

Tuesday, April 13, 2021
Medway Planning and Economic Development Board
155 Village Street
Medway, MA 02053

Members	Andy Rodenhiser	Bob Tucker	Tom Gay	Matt Hayes	Rich Di Iulio	Jessica Chabot
Attendance	X	X	X	X	X	X

Pursuant to Governor Baker’s March 12, 2020 Order Suspending Certain Provisions of the Open Meeting Law, and the Governor’s Orders imposing strict limitations on the number of people that may gather inside in one place, no in-person attendance will be permitted at this meeting. Board members will attend the meeting via ZOOM. Meeting access for the public is provided via ZOOM for the required opportunity for public participation in a public hearing. Information for participating via ZOOM is included at the end of this Agenda. Members of the public may also watch the meeting on Medway Cable Access: channel 11 on Comcast Cable, or channel 35 on Verizon Cable; or on Medway Cable’s Facebook page @medwaycable.

ALSO PRESENT VIA ZOOM:

- Susy Affleck-Childs, Planning and Economic Development Coordinator
- Amy Sutherland Recording Secretary
- Steve Bouley, Tetra Tech
- Sara White, Tetra Tech
- Barbara Saint Andre, Director of Community and Economic Development

There were no Citizen Comments.

APPOINTMENT TO THE DESIGN REVIEW COMMITTEE:

The Board is in receipt of the following: **(See Attached)**

- 4-9-21 memo from Susy Affleck-Childs recommending appointment of Janine Clifford to the Design Review Committee
- Resume of Janine Clifford

On a motion made by Tom Gay, and seconded by Matt Hayes, the Board voted by Roll Call vote to appoint Janine Clifford to the Design Review Committee for a term through June 30, 2022.

Roll Call Vote:

Matthew Hayes	aye
Rich Di Iulio	aye
Andy Rodenhiser	aye
Bob Tucker	aye
Tom Gay	aye

REVIEW OF PETITIONS TO THE ZONING BOARD OF APPEALS:

The Board is in receipt of the following: **(See Attached)**

- 201 Village Street – Request for a special-permit and variance.
- 24 Milford Street – Request for a special-permit

201 Village Street:

The applicant is requesting a special permit and variance to convert the existing mixed use building to a two-family. No building expansion is planned. The property is non-conforming to current zoning. The PEDB took no action on this application.

24 Milford Street:

The applicant has requested a special permit to operate a non-commercial “kennel” for up to 10 rescue dogs in the applicant’s home. The PEDB took no action on this application.

PEDB MEETING MINUTES:

March 23, 2021:

On a motion made by Rich Di Iulio and seconded by Bob Tucker, the Board voted by Roll Call to approve the PEDB meeting minutes of March 23, 2021.

Roll Call Vote:

Andy Rodenhiser	aye
Matt Hayes	aye
Rich Di Iulio	aye
Bob Tucker	aye
Tom Gay	aye

March 30, 2021:

On a motion made by Rich Di Iulio and seconded by Bob Tucker, the Board voted by Roll Call to approve the PEDB meeting minutes of March 30, 2021.

Roll Call Vote:

Andy Rodenhiser	aye
Matt Hayes	aye
Rich Di Iulio	aye
Tom Gay	aye
Bob Tucker	aye

20 BROAD STREET MULTI FAMILY - PLAN ENDORSEMENT:

The Board is in receipt of the following documents: **(See Attached)**

- Revised site plan dated April 8, 2021 prepared by GLM Engineering
- Sign off email from Tetra Tech dated April 12, 2021

The Board was informed that there is some work remaining on the wording of the performance security covenant. The revised site plan has been provided and reviewed by Tetra Tech and

found to be all set. It was recommended that the PEDB vote to endorse the final site plan and direct staff to hold its release to the permittee until the covenant is signed by the necessary parties and provided to the office.

On a motion made by Matt Hayes, seconded by Bob Tucker, the Board voted to endorse the 20 Broad Street site plan and not release it until the permittee provides the covenant.

Roll Call Vote:

Matthew Hayes	aye
Rich Di Iulio	aye
Andy Rodenhiser	aye
Tom Gay	aye
Bob Tucker	aye

MEDWAY PLACE SHOPPING PLAZA SITE PLAN CONTINUATION:

The Board is in receipt of the following documents: **(See Attached)**

- Public Hearing Continuation Notice
- Email communication dated 4-7-21 between Susy Affleck-Childs and Attorney Gareth Orsmond
- 3-23-21 Administrative Site Plan Review Decision re: fencing (referred to PEDB to be incorporated into the major site plan review)

Chairperson Rodenhiser opened the continued public hearing for Medway Place Shopping Plaza site plan.

Attorney Gareth Orsmond was present representing the applicant. The Board was informed that the Medway DPW granted the MS4 permit in March 2021. Mr. Orsmond communicated that they are working to integrate the drainage work with the comments previously received from the Board and its consultants. There will more green space with the modification that is being prepared. The Board was made aware that an irrigation well is being placed where Board of Health approved it. The applicant would like to continue this hearing until May 11, 2021 so the applicant can continue to address the items from the consultant.

On a motion made by Rich Di Iulio, seconded by Tom Gay, the Board voted to continue the hearing for the Medway Place site plan to May 11, 2021 at 8:00 pm.

