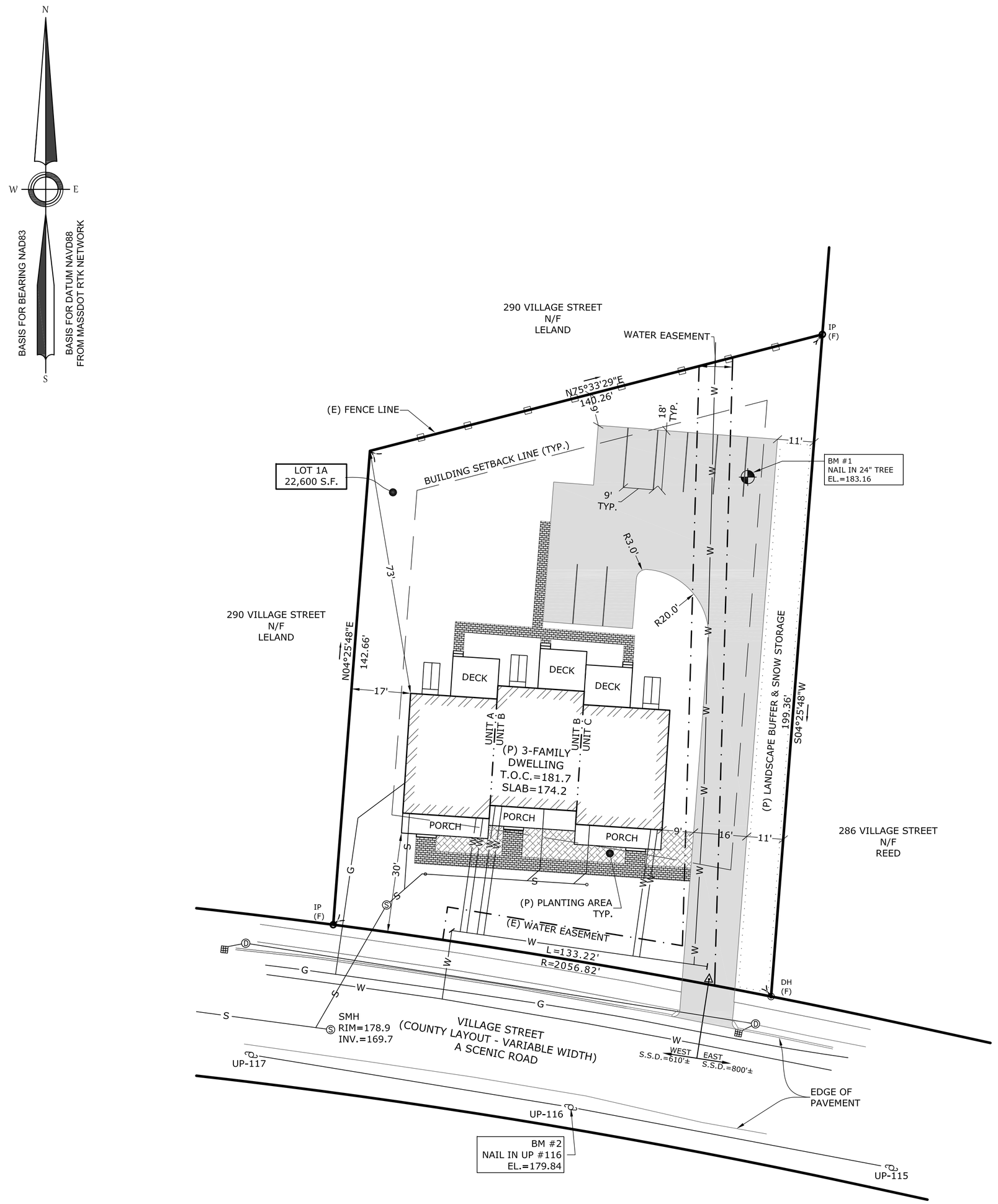
Date: April 1, 2022	Sheet No. 2
Job No. B1483	



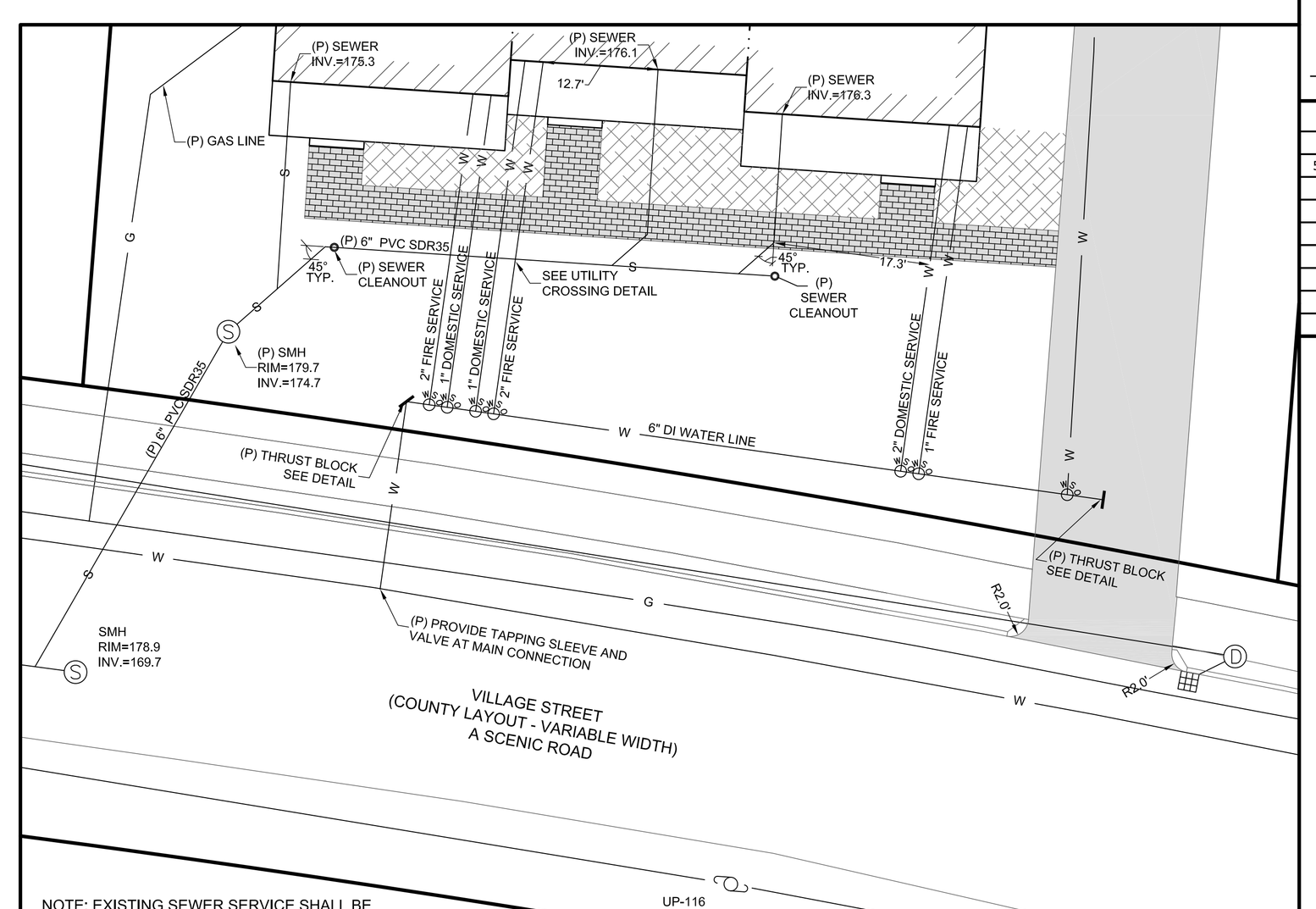
IMPERVIOUS COVERAGE

EXISTING AREA:	4,784 S.F.
PROPOSED AREA:	8,510 S.F.
PROPOSED COVERAGE	38% (40% ALLOWABLE)

GRAPHIC SCALE

20 0 10 20 20 80

(IN FEET)
1 inch = 20 ft.



NOTE: EXISTING SEWER SERVICE SHALL BE CONNECTED TO THE PROPOSED MANHOLE. ALL SEWER ELEVATIONS SHALL BE VERIFIED AND SET DURING CONSTRUCTION.

UTILITY CONNECTION DETAIL
1"=10'

PROPOSED SITE & UTILITIES PLAN

Located at
288 Village Street
Medway, MA

Owned By
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&
Dawn M. Leland
290 Village Street
Medway, MA

Prepared For
Tony J. Leland, Sr.
290 Village Street
Medway, MA

Scale: As Noted

LEGEND

	BENCHMARK
(E)	EXISTING
(P)	PROPOSED
(F)	FOUND
(S)	SET
	BOUND (BND)
	IRON ROD (IR)
	IRON PIPE (IP)
	DRILL HOLE (DH)
000	EXISTING CONTOUR
000x0	EXISTING SPOT GRADE
000	PROPOSED CONTOUR
000x0	PROPOSED SPOT GRADE
	PROPOSED TREE
	SEDIMENT BARRIER
	ZONING SETBACK

COMMONWEALTH OF MASSACHUSETTS
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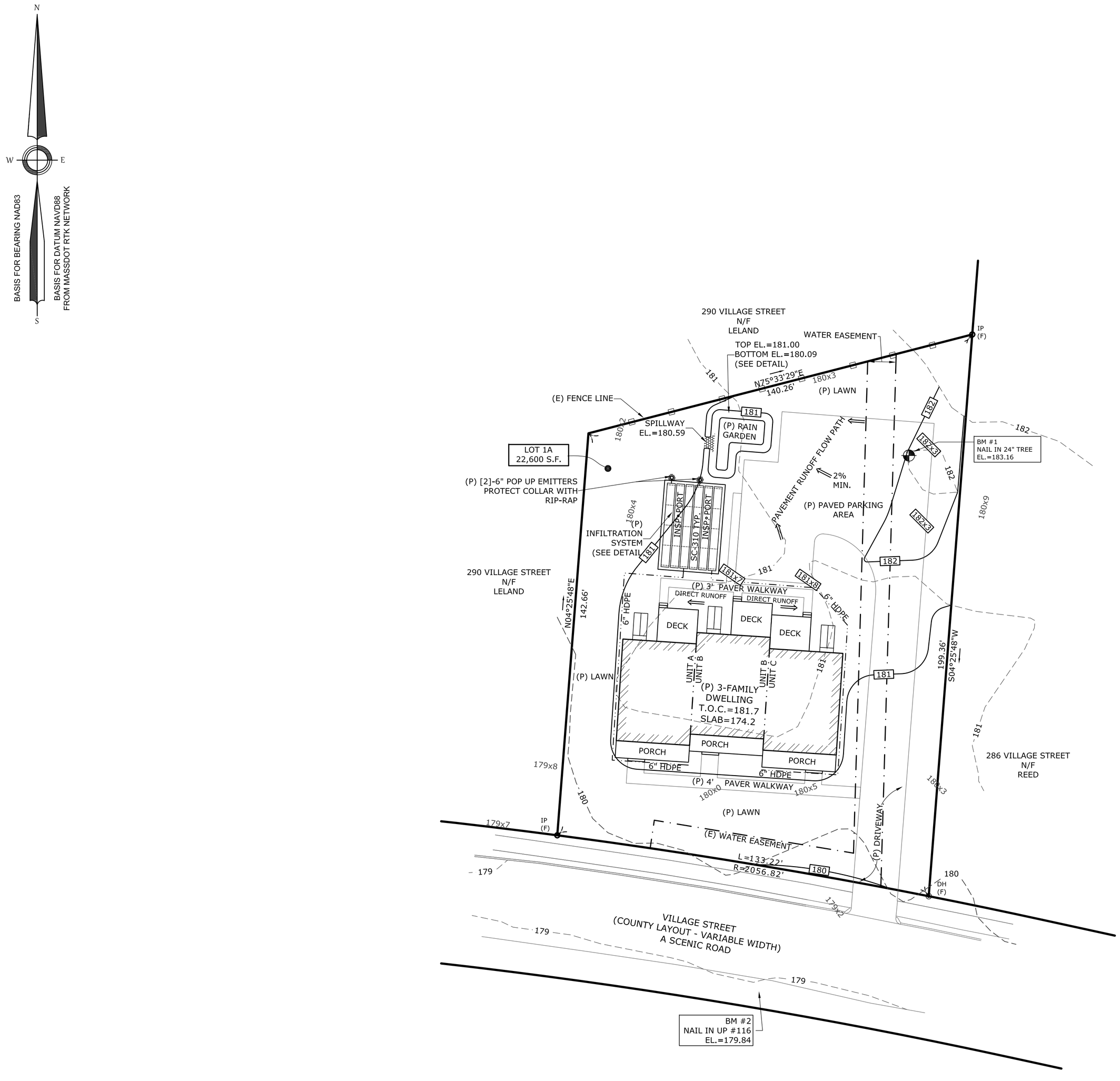
Date	Sheet No.
April 1, 2022	3
Job No. B1483	



GRAPHIC SCALE

20 0 10 20 20 80

(IN FEET)
1 inch = 20 ft.

PROPOSED DRAINAGE & GRADING PLAN

Located at
288 Village Street
Medway, MA

Owned By
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&
Dawn M. Leland
290 Village Street
Medway, MA

Prepared For
Tony J. Leland, Sr.
290 Village Street
Medway, MA

Scale: As Noted

LEGEND

	BENCHMARK
(E)	EXISTING
(P)	PROPOSED
(F)	FOUND
(S)	SET
	BOUND (BND)
	IRON ROD (IR)
	IRON PIPE (IP)
	DRILL HOLE (DH)
000	EXISTING CONTOUR
000x0	EXISTING SPOT GRADE
000	PROPOSED CONTOUR
000x0	PROPOSED SPOT GRADE
	PROPOSED TREE
	SEDIMENT BARRIER
	ZONING SETBACK

COMMONWEALTH OF MASSACHUSETTS
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CIVIL
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REGISTERED PROFESSIONAL ENGINEER

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Norman G. Hill, PE #31887

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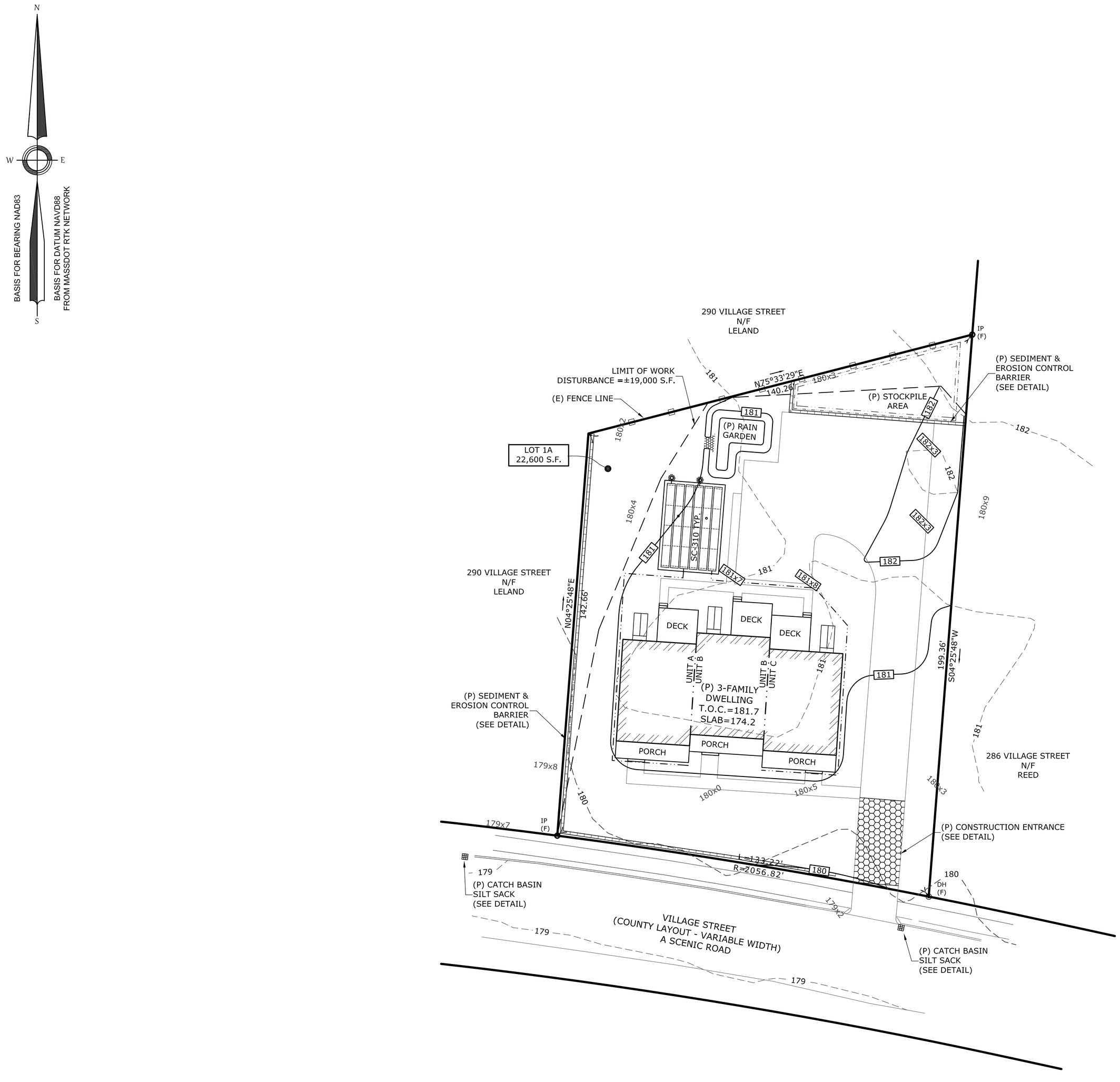
Date: April 1, 2022	Sheet No. 4
Job No. B1483	



GRAPHIC SCALE

20 0 10 20 20 80

(IN FEET)
1 inch = 20 ft.

SEDIMENT & EROSION CONTROL PLAN

Located at
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Medway, MA

Owned By
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&
Dawn M. Leland
290 Village Street
Medway, MA

Prepared For
Tony J. Leland, Sr.
290 Village Street
Medway, MA

Scale: As Noted

LEGEND

	BENCHMARK
(E)	EXISTING
(P)	PROPOSED
(F)	FOUND
(S)	SET
	BOUND (BND)
	IRON ROD (IR)
	IRON PIPE (IP)
	DRILL HOLE (DH)
000	EXISTING CONTOUR
000x0	EXISTING SPOT GRADE
000	PROPOSED CONTOUR
000x0	PROPOSED SPOT GRADE
	PROPOSED TREE
	SEDIMENT BARRIER
	ZONING SETBACK

COMMONWEALTH OF MASSACHUSETTS
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CIVIL
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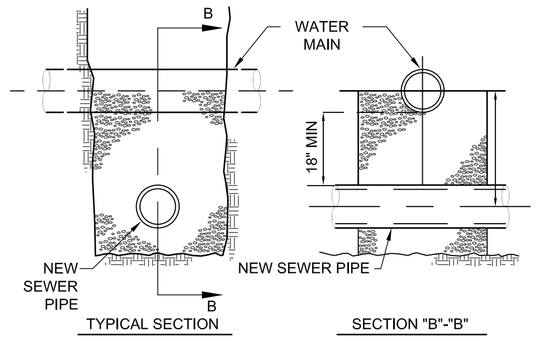
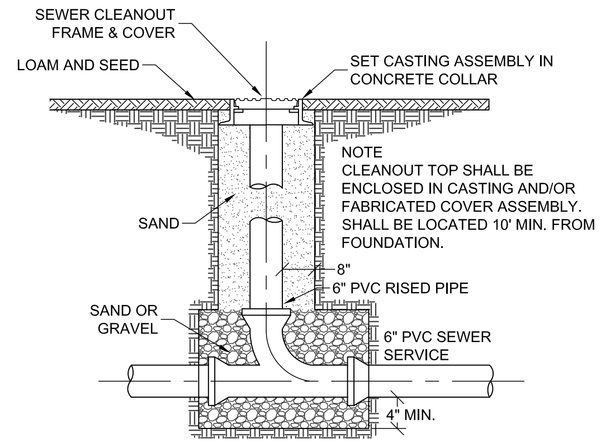
Date: April 1, 2022	Sheet No. 5
Job No. B1483	



NOTE: IN THE EVENT OF A SEWER MAIN OR SEWER SERVICE CROSSING A WATER MAIN OR WATER SERVICE CLOSER THAN 10', THE SEWER MAIN OR SERVICE SHALL BE COMPLETELY ENCASED IN 6" OF 3,000 P.S.I. CONCRETE FOR A DISTANCE OF 10' ON EACH SIDE OF THE CROSSING.

UTILITY CROSSING DETAIL
not to scale



SEWER CLEANOUT
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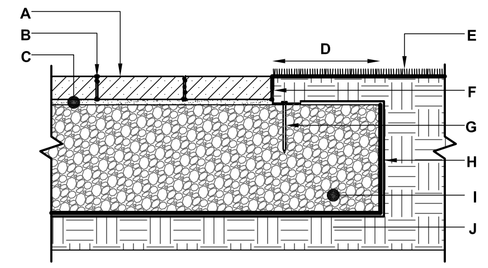
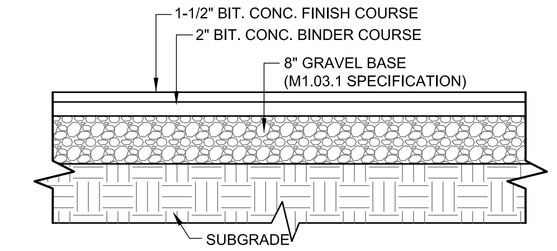
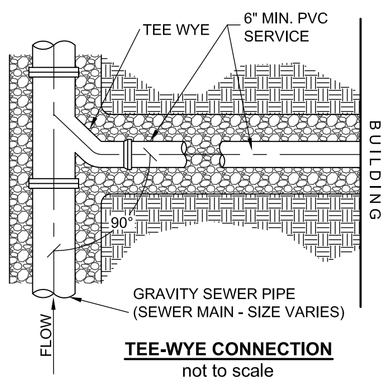


GRANULAR BASE PAVERS
NOT TO SCALE

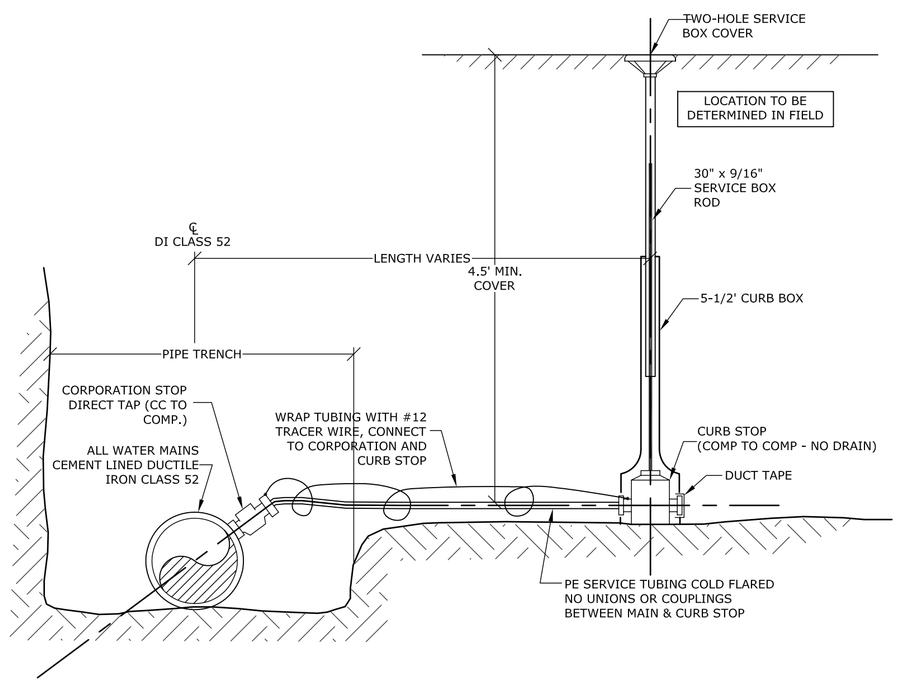
A. TECHO-BLOC OR EQUIVALENT PRECAST CONCRETE PAVER 2 3/8 '' THICK MIN.
B. SAND JOINT FILL
C. SAND SETTING BED (CONCRETE SAND) 1"
D. EXTRA WIDTH EQUAL TO FOUNDATION THICKNESS
E. LAWN
F. ALUMINIUM / STEEL / PLASTIC EDGE RESTRAIN
G. SPIKE
H. GEOTEXTILE
I. COMPACTED GRANULAR BASE 0-3/4"
J. SUBGRADE



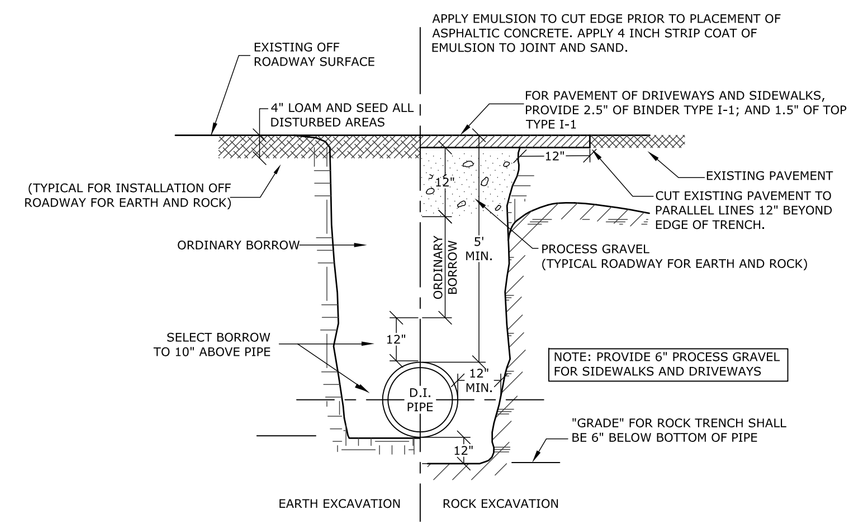
BITUMINOUS CONCRETE PAVEMENT CROSS SECTION
not to scale



TEE-WYE CONNECTION
not to scale

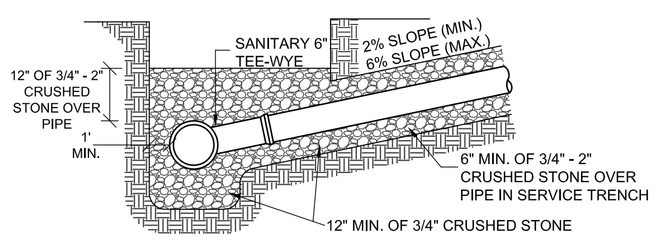


TYPICAL SERVICE CONNECTION
NOT TO SCALE

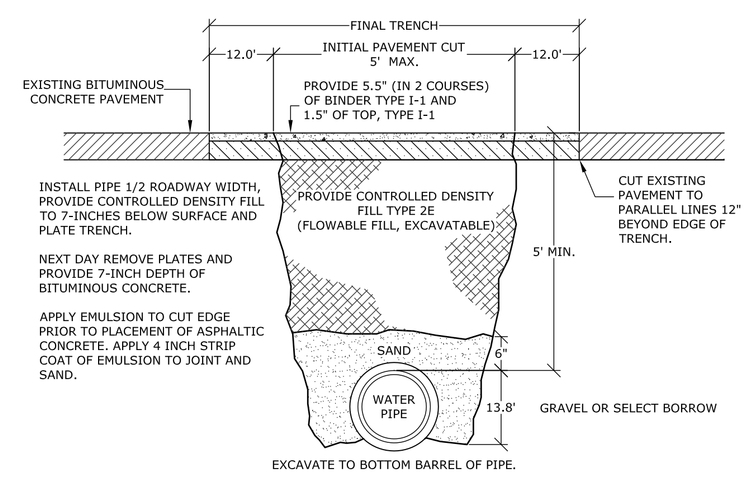


NOTE:
ALL PIPES INSTALLED UNDER BROOKS, CULVERTS OR WITHIN 6" OF ANY STRUCTURES (CB, MH, PITS, VAULTS) MUST BE DUCTILE IRON.

DUCTILE IRON WATER MAINS TRENCH SECTION
NOT TO SCALE

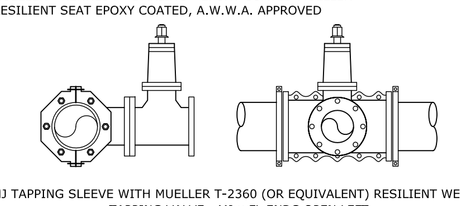


TEE-WYE CROSS SECTION
not to scale



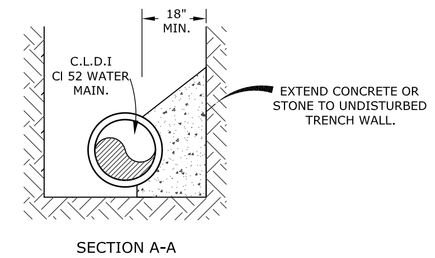
TRENCH RESURFACING IN STATE HIGHWAY & ON MAIN ROADS
NOT TO SCALE

NOTE:
ALL MAIN LINE VALVES - (OPEN LEFT, NON RISING STEM)
SIZES 3" TO 12" - (GATE VALVES)
SIZES GREATER THAN 12" - (BUTTERFLY VALVES)
MUELLER - KENNEDY - DARLING - EPOXY COATED MUELLER RESILIENT SEAT EPOXY COATED, A.W.W.A. APPROVED

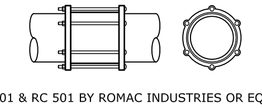


MJ TAPPING SLEEVE WITH MUELLER T-2360 (OR EQUIVALENT) RESILIENT WEDGE TAPPING VALVE - MJ x FL ENDS OPEN LEFT

TAPPING SLEEVE & VALVE
NOT TO SCALE



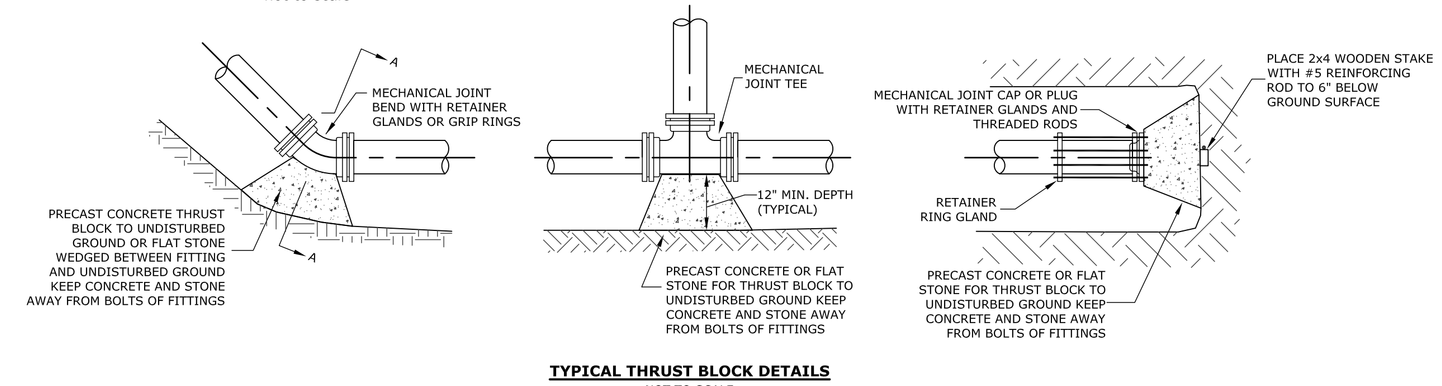
SECTION A-A
not to scale



STYLE 501 & RC 501 BY ROMAC INDUSTRIES OR EQUIVALENT

TO BE USED FOR PIPE REPAIRS, "CUT-INS", COUPLING DIFFERENT TYPES OF PIPE, & CORRECTING MISSALIGNED PIPE (DI TO C-900; DI TO AC; C-900 TO AC)

DUCTILE IRON PIPE COUPLING
NOT TO SCALE



TYPICAL THRUST BLOCK DETAILS
NOT TO SCALE

UTILITY CONSTRUCTION NOTES

1. ALL BACKFILL SHALL BE PLACED AND COMPACTED IN 6" LIFTS OR 12" LIFTS WHEN MACHANICAL MEANS ARE UTILIZED.
2. MEASURES SHALL BE TAKEN TO PREVENT THE MIGRATION OF NATIVE FINES INTO BACKFILL MATERIAL.
3. FOUNDATION- WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE DESIGN ENGINEERAND AND REPLACEMENT WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEEER. AS AN ALTERNATIVE AND AT THE DESCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABALIZED USING GEOTEXTILE MATERIAL.
4. BEDDING- PIPE BEDDING FOR WATER UTILITIES SHALL BE SAND. PIPE BEDDING FOR SANITARY SEWER AND STORMWATER UTILITIES SHALL BE 3/4" DIAMETER CRUSHED STONE.
5. BACKFILL- SUITABLE MATERIAL SHALL BE CLASS I, II, OR III IN THE PIPE ZONE NOT LESS THAN 6"ABOVE THE CROWN OF THE PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATIONS TO THE DESIGN ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN THE LATEST EDITION OF ASTM D2321.
6. WHERE FEASIBLE, SEWERS SHALL BE SEPARATED A MINIMUM OF 10 FEET, HORIZONTALLY, FROM ANY EXISTING WATER MAIN OR IT SHALL BE ENCASED IN CONCRETE.
7. WHERE A 10 FOOT LATERAL SEPARATION BETWEEN SEWER AND WATER CAN NOT BE MAINTAINED, THE WATER MAIN SHALL BE LOCATED WITHIN A SEPARATE TRENCH AND THE CROWN OF THE SEWER SHALL BE PLACED A MINIMUM OF 18" BELOW THE INVERT OF THE WATER MAIN.
8. WHERE SEWERS CROSS WATER MAINS, THE CROWN OF THE SEWER SHALL BE LAID 18" BELOW THE INVERT OF THE WATER MAIN. WHERE THIS REQUIREMENT CAN NOT BE MEET, THE WATER LINE SHALL BE CONSTRUCTED OF MECHANICAL-JOINT PIPE FOR A DISTANCE OF 10 FEET OF EITHER SIDE OF THE CROSSING. ONE FULL LENGTH OF WATER MAIN SHALL BE CENTERED OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR AS POSSIBLE FROM THE SEWER. BOTH THE WATER AND SEWER LINES SHALL BE ENCASED IN CONCRETE FOR 10 FEET EITHER SIDE OF THE CROSSING WHERE THE REQUIRED VERTICAL SEPARATION CAN NOT BE PROVIDED.
9. THE CONTRACTOR MUST CONTACT ALL UTILITY COMPANIES AND "DIG SAFE" BEFORE EXCAVATION BEGINS. WE ASSUME NO RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES OMITTED OR INACCURACIES SHOWN.
10. IN THE EVENT THAT UTILITY INSTALLATION DETAIL CONFLICTS WITH THE TOWN OF MEDWAY DEPARTMENT OF PUBLIC WORKS STANDARDS FOR UTILITY MATERIALS AND INSTALLATION, THE TOWN STANDARDS SHALL GOVERN.

DETAILS & NOTES

Located at
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Medway, MA

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&
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Scale: As Noted

COMMONWEALTH OF MASSACHUSETTS
NORMAN G. HILL
CIVIL
No. 31887
REGISTERED PROFESSIONAL ENGINEER

Norman G. Hill, P.E.
Date: 6-03-22
Norman G. Hill, PE #31887

REVISIONS

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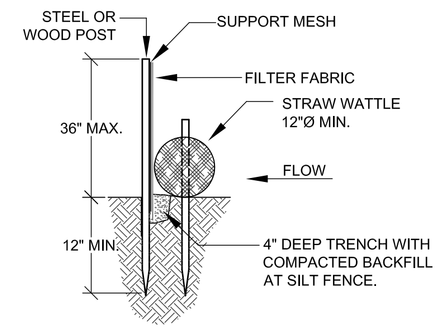
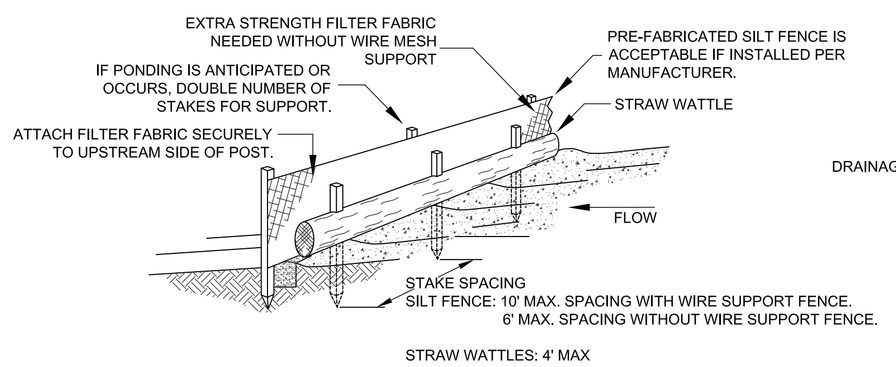
Date: April 1, 2022
Job No.: B1483
Sheet No.: 6

EROSION & SEDIMENT CONTROL NOTES

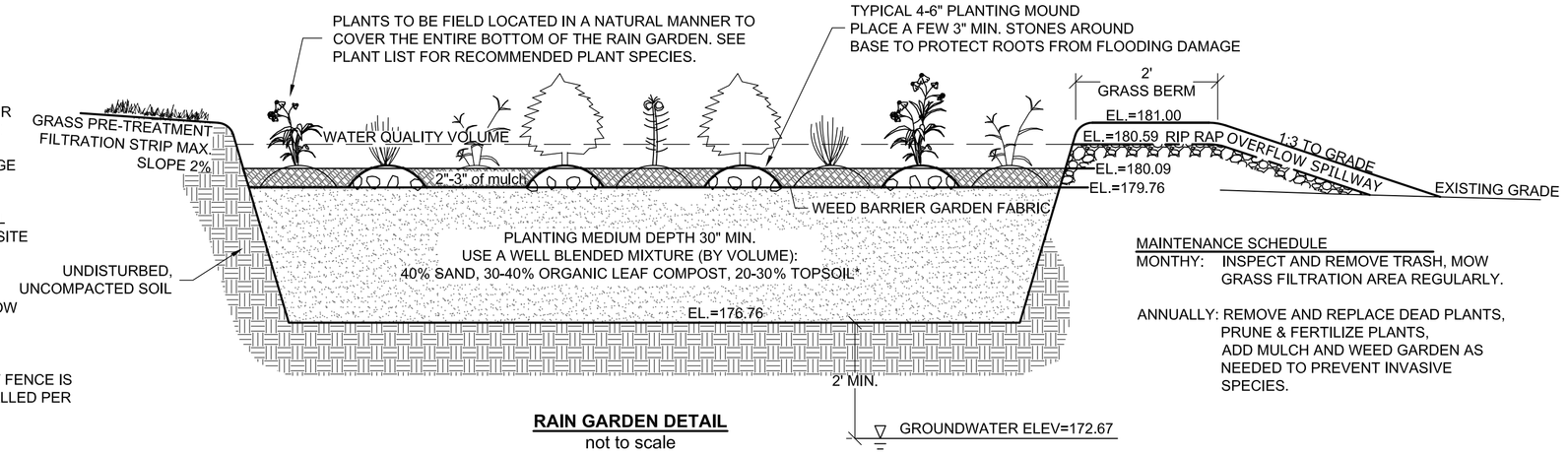
1. THE CONTRACTOR AND ALL SUB-CONTRACTORS ARE TO BE MADE AWARE THAT THIS PROJECT IS SUBJECT TO AN ORDER OF CONDITIONS FROM THE CONSERVATION COMMISSION AND ITS REGULATIONS ARE APPLICABLE TO THIS PROJECT. A COPY OF THIS ORDER IS TO BE READILY AVAILABLE ON SITE AT ALL TIMES.
2. SEDIMENT BARRIERS ARE TO BE INSTALLED WHERE SHOWN ON THIS PLAN. THE CONTRACTOR AND THE OWNER ARE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE SEDIMENT BARRIERS AND TO IDENTIFY AND CORRECT ALL SOURCES OF EROSION. EXTRA SEDIMENT BARRIER MATERIALS ARE TO BE STORED ON SITE IN ORDER TO QUICKLY REPAIR EROSION PRONE AREAS. PERIODIC MAINTENANCE OF THE EROSION CONTROL STRUCTURES IS REQUIRED IN ORDER TO INSURE THE PROPER PROTECTION OF THE RESOURCE AREAS.
3. STOCKPILED MATERIAL THAT IS SUBJECT TO EROSION SHALL BE PROTECTED AT ITS BASE ON THE DOWN-SLOPE SIDE WITH A SILT FENCE.
4. TEMPORARY STABILIZATION OF DISTURBED AREAS IS REQUIRED TO LIMIT EROSION TOWARD ABUTTING PROPERTIES AND PUBLIC WAYS. ALL GRADED SLOPES ARE TO BE STABILIZED ON A DAILY BASIS WITH SPECIAL CARE TAKEN TO AVOID ROUTING RAINFALL THROUGH GULLIES TOWARD THE RESOURCE AREAS. AREAS OF EROSION ARE TO BE REPAIRED ON A DAILY BASIS.
5. THE CONTRACTOR IS TO USE PROPER JUDGMENT RELATIVE TO CONSTRUCTION PRACTICES DURING ADVERSE WEATHER CONDITIONS OR PERIODS OF HIGH GROUNDWATER. NO WORK IS TO BE PERFORMED NEAR THE WETLAND AREAS DURING PERIODS OF HEAVY RAINFALL. INSPECTION IS REQUIRED AFTER MORE THAN 1/2" OF RAINFALL IN 24 HOURS.
6. ALL GRADED AREAS ARE TO BE LOAMED AND SEEDED AS SOON AS POSSIBLE IN ORDER TO INSURE THE RAPID STABILIZATION OF THE EROSION PRONE AREAS. A GRASS SEED MIXTURE OF 20 % RED TOP, 60% CHEWINGS FESCUE AND 20% KENTUCKY BLUEGRASS IS RECOMMENDED. "HYDROSEED" WITH HIGH FIBER CONTENT.
7. THE SEDIMENT BARRIERS SHALL REMAIN IN PLACE UNTIL ALL UPGRADIENT AREAS HAVE BEEN STABILIZED.
8. DURING PERIODS OF HEAVY RAINFALL, IT WILL BE EXPECTED TO EXPERIENCE EROSION OF THE UNSTABILIZED SLOPES. IMMEDIATE ATTENTION TO THE MAINTENANCE OF THESE ERODED AREAS WILL FURTHER INSURE THE SUCCESSFUL STABILIZATION OF THE EXPOSED SLOPES WHILE LIMITING THE IMPACTS TO NEARBY RESOURCE AREAS.
9. PERIODIC INSPECTIONS OF THE ENTIRE CONSTRUCTION SITE ARE TO BE PERFORMED BY A COMPETENT REPRESENTATIVE WHO WILL INSURE THE ADHERENCE TO THE REGULATIONS AS SET FORTH IN 310 CMR 10.00. NO UNAUTHORIZED INDIVIDUALS ARE TO ENTER THE CONSTRUCTION AREA WITHOUT THE EXPRESSED CONSENT OF THE OWNER.
10. THE APPLICANT IS TO NOTIFY THE CONSERVATION COMMISSION ONCE THE JURISDICTIONAL WORK HAS BEEN COMPLETED AND THE ENTIRE SITE HAS BEEN PROPERLY STABILIZED. UPON APPROVAL OF THE WORK SUBJECT TO THE ORDER OF CONDITIONS, THE APPLICANT IS TO RECEIVE A CERTIFICATE OF COMPLIANCE.



NOTES:
1. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.
2. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY. 9" MAXIMUM RECOMMENDED STORAGE HEIGHT.
3. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
4. DO NOT PLACE SILT FENCE IN STREAMS OR CONCENTRATED FLOW CONDITIONS.



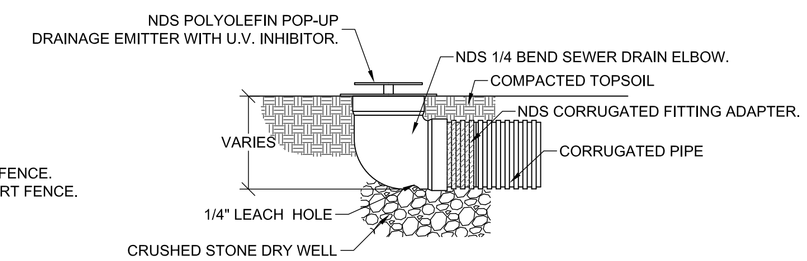
SEDIMENT & EROSION CONTROL BARRIER
not to scale



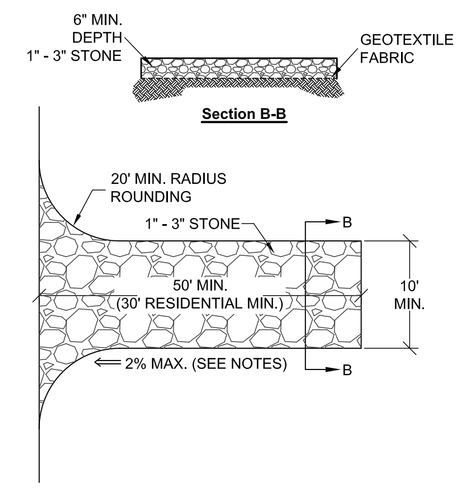
MAINTENANCE SCHEDULE
MONTHY: INSPECT AND REMOVE TRASH, MOW GRASS FILTRATION AREA REGULARLY.

ANNUALLY: REMOVE AND REPLACE DEAD PLANTS, PRUNE & FERTILIZE PLANTS, ADD MULCH AND WEED GARDEN AS NEEDED TO PREVENT INVASIVE SPECIES.

RAIN GARDEN DETAIL
not to scale



DRAINAGE POP-UP EMITTER DETAIL
not to scale



CONSTRUCTION ENTRANCE ANTI-TRACKING PAD
not to scale

CONSTRUCTION ENTRANCE NOTES

REMOVE ALL VEGETATION AND OTHER OBJECTIONABLE MATERIAL FROM THE FOUNDATION AREA. GRADE AND CROWN FOUNDATION FOR POSITIVE DRAINAGE.

STONE FOR A STABILIZED CONSTRUCTION ENTRANCE SHALL BE 1 TO 3-INCH STONE, RECLAIMED STONE, OR RECYCLED CONCRETE EQUIVALENT PLACED ON A STABLE FOUNDATION AS SPECIFIED IN THE PLAN.

PAD DIMENSIONS: THE MINIMUM LENGTH OF THE GRAVEL PAD SHOULD BE 50 FEET, EXCEPT FOR A SINGLE RESIDENTIAL LOT WHERE A 30 FOOT MINIMUM LENGTH MAY BE USED. LONGER ENTRANCES WILL PROVIDE BETTER CLEANING ACTION. THE PAD SHOULD EXTEND THE FULL WIDTH OF THE CONSTRUCTION ACCESS ROAD OR 10 FEET WHICHEVER IS GREATER. THE AGGREGATE SHOULD BE PLACED AT LEAST SIX INCHES THICK.

A GEOTEXTILE FILTER FABRIC SHALL BE PLACED BETWEEN THE STONE FILL AND THE EARTH SURFACE BELOW THE PAD TO REDUCE THE MIGRATION OF SOIL PARTICLES FROM THE UNDERLYING SOIL INTO THE STONE AND VICE VERSA. FILTER CLOTH IS NOT REQUIRED FOR A SINGLE FAMILY RESIDENCE LOT.

IF THE SLOPE TOWARD THE ROAD EXCEEDS 2%, CONSTRUCT A RIDGE, 6 TO 8 INCHES HIGH WITH 3:1 SIDE SLOPES, ACROSS THE FOUNDATION APPROXIMATELY 15 FT FROM THE ENTRANCE TO DIVERT RUNOFF AWAY FROM THE PUBLIC ROAD.

ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION ENTRANCE SHOULD BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.

WASHING: IF THE SITE CONDITIONS ARE SUCH THAT THE MAJORITY OF MUD IS NOT REMOVED FROM THE VEHICLE TIRES BY THE GRAVEL PAD, THEN THE TIRES SHOULD BE WASHED BEFORE THE VEHICLE ENTERS THE ROAD OR STREET. THE WASH AREA SHOULD BE A LEVEL AREA WITH 3-INCH WASHED STONE MINIMUM, OR A COMMERCIAL RACK. WASH WATER SHOULD BE DIRECTED INTO A SEDIMENT TRAP, A VEGETATED FILTER STRIP, OR OTHER APPROVED SEDIMENT TRAPPING DEVICE. SEDIMENT SHOULD BE PREVENTED FROM ENTERING ANY WATERCOURSES.

A FILTER FABRIC FENCE SHOULD BE INSTALLED DOWN-GRADIENT FROM THE CONSTRUCTION ENTRANCE IN ORDER TO CONTAIN ANY SEDIMENT-LADEN RUNOFF FROM THE ENTRANCE.

CONSTRUCTION ENTRANCE MAINTENANCE

THE ENTRANCE SHOULD BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOPDRESSING WITH ADDITIONAL STONE.

INSPECT ENTRANCE/EXIT PAD AND SEDIMENT DISPOSAL AREA WEEKLY AND AFTER HEAVY RAINS OR HEAVY USE.

REMOVE MUD AND SEDIMENT TRACKED OR WASHED ONTO PUBLIC ROAD IMMEDIATELY.

MUD AND SOIL PARTICLES WILL EVENTUALLY CLOG THE VOIDS IN THE GRAVEL AND THE EFFECTIVENESS OF THE GRAVEL PAD WILL NOT BE SATISFACTORY. WHEN THIS OCCURS, THE PAD SHOULD BE TOPDRESSED WITH NEW STONE. COMPLETE REPLACEMENT OF THE PAD MAY BE NECESSARY WHEN THE PAD BECOMES COMPLETELY CLOGGED.

IF WASHING FACILITIES ARE USED, THE SEDIMENT TRAPS SHOULD BE CLEANED OUT AS OFTEN AS NECESSARY TO ASSURE THAT ADEQUATE TRAPPING EFFICIENCY AND STORAGE VOLUME IS AVAILABLE. VEGETATIVE FILTER STRIPS SHOULD BE MAINTAINED TO INSURE A VIGOROUS STAND OF VEGETATION AT ALL TIMES.

RESHAPE PAD AS NEEDED FOR DRAINAGE AND RUNOFF CONTROL.

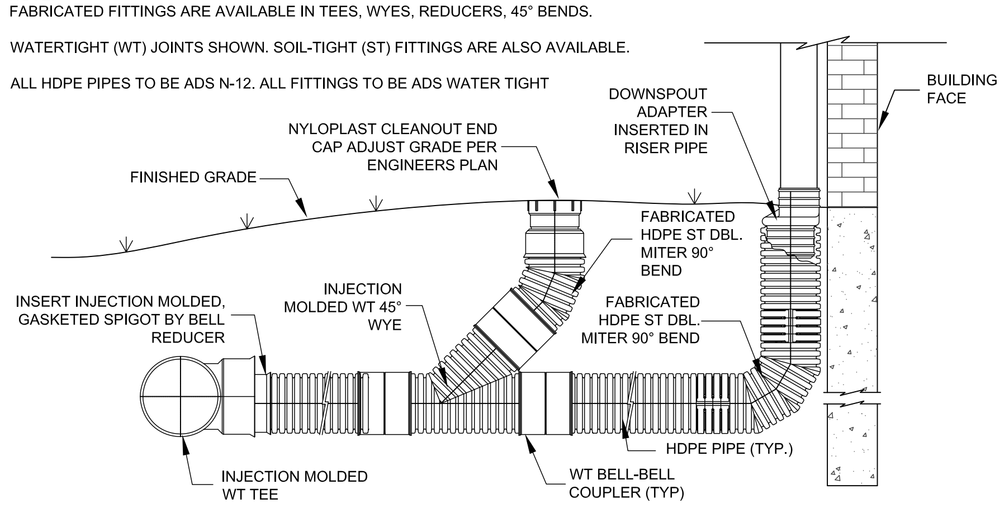
REPAIR ANY BROKEN ROAD PAVEMENT IMMEDIATELY.

ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY PRACTICES ARE NO LONGER NEEDED. TRAPPED SEDIMENT SHALL BE REMOVED OR STABILIZED ON SITE. DISTURBED SOIL AREAS RESULTING FROM REMOVAL SHALL BE PERMANENTLY STABILIZED.

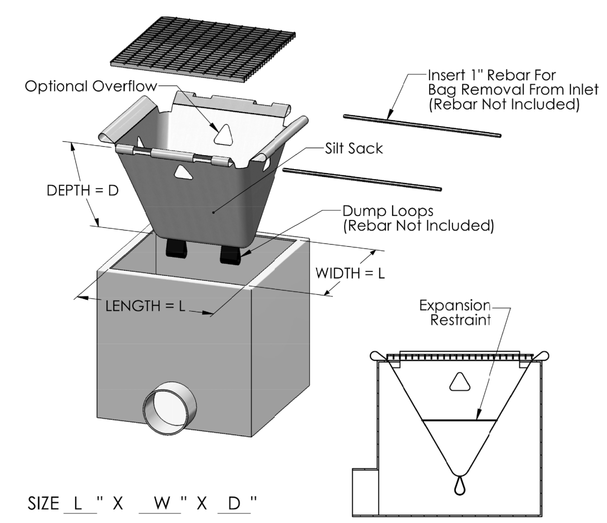
NOTE:
FABRICATED FITTINGS ARE AVAILABLE IN TEES, WYES, REDUCERS, 45° BENDS.

WATERTIGHT (WT) JOINTS SHOWN. SOIL-TIGHT (ST) FITTINGS ARE ALSO AVAILABLE.

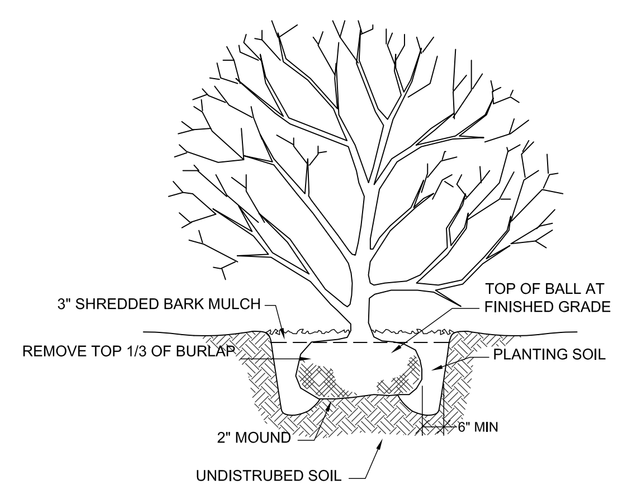
ALL HDPE PIPES TO BE ADS N-12. ALL FITTINGS TO BE ADS WATER TIGHT



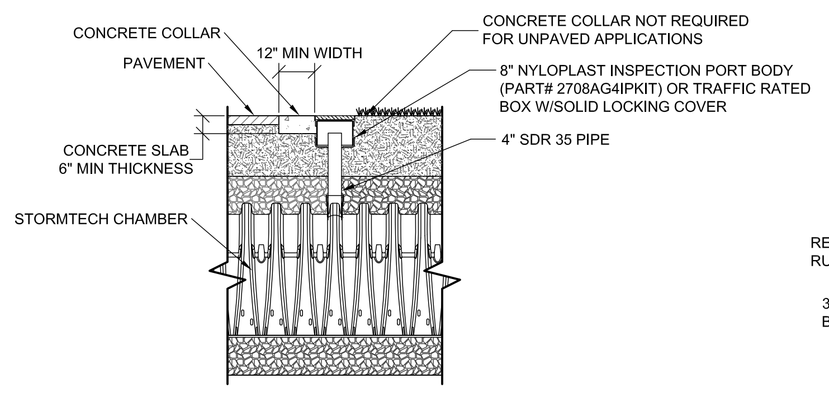
DOWNSPOUT & CLEANOUT DETAIL
not to scale



TYPICAL CATCH BASIN SILT SACK
not to scale

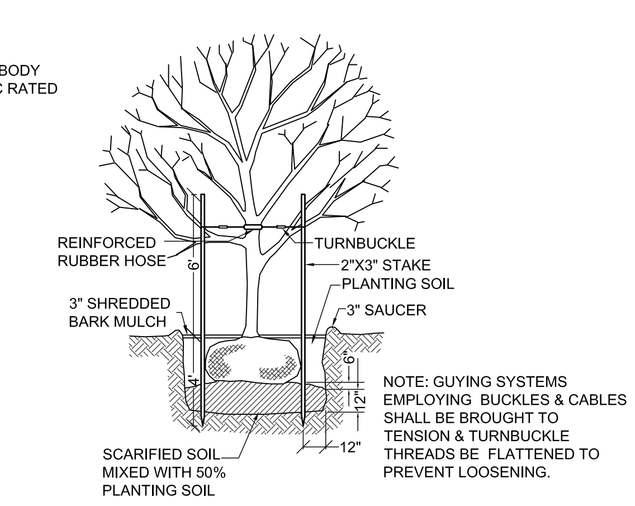


SHRUB PLANTING DETAIL
not to scale



NOTE: INSPECTION PORTS MAY BE CONNECTED THROUGH ANY CHAMBER CORRUGATION CREST.

4" PVC INSPECTION PORT DETAIL (SC SERIES CHAMBER)
not to scale



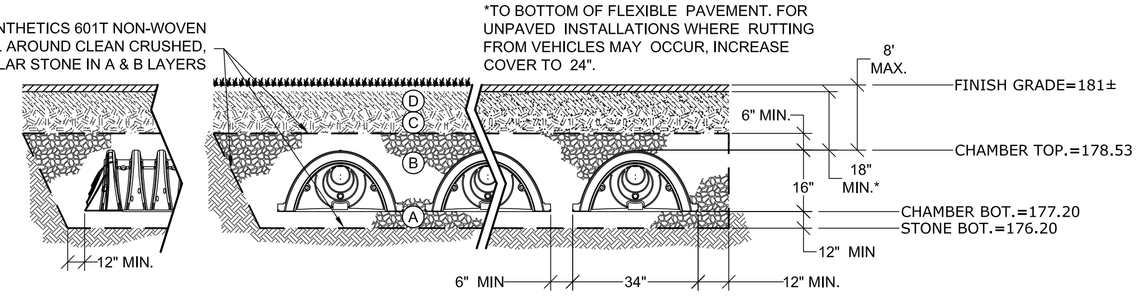
TREE PLANTING DETAIL
not to scale

NOTES:
1. CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2922 (POLETHYLENE) OR ASTM F2418-16A (POLYPROPYLENE), "STANDARD SPECIFICATION FOR CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
2. SC-310 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
3. THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
4. PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
5. REQUIREMENTS FOR HANDLING AND INSTALLATION:
   - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
   - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 2".
   - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, A) THE ARCH STIFFNESS CONSTANT AS DEFINED IN SECTION 6.2.8 OF ASTM F2922 SHALL BE GREATER THAN OR EQUAL TO 400 LBS/IN/IN. AND B) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.

**THIS CROSS SECTION DETAIL REPRESENTS MINIMUM REQUIREMENTS FOR INSTALLATION. PLEASE SEE THE LAYOUT SHEET(S) FOR PROJECT SPECIFIC REQUIREMENTS.

ADS GEOSYNTHETICS 601T NON-WOVEN GEOTEXTILE ALL AROUND CLEAN CRUSHED, ANGULAR STONE IN A & B LAYERS

*TO BOTTOM OF FLEXIBLE PAVEMENT. FOR UNPAVED INSTALLATIONS WHERE RUTTING FROM VEHICLES MAY OCCUR, INCREASE COVER TO 24".



ADS STORMTECH FIELD DETAIL SC-310
not to scale

CHAMBER TYPE:	STORMTECH SC-310
DESIGN:	24 CHAMBERS TOTAL 12 END CAPS (2 PER ROW)
ROW SPACING:	3.33' O.C.
OVERALL LENGTH:	4 CHAMBERS + 2 END CAPS + 2' OF STONE = 31.68'
OVERALL WIDTH:	6 ROWS + 5"(6" STONE SPACING) + 2' OF STONE = 21.50'

PLEASE NOTE:
1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
2. STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 6" (MAX) LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
3. WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.
4. ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.

DETAILS & NOTES

Located at
288 Village Street
Medway, MA

Owned By
Tony J. Leland, Sr.
&
Dawn M. Leland
290 Village Street
Medway, MA

Prepared For
Tony J. Leland, Sr.
290 Village Street
Medway, MA

Scale: As Noted

COMMONWEALTH OF MASSACHUSETTS
NORMAN G. HILL
CIVIL
No. 31887
REGISTERED PROFESSIONAL ENGINEER

Norman G. Hill, P.E.
Date: 6-03-22
Norman G. Hill, PE #31887

REVISIONS

Date	Description
5/25/22	Revised per Tetra Tech review

Field By:	SB/DL	1/26/2022
Designed By:	SB	2/10/2022
Drawn By:	SB	2/10/2022
Checked By:	NGH	2/18/2022

Land Planning, Inc.
Civil Engineers • Land Surveyors
Environmental Consultants

Bellingham
167 Hartord Ave.
Bellingham, MA 02019
508-966-4130

North Grafton
214 Worcester St.
N. Grafton, MA 01536
508-839-9526

Hanson
1115 Main Street
Hanson, MA 02341
781-294-4144

www.landplanninginc.com

Date: April 1, 2022
Job No.: B1483
Sheet No.: 7

Site Development Plan

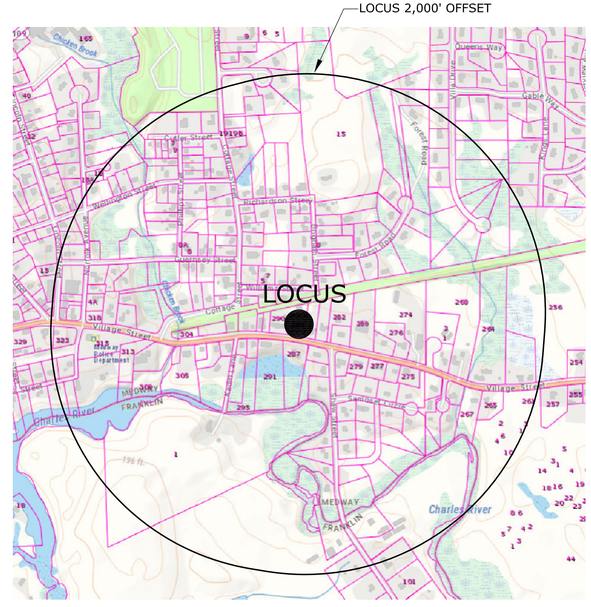
MULTI-FAMILY BUILDING

300' ABUTTERS SCHEDULE		
MAP PARCEL ID	SITE ADDRESS	OWNER*
58-094	6 WILLIAMS ST	LUZIETTI RICARDO A JR
58-074	4 BRIGHAM ST	HOPKINS STEPHEN E
58-100	295 VILLAGE ST	RYAN KEVIN
68-010	4 SHAW ST	MANHNKS DANIEL F
58-105	2 SHAW ST	BRANIGAN MARK E
58-081	284 VILLAGE ST	BARRIOS BLANCA ROSA
58-103	287 VILLAGE ST	POWER MICHAEL F
58-082	286 VILLAGE ST	BOUTLER MEGHAN
58-075	2 BRIGHAM ST	GRAY ROBERT A
58-065	11 WILLIAMS ST	MAHONEY CHRISTOPHER J
58-092	41 COTTAGE ST	GALLIHER PETER F
58-101	293 VILLAGE ST	KAIRIT VIRGINIA B LIFE ESTATE
58-079	282 A VILLAGE ST	HUGHES JANE D
58-095	281 VILLAGE ST	HANDVERGER LIFE ESTATE RICHARD A
58-087	294 VILLAGE ST	KELLEY LIFE ESTATE BRENDA J
58-104	283 VILLAGE ST	JOHNSON CYNTHIA DENISE
58-086	292 VILLAGE ST	NEW ENGLAND TELEPHONE COMPANY
58-102	291 VILLAGE ST	PRATT KEVIN C
51-026	0 VILLAGE ST	MEDWAY TOWN OF
58-085	292 VILLAGE ST	NEW ENGLAND TELEPHONE COMPANY
58-093	4 WILLIAMS ST	SKELTON LEE S
58-066	9 WILLIAMS ST	GOLDEN JOHN R
58-067	7 WILLIAMS ST	HEAVEY MICHAEL J.
58-080	282 VILLAGE ST	MACSWAIN DAVID A
58-084	290 VILLAGE ST	LELAND TONY J SR
58-083	288 VILLAGE ST	LELAND TONY J SR

* NOW OR FORMERLY

N

ABUTTERS LOCUS MAP
1" = 200'



LOCUS MAP

GRAPHIC SCALE
600 0 300 600 1200
(IN FEET)
1 inch = 600 ft.

WAIVER REQUESTS INVENTORY

TITLE & NUMBER	REQUIREMENT	REQUEST
Site Plan Rules & Regulations Chapter 200 Section 204-3 F. 1	Full Traffic Impact Assessment	Limit assessment to provided sight distance and trip generation
Site Plan Rules & Regulations Chapter 200 Section 204-3 F. 2	Full Environmental Impact Assessment	Limit to stormwater report
Site Plan Rules & Regulations Chapter 200 Section 204-3 F. 3	Neighborhood Impact Assessment	Eliminate (development is consistent with neighborhood)
Site Plan Rules & Regulations Chapter 200 Section 204-5 D. 15	Lighting Plan per Section 7.1.2 of the Zoning Bylaws	Eliminate (limit to building mounted lighting)
Site Plan Rules & Regulations Chapter 200 Section 204-3 F. 4	Parking Impact Assessment (greater than 30 spaces required)	Eliminate (under threshold)
Site Plan Rules & Regulations Chapter 200 Section 204-5 D. 8	Landscape Architect Plan	Eliminate (use typical residential plantings)
Site Plan Rules & Regulations Chapter 200 Section 207-11 A. 3	Site Entrance Width of 20 feet	Reduce to 16 feet
Site Plan Rules & Regulations Chapter 200 Section 207-11 A. 4	Vertical Granite Curbing at entrance	Eliminated curbing requirement
Site Plan Rules & Regulations Chapter 200 Section 207-11 A. 13	Driveway 15 feet from residential use side lot line	Reduce to 11 feet
Site Plan Rules & Regulations Chapter 200 Section 207-12 H. 1	Parking area perimeter granite curbing	Eliminated curbing requirement
Zoning Bylaw Section 6.1 Table 2. Dimensional And Density Regulations	35' Front Yard Setback	Reduce to 30 feet (minimize impervious area on-site)
Site Plan Rules & Regulations Chapter 200 Section 204-3. K	Determination of applicability from conservation Commission	Eliminate
Site Plan Rules & Regulations Chapter 200 Section 204-5. D.14	Master signage plan	Eliminate
Site Plan Rules & Regulations Chapter 200 Section 207-11. B.2	Perimeter driveway aisle granite curbing	Eliminate
Site Plan Rules & Regulations Chapter 200 Section 207-12. G.3.b	Parking space 15 feet from property line	Reduce to 9 feet
Site Plan Rules & Regulations Chapter 200 Section 207-12. H.2	3-foot curb radii at driveway apron	Reduce to 2-foot radii
Site Plan Rules & Regulations Chapter 200 Section 207-12. G.3.d	Two-way drive aisle 24' width	Reduce to 16 feet

Located at
288 Village Street
Medway, MA

SHEET INDEX

SHEET NO.	TITLE
1	COVER SHEET
2	EXISTING CONDITIONS PLAN
3	PROPOSED SITE & UTILITIES PLAN
4	PROPOSED DRAINAGE & GRADING PLAN
5	SEDIMENT & EROSION CONTROL PLAN
6	DETAILS & NOTES
7	DETAILS & NOTES

OWNER/ APPLICANT (S):
TONY J. LELAND, SR. & DAWN M. LELAND
290 VILLAGE STREET
MEDWAY, MA

ARCHITECT:
CME ARCHITECTS, INC.
6 WILKINS DRIVE, SUITE 210
PLAINVILLE, MA 02762
(508) 809-2509

ZONING DISTRICT: AGRICULTURAL-RESIDENTIAL II

	REQUIRED	EXISTING	PROPOSED
AREA:	22,500 S.F.	22,600 S.F.	22,600 S.F.
FRONTAGE:	150 FT.	133.22 FT.	133.22 FT.
FRONT YARD:	35 FT.	24.7 FT.	30 FT.
SIDE YARD:	15 FT.	25.6 FT.	17 FT.
REAR YARD:	15 FT.	75.0 FT.	73 FT.
LOT COVERAGE	30% MAX.	8.5%	15%
BLDG. HEIGHT	35 FT.	-	30 FT.
IMPERVIOUS COVERAGE	40% MAX.	21%	39.5%
PARKING	1.5 SPC./UNIT	N/A	9 SPC

THIS PROPERTY IS IN THE MULTI-FAMILY HOUSING OVERLAY DISTRICT

ZONING DISTRICT: MULTI-FAMILY HOUSING OVERLAY DISTRICT

	REQUIRED	PROPOSED
LOT FRONTAGE:	50 FT.	133.22 FT.
BLDG. HEIGHT:	40 FT.	30 FT.
OPEN SPACE:	15%	60.5%
PARKING SPACES:	6	9

PLANNING AND ECONOMIC DEVELOPMENT BOARD ENDORSEMENT
SIGNATURE DATE

APPROVED BY PLANNING

I, _____, CLERK OF THE TOWN OF MEDWAY, RECEIVED AND RECORDED APPROVAL FROM THE PLANNING AND ECONOMIC DEVELOPMENT BOARD OF THIS PLAN AND ITS CORRESPONDING DECISION ON _____ AND NO APPEAL WAS TAKEN FOR TWENTY (20) DAYS, THEREAFTER.

SIGNATURE:_____

DATE:_____

THIS PROJECT IS SUBJECT TO A PERFORMANCE SECURITY COVENANT TO BE RECORDED HEREWITH.

COVER SHEET

Located at
288 Village Street
Medway, MA

Owned By
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&
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Tony J. Leland, Sr.
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Scale: As Noted

LOCUS REFERENCES

Deed (Book / Page):	36356 / 499
Plan (Plan Book / Plan):	676 / 87
Assessors:	58 - 083

COMMONWEALTH OF MASSACHUSETTS
NORMAN G. HILL
CIVIL
No. 31887
REGISTERED PROFESSIONAL ENGINEER

Norman G. Hill, P.E.
Date: 6-23-2022
Norman G. Hill, PE #31887

REVISIONS

Date	Description
5/25/22	Revised per Tetra Tech review
6/21/22	Revised per Tetra Tech review

Field By:	SB/DL	1/26/2022
Designed By:	SB	2/10/2022
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Bellingham
167 Hartord Ave.
Bellingham, MA 02019
508-966-4130

North Grafton
214 Worcester St.
N. Grafton, MA 01536
508-839-9526

Hanson
1115 Main Street
Hanson, MA 02341
781-294-4144

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Date April 1, 2022	Sheet No. 1
Job No. B1483	

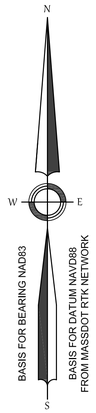
EXISTING CONDITIONS PLAN

Located at
288 Village Street
Medway, MA

Owned By
Tony J. Leland, Sr.
&
Dawn M. Leland
290 Village Street
Medway, MA

Prepared For
Tony J. Leland, Sr.
290 Village Street
Medway, MA

Scale: As Noted



TEST PIT RESULTS- TP

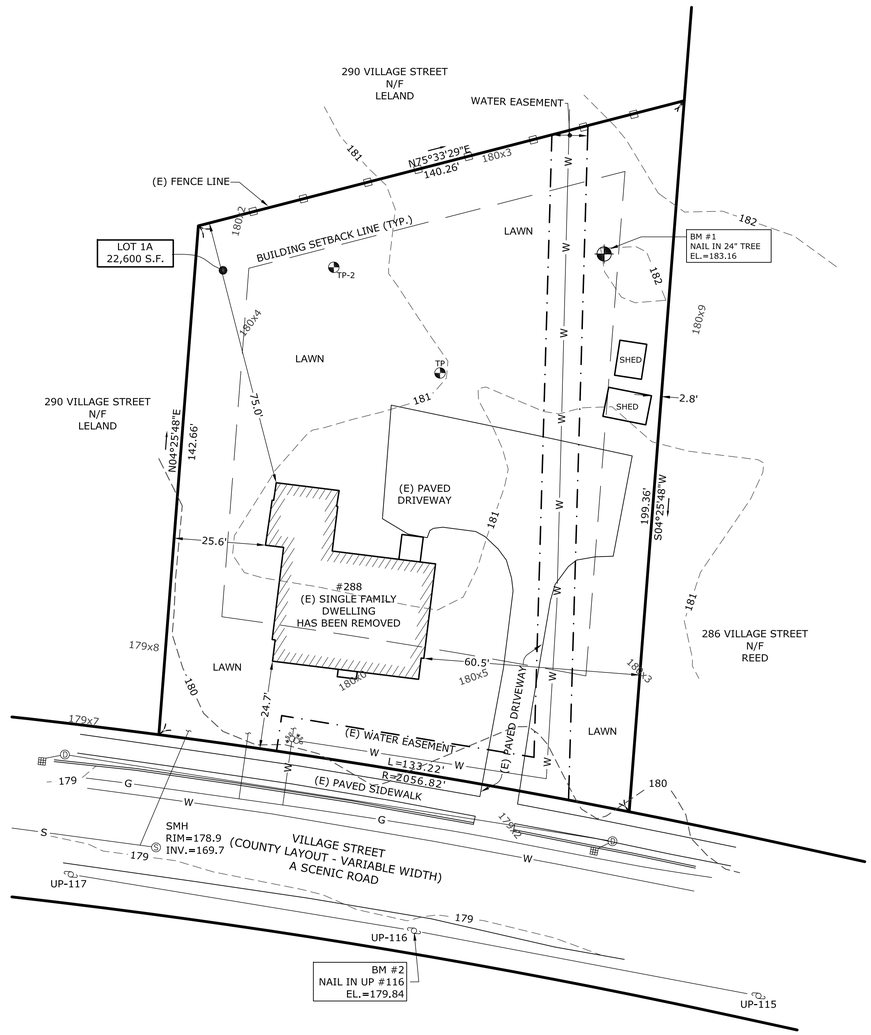
DEPTH (IN.)	HORIZON	TEXTURE	COLOR
0 - 4	FILL	-	-
4 - 28	B	LOAMY SAND	10YR 6/8
28 - 112	C	SAND	7.5YR 7/2

MOTTLES:N/A STANDING:N/A WEEPING: 100"

TEST PIT RESULTS- TP-2

DEPTH (IN.)	HORIZON	TEXTURE	COLOR
0 - 4	FILL	-	-
4 - 24	B	LOAMY SAND	10YR 6/8
24 - 108	C	SAND	7.5YR 7/2

MOTTLES:N/A STANDING:N/A WEEPING: N/A



LEGEND

	BENCHMARK
(E)	EXISTING
(P)	PROPOSED
(F)	FOUND
(S)	SET
	BOUND (BND)
	IRON ROD (IR)
	IRON PIPE (IP)
	DRILL HOLE (DH)
— —000— —	EXISTING CONTOUR
000x0	EXISTING SPOT GRADE
— — —	ZONING SETBACK

COMMONWEALTH OF MASSACHUSETTS
NORMAN G. HILL
CIVIL
No. 31887
REGISTERED PROFESSIONAL ENGINEER

Norman G. Hill, P.E.

Date: 6-23-2022

Norman G. Hill, PE #31887

REVISIONS

Date	Description
5/25/22	Revised per Tetra Tech review
6/21/22	Revised per Tetra Tech review

Field By:	SB/DL	1/26/2022
Designed By:	SB	2/10/2022
Drawn By:	SB	2/10/2022
Checked By:	NGH	2/18/2022

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Environmental Consultants

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Date: April 1, 2022
Job No.: B1483
Sheet No.: 2

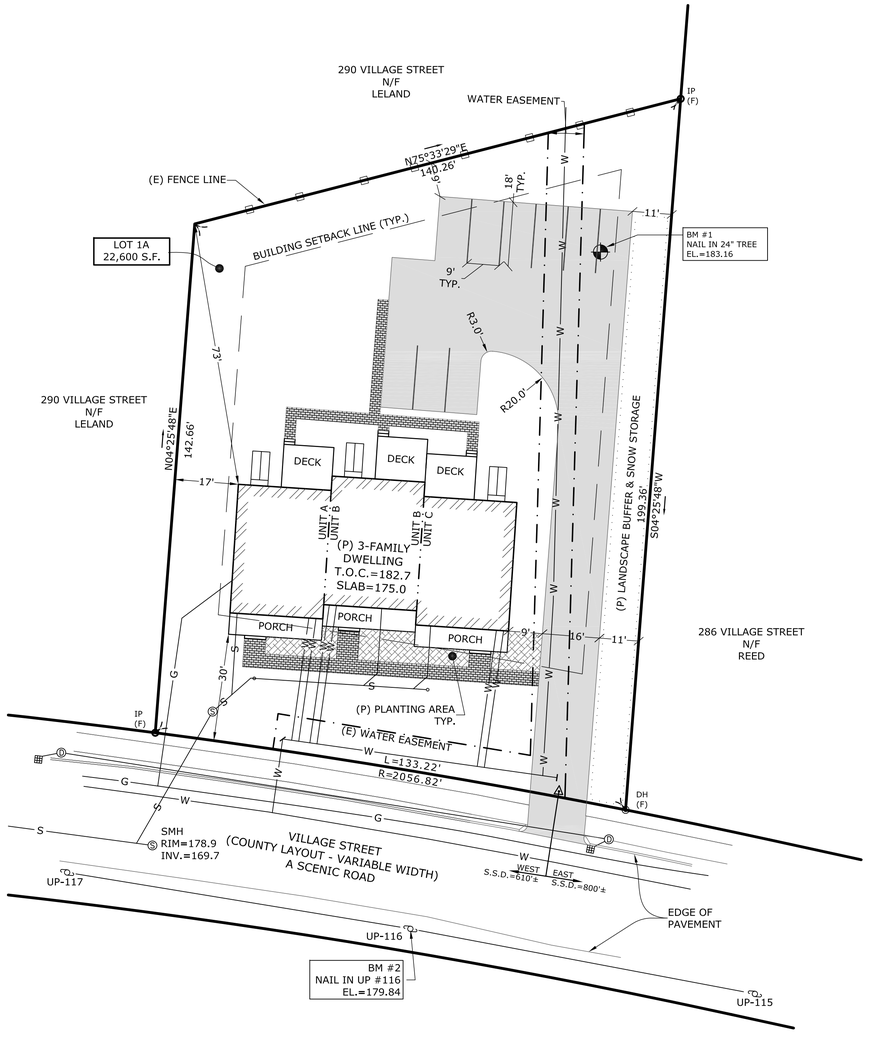
IMPERVIOUS COVERAGE

EXISTING AREA:	4,784 S.F.
EXISTING COVERAGE	21% (40% ALLOWABLE)

GRAPHIC SCALE
20 0 10 20 20 80
(IN FEET)
1 inch = 20 ft.

GENERAL NOTES

1. TOPOGRAPHY DETERMINED BY AN ON-THE-GROUND SURVEY BY LAND PLANNING, INC. ALL ELEVATIONS REFER TO NAVD 1988 DATUM.
2. THE ENTIRE SITE IS NOT LOCATED WITHIN THE LIMITS OF THE 100 YEAR FLOOD ZONE AS SHOWN ON THE FIRM MAP #25021C0143E DATED JULY 17, 2012.
3. CONSERVATION COMMISSION APPROVAL IS NOT REQUIRED.
4. ALL UNDERGROUND UTILITY LOCATIONS SHOWN ARE BASED ON FIELD EVIDENCE AND RECORDS PROVIDED TO LAND PLANNING, INC.. THESE LOCATIONS SHOULD BE CONSIDERED APPROXIMATE. OTHER UTILITIES MAY EXIST WHICH ARE NOT EVIDENT OR FOR WHICH RECORD INFORMATION WAS NOT FOUND. THE CONTRACTOR MUST CONTACT ALL UTILITY COMPANIES AND "DIG SAFE" (888-DIG-SAFE) BEFORE EXCAVATION BEGINS. WE ASSUME NO RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES OMITTED OR INACCURATELY SHOWN.



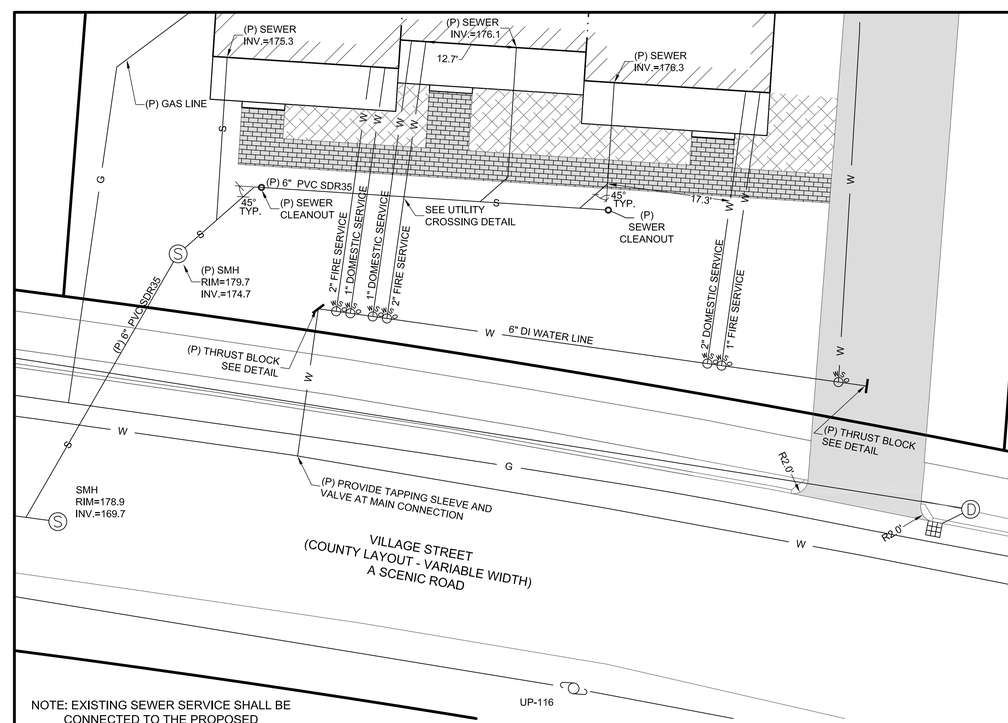
IMPERVIOUS COVERAGE

EXISTING AREA:	4,784 S.F.
PROPOSED AREA:	8,510 S.F.
PROPOSED COVERAGE	38% (40% ALLOWABLE)

GRAPHIC SCALE

20 0 10 20 20 80

(IN FEET)
1 inch = 20 ft.



NOTE: EXISTING SEWER SERVICE SHALL BE CONNECTED TO THE PROPOSED MANHOLE. ALL SEWER ELEVATIONS SHALL BE VERIFIED AND SET DURING CONSTRUCTION.

UTILITY CONNECTION DETAIL
1"=10'

PROPOSED SITE & UTILITIES PLAN

Located at
288 Village Street
Medway, MA

Owned By
Tony J. Leland, Sr.
&
Dawn M. Leland
290 Village Street
Medway, MA

Prepared For
Tony J. Leland, Sr.
290 Village Street
Medway, MA

Scale: As Noted

LEGEND

	BENCHMARK
(E)	EXISTING
(P)	PROPOSED
(F)	FOUND
(S)	SET
	BOUND (BND)
	IRON ROD (IR)
	IRON PIPE (IP)
	DRILL HOLE (DH)
000	EXISTING CONTOUR
000x0	EXISTING SPOT GRADE
000	PROPOSED CONTOUR
000x0	PROPOSED SPOT GRADE
	PROPOSED TREE
	SEDIMENT BARRIER
	ZONING SETBACK

COMMONWEALTH OF MASSACHUSETTS
NORMAN G. HILL
CIVIL
No. 31887
REGISTERED PROFESSIONAL ENGINEER

Norman G. Hill, P.E.
Date: 6-23-2022
Norman G. Hill, PE #31887

REVISIONS

Date	Description
5/25/22	Revised per Tetra Tech review
6/21/22	Revised per Tetra Tech review

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Checked By:	NGH	2/18/2022

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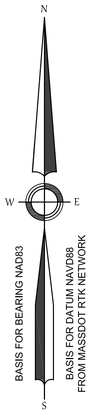
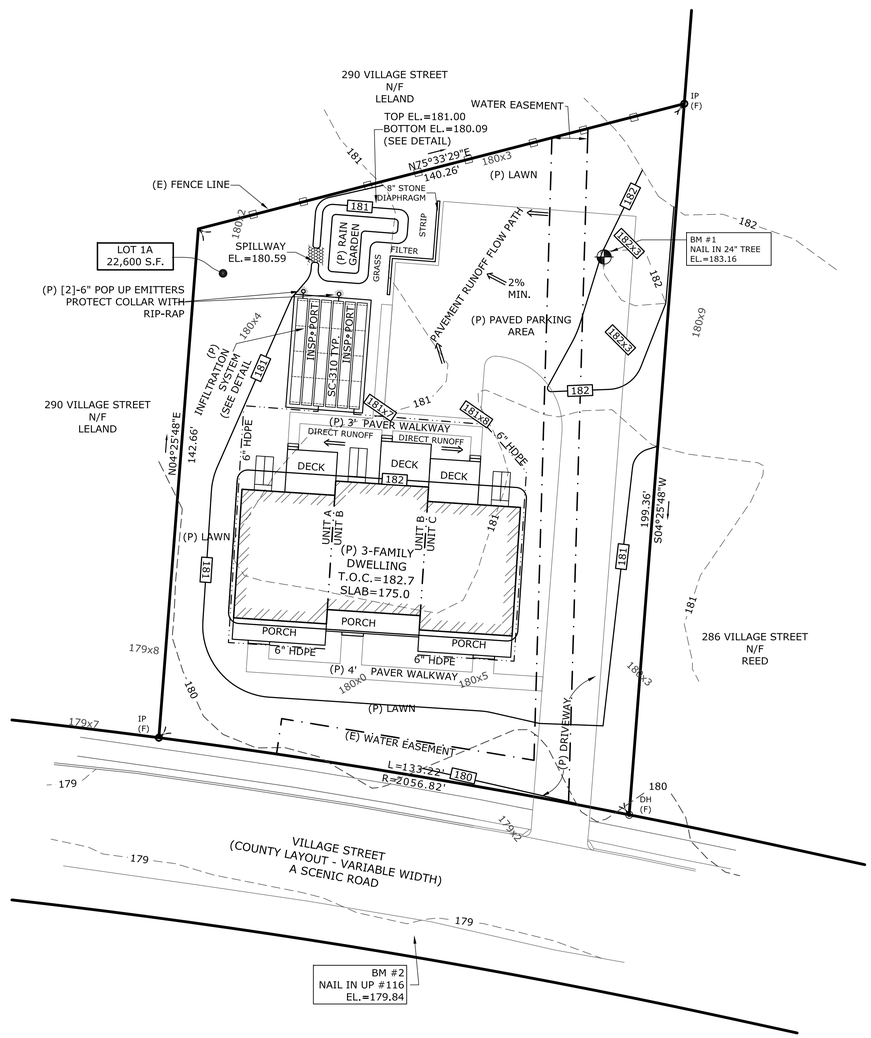
Date: April 1, 2022	Sheet No. 3
Job No. B1483	





EARTHWORKS CALCULATIONS (CUBIC YARDS)

CUT (C): ±745 CYS
FILL (F): ±200 CYS

TOTAL: (C) 545 CYS

GRAPHIC SCALE

20 0 10 20 20 80

(IN FEET)
1 inch = 20 ft.

PROPOSED DRAINAGE & GRADING PLAN

Located at
288 Village Street
Medway, MA

Owned By
Tony J. Leland, Sr.
&
Dawn M. Leland
290 Village Street
Medway, MA

Prepared For
Tony J. Leland, Sr.
290 Village Street
Medway, MA

Scale: As Noted

LEGEND

	BENCHMARK
(E)	EXISTING
(P)	PROPOSED
(F)	FOUND
(S)	SET
	BOUND (BND)
	IRON ROD (IR)
	IRON PIPE (IP)
	DRILL HOLE (DH)
000	EXISTING CONTOUR
000x0	EXISTING SPOT GRADE
000	PROPOSED CONTOUR
000x0	PROPOSED SPOT GRADE
	PROPOSED TREE
	SEDIMENT BARRIER
	ZONING SETBACK

COMMONWEALTH OF MASSACHUSETTS
NORMAN G. HILL
CIVIL
No. 31887
REGISTERED PROFESSIONAL ENGINEER

Norman G. Hill, P.E.

Date: 6-23-2022

Norman G. Hill, PE #31887

REVISIONS

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Date: April 1, 2022	Sheet No. 4
Job No. B1483	

SEDIMENT & EROSION CONTROL PLAN

Located at
288 Village Street
Medway, MA

Owned By
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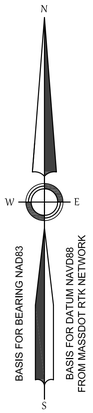
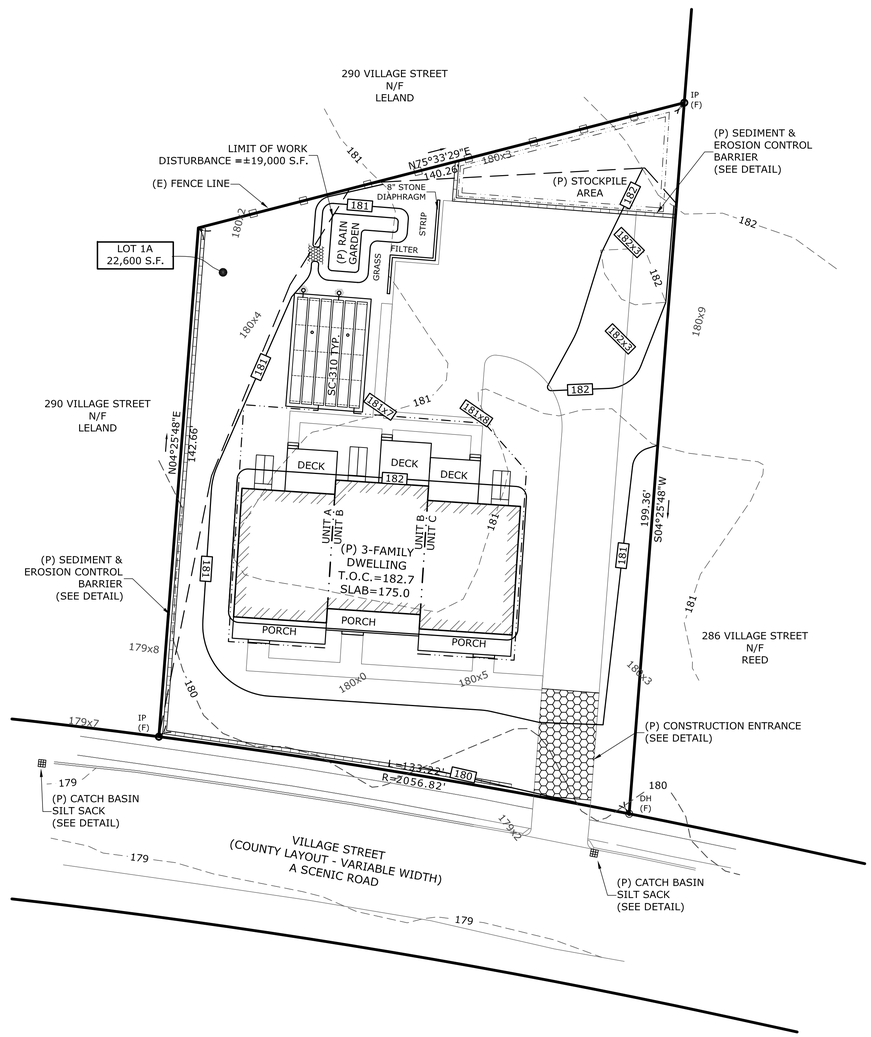
&
Dawn M. Leland
290 Village Street
Medway, MA

Prepared For
Tony J. Leland, Sr.
290 Village Street
Medway, MA

Scale: As Noted





APPROXIMATE CONSTRUCTION SEQUENCING

1. INSTALL ALL SEDIMENT AND EROSION CONTROL MEASURES
2. CONSTRUCT TEMPOARY CONSTRUCTION ENTRANCE
3. SET UP TEMPORARY CONSTRUCTION UTILITY SERVICES
4. CONSTRUCT/ INSTALL ALL UTILITIES WITHIN R.O.W. UP TO PROJECT SITE
5. GENERAL SITE WORK
6. ERECT MULTI-FAMILY DWELLING UNITS AND CONNECT UTILITIES
7. INSTALL ALL STORMWATER MANAGEMENT FACILITIES
8. CONSTRUCT DRIVEWAY AND PARKING AREA
9. COMPLETE ALL REMAINING SITEWORK, LANDSCAPING, ETC.
10. REMOVE ALL MEANS OF EROSION AND SEDIMENT CONTROL ONCE SITE IS STABILIZED

CONSTRUCTION ACTIVITIES AND DELIVERIES SHALL BE CONDUCTED AS PERMITTED BY THE TOWN OF MEDWAY BUILDING DEPARTMENT.

GRAPHIC SCALE
20 0 10 20 20 80
(IN FEET)
1 inch = 20ft.

LEGEND

	BENCHMARK
(E)	EXISTING
(P)	PROPOSED
(F)	FOUND
(S)	SET
	BOUND (BND)
	IRON ROD (IR)
	IRON PIPE (IP)
	DRILL HOLE (DH)
000	EXISTING CONTOUR
000x0	EXISTING SPOT GRADE
000	PROPOSED CONTOUR
000x0	PROPOSED SPOT GRADE
	PROPOSED TREE
	SEDIMENT BARRIER
	ZONING SETBACK

COMMONWEALTH OF MASSACHUSETTS
NORMAN G. HILL
CIVIL
No. 31887
REGISTERED PROFESSIONAL ENGINEER

Norman G. Hill, P.E.

Date: 6-23-2022

Norman G. Hill, PE #31887

REVISIONS

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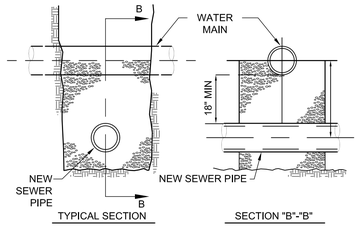
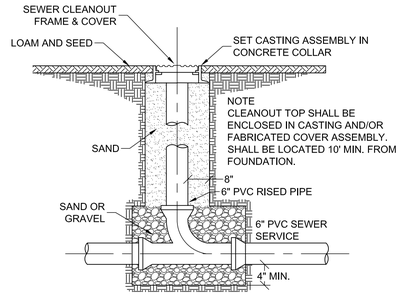
Date: April 1, 2022	Sheet No. 5
Job No. B1483	

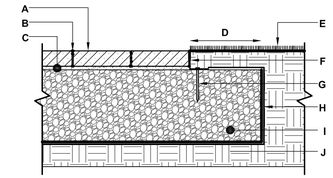


NOTE: IN THE EVENT OF A SEWER MAIN OR SEWER SERVICE CROSSING A WATER MAIN OR WATER SERVICE CLOSER THAN 10', THE SEWER MAIN OR SERVICE SHALL BE COMPLETELY ENCASED IN 6" OF 3,000 P.S.I. CONCRETE FOR A DISTANCE OF 10' ON EACH SIDE OF THE CROSSING.

UTILITY CROSSING DETAIL
not to scale

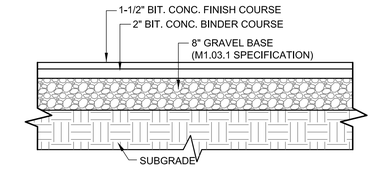


SEWER CLEANOUT
not to scale

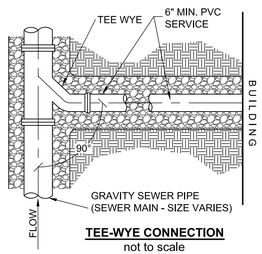


GRANULAR BASE PAVERS
NOT TO SCALE

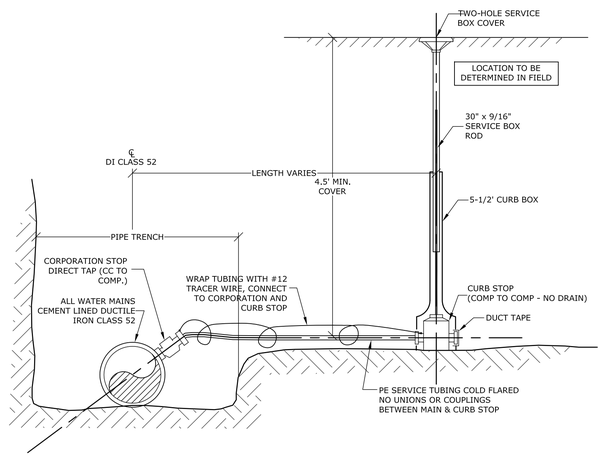
A. TECHO-BLOC OR EQUIVALENT PRECAST CONCRETE PAVER 2 3/8 '' THICK MIN.
B. SAND JOINT FILL
C. SAND SETTING BED (CONCRETE SAND) 1''
D. EXTRA WIDTH EQUAL TO FOUNDATION THICKNESS
E. LAWN
F. ALUMINIUM / STEEL / PLASTIC EDGE RESTRAIN
G. SPIKE
H. GEOTEXTILE
I. COMPACTED GRANULAR BASE 0-3/4"
J. SUBGRADE



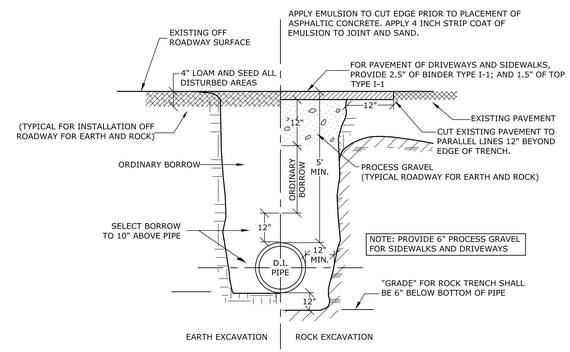
BITUMINOUS CONCRETE PAVEMENT CROSS SECTION
not to scale



TEE-WYE CONNECTION
not to scale

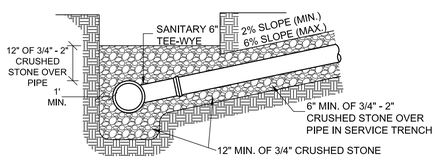


TYPICAL SERVICE CONNECTION
NOT TO SCALE



NOTE:
ALL PIPES INSTALLED UNDER BROOKS, CULVERTS OR WITHIN 6" OF ANY STRUCTURES (CB, MH, PITS, VAULTS) MUST BE DUCTILE IRON.

DUCTILE IRON WATER MAINS TRENCH SECTION
NOT TO SCALE



TEE-WYE CROSS SECTION
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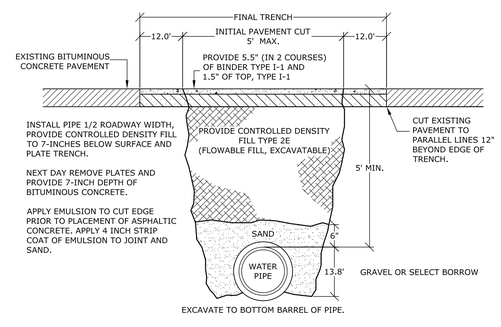
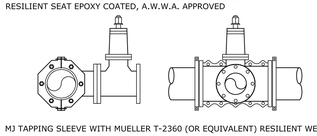


TRENCH RESURFACING IN STATE HIGHWAY & ON MAIN ROADS
NOT TO SCALE

UTILITY CONSTRUCTION NOTES

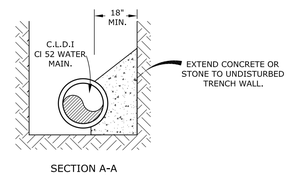
1. ALL BACKFILL SHALL BE PLACED AND COMPACTED IN 6" LIFTS OR 12" LIFTS WHEN MACHANICAL MEANS ARE UTILIZED.
2. MEASURES SHALL BE TAKEN TO PREVENT THE MIGRATION OF NATIVE FINES INTO BACKFILL MATERIAL.
3. FOUNDATION- WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE DESIGN ENGINEERAND AND REPLACEMENT WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEEER. AS AN ALTERNATIVE AND AT THE DESCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABALIZED USING GEOTEXTILE MATERIAL.
4. BEDDING- PIPE BEDDING FOR WATER UTILITIES SHALL BE SAND. PIPE BEDDING FOR SANITARY SEWER AND STORMWATER UTILITIES SHALL BE 3/4" DIAMETER CRUSHED STONE.
5. BACKFILL- SUITABLE MATERIAL SHALL BE CLASS I, II, OR III IN THE PIPE ZONE NOT LESS THAN 6"ABOVE THE CROWN OF THE PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATIONS TO THE DESIGN ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN THE LATEST EDITION OF ASTM D2321.
6. WHERE FEASIBLE, SEWERS SHALL BE SEPARATED A MINIMUM OF 10 FEET, HORIZONTALLY, FROM ANY EXISTING WATER MAIN OR IT SHALL BE ENCASED IN CONCRETE.
7. WHERE A 10 FOOT LATERAL SEPARATION BETWEEN SEWER AND WATER CAN NOT BE MAINTAINED, THE WATER MAIN SHALL BE LOCATED WITHIN A SEPARATE TRENCH AND THE CROWN OF THE SEWER SHALL BE PLACED A MINIMUM OF 18" BELOW THE INVERT OF THE WATER MAIN.
8. WHERE SEWERS CROSS WATER MAINS, THE CROWN OF THE SEWER SHALL BE LAID 18" BELOW THE INVERT OF THE WATER MAIN. WHERE THIS REQUIREMENT CAN NOT BE MEET, THE WATER LINE SHALL BE CONSTRUCTED OF MECHANICAL-JOINT PIPE FOR A DISTANCE OF 10 FEET OF EITHER SIDE OF THE CROSSING. ONE FULL LENGTH OF WATER MAIN SHALL BE CENTERED OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR AS POSSIBLE FROM THE SEWER. BOTH THE WATER AND SEWER LINES SHALL BE ENCASED IN CONCRETE FOR 10 FEET EITHER SIDE OF THE CROSSING WHERE THE REQUIRED VERTICAL SEPARATION CAN NOT BE PROVIDED.
9. THE CONTRACTOR MUST CONTACT ALL UTILITY COMPANIES AND "DIG SAFE" BEFORE EXCAVATION BEGINS. WE ASSUME NO RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES OMITTED OR INACCURACIES SHOWN.
10. IN THE EVENT THAT UTILITY INSTALLATION DETAIL CONFLICTS WITH THE TOWN OF MEDWAY DEPARTMENT OF PUBLIC WORKS STANDARDS FOR UTILITY MATERIALS AND INSTALLATION, THE TOWN STANDARDS SHALL GOVERN.