Roll Call Vote:

Matthew Hayes	aye
Rich Di Iulio	aye
Andy Rodenhiser	aye
Tom Gay	aye
Bob Tucker	aye

MASTER PLAN COMMITTEE:

The Board was made aware that the Master Plan Committee met on April 12th and appointed Jessica Chabot as the Chairperson. Ms. Chabot informed that Board that there was a great first kick off meeting and they received a lot of information from consultant Jenn Goldson who is extremely knowledgeable and organized. She will work well with the committee. One of the goals is to gather information from the community and various stake holders. The Town has set up an area on the Town's website for the Master Plan Committee. There will be a virtual community forum on May 24, 2021. A flier about the Master Plan Forum was shared with the PEDB. There is also a news release on this event.

EVERSOURCE SITE PLAN – Tetra Tech Construction Services Cost Estimate:

The Board is in receipt of the following document: (See Attached)

- Tetra Tech Estimate dated April 6, 2021 for \$ 5,244.00

On a motion made by Bob Tucker and seconded by Matt Hayes, the Board voted by Roll Call to approve the cost estimate for Tetra Tech Construction Services for the Eversource site plan project.

Roll Call Vote:

Andy Rodenhiser	aye
Matt Hayes	aye
Rich Di Iulio	aye
Tom Gay	aye
Bob Tucker	aye

PUBLIC HEARING - THE SETTLEMENT – Central Business District Mixed Use Development:

The Board is in receipt of the following documents: (See Attached)

- Public Hearing Notice
- Project Narrative
- CBD Mixed Use special permit application
- Major Site Plan application
- Shared parking special permit application
- Development Impact Statement
- Site Plan prepared by Legacy Engineering dated 3-8-21
- 4-1-21 comments from Barbara Saint Andre
- 3-39-21 comments from Dave D'Amico
- Proposed CBD zoning bylaw amendments for May town meeting
- 4-5-21 Design Review Committee letter
- 4-13-21 Tetra Tech plan review letter

On a motion made by Rich Di Iulio and seconded by Tom Gay, the Board voted by Roll Call to waive the reading of the public hearing notice.

Roll Call Vote:

Andy Rodenhiser	aye
Matt Hayes	aye
Rich Di Iulio	aye
Tom Gay	aye
Bob Tucker	aye

Representative, Dan Merrikin was present along with Attorney Steve Kenney representing applicant Thomas Steeves. Mr. Merrikin explained that the site is 6.3 acres. The property is located within the Central Business Zoning District at the southeast corner of Main and Elm Streets. The applicant has a proposed development which includes six mixed use, village style buildings, one at the front of the site facing Main Street and five at the back of the site, along with associated driveways, parking areas to accommodate 57 vehicles, landscaping, utility systems, and stormwater management systems. The proposal specifies a total of 12,544 sq. ft. of ground floor commercial/office space and 25,448 sq. ft. of residential space (26 apartment style dwelling units) of which 6 would be affordable. The site does have wetland resources which have been delineated.

NOTE – The applicant seeks site plan approval, a mixed-use CBD special permit, and a reduced parking special permit.

Mr. Merrikin reported that they met with the Design Review Committee (April 12, 2021). It was a productive meeting. A screen share of the renderings were shown. The applicant is in receipt of the comments from Tetra Tech and the applicant is in the process of addressing the comments. The proposed driveway will connect to Main Street through an existing curb cut and has been designed to accommodate Medway's Fire Truck. The development requires 42 parking spaces for commercial use and 39 spaces for residential use for a total of 81 parking spaces. The stormwater will be treated and infiltrated by three separate infiltration basins. The applicant will have access to municipal water and sewer systems. The plan will be revised to show the relocation of the trees and the sidewalk will be added along the driveway to connect to Village to Main Street.

The applicant is in the process of addressing the consultant's comments and also the comments from the Design Review Committee. All the buildings will be sprinkled. The Board has not received comments from the Fire Chief. The applicant indicated that plans have been provided with the fire truck circulation plan. There will be a single entrance to the development from Main Street. The setback from the adjacent residential areas will be maintained. There will be buffering provided. The rear portion of the site is wooded. A question was asked if there is a plan to expand the number of parking spaces. There is some flexibility with the parking location at the front of the site if needed. If the reduced parking special permit is not granted this would need to be revisited. Another question was asked if there is going to be a playground. The applicant indicated that they have not planned for a playground but could look into this. There was also a question if the applicant would consider a daycare. The applicant does not want a daycare in this area since they do not want the traffic it creates. There will be an easement for circulation for water circulation and hydrant. The applicant will explore possibilities of easements for connections to adjacent properties. There was discussion to have a sidewalk interior to the site to connect the buildings up to Main Street. This would provide opportunity and connection points for pedestrians. Mr. Merrikin communicated that the problem

is that there is a big slope which is 6 to 8 ft tall. During the DRC meeting, it was recommended that there be additional sidewalks. The applicant will be presenting a signage package. This will be hanging signs off of the commercial units. There was also a suggestion to look at the back corner of the site to have an easement to possibly develop the back of the other site. The applicant will look into this.

The discussion was open to the public:

Abutter, Brian D'Alesio, 5 Elm Street:

The noted concerns from Mr. D'Alesio were about possible flooding which already occurs now in this area. Mr. Merrikin explained that there will be improved drainage with the installation of the drainage basins. Chair Rodenhiser recommended he attend the Conservation Commission Meetings as they are handling the stormwater review. Mr. D'Alesio also asked about how many bedrooms each unit will have. Mr. Merrikin responded that they will be two bedroom units. The abutter is also concerned about the amount of parking. Mr. Merrikin explained that the bylaws allow for reduced parking. There was suggestion to install a fence along the boundary between the properties.

Susy Affleck-Childs communicated that the roadway/driveway needs a name and this should go to the Street Naming Committee. This will be a permanent private road. The applicant also needs to identify where the affordable units will be. These cannot all be in one building and should be scattered throughout. She also noted that there is a zoning bylaw requirement about sidewalks being required along the frontage of properties. The applicant communicated that if this is going to be an issue, He would recommend doing an ANR and not have the frontage on Elm Street. Susy Affleck-Childs noted that there could be discussion about a payment in lieu of sidewalk construction on Elm Street. She also noted there was an email from the Charles River Pollution Control District expressing concern about the Town being up against its sewage treatment capacity; she will provide that communication to the Board. The Board will be discussing this further with the DPW. Mr. Merrikin will follow-up on the sewer capacity issue.

The Board noted the April 1st email from Barbara Saint Andre about the project falling under the new central business district zoning assuming it is approved at Town Meeting. Susy Affleck-Childs recommended the Board consider hiring a separate outside consultant to review the revised plan for compliance with the new zoning. She recommended using Ted Brovitz to do this work as he is the most familiar with the new zoning language. The board is in agreement.

It was reported that the Design Review Committee was pleased with architecture. They suggested a walking trail on the open property. Mr. Merrikin will discuss that idea with Conservation Agent Bridget Graziano. There was discussion about providing additional renderings from different perspectives but it was felt to be not necessary or valuable.

Mr. Merrikin noted there will be a retaining wall near the stormwater basin. The landscape plan was shown. A detail of the retaining wall and associated fencing and guard rail will be included in the forthcoming revision. The ascent pieces will be of stone based on DRC recommendation. The location of the segmented retaining wall was shown. The lighting plan is to install residential lantern style post lights like Village Street. 10 ft. poles would be scattered along the driveway and around the parking areas. The Board does not want the applicant to exceed the light regulations since the property abuts adjacent residential uses. There is no need for light to trespass onto another property.

Mr. Merrikin indicated he would need to discuss the planning consultant with the applicant. He does not want to waste the applicant's funds if the new CBD zoning does not pass at town meeting. Also it makes sense to wait until the revised plan is provided.

There is a snow removal storage area shown on the plan.

On a motion made by Rich Di Iulio seconded by Matt Hayes, the Board voted by Roll Call vote to continue the hearing to May 25, 2021 at 7:15 pm.

Roll Call Vote:

Andy Rodenhiser	aye
Matt Hayes	aye
Rich Di Iulio	aye
Tom Gay	aye
Bob Tucker	aye

CONSTRUCTION REPORTS:

The Board is in receipt of the following reports: (**See Attached**)

- Choate Trail Field Reports dated 3-30-2021, 3-31-2021, and 4-8-2021.
- 21 Trotter Drive Field Reports dated 3-30-2021, 4-5-2021, and 4-6-2021
- Salmon Health Field Report dated 4-7-2021.

The Board was informed that Consultant Bouley will be going on paternity leave and his replacement is Sarah White. Ms. White attended the meeting. She has been brought up to date on all the projects.

Marzilli (21 Trotter Drive):

The erosion issues have been addressed on site with the Conservation Agent. The grading areas are being finished.

Choate Trail Way:

The project site has been cleared and the staking was done. The subsurface system will be done next week.

Salmon:

There has been minor paving at the main building. The site is progressing nicely. The erosion control on site has been completed. The binder will be finished soon.

TOWN MEETING WARRANT ARTICLES:

Cottage Cluster:

The Board of Selectmen voted at the last Board of Selectmen meeting to not support the Cottage Cluster Article.

On a motion made by Matt Hayes, seconded by Tom Gay, the Board voted by Roll Call vote to withdraw the Cottage Cluster Article for town meeting.

Roll Call Vote:

Andy Rodenhiser	aye
Matt Hayes	aye
Rich Di Iulio	aye
Tom Gay	aye
Bob Tucker	aye

Energy Battery Storage:

The Board is in receipt of a citizen's petition for a moratorium on energy battery storage systems. The Board will conduct a public hearing on this matter during its April 27, 2021 meeting. The Board was informed that Town Manager Michael Boynton has committed funds to hire a consultant to research this and also to propose a bylaw for the future to regulate these uses. The Town will be looking at consultants who have expertise in this area. The names of those consultants will be provided to the Board.

NEXT STEPS – ENVIRONMENTAL STANDARDS:

The Board is in receipt of the following document: **(See Attached)**

- 4-12-21 email from John Lally with attachments

The intent of this discussion is to identify what we need from outside noise and odor consultants to help us move along on this work so we can have an article for the Fall Town Meeting. A scope of services needs to be developed for each party we wish to engage.

The Board would like to hire a consultant to address the environmental standards. The current concern from the Building Commissioner is that there is a lot of discretion given to the Building Commissioner with how the language is currently written. He is not comfortable with that, especially in the odor section.