NOTE:
ALL MAIN LINE VALVES - (OPEN LEFT, NON RISING STEM)
SIZES 3" TO 12" - (GATE VALVES)
SIZES GREATER THAN 12" - (BUTTERFLY VALVES)
MUELLER - KENNEDY - DARLING - EPOXY COATED MUELLER RESILIENT SEAT EPOXY COATED, A.W.W.A. APPROVED

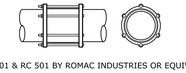


MJ TAPPING SLEEVE WITH MUELLER T-2360 (OR EQUIVALENT) RESILIENT WEDGE TAPPING VALVE - MJ x FL ENDS OPEN LEFT

TAPPING SLEEVE & VALVE
NOT TO SCALE



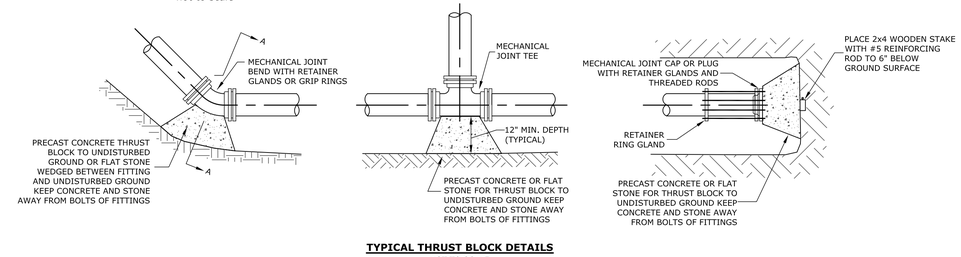
SECTION A-A
not to scale



STYLE 501 & RC 501 BY ROMAC INDUSTRIES OR EQUIVALENT

TO BE USED FOR PIPE REPAIRS, "CUT-INS", COUPLING DIFFERENT TYPES OF PIPE, & CORRECTING MISSALIGNED PIPE (DI TO C-900; DI TO AC; C-900 TO AC)

DUCTILE IRON PIPE COUPLING
NOT TO SCALE



TYPICAL THRUST BLOCK DETAILS
NOT TO SCALE

DETAILS & NOTES

Located at
288 Village Street
Medway, MA

Owned By
Tony J. Leland, Sr.
&
Dawn M. Leland
290 Village Street
Medway, MA

Prepared For
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290 Village Street
Medway, MA

Scale: As Noted

COMMONWEALTH OF MASSACHUSETTS
NORMAN G. HILL
CIVIL
No. 31887
REGISTERED PROFESSIONAL ENGINEER

Norman G. Hill, P.E.

Date: 6-23-2022

Norman G. Hill, PE #31887

REVISIONS

Date	Description
5/25/22	Revised per Tetra Tech review
6/21/22	Revised per Tetra Tech review

Field By:	SB/DL	1/26/2022
Designed By:	SB	2/10/2022
Drawn By:	SB	2/10/2022
Checked By:	NGH	2/18/2022

Land Planning, Inc.
Civil Engineers • Land Surveyors
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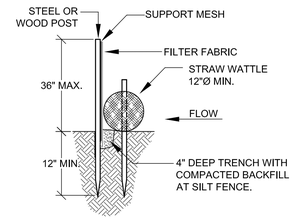
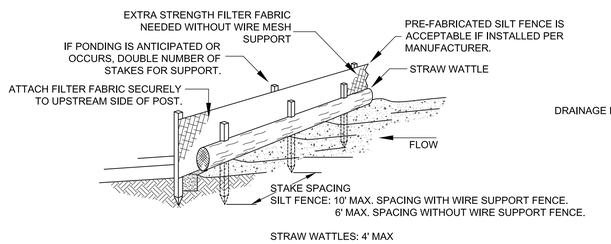
Date: April 1, 2022
Job No.: B1483
Sheet No.: 6

EROSION & SEDIMENT CONTROL NOTES

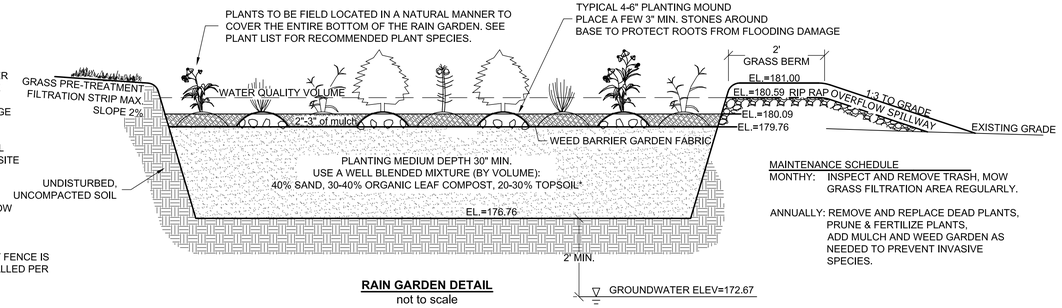
1. THE CONTRACTOR AND ALL SUB-CONTRACTORS ARE TO BE MADE AWARE THAT THIS PROJECT IS SUBJECT TO AN ORDER OF CONDITIONS FROM THE CONSERVATION COMMISSION AND ITS REGULATIONS ARE APPLICABLE TO THIS PROJECT. A COPY OF THIS ORDER IS TO BE READILY AVAILABLE ON SITE AT ALL TIMES.
2. SEDIMENT BARRIERS ARE TO BE INSTALLED WHERE SHOWN ON THIS PLAN. THE CONTRACTOR AND THE OWNER ARE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE SEDIMENT BARRIERS AND TO IDENTIFY AND CORRECT ALL SOURCES OF EROSION. EXTRA SEDIMENT BARRIER MATERIALS ARE TO BE STORED ON SITE IN ORDER TO QUICKLY REPAIR EROSION PRONE AREAS. PERIODIC MAINTENANCE OF THE EROSION CONTROL STRUCTURES IS REQUIRED IN ORDER TO INSURE THE PROPER PROTECTION OF THE RESOURCE AREAS.
3. STOCKPILED MATERIAL THAT IS SUBJECT TO EROSION SHALL BE PROTECTED AT ITS BASE ON THE DOWN-SLOPE SIDE WITH A SILT FENCE.
4. TEMPORARY STABILIZATION OF DISTURBED AREAS IS REQUIRED TO LIMIT EROSION TOWARD ABUTTING PROPERTIES AND PUBLIC WAYS. ALL GRADED SLOPES ARE TO BE STABILIZED ON A DAILY BASIS WITH SPECIAL CARE TAKEN TO AVOID ROUTING RAINFALL THROUGH GULLIES TOWARD THE RESOURCE AREAS. AREAS OF EROSION ARE TO BE REPAIRED ON A DAILY BASIS.
5. THE CONTRACTOR IS TO USE PROPER JUDGMENT RELATIVE TO CONSTRUCTION PRACTICES DURING ADVERSE WEATHER CONDITIONS OR PERIODS OF HIGH GROUNDWATER. NO WORK IS TO BE PERFORMED NEAR THE WETLAND AREAS DURING PERIODS OF HEAVY RAINFALL. INSPECTION IS REQUIRED AFTER MORE THAN 1/2" OF RAINFALL IN 24 HOURS.
6. ALL GRADED AREAS ARE TO BE LOAMED AND SEEDED AS SOON AS POSSIBLE IN ORDER TO INSURE THE RAPID STABILIZATION OF THE EROSION PRONE AREAS. A GRASS SEED MIXTURE OF 20 % RED TOP, 60% CHEWINGS FESCUE AND 20% KENTUCKY BLUEGRASS IS RECOMMENDED. "HYDROSEED" WITH HIGH FIBER CONTENT.
7. THE SEDIMENT BARRIERS SHALL REMAIN IN PLACE UNTIL ALL UPGRADIENT AREAS HAVE BEEN STABILIZED.
8. DURING PERIODS OF HEAVY RAINFALL, IT WILL BE EXPECTED TO EXPERIENCE EROSION OF THE UNSTABILIZED SLOPES. IMMEDIATE ATTENTION TO THE MAINTENANCE OF THESE ERODED AREAS WILL FURTHER INSURE THE SUCCESSFUL STABILIZATION OF THE EXPOSED SLOPES WHILE LIMITING THE IMPACTS TO NEARBY RESOURCE AREAS.
9. PERIODIC INSPECTIONS OF THE ENTIRE CONSTRUCTION SITE ARE TO BE PERFORMED BY A COMPETENT REPRESENTATIVE WHO WILL INSURE THE ADHERENCE TO THE REGULATIONS AS SET FORTH IN 310 CMR 10.00. NO UNAUTHORIZED INDIVIDUALS ARE TO ENTER THE CONSTRUCTION AREA WITHOUT THE EXPRESSED CONSENT OF THE OWNER.
10. THE APPLICANT IS TO NOTIFY THE CONSERVATION COMMISSION ONCE THE JURISDICTIONAL WORK HAS BEEN COMPLETED AND THE ENTIRE SITE HAS BEEN PROPERLY STABILIZED. UPON APPROVAL OF THE WORK SUBJECT TO THE ORDER OF CONDITIONS, THE APPLICANT IS TO RECEIVE A CERTIFICATE OF COMPLIANCE.



NOTES:
1. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.
2. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY. 9" MAXIMUM RECOMMENDED STORAGE HEIGHT.
3. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
4. DO NOT PLACE SILT FENCE IN STREAMS OR CONCENTRATED FLOW CONDITIONS.



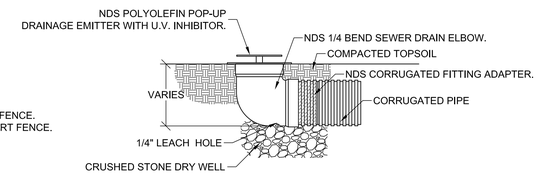
SEDIMENT & EROSION CONTROL BARRIER
not to scale



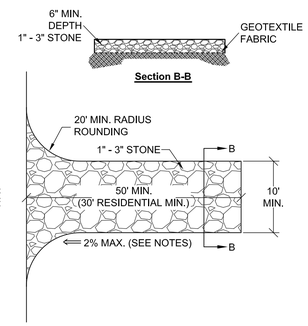
MAINTENANCE SCHEDULE
MONTHY: INSPECT AND REMOVE TRASH, MOW GRASS FILTRATION AREA REGULARLY.

ANNUALLY: REMOVE AND REPLACE DEAD PLANTS, PRUNE & FERTILIZE PLANTS, ADD MULCH AND WEED GARDEN AS NEEDED TO PREVENT INVASIVE SPECIES.

RAIN GARDEN DETAIL
not to scale



DRAINAGE POP-UP EMITTER DETAIL
not to scale



CONSTRUCTION ENTRANCE ANTI-TRACKING PAD
not to scale

CONSTRUCTION ENTRANCE NOTES

REMOVE ALL VEGETATION AND OTHER OBJECTIONABLE MATERIAL FROM THE FOUNDATION AREA. GRADE AND CROWN FOUNDATION FOR POSITIVE DRAINAGE.

STONE FOR A STABILIZED CONSTRUCTION ENTRANCE SHALL BE 1 TO 3-INCH STONE, RECLAIMED STONE, OR RECYCLED CONCRETE EQUIVALENT PLACED ON A STABLE FOUNDATION AS SPECIFIED IN THE PLAN.

PAD DIMENSIONS: THE MINIMUM LENGTH OF THE GRAVEL PAD SHOULD BE 50 FEET, EXCEPT FOR A SINGLE RESIDENTIAL LOT WHERE A 30 FOOT MINIMUM LENGTH MAY BE USED. LONGER ENTRANCES WILL PROVIDE BETTER CLEANING ACTION. THE PAD SHOULD EXTEND THE FULL WIDTH OF THE CONSTRUCTION ACCESS ROAD OR 10 FEET WHICHEVER IS GREATER. THE AGGREGATE SHOULD BE PLACED AT LEAST SIX INCHES THICK.

A GEOTEXTILE FILTER FABRIC SHALL BE PLACED BETWEEN THE STONE FILL AND THE EARTH SURFACE BELOW THE PAD TO REDUCE THE MIGRATION OF SOIL PARTICLES FROM THE UNDERLYING SOIL INTO THE STONE AND VICE VERSA. FILTER CLOTH IS NOT REQUIRED FOR A SINGLE FAMILY RESIDENCE LOT.

IF THE SLOPE TOWARD THE ROAD EXCEEDS 2%, CONSTRUCT A RIDGE, 6 TO 8 INCHES HIGH WITH 3:1 SIDE SLOPES, ACROSS THE FOUNDATION APPROXIMATELY 15 FT FROM THE ENTRANCE TO DIVERT RUNOFF AWAY FROM THE PUBLIC ROAD.

ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION ENTRANCE SHOULD BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.

WASHING: IF THE SITE CONDITIONS ARE SUCH THAT THE MAJORITY OF MUD IS NOT REMOVED FROM THE VEHICLE TIRES BY THE GRAVEL PAD, THEN THE TIRES SHOULD BE WASHED BEFORE THE VEHICLE ENTERS THE ROAD OR STREET. THE WASH AREA SHOULD BE A LEVEL AREA WITH 3-INCH WASHED STONE MINIMUM, OR A COMMERCIAL RACK. WASH WATER SHOULD BE DIRECTED INTO A SEDIMENT TRAP, A VEGETATED FILTER STRIP, OR OTHER APPROVED SEDIMENT TRAPPING DEVICE. SEDIMENT SHOULD BE PREVENTED FROM ENTERING ANY WATERCOURSES.

A FILTER FABRIC FENCE SHOULD BE INSTALLED DOWN-GRADIENT FROM THE CONSTRUCTION ENTRANCE IN ORDER TO CONTAIN ANY SEDIMENT-LADEN RUNOFF FROM THE ENTRANCE.

CONSTRUCTION ENTRANCE MAINTENANCE

THE ENTRANCE SHOULD BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOPDRESSING WITH ADDITIONAL STONE.

INSPECT ENTRANCE/EXIT PAD AND SEDIMENT DISPOSAL AREA WEEKLY AND AFTER HEAVY RAINS OR HEAVY USE.

REMOVE MUD AND SEDIMENT TRACKED OR WASHED ONTO PUBLIC ROAD IMMEDIATELY.

MUD AND SOIL PARTICLES WILL EVENTUALLY CLOG THE VOIDS IN THE GRAVEL AND THE EFFECTIVENESS OF THE GRAVEL PAD WILL NOT BE SATISFACTORY. WHEN THIS OCCURS, THE PAD SHOULD BE TOPDRESSED WITH NEW STONE. COMPLETE REPLACEMENT OF THE PAD MAY BE NECESSARY WHEN THE PAD BECOMES COMPLETELY CLOGGED.

IF WASHING FACILITIES ARE USED, THE SEDIMENT TRAPS SHOULD BE CLEANED OUT AS OFTEN AS NECESSARY TO ASSURE THAT ADEQUATE TRAPPING EFFICIENCY AND STORAGE VOLUME IS AVAILABLE. VEGETATIVE FILTER STRIPS SHOULD BE MAINTAINED TO INSURE A VIGOROUS STAND OF VEGETATION AT ALL TIMES.

RESHAPE PAD AS NEEDED FOR DRAINAGE AND RUNOFF CONTROL.

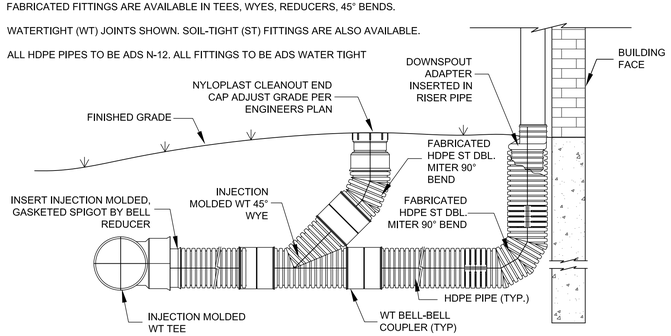
REPAIR ANY BROKEN ROAD PAVEMENT IMMEDIATELY.

ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY PRACTICES ARE NO LONGER NEEDED. TRAPPED SEDIMENT SHALL BE REMOVED OR STABILIZED ON SITE. DISTURBED SOIL AREAS RESULTING FROM REMOVAL SHALL BE PERMANENTLY STABILIZED.

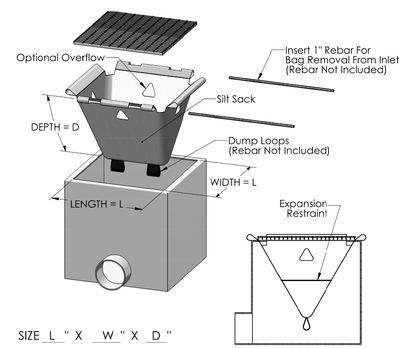
NOTE:
FABRICATED FITTINGS ARE AVAILABLE IN TEES, WYES, REDUCERS, 45° BENDS.

WATERTIGHT (WT) JOINTS SHOWN. SOIL-TIGHT (ST) FITTINGS ARE ALSO AVAILABLE.

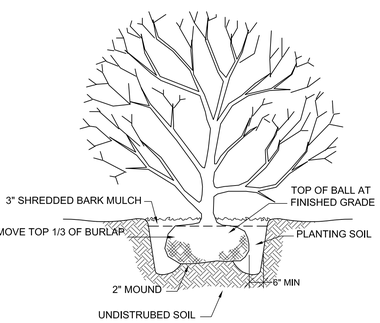
ALL HDPE PIPES TO BE ADS N-12. ALL FITTINGS TO BE ADS WATER TIGHT



DOWNSPOUT & CLEANOUT DETAIL
not to scale

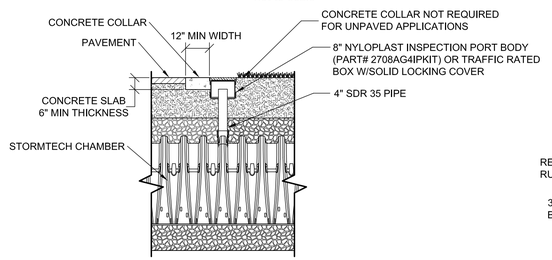


TYPICAL CATCH BASIN SILT SACK
not to scale



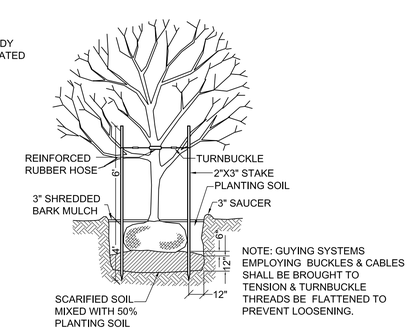
SHRUB PLANTING DETAIL
not to scale

NOTES:
1. CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2922 (POLETHYLENE) OR ASTM F2418-16A (POLYPROPYLENE), "STANDARD SPECIFICATION FOR CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
2. SC-310 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
3. THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
4. PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
5. REQUIREMENTS FOR HANDLING AND INSTALLATION:
   - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
   - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 2".
   - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, A) THE ARCH STIFFNESS CONSTANT AS DEFINED IN SECTION 6.2.8 OF ASTM F2922 SHALL BE GREATER THAN OR EQUAL TO 400 LBS/IN/IN. AND B) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.



NOTE: INSPECTION PORTS MAY BE CONNECTED THROUGH ANY CHAMBER CORRUGATION CREST.

4" PVC INSPECTION PORT DETAIL (SC SERIES CHAMBER)
not to scale

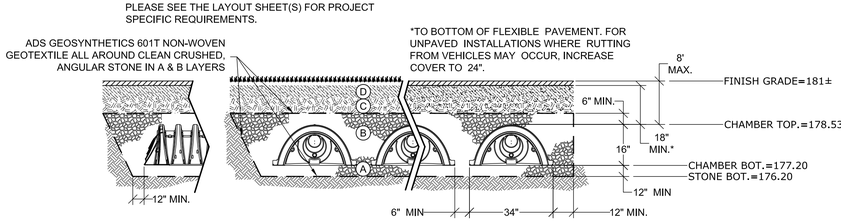


TREE PLANTING DETAIL
not to scale

CHAMBER TYPE:	STORMTECH SC-310
DESIGN:	24 CHAMBERS TOTAL 12 END CAPS (2 PER ROW)
ROW SPACING:	3.33' O.C.
OVERALL LENGTH:	4 CHAMBERS + 2 END CAPS + 2' OF STONE = 31.68'
OVERALL WIDTH:	6 ROWS + 5"(6" STONE SPACING) + 2' OF STONE = 21.50'

PLEASE NOTE:
1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
2. STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 6" (MAX) LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
3. WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.
4. ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.

**ADS STORMTECH FIELD DETAIL SC-310
not to scale



ADS STORMTECH FIELD DETAIL SC-310
not to scale

DETAILS & NOTES

Located at
288 Village Street
Medway, MA

Owned By
Tony J. Leland, Sr.
&
Dawn M. Leland
290 Village Street
Medway, MA

Prepared For
Tony J. Leland, Sr.
290 Village Street
Medway, MA

Scale: As Noted

COMMONWEALTH OF MASSACHUSETTS
NORMAN G. HILL
CIVIL
No. 31887
REGISTERED PROFESSIONAL ENGINEER

Norman G. Hill, P.E.
Date: 6-23-2022
Norman G. Hill, PE #31887

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Date: April 1, 2022	Sheet No. 7
Job No. B1483	

Medway Planning and Economic Development Board
Request for Waiver from Site Plan Rules and Regulations

Complete 1 form for each waiver request

Project Name	Multi-Family Site Developement
Property Location	288 Village Street
Type of Permit	Multi-Family Special Permit
Identify the number and title of the relevant section of the *Site Plan Rules and Regulations* from which a waiver is sought.	Site Plan Rules & Regulations Chapter 200 Section 207-12.H.2
Summarize the text of the relevant section of the *Rules and Regulations* from which a waiver is requested.	Driveway apron radii
What aspect of the *Rule and Regulation* do you propose be waived?	3' radius requirement
What do you propose as an alternative to the standard?	Reduce to 2'
Explanation/justification for the waiver request. How does the particular rule/regulation not apply to the site or situation under review?	3' radii will encroach into the existing sidewalk
Explanation/justification. How would approval of this waiver request not be significantly detrimental to achieving the purposes of site plan review?	The proposal demonstrates practical design and development of the site.
Explanation/justification. How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	Not applicable
What is the impact on the development if this waiver request is denied?	None
What mitigation measures do you propose to offset not complying with the particular Rule/Regulation?	None
Waiver Request Prepared By:	Norman G. Hill P.E.
Date:	6/1/2022

Questions?? - Please contact the Medway PEDB office at 508-533-3291.

Medway Planning and Economic Development Board
Request for Waiver from Site Plan Rules and Regulations
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Project Name	Multi-Family Site Developement
Property Location	288 Village Street
Type of Permit	Multi-Family Special Permit
Identify the number and title of the relevant section of the *Site Plan Rules and Regulations* from which a waiver is sought.	Site Plan Rules & Regulations Chapter 200 Section 204-3 F. 1
Summarize the text of the relevant section of the *Rules and Regulations* from which a waiver is requested.	Full traffic impact assessment
What aspect of the *Rule and Regulation* do you propose be waived?	Traffic impact assessment per regulations
What do you propose as an alternative to the standard?	Limit to trip generation and sight distance
Explanation/justification for the waiver request. How does the particular rule/regulation not apply to the site or situation under review?	Project scope and size generate little to no impact
Explanation/justification. How would approval of this waiver request not be significantly detrimental to achieving the purposes of site plan review?	Proposal is consistent with neighborhood.
Explanation/justification. How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	None
What is the impact on the development if this waiver request is denied?	None
What mitigation measures do you propose to offset not complying with the particular Rule/Regulation?	None
Waiver Request Prepared By:	Norman G. Hill P.E.
Date:	4/26/2022

Questions?? - Please contact the Medway PEDB office at 508-533-3291.

Medway Planning and Economic Development Board
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Type of Permit	Multi-Family Special Permit
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Summarize the text of the relevant section of the *Rules and Regulations* from which a waiver is requested.	Full environmental impact assessment
What aspect of the *Rule and Regulation* do you propose be waived?	Full environmental report per regulations
What do you propose as an alternative to the standard?	Limit to stormwater management report
Explanation/justification for the waiver request. How does the particular rule/regulation not apply to the site or situation under review?	Project scope and size generate little to no impact
Explanation/justification. How would approval of this waiver request not be significantly detrimental to achieving the purposes of site plan review?	The proposal demonstrates practical design and development of the site.
Explanation/justification. How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	Not applicable
What is the impact on the development if this waiver request is denied?	None
What mitigation measures do you propose to offset not complying with the particular Rule/Regulation?	None
Waiver Request Prepared By:	Norman G. Hill P.E.
Date:	4/26/2022

Questions?? - Please contact the Medway PEDB office at 508-533-3291.

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Property Location	288 Village Street
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Identify the number and title of the relevant section of the *Site Plan Rules and Regulations* from which a waiver is sought.	Site Plan Rules & Regulations Chapter 200 Section 204-3 F.3
Summarize the text of the relevant section of the *Rules and Regulations* from which a waiver is requested.	Full neighborhood impact assessment
What aspect of the *Rule and Regulation* do you propose be waived?	Neighborhood impact report per regulations
What do you propose as an alternative to the standard?	Eliminate
Explanation/justification for the waiver request. How does the particular rule/regulation not apply to the site or situation under review?	The project is consistent with the neighborhood
Explanation/justification. How would approval of this waiver request not be significantly detrimental to achieving the purposes of site plan review?	The proposal demonstrates practical design and development of the site.
Explanation/justification. How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	Not applicable
What is the impact on the development if this waiver request is denied?	None
What mitigation measures do you propose to offset not complying with the particular Rule/Regulation?	None
Waiver Request Prepared By:	Norman G. Hill P.E.
Date:	4/26/2022

Questions?? - Please contact the Medway PEDB office at 508-533-3291.

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Project Name	Multi-Family Site Developement
Property Location	288 Village Street
Type of Permit	Multi-Family Special Permit
Identify the number and title of the relevant section of the *Site Plan Rules and Regulations* from which a waiver is sought.	Zoning Bylaw Section 6.1 Table 2. Dimensional And Density Regulations
Summarize the text of the relevant section of the *Rules and Regulations* from which a waiver is requested.	Front yard setback
What aspect of the *Rule and Regulation* do you propose be waived?	Reduce setback distance from street line
What do you propose as an alternative to the standard?	Reduce to 30 ft
Explanation/justification for the waiver request. How does the particular rule/regulation not apply to the site or situation under review?	The project is consistent with the residential neighborhood.
Explanation/justification. How would approval of this waiver request not be significantly detrimental to achieving the purposes of site plan review?	The proposal demonstrates practical design and development of the site.
Explanation/justification. How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	Reduce impervious surface area on site
What is the impact on the development if this waiver request is denied?	None
What mitigation measures do you propose to offset not complying with the particular Rule/Regulation?	None
Waiver Request Prepared By:	Norman G. Hill P.E.
Date:	4/26/2022

Questions?? - Please contact the Medway PEDB office at 508-533-3291.

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Identify the number and title of the relevant section of the *Site Plan Rules and Regulations* from which a waiver is sought.	Site Plan Rules & Regulations Chapter 200 Section 204-3 F.4
Summarize the text of the relevant section of the *Rules and Regulations* from which a waiver is requested.	Parking impact assessment
What aspect of the *Rule and Regulation* do you propose be waived?	Eliminate (under threshold)
What do you propose as an alternative to the standard?	Eliminate
Explanation/justification for the waiver request. How does the particular rule/regulation not apply to the site or situation under review?	The project is under the 30 space threshold
Explanation/justification. How would approval of this waiver request not be significantly detrimental to achieving the purposes of site plan review?	The proposal demonstrates practical design and development of the site.
Explanation/justification. How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	Not applicable
What is the impact on the development if this waiver request is denied?	None
What mitigation measures do you propose to offset not complying with the particular Rule/Regulation?	None
Waiver Request Prepared By:	Norman G. Hill P.E.
Date:	4/26/2022

Questions?? - Please contact the Medway PEDB office at 508-533-3291.

Medway Planning and Economic Development Board
Request for Waiver from Site Plan Rules and Regulations
Complete 1 form for each waiver request

Project Name	Multi-Family Site Developement
Property Location	288 Village Street
Type of Permit	Multi-Family Special Permit
Identify the number and title of the relevant section of the *Site Plan Rules and Regulations* from which a waiver is sought.	Site Plan Rules & Regulations Chapter 200 Section 204-5 D. 8
Summarize the text of the relevant section of the *Rules and Regulations* from which a waiver is requested.	Landscape architect plan
What aspect of the *Rule and Regulation* do you propose be waived?	Eliminate
What do you propose as an alternative to the standard?	Allow typical residential plantings
Explanation/justification for the waiver request. How does the particular rule/regulation not apply to the site or situation under review?	The project consistent with the residential neighborhood.
Explanation/justification. How would approval of this waiver request not be significantly detrimental to achieving the purposes of site plan review?	The proposal demonstrates practical design and development of the site.
Explanation/justification. How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	Not applicable
What is the impact on the development if this waiver request is denied?	None
What mitigation measures do you propose to offset not complying with the particular Rule/Regulation?	None
Waiver Request Prepared By:	Norman G. Hill P.E.
Date:	4/26/2022

Questions?? - Please contact the Medway PEDB office at 508-533-3291.

Medway Planning and Economic Development Board
Request for Waiver from Site Plan Rules and Regulations
Complete 1 form for each waiver request

Project Name	Multi-Family Site Developement
Property Location	288 Village Street
Type of Permit	Multi-Family Special Permit
Identify the number and title of the relevant section of the *Site Plan Rules and Regulations* from which a waiver is sought.	Site Plan Rules & Regulations Chapter 200 Section 207-11 A. 3
Summarize the text of the relevant section of the *Rules and Regulations* from which a waiver is requested.	Site entrance width
What aspect of the *Rule and Regulation* do you propose be waived?	Reduce 20 ft width requirement
What do you propose as an alternative to the standard?	Allow 16 ft entrance width
Explanation/justification for the waiver request. How does the particular rule/regulation not apply to the site or situation under review?	The project consistent with the residential neighborhood. Will minimize impervious surface coverage on the project site
Explanation/justification. How would approval of this waiver request not be significantly detrimental to achieving the purposes of site plan review?	The proposal demonstrates practical design and development of the site.
Explanation/justification. How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	Will minimize impervious surface coverage on the project site. Improve runoff infiltration/ recharge
What is the impact on the development if this waiver request is denied?	None
What mitigation measures do you propose to offset not complying with the particular Rule/Regulation?	None
Waiver Request Prepared By:	Norman G. Hill P.E.
Date:	4/26/2022

Questions?? - Please contact the Medway PEDB office at 508-533-3291.

Medway Planning and Economic Development Board
Request for Waiver from Site Plan Rules and Regulations
Complete 1 form for each waiver request

Project Name	Multi-Family Site Developement
Property Location	288 Village Street
Type of Permit	Multi-Family Special Permit
Identify the number and title of the relevant section of the *Site Plan Rules and Regulations* from which a waiver is sought.	Site Plan Rules & Regulations Chapter 200 Section 207-11 A. 4
Summarize the text of the relevant section of the *Rules and Regulations* from which a waiver is requested.	Vertical granite curb
What aspect of the *Rule and Regulation* do you propose be waived?	Elliminate curb requirement
What do you propose as an alternative to the standard?	None
Explanation/justification for the waiver request. How does the particular rule/regulation not apply to the site or situation under review?	The project consistent with the residential neighborhood.
Explanation/justification. How would approval of this waiver request not be significantly detrimental to achieving the purposes of site plan review?	The proposal demonstrates practical design and development of the site.
Explanation/justification. How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	Will be more aesthetically consistent with the Scenic Road setting and surrounding residential lots
What is the impact on the development if this waiver request is denied?	None
What mitigation measures do you propose to offset not complying with the particular Rule/Regulation?	None
Waiver Request Prepared By:	Norman G. Hill P.E.
Date:	4/26/2022

Questions?? - Please contact the Medway PEDB office at 508-533-3291.

Medway Planning and Economic Development Board
Request for Waiver from Site Plan Rules and Regulations
Complete 1 form for each waiver request

Project Name	Multi-Family Site Developement
Property Location	288 Village Street
Type of Permit	Multi-Family Special Permit
Identify the number and title of the relevant section of the *Site Plan Rules and Regulations* from which a waiver is sought.	Site Plan Rules & Regulations Chapter 200 Section 207-11 A. 13
Summarize the text of the relevant section of the *Rules and Regulations* from which a waiver is requested.	Driveway side lot line setback
What aspect of the *Rule and Regulation* do you propose be waived?	Reduce 15 ft setback requirement
What do you propose as an alternative to the standard?	Allow 11 ft lot line setback to driveway
Explanation/justification for the waiver request. How does the particular rule/regulation not apply to the site or situation under review?	The project consistent with the residential neighborhood. Existing natural vegetated barrier along lot line provides screening
Explanation/justification. How would approval of this waiver request not be significantly detrimental to achieving the purposes of site plan review?	The proposal demonstrates practical design and development of the site.
Explanation/justification. How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	Allows for a grass strip between the proposed structure and driveway
What is the impact on the development if this waiver request is denied?	None
What mitigation measures do you propose to offset not complying with the particular Rule/Regulation?	None
Waiver Request Prepared By:	Norman G. Hill P.E.
Date:	4/26/2022

Questions?? - Please contact the Medway PEDB office at 508-533-3291.

Medway Planning and Economic Development Board
Request for Waiver from Site Plan Rules and Regulations
Complete 1 form for each waiver request

Project Name	Multi-Family Site Developement
Property Location	288 Village Street
Type of Permit	Multi-Family Special Permit
Identify the number and title of the relevant section of the *Site Plan Rules and Regulations* from which a waiver is sought.	Site Plan Rules & Regulations Chapter 200 Section 207-12 H. 1
Summarize the text of the relevant section of the *Rules and Regulations* from which a waiver is requested.	Perimeter parking area granite curb
What aspect of the *Rule and Regulation* do you propose be waived?	Eliminate requirement
What do you propose as an alternative to the standard?	None
Explanation/justification for the waiver request. How does the particular rule/regulation not apply to the site or situation under review?	The project consistent with the residential neighborhood.
Explanation/justification. How would approval of this waiver request not be significantly detrimental to achieving the purposes of site plan review?	The proposal demonstrates practical design and development of the site.
Explanation/justification. How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	Improve stormwater flow paths, reduce runoff to municipal drainage system and management of runoff
What is the impact on the development if this waiver request is denied?	None
What mitigation measures do you propose to offset not complying with the particular Rule/Regulation?	None
Waiver Request Prepared By:	Norman G. Hill P.E.
Date:	4/26/2022

Questions?? - Please contact the Medway PEDB office at 508-533-3291.

Medway Planning and Economic Development Board
Request for Waiver from Site Plan Rules and Regulations
Complete 1 form for each waiver request

Project Name	Multi-Family Site Developement
Property Location	288 Village Street
Type of Permit	Multi-Family Special Permit
Identify the number and title of the relevant section of the *Site Plan Rules and Regulations* from which a waiver is sought.	Zoning Bylaw Section 6.1 Table 2. Dimensional And Density Regulations
Summarize the text of the relevant section of the *Rules and Regulations* from which a waiver is requested.	Front yard setback
What aspect of the *Rule and Regulation* do you propose be waived?	Reduce setback distance from street line
What do you propose as an alternative to the standard?	Reduce to 30 ft
Explanation/justification for the waiver request. How does the particular rule/regulation not apply to the site or situation under review?	The project is consistent with the residential neighborhood.
Explanation/justification. How would approval of this waiver request not be significantly detrimental to achieving the purposes of site plan review?	The proposal demonstrates practical design and development of the site.
Explanation/justification. How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	Reduce impervious surface area on site
What is the impact on the development if this waiver request is denied?	None
What mitigation measures do you propose to offset not complying with the particular Rule/Regulation?	None
Waiver Request Prepared By:	Norman G. Hill P.E.
Date:	4/26/2022

Questions?? - Please contact the Medway PEDB office at 508-533-3291.

Medway Planning and Economic Development Board
Request for Waiver from Site Plan Rules and Regulations
Complete 1 form for each waiver request

Project Name	Multi-Family Site Developement
Property Location	288 Village Street
Type of Permit	Multi-Family Special Permit
Identify the number and title of the relevant section of the *Site Plan Rules and Regulations* from which a waiver is sought.	Site Plan Rules & Regulations Chapter 200 Section 204-3.K
Summarize the text of the relevant section of the *Rules and Regulations* from which a waiver is requested.	Determination of Applicability
What aspect of the *Rule and Regulation* do you propose be waived?	Requirement
What do you propose as an alternative to the standard?	Eliminate
Explanation/justification for the waiver request. How does the particular rule/regulation not apply to the site or situation under review?	Nearest resource area is >150 ft
Explanation/justification. How would approval of this waiver request not be significantly detrimental to achieving the purposes of site plan review?	The proposal demonstrates practical design and development of the site.
Explanation/justification. How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	Not applicable
What is the impact on the development if this waiver request is denied?	None
What mitigation measures do you propose to offset not complying with the particular Rule/Regulation?	None
Waiver Request Prepared By:	Norman G. Hill P.E.
Date:	6/1/2022

Questions?? - Please contact the Medway PEDB office at 508-533-3291.

Medway Planning and Economic Development Board
Request for Waiver from Site Plan Rules and Regulations
Complete 1 form for each waiver request

Project Name	Multi-Family Site Developement
Property Location	288 Village Street
Type of Permit	Multi-Family Special Permit
Identify the number and title of the relevant section of the *Site Plan Rules and Regulations* from which a waiver is sought.	Site Plan Rules & Regulations Chapter 200 Section 204-5.D.14
Summarize the text of the relevant section of the *Rules and Regulations* from which a waiver is requested.	Master signage plan
What aspect of the *Rule and Regulation* do you propose be waived?	Requirement
What do you propose as an alternative to the standard?	Eliminate
Explanation/justification for the waiver request. How does the particular rule/regulation not apply to the site or situation under review?	Signage is not consistent with neighborhood
Explanation/justification. How would approval of this waiver request not be significantly detrimental to achieving the purposes of site plan review?	The proposal demonstrates practical design and development of the site.
Explanation/justification. How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	More consistent with neighborhood
What is the impact on the development if this waiver request is denied?	None
What mitigation measures do you propose to offset not complying with the particular Rule/Regulation?	None
Waiver Request Prepared By:	Norman G. Hill P.E.
Date:	6/1/2022

Questions?? - Please contact the Medway PEDB office at 508-533-3291.

Medway Planning and Economic Development Board
Request for Waiver from Site Plan Rules and Regulations
Complete 1 form for each waiver request

Project Name	Multi-Family Site Developement
Property Location	288 Village Street
Type of Permit	Multi-Family Special Permit
Identify the number and title of the relevant section of the *Site Plan Rules and Regulations* from which a waiver is sought.	Site Plan Rules & Regulations Chapter 200 Section 207-11.B.2
Summarize the text of the relevant section of the *Rules and Regulations* from which a waiver is requested.	Perimeter aisle driveway granite curbing
What aspect of the *Rule and Regulation* do you propose be waived?	Requirement
What do you propose as an alternative to the standard?	Eliminate
Explanation/justification for the waiver request. How does the particular rule/regulation not apply to the site or situation under review?	Curbing is not consistent with neighborhood
Explanation/justification. How would approval of this waiver request not be significantly detrimental to achieving the purposes of site plan review?	The proposal demonstrates practical design and development of the site.
Explanation/justification. How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	More consistent with neighborhood
What is the impact on the development if this waiver request is denied?	None
What mitigation measures do you propose to offset not complying with the particular Rule/Regulation?	None
Waiver Request Prepared By:	Norman G. Hill P.E.
Date:	6/1/2022

Questions?? - Please contact the Medway PEDB office at 508-533-3291.

Medway Planning and Economic Development Board
Request for Waiver from Site Plan Rules and Regulations

Complete 1 form for each waiver request

Project Name	Multi-Family Site Developement
Property Location	288 Village Street
Type of Permit	Multi-Family Special Permit
Identify the number and title of the relevant section of the *Site Plan Rules and Regulations* from which a waiver is sought.	Site Plan Rules & Regulations Chapter 200 Section 207-12.G.3.b
Summarize the text of the relevant section of the *Rules and Regulations* from which a waiver is requested.	Parking space property line setback
What aspect of the *Rule and Regulation* do you propose be waived?	15' setback requirement
What do you propose as an alternative to the standard?	Reduce to 9'
Explanation/justification for the waiver request. How does the particular rule/regulation not apply to the site or situation under review?	Existing 6' fence exist along property line
Explanation/justification. How would approval of this waiver request not be significantly detrimental to achieving the purposes of site plan review?	The proposal demonstrates practical design and development of the site.
Explanation/justification. How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	Not applicable
What is the impact on the development if this waiver request is denied?	None
What mitigation measures do you propose to offset not complying with the particular Rule/Regulation?	None
Waiver Request Prepared By:	Norman G. Hill P.E.
Date:	6/1/2022

Questions?? - Please contact the Medway PEDB office at 508-533-3291.

Medway Planning and Economic Development Board
Request for Waiver from Site Plan Rules and Regulations

Complete 1 form for each waiver request

Project Name	Multi-Family Site Developement
Property Location	288 Village Street
Type of Permit	Multi-Family Special Permit
Identify the number and title of the relevant section of the *Site Plan Rules and Regulations* from which a waiver is sought.	Site Plan Rules & Regulations Chapter 200 Section 207-12.H.2
Summarize the text of the relevant section of the *Rules and Regulations* from which a waiver is requested.	Driveway apron radii
What aspect of the *Rule and Regulation* do you propose be waived?	3' radius requirement
What do you propose as an alternative to the standard?	Reduce to 2'
Explanation/justification for the waiver request. How does the particular rule/regulation not apply to the site or situation under review?	3' radii will encroach into the existing sidewalk
Explanation/justification. How would approval of this waiver request not be significantly detrimental to achieving the purposes of site plan review?	The proposal demonstrates practical design and development of the site.
Explanation/justification. How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	Not applicable
What is the impact on the development if this waiver request is denied?	None
What mitigation measures do you propose to offset not complying with the particular Rule/Regulation?	None
Waiver Request Prepared By:	Norman G. Hill P.E.
Date:	6/1/2022

Questions?? - Please contact the Medway PEDB office at 508-533-3291.

Medway Planning and Economic Development Board
Request for Waiver from Site Plan Rules and Regulations
Complete 1 form for each waiver request

Project Name	Multi-Family Site Developement
Property Location	288 Village Street
Type of Permit	Multi-Family Special Permit
Identify the number and title of the relevant section of the *Site Plan Rules and Regulations* from which a waiver is sought.	Site Plan Rules & Regulations Chapter 200 Section 207-12.G.3.d
Summarize the text of the relevant section of the *Rules and Regulations* from which a waiver is requested.	Two-way drive aisle
What aspect of the *Rule and Regulation* do you propose be waived?	24' width requirement
What do you propose as an alternative to the standard?	Reduce to 16'
Explanation/justification for the waiver request. How does the particular rule/regulation not apply to the site or situation under review?	Reduce impervious surface
Explanation/justification. How would approval of this waiver request not be significantly detrimental to achieving the purposes of site plan review?	Improve/ reduce stormwater runoff from the project site
Explanation/justification. How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	Improve/ reduce stormwater runoff from the project site
What is the impact on the development if this waiver request is denied?	Increase stormwater runoff
What mitigation measures do you propose to offset not complying with the particular Rule/Regulation?	None
Waiver Request Prepared By:	Norman G. Hill P.E.
Date:	6/23/2022

Questions?? - Please contact the Medway PEDB office at 508-533-3291.

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From: Barry Smith
Sent: Monday, June 13, 2022 10:21 AM
To: Susan Affleck-Childs <sachilds@townofmedway.org>
Cc: Barbara Saint Andre <bsaintandre@townofmedway.org>
Subject: leland

Susy,

The water & sewer plans that Tony Leland submitted for his 3 family house on Village Street are what we are looking for. He doesn't need to have a fire hydrant at the end of that line. There will be enough water flow that there shouldn't be any issue with stagnate water. If there are any other questions, please let me know.

Thanks,

Barry Smith
Water/Sewer Superintendent
45b Holliston Street
Medway, MA 02053
O 508-321-4930
M 774-285-0482

Register & Access your Water usage: https://medwma.aquahawk.us

www.townofmedway.org
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Please remember when writing or responding, the Massachusetts Secretary of State has determined that e-mail is a public record.

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Town of Medway, MA
Community and Economic Development Department
LAND DISTURBANCE PERMIT APPLICATION

INSTRUCTIONS TO APPLICANT/OWNER

This Application is made pursuant to the *Medway General Bylaws – ARTICLE XXVI - Stormwater Management and Land Disturbance.* The Bylaw is posted at:

https://www.townofmedway.org/sites/g/files/vyhlif866/f/uploads/sw_bylaw_clean_voted_at_june_8_2020_tm_final_bjs.pdf

Depending on the scope and location of the planned land disturbance and what other permits are required, this application shall be acted upon by the Medway Conservation Commission, the Medway Planning and Economic Development Board, or the Department's Administrative Team.

This application must be filed at the same time as the associated land use permit applications are filed with the Conservation Commission and/or the Planning and Economic Development Board.

The Town's Engineering Consultant may be asked to review the Application and associated plans and provide a review letter. A copy of any review letter will be provided to you.

You and/or your duly authorized Agent/Designated Representative are expected to attend the Board or Commission meetings at which your Application will be considered to answer any questions and/or submit such additional information as the Board or Commission may request. Your absence at the hearings may result in a delay in review and action.

Please see APPENDIX at the end of this form for definitions of key terms used throughout this application form.

_____, 20____

APPLICANT INFORMATION

Applicant's Name: Tony & Dawn Leland

Mailing Address: 290 Village Street
Medway, MA

Name of Primary Contact: Tony Leland

Telephone: Office: 508-533-8664 Cell: 508-962-2820

Email address: lelandsidingroofing@gmail.com

_x_ Please check here if the Applicant is the equitable owner *(purchaser on a purchase and sales agreement.)*

SITE INFORMATION

Location Address: 288 Village Street, Medway

The land shown on the plan is shown on Medway Assessor's Map #_58_ as Parcel(s) #_083_

Total Acreage of Land Area: 0.52

Description of Property and Existing Conditions (or provide and reference an existing conditions plan): this is a previously developed residential lot

Medway Zoning District Classification: Agricultural-Residential II

Current Use of Property: residential lot (currently vacant)

Site presently includes the following EXISTING stormwater management components. Check all that apply.

____ Surface stormwater basin (detention, retention, rain garden)
____ Sub-surface detention or infiltration systems (e.g. Cultec, Stormcepter units)
____ Roof drains
____ Perimeter drains discharging to: _____
____ Previously approved stormwater connection to the Medway MS4. *(Provide documentation of such approval from the Medway Department of Public Works)*
____ Unauthorized and/or Illicit stormwater connection to the Medway MS4. *(Identify location and describe type of connection):* _____
____ Unauthorized illicit discharge to the Medway MS4. *(Identify location of discharge and describe what is being discharged.):* _____
____ Other (Please describe) _____

NOTE – All of the above listed existing stormwater management components must be shown on the Erosion and Sediment Control Plan to be submitted with this application.

PROPOSED DEVELOPMENT PROJECT INFORMATION

Provide a description of the proposed project that will result in a land disturbance. Attach an additional sheet if needed: construction of a three family dwelling

Type of Project - Check all that apply. NOTE - A project may include both New Development & Redevelopment.

New Development (See definition in Appendix)	**Redevelopment** (See definition in Appendix)
___ Single family dwelling ___ Residential Subdivision (# of lots ___)	____ Single family dwelling expansion
___ Two family dwelling	____ Two family dwelling expansion
_x_ Multi-family development	____ Multi-family development expansion
___ Commercial, industrial, office development	____ Commercial, industrial, office development expansion
____ Site improvements (e.g., pool, patio, athletic court, landscaping, parking, etc.)	____ Site improvements (e.g. pool, patio, athletic court, landscaping, parking, etc.)
____ Grading and/or site work without a building or structure	____ Grading and/or site work without a building or structure
____ Accessory structure(s) (e.g., garage, barn, pavilion, storage facility, accessory family dwelling unit, etc.)	____ Accessory structure(s) (e.g. garage, barn, pavilion, storage facility, accessory family dwelling unit, etc.)

Estimated Total Size of Land Disturbance (ft^2) (Limit of Work): 19,000 s.f.

Area (ft^2) of Impervious Surface (building footprint(s), pavement, parking, roofs, decks, patios, etc.). Complete table below.

Existing Impervious Surface Area (ft^2)	Proposed Additional Impervious Surface Area (ft^2)	Total Proposed Impervious Surface Area (ft^2) Post Construction
4784	3726	8510

Have you or will you apply for any of the following other permits for this project? Attach a copy of any permits received to date for this project.

Planning & Economic Development Board	Conservation Commission	Zoning Board of Appeals	Department of Public Works
___ Subdivision	___ ORAD (Order of Resource Area Delineation)	___ Special Permit	___ MS4 Connection and Discharge Permit
___ Site Plan	___ RDA (Request for Determination of Applicability)	___ Variance	
X Special Permit	___ Notice of Intent/Order of Conditions	___ Comprehensive Permit (40B)	

NOTE - Please attach copies of any of the above permits already received to this application.

EROSION AND SEDIMENT CONTROL PLAN INFORMATION – To be prepared in accordance with Medway General Bylaws, ARTICLE XXVI, Section 26.5.6. The plan must show all existing stormwater management facilities.

Development Name: Multi-Family Building

Plan Title: Site Development Plan

Plan Date: April 1, 2022

Prepared by:

Name: Norman G. Hill

Firm: Land Planning, Inc.

Phone #: 508-966-4130 Email: bellingham@landplanninginc.com

PROPERTY OWNER INFORMATION (if not applicant)

Property Owner's Name: _____

Mailing Address: _____

_____

Primary Contact: _____

Telephone: Office: _____ Cell: _____

Email address: _____

The owner's title to the land that is the subject matter of this application is derived under deed from: Donald & Suzanne Lloy to Tony & Dawn Leland dated 10/9/18 and recorded in Norfolk County Registry of Deeds, Book 36356 Page 499 or Land Court Certificate of Title Number_____, Land Court Case Number _____, registered in the Norfolk County Land Registry District Volume_____, Page(s) _____.

CONSULTANT & DESIGNATED REPRESENTATIVE INFORMATION

ENGINEER

Name of Firm: Land Planning, Inc.

Mailing Address: 168 Hartford Avenue
Bellingham, MA 02019

Primary Contact: William Halsing

Telephone: Office: 508-966-4130 Cell: _____

Email address: bellingham@landplanninginc.com

Registered P.E. License #: 31887

SURVEYOR

Name of Firm: Land Planning, Inc.

Mailing Address: 167 Hartford Avenue
Bellingham, MA 02019

Primary Contact: William Halsing

Telephone: Office: 508-966-4130 Cell: _____

Email Address: bellingham@landplanninginc.com

Registered P.L.S. License #: 41786

WETLANDS SCIENTIST

Name of Firm: n/a

Mailing Address: _____

Primary Contact: _____

Telephone: Office: _____ Cell: _____

Email Address: _____

DESIGNATED REPRESENTATIVE (if not applicant)

Name of Firm: _____

Mailing Address: _____

Telephone: Office: _____ Cell: _____

Email address: _____

SIGNATURES

The undersigned, being the Applicant for approval of a Land Disturbance Permit, herewith submits this application to the Medway Community and Economic Development Department. I certify, under the pains and penalties of perjury, that the information contained in this application is a true, complete and accurate representation of the facts regarding the property and proposed development under consideration.

(If applicable, I hereby authorize _____ to serve as my Agent/Designated Representative to represent my interests before the Medway Community and Economic Development Department with respect to this application.)

In submitting this application, I authorize Town staff, its consultants and agents, and members of the Conservation Commission and Planning and Economic Development Board to enter the subject property to access the site during the plan review, permitting and enforcement process.

I understand that pursuant to MGL. c.44, s. 53G, the Department, Board and Commission may retain outside professional consultants to review this application and that I am responsible for the costs associated with such reviews.

I understand that Town staff, its consultants and agents, and members of the Commission and Board may request additional information which I am responsible for providing to assist them in reviewing the proposed development.

_____	_____
Signature of Property Owner	*Date*
_____	_____
Signature of Applicant (if other than Property Owner)	*Date*
_____	_____
Signature of Agent/Designated Representative	*Date*

LAND DISTURBANCE PERMIT APPLICATION CHECKLIST

Submit 3 copies of each of the following documents to the Medway Community and Economic Development Department. Incomplete applications will not be accepted.

Also provide a flash drive or email all documents.

This application must be filed at the same time as the corresponding application(s) (Notice of Intent and/or Site Plan Review or Subdivision Approval) are filed with the Conservation Commission and/or the Planning and Economic Development Board.

____ Land Disturbance Permit Application Form with original signatures of applicant, owner and designated representative

____ Erosion and Sediment Control Plan and associated documents prepared as specified in Medway General Bylaws, ARTICLE XXVI, Section 26.5.6

____ Drainage Calculations in compliance with the most current Massachusetts Stormwater Management Standards and the NOAA Atlas 14 precipitation rates

_____ Narrative on how the project meets the most current Massachusetts Stormwater Management Standards

____ Construction sequencing/phasing plan

____ Stormwater Operations and Maintenance Plan for Construction

____ Post-Construction Stormwater Management Plan as specified in Medway General Bylaws, ARTICLE XXVI, Section 26.5.8

____ Post-Construction Long Term Stormwater Operations and Maintenance Plan as specified in Medway General Bylaws, ARTICLE XXVI, Section 26.5.9

____ Other permits already received for the project

____ If necessary, Request(s) for Waivers from the provisions of Medway General Bylaws, ARTICLE XXVI, Section 26.5

____ Application/filing fee when applicable

Land Planning, Inc.
Civil Engineers • Land Surveyors
Environmental Consultants

Stormwater Report

Multi-Family Site Development
288 Village Street
Medway, MA

COMMONWEALTH OF MASSACHUSETTS
NORMAN G. HILL
CIVIL
No. 31887
REGISTERED PROFESSIONAL ENGINEER

6-23-22

Owned By
Tony J. Leland, Sr. & Dawn M. Leland
290 Village Street
Medway, MA

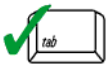
June 23, 2022

Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands Program

Checklist for Stormwater Report

A. Introduction

Important: When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



A Stormwater Report must be submitted with the Notice of Intent permit application to document compliance with the Stormwater Management Standards. The following checklist is NOT a substitute for the Stormwater Report (which should provide more substantive and detailed information) but is offered here as a tool to help the applicant organize their Stormwater Management documentation for their Report and for the reviewer to assess this information in a consistent format. As noted in the Checklist, the Stormwater Report must contain the engineering computations and supporting information set forth in Volume 3 of the Massachusetts Stormwater Handbook. The Stormwater Report must be prepared and certified by a Registered Professional Engineer (RPE) licensed in the Commonwealth.

The Stormwater Report must include:

- The Stormwater Checklist completed and stamped by a Registered Professional Engineer (see page 2) that certifies that the Stormwater Report contains all required submittals.[1] This Checklist is to be used as the cover for the completed Stormwater Report.
- Applicant/Project Name
- Project Address
- Name of Firm and Registered Professional Engineer that prepared the Report
- Long-Term Pollution Prevention Plan required by Standards 4-6
- Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan required by Standard 8[2]
- Operation and Maintenance Plan required by Standard 9

In addition to all plans and supporting information, the Stormwater Report must include a brief narrative describing stormwater management practices, including environmentally sensitive site design and LID techniques, along with a diagram depicting runoff through the proposed BMP treatment train. Plans are required to show existing and proposed conditions, identify all wetland resource areas, NRCS soil types, critical areas, Land Uses with Higher Potential Pollutant Loads (LUHPPL), and any areas on the site where infiltration rate is greater than 2.4 inches per hour. The Plans shall identify the drainage areas for both existing and proposed conditions at a scale that enables verification of supporting calculations.

As noted in the Checklist, the Stormwater Management Report shall document compliance with each of the Stormwater Management Standards as provided in the Massachusetts Stormwater Handbook. The soils evaluation and calculations shall be done using the methodologies set forth in Volume 3 of the Massachusetts Stormwater Handbook.

To ensure that the Stormwater Report is complete, applicants are required to fill in the Stormwater Report Checklist by checking the box to indicate that the specified information has been included in the Stormwater Report. If any of the information specified in the checklist has not been submitted, the applicant must provide an explanation. The completed Stormwater Report Checklist and Certification must be submitted with the Stormwater Report.

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[1] The Stormwater Report may also include the Illicit Discharge Compliance Statement required by Standard 10. If not included in the Stormwater Report, the Illicit Discharge Compliance Statement must be submitted prior to the discharge of stormwater runoff to the post-construction best management practices.

[2] For some complex projects, it may not be possible to include the Construction Period Erosion and Sedimentation Control Plan in the Stormwater Report. In that event, the issuing authority has the discretion to issue an Order of Conditions that approves the project and includes a condition requiring the proponent to submit the Construction Period Erosion and Sedimentation Control Plan before commencing any land disturbance activity on the site.

Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands Program

Checklist for Stormwater Report

B. Stormwater Checklist and Certification

The following checklist is intended to serve as a guide for applicants as to the elements that ordinarily need to be addressed in a complete Stormwater Report. The checklist is also intended to provide conservation commissions and other reviewing authorities with a summary of the components necessary for a comprehensive Stormwater Report that addresses the ten Stormwater Standards.

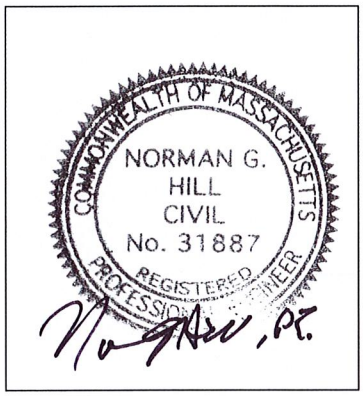
Note: Because stormwater requirements vary from project to project, it is possible that a complete Stormwater Report may not include information on some of the subjects specified in the Checklist. If it is determined that a specific item does not apply to the project under review, please note that the item is not applicable (N.A.) and provide the reasons for that determination.

A complete checklist must include the Certification set forth below signed by the Registered Professional Engineer who prepared the Stormwater Report.

Registered Professional Engineer's Certification

I have reviewed the Stormwater Report, including the soil evaluation, computations, Long-term Pollution Prevention Plan, the Construction Period Erosion and Sedimentation Control Plan (if included), the Long-term Post-Construction Operation and Maintenance Plan, the Illicit Discharge Compliance Statement (if included) and the plans showing the stormwater management system, and have determined that they have been prepared in accordance with the requirements of the Stormwater Management Standards as further elaborated by the Massachusetts Stormwater Handbook. I have also determined that the information presented in the Stormwater Checklist is accurate and that the information presented in the Stormwater Report accurately reflects conditions at the site as of the date of this permit application.

Registered Professional Engineer Block and Signature



Signature and Date

Checklist

Project Type: Is the application for new development, redevelopment, or a mix of new and redevelopment?

☒ New development

☐ Redevelopment

☐ Mix of New Development and Redevelopment

Checklist for Stormwater Report

Checklist (continued)

LID Measures: Stormwater Standards require LID measures to be considered. Document what environmentally sensitive design and LID Techniques were considered during the planning and design of the project:

- ☐ No disturbance to any Wetland Resource Areas
- ☒ Site Design Practices (e.g. clustered development, reduced frontage setbacks)
- ☐ Reduced Impervious Area (Redevelopment Only)
- ☐ Minimizing disturbance to existing trees and shrubs
- ☐ LID Site Design Credit Requested:
  - ☐ Credit 1
  - ☐ Credit 2
  - ☐ Credit 3
- ☐ Use of "country drainage" versus curb and gutter conveyance and pipe
- ☒ Bioretention Cells (includes Rain Gardens)
- ☐ Constructed Stormwater Wetlands (includes Gravel Wetlands designs)
- ☐ Treebox Filter
- ☐ Water Quality Swale
- ☐ Grass Channel
- ☐ Green Roof
- ☐ Other (describe): _____

Standard 1: No New Untreated Discharges

- ☒ No new untreated discharges
- ☒ Outlets have been designed so there is no erosion or scour to wetlands and waters of the Commonwealth
- ☒ Supporting calculations specified in Volume 3 of the Massachusetts Stormwater Handbook included.

Checklist for Stormwater Report

Checklist (continued)

Standard 2: Peak Rate Attenuation

☐ Standard 2 waiver requested because the project is located in land subject to coastal storm flowage and stormwater discharge is to a wetland subject to coastal flooding.

☐ Evaluation provided to determine whether off-site flooding increases during the 100-year 24-hour storm.

☒ Calculations provided to show that post-development peak discharge rates do not exceed pre-development rates for the 2-year and 10-year 24-hour storms. If evaluation shows that off-site flooding increases during the 100-year 24-hour storm, calculations are also provided to show that post-development peak discharge rates do not exceed pre-development rates for the 100-year 24-hour storm.

Standard 3: Recharge

☐ Soil Analysis provided.

☒ Required Recharge Volume calculation provided.

☐ Required Recharge volume reduced through use of the LID site Design Credits.

☒ Sizing the infiltration, BMPs is based on the following method: Check the method used.

☒ Static ☐ Simple Dynamic ☐ Dynamic Field[1]

☐ Runoff from all impervious areas at the site discharging to the infiltration BMP.

☒ Runoff from all impervious areas at the site is *not* discharging to the infiltration BMP and calculations are provided showing that the drainage area contributing runoff to the infiltration BMPs is sufficient to generate the required recharge volume.

☐ Recharge BMPs have been sized to infiltrate the Required Recharge Volume.

☐ Recharge BMPs have been sized to infiltrate the Required Recharge Volume *only* to the maximum extent practicable for the following reason:

- ☐ Site is comprised solely of C and D soils and/or bedrock at the land surface
- ☐ M.G.L. c. 21E sites pursuant to 310 CMR 40.0000
- ☐ Solid Waste Landfill pursuant to 310 CMR 19.000
- ☐ Project is otherwise subject to Stormwater Management Standards only to the maximum extent practicable.

☒ Calculations showing that the infiltration BMPs will drain in 72 hours are provided.

☐ Property includes a M.G.L. c. 21E site or a solid waste landfill and a mounding analysis is included.

[1] 80% TSS removal is required prior to discharge to infiltration BMP if Dynamic Field method is used.

Checklist for Stormwater Report

Checklist (continued)

Standard 3: Recharge (continued)

☐ The infiltration BMP is used to attenuate peak flows during storms greater than or equal to the 10-year 24-hour storm and separation to seasonal high groundwater is less than 4 feet and a mounding analysis is provided.

☐ Documentation is provided showing that infiltration BMPs do not adversely impact nearby wetland resource areas.

Standard 4: Water Quality

The Long-Term Pollution Prevention Plan typically includes the following:

- Good housekeeping practices;
- Provisions for storing materials and waste products inside or under cover;
- Vehicle washing controls;
- Requirements for routine inspections and maintenance of stormwater BMPs;
- Spill prevention and response plans;
- Provisions for maintenance of lawns, gardens, and other landscaped areas;
- Requirements for storage and use of fertilizers, herbicides, and pesticides;
- Pet waste management provisions;
- Provisions for operation and management of septic systems;
- Provisions for solid waste management;
- Snow disposal and plowing plans relative to Wetland Resource Areas;
- Winter Road Salt and/or Sand Use and Storage restrictions;
- Street sweeping schedules;
- Provisions for prevention of illicit discharges to the stormwater management system;
- Documentation that Stormwater BMPs are designed to provide for shutdown and containment in the event of a spill or discharges to or near critical areas or from LUHPPL;
- Training for staff or personnel involved with implementing Long-Term Pollution Prevention Plan;
- List of Emergency contacts for implementing Long-Term Pollution Prevention Plan.

☒ A Long-Term Pollution Prevention Plan is attached to Stormwater Report and is included as an attachment to the Wetlands Notice of Intent.

☐ Treatment BMPs subject to the 44% TSS removal pretreatment requirement and the one inch rule for calculating the water quality volume are included, and discharge:

- ☐ is within the Zone II or Interim Wellhead Protection Area
- ☐ is near or to other critical areas
- ☐ is within soils with a rapid infiltration rate (greater than 2.4 inches per hour)
- ☐ involves runoff from land uses with higher potential pollutant loads.

☐ The Required Water Quality Volume is reduced through use of the LID site Design Credits.

☒ Calculations documenting that the treatment train meets the 80% TSS removal requirement and, if applicable, the 44% TSS removal pretreatment requirement, are provided.

Checklist for Stormwater Report

Checklist (continued)

Standard 4: Water Quality (continued)

☒ The BMP is sized (and calculations provided) based on:

- ☒ The ½" or 1" Water Quality Volume or
- ☐ The equivalent flow rate associated with the Water Quality Volume and documentation is provided showing that the BMP treats the required water quality volume.

☐ The applicant proposes to use proprietary BMPs, and documentation supporting use of proprietary BMP and proposed TSS removal rate is provided. This documentation may be in the form of the propriety BMP checklist found in Volume 2, Chapter 4 of the Massachusetts Stormwater Handbook and submitting copies of the TARP Report, STEP Report, and/or other third party studies verifying performance of the proprietary BMPs.

☐ A TMDL exists that indicates a need to reduce pollutants other than TSS and documentation showing that the BMPs selected are consistent with the TMDL is provided.

Standard 5: Land Uses With Higher Potential Pollutant Loads (LUHPPLs)

☐ The NPDES Multi-Sector General Permit covers the land use and the Stormwater Pollution Prevention Plan (SWPPP) has been included with the Stormwater Report.

☐ The NPDES Multi-Sector General Permit covers the land use and the SWPPP will be submitted ***prior to*** the discharge of stormwater to the post-construction stormwater BMPs.

☐ The NPDES Multi-Sector General Permit does ***not*** cover the land use.

☐ LUHPPLs are located at the site and industry specific source control and pollution prevention measures have been proposed to reduce or eliminate the exposure of LUHPPLs to rain, snow, snow melt and runoff, and been included in the long term Pollution Prevention Plan.

☐ All exposure has been eliminated.

☐ All exposure has ***not*** been eliminated and all BMPs selected are on MassDEP LUHPPL list.

☐ The LUHPPL has the potential to generate runoff with moderate to higher concentrations of oil and grease (e.g. all parking lots with >1000 vehicle trips per day) and the treatment train includes an oil grit separator, a filtering bioretention area, a sand filter or equivalent.

Standard 6: Critical Areas

☐ The discharge is near or to a critical area and the treatment train includes only BMPs that MassDEP has approved for stormwater discharges to or near that particular class of critical area.

☐ Critical areas and BMPs are identified in the Stormwater Report.

Checklist for Stormwater Report

Checklist (continued)

Standard 7: Redevelopments and Other Projects Subject to the Standards only to the maximum extent practicable

☐ The project is subject to the Stormwater Management Standards only to the maximum Extent Practicable as a:

- ☐ Limited Project
- ☐ Small Residential Projects: 5-9 single family houses or 5-9 units in a multi-family development provided there is no discharge that may potentially affect a critical area.
- ☐ Small Residential Projects: 2-4 single family houses or 2-4 units in a multi-family development with a discharge to a critical area
- ☐ Marina and/or boatyard provided the hull painting, service and maintenance areas are protected from exposure to rain, snow, snow melt and runoff
- ☐ Bike Path and/or Foot Path
- ☐ Redevelopment Project
- ☐ Redevelopment portion of mix of new and redevelopment.

☐ Certain standards are not fully met (Standard No. 1, 8, 9, and 10 must always be fully met) and an explanation of why these standards are not met is contained in the Stormwater Report.

☐ The project involves redevelopment and a description of all measures that have been taken to improve existing conditions is provided in the Stormwater Report. The redevelopment checklist found in Volume 2 Chapter 3 of the Massachusetts Stormwater Handbook may be used to document that the proposed stormwater management system (a) complies with Standards 2, 3 and the pretreatment and structural BMP requirements of Standards 4-6 to the maximum extent practicable and (b) improves existing conditions.

Standard 8: Construction Period Pollution Prevention and Erosion and Sedimentation Control

A Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan must include the following information:

- Narrative;
- Construction Period Operation and Maintenance Plan;
- Names of Persons or Entity Responsible for Plan Compliance;
- Construction Period Pollution Prevention Measures;
- Erosion and Sedimentation Control Plan Drawings;
- Detail drawings and specifications for erosion control BMPs, including sizing calculations;
- Vegetation Planning;
- Site Development Plan;
- Construction Sequencing Plan;
- Sequencing of Erosion and Sedimentation Controls;
- Operation and Maintenance of Erosion and Sedimentation Controls;
- Inspection Schedule;
- Maintenance Schedule;
- Inspection and Maintenance Log Form.

☒ A Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan containing the information set forth above has been included in the Stormwater Report.

Checklist for Stormwater Report

Checklist (continued)

Standard 8: Construction Period Pollution Prevention and Erosion and Sedimentation Control (continued)

☐ The project is highly complex and information is included in the Stormwater Report that explains why it is not possible to submit the Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan with the application. A Construction Period Pollution Prevention and Erosion and Sedimentation Control has ***not*** been included in the Stormwater Report but will be submitted ***before*** land disturbance begins.

☐ The project is ***not*** covered by a NPDES Construction General Permit.

☐ The project is covered by a NPDES Construction General Permit and a copy of the SWPPP is in the Stormwater Report.

☐ The project is covered by a NPDES Construction General Permit but no SWPPP been submitted. The SWPPP will be submitted BEFORE land disturbance begins.

Standard 9: Operation and Maintenance Plan

☒ The Post Construction Operation and Maintenance Plan is included in the Stormwater Report and includes the following information:

- ☒ Name of the stormwater management system owners;
- ☒ Party responsible for operation and maintenance;
- ☒ Schedule for implementation of routine and non-routine maintenance tasks;
- ☒ Plan showing the location of all stormwater BMPs maintenance access areas;
- ☐ Description and delineation of public safety features;
- ☐ Estimated operation and maintenance budget; and
- ☒ Operation and Maintenance Log Form.

☐ The responsible party is ***not*** the owner of the parcel where the BMP is located and the Stormwater Report includes the following submissions:

- ☐ A copy of the legal instrument (deed, homeowner's association, utility trust or other legal entity) that establishes the terms of and legal responsibility for the operation and maintenance of the project site stormwater BMPs;
- ☐ A plan and easement deed that allows site access for the legal entity to operate and maintain BMP functions.

Standard 10: Prohibition of Illicit Discharges

☒ The Long-Term Pollution Prevention Plan includes measures to prevent illicit discharges;

☒ An Illicit Discharge Compliance Statement is attached;

☐ NO Illicit Discharge Compliance Statement is attached but will be submitted ***prior to*** the discharge of any stormwater to post-construction BMPs.

Land
Planning
Inc.

288 Village Street, Medway MA

Multi- Family Site Development

Stormwater Management Standards Compliance

Standard 1: No New Untreated Discharges
Supporting Calculations

The proposed multi-family building and parking area will not create any new point discharges.

Existing roof runoff will be contained in a subsurface infiltration system; while impervious increase in the paved parking area will be directed and treated within the proposed rain garden.

Stormwater runoff will exit the property as shallow concentrated flow and be collected within the municipal drainage system. Except for the drainage area directed to the rain garden, existing and post development drainage patterns remain unchanged.

The requirement of no new untreated discharges has been met. Additional calculations demonstrating compliance with Standard 1 are not required.

Standard 2: Peak Rate Attenuation

The proposed peak flow rates have been reduced for the 2, 10 and 100-year storm events

Summary of Peak Flows (cfs)					
2 Year		10 Year		100 Year	
Pre	Post	Pre	Post	Pre	Post
0.43	0.41	1.15	1.09	2.52	2.21

The attached drainage analysis will further demonstrate that the proposed development will not result in an increase in peak discharge rates as compared to the existing site.

214 Worcester Street, North Grafton, MA 01536 Phone: 508-839-9526 Fax: 508-839-9528
www.landplanninginc.com

Standard 3: Recharge

Calculate required recharge volume:

NRCS HYDROLOGIC SOIL TYPE	APPROX. SOIL TEXTURE	TARGET DEPTH FACTOR (F)
A	sand	0.6-inch
B	loam	0.35-inch
C	silty loam	0.25-inch
D	clay	0.1-inch

Table 2.3.2: Recharge Target Depth by Hydrologic Soil Group

Hydrologic Soil Type	F (Inches)	New Impervious Area (Acres)	Rv (ft^3)
A	0.60	0	0 ft^3
B	0.35	0.20	255 ft^3
C	0.25	0	0 ft^3
D	0.10	0	0 ft^3
Total Recharge Volume		**255 ft^3**	

$$R_v = \frac{F\ (in) * Impervious\ Area\ (ac.) * (43{,}560\ sf/acre)}{12\ in/ft}$$

Subsurface chamber system infiltration volume :

Chamber system storage capacity = 984 ft^3 (see HydroCAD analysis)

Roof area = 3,415 ft^2

Water Quality Volume controlling

Target Depth = 0.5 in

$$\text{Runoff volume generated} = \frac{(3{,}415\ ft^2)(0.5\ inch)}{12\ in/ft} = 143\ ft^3$$

The infiltration runoff volume to the chamber system is less than the system's storage capacity provided.

143 ft^3 < 984 ft^3 **∴ Infiltration volume provided is adequate**

Infiltration system drawdown times:

Subsurface chamber system bottom area (Ba) = 431 ft^2 (see HydroCAD analysis)
Volume to be infiltrated (Rv) = 143 ft^3
K=2.41 in/hr

$$Time_{drawdown} = \frac{Rv}{(K)(Bottom\ Area)}$$

T_d = [143 ft^3 / 2.41 in/hr * (1 ft/12 in) * 431 ft^2] = 2 hr

2 hr < 72 hr ∴ **Drawdown time is adequate**

Rain garden infiltration volume :

Rain garden storage capacity = 1,041 ft^3 (see HydroCAD analysis)

Pavement area = 3,192 ft^2

Runoff volume generated = $\frac{(3{,}192\ ft^2)(0.5\ inch)}{12\ in/ft}$ = 133 ft^3

The infiltration runoff volume to the rain garden is less than the system's storage capacity provided.

133 ft^3 < 1,041 ft^3 ∴ **Infiltration volume provided is adequate**

Infiltration system drawdown times:

Rain garden bottom area (Ba) = 390 ft^2 (see HydroCAD analysis)
Volume to be infiltrated (Rv) = 133 ft^3
K=2.41 in/hr

$$Time_{drawdown} = \frac{Rv}{(K)(Bottom\ Area)}$$

T_d = [133 ft^3 / 2.41 in/hr * (1 ft/12 in) * 390 ft^2] = 2 hr

2 hr < 72 hr ∴ **Drawdown time is adequate**

Standard 4: Water Quality

Water Quality Treatment Volume:

Calculate required water quality treatment volume:

A_{imp} (new impervious area) = 0.2 acres
D_{wq} (water quality depth) = 0.5 in

V_{wq}=(D_{wq} / 12 in/ft) * (A_{imp})
V_{wq}=(0.5 in / 12 in/ft) * (0.2 acres) * (43,560 ft^2/ac) = 363 ft^3 required

Determine water quality treatment volume provided:

The stormwater management system includes a subsurface chamber infiltration system and a rain garden treat surface runoff. As demonstrated within the Standard 3 section above, the stormwater management BMPs have a total storage area of 2,025 cubic feet and are sufficiently sized to handle the first ½- inch of runoff.

363 ft^3 < 2,025 ft^3 ∴ **Infiltration volume is adequate to treat water quality volume**

TSS Removal Requirements:

Location: **288 Village Street Medway, MA**

TSS Removal Calculation Worksheet

B BMP	C TSS Removal Rate	D Starting TSS Load*	E Amount Removed (C*D)	F Remaining Load (D-E)
Street Sweeping-2%	0.02	1.00	0.02	0.98
Rain Garden	0.90	0.98	0.88	0.10

Total TSS Removal = **90%**

Project: **Multi-Family Development**
Prepared By: **SB**
Date: **4/7/2022**

*Equals remaining load from previous BMP € which enters the BMP

Location: **288 Village Street Medway, MA**

TSS Removal Calculation Worksheet

B BMP	C TSS Removal Rate	D Starting TSS Load*	E Amount Removed (C*D)	F Remaining Load (D-E)
Subsurface Infiltration System	0.08	1.00	0.80	0.20

Total TSS Removal = **80%**

Project: **Multi-Family Development**
Prepared By: **SB**
Date: **4/7/2022**

*Equals remaining load from previous BMP € which enters the BMP

Standard 5: Land Uses with Higher Potential Pollutant Loads

The existing and proposed use of the property is not classified as a Land Use with Higher Potential Pollutant Loads (LUHPPL). This standard is not applicable to this site.

Standard 6: Critical Areas

The project is not located within or adjacent to a Critical Area. This standard is not applicable to the project.

Standard 7: Redevelopment Project

This project does not qualify as a redevelopment. This standard is not applicable to this site.

Standard 8: Construction Period Pollution Prevention and Erosion Control

See attached report.

Standard 9: Operation and Maintenance Plan

See attached report.

Standard 10: Prohibition of Illicit Discharges
Illicit Discharge Compliance Statement

Per the requirements of Standard 10 of the Stormwater Management Standards, the property has been inspected for the presence of illicit discharges. It has been determined that no illicit discharges exist on the property.

The developer, contractor, and property owner shall continue to be responsible for the prevention, detection, and elimination of illicit discharges.

Land Planning, Inc.

Norman G. Hill, P.E.
President

Attachments

- Pre and Post Development Drainage Analysis
- Watershed Maps
- NRCS Soil Report
- Storm Water Pollution Prevention Plan
- Operation & Maintenance Plan

Drainage Analysis

Located at
288 Village Street
Medway, MA

By
Land Planning, Inc.
167 Hartford Ave
Bellingham, MA 02019

April 5, 2022

1.0 INTRODUCTION

Land Planning Inc. has evaluated the hydrologic impacts for the proposed multi-family development of 288 Village Street, Medway MA. The locus is depicted as Lot 1A in Plan Book 676 Plan 87; registered at the Norfolk County Registry of Deeds on October 29, 2018.

Included in this report are the proposed method to mitigate any additional runoff from the proposed conditions of this project. The supporting hydrologic calculations are at the end of this report.

2.0 EXISTING CONDITIONS

The project site is a 22,600 square foot (s.f.) property located on the northerly side of Village Street, A Scenic Road per the Town of Medway. The project site included a single-family dwelling, two sheds, and a paved driveway. The remaining area on-site is primarily grass with a few trees located at the north easterly portion of the site.

The overall slope of the site is flat and does not exceeding 5%. Generally, the property slopes from northeast to southwest toward Village Street.

At the time of the hydrologic analysis the single-family dwelling has been removed. All other site conditions remain unchanged.

The soil located on site is Scio very fine sandy loam, 223B. Scio soils belong to the hydrologic soil group "B/D". (See attached NRCS soil report.)

Based on sub-surface exploration conducted by William Halsing, SE#2823, on February 15, 2022; the depth to groundwater was determined to be 100-inches (in.). The soil texture varied between loamy-sand and medium sand in the B and C horizons respectively (see attached soil log).

The recharge target depth for hydrologic soil group "B" utilized in the drainage analysis. The Rawls Rate of 2.41 in/hour was used for the rate of infiltration.

3.0 PROPOSED CONDITIONS

A three-unit multi-family dwelling, new paved driveway and stormwater management system shall be constructed on the locus property.

Stormwater analysis was conducted on-site. Two mitigations measures were implemented to manage stormwater. The first is to direct the parking area runoff toward a rain garden. The second is to collect and direct all roof runoff to a StormTech SC-310 infiltration system.

The remaining paved driveway access to the parking area will continue to flow to the municipal drainage system. The proposed runoff area directed to the structure has been reduced by 900 s.f..

4.0 DESIGN CRITERIA AND METHODOLOGY

4.1 Hydrologic Model

Used in the preparation of this hydrologic model were the following:

- Soil Conservation Service (SCS) Technical Release 55
    - Times of Concentration and Curve Numbers
- USDA Web Soil Survey
- Topographic Survey completed by Land Planning, Inc.
- NOAA Atlas 14
- HydroCAD software.

This report was prepared in accordance with the requirements of Volume 3, Chapter 1 of the Massachusetts Stormwater Handbook.

4.2 Design Storms and Rainfall Depth

The 2, 10, and 100-year storms were utilized to determine the runoff from the site. See the following table for rainfall intensities used for each storm event (NOAA Atlas 14).

Storm Events	
Storm Event	**24 Hour Rainfall (Inches)**
2 year	3.37
10 year	5.27
100 year	8.27

5.0 SUMMARY:

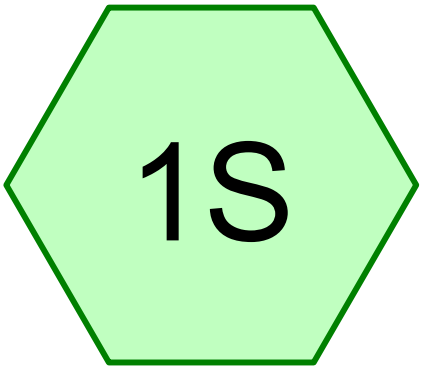
Summary of Peak Flows (cfs)					
2 Year		**10 Year**		**100 Year**	
Pre	**Post**	**Pre**	**Post**	**Pre**	**Post**
0.43	0.41	1.15	1.09	2.52	2.21

6.0 CONCLUSION:

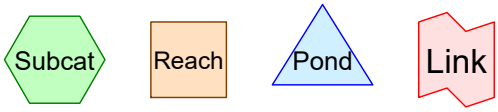
The stormwater management system, as designed, will provide for runoff rates that are less than to predevelopment levels. The proposed stormwater management system meets the objectives and requirements of Stormwater Management Standard 2.

Pre & Post Development Drainage Analysis

PRE-DEVOPMENT



Existing Site



Routing Diagram for pre-development
Prepared by Land Planning, Inc., Printed 4/7/2022
HydroCAD® 10.10-3a s/n 11172 © 2020 HydroCAD Software Solutions LLC

Rainfall Events Listing

Event#	Event Name	Storm Type	Curve	Mode	Duration (hours)	B/B	Depth (inches)	AMC
1	2-yr	Type III 24-hr		Default	24.00	1	3.37	2
2	10-yr	Type III 24-hr		Default	24.00	1	5.27	2
3	25-yr	Type III 24-hr		Default	24.00	1	6.45	2
4	100-yr	Type III 24-hr		Default	24.00	1	8.27	2

Area Listing (all nodes)

Area (sq-ft)	CN	Description (subcatchment-numbers)
17,816	61	>75% Grass cover, Good, HSG B (1S)
2,855	98	Paved parking, HSG B (1S)
1,929	98	Roofs, HSG B (1S)

Time span=0.00-24.00 hrs, dt=0.05 hrs, 481 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1S: Existing Site Runoff Area=22,600 sf 21.17% Impervious Runoff Depth>0.88"
Flow Length=349' Tc=8.5 min CN=69 Runoff=0.43 cfs 1,648 cf

Summary for Subcatchment 1S: Existing Site

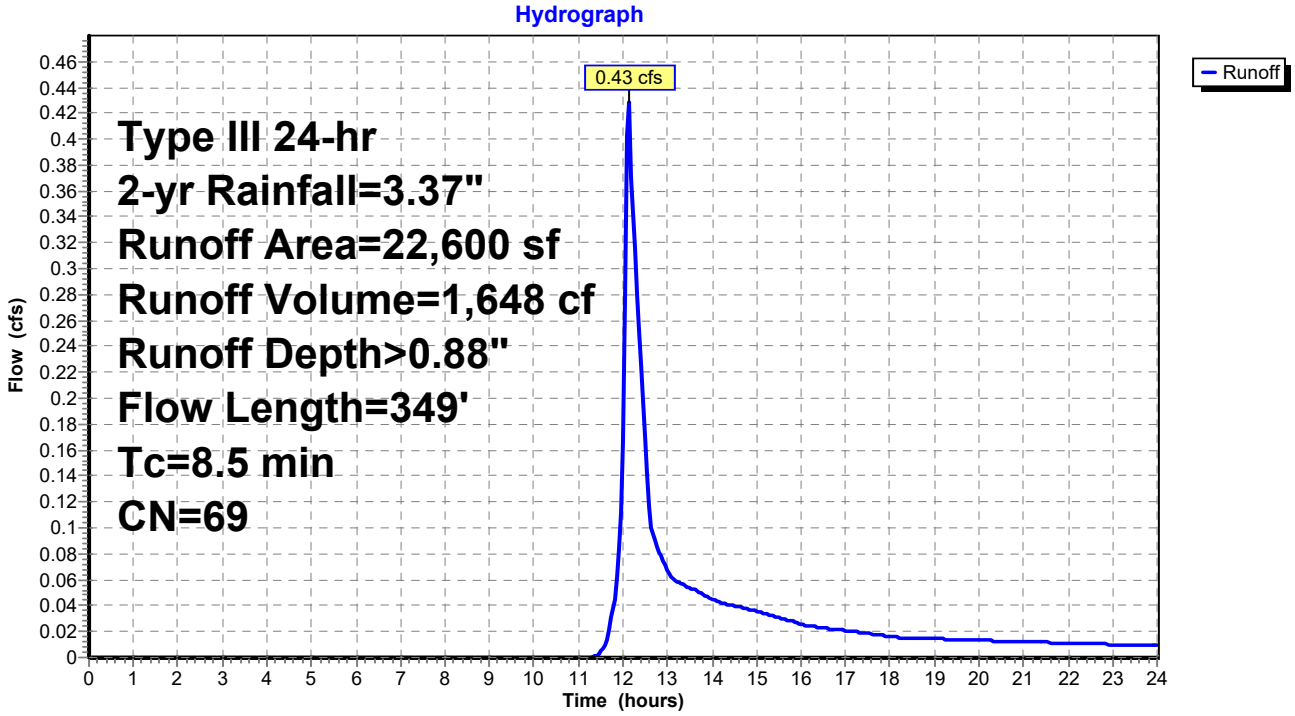
Runoff = 0.43 cfs @ 12.14 hrs, Volume= 1,648 cf, Depth> 0.88"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
Type III 24-hr 2-yr Rainfall=3.37"

Area (sf)	CN	Description
1,929	98	Roofs, HSG B
2,855	98	Paved parking, HSG B
17,816	61	>75% Grass cover, Good, HSG B
22,600	69	Weighted Average
17,816		78.83% Pervious Area
4,784		21.17% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.5	50	0.0200	0.15		**Sheet Flow,** Grass: Short n= 0.150 P2= 3.37"
1.1	56	0.0150	0.86		**Shallow Concentrated Flow,** Short Grass Pasture Kv= 7.0 fps
1.9	243	0.0110	2.13		**Shallow Concentrated Flow,** Paved Kv= 20.3 fps
8.5	349	Total			

Subcatchment 1S: Existing Site



Time span=0.00-24.00 hrs, dt=0.05 hrs, 481 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1S: Existing Site Runoff Area=22,600 sf 21.17% Impervious Runoff Depth>2.15"
Flow Length=349' Tc=8.5 min CN=69 Runoff=1.15 cfs 4,053 cf

Summary for Subcatchment 1S: Existing Site

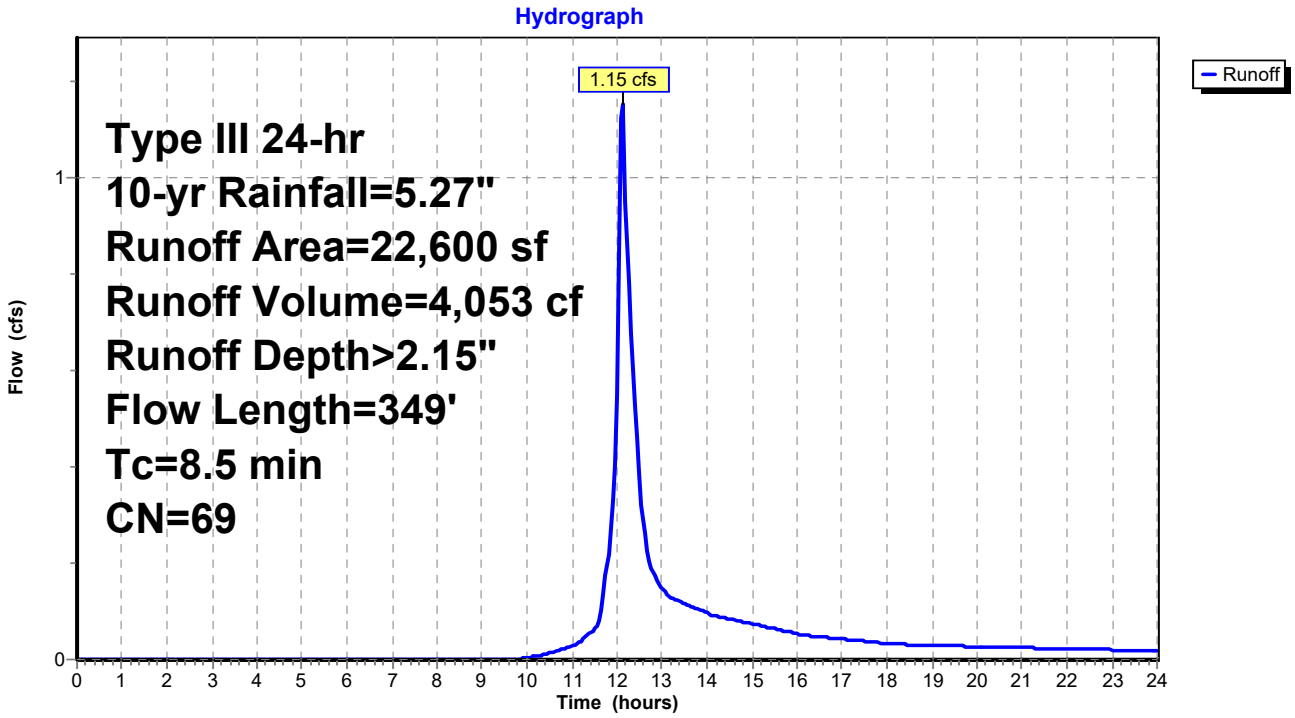
Runoff = 1.15 cfs @ 12.13 hrs, Volume= 4,053 cf, Depth> 2.15"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
Type III 24-hr 10-yr Rainfall=5.27"

Area (sf)	CN	Description
1,929	98	Roofs, HSG B
2,855	98	Paved parking, HSG B
17,816	61	>75% Grass cover, Good, HSG B
22,600	69	Weighted Average
17,816		78.83% Pervious Area
4,784		21.17% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.5	50	0.0200	0.15		**Sheet Flow,** Grass: Short n= 0.150 P2= 3.37"
1.1	56	0.0150	0.86		**Shallow Concentrated Flow,** Short Grass Pasture Kv= 7.0 fps
1.9	243	0.0110	2.13		**Shallow Concentrated Flow,** Paved Kv= 20.3 fps
8.5	349	Total			

Subcatchment 1S: Existing Site



Time span=0.00-24.00 hrs, dt=0.05 hrs, 481 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1S: Existing Site Runoff Area=22,600 sf 21.17% Impervious Runoff Depth>4.57"
Flow Length=349' Tc=8.5 min CN=69 Runoff=2.52 cfs 8,614 cf

Summary for Subcatchment 1S: Existing Site

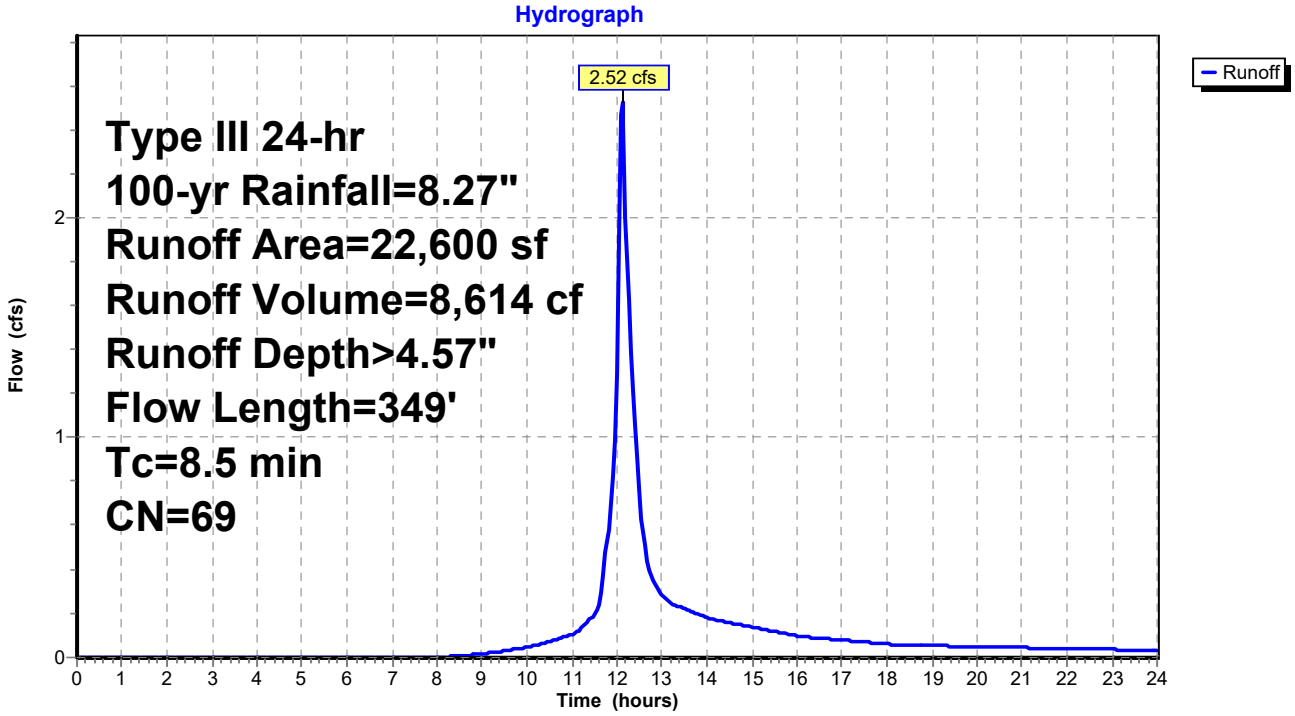
Runoff = 2.52 cfs @ 12.12 hrs, Volume= 8,614 cf, Depth> 4.57"

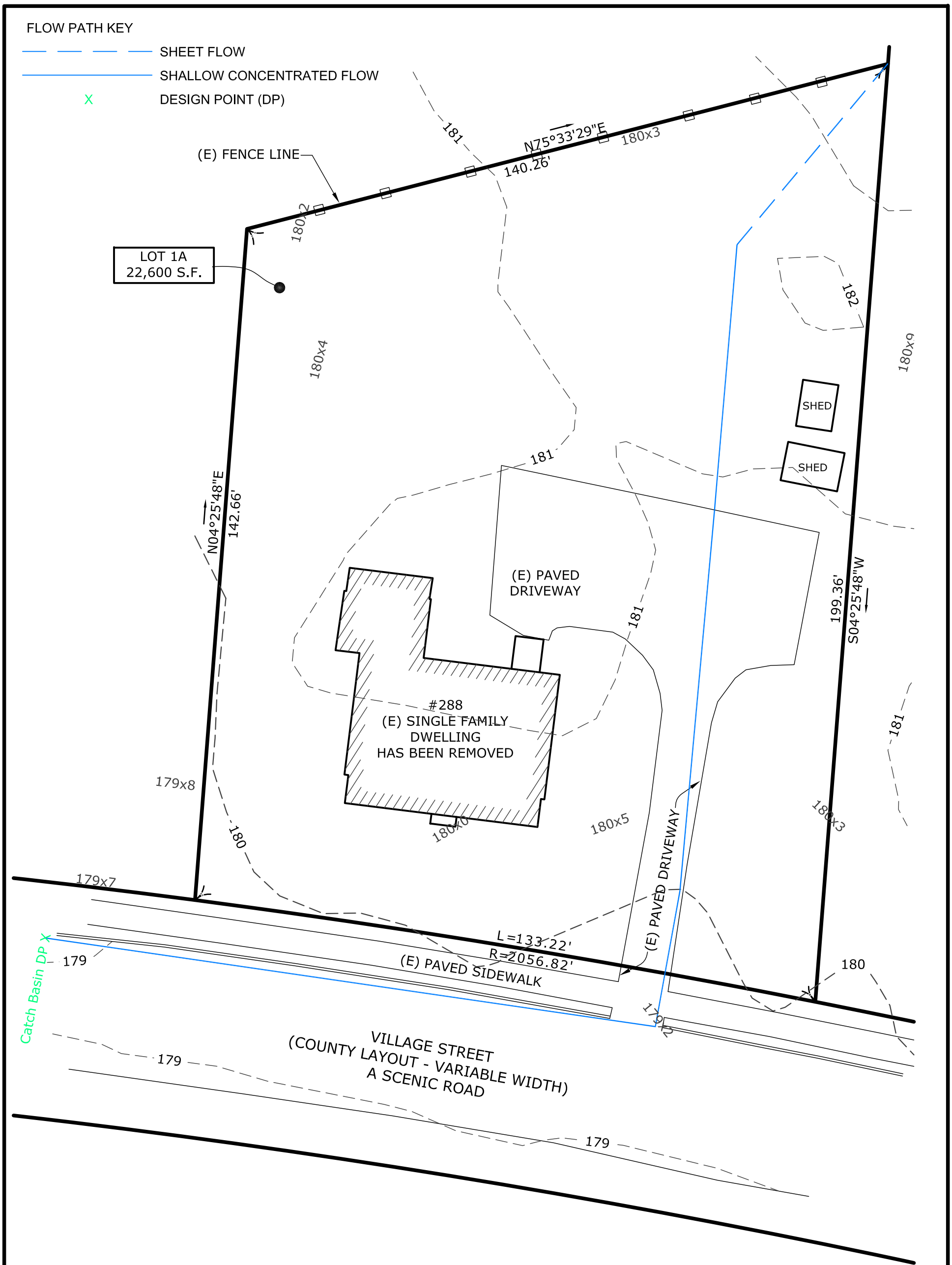
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
Type III 24-hr 100-yr Rainfall=8.27"

Area (sf)	CN	Description
1,929	98	Roofs, HSG B
2,855	98	Paved parking, HSG B
17,816	61	>75% Grass cover, Good, HSG B
22,600	69	Weighted Average
17,816		78.83% Pervious Area
4,784		21.17% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.5	50	0.0200	0.15		**Sheet Flow,** Grass: Short n= 0.150 P2= 3.37"
1.1	56	0.0150	0.86		**Shallow Concentrated Flow,** Short Grass Pasture Kv= 7.0 fps
1.9	243	0.0110	2.13		**Shallow Concentrated Flow,** Paved Kv= 20.3 fps
8.5	349	Total			

Subcatchment 1S: Existing Site





PRE - DEVELOPEMENT
DRAINAGE ANALYSIS

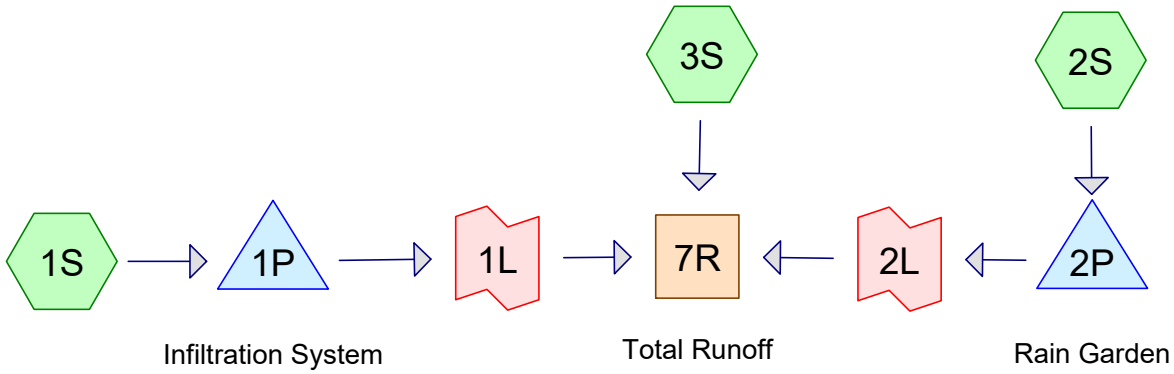
Located at
288 Village Street
Medway, MA

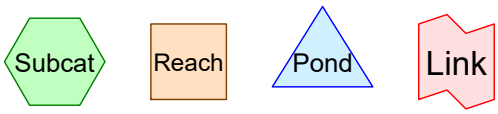
Scale: 1"=20'

Land Planning, Inc.
Civil Engineers • Land Surveyors
Environmental Consultants
214 Worcester St., N. Grafton, MA 01536
508-839-9526

Date	April 5, 2022	Sheet No.
Job No.	B1483	1 of 1

POST-DEVELOPEMENT





Routing Diagram for post- development
Prepared by Land Planning, Inc., Printed 4/7/2022
HydroCAD® 10.10-3a s/n 11172 © 2020 HydroCAD Software Solutions LLC

Rainfall Events Listing

Event#	Event Name	Storm Type	Curve	Mode	Duration (hours)	B/B	Depth (inches)	AMC
1	2-yr	Type III 24-hr		Default	24.00	1	3.37	2
2	10-yr	Type III 24-hr		Default	24.00	1	5.27	2
3	25-yr	Type III 24-hr		Default	24.00	1	6.45	2
4	100-yr	Type III 24-hr		Default	24.00	1	8.27	2

Area Listing (all nodes)

Area (sq-ft)	CN	Description (subcatchment-numbers)
13,364	61	>75% Grass cover, Good, HSG B (2S, 3S)
5,821	98	Paved parking, HSG B (2S, 3S)
3,415	98	Unconnected roofs, HSG B (1S)

Time span=0.00-24.00 hrs, dt=0.05 hrs, 481 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1S: Runoff Area=3,415 sf 100.00% Impervious Runoff Depth>3.14"
Flow Length=19' Slope=0.6700 '/' Tc=0.1 min CN=98 Runoff=0.29 cfs 893 cf

Subcatchment 2S: Runoff Area=5,557 sf 57.44% Impervious Runoff Depth>1.67"
Flow Length=137' Tc=4.0 min CN=82 Runoff=0.26 cfs 776 cf

Subcatchment 3S: Runoff Area=13,628 sf 19.29% Impervious Runoff Depth>0.83"
Flow Length=296' Tc=5.2 min CN=68 Runoff=0.27 cfs 938 cf

Reach 7R: Total Runoff Inflow=0.41 cfs 1,042 cf
Outflow=0.41 cfs 1,042 cf

Pond 1P: Infiltration System Peak Elev=176.77' Storage=155 cf Inflow=0.29 cfs 893 cf
Discarded=0.04 cfs 789 cf Primary=0.16 cfs 104 cf Outflow=0.20 cfs 892 cf

Pond 2P: Rain Garden Peak Elev=178.54' Storage=277 cf Inflow=0.26 cfs 776 cf
Discarded=0.03 cfs 775 cf Primary=0.00 cfs 0 cf Outflow=0.03 cfs 775 cf

Link 1L: delayed by 1.6 min Inflow=0.16 cfs 104 cf
Primary=0.14 cfs 104 cf

Link 2L: delayed by 1.6 min Inflow=0.00 cfs 0 cf
Primary=0.00 cfs 0 cf

Summary for Subcatchment 1S:

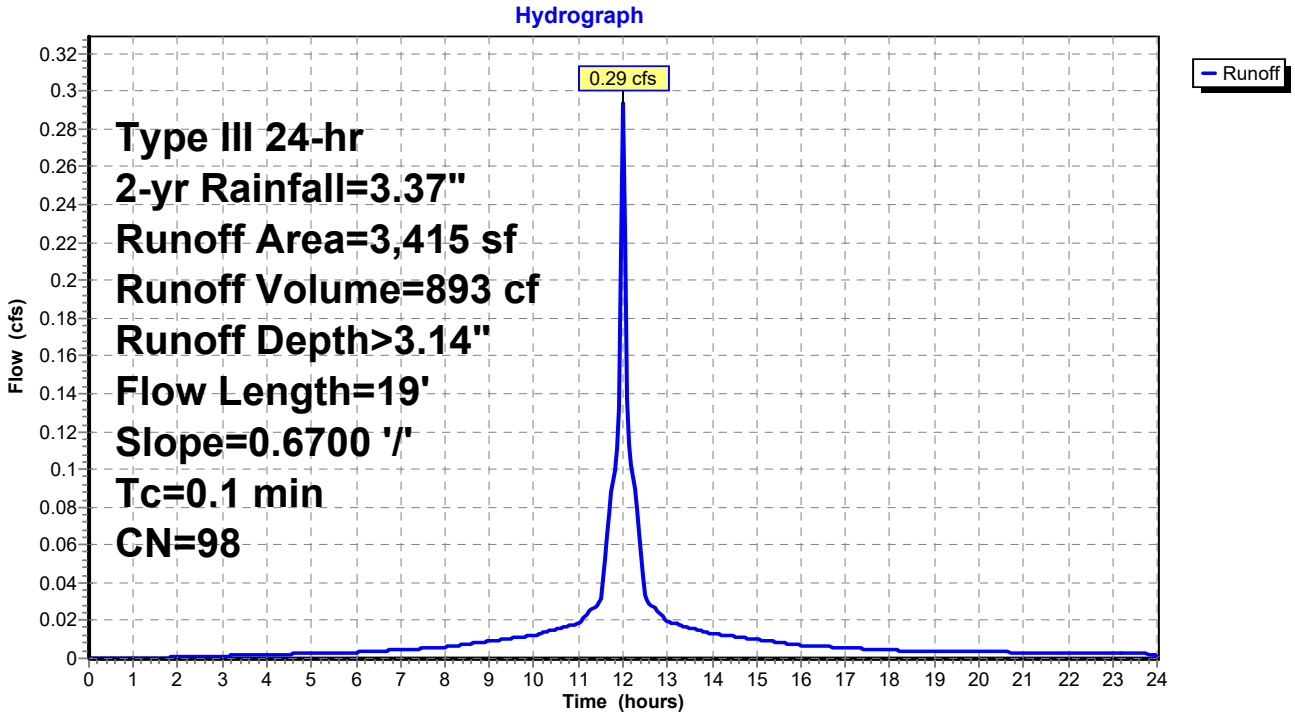
Runoff = 0.29 cfs @ 12.00 hrs, Volume= 893 cf, Depth> 3.14"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
Type III 24-hr 2-yr Rainfall=3.37"

Area (sf)	CN	Description
3,415	98	Unconnected roofs, HSG B
3,415		100.00% Impervious Area
3,415		100.00% Unconnected

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
0.1	19	0.6700	4.13		**Sheet Flow,** Smooth surfaces n= 0.011 P2= 3.37"
0.0					**Direct Entry,**
0.1	19	Total			

Subcatchment 1S:



Summary for Subcatchment 2S:

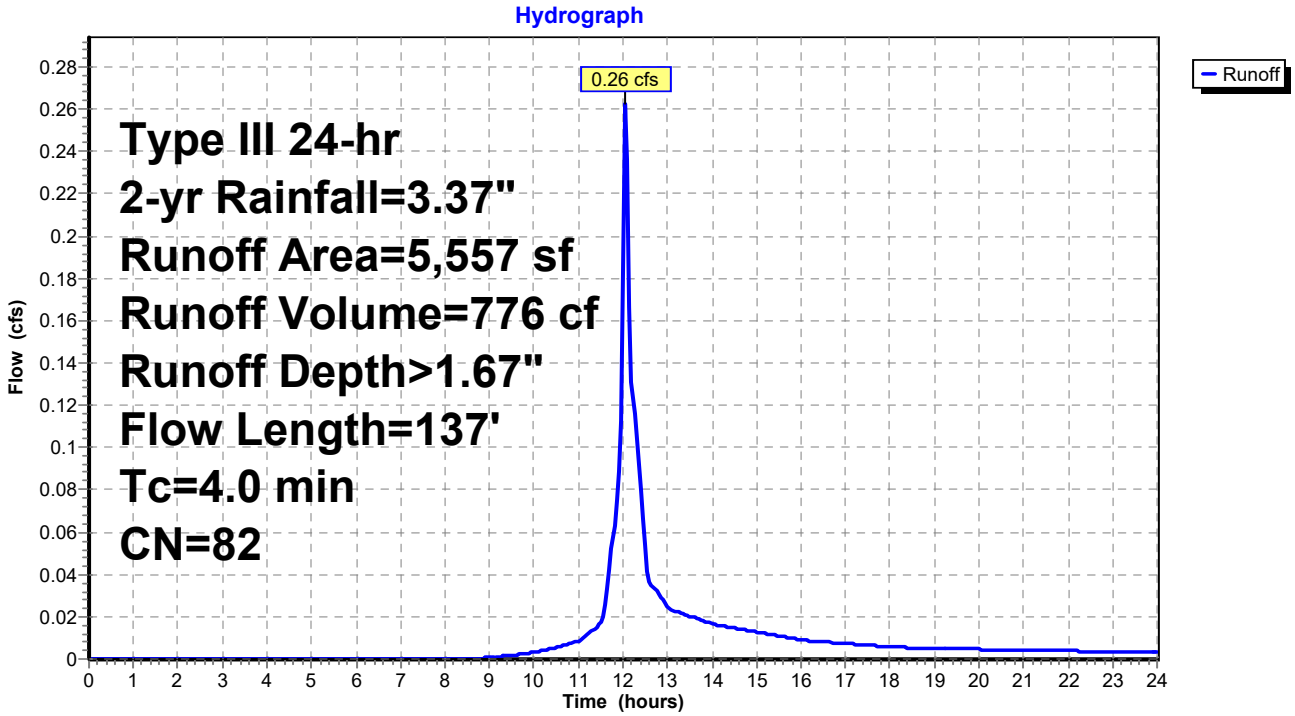
Runoff = 0.26 cfs @ 12.06 hrs, Volume= 776 cf, Depth> 1.67"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
Type III 24-hr 2-yr Rainfall=3.37"

Area (sf)	CN	Description
3,192	98	Paved parking, HSG B
2,365	61	>75% Grass cover, Good, HSG B
5,557	82	Weighted Average
2,365		42.56% Pervious Area
3,192		57.44% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
0.4	27	0.0200	1.09		**Sheet Flow,** Smooth surfaces n= 0.011 P2= 3.37"
2.9	23	0.0200	0.13		**Sheet Flow,** Grass: Short n= 0.150 P2= 3.37"
0.2	12	0.0200	0.99		**Shallow Concentrated Flow,** Short Grass Pasture Kv= 7.0 fps
0.5	75	0.0130	2.31		**Shallow Concentrated Flow,** Paved Kv= 20.3 fps
4.0	137	Total			

Subcatchment 2S:



Summary for Subcatchment 3S:

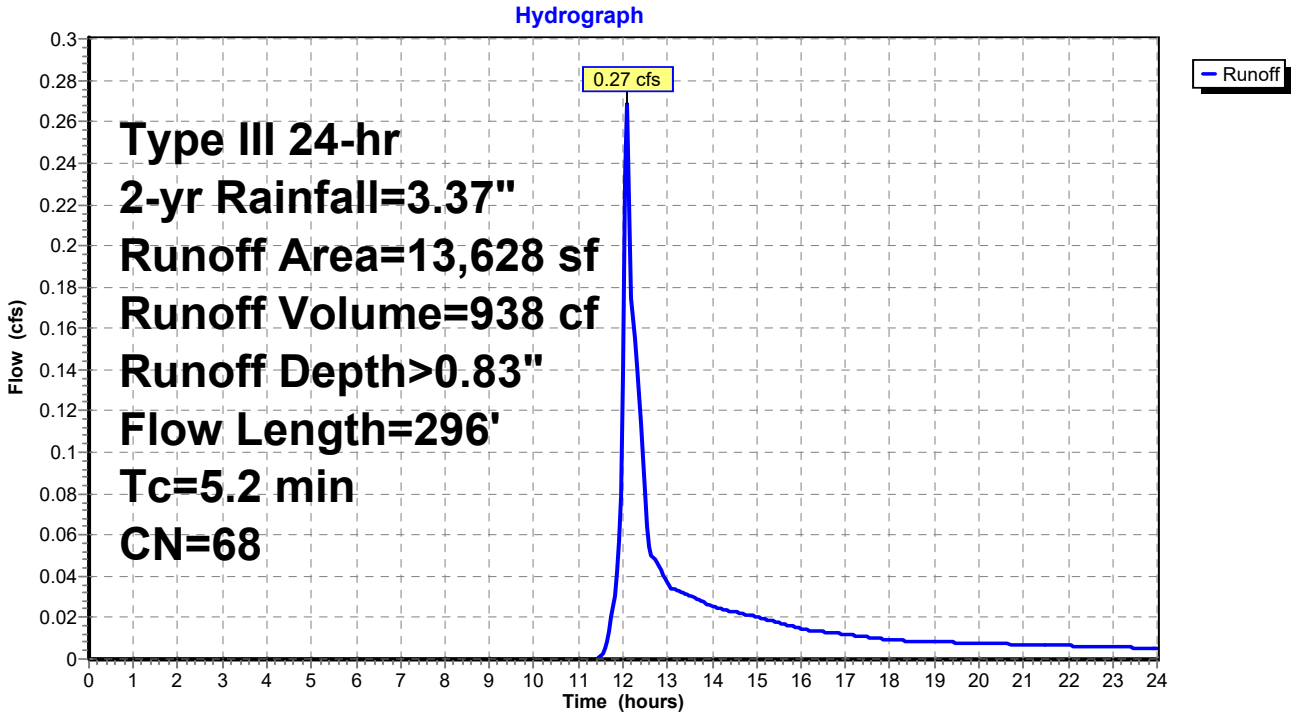
Runoff = 0.27 cfs @ 12.10 hrs, Volume= 938 cf, Depth> 0.83"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
Type III 24-hr 2-yr Rainfall=3.37"

Area (sf)	CN	Description
2,629	98	Paved parking, HSG B
10,999	61	>75% Grass cover, Good, HSG B
13,628	68	Weighted Average
10,999		80.71% Pervious Area
2,629		19.29% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
0.4	27	0.0200	1.09		**Sheet Flow,** Smooth surfaces n= 0.011 P2= 3.37"
2.9	23	0.0200	0.13		**Sheet Flow,** Grass: Short n= 0.150 P2= 3.37"
0.2	12	0.0200	0.99		**Shallow Concentrated Flow,** Short Grass Pasture Kv= 7.0 fps
1.7	234	0.0130	2.31		**Shallow Concentrated Flow,** Paved Kv= 20.3 fps
5.2	296	Total			

Subcatchment 3S:

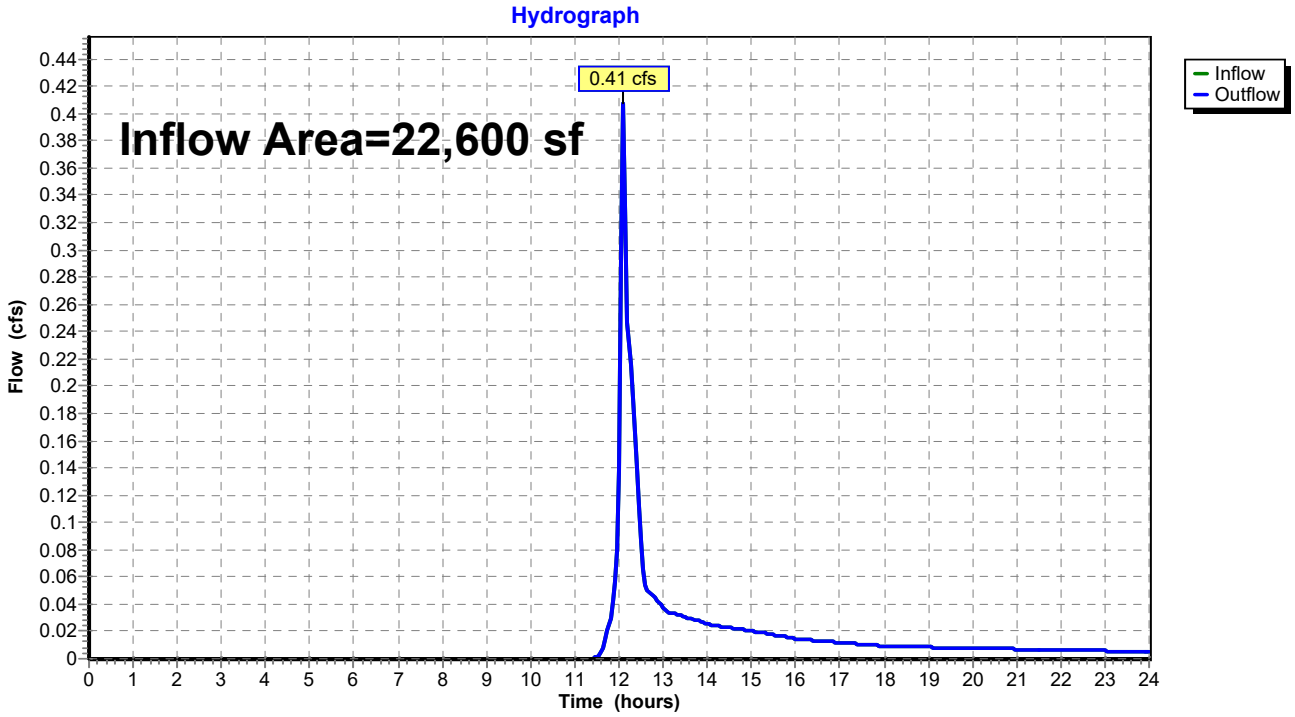


Summary for Reach 7R: Total Runoff

Inflow Area = 22,600 sf, 40.87% Impervious, Inflow Depth > 0.55" for 2-yr event
Inflow = 0.41 cfs @ 12.10 hrs, Volume= 1,042 cf
Outflow = 0.41 cfs @ 12.10 hrs, Volume= 1,042 cf, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind+Trans method, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs

Reach 7R: Total Runoff



Summary for Pond 1P: Infiltration System

Inflow Area = 3,415 sf,100.00% Impervious, Inflow Depth > 3.14" for 2-yr event
Inflow = 0.29 cfs @ 12.00 hrs, Volume= 893 cf
Outflow = 0.20 cfs @ 12.07 hrs, Volume= 892 cf, Atten= 32%, Lag= 4.4 min
Discarded = 0.04 cfs @ 12.07 hrs, Volume= 789 cf
Primary = 0.16 cfs @ 12.07 hrs, Volume= 104 cf

Routing by Stor-Ind method, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
Peak Elev= 176.77' @ 12.07 hrs Surf.Area= 681 sf Storage= 155 cf

Plug-Flow detention time= 16.1 min calculated for 891 cf (100% of inflow)
Center-of-Mass det. time= 15.8 min (765.7 - 749.9)

Volume	Invert	Avail.Storage	Storage Description
#1A	176.20'	630 cf	**21.50'W x 31.68'L x 2.83'H Field A** 1,930 cf Overall - 354 cf Embedded = 1,576 cf x 40.0% Voids
#2A	177.20'	354 cf	**ADS_StormTech SC-310 +Cap** x 24 Inside #1 Effective Size= 28.9"W x 16.0"H => 2.07 sf x 7.12'L = 14.7 cf Overall Size= 34.0"W x 16.0"H x 7.56'L with 0.44' Overlap 24 Chambers in 6 Rows
		984 cf	Total Available Storage

Storage Group A created with Chamber Wizard

Device	Routing	Invert	Outlet Devices
#1	Discarded	176.20'	**2.410 in/hr Exfiltration over Surface area** Conductivity to Groundwater Elevation = 172.43'
#2	Primary	176.70'	**6.0" Horiz. Orifice/Grate X 2.00** C= 0.600 Limited to weir flow at low heads

Discarded OutFlow Max=0.04 cfs @ 12.07 hrs HW=176.76' (Free Discharge)
└**1=Exfiltration** (Controls 0.04 cfs)

Primary OutFlow Max=0.14 cfs @ 12.07 hrs HW=176.76' (Free Discharge)
└**2=Orifice/Grate** (Weir Controls 0.14 cfs @ 0.77 fps)

Pond 1P: Infiltration System - Chamber Wizard Field A

Chamber Model = ADS_StormTech SC-310 +Cap (ADS StormTech® SC-310 with cap length)
Effective Size= 28.9"W x 16.0"H => 2.07 sf x 7.12'L = 14.7 cf
Overall Size= 34.0"W x 16.0"H x 7.56'L with 0.44' Overlap

34.0" Wide + 6.0" Spacing = 40.0" C-C Row Spacing

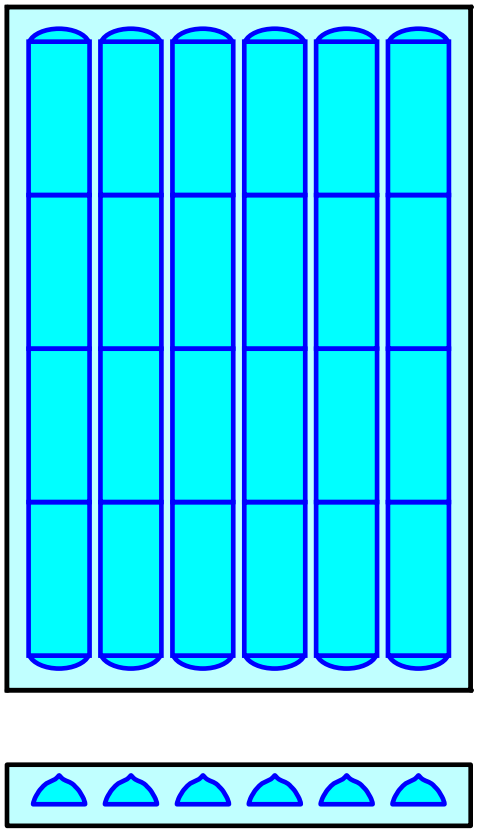
4 Chambers/Row x 7.12' Long +0.60' Cap Length x 2 = 29.68' Row Length +12.0" End Stone x 2 = 31.68' Base Length
6 Rows x 34.0" Wide + 6.0" Spacing x 5 + 12.0" Side Stone x 2 = 21.50' Base Width
12.0" Stone Base + 16.0" Chamber Height + 6.0" Stone Cover = 2.83' Field Height

24 Chambers x 14.7 cf = 353.8 cf Chamber Storage

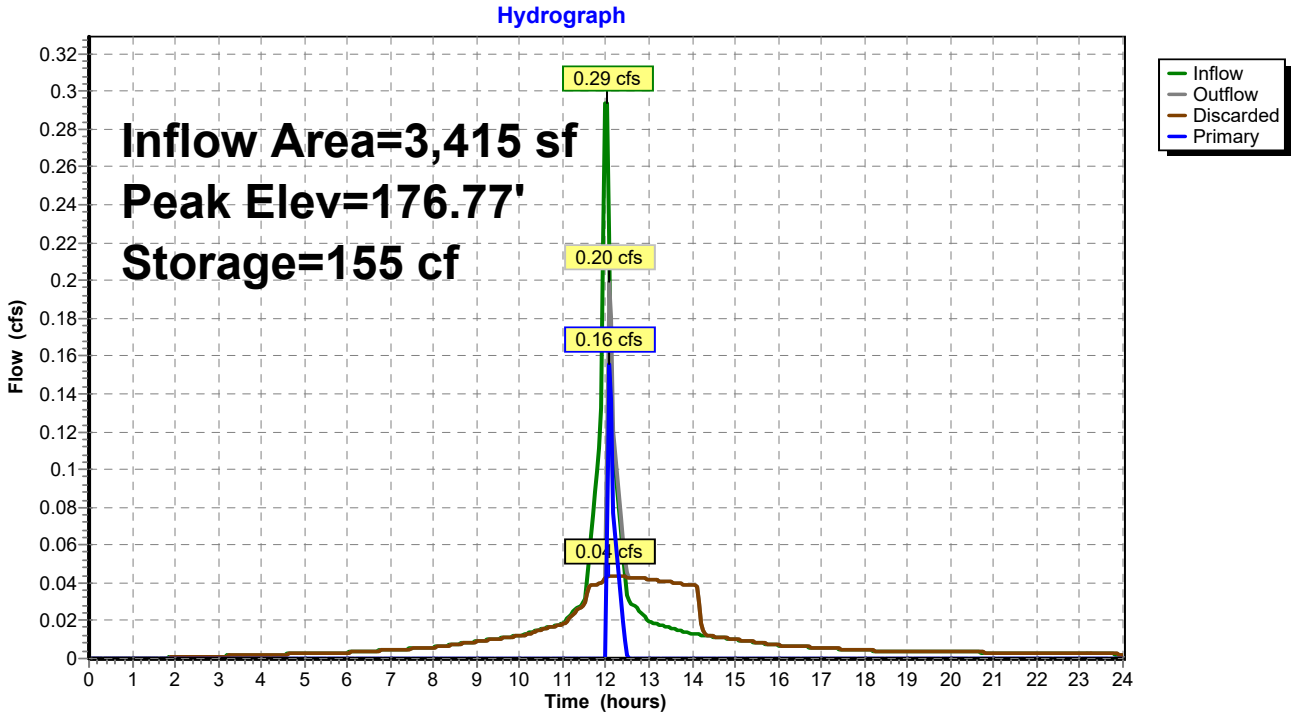
1,929.8 cf Field - 353.8 cf Chambers = 1,576.0 cf Stone x 40.0% Voids = 630.4 cf Stone Storage

Chamber Storage + Stone Storage = 984.2 cf = 0.023 af
Overall Storage Efficiency = 51.0%
Overall System Size = 31.68' x 21.50' x 2.83'

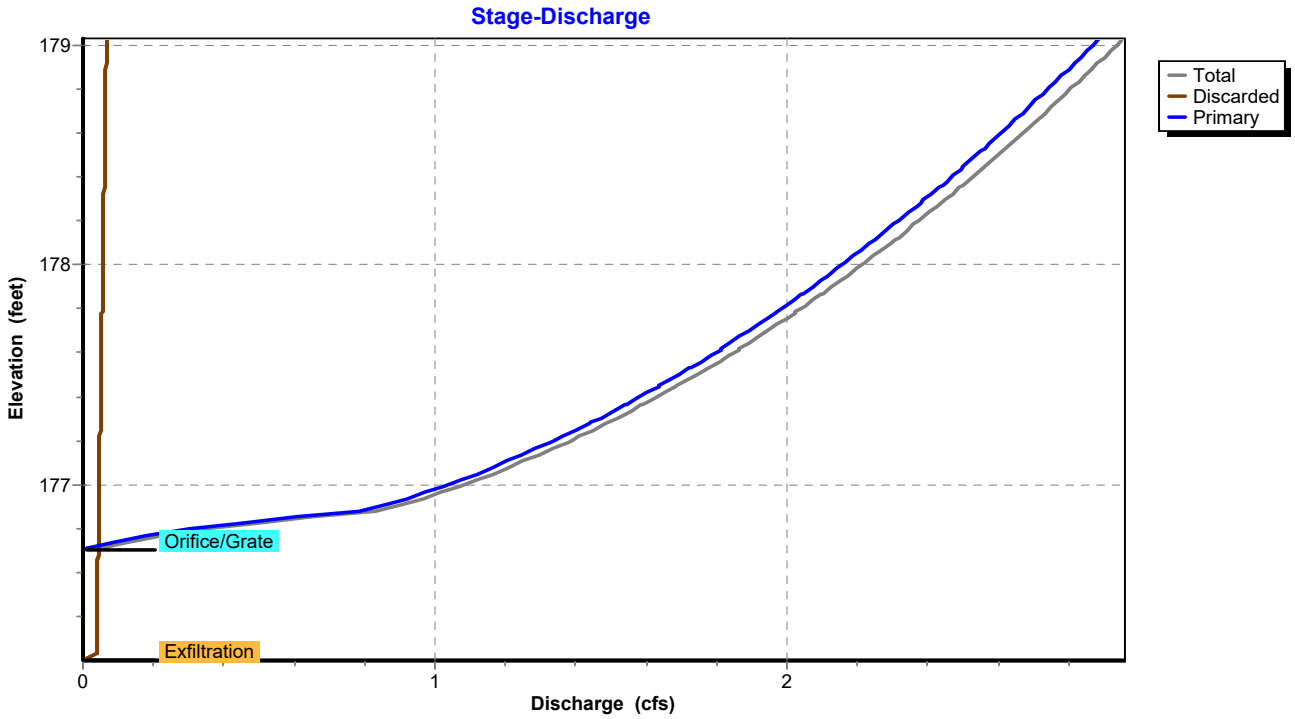
24 Chambers
71.5 cy Field
58.4 cy Stone



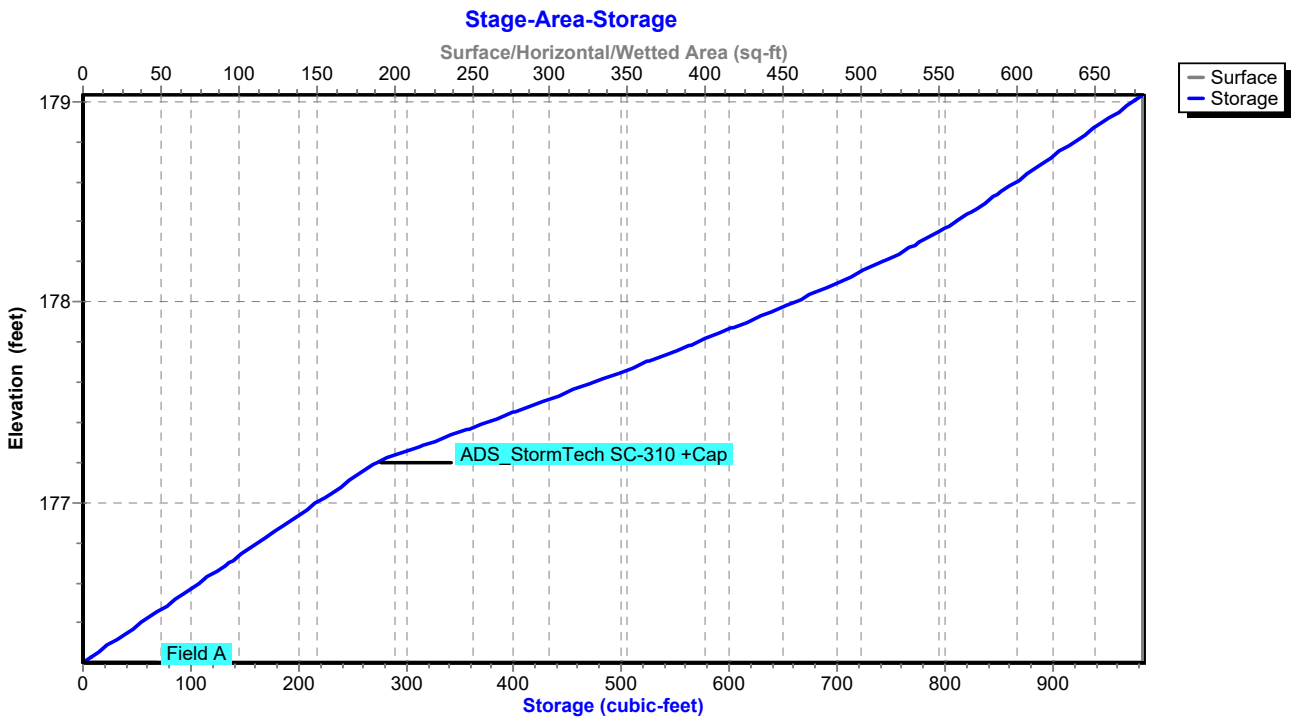
Pond 1P: Infiltration System



Pond 1P: Infiltration System



Pond 1P: Infiltration System



Summary for Pond 2P: Rain Garden

Inflow Area =	5,557 sf, 57.44% Impervious, Inflow Depth > 1.67" for 2-yr event				
Inflow =	0.26 cfs @	12.06 hrs, Volume=	776 cf		
Outflow =	0.03 cfs @	12.78 hrs, Volume=	775 cf, Atten= 88%, Lag= 42.9 min		
Discarded =	0.03 cfs @	12.78 hrs, Volume=	775 cf		
Primary =	0.00 cfs @	0.00 hrs, Volume=	0 cf		

Routing by Stor-Ind method, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs / 2
Peak Elev= 178.54' @ 12.78 hrs Surf.Area= 390 sf Storage= 277 cf

Plug-Flow detention time= 79.5 min calculated for 775 cf (100% of inflow)
Center-of-Mass det. time= 78.8 min (910.4 - 831.6)

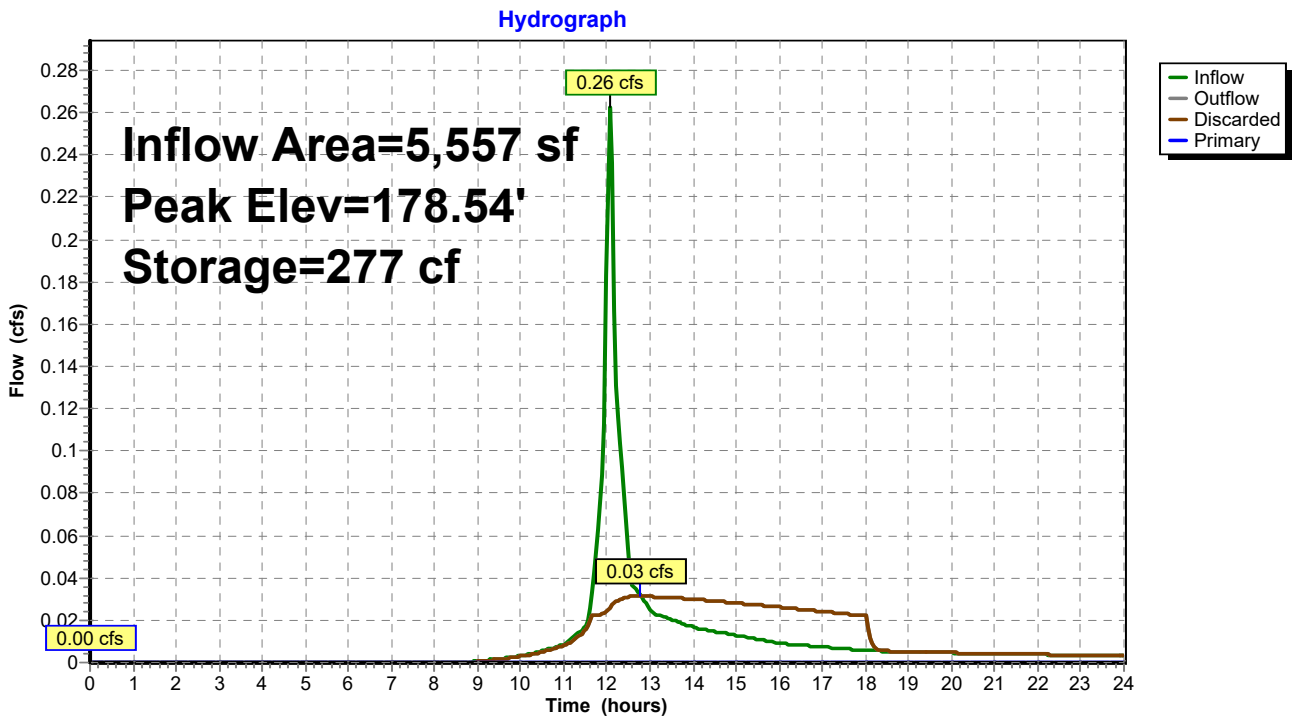
Volume	Invert	Avail.Storage	Storage Description
#1	180.09'	365 cf	**15.00'W x 26.00'L x 0.91'H Prismatoid-ponding depth Z=0.3**
#2	179.76'	51 cf	**15.00'W x 26.00'L x 0.33'H Prismatoid-mulch** 129 cf Overall x 40.0% Voids
#3	176.76'	624 cf	**15.00'W x 26.00'L x 4.00'H Prismatoid-planting medium** 1,560 cf Overall x 40.0% Voids
		1,041 cf	Total Available Storage

Device	Routing	Invert	Outlet Devices
#1	Discarded	176.76'	**2.410 in/hr Exfiltration over Surface area** Conductivity to Groundwater Elevation = 172.67' Phase-In= 0.01'
#2	Primary	180.59'	**2.0' long x 4.0' breadth Broad-Crested Rectangular Weir** Head (feet) 0.20 0.40 0.60 0.80 1.00 1.20 1.40 1.60 1.80 2.00 2.50 3.00 3.50 4.00 4.50 5.00 5.50 Coef. (English) 2.38 2.54 2.69 2.68 2.67 2.67 2.65 2.66 2.66 2.68 2.72 2.73 2.76 2.79 2.88 3.07 3.32

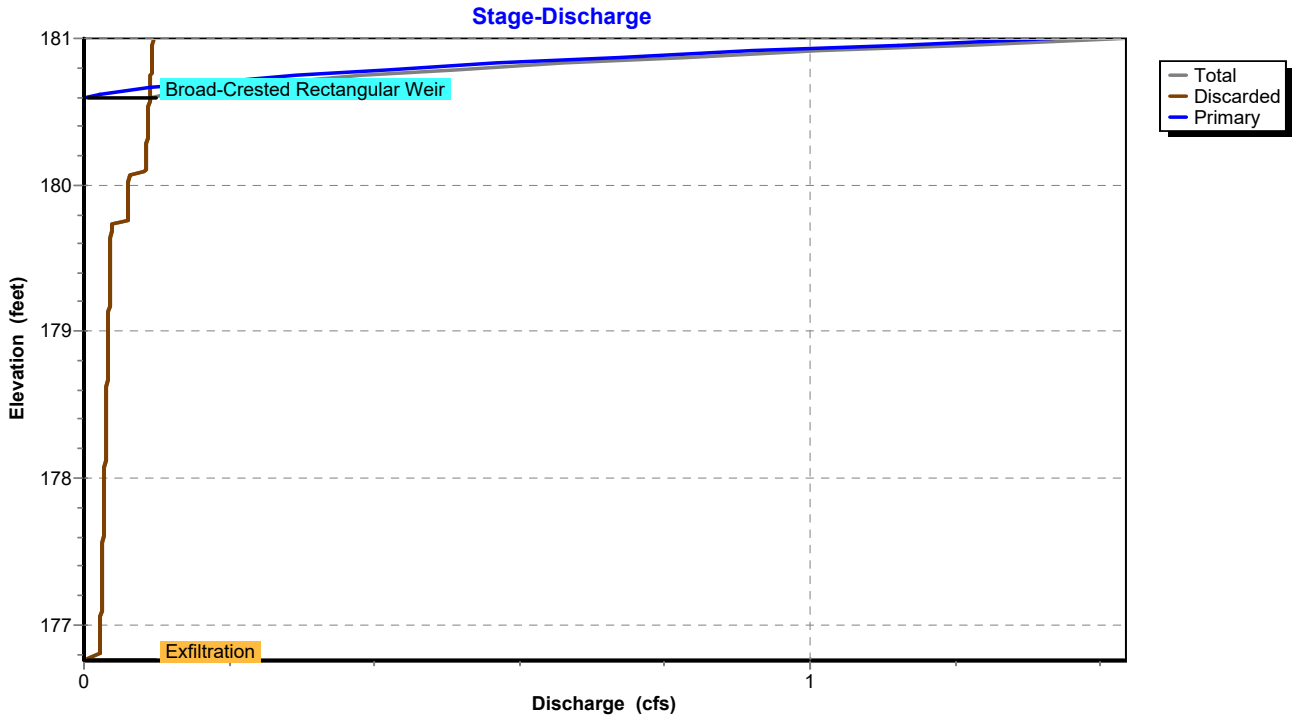
Discarded OutFlow Max=0.03 cfs @ 12.78 hrs HW=178.54' (Free Discharge)
└**1=Exfiltration** (Controls 0.03 cfs)

Primary OutFlow Max=0.00 cfs @ 0.00 hrs HW=176.76' (Free Discharge)
└**2=Broad-Crested Rectangular Weir** (Controls 0.00 cfs)

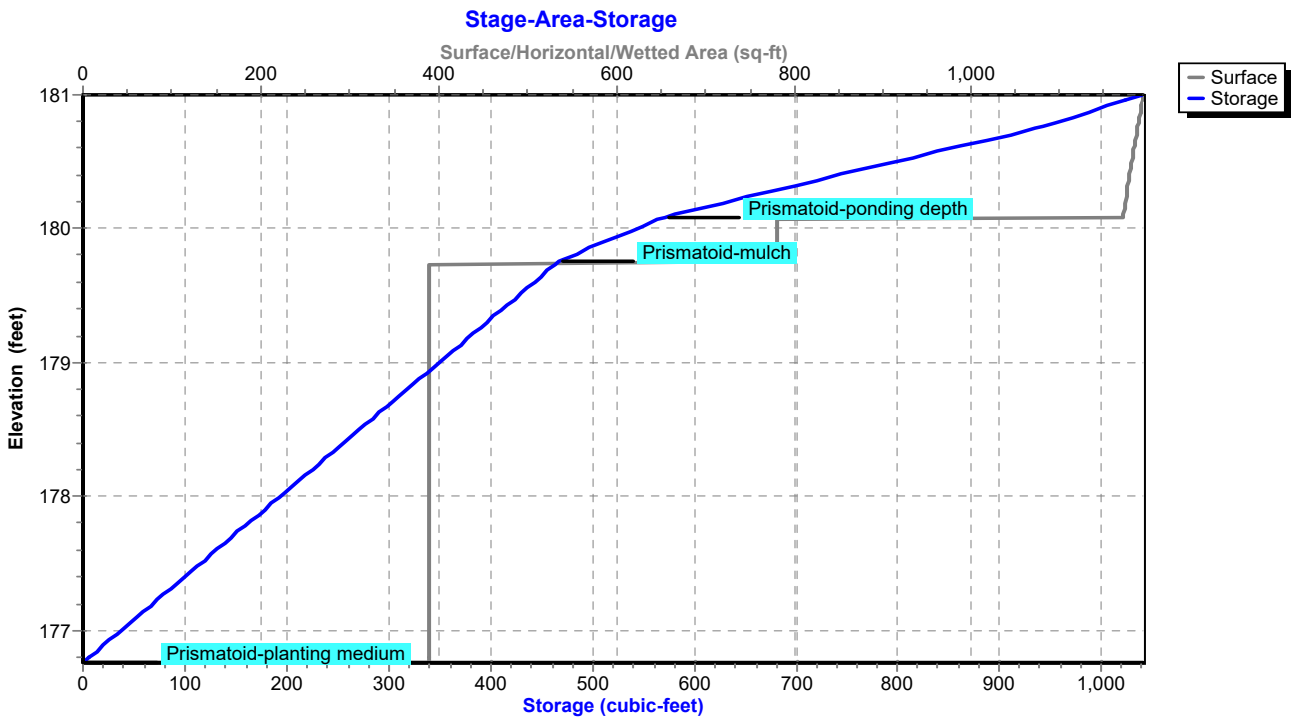
Pond 2P: Rain Garden



Pond 2P: Rain Garden



Pond 2P: Rain Garden

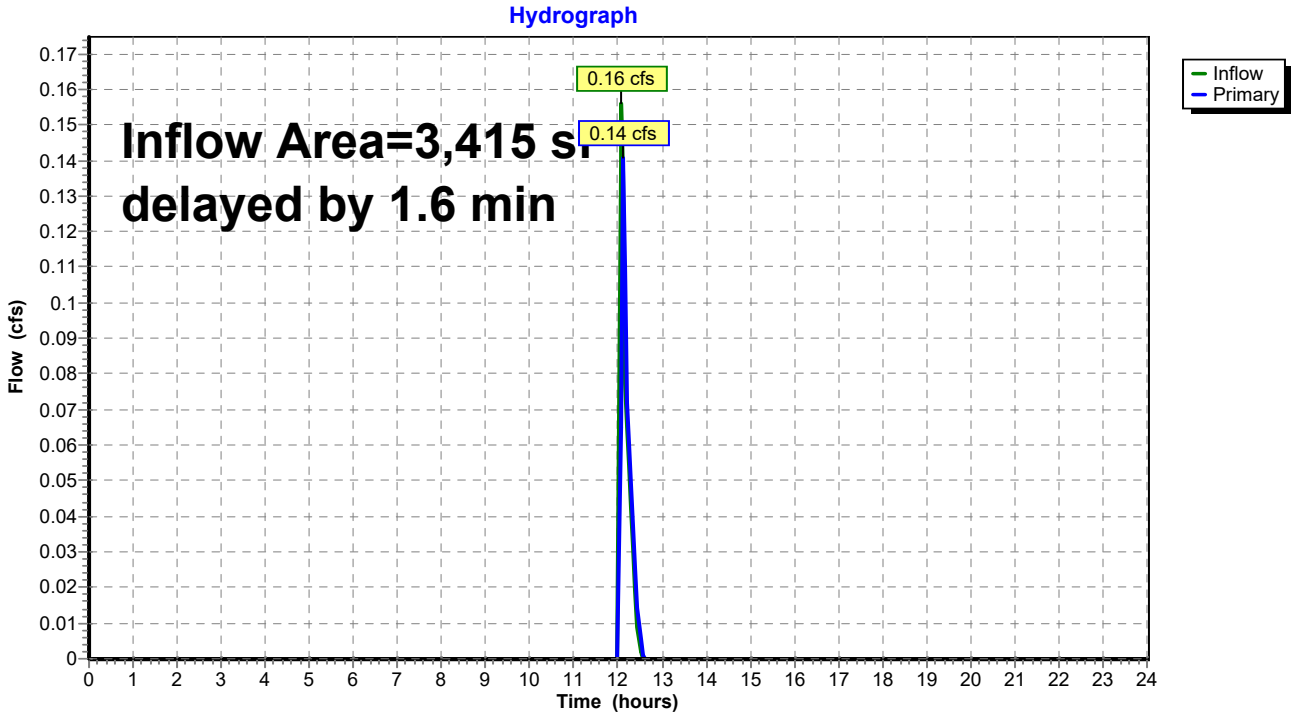


Summary for Link 1L:

Inflow Area = 3,415 sf,100.00% Impervious, Inflow Depth = 0.36" for 2-yr event
Inflow = 0.16 cfs @ 12.07 hrs, Volume= 104 cf
Primary = 0.14 cfs @ 12.11 hrs, Volume= 104 cf, Atten= 10%, Lag= 2.2 min

Primary outflow = Inflow delayed by 1.6 min, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs

Link 1L:

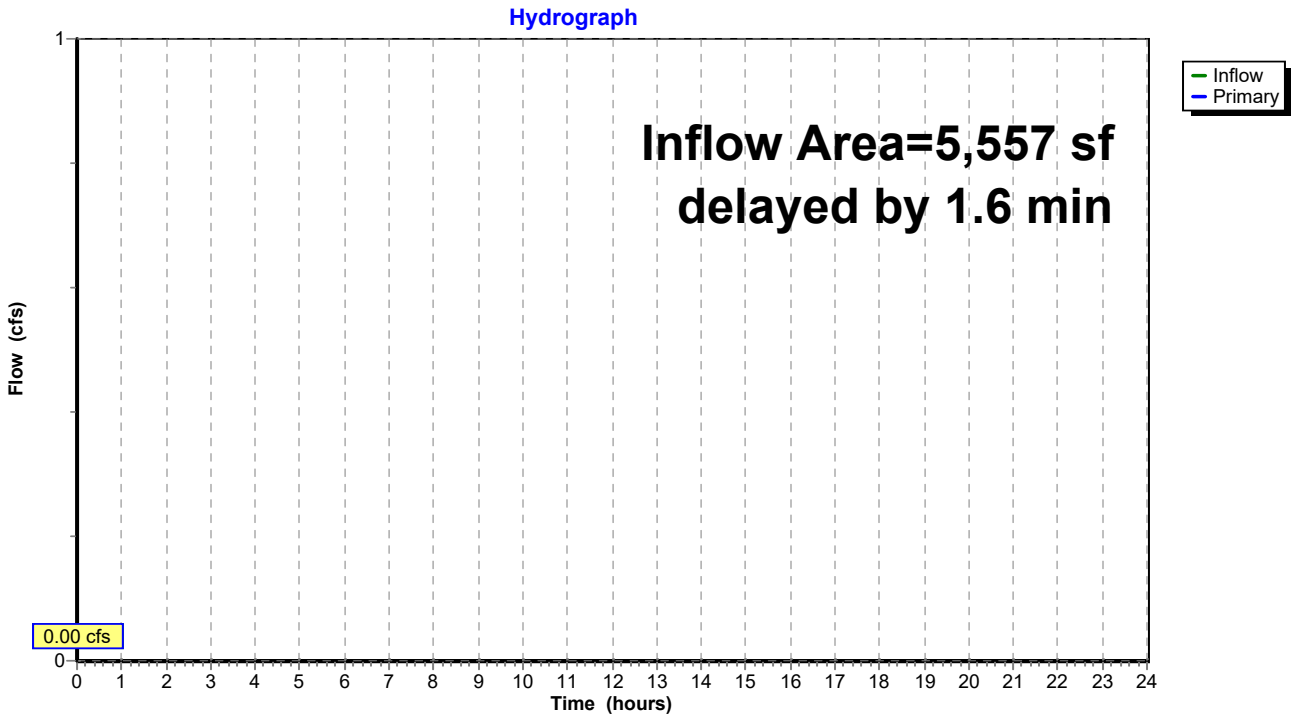


Summary for Link 2L:

Inflow Area = 5,557 sf, 57.44% Impervious, Inflow Depth = 0.00" for 2-yr event
Inflow = 0.00 cfs @ 0.00 hrs, Volume= 0 cf
Primary = 0.00 cfs @ 0.00 hrs, Volume= 0 cf, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow delayed by 1.6 min, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs

Link 2L:



Time span=0.00-24.00 hrs, dt=0.05 hrs, 481 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1S: Runoff Area=3,415 sf 100.00% Impervious Runoff Depth>5.03"
Flow Length=19' Slope=0.6700 '/' Tc=0.1 min CN=98 Runoff=0.46 cfs 1,432 cf

Subcatchment 2S: Runoff Area=5,557 sf 57.44% Impervious Runoff Depth>3.32"
Flow Length=137' Tc=4.0 min CN=82 Runoff=0.52 cfs 1,538 cf

Subcatchment 3S: Runoff Area=13,628 sf 19.29% Impervious Runoff Depth>2.07"
Flow Length=296' Tc=5.2 min CN=68 Runoff=0.74 cfs 2,353 cf

Reach 7R: Total Runoff Inflow=1.09 cfs 2,682 cf
Outflow=1.09 cfs 2,682 cf

Pond 1P: Infiltration System Peak Elev=176.82' Storage=168 cf Inflow=0.46 cfs 1,432 cf
Discarded=0.04 cfs 1,103 cf Primary=0.41 cfs 328 cf Outflow=0.45 cfs 1,432 cf

Pond 2P: Rain Garden Peak Elev=180.13' Storage=591 cf Inflow=0.52 cfs 1,538 cf
Discarded=0.08 cfs 1,535 cf Primary=0.00 cfs 0 cf Outflow=0.08 cfs 1,535 cf

Link 1L: delayed by 1.6 min Inflow=0.41 cfs 328 cf
Primary=0.38 cfs 328 cf

Link 2L: delayed by 1.6 min Inflow=0.00 cfs 0 cf
Primary=0.00 cfs 0 cf

Summary for Subcatchment 1S:

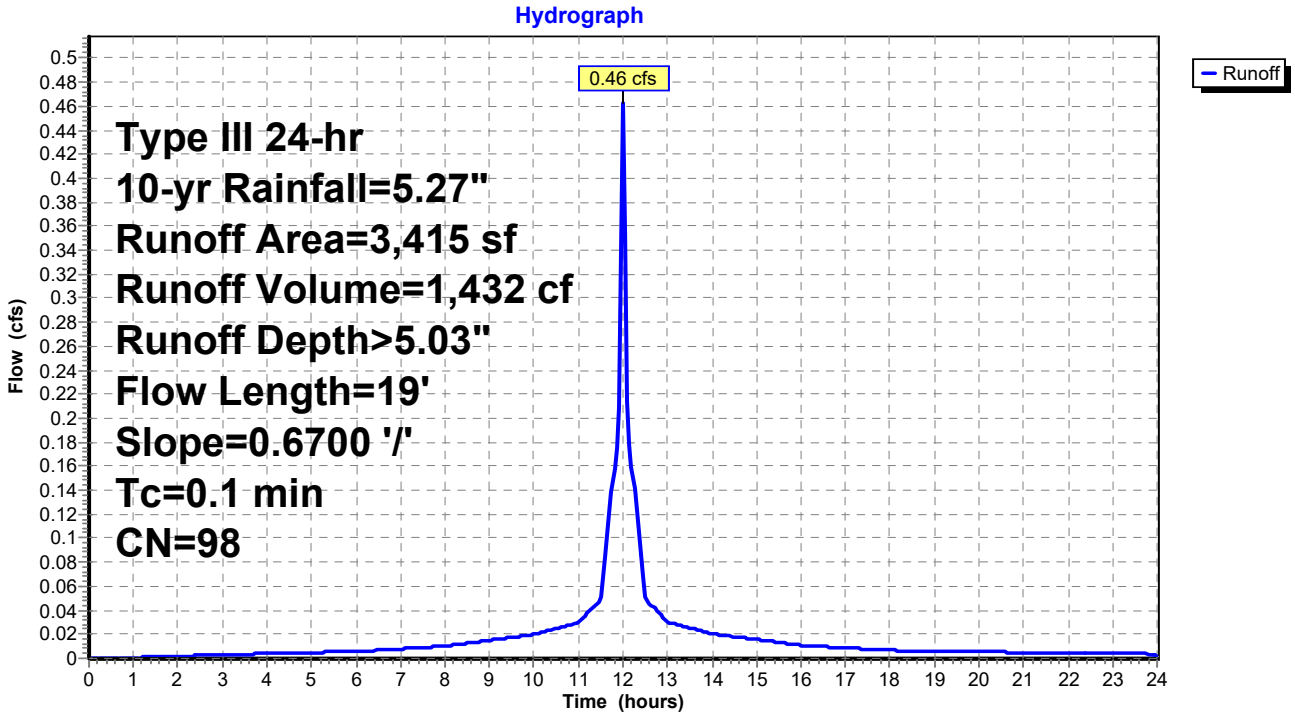
Runoff = 0.46 cfs @ 12.00 hrs, Volume= 1,432 cf, Depth> 5.03"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
Type III 24-hr 10-yr Rainfall=5.27"

Area (sf)	CN	Description
3,415	98	Unconnected roofs, HSG B
3,415		100.00% Impervious Area
3,415		100.00% Unconnected

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
0.1	19	0.6700	4.13		**Sheet Flow,** Smooth surfaces n= 0.011 P2= 3.37"
0.0					**Direct Entry,**
0.1	19	Total			

Subcatchment 1S:



Summary for Subcatchment 2S:

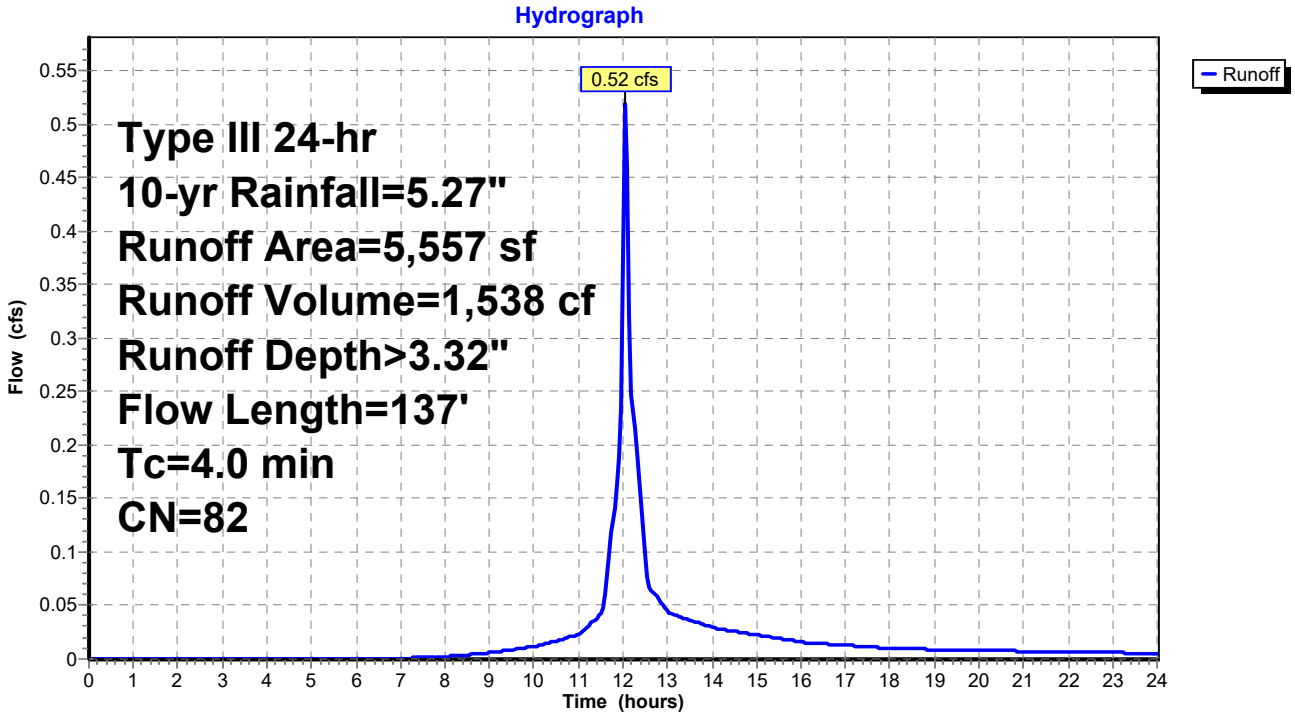
Runoff = 0.52 cfs @ 12.06 hrs, Volume= 1,538 cf, Depth> 3.32"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
Type III 24-hr 10-yr Rainfall=5.27"

Area (sf)	CN	Description
3,192	98	Paved parking, HSG B
2,365	61	>75% Grass cover, Good, HSG B
5,557	82	Weighted Average
2,365		42.56% Pervious Area
3,192		57.44% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
0.4	27	0.0200	1.09		**Sheet Flow,** Smooth surfaces n= 0.011 P2= 3.37"
2.9	23	0.0200	0.13		**Sheet Flow,** Grass: Short n= 0.150 P2= 3.37"
0.2	12	0.0200	0.99		**Shallow Concentrated Flow,** Short Grass Pasture Kv= 7.0 fps
0.5	75	0.0130	2.31		**Shallow Concentrated Flow,** Paved Kv= 20.3 fps
4.0	137	Total			

Subcatchment 2S:



Summary for Subcatchment 3S:

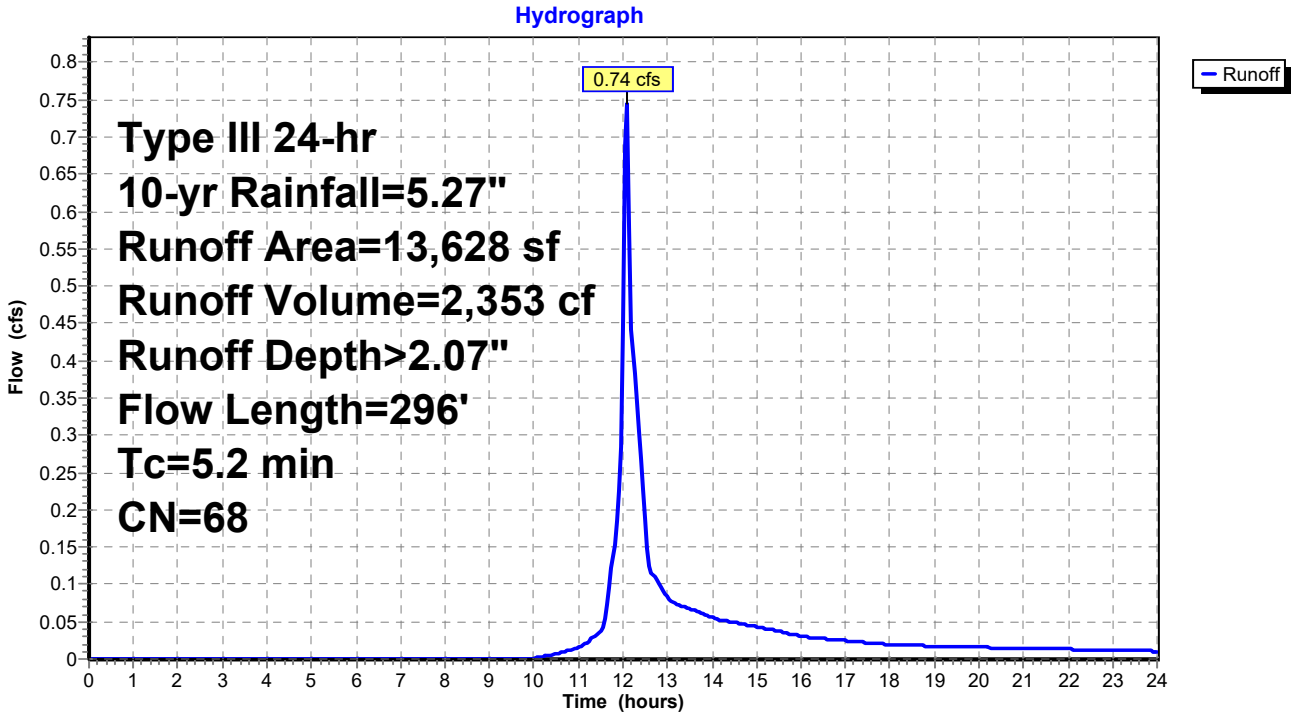
Runoff = 0.74 cfs @ 12.09 hrs, Volume= 2,353 cf, Depth> 2.07"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
Type III 24-hr 10-yr Rainfall=5.27"

Area (sf)	CN	Description
2,629	98	Paved parking, HSG B
10,999	61	>75% Grass cover, Good, HSG B
13,628	68	Weighted Average
10,999		80.71% Pervious Area
2,629		19.29% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
0.4	27	0.0200	1.09		**Sheet Flow,** Smooth surfaces n= 0.011 P2= 3.37"
2.9	23	0.0200	0.13		**Sheet Flow,** Grass: Short n= 0.150 P2= 3.37"
0.2	12	0.0200	0.99		**Shallow Concentrated Flow,** Short Grass Pasture Kv= 7.0 fps
1.7	234	0.0130	2.31		**Shallow Concentrated Flow,** Paved Kv= 20.3 fps
5.2	296	Total			

Subcatchment 3S:

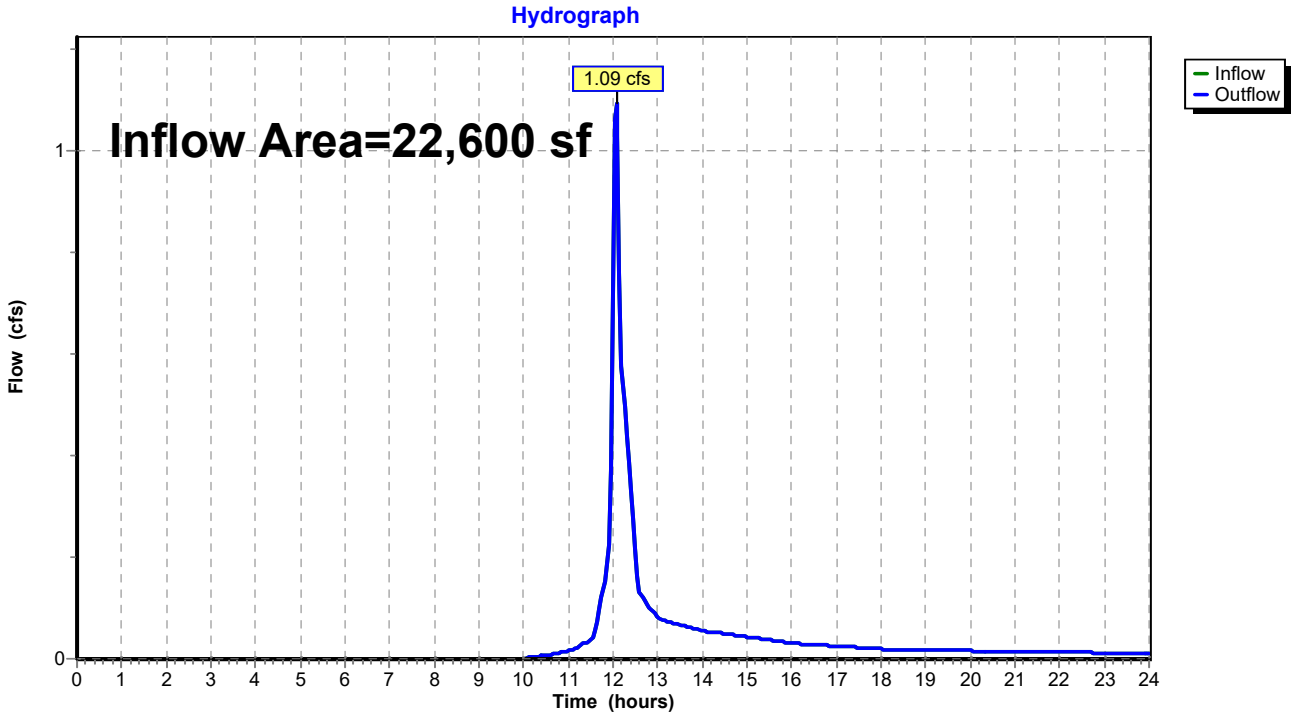


Summary for Reach 7R: Total Runoff

Inflow Area = 22,600 sf, 40.87% Impervious, Inflow Depth > 1.42" for 10-yr event
Inflow = 1.09 cfs @ 12.07 hrs, Volume= 2,682 cf
Outflow = 1.09 cfs @ 12.07 hrs, Volume= 2,682 cf, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind+Trans method, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs

Reach 7R: Total Runoff



Summary for Pond 1P: Infiltration System

Inflow Area = 3,415 sf,100.00% Impervious, Inflow Depth > 5.03" for 10-yr event
Inflow = 0.46 cfs @ 12.00 hrs, Volume= 1,432 cf
Outflow = 0.45 cfs @ 12.02 hrs, Volume= 1,432 cf, Atten= 2%, Lag= 1.0 min
Discarded = 0.04 cfs @ 12.02 hrs, Volume= 1,103 cf
Primary = 0.41 cfs @ 12.02 hrs, Volume= 328 cf

Routing by Stor-Ind method, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
Peak Elev= 176.82' @ 12.02 hrs Surf.Area= 681 sf Storage= 168 cf

Plug-Flow detention time= 14.6 min calculated for 1,432 cf (100% of inflow)
Center-of-Mass det. time= 14.4 min (756.1 - 741.7)

Volume	Invert	Avail.Storage	Storage Description
#1A	176.20'	630 cf	**21.50'W x 31.68'L x 2.83'H Field A** 1,930 cf Overall - 354 cf Embedded = 1,576 cf x 40.0% Voids
#2A	177.20'	354 cf	**ADS_StormTech SC-310 +Cap** x 24 Inside #1 Effective Size= 28.9"W x 16.0"H => 2.07 sf x 7.12'L = 14.7 cf Overall Size= 34.0"W x 16.0"H x 7.56'L with 0.44' Overlap 24 Chambers in 6 Rows
		984 cf	Total Available Storage

Storage Group A created with Chamber Wizard

Device	Routing	Invert	Outlet Devices
#1	Discarded	176.20'	**2.410 in/hr Exfiltration over Surface area** Conductivity to Groundwater Elevation = 172.43'
#2	Primary	176.70'	**6.0" Horiz. Orifice/Grate X 2.00** C= 0.600 Limited to weir flow at low heads

Discarded OutFlow Max=0.04 cfs @ 12.02 hrs HW=176.81' (Free Discharge)
└**1=Exfiltration** (Controls 0.04 cfs)

Primary OutFlow Max=0.38 cfs @ 12.02 hrs HW=176.81' (Free Discharge)
└**2=Orifice/Grate** (Weir Controls 0.38 cfs @ 1.09 fps)

Pond 1P: Infiltration System - Chamber Wizard Field A

Chamber Model = ADS_StormTech SC-310 +Cap (ADS StormTech® SC-310 with cap length)
Effective Size= 28.9"W x 16.0"H => 2.07 sf x 7.12'L = 14.7 cf
Overall Size= 34.0"W x 16.0"H x 7.56'L with 0.44' Overlap

34.0" Wide + 6.0" Spacing = 40.0" C-C Row Spacing

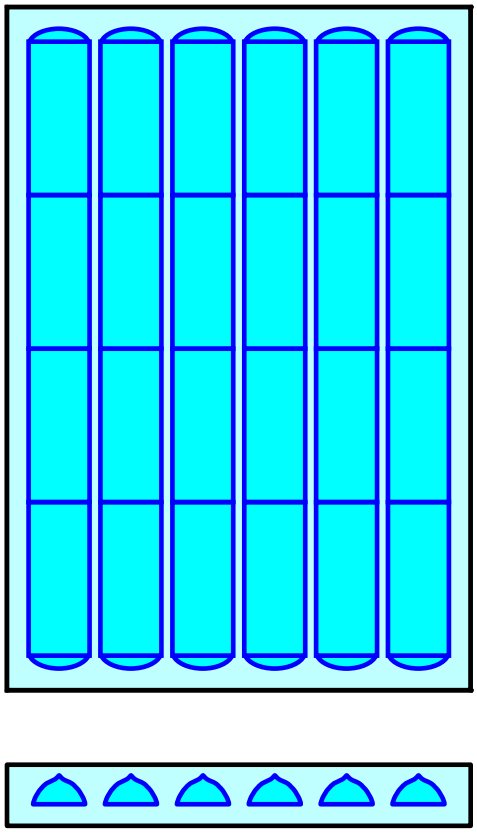
4 Chambers/Row x 7.12' Long +0.60' Cap Length x 2 = 29.68' Row Length +12.0" End Stone x 2 = 31.68' Base Length
6 Rows x 34.0" Wide + 6.0" Spacing x 5 + 12.0" Side Stone x 2 = 21.50' Base Width
12.0" Stone Base + 16.0" Chamber Height + 6.0" Stone Cover = 2.83' Field Height

24 Chambers x 14.7 cf = 353.8 cf Chamber Storage

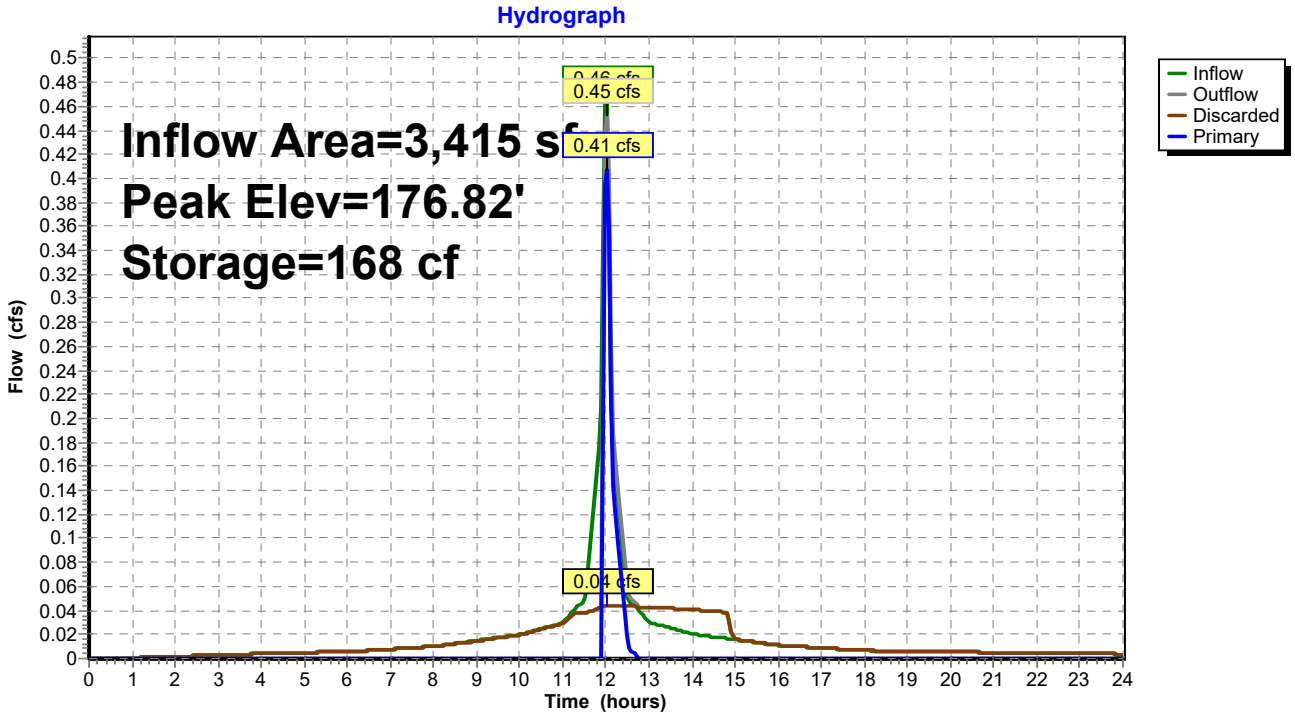
1,929.8 cf Field - 353.8 cf Chambers = 1,576.0 cf Stone x 40.0% Voids = 630.4 cf Stone Storage

Chamber Storage + Stone Storage = 984.2 cf = 0.023 af
Overall Storage Efficiency = 51.0%
Overall System Size = 31.68' x 21.50' x 2.83'

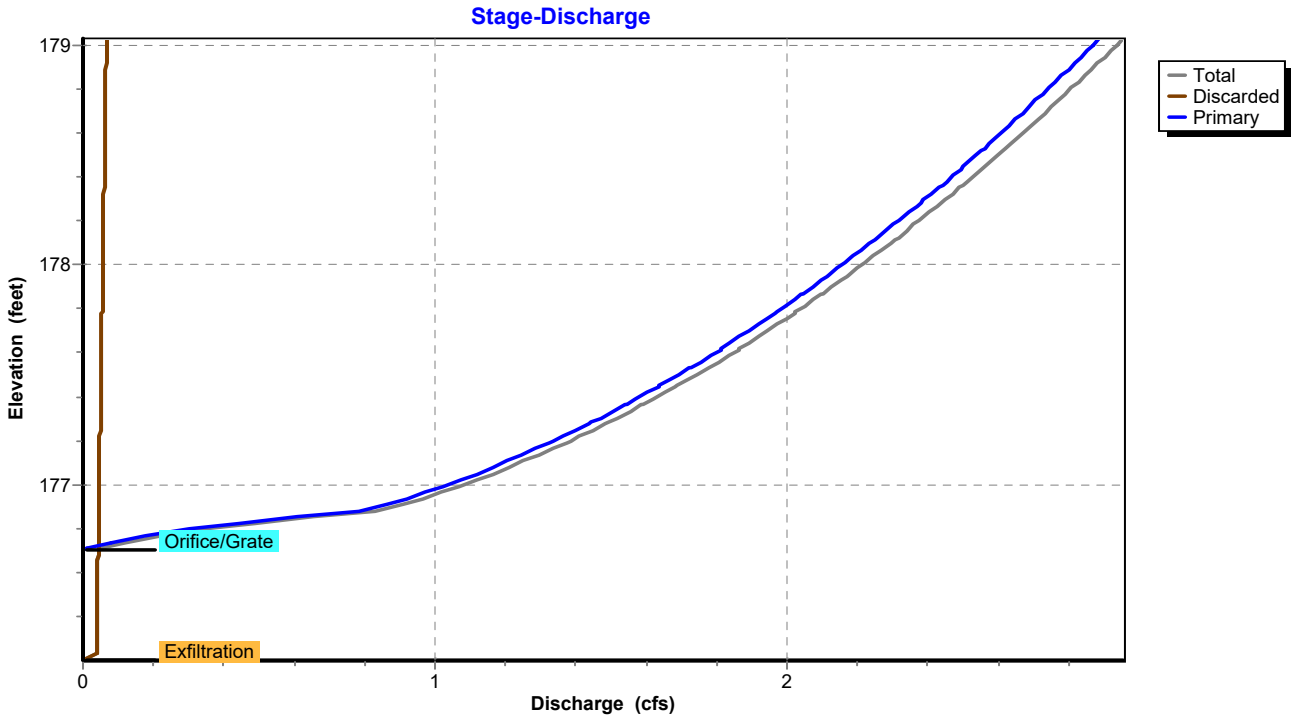
24 Chambers
71.5 cy Field
58.4 cy Stone



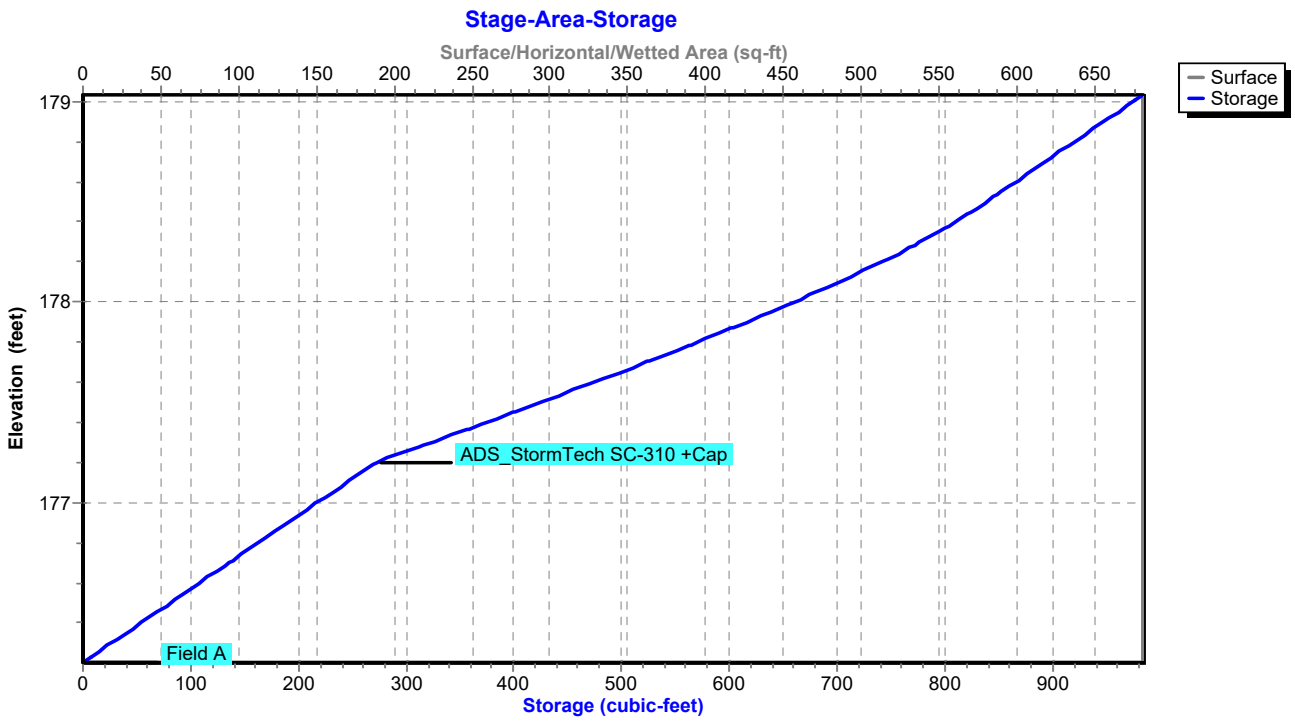
Pond 1P: Infiltration System



Pond 1P: Infiltration System



Pond 1P: Infiltration System



Summary for Pond 2P: Rain Garden

Inflow Area =	5,557 sf, 57.44% Impervious, Inflow Depth > 3.32" for 10-yr event				
Inflow =	0.52 cfs @	12.06 hrs,	Volume=	1,538 cf	
Outflow =	0.08 cfs @	12.53 hrs,	Volume=	1,535 cf,	Atten= 84%, Lag= 28.4 min
Discarded =	0.08 cfs @	12.53 hrs,	Volume=	1,535 cf	
Primary =	0.00 cfs @	0.00 hrs,	Volume=	0 cf	

Routing by Stor-Ind method, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs / 2
Peak Elev= 180.13' @ 12.53 hrs Surf.Area= 1,171 sf Storage= 591 cf

Plug-Flow detention time= 116.0 min calculated for 1,535 cf (100% of inflow)
Center-of-Mass det. time= 115.2 min (927.2 - 812.0)

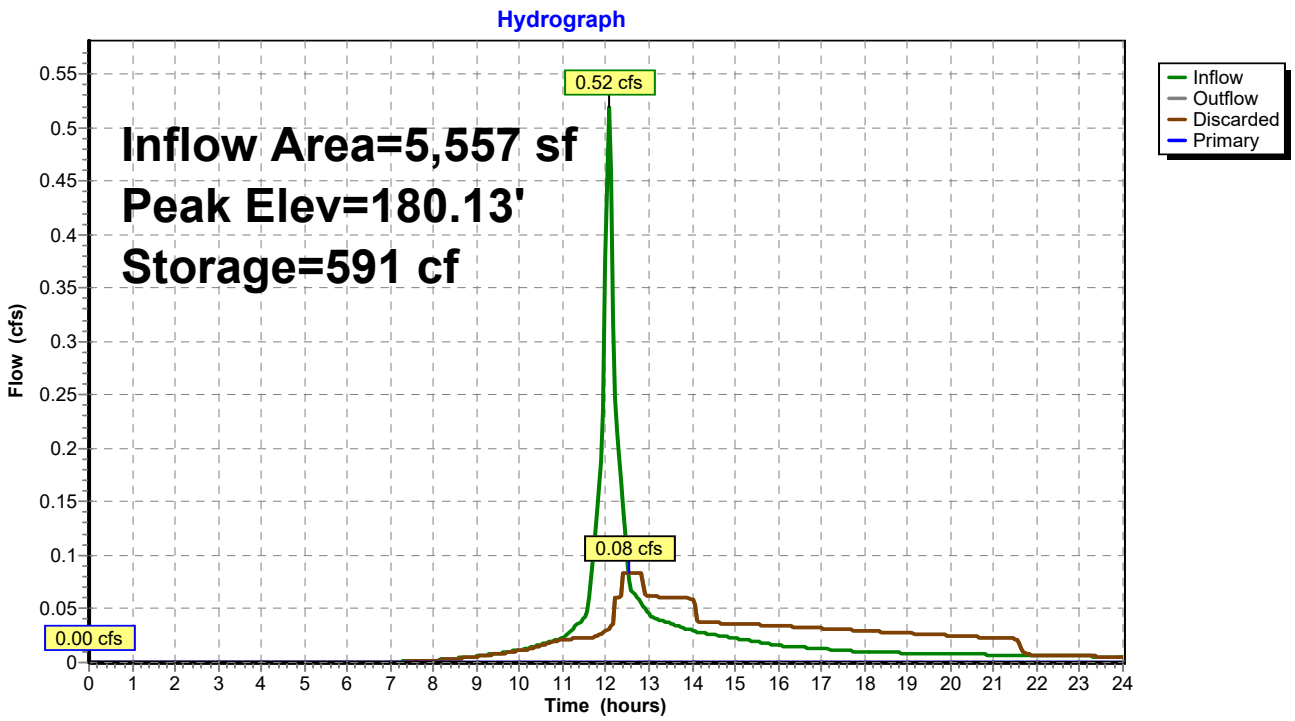
Volume	Invert	Avail.Storage	Storage Description
#1	180.09'	365 cf	**15.00'W x 26.00'L x 0.91'H Prismatoid-ponding depth Z=0.3**
#2	179.76'	51 cf	**15.00'W x 26.00'L x 0.33'H Prismatoid-mulch** 129 cf Overall x 40.0% Voids
#3	176.76'	624 cf	**15.00'W x 26.00'L x 4.00'H Prismatoid-planting medium** 1,560 cf Overall x 40.0% Voids
		1,041 cf	Total Available Storage

Device	Routing	Invert	Outlet Devices
#1	Discarded	176.76'	**2.410 in/hr Exfiltration over Surface area** Conductivity to Groundwater Elevation = 172.67' Phase-In= 0.01'
#2	Primary	180.59'	**2.0' long x 4.0' breadth Broad-Crested Rectangular Weir** Head (feet) 0.20 0.40 0.60 0.80 1.00 1.20 1.40 1.60 1.80 2.00 2.50 3.00 3.50 4.00 4.50 5.00 5.50 Coef. (English) 2.38 2.54 2.69 2.68 2.67 2.67 2.65 2.66 2.66 2.68 2.72 2.73 2.76 2.79 2.88 3.07 3.32

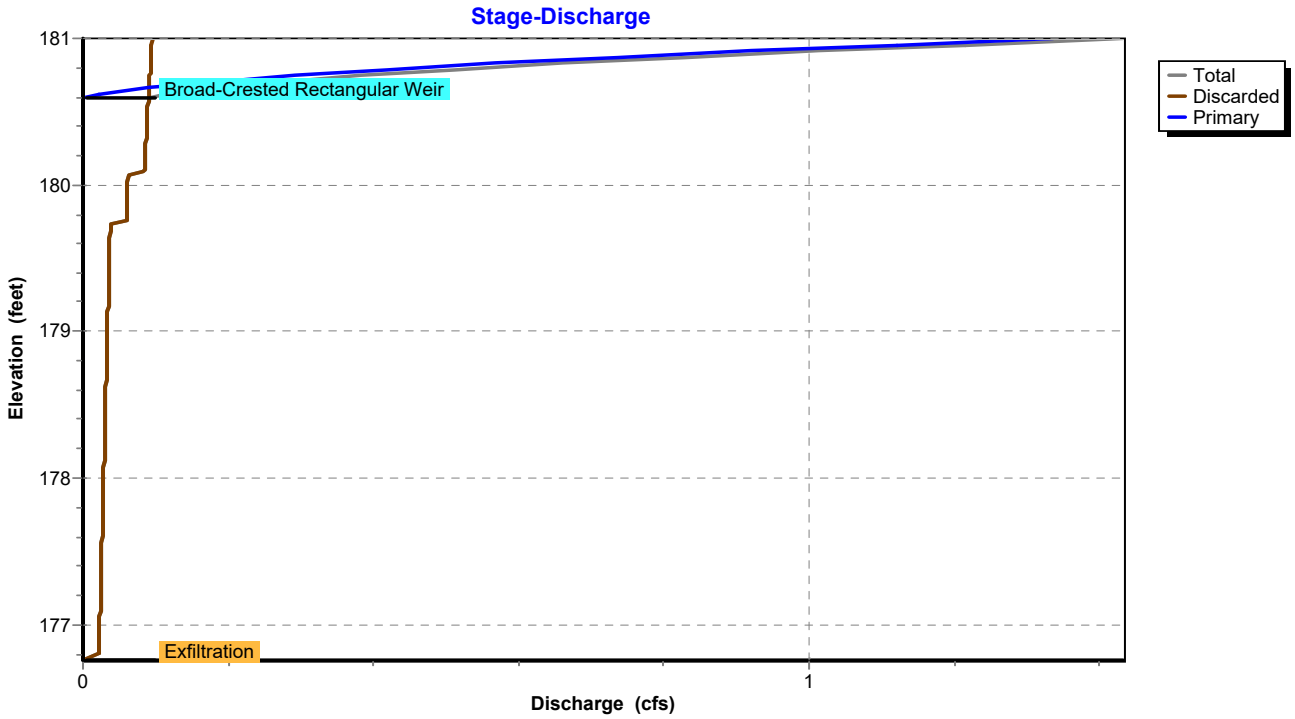
Discarded OutFlow Max=0.08 cfs @ 12.53 hrs HW=180.13' (Free Discharge)
└─**1=Exfiltration** (Controls 0.08 cfs)

Primary OutFlow Max=0.00 cfs @ 0.00 hrs HW=176.76' (Free Discharge)
└─**2=Broad-Crested Rectangular Weir** (Controls 0.00 cfs)

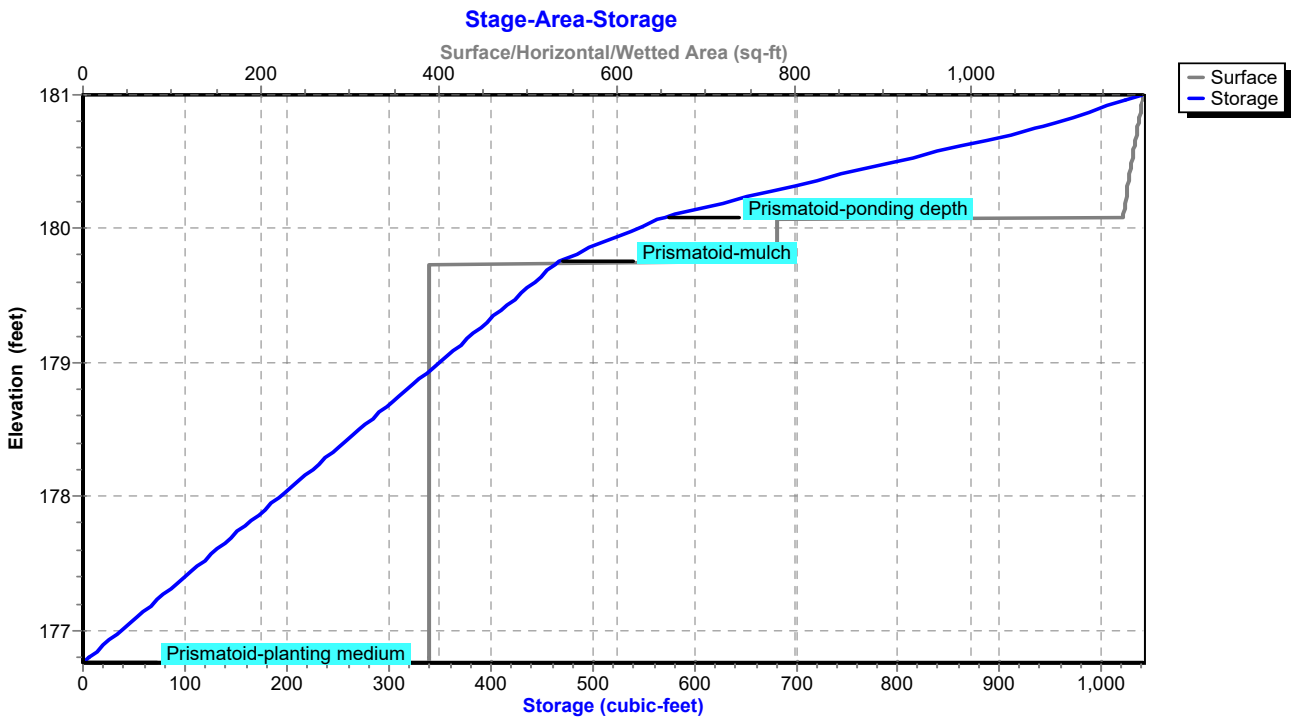
Pond 2P: Rain Garden



Pond 2P: Rain Garden



Pond 2P: Rain Garden

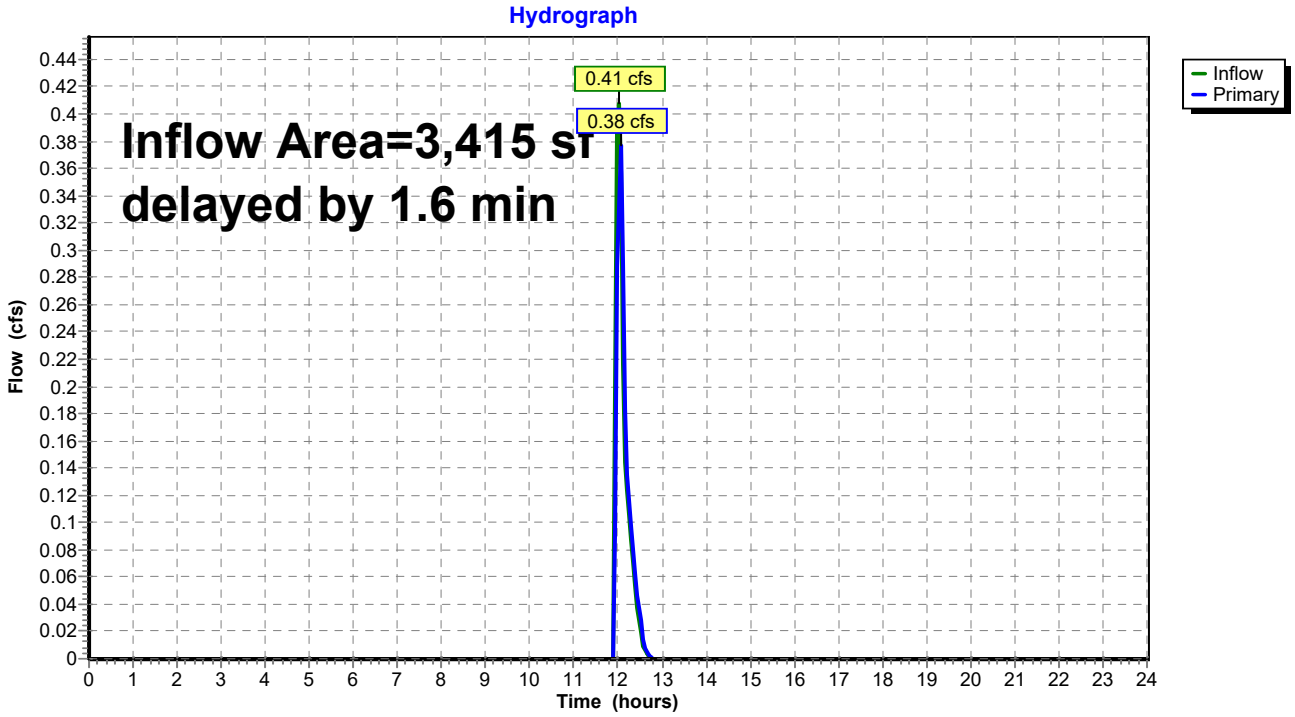


Summary for Link 1L:

Inflow Area = 3,415 sf,100.00% Impervious, Inflow Depth = 1.15" for 10-yr event
Inflow = 0.41 cfs @ 12.02 hrs, Volume= 328 cf
Primary = 0.38 cfs @ 12.05 hrs, Volume= 328 cf, Atten= 8%, Lag= 2.0 min

Primary outflow = Inflow delayed by 1.6 min, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs

Link 1L:

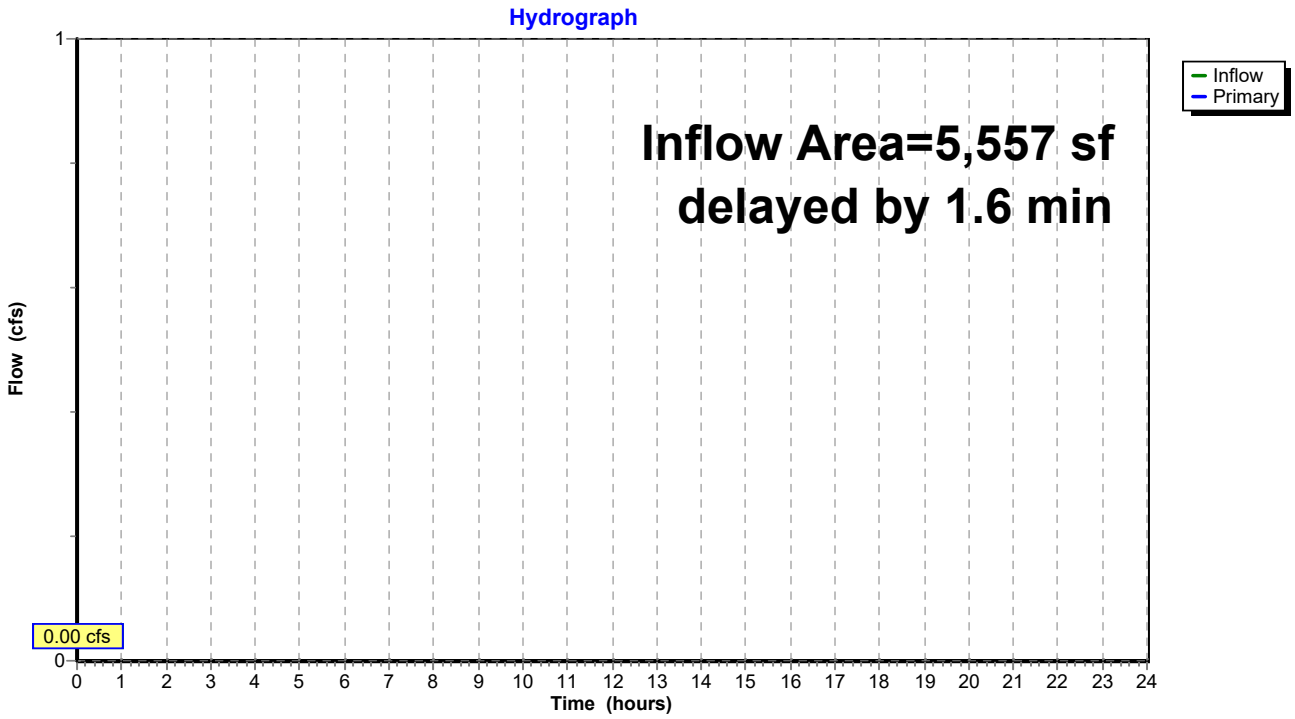


Summary for Link 2L:

Inflow Area = 5,557 sf, 57.44% Impervious, Inflow Depth = 0.00" for 10-yr event
Inflow = 0.00 cfs @ 0.00 hrs, Volume= 0 cf
Primary = 0.00 cfs @ 0.00 hrs, Volume= 0 cf, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow delayed by 1.6 min, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs

Link 2L:



Time span=0.00-24.00 hrs, dt=0.05 hrs, 481 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1S: Runoff Area=3,415 sf 100.00% Impervious Runoff Depth>8.03"
Flow Length=19' Slope=0.6700 '/' Tc=0.1 min CN=98 Runoff=0.73 cfs 2,285 cf

Subcatchment 2S: Runoff Area=5,557 sf 57.44% Impervious Runoff Depth>6.11"
Flow Length=137' Tc=4.0 min CN=82 Runoff=0.94 cfs 2,831 cf

Subcatchment 3S: Runoff Area=13,628 sf 19.29% Impervious Runoff Depth>4.46"
Flow Length=296' Tc=5.2 min CN=68 Runoff=1.63 cfs 5,065 cf

Reach 7R: Total Runoff Inflow=2.21 cfs 6,214 cf
Outflow=2.21 cfs 6,214 cf

Pond 1P: Infiltration System Peak Elev=176.86' Storage=180 cf Inflow=0.73 cfs 2,285 cf
Discarded=0.04 cfs 1,533 cf Primary=0.65 cfs 752 cf Outflow=0.70 cfs 2,284 cf

Pond 2P: Rain Garden Peak Elev=180.76' Storage=942 cf Inflow=0.94 cfs 2,831 cf
Discarded=0.09 cfs 2,413 cf Primary=0.33 cfs 397 cf Outflow=0.42 cfs 2,810 cf

Link 1L: delayed by 1.6 min Inflow=0.65 cfs 752 cf
Primary=0.62 cfs 752 cf

Link 2L: delayed by 1.6 min Inflow=0.33 cfs 397 cf
Primary=0.32 cfs 397 cf

Summary for Subcatchment 1S:

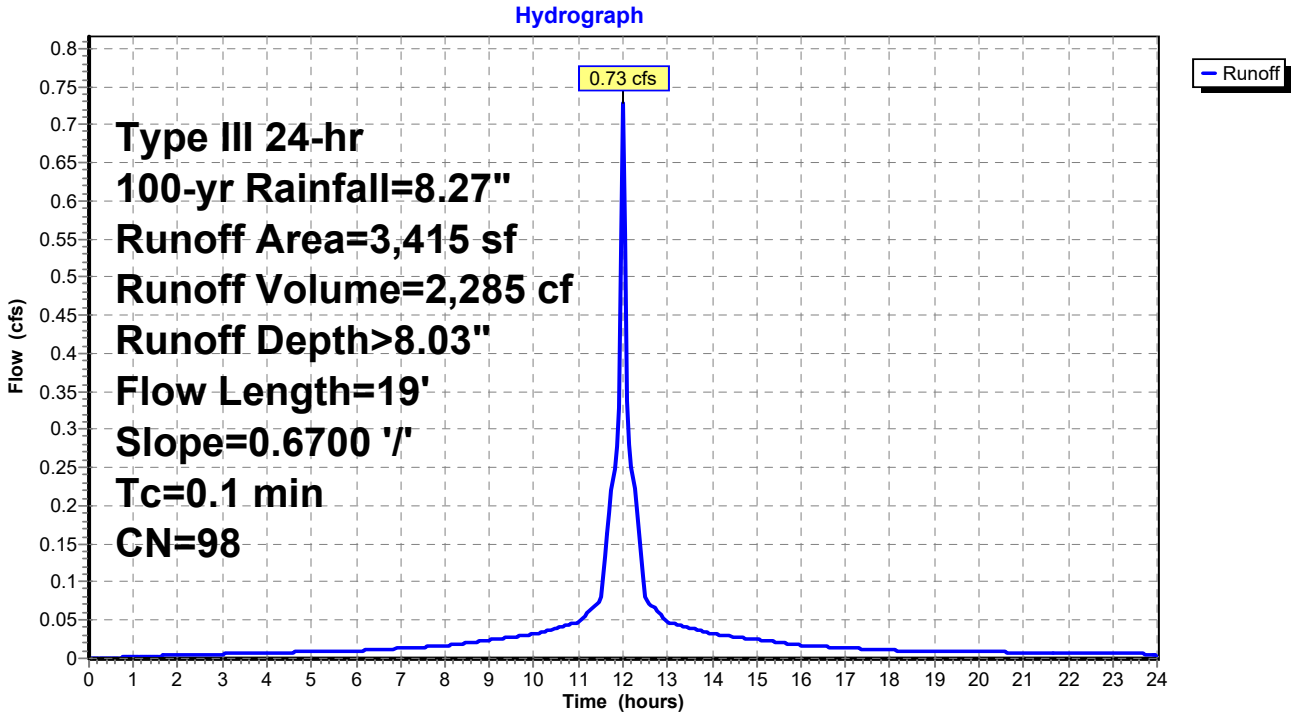
Runoff = 0.73 cfs @ 12.00 hrs, Volume= 2,285 cf, Depth> 8.03"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
Type III 24-hr 100-yr Rainfall=8.27"

Area (sf)	CN	Description
3,415	98	Unconnected roofs, HSG B
3,415		100.00% Impervious Area
3,415		100.00% Unconnected

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
0.1	19	0.6700	4.13		**Sheet Flow,** Smooth surfaces n= 0.011 P2= 3.37"
0.0					**Direct Entry,**
0.1	19	Total			

Subcatchment 1S:



Summary for Subcatchment 2S:

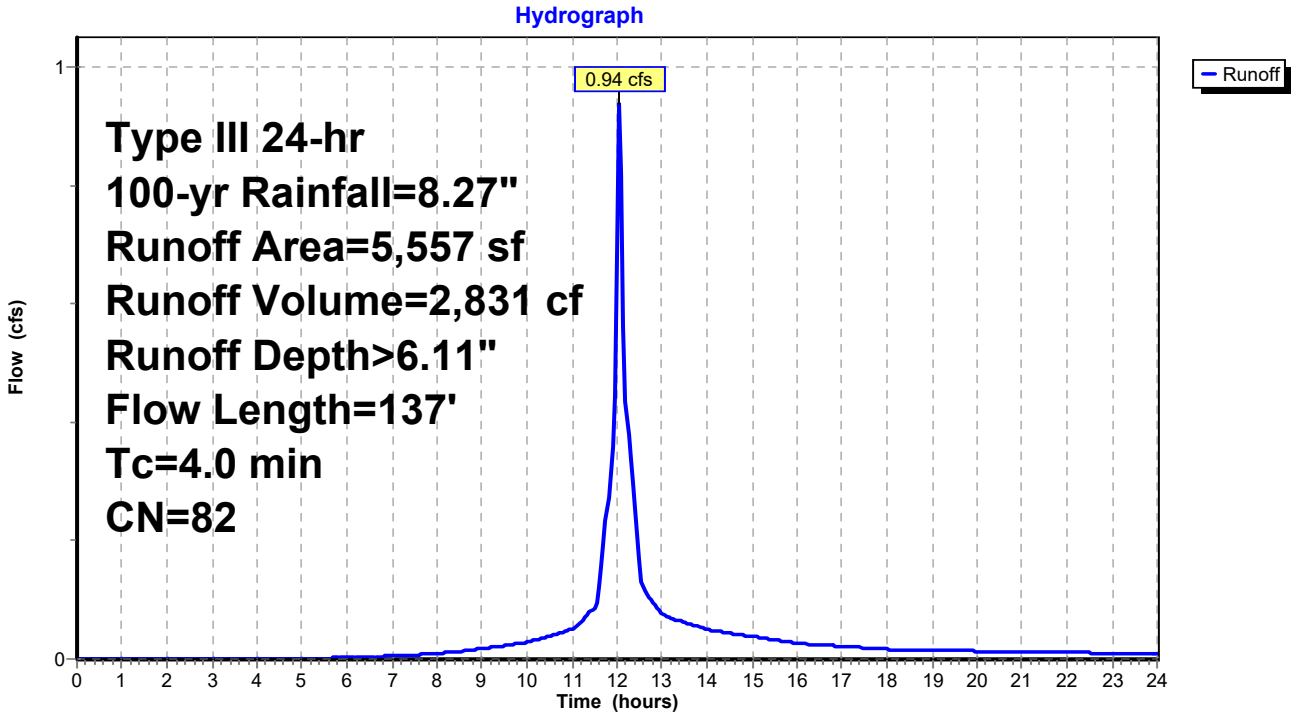
Runoff = 0.94 cfs @ 12.06 hrs, Volume= 2,831 cf, Depth> 6.11"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
Type III 24-hr 100-yr Rainfall=8.27"