The town has odor and noise consultants who can be hired. Susy Affleck-Childs expressed that she wants to get clear what the Board wants them to do. Chair Rodenhiser stated he wants the consultants to participate in discussions with the various parties to listen to concerns and questions.

Resident John Lally was present during the zoom meeting. Mr. Lally would like to request that the Board ask the noise consultant to perform noise impact analyses on the houses located on the North side of lower Coffee Street which abut the east industrial park. This would include homes at 45, 47, and 49 Coffee Street. He noted that he had provided an email for the Board. Susy Affleck-Childs reported that it had been forwarded to the Board.

It was communicated that the Town cannot go to every property to get a noise baseline. This bylaw needs to apply to the entire town, not a particular property.

Dan Merrikin communicated that the consultant should write the bylaw for the town and not for a particular property within the town. There needs to be a middle ground for the town and developers.

The Board would like a scope of services to be written which will be reviewed by the Board.

FUTURE MEETING:

- Tuesday, April 27, 2021

ADJOURN:

On a motion made by Rich Di Iulio and seconded by Matt Hayes, the Board voted by Roll Call vote to adjourn the meeting.

Roll Call Vote:

Andy Rodenhiser	aye
Matt Hayes	aye
Rich Di Iulio	aye
Bob Tucker	aye
Tom Gay	aye

The meeting was adjourned at 9:24 pm.

Prepared by,
Amy Sutherland
Recording Secretary

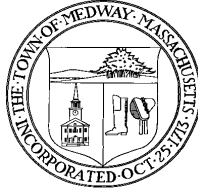
Reviewed and edited by,
Susan E. Affleck-Childs
Planning and Economic Development Coordinator



April 13, 2021
Medway Planning & Economic Development Board
Meeting

Appointment to the Design Review
Committee

- 4-9-21 memo from Susy Affleck-Childs recommending appointment of Janine Clifford to the Design Review Committee
- Resume of Janine Clifford



TOWN OF MEDWAY
Planning & Economic Development
155 Village Street
Medway, Massachusetts 02053

MEMORANDUM

April 9, 2021

TO: Planning and Economic Development Board
FROM: Susy Affleck-Childs, Planning and Economic Development Coordinator
RE: Appointment of Janine Clifford to the Medway Design Review Committee

I recommend the PEDB appoint architect Janine Clifford to the Design Review Committee for at term effectively immediately through June 30, 2022. Janine's resume is attached. She attended the April 5th DRC meeting to get acquainted with the members and has been endorsed by the DRC for appointment.

Janine Clifford

Architecture, Interior Design, & Lighting

Professional Experience: **Group One Partners, Inc.** 2005-Present
 South Boston, MA - Hospitality/Hotels,
 Commercial and Assisted Living Architecture, Interior Design & Purchasing

Positions Held: Project Architect/Manager (current)
 Lighting Design/Coordination (current)
 Design Architect/Assistant Project Manager
 Job Captain/Drafter
 Purchasing Coordinator
 Interior Designer/FF&E Specifications

Boston Trade International 2004-2005
 Hudson, MA - Hospitality/Hotels Interior Design

Positions Held: Interior Designer/FF&E Specifications

Education/Licenses: **BFA in Design** - University of Massachusetts Amherst, 2004
 Master of Architecture - Boston Architectural College, 2010
 Massachusetts Board of Registration of Architects, License #50770, 2015-Current

Affiliations: **AIA, NCARB, NEWH, DLFNE**

Recent Projects:

Residence Inn by Marriott Brookline Ave, Boston MA New Construction - Architect/Interior Architect & Lighting Design
Residence Inn by Marriott Congress Street, Boston MA New Construction - Architect/Interior Architect & Lighting Design
Envoy Hotel Seaport, Boston MA New Construction - Interior Architect/Interior Design
Westin Hotel Seaport, Boston MA Ballroom Renovation - Interior Architect/Interior Design
Residence Inn by Marriott Lebanon, NH Renovation - Interior Architect/Designer
Residence Inn by Marriott Burlington, MA New Construction - Interior Architect & Lighting Design
AC Hotel Aventura, FL New Construction - Interior Architect/Project Manager
AC Hotel Portland, ME New Construction - Interior Architect/Architectural Design Consultant
Courtyard by Marriott Downtown Orlando, FL Renovation - Interior Architect/Project Manager
AC Hotel Sawgrass/Sunrise, FL New Construction, - Interior Architect/Architectural Design Consultant
The Arcadian Hotel Brookline, MA Renovation/Repositioning - Architect/Interior Architect



April 13, 2021
Medway Planning & Economic Development Board
Meeting

Review of Petitions to the Zoning Board
of Appeals

- 201 Village Street – Request for a special permit and variance to convert the existing mixed-use building (one office (Reardon Insurance) and one apartment) to a two-family. No building expansion is planned. The property is non-conforming to current zoning (lot size and frontage).
- 24 Milford Street – Request for a special permit to operate a non-commercial “kennel” for up to 10 rescue dogs in their home. The petitioner presently has a kennel permit for 5 dogs, issued by the ZBA in 2008.

NOTE - The ZBA hearing on these petitions is scheduled for April 21, 2021.