Area (sf)	CN	Description
3,192	98	Paved parking, HSG B
2,365	61	>75% Grass cover, Good, HSG B
5,557	82	Weighted Average
2,365		42.56% Pervious Area
3,192		57.44% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
0.4	27	0.0200	1.09		**Sheet Flow,** Smooth surfaces n= 0.011 P2= 3.37"
2.9	23	0.0200	0.13		**Sheet Flow,** Grass: Short n= 0.150 P2= 3.37"
0.2	12	0.0200	0.99		**Shallow Concentrated Flow,** Short Grass Pasture Kv= 7.0 fps
0.5	75	0.0130	2.31		**Shallow Concentrated Flow,** Paved Kv= 20.3 fps
4.0	137	Total			

Subcatchment 2S:



Summary for Subcatchment 3S:

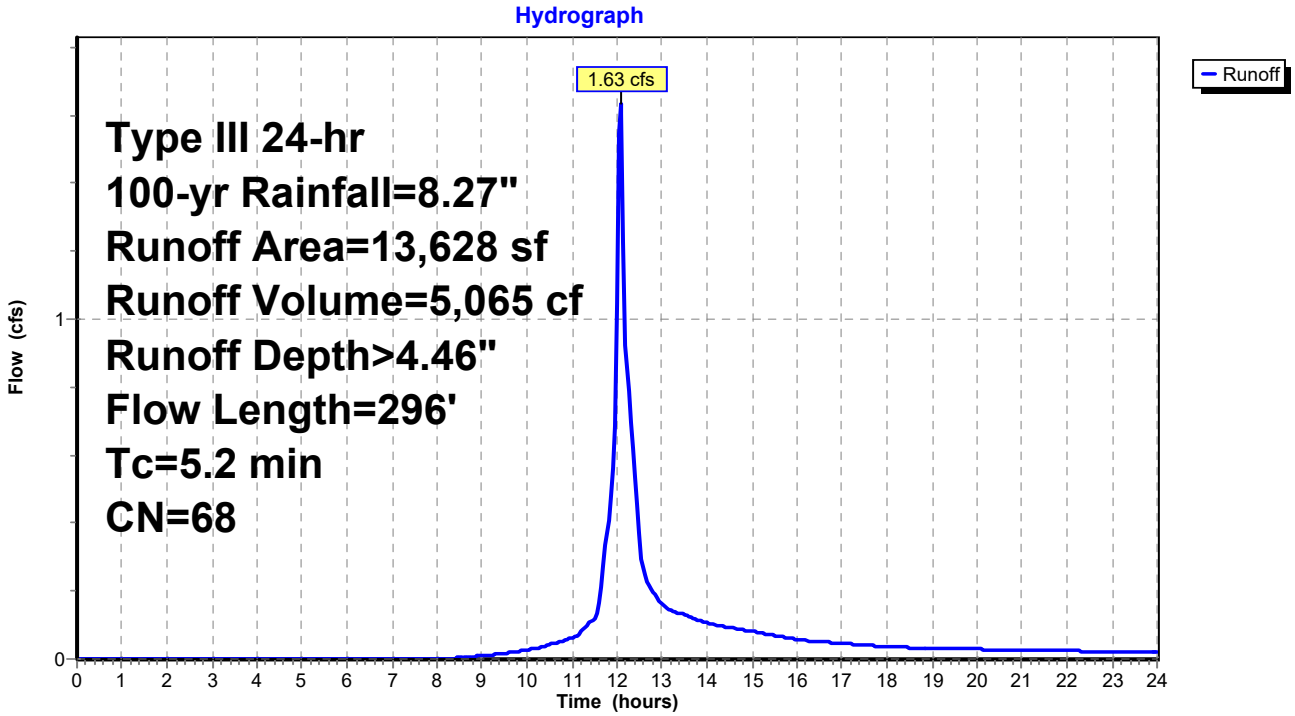
Runoff = 1.63 cfs @ 12.08 hrs, Volume= 5,065 cf, Depth> 4.46"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
Type III 24-hr 100-yr Rainfall=8.27"

Area (sf)	CN	Description
2,629	98	Paved parking, HSG B
10,999	61	>75% Grass cover, Good, HSG B
13,628	68	Weighted Average
10,999		80.71% Pervious Area
2,629		19.29% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
0.4	27	0.0200	1.09		**Sheet Flow,** Smooth surfaces n= 0.011 P2= 3.37"
2.9	23	0.0200	0.13		**Sheet Flow,** Grass: Short n= 0.150 P2= 3.37"
0.2	12	0.0200	0.99		**Shallow Concentrated Flow,** Short Grass Pasture Kv= 7.0 fps
1.7	234	0.0130	2.31		**Shallow Concentrated Flow,** Paved Kv= 20.3 fps
5.2	296	Total			

Subcatchment 3S:

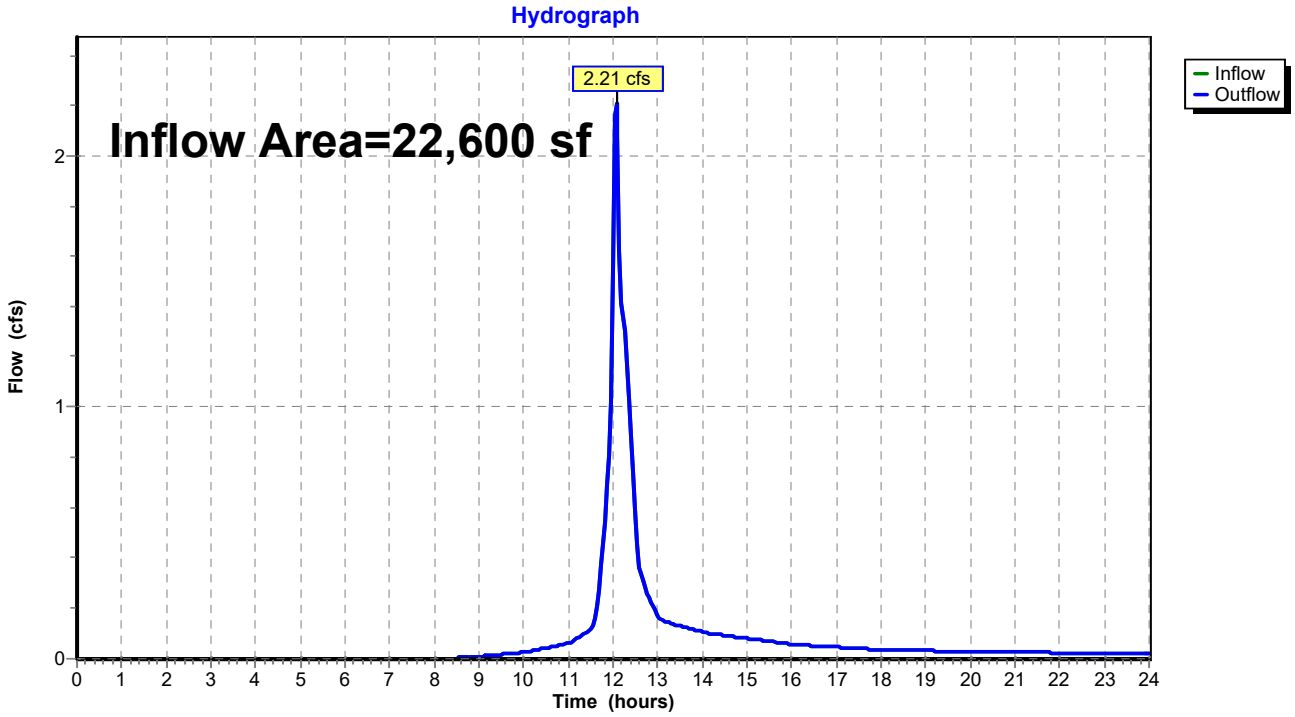


Summary for Reach 7R: Total Runoff

Inflow Area = 22,600 sf, 40.87% Impervious, Inflow Depth > 3.30" for 100-yr event
Inflow = 2.21 cfs @ 12.07 hrs, Volume= 6,214 cf
Outflow = 2.21 cfs @ 12.07 hrs, Volume= 6,214 cf, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind+Trans method, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs

Reach 7R: Total Runoff



Summary for Pond 1P: Infiltration System

Inflow Area = 3,415 sf,100.00% Impervious, Inflow Depth > 8.03" for 100-yr event
Inflow = 0.73 cfs @ 12.00 hrs, Volume= 2,285 cf
Outflow = 0.70 cfs @ 12.01 hrs, Volume= 2,284 cf, Atten= 4%, Lag= 0.8 min
Discarded = 0.04 cfs @ 12.01 hrs, Volume= 1,533 cf
Primary = 0.65 cfs @ 12.01 hrs, Volume= 752 cf

Routing by Stor-Ind method, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
Peak Elev= 176.86' @ 12.01 hrs Surf.Area= 681 sf Storage= 180 cf

Plug-Flow detention time= 14.5 min calculated for 2,284 cf (100% of inflow)
Center-of-Mass det. time= 14.2 min (749.6 - 735.3)

Volume	Invert	Avail.Storage	Storage Description
#1A	176.20'	630 cf	**21.50'W x 31.68'L x 2.83'H Field A** 1,930 cf Overall - 354 cf Embedded = 1,576 cf x 40.0% Voids
#2A	177.20'	354 cf	**ADS_StormTech SC-310 +Cap** x 24 Inside #1 Effective Size= 28.9"W x 16.0"H => 2.07 sf x 7.12'L = 14.7 cf Overall Size= 34.0"W x 16.0"H x 7.56'L with 0.44' Overlap 24 Chambers in 6 Rows
		984 cf	Total Available Storage

Storage Group A created with Chamber Wizard

Device	Routing	Invert	Outlet Devices
#1	Discarded	176.20'	**2.410 in/hr Exfiltration over Surface area** Conductivity to Groundwater Elevation = 172.43'
#2	Primary	176.70'	**6.0" Horiz. Orifice/Grate X 2.00** C= 0.600 Limited to weir flow at low heads

Discarded OutFlow Max=0.04 cfs @ 12.01 hrs HW=176.85' (Free Discharge)
└**1=Exfiltration** (Controls 0.04 cfs)

Primary OutFlow Max=0.62 cfs @ 12.01 hrs HW=176.85' (Free Discharge)
└**2=Orifice/Grate** (Weir Controls 0.62 cfs @ 1.28 fps)

Pond 1P: Infiltration System - Chamber Wizard Field A

Chamber Model = ADS_StormTech SC-310 +Cap (ADS StormTech® SC-310 with cap length)
Effective Size= 28.9"W x 16.0"H => 2.07 sf x 7.12'L = 14.7 cf
Overall Size= 34.0"W x 16.0"H x 7.56'L with 0.44' Overlap

34.0" Wide + 6.0" Spacing = 40.0" C-C Row Spacing

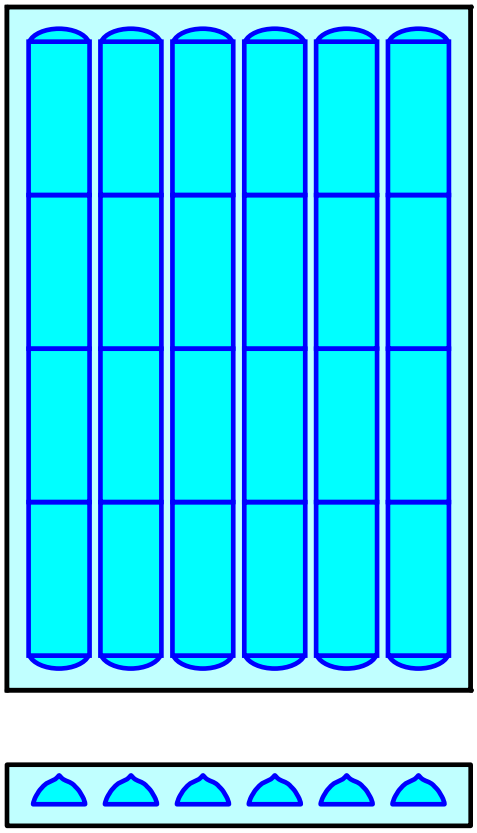
4 Chambers/Row x 7.12' Long +0.60' Cap Length x 2 = 29.68' Row Length +12.0" End Stone x 2 = 31.68' Base Length
6 Rows x 34.0" Wide + 6.0" Spacing x 5 + 12.0" Side Stone x 2 = 21.50' Base Width
12.0" Stone Base + 16.0" Chamber Height + 6.0" Stone Cover = 2.83' Field Height

24 Chambers x 14.7 cf = 353.8 cf Chamber Storage

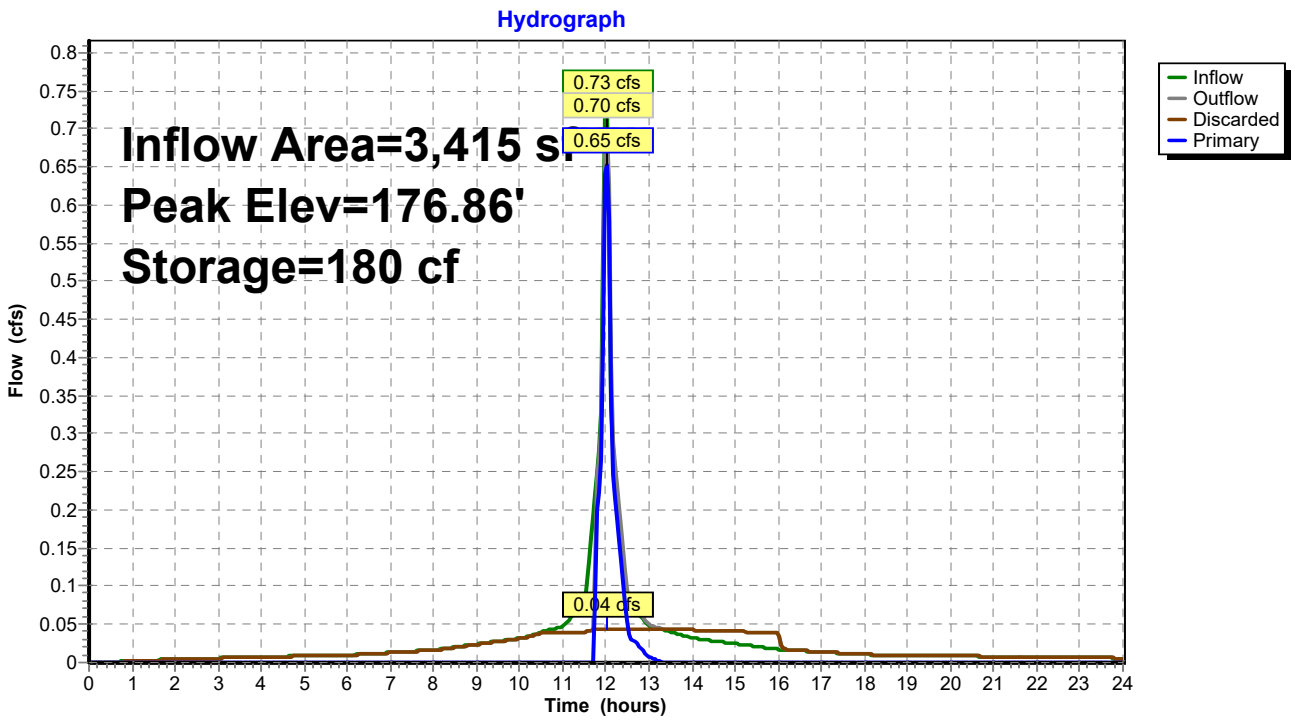
1,929.8 cf Field - 353.8 cf Chambers = 1,576.0 cf Stone x 40.0% Voids = 630.4 cf Stone Storage

Chamber Storage + Stone Storage = 984.2 cf = 0.023 af
Overall Storage Efficiency = 51.0%
Overall System Size = 31.68' x 21.50' x 2.83'

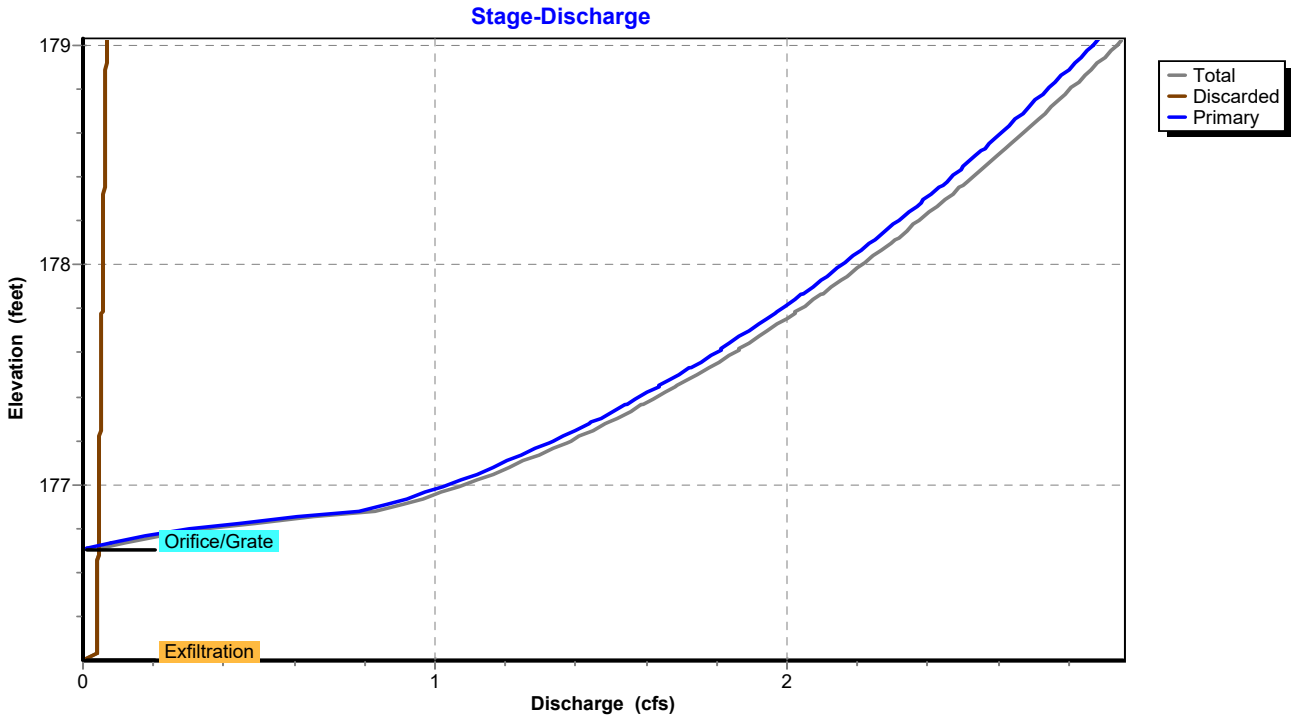
24 Chambers
71.5 cy Field
58.4 cy Stone



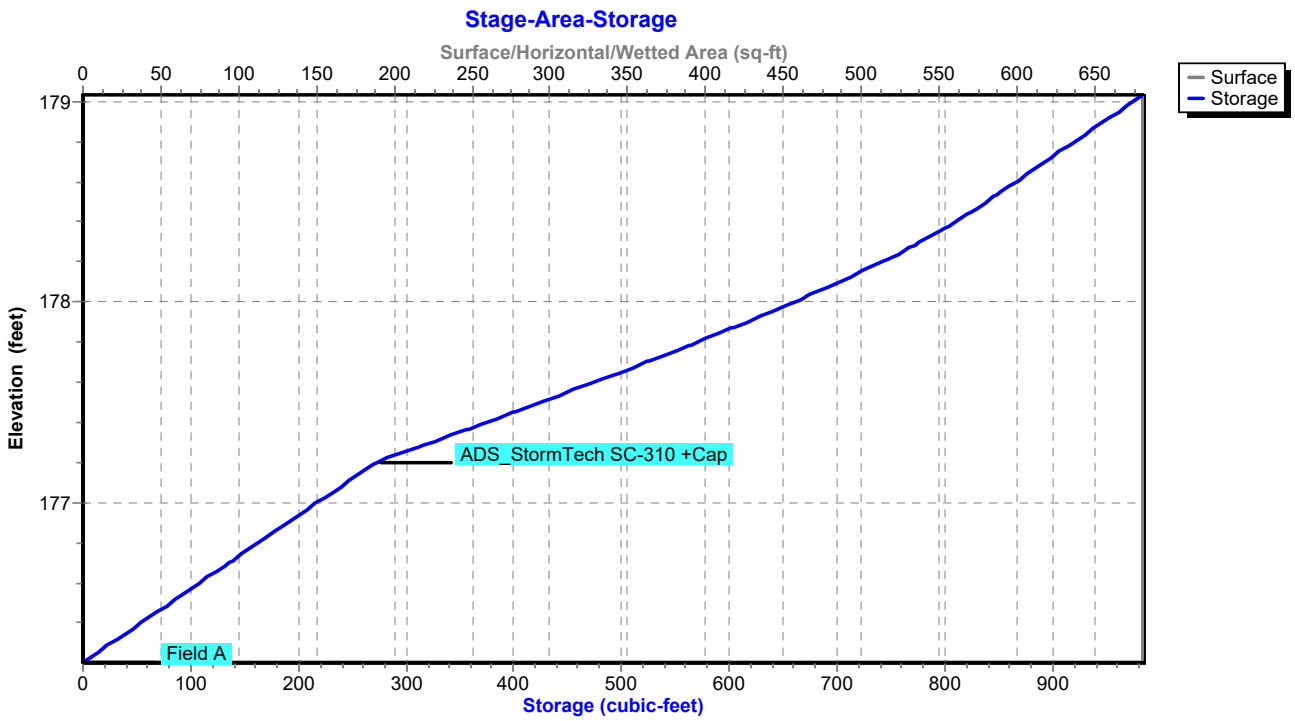
Pond 1P: Infiltration System



Pond 1P: Infiltration System



Pond 1P: Infiltration System



Summary for Pond 2P: Rain Garden

Inflow Area = 5,557 sf, 57.44% Impervious, Inflow Depth > 6.11" for 100-yr event
Inflow = 0.94 cfs @ 12.06 hrs, Volume= 2,831 cf
Outflow = 0.42 cfs @ 12.22 hrs, Volume= 2,810 cf, Atten= 55%, Lag= 9.8 min
Discarded = 0.09 cfs @ 12.22 hrs, Volume= 2,413 cf
Primary = 0.33 cfs @ 12.22 hrs, Volume= 397 cf

Routing by Stor-Ind method, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs / 2
Peak Elev= 180.76' @ 12.22 hrs Surf.Area= 1,187 sf Storage= 942 cf

Plug-Flow detention time= 108.7 min calculated for 2,804 cf (99% of inflow)
Center-of-Mass det. time= 103.9 min (898.7 - 794.8)

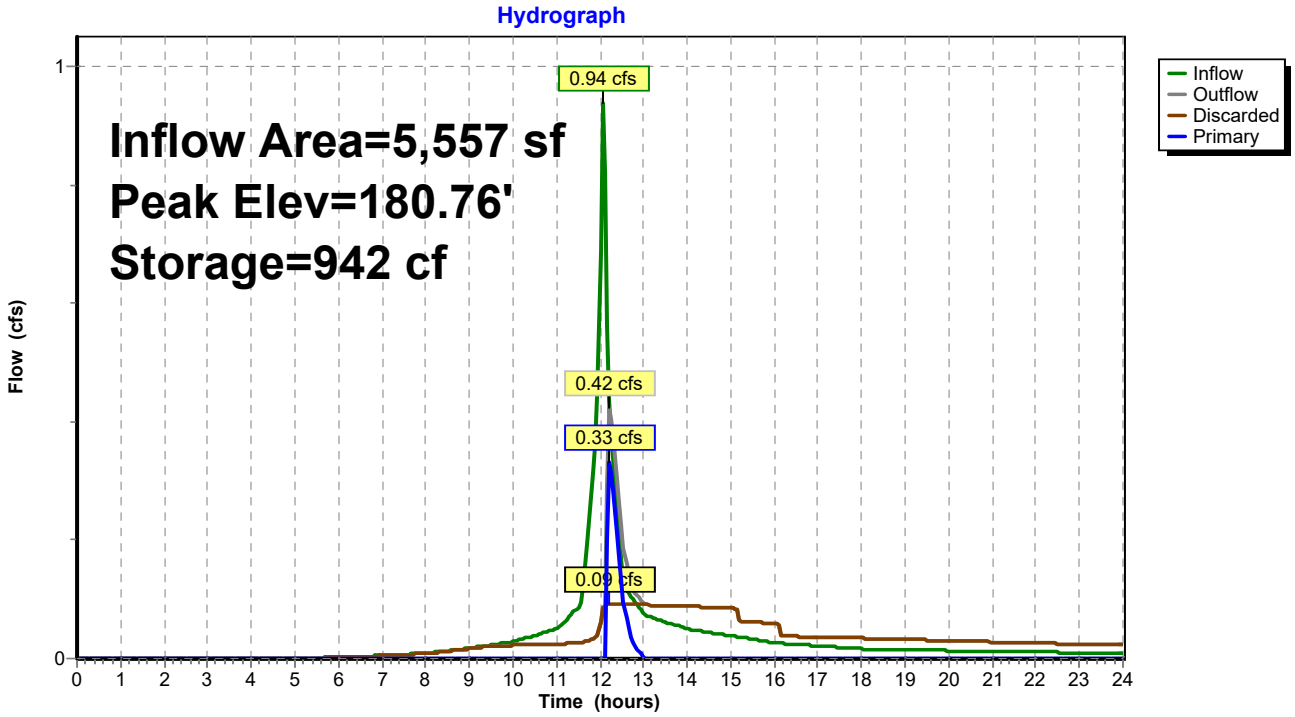
Volume	Invert	Avail.Storage	Storage Description
#1	180.09'	365 cf	**15.00'W x 26.00'L x 0.91'H Prismatoid-ponding depth Z=0.3**
#2	179.76'	51 cf	**15.00'W x 26.00'L x 0.33'H Prismatoid-mulch** 129 cf Overall x 40.0% Voids
#3	176.76'	624 cf	**15.00'W x 26.00'L x 4.00'H Prismatoid-planting medium** 1,560 cf Overall x 40.0% Voids
		1,041 cf	Total Available Storage

Device	Routing	Invert	Outlet Devices
#1	Discarded	176.76'	**2.410 in/hr Exfiltration over Surface area** Conductivity to Groundwater Elevation = 172.67' Phase-In= 0.01'
#2	Primary	180.59'	**2.0' long x 4.0' breadth Broad-Crested Rectangular Weir** Head (feet) 0.20 0.40 0.60 0.80 1.00 1.20 1.40 1.60 1.80 2.00 2.50 3.00 3.50 4.00 4.50 5.00 5.50 Coef. (English) 2.38 2.54 2.69 2.68 2.67 2.67 2.65 2.66 2.66 2.68 2.72 2.73 2.76 2.79 2.88 3.07 3.32

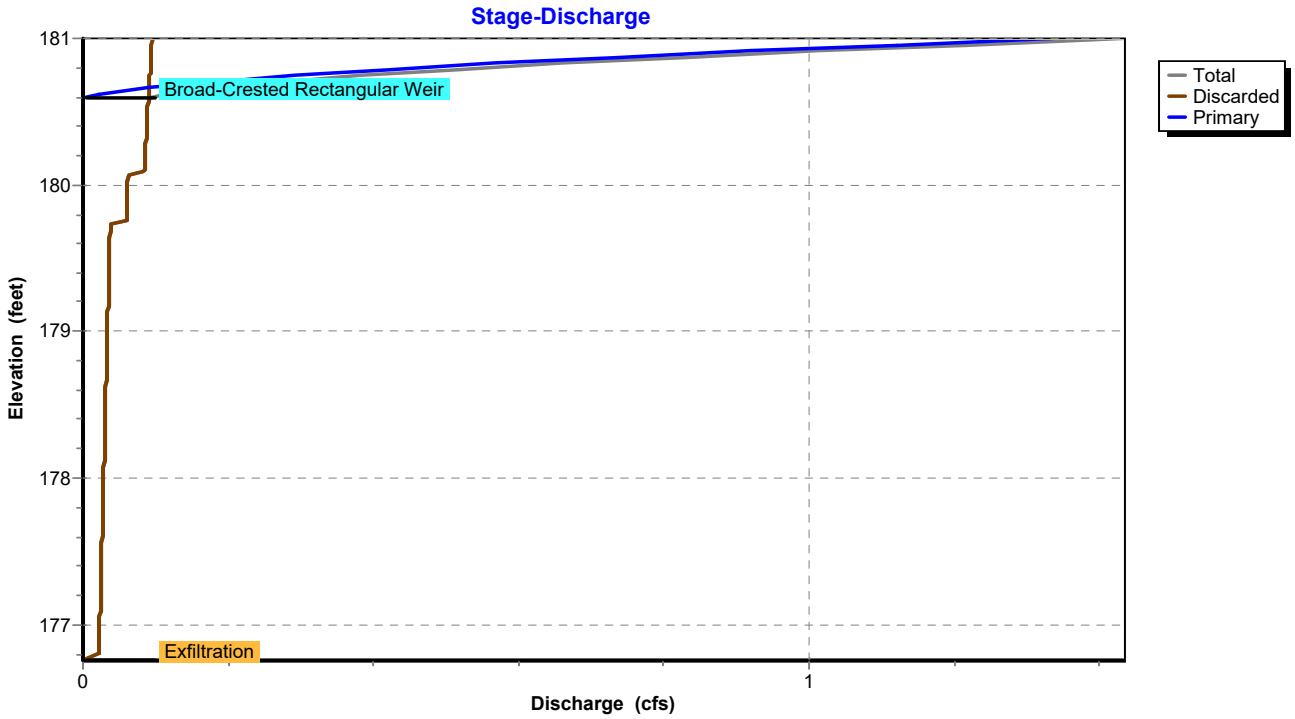
Discarded OutFlow Max=0.09 cfs @ 12.22 hrs HW=180.75' (Free Discharge)
└**1=Exfiltration** (Controls 0.09 cfs)

Primary OutFlow Max=0.31 cfs @ 12.22 hrs HW=180.75' (Free Discharge)
└**2=Broad-Crested Rectangular Weir** (Weir Controls 0.31 cfs @ 0.96 fps)

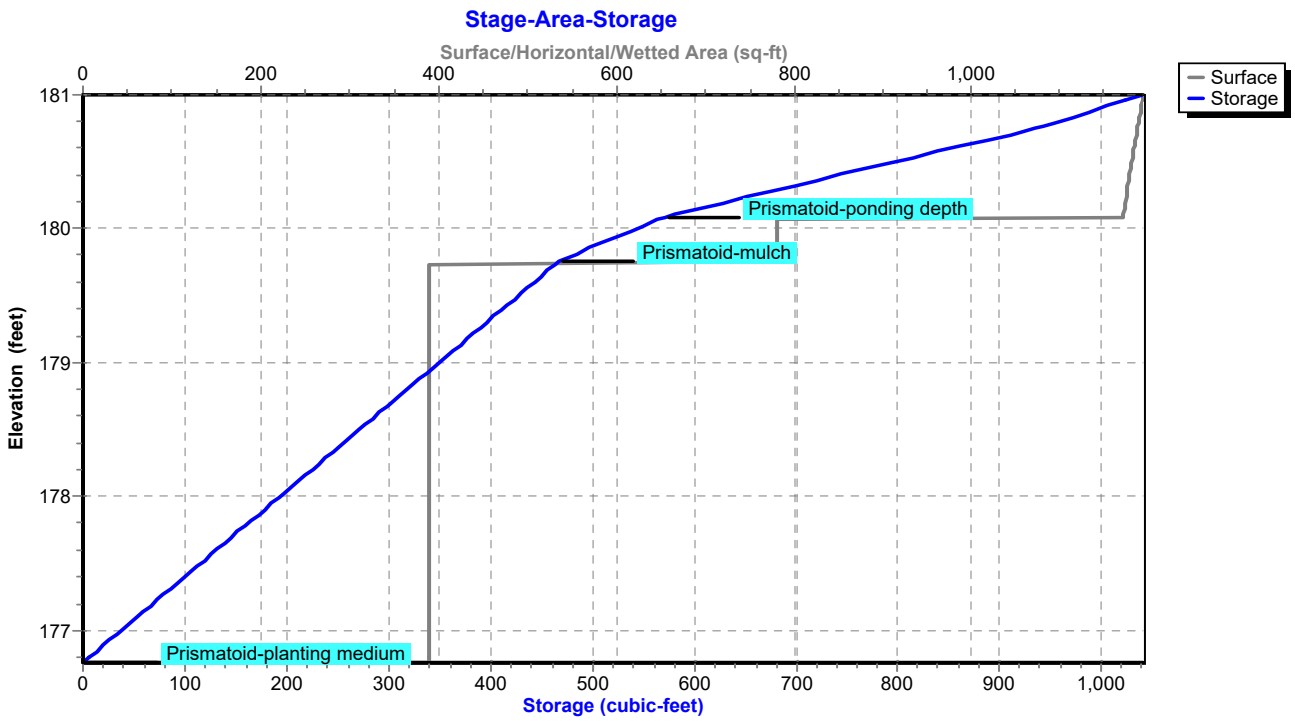
Pond 2P: Rain Garden



Pond 2P: Rain Garden



Pond 2P: Rain Garden

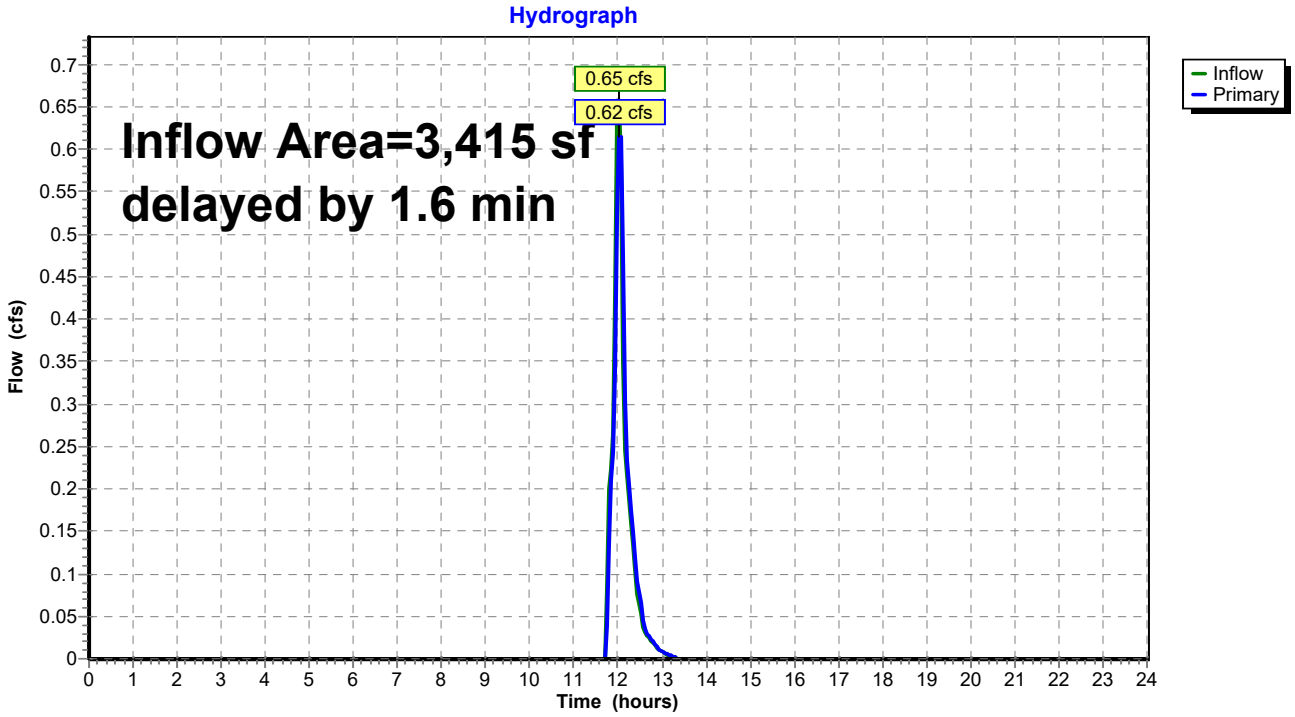


Summary for Link 1L:

Inflow Area = 3,415 sf,100.00% Impervious, Inflow Depth = 2.64" for 100-yr event
Inflow = 0.65 cfs @ 12.01 hrs, Volume= 752 cf
Primary = 0.62 cfs @ 12.04 hrs, Volume= 752 cf, Atten= 6%, Lag= 1.8 min

Primary outflow = Inflow delayed by 1.6 min, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs

Link 1L:

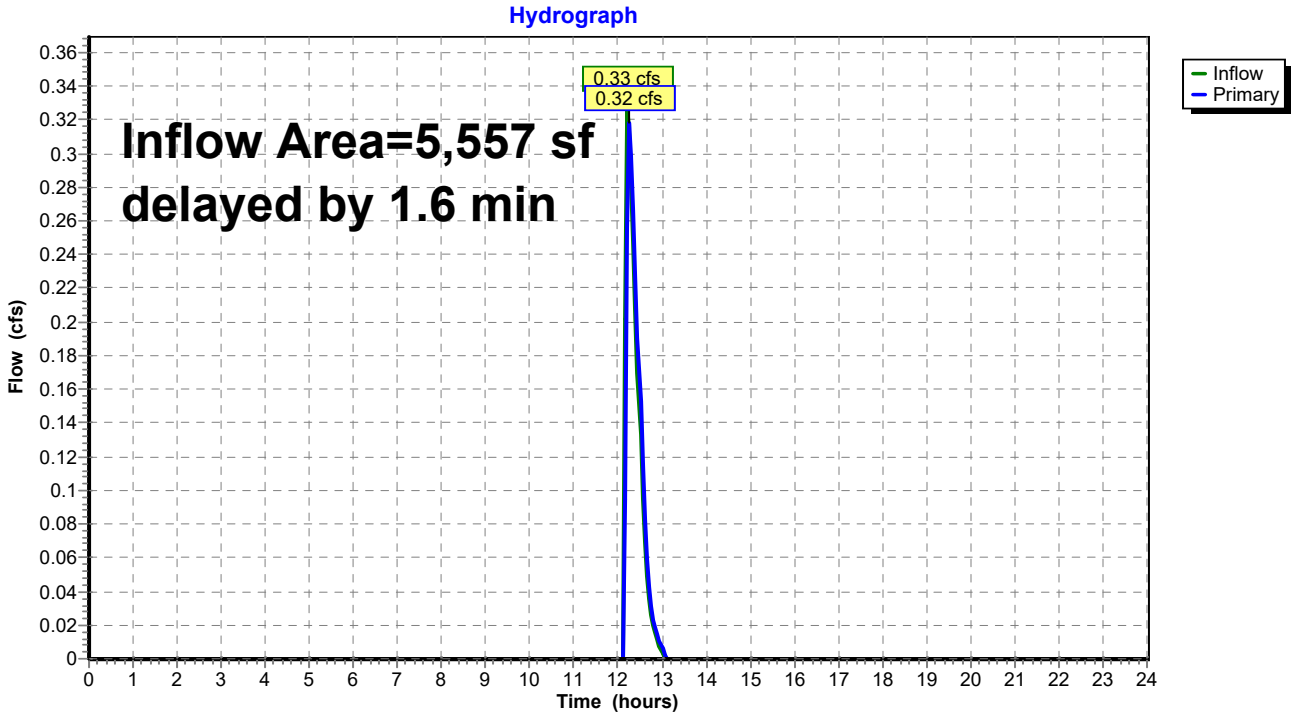


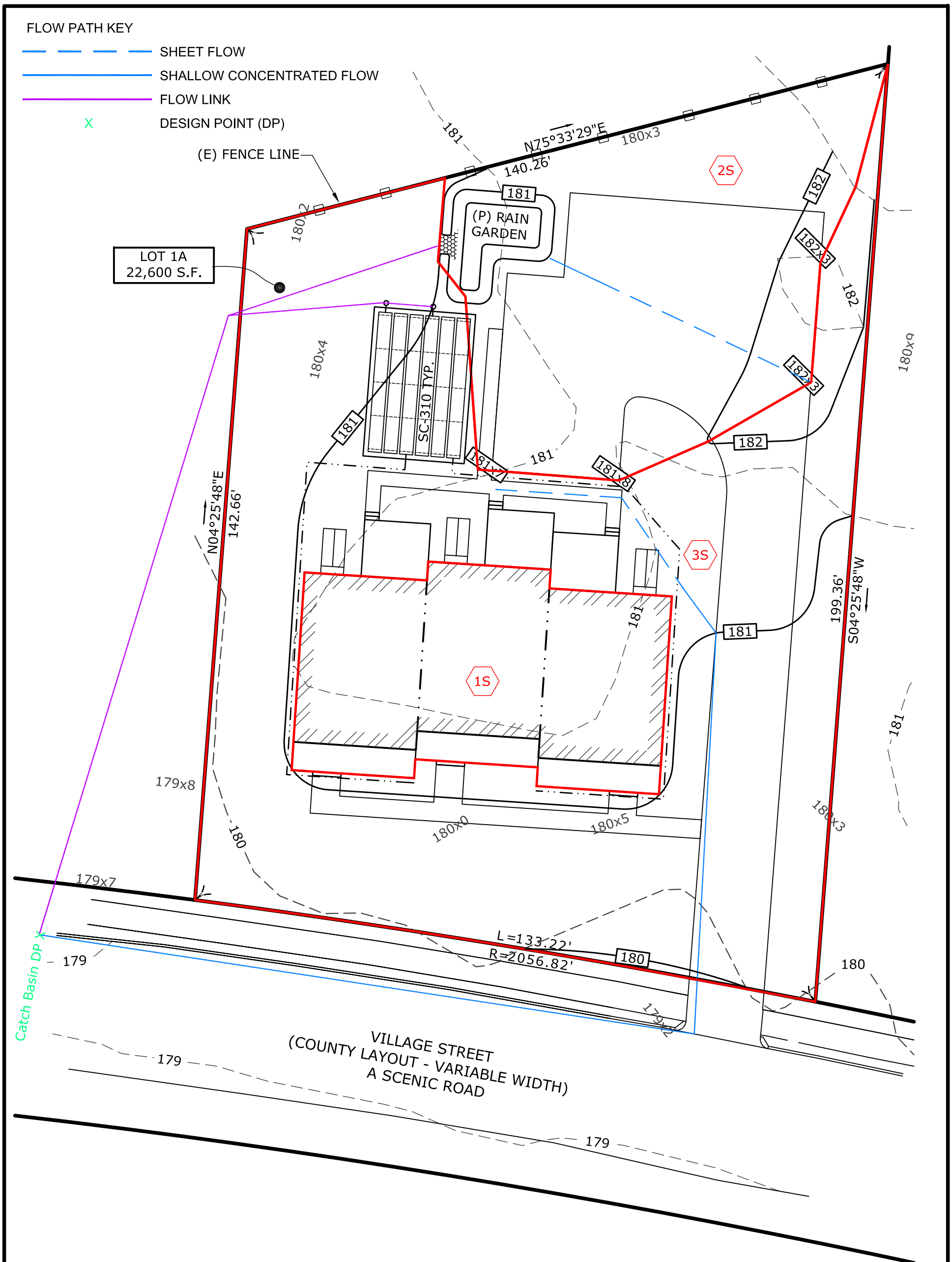
Summary for Link 2L:

Inflow Area = 5,557 sf, 57.44% Impervious, Inflow Depth = 0.86" for 100-yr event
Inflow = 0.33 cfs @ 12.22 hrs, Volume= 397 cf
Primary = 0.32 cfs @ 12.26 hrs, Volume= 397 cf, Atten= 4%, Lag= 2.5 min

Primary outflow = Inflow delayed by 1.6 min, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs

Link 2L:





POST - DEVELOPEMENT
DRAINAGE ANALYSIS

Located at
288 Village Street
Medway, MA

Scale: 1"=20'

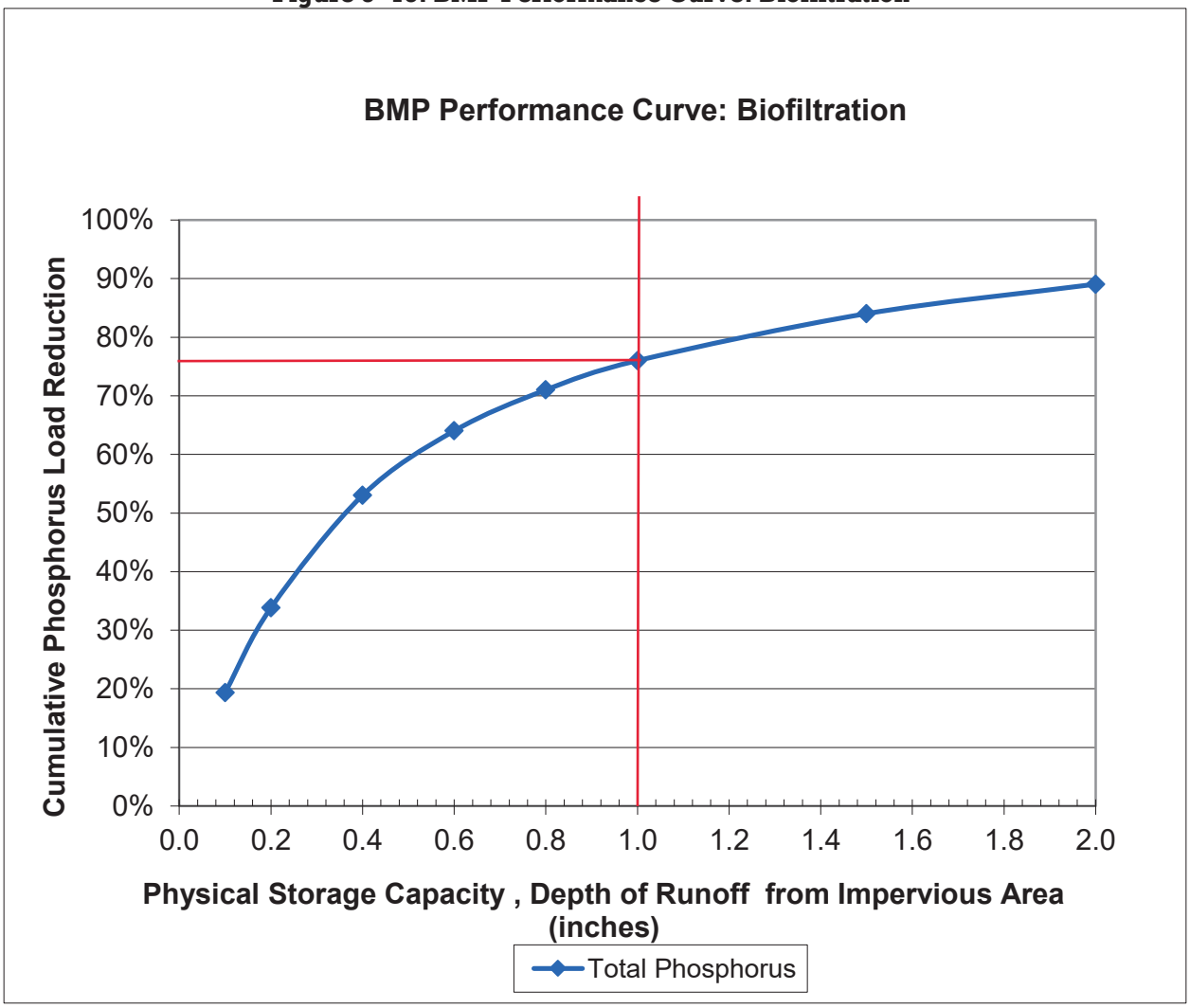
Land Planning, Inc.
Civil Engineers • Land Surveyors
Environmental Consultants
214 Worcester St., N. Grafton, MA 01536
508-839-9526

Date	April 5, 2022	Sheet No.
Job No.	B1483	1 of 1

Table 3- 16: Biofiltration BMP Performance Table

Biofiltration BMP Performance Table: Long-Term Phosphorus Load Reduction								
BMP Capacity: Depth of Runoff Treated from Impervious Area (inches)	0.1	0.2	0.4	0.6	0.8	1.0	1.5	2.0
Cumulative Phosphorus Load Reduction	19%	34%	53%	64%	71%	76%	84%	89%

Figure 3- 13: BMP Performance Curve: Biofiltration



United States Department of Agriculture

Natural Resources Conservation Service

A product of the National Cooperative Soil Survey, a joint effort of the United States Department of Agriculture and other Federal agencies, State agencies including the Agricultural Experiment Stations, and local participants

Custom Soil Resource Report for Norfolk and Suffolk Counties, Massachusetts

288 Village Street Medway MA

February 7, 2022

Map Scale: 1:2,590 if printed on A landscape (11" x 8.5") sheet.

N

Meters: 0 35 70 140 210

Feet: 0 100 200 400 600

Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 19N WGS84

MAP LEGEND

Area of Interest (AOI)

- Area of Interest (AOI)

Soils

- Soil Map Unit Polygons
- Soil Map Unit Lines
- Soil Map Unit Points

Special Point Features

- Blowout
- Borrow Pit
- Clay Spot
- Closed Depression
- Gravel Pit
- Gravelly Spot
- Landfill
- Lava Flow
- Marsh or swamp
- Mine or Quarry
- Miscellaneous Water
- Perennial Water
- Rock Outcrop
- Saline Spot
- Sandy Spot
- Severely Eroded Spot
- Sinkhole
- Slide or Slip
- Sodic Spot
- Spoil Area
- Stony Spot
- Very Stony Spot
- Wet Spot
- Other
- Special Line Features

Water Features

- Streams and Canals

Transportation

- Rails
- Interstate Highways
- US Routes
- Major Roads
- Local Roads

Background

- Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:25,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
Web Soil Survey URL:
Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Norfolk and Suffolk Counties, Massachusetts
Survey Area Data: Version 17, Sep 3, 2021

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Aug 31, 2020—Oct 22, 2020

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
5	Saco silt loam, frequently ponded, 0 to 1 percent slopes, frequently flooded	7.0	20.7%
223B	Scio very fine sandy loam, 2 to 5 percent slopes	9.2	27.3%
254B	Merrimac fine sandy loam, 3 to 8 percent slopes	15.8	46.6%
260B	Sudbury fine sandy loam, 2 to 8 percent slopes	1.8	5.4%
Totals for Area of Interest		**33.8**	**100.0%**

Norfolk and Suffolk Counties, Massachusetts

223B—Scio very fine sandy loam, 2 to 5 percent slopes

Map Unit Setting

National map unit symbol: vkxy
Elevation: 100 to 1,000 feet
Mean annual precipitation: 45 to 54 inches
Mean annual air temperature: 43 to 54 degrees F
Frost-free period: 145 to 240 days
Farmland classification: All areas are prime farmland

Map Unit Composition

Scio and similar soils: 80 percent
Minor components: 20 percent
Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Scio

Setting

Landform: Plains
Landform position (two-dimensional): Footslope
Landform position (three-dimensional): Riser
Down-slope shape: Concave
Across-slope shape: Concave
Parent material: Soft coarse-silty eolian deposits over hard coarse-silty glaciolacustrine deposits

Typical profile

H1 - 0 to 9 inches: very fine sandy loam
H2 - 9 to 40 inches: silt loam
H3 - 40 to 60 inches: stratified very gravelly sand to silt loam

Properties and qualities

Slope: 2 to 5 percent
Depth to restrictive feature: More than 80 inches
Drainage class: Moderately well drained
Runoff class: Low
Capacity of the most limiting layer to transmit water (Ksat): Moderately high to high (0.60 to 2.00 in/hr)
Depth to water table: About 18 to 24 inches
Frequency of flooding: None
Frequency of ponding: None
Available water supply, 0 to 60 inches: High (about 9.9 inches)

Interpretive groups

Land capability classification (irrigated): None specified
Land capability classification (nonirrigated): 2e
Hydrologic Soil Group: B/D
Ecological site: F144AY026CT - Moist Silty Outwash
Hydric soil rating: No

Minor Components

Sudbury

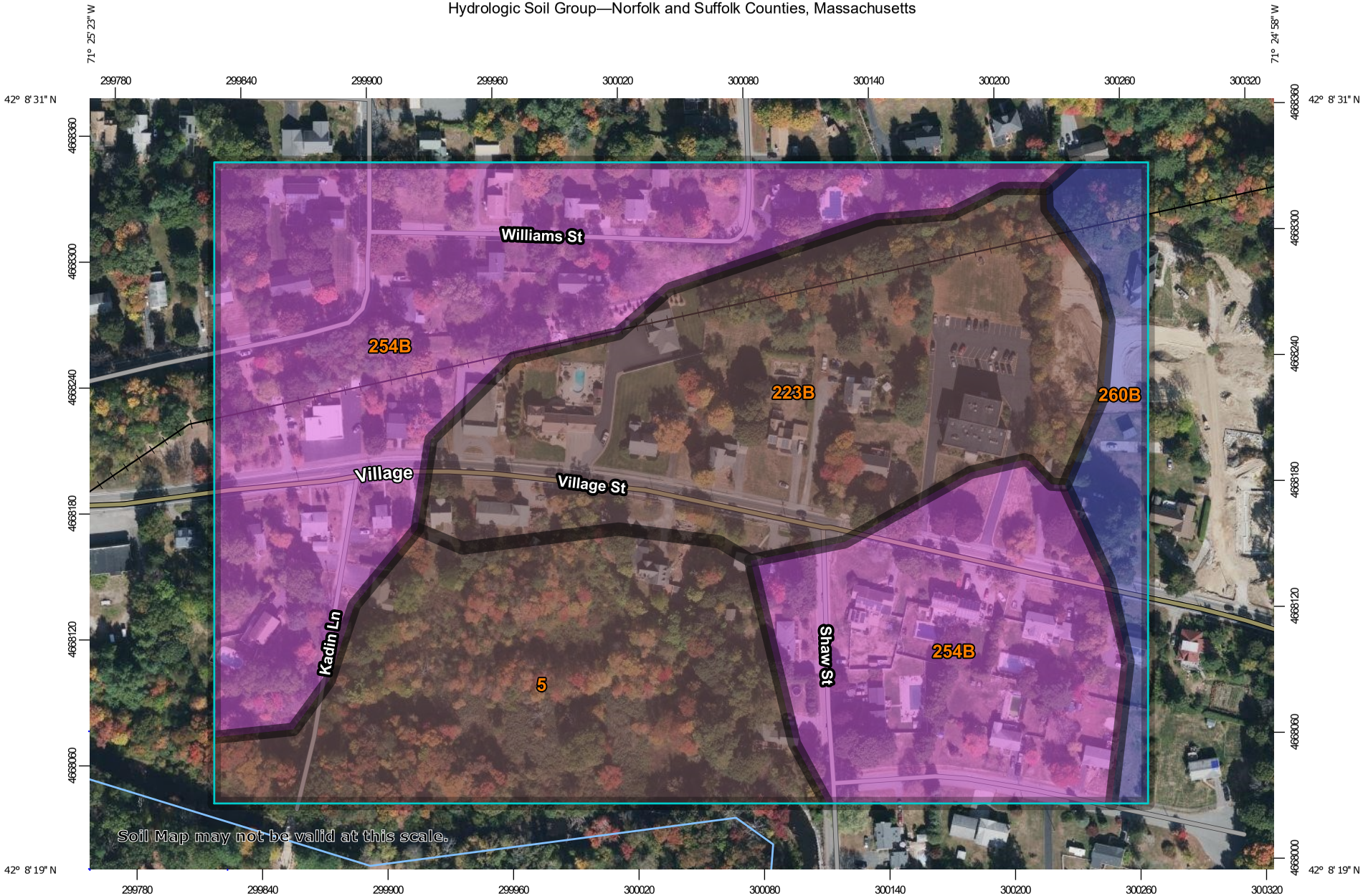
Percent of map unit: 10 percent
Hydric soil rating: No

Haven

Percent of map unit: 10 percent
Hydric soil rating: No

Data Source Information

Soil Survey Area: Norfolk and Suffolk Counties, Massachusetts
Survey Area Data: Version 17, Sep 3, 2021



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N

Meters: 0 35 70 140 210

Feet: 0 100 200 400 600

Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 19N WGS84

MAP LEGEND

Area of Interest (AOI)

Area of Interest (AOI)

Soils

Soil Rating Polygons

- A
- A/D
- B
- B/D
- C
- C/D
- D
- Not rated or not available

Soil Rating Lines

- A
- A/D
- B
- B/D
- C
- C/D
- D
- Not rated or not available

Soil Rating Points

- A
- A/D
- B
- B/D
- C
- C/D
- D
- Not rated or not available

Water Features

Streams and Canals

Transportation

- Rails
- Interstate Highways
- US Routes
- Major Roads
- Local Roads

Background

Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:25,000.

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Web Soil Survey URL:
Coordinate System: Web Mercator (EPSG:3857)

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Hydrologic Soil Group

Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
5	Saco silt loam, frequently ponded, 0 to 1 percent slopes, frequently flooded	B/D	7.0	20.7%
223B	Scio very fine sandy loam, 2 to 5 percent slopes	B/D	9.2	27.3%
254B	Merrimac fine sandy loam, 3 to 8 percent slopes	A	15.8	46.6%
260B	Sudbury fine sandy loam, 2 to 8 percent slopes	B	1.8	5.4%
Totals for Area of Interest			**33.8**	**100.0%**

Description

Hydrologic soil groups are based on estimates of runoff potential. Soils are assigned to one of four groups according to the rate of water infiltration when the soils are not protected by vegetation, are thoroughly wet, and receive precipitation from long-duration storms.

The soils in the United States are assigned to four groups (A, B, C, and D) and three dual classes (A/D, B/D, and C/D). The groups are defined as follows:

Group A. Soils having a high infiltration rate (low runoff potential) when thoroughly wet. These consist mainly of deep, well drained to excessively drained sands or gravelly sands. These soils have a high rate of water transmission.

Group B. Soils having a moderate infiltration rate when thoroughly wet. These consist chiefly of moderately deep or deep, moderately well drained or well drained soils that have moderately fine texture to moderately coarse texture. These soils have a moderate rate of water transmission.

Group C. Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.

Group D. Soils having a very slow infiltration rate (high runoff potential) when thoroughly wet. These consist chiefly of clays that have a high shrink-swell potential, soils that have a high water table, soils that have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

If a soil is assigned to a dual hydrologic group (A/D, B/D, or C/D), the first letter is for drained areas and the second is for undrained areas. Only the soils that in their natural condition are in group D are assigned to dual classes.

Rating Options

Aggregation Method: Dominant Condition

Component Percent Cutoff: None Specified

Tie-break Rule: Higher

Soil Evaluation Report

Client: Tony Leland

Location: 288 Village St, Medway

Soil Evaluator: WM

Witness:

Observation Hole 1 Date 2/15/22 Time 8 AM Weather Sunny Slope Surface Stones

Depth	Horizon	Texture	Color	Stones	Structure	Consistence	Redoximorphic
0-14	Fill	SL LS Sil	10YR 7.5YR 5YR 2.5YR 2.5Y	% Gravel	Gran Blocky	Loose	10YR 7.5YR 5YR 2.5YR 2.5Y
		FS MS CS	Value 2 3 4 5 6 7 8	% Cobbles	SubAngBlocky	V.Friable	Value 2 3 4 5 6 7 8
		SCL SC CL	Chroma 1 2 3 4 6 8		Platy	Friable	Chroma 1 2 3 4 6 8
		SiC SiCL			single grain	Firm	%
		CLAY			massive	V. Firm	Depth
						Rigid	

Depth	Horizon	Texture	Color	Stones	Structure	Consistence	Redoximorphic
14-28	B	SL LS Sil	10YR 7.5YR 5YR 2.5YR 2.5Y	% Gravel	Gran Blocky	Loose	10YR 7.5YR 5YR 2.5YR 2.5Y
		FS MS CS	Value 2 3 4 5 6 7 8	% Cobbles	SubAngBlocky	V.Friable	Value 2 3 4 5 6 7 8
		SCL SC CL	Chroma 1 2 3 4 6 8		Platy	Friable	Chroma 1 2 3 4 6 8
		SiC SiCL			single grain	Firm	%
		CLAY			massive	V. Firm	Depth
						Rigid	

Depth	Horizon	Texture	Color	Stones	Structure	Consistence	Redoximorphic	Perc Test:
28-112	C	SL LS Sil	10YR 7.5YR 5YR 2.5YR 2.5Y	% Gravel	Gran Blocky	Loose	10YR 7.5YR 5YR 2.5YR 2.5Y	PreSoak:
		FS MS CS	Value 2 3 4 5 6 7 8	% Cobbles	SubAngBlocky	V.Friable	Value 2 3 4 5 6 7 8	12"
		SCL SC CL	Chroma 1 2 3 4 6 8		Platy	Friable	Chroma 1 2 3 4 6 8	9"
		SiC SiCL			single grain	Firm	%	6"
		CLAY			massive	V. Firm	Depth None observed	Depth
						Rigid		

Depth	Horizon	Texture	Color	Stones	Structure	Consistence	Redoximorphic
		SL LS Sil	10YR 7.5YR 5YR 2.5YR 2.5Y	% Gravel	Gran Blocky	Loose	10YR 7.5YR 5YR 2.5YR 2.5Y
		FS MS CS	Value 2 3 4 5 6 7 8	% Cobbles	SubAngBlocky	V.Friable	Value 2 3 4 5 6 7 8
		SCL SC CL	Chroma 1 2 3 4 6 8		Platy	Friable	Chroma 1 2 3 4 6 8
		SiC SiCL			single grain	Firm	%
		CLAY			massive	V. Firm	Depth
						Rigid	

Depth	Horizon	Texture	Color	Stones	Structure	Consistence	Redoximorphic
		SL LS Sil	10YR 7.5YR 5YR 2.5YR 2.5Y	% Gravel	Gran Blocky	Loose	10YR 7.5YR 5YR 2.5YR 2.5Y
		FS MS CS	Value 2 3 4 5 6 7 8	% Cobbles	SubAngBlocky	V.Friable	Value 2 3 4 5 6 7 8
		SCL SC CL	Chroma 1 2 3 4 6 8		Platy	Friable	Chroma 1 2 3 4 6 8
		SiC SiCL			single grain	Firm	%
		CLAY			massive	V. Firm	Depth
						Rigid	

Weeping: 100" Standing Water:

Storm Water
Pollution Prevention Plan
For:

288 Village Street
Medway, MA

Site Owner/Operator
Tony J. Leland, Sr.
290 Village Street
Medway, MA

Prepared by:
Land Planning, Inc.
167 Hartford Ave
Bellingham, MA 02019

April 7, 2022

1.0 Site Evaluation, Assessment, and Planning

1.1 Project Information

The construction site is located at 288 Village Street, Medway MA.

1.2 Contact Information / Responsible Parties

Project Manager or Site Supervisor

Name:_____

Company: _____

Address: _____

City: _____ State: _____ Zip: _____

Phone: _____

SWPPP Contact

Name:_____

Company: _____

Address: _____

City: _____ State: _____ Zip: _____

Phone: _____

SWPPP prepared by

Norman G. Hill, P.E.

Land Planning, Inc.

214 Worcester Street

N. Grafton, MA 01536

508-839-9526

Property Owner

Tony J. Leland, Sr. & Dawn M. Leland

290 Village Street

Medway, MA

1.3 Nature and Sequence of Construction Activity

The property is to be developed for a three-unit multi-family building. Soil disturbing activities will include building construction, utility connection, grading and driveway.

1.4 Soils, Slopes, Vegetation, Drainage Patterns

The project site included a single-family dwelling, two sheds, and a paved driveway. The remaining area on-site is primarily grass with a few trees located at the north easterly portion of the site.

The overall slope of the site does is flat and does not exceeding 5%. Generally, the property slopes from northeast to southwest toward Village Street.

At the time of the hydrologic analysis the single-family dwelling has been removed. All other site conditions remain unchanged.

The soil located on site is Scio very fine sandy loam, 223B. Scio soils belong to the hydrologic soil group “B/D”. (See attached NRCS soil report.)

Based on sub-surface exploration conducted by William Halsing, SE#2823, on February 15, 2022; the depth to groundwater was determined to be 100-inches (in.). The soil texture varied between loamy-sand and medium sand in the B and C horizons respectively (see attached soil log).

1.5 Construction Site Estimates

The following are estimates of the construction site:

Size of property	22,600 ft²
Construction site area to be disturbed	19,000 ft²
Percentage of preconstruction impervious area	22%
Percentage of postconstruction impervious area	38%

1.6 Receiving Waters

Stormwater runoff from the site generally flows across the site in a southerly direction and ends up in the municipal drainage system. Two catch basins exist at the left and right lot line of the project site.

1.7 Site Features and Sensitive Areas to be Protected

There are no sensitive or protected resource areas on or adjacent to the site.

1.8 Potential Sources of Pollution

Potential sources of sediment to stormwater runoff include:

- Grading and excavation operations
- Vehicle tracking
- Topsoil stripping and stockpiling
- Landscaping operations

Potential pollutants and sources, other than sediment, to stormwater runoff:

- Combined Staging Area – fueling activities, equipment maintenance, sanitary facilities, waste storage
- Materials Storage Area – general building materials, solvents, adhesives, paving materials, paints, aggregates, and trash.
- Construction Activity – building construction, paving, concrete pouring,
- Concrete Washout Area

See table below for potential construction site pollutants:

TRADE NAME MATERIAL	CHEMICAL/PHYSICAL DESCRIPTION	STORM WATER POLLUTANTS
Pesticides	Various colored to colorless liquid, powder, grains, or pellets	Chlorinated hydrocarbons, organophosphates, carbamates, arsenic
Fertilizer	Liquid or solid grains	Nitrogen, Phosphorous
Plaster	White granules or powder	Calcium sulphate, calcium carbonate, sulfuric acid
Cleaning solvents	Colorless, blue, or yellow-green liquid	Perchloroethylene, methylene chloride, trichloroethylene, petroleum distillates
Asphalt	Black solid	Oil, petroleum distillates
Concrete	White solid	Limestone, sand
Glue, adhesives	White or yellow liquid	Polymers, epoxies
Paints	Various colored liquid	Metal oxides, stoddard solvent, talc, calcium carbonate, arsenic
Curing compounds	Creamy white liquid	Naphtha
Waste water from construction equipment washing	Water	Soil, oil and grease, solids
Wood preservatives	Clear amber or dark brown liquid	Stoddard solvent, petroleum distillates, arsenic, copper, chromium
Hydraulic oil/fluids	Brown oily petroleum hydrocarbon	Mineral oil
Gasoline	Colorless, pale brown or pink petroleum hydrocarbon	Benzene, ethyl benzene, toluene, xylene, MTBE
Diesel fuel	Clear, blue-green to yellow liquid	Petroleum distillate, oil and grease, naphthalene, xylenes
Kerosene	Pale yellow liquid petroleum hydrocarbon	Coal oil, petroleum distillates
Antifreeze/coolant	Clear green/yellow liquid	Ethylene glycol, propylene glycol, heavy metals (copper, zinc, lead)
Sanitary toilets	Various colored liquid	Bacteria, parasites, and viruses

2.0 Erosion and Sedimentation Control BMPs

- **Minimize disturbed area and protect natural features and soil**

  Topsoil to be stripped from the construction area will be stockpiled as identified on the Sedimentation & Erosion Control Plan. The stockpile shall be surrounded by sediment barriers at its base.

- **Phase Construction Activity**

  The proposed site is too small for phased disturbance areas to be practical. To minimize erosion construction activities should be limited to the spring, summer, and fall seasons.

- **Control stormwater flowing onto and through the project**

  The runoff entering the site from the north shall be diverted around the disturbed areas of the site.

- **Stabilize soils**

  Temporary Stabilization

  Hydromulching will provide immediate protection to exposed soils where construction will cease for more than 14 days and over the winter months. Straw mulch and wood fiber will be mixed with a tackifier (amount specified per manufacturer's instructions) and applied uniformly by machine with an application rate of 90–100 pounds (2–3 bales) per 1,000 square feet or 2 tons (100–200 bales) per acre. If the tackifier does not appear effective in anchoring the mulch to the disturbed soil, crimping equipment will be used to provide additional binding to the soil. The mulch will cover 75 to 90 percent of the ground surface. In areas, where hydromulching is inaccessible, straw mulch will be applied by hand with an application rate of 90–100 pounds (2–3 bales) per 1,000 square feet.

  Permanent Stabilization

  Permanent stabilization will be done immediately after the final design grades are achieved but no later than 14 days after construction ceases. Native species of plants will be used to establish vegetative cover on exposed soils. Permanent stabilization will be completed in accordance with the final stabilization procedures.

- **Protect slopes**

  The project does not include slopes exceeding 3:1.

- **Establish perimeter controls and sediment barriers**

  Sediment barriers consisting of straw wattles and silt fence will be installed at the perimeter of the site as indicated on the Sedimentation & Erosion Control Plan. See the detail provided on the Sedimentation & Erosion Control Plan for specifications and installation requirements of the sediment barrier.

- **Establish stabilized construction exits**

  An anti-tracking pads consisting of washed stone will be installed at the exit of the project site, as identified on the Sedimentation & Erosion Control Plan, to prevent the off-site transport of sediment by construction vehicles. The anti-tracking pads will be at least 30 feet long, a minimum of 10 feet wide, flared at the end closest to the road.

3.0 Good Housekeeping BMPs

3.1 Material Handling and Waste Management

- **Waste Materials**

  All waste materials will be collected and disposed of into metal trash dumpsters. Dumpsters will have a secure watertight lid, be placed away from stormwater conveyances and drains, and meet all federal, state, and municipal regulations. Only trash and construction debris from the site will be deposited in the dumpster. No construction materials will be buried on-site.

- **Hazardous Waste Materials**

  All hazardous waste materials such as oil filters, petroleum products, paint, and equipment maintenance fluids will be stored in structurally sound and sealed shipping containers, within the hazardous materials storage area. Hazardous waste materials will be stored in appropriate and clearly marked containers and segregated from other non-waste materials. Secondary containment will be provided for all waste materials in the hazardous materials storage area and will consist of commercially available spill pallets. Additionally, all hazardous waste materials will be disposed of in accordance with federal, state, and municipal regulations. Hazardous waste materials will not be disposed of into the on-site dumpsters.

- **Sanitary Waste**

  Temporary sanitary facilities (portable toilets) will be provided at the site throughout the construction phase. The toilets will be in the staging area. The portable toilets will be located away from a concentrated flow paths and traffic flow and will have collection pans underneath as secondary containment.

3.2 Equipment/Vehicle Fueling and Maintenance Practices

- **Fueling and Maintenance**

  Several types of vehicles and equipment will be used on-site throughout the project, including graders, scrapers, excavators, loaders, paving equipment, rollers, trucks and trailers, backhoes, and forklifts. All major equipment maintenance will be performed off-site. Vehicle fueling and minor maintenance will be performed outside of and, as far as practicable, away from the resource areas. Absorbent, spill-cleanup materials and spill kits will be available on-site.

3.6 Spill Prevention and Control

- **Spill Prevention and Control Procedures**

  I. Employee Training: All employees will be trained via monthly tailgate sessions.
  II. Vehicle Maintenance: Vehicles and equipment will be maintained off-site. All vehicles and equipment including subcontractor vehicles will be checked for leaking oil and fluids. Vehicles leaking fluids will not be allowed on-site.
  III. Hazardous Material Storage: Hazardous materials will be stored in accordance with Section 3 and federal and municipal regulations.
  IV. Spill Kits: Spill kits will be within the materials storage area and concrete washout areas.
  V. Spills: All spills will be cleaned up immediately upon discovery. Spent absorbent materials and rags will be hauled off-site immediately after the spill is cleaned up for proper disposal. Spills large enough to discharge to surface water will be reported to the National Response Center at 1-800-424-8802 and MassDEP Emergency Response Line at 1-888-304-1133.
  VI. Material safety data sheets, a material inventory, and emergency contact information will be maintained at the on-site project trailer.

4.0 Inspections

4.1 Inspection Schedule and Procedures

- Inspections of the site will be performed once every 7 days and within 24 hours of the end of a storm event of one-half inch or greater. The inspections will verify that all BMPs required in Sections 2 and 3 are implemented, maintained, and effectively minimizing erosion and preventing stormwater contamination from construction materials. For detailed inspection procedures, see Sections 2 and 3.

- A maintenance inspection report will be made after each inspection. A copy of the report form to be completed by the SWPPP Coordinator is provided Section 8. Completed forms will be maintained on-site throughout construction. Following construction, the completed forms will be retained at the site operators' office for a minimum of 1 year.

5.0 Recordkeeping and Training

5.1 Recordkeeping

- Records will be retained for a minimum period of at least 3 years after the Certificate of Compliance is issued.

5.2 Log of Changes to the SWPPP

No.	Description of Amendment	Date of Amendment	Amendment Prepared by

5.3 Training

- **General stormwater and BMP awareness training**

  The SWPPP Coordinator will conduct informal training for all staff, including subcontractors, on the site. The training will be conducted primarily via tailgate sessions and will focus on avoiding damage to stormwater BMPs and preventing illicit discharges. The tailgate sessions will be conducted monthly and will address the following topics: Erosion Control BMPs, Sediment Control BMPs, Non-Stormwater BMPs, Waste Management and Materials Storage BMPs, and Emergency Procedures specific to the construction site.

- **Detailed training for staff with specific stormwater responsibilities**

  The SWPPP Coordinator will provide formal training to all staff and subcontractors with specific stormwater responsibilities, such as installing and maintaining BMPs. The formal training will cover all design and construction specifications for installing the BMPs and proper procedures for maintaining each BMP. Formal training will occur before any BMPs are installed on the site.

6.0 Final Stabilization

6.1 Permanent Seeding

- **Seedbed Preparation**

a. In areas where disturbance results in subsoil or fill material being the final grade surface, topsoil will be spread over the finished area at minimum depth of 4 inches.

b. The seedbed will be free of large clods, rocks, woody debris and other objectionable materials.

c. Fertilizer and lime will be applied to the seedbed according to the manufacturer's recommendations or soil tests.

d. The top layer of soil will be loosened to a depth of 3–5 inches by raking, tilling, disking or other suitable means.

- **Grass Selection/Application**

a. Lawns will be stabilized with a mixture of Kentucky Blue Grass and Creeping Red Fescue at an application rate of 100 pounds per acre or 2.3 pounds per 1,000 square feet.

b. Seed will be applied uniformly by hydroseeding or broadcasting. Where broadcasting is used, the seed will be covered with .25 inch of soil or less.

- **Mulching**

a. Hydromulch will be applied immediately following seeding at an application rate of 90–100 pounds (2–3 bales) per 1,000 square feet.

7.0 SWPPP Coordinator and Duties

The construction site SWPPP Coordinator for the facility is:

Name: _____ Title: _____

Company: _____ Phone:_____.

The SWPPP Coordinator's duties include the following:

- Implement the SWPPP plan;
- Oversee maintenance practices identified as BMPs in the SWPPP;
- Implement and oversee employee training;
- Conduct or provide for inspection and monitoring activities;
- Identify other potential pollutant sources and make sure they are added to the SWPPP;
- Identify any deficiencies in the SWPPP and make sure they are corrected and
- Ensure that any changes in construction plans are addressed in the SWPPP.

8.0 Forms and Logs

Initial Inspection of Erosion and Sediment Control

DEP File Number: _____ Date:_____

Contractor/Representative:_____

Evaluated by SWPPP Coordinator:_____

A. Project Overview

- How Many Acres Total Does the Project Disturb? _____
- Project Start Date:_____ Project End Date:_____
- Phase I start date?_____

B. Paperwork

- *Does the project have a Order of Conditions? Yes No N/A
- *Is the SWPPP Notebook onsite? Yes No N/A

C. Site Preparation

- *Has the contractor installed temporary construction entrance(s) and are the vehicles using it? Yes No N/A
- *Is there a place for concrete wash-out, is it clearly marked and do concrete trucks appear to be using it? Yes No N/A
- *Is the site largely free of construction trash? (cups, lunch sacks, material packaging, etc.) Yes No N/A
- *Have perimeter sediment controls been installed? Yes No N/A
- *Have pre-construction controls been installed per the plan been installed? Yes No N/A
- *Have easily recognizable indications of the construction limits been installed? (fencing, staking, physical barriers) Yes No N/A

* Must be “yes” or N/A in order for inspection to be “satisfactory”.

Note: The local Conservation Commission must inspect and approve of the initial erosion and sediment controls, as installed, prior to the start of construction.

Erosion and Sediment Control Inspection Report Form

Project Name and Location

Weather:	**Pollution Control Measures (BMP) Checklist:**
Rain in last 24 hrs (inches):	_____ Inlet Barrier (ie: filter bags) _____ Sediment Barriers (ie: wattles/silt fence) _____ Erosion Blankets, Hydromulch / Seed _____ Stabilized Construction Entrance _____ Diversion Berms _____ Seed / Sod Areas _____ Sediment Basins & Discharge _____ Borrow Areas _____ General Site Condition (trash, etc)
Owner / Permittee:	
A. Current Construction / Active Areas:	

B. Problem Areas / Special Observations(*Note problem areas ONLY below*):

BMP	Location	Observations, Effectiveness, & Corrective Actions Ordered

C. Listing of Areas where construction operations have permanently or temporarily stopped; stabilization measures initiated.

D. Have items noted on last inspection been corrected? Yes No (if No, Explain:)

Note: Inspection comments above indicate deficiencies only. Deficiencies must be corrected within 7 days, unless otherwise noted. All other BMP's on site are considered to be in good working condition.

_____ _____

Inspection Date **SWPPP Coordinator Signature**

BMP INSPECTION CHECKLIST

General notes about Inspections:
1) Site inspected weekly
2) Within 24 hours of the end of a storm with rain >0.5”
3) Deficiencies corrected within 7 calendar days of inspection

Key elements to look at during inspection
1) Proper installation
2) Operation
3) Maintenance

Inlet Barriers (ie:sand bags, filter bags, straw wattles)

- √ Is the structure deteriorating
- √ Is sediment >1/2 the height of structure?
- √ Evidence of water/sediment getting **around or under** barrier?
- √ Are there other structures that require inlet barriers?

Sediment Barriers (ie: silt fence/straw wattles)

- √ Are they trenched in or falling down?
- √ Evidence of sediment/water getting **around** or **under** barrier?
- √ Is sediment more than 1/3 height of structure?
- √ Are there areas where more sediment barriers are required or need extended?

Stabilized Construction Entrance

- √ Is gravel clean or getting filled with mud?
- √ Evidence of sediment being tracked off site onto public streets?

Final or temporary Stabilization area

- √ Mulches/Grasses-are areas thinning or have been disturbed? Re-application req’d?
- √ Straw Blankets-are they deteriorating and need replaced?

Borrow Areas

- √ When on site or offsite borrow areas, which include contractor furnished, are to be excavated below ground elevations, an earth berm must be constructed around the borrow area to prevent runoff from entering excavation area

Sediment Basin

- √ Note the basin depth. Is the basin more than ½ full of sediment from original design?
- √ Condition of basin side slopes
- √ Evidence of overtopping embankment
- √ Condition of outfall

General Site Conditions

- √ Trash barrels-any evidence of trash lying around site
- √ Location of porta potties
- √ Leaking vehicles
- √ Concrete Washouts Designated

Quality Assurance Field Review – Erosion and Sediment Control

DEP File Number: _____ Contractor/Representative:_____

Date:_____ Evaluated by SWPPP Coordinator:_____

A. Project Status: *(brief description of the current phase of construction; major items of work in progress; and general observations of effectiveness and maintenance of site controls, and stormwater discharge at outfalls).*

B. Deficiencies Noted *(List any specific deficiencies found during the review).*

C. Have weekly and rainfall-required inspections been conducted since the last compliance evaluation? Were noted deficiencies corrected within 7 days?

Notice to Contractor: All deficiencies must be corrected within 7 days unless otherwise noted. A record of corrected deficiencies must be maintained.

Final Inspection of Erosion and Sediment Control

DEP File Number: _____ Date:_____

Contractor/Representative:_____

Evaluated by SWPPP Coordinator:_____

Project Overview

- How Many Acres Total Does the Project Disturb? _____
- Project Start Date_____ Project End Date _____

Paperwork

- Is the SWPPP Notebook onsite? Yes No N/A

Final Site Preparation*

- Has the concrete wash-out area been cleaned? Yes No N/A
- Is the site free of construction trash? (cups, lunch sacks, material packaging, wood debris, etc.) Yes No N/A
- Have perimeter sediment controls been taken down? Yes No N/A
- Have indications of the construction limits been taken down? (fencing, staking, physical barriers) Yes No N/A
- Has all the dirt on the site been covered? Yes No N/A
- Have appropriate grasses/sod/trees been planted? Yes No N/A
- Have the plants accepted? Yes No N/A
- Have gutters and streets been cleaned of soil/trash? Yes No N/A
- Have all erosion controls been removed? Yes No N/A

* Must be “yes” or N/A in order for inspection to be “satisfactory”.

Stormwater Management
Operation & Maintenance Plan

288 Village Street
Medway, MA

Prepared by:
Land Planning, Inc.
167 Hartford Ave
Bellingham, MA 02019

April 7, 2022

Operation & Maintenance Plan

Property Owner
Tony J. Leland, Sr. & Dawn M. Leland
290 Village Street
Medway, MA

Site Operator
Tony J. Leland, Sr.
290 Village Street
Medway, MA

Facility Location

288 Village Street
Medway, MA

This Operation & Maintenance Plan is transferable to future property owners and operators. The above information shall be updated as required should a change in ownership or operation occur.

BMPs & Structural Controls

Subsurface Infiltration System

A subsurface infiltration system consisting of StormTech SC-310 chambers within a field of washed stone is provided to recharge roof runoff to groundwater. The system is provided with access ports at the ground surface to provide for inspection and maintenance. A copy of the manufacturers operation and maintenance plan is attached to this report.

Subsurface Infiltration System	
Activity	**Frequency**
Check inlets for clogging	Two times per year
Other maintenance	See attached manufacturers operation and maintenance manual

Rain Garden

Subsurface Infiltration System	
Activity	**Frequency**
Inspect and remove trash	Monthly
Mow	2 to 12 times per year
Mulch	Annually
Fertilize	Annually
Remove dead vegetation	Annually
Prune	Annually

Non-Structural Controls and Housekeeping

Snow Removal

Snow shall be plied along the easterly side of the driveway and at the northerly end of the parking facility as necessary.

Deicing Chemicals

Application of deicing chemicals shall be done sparingly as needed to ensure the safety of the vehicles and pedestrians. Exterior storage of deicing materials on this property is prohibited.

Fertilizers, Pesticides, Herbicides

Organic, slow-release fertilizers should be used within the landscaped areas and maintained lawn areas. Use of pesticides and herbicides is discouraged. Outside storage of fertilizers, pesticides, and herbicides is prohibited.

Landscape Maintenance

Leaves, trimmings, and grass clippings shall be properly disposed of. If these materials are to be composted on-site, it shall be done outside of any wetland resource area or buffer zone.

Street Sweeping

The driveway shall be swept as necessary with a minimum frequency of twice per year. The first sweeping shall take place in early spring after the snow has melted. The second sweeping should be done in autumn.

Maintenance and Inspection Log

Inspections for year _____

BMP	Action	Date	Comment	By
Rain Garden	Inspect			
	Inspect			
	Inspect			
	Inspect			
	Clean			
	Clean			
	Clean			
Subsurface Infiltration System	Inspect			
	Inspect			
	Inspect			
	Inspect			
	Other			
	Other			

Isolator® Row
O&M Manual

ADS StormTech™

The Isolator® Row

Introduction

An important component of any Stormwater Pollution Prevention Plan is inspection and maintenance. The StormTech Isolator Row is a technique to inexpensively enhance Total Suspended Solids (TSS) and Total Phosphorus (TP) removal with easy access for inspection and maintenance.

The Isolator Row

The Isolator Row is a row of StormTech chambers, either SC-160, SC-310, SC-310-3, SC-740, DC-780, MC-3500 or MC-7200 models, that is surrounded with filter fabric and connected to a closely located manhole for easy access. The fabric-wrapped chambers provide for sediment settling and filtration as stormwater rises in the Isolator Row and passes through the filter fabric. The open bottom chambers and perforated sidewalls (SC-310, SC- 310-3 and SC-740 models) allow stormwater to flow both vertically and horizontally out of the chambers. Sediments are captured in the Isolator Row protecting the adjacent stone and chambers storage areas from sediment accumulation.

ADS geotextile fabric is placed between the stone and the Isolator Row chambers. The woven geotextile provides a media for stormwater filtration, a durable surface for maintenance, prevents scour of the underlying stone and remains intact during high pressure jetting. A non-woven fabric is placed over the chambers to provide a filter media for flows passing through the chamber's sidewall. The non-woven fabric is not required over the SC-160, DC-780, MC-3500 or MC-7200 models as these chambers do not have perforated side walls.

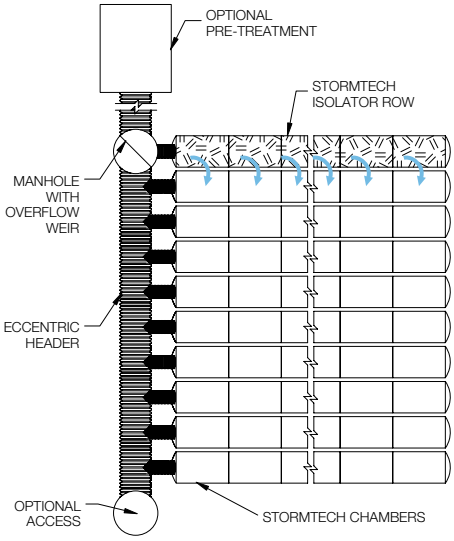
The Isolator Row is designed to capture the "first flush" runoff and offers the versatility to be sized on a volume basis or a flow-rate basis. An upstream manhole provides access to the Isolator Row and includes a high/low concept such that stormwater flow rates or volumes that exceed the capacity of the Isolator Row bypass through a manifold to the other chambers. This is achieved with an elevated bypass manifold or a high-flow weir. This creates a differential between the Isolator Row row of chambers and the manifold to the rest of the system, thus allowing for settlement time in the Isolator Row. After Stormwater flows through the Isolator Row and into the rest of the chamber system it is either exfiltrated into the soils below or passed at a controlled rate through an outlet manifold and outlet control structure.

The Isolator Row may be part of a treatment train system. The treatment train design and pretreatment device selection by the design engineer is often driven by regulatory requirements. Whether pretreatment is used or not, StormTech recommend using the Isolator Row to minimize maintenance requirements and maintenance costs.

Note: *See the StormTech Design Manual for detailed information on designing inlets for a StormTech system, including the Isolator Row.*

Looking down the Isolator Row from the manhole opening, woven geotextile Fabric is shown between the chamber and stone base.

StormTech Isolator Row with Overflow Spillway (*not to scale*)



Isolator Row Inspection/Maintenance

Inspection

The frequency of inspection and maintenance varies by location. A routine inspection schedule needs to be established for each individual location based upon site specific variables. The type of land use (i.e. industrial, commercial, residential), anticipated pollutant load, percent imperviousness, climate, etc. all play a critical role in determining the **actual frequency of inspection and maintenance practices.**

At a minimum, StormTech recommends annual inspections. Initially, the Isolator Row should be inspected every 6 months for the first year of operation. For subsequent years, the inspection should be adjusted based upon previous observation of sediment deposition.

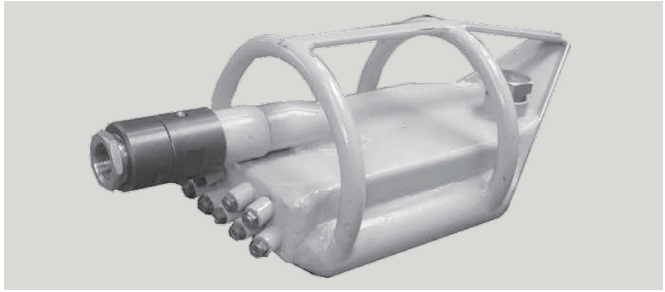
The Isolator Row incorporates a combination of standard manhole(s) and strategically located inspection ports (as needed). The inspection ports allow for easy access to the system from the surface, eliminating the need to perform a confined space entry for inspection purposes.

If upon visual inspection it is found that sediment has accumulated, a stadia rod should be inserted to determine the depth of sediment. When the average depth of sediment exceeds 3 inches throughout the length of the Isolator Row, clean-out should be performed.

Maintenance

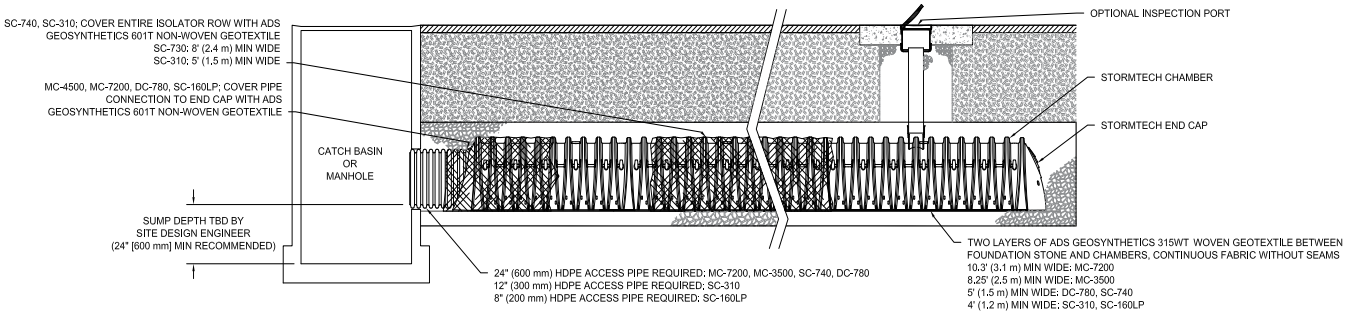
The Isolator Row was designed to reduce the cost of periodic maintenance. By “isolating” sediments to just one row, costs are dramatically reduced by eliminating the need to clean out each row of the entire storage bed. If inspection indicates the potential need for maintenance, access is provided via a manhole(s) located on the end(s) of the row for cleanout. If entry into the manhole is required, please follow local and OSHA rules for a confined space entries.

Maintenance is accomplished with the JetVac process. The JetVac process utilizes a high pressure water nozzle to propel itself down the Isolator Row while scouring and suspending sediments. As the nozzle is retrieved, the captured pollutants are flushed back into the manhole for vacuuming. Most sewer and pipe maintenance companies have vacuum/JetVac combination vehicles. Selection of an appropriate JetVac nozzle will improve maintenance efficiency. Fixed nozzles designed for culverts or large diameter pipe cleaning are preferable. Rear facing jets with an effective spread of at least 45” are best. JetVac reels can vary in length. For ease of maintenance, ADS recommends Isolator Row lengths up to 200" (61 m). **The JetVac process shall only be performed on StormTech Isolator Rows that have AASHTO class 1 woven geotextile (as specified by StormTech) over their angular base stone.**



StormTech Isolator Row (not to scale)

Note: *Non-woven fabric is only required over the inlet pipe connection into the end cap for SC-160LP, DC-780, MC-3500 and MC-7200 chamber models and is not required over the entire Isolator Row.*



Isolator Row Step By Step Maintenance Procedures

Step 1

Inspect Isolator Row for sediment.

A) Inspection ports (if present)
   i. Remove lid from floor box frame
   ii. Remove cap from inspection riser
   iii. Using a flashlight and stadia rod,measure depth of sediment and record results on maintenance log.
   iv. If sediment is at or above 3 inch depth, proceed to Step 2. If not, proceed to Step 3.

B) All Isolator Row
   i. Remove cover from manhole at upstream end of Isolator Row
   ii. Using a flashlight, inspect down Isolator Row through outlet pipe
      1. Mirrors on poles or cameras may be used to avoid a confined space entry
      2. Follow OSHA regulations for confined space entry if entering manhole
   iii. If sediment is at or above the lower row of sidewall holes (approximately 3 inches), proceed to Step 2. If not, proceed to Step 3.

Step 2

Clean out Isolator Row using the JetVac process.

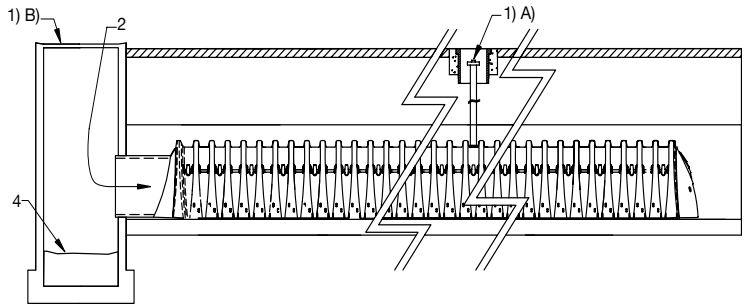
A) A fixed floor cleaning nozzle with rear facing nozzle spread of 45 inches or more is preferable
B) Apply multiple passes of JetVac until backflush water is clean
C) Vacuum manhole sump as required

Step 3

Replace all caps, lids and covers, record observations and actions.

Step 4

Inspect & clean catch basins and manholes upstream of the StormTech system.



Sample Maintenance Log

Date	Stadia Rod Readings		Sediment Depth (1)–(2)	Observations/Actions	Inspector
	Fixed point to chamber bottom (1)	Fixed point to top of sediment (2)			
3/15/11	6.3 ft	none		New installation. Fixed point is CI frame at grade	DJM
9/24/11		6.2	0.1 ft	Some grit felt	SM
6/20/13		5.8	0.5 ft	Mucky feel, debris visible in manhole and in Isolator Row, maintenance due	NV
7/7/13	6.3 ft		0	System jetted and vacuumed	DJM

adspipe.com
800-821-6710

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APPENDIX OF KEY TERMS – Definitions include those taken from Medway General Bylaws, ARTICLE XXVI – Stormwater Management and Land Disturbance

ILLICIT CONNECTION – A direct or indirect connection, which allows an illicit discharge into the MS4, including without limitation sewage, process wastewater, or wash water and any connections from indoor drains, sinks, or toilets, regardless of whether said connection was previously allowed or approved before the effective date of this Bylaw.

ILLICIT DISCHARGE – Any discharge to a MS4 that is not composed entirely of stormwater except discharges pursuant to a NPDES permit (other than NPDES permit for discharges from the MS4) and discharges from firefighting activities.

IMPERVIOUS SURFACE - Any surface that prevents or significantly impedes the infiltration of water into the underlying soil. This can include, but is not limited to: roads, driveways, parking areas and other areas created using non porous material; buildings, rooftops, structures, artificial turf and compacted gravel or soil.

LAND DISTURBANCE – An action to alter the existing vegetation and/or underlying soil of a site, such as demolition, clearing, grading, site preparation (e.g., excavating, cutting and filling), soil compaction, construction, and movement and stockpiling of top soils.

LIMIT OF WORK – The boundaries of the full extent of the area of land to be altered or disturbed during a construction project. The boundary beyond which no construction work will take place. Includes but is not limited to the areas where trees and other vegetation will be cleared, where the sod layer and other earth materials will be removed, where excavation and grading will occur, where buildings and infrastructure will be constructed, and areas to be used for truck parking, equipment storage, and material storage during construction. Limit of Work is also known as the area encompassed by erosion controls.

MS4 (Municipal Separate Storm Sewer System) – A conveyance or system of conveyances (including roads with drainage systems, municipal streets, catch basins, curbs, getters, ditches, manmade channels, or storm drains):

a) Owned and operated by the Town that discharges to waters of the United States
b) Designated or used for collection or conveyance stormwater

NEW DEVELOPMENT – Any construction activities or land alteration resulting in total land disturbances greater than one acre (or activities that are part of a larger common plan of development disturbing greater than one acre) on an area that has previously been developed which will now include impervious cover (post construction)

NOAA – National Oceanic and Atmospheric Administration. A federal agency within the U.S. Department of Commerce. See https://hdsc.nws.noaa.gov/hdsc/pfds/pfds_map_cont.html for most current precipitation data.

NPDES – National Pollution Discharge Elimination System

POLLUTANT – Dredged spoil, solid waste, incineration residue, filter backwash, sewage, garbage, sewer sludge, munitions, chemical wastes, biological materials, heat, wrecked or discarded equipment, rock, sand, cellar dirt, and industrial, municipal and agriculture waste discharged into water.

REDEVELOPMENT – Any construction, land alteration, or improvement of impervious surfaces resulting in total disturbances greater than one acre (or activities that are part of a large common plan of development disturbing greater than one acre) that does not meet the definition of New Development.

UNAUTHORIZED CONNECTION – A connection that discharges to the Town's MS4 without written permit from the Town.

June 28, 2022
Medway Planning & Economic Development Board Meeting

Medway Commons- BrightPath Child Care Center – Minor Site Plan

- Email from Deputy Fire Chief Michael Fasolino dated June 14, 2022
- Response letter to Tetra Tech comments by Charter Realty, dated June 14, 2022
- Waiver Request dated June 22, 2022
- Revised Site Plan dated June 22, 2022
- Draft Decision

- Public Briefing Notice dated May 4, 2022
- Minor Site Plan Application dated May 20, 2022
- Email dated May 3, 2022, from Medway Building Commissioner Jack Mee with a determination that the planned scope of work constitutes a Minor Site Plan
- Project Narrative and Parking information prepared by Charter Realty
- Site Plan dated May 19, 2022, by Tighe & Bond

- Stormwater memo dated March 19, 2022, from John Lorden, PE, Tighe & Bond
- Abutter notification dated May 25, 2022
- Susy Affleck-Childs' email dated May 31, 2022, to Town staff requesting review and comments
- Traffic Memorandum dated June 3, 2022, from Tighe & Bond

Susan Affleck-Childs

From: Mike Fasolino
Sent: Tuesday, June 14, 2022 11:13 AM
To: Susan Affleck-Childs
Cc: Anna Rice; Barbara Saint Andre; karen@charterrealty.com
Subject: Re: New Permit Applications - NeoOrganics, 4 Marc Road (marijuana cultivation) modification and Medway Commons BrightPath Child Care Center site plan

Good Morning,

The Fire Department has reviewed the site plan for Medway Commons BrightPath Child Care Center. We have no comments and are ok with the proposed site plan.

Thanks

Michael Fasolino
Deputy Chief
Town of Medway
155 Village Street
Medway, Ma 02053
508-533-3211

Mailing Address:
44 Milford Street
Medway, Ma 02053

From: Susan Affleck-Childs <sachilds@townofmedway.org>
Sent: Thursday, June 9, 2022 4:52 PM
To: Jeff Lynch <ChiefLynch@townofmedway.org>; Mike Fasolino <mfasolino@townofmedway.org>; jwatson@medwaypolice.com <jwatson@medwaypolice.com>
Cc: Matthew Hayes <hayes7000@msn.com>; Anna Rice <arice@townofmedway.org>; Karen Johnson <karen@charterrealty.com>
Subject: FW: New Permit Applications - NeoOrganics, 4 Marc Road (marijuana cultivation) modification and Medway Commons BrightPath Child Care Center site plan

Hi all,

On June 14, the PEDB will begin its review of a site plan for a new child-care center to be located at Medway Commons.

The project information and site plan are available here. https://www.townofmedway.org/planning-economic-development-board/pages/medway-commons-brightpath-child-care-center
It includes converting a portion of the parking lot area in front of where Medway Yoga used to be into a play area for the kids and eliminating the drive aisle in front of that space so that the children can move directly and safely from the building to the new play area.

We really need your review and comments about the change in traffic pattern. Karen Johnson of Charter Realty and Development, which operates Medway Commons, may also reach out to you regarding comments.

I will be away for 2 weeks (in Alaska) so please also provide your comments to PEDB chairman Matt Hayes and Anna Rice, our office administrative assistant. They are copied on this email.

Thanks for your help.

Susan E. Affleck-Childs
Planning and Economic Development Coordinator
Town of Medway
155 Village Street
Medway, MA 02053
508-533-3291

From: Susan Affleck-Childs
Sent: Tuesday, May 31, 2022 3:18 PM
To: Michael Boynton <mboynton@townofmedway.org>; Mike Fasolino <mfasolino@townofmedway.org>; Donna Greenwood <dgreenwood@townofmedway.org>; Bridget Graziano <bgraziano@townofmedway.org>; Joanne Russo <jrusso@townofmedway.org>; Beth Hallal <bhallal@townofmedway.org>; Jack Mee <jmee@townofmedway.org>; Jeff Lynch <ChiefLynch@townofmedway.org>; jwatson@medwaypolice.com; Peter Pelletier <ppelletier@townofmedway.org>; Sean Harrington <sharrington@townofmedway.org>; Stephanie Carlisle <scarlisle@townofmedway.org>; Barbara Saint Andre <bsaintandre@townofmedway.org>
Subject: New Permit Applications - NeoOrganics, 4 Marc Road (marijuana cultivation) modification and Medway Commons BrightPath Child Care Center site plan

HI,

The Planning and Economic Development Board has received permit applications for the above two noted projects and will begin its review at its June 14th meeting.

Project information is available at:

https://www.townofmedway.org/planning-economic-development-board/pages/medway-commons-brightpath-child-care-center

https://www.townofmedway.org/planning-economic-development-board/pages/neo-organics-4-marc-road-special-permit-and-site-plan-0

Please review the noted projects and provide any comments to me by June 8th for inclusion in the board packet for the June 14th meeting. We particularly need Police and Fire review of the Medway Commons BrightPath Child Care Center site plan as it includes changes in traffic patterns.

Thanks for your help.

Susy

Susan E. Affleck-Childs

Planning and Economic Development Coordinator
Town of Medway
155 Village Street
Medway, MA 02053
508-533-3291

CHARTER
REALTY & DEVELOPMENT
1666 Massachusetts Ave
Suite 6A
Lexington, MA 02420
617-591-9995
www.chartweb.com

June 14, 2022

Matthew Hayes, P.E., Chair
Planning & Economic Development Board
Town of Medway
155 Village Street
Medway, MA 02053

RE: Application for Minor Site Plan Review
BrightPath Child Care Center

Dear Chair Hayes:

We appreciate the prompt review comments received from Tetra Tech in the letter to Susan E. Affleck-Childs dated June 9, 2022. The responses below reflect input from John Lorden, PE Project Manager II from Tighe & Bond and Harry Freeman, Director of Development for BrightPath. Please see the responses in ALL CAPS following the Tetra Tech comments in *italics*:

SITE PLAN REVIEW

Site Plan Rules and Regulations (Chapter 200)

1. *Applicant shall confirm all existing and proposed elevations refer to the North American Vertical Datum of 1988 (NAVD88). (Ch. 200 §204-4.C)*
   PLEASE NOTE THAT 204-4.C. IS A REQUIREMENT UNDER MAJOR SITE PLAN AND THIS APPLICATION IS FOR MINOR SITE PLAN. NOTE THAT IN 2004 A WAIVER WAS GRANTED FOR THIS REQUIREMENT.

2. *The Applicant shall provide a space on the Plans, including the cover sheet, for the Board's signature block, including Decision and plan endorsement dates, and the Town Clerk's no appeal certification. (Ch. 200 §204-4.E)*
   PLEASE NOTE THAT 204-4.E IS A REQUIREMENT UNDER MAJOR SITE PLAN AND THIS APPLICATION IS FOR MINOR SITE PLAN.

3. *A Stormwater Drainage Evaluation report has not been provided. However, the provided Stormwater Memo describes the changes proposed on-site and the drainage impacts associated with the proposed Project.(Ch. 200 §205-3.D)*
   NO REPONSE REQUIRED.

4. *The Applicant shall provide bearings and distances of property lot lines, as well as display any applicable easements, for the existing lot shown on the Overall Site Plan (C-100). (Ch. 200 §205-5.C)*
   AN AS-BUILT PLAN WILL BE SUBMITTED THAT INCLDUDES BEARINGS AND DISTANCES.

5. *A table displaying the Project's compliance with parking space requirements is provided in the Applicant's Minor Site Plan Application Package. However, the table should be provided on the Plans as well. (Ch. 200 §205-5.E.12)*
   THE PLANS WILL BE UPDATED TO INCLUDE THE TABLE.

6. *The proposed addition of outdoor play space will close an ingress/egress point for the Medway Commons Development. We recommend the Applicant coordinate with the Medway Fire Department to confirm sufficient emergency access is maintained once the proposed plan is implemented. (Ch. 200 §207-11.A.17)*
   WE REACHED OUT TO THE FIRE DEPARTMENT AND ARE AWAITING COMMENTS.

7. *Hot mix asphalt (HMA) surfacing shall be a minimum depth of three and one-half inches in parking areas. The proposed HMA thickness is 3 inches (2" binder, 1" top). (Ch. 200 §207-12.E)*
   THE DETAIL WILL BE REVISED TO REFLECT THREE AND ON-HALF INCHES.

8. *The Applicant has not proposed any electric vehicle charging stations for the Project. (Ch. 200 §207-12.I)*
   THE PROPOSED MINOR SITE PLAN APPLICATION DOES NOT ADD ANY ADDITIONAL PARKING.

9. *A Lighting Plan has not been provided. The Applicant shall confirm if existing lighting at the site is sufficient to allow safe travel during hours of operation in periods of the year with less sunlight (i.e. drop-off/pick-up time during fall/winter months). (Ch. 200 §207-18)*
   EXISTING LIGHT LEVELS IN THIS AREA RANGE FROM 3.9 TO 5.8 WHICH IS SUFFICIENT TO ALLOW FOR SAFE TRAVEL WITHIN THE PARKING AREA. THE APPROVED PHOTOMETRIC PLAN WILL BE SUBMITTED.

General Site Plan Comments

10. *We recommend a guardrail, bollards or similar crash protection along the west side length of the outdoor play area and the adjacent driveway. Heavy equipment traffic is common along the driveway and protection of the outdoor play areas shall be paramount.*
    BRIGHTPATH REPRESENTATIVES BELIEVE THE CURB, ALMOST 6 FEET OF LANDSCAPE AREA AND THE FENCE PROVIDES ADEQUATE PROTECTION. BOLLARDS WILL BE PROVIDED ALONG THE SOUTHERLY CORNER OF THE INFANT

PLAY AREA. PLEASE NOTE THE RIGHT LANES OF THIS DRIVEWAY ONLY SERVE THE CASSIDY FARM FOR EXITING.

11. *The Applicant is proposing to remove the existing crosswalk on the west side of the building. We recommend the sidewalk section to the north of the crosswalk also be removed to limit pedestrian traffic to a dead-end sidewalk with no formal crossing. This will also reduce impervious coverage at the site.*
    AFTER CONSULTATION WITH BRIGHTPATH, AN EGRESS GATE WILL BE PROVIDED FROM THE TODDLER AREA TO ACCESS THE CROSSWALK IN THE EVENT OF AN EMERGENCY. THE PLANS WILL BE REVISED TO SHOW THE CROSSWALK WILL REMAIN IN PLACE.

12. *It appears proposed grading (207 contour) is outside of the limits of the proposed paving. We recommend the Applicant repave the entire area north of the proposed playgrounds (continue the sawcut on the eastern side of the playground north to the existing curb) to reduce any issues with matching existing conditions in that area while also reducing the length of joints. This will also provide a cleaner aesthetic to the Project by limiting jogs in new vs. old pavement.*
    WE WILL REVISE THE PLANS TO SHOW THE ADDITIONAL AREA OF PAVING ADJACENT TO THE 7 PARKING SPACES.

13. *The Applicant should provide a smooth curb transition with a radius and tangent points to tie in the proposed curb to existing where the existing driveway is being removed on the west side of the playground areas.*
    A CURB TRANSITION IS CURRENTLY SHOWN AND A DETAIL WILL BE PROVIDED ON THE REVISED PLANS.

14. *We recommend a mountable curb and wide gate access to allow heavy equipment access to the playground areas in the event they require maintenance.*
    BRIGHTPATH INDICATES THERE IS NO NEED AS THE PROPOSED 4' GATE PROVIDES NECESSARY ACCESS FOR WOOD CHIP AND FIXTURE MAINTENANCE.

15. *The Applicant should provide detail on the demolition plan for location of construction fencing and other means to protect the general public during construction at the site.*
    ANY NECESSARY CONSTRUCTION FENCING WILL BE REVIEWED WITH THE GENERAL CONTRACTOR.

16. *A portion of the existing firelane along the front of the existing building is proposed to be removed and should be shown as repaved/restriped on the Plan.*

THE PLAN WILL BE REVISED TO ALSO SHOW A NOTE IN THIS AREA CALLING OUT THE AREAS OF NEW PAVEMENT (CURRENTLY INDICATED AS SHADED ON THE PLAN).

17. *The Applicant shall confirm on the plan the method of crosswalk striping removal. Grinding of pavement markings is preferred.*
SEE RESPONSE TO COMMENT #11, THE PLAN WILL BE MODIFIED TO RETAIN THE CROSSWALK.

TRAFFIC REVIEW
Trip Generation
Items # 18-21 do not require a response.

Traffic Operations
Item #22 does not require a response.

Parking
Item #23 does not require a response.

General Traffic Comments

24. *We recommend a standard-sized sidewalk be provided along the east side of the outdoor play area to connect the northerly parking spaces adjacent to the daycare center to the facility's main indoor doorway.*
BRIGHPATH INDICATES THIS IS NOT NECESSARY AS PARKING FOR DROP-OFF AND PICK-UP WILL BE IN THE TWO ROWS OF PARKING ADJACENT TO THE EXISTING SIDEWALK IN THE ISLAND.

25. *We recommend an island be added to the southerly portion of the parking aisle immediately adjacent to the east side of the daycare outdoor play area to provide a pedestrian refuge area and shorten the crosswalk distance to the main indoor doorway.*
BRIGHPATH INDICATES AN ISLAND IN THIS LOCATION WILL OBSTRUCT THE ACCESSIBLE SPACES.

26. *Although not discussed in the traffic memo, Vanasse and Associates, Inc. (VAI) completed a Road Safety Audit (RSA) for the Route 109/Medway Commons/Walgreens driveway intersection (Dated April 2022) as part of the nearby multifamily residential development Project to be located at 39 Main Street in Medway. The April 2022 RSA identified numerous potential short-term and long-term improvements to enhance safety at the Route 109/Medway Commons/Walgreens driveway intersection. Given that this intersection serves as the access to the Project site, we recommend the Applicant work with the Town to identify which, if any, of the safety improvements identified in the April 2022 should be implemented as part of the proposed daycare facility Project.*

WE UNDERSTAND THE RSA IS STILL SUBJECT TO REVIEW BY MASSDOT AND THIS MINOR SITE MODIFICATION DOES NOT IMPACT TRAFFIC OPERATIONS.

27. We recommend installing pedestrian crossing warning signage at the internal midblock crosswalk located at the northerly end of the parking aisle immediately east of the proposed daycare outdoor play area to increase visibility of the additional vehicle activity in this part of the parking lot due to the proposed daycare use.
THIS CROSSWALK IS RARELY IF EVER USED AND AS NOTED IN THE RESPONSE TO COMMENT #24, PARKING FOR DROP-OFF AND PICK-UP WILL BE IN THE TWO ROWS OF PARKING ADJACENT TO THE SIDEWALK.

28. We recommend the Applicant provide AutoTurn analyses to ensure that the largest emergency vehicle can adequately circulate through the modified portion of the parking lot. The emergency circulation should be reviewed with the Medway Fire Department.
AS NOTED IN THE RESPONSE TO COMMENT #6, WE ARE AWAITING COMMENTS FROM THE FIRE DEPARTMENT.

We look forward to reviewing our proposal at your meeting this evening.

Sincerely,

CHARTER REALTY & DEVELOPMENT CORP.

Karen Johnson, AICP

Copy To: Barbara Saint Andre

June 9, 2022
(revised June 22, 2022)

Ms. Susan E. Affleck-Childs
Medway Planning and Economic Development Coordinator
Medway Town Hall
155 Village Street
Medway, MA 02053

Re: Bright Path Child Care Center
Minor Site Plan Review
67C Main Street
Medway, Massachusetts

Dear Ms. Affleck-Childs:

Tetra Tech (TT) has performed a review of the proposed Site Plan for the above-mentioned Project at the request of the Town of Medway Planning and Economic Development Board (PEDB). The proposed Project is located at 67C Main Street in Medway, Massachusetts. The Project consists of a renovation of existing spaces within the Medway Commons shopping center totaling 12,700 square feet. The Project also includes removal of existing parking areas to accommodate outdoor play space with safety wood fiber surfaces, artificial turf, and associated perimeter fencing.

TT is in receipt of the following materials:

- A plan (Plans) set titled "Medway Commons, 67C Main Street Medway, Massachusetts, BrightPath Child Care Center" dated May 19, 2021, prepared by Tighe & Bond, Inc. (TBI).
- A storm water memorandum (Stormwater Memo) titled "Medway Commons – Stormwater Summary Memo" dated March 19, 2022, prepared by TBI.
- An Application for Minor Site Plan Approval, dated May 20, 2022, prepared by Charter Realty and Development Corp.
- A traffic memorandum (Memo) titled "Traffic Memorandum, BrightPath Child Care Center, Medway Commons – 67 Main Street, Medway, MA" dated June 3, 2022, prepared by TBI.

The Plans and accompanying materials were reviewed for conformance with the following regulatory documents:

- Town of Medway Planning & Economic Development Board Rules and Regulations, Chapter 200 – Site Plans, Rules & Regulations for Submission, Review and Approval of Site Plans. (Amended October 8, 2019)

The Project was also reviewed for good engineering practice and overall site plan efficiency. Review of the Project for zoning related matters is being conducted by Town personnel and is excluded from this review.

TT 6/22/2022 Update

The Applicant has supplied TT with a revised submission addressing comments provided in our previous letter including the following documents:

- A Response to Comments letter dated June 14, 2022, prepared by TBI

The revised Plans and supporting information were reviewed against our previous comment letter (June 9, 2022) and comments have been tracked accordingly. Text shown in gray represents information contained in previous correspondence while new information is shown in black text.

Infrastructure Northeast
Marlborough Technology Park 100 Nickerson Road, Marlborough, MA 01752
Tel 508.786.2200 Fax 508.786.2201 tetratech.com

SITE PLAN REVIEW

Site Plan Rules and Regulations (Chapter 200)

1. Applicant shall confirm all existing and proposed elevations refer to the North American Vertical Datum of 1988 (NAVD88). (Ch. 200 §204-4.C)
   - *TBI 6/14/22 Response: Please note that 204-4.C. is a requirement under major site plan and this application is for minor site plan. Note that in 2004 a waiver was granted for this requirement.*
     - **TT 6/22/22 Update: The Minor Site Plan Review section refers to the Major Site Plan Review section in the Regulations, see §205-4. We recommend a waiver request consistent with prior Site Plan Decisions at the site.**
2. The Applicant shall provide a space on the Plans, including the cover sheet, for the Board's signature block, including Decision and plan endorsement dates, and the Town Clerk's no appeal certification. (Ch. 200 §204-4.E)
   - *TBI 6/14/22 Response: Please note that 204-4.C. is a requirement under major site plan and this application is for minor site plan.*
     - **TT 6/22/22 Update: The Minor Site Plan Review section refers to the Major Site Plan Review section in the Regulations, see §205-4.**
3. A Stormwater Drainage Evaluation report has not been provided. However, the provided Stormwater Memo describes the changes proposed on-site and the drainage impacts associated with the proposed Project. (Ch. 200 §205-3.D)
   - *TBI 6/14/22 Response: No response required.*
     - **TT 6/22/22 Update: In our opinion, this comment is resolved.**
4. The Applicant shall provide bearings and distances of property lot lines, as well as display any applicable easements, for the existing lot shown on the Overall Site Plan (C-100). (Ch. 200 §205-5.C)
   - *TBI 6/14/22 Response: An as-built plan will be submitted that includes bearings and distances.*
     - **TT 6/22/22 Update: In our opinion, this comment is resolved..**
5. A table displaying the Project's compliance with parking space requirements is provided in the Applicant's Minor Site Plan Application Package. However, the table should be provided on the Plans as well. (Ch. 200 §205-5.E.12)
   - *TBI 6/14/22 Response: The plans will be updated to include the table.*
     - **TT 6/22/22 Update: We will review the updated Plans when submitted.**
6. The proposed addition of outdoor play space will close an ingress/egress point for the Medway Commons Development. We recommend the Applicant coordinate with the Medway Fire Department to confirm sufficient emergency access is maintained once the proposed plan is implemented. (Ch. 200 §207-11.A.17)
   - *TBI 6/14/22 Response: We reached out to the Fire Department and are awaiting comments.*
     - **TT 6/22/22 Update: We recommend a Condition requiring the Applicant provide written confirmation from the Medway Fire Department.**
7. Hot mix asphalt (HMA) surfacing shall be a minimum depth of three and one-half inches in parking areas. The proposed HMA thickness is 3 inches (2" binder, 1" top). (Ch. 200 §207-12.E)
   - *TBI 6/14/22 Response: The detail will be revised to reflect three and one-half inches.*
     - **TT 6/22/22 Update: We will review the updated Plans when submitted.**
8. The Applicant has not proposed any electric vehicle charging stations for the Project. (Ch. 200 §207-12.I)
   - *TBI 6/14/22 Response: The proposed minor site plan application does not add any additional parking.*
     - **TT 6/22/22 Update: The Applicant stated at the June 14, 2022 PEDB meeting that the proposed child care use would not support vehicle charging since drop off-pick-up times are minimal and there is no additional parking proposed on the Project. It appeared the PEDB was amenable to relaxing this requirement after discussion at its June 14, 2022**

meeting due to the conditions noted by the Applicant. In our opinion, this comment is resolved.

9. A Lighting Plan has not been provided. The Applicant shall confirm if existing lighting at the site is sufficient to allow safe travel during hours of operation in periods of the year with less sunlight (i.e. drop-off/pick-up time during fall/winter months). (Ch. 200 §207-18)
   - *TBI 6/14/22 Response: Existing light levels in this area range from 3.9 to 5.8 which is sufficient to allow for safe travel within the parking area. The approved photometric plan will be submitted.*
     - **TT 6/22/22 Update: We do not anticipate any issues with lighting at the site since several light poles will be modified as part of the Project. We will review the updated Plans when submitted.**

General Site Plan Comments

10. We recommend a guardrail, bollards or similar crash protection along the west side length of the outdoor play area and the adjacent driveway. Heavy equipment traffic is common along the driveway and protection of the outdoor play areas shall be paramount.
    - *TBI 6/14/22 Response: BrightPath representatives believe the curb, almost 6 feet of landscape area and the fence provides adequate protection. Bollards will be provided along the southerly corner of the infant play area. Please note the right lanes of this driveway only serve the Cassidy Farm for exiting.*
      - **TT 6/22/22 Update: As discussed at the June 14, 2022 PEDB meeting, the Applicant stated that there are no right angle approaches to the play area but they will be adding bollards to the southern end of the playground area to prevent potential issues at that location. However, as we also discussed in the Traffic review, we also recommend the Applicant consider extending the existing median at the adjacent crosswalk (west of the playgrounds) to the south so that vehicles cannot make U-turns at this location to enhance safety of the proposed playground area.**
11. The Applicant is proposing to remove the existing crosswalk on the west side of the building. We recommend the sidewalk section to the north of the crosswalk also be removed to limit pedestrian traffic to a dead-end sidewalk with no formal crossing. This will also reduce impervious coverage at the site.
    - *TBI 6/14/22 Response: After consultation with BrightPath, an egress gate will be provided from the toddler area to access the crosswalk in the event of an emergency. The plans will be revised the show the crosswalk will remain in place.*
      - **TT 6/22/22 Update: We will review the revised Plans when submitted.**
12. It appears proposed grading (207 contour) is outside of the limits of the proposed paving. We recommend the Applicant repave the entire area north of the proposed playgrounds (continue the sawcut on the eastern side of the playground north to the existing curb) to reduce any issues with matching existing conditions in that area while also reducing the length of joints. This will also provide a cleaner aesthetic to the Project by limiting jogs in new vs. old pavement.
    - *TBI 6/14/22 Response: We will revise the plans to show the additional area of paving adjacent to the parking spaces.*
      - **TT 6/22/22 Update: We will review the revised Plans when submitted.**
13. The Applicant should provide a smooth curb transition with a radius and tangent points to tie in the proposed curb to existing where the existing driveway is being removed on the west side of the playground areas.
    - *TBI 6/14/22 Response: A curb transition is currently shown, and a detail will be provided on the revised plans.*
      - **TT 6/22/22 Update: As discussed at the June 14, 2022 PEDB meeting, the Applicant will provide the recommended curb improvements noted in our original comment. We will review the revised Plans when submitted.**

14. We recommend a mountable curb and wide gate access to allow heavy equipment access to the playground areas in the event they require maintenance.
    - *TBI 6/14/22 Response: BrightPath indicates there is no need as the proposed 4' gate provides necessary access for wood chip and fixture maintenance.*
        - **TT 6/22/22 Update: In our opinion, this comment is resolved.**
15. The Applicant should provide detail on the demolition plan for location of construction fencing and other means to protect the general public during construction at the site.
    - *TBI 6/14/22 Response: Any necessary construction fencing will be reviewed with the General Contractor.*
        - **TT 6/22/22 Update: We anticipate the areas will be blocked off by the general contractor during construction. However, we recommend a Condition requiring fencing be used to protect the general public using the plaza during construction.**
16. A portion of the existing firelane along the front of the existing building is proposed to be removed and should be shown as repaved/restriped on the Plan.
    - *TBI 6/14/22 Response: The plan will be revised to also show a note in this area calling out the areas of new pavement (currently indicated as shaded on the plan).*
        - **TT 6/22/22 Update: We will review the revised Plans when submitted.**
17. The Applicant shall confirm on the plan the method of crosswalk striping removal. Grinding of pavement markings is preferred.
    - *TBI 6/14/22 Response: See response to comment #11, the plan will be modified to retain the crosswalk.*
        - **TT 6/22/22 Update: In our opinion, this comment is resolved.**

TRAFFIC REVIEW

Trip Generation

18. The traffic memo included a trip generation analysis including estimates for the existing shopping plaza use (full occupancy of the plaza without the proposed daycare center use) and the proposed shopping plaza building program (including full occupancy of the plaza retail uses to remain plus the proposed daycare center). The trip generation estimates were based on industry-standard trip rates published by the Institute of Transportation Engineers (ITE) in Trip Generation Manual, 11th Edition for Land Use Code 821 (Shopping Plaza 40-150k with Supermarket) and Land Use Code 565 (Day Care Center). This methodology is reasonable for the existing and proposed uses.
    - *TBI 6/14/22 Response: Item does not require a response.*
        - **TT 6/22/22 Update: In our opinion, this comment is resolved.**
19. The trip generation analysis included the weekday morning, weekday evening and Saturday midday peak hours. The time periods chosen for analysis are appropriate for the existing retail and proposed daycare center space at the site.
    - *TBI 6/14/22 Response: Item does not require a response.*
        - **TT 6/22/22 Update: In our opinion, this comment is resolved.**
20. The Town of Medway Site Plan Rules and Regulations require a detailed traffic impact assessment for Projects with frontage or proposed access on a public way, construction of twenty or more additional parking spaces and trip generation of an additional one hundred trips to or from the site on an adjacent roadway during a peak hour based on the most recent edition of the Institute of Traffic Engineers publication Trip Generation. The Project is expected to reduce the plaza's parking supply by 33 spaces and the traffic memo indicates that the net increase in peak hour trips due to the Project is 95 peak hour trips or less. Furthermore, the Project is anticipated to result in a net reduction in trips during the Saturday midday peak hour relative to the existing building program. Therefore, a detailed traffic impact assessment is not warranted based on the Site Plan Rules and Regulations parking and trip generation criteria.
    - *TBI 6/14/22 Response: Item does not require a response.*

- **TT 6/22/22 Update: In our opinion, this comment is resolved.**

21. The traffic memo did not reduce the estimated vehicle trip generation for the existing and proposed building program as a result of area public transportation services. Regularly scheduled public transportation is not provided in the immediate vicinity of the site, with the closest Greater Attleboro-Taunton Regional Transit Authority (GATRA) bus stop located more than 10 minutes away. Therefore, TT agrees with the trip generation methodology used in the traffic memo.
    - *TBI 6/14/22 Response: Item does not require a response.*
        - **TT 6/22/22 Update: In our opinion, this comment is resolved.**

Traffic Operations

22. The traffic memo did not include a capacity analysis of the plaza driveways. However, the traffic memo provided a qualitative assessment of the signalized Route 109/Medway Commons driveway intersection which operates at overall level of service (LOS) D or better operations during the peak hours under existing conditions and future year conditions (without the daycare Project) based on the recent traffic impact assessment prepared for the 86 Holliston Street Project. The traffic memo concludes that the Route 109/Medway Commons signalized intersection is expected to have ample capacity to support the estimated additional trips associated with the proposed daycare Project. TT generally agrees with this assessment.
    - *TBI 6/14/22 Response: Item does not require a response.*
        - **TT 6/22/22 Update: In our opinion, this comment is resolved.**

Parking

23. Per the parking summary provided in the Minor Site Plan package, the total proposed parking supply of 527 spaces exceeds the Town requirement of 517 spaces for the plaza. Therefore, preparation of a parking analysis is not warranted for the Project. However, please see prior comments regarding parking in the Site Plan Review section.
    - *TBI 6/14/22 Response: Item does not require a response.*
        - **TT 6/22/22 Update: In our opinion, this comment is resolved.**

General Traffic Comments

24. We recommend a standard-sized sidewalk be provided along the east side of the outdoor play area to connect the northerly parking spaces adjacent to the daycare center to the facility's main indoor doorway.
    - *TBI 6/14/22 Response: BrightPath indicates this is not necessary as parking for drop-off and pick-up will be in the two rows of parking adjacent to the existing sidewalk in the island.*
        - **TT 6/22/22 Update: As discussed at the June 14, 2022 PEDB meeting, we recommend the Applicant consider modifying the island at the north side of the parking aisle immediately to the east to accommodate pedestrian movements from the north side of the proposed playground area.**
25. We recommend an island be added to the southerly portion of the parking aisle immediately adjacent to the east side of the daycare outdoor play area to provide a pedestrian refuge area and shorten the crosswalk distance to the main indoor doorway.
    - *TBI 6/14/22 Response: BrightPath indicates an island in this location will obstruct the accessible spaces.*
        - **TT 6/22/22 Update: We recommend the Applicant consider installing a small pedestrian refuge area at the southerly end of the sidewalk to enhance pedestrian safety in this area if a larger island is not feasible.**

26. Although not discussed in the traffic memo, Vanasse and Associates, Inc. (VAI) completed a Road Safety Audit (RSA) for the Route 109/Medway Commons/Walgreens driveway intersection (Dated April 2022) as part of the nearby multifamily residential development Project to be located at 39 Main Street in Medway. The April 2022 RSA identified numerous potential short-term and long-term improvements to enhance safety at the Route 109/Medway Commons/Walgreens driveway intersection. Given that this intersection serves as the access to the Project site, we recommend the Applicant work with the Town to identify which, if any, of the safety improvements identified in the April 2022 should be implemented as part of the proposed daycare facility Project.
    - *TBI 6/14/22 Response: We understand the RSA is still subject to review by MassDOT and this minor site modification does not impact traffic operations.*
        - **TT 6/22/22 Update: We recommend the Applicant coordinate with the Town to determine if any of the safety-based improvements recommended in the RSA for the main driveway serving the plaza should be implemented as part of this Project.**
27. We recommend installing pedestrian crossing warning signage at the internal midblock crosswalk located at the northerly end of the parking aisle immediately east of the proposed daycare outdoor play area to increase visibility of the additional vehicle activity in this part of the parking lot due to the proposed daycare use.
    - *TBI 6/14/22 Response: This crosswalk is rarely if ever used and as noted in the response to comment #24, parking for drop-off and pick-up will be in the two rows of parking adjacent to the sidewalk.*
        - **TT 6/22/22 Update: We recommend the Applicant ensure that vegetation in the area of the crosswalk be maintained so that the crosswalk is as visible as possible if advance warning signage will not be implemented.**
28. We recommend the Applicant provide AutoTurn analyses to ensure that the largest emergency vehicle can adequately circulate through the modified portion of the parking lot. The emergency circulation should be reviewed with the Medway Fire Department.
    - *TBI 6/14/22 Response: As noted in the response to comment #6, we are awaiting comments from the Fire Department.*
        - **TT 6/22/22 Update: The Applicant commits to reviewing the site plan modifications with the Fire Department. The Project proposes to change the circulation patterns in front of the building by closing the southeasterly access drive which could impact emergency vehicle circulation.**

STORMWATER REVIEW

General Stormwater Comments

29. TT reviewed the Memo provided by TBI. The Memo summarizes the proposed stormwater management impacts due to the removal of parking spaces and the addition of the outdoor play area. The existing impervious surfaces are proposed to be supplemented with permeable surfaces such as wood fiber and artificial turf. Perimeter underdrains (located under the permeable surfaces) surrounded by crushed stone are proposed to collect stormwater from the play area and discharge to the existing catch basin on the west side of the playground. The catch basin is proposed to remain but will be converted to a manhole (replace grate with cover) and buried under the permeable playground material. It does not appear the proposed development will cause adverse impacts to the existing infrastructure at the Medway Commons site.
    - *TBI 6/14/22 Response: ***No formal response from the Applicant.****
        - **TT 6/22/22 Update: In our opinion, this comment is resolved.**

ADDITIONAL COMMENTS

30. The Applicant indicated at the June 14, 2022 PEDB meeting that they would no longer be removing the existing crosswalk connecting the west side of the building to the existing plaza sidewalk on the west side of the Medway Commons circulation roadway. We recommend the Applicant consider extending the existing

median to the south so that vehicles cannot make U-turns at this location to enhance pedestrian safety and enhance safety of the proposed playground area.

31. At the June 14, 2022 PEDB meeting, the Applicant committed to exploring the feasibility of implementing geometric improvements to enhance safety at the existing on-site intersection of the main plaza circulation roadway, the Starbucks building driveway, the site building driveway and the Shaw's parking lot. We will reserve comment on this item until the Applicant provides a concept plan for review.

These comments are offered as guides for use during the Town's review and additional comments may be generated during the course of review. The Applicant shall be advised that any absence of comment shall not relieve them of the responsibility to comply with all applicable local, state and federal regulations for the Project. If you have any questions or comments, please feel free to contact us at (508) 786-2200.

Very truly yours,

Steven M. Bouley, PE (Site Review)
Project Manager

Courtney E. Sudak, PE (Traffic Review)
Project Manager

P:\21583\143-21583-22019 (PEDB BRIGHT PATH CCC)\DOCS\BRIGHT PATH CCC-PEDBREV(2022-06-22).DOCX

Medway Planning and Economic Development Board
Request for Waiver from Site Plan Rules and Regulations
Complete 1 form for each waiver request

Project Name	BrightPath Child Care Center
Property Location	Medway Commons
Type of Permit	Minor Site Plan Review
Identify the number and title of the relevant section of the *Site Plan Rules and Regulations* from which a waiver is sought.	Article V Section 205-4
Summarize the text of the relevant section of the *Rules and Regulations* from which a waiver is requested.	All existing and proposed elevations shall refer to NAVD88
What aspect of the *Rule and Regulation* do you propose be waived?	To not have plans refer to NAVD88
What do you propose as an alternative to the standard?	Plans refer to NGVD29
Explanation/justification for the waiver request. How does the particular rule/regulation not apply to the site or situation under review?	The original survey and as-built plans for the entire center were completed in NGVD29 in 2003 and 2004. There is no impact to site design, construction, or floodplain by using a different vertical datum.
Explanation/justification. How would approval of this waiver request not be significantly detrimental to achieving the purposes of site plan review?	There is no impact to site design, construction, or floodplain by using a different vertical datum.
Explanation/justification. How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	There is no impact to site design, construction, or floodplain by using a different vertical datum.
What is the impact on the development if this waiver request is denied?	The project would be stalled unnecessarily in order to revise the plans to a different vertical datum.
What mitigation measures do you propose to offset not complying with the particular Rule/Regulation?	None
Waiver Request Prepared By:	John P Lorden, PE (Tighe & Bond)
Date:	05.19.2022

Questions?? - Please contact the Medway PEDB office at 508-533-3291.

MEDWAY COMMONS

67C MAIN STREET MEDWAY, MASSACHUSETTS

BRIGHTPATH CHILD CARE CENTER

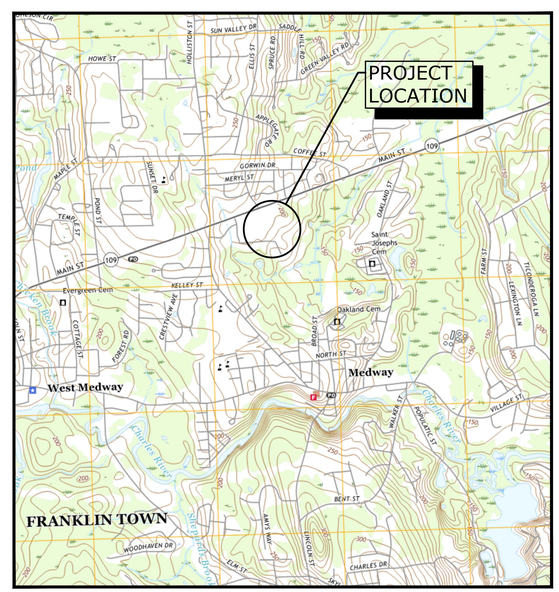
PERMIT DRAWINGS

MAY 19, 2022

LAST REVISED: JUNE 22, 2022

APPROVED BY: TOWN OF MEDWAY PLANNING AND ECONOMIC DEVELOPMENT BOARD
DATE: _____

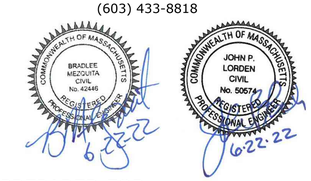
LIST OF DRAWINGS	
SHEET NO.	SHEET TITLE
	COVER
1	SITE AS-BUILT PLAN (BY DAYLOR CONSULTING GROUP, INC.
2	SITE AS-BUILT PLAN (BY DAYLOR CONSULTING GROUP, INC.
C-100	OVERALL SITE PLAN
C-101	DEMOLITION PLAN
C-102	SITE PLAN
C-103	GRADING, DRAINAGE, & EROSION CONTROL PLAN
C-104	LANDSCAPE PLAN
C-501	EROSION CONTROL NOTES & DETAILS
C-502	DETAILS
A.701	EXTERIOR ELEVATIONS: EXISTING
A.702	EXTERIOR ELEVATIONS: PROPOSED



LOCATION MAP
SCALE: 1" = 2000'

PREPARED BY:

Tighe&Bond
Engineers | Environmental Specialists
177 Corporate Drive
Portsmouth, NH 03801
(603) 433-8818



PREPARED FOR:

Charter Realty & Development
1666 Massachusetts Ave - Suite 6A
Lexington, Massachusetts 02420

PREPARED WITH:

Helicon Design Group, Inc.
Architects
76 Summer Street, Suite 510
Boston, MA 02110

PROJECT NO: C1026-018

COMPLETE SET 12 SHEETS

Last Saved: 6/22/2022
Plotted On:Jun 22, 2022-3:42pm By: JWinston
Tighe & Bond:J:\C\C1026 Charter Realty - Conceptual Sites\C1026-018 Medway Commons\Drawings_Figures\AutoCAD\Sheet\C1026-018_COVR.dwg

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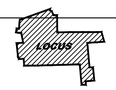


LOCUS MAP:
Scale: 1"= 2083'±

LEGEND

CB	CONCRETE BOUND
SB	STONE BOUND
DH	DRILL HOLE
	LIGHT POLE
	UTILITY POLE
	WATER VALVE
D	DRAIN LINE
S	SEWER LINE
FM	SEWER FORCE MAIN
G	GAS LINE
E	ELECTRIC
T	TELEPHONE
W	WATER LINE
OHW	OVERHEAD WIRES
98	CONTOUR
	TREE LINE
98X5	SPOT GRADE
	CATCH BASIN
	DRAIN MANHOLE
	TRANSFORMER
RET. WALL	RETAINING WALL
	FLAGPOLE
N/F	NOW OR FORMERLY
	SEWER MANHOLE
	ELECTRIC MANHOLE
	TELEPHONE MANHOLE
	HYDRANT
GG	GAS GATE
BCC	BITUMINOUS CONCRETE CURB
VGC	VERTICAL GRANITE CURB
SGC	SLOPED GRANITE CURB
CCB	CAPE COD BERM
VCC	VERTICAL CONCRETE CURB
	CHAINLINK FENCE
	MONITORING WELL
	SIGN
	TREE
	SHRUB
	HANDICAP PARKING SPACE
	BOLLARD
(R)	FROM RECORD PLANS
	HAND HOLD
ROW	RIGHT OF WAY
P.O.B.	POINT OF BEGINING
HG	HOSE GATE

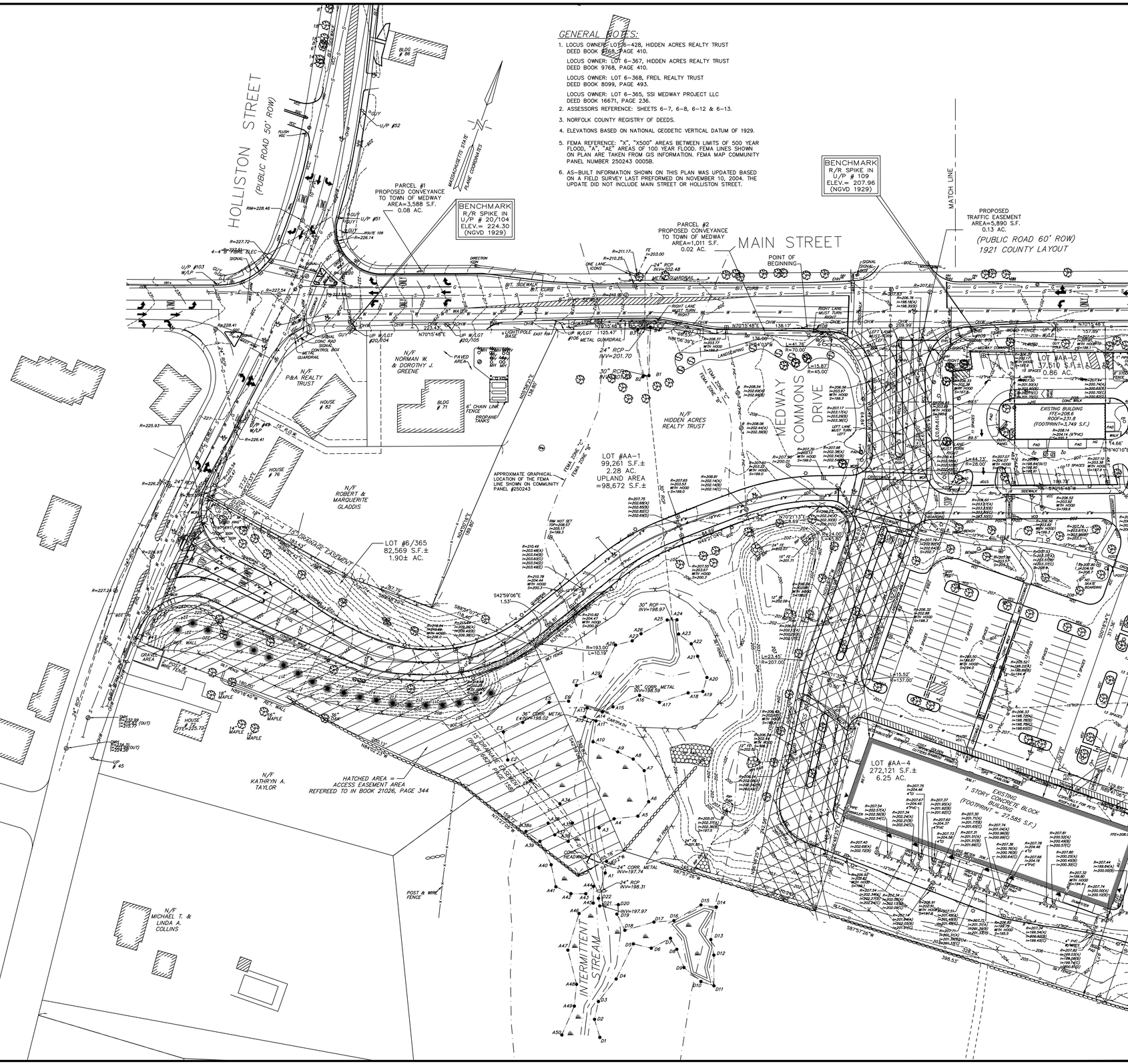
MANHOLE INVERT SCHEDULE

MH ——— MANHOLE
R=105.20 ——— RIM ELEVATION
I=101.32(A) ——— OUTLET INVERT
I=101.74(B) ——— INLET INVERT
I=102.33(C) ——— INLET INVERT

NOTE: INVERTS LISTED CLOCKWISE FROM OUTLET PIPE.

GENERAL NOTES:

1. LOCUS OWNER: LOT 6-428, HIDDEN ACRES REALTY TRUST
   DEED BOOK 9768, PAGE 410.
   LOCUS OWNER: LOT 6-367, HIDDEN ACRES REALTY TRUST
   DEED BOOK 9768, PAGE 410.
   LOCUS OWNER: LOT 6-368, FREIL REALTY TRUST
   DEED BOOK 8099, PAGE 493.
   LOCUS OWNER: LOT 6-365, SSI MEDWAY PROJECT LLC
   DEED BOOK 16671, PAGE 236.
2. ASSESSORS REFERENCE: SHEETS 6-7, 6-8, 6-12 & 6-13.
3. NORFOLK COUNTY REGISTRY OF DEEDS.
4. ELEVATIONS BASED ON NATIONAL GEODETIC VERTICAL DATUM OF 1929.
5. FEMA REFERENCE: "X", "X500" AREAS BETWEEN LIMITS OF 500 YEAR FLOOD, "A", "AE" AREAS OF 100 YEAR FLOOD. FEMA LINES SHOWN ON PLAN ARE TAKEN FROM GIS INFORMATION. FEMA MAP COMMUNITY PANEL NUMBER 250243 0005B.
6. AS-BUILT INFORMATION SHOWN ON THIS PLAN WAS UPDATED BASED ON A FIELD SURVEY LAST PREFORMED ON NOVEMBER 10, 2004. THE UPDATE DID NOT INCLUDE MAIN STREET OR HOLLISTON STREET.



Revisions
1. 11-18-04 ADDED ASBUILT INFORMATION

NOT TO SCALE
FOR BOUNDARY INFORMATION ONLY

Project Title

MAIN AND HOLLISTON STREETS IN MEDWAY MA

Prepared For
CHARTER REALTY & DEVELOPMENT CORPORATION
411 WEST PUTNAM AVENUE
SUITE 111
GREENWICH, CT 06830-6233

Daylor Consulting Group Inc.
Ten Forbes Road
Braintree, MA 02184
781-849-7070
FAX 781-849-0096

Drawing Title

SITE AS-BUILT PLAN

Scale: 1"=40'
0 20 40 80 100 FEET

Date	JULY 14, 2004	Drawing No.
Proj. Mgr.	J.S.A.	
Calc	M.W. COLE	
Check		1
Drawn	M.W. COLE	
Job. No.	1-1954.00	
Last Rev.	11-18-04	of 2

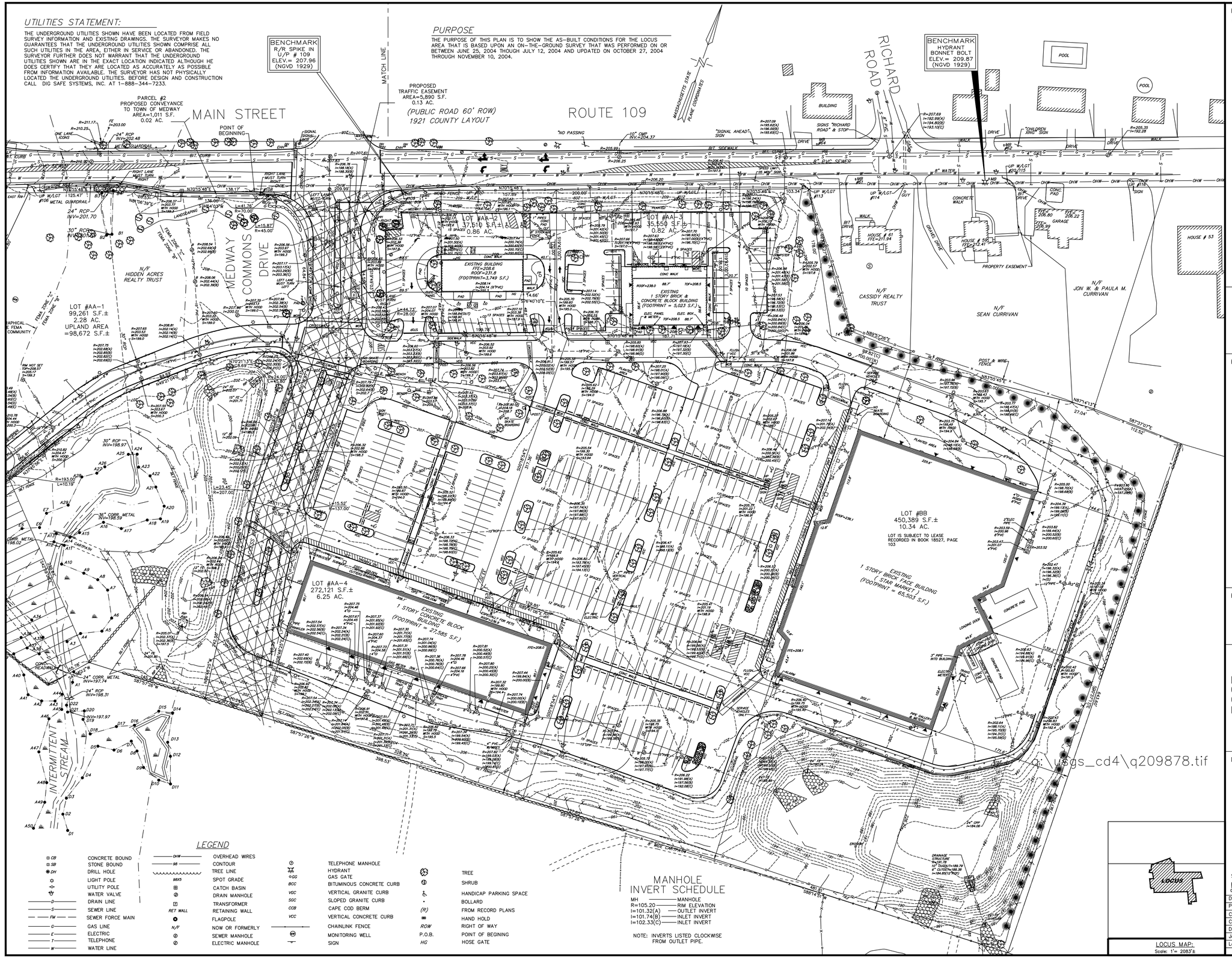
1954 MEDWAY ASBUILT\1954 MEDWAY ASBUILT.DWG

UTILITIES STATEMENT:

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. BEFORE DESIGN AND CONSTRUCTION CALL "DIG SAFE SYSTEMS, INC. AT 1-888-344-7233.

PURPOSE

THE PURPOSE OF THIS PLAN IS TO SHOW THE AS-BUILT CONDITIONS FOR THE LOCUS AREA THAT IS BASED UPON AN ON-THE-GROUND SURVEY THAT WAS PERFORMED ON OR BETWEEN JUNE 25, 2004 THOUGH JULY 12, 2004 AND UPDATED ON OCTOBER 27, 2004 THROUGH NOVEMBER 10, 2004.



LEGEND

CB	CONCRETE BOUND	OHW	OVERHEAD WIRES		TELEPHONE MANHOLE		TREE
SB	STONE BOUND	98	CONTOUR		HYDRANT		SHRUB
DH	DRILL HOLE		TREE LINE	GG	GAS GATE		HANDICAP PARKING SPACE
	LIGHT POLE	98X5	SPOT GRADE	BCC	BITUMINOUS CONCRETE CURB		BOLLARD
	UTILITY POLE		CATCH BASIN	VGC	VERTICAL GRANITE CURB	(R)	FROM RECORD PLANS
	WATER VALVE		DRAIN MANHOLE	SGC	SLOPED GRANITE CURB		HAND HOLD
D	DRAIN LINE		TRANSFORMER	CCB	CAPE COD BERM	ROW	RIGHT OF WAY
S	SEWER LINE	RET WALL	RETAINING WALL	VCC	VERTICAL CONCRETE CURB	P.O.B.	POINT OF BEGINING
FM	SEWER FORCE MAIN		FLAGPOLE		CHAINLINK FENCE	HG	HOSE GATE
G	GAS LINE	N/F	NOW OR FORMERLY		MONITORING WELL		
E	ELECTRIC		SEWER MANHOLE		SIGN		
T	TELEPHONE		ELECTRIC MANHOLE				
W	WATER LINE						

MANHOLE INVERT SCHEDULE

MH	MANHOLE
R=105.20	RIM ELEVATION
I=101.32(A)	OUTLET INVERT
I=101.74(B)	INLET INVERT
I=102.33(C)	INLET INVERT

NOTE: INVERTS LISTED CLOCKWISE FROM OUTLET PIPE.

LOCUS

LOCUS MAP:
Scale: 1" = 2083'±

Revisions
1. 11-18-04 ADDED ASBUILT INFORMATION

NOT TO SCALE
FOR BOUNDARY INFORMATION ONLY

Project Title

MAIN AND HOLLISTON STREETS IN MEDWAY MA

Prepared For

CHARTER REALTY & DEVELOPMENT CORPORATION
411 WEST PUTNAM AVENUE
SUITE 111
GREENWICH, CT 06830-6233

Daylor Consulting Group Inc.

Ten Forbes Road
Braintree, MA 02184
781-849-7070
FAX 781-849-0096

Drawing Title

SITE AS-BUILT PLAN

Scale: 1"=40'

0 20 40 80 100 FEET

Date	JULY 14, 2004	Drawing No.
Proj. Mgr.	J.S.A.	
Calc	M.W. COLE	
Check		2
Drawn	M.W. COLE	
Job. No.	1-1954.00	
Last Rev.	11-18-04	of 2

1954 MEDWAY ASBUILT/1954 MEDWAY ASBUILT.DWG

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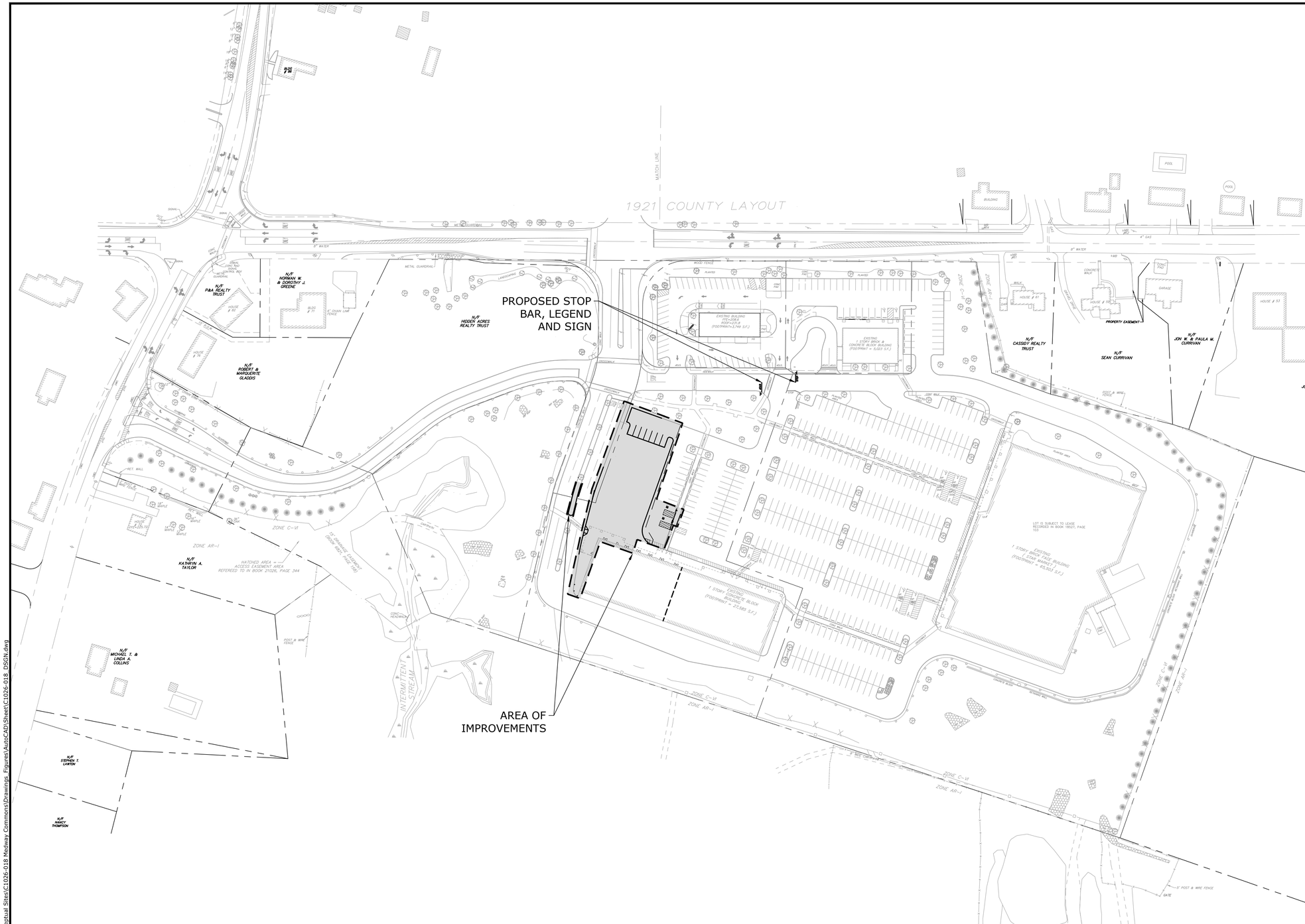


APPROVED BY:
TOWN OF MEDWAY PLANNING AND ECONOMIC DEVELOPMENT BOARD

DATE: _____

0 80' 160'
GRAPHIC SCALE

Tighe&Bond

COMMONWEALTH OF MASSACHUSETTS
BRADLEE MEZQUITA
CIVIL
No. 42446
REGISTERED PROFESSIONAL ENGINEER
6-22-22

COMMONWEALTH OF MASSACHUSETTS
JOHN P. LORDEN
CIVIL
No. 50574
REGISTERED PROFESSIONAL ENGINEER
6-22-22

BrightPath Child Care Center

Medway Commons
67C Main Street
Medway,
Massachusetts

Charter Realty & Development Corp.

MARK	DATE	DESCRIPTION
1	6/22/2022	Revised per review comments

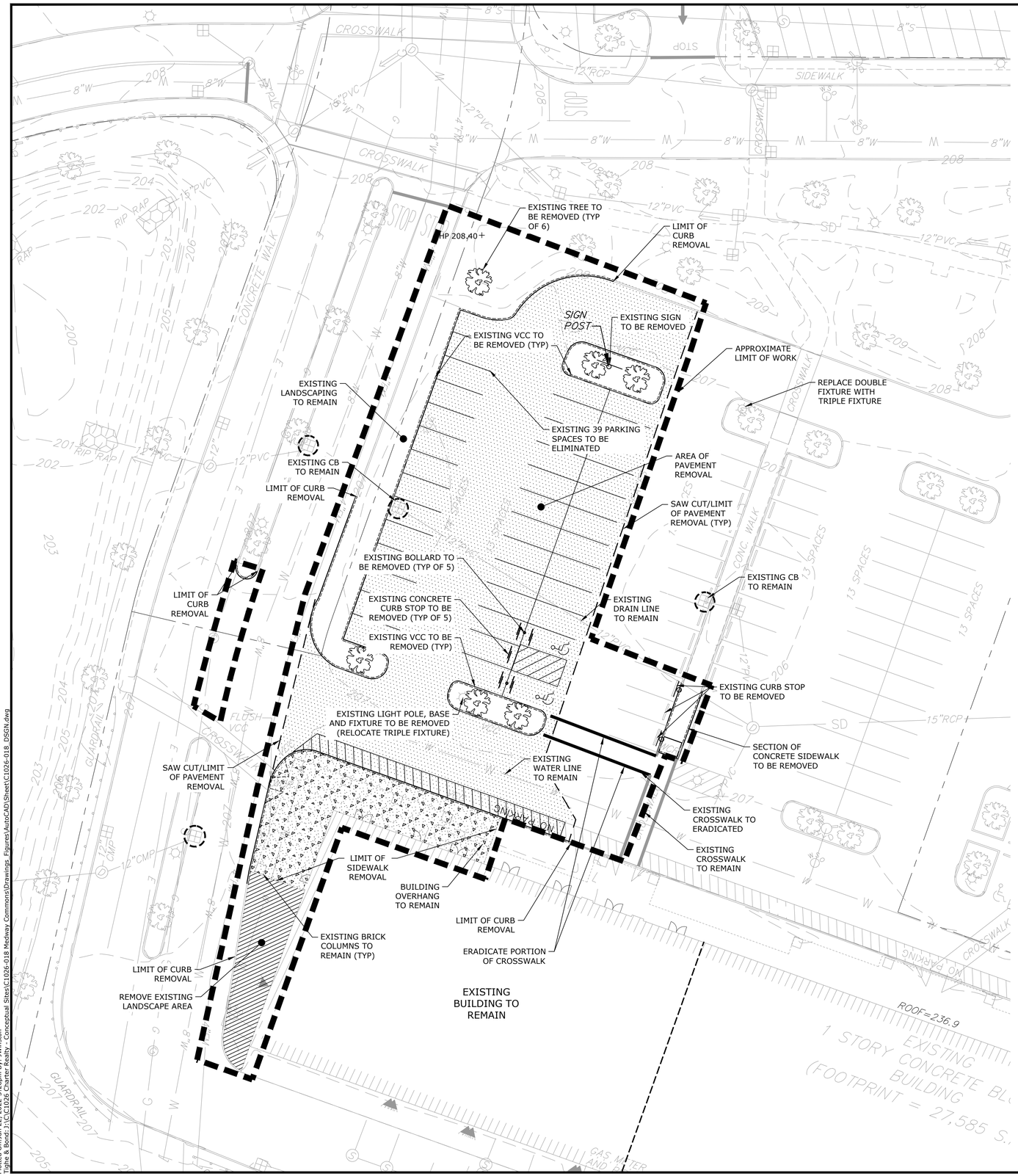
PROJECT NO:	C1026-018
DATE:	May 19, 2022
FILE:	C1026-018_DSGN.DWG
DRAWN BY:	JRW
CHECKED:	JPL
APPROVED:	BLM

OVERALL SITE PLAN

SCALE: AS SHOWN

C-100

Last Saved: 6/22/2022
Plotted On:Jun 22, 2022-4:01pm By: JWinston
Tighe & Bond:J:\C\C1026 Charter Realty - Conceptual Sites\C1026-018 Medway Commons\Drawings_Figures\AutoCAD\Sheet\C1026-018_DSGN.dwg



DEMOLITION NOTES:

1. THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR THE ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES, ANTICIPATE CONFLICTS, REPAIR EXISTING UTILITIES AND RELOCATE EXISTING UTILITIES REQUIRED TO COMPLETE THE WORK.
2. THE CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES. CALL DIG SAFE AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION/CONSTRUCTION ACTIVITIES.
3. ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS, ORDINANCES AND CODES.
4. COORDINATE REMOVAL, RELOCATION, DISPOSAL OR SALVAGE OF UTILITIES WITH THE OWNER AND APPROPRIATE UTILITY COMPANY.
5. ANY EXISTING WORK OR PROPERTY DAMAGED OR DISRUPTED BY CONSTRUCTION/ DEMOLITION ACTIVITIES SHALL BE REPLACED OR REPAIRED TO MATCH ORIGINAL EXISTING CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
6. SAW CUT AND REMOVE PAVEMENT ONE (1) FOOT OFF PROPOSED EDGE OF PAVEMENT OR EXISTING CURB LINE IN ALL AREAS WHERE PAVEMENT TO BE REMOVED ABUTS EXISTING PAVEMENT OR CONCRETE TO REMAIN.
7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH THE CONDITIONS OF ALL OF THE PERMIT APPROVALS.
8. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ADDITIONAL PERMITS, NOTICES AND FEES NECESSARY TO COMPLETE THE WORK AND ARRANGE FOR AND PAY FOR NECESSARY INSPECTIONS AND APPROVALS FROM THE AUTHORITIES HAVING JURISDICTION.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AND OFF-SITE DISPOSAL OF MATERIALS REQUIRED TO COMPLETE THE WORK, EXCEPT FOR WORK NOTED TO BE COMPLETED BY OTHERS.
10. PAVEMENT REMOVAL LIMITS ARE SHOWN FOR CONTRACTOR'S CONVENIENCE. ADDITIONAL PAVEMENT REMOVAL MAY BE REQUIRED DEPENDING ON THE CONTRACTOR'S OPERATION. CONTRACTOR TO VERIFY FULL LIMITS OF PAVEMENT REMOVAL PRIOR TO BID.
11. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, CONCRETE PADS, UTILITIES AND PAVEMENT WITHIN THE WORK LIMITS SHOWN UNLESS SPECIFICALLY IDENTIFIED TO REMAIN. ITEMS TO BE REMOVED INCLUDE BUT ARE NOT LIMITED TO: CONCRETE, PAVEMENT, CURBS, LIGHTING, MANHOLES, CATCH BASINS, UNDER GROUND PIPING, POLES, STAIRS, SIGNS, FENCES, RAMPS, WALLS, TREES AND LANDSCAPING.
12. REMOVE TREES AND BRUSH AS REQUIRED FOR COMPLETION OF WORK. CONTRACTOR SHALL GRUB AND REMOVE ALL STUMPS WITHIN LIMITS OF WORK AND DISPOSE OF OFF SITE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS.
13. CONTRACTOR SHALL PROTECT ALL PROPERTY MONUMENTATION THROUGHOUT DEMOLITION AND CONSTRUCTION OPERATIONS. SHOULD ANY MONUMENTATION BE DISTURBED BY THE CONTRACTOR, THE CONTRACTOR SHALL EMPLOY A MASSACHUSETTS LICENSED SURVEYOR TO REPLACE DISTURBED MONUMENTS.
14. PROVIDE INLET PROTECTION BARRIERS AT ALL CATCH BASINS/CURB INLETS WITHIN CONSTRUCTION LIMITS AS WELL AS CATCH BASINS/CURB INLETS THAT RECEIVE RUNOFF FROM CONSTRUCTION ACTIVITIES. INLET PROTECTION BARRIERS SHALL BE MAINTAINED FOR THE DURATION OF THE PROJECT. INLET PROTECTION BARRIERS SHALL BE "HIGH FLOW SILT SACK" BY ACF ENVIRONMENTAL OR EQUAL. INSPECT BARRIERS WEEKLY AND AFTER EACH RAIN EVENT OF 0.25 INCHES OR GREATER. CONTRACTOR SHALL COMPLETE A MAINTENANCE INSPECTION REPORT AFTER EACH INSPECTION. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT OR MORE OFTEN IF THE FABRIC BECOMES CLOGGED OR SEDIMENT HAS ACCUMULATED TO 1/3 THE DESIGN DEPTH OF THE BARRIER.
15. THE CONTRACTOR SHALL PHASE DEMOLITION AND CONSTRUCTION AS REQUIRED TO PROVIDE CONTINUOUS SERVICE TO EXISTING BUSINESSES AND HOMES THROUGHOUT THE CONSTRUCTION PERIOD. EXISTING BUSINESS AND HOME SERVICES INCLUDE, BUT ARE NOT LIMITED TO ELECTRICAL, COMMUNICATION, FIRE PROTECTION, DOMESTIC WATER AND SEWER SERVICES. TEMPORARY SERVICES, IF REQUIRED, SHALL COMPLY WITH ALL FEDERAL, STATE, LOCAL AND UTILITY COMPANY STANDARDS. CONTRACTOR SHALL PROVIDE DETAILED CONSTRUCTION SCHEDULE TO OWNER PRIOR TO ANY DEMOLITION/CONSTRUCTION ACTIVITIES AND SHALL COORDINATE TEMPORARY SERVICES TO ABUTTERS WITH THE UTILITY COMPANY AND AFFECTED ABUTTER.
16. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY CLEARING OR DEMOLITION ACTIVITIES.
17. THE CONTRACTOR SHALL PAY ALL COSTS NECESSARY FOR TEMPORARY PARTITIONING, BARRICADING, FENCING, SECURITY AND SAFETY DEVICES REQUIRED FOR THE MAINTENANCE OF A CLEAN AND SAFE CONSTRUCTION SITE.

REFERENCE PLANS:

1. "SITE AS-BUILT PLAN MAIN AND HOLLISTON STREETS IN MEDWAY MA" PREPARED BY DAYLOR CONSULTING FROUP INC., DATED JULY 14, 2004.

LEGEND

TYP	TYPICAL
	LIMIT OF WORK
	PROPOSED SAW CUT LINE
	EXISTING PAVEMENT REMOVAL
	EXISTING CONCRETE TO BE REMOVED
	EXISTING LANDSCAPE AREA TO BE REMOVED

APPROVED BY:
TOWN OF MEDWAY PLANNING AND ECONOMIC DEVELOPMENT BOARD

DATE: _____

0 20' 40'
GRAPHIC SCALE

Tighe&Bond

COMMONWEALTH OF MASSACHUSETTS
BRADLEE MEZQUITA
CIVIL
No. 42446
REGISTERED PROFESSIONAL ENGINEER
6-22-22

COMMONWEALTH OF MASSACHUSETTS
JOHN P. LORDEN
CIVIL
No. 50574
REGISTERED PROFESSIONAL ENGINEER
6-22-22

BrightPath Child Care Center

Medway Commons
67C Main Street
Medway,
Massachusetts

Charter Realty & Development Corp.

MARK	DATE	DESCRIPTION
1	6/22/2022	Revised per review comments

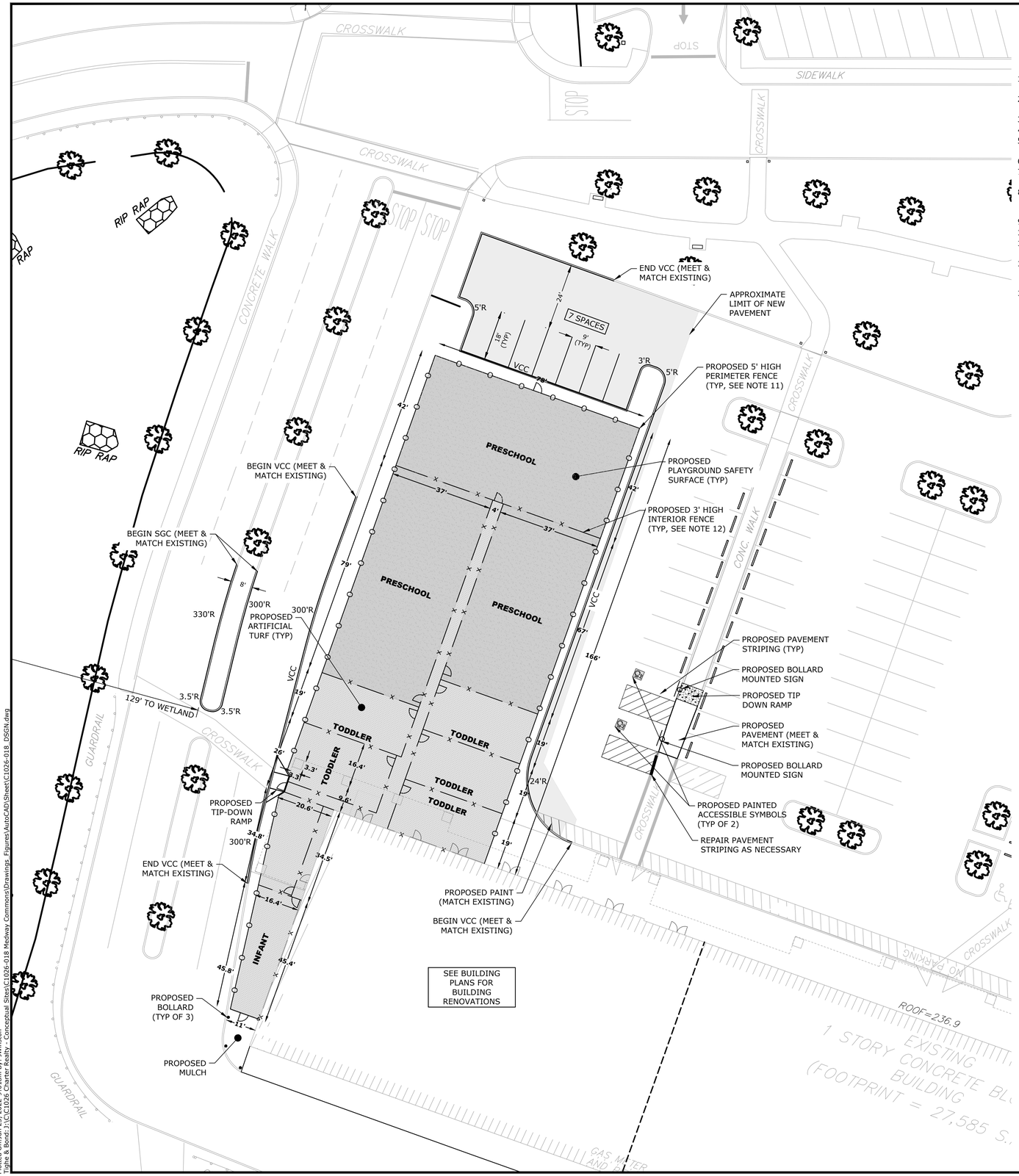
PROJECT NO:	C1026-018
DATE:	May 19, 2022
FILE:	C1026-018_DSGN.DWG
DRAWN BY:	JRW
CHECKED:	JPL
APPROVED:	BLM

DEMOLITION PLAN

SCALE: AS SHOWN

C-101

Last Saved: 6/22/2022
Plotted On:Jun 22, 2022-3:28pm By: JWinston
Tighe & Bond:J:\C\C1026 Charter Realty - Conceptual Sites\C1026-018 Medway Commons\Drawings_Figures\AutoCAD\Sheet\C1026-018_DSGN.dwg



WAIVER REQUEST:

THE FOLLOWING IS A WAIVER REQUEST FROM THE TOWN OF MEDWAY'S SITE PLAN RULES AND REGULATIONS

1. ARTICLE V SECTION 205-4 - ALL EXISTING AND PROPOSED ELEVATIONS SHALL REFER TO NAVD88.

SITE NOTES:

1. STRIPE PARKING AREAS AS SHOWN, INCLUDING PARKING SPACES, AND ADA SYMBOLS. PAINT SHALL BE FAST DRYING AND SHALL MEET THE REQUIREMENTS OF AASHTO AASHTO M249. ALL TRAFFIC PAINT SHALL MEET THE REQUIREMENTS OF AASHTO M248 TYPE "F".
2. ALL PAVEMENT MARKINGS AND SIGNS TO CONFORM TO "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", "STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS", AND THE AMERICANS WITH DISABILITIES ACT REQUIREMENTS, LATEST EDITIONS.
3. SEE DETAILS FOR PARKING STALL MARKINGS, ADA SYMBOLS, SIGNS AND SIGN POSTS.
4. THE CONTRACTOR SHALL EMPLOY A MASSACHUSETTS LICENSED LAND SURVEYOR TO DETERMINE ALL LINES AND GRADES.
5. CLEAN AND COAT VERTICAL FACE OF EXISTING PAVEMENT AT SAW CUT LINE WITH RS-1 EMULSION IMMEDIATELY PRIOR TO PLACING NEW BITUMINOUS CONCRETE.
6. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE, AND LOCAL CODES & SPECIFICATIONS.
7. CONTRACTOR TO SUBMIT AS-BUILT PLANS IN DIGITAL FORMAT (.DWG AND .PDF FILES) ON DISK TO THE OWNER AND ENGINEER UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A NEW HAMPSHIRE LICENSED LAND SURVEYOR.
8. ALL WORK SHALL CONFORM TO THE TOWN OF MEDWAY DEPARTMENT OF PUBLIC WORKS, STANDARD SPECIFICATIONS AND WITH THE STATE OF MASSACHUSETTS DEPARTMENT OF TRANSPORTATION, "STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES", CURRENT EDITION.
9. COORDINATE ALL WORK ADJACENT TO BUILDING WITH BUILDING CONTRACTOR.
10. ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
11. PERIMETER FENCING SHALL BE ECHELON PLUS ORNAMENTAL ALUMNINUM TUBULAR FENCE; STYLE = MAJESTIC; PANEL = 3-RAIL; COLOR = BLACK; HEIGHT = 5 FEET. PERIMETER FENCING LOCATIONS SHALL BE FIXED.
12. INTERIOR FENCING SHALL BE JAMIESON FENCE SUPPLY VINYL CHAIN-LINK FABRIC - EXTRUDED; ITEM NO = 304036-BKKK; COLOR = BLACK; HEIGHT = 3 FEET. INTERIOR FENCING LOCATIONS MAY MOVE SLIGHTLY BASED ON SITE CONDITIONS AND TO FACILITATE FINAL PLAYGROUND ELEMENT PLACEMENT.
13. CONTRACTOR TO PROVIDE FENCING TO PROTECT THE PUBLIC USING THE PLAZA DURING CONSTRUCTION.

LEGEND

•	PROPOSED BOLLARD
5'R	RADIUS
SGC	SLOPED GRANITE CURB
TYP	TYPICAL
VCC	VERTICAL CONCRETE CURB
	ACCESSIBLE PAVEMENT MARKING
	PROPOSED SIGN
	PROPOSED EDGE OF PAVEMENT/CURB
	PROPOSED PERIMETER FENCE (ORNAMENTAL ALUMINUM)
— x — x —	PROPOSED INTERIOR FENCE (CHAIN-LINK)
	PROPOSED PLAYGROUND SAFETY SURFACE
	PROPOSED ARTIFICIAL TURF
	PROPOSED CONCRETE
	PROPOSED PAINTED ISLAND
	PROPOSED PAVEMENT

Medway Commons Required Parking by Tenant

Tenant	Area gfa	seats	Medway Parking gsf	seat	Employees
			1/300 sf	1/3 seats	
Retail A					
Shaw's	71,548		238		35.0
Retail B/C	27,750				
Utility Room	100				
Education/day care	12,700		42		10.0
Pizza	1,600	25		8.3	2.0
California Nails	1,500	13	5		5.0
Loyal Companion	5,850		20		4.0
Liquor World	6,000		20		3.0
Retail D	5,000				
Orange Theory	3,400		11		2.0
Starbuck's	1,500	25		8.3	2.0
Utility room	100				
Retail E	3,716				
Proposed Restaurant	2,216	25		8.3	6.0
Cost Cutters	1,500	6	5		5.0
Retail F					
CVS	13,123		44		8.0
			385	25.0	82.0
Total	121,137		**492**		
Allowable					
Total Parking per SBX modification		**560**			
Parking Provided per Child Care plan		**527**			
Reduction of 33 spaces					

APPROVED BY:
TOWN OF MEDWAY PLANNING AND ECONOMIC DEVELOPMENT BOARD

DATE: _____

0 20' 40'
GRAPHIC SCALE

Tighe&Bond

COMMONWEALTH OF MASSACHUSETTS
BRADLEE MEZQUITA
CIVIL
No. 42446
REGISTERED PROFESSIONAL ENGINEER
6-22-22

COMMONWEALTH OF MASSACHUSETTS
JOHN P. LORDEN
CIVIL
No. 50574
REGISTERED PROFESSIONAL ENGINEER
6-22-22

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SITE PLAN

SCALE: AS SHOWN

C-102

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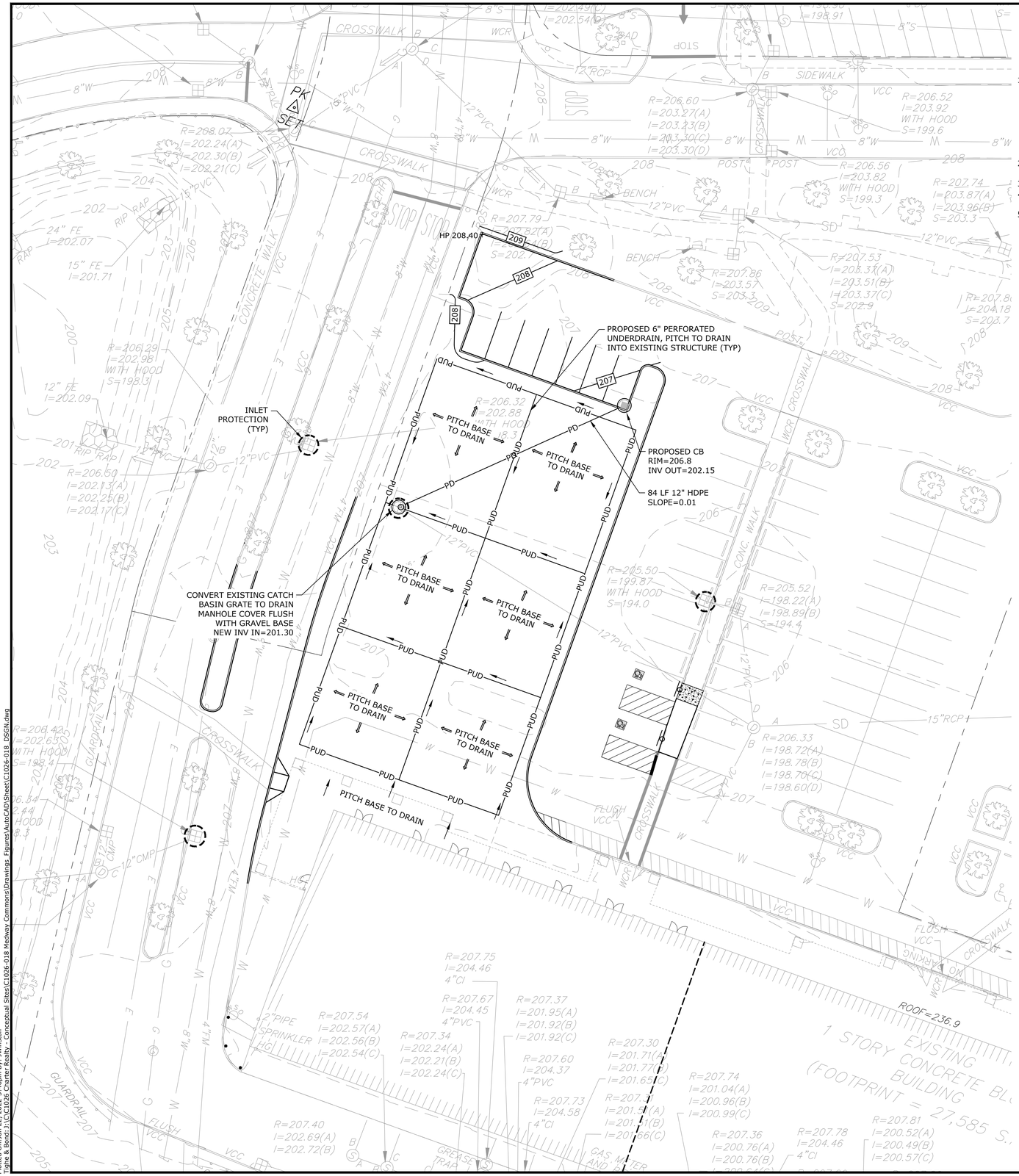

GRADING AND DRAINAGE NOTES:

1. COMPACTION REQUIREMENTS:

BELOW PAVED OR CONCRETE AREAS	95%
TRENCH BEDDING MATERIAL AND SAND BLANKET BACKFILL	95%
BELOW LOAM AND SEED AREAS	90%

* ALL PERCENTAGES OF COMPACTION SHALL BE OF THE MAXIMUM DRY DENSITY AT THE OPTIMUM MOISTURE CONTENT AS DETERMINED AND CONTROLLED IN ACCORDANCE WITH ASTM D-1557, METHOD C FIELD DENSITY TESTS SHALL BE MADE IN ACCORDANCE WITH ASTM D-1556 OR ASTM-2922.

2. CONTRACTOR SHALL THOROUGHLY CLEAN ALL CATCH BASINS AND DRAIN LINES, WITHIN THE LIMIT OF WORK, OF SEDIMENT IMMEDIATELY UPON COMPLETION OF CONSTRUCTION.
3. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE AND LOCAL CODES.
4. ALL STORM DRAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE COMMONWEALTH OF MASSACHUSETTS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, LATEST EDITION.
5. ALL WORK SHALL CONFORM TO THE TOWN OF MEDWAY DEPARTMENT OF PUBLIC WORKS, STANDARD SPECIFICATIONS AND WITH THE STATE OF MASSACHUSETTS DEPARTMENT OF TRANSPORTATION, "STANDARD SPECIFICATIONS OF HIGHWAYS AND BRIDGES CONSTRUCTION", CURRENT EDITION.

EROSION CONTROL NOTES:

1. INSTALL EROSION CONTROL BARRIERS AS SHOWN AS FIRST ORDER OF WORK.
2. SEE GENERAL EROSION CONTROL NOTES ON "EROSION CONTROL NOTES & DETAILS SHEET".
3. PROVIDE INLET PROTECTION AROUND ALL EXISTING AND PROPOSED CATCH BASIN INLETS WITHIN THE WORK LIMITS AS WELL AS CATCH BASINS/CURB INLETS THAT RECEIVE RUNOFF FROM CONSTRUCTION ACTIVITIES. MAINTAIN FOR THE DURATION OF THE PROJECT.
4. INSPECT INLET PROTECTION AND PERIMETER EROSION CONTROL MEASURES DAILY AND AFTER EACH RAIN STORM OF 0.25 INCH OR GREATER. REPAIR/MODIFY PROTECTION AS NECESSARY TO MAXIMIZE EFFICIENCY OF FILTER. REPLACE ALL FILTERS WHEN SEDIMENT IS 1/3 THE FILTER HEIGHT.
5. PRIOR TO ANY WORK OR SOIL DISTURBANCE COMMENCING ON THE SUBJECT PROPERTY, INCLUDING MOVING OF EARTH, THE APPLICANT SHALL INSTALL ALL EROSION AND SILTATION MITIGATION AND CONTROL MEASURES AS REQUIRED BY STATE AND LOCAL PERMITS AND APPROVALS.
6. CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST AND WIND EROSION THROUGHOUT THE CONSTRUCTION PERIOD. DUST CONTROL MEASURES SHALL INCLUDE, BUT ARE NOT LIMITED TO, SPRINKLING WATER ON UNSTABLE SOILS SUBJECT TO ARID CONDITIONS.
7. THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL TEMPORARY EROSION CONTROL DEVICES UPON COMPLETION OF CONSTRUCTION.
8. ALL CATCH BASIN SUMPS AND PIPING SHALL BE THOROUGHLY CLEANED TO REMOVE ALL SEDIMENT AND DEBRIS AFTER THE PROJECT HAS BEEN COMPLETED.
9. TEMPORARY SOIL STOCKPILE SHALL BE SURROUNDED WITH PERIMETER CONTROLS AND SHALL BE STABILIZED BY TEMPORARY EROSION CONTROL SEEDING.
10. SAFETY FENCING SHALL BE PROVIDED AROUND STOCKPILES OVER 10 FT.

LEGEND

HP 208.40+	HIGH POINT ELEVATION
CB	CATCH BASIN
INV	INVERT
⟹	GRADE PITCH DIRECTION
→	DRAIN DIRECTION
	INLET PROTECTION
	PROPOSED CATCH BASIN
PUD	PROPOSED UNDERDRAIN
PD	PROPOSED DRAIN LINE
207	PROPOSED CONTOUR

APPROVED BY:
TOWN OF MEDWAY PLANNING AND ECONOMIC DEVELOPMENT BOARD

DATE: _____

0 20' 40'
GRAPHIC SCALE

Tighe&Bond

COMMONWEALTH OF MASSACHUSETTS
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GRADING, DRAINAGE, AND EROSION CONTROL PLAN

SCALE: AS SHOWN

C-103

Last Saved: 6/22/2022
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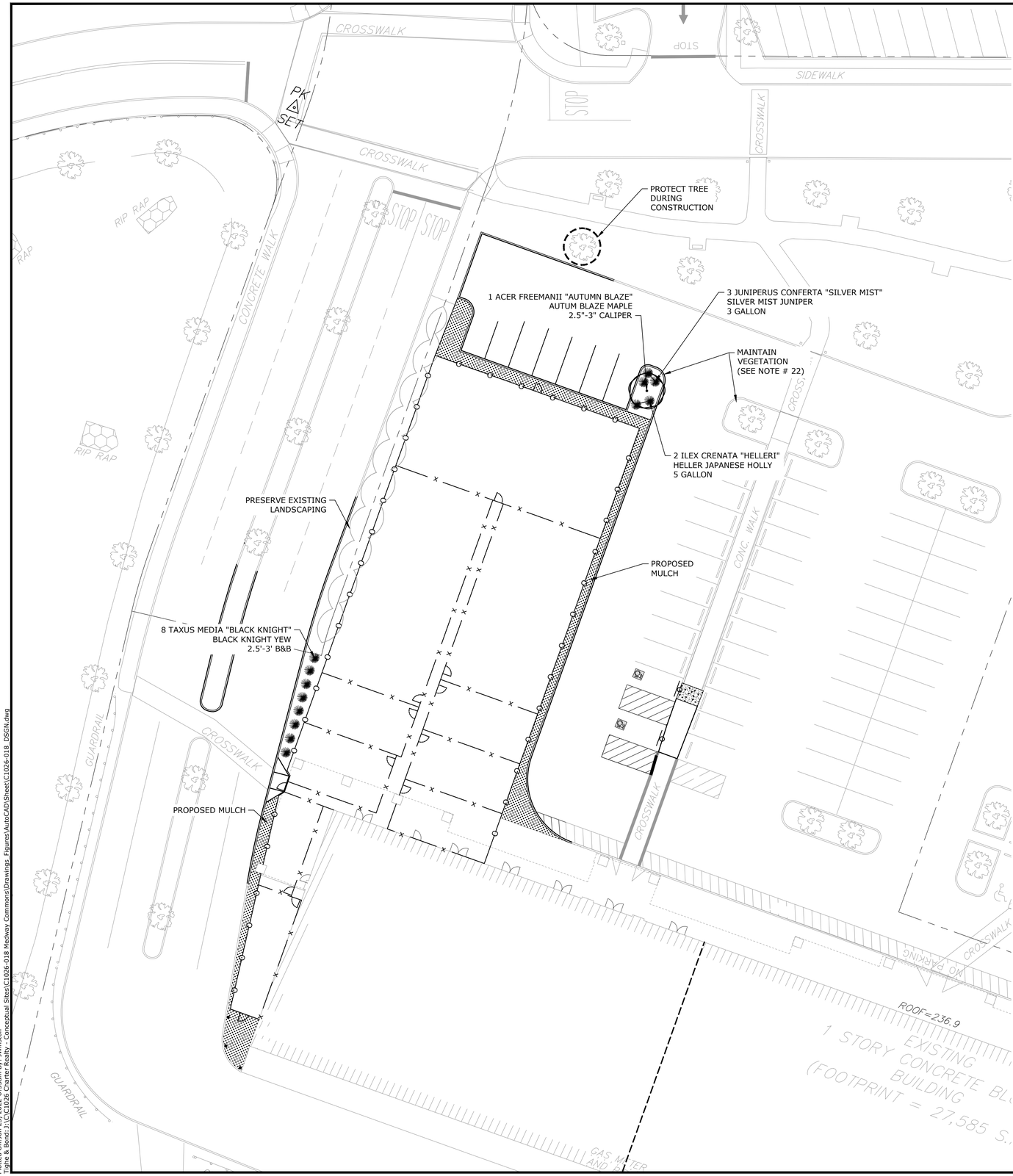
Tighe & Bond:J:\C\C1026 Charter Realty - Conceptual Sites\C1026-018 Medway Commons\Drawings_Figures\AutoCAD\Sheet\C1026-018_DSGN.dwg



LANDSCAPE NOTES:

1. THE CONTRACTOR SHALL FURNISH AND PLANT ALL PLANTS IN QUANTITIES AS SHOWN ON THIS PLAN. NO SUBSTITUTIONS WILL BE PERMITTED UNLESS APPROVED BY OWNER. ALL PLANTS SHALL BE NURSERY GROWN.
2. ALL PLANTS SHALL BE NURSERY GROWN AND PLANTS AND WORKMANSHIP SHALL CONFORM TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS, INCLUDING BUT NOT LIMITED TO SIZE, HEALTH, SHAPE, ETC., AND SHALL BE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO ARRIVAL ON-SITE AND AFTER PLANTING.
3. PLANT STOCK SHALL BE GROWN WITHIN THE HARDINESS ZONES 4 THRU 7 ESTABLISHED BY THE PLANT HARDINESS ZONE MAP, MISCELLANEOUS PUBLICATIONS NO. 814, AGRICULTURAL RESEARCH SERVICE, UNITED STATES DEPARTMENT AGRICULTURE, LATEST REVISION.
4. PLANT MATERIAL SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS TO THE ORIGINAL PLANTING GRADE PRIOR TO DIGGING.
5. THE NUMBER OF EACH INDIVIDUAL PLANT TYPE AND SIZE PROVIDED IN THE PLANT LIST OR ON THE PLAN IS FOR THE CONTRACTOR'S CONVENIENCE ONLY. IF A DISCREPANCY EXISTS BETWEEN THE NUMBER OF PLANTS ON THE LABEL AND THE NUMBER OF SYMBOLS SHOWN ON THE DRAWINGS, THE GREATER NUMBER SHALL APPLY.
6. NO SUBSTITUTION OF PLANT MATERIALS WILL BE ALLOWED WITHOUT THE PRIOR WRITTEN APPROVAL OF THE OWNER'S REPRESENTATIVE.
7. THE CONTRACTOR SHALL LOCATE, VERIFY AND MARK ALL EXISTING AND NEWLY INSTALLED UNDERGROUND UTILITIES PRIOR TO ANY LAWN WORK OR PLANTING. ANY CONFLICTS WHICH MIGHT OCCUR BETWEEN PLANTING AND UTILITIES SHALL IMMEDIATELY BE REPORTED TO THE OWNER SO THAT ALTERNATE PLANTING LOCATIONS CAN BE DETERMINED.
8. ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED, SHALL RECEIVE 6" OF LOAM AND SEED. NO FILL SHALL BE PLACED IN ANY WETLAND AREA.
9. THREE INCHES (3") OF BARK MULCH IS TO BE USED AROUND THE TREE AND SHRUB PLANTING AS SPECIFIED IN THE DETAILS. WHERE BARK MULCH IS TO BE USED IN A CURBED ISLAND THE BARK MULCH SHALL MEET THE TOP INSIDE EDGE OF THE CURB. ALL OTHER AREAS SHALL RECEIVE 6" INCHES OF LOAM AND SEED.
10. LANDSCAPING SHALL BE LOCATED WITHIN 150 FT OF EXTERIOR HOSE ATTACHMENT OR SHALL BE PROVIDED WITH AN IRRIGATION SYSTEM.
11. SEE PLANTING DETAILS AND SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
12. TREE STAKES SHALL REMAIN IN PLACE FOR NO LESS THAN 6 MONTHS AND NO MORE THAN 1 YEAR.
13. PLANTING SHALL BE COMPLETED FROM APRIL 15TH THROUGH OCTOBER 1ST. NO PLANTING DURING JULY AND AUGUST UNLESS SPECIAL PROVISIONS ARE MADE FOR DROUGHT.
14. PARKING AREA PLANTED ISLANDS TO HAVE MINIMUM OF 1'-0" TOPSOIL PLACED TO WITHIN 3 INCHES OF THE TOP OF CURB ELEVATION. REMOVE ALL CONSTRUCTION DEBRIS BEFORE PLACING TOPSOIL.
15. TREES SHALL BE PRUNED IN ACCORDANCE WITH THE LATEST EDITION OF ANSI A300 'TREES, SHRUBS AND OTHER WOOD PLANT MAINTENANCE STANDARD PRACTICES.
16. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24 HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL BE WATERED WEEKLY, OR MORE OFTEN, IF NECESSARY DURING THE FIRST GROWING SEASON. LANDSCAPE CONTRACTOR SHALL COORDINATE WATERING SCHEDULE WITH OWNER DURING THE ONE (1) YEAR GUARANTEE PERIOD.
17. EXISTING TREES AND SHRUBS SHOWN ON THE PLAN ARE TO REMAIN UNDISTURBED. ALL EXISTING TREES AND SHRUBS SHOWN TO REMAIN ARE TO BE PROTECTED WITH A 4-FOOT SNOW FENCE PLACED AT THE DRIP LINE OF THE BRANCHES OR AT 8 FEET MINIMUM FROM THE TREE TRUNK. ANY EXISTING TREE OR SHRUB SHOWN TO REMAIN, WHICH IS REMOVED DURING CONSTRUCTION, SHALL BE REPLACED BY A TREE OF COMPARABLE SIZE AND SPECIES TREE OR SHRUB.
18. THE CONTRACTOR SHALL GUARANTEE ALL PLANTINGS TO BE IN GOOD HEALTHY, FLOURISHING AND ACCEPTABLE CONDITION FOR A PERIOD OF ONE (1) YEAR BEGINNING AT THE DATE OF ACCEPTANCE OF SUBSTANTIAL COMPLETION. ALL GRASSES, TREES AND SHRUBS THAT, IN THE OPINION OF THE LANDSCAPE ARCHITECT, SHOW LESS THAN 80% HEALTHY GROWTH AT THE END OF ONE YEAR PERIOD SHALL BE REPLACED BY THE CONTRACTOR.
19. UPON EXPIRATION OF THE CONTRACTOR'S ONE YEAR GUARANTEE PERIOD, THE OWNER SHALL BE RESPONSIBLE FOR LANDSCAPE MAINTENANCE INCLUDING WATERING DURING PERIODS OF DROUGHT
20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL PLANTING AND LAWNS AGAINST DAMAGE FROM ONGOING CONSTRUCTION. THIS PROTECTION SHALL BEGIN AT THE TIME THE PLANT IS INSTALLED AND CONTINUE UNTIL THE FORMAL ACCEPTANCE OF ALL THE PLANTINGS.
21. PRE-PURCHASE PLANT MATERIAL AND ARRANGE FOR DELIVERY TO MEET PROJECT SCHEDULE AS REQUIRED IT MAY BE NECESSARY TO PRE-DIG CERTAIN SPECIES WELL IN ADVANCE OF ACTUAL PLANTING DATES.
22. VEGETATION WITHIN THE AREA OF THE CROSSWALK SHALL BE MAINTAINED SO THE CROSSWALK IS AS VISIBLE AS POSSIBLE.

LEGEND

B & B	BALLED AND BURLAPPED
	EVERGREEN SHRUB
	DECIDUOUS TREE
	PROPOSED MULCH
	EXISTING LANDSCAPING

APPROVED BY:
TOWN OF MEDWAY PLANNING AND ECONOMIC DEVELOPMENT BOARD

DATE: _____

0 20' 40'
GRAPHIC SCALE

Tighe&Bond

MASSACHUSETTS RALPH GORDON REED REGISTERED LANDSCAPE ARCHITECT NO. 4525
6-22-22

COMMONWEALTH OF MASSACHUSETTS BRADLEE MEZQUITA CIVIL No. 42446 REGISTERED PROFESSIONAL ENGINEER
6-22-22

COMMONWEALTH OF MASSACHUSETTS JOHN P. LORDEN CIVIL No. 50574 REGISTERED PROFESSIONAL ENGINEER
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LANDSCAPE PLAN

SCALE: AS SHOWN

C-104

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Tighe & Bond:J:\C\C1026 Charter Realty - Conceptual Sites\C1026-018 Medway Commons\Drawings_Figures\AutoCAD\Sheet\C1026-018_DSGN.dwg

GENERAL PROJECT INFORMATION

PROJECT NAME: MEDWAY COMMONS
PROJECT ADDRESS: 67C MAIN STREET
MEDWAY, MASSACHUSETTS
PROJECT MAP / LOT: MAP 41 / LOT 23
PROJECT LATITUDE: 42.15161 N
PROJECT LONGITUDE: -71.40572 W

PROJECT DESCRIPTION

THE PROJECT CONSISTS OF THE REDEVELOPMENT OF AN EXISTING PARKING AREA TO AN ENCLOSED PLAY AREA FOR A CHILD CARE CENTER.

DISTURBED AREA

THE TOTAL AREA TO BE DISTURBED IS APPROXIMATELY 0.64 ACRES.

EROSION CONTROL NOTES:

1. ALL EROSION CONTROL MEASURES AND PRACTICES SHALL CONFORM TO THE MOST CURRENT MASSACHUSETTS STORMWATER STANDARDS PERPARED BY THE MADEP.
2. PRIOR TO ANY WORK OR SOIL DISTURBANCE, CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR EROSION CONTROL MEASURES AS REQUIRED IN THE PROJECT MANUAL.
3. CONTRACTOR SHALL INSTALL TEMPORARY EROSION CONTROL BARRIERS, INCLUDING HAY BALES, SILT FENCES, MULCH BERMS, SILT SACKS AND SILT SOCKS AS SHOWN IN THESE DRAWINGS AS THE FIRST ORDER OF WORK.
4. SILT SACK INLET PROTECTION SHALL BE INSTALLED IN ALL EXISTING AND PROPOSED CATCH BASIN INLETS WITHIN THE WORK LIMITS AND BE MAINTAINED FOR THE DURATION OF THE PROJECT.
5. PERIMETER CONTROLS INCLUDING SILT FENCES, MULCH BERM, SILT SOCK, AND/OR HAY BALE BARRIERS SHALL BE MAINTAINED FOR THE DURATION OF THE PROJECT UNTIL NON-PAVED AREAS HAVE BEEN STABILIZED.
6. THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL TEMPORARY EROSION CONTROL DEVICES UPON COMPLETION OF CONSTRUCTION.
7. ALL DISTURBED AREAS NOT OTHERWISE BEING TREATED SHALL RECEIVE 6" LOAM, SEED AND FERTILIZER.
8. INSPECT ALL INLET PROTECTION AND PERIMETER CONTROLS WEEKLY AND AFTER EACH RAIN STORM OF 0.25 INCH OR GREATER. REPAIR/MODIFY PROTECTION AS NECESSARY TO MAXIMIZE EFFICIENCY OF FILTER. REPLACE ALL FILTERS WHEN SEDIMENT IS 1/3 THE FILTER HEIGHT.

STABILIZATION:

1. AN AREA SHALL BE CONSIDERED STABLE WHEN ONE OF THE FOLLOWING HAS OCCURRED:
   A. BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
   B. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
   C. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED;
   D. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.;
   E. IN AREAS TO BE PAVED, "STABLE" MEANS THAT BASE COURSE GRAVELS MEETING THE REQUIREMENTS OF MASSDOT STANDARD FOR ROAD AND BRIDGE CONSTRUCTION, 2016, HAVE BEEN INSTALLED.
2. WINTER STABILIZATION PRACTICES:
   A. ALL PROPOSED VEGETATED AREAS THAT DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS;
   B. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS;
   C. AFTER OCTOBER 15, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER MASSDOT, OR IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON BE CLEARED OF ANY ACCUMULATED SNOW AFTER EACH STORM EVENT;
3. STABILIZATION SHALL BE INITIATED ON ALL LOAM STOCKPILES, AND DISTURBED AREAS, WHERE CONSTRUCTION ACTIVITY SHALL NOT OCCUR FOR MORE THAN TWENTY-ONE (21) CALENDAR DAYS BY THE FOURTEENTH (14TH) DAY AFTER CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED IN THAT AREA. STABILIZATION MEASURES TO BE USED INCLUDE:
   A. TEMPORARY SEEDING;
   B. MULCHING.
4. ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE.
5. WHEN CONSTRUCTION ACTIVITY PERMANENTLY OR TEMPORARILY CEASES WITHIN 100 FEET OF NEARBY SURFACE WATERS OR DELINEATED WETLANDS, THE AREA SHALL BE STABILIZED WITHIN SEVEN (7) DAYS OR PRIOR TO A RAIN EVENT. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN AN THESE AREAS, SILT FENCES, MULCH BERMS, HAY BALE BARRIERS AND ANY EARTH/DIKES SHALL BE REMOVED ONCE PERMANENT MEASURES ARE ESTABLISHED.
6. DURING CONSTRUCTION, RUNOFF WILL BE DIVERTED AROUND THE SITE WITH EARTH DIKES, PIPING OR STABILIZED CHANNELS WHERE POSSIBLE. SHEET RUNOFF FROM THE SITE WILL BE FILTERED THROUGH SILT FENCES, MULCH BERMS, HAY BALE BARRIERS, OR SILT SOCKS. ALL STORM DRAIN BASIN INLETS SHALL BE PROVIDED WITH FLARED END SECTIONS AND TRASH RACKS. THE SITE SHALL BE STABILIZED FOR THE WINTER BY OCTOBER 15.

DUST CONTROL:

1. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST THROUGHOUT THE CONSTRUCTION PERIOD.
2. DUST CONTROL METHODS SHALL INCLUDE, BUT BE NOT LIMITED TO SPRINKLING WATER ON EXPOSED AREAS, COVERING LOADED DUMP TRUCKS LEAVING THE SITE, AND TEMPORARY MULCHING.
3. DUST CONTROL MEASURES SHALL BE UTILIZED SO AS TO PREVENT THE MIGRATION OF DUST FROM THE SITE TO ABUTTING AREAS.

STOCKPILES:

1. LOCATE STOCKPILES A MINIMUM OF 50 FEET AWAY FROM CATCH BASINS, SWALES, AND CULVERTS.
2. ALL STOCKPILES SHOULD BE SURROUNDED WITH TEMPORARY EROSION CONTROL MEASURES PRIOR TO THE ONSET OF PRECIPITATION.
3. PERIMETER BARRIERS SHOULD BE MAINTAINED AT ALL TIMES, AND ADJUSTED AS NEEDED TO ACCOMMODATE THE DELIVERY AND REMOVAL OF MATERIALS FROM THE STOCKPILE. THE INTEGRITY OF THE BARRIER SHOULD BE INSPECTED AT THE END OF EACH WORKING DAY.
4. PROTECT ALL STOCKPILES FROM STORMWATER RUN-OFF USING TEMPORARY EROSION CONTROL MEASURES SUCH AS BERMS, SILT SOCK, OR OTHER APPROVED PRACTICE TO PREVENT MIGRATION OF MATERIAL BEYOND THE IMMEDIATE CONFINES OF THE STOCKPILES.

VEGETATION:

1. TEMPORARY GRASS COVER:
   A. SEEDBED PREPARATION:
      a. APPLY FERTILIZER AT THE RATE OF 600 POUNDS PER ACRE OF 10-10-10. APPLY LIMESTONE (EQUIVALENT TO 50 PERCENT CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF THREE (3) TONS PER ACRE;
   B. SEEDING:
      a. UTILIZE ANNUAL RYE GRASS AT A RATE OF 40 LBS/ACRE;
      b. WHERE THE SOIL HAS BEEN COMPACTED BY CONSTRUCTION OPERATIONS, LOOSEN SOIL TO A DEPTH OF TWO (2) INCHES BEFORE APPLYING FERTILIZER, LIME AND SEED;
      c. APPLY SEED UNIFORMLY BY HAND, CYCLONE SEEDER, OR HYDROSEEDER (SLURRY INCLUDING SEED AND FERTILIZER). HYDROSEEDINGS, WHICH INCLUDE MULCH, MAY BE LEFT ON SOIL SURFACE. SEEDING RATES MUST BE INCREASED 10% WHEN HYDROSEEDING;
   C. MAINTENANCE:
      a. TEMPORARY SEEDING SHALL BE PERIODICALLY INSPECTED. AT A MINIMUM, 95% OF THE SOIL SURFACE SHOULD BE COVERED BY VEGETATION. IF ANY EVIDENCE OF EROSION OR SEDIMENTATION IS APPARENT, REPAIRS SHALL BE MADE AND OTHER TEMPORARY MEASURES USED IN THE INTERIM (MULCH, FILTER BARRIERS, CHECK DAMS, ETC.).
2. PERMANENT MEASURES AND PLANTINGS:
   A. LIMESTONE SHALL BE THOROUGHLY INCORPORATED INTO THE LOAM LAYER AT A RATE OF THREE (3) TONS PER ACRE IN ORDER TO PROVIDE A PH VALUE OF 5.5 TO 6.5;
   B. FERTILIZER SHALL BE SPREAD ON THE TOP LAYER OF LOAM AND WORKED INTO THE SURFACE. FERTILIZER APPLICATION RATE SHALL BE 800 POUNDS PER ACRE OF 10-20-20 FERTILIZER;
   C. SOIL CONDITIONERS AND FERTILIZER SHALL BE APPLIED AT THE RECOMMENDED RATES AND SHALL BE THOROUGHLY WORKED INTO THE LOAM. LOAM SHALL BE RAKED UNTIL THE SURFACE IS FINELY PULVERIZED, SMOOTH AND EVEN, AND THEN COMPACTED TO AN EVEN SURFACE CONFORMING TO THE REQUIRED LINES AND GRADES WITH APPROVED ROLLERS WEIGHING BETWEEN 4-1/2 POUNDS AND 5-1/2 POUNDS PER INCH OF WIDTH;
   D. SEED SHALL BE SOWN AT THE RATE SHOWN BELOW. SOWING SHALL BE DONE ON A CALM, DRY DAY, PREFERABLY BY MACHINE, BUT IF BY HAND, ONLY BY EXPERIENCED WORKMEN. IMMEDIATELY BEFORE SEEDING, THE SOIL SHALL BE LIGHTLY RAKED. ONE HALF THE SEED SHALL BE SOWN IN ONE DIRECTION AND THE OTHER HALF AT RIGHT ANGLES TO THE ORIGINAL DIRECTION. IT SHALL BE LIGHTLY RAKED INTO THE SOIL TO A DEPTH NOT OVER 1/4 INCH AND ROLLED WITH A HAND ROLLER WEIGHING NOT OVER 100 POUNDS PER LINEAR FOOT OF WIDTH;
   E. HAY MULCH SHALL BE APPLIED IMMEDIATELY AFTER SEEDING AS INDICATED ABOVE;
   F. THE SURFACE SHALL BE WATERED AND KEPT MOIST WITH A FINE SPRAY AS REQUIRED, WITHOUT WASHING AWAY THE SOIL, UNTIL THE GRASS IS WELL ESTABLISHED. ANY AREAS WHICH ARE NOT SATISFACTORILY COVERED WITH GRASS SHALL BE RESEEDED, AND ALL NOXIOUS WEEDS REMOVED;
   G. THE CONTRACTOR SHALL PROTECT AND MAINTAIN THE SEEDED AREAS UNTIL ACCEPTED;
   H. A GRASS SEED MIXTURE CONTAINING THE FOLLOWING SEED REQUIREMENTS SHALL BE APPLIED AT THE INDICATED RATE:

SEED MIX	APPLICATION RATE
CREEPING RED FESCUE	66 LBS/ACRE
KENTUCKY BLUE	36 LBS/ACRE
PERENNIAL RYE	6 LBS/ACRE
REDTOP	6 LBS/ACRE

   IN NO CASE SHALL THE WEED CONTENT EXCEED ONE (1) PERCENT BY WEIGHT. ALL SEED SHALL COMPLY WITH STATE AND FEDERAL SEED LAWS. SEEDING SHALL BE DONE NO LATER THAN SEPTEMBER 15. IN NO CASE SHALL SEEDING TAKE PLACE OVER SNOW.
3. DORMANT SEEDING (SEPTEMBER 15 TO FIRST SNOWFALL):
   A. FOLLOW PERMANENT MEASURES SLOPE, LIME, FERTILIZER AND GRADING REQUIREMENTS. APPLY SEED MIXTURE AT TWICE THE INDICATED RATE. APPLY MULCH AS INDICATED FOR PERMANENT MEASURES.