TOWN OF MEDWAY
ZONING BOARD OF APPEALS

155 Village Street
Medway MA 02053

GENERAL APPLICATION FORM

Case Number: _____

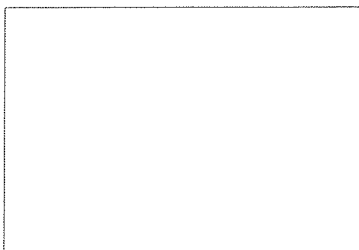
Phone: 508-321-4915 | zoning@townofmedway.org
www.townofmedway.org/zoning-board-appeal

NOTE: THE APPLICATION WILL NOT BE CONSIDERED "COMPLETE" UNLESS ALL NECESSARY DOCUMENTS, FEES, & WAIVER REQUESTS ARE SUBMITTED. A GENERAL APPLICATION FORM MUST BE COMPLETED FOR ALL APPLICATIONS.

TO BE COMPLETED BY THE APPLICANT

Applicant/Petitioner(s):	Application Request(s):
Reardon Family Irrevocable Trust	
Edward C. Reardon, Jr., Trustee	
Property Owner(s):	
Reardon Family Irrevocable Trust	Appeal <input type="checkbox"/>
Edward C. Reardon, Jr., Trustee	Special Permit <input checked="" type="checkbox"/>
Site Address(es):	Variance <input checked="" type="checkbox"/>
201 Village Street, Medway, MA 02053	Determination/Finding <input type="checkbox"/>
	Extension (provide previous case #) <input type="checkbox"/>
	Modification (provide previous case #) <input type="checkbox"/>
Parcel ID(s):	Withdrawal <input type="checkbox"/>
60-106	Comprehensive Permit <input type="checkbox"/>
Zoning District(s): ARII	
Registry of Deeds Book & Page No. and Date or Land Court Certificate No. and Date of Current Title:	
Book 35342, Page 291	

TOWN CLERK STAMP



TO BE COMPLETED BY STAFF:

Check No.:
Date of Complete Submittal:
Comments:

GENERAL APPLICATION FORM

Case Number: _____

APPLICANT/PETITIONER INFORMATION

The owner(s) of the land must be included as an applicant, even if not the proponent. Persons or entities other than the owner may also serve as co-applicants in addition to the owner(s), however, in each instance, such person shall provide sufficient written evidence of authority to act on behalf of the owner(s). For legal entities such as corporations, LLCs, etc., list the type and legal status of ownership, the name of the trustees/officer members, their affiliation, and contact information. Please provide attachment for information if necessary.

Applicant/Petitioner(s): Reardon Family Irrevocable Trust	Phone: 508-533-8914
Edward C. Reardon Jr., Trustee	Email:
Address: 201 Village Street, Medway, MA 02053	
Attorney/Engineer/Representative(s): Stephen J. Kenney, Esq.	Phone: 508-533-6711
Stephen J. Kenney, Esq.	Email: sjk@kenney-law.com
Address: 181 Village Street, Medway, MA 02053	
Owner(s): Reardon Family Irrevocable Trust	Phone: 508-533-8914
Edward C. Reardon, Jr., Trustee	Email:
Mailing Address: 201 Village Street, Medway, MA 02053	

Please list name and address of other parties with financial interest in this property (use attachment if necessary):

None

Please disclose any relationship, past or present, interested parties may have with members of the ZBA:

None

I hereby certify that the information on this application and plans submitted herewith are correct, and that the application complies with all applicable provisions of Statutes, Regulations, and Bylaws to the best of my knowledge, and that all testimony to be given by me during the Zoning Board of Appeals public hearing associated with this application are true to the best of my knowledge and belief.

Signature of Applicant/Petitioner or Representative

Date

3-15-21

Signature Property Owner (if different than Applicant/Petitioner)

Date

3-15-21

GENERAL APPLICATION FORM

Case Number: _____

APPLICATION INFORMATION

		YES	NO
Applicable Section(s) of the Zoning Bylaw: 3.4, Table 1, 6.1	Requesting Waivers?	<input type="radio"/>	<input checked="" type="radio"/>
	Does the proposed use conform to the current Zoning Bylaw?	<input checked="" type="radio"/>	<input type="radio"/>
Present Use of Property: Commercial building as office space and 1 bedroom apartment	Has the applicant applied for and/or been refused a building permit?	<input type="radio"/>	<input checked="" type="radio"/>
Proposed Use of Property: 2 Family residence	Is the property or are the buildings/ structures pre-existing nonconforming?	<input checked="" type="radio"/>	<input type="radio"/>
	Is the proposal subject to approval by the BOH or BOS?	<input type="radio"/>	<input checked="" type="radio"/>
	Is the proposal subject to approval by the Conservation Commission?	<input type="radio"/>	<input checked="" type="radio"/>
Date Lot was created: 1960	Is the property located in the Floodplain District?	<input type="radio"/>	<input checked="" type="radio"/>
Date Building was erected: 1960	Is the property located in the Groundwater Protection District?	<input type="radio"/>	<input checked="" type="radio"/>
Does the property meet the intent of the Design Review Guidelines? Yes	Is the property located in a designated Historic District or is it designated as a Historic Landmark?	<input type="radio"/>	<input checked="" type="radio"/>
<p>Describe Application Request:</p> <p>Remodel building into a 2 family residence. Pursuant to Special Permit and, if necessary, request variances on a preexisting non-conforming lot for Area and Frontage.</p>			