WASTE DISPOSAL:

1. WASTE MATERIAL:
   A. ALL WASTE MATERIALS SHALL BE COLLECTED AND STORED IN SECURELY LIDDED RECEPTACLES. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE SHALL BE DEPOSITED IN A DUMPSTER;
   B. NO CONSTRUCTION WASTE MATERIALS SHALL BE BURIED ON SITE;
   C. ALL PERSONNEL SHALL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL BY THE SUPERINTENDENT.
2. HAZARDOUS WASTE:
   A. ALL HAZARDOUS WASTE MATERIALS SHALL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER;
   B. SITE PERSONNEL SHALL BE INSTRUCTED IN THESE PRACTICES BY THE SUPERINTENDENT.
3. SANITARY WASTE:
   A. ALL SANITARY WASTE SHALL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF ONCE PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR.

SPILL PREVENTION:

1. CONTRACTOR SHALL BE FAMILIAR WITH SPILL PREVENTION MEASURES REQUIRED BY LOCAL, STATE AND FEDERAL AGENCIES. AT A MINIMUM, CONTRACTOR SHALL FOLLOW THE BEST MANAGEMENT SPILL PREVENTION PRACTICES OUTLINED BELOW.
2. THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT SHALL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES DURING CONSTRUCTION TO STORMWATER RUNOFF:
   A. GOOD HOUSEKEEPING - THE FOLLOWING GOOD HOUSEKEEPING PRACTICE SHALL BE FOLLOWED ON SITE DURING CONSTRUCTION:
      a. ONLY SUFFICIENT AMOUNTS OF PRODUCTS TO DO THE JOB SHALL BE STORED ON SITE;
      b. ALL REGULATED MATERIALS STORED ON SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR PROPER (ORIGINAL IF POSSIBLE) CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE, ON AN IMPERVIOUS SURFACE;
      c. MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL SHALL BE FOLLOWED;
      d. THE SITE SUPERINTENDENT SHALL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS;
      e. SUBSTANCES SHALL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER;
      f. WHENEVER POSSIBLE ALL OF A PRODUCT SHALL BE USED UP BEFORE DISPOSING OF THE CONTAINER.
      g. THE TRAINING OF ON-SITE EMPLOYEES AND THE ON-SITE POSTING OF RELEASE RESPONSE INFORMATION DESCRIBING WHAT TO DO IN THE EVENT OF A SPILL OF REGULATED SUBSTANCES.
   B. HAZARDOUS PRODUCTS - THE FOLLOWING PRACTICES SHALL BE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS:
      a. PRODUCTS SHALL BE KEPT IN THEIR ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESEALABLE;
      b. ORIGINAL LABELS AND MATERIAL SAFETY DATA SHALL BE RETAINED FOR IMPORTANT PRODUCT INFORMATION;
      c. SURPLUS PRODUCT THAT MUST BE DISPOSED OF SHALL BE DISCARDED ACCORDING TO THE MANUFACTURER'S RECOMMENDED METHODS OF DISPOSAL.
   C. PRODUCT SPECIFIC PRACTICES - THE FOLLOWING PRODUCT SPECIFIC PRACTICES SHALL BE FOLLOWED ON SITE:
      a. PETROLEUM PRODUCTS:
- ALL ON SITE VEHICLES SHALL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE TO REDUCE LEAKAGE;
- PETROLEUM PRODUCTS SHALL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT BASED SUBSTANCES USED ON SITE SHALL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.

      b. FERTILIZERS:
- FERTILIZERS USED SHALL BE APPLIED ONLY IN THE MINIMUM AMOUNTS DIRECTED BY THE SPECIFICATIONS;
- ONCE APPLIED FERTILIZERS SHALL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORMWATER;
- STORAGE SHALL BE IN A COVERED SHED OR ENCLOSED TRAILERS. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER SHALL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS

      c. PAINTS:
- ALL CONTAINERS SHALL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE;
- EXCESS PAINT SHALL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM;
- EXCESS PAINT SHALL BE DISPOSED OF PROPERLY ACCORDING TO MANUFACTURER'S INSTRUCTIONS OR STATE AND LOCAL REGULATIONS.

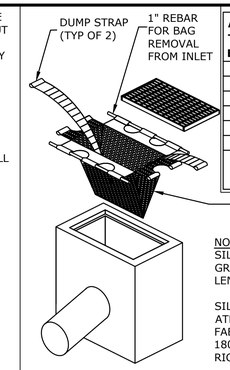
   D. SPILL CONTROL PRACTICES - IN ADDITION TO GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTION, THE FOLLOWING PRACTICES SHALL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:
      a. MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP SHALL BE CLEARLY POSTED AND SITE PERSONNEL SHALL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES;
      b. MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP SHALL BE KEPT IN THE MATERIAL STORAGE AREA ON SITE. EQUIPMENT AND MATERIALS SHALL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUSTPANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAWDUST AND PLASTIC OR METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE;
      c. ALL SPILLS SHALL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY;
      d. THE SPILL AREA SHALL BE KEPT WELL VENTILATED AND PERSONNEL SHALL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE;
      e. SPILLS OF TOXIC OR HAZARDOUS MATERIAL SHALL BE REPORTED TO THE APPROPRIATE LOCAL, STATE OR FEDERAL AGENCIES AS REQUIRED;
      f. THE SITE SUPERINTENDENT RESPONSIBLE FOR DAY-TO-DAY SITE OPERATIONS SHALL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR.
   E. VEHICLE FUELING AND MAINTENANCE PRACTICE:
      a. CONTRACTOR SHALL MAKE AN EFFORT TO PERFORM EQUIPMENT/VEHICLE FUELING AND MAINTENANCE AT AN OFF-SITE FACILITY;
      b. CONTRACTOR SHALL PROVIDE AN ON-SITE FUELING AND MAINTENANCE AREA THAT IS CLEAN AND DRY;
      c. IF POSSIBLE THE CONTRACTOR SHALL KEEP AREA COVERED;
      d. CONTRACTOR SHALL KEEP A SPILL KIT AT THE FUELING AND MAINTENANCE AREA;
      e. CONTRACTOR SHALL REGULARLY INSPECT VEHICLES FOR LEAKS AND DAMAGE;
      f. CONTRACTOR SHALL USE DRIP PANS, DRIP CLOTHS, OR ABSORBENT PADS WHEN REPLACING SPENT FLUID.

EROSION CONTROL OBSERVATIONS AND MAINTENANCE PRACTICES

THIS PROJECT DOES NOT EXCEED ONE (1) ACRE OF DISTURBANCE AND THEREFORE DOES NOT REQUIRES A SWPPP.

THE FOLLOWING REPRESENTS THE GENERAL OBSERVATION AND REPORTING PRACTICES THAT SHALL BE FOLLOWED AS PART OF THIS PROJECT:

A. OBSERVATIONS OF THE PROJECT SHALL BE MADE BY THE CONTRACTOR AT LEAST ONCE A WEEK OR WITHIN 24 HOURS OF A STORM 0.25 INCHES OR GREATER;
B. AN OBSERVATION REPORT SHALL BE MADE AFTER EACH OBSERVATION AND DISTRIBUTED TO THE ENGINEER, THE OWNER, AND THE CONTRACTOR;
C. A REPRESENTATIVE OF THE SITE CONTRACTOR, SHALL BE RESPONSIBLE FOR MAINTENANCE AND REPAIR ACTIVITIES;
D. IF A REPAIR IS NECESSARY, IT SHALL BE INITIATED WITHIN 24 HOURS OF REPORT.



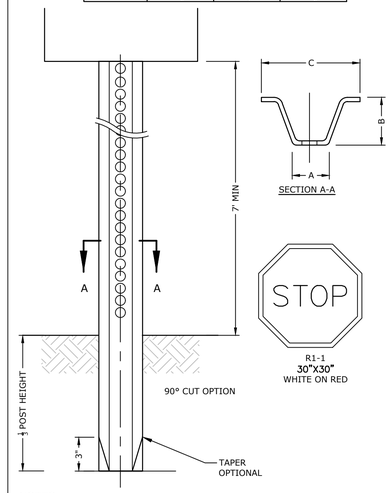
NOTE:
SILTSACKS FOR TRENCH GRATE WILL MATCH OPENING LENGTH AS REQUIRED.

SILTSACK MANUFACTURED BY:
ATLANTIC CONSTRUCTION FABRICS, INC.
1801-A WILLIS ROAD
RICHMOND, VIRGINIA 23237

SILTSACK® EROSION CONTROL
NO SCALE

APPROVED BY:
TOWN OF MEDWAY PLANNING AND ECONOMIC DEVELOPMENT BOARD

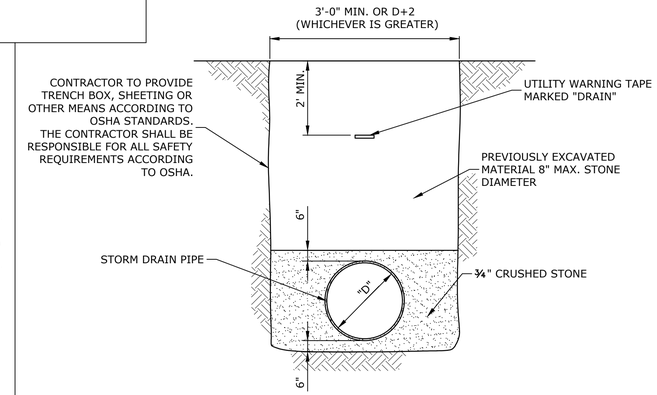
DATE:



NOTES:
1. STEEL FOR POSTS SHALL CONFORM TO THE MECHANICAL REQUIREMENTS OF ASTM A 499-81 GRADE 60 AND TO THE CHEMICAL REQUIREMENTS OF ASTM A1-76 CARBON STEEL TEE RAIL HAVING NOMINAL WEIGHT OF 91 LBS. OR GREATER PER LINEAR YARD.
2. AFTER FABRICATION, ALL STEEL POSTS SHALL BE GALVANIZED TO MEET THE REQUIREMENTS OF ASTM A 123.
3. ALL SIGN POSTS SHALL HAVE "BREAKAWAY" FEATURES THAT MEET AASHTO REQUIREMENTS CONTAINED IN "STANDARD SPECIFICATIONS FOR STRUCTURAL SUPPORTS FOR HIGHWAY SIGNS, LUMINAIRES AND TRAFFIC SIGNALS-1985." THE "BREAKAWAY" FEATURES SHALL BE STRUCTURALLY ADEQUATE TO CARRY THE SIGNS SHOWN IN THE PLANS AT 60 MPH WIND LOADINGS. INSTALLATIONS SHALL BE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
4. TYPE A POSTS - 3 LB/FT TYPE B POSTS - 4 LB/FT.
5. ALL SIGNS TO BE CONSTRUCTED PER THE LATEST EDITION OF THE FHWA STANDARD HIGHWAY SIGNS MANUAL AND INSTALLED AS INDICATED IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
6. MEET REQUIREMENTS OF COMMONWEALTH OF MASSACHUSETTS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGES, LATEST EDITION.

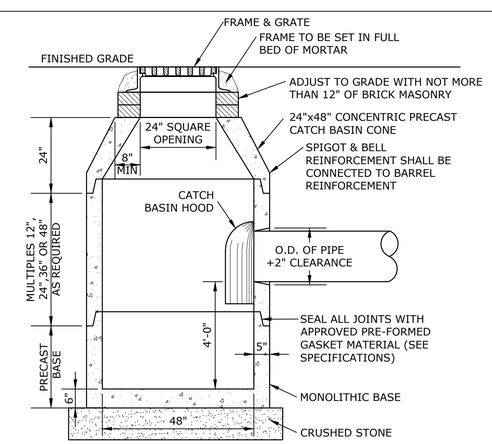
* IN LEDGE DRILL & GROUT TO A MIN OF 2'
LENGTH: AS REQUIRED
WEIGHT PER LINEAR FOOT: 2.50 LBS (MIN.)
HOLES: 3/8" DIAMETER, 1" C-C FULL LENGTH
STEEL: SHALL CONFORM TO ASTM A-499 (GRADE 60) OR ASSTM A-576 (GRADE 1070 - 1080)
FINISH: SHALL BE GALVANIZED IN ACCORDANCE WITH AASHTO M111.

STOP SIGN & POST
NO SCALE



NOTES:
1. COMPACT ALL BACKFILL MATERIAL WITH VIBRATORY PLATE EQUIPMENT (MINIMUM TWO PASSES) TO A MINIMUM DENSITY OF 95 PERCENT OF THE STANDARD PROCTOR DENSITY AS DETERMINED BY ASTM D698.
2. PLACE BACKFILL MATERIAL IN MAXIMUM ONE FOOT LIFTS.

TYPICAL DRAIN LINE TRENCH SECTION
NO SCALE



NOTES:
1. SEAL JOINT BETWEEN PIPE AND CATCH BASIN WITH GROUT.

PRECAST CONCRETE DEEP SUMP HOODED CATCH BASIN (CB)
NO SCALE

Tighe&Bond

COMMONWEALTH OF MASSACHUSETTS
BRADLEE MEZQUITA
CIVIL
No. 42446
REGISTERED PROFESSIONAL ENGINEER
6-22-22

COMMONWEALTH OF MASSACHUSETTS
JOHN P. LORDEN
CIVIL
No. 50574
REGISTERED PROFESSIONAL ENGINEER
6-22-22

BrightPath Child Care Center
Medway Commons
67C Main Street
Medway, Massachusetts

Charter Realty & Development Corp.

MARK	DATE	DESCRIPTION
1	6/22/2022	Revised per review comments

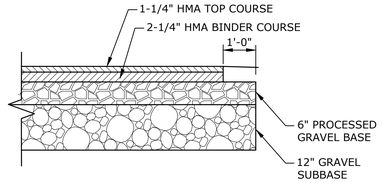
PROJECT NO:	C1026-018
DATE:	May 19, 2022
FILE:	C1026-018_DTLS.DWG
DRAWN BY:	
CHECKED:	
APPROVED:	

EROSION CONTROL NOTES & DETAILS

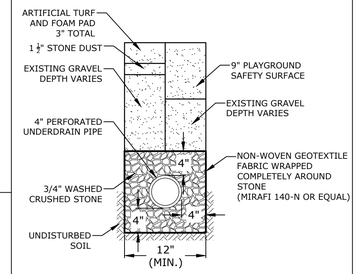
SCALE: AS SHOWN AS SHOWN

C-501

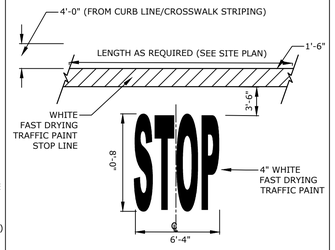
Last Saved: 6/22/2022
Plotted On:Jun 22, 2022-3:41pm By: JWinston
Tighe & Bond:J:\C\C1026 Charter Realty - Conceptual Sites\C1026-018 Medway Commons\Drawings_Figures\AutoCAD\Sheet\C1026-018_DTLS.dwg



HMA DRIVEWAYS & PARKING AREAS
NO SCALE

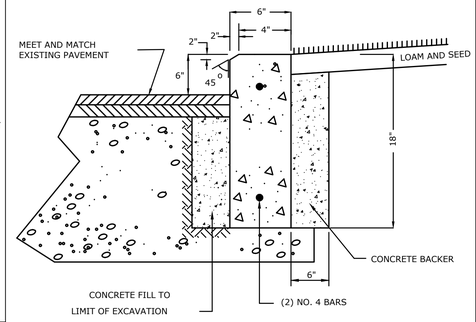


UNDERDRAIN TRENCH
NO SCALE



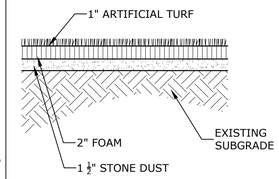
NOTE:
1. PAVEMENT MARKINGS TO BE INSTALLED IN LOCATIONS AS SHOWN ON OVERALL SITE PLAN.
2. STRIPING SHALL BE CONSTRUCTED USING WHITE FAST DRYING TRAFFIC PAINT, MEETING THE REQUIREMENTS OF AASHTO M248-TYPE F.

STOP BAR AND LEGEND
NO SCALE



NOTES:
1. CONCRETE TO BE 4,000 PSI.
2. ALL RADII 50' AND SMALLER TO BE CONSTRUCTED USING CURVED SECTIONS.

VERTICAL CONCRETE CURB
NO SCALE

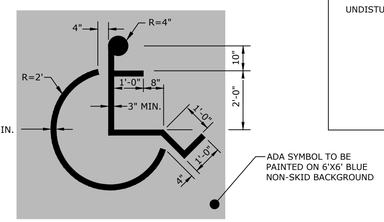


NOTES:
1. SEE MANUFACTURER'S SPECIFICATIONS AND INSTALLATION INSTRUCTIONS.

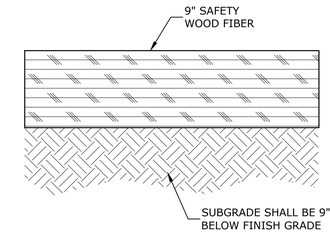
ARTIFICIAL TURF
NO SCALE

APPROVED BY:
TOWN OF MEDWAY PLANNING AND ECONOMIC DEVELOPMENT BOARD

DATE:

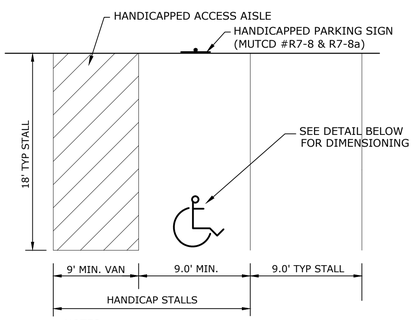


PAVEMENT MARKING DETAILS
NO SCALE



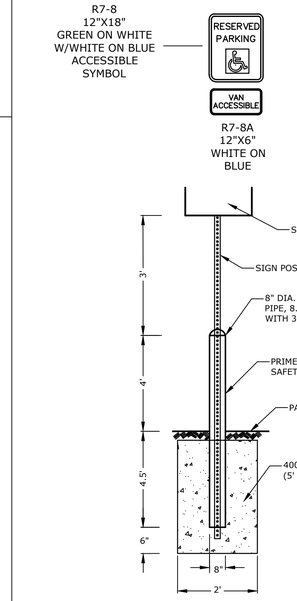
NOTES:
1. SEE MANUFACTURER'S SPECIFICATIONS AND INSTALLATION INSTRUCTIONS.

PLAYGROUND SAFETY SURFACE
NO SCALE

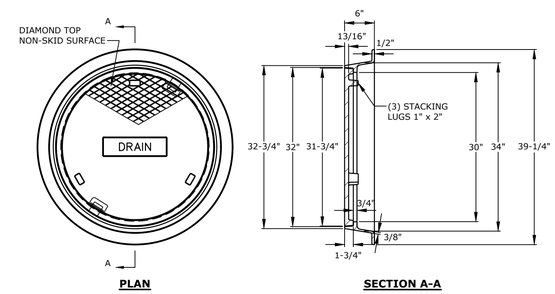


NOTES:
1. ALL DIMENSIONS TO CENTER OF 4" PAVEMENT STRIPING.
2. ALL STRIPING SHALL BE 4" SOLID WHITE PAVEMENT MARKING PAINT UNLESS OTHERWISE NOTED.
3. SYMBOL SHALL BE CENTERED IN THE PARKING STALL.

PARKING STALL
NO SCALE



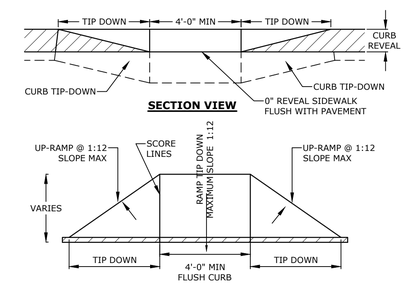
BOLLARD MOUNTED SIGN DETAIL
NO SCALE



PLAN SECTION A-A

NOTES:
1. ALL DIMENSIONS ARE NOMINAL.
2. FRAMES USING NARROWER DIMENSIONS FOR THICKNESS ARE ALLOWED PROVIDED:
   A. THE FRAMES MEET OR EXCEED THE SPECIFIED LOAD RATING.
   B. THE INTERIOR PERIMETER (SEAT AREA) DIMENSIONS OF THE FRAMES REMAIN THE SAME TO ALLOW CONTINUED USE OF EXISTING GRATES/COVERS AS THE EXISTING FRAMES ALLOW, WITHOUT SHIMS OR OTHER MODIFICATIONS OR ACCOMMODATIONS.
   C. ALL OTHER PERTINENT REQUIREMENTS OF THE SPECIFICATIONS ARE MET.
3. LABEL TYPE OF MANHOLE WITH 3" HIGH LETTERS IN THE CENTER OF THE COVER.

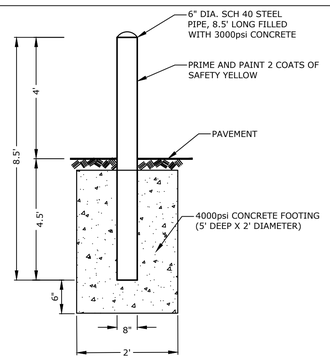
DRAIN MANHOLE FRAME & COVER
NO SCALE



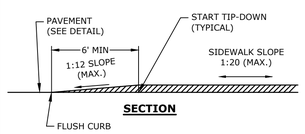
PLAN VIEW

NOTES:
1. RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT AND LOCAL AND STATE REQUIREMENTS.
2. A 9" COMPACTED CRUSHED GRAVEL BASE (NHDOT ITEM No. 304.3) SHALL BE PROVIDED BENEATH RAMPS.

CONCRETE SIDEWALK TIP-DOWN RAMP
NO SCALE



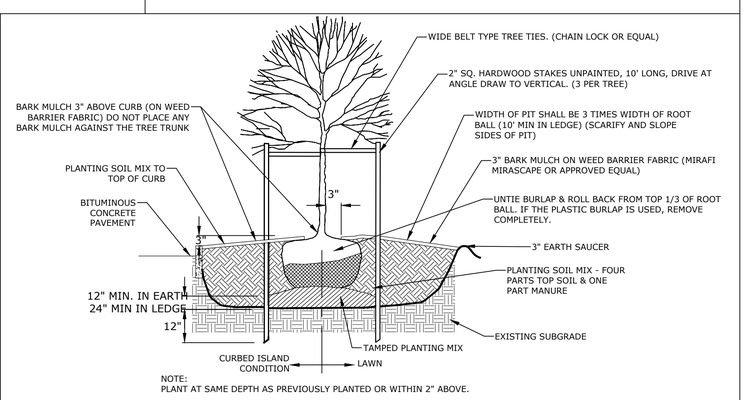
BOLLARD DETAIL
NO SCALE



SECTION

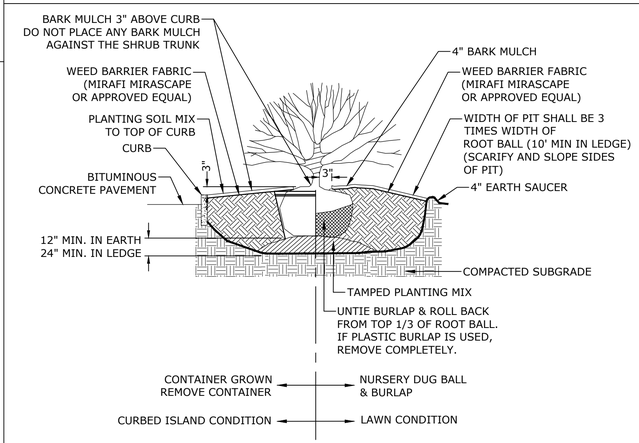
NOTES:
1. RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT AND LOCAL AND STATE REQUIREMENTS.
2. A 9" COMPACTED CRUSHED GRAVEL BASE SHALL BE PROVIDED BENEATH RAMPS.

TIP DOWN RAMP
NO SCALE



NOTE:
PLANT AT SAME DEPTH AS PREVIOUSLY PLANTED OR WITHIN 2" ABOVE.

DECIDUOUS TREE PLANTING
NO SCALE



SHRUB PLANTING DETAIL
NO SCALE

Tighe&Bond

COMMONWEALTH OF MASSACHUSETTS
BRADLEE MEZQUITA
CIVIL
No. 42446
REGISTERED PROFESSIONAL ENGINEER
6-22-22

COMMONWEALTH OF MASSACHUSETTS
JOHN P. LORDEN
CIVIL
No. 50574
REGISTERED PROFESSIONAL ENGINEER
6-22-22

BrightPath Child Care Center
Medway Commons
67C Main Street
Medway,
Massachusetts

Charter Realty & Development Corp.

MARK	DATE	DESCRIPTION
1	6/22/2022	Revised per review comments

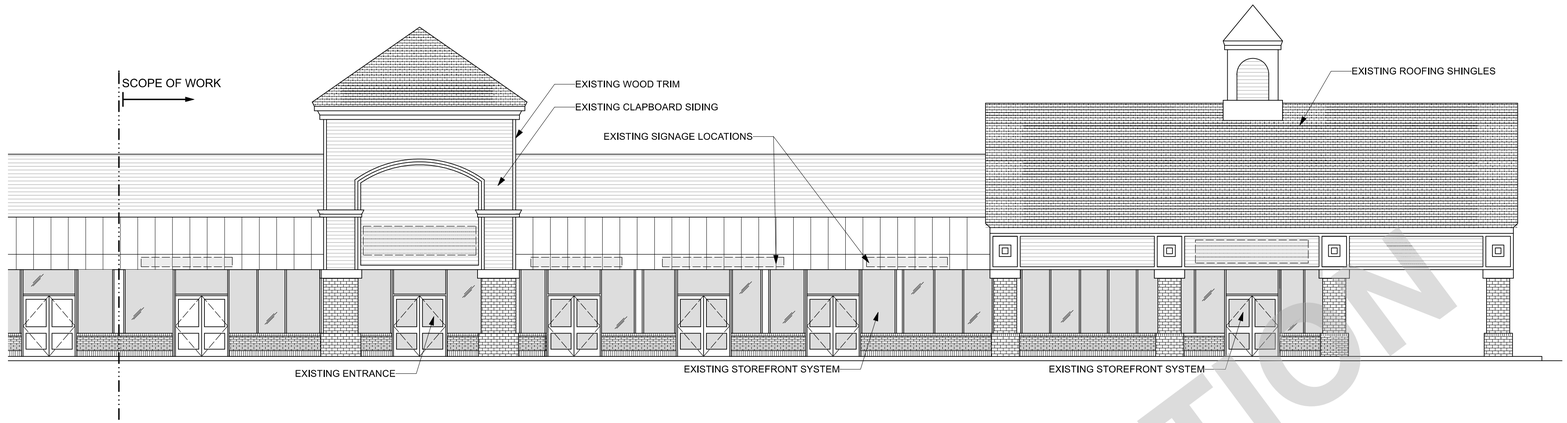
PROJECT NO:	C1026-018
DATE:	May 19, 2022
FILE:	C1026-018_DTLS.DWG
DRAWN BY:	
CHECKED:	
APPROVED:	

DETAILS

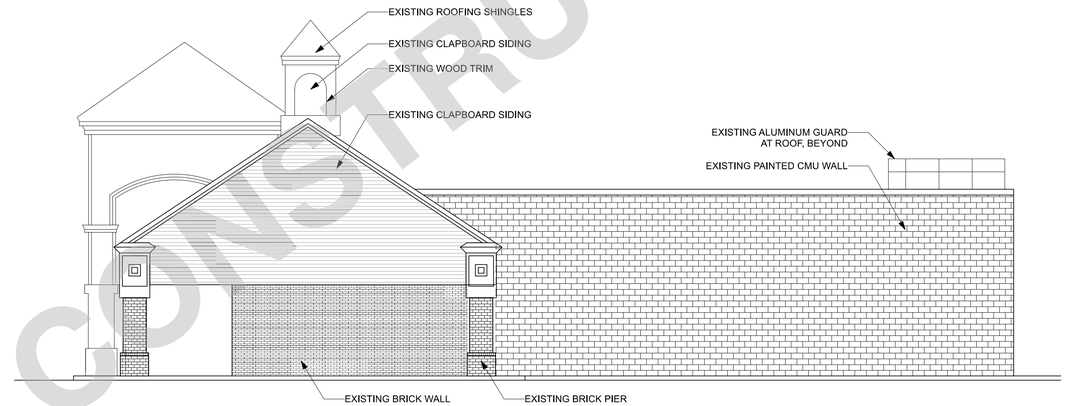
SCALE: AS SHOWN AS SHOWN

C-502

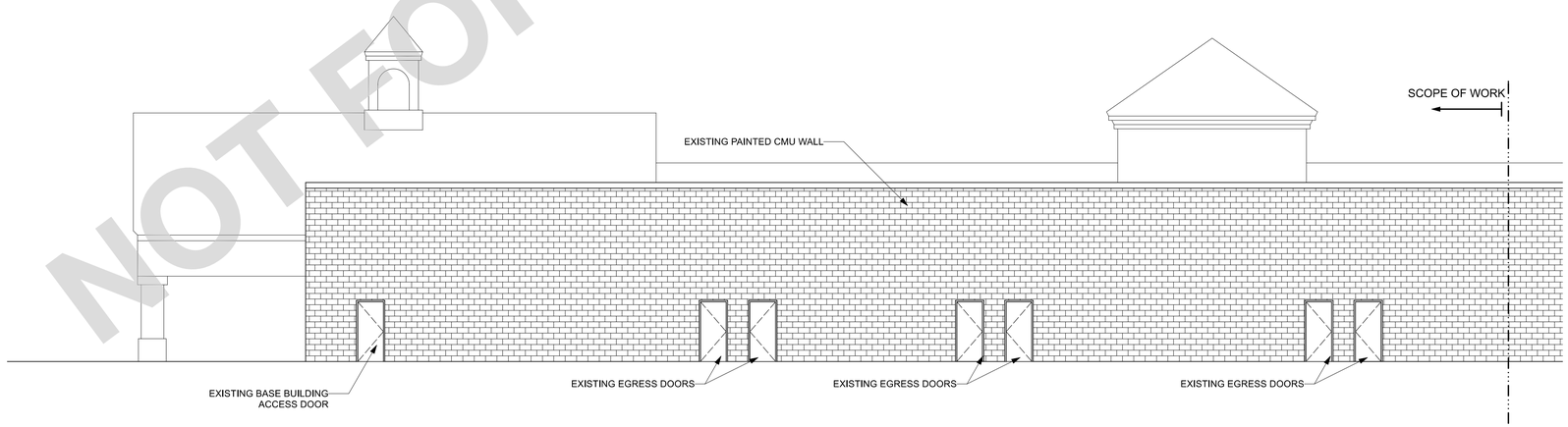
Last Saved: 6/22/2022
Plotted On:Jun 22, 2022-3:41pm By: JWinston
Tighe & Bond:J:\CC\C1026 Charter Realty - Conceptual Sites\C1026-018 Medway Commons\Drawings_Figures\AutoCAD\Sheet\C1026-018_DTLS.dwg



3 FRONT ELEVATION - EXISTING
1/8" = 1'-0"



2 SIDE ELEVATION - EXISTING
1/8" = 1'-0"



1 REAR ELEVATION - EXISTING
1/8" = 1'-0"

NOT FOR CONSTRUCTION

HELICON
HELICON DESIGN GROUP, INC.
ARCHITECTS
76 SUMMER STREET, SUITE 510
BOSTON, MA 02110

T. 617-357-4437
INFO@HELICONDESIGN.COM

project

Bright Path
The best start in life

67 MAIN STREET
MEDWAY, MA 02053

CAD FILE:

client

EDUCATIONAL PLAYCARE LTD.
555 DAY HILL RD.
WINDSOR, CT 06095

contractor

GENERAL CONTRACTOR
ADDRESS
CITY, STATE ZIP

structural

STRUCTURAL ENGINEER
ADDRESS
CITY, STATE ZIP

MEP

MEP ENGINEER
ADDRESS
CITY, STATE ZIP

issue / revisions

MARK	DATE	DESCRIPTION
	02.02.22	SPACE PLAN V1

stamp

date

05.19.22

phase

SCHEMATIC DESIGN

north

sheet title

EXTERIOR ELEVATIONS : EXISTING

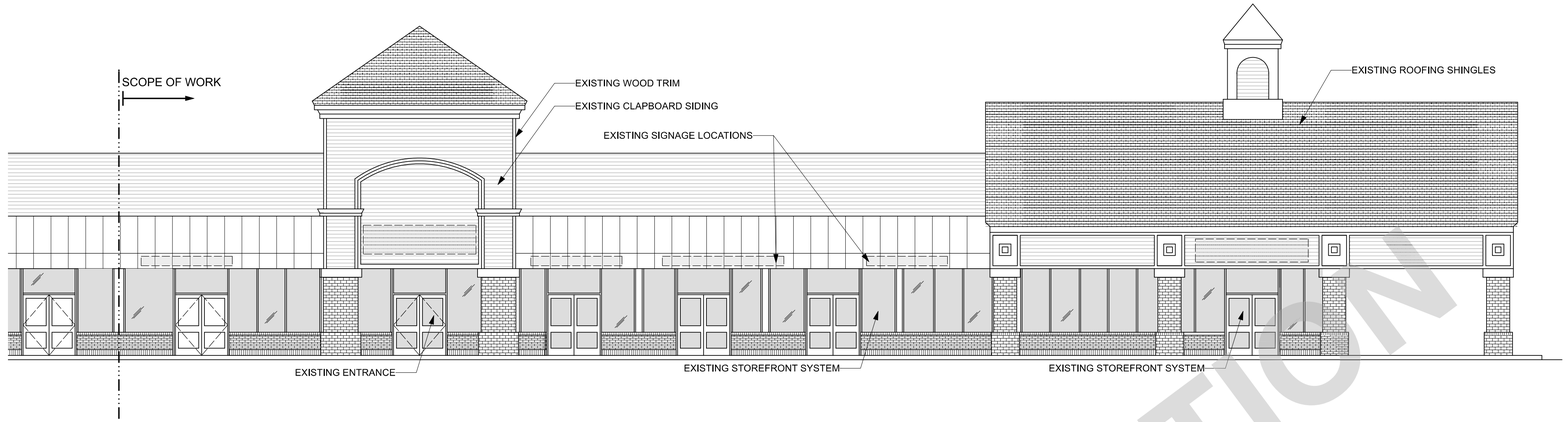
DRAWN / CHECKED

sheet number

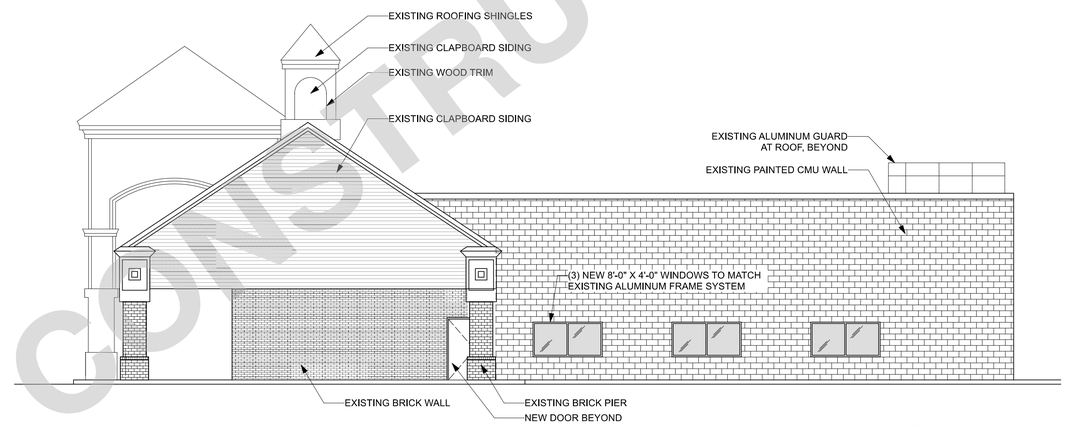
A.701

scale

AS NOTED



3 FRONT ELEVATION - PROPOSED
1/8" = 1'-0"



2 SIDE ELEVATION - PROPOSED
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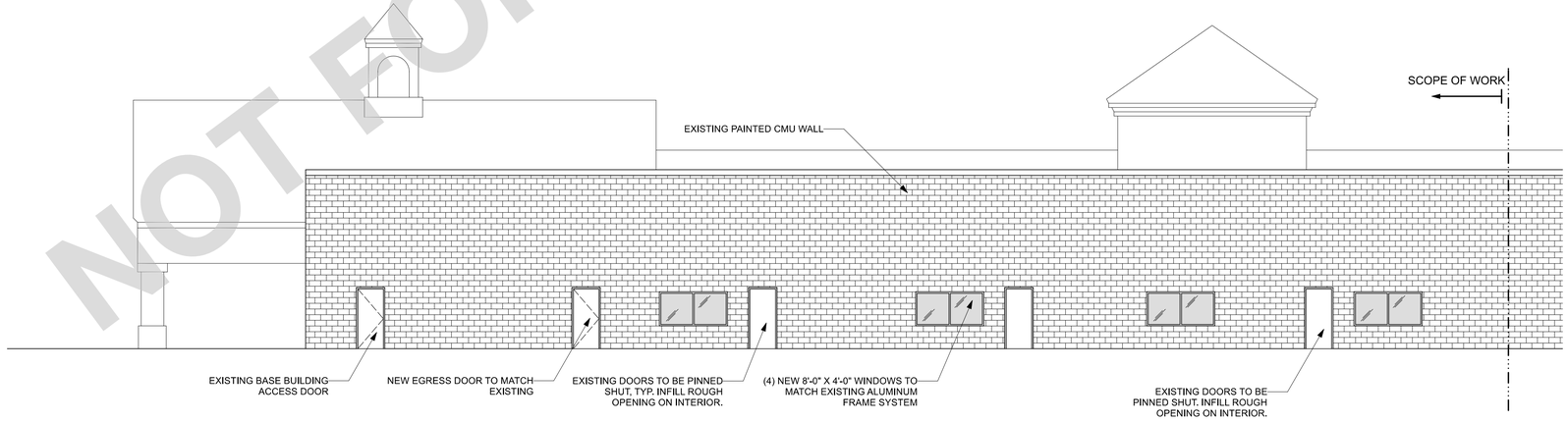

1 REAR ELEVATION - PROPOSED
1/8" = 1'-0"

NOT FOR CONSTRUCTION

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Bright Path
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issue / revisions

MARK	DATE	DESCRIPTION
	02.02.22	SPACE PLAN V1

stamp

date

05.19.22

phase

SCHEMATIC DESIGN

north

sheet title

EXTERIOR ELEVATIONS : PROPOSED

DRAWN / CHECKED

sheet number

A.702

scale

AS NOTED

TOWN OF MEDWAY
Planning & Economic Development Board
155 Village Street
Medway, Massachusetts 02053

Matthew J. Hayes, P.E., Chair
Robert K. Tucker, Vice-Chair
Richard Di Iulio, Clerk
Jessica Chabot, Member
Sarah Raposa, A.I.C.P., Member
Thomas A. Gay, Associate Member

Draft for June 28, 2022

Minor Site Plan Decision
BrightPath Child Care Center – 67C Main Street
_____with Waivers and Conditions

Decision Date: _____

Name/Address of Applicant: Charter Realty and Development Corporation
309 Greenwich Avenue
Greenwich, CT 06830

Name/Address of Property Owner: Hidden Acres Realty Trust c/o Charter Medway II, LLC
309 Greenwich Avenue
Greenwich, CT 06830

Project Location: 67C Main Street, Medway Commons
Assessors' Reference: 41-023
Zoning District: Central Business

Engineer: Tighe & Bond
117 Corporate Drive
Portsmouth, NH 03801

Site Plan: Medway Commons 67C Main Street Medway, Massachusetts
BrightPath Child Care Center Permit Drawings
Dated May 19, 2022

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Telephone: 508-533-3291 *Fax*: 508-321-4987
planningboard@townofmedwa.org

I. PROJECT DESCRIPTION - The applicant seeks minor site plan approval to modify a section of the existing parking lot in front of a portion of existing retail and restaurant spaces to accommodate construction of an approximately 14,200 sq. ft. outdoor play area for a new 12,700 sq. ft. childcare facility to be located within existing space at the southwestern end of the shopping center. Planned construction includes removal of pavement from 33 parking spaces, removal of an estimated 440 linear feet of curbing, removal or approximately 80 linear feet of driveway space, and removal of an estimated 2,040 sq. ft. of sidewalk, to be replaced with installation of various play area surface materials, fencing, landscaping, and play space equipment and amenities to be directly accessed from the childcare center.

II. VOTE OF THE BOARD – After reviewing the application and information gathered during the public review process, the Medway Planning and Economic Development Board, on _____, on a motion made by _____ and seconded by _____, ***voted to _____ with WAIVERS and CONDITIONS*** as specified herein, a site plan for *Medway Commons 67C Main Street Medway, Massachusetts BrightPath Child Care Center Permit Drawings* dated May 19, 2022, prepared by Tighe & Bond to be further revised as specified herein.

The motion was approved by a vote of ___ in favor and ___ opposed.

Planning & Economic Development Board Member Vote

Matthew Hayes
Robert Tucker
Richard Di Iulio
Jessica Chabot
Sarah Raposa

III. PROCEDURAL HISTORY

A. May 20, 2022 – Minor site plan application and associated materials were filed with the Medway Planning & Economic Development Board and were provided to the Medway Town Clerk on May 20, 2022.

B. May 24, 2022 – Minor site plan public review notice was filed with the Town Clerk and posted at the Town of Medway web site.

C. May 25, 2022 – Minor site plan public review notice was mailed to abutters by first class mail.

D. May 31, 2022 – Minor site plan information distributed to Town boards, committees and departments for review and comment.

E. June 14, 2022 – Minor site plan public review commenced. The public briefing was continued to June 28, 2022.

IV. INDEX OF SITE PLAN DOCUMENTS

A. The site plan application for the proposed minor site plan project included the following plans, studies and information that were provided to the Planning and Economic Development Board at the time the application was filed:

1. Minor Site Plan Application dated May 20, 2022, with Project Description.
2. Certified abutters' list prepared by Medway Assessor's office.

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3. Site plan *Medway Commons 67C Main Street Medway, Massachusetts BrightPath Child Care Center Permit Drawings* dated May 19, 2022, prepared by Tighe & Bond.
4. Architectural drawings *BrightPath 67 Main Street Medway, MA 02053* dated February 2, 2022, prepared by Helicon Design Group, Inc.
5. Stormwater memo dated March 19, 2022, prepared by Tighe & Bond.
6. Project Narrative by Charter Realty & Development Corp.
7. Parking information.

B. During the course of the review, a variety of other materials were submitted to the Board:

1. Letter from Tetra Tech dated June 9, 2022
2. Response letter to Tetra Tech, Inc. comments, dated June 14, 2022, from Charter Realty & Development.
3. Letter from Tetra Tech dated June 22, 2022
3. Certifications pursuant to G.L. c. 39, §43D from Jessica Chabot and Robert Tucker

Commented [BSA1]: These are needed if they are to vote.

C. All documents and exhibits received during the public review process are contained in the Planning and Economic Development Board's project file.

V. TESTIMONY - In addition to the site plan and special permit application materials as submitted and provided during the course of the Board's review, the Board also received verbal or written testimony from:

- Steve Bouley, P.E. and Courtney Sudak, P.E. of Tetra Tech, Inc., the Town's Consulting Engineer – Site plan review letter dated June 9, 2022 and commentary throughout the public review process.
- Karen Johnson, Charter Realty
- John Lorden, Tighe & Bond
- Harry Freeman

VI. FINDINGS – In making its findings and reaching the decision described herein, the Board is guided by Board's *Site Plan Rules and Regulations*, and the *Medway Zoning Bylaw*. The Board also considered evidence and testimony presented at the public hearings and comments submitted by Town departments, boards, and committees as well as the Board's peer review consultants and residents placed in the public record during the course of the hearings.

The Planning and Economic Development Board, at its meeting on ___, 2022, on a motion made by _____ and seconded by _____, voted to _____ the following ***FINDINGS*** regarding the site plan application of Charter Realty and Development Corp. for the BrightPath Child Care Center at 67C Main Street. The motion was _____ by a vote of ___ in favor and ___ opposed.

A. <u>Site Plan Rules and Regulations Findings</u> **–** The Planning and Economic Development Board shall determine whether the proposed development is in conformance with the standards and criteria set forth in the *Site Plan Rules and Regulations,* unless specifically waived. Some of the criteria found in the *Regulations* are not applicable to this proposal, and no specific findings are made as to those criteria. In

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making its decision, the Planning and Economic Development Board shall determine the following:

(1) Has internal circulation, queuing and egress been designed such that traffic safety is protected, access via minor streets servicing residential areas is minimized, and traffic backing up into the public way is minimized?

The proposed parking, circulation and egress have been reviewed by the Board's consulting engineer, and the applicant has adequately addressed all comments.

(2) Does the site plan show designs that minimize any departure from the character, materials, and scale of buildings in the vicinity as viewed from public ways and places?

The proposed play area and other changes do not change the view of buildings from public ways and places.

(3) Is reasonable use made of building location, grading and vegetation to reduce the visible intrusion of structures, parking areas, outside storage or other outdoor service areas (e.g. waste removal) from public views or from (nearby) premises residentially used and zoned.

The project includes perimeter fencing and landscaping of the play area. No new structures or service areas are proposed.

(4) Is adequate access to each structure for fire and emergency vehicles provided?

The building is readily accessible. The Deputy Fire Chief stated he had no concerns.

(5) Will the design and construction minimize, to the extent reasonably possible, the following environmental impacts?

a) the volume of cut and fill;
b) the number of trees to be removed with particular care taken with mature trees and root systems;
c) the visual prominence of man-made elements not necessary for safety;
d) the removal of existing stone walls;
e) the visibility of building sites from existing streets;
f) the impacts on waterways and environmental resource areas;
g) soil pollution and erosion;
h) noise.

The changes are proposed to an existing parking lot area; there will not be adverse impacts to the interests listed above.

(6) Are pedestrian ways, access driveways, and vehicular and bicycle parking facilities properly designed?

The entrance and egress to the site and its parking have been designed for safe operation and to minimize conflict. The site design has been reviewed by the Town's Consulting Engineer and found to be acceptable.

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(7) Does the design and will the construction incorporate, to the maximum extent possible, the visual prominence of natural and historic features of the site?

The site is presently occupied by a building and parking lot. Accordingly, there are no visually prominent natural or historic features on site.

(8) Does the lighting on the site comply with Section 7.1.2 of the Zoning Bylaw?

Site lighting has been proposed and modified to comply with the bylaw.

(9) Is the proposed limit of work area reasonable and does it protect sensitive environmental and/or cultural resources? The site plan as designed should not cause substantial or irrevocable damage to the environment, which damage could be avoided or ameliorated through an alternative development plan or mitigation measures.

The limit of work is reasonable for the proposed facility. There are no sensitive environmental or cultural resources on or abutting the site.

VII. WAIVERS FROM SITE PLAN RULES AND REGULATIONS – No waiver requests were submitted with this application.

VIII. CONDITIONS The *Special and General Conditions* included in this Decision shall assure that the Board's approval of this site plan is consistent with the *Site Plan Rules and Regulations*, that the comments of various Town boards and public officials have been adequately addressed, and that concerns of abutters and other town residents which were aired during the public review process have been carefully considered

SPECIFIC CONDITIONS OF APPROVAL

A. ***Plan Endorsement*** **-** Within sixty days after the Board has filed its *Decision* with the Town Clerk, the site plan shall be further revised to reflect all Conditions and required plan revisions, including those specified as follows, and submitted to the Planning and Economic Development Board to review for compliance with the Board's *Decision*. (Said plan is hereinafter referred to as the Plan). The Applicant shall provide a set of the revised Plan in its final form to the Board for its endorsement. All plan sheets shall be bound together in a complete set.

B. ***Plan Revisions*** **–** Prior to plan endorsement, the following plan revisions shall be made to the May 19, 2022 plan set.

1.

C. ***Signage*** **-** The applicant shall secure sign permits from the Medway Building Department which includes prior review by the Design Review Committee as specified in Section 7.2.6.3 Sign Regulation of the *Zoning Bylaw*.

D. ***Snow Removal*** – Snow accumulation that exceeds the on-site storage capacity shall be collected and transported offsite and disposed of at an approved snow disposal facility.

GENERAL CONDITIONS OF APPROVAL

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A. ***Fees*** **-** Prior to site plan endorsement by the Planning and Economic Development Board, the Applicant shall pay:

1. the balance of any outstanding plan review fees owed to the Town for review of the site plan by the Town's engineering, planning or other consultants; and
2. any construction inspection fee that may be required by the Planning and Economic Development Board; and
3. any other outstanding expenses or obligations due the Town of Medway pertaining to this property, including real estate and personal property taxes and business licenses.

The Applicant's failure to pay these fees in their entirety shall be reason for the Planning and Economic Development Board to withhold plan endorsement.

B. ***Other Permits*** – This permit does not relieve the applicant from its responsibility to obtain, pay and comply with all other required federal, state and Town permits. The contractor for the applicant or assigns shall obtain, pay and comply with all other required Town permits.

C. ***Restrictions on Construction Activities*** – During construction, all local, state and federal laws shall be followed regarding noise, vibration, dust and blocking of town roads. The applicant and its contractors shall at all times use all reasonable means to minimize inconvenience to abutters and residents in the general area. The following specific restrictions on construction activity shall apply.

1. *Construction Time* **-** Construction work at the site and in the building and the operation of construction equipment including truck, vehicular and machine start-up and movement shall commence no earlier than 7 a.m. and shall cease no later than 6 p.m. Monday through Saturday. No construction shall take place on Sundays or legal holidays without the advance approval of the Building Commissioner.

2. The applicant shall take all measures necessary to ensure that no excessive dust leaves the premises during construction including use of water spray to wet down dusty surfaces.

3. There shall be no tracking of construction materials onto any public way. Sweeping of roadways adjacent to the site shall be done as needed to ensure that any loose gravel or dirt is removed from the roadways and does not create hazardous or deleterious conditions for vehicles or pedestrians. In the event construction debris is carried onto a public way, the Applicant shall be responsible for all clean-up of the roadway which shall occur as soon as possible and in any event within twelve hours of its occurrence.

4. The Applicant is responsible for having the contractor clean-up the construction site on a daily basis.

5. All erosion and siltation control measures shall be installed by the Applicant prior to the start of construction and observed by the Planning and Economic Development Board's consulting engineer and maintained in good repair throughout the construction period.

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6. *Construction Traffic and Parking* – During construction, adequate provisions shall be made on-site for the parking, storing, and stacking of construction materials and vehicles. All parking for construction vehicles and construction related traffic shall be maintained on site. No parking of construction and construction related vehicles shall take place on adjacent public or private ways or interfere with the safe movement of persons and vehicles on adjacent properties or roadways or within the Medway Commons.

7. *Noise* - Construction noise shall not exceed the noise standards as specified in the *Zoning Bylaw*, Section 7.3.C.2. Environmental Standards.

D. ***Landscape Maintenance***

1. The site's landscaping shall be maintained in good condition throughout the life of the facility and to the same extent as shown on the endorsed Plan. Any shrubs, trees, bushes or other landscaping features shown on the Plan that die shall be replaced by the following spring.

2. Within 60 days after two years after the occupancy permit is issued, the Town's Consulting Engineer or the Building Commissioner may conduct an initial inspection of the landscaping to determine whether and which landscape items need replacement or removal and provide a report to the Board. At any time subsequent to this initial inspection, the Town's Consulting Engineer or the Building Commissioner may conduct further inspections of the landscaping to determine whether and which landscaping items need replacement or removal and provide a report to the Board. The Board may seek enforcement remedies with the Zoning Enforcement Officer to ensure that the comprehensive landscaping plan is maintained.

E. ***Snow Storage and Removal***

1. On-site snow storage shall not encroach upon nor prohibit the use of any parking spaces required by the *Zoning Bylaw*.
2. The applicant shall make the fullest possible effort to remove accumulated snow which exceeds the capacity of the designated on-site snow storage areas from the premises within 48 hours after the conclusion of a storm event.

F. ***Construction Oversight***

1. Construction Account

   a) Inspection of infrastructure and utility construction, installation of site amenities including landscaping is required. Prior to plan endorsement, the applicant shall establish a construction account with the Planning and Economic Development Board. The funds may be used at the Board's discretion to retain professional outside consultants to perform the items listed above as well as the following other tasks - inspect the site during construction, identify what site plan work remains to be completed, conduct other reasonable inspections until the site work is completed and determined to be satisfactory, review as-built plans, and advise the Board as it prepares to issue a *Certificate of Site Plan Completion*.

   b) Prior to plan endorsement, the Applicant shall pay an advance toward the cost of these services to the Town of Medway. The advance amount shall

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be determined by the Planning and Economic Development Board based on an estimate provided by the Town's Consulting Engineer.

c) Depending on the scope of professional outside consultant assistance that the Board may need, the Applicant shall provide supplemental payments to the project's construction inspection account, upon invoice from the Board.

d) Any funds remaining in the applicant's construction inspection account after the *Certificate of Site Plan Completion* is issued shall be returned to the applicant.

2. Pre-Construction Meeting - Prior to the commencement of any work on the Property, the Applicant and the site general contractor shall attend a preconstruction conference with Planning and Economic Development Coordinator, the Building Commissioner, Department of Public Services Director, the Conservation Agent, the Town's Consulting Engineer and other Town staff or Applicant's representatives as may be determined. The general contractor shall request such conference at least one week prior to commencing any work on the property by contacting the Planning and Economic Development office.

Commented [BSA2]: Do we need this?

3. Planning and Economic Development Board members, its staff, consultants or other designated Town agents and staff shall have the right to inspect the site at any time, for compliance with the endorsed site plan and the provisions of this Decision.

G. ***Modification of Plan and/or Decision***

1. This site plan approval is subject to all subsequent conditions that may be imposed by other Town departments, boards, agencies or commissions. Any changes to the site plan that may be required by the decisions of other Town boards, agencies or commissions shall be submitted to the Planning and Economic Development Board for review as site plan modifications.

2. Any work that deviates from the approved site plan or this Decision may be a violation of the *Medway Zoning Bylaw*, unless the Applicant requests approval of a plan modification pursuant to Section 3.5.2.A.3.c. and such approval is provided in writing by the Planning and Economic Development Board.

3. Whenever additional reviews by the Planning and Economic Development Board, its staff or consultants are necessary due to proposed site plan modifications, the Applicant shall be billed and be responsible for all supplemental costs including filing fees, plan review fees and all costs associated with another public review process including legal notice and abutter notification. If the proposed revisions affect only specific limited aspects of the site, the Planning and Economic Development Board may reduce the scope of the required review and waive part of the filing and review fees.

H. ***Compliance with Plan and Decision***

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1. The Applicant shall construct all improvements in compliance with the approved and endorsed site plan and this Decision any modifications thereto.

2. The Planning and Economic Development Board or its agent(s) may use all legal options available to it, including referring any violation to the Building Commissioner/Zoning Enforcement Officer for appropriate enforcement action, to ensure compliance with the foregoing Conditions of Approval.

3. The Conditions of Approval are enforceable under Section 3.1. F. of the *Medway Zoning Bylaw* (non-criminal disposition) and violations or non-compliance are subject to the appropriate penalty.

I. ***Performance Security***

1. No occupancy permit for the building shall be granted until the Planning and Economic Development Board has provided a written communication to the Building Commissioner/Zoning Enforcement Officer that the project, as constructed, conforms completely and fully to the approved site plan and that any conditions including construction of any required on and off-site improvements, have been satisfactorily completed OR that suitable security or performance guarantee has been provided to the Town of Medway, to the Planning and Economic Development Board's satisfaction, to cover the cost of all remaining work.

2. If performance security is needed, the applicant shall propose a form of performance security which shall be of a source and in a form acceptable to the Planning and Economic Development Board, the Treasurer/Collector and Town Counsel. The Board requires that the performance guarantee be accompanied by an agreement which shall define the obligations of the developer and the performance guarantee company including:
   a) the date by which the developer shall complete construction
   b) a statement that the agreement does not expire until released in full by the Planning and Economic Development Board
   c) procedures for collection upon default.

3. The amount of the performance guarantee shall be equal to 100% of the amount that would be required for the Town of Medway to complete construction of the site infrastructure including installation of stormwater management facilities, utilities, services, parking, pedestrian facilities and all site amenities as specified in the Site Plan that remain unfinished at the time the performance guarantee estimate is prepared if the developer failed to do so.

4. The security amount shall be approved by the Planning and Economic Development Board based on an estimate provided by the Town's Consulting Engineer based on the latest weighted average bid prices issued by the Mass Highway Department. The estimate shall reflect the cost for the Town to complete the work as a public works project which may necessitate additional engineering, inspection, legal and administrative services, staff time and public bidding procedures. The estimate shall also include the cost to maintain the infrastructure in the event the developer fails to adequately perform such and the cost for the development of as-built plans. In

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determining the amount, the Board shall be guided by the following formula in setting the sum: estimate of the Town's Consulting Engineer of the cost to complete the work plus a twenty-five percent (25%) contingency.

5. Final release of performance security is contingent on project completion.

J. ***Project Completion***

1. Site plan approval shall lapse after two years of the grant thereof if substantial use has not commenced except for good cause per Section 3.5.7 of the Zoning Bylaw. Approved site plans shall be completed by the applicant or its assignees within three years of the date of plan endorsement. Upon receipt of a written request by the applicant filed at least thirty days prior to the date of expiration, the Planning and Economic Development Board may grant an extension for good cause. The request shall state the reasons for the extension and also the length of time requested. If no request for extension is filed and approved, the site plan approval shall lapse and may be reestablished only after a new filing, public review process and decision.

2. Prior to issuance of a final occupancy permit, the Applicant shall secure a ***Certificate of Site Plan Completion*** from the Planning and Economic Development Board and provide the ***Certificate*** to the Building Commissioner. The ***Certificate*** serves as the Planning and Economic Development Board's confirmation that the completed work conforms to the approved site plan and any conditions and modifications thereto, including the construction of any required on and off-site improvements. The ***Certificate*** also serves to release any security or performance guarantee that has been provided to the Town of Medway. To secure a ***Certificate*** of Site Plan Completion, the applicant shall:

   a) provide the Planning and Economic Development Board with written certification from a Professional Engineer registered in the Commonwealth of Massachusetts that all site work has been completed in strict compliance with the approved and endorsed site plan, and any modifications thereto; and

   b) submit an electronic version of an As-Built Plan, prepared by a registered Professional Land Surveyor or Engineer registered in the Commonwealth of Massachusetts, to the Planning and Economic Development Board for its review and approval. The As-Built Plan shall show actual as-built locations and conditions of all buildings and site work shown on the original site plan and any modifications thereto. The final As-Built Plan shall also be provided to the Town in CAD/GIS file format per MASS GIS specifications.

K. ***Construction Standards*** **-** All construction shall be completed in full compliance with all applicable local, state and federal laws, including but not limited to the Americans with Disabilities Act and the regulations of the Massachusetts Architectural Access Board for handicap accessibility.

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L. ***Conflicts*** – If there is a conflict between the site plan and the Decision's Conditions of Approval, the Decision shall rule. If there is a conflict between this Decision and/or site plan and the Medway Zoning Bylaw, the Bylaw shall apply.

IX. APPEAL – Appeals if any, from this Decision shall be made to the court within twenty days of the date the Decision is filed with the Town Clerk.

After the appeal period has expired, the applicant must obtain a certified notice from the Town Clerk that no appeals have been made and provide such certification to the Planning and Economic Development Board before plan endorsement.

###

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Medway Planning and Economic Development Board
SITE PLAN and SPECIAL PERMIT DECISION
Charter Realty and Development Corp., 67C Main Street

_____*with Conditions by the Medway Planning & Economic Development Board: June 28, 2022*

AYE:

_____

_____

_____

_____

_____

NAY:

_____

_____

COPIES TO: Michael Boynton, Town Manager
Peter Pelletier, DPW Director
Michael Fasolino, Deputy Fire Chief
Bridget Graziano, Conservation Agent
Donna Greenwood, Assessor
Beth Hallal, Health Agent
Jeff Lynch, Fire Chief
Jack Mee, Building Commissioner
Joanne Russo, Treasurer/Collector
Barbara Saint Andre, Director of Community and Economic Development
Jeff Watson, Police Department Safety Officer
Karen Johnson, Charter Realty & Development
Steven Bouley, Tetra Tech

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Board Members

Matthew J. Hayes, P.E., Chair
Robert Tucker, Vice Chair
Richard Di Iulio, Clerk
Jessica Chabot, Member
Sarah Raposa, A.I.C.P., Member
Thomas A. Gay, Associate Member

TOWN OF MEDWAY
COMMONWEALTH OF MASSACHUSETTS

PLANNING AND ECONOMIC DEVELOPMENT BOARD

Medway Town Hall
155 Village Street
Medway, MA 02053
Phone (508) 533-3291
Fax (508) 321-4987
Email: planningboard@townofmedway.org
www.townofmedway.org

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MAY 24 '22 PM2:46

May 24, 2022

NOTICE OF PUBLIC BRIEFING
Charter Realty & Development Corporation
Medway Commons, 67 Main Street
Minor Site Plan – BrightPath Child Care Center

The Medway Planning and Economic Development Board will commence a public briefing on Tuesday, June 14, 2022 at 9:00 p.m. in Sanford Hall at Medway Town Hall, 155 Village Street to consider the application of Charter Realty and Development Corporation of Greenwich, MA for approval of a minor site plan for BrightPath Child Care Center to be located in Medway Commons at 67 Main Street.

The applicant seeks minor site plan approval to modify a section of the existing parking lot in front of a portion of existing retail and restaurant spaces to accommodate construction of an approximately 14,200 sq. ft. outdoor play area for a new 12,700 sq. ft. childcare facility to be located within existing space at the southwestern end of the shopping center. Planned construction includes removal of pavement from 33 parking spaces, removal of an estimated 440 linear feet of curbing, removal of approximately 80 linear feet of driveway space, and removal of an estimated 2,040 sq. ft. of sidewalk, to be replaced with installation of various play area surface materials, fencing, landscaping, and play space equipment and amenities to be directly accessed from the childcare center.

The subject property (Map 41, Parcel 23) is owned by Hidden Acres Realty Trust of Medway, MA which holds a long-term lease with Charter Medway II, LLC of Greenwich, CT to own and operate Medway Commons which is located on the south side of Main ST (Route 109) in the Central Business zoning district.

The application documents are on file with the Medway Town Clerk and at the office of the Planning and Economic Development Board at Medway Town Hall, 155 Village Street and may be reviewed during regular business hours. The documents are also posted at the Board's web page at: https://www.townofmedway.org/planning-economic-development-board/pages/current-applications-pedb-0 Interested persons are invited to review the application documents, attend the public briefing, and express their views at the designated time and place. Written comments may be forwarded to: planningboard@townofmedway.org. Questions should be directed to the Planning and Economic Development office at 508-533-3291.

Pursuant to Chapter 22 of the Acts of 2022, this hearing will be conducted in person and, as a courtesy, via remote means in accordance with applicable law. Please note that while an option for remote attendance and/or participation is being provided as a courtesy to the public and board members, the hearing will not be suspended or terminated if technological problems interrupt the virtual broadcast, unless required by law. Information for participating in the meeting via Zoom will be included on the agenda for Board's June 14, 2022 meeting which will be posted to the Town's master calendar of events at: https://www.townofmedway.org/calendar/month/2022-06 and at the Board's web page at: https://www.townofmedway.org/node/926/agenda/2022

Matthew J. Hayes, P.E., Chair

Planning & Economic Development Board - Town of Medway, MA

SITE PLAN REVIEW

Application for Minor Site Plan Approval

INSTRUCTIONS TO APPLICANT/OWNER

This Application is made pursuant to the *Medway Zoning Bylaw* and the Board's *Rules and Regulations for the Submission and Review of Site Plans*

The Town's Planning and Engineering Consultants will review the Application and the proposed Site Plan and provide review letters to the Planning and Economic Development Board. A copy of those review letters will be provided to you in advance of the meeting.

You and/or your duly authorized Agent/Official Representative are expected to attend the Board meetings at which your Application will be considered to answer any questions and/or submit such additional information as the Board may request. Your absence at hearings may result in a delay in the Board's review of the site plan.

May 20, 20 22

APPLICANT INFORMATION

Applicant's Name: Charter Realty & Development Corp.

Mailing Address: 309 Greenwich Avenue
Greenwich, CT 06830

Name of Primary Contact: Karen Johnson

Telephone:
Office: 617.431.1091 Cell: 203.605.9175

Email address: karen@charterrealty.com

____ Please check here if the Applicant is the equitable owner *(purchaser on a purchase and sales agreement.)*

MINOR SITE PLAN INFORMATION

Development Name: Medway Commons

Plan Title: Medway Commons, 67C Main Street, Medway, MA BrightPath Child Care Center

Plan Date: May 19, 2022

Prepared by:
Name: John Lorden, P.E.
Firm: Tighe & Bond
Phone #: 603.294.9228
Email: jlorden@tighebond.com

PROPERTY INFORMATION

Location Address: 67C Main Street

The land shown on the plan is shown on Medway Assessor's Map #41 as Parcel #23

Total Acreage of Land Area: 6.250 acres

General Description of Property: Parcel is part of a grocery anchored shopping center constructed in 2004. There are five lots that make up Medway Commons and access and parking is shared via a REA.

Medway Zoning District Classification: CB

Current Use of Property: Existing retail, service and restaurant uses.

Length of Existing Frontage: 209.99' On what street? Main Street

Setbacks for Existing Structure (if applicable)

Front: 288.2' Side: 26.5'

Back: 106.1' Side: 70.24'

Scenic Road

Does any portion of this property have frontage on a Medway Scenic Road?

☐ Yes ☑ No If yes, please name street: _____

Historic District

Is any portion of this property located within a Medway National Register Historic District?

☐ Yes - Rabbit Hill ☐ Yes - Medway Village

Wetlands

Is any portion of the property within a Wetland Resource Area? ☐ Yes ☑ No

Groundwater Protection

Is any portion of the property within a Groundwater Protection District? ☐ Yes ☑ No

Flood Plain

Is any portion of the property within a Designated Flood Plain? ☐ Yes ☑ No

PROPOSED DEVELOPMENT PROJECT INFORMATION

Development Name: BrightPath Child Care Center

Minor Site Plan Review applies to the following. Please check all that apply.

☑ a. New construction or any alteration, reconstruction, renovation, and/or change in use of any multi-family, commercial, industrial, institutional, or municipal building use which is not subject to Major Site Plan Review but which involves one or more of the following:

☐ i. the addition of 1,000 to 2,4999 sq. ft. of gross floor area; or

☐ ii. the addition of ten or more but less than twenty new parking spaces

☐ b. The redesign, alteration, expansion or modification of an existing parking area involving the addition of ten or more but less than twenty new parking spaces

☑ c. The redesign of the layout/configuration of an existing parking area of twenty to thirty-nine parking spaces

☑ d. Any use or structure or expansion thereof exempt under Massachusetts G.L. c. 40A, § 3 only to the extent allowed by law.

☑ e. Removal, disturbance, and/or alteration of 10,000 to 19,999 square feet of impervious surface.

SPECIAL PERMIT - Will this project also require a variance or special permit from the *Zoning Board of Appeals*?

☐ Yes ☑ No

Explanation: _____

_____

SPECIAL PERMIT – Will this project also require a special permit from the *Planning and Economic Development Board*?

☐ Yes ☑ No

Explanation: _____

_____

PROPERTY OWNER INFORMATION (if not applicant)

Property Owner's Name: Hidden Acres Realty Trust c/o Charter Medway II, LLC

Mailing Address: 309 Greenwich Avenue

Greenwich, CT 06830

Primary Contact: Karen Johnson

Telephone:
Office: 617.431.1091 Cell: 203.605.9175

Email address: karen@charterrealty.com

The owner's title to the land that is the subject matter of this application is derived under deed from: Hidden Acres Realty Trust to Charter Medway II, LLC dated May 4, 2003 and recorded in Norfolk County Registry of Deeds, Book 18527 Page 110 or Land Court Certificate of Title Number_____, Land Court Case Number _____, registered in the Norfolk County Land Registry District Volume_____, Page _____.

CONSULTANT INFORMATION

ENGINEER: Tighe & Bond

Mailing Address: 117 Corporate Drive

Portsmouth, NH 03801

Primary Contact: John Lorden, PE Project Manager II

Telephone:
Office: 603.294.9228 Cell: 603.97.5646

Email address: jlorden@tighebond.com

Registered P.E. License #: Mass PE # is 50574

SURVEYOR: NA

Mailing Address: _____

_____

Primary Contact: _____

Telephone:
Office: _____ Cell: _____

Email Address: _____

Registered P.L.S. License #: _____

ARCHITECT: Helicon Design Group, Inc.

Mailing Address: 76 Summer Street, Suite 510
Boston, MA 02110

Primary Contact: Tim Chilson

Telephone:
Office: 617.357.4437 Cell: _____

Email address: tchilson@helicondesign.com

Registered Architect License #: _____

LANDSCAPE ARCHITECT/DESIGNER: NA

Mailing Address: _____

_____

Primary Contact: _____

Telephone:
Office: _____ Cell: _____

Email address: _____

Registered Landscape Architect License #: _____

ATTORNEY: NA

Mailing Address: _____

_____

Primary Contact: _____

Telephone:
Office: _____ Cell: _____

Email address: _____

DESIGNATED REPRESENTATIVE INFORMATION

Name: Karen Johnson

Address: Charter Realty & Development Corp.
309 Greenwich Ave, Greenwich, CT 06830

Telephone:
Office: 617.431.1091 Cell: 203.605.9175

Email address: karen@charterrealty.com

SIGNATURES

The undersigned, being the Applicant for approval of a Minor Site Plan Project, herewith submits this application and Site Plan to the Medway Planning and Economic Development Board for review and approval. I hereby certify, under the pains and penalties of perjury, that the information contained in this application is a true, complete and accurate representation of the facts regarding the property and proposed development under consideration.

If applicable, I hereby authorize Karen Johnson to serve as my Designated Representative to represent my interests before the Medway Planning & Economic Development Board with respect to this application.

In submitting this application, I authorize the Board, its consultants and agents, Town staff, and members of the Design Review Committee to access the site during the plan review process.

I understand that pursuant to MGL 53G, the Medway Planning and Economic Development Board may retain outside professional consultants to review this application and that I am responsible for the costs associated with such reviews.

I understand that the Planning and Economic Development Board, its agents, staff, consultants, and other Town staff and committees may request additional information which I am responsible for providing to assist them in reviewing the proposed development.

June 22, 2022

Signature of Property Owner *Date*

Signature of Applicant (if other than Property Owner) *Date*

Signature of Agent/Official Representative *Date*

MINOR SITE PLAN FEES

Application/Filing Fee

$350 plus $ .25/sq. ft. of gross floor area
(Gross floor area includes the existing building and proposed addition if any, and/or any proposed new building)

Advance on Plan Review Fee

$500 deposit.

Submit 2 separate checks each made payable to: Town of Medway

MINOR SITE PLAN
APPLICATION CHECKLIST

- [x] Minor Site Plan Application (2 signed originals – one for Town Clerk and one for Planning and Economic Development Board)
- [x] Three (3) full size (24" x 36") copies of the Site Plan prepared in accordance with Sections 204-4 and 204-5 of the *Medway Site Plan Rules and Regulations* – one for the Town Clerk and two for the Planning and Economic Development Board.
- [x] One (1) ledger size (11" x 17") copy of the Site Plan for the Planning and Economic Development Board
- [x] Electronic version of the Site Plan and ALL associated application documents. Provide disk or flash drive or email.
- [ ] Certified Abutters List and labels from the Medway Assessor's office – for 300 feet around the subject property
- [x] One (1) copy of a *Project Description* as described in Section 204 - 3, 6) of the *Medway Site Plan Rules and Regulations*. This description should also include a narrative on how the proposed project meets the requirements of the *Medway Zoning Bylaw* for parking (Section 7.1.1) and outdoor lighting (Section 7.1.2)
- [x] Request for Waivers from the *Medway Site Plan Rules and Regulations.* Use Form Q.
- [x] Two (2) copies of a *Stormwater Drainage Evaluation*
- [ ] Two (2) copies of a traffic study, depending on the size and scope of the proposed development project.
- [x] One (1) copy of all relevant approvals received to date from other Town boards/ committees/departments
- [x] Proof of present or pending ownership of all land within the proposed development site.
- [x] Minor Site Plan Filing Fee – Payable to Town of Medway
- [x] Advance of Plan Review Fee – Payable to Town of Medway

Updated 6-10-2019

From:	Jack Mee
To:	Karen Johnson; Susan Affleck-Childs; Barbara Saint Andre
Cc:	John Lorden
Subject:	RE: Medway Commons
Date:	Tuesday, May 3, 2022 3:58:02 PM
Attachments:	image001.png

[CAUTION - External Sender]

Karen,

I have reviewed your proposed plan and have determined that this will require a Minor Site Plan from the Planning and Economic Development Board. You can find these criteria in section 3.5 of the Medway Zoning Bylaw. You should also review section 10 of this same bylaw "Central Business District Development Standards.

Regards,
Jack Mee
Building Commissioner
Town of Medway
(508) 533-3253

From: Karen Johnson <karen@charterrealty.com>
Sent: Tuesday, May 3, 2022 2:01 PM
To: Jack Mee <jmee@townofmedway.org>; Susan Affleck-Childs <sachilds@townofmedway.org>; Barbara Saint Andre <bsaintandre@townofmedway.org>
Cc: John Lorden <JLorden@TigheBond.com>
Subject: Medway Commons

Please see attached letter requesting a determination on the permitting requirements for a site plan modification related to the construction of a play area.

I have spoken with Susy and Barbara and they suggested a summary letter of the proposal along with our concept plan and parking table.

Thanks

Karen

Karen Johnson, AICP
Charter Realty & Development Corp.
1666 Massachusetts Avenue, Suite 6A
Lexington, MA 02420
617 431-1091
karen@charterrealty.com

Charter Realty & Development Corp.
309 Greenwich Avenue
Greenwich, CT 06830
203.689.7000
www.charterrealty.com

Charter Medway II, LLC
c/o Charter Realty & Development Corp.
309 Greenwich Avenue
Greenwich, CT 06830

May 2, 2022

Jack Mee, Building Commissioner
Town of Medway
155 Village Street
Medway, MA 02053

RE: Request for Determination

Dear Mr. Mee:

We are excited about a potential new tenant for Medway Commons and am writing to confirm the permitting process with you. I reviewed our proposal with Susy Affleck-Childs on Friday, and she suggested I request a formal determination from you. The proposed use is for a day care/educational use which pursuant to MGL Section 40A-3, is exempt from any special permit as a child care facility, and referenced as such under Section 5.3.C. of the Town of Medway Zoning Regulations and in the Use Table for the CB Zoning District. Modifications to the parking lot in front of the space are required in order to accommodate an outdoor play area. See attached Concept Plan Medway Commons, dated May 2, 2022 prepared by Tighe & Bond which illustrates the limits of the play area. This requires the removal of 33 parking spaces however, the parking required per zoning is met (see parking table included).
We are in the process of finalizing the application materials and appreciate a determination at your earliest convenience.
Please call me if you have any questions at (617) 431 1091.

Sincerely,

CHARTER REALTY & DEVELOPMENT CORP.

Karen Johnson, AICP

Copy To: Susy Affleck-Childs
Barbara Saint Andre

Project Narrative BrightPath Child Care Center

Medway Commons

Charter Realty & Development Corp.

Medway Commons is an existing grocery-anchored shopping center with existing buildings, site infrastructure and mature landscaping constructed 18 years ago. This center has been meticulously maintained however, as retail trends have evolved, the tenant mix here must also evolve. There are several vacancies and even through our best efforts, have remained vacant for years. The opportunity to place BrightPath Child Care Center in much of this vacant space is essential for the next phase for Medway Commons. BrightPath will be a valued tenant bringing young families to Medway Commons and serving a critical community need for high quality child care. This use will not only provide a valuable service to Medway, it will also be essential to reinvigorating the center by increasing the frequency of trips. Post pandemic retailing is challenging at best and providing a mix of retail, service and community supported uses such as a child care facility is exactly the formula for success.

1) current and proposed uses –

Medway Commons is an existing grocery anchored shopping center with a variety of retail, restaurant and service uses. The BrightPath Child Care Center ("BrightPath") will be located in space formerly occupied by Medway Yoga as well as other occupied and vacant spaces totaling 12,700 square feet. The child care center is state of the art and will offer a balance of child-led programming and an award-winning curriculum to suit the essential cognitive, social, and physical needs of children.

2) description of proposed site improvements including paving, stormwater management, landscaping, sidewalks, refuse storage and disposal facilities, site amenities, fencing, lighting, water and sewer service, open space, etc.

A portion of the existing parking area will be removed to accommodate an outdoor play space designed for the specific needs of toddlers and pre-school children. Fencing will be provided to section and contain these play areas.

3) description of proposed building construction, renovation, façade improvements, and/or demolition including the size of the proposed building(s) or additions;

Building size will not change. Will be installing some additional windows in the façade and relocating doors to satisfy needs of the use.

4) projected water and sewer demand

Average monthly demand in comparable center - 120 ccf

5) expected number of employees and/or occupants;

184 licenses student spaces - 35 staff

6) proposed hours of operation;

Expected 6 am- 6 pm M-F --- may change slightly due to customer demand

7) existing and proposed means of vehicular and pedestrian access and egress;

All students will be walked into main entrance of building by parent/guardian. Due to 2 hour drop-of and pick-up windows, do not expect more than 10-12 parent cars in lot at any time

8) number of parking spaces required and how this number was determined;

50 - 15 drop-off, 35 staff - experience with 25+ other centers

9) calculation of proposed lot coverage and impervious surface;

No change for existing center as pavement is being removed and replaced with artificial turf and wood chips with a compacted gravel base however this is considered more permeable than pavement.

10) timetable for project completion;

4 months from construction start

11) proposed on and off-site mitigation measures;

This is a proposal to re-tenant existing spaces within an existing shopping center that operated for the last 18 years without any issues. There are no proposed mitigation measures.

12) list of other required local, state and federal permits and the status of each;

Town Building and health permits and State licensure for the use. Final inspection follows CO

13) any other information the Applicant believes will assist the Board in reviewing and understanding the site plan application.

The proposed use is exempt pursuant to MGL 40a Section 3, however the use may also be considered educational/instructional facility, commercial which is a permitted use in the CB District.

Consistency with applicable provisions of Section 10

Below are relevant sections applying only to changes proposed as part of the activity proposes under Minor Site Plan Review.

D. ***Parking Requirements.***

2. Applicability. The parking requirements in Section 7.1.1 shall apply to the Central Business District with the following adjustments:

a. *Off-Street Parking Requirements. In the Central Business District (CB) the minimum number of off-street parking spaces required by use on Table 3 in Section 7.1.1.D. shall be interpreted to be both the minimum and the maximum amount of parking spaces required. A reduction of parking may be allowed by special permit under Section 7.1.1.J. Additional off-street parking spaces shall require a waiver from the PEDB and the applicant shall demonstrate sufficiently that additional parking is necessary.*

THE PROPOSED PLAN PROVIDES FOR TOTAL LOSS OF 33 PARKING SPACES AND 527 SPACES ARE PROVIDED; 517 PARKING SPACES ARE REQUIRED BY ZONING. AS NOTED IN THE PROJECT DESCRIPTION, THE SUBJECT PARCEL IS PART OF MEDWAY COMMONS, AN EXISTING SHOPPING CENTER WHICH IS SUBJECT TO A RECIPROCAL EASEMENT AGREEMENT ("REA") AMONG THE VARIOUS PARCELS. THE REA STIPULATES THAT A CERTAIN PARKING RATIO MUST BE MAINTAINED PER THE ORIGINAL CONCEPT PLAN. WE ARE ABLE TO MAINTAIN THIS RATIO WITH THE PROPOSED PARKING COUNT HOWEVER WE CANNOT FURTHER REDUCE PARKING.

Medway Commons Required Parking by Tenant

Tenant	Area		Medway Parking		
	gfa	seats	gsf	seat	Employees
			1/300 sf	1/3 seats	
Retail A					
Shaw's	71,548		238		35.0
Retail B/C	27,750				
Utility Room	100				
Education/day care	12,700		42		10.0
Pizza	1,600	25		8.3	2.0
California Nails	1,500	13	5		5.0
Loyal Companion	5,850		20		4.0
Liquor World	6,000		20		3.0
Retail D	5,000				
Orange Theory	3,400		11		2.0
Starbuck's	1,500	25		8.3	2.0
Utility room	100				
Retail E	3,716				
Proposed Restaurant	2,216	25		8.3	6.0
Cost Cutters	1,500	6	5		5.0
Retail F					
CVS	13,123		44		8.0
			385	25.0	82.0
Total	121,137		**492**		
Allowable					
Total Parking per SBX modification		**560**			
Parking Provided per Child Care plan		**527**			
Reduction of 33 spaces					

MEDWAY COMMONS

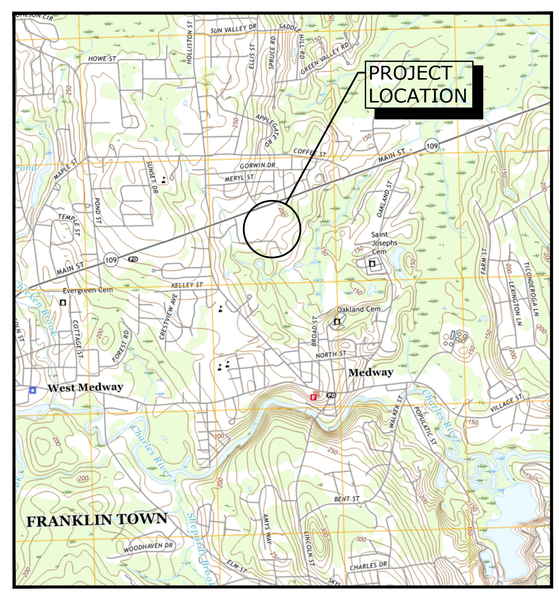
67C MAIN STREET MEDWAY, MASSACHUSETTS

BRIGHTPATH CHILD CARE CENTER

PERMIT DRAWINGS

MAY 19, 2022

LIST OF DRAWINGS	
SHEET NO.	SHEET TITLE
	COVER
C-100	OVERALL SITE PLAN
C-101	DEMOLITION PLAN
C-102	SITE PLAN
C-103	GRADING, DRAINAGE, & EROSION CONTROL PLAN
C-104	LANDSCAPE PLAN
C-501	EROSION CONTROL NOTES & DETAILS
C-502	DETAILS
A.701	EXTERIOR ELEVATIONS: EXISTING
A.702	EXTERIOR ELEVATIONS: PROPOSED



LOCATION MAP
SCALE: 1" = 2000'

PREPARED BY:

Tighe&Bond
Engineers | Environmental Specialists
177 Corporate Drive
Portsmouth, NH 03801
(603) 433-8818

PREPARED FOR:

Charter Realty & Development
1666 Massachusetts Ave - Suite 6A
Lexington, Massachusetts 02420

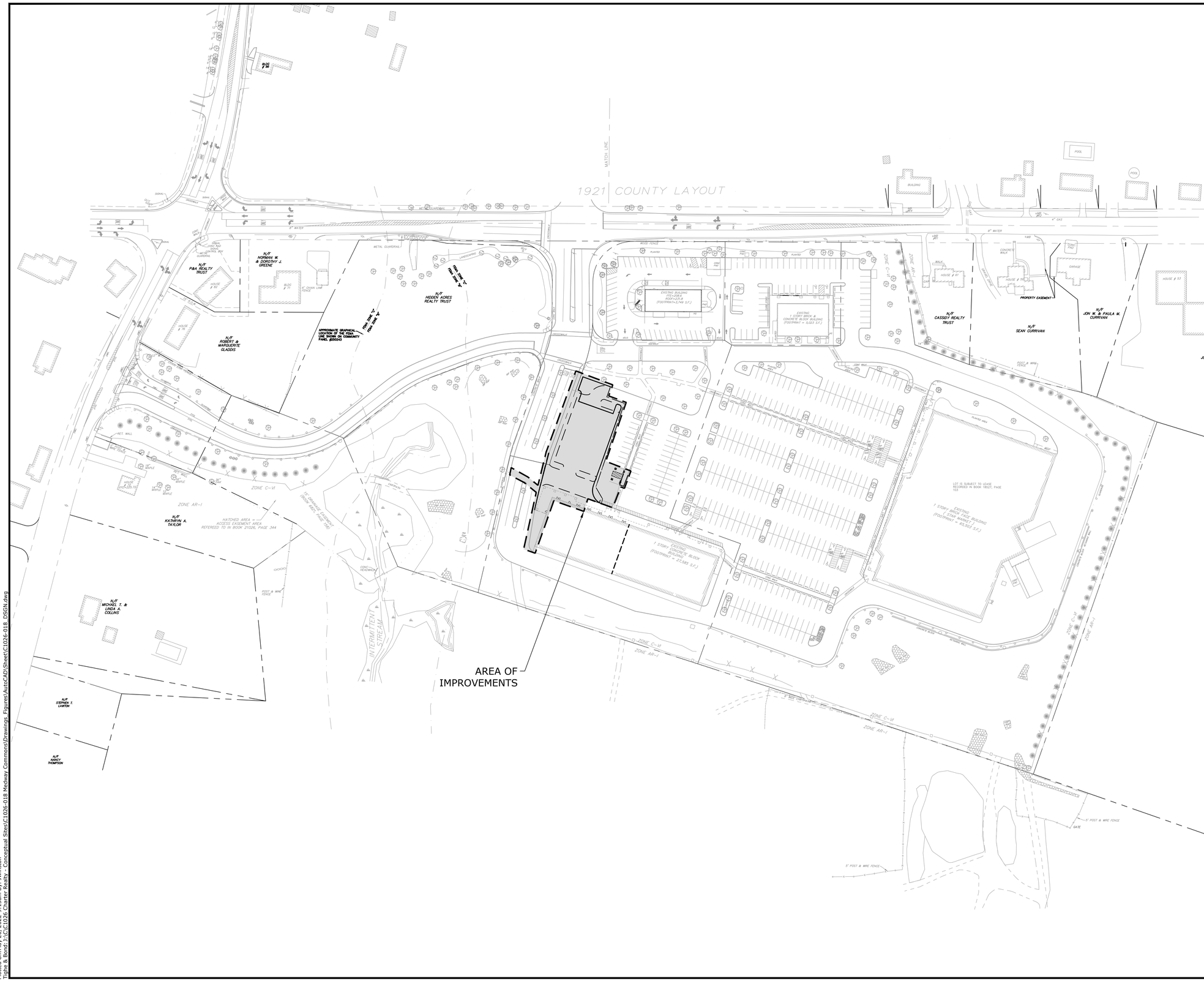
PREPARED WITH:

Helicon Design Group, Inc.
Architects
76 Summer Street, Suite 510
Boston, MA 02110

PROJECT NO: C1026-018

COMPLETE SET 10 SHEETS

Last Saved: 5/19/2022
Plotted On:May 19, 2022-2:30pm By: JWinston
Tighe & Bond:J:\C\C1026 Charter Realty - Conceptual Sites\C1026-018 Medway Commons\Drawings_Figures\AutoCAD\Sheet\C1026-018_COVR.dwg



Tighe&Bond

BRADLEY A. RIZZOTTI CIVIL No. 43445 REGISTERED PROFESSIONAL ENGINEER COMMONWEALTH OF MASSACHUSETTS

JOHN P. LORDEN CIVIL No. 50574 REGISTERED PROFESSIONAL ENGINEER COMMONWEALTH OF MASSACHUSETTS

5-19-22

BrightPath Child Care Center

Medway Commons
67C Main Street
Medway,
Massachusetts

Charter Realty & Development Corp.

MARK	DATE	DESCRIPTION

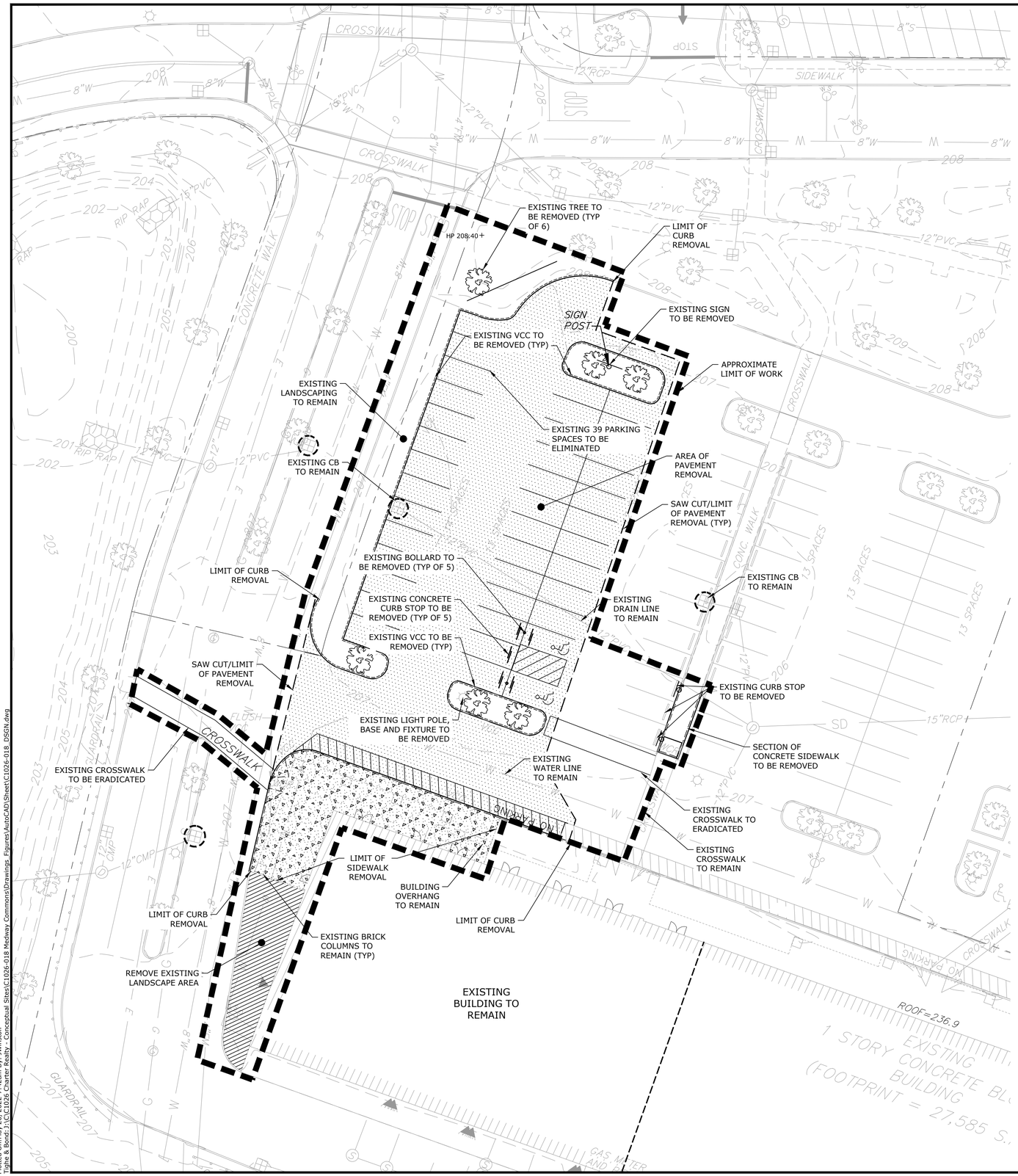
PROJECT NO:	C1026-018
DATE:	May 19, 2022
FILE:	C1026-018_DSGN.DWG
DRAWN BY:	JRW
CHECKED:	JPL
APPROVED:	BLM

OVERALL SITE PLAN

SCALE: AS SHOWN

C-100

Last Saved: 5/20/2022
Plotted On:May 20, 2022-9:13am By: JWinston
Tighe & Bond:J:\C\C1026 Charter Realty - Conceptual Sites\C1026-018 Medway Commons\Drawings_Figures\AutoCAD\Sheet\C1026-018_DSGN.dwg



DEMOLITION NOTES:

1. THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR THE ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES, ANTICIPATE CONFLICTS, REPAIR EXISTING UTILITIES AND RELOCATE EXISTING UTILITIES REQUIRED TO COMPLETE THE WORK.
2. THE CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES. CALL DIG SAFE AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION/CONSTRUCTION ACTIVITIES.
3. ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS, ORDINANCES AND CODES.
4. COORDINATE REMOVAL, RELOCATION, DISPOSAL OR SALVAGE OF UTILITIES WITH THE OWNER AND APPROPRIATE UTILITY COMPANY.
5. ANY EXISTING WORK OR PROPERTY DAMAGED OR DISRUPTED BY CONSTRUCTION/ DEMOLITION ACTIVITIES SHALL BE REPLACED OR REPAIRED TO MATCH ORIGINAL EXISTING CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
6. SAW CUT AND REMOVE PAVEMENT ONE (1) FOOT OFF PROPOSED EDGE OF PAVEMENT OR EXISTING CURB LINE IN ALL AREAS WHERE PAVEMENT TO BE REMOVED ABUTS EXISTING PAVEMENT OR CONCRETE TO REMAIN.
7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH THE CONDITIONS OF ALL OF THE PERMIT APPROVALS.
8. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ADDITIONAL PERMITS, NOTICES AND FEES NECESSARY TO COMPLETE THE WORK AND ARRANGE FOR AND PAY FOR NECESSARY INSPECTIONS AND APPROVALS FROM THE AUTHORITIES HAVING JURISDICTION.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AND OFF-SITE DISPOSAL OF MATERIALS REQUIRED TO COMPLETE THE WORK, EXCEPT FOR WORK NOTED TO BE COMPLETED BY OTHERS.
10. PAVEMENT REMOVAL LIMITS ARE SHOWN FOR CONTRACTOR'S CONVENIENCE. ADDITIONAL PAVEMENT REMOVAL MAY BE REQUIRED DEPENDING ON THE CONTRACTOR'S OPERATION. CONTRACTOR TO VERIFY FULL LIMITS OF PAVEMENT REMOVAL PRIOR TO BID.
11. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, CONCRETE PADS, UTILITIES AND PAVEMENT WITHIN THE WORK LIMITS SHOWN UNLESS SPECIFICALLY IDENTIFIED TO REMAIN. ITEMS TO BE REMOVED INCLUDE BUT ARE NOT LIMITED TO: CONCRETE, PAVEMENT, CURBS, LIGHTING, MANHOLES, CATCH BASINS, UNDER GROUND PIPING, POLES, STAIRS, SIGNS, FENCES, RAMPS, WALLS, TREES AND LANDSCAPING.
12. REMOVE TREES AND BRUSH AS REQUIRED FOR COMPLETION OF WORK. CONTRACTOR SHALL GRUB AND REMOVE ALL STUMPS WITHIN LIMITS OF WORK AND DISPOSE OF OFF SITE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS.
13. CONTRACTOR SHALL PROTECT ALL PROPERTY MONUMENTATION THROUGHOUT DEMOLITION AND CONSTRUCTION OPERATIONS. SHOULD ANY MONUMENTATION BE DISTURBED BY THE CONTRACTOR, THE CONTRACTOR SHALL EMPLOY A MASSACHUSETTS LICENSED SURVEYOR TO REPLACE DISTURBED MONUMENTS.
14. PROVIDE INLET PROTECTION BARRIERS AT ALL CATCH BASINS/CURB INLETS WITHIN CONSTRUCTION LIMITS AS WELL AS CATCH BASINS/CURB INLETS THAT RECEIVE RUNOFF FROM CONSTRUCTION ACTIVITIES. INLET PROTECTION BARRIERS SHALL BE MAINTAINED FOR THE DURATION OF THE PROJECT. INLET PROTECTION BARRIERS SHALL BE "HIGH FLOW SILT SACK" BY ACF ENVIRONMENTAL OR EQUAL. INSPECT BARRIERS WEEKLY AND AFTER EACH RAIN EVENT OF 0.25 INCHES OR GREATER. CONTRACTOR SHALL COMPLETE A MAINTENANCE INSPECTION REPORT AFTER EACH INSPECTION. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT OR MORE OFTEN IF THE FABRIC BECOMES CLOGGED OR SEDIMENT HAS ACCUMULATED TO 1/3 THE DESIGN DEPTH OF THE BARRIER.
15. THE CONTRACTOR SHALL PHASE DEMOLITION AND CONSTRUCTION AS REQUIRED TO PROVIDE CONTINUOUS SERVICE TO EXISTING BUSINESSES AND HOMES THROUGHOUT THE CONSTRUCTION PERIOD. EXISTING BUSINESS AND HOME SERVICES INCLUDE, BUT ARE NOT LIMITED TO ELECTRICAL, COMMUNICATION, FIRE PROTECTION, DOMESTIC WATER AND SEWER SERVICES. TEMPORARY SERVICES, IF REQUIRED, SHALL COMPLY WITH ALL FEDERAL, STATE, LOCAL AND UTILITY COMPANY STANDARDS. CONTRACTOR SHALL PROVIDE DETAILED CONSTRUCTION SCHEDULE TO OWNER PRIOR TO ANY DEMOLITION/CONSTRUCTION ACTIVITIES AND SHALL COORDINATE TEMPORARY SERVICES TO ABUTTERS WITH THE UTILITY COMPANY AND AFFECTED ABUTTER.
16. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY CLEARING OR DEMOLITION ACTIVITIES.
17. THE CONTRACTOR SHALL PAY ALL COSTS NECESSARY FOR TEMPORARY PARTITIONING, BARRICADING, FENCING, SECURITY AND SAFETY DEVICES REQUIRED FOR THE MAINTENANCE OF A CLEAN AND SAFE CONSTRUCTION SITE.

REFERENCE PLANS:

1. "SITE AS-BUILT PLAN MAIN AND HOLLISTON STREETS IN MEDWAY MA" PREPARED BY DAYLOR CONSULTING FROUP INC., DATED JULY 14, 2004.

LEGEND

TYP	TYPICAL
	LIMIT OF WORK
	PROPOSED SAW CUT LINE
	EXISTING PAVEMENT REMOVAL
	EXISTING CONCRETE TO BE REMOVED
	EXISTING LANDSCAPE AREA TO BE REMOVED

0 20' 40'
GRAPHIC SCALE

Tighe&Bond

COMMONWEALTH OF MASSACHUSETTS BRADLEY R. RIZZUTO CIVIL No. 43443 REGISTERED PROFESSIONAL ENGINEER

COMMONWEALTH OF MASSACHUSETTS JOHN P. LORDEN CIVIL No. 50574 REGISTERED PROFESSIONAL ENGINEER
5.19.22

BrightPath Child Care Center

Medway Commons
67C Main Street
Medway,
Massachusetts

Charter Realty & Development Corp.

MARK	DATE	DESCRIPTION

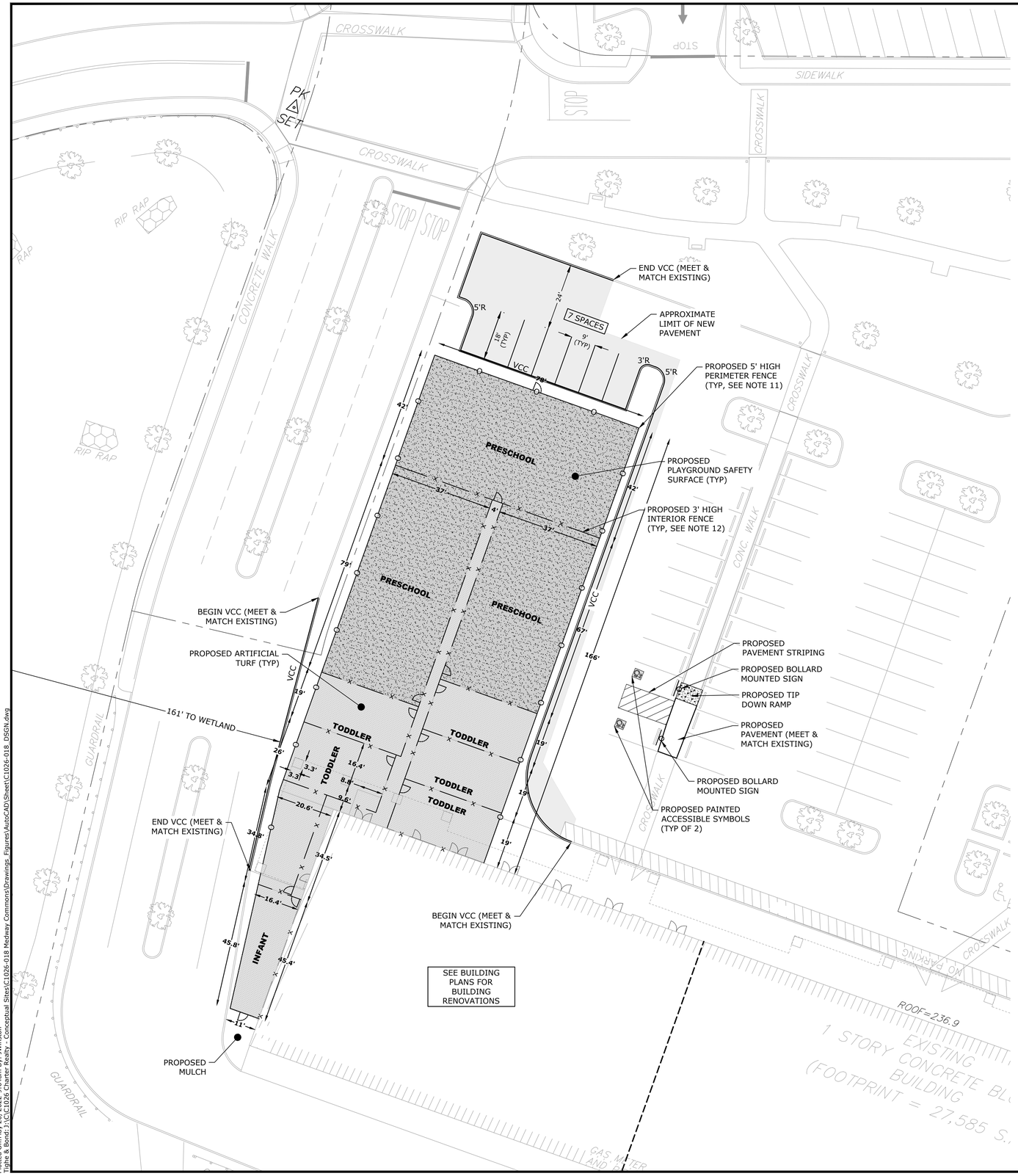
PROJECT NO:	C1026-018
DATE:	May 19, 2022
FILE:	C1026-018_DSGN.DWG
DRAWN BY:	JRW
CHECKED:	JPL
APPROVED:	BLM

DEMOLITION PLAN

SCALE: AS SHOWN

C-101

Last Saved: 5/19/2022
Plotted On:May 20, 2022-7:42am By: JWinston
Tighe & Bond:J:\C\C1026 Charter Realty - Conceptual Sites\C1026-018 Medway Commons\Drawings_Figures\AutoCAD\Sheet\C1026-018_DSGN.dwg



SITE NOTES:

1. STRIPE PARKING AREAS AS SHOWN, INCLUDING PARKING SPACES, AND ADA SYMBOLS. PAINT SHALL BE FAST DRYING AND SHALL MEET THE REQUIREMENTS OF AASHTO AASHTO M249. ALL TRAFFIC PAINT SHALL MEET THE REQUIREMENTS OF AASHTO M248 TYPE "F".
2. ALL PAVEMENT MARKINGS AND SIGNS TO CONFORM TO "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", "STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS", AND THE AMERICANS WITH DISABILITIES ACT REQUIREMENTS, LATEST EDITIONS.
3. SEE DETAILS FOR PARKING STALL MARKINGS, ADA SYMBOLS, SIGNS AND SIGN POSTS.
4. THE CONTRACTOR SHALL EMPLOY A MASSACHUSETTS LICENSED LAND SURVEYOR TO DETERMINE ALL LINES AND GRADES.
5. CLEAN AND COAT VERTICAL FACE OF EXISTING PAVEMENT AT SAW CUT LINE WITH RS-1 EMULSION IMMEDIATELY PRIOR TO PLACING NEW BITUMINOUS CONCRETE.
6. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE, AND LOCAL CODES & SPECIFICATIONS.
7. CONTRACTOR TO SUBMIT AS-BUILT PLANS IN DIGITAL FORMAT (.DWG AND .PDF FILES) ON DISK TO THE OWNER AND ENGINEER UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A NEW HAMPSHIRE LICENSED LAND SURVEYOR.
8. ALL WORK SHALL CONFORM TO THE TOWN OF MEDWAY DEPARTMENT OF PUBLIC WORKS, STANDARD SPECIFICATIONS AND WITH THE STATE OF MASSACHUSETTS DEPARTMENT OF TRANSPORTATION, "STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES", CURRENT EDITION.
9. COORDINATE ALL WORK ADJACENT TO BUILDING WITH BUILDING CONTRACTOR.
10. ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
11. PERIMETER FENCING SHALL BE ECHELON PLUS ORNAMENTAL ALUMNINUM TUBULAR FENCE; STYLE = MAJESTIC; PANEL = 3-RAIL; COLOR = BLACK; HEIGHT = 5 FEET. PERIMETER FENCING LOCATIONS SHALL BE FIXED.
12. INTERIOR FENCING SHALL BE JAMIESON FENCE SUPPLY VINYL CHAIN-LINK FABRIC - EXTRUDED; ITEM NO = 304036-BKKK; COLOR = BLACK; HEIGHT = 3 FEET. INTERIOR FENCING LOCATIONS MAY MOVE SLIGHTLY BASED ON SITE CONDITIONS AND TO FACILITATE FINAL PLAYGROUND ELEMENT PLACEMENT.

LEGEND

5'R	RADIUS
TYP	TYPICAL
VCC	VERTICAL CONCRETE CURB
	ACCESSIBLE PAVEMENT MARKING
	PROPOSED SIGN
	PROPOSED EDGE OF PAVEMENT/CURB
	PROPOSED PERIMETER FENCE (ORNAMENTAL ALUMINUM)
	PROPOSED INTERIOR FENCE (CHAIN-LINK)
	PROPOSED PLAYGROUND SAFETY SURFACE
	PROPOSED ARTIFICIAL TURF
	PROPOSED CONCRETE
	PROPOSED PAINTED ISLAND
	PROPOSED PAVEMENT

0 20' 40'
GRAPHIC SCALE

Tighe&Bond

COMMONWEALTH OF MASSACHUSETTS BRADLEY R. WILCOZEWSKI CIVIL No. 43445 REGISTERED PROFESSIONAL ENGINEER

COMMONWEALTH OF MASSACHUSETTS JOHN P. LORDEN CIVIL No. 50574 REGISTERED PROFESSIONAL ENGINEER 5-19-22

BrightPath Child Care Center

Medway Commons
67C Main Street
Medway,
Massachusetts

Charter Realty & Development Corp.

MARK	DATE	DESCRIPTION

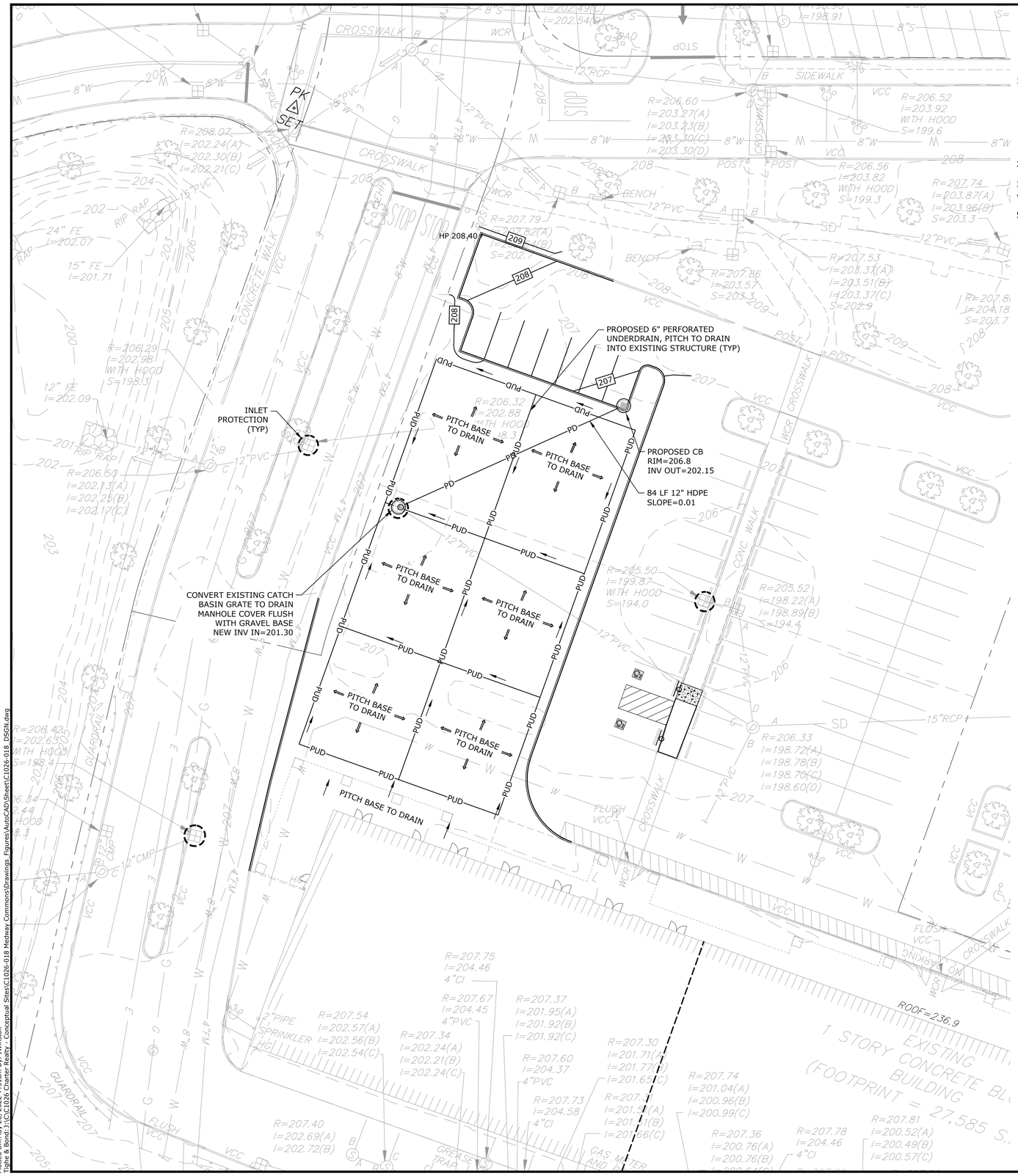
PROJECT NO:	C1026-018
DATE:	May 19, 2022
FILE:	C1026-018_DSGN.DWG
DRAWN BY:	JRW
CHECKED:	JPL
APPROVED:	BLM

SITE PLAN

SCALE: AS SHOWN

C-102

Last Saved: 5/20/2022
Plotted On:May 20, 2022-9:04am By: JWinston
Tighe & Bond:J:\C\C1026 Charter Realty - Conceptual Sites\C1026-018 Medway Commons\Drawings_Figures\AutoCAD\Sheet\C1026-018_DSGN.dwg



GRADING AND DRAINAGE NOTES:

1. COMPACTION REQUIREMENTS:

BELOW PAVED OR CONCRETE AREAS	95%
TRENCH BEDDING MATERIAL AND SAND BLANKET BACKFILL	95%
BELOW LOAM AND SEED AREAS	90%

* ALL PERCENTAGES OF COMPACTION SHALL BE OF THE MAXIMUM DRY DENSITY AT THE OPTIMUM MOISTURE CONTENT AS DETERMINED AND CONTROLLED IN ACCORDANCE WITH ASTM D-1557, METHOD C FIELD DENSITY TESTS SHALL BE MADE IN ACCORDANCE WITH ASTM D-1556 OR ASTM-2922.

2. CONTRACTOR SHALL THOROUGHLY CLEAN ALL CATCH BASINS AND DRAIN LINES, WITHIN THE LIMIT OF WORK, OF SEDIMENT IMMEDIATELY UPON COMPLETION OF CONSTRUCTION.
3. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE AND LOCAL CODES.
4. ALL STORM DRAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE COMMONWEALTH OF MASSACHUSETTS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, LATEST EDITION.
5. ALL WORK SHALL CONFORM TO THE TOWN OF MEDWAY DEPARTMENT OF PUBLIC WORKS, STANDARD SPECIFICATIONS AND WITH THE STATE OF MASSACHUSETTS DEPARTMENT OF TRANSPORTATION, "STANDARD SPECIFICATIONS OF HIGHWAYS AND BRIDGES CONSTRUCTION", CURRENT EDITION.

EROSION CONTROL NOTES:

1. INSTALL EROSION CONTROL BARRIERS AS SHOWN AS FIRST ORDER OF WORK.
2. SEE GENERAL EROSION CONTROL NOTES ON "EROSION CONTROL NOTES & DETAILS SHEET".
3. PROVIDE INLET PROTECTION AROUND ALL EXISTING AND PROPOSED CATCH BASIN INLETS WITHIN THE WORK LIMITS AS WELL AS CATCH BASINS/CURB INLETS THAT RECEIVE RUNOFF FROM CONSTRUCTION ACTIVITIES. MAINTAIN FOR THE DURATION OF THE PROJECT.
4. INSPECT INLET PROTECTION AND PERIMETER EROSION CONTROL MEASURES DAILY AND AFTER EACH RAIN STORM OF 0.25 INCH OR GREATER. REPAIR/MODIFY PROTECTION AS NECESSARY TO MAXIMIZE EFFICIENCY OF FILTER. REPLACE ALL FILTERS WHEN SEDIMENT IS 1/3 THE FILTER HEIGHT.
5. PRIOR TO ANY WORK OR SOIL DISTURBANCE COMMENCING ON THE SUBJECT PROPERTY, INCLUDING MOVING OF EARTH, THE APPLICANT SHALL INSTALL ALL EROSION AND SILTATION MITIGATION AND CONTROL MEASURES AS REQUIRED BY STATE AND LOCAL PERMITS AND APPROVALS.
6. CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST AND WIND EROSION THROUGHOUT THE CONSTRUCTION PERIOD. DUST CONTROL MEASURES SHALL INCLUDE, BUT ARE NOT LIMITED TO, SPRINKLING WATER ON UNSTABLE SOILS SUBJECT TO ARID CONDITIONS.
7. THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL TEMPORARY EROSION CONTROL DEVICES UPON COMPLETION OF CONSTRUCTION.
8. ALL CATCH BASIN SUMPS AND PIPING SHALL BE THOROUGHLY CLEANED TO REMOVE ALL SEDIMENT AND DEBRIS AFTER THE PROJECT HAS BEEN COMPLETED.
9. TEMPORARY SOIL STOCKPILE SHALL BE SURROUNDED WITH PERIMETER CONTROLS AND SHALL BE STABILIZED BY TEMPORARY EROSION CONTROL SEEDING.
10. SAFETY FENCING SHALL BE PROVIDED AROUND STOCKPILES OVER 10 FT.

LEGEND

HP 208.40+	HIGH POINT ELEVATION
CB	CATCH BASIN
INV	INVERT
⟹	GRADE PITCH DIRECTION
→	DRAIN DIRECTION
	INLET PROTECTION
	PROPOSED CATCH BASIN
PUD	PROPOSED UNDERDRAIN
PD	PROPOSED DRAIN LINE
207	PROPOSED CONTOUR

0 20' 40'
GRAPHIC SCALE

Tighe&Bond

COMMONWEALTH OF MASSACHUSETTS BRADLEY LORDEN CIVIL No. 43449 REGISTERED PROFESSIONAL ENGINEER

COMMONWEALTH OF MASSACHUSETTS JOHN P. LORDEN CIVIL No. 50574 REGISTERED PROFESSIONAL ENGINEER
5-19-22

BrightPath Child Care Center

Medway Commons
67C Main Street
Medway,
Massachusetts

Charter Realty & Development Corp.

MARK	DATE	DESCRIPTION

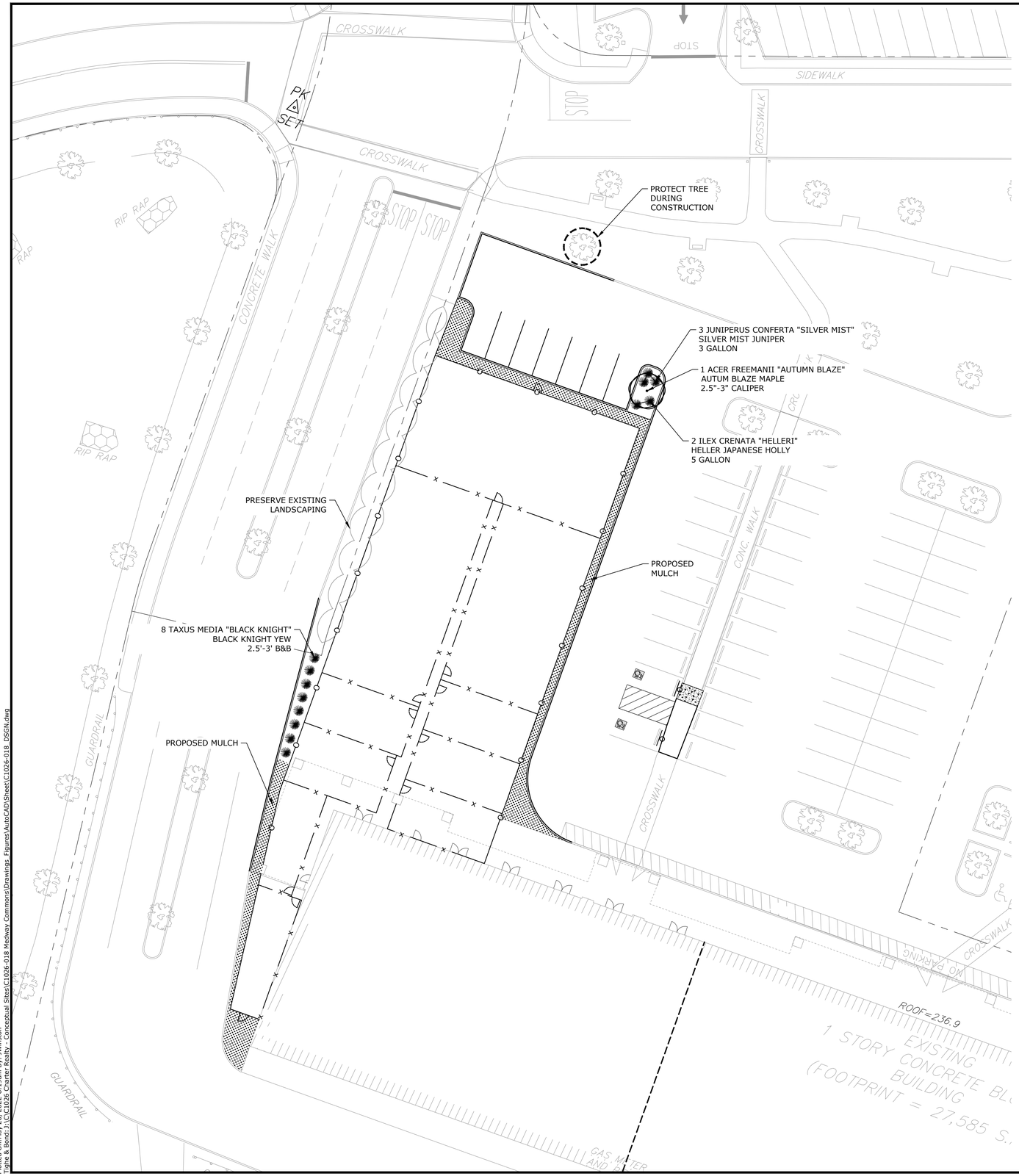
PROJECT NO:	C1026-018
DATE:	May 19, 2022
FILE:	C1026-018_DSGN.DWG
DRAWN BY:	JRW
CHECKED:	JPL
APPROVED:	BLM

GRADING, DRAINAGE, AND EROSION CONTROL PLAN

SCALE: AS SHOWN

C-103

Last Saved: 5/20/2022
Plotted On:May 20,2022-7:51am By: JWinton
Tighe & Bond:J:\C\C1026 Charter Realty - Conceptual Sites\C1026-018 Medway Commons\Drawings_Figures\AutoCAD\Sheet\C1026-018_DSGN.dwg



LANDSCAPE NOTES:

1. THE CONTRACTOR SHALL FURNISH AND PLANT ALL PLANTS IN QUANTITIES AS SHOWN ON THIS PLAN. NO SUBSTITUTIONS WILL BE PERMITTED UNLESS APPROVED BY OWNER. ALL PLANTS SHALL BE NURSERY GROWN.
2. ALL PLANTS SHALL BE NURSERY GROWN AND PLANTS AND WORKMANSHIP SHALL CONFORM TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS, INCLUDING BUT NOT LIMITED TO SIZE, HEALTH, SHAPE, ETC., AND SHALL BE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO ARRIVAL ON-SITE AND AFTER PLANTING.
3. PLANT STOCK SHALL BE GROWN WITHIN THE HARDINESS ZONES 4 THRU 7 ESTABLISHED BY THE PLANT HARDINESS ZONE MAP, MISCELLANEOUS PUBLICATIONS NO. 814, AGRICULTURAL RESEARCH SERVICE, UNITED STATES DEPARTMENT AGRICULTURE, LATEST REVISION.
4. PLANT MATERIAL SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS TO THE ORIGINAL PLANTING GRADE PRIOR TO DIGGING.
5. THE NUMBER OF EACH INDIVIDUAL PLANT TYPE AND SIZE PROVIDED IN THE PLANT LIST OR ON THE PLAN IS FOR THE CONTRACTOR'S CONVENIENCE ONLY. IF A DISCREPANCY EXISTS BETWEEN THE NUMBER OF PLANTS ON THE LABEL AND THE NUMBER OF SYMBOLS SHOWN ON THE DRAWINGS, THE GREATER NUMBER SHALL APPLY.
6. NO SUBSTITUTION OF PLANT MATERIALS WILL BE ALLOWED WITHOUT THE PRIOR WRITTEN APPROVAL OF THE OWNER'S REPRESENTATIVE.
7. THE CONTRACTOR SHALL LOCATE, VERIFY AND MARK ALL EXISTING AND NEWLY INSTALLED UNDERGROUND UTILITIES PRIOR TO ANY LAWN WORK OR PLANTING. ANY CONFLICTS WHICH MIGHT OCCUR BETWEEN PLANTING AND UTILITIES SHALL IMMEDIATELY BE REPORTED TO THE OWNER SO THAT ALTERNATE PLANTING LOCATIONS CAN BE DETERMINED.
8. ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED, SHALL RECEIVE 6" OF LOAM AND SEED. NO FILL SHALL BE PLACED IN ANY WETLAND AREA.
9. THREE INCHES (3") OF BARK MULCH IS TO BE USED AROUND THE TREE AND SHRUB PLANTING AS SPECIFIED IN THE DETAILS. WHERE BARK MULCH IS TO BE USED IN A CURBED ISLAND THE BARK MULCH SHALL MEET THE TOP INSIDE EDGE OF THE CURB. ALL OTHER AREAS SHALL RECEIVE 6" INCHES OF LOAM AND SEED.
10. LANDSCAPING SHALL BE LOCATED WITHIN 150 FT OF EXTERIOR HOSE ATTACHMENT OR SHALL BE PROVIDED WITH AN IRRIGATION SYSTEM.
11. SEE PLANTING DETAILS AND SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
12. TREE STAKES SHALL REMAIN IN PLACE FOR NO LESS THAN 6 MONTHS AND NO MORE THAN 1 YEAR.
13. PLANTING SHALL BE COMPLETED FROM APRIL 15TH THROUGH OCTOBER 1ST. NO PLANTING DURING JULY AND AUGUST UNLESS SPECIAL PROVISIONS ARE MADE FOR DROUGHT.
14. PARKING AREA PLANTED ISLANDS TO HAVE MINIMUM OF 1'-0" TOPSOIL PLACED TO WITHIN 3 INCHES OF THE TOP OF CURB ELEVATION. REMOVE ALL CONSTRUCTION DEBRIS BEFORE PLACING TOPSOIL.
15. TREES SHALL BE PRUNED IN ACCORDANCE WITH THE LATEST EDITION OF ANSI A300 'TREES, SHRUBS AND OTHER WOOD PLANT MAINTENANCE STANDARD PRACTICES.
16. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24 HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL BE WATERED WEEKLY, OR MORE OFTEN, IF NECESSARY DURING THE FIRST GROWING SEASON. LANDSCAPE CONTRACTOR SHALL COORDINATE WATERING SCHEDULE WITH OWNER DURING THE ONE (1) YEAR GUARANTEE PERIOD.
17. EXISTING TREES AND SHRUBS SHOWN ON THE PLAN ARE TO REMAIN UNDISTURBED. ALL EXISTING TREES AND SHRUBS SHOWN TO REMAIN ARE TO BE PROTECTED WITH A 4-FOOT SNOW FENCE PLACED AT THE DRIP LINE OF THE BRANCHES OR AT 8 FEET MINIMUM FROM THE TREE TRUNK. ANY EXISTING TREE OR SHRUB SHOWN TO REMAIN, WHICH IS REMOVED DURING CONSTRUCTION, SHALL BE REPLACED BY A TREE OF COMPARABLE SIZE AND SPECIES TREE OR SHRUB.
18. THE CONTRACTOR SHALL GUARANTEE ALL PLANTINGS TO BE IN GOOD HEALTHY, FLOURISHING AND ACCEPTABLE CONDITION FOR A PERIOD OF ONE (1) YEAR BEGINNING AT THE DATE OF ACCEPTANCE OF SUBSTANTIAL COMPLETION. ALL GRASSES, TREES AND SHRUBS THAT, IN THE OPINION OF THE LANDSCAPE ARCHITECT, SHOW LESS THAN 80% HEALTHY GROWTH AT THE END OF ONE YEAR PERIOD SHALL BE REPLACED BY THE CONTRACTOR.
19. UPON EXPIRATION OF THE CONTRACTOR'S ONE YEAR GUARANTEE PERIOD, THE OWNER SHALL BE RESPONSIBLE FOR LANDSCAPE MAINTENANCE INCLUDING WATERING DURING PERIODS OF DROUGHT
20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL PLANTING AND LAWNS AGAINST DAMAGE FROM ONGOING CONSTRUCTION. THIS PROTECTION SHALL BEGIN AT THE TIME THE PLANT IS INSTALLED AND CONTINUE UNTIL THE FORMAL ACCEPTANCE OF ALL THE PLANTINGS.
21. PRE-PURCHASE PLANT MATERIAL AND ARRANGE FOR DELIVERY TO MEET PROJECT SCHEDULE AS REQUIRED IT MAY BE NECESSARY TO PRE-DIG CERTAIN SPECIES WELL IN ADVANCE OF ACTUAL PLANTING DATES.

LEGEND

B & B	BALLED AND BURLAPPED
	EVERGREEN SHRUB
	DECIDUOUS TREE
	PROPOSED MULCH
	EXISTING LANDSCAPING

0 20' 40'
GRAPHIC SCALE

Tighe&Bond

MASSACHUSETTS RALPH GORDON LEDDY REGISTERED LANDSCAPE ARCHITECT NO. 4225
5.19.22

COMMONWEALTH OF MASSACHUSETTS BRADLEY L. SLEZGATA CIVIL NO. 43443 REGISTERED PROFESSIONAL ENGINEER

COMMONWEALTH OF MASSACHUSETTS JOHN P. LORDEN CIVIL NO. 50574 REGISTERED PROFESSIONAL ENGINEER
5.19.22

BrightPath Child Care Center

Medway Commons
67C Main Street
Medway,
Massachusetts

Charter Realty & Development Corp.

MARK	DATE	DESCRIPTION

PROJECT NO:	C1026-018
DATE:	May 19, 2022
FILE:	C1026-018_DSGN.DWG
DRAWN BY:	JRW
CHECKED:	JPL
APPROVED:	BLM

LANDSCAPE PLAN

SCALE: AS SHOWN

C-104

Last Saved: 5/20/2022
Plotted On:May 20, 2022-8:19am By: JWinston
Tighe & Bond:J:\C\C1026 Charter Realty - Conceptual Sites\C1026-018 Medway Commons\Drawings_Figures\AutoCAD\Sheet\C1026-018_DSGN.dwg

GENERAL PROJECT INFORMATION

PROJECT NAME: MEDWAY COMMONS
PROJECT ADDRESS: 67C MAIN STREET
MEDWAY, MASSACHUSETTS
PROJECT MAP / LOT: MAP 41 / LOT 23
PROJECT LATITUDE: 42.15161 N
PROJECT LONGITUDE: -71.40572 W

PROJECT DESCRIPTION

THE PROJECT CONSISTS OF THE REDEVELOPMENT OF AN EXISTING PARKING AREA TO AN ENCLOSED PLAY AREA FOR A CHILD CARE CENTER.

DISTURBED AREA

THE TOTAL AREA TO BE DISTURBED IS APPROXIMATELY 0.65 ACRES.

EROSION CONTROL NOTES:

1. ALL EROSION CONTROL MEASURES AND PRACTICES SHALL CONFORM TO THE MOST CURRENT MASSACHUSETTS STORMWATER STANDARDS PERPARED BY THE MADEP.
2. PRIOR TO ANY WORK OR SOIL DISTURBANCE, CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR EROSION CONTROL MEASURES AS REQUIRED IN THE PROJECT MANUAL.
3. CONTRACTOR SHALL INSTALL TEMPORARY EROSION CONTROL BARRIERS, INCLUDING HAY BALES, SILT FENCES, MULCH BERMS, SILT SACKS AND SILT SOCKS AS SHOWN IN THESE DRAWINGS AS THE FIRST ORDER OF WORK.
4. SILT SACK INLET PROTECTION SHALL BE INSTALLED IN ALL EXISTING AND PROPOSED CATCH BASIN INLETS WITHIN THE WORK LIMITS AND BE MAINTAINED FOR THE DURATION OF THE PROJECT.
5. PERIMETER CONTROLS INCLUDING SILT FENCES, MULCH BERM, SILT SOCK, AND/OR HAY BALE BARRIERS SHALL BE MAINTAINED FOR THE DURATION OF THE PROJECT UNTIL NON-PAVED AREAS HAVE BEEN STABILIZED.
6. THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL TEMPORARY EROSION CONTROL DEVICES UPON COMPLETION OF CONSTRUCTION.
7. ALL DISTURBED AREAS NOT OTHERWISE BEING TREATED SHALL RECEIVE 6" LOAM, SEED AND FERTILIZER.
8. INSPECT ALL INLET PROTECTION AND PERIMETER CONTROLS WEEKLY AND AFTER EACH RAIN STORM OF 0.25 INCH OR GREATER. REPAIR/MODIFY PROTECTION AS NECESSARY TO MAXIMIZE EFFICIENCY OF FILTER. REPLACE ALL FILTERS WHEN SEDIMENT IS 1/3 THE FILTER HEIGHT.

STABILIZATION:

1. AN AREA SHALL BE CONSIDERED STABLE WHEN ONE OF THE FOLLOWING HAS OCCURRED:
   A. BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
   B. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
   C. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED;
   D. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.;
   E. IN AREAS TO BE PAVED, "STABLE" MEANS THAT BASE COURSE GRAVELS MEETING THE REQUIREMENTS OF MASSDOT STANDARD FOR ROAD AND BRIDGE CONSTRUCTION, 2016, HAVE BEEN INSTALLED.
2. WINTER STABILIZATION PRACTICES:
   A. ALL PROPOSED VEGETATED AREAS THAT DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS;
   B. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS;
   C. AFTER OCTOBER 15, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER MASSDOT, OR IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON BE CLEARED OF ANY ACCUMULATED SNOW AFTER EACH STORM EVENT;
3. STABILIZATION SHALL BE INITIATED ON ALL LOAM STOCKPILES, AND DISTURBED AREAS, WHERE CONSTRUCTION ACTIVITY SHALL NOT OCCUR FOR MORE THAN TWENTY-ONE (21) CALENDAR DAYS BY THE FOURTEENTH (14TH) DAY AFTER CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED IN THAT AREA. STABILIZATION MEASURES TO BE USED INCLUDE:
   A. TEMPORARY SEEDING;
   B. MULCHING.
4. ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE.
5. WHEN CONSTRUCTION ACTIVITY PERMANENTLY OR TEMPORARILY CEASES WITHIN 100 FEET OF NEARBY SURFACE WATERS OR DELINEATED WETLANDS, THE AREA SHALL BE STABILIZED WITHIN SEVEN (7) DAYS OR PRIOR TO A RAIN EVENT. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN AN THESE AREAS, SILT FENCES, MULCH BERMS, HAY BALE BARRIERS AND ANY EARTH/DIKES SHALL BE REMOVED ONCE PERMANENT MEASURES ARE ESTABLISHED.
6. DURING CONSTRUCTION, RUNOFF WILL BE DIVERTED AROUND THE SITE WITH EARTH DIKES, PIPING OR STABILIZED CHANNELS WHERE POSSIBLE. SHEET RUNOFF FROM THE SITE WILL BE FILTERED THROUGH SILT FENCES, MULCH BERMS, HAY BALE BARRIERS, OR SILT SOCKS. ALL STORM DRAIN BASIN INLETS SHALL BE PROVIDED WITH FLARED END SECTIONS AND TRASH RACKS. THE SITE SHALL BE STABILIZED FOR THE WINTER BY OCTOBER 15.

DUST CONTROL:

1. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST THROUGHOUT THE CONSTRUCTION PERIOD.
2. DUST CONTROL METHODS SHALL INCLUDE, BUT BE NOT LIMITED TO SPRINKLING WATER ON EXPOSED AREAS, COVERING LOADED DUMP TRUCKS LEAVING THE SITE, AND TEMPORARY MULCHING.
3. DUST CONTROL MEASURES SHALL BE UTILIZED SO AS TO PREVENT THE MIGRATION OF DUST FROM THE SITE TO ABUTTING AREAS.

STOCKPILES:

1. LOCATE STOCKPILES A MINIMUM OF 50 FEET AWAY FROM CATCH BASINS, SWALES, AND CULVERTS.
2. ALL STOCKPILES SHOULD BE SURROUNDED WITH TEMPORARY EROSION CONTROL MEASURES PRIOR TO THE ONSET OF PRECIPITATION.
3. PERIMETER BARRIERS SHOULD BE MAINTAINED AT ALL TIMES, AND ADJUSTED AS NEEDED TO ACCOMMODATE THE DELIVERY AND REMOVAL OF MATERIALS FROM THE STOCKPILE. THE INTEGRITY OF THE BARRIER SHOULD BE INSPECTED AT THE END OF EACH WORKING DAY.
4. PROTECT ALL STOCKPILES FROM STORMWATER RUN-OFF USING TEMPORARY EROSION CONTROL MEASURES SUCH AS BERMS, SILT SOCK, OR OTHER APPROVED PRACTICE TO PREVENT MIGRATION OF MATERIAL BEYOND THE IMMEDIATE CONFINES OF THE STOCKPILES.

VEGETATION:

1. TEMPORARY GRASS COVER:
   A. SEEDBED PREPARATION:
      a. APPLY FERTILIZER AT THE RATE OF 600 POUNDS PER ACRE OF 10-10-10. APPLY LIMESTONE (EQUIVALENT TO 50 PERCENT CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF THREE (3) TONS PER ACRE;
   B. SEEDING:
      a. UTILIZE ANNUAL RYE GRASS AT A RATE OF 40 LBS/ACRE;
      b. WHERE THE SOIL HAS BEEN COMPACTED BY CONSTRUCTION OPERATIONS, LOOSEN SOIL TO A DEPTH OF TWO (2) INCHES BEFORE APPLYING FERTILIZER, LIME AND SEED;
      c. APPLY SEED UNIFORMLY BY HAND, CYCLONE SEEDER, OR HYDROSEEDER (SLURRY INCLUDING SEED AND FERTILIZER). HYDROSEEDINGS, WHICH INCLUDE MULCH, MAY BE LEFT ON SOIL SURFACE. SEEDING RATES MUST BE INCREASED 10% WHEN HYDROSEEDING;
   C. MAINTENANCE:
      a. TEMPORARY SEEDING SHALL BE PERIODICALLY INSPECTED. AT A MINIMUM, 95% OF THE SOIL SURFACE SHOULD BE COVERED BY VEGETATION. IF ANY EVIDENCE OF EROSION OR SEDIMENTATION IS APPARENT, REPAIRS SHALL BE MADE AND OTHER TEMPORARY MEASURES USED IN THE INTERIM (MULCH, FILTER BARRIERS, CHECK DAMS, ETC.).
2. PERMANENT MEASURES AND PLANTINGS:
   A. LIMESTONE SHALL BE THOROUGHLY INCORPORATED INTO THE LOAM LAYER AT A RATE OF THREE (3) TONS PER ACRE IN ORDER TO PROVIDE A PH VALUE OF 5.5 TO 6.5;
   B. FERTILIZER SHALL BE SPREAD ON THE TOP LAYER OF LOAM AND WORKED INTO THE SURFACE. FERTILIZER APPLICATION RATE SHALL BE 800 POUNDS PER ACRE OF 10-20-20 FERTILIZER;
   C. SOIL CONDITIONERS AND FERTILIZER SHALL BE APPLIED AT THE RECOMMENDED RATES AND SHALL BE THOROUGHLY WORKED INTO THE LOAM. LOAM SHALL BE RAKED UNTIL THE SURFACE IS FINELY PULVERIZED, SMOOTH AND EVEN, AND THEN COMPACTED TO AN EVEN SURFACE CONFORMING TO THE REQUIRED LINES AND GRADES WITH APPROVED ROLLERS WEIGHING BETWEEN 4-1/2 POUNDS AND 5-1/2 POUNDS PER INCH OF WIDTH;
   D. SEED SHALL BE SOWN AT THE RATE SHOWN BELOW. SOWING SHALL BE DONE ON A CALM, DRY DAY, PREFERABLY BY MACHINE, BUT IF BY HAND, ONLY BY EXPERIENCED WORKMEN. IMMEDIATELY BEFORE SEEDING, THE SOIL SHALL BE LIGHTLY RAKED. ONE HALF THE SEED SHALL BE SOWN IN ONE DIRECTION AND THE OTHER HALF AT RIGHT ANGLES TO THE ORIGINAL DIRECTION. IT SHALL BE LIGHTLY RAKED INTO THE SOIL TO A DEPTH NOT OVER 1/4 INCH AND ROLLED WITH A HAND ROLLER WEIGHING NOT OVER 100 POUNDS PER LINEAR FOOT OF WIDTH;
   E. HAY MULCH SHALL BE APPLIED IMMEDIATELY AFTER SEEDING AS INDICATED ABOVE;
   F. THE SURFACE SHALL BE WATERED AND KEPT MOIST WITH A FINE SPRAY AS REQUIRED, WITHOUT WASHING AWAY THE SOIL, UNTIL THE GRASS IS WELL ESTABLISHED. ANY AREAS WHICH ARE NOT SATISFACTORILY COVERED WITH GRASS SHALL BE RESEEDED, AND ALL NOXIOUS WEEDS REMOVED;
   G. THE CONTRACTOR SHALL PROTECT AND MAINTAIN THE SEEDED AREAS UNTIL ACCEPTED;
   H. A GRASS SEED MIXTURE CONTAINING THE FOLLOWING SEED REQUIREMENTS SHALL BE APPLIED AT THE INDICATED RATE:

SEED MIX	APPLICATION RATE
CREEPING RED FESCUE	66 LBS/ACRE
KENTUCKY BLUE	36 LBS/ACRE
PERENNIAL RYE	6 LBS/ACRE
REDTOP	6 LBS/ACRE

   IN NO CASE SHALL THE WEED CONTENT EXCEED ONE (1) PERCENT BY WEIGHT. ALL SEED SHALL COMPLY WITH STATE AND FEDERAL SEED LAWS. SEEDING SHALL BE DONE NO LATER THAN SEPTEMBER 15. IN NO CASE SHALL SEEDING TAKE PLACE OVER SNOW.
3. DORMANT SEEDING (SEPTEMBER 15 TO FIRST SNOWFALL):
   A. FOLLOW PERMANENT MEASURES SLOPE, LIME, FERTILIZER AND GRADING REQUIREMENTS. APPLY SEED MIXTURE AT TWICE THE INDICATED RATE. APPLY MULCH AS INDICATED FOR PERMANENT MEASURES.

WASTE DISPOSAL:

1. WASTE MATERIAL:
   A. ALL WASTE MATERIALS SHALL BE COLLECTED AND STORED IN SECURELY LIDDED RECEPTACLES. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE SHALL BE DEPOSITED IN A DUMPSTER;
   B. NO CONSTRUCTION WASTE MATERIALS SHALL BE BURIED ON SITE;
   C. ALL PERSONNEL SHALL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL BY THE SUPERINTENDENT.
2. HAZARDOUS WASTE:
   A. ALL HAZARDOUS WASTE MATERIALS SHALL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER;
   B. SITE PERSONNEL SHALL BE INSTRUCTED IN THESE PRACTICES BY THE SUPERINTENDENT.
3. SANITARY WASTE:
   A. ALL SANITARY WASTE SHALL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF ONCE PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR.

SPILL PREVENTION:

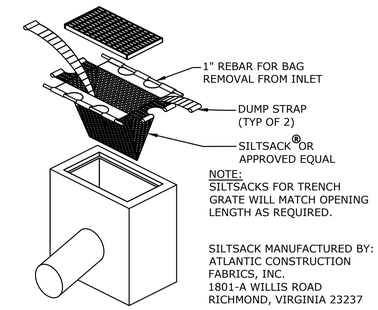
1. CONTRACTOR SHALL BE FAMILIAR WITH SPILL PREVENTION MEASURES REQUIRED BY LOCAL, STATE AND FEDERAL AGENCIES. AT A MINIMUM, CONTRACTOR SHALL FOLLOW THE BEST MANAGEMENT SPILL PREVENTION PRACTICES OUTLINED BELOW.
2. THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT SHALL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES DURING CONSTRUCTION TO STORMWATER RUNOFF:
   A. GOOD HOUSEKEEPING - THE FOLLOWING GOOD HOUSEKEEPING PRACTICE SHALL BE FOLLOWED ON SITE DURING CONSTRUCTION:
      a. ONLY SUFFICIENT AMOUNTS OF PRODUCTS TO DO THE JOB SHALL BE STORED ON SITE;
      b. ALL REGULATED MATERIALS STORED ON SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR PROPER (ORIGINAL IF POSSIBLE) CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE, ON AN IMPERVIOUS SURFACE;
      c. MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL SHALL BE FOLLOWED;
      d. THE SITE SUPERINTENDENT SHALL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS;
      e. SUBSTANCES SHALL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER;
      f. WHENEVER POSSIBLE ALL OF A PRODUCT SHALL BE USED UP BEFORE DISPOSING OF THE CONTAINER.
      g. THE TRAINING OF ON-SITE EMPLOYEES AND THE ON-SITE POSTING OF RELEASE RESPONSE INFORMATION DESCRIBING WHAT TO DO IN THE EVENT OF A SPILL OF REGULATED SUBSTANCES.
   B. HAZARDOUS PRODUCTS - THE FOLLOWING PRACTICES SHALL BE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS:
      a. PRODUCTS SHALL BE KEPT IN THEIR ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESEALABLE;
      b. ORIGINAL LABELS AND MATERIAL SAFETY DATA SHALL BE RETAINED FOR IMPORTANT PRODUCT INFORMATION;
      c. SURPLUS PRODUCT THAT MUST BE DISPOSED OF SHALL BE DISCARDED ACCORDING TO THE MANUFACTURER'S RECOMMENDED METHODS OF DISPOSAL.
   C. PRODUCT SPECIFIC PRACTICES - THE FOLLOWING PRODUCT SPECIFIC PRACTICES SHALL BE FOLLOWED ON SITE:
      a. PETROLEUM PRODUCTS:
      - ALL ON SITE VEHICLES SHALL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE TO REDUCE LEAKAGE;
      - PETROLEUM PRODUCTS SHALL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT BASED SUBSTANCES USED ON SITE SHALL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.
      b. FERTILIZERS:
      - FERTILIZERS USED SHALL BE APPLIED ONLY IN THE MINIMUM AMOUNTS DIRECTED BY THE SPECIFICATIONS;
      - ONCE APPLIED FERTILIZERS SHALL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORMWATER;
      - STORAGE SHALL BE IN A COVERED SHED OR ENCLOSED TRAILERS. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER SHALL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS
      c. PAINTS:
      - ALL CONTAINERS SHALL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE;
      - EXCESS PAINT SHALL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM;
      - EXCESS PAINT SHALL BE DISPOSED OF PROPERLY ACCORDING TO MANUFACTURER'S INSTRUCTIONS OR STATE AND LOCAL REGULATIONS.
   D. SPILL CONTROL PRACTICES - IN ADDITION TO GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTION, THE FOLLOWING PRACTICES SHALL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:
      a. MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP SHALL BE CLEARLY POSTED AND SITE PERSONNEL SHALL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES;
      b. MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP SHALL BE KEPT IN THE MATERIAL STORAGE AREA ON SITE. EQUIPMENT AND MATERIALS SHALL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUSTPANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAWDUST AND PLASTIC OR METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE;
      c. ALL SPILLS SHALL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY;
      d. THE SPILL AREA SHALL BE KEPT WELL VENTILATED AND PERSONNEL SHALL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE;
      e. SPILLS OF TOXIC OR HAZARDOUS MATERIAL SHALL BE REPORTED TO THE APPROPRIATE LOCAL, STATE OR FEDERAL AGENCIES AS REQUIRED;
      f. THE SITE SUPERINTENDENT RESPONSIBLE FOR DAY-TO-DAY SITE OPERATIONS SHALL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR.
   E. VEHICLE FUELING AND MAINTENANCE PRACTICE:
      a. CONTRACTOR SHALL MAKE AN EFFORT TO PERFORM EQUIPMENT/VEHICLE FUELING AND MAINTENANCE AT AN OFF-SITE FACILITY;
      b. CONTRACTOR SHALL PROVIDE AN ON-SITE FUELING AND MAINTENANCE AREA THAT IS CLEAN AND DRY;
      c. IF POSSIBLE THE CONTRACTOR SHALL KEEP AREA COVERED;
      d. CONTRACTOR SHALL KEEP A SPILL KIT AT THE FUELING AND MAINTENANCE AREA;
      e. CONTRACTOR SHALL REGULARLY INSPECT VEHICLES FOR LEAKS AND DAMAGE;
      f. CONTRACTOR SHALL USE DRIP PANS, DRIP CLOTHS, OR ABSORBENT PADS WHEN REPLACING SPENT FLUID.

EROSION CONTROL OBSERVATIONS AND MAINTENANCE PRACTICES

THIS PROJECT DOES NOT EXCEED ONE (1) ACRE OF DISTURBANCE AND THEREFORE DOES NOT REQUIRES A SWPPP.

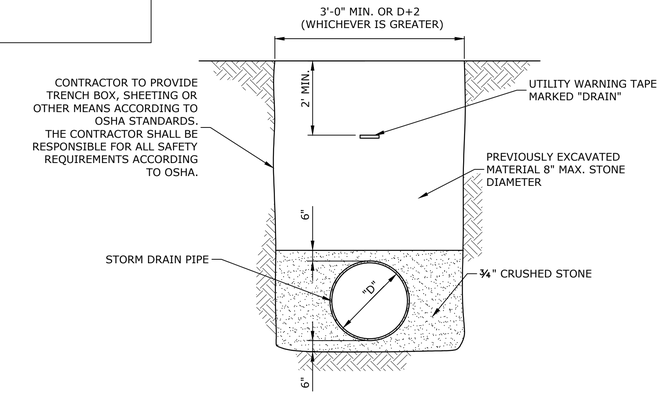
THE FOLLOWING REPRESENTS THE GENERAL OBSERVATION AND REPORTING PRACTICES THAT SHALL BE FOLLOWED AS PART OF THIS PROJECT:

A. OBSERVATIONS OF THE PROJECT SHALL BE MADE BY THE CONTRACTOR AT LEAST ONCE A WEEK OR WITHIN 24 HOURS OF A STORM 0.25 INCHES OR GREATER;
B. AN OBSERVATION REPORT SHALL BE MADE AFTER EACH OBSERVATION AND DISTRIBUTED TO THE ENGINEER, THE OWNER, AND THE CONTRACTOR;
C. A REPRESENTATIVE OF THE SITE CONTRACTOR, SHALL BE RESPONSIBLE FOR MAINTENANCE AND REPAIR ACTIVITIES;
D. IF A REPAIR IS NECESSARY, IT SHALL BE INITIATED WITHIN 24 HOURS OF REPORT.



SILTSACK ® EROSION CONTROL

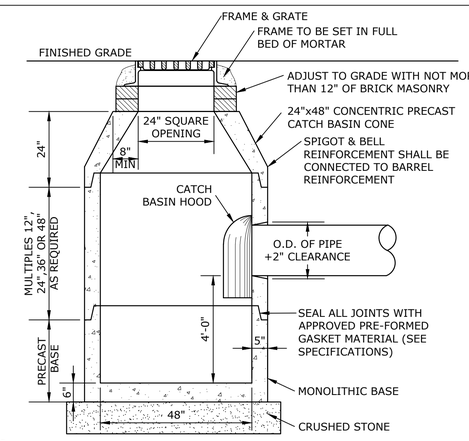
NO SCALE



NOTES:
1. COMPACT ALL BACKFILL MATERIAL WITH VIBRATORY PLATE EQUIPMENT (MINIMUM TWO PASSES) TO A MINIMUM DENSITY OF 95 PERCENT OF THE STANDARD PROCTOR DENSITY AS DETERMINED BY ASTM D698.
2. PLACE BACKFILL MATERIAL IN MAXIMUM ONE FOOT LIFTS.

TYPICAL DRAIN LINE TRENCH SECTION

NO SCALE



NOTES:
1. SEAL JOINT BETWEEN PIPE AND CATCH BASIN WITH GROUT.

PRECAST CONCRETE DEEP SUMP HOODED CATCH BASIN (CB)

NO SCALE

Tighe&Bond

BrightPath Child Care Center

Medway Commons
67C Main Street
Medway,
Massachusetts

Charter Realty & Development Corp.

MARK	DATE	DESCRIPTION

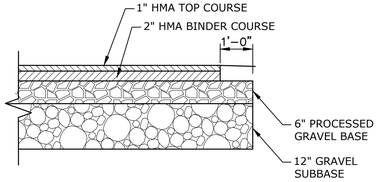
PROJECT NO:	C1026-018
DATE:	May 19, 2022
FILE:	C1026-018_DTLS.DWG
DRAWN BY:	
CHECKED:	
APPROVED:	

EROSION CONTROL NOTES & DETAILS

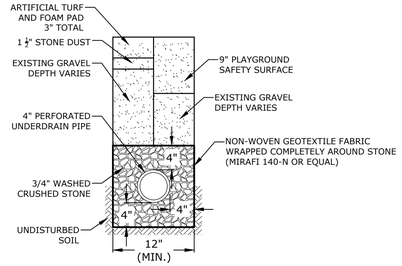
SCALE: AS SHOWN AS SHOWN

C-501

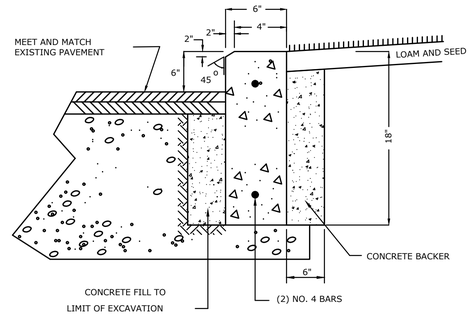
Last Saved: 5/19/2022
Plotted On:May 19, 2022-5:25pm By: JWinston
Tighe & Bond:J:\C\C1026 Charter Realty - Conceptual Sites\C1026-018 Medway Commons\Drawings_Figures\AutoCAD\Sheet\C1026-018_DTLS.dwg



HMA DRIVEWAYS & PARKING AREAS
NO SCALE

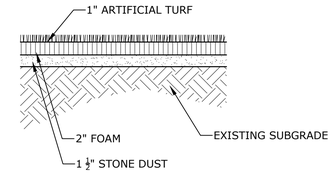


UNDERDRAIN TRENCH
NO SCALE



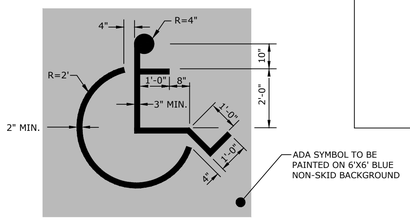
NOTES:
1. CONCRETE TO BE 4,000 PSI.
2. ALL RADII 50' AND SMALLER TO BE CONSTRUCTED USING CURVED SECTIONS.

VERTICAL CONCRETE CURB
NO SCALE

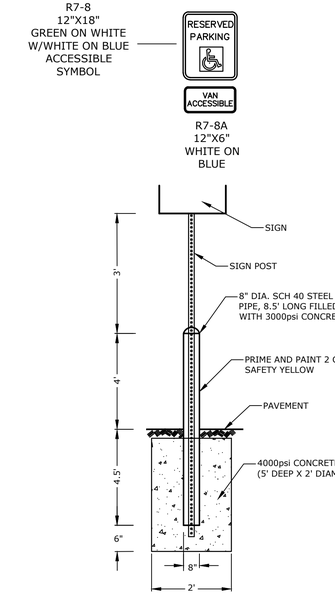


NOTES:
1. SEE MANUFACTURER'S SPECIFICATIONS AND INSTALLATION INSTRUCTIONS.

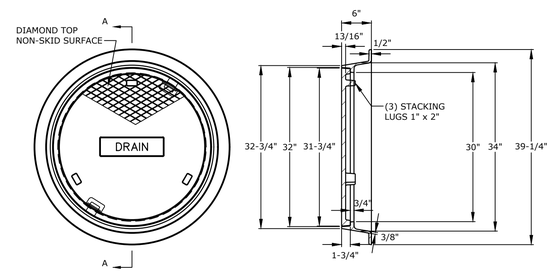
ARTIFICIAL TURF
NO SCALE



PAVEMENT MARKING DETAILS
NO SCALE



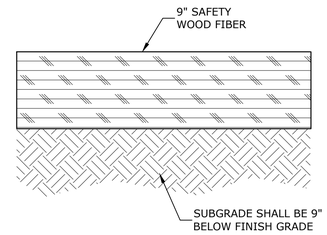
BOLLARD MOUNTED SIGN DETAIL
NO SCALE



PLAN **SECTION A-A**

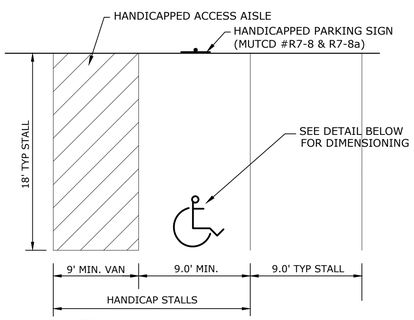
NOTES:
1. ALL DIMENSIONS ARE NOMINAL.
2. FRAMES USING NARROWER DIMENSIONS FOR THICKNESS ARE ALLOWED PROVIDED:
   A. THE FRAMES MEET OR EXCEED THE SPECIFIED LOAD RATING.
   B. THE INTERIOR PERIMETER (SEAT AREA) DIMENSIONS OF THE FRAMES REMAIN THE SAME TO ALLOW CONTINUED USE OF EXISTING GRATES/COVERS AS THE EXISTING FRAMES ALLOW, WITHOUT SHIMS OR OTHER MODIFICATIONS OR ACCOMMODATIONS.
   C. ALL OTHER PERTINENT REQUIREMENTS OF THE SPECIFICATIONS ARE MET.
3. LABEL TYPE OF MANHOLE WITH 3" HIGH LETTERS IN THE CENTER OF THE COVER.

DRAIN MANHOLE FRAME & COVER
NO SCALE



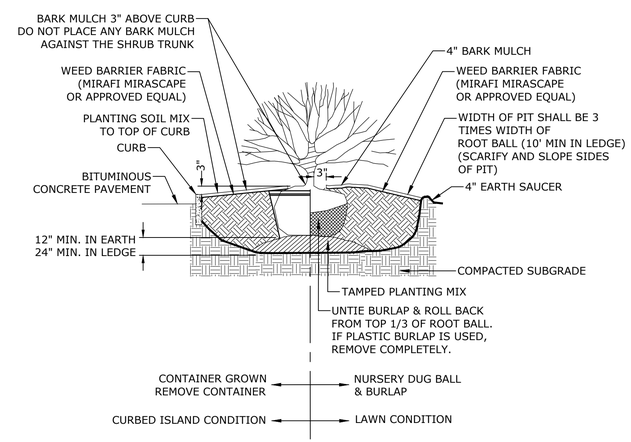
NOTES:
1. SEE MANUFACTURER'S SPECIFICATIONS AND INSTALLATION INSTRUCTIONS.

PLAYGROUND SAFETY SURFACE
NO SCALE

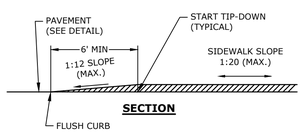


NOTES:
1. ALL DIMENSIONS TO CENTER OF 4" PAVEMENT STRIPING.
2. ALL STRIPING SHALL BE 4" SOLID WHITE PAVEMENT MARKING PAINT UNLESS OTHERWISE NOTED.
3. SYMBOL SHALL BE CENTERED IN THE PARKING STALL.

PARKING STALL
NO SCALE



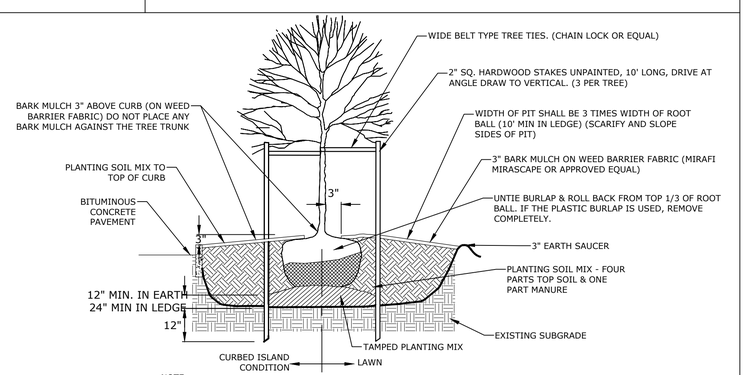
SHRUB PLANTING DETAIL
NO SCALE



SECTION

NOTES:
1. RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT AND LOCAL AND STATE REQUIREMENTS.
2. A 9" COMPACTED CRUSHED GRAVEL BASE SHALL BE PROVIDED BENEATH RAMPS.

TIP DOWN RAMP
NO SCALE



NOTE:
PLANT AT SAME DEPTH AS PREVIOUSLY PLANTED OR WITHIN 2" ABOVE.

DECIDUOUS TREE PLANTING
NO SCALE

Tighe&Bond

BrightPath Child Care Center
Medway Commons
67C Main Street
Medway,
Massachusetts

Charter Realty & Development Corp.

MARK	DATE	DESCRIPTION

PROJECT NO:	C1026-018
DATE:	May 19, 2022
FILE:	C1026-018_DTLS.DWG
DRAWN BY:	
CHECKED:	
APPROVED:	

DETAILS

SCALE: AS SHOWN AS SHOWN

C-502

Last Saved: 5/19/2022
Plotted On:May 19, 2022-7:57am By: JWinston
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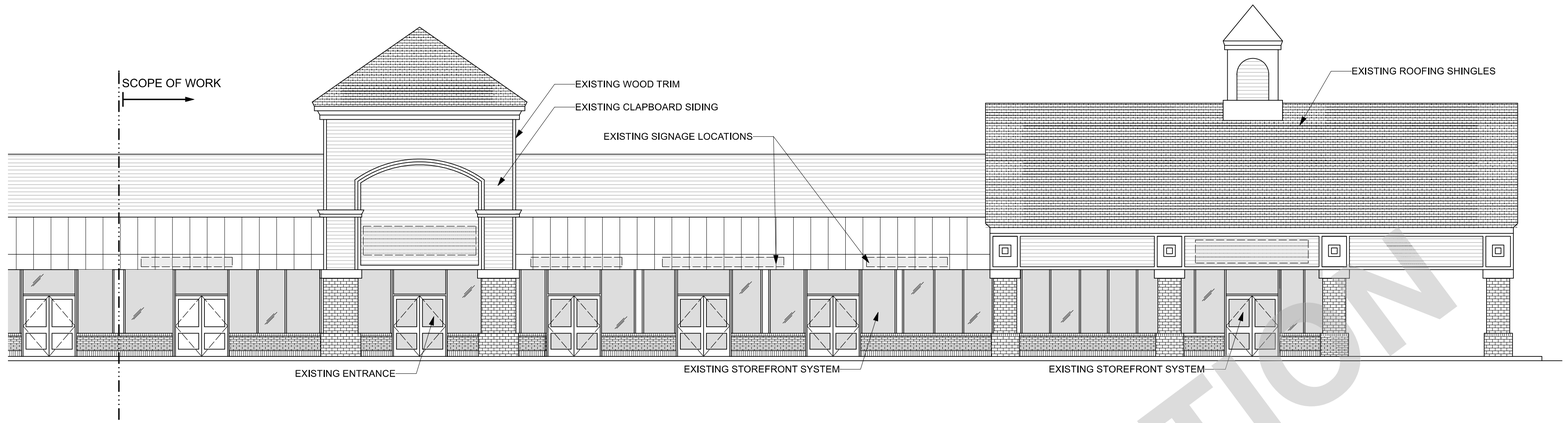
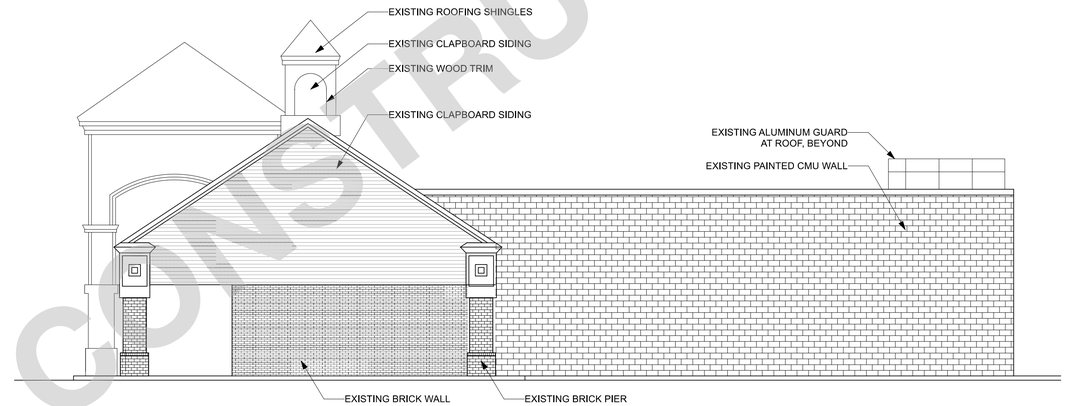
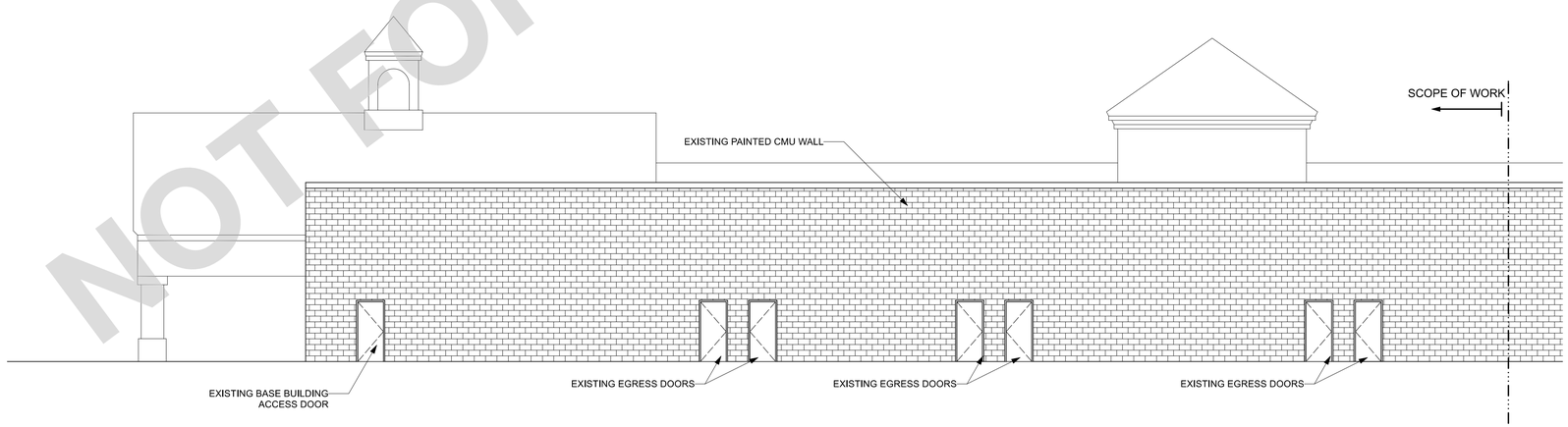


3 FRONT ELEVATION - EXISTING
1/8" = 1'-0"



2 SIDE ELEVATION - EXISTING
1/8" = 1'-0"



1 REAR ELEVATION - EXISTING
1/8" = 1'-0"

NOT FOR CONSTRUCTION

HELICON
HELICON DESIGN GROUP, INC.
ARCHITECTS
76 SUMMER STREET, SUITE 510
BOSTON, MA 02110

T. 617-357-4437
INFO@HELICONDESIGN.COM

project

Bright Path
The best start in life

67 MAIN STREET
MEDWAY, MA 02053

CAD FILE:

client

EDUCATIONAL PLAYCARE LTD.
555 DAY HILL RD.
WINDSOR, CT 06095

contractor

GENERAL CONTRACTOR
ADDRESS
CITY, STATE ZIP

structural

STRUCTURAL ENGINEER
ADDRESS
CITY, STATE ZIP

MEP

MEP ENGINEER
ADDRESS
CITY, STATE ZIP

issue / revisions

MARK	DATE	DESCRIPTION
	02.02.22	SPACE PLAN V1

stamp

date

05.19.22

phase

SCHEMATIC DESIGN

north

sheet title

EXTERIOR ELEVATIONS : EXISTING

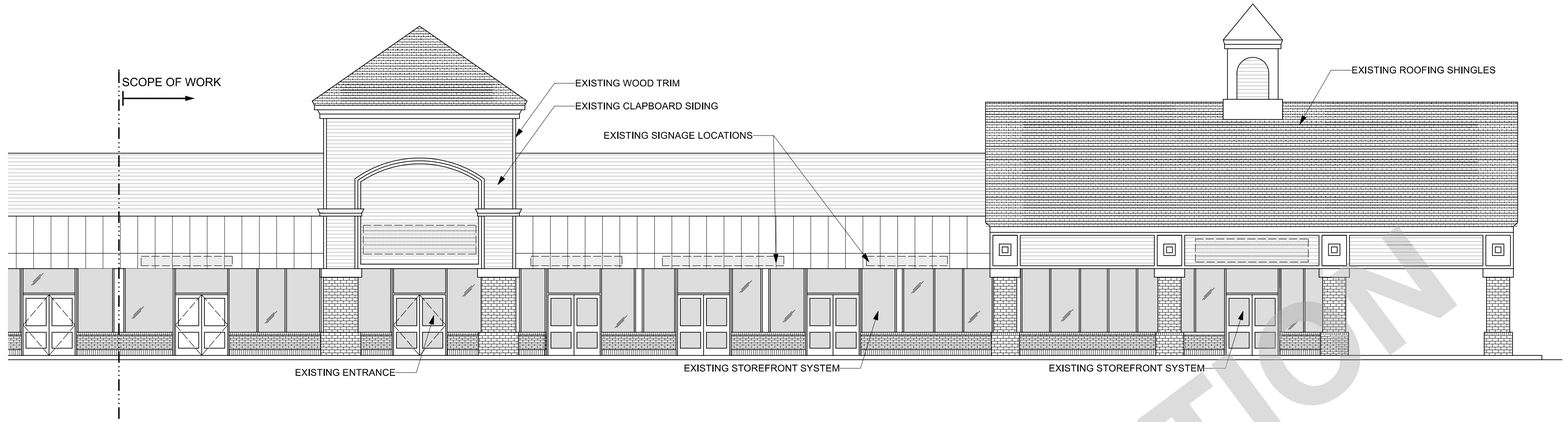
DRAWN / CHECKED

sheet number

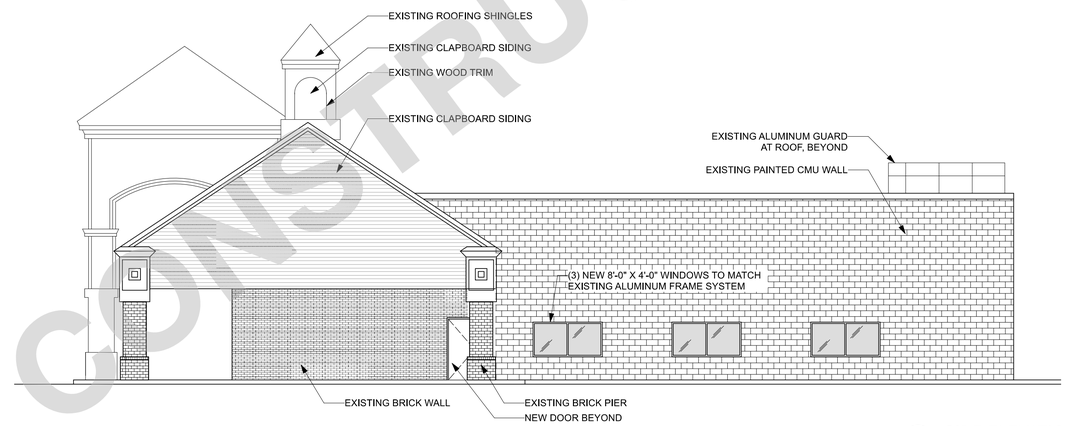
A.701

scale

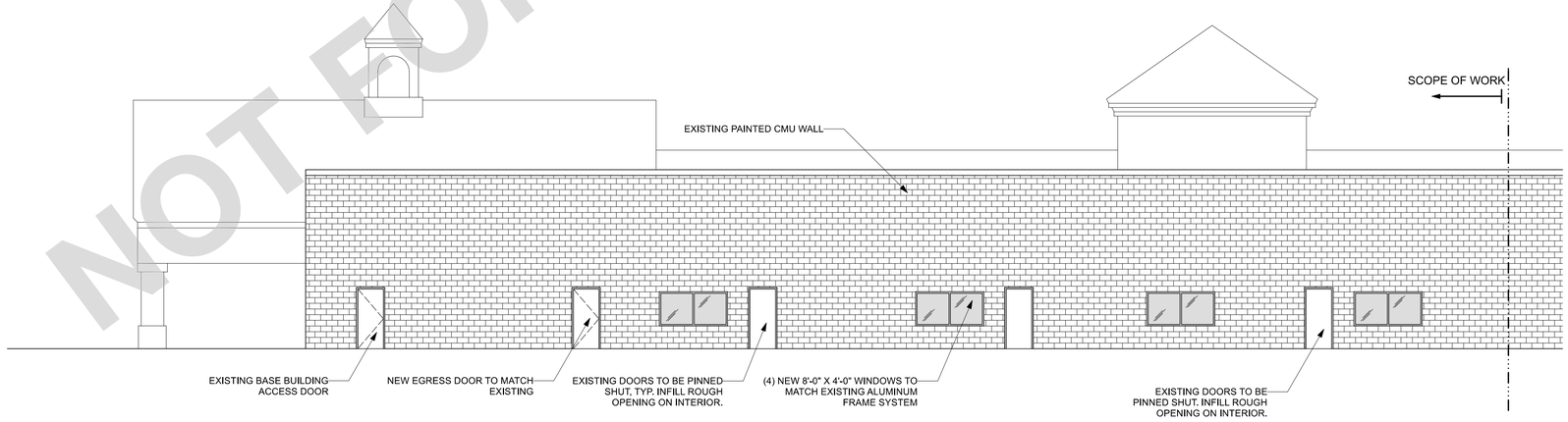
AS NOTED



3 FRONT ELEVATION - PROPOSED
1/8" = 1'-0"



2 SIDE ELEVATION - PROPOSED
1/8" = 1'-0"



1 REAR ELEVATION - PROPOSED
1/8" = 1'-0"

NOT FOR CONSTRUCTION

HELICON
HELICON DESIGN GROUP, INC.
ARCHITECTS
76 SUMMER STREET, SUITE 510
BOSTON, MA 02110

T. 617-357-4437
INFO@HELICONDESIGN.COM

project

Bright Path
The best start in life

67 MAIN STREET
MEDWAY, MA 02053

CAD FILE:

client

EDUCATIONAL PLAYCARE LTD.
555 DAY HILL RD.
WINDSOR, CT 06095

contractor

GENERAL CONTRACTOR
ADDRESS
CITY, STATE ZIP

structural

STRUCTURAL ENGINEER
ADDRESS
CITY, STATE ZIP

MEP

MEP ENGINEER
ADDRESS
CITY, STATE ZIP

issue / revisions

MARK	DATE	DESCRIPTION
	02.02.22	SPACE PLAN V1

stamp

date

05.19.22

phase

SCHEMATIC DESIGN

north

sheet title

EXTERIOR ELEVATIONS : PROPOSED

DRAWN / CHECKED

sheet number

A.702

scale

AS NOTED

Medway Commons – Stormwater Summary Memo

TO: Karen Johnson, Charter Realty & Development Corp.

FROM: John Lorden, PE, Tighe & Bond

DATE: March 19, 2022

Tighe & Bond is submitting this memorandum to summarize the proposed stormwater management impacts to the Medway Commons project located in Medway, Massachusetts. The project includes BrightPath Child Care Center occupying space in an existing shopping center.

Site related impacts include the removal of 33 parking spaces to accommodate an outdoor play space on a combination of artificial turf and wood chips. A series of perforated underdrains will collect the stormwater from the outdoor play space and direct the stormwater to the existing closed stormwater system.

As part of the project the only change to the existing closed drainage system is to route the proposed underdrains below the outdoor play area to an existing catchbasin that will be converted to a drain manhole under the proposed wood chips. No new stormwater connections or outfall discharges are proposed.

The post-development peak discharge rates will not be greater than the pre-development peak discharge rates. The stormwater through the outdoor play area will take much longer to route through the surface material, into the underdrains, and into the closed drainage system in comparison to direct runoff from the pavement entering the same closed drainage system.

The proposed project will not have any negative impact on the existing stormwater drainage system.

J:\C\C1026 Charter Realty - Conceptual Sites\C1026-018 Medway Commons\Reports\Drainage\20220519_Medway_Stormwater Memo.docx

COMMONWEALTH OF MASSACHUSETTS
JOHN P. LORDEN
CIVIL
No. 50574
REGISTERED PROFESSIONAL ENGINEER

5.19.22

Board Members

Matthew J. Hayes, P.E., Chair
Robert Tucker, Vice Chair
Richard Di Iulio, Clerk
Jessica Chabot, Member
Sarah Raposa, A.I.C.P., Member
Thomas A. Gay, Associate Member

Medway Town Hall
155 Village Street
Medway, MA 02053
Phone (508) 533-3291
Fax (508) 321-4987
Email: planningboard
@townofmedway.org
www.townofmedway.org

TOWN OF MEDWAY

COMMONWEALTH OF MASSACHUSETTS

PLANNING AND ECONOMIC DEVELOPMENT BOARD

May 25, 2022

ABUTTER NOTIFICATION OF PUBLIC BRIEFING

Charter Realty & Development Corporation
Medway Commons, 67 Main Street
Minor Site Plan – BrightPath Child Care Center

The Medway Planning and Economic Development Board will commence a public briefing on Tuesday, June 14, 2022 at 9:00 p.m. in Sanford Hall at Medway Town Hall, 155 Village Street to consider the application of Charter Realty and Development Corporation of Greenwich, MA for approval of a minor site plan for BrightPath Child Care Center to be located in Medway Commons at 67 Main Street.

The applicant seeks minor site plan approval to modify a section of the existing parking lot in front of a portion of existing retail and restaurant spaces to accommodate construction of an approximately 14,200 sq. ft. outdoor play area for a new 12,700 sq. ft. childcare facility to be located within existing space at the southwestern end of the shopping center. Planned construction includes removal of pavement from 33 parking spaces, removal of an estimated 440 linear feet of curbing, removal of approximately 80 linear feet of driveway space, and removal of an estimated 2,040 sq. ft. of sidewalk, to be replaced with installation of various play area surface materials, fencing, landscaping, and play space equipment and amenities to be directly accessed from the childcare center.

The subject property (Map 41, Parcel 23) is owned by Hidden Acres Realty Trust of Medway, MA which holds a long-term lease with Charter Medway II, LLC of Greenwich, CT to own and operate Medway Commons which is located on the south side of Main ST (Route 109) in the Central Business zoning district.

You are receiving this notice as you are the record owner of property located within 300' of the subject site. Please note that this is the only written notification you will receive about the public briefing for this project.

The application documents are on file with the Medway Town Clerk and at the office of the Planning and Economic Development Board at Medway Town Hall, 155 Village Street and may be reviewed during regular business hours. The documents are also posted at the Board's web page at: **https://www.townofmedway.org/planning-economic-development-board/pages/current-applications-pedb-0** Interested persons are invited to review the application documents, attend the public briefing, and express their views at the designated time and place. Written comments may be forwarded to: **planningboard@townofmedway.org.** Questions should be directed to the Planning and Economic Development office at 508-533-3291.

OVER

Pursuant to Chapter 22 of the Acts of 2022, this hearing will be conducted in person and, as a courtesy, via remote means in accordance with applicable law. Please note that while an option for remote attendance and/or participation is being provided as a courtesy to the public and board members, the hearing will not be suspended or terminated if technological problems interrupt the virtual broadcast, unless required by law. Information for participating in the meeting via Zoom will be included on the agenda for Board's June 14, 2022 meeting which will be posted to the Town's master calendar of events at: https://www.townofmedway.org/calendar/month/2022-06 and at the Board's web page at: https://www.townofmedway.org/node/926/agenda/2022

Matthew J. Hayes, P.E., Chair

Susan Affleck-Childs

From: Susan Affleck-Childs
Sent: Tuesday, May 31, 2022 3:18 PM
To: Michael Boynton; Mike Fasolino; Donna Greenwood; Bridget Graziano; Joanne Russo; Beth Hallal; Jack Mee; Jeff Lynch; jwatson@medwaypolice.com; Peter Pelletier; Sean Harrington; Stephanie Carlisle; Barbara Saint Andre
Subject: New Permit Applications - NeoOrganics, 4 Marc Road (marijuana cultivation) modification and Medway Commons BrightPath Child Care Center site plan

HI,

The Planning and Economic Development Board has received permit applications for the above two noted projects and will begin its review at its June 14th meeting.

Project information is available at:

https://www.townofmedway.org/planning-economic-development-board/pages/medway-commons-brightpath-child-care-center

https://www.townofmedway.org/planning-economic-development-board/pages/neo-organics-4-marc-road-special-permit-and-site-plan-0

Please review the noted projects and provide any comments to me by June 8th for inclusion in the board packet for the June 14th meeting. We particularly need Police and Fire review of the Medway Commons BrightPath Child Care Center site plan as it includes changes in traffic patterns.

Thanks for your help.

Susy

Susan E. Affleck-Childs
Planning and Economic Development Coordinator
Town of Medway
155 Village Street
Medway, MA 02053
508-533-3291

Tighe&Bond

C1026-018
June 3, 2022

Karen Johnson, AICP
Charter Realty & Development
1666 Massachusetts Ave – Suite 6a
Lexington, Massachusetts 02420

Re: **Traffic Memorandum**
BrightPath Child Care Center
Medway Commons – 67 Main Street, Medway, MA

Dear Karen:

Tighe & Bond has prepared a traffic memorandum to review the potential impact of the proposed BrightPath Child Care Center within the existing Medway Commons shopping center in Medway, MA. Medway Commons currently includes Shaw's grocery store as well as a mix of retail, restaurant, and service uses. The project will replace approximately 12,700 square feet (SF) of existing retail space within the shopping center. Trip generation estimates for the shopping center were estimated under both existing and proposed conditions to determine potential impacts the day care center may have on the surrounding roadway network.

Trip Generation

Trips generated by the existing and proposed shopping center were estimated using the Institute of Transportation Engineers (ITE) Trip Generation, 11th Edition, 2021. Land-Use Code (LUC) 821 – Shopping Center (40-150k) with Supermarket was used to estimate the trips generated by the existing and proposed developments. Table 1 provides a detailed summary of the trip generation that is summarized in the following paragraphs.

As shown in Table 1, the existing shopping plaza is estimated to generate approximately 428 trips (265 entering, 163 exiting) during the weekday morning peak hour, 1,094 trips (525 entering, 569 exiting) during the weekday afternoon peak hour, and 1,122 trips (572 entering, 550 exiting) during the Saturday midday peak hour.

The proposed child care center will replace approximately 12,700 SF of existing retail space within the shopping center. Land-use Code 565 – Day Care Center was utilized to estimate the trip generation for the proposed child care center. The ITE data estimates the 12,700 SF child care center will generate 140 trips (74 entering, 66 exiting) during the weekday morning peak hour and 141 trips (66 entering, 75 exiting) during the weekday afternoon peak hour. There are no proposed trips estimated for the Saturday midday peak period because the facility will not be open. The proposed trip generation represents a net increase of approximately 95 trips (46 entering, 49 exiting) during the weekday morning peak hour, 26 trips (11 entering, 15 exiting) during the weekday afternoon peak hour, and a decrease of 118 trips (60 entering, 58 exiting) during the Saturday midday peak hour.

Traffic Operations

The previously completed *Transportation Impact Assessment* for the Proposed Medical Office Building located at 86 Holliston Street, dated April 2022 and prepared by Vanasse & Associates Inc., was reviewed to determine existing traffic operations and to determine any operational impacts as a result of the proposed child care facility. Based on the analyses results, the intersection of Route 109 (Main Street) at the Medway Commons Driveway experiences

overall Level of Service (LOS) B under 2022 Existing, 2029 No-Build, and 2029 Build conditions during the weekday morning and weekday afternoon peak hours. In addition, the "critical" movements entering and exiting Medway Commons were reviewed in detail to determine any impacts the proposed child care center may have. The Route 109 westbound left and eastbound right movements experience LOS A during under all scenarios during both the weekday morning and weekday afternoon peak hours. The Medway Commons driveway northbound shared left/ through movement and right movement experience acceptable LOS D and LOS C under each scenario during the weekday morning and weekday afternoon peak hours, respectively. Queues are accommodated within available storage under each scenario during the weekday morning and afternoon peak hours. It is important to note that LOS D operations are generally characterized as acceptable with vehicular delays between 35 and 55 seconds per vehicle. Delays experienced on all movements under each scenario during the weekday morning and afternoon peak hours are all below 40 seconds per vehicle, well below the 55 second threshold.

While the site is expected to increase overall traffic during the weekday morning and weekday afternoon peak hours, the largest increase in trips (95 trips during the weekday morning peak hour) is estimated to occur when Medway Commons site traffic is low as a result of low activity at the shopping center during this time period (7:00 AM to 9:00 AM) as most businesses in the plaza are not yet open. The intersection of Route 109 at Medway Commons is expected to continue to operate at acceptable levels with the increased traffic during the weekday morning peak hour. The 26 additional trips estimated during the weekday afternoon peak hour are not expected to significantly increase vehicular delay at the intersection. Lastly, because the shopping center is estimated to generate less traffic during the Saturday midday period under the proposed condition as previously mentioned, traffic operations are expected to improve during this time period.

Conclusion

Based on the trip generation estimates, the additional site-generated traffic by the proposed child care center is not expected to significantly increase traffic over previous levels and is not expected to significantly impact traffic operations. Additional traffic analyses are not recommended at this time.

Sincerely,

TIGHE & BOND, INC.

John Lorden, PE
Project Manager II

Matthew Stoutz, PE, PTOE, RSP1
Project Engineer

Enclosures: Site-Generated Traffic Summary (Table 1)

\\tighebond.com\data\Data\Projects\C\C1026 Charter Realty - Conceptual Sites\C1026-018 Medway Commons\Reports\Traffic\2022-06-03 Medway Commons Traffic Memo.docx

TABLE 1
Site-Generated Traffic Summary

Existing - 121,137 SF Shopping Plaza (40-150k) with Supermarket			
Peak Hour Period	**Enter**	**Exit**	**Total**
Weekday Morning	265	163	428
Weekday Afternoon	525	569	1,094
Saturday Midday	572	550	1,122
Weekday	5,723	5,723	11,446

Proposed - 12,700 SF Day Care Center			
Peak Hour Period	**Enter**	**Exit**	**Total**
Weekday Morning	74	66	140
Weekday Afternoon	66	75	141
Saturday Midday	0	0	0
Weekday	303	302	605

Existing - 108,437 SF Shopping Plaza (40-150k) with Supermarket			
Peak Hour Period	**Enter**	**Exit**	**Total**
Weekday Morning	237	146	383
Weekday Afternoon	470	509	979
Saturday Midday	512	492	1,004
Weekday	5,123	5,123	10,246

Proposed Total Trips			
Peak Hour Period	**Enter**	**Exit**	**Total**
Weekday Morning	311	212	523
Weekday Afternoon	536	584	1,120
Saturday Midday	512	492	1,004
Weekday	5,426	5,425	10,851

Net Vehicular Trips			
Peak Hour Period	**Enter**	**Exit**	**Total**
Weekday Morning	**46**	**49**	**95**
Weekday Afternoon	**11**	**15**	**26**
Saturday Midday	**-60**	**-58**	**-118**
Weekday	**-297**	**-298**	**-595**

Source: Institute of Transportation Engineers, Trip Generation, 11th Edition, 2021
Land Use - 821 Shopping Plaza (40-150k) with Supermarket
Land Use - 565 Day Care Center

June 9, 2022

Ms. Susan E. Affleck-Childs
Medway Planning and Economic Development Coordinator
Medway Town Hall
155 Village Street
Medway, MA 02053

Re: Bright Path Child Care Center
Minor Site Plan Review
67C Main Street
Medway, Massachusetts

Dear Ms. Affleck-Childs:

Tetra Tech (TT) has performed a review of the proposed Site Plan for the above-mentioned Project at the request of the Town of Medway Planning and Economic Development Board (PEDB). The proposed Project is located at 67C Main Street in Medway, Massachusetts. The Project consists of a renovation of existing spaces within the Medway Commons shopping center totaling 12,700 square feet. The Project also includes removal of existing parking areas to accommodate outdoor play space with safety wood fiber surfaces, artificial turf, and associated perimeter fencing.

TT is in receipt of the following materials:

- A plan (Plans) set titled "Medway Commons, 67C Main Street Medway, Massachusetts, BrightPath Child Care Center" dated May 19, 2021, prepared by Tighe & Bond, Inc. (TBI).
- A storm water memorandum (Stormwater Memo) titled "Medway Commons – Stormwater Summary Memo" dated March 19, 2022, prepared by TBI.
- An Application for Minor Site Plan Approval, dated May 20, 2022, prepared by Charter Realty and Development Corp.
- A traffic memorandum (Memo) titled "Traffic Memorandum, BrightPath Child Care Center, Medway Commons – 67 Main Street, Medway, MA" dated June 3, 2022, prepared by TBI.

The Plans and accompanying materials were reviewed for conformance with the following regulatory documents:

- Town of Medway Planning & Economic Development Board Rules and Regulations, Chapter 200 – Site Plans, Rules & Regulations for Submission, Review and Approval of Site Plans. (Amended October 8, 2019)

The Project was also reviewed for good engineering practice and overall site plan efficiency. Review of the Project for zoning related matters is being conducted by Town personnel and is excluded from this review.

SITE PLAN REVIEW

Site Plan Rules and Regulations (Chapter 200)

1. Applicant shall confirm all existing and proposed elevations refer to the North American Vertical Datum of 1988 (NAVD88). (Ch. 200 §204-4.C)
2. The Applicant shall provide a space on the Plans, including the cover sheet, for the Board's signature block, including Decision and plan endorsement dates, and the Town Clerk's no appeal certification. (Ch. 200 §204-4.E)

3. A Stormwater Drainage Evaluation report has not been provided. However, the provided Stormwater Memo describes the changes proposed on-site and the drainage impacts associated with the proposed Project. (Ch. 200 §205-3.D)
4. The Applicant shall provide bearings and distances of property lot lines, as well as display any applicable easements, for the existing lot shown on the Overall Site Plan (C-100). (Ch. 200 §205-5.C)
5. A table displaying the Project's compliance with parking space requirements is provided in the Applicant's Minor Site Plan Application Package. However, the table should be provided on the Plans as well. (Ch. 200 §205-5.E.12)
6. The proposed addition of outdoor play space will close an ingress/egress point for the Medway Commons Development. We recommend the Applicant coordinate with the Medway Fire Department to confirm sufficient emergency access is maintained once the proposed plan is implemented. (Ch. 200 §207-11.A.17)
7. Hot mix asphalt (HMA) surfacing shall be a minimum depth of three and one-half inches in parking areas. The proposed HMA thickness is 3 inches (2" binder, 1" top). (Ch. 200 §207-12.E)
8. The Applicant has not proposed any electric vehicle charging stations for the Project. (Ch. 200 §207-12.I)
9. A Lighting Plan has not been provided. The Applicant shall confirm if existing lighting at the site is sufficient to allow safe travel during hours of operation in periods of the year with less sunlight (i.e. drop-off/pick-up time during fall/winter months). (Ch. 200 §207-18)

General Site Plan Comments

10. We recommend a guardrail, bollards or similar crash protection along the west side length of the outdoor play area and the adjacent driveway. Heavy equipment traffic is common along the driveway and protection of the outdoor play areas shall be paramount.
11. The Applicant is proposing to remove the existing crosswalk on the west side of the building. We recommend the sidewalk section to the north of the crosswalk also be removed to limit pedestrian traffic to a dead-end sidewalk with no formal crossing. This will also reduce impervious coverage at the site.
12. It appears proposed grading (207 contour) is outside of the limits of the proposed paving. We recommend the Applicant repave the entire area north of the proposed playgrounds (continue the sawcut on the eastern side of the playground north to the existing curb) to reduce any issues with matching existing conditions in that area while also reducing the length of joints. This will also provide a cleaner aesthetic to the Project by limiting jogs in new vs. old pavement.
13. The Applicant should provide a smooth curb transition with a radius and tangent points to tie in the proposed curb to existing where the existing driveway is being removed on the west side of the playground areas.
14. We recommend a mountable curb and wide gate access to allow heavy equipment access to the playground areas in the event they require maintenance.
15. The Applicant should provide detail on the demolition plan for location of construction fencing and other means to protect the general public during construction at the site.
16. A portion of the existing firelane along the front of the existing building is proposed to be removed and should be shown as repaved/restriped on the Plan.
17. The Applicant shall confirm on the plan the method of crosswalk striping removal. Grinding of pavement markings is preferred.

TRAFFIC REVIEW

Trip Generation

18. The traffic memo included a trip generation analysis including estimates for the existing shopping plaza use (full occupancy of the plaza without the proposed daycare center use) and the proposed shopping plaza building program (including full occupancy of the plaza retail uses to remain plus the proposed daycare

center). The trip generation estimates were based on industry-standard trip rates published by the Institute of Transportation Engineers (ITE) in Trip Generation Manual, 11th Edition for Land Use Code 821 (Shopping Plaza 40-150k with Supermarket) and Land Use Code 565 (Day Care Center). This methodology is reasonable for the existing and proposed uses.

19. The trip generation analysis included the weekday morning, weekday evening and Saturday midday peak hours. The time periods chosen for analysis are appropriate for the existing retail and proposed daycare center space at the site.

20. The Town of Medway Site Plan Rules and Regulations require a detailed traffic impact assessment for Projects with frontage or proposed access on a public way, construction of twenty or more additional parking spaces and trip generation of an additional one hundred trips to or from the site on an adjacent roadway during a peak hour based on the most recent edition of the Institute of Traffic Engineers publication Trip Generation. The Project is expected to reduce the plaza's parking supply by 33 spaces and the traffic memo indicates that the net increase in peak hour trips due to the Project is 95 peak hour trips or less. Furthermore, the Project is anticipated to result in a net reduction in trips during the Saturday midday peak hour relative to the existing building program. Therefore, a detailed traffic impact assessment is not warranted based on the Site Plan Rules and Regulations parking and trip generation criteria.

21. The traffic memo did not reduce the estimated vehicle trip generation for the existing and proposed building program as a result of area public transportation services. Regularly scheduled public transportation is not provided in the immediate vicinity of the site, with the closest Greater Attleboro-Taunton Regional Transit Authority (GATRA) bus stop located more than 10 minutes away. Therefore, TT agrees with the trip generation methodology used in the traffic memo.

Traffic Operations

22. The traffic memo did not include a capacity analysis of the plaza driveways. However, the traffic memo provided a qualitative assessment of the signalized Route 109/Medway Commons driveway intersection which operates at overall level of service (LOS) D or better operations during the peak hours under existing conditions and future year conditions (without the daycare Project) based on the recent traffic impact assessment prepared for the 86 Holliston Street Project. The traffic memo concludes that the Route 109/Medway Commons signalized intersection is expected to have ample capacity to support the estimated additional trips associated with the proposed daycare Project. TT generally agrees with this assessment.

Parking

23. Per the parking summary provided in the Minor Site Plan package, the total proposed parking supply of 527 spaces exceeds the Town requirement of 517 spaces for the plaza. Therefore, preparation of a parking analysis is not warranted for the Project. However, please see prior comments regarding parking in the Site Plan Review section.

General Traffic Comments

24. We recommend a standard-sized sidewalk be provided along the east side of the outdoor play area to connect the northerly parking spaces adjacent to the daycare center to the facility's main indoor doorway.

25. We recommend an island be added to the southerly portion of the parking aisle immediately adjacent to the east side of the daycare outdoor play area to provide a pedestrian refuge area and shorten the crosswalk distance to the main indoor doorway.

26. Although not discussed in the traffic memo, Vanasse and Associates, Inc. (VAI) completed a Road Safety Audit (RSA) for the Route 109/Medway Commons/Walgreens driveway intersection (Dated April 2022) as part of the nearby multifamily residential development Project to be located at 39 Main Street in Medway. The April 2022 RSA identified numerous potential short-term and long-term improvements to enhance safety at the Route 109/Medway Commons/Walgreens driveway intersection. Given that this intersection serves as the access to the Project site, we recommend the Applicant work with the Town to identify which, if any, of the safety improvements identified in the April 2022 should be implemented as part of the proposed daycare facility Project.

27. We recommend installing pedestrian crossing warning signage at the internal midblock crosswalk located at the northerly end of the parking aisle immediately east of the proposed daycare outdoor play area to increase visibility of the additional vehicle activity in this part of the parking lot due to the proposed daycare use.
28. We recommend the Applicant provide AutoTurn analyses to ensure that the largest emergency vehicle can adequately circulate through the modified portion of the parking lot. The emergency circulation should be reviewed with the Medway Fire Department.

STORMWATER REVIEW

General Stormwater Comments

29. TT reviewed the Memo provided by TBI. The Memo summarizes the proposed stormwater management impacts due to the removal of parking spaces and the addition of the outdoor play area. The existing impervious surfaces are proposed to be supplemented with permeable surfaces such as wood fiber and artificial turf. Perimeter underdrains (located under the permeable surfaces) surrounded by crushed stone are proposed to collect stormwater from the play area and discharge to the existing catch basin on the west side of the playground. The catch basin is proposed to remain but will be converted to a manhole (replace grate with cover) and buried under the permeable playground material. It does not appear the proposed development will cause adverse impacts to the existing infrastructure at the Medway Commons site.

These comments are offered as guides for use during the Town's review and additional comments may be generated during the course of review. The Applicant shall be advised that any absence of comment shall not relieve them of the responsibility to comply with all applicable local, state and federal regulations for the Project. If you have any questions or comments, please feel free to contact us at (508) 786-2200.

Very truly yours,

Steven M. Bouley, PE (Site Review)
Project Manager

Courtney E. Sudak, PE (Traffic Review)
Project Manager

P:\21583\143-21583-22019 (PEDB BRIGHT PATH CCC)\DOCS\BRIGHT PATH CCC-PEDBREV(2022-06-09).DOCX

June 9, 2022
(revised June 22, 2022)
(revised June 28, 2022)

Ms. Susan E. Affleck-Childs
Medway Planning and Economic Development Coordinator
Medway Town Hall
155 Village Street
Medway, MA 02053

Re: Bright Path Child Care Center
Minor Site Plan Review
67C Main Street
Medway, Massachusetts

Dear Ms. Affleck-Childs:

Tetra Tech (TT) has performed a review of the proposed Site Plan for the above-mentioned Project at the request of the Town of Medway Planning and Economic Development Board (PEDB). The proposed Project is located at 67C Main Street in Medway, Massachusetts. The Project consists of a renovation of existing spaces within the Medway Commons shopping center totaling 12,700 square feet. The Project also includes removal of existing parking areas to accommodate outdoor play space with safety wood fiber surfaces, artificial turf, and associated perimeter fencing.

TT is in receipt of the following materials:

- A plan (Plans) set titled "Medway Commons, 67C Main Street Medway, Massachusetts, BrightPath Child Care Center" dated May 19, 2021, prepared by Tighe & Bond, Inc. (TBI).
- A storm water memorandum (Stormwater Memo) titled "Medway Commons – Stormwater Summary Memo" dated March 19, 2022, prepared by TBI.
- An Application for Minor Site Plan Approval, dated May 20, 2022, prepared by Charter Realty and Development Corp.
- A traffic memorandum (Memo) titled "Traffic Memorandum, BrightPath Child Care Center, Medway Commons – 67 Main Street, Medway, MA" dated June 3, 2022, prepared by TBI.

The Plans and accompanying materials were reviewed for conformance with the following regulatory documents:

- Town of Medway Planning & Economic Development Board Rules and Regulations, Chapter 200 – Site Plans, Rules & Regulations for Submission, Review and Approval of Site Plans. (Amended October 8, 2019)

The Project was also reviewed for good engineering practice and overall site plan efficiency. Review of the Project for zoning related matters is being conducted by Town personnel and is excluded from this review.

TT 6/22/2022 Update

The Applicant has supplied TT with a revised submission addressing comments provided in our previous letter including the following documents:

- A Response to Comments letter dated June 14, 2022, prepared by TBI

The revised Plans and supporting information were reviewed against our previous comment letter (June 9, 2022) and comments have been tracked accordingly. Text shown in gray represents information contained in previous correspondence while new information is shown in black text.

Infrastructure Northeast
Marlborough Technology Park 100 Nickerson Road, Marlborough, MA 01752
Tel 508.786.2200 Fax 508.786.2201 tetratech.com

TT 6/28/22 Update

The Applicant has supplied TT with a revised submission addressing comments provided in our previous letter including the following documents:

- A plan (Plans) set titled "Medway Commons, 67C Main Street Medway, Massachusetts, BrightPath Child Care Center" dated May 19, 2021, with revisions through June 22, 2022, prepared by TBI.
- Email correspondence with Medway Fire Department dated June 14, 2022.
- Waiver request form dated June 22, 2022, prepared by TBI

The revised Plans and supporting information were reviewed against our previous comment letter (June 22, 2022) and comments have been tracked accordingly. Text shown in gray represents information contained in previous correspondence while new information is shown in black text. **Comments resolved or Conditions recommended in the previous letter have been removed from this correspondence to consolidate the document for ease of review.**

SITE PLAN REVIEW

Site Plan Rules and Regulations (Chapter 200)

1. Applicant shall confirm all existing and proposed elevations refer to the North American Vertical Datum of 1988 (NAVD88). (Ch. 200 §204-4.C)
   - *TBI 6/14/22 Response: Please note that 204-4.C. is a requirement under major site plan and this application is for minor site plan. Note that in 2004 a waiver was granted for this requirement.*
     - **TT 6/22/22 Update: The Minor Site Plan Review section refers to the Major Site Plan Review section in the Regulations, see §205-4. We recommend a waiver request consistent with prior Site Plan Decisions at the site.**
     - **TT 6/28/22 Update: The Applicant has provided a waiver request. No action necessary until PEDB decision on waivers.**
2. The Applicant shall provide a space on the Plans, including the cover sheet, for the Board's signature block, including Decision and plan endorsement dates, and the Town Clerk's no appeal certification. (Ch. 200 §204-4.E)
   - *TBI 6/14/22 Response: Please note that 204-4.C. is a requirement under major site plan and this application is for minor site plan.*
     - **TT 6/22/22 Update: The Minor Site Plan Review section refers to the Major Site Plan Review section in the Regulations, see §205-4.**
     - **TT 6/28/22 Update: In our opinion, this comment is resolved.**
5. A table displaying the Project's compliance with parking space requirements is provided in the Applicant's Minor Site Plan Application Package. However, the table should be provided on the Plans as well. (Ch. 200 §205-5.E.12)
   - *TBI 6/14/22 Response: The plans will be updated to include the table.*
     - **TT 6/22/22 Update: We will review the updated Plans when submitted.**
     - **TT 6/28/22 Update: In our opinion, this comment is resolved.**
6. The proposed addition of outdoor play space will close an ingress/egress point for the Medway Commons Development. We recommend the Applicant coordinate with the Medway Fire Department to confirm sufficient emergency access is maintained once the proposed plan is implemented. (Ch. 200 §207-11.A.17)
   - *TBI 6/14/22 Response: We reached out to the Fire Department and are awaiting comments.*
     - **TT 6/22/22 Update: We recommend a Condition requiring the Applicant provide written confirmation from the Medway Fire Department.**
     - **TT 6/28/22 Update: In our opinion, this comment is resolved.**

7. Hot mix asphalt (HMA) surfacing shall be a minimum depth of three and one-half inches in parking areas. The proposed HMA thickness is 3 inches (2" binder, 1" top). (Ch. 200 §207-12.E)
   - *TBI 6/14/22 Response: The detail will be revised to reflect three and one-half inches.*
     - **TT 6/22/22 Update: We will review the updated Plans when submitted.**
     - **TT 6/28/22 Update: In our opinion, this comment is resolved.**
9. A Lighting Plan has not been provided. The Applicant shall confirm if existing lighting at the site is sufficient to allow safe travel during hours of operation in periods of the year with less sunlight (i.e. drop-off/pick-up time during fall/winter months). (Ch. 200 §207-18)
   - *TBI 6/14/22 Response: Existing light levels in this area range from 3.9 to 5.8 which is sufficient to allow for safe travel within the parking area. The approved photometric plan will be submitted.*
     - **TT 6/22/22 Update: We do not anticipate any issues with lighting at the site since several light poles will be modified as part of the Project. We will review the updated Plans when submitted.**
     - **TT 6/28/22 Update: A Lighting Plan has not been provided but was presented at the June 14, 2022 hearing. We do not anticipate any issues with lighting at the site. In our opinion, this comment is resolved.**

General Site Plan Comments

10. We recommend a guardrail, bollards or similar crash protection along the west side length of the outdoor play area and the adjacent driveway. Heavy equipment traffic is common along the driveway and protection of the outdoor play areas shall be paramount.
    - *TBI 6/14/22 Response: BrightPath representatives believe the curb, almost 6 feet of landscape area and the fence provides adequate protection. Bollards will be provided along the southerly corner of the infant play area. Please note the right lanes of this driveway only serve the Cassidy Farm for exiting.*
      - **TT 6/22/22 Update: As discussed at the June 14, 2022 PEDB meeting, the Applicant stated that there are no right angle approaches to the play area but they will be adding bollards to the southern end of the playground area to prevent potential issues at that location. However, as we also discussed in the Traffic review, we also recommend the Applicant consider extending the existing median at the adjacent crosswalk (west of the playgrounds) to the south so that vehicles cannot make U-turns at this location to enhance safety of the proposed playground area.**
      - **TT 6/28/22 Update: The Applicant has extended the existing median to prevent U-turns at the crosswalk location. Additionally, bollards have been added immediately south of the infant play area. In our opinion, this comment is resolved.**
11. The Applicant is proposing to remove the existing crosswalk on the west side of the building. We recommend the sidewalk section to the north of the crosswalk also be removed to limit pedestrian traffic to a dead-end sidewalk with no formal crossing. This will also reduce impervious coverage at the site.
    - *TBI 6/14/22 Response: After consultation with BrightPath, an egress gate will be provided from the toddler area to access the crosswalk in the event of an emergency. The plans will be revised the show the crosswalk will remain in place.*
      - **TT 6/22/22 Update: We will review the revised Plans when submitted.**
      - **TT 6/28/22 Update: The Applicant has maintained the existing crosswalk and added an egress gate to this location. In our opinion, this comment is resolved.**
12. It appears proposed grading (207 contour) is outside of the limits of the proposed paving. We recommend the Applicant repave the entire area north of the proposed playgrounds (continue the sawcut on the eastern side of the playground north to the existing curb) to reduce any issues with matching existing conditions in that area while also reducing the length of joints. This will also provide a cleaner aesthetic to the Project by limiting jogs in new vs. old pavement.