GENERAL APPLICATION FORM

Case Number: _____

FILL IN THE APPLICABLE DATA BELOW

Required Data	Bylaw Requirement	Existing	Proposed
A. Use		Office Building	2 Family Residence
B. Dwelling Units	2 by Special Permit	1	2
C. Lot Size	30,000 S.F.	9,148	9,148
D. Lot Frontage	150'	100	100
E. Front Setback	35'	38.3	38.3
F. Side Setback	15'	27.3	27.3
G. Side Setback	15'	36.3	36.3
H. Rear Setback	15'	29.3	29.3
I. Lot Coverage	30%	N/A	N/A
J. Height	35'	2 story cape 30'	2 story cape 30'
K. Parking Spaces	N/A	11	4
L. Other			

FOR TOWN HALL USE ONLY*To be filled out by the Building Commissioner:*

Date Reviewed _____

Medway Building Commissioner _____

Comments:

After completing this form, please submit an electronic copy to zoning@townofmedway.org
and 10 paper copies to the Community & Economic Development Department.

Unofficial Property Record Card - Medway, MA

General Property Data

Parcel ID 60-106
 Prior Parcel ID 1B -87-
 Property Owner REARDON TRUSTEE ANN
 REARDON FAMILY IRREVOCABLE TRS
 Mailing Address 6 ELYSE RD

Account Number 1B-87

Property Location 201 VILLAGE ST
 Property Use COMM/RES

Most Recent Sale Date 8/7/2017
 Legal Reference 35342-291

City MANSFIELD

Grantor E & A NOMINEE TRUST,

Mailing State MA Zip 02048

Sale Price 1

ParcelZoning AR11

Land Area 0.210 acres

Current Property Assessment

Card 1 Value Building Value 130,900

Xtra Features Value 3,700

Land Value 105,400

Total Value 240,000

Building Description

Building Style OFFICE
 # of Living Units 4
 Year Built 1960
 Building Grade Average
 Building Condition Average
 Finished Area (SF) 2527.20001
 Number Rooms 3
 # of 3/4 Baths 0

Foundation Type WALKOUT BMT
 Frame Type Wood
 Roof Structure GABLE
 Roof Cover ASPHALT SHNG
 Siding Vinyl
 Interior Walls PANELED
 # of Bedrooms 1
 # of 1/2 Baths 2

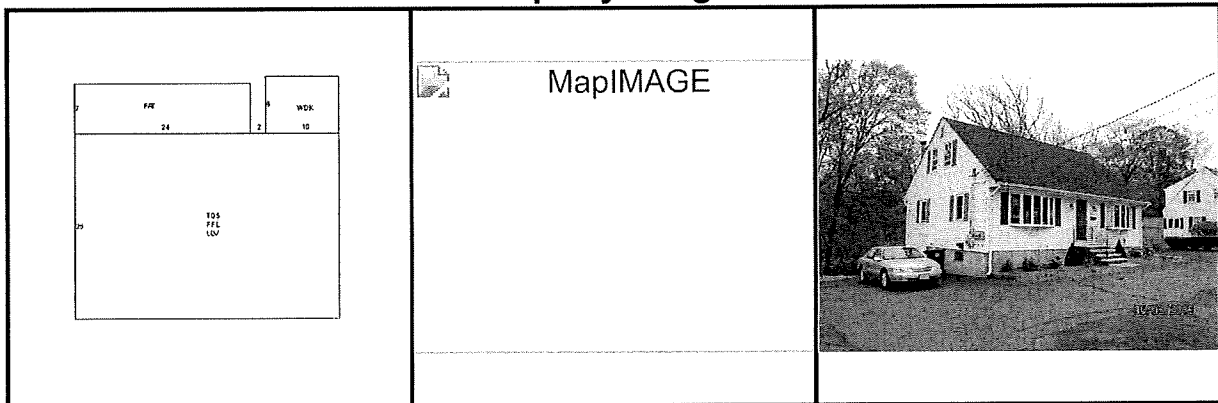
Flooring Type Carpet
 Basement Floor Carpet
 Heating Type FORCED H/AIR
 Heating Fuel GAS
 Air Conditioning 100%
 # of Bsmt Garages 0
 # of Full Baths 1
 # of Other Fixtures 2