- *TBI 6/14/22 Response: We will revise the plans to show the additional area of paving adjacent to the parking spaces.*
  - **TT 6/22/22 Update: We will review the revised Plans when submitted.**
  - **TT 6/28/22 Update: In our opinion, this comment is resolved.**

13. The Applicant should provide a smooth curb transition with a radius and tangent points to tie in the proposed curb to existing where the existing driveway is being removed on the west side of the playground areas.
    - *TBI 6/14/22 Response: A curb transition is currently shown, and a detail will be provided on the revised plans.*
      - **TT 6/22/22 Update: As discussed at the June 14, 2022 PEDB meeting, the Applicant will provide the recommended curb improvements noted in our original comment. We will review the revised Plans when submitted.**
      - **TT 6/28/22 Update: In our opinion, this comment is resolved.**

16. A portion of the existing firelane along the front of the existing building is proposed to be removed and should be shown as repaved/restriped on the Plan.
    - *TBI 6/14/22 Response: The plan will be revised to also show a note in this area calling out the areas of new pavement (currently indicated as shaded on the plan).*
      - **TT 6/22/22 Update: We will review the revised Plans when submitted.**
      - **TT 6/28/22 Update: In our opinion, this comment is resolved.**

TRAFFIC REVIEW

General Traffic Comments

24. We recommend a standard-sized sidewalk be provided along the east side of the outdoor play area to connect the northerly parking spaces adjacent to the daycare center to the facility's main indoor doorway.
    - *TBI 6/14/22 Response: BrightPath indicates this is not necessary as parking for drop-off and pick-up will be in the two rows of parking adjacent to the existing sidewalk in the island.*
      - **TT 6/22/22 Update: As discussed at the June 14, 2022 PEDB meeting, we recommend the Applicant consider modifying the island at the north side of the parking aisle immediately to the east to accommodate pedestrian movements from the north side of the proposed playground area.**
      - **TT 6/28/22 Update: We continue to recommend that a designated pathway from the proposed parking spaces north of the playground area to the building entrance be provided. If this is not feasible, we recommend the Applicant ensure that vegetation in the area of the parking spaces north of the playground area and the crosswalk and sidewalk at the parking median to the east be maintained so that pedestrians walking in this area are as visible as possible.**

25. We recommend an island be added to the southerly portion of the parking aisle immediately adjacent to the east side of the daycare outdoor play area to provide a pedestrian refuge area and shorten the crosswalk distance to the main indoor doorway.
    - *TBI 6/14/22 Response: BrightPath indicates an island in this location will obstruct the accessible spaces.*
      - **TT 6/22/22 Update: We recommend the Applicant consider installing a small pedestrian refuge area at the southerly end of the sidewalk to enhance pedestrian safety in this area if a larger island is not feasible.**
      - **TT 6/28/22 Update: Pavement striping in this area has been added to the June 23, 2022 Plans. In our opinion, this comment is resolved.**

26. Although not discussed in the traffic memo, Vanasse and Associates, Inc. (VAI) completed a Road Safety Audit (RSA) for the Route 109/Medway Commons/Walgreens driveway intersection (Dated April 2022) as part of the nearby multifamily residential development Project to be located at 39 Main Street in Medway. The April 2022 RSA identified numerous potential short-term and long-term improvements to enhance safety at the Route 109/Medway Commons/Walgreens driveway intersection. Given that this intersection serves as the access to the Project site, we recommend the Applicant work with the Town to identify which, if any, of the safety improvements identified in the April 2022 should be implemented as part of the proposed daycare facility Project.
    - *TBI 6/14/22 Response: We understand the RSA is still subject to review by MassDOT and this minor site modification does not impact traffic operations.*
        - **TT 6/22/22 Update: We recommend the Applicant coordinate with the Town to determine if any of the safety-based improvements recommended in the RSA for the main driveway serving the plaza should be implemented as part of this Project.**
        - **TT 6/28/22 Update: We continue to recommend the Applicant coordinate with the Town to determine if any of the safety-based improvements recommended in the RSA for the main driveway serving the plaza should be implemented as part of this Project.**
27. We recommend installing pedestrian crossing warning signage at the internal midblock crosswalk located at the northerly end of the parking aisle immediately east of the proposed daycare outdoor play area to increase visibility of the additional vehicle activity in this part of the parking lot due to the proposed daycare use.
    - *TBI 6/14/22 Response: This crosswalk is rarely if ever used and as noted in the response to comment #24, parking for drop-off and pick-up will be in the two rows of parking adjacent to the sidewalk.*
        - **TT 6/22/22 Update: We recommend the Applicant ensure that vegetation in the area of the crosswalk be maintained so that the crosswalk is as visible as possible if advance warning signage will not be implemented.**
        - **TT 6/28/22 Update: We continue to recommend the Applicant ensure that vegetation in the area of the crosswalk be maintained in this area so that the crosswalk is as visible as possible if advance warning signage will not be implemented.**
28. We recommend the Applicant provide AutoTurn analyses to ensure that the largest emergency vehicle can adequately circulate through the modified portion of the parking lot. The emergency circulation should be reviewed with the Medway Fire Department.
    - *TBI 6/14/22 Response: As noted in the response to comment #6, we are awaiting comments from the Fire Department.*
        - **TT 6/22/22 Update: The Applicant commits to reviewing the site plan modifications with the Fire Department. The Project proposes to change the circulation patterns in front of the building by closing the southeasterly access drive which could impact emergency vehicle circulation.**
        - **TT 6/28/22 Update: The Applicant provided an email dated June 14, 2022 from the Medway Fire Department confirming that they have no comments on the site plan. In our opinion, this comment is resolved.**

ADDITIONAL COMMENTS

30. The Applicant indicated at the June 14, 2022 PEDB meeting that they would no longer be removing the existing crosswalk connecting the west side of the building to the existing plaza sidewalk on the west side of the Medway Commons circulation roadway. We recommend the Applicant consider extending the existing median to the south so that vehicles cannot make U-turns at this location to enhance pedestrian safety and enhance safety of the proposed playground area.
    - **TT 6/28/22 Update: The median extension has been added to the June 23, 2022 Plans. In our opinion, this comment is resolved.**

31. At the June 14, 2022 PEDB meeting, the Applicant committed to exploring the feasibility of implementing geometric improvements to enhance safety at the existing on-site intersection of the main plaza circulation roadway, the Starbucks building driveway, the site building driveway and the Shaw's parking lot. We will reserve comment on this item until the Applicant provides a concept plan for review.
    - **TT 6/28/22 Update: The Applicant proposes to implement all-way stop control at this internal intersection as shown in the June 23, 2022 plans. In our opinion, this comment is resolved.**

These comments are offered as guides for use during the Town's review and additional comments may be generated during the course of review. The Applicant shall be advised that any absence of comment shall not relieve them of the responsibility to comply with all applicable local, state and federal regulations for the Project. If you have any questions or comments, please feel free to contact us at (508) 786-2200.

Very truly yours,

Steven M. Bouley, PE (Site Review)
Project Manager

Courtney E. Sudak, PE (Traffic Review)
Project Manager

P:\21583\143-21583-22019 (PEDB BRIGHT PATH CCC)\DOCS\BRIGHT PATH CCC-PEDBREV(2022-06-28).DOCX

June 28, 2022
Medway Planning & Economic Development Board Meeting

Field Change Discussion – Medway Mill

- Email from John Greene requesting a field change, with attachment, dated June 13, 2022

Anna Rice

From: John Greene <johnjgreene1@gmail.com>
Sent: Monday, June 13, 2022 4:12 PM
To: Barbara Saint Andre; Anna Rice
Subject: [External] Fwd: Medway Mill Requested Field Changes
Attachments: Medway Mill 6-13-22.pdf

Sending a copy to you as requested. Please contact me and let me know if I am on Tuesday night's agenda.

Thank you,

John J. Greene
President

NRG Concepts
165 Main St., Suite 307
Medway, MA 02053

Phone: 508-367-8745
Email: johnjgreene1@gmail.com

---------- Forwarded message ---------
From: **John Greene** <johnjgreene1@gmail.com>
Date: Mon, Jun 13, 2022 at 3:54 PM
Subject: Medway Mill Requested Field Changes
To: Susan Affleck-Childs <sachilds@townofmedway.org>
Cc: Bouley, Steven <steven.bouley@tetratech.com>

Dear Susan,

Find enclosed the requested field changes for Thursday night's agenda regarding 165 Main St., Medway.

A) We were able to save several 60' high trees, thus we request moving 2 trees onto opposite side of 8' fence to the inside. They won't survive behind the fence.

B) The board enforced an 8' fence, the conditions won't allow my new screening trees to survive. Thus, we request permission to move four conifer screening trees to the parking lot side of fence, allowing them to thrive and produce screening.

I reviewed this with Steve Bouley of Tetra Tech, he had no issues.

C) I hereby request to change my main lot light pole footings from 20" x 20" square to 18” cylinder footing. I have provided drawings from my lighting manufacturer, which actually call for more rebar than the town requirement. I also ask for the top of cement footing to finish at 2 feet above grade, the town specs call for 2’ 6”. Town Park pole footings sit 8” – 12” off grade (see photo).

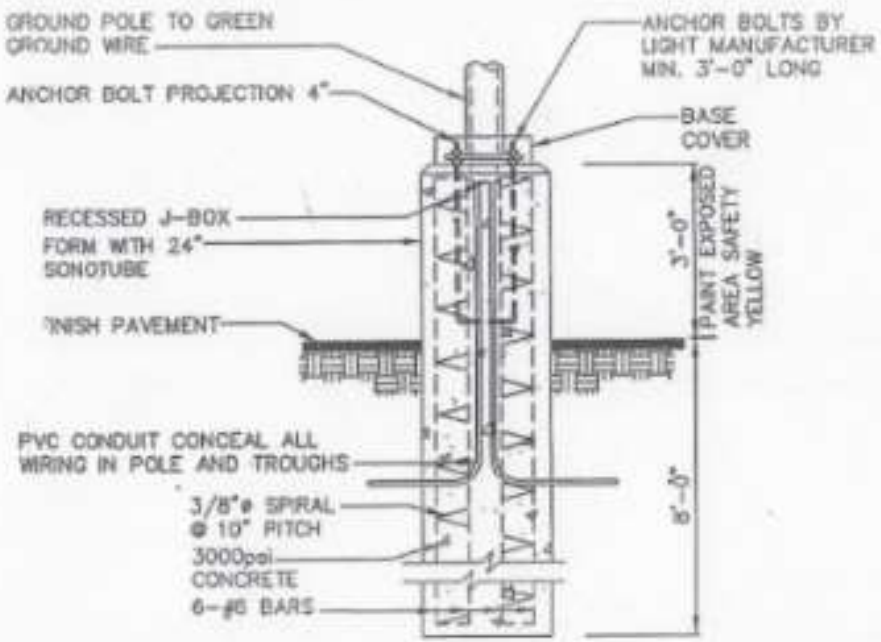
Sincerely,

John J. Greene
President

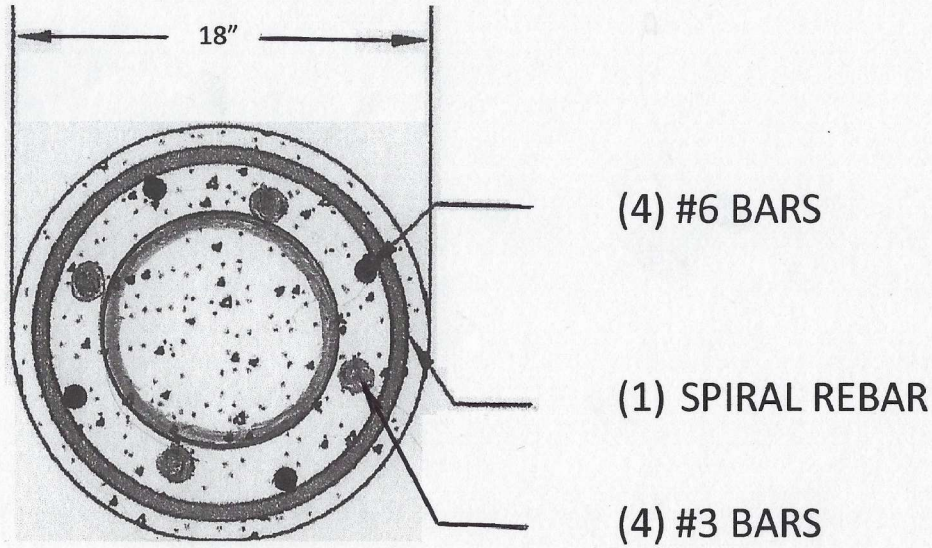
NRG Concepts
165 Main St., Suite 307
Medway, MA 02053

Phone: 508-367-8745
Email: johnjgreene1@gmail.com

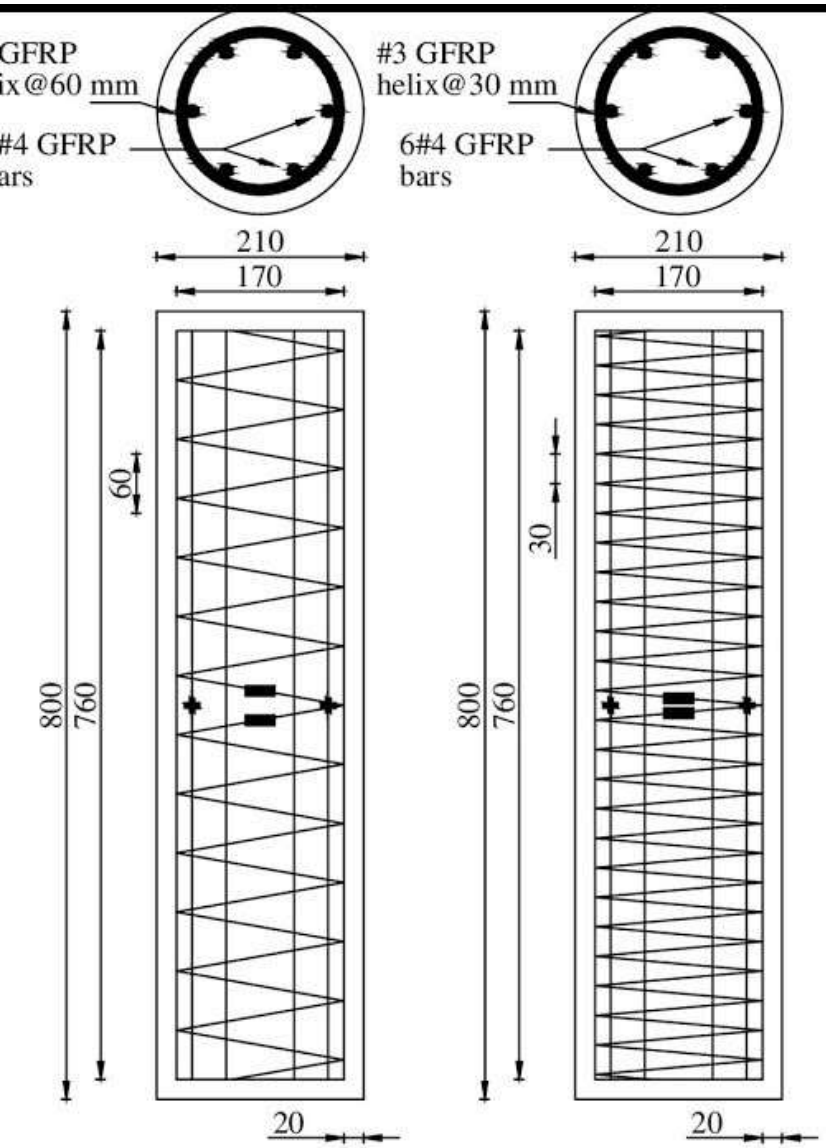
Here's an example for a 30' pole and fixture:



LITHONIA LIGHTING



SECTION AA
18" CIRCULAR COLUMN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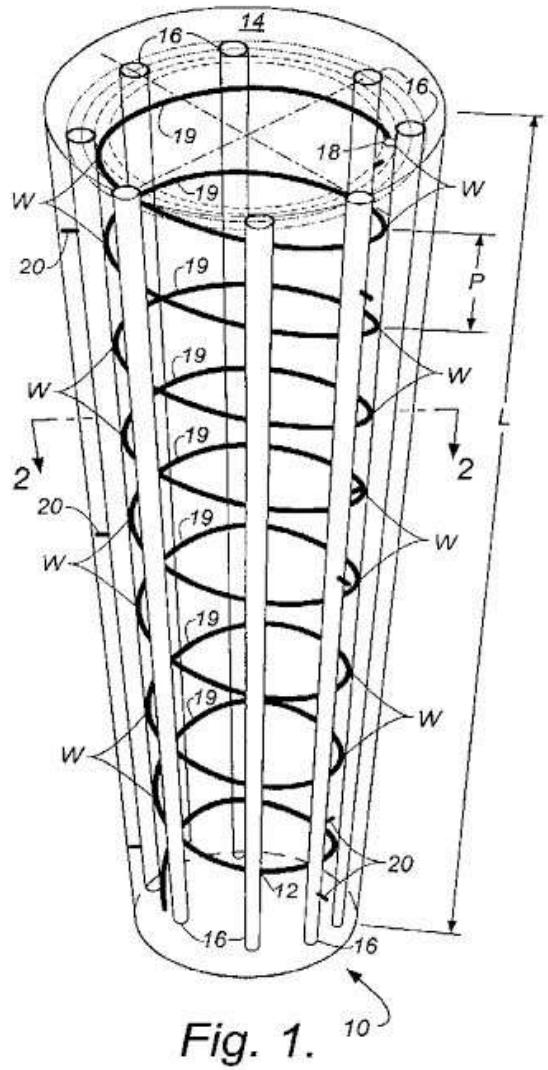
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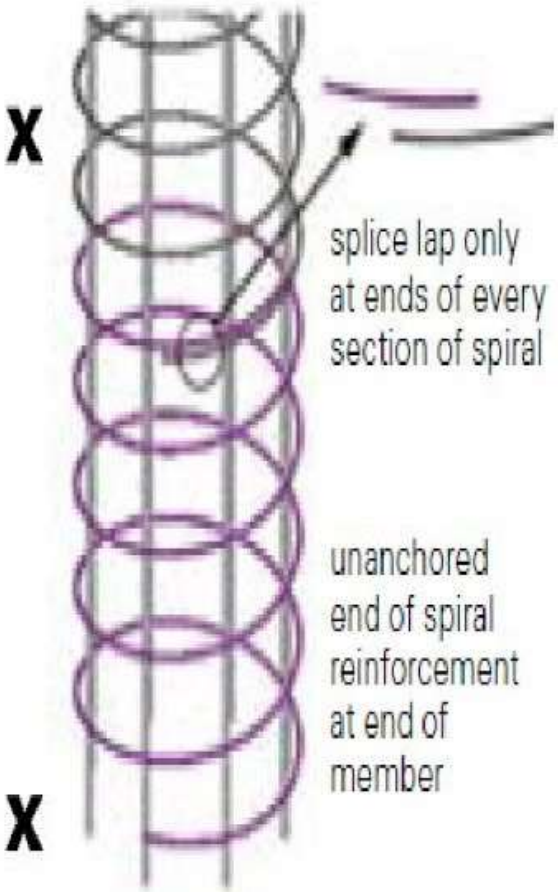
Fig. 1.


X
X
splice lap only
at ends of every
section of spiral
unanchored
end of spiral
reinforcement
at end of
member

Light Pole at Choate Park

SEE REMEDIATION
SHEET 12
FOR PLANTING

Existing 60’ Trees That Were Saved

Saved Trees Behind Fence

Sample of Canopy

Sample of Canopy 2 Trees

Plan Showing Trees on Parking Lot Side

New Tree Locations

Minimal Room Behind Fence

New Tree Locations

New Tree Locations

Trees After Fence Ends

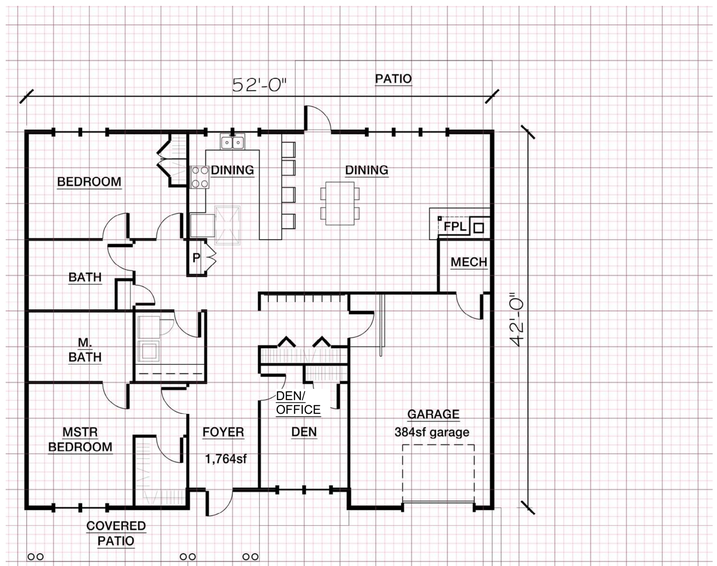
June 28, 2022
Medway Planning & Economic Development Board Meeting

Field Change Discussion – Salmon Willows Cottages

You will remember that Salmon sold a portion of the site on the east side to John Burns of Black Brook Realty to build some of the independent living "cottage" units. In November 2021, the PEDB approved his requested field change to reduce the building footprint and modify the architectural style of those cottages from what had originally been approved in 2016 (Dario Designs version). Both of those designs are Attached.

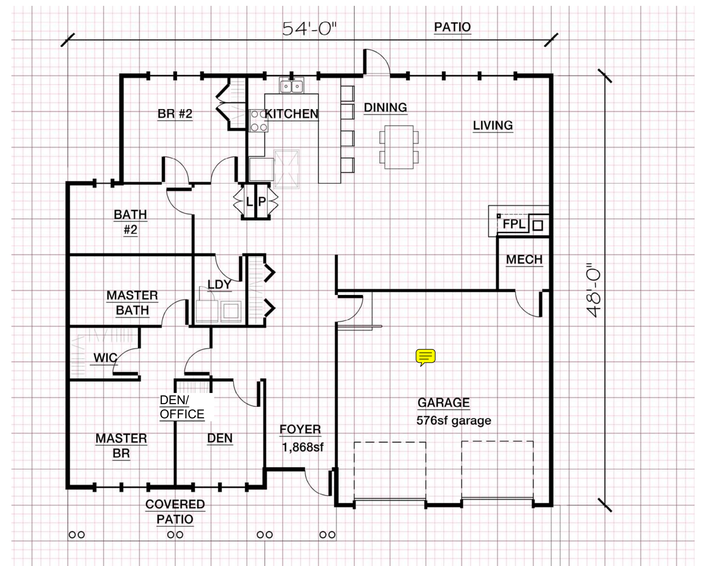
Mr. Burns has not proposed another field change to further reduce the building footprints due to construction challenges resulting from site conditions. See attached revised site plans showing the previous footprints and the proposed revisions in the areas under his control. In addition, he has provided a revised architectural design to correspond to the new footprints. See Attached. There is no change in the number of units.

Chris Sparages attended the DRC meeting on 6-22-2022, the DRC letter will be sent to the Board.



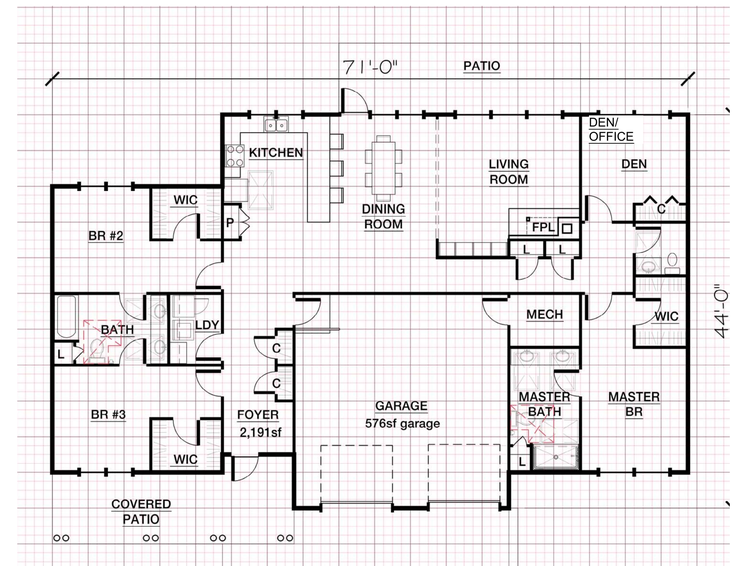
UNIT: 1,764 SF
GARAGE: 384 SF
TOTAL: 2,148 SF

3 — 2 BED - 1 CAR
Scale: 1/8" = 1'-0"



UNIT: 1,868 SF
GARAGE: 576 SF
TOTAL: 2,444 SF

2 — 2 BED - 2 CAR
Scale: 1/8" = 1'-0"



UNIT: 2,191 SF
GARAGE: 576 SF
TOTAL: 2,767 SF

1 — 3 BED - 2 CAR
Scale: 1/8" = 1'-0"

PLANNING BOARD APPROVAL REQUIRED UNDER THE SPECIAL PERMIT ARCPUD ZONING BY-LAW.

MEDWAY PLANNING BOARD:

DATE OF APPROVAL:
DATE OF ENDORSEMENT:

REVISIONS

NO.		
1	5/23/16	FINAL SUBMISSION

PROJECT:
SALMON HEALTH AND RETIREMENT COMMUNITY
259, 261, 261 R & 263 Village Street, Medway MA 02053

SHEET TITLE:
FLOOR PLANS - DETACHED COTTAGES

ARCHITECT:
DARIO DESIGNS
ARCHITECTURE DESIGN PLANNING CONSULTING
318 MAIN STREET - SUITE 210
NORTHBOROUGH, MA 01532
PH. 508-393-4444
FAX. 508-877-4444

CONSULTANT:
LEVI + WONG DESIGN ASSOCIATES

LANDSCAPE ARCHITECT:
CLA design/construction solutions

OWNER:
SALMON HEALTH and RETIREMENT
CONTINUING CARE MANAGEMENT, LLC
1 LYMAN STREET, WESTBOROUGH, MA 01581 (508) 898-3416

DATE 2/18/16
SCALE: AS NOTED
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PROJECT NO. 1507
NORTH
SHEET NO. A1.01DC

2B 2A

5 Front Elevation
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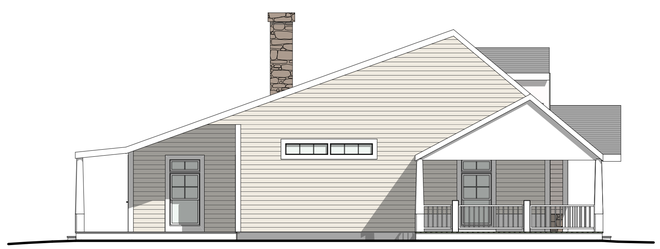
2A 2B

4 Rear Elevation
Scale: 1/8" = 1'-0"

2A

3 Side Elevation
Scale: 1/8" = 1'-0"



2B

2 Side Elevation
Scale: 1/8" = 1'-0"

2C

1 Side Elevation
Scale: 1/8" = 1'-0"

DETACHED COTTAGE - UNIT TYPE LEGEND

1	**2 Bedroom - 1 Car**	**A**	**Gable Roof**	**.1**	**Color Variation 1**
2	**2 Bedroom - 2 Car**	**B**	**Cape Roof**	**.2**	**Color Variation 2**
3	**3 Bedroom - 2 Car**	**C**	**Hip Roof**	**.3**	**Color Variation 3**

1A 2 Bedroom - 1 Car **(Gable Roof)**
1B 2 Bedroom - 1 Car **(Cape Roof)**
1C 2 Bedroom - 1 Car **(Hip Roof)**

2A 2 Bedroom - 2 Car **(Gable Roof)**
2B 2 Bedroom - 2 Car **(Cape Roof)**
2C 2 Bedroom - 2 Car **(Hip Roof)**

3A 3 Bedroom - 2 Car **(Gable Roof)**
3B 3 Bedroom - 2 Car **(Cape Roof)**
3C 3 Bedroom - 2 Car **(Hip Roof)**

PLANNING BOARD APPROVAL REQUIRED UNDER THE SPECIAL PERMIT ARCPUD ZONING BY-LAW.

MEDWAY PLANNING BOARD:

DATE OF APPROVAL:
DATE OF ENDORSEMENT:

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REVISIONS

NO.		
1	5/23/16	FINAL SUBMISSION

PROJECT:
SALMON HEALTH AND RETIREMENT COMMUNITY
259, 261, 261R & 263 Village Street, Medway MA 02053

SHEET TITLE:
EXTERIOR ELEVATIONS 1 - DETACHED COTTAGES DUPLEX

ARCHITECT:
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NORTHBOROUGH, MA 01532
TEL: 508-393-1144
FAX: 508-877-4484

CONSULTANT:
LEVI + WONG DESIGN ASSOCIATES
LWDA

LANDSCAPE ARCHITECT:
CHA
design/construction solutions

OWNER:
SALMON HEALTH and RETIREMENT
CONTINUING CARE MANAGEMENT, LLC
1 LYMAN STREET, WESTBOROUGH, MA 01581 (508) 898-3416

DATE 2/18/16
SCALE: AS NOTED
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PROJECT NO. 1507
NORTH
SHEET NO. **A2.01DC**

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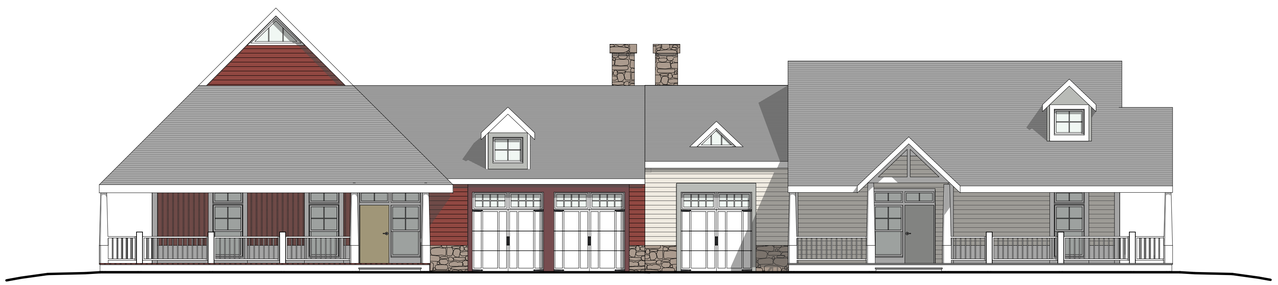

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6 2C
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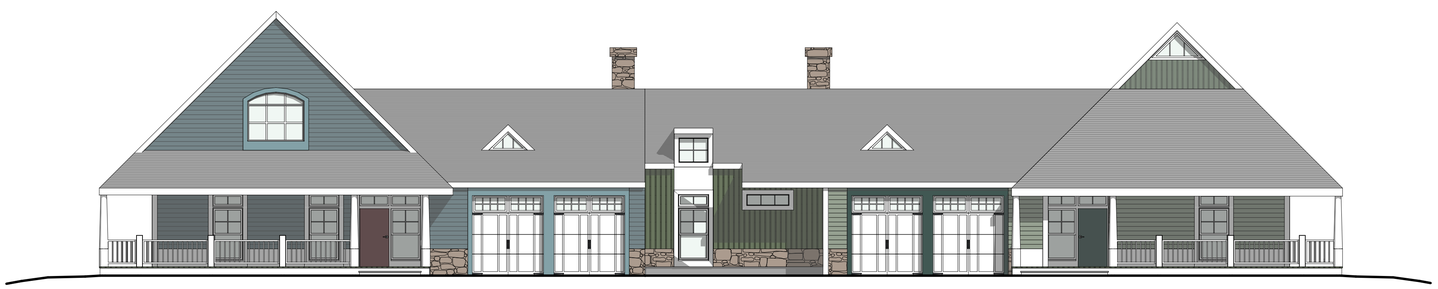
5 1B
Scale: 1/8" = 1'-0"



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3 3C
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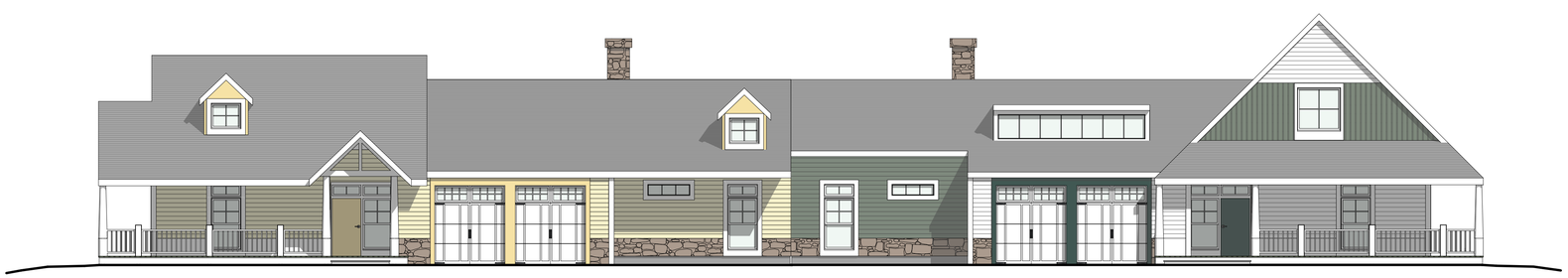

2 3B
Scale: 1/8" = 1'-0"

1 3A
Scale: 1/8" = 1'-0"

DETACHED COTTAGE - UNIT TYPE LEGEND

1	**2 Bedroom - 1 Car**	**A**	**Gable Roof**	**.1**	**Color Variation 1**
2	**2 Bedroom - 2 Car**	**B**	**Cape Roof**	**.2**	**Color Variation 2**
3	**3 Bedroom - 2 Car**	**C**	**Hip Roof**	**.3**	**Color Variation 3**

1A 2 Bedroom - 1 Car **(Gable Roof)**
1B 2 Bedroom - 1 Car **(Cape Roof)**
1C 2 Bedroom - 1 Car **(Hip Roof)**

2A 2 Bedroom - 2 Car **(Gable Roof)**
2B 2 Bedroom - 2 Car **(Cape Roof)**
2C 2 Bedroom - 2 Car **(Hip Roof)**

3A 3 Bedroom - 2 Car **(Gable Roof)**
3B 3 Bedroom - 2 Car **(Cape Roof)**
3C 3 Bedroom - 2 Car **(Hip Roof)**

PLANNING BOARD APPROVAL REQUIRED UNDER THE SPECIAL PERMIT ARCPUD ZONING BY-LAW.

MEDWAY PLANNING BOARD:

DATE OF APPROVAL:
DATE OF ENDORSEMENT:

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REVISIONS

NO.		
1	5/23/16	FINAL SUBMISSION

PROJECT:
SALMON HEALTH AND RETIREMENT COMMUNITY
259, 261, 261R & 263 Village Street, Medway MA 02053

SHEET TITLE:
EXTERIOR ELEVATIONS 2 - DETACHED COTTAGES DUPLEX

ARCHITECT:
DARIO DESIGNS
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318 MAIN STREET - SUITE 210
NORTHBOROUGH, MA 01532
TEL: 508-393-4444
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CONSULTANT:
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OWNER:
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CONTINUING CARE MANAGEMENT, LLC
1 LYMAN STREET, WESTBOROUGH, MA 01581 (508) 898-3416

DATE 2/18/16
SCALE: AS NOTED
0 4' 8' 16'
PROJECT NO. 1507
NORTH
SHEET NO. **A2.02DC**

2 BIRDS EYE PERSPECTIVE 1

NOT TO SCALE

1 GROUND PERSPECTIVE 1 - FRONT

NOT TO SCALE

PLANNING BOARD APPROVAL REQUIRED UNDER THE SPECIAL PERMIT ARCPUD ZONING BY-LAW.

MEDWAY PLANNING BOARD:

DATE OF APPROVAL:
DATE OF ENDORSEMENT:

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REVISIONS

NO.		
1	5/23/16	FINAL SUBMISSION

PROJECT:
SALMON HEALTH AND RETIREMENT COMMUNITY
259, 261, 261R & 263 Village Street, Medway MA 02053

SHEET TITLE:
EXTERIOR PERSPECTIVE - DETACHED COTTAGES DUPLEX

ARCHITECT:
DARIO DESIGNS
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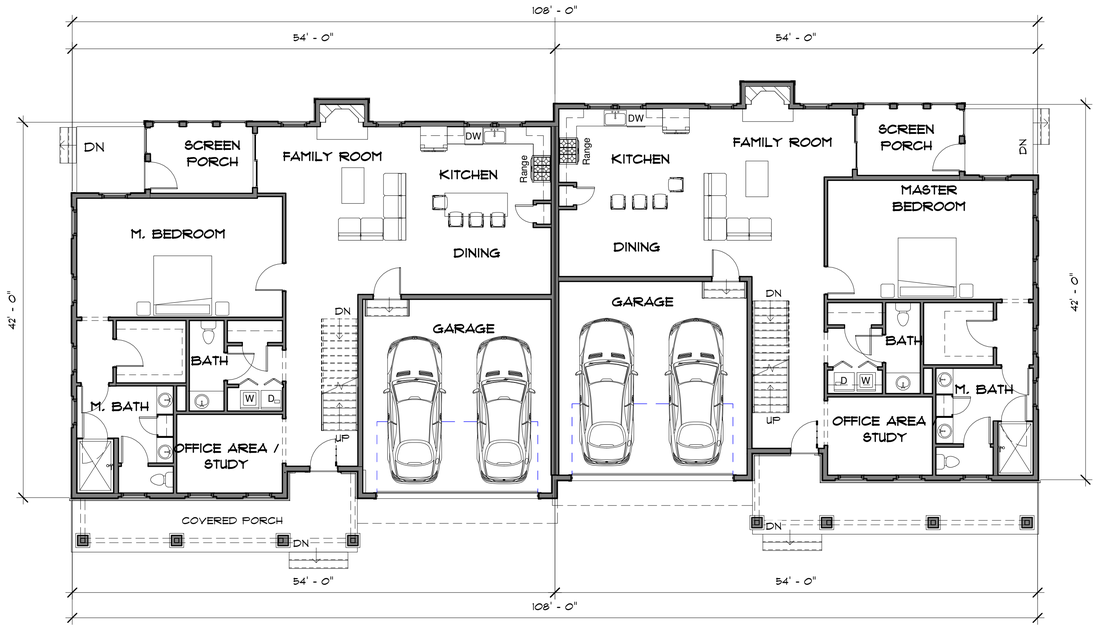
318 MAIN STREET - SUITE 210
NORTHBOROUGH, MA 01532
TEL: 508-393-3344
FAX: 508-393-4404

CONSULTANT:
LEVI + WONG DESIGN ASSOCIATES
LWDA

LANDSCAPE ARCHITECT:
CHA
design/construction solutions

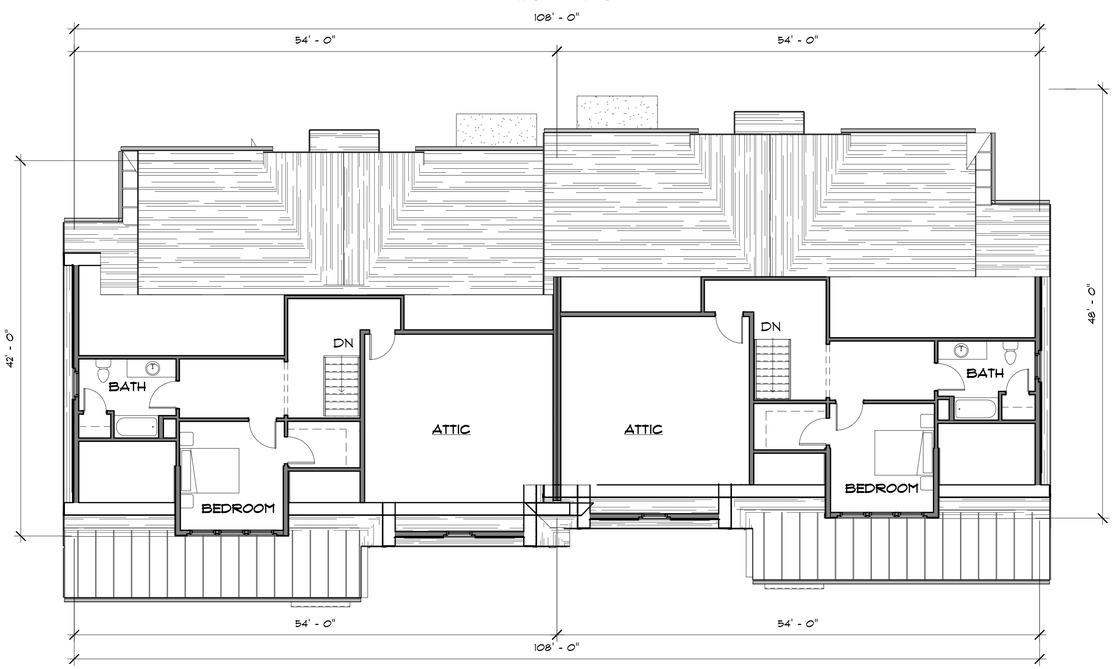
OWNER:
SALMON HEALTH and RETIREMENT
CONTINUING CARE MANAGEMENT, LLC
1 LYMAN STREET, WESTBOROUGH, MA 01581 (508) 898-3416

DATE	2/18/16
SCALE:	AS NOTED
0	
PROJECT NO.	1507
NORTH	SHEET NO. A2.03DC



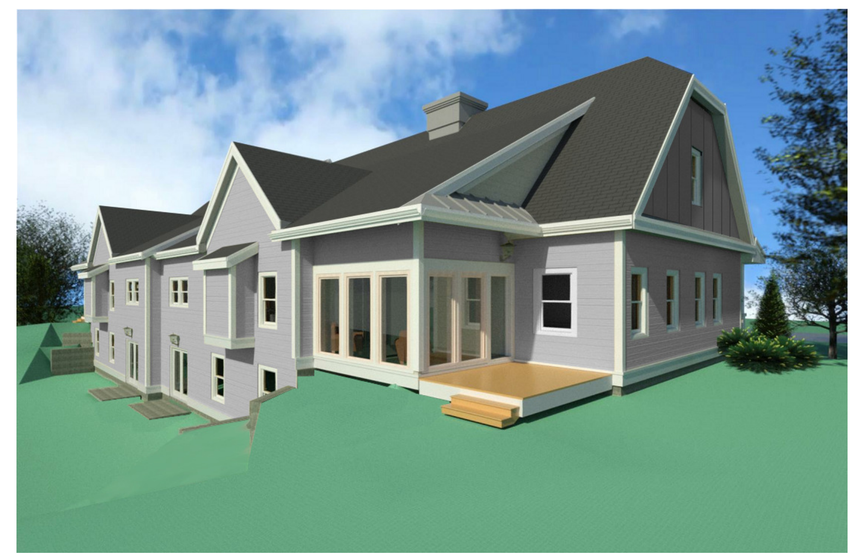
1 FIRST FLOOR

1/8" = 1'-0"



2 SECOND FLOOR

1/8" = 1'-0"



PROPOSED DUPLEX FOR:

BLACK BROOK REALTY

VILLAGE STREET
MEDWAY, MA.

DATE: OCTOBER 28, 2021

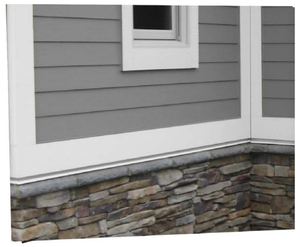
REGISTERED ARCHITECT
JOHN F. SULLIVAN, JR.
No. 9754
LOWELL, MASS.
COMMONWEALTH OF MASSACHUSETTS

DESIGNED BY:

GAVIN AND SULLIVAN ARCHITECTS, INC.

128 WARREN STREET
LOWELL, MA 01852

STANDING METAL SEAM ROOF



CULTURED STONE VENEER

GARAGE DOOR
18' x 9'

VINYL CLAPBOARD SIDING

EXTERIOR LANTERN SCONCE

1 FRONT ELEVATION
1/8" = 1'-0"

VINYL EXTERIOR TRIM BOARD

VINYL SHINGLE SIDING

INSULATED FIBERGLASS FRONT DOOR
9 PANEL

3 REAR ELEVATION
1/8" = 1'-0"

ASPHAULT ROOF SHINGLES

2 LEFT ELEVATION
1/8" = 1'-0"

4 RIGHT ELEVATION
1/8" = 1'-0"

DOUBLE HUNG WINDOWS

VINYL BATTEN BOARD SIDING

REGISTERED ARCHITECT
JOHN F. SULLIVAN, JR.
No. 9754
LOWELL, MASS.
COMMONWEALTH OF MASSACHUSETTS

PROPOSED DUPLEX FOR:

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DATE: OCTOBER 28, 2021

DESIGNED BY:

GAVIN AND SULLIVAN ARCHITECTS, INC.

128 WARREN STREET
LOWELL, MA 01852

3/24/16 ORIGINAL APPROVED PROJECT COVERAGE INFORMATION:

THE COVERAGE CALCULATION FOR THE 3/24/16 ORIGINAL APPROVED PROJECT BUILDING & DRIVEWAY LIMITS WITHIN EXCLUSIVE USE AREA 3C-2 TOTAL:
25,464 SF TOTAL COVERAGE

PENDING TOWN REVIEW PROPOSED PROJECT MODIFICATION COVERAGE INFORMATION:

THE COVERAGE CALCULATION FOR THE PENDING TOWN REVIEW PROPOSED PROJECT MODIFICATION BUILDING & DRIVEWAY LIMITS WITHIN EXCLUSIVE USE AREA 3C-2 TOTAL:17,761 SF
TOTAL COVERAGE OR A 31.3% REDUCTION IN TOTAL COVERAGE WITH BUILDING & DRIVEWAY LIMITS AS ILLUSTRATED BELOW, PROJECT WORK LIMITS REMAIN UNCHANGED FROM ORIGINAL ORDER OF CONDITIONS 216-854

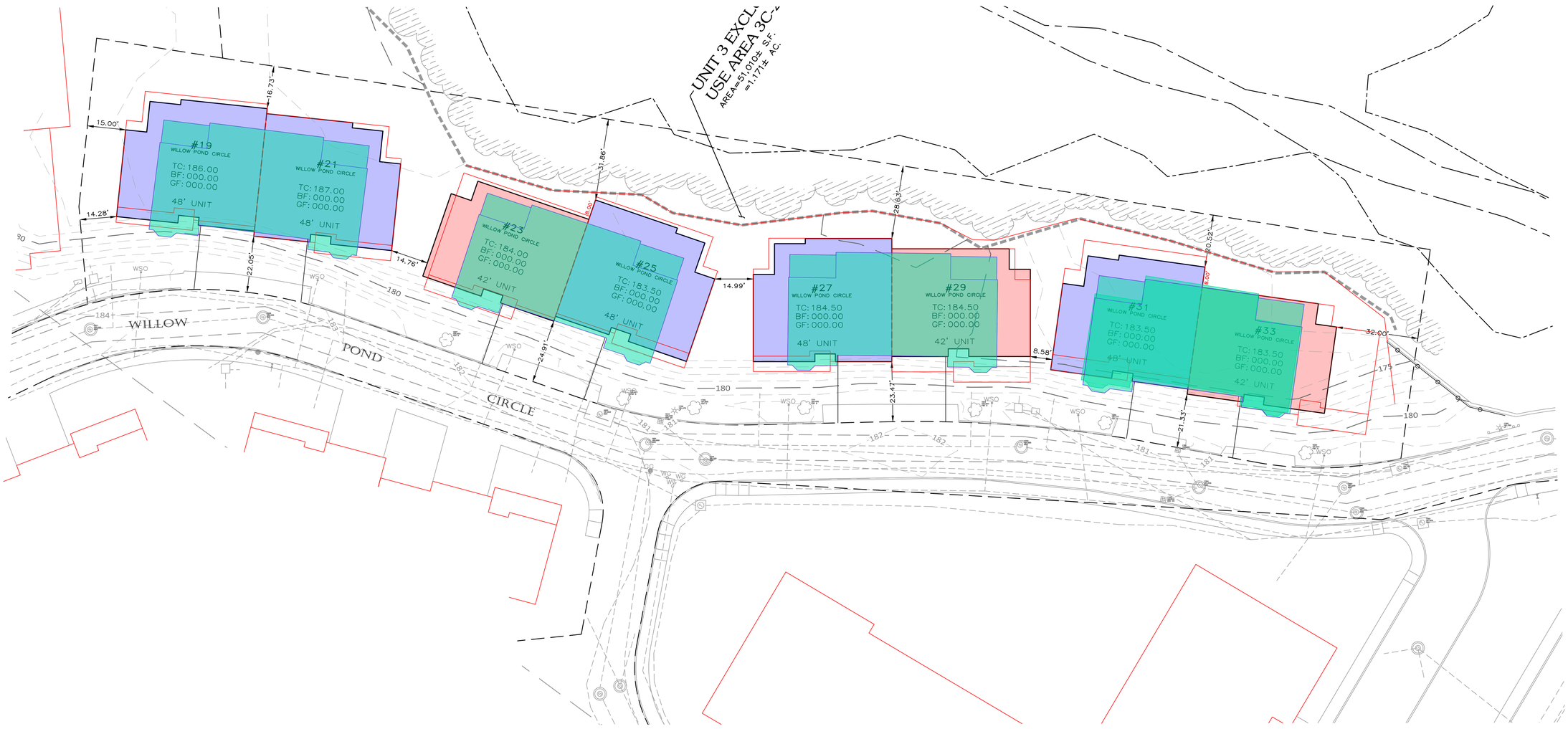
DIG SAFE NOTE

UNDERGROUND UTILITY LOCATIONS ARE NOT GUARANTEED.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION.

DIGSAFE IS TO BE NOTIFIED 72 BUSINESS HOURS IN ADVANCE OF CONSTRUCTION. CALL DIGSAFE AT 811.

DIG SAFE CALL 811



DRWN BY:	ZRB		
CHK'D BY:	PSB		
APRVD BY:	WML		

REVISIONS:

REV #	DATE	DESCRIPTION
0	5/9/22	ISSUED FOR REVIEW

Graphic Scale
1 inch = 20 feet
0 20 40 60

PREPARED BY:
Engineering Design Consultants, Inc.
32 Turnpike Road
Southborough, Massachusetts
(508) 480-0225

PROJECT:
THE WILLOWS AT MEDWAY
AND WHITNEY PLACE CONDOMINIUM
261 VILLAGE STREET
(NORFOLK COUNTY)
MEDWAY, MASSACHUSETTS

TITLE:
EXISTING & PROPOSED CONDITIONS
EXCLUSIVE USE AREA 3C-2

PREPARED FOR:
Willows Medway Townhomes Realty, LLC
1 Lyman Street
Westborough, Massachusetts 01581

DATE:
MAY 9, 2022

1 OF 1

EDC PROJECT NUMBER
3750

3750 SITE PLAN.DWG — SITE PLAN 3C-2

3/24/16 ORIGINAL APPROVED PROJECT COVERAGE INFORMATION:

THE COVERAGE CALCULATION FOR THE 3/24/16 ORIGINAL APPROVED PROJECT BUILDING & DRIVEWAY LIMITS WITHIN EXCLUSIVE USE AREA 3H:
19,194 SF TOTAL COVERAGE

PENDING TOWN REVIEW PROPOSED PROJECT MODIFICATION COVERAGE INFORMATION:

THE COVERAGE CALCULATION FOR THE PENDING TOWN REVIEW PROPOSED PROJECT MODIFICATION BUILDING & DRIVEWAY LIMITS WITHIN EXCLUSIVE USE AREA 3H TOTAL:13,684 SF
TOTAL COVERAGE OR A 28.7% REDUCTION IN TOTAL COVERAGE WITH BUILDING & DRIVEWAY LIMITS AS ILLUSTRATED BELOW, PROJECT WORK LIMITS REMAIN UNCHANGED FROM ORIGINAL ORDER OF CONDITIONS 216-854

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DRWN BY:	ZRB
CHK'D BY:	PSB
APRV'D BY:	WML

REVISIONS:

REV #	DATE	DESCRIPTION
0	5/9/22	ISSUED FOR REVIEW

Graphic Scale
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261 VILLAGE STREET
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MEDWAY, MASSACHUSETTS

TITLE:
EXISTING & PROPOSED CONDITIONS
EXCLUSIVE USE AREA 3H

PREPARED FOR:
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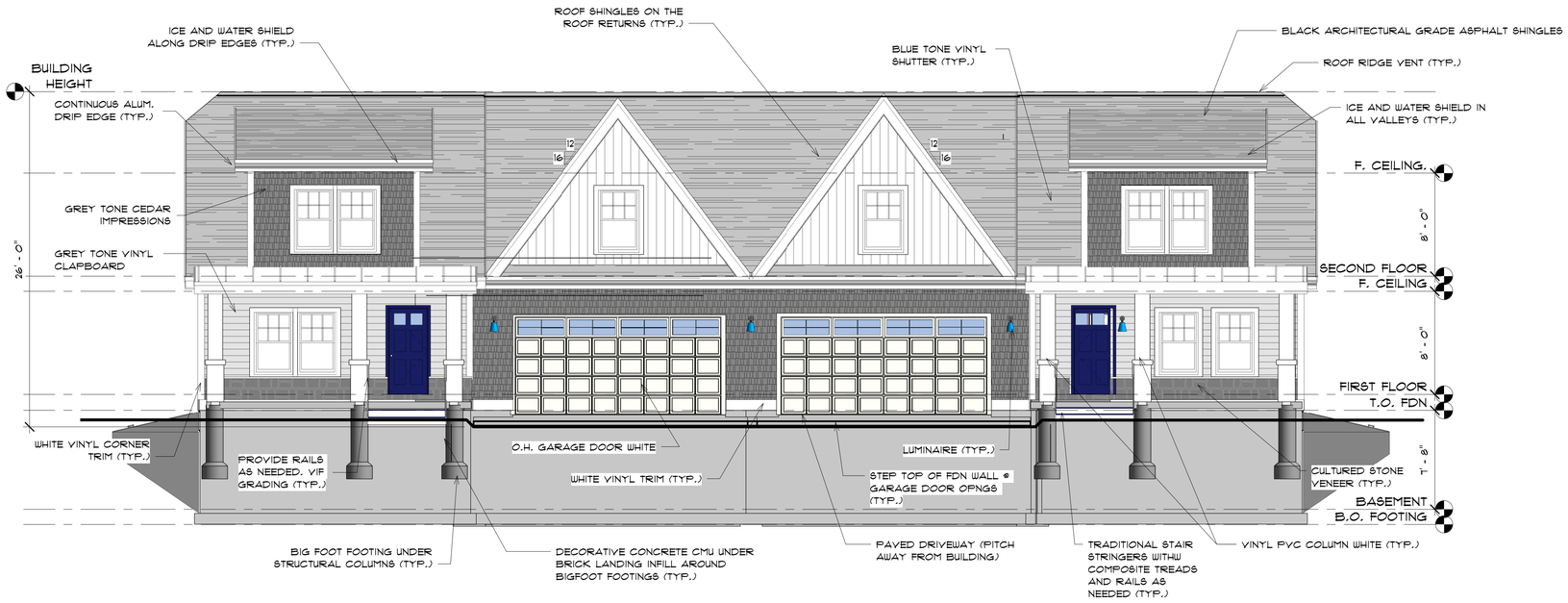
Westborough, Massachusetts 01581

DATE:
MAY 9, 2022

1 OF 1

EDC PROJECT NUMBER
3750

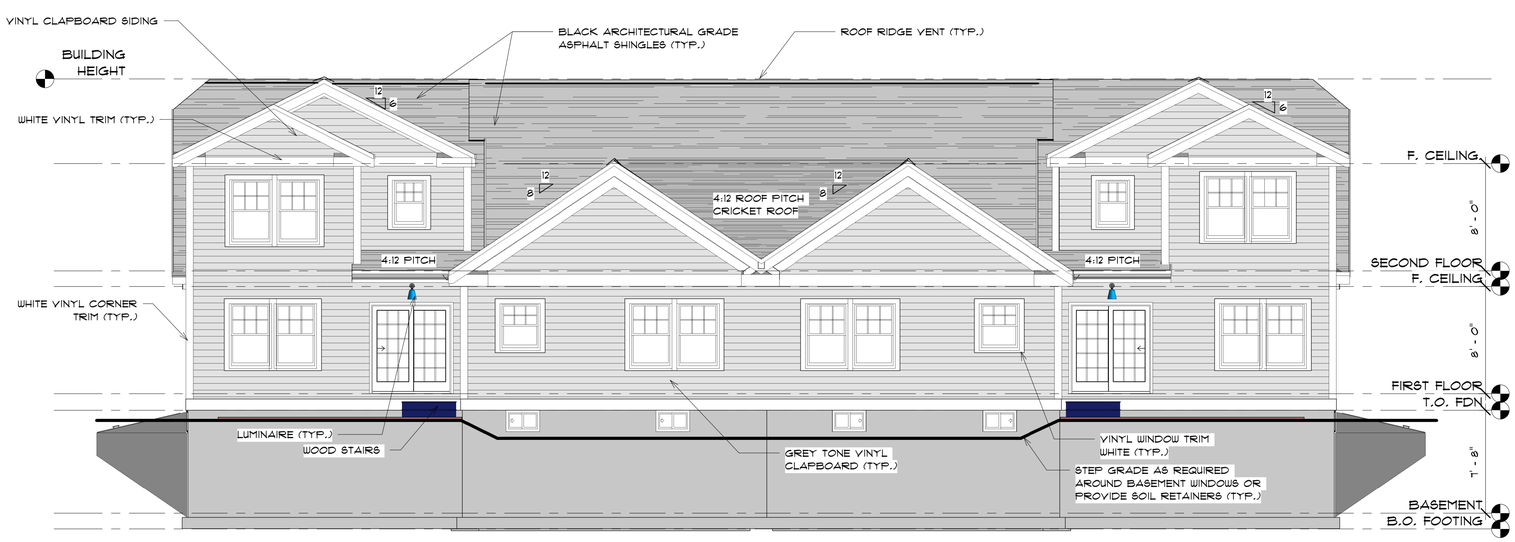
3750 SITE PLAN.DWG - SITE PLAN 3H



1 FRONT ELEVATION

3/16" = 1'-0"

CONTRACTOR TO VERIFY WITH CIVIL ENGINEER FINAL BASEMENT / GARAGE SLAB ELEVATIONS. ADJUST ELEVATIONS AS REQUIRED.



2 REAR ELEVATION

3/16" = 1'-0"

SQUARE FOOTAGE CHAT
FIRST FLOOR - 1,125 +/- SQ.FT. SECOND FLOOR - 1,120 +/- SQ.FT. GARAGE - 465 +/- SQ.FT. TOTAL - 2,710 SQ.FT.

DUPLEX PROGRESS

BUILDING ENVELOPE ASPECTS TO COMPLY WITH CURRENT ENERGY CODE

IT IS THE CONTRACTOR'S OR OWNER'S RESPONSIBILTY TO EMPLOY GAVIN AND SULLIVAN ARCHITECTS TO PERFORM ON SITE VERIFICATION IF REQUIRED OR DESIRED. IT IS THE OWNER'S OR CONTRACTOR'S RESPONSIBILTY TO ASSURE THAT TIMELY NOTIFICATION OF THE PROJECT PROGRESS IS PROVIDED SO THAT ADEQUATE ON SITE ARCHITECTURAL PRESENCE IS OBTAINED. LIABILTY IS SEVERLY DIMINISHED IF ARCHITECT ON SITE VERIFICATION IS NOT PERFORMED.

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DESIGNED BY:
GAVIN & SULLIVAN ARCHITECTS, INC.
128 WARREN STREET LOWELL, MA.

PROPOSED MULTI - FAMILY FOR:
BLACK BROOK REALTY

MEDWAY, MA

ELEVATIONS

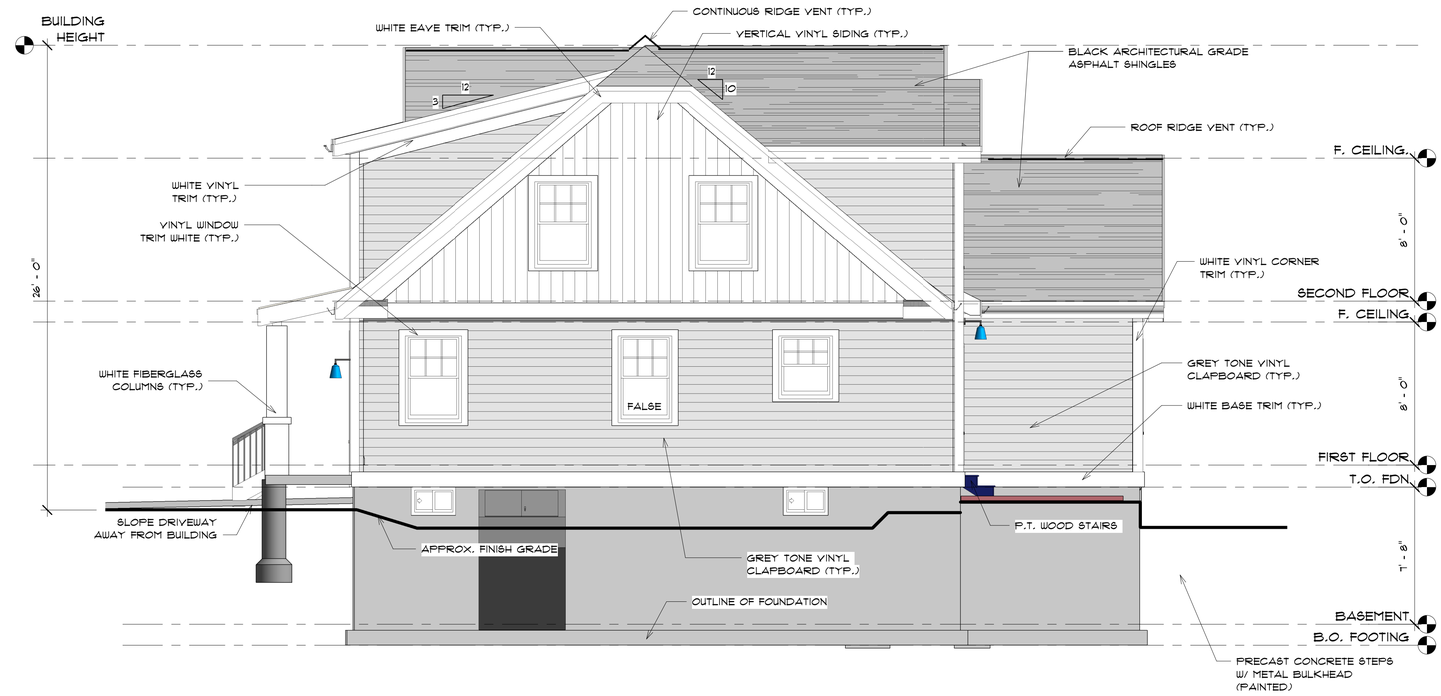
SCALE AS NOTED

DRAWN BY: ADS

PROJECT: *****

DATE: 05-25-2022

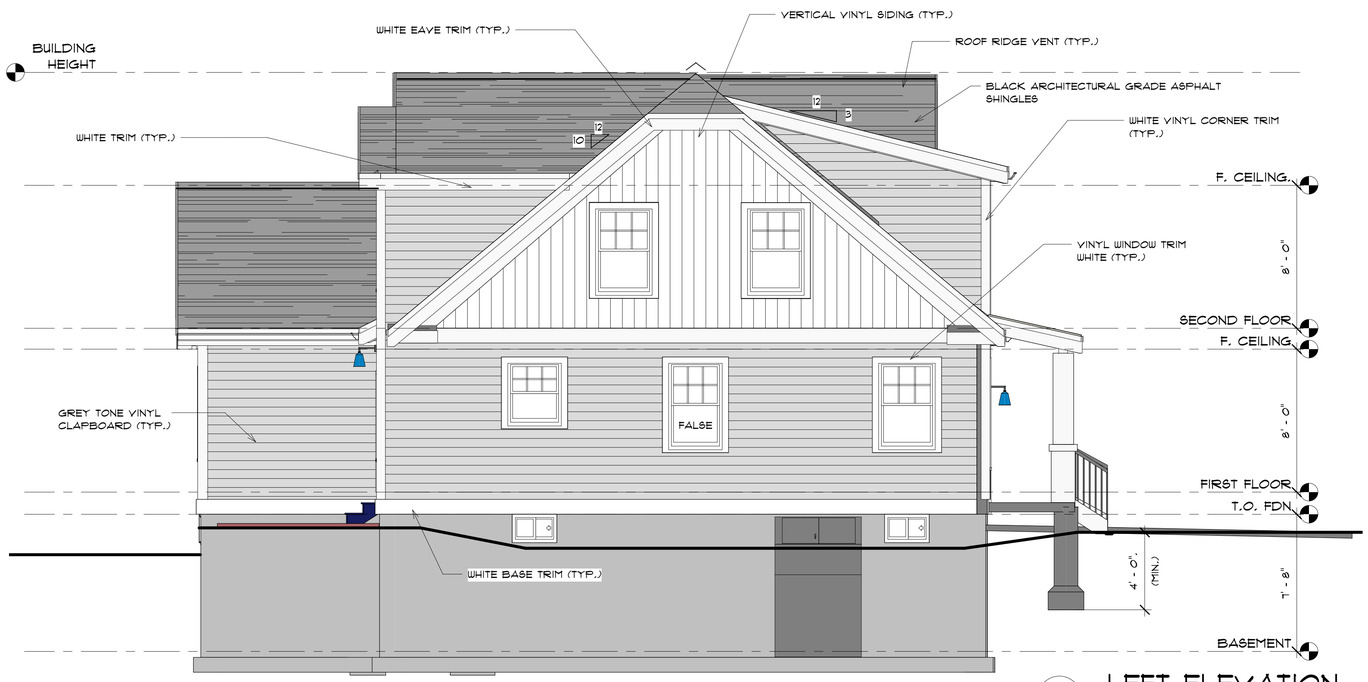
A1.0



1 RIGHT ELEVATION

1/4" = 1'-0"

CONTRACTOR TO VERIFY WITH CIVIL ENGINEER FINAL BASEMENT / GARAGE SLAB ELEVATIONS, ADJUST ELEVATIONS AS REQUIRED.



2 LEFT ELEVATION

1/4" = 1'-0"

DUPLEX PROGRESS

BUILDING ENVELOPE ASPECTS TO COMPLY WITH CURRENT ENERGY CODE

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GAVIN & SULLIVAN ARCHITECTS, INC.
128 WARREN STREET LOWELL, MA.

PROPOSED MULTI - FAMILY FOR:
BLACK BROOK REALTY

MEDWAY, MA

ELEVATIONS

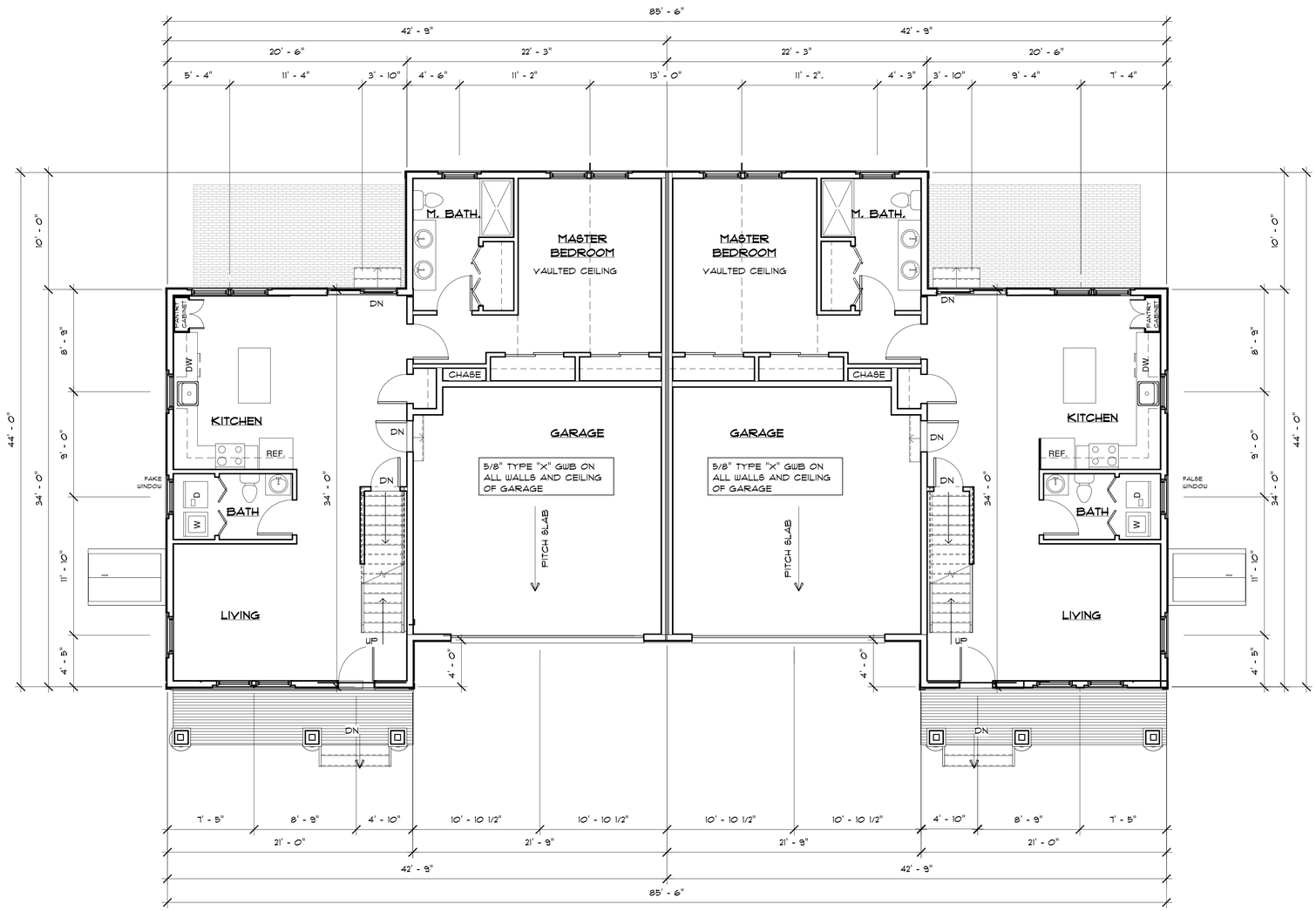
SCALE AS NOTED

DRAWN BY: ADS

PROJECT: *****

DATE: 05-25-2022

A1.1



1 FIRST FLOOR

3/16" = 1'-0"

DUPLEX PROGRESS

BUILDING ENVELOPE ASPECTS TO COMPLY WITH CURRENT ENERGY CODE

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DESIGNED BY:
GAVIN & SULLIVAN ARCHITECTS, INC.
128 WARREN STREET LOWELL, MA.

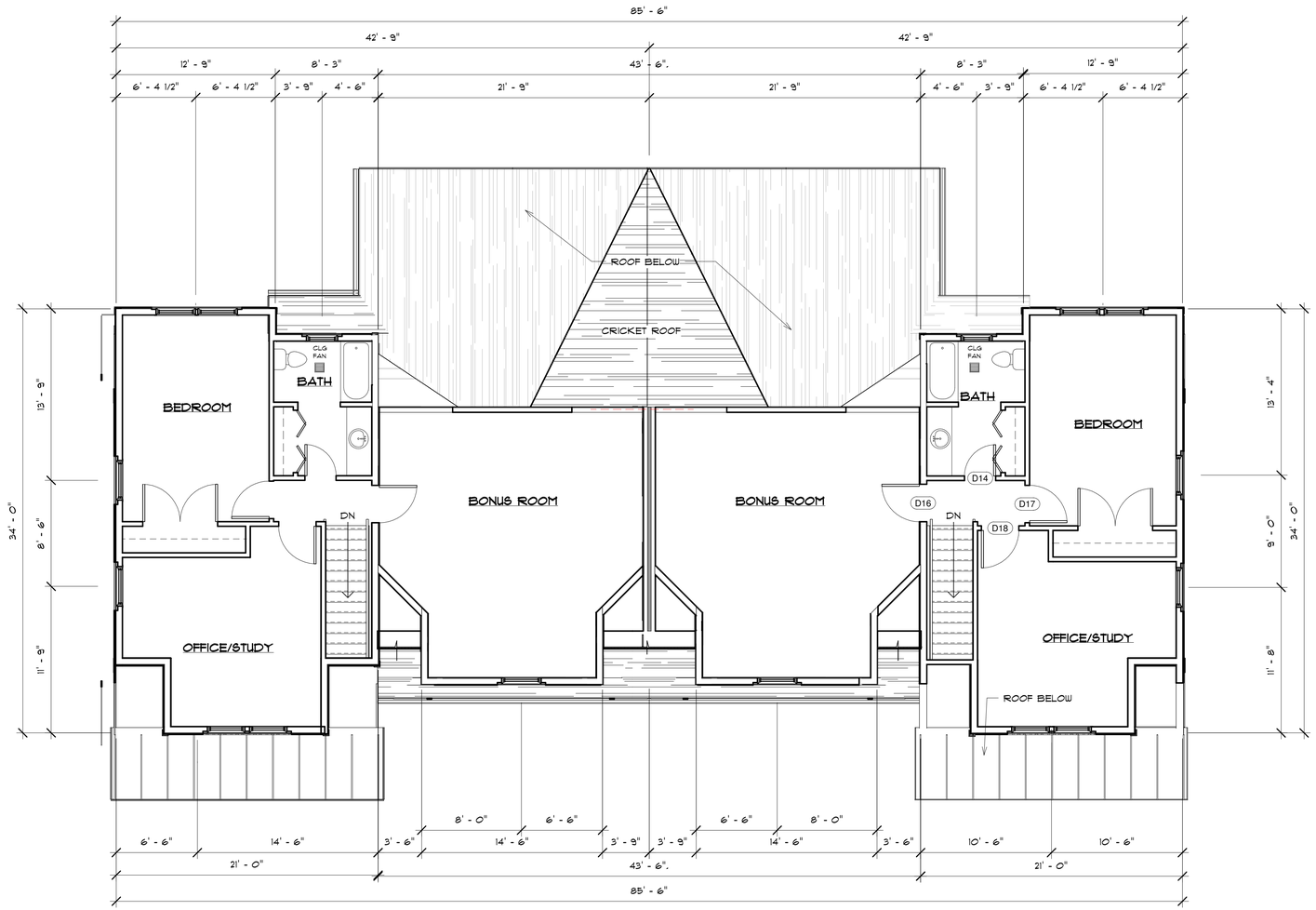
PROPOSED MULTI - FAMILY FOR:
BLACK BROOK REALTY

MEDWAY, MA

OVERALL FIRST FLOOR

PROJECT: *****
SCALE AS NOTED
DATE: 05-25-2022
DRAWN BY: MW

A2.0



1 SECOND FLOOR PLAN

3/16" = 1'-0"

DUPLEX PROGRESS

BUILDING ENVELOPE ASPECTS TO COMPLY WITH CURRENT ENERGY CODE

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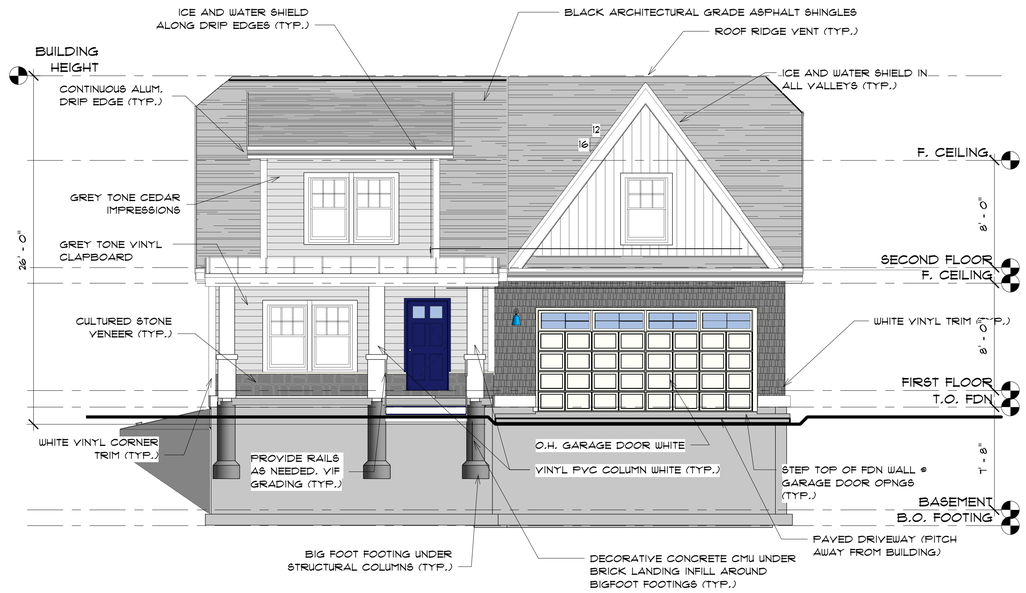
DESIGNED BY:
GAVIN & SULLIVAN ARCHITECTS, INC.
128 WARREN STREET LOWELL, MA.

PROPOSED MULTI - FAMILY FOR:
BLACK BROOK REALTY
MEDWAY, MA

OVERALL SECOND FLOOR

PROJECT: *****
DATE: 05-25-2022
SCALE AS NOTED
DRAWN BY: ADS

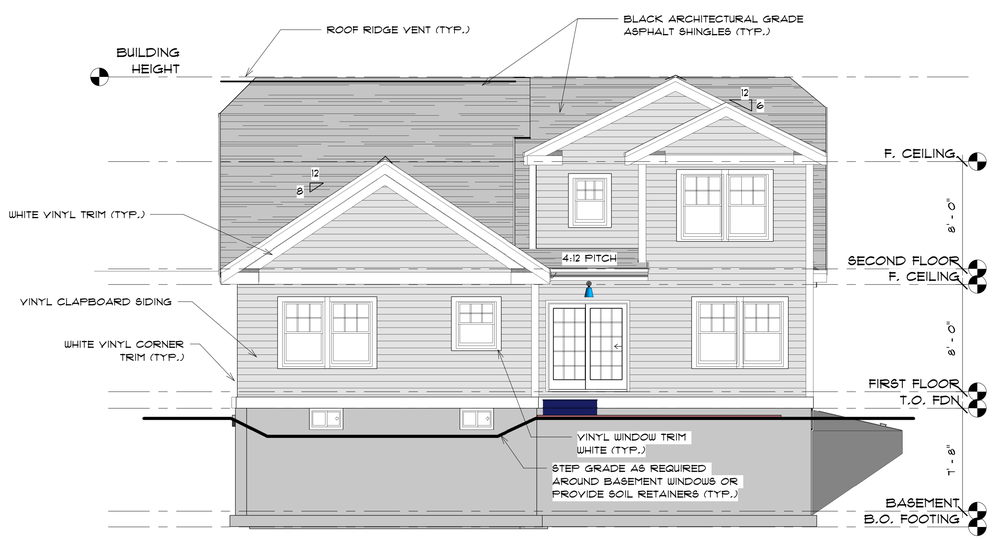
A2.1



1 FRONT ELEVATION

3/16" = 1'-0"

CONTRACTOR TO VERIFY WITH CIVIL ENGINEER FINAL BASEMENT / GARAGE SLAB ELEVATIONS. ADJUST ELEVATIONS AS REQUIRED.



2 REAR ELEVATION

3/16" = 1'-0"

SQUARE FOOTAGE CHAT
FIRST FLOOR - 1,125 +/- SQ.FT. SECOND FLOOR - 1,120 +/- SQ.FT. GARAGE - 465 +/- SQ.FT. TOTAL - 2,710 SQ.FT.

DUPLEX PROGRESS

BUILDING ENVELOPE ASPECTS TO COMPLY WITH CURRENT ENERGY CODE

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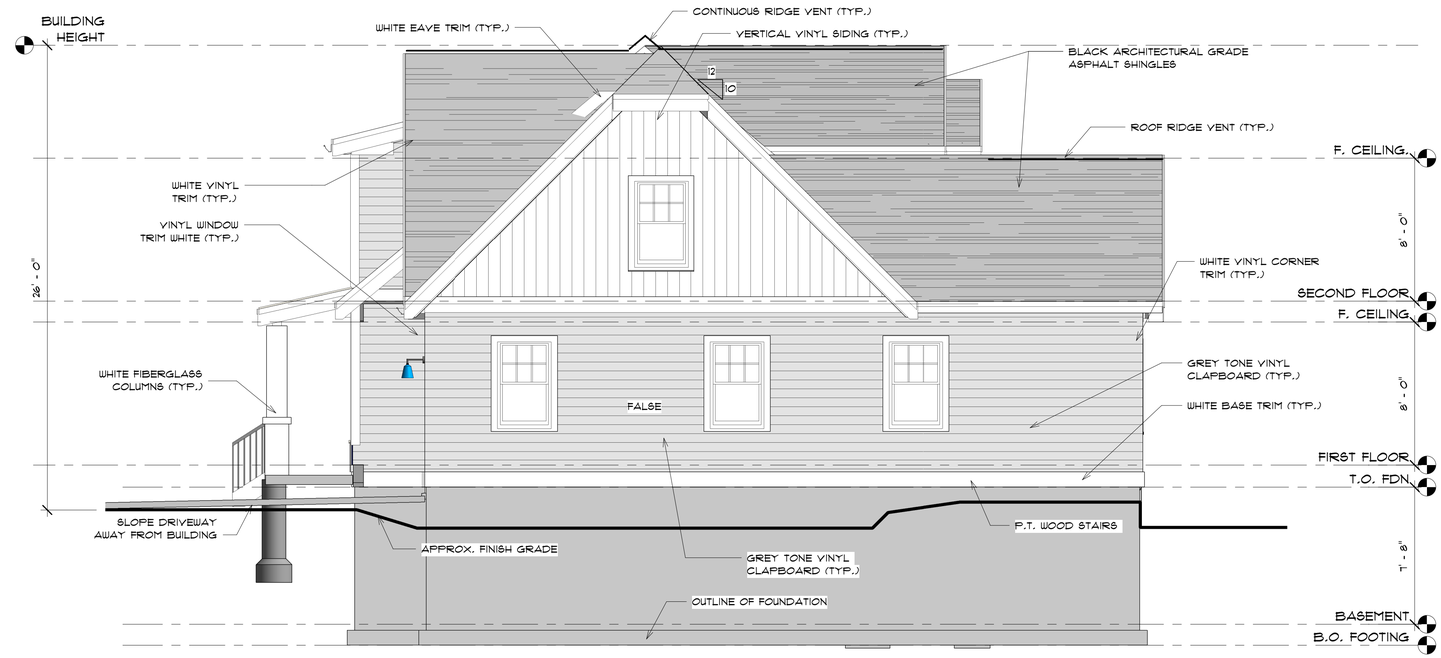
DESIGNED BY:
GAVIN & SULLIVAN ARCHITECTS, INC.
128 WARREN STREET LOWELL, MA.

PROPOSED MULTI - FAMILY FOR:
BLACK BROOK REALTY
MEDWAY, MA

ELEVATIONS

PROJECT: *****
DATE: 05-25-2022
SCALE AS NOTED
DRAWN BY: ADS

A1.0



1 RIGHT ELEVATION

1/4" = 1'-0"

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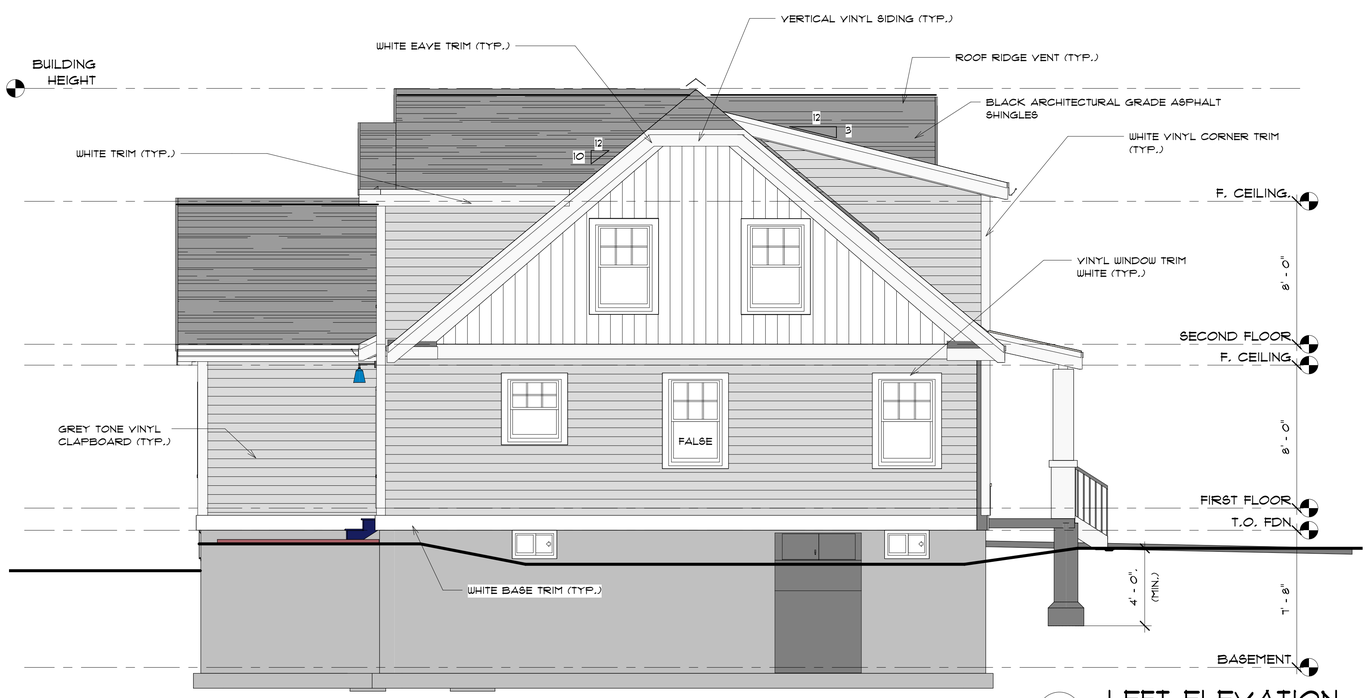

2 LEFT ELEVATION

1/4" = 1'-0"

DUPLEX PROGRESS

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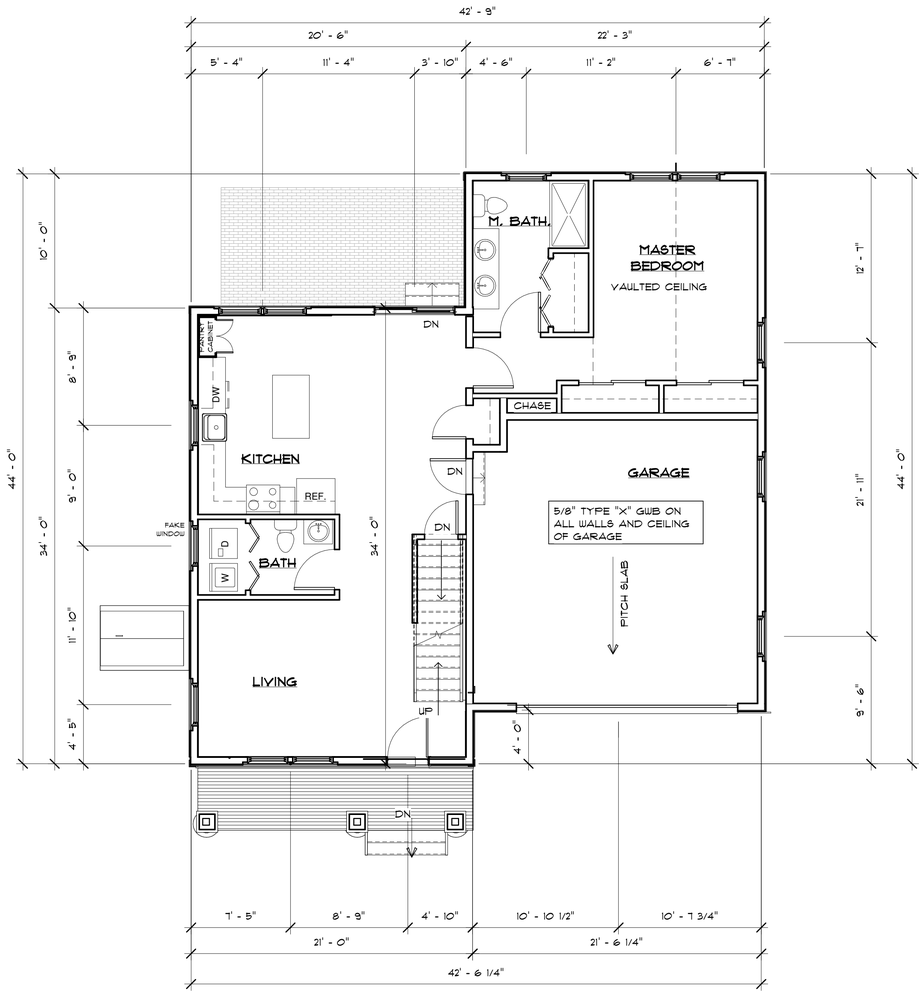
PROPOSED MULTI - FAMILY FOR:
BLACK BROOK REALTY
MEDWAY, MA

ELEVATIONS

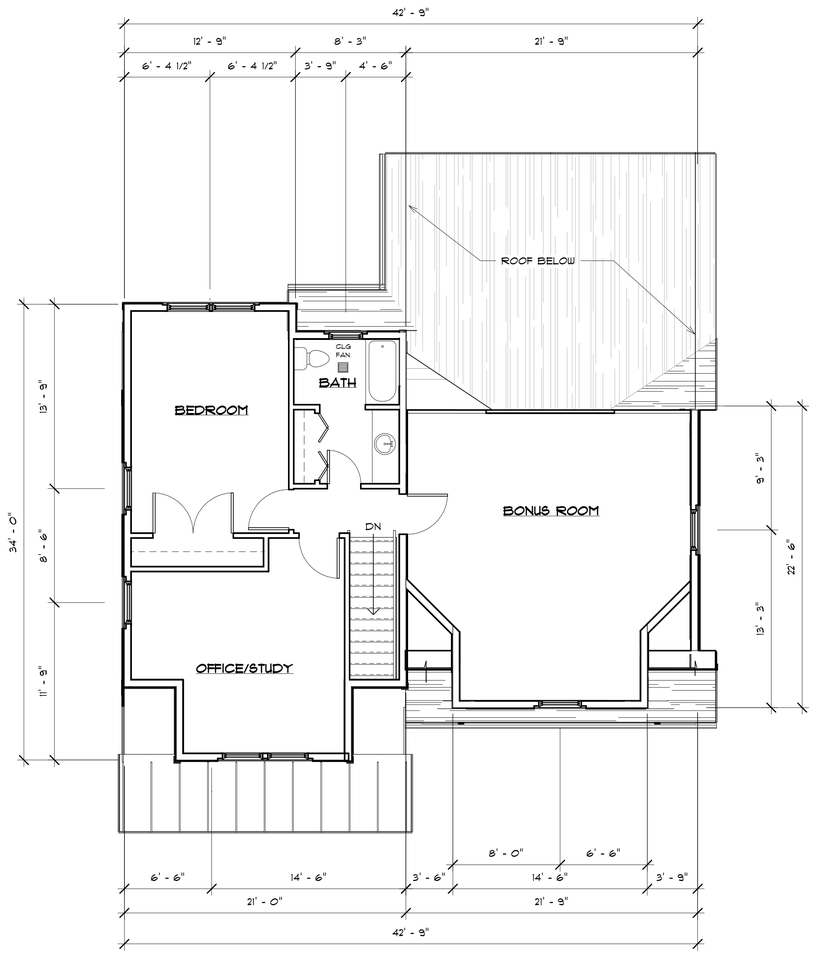
SCALE AS NOTED
DRAWN BY: ADS
PROJECT: *****
DATE: 05-25-2022

A1.1



1 FIRST FLOOR

3/16" = 1'-0"



2 SECOND FLOOR PLAN

3/16" = 1'-0"

DUPLEX PROGRESS

BUILDING ENVELOPE ASPECTS TO COMPLY WITH CURRENT ENERGY CODE

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GAVIN & SULLIVAN ARCHITECTS, INC.
128 WARREN STREET LOWELL, MA.

PROPOSED MULTI - FAMILY FOR:
BLACK BROOK REALTY
MEDWAY, MA

FLOOR PLANS

PROJECT: *****
DATE: 05-25-2022
SCALE AS NOTED
DRAWN BY: MW

A2.0

June 28, 2022
Medway Planning & Economic Development Board Meeting

Zoning Bylaw Amendments – Ideas for November 2022 Town Meeting

- Ideas for Zoning & General Bylaw Work – Updated 6-9-2022

Ideas for Zoning & General Bylaw Work - UPDATED 6/9/2022

		Comments/Notes	PRIORITY	Assigned to?
	ZONING BYLAW IDEAS			
	DEFINITIONS - Section 2			
1	Kennel - Differentiate between animals as pets and/or home based business vs. a full commercial operation	Further discussion needed with Animal Control Officer and Board of Health. ZBA mentioned this as something of interest to them.		
2	Restaurant - Establish different definitions for different types of restaurants. Distinguish between "fast food" and others. Amend Use Table to allow non fast-food restaurants in industrial zones.			
3	Warehouse, inside storage, distribution facility	Review and refine definitions		
	ADMINISTRATION - Section 3			
	SITE PLAN REVIEW - Section 3.5			
4	Refine triggering activities for major, minor and administrative site plan review and façade improvements (DRC)	Does the PEDB want to review this again?		
5	Review language about requirement to construct sidewalks on the frontage of a project site, construct a sidewalk elsewhere in town, or make a payment in lieu of construction. Add option to also allow an applicant to make repairs to existing sidewalks that need improvement.	Suggested by Susy.		
6	Specifically add outdoor dining to list of activities to be addressed through administrative site plan review	Suggested by Susy		
		Comments/Notes	PRIORITY	Assigned to?

7	**POSSIBLE NEW SUB-SECTION 3.6** Establish a new sub-section for a Certificate of Zoning Compliance	What is the process for reviewing building permit applications and electrical permit applications for zoning compliance? How is it determined if a lot is exceeding the maximum lot coverage, impervious coverage standards, uplands requirements, etc. or whether other dimensional regulations or requirements about accessory structures and outdoor storage are met. This can also be used to evaluate and determine if a property remains consistent with a previously approved site plan and any conditions included in a site plan decision.		
	USE REGULATIONS - Section 5			
	ADAPTIVE USE OVERLAY DISTRICT (AUOD) - Section 5.6.2			
8	Revise to provide that existing commercially used properties within the AUOD district could have the allowed ARCPUD commercial uses by right with adm. site plan review in lieu of requiring a developer to go through a full special permit process. This change would apply only to properties within the AUOD districts which presently have business operations, most likely on a pre-existing, non-conforming basis.			
	MULTIFAMILY HOUSING - Section 5.6.4			
9	Revisit entire Section	Workshop Type Meeting to Discuss - Is this still needed? What changes would make for a better bylaw? Revisit the density requirements. Consider changes needed to address MBTA requirements.		
10	Add requirement for sidewalks along property frontage			
		Comments/Notes	**PRIORITY**	**Assigned to?**

	DIMENSIONAL REGULATIONS - Section 6			
	Section 6.2 General Provisions			
11	**Section 6.2. E. Lot Frontage, 3. Access.** Revisit the requirement that "An owner shall provide a means of access for vehicles from the frontage to a principal building for emergency services, for deliveries and for off-street parking."	Do we want to continue to require that access to a parcel has to be from its legal frontage?? What about suitable access from a common driveway?		
12	**Section 6.2.F. Setbacks.** Add language to specify what incidental and accessory items can be located within the standard setback areas.	Jack has suggested not allowing sheds, stored boats, trailers and swimming pools to be allowed in the front setback areas. See Walpole bylaw.		
13	**NEW Section 6.4 - Massing**	To address the over massing of a building on a small site, primarily residential, when new construction is out of character with the existing neighborhood. Look at floor/area ratio and other ways to address. This needs some time and study to evaluate.		
	GENERAL REGULATIONS - Section 7			
	7.1 Site Development Standards			
	OFF STREET PARKING and LOADING REGULATIONS - Section 7.1.1			
14	Update parking standards especially for industrial uses			
15	Add parking provisions for future reserve parking			
		Comments/Notes	**PRIORITY**	**Assigned to?**

	FENCES - New Section 7.1.4	Regulations to address safety and sight lines		
16	Fences - Require shorter fence height (3') in front for a certain distance back into the front setback to avoid sight line issues for exiting vehicles. Could also address height of shrubbery.	Recommended by Jack and Erika.		
17	Look at *Private Fence Rules and Regs* at DPW web page			
18	**BUFFERING - New Section 7.1.5**	Suggested at 4-2-19 PEDB mtg		
19	**SIGN REGULATIONS - Section 7.2**	Simplify, streamline, make more user friendly, eliminate duplication. Look at window signs, temporary signs, signs required by state law - Lottery, Auto Inspection, etc. Adjust amount of allowed sign surface area for wall signs to correspond to distance from street. Add text re: removal of old, pre-existing nonconforming signs before new sign permits are issued for replacement signs. Tom, Barbara and Susy need to resume work on this.		
	SPECIAL REGULATIONS - Section 8			
20	**Solar Electric Installations - Sect. 8.11**	Need to review in light of recent Mass SJC case		
21	**ADULT USES - New Section 8.12**	Change from by right to special permit???? If so, need to establish permitting criteria.		
22	**BACK LOT ZONING - New Section 8.13**	New sub-section to provide special permit option to allow a house to be built on an oversized parcel with insufficient frontage. Could include driveway construction. This option would remove need for a full subdivision process. We could also include provisions for stormwater management.		
		Comments/Notes	**PRIORITY**	**Assigned to?**

23	**COMMON DRIVEWAYS - New Section 8.14** Add regulations for Common Driveways. Allow by right or special permit? Anywhere!?!? NOTE - Common driveways are NOT private roadways. They provide access only, not frontage.	New sub-section to address criteria and basic standards for common driveways (length, width, stormwater, etc.) We already have a definition for common driveways and they have been used in ARCPUD and OSRD developments. Is this the best place to insert such standards or should they go in 7.1 Site Development Standards?		
24	**TWO-FAMILY - New Section 8.15**	Revisit definition of two-family/duplex. Establish criteria for special permits. Consider adding the Village Commercial District as a possible location. Are a 2 family and duplex the same thing? Do we want/need to distinguish between the two? Horizontal vs. vertical separation? Should there be some measure of the extent of connection between the two units?? Establish special regulations to address appearance, parking, open space, curb cuts, height, etc. Revisit requirement that a 2 family building has to have the appearance of a single family house. Look at Northampton bylaw.		
25	**DRIVE-THRU FACILITIES - New Section 8.16**	Establish special permit criteria for drive-thrus. See language provided by Ted Brovitz. NOTE - Drive-thrus are allowed by special permit and only in the CB, NC, BI and OGVC and OGBP zoning districts.		
26	**LAND CLEARING - New Section 8.17**	Suggested by Jack. WE have a draft. Perhaps incorporate into Land Disturbance Bylaw amendments and Tree Preservation idea.		
27	**BESS - Battery Energy Storage Systems**	Staff working on this for November 2022 town meeting		
		Comments/Notes	**PRIORITY**	**Assigned to?**
	NEW ZONING DISTRICT IDEAS			

A	Create a new **Traditional Neighborhood Development overlay district** for new construction that would allow for more dense, Smart Growth type neighborhood. Not the same level of density as required by a 40R district but denser than what we allow now.	This might be good for the Cassidy properties behind Medway Commons and/or behind Charles River Bank. Look at Smart Growth report by Gino Carlucci from several years ago. Recommend waiting until the Town's sewer/capacity issues are resolved. Also need to talk with the Cassidy family to see about their long term ideas for their property.		
B	Create a **Cottage Community** special permit option	Reconsider this.		
C	Create an **Early Suburban Zoning District** with dimensional requirements to more closely match what exists on the ground.	This would be suitable for Brentwood and other smaller lot, early post WWII sub- divisions. Most of these areas are currently zoned ARII. Reduce minimum lot size, frontage and setbacks to better match what is actually on the ground.		
D	Create a **new industrial zone** for west side of West ST north of Route 126. Area is presently zoned ARII.	Need to discuss with EDC. Not to include ground mounted solar. Boundaries? Similar uses to East Medway Industrial Park or Business Industrial District? Allow for contractor's yards? Use Table and Zoning Map would also need to be revised.		
	NOTE - It may be wise to hold off work on New Zoning Districts until after the Master Plan is completed.			
		Comments/Notes	**PRIORITY**	**Assigned to?**
	ZONING MAP REVISIONS			

1	Expand boundaries of East Industrial zoning district	Get input from EDC on this. Expect neighborhood opposition.		
2	Establish another Village Commercial district on Main Street/Route 109 from Medway Mill west toward the Community Church			
	GENERAL BY-LAW IDEAS			
A	Establish some stronger property maintenance regulations to address junk, dilapidation, blight, accumulated unregistered vehicles, collections of debris, etc.	Need input from Jack Mee and Beth Hallal. Property maintenance is an optional part of the Building Code but it pertains to structures, not sites. Is BOS interested in something like this? What do we presently have to address this? What is the statute that allows the BOH to act?? Staff recommends the PEDB discuss this with Jack Mee, Health Agent Beth Hallal, and the TA/BOS to gauge interest.		
B	Establish start and stop times for construction work	We have a draft. Needs work.		
C	Regulate the amount of and quality of fill being brought onto development sites.	Of interest to Bridget Graziano and Jack Mee. Bob Tucker says there are state laws that already address this. Difficult to enforce. Testing is expensive. We have a draft based on the Salisbury bylaw. Needs thorough discussion and vetting.		
D	Revise general bylaw to decrease required fence height around pools to 4' to be consistent with state law.	Suggested by Jack Mee. Discussed with PEDB. Jack to take lead on this.		
		Comments/Notes	**PRIORITY**	**Assigned to?**

E	Scenic Road bylaw	Take part of the *Scenic Road Rules & Regs* and turn into a bylaw. Broaden scope beyond the limited scope of the state statute which only addresses trees and stone walls in the right of way.		
F	Establish bylaw to promote universal accessibility and visitability of dwelling units	Suggested by Sue Rorke at 7/20/15 PEDB meeting. Something for a Disability Commission to consider.		
G	Tree Preservation	Conservation is working on this. Will need to coordinate with PEDB for site plan review.		
H	Stormwater Management/Land Disturbance	Revisit bylaw. Remove items that should be in Rules and Regs. Bridget, Susy, Stephanie and Barbara to work on this.		
I	Fines and Penalties	Revise to provide a more aggressive fine schedule		
J	Revise General Bylaw on Parking of Commercial Vehicles in Residential Zones			
	6-9-22/sac			