Legal Description

Narrative Description of Property

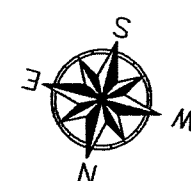
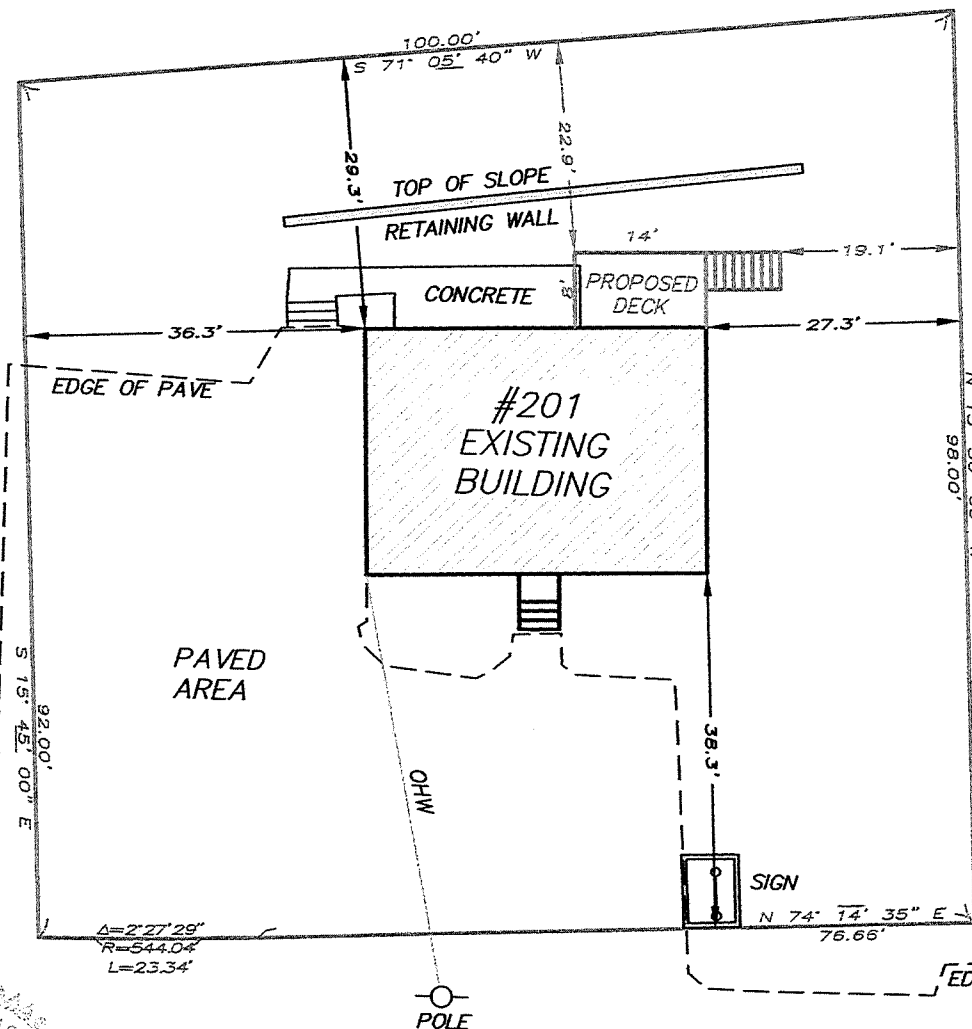
This property contains 0.210 acres of land mainly classified as COMM/RES with a(n) OFFICE style building, built about 1960 , having Vinyl exterior and ASPHALT SHNG roof cover, with 4 unit(s), 3 room(s), 1 bedroom(s), 1 bath(s), 2 half bath(s).

Property Images

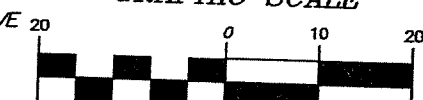


Disclaimer: This information is believed to be correct but is subject to change and is not warranted.

NOTE:
ALL OFFSETS & DIMENSIONS
ARE TO THE SIDING UNLESS
OTHERWISE NOTED.



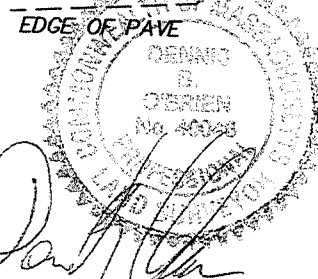
GRAPHIC SCALE



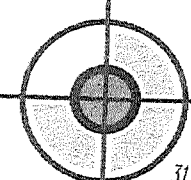
(IN FEET)

1 inch = 20 ft.

VILLAGE STREET



Dennis O'Brien P.L.S.



D. O'BRIEN
LAND SURVEYING

31 HAYWARD STREET UNIT 3-G, EST. 1995
FRANKLIN, MA 02038 508-541-0048

PLAN SHOWING PROPOSED DECK
201 VILLAGE STREET
MEDWAY, MA NORFOLK COUNTY

SCALE: 1:20'	DATE: 6/20/2018	REVISED: ---	DRAFTED BY: PJC	CHECKED BY: D.O.
-----------------	--------------------	-----------------	--------------------	---------------------



TOWN OF MEDWAY
ZONING BOARD OF APPEALS
155 Village Street
Medway MA 02053

GENERAL SPECIAL PERMIT FORM

Case Number: _____

Phone: 508-321-4915 | zoning@townofmedway.org
www.townofmedway.org/zoning-board-appeal

NOTE: THE APPLICATION WILL NOT BE CONSIDERED "COMPLETE" UNLESS ALL NECESSARY DOCUMENTS, FEES, & WAIVER REQUESTS ARE SUBMITTED. A GENERAL APPLICATION FORM MUST BE COMPLETED FOR ALL APPLICATIONS.

TO BE COMPLETED BY THE APPLICANT

Please provide evidence regarding how the Special Permit Decision Criteria, outlined below, is met. Please write "N/A" if you believe any of the Criteria is Not Applicable. Provide attachments if necessary.

1. The proposed site is an appropriate location for the proposed use:

See Attached

2. Adequate and appropriate facilities will be provided for the operation of the proposed use:

See Attached

3. The proposed use as developed will not create a hazard to abutters, vehicles, pedestrians, or the environment:

See Attached

4. The proposed use will not cause undue traffic congestion or conflicts in the immediate area:

See Attached

5. The proposed use will not be detrimental to the adjoining properties due to lighting, flooding, odors, dust, noise, vibration, refuse materials, or other undesirable visual, site, or operational attributes of the proposed use:

See Attached

6. The proposed use as developed will not adversely affect the surrounding neighborhood or significantly alter the character of the zoning district:

See Attached

Case Number: _____

7. The proposed use is in harmony with the general purposed and intent of this Zoning Bylaw:

See Attached

8. The proposed use is consistent with the goals of the Medway Master Plan:

See Attached

9. The proposed use will not be detrimental to the public good:

See Attached


Signature of Applicant/Petitioner or Representative

3-18-21
Date

1. The proposed site is in an appropriate location for the proposed use as the proposed site is within a residential zoning district surrounded by single-family and two-family residences. The proposed site and lot are pre-existing non-conforming lot, and the site has been used as an insurance business office and an apartment for in excess of 30 years. The Petitioner wishes to convert the insurance office and the apartment to a two-family residence.
2. Adequate and appropriate facilities will be provided for the operation of proposed use. The proposed use will have all that is required to operate it and use it as a two-family residence. Most of the required facilities are already present but there will be some interior renovations done in order to establish the two-family residence.
3. The proposed use as developed will not create a hazard to abutters, vehicles, pedestrians, or the environment as the proposed use will be more in conformity with the surrounding zoning district, will create less traffic than the insurance business and will create less of a hazard to abutters, vehicles, and pedestrians.
4. The proposed use will not cause undue traffic congestion or conflicts in the immediate area as the proposed use as a two-family residence will cause less traffic congestion than the use as an insurance office.
5. The proposed use will not be detrimental to the adjoining properties due to lighting, flooding, odors, dust, noise, vibration, refuse materials or other undesirable visual site or operational attributes as the proposed use will be going from a use of an office building and apartment to a two-family residence, and will be less intrusive as to all the previously listed issues.
6. The proposed use as developed will not adversely affect the surrounding neighborhood or significantly alter the character of the zoning district as the proposed use will be more in conformity with the zoning district and a residential district and in conformity with the surrounding neighborhood which consist of single-family and two-family residences.
7. The proposed use is in harmony with the general purpose and intention to the zoning by-law, with the intent of the Zoning By-Law in this particular zoning district is to allow residential single-family and two-family structures, and the intent is converting this office building and apartment to a two-family structure.
8. The proposed use is consistent with the goals of the Medway Master Plan as the proposed use is a two-family residence which will foster the Medway Master Plan as it will provide more and different kinds of residences.
9. The proposed use will not be detrimental to the public good as it will provide residences in a residential district and will remove an insurance office from the residential district and the pre-existing non-conforming use.

VARIANCE FORM



TOWN OF MEDWAY ZONING BOARD OF APPEALS

155 Village Street
Medway MA 02053

Phone: 508-321-4915 | zoning@townofmedway.org
www.townofmedway.org/zoning-board-appeal

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TO BE COMPLETED BY THE APPLICANT

Please provide evidence regarding how the Variance Criteria, outlined below, is met. All Variance Criteria must be met to be considered. Provide attachments if necessary.

1. What circumstances exist relating to the shape, topography, or soil conditions of the subject property which do not generally affect other land in the zoning district? (See MGL c. 40A Section 10)

See Attached

2. What substantial hardship, financial or otherwise, is caused by the circumstances listed above when the literal enforcement of Medway Zoning Bylaw is applied? (See MGL c. 40A Section 10) (Cannot be *personal hardship*)

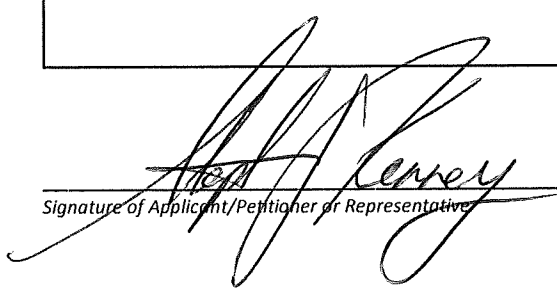
See Attached

3. State why desirable relief may be granted without substantial detriment to the public good.

See Attached

4. State why relief may be granted without nullifying or substantially derogating from the intent or purpose of the Zoning Bylaw.

See Attached


Signature of Applicant/Petitioner or Representative

3-15-21
Date

1. The circumstances that exist relating to the shape, topography, or soil conditions of the subject property which do not general affect other land in the zoning district is as follows: the lot is a pre-existing non-conforming lot containing 9,800 square feet of area where 30,000 square feet of area is required. The lot has been in existence since prior to the Zoning By-Law being enacted. The shape of the lot is such that it is smaller than the other lots in the zoning district because of being a pre-existing non-conforming lot. Additionally, the frontage provided of 100 feet is less than the required frontage of 150 feet. The Petitioner submits that it may not be necessary to have variance allowed because of the pre-existing non-conforming nature of the lot but the request for a special permit for the use of the structure as a two-family residence may require the variances. The topography of the lot is such that it falls substantially at the rear of the lot towards the Charles River.
2. The substantial hardship, financial or otherwise, caused by the circumstances listed above when the literal enforcement of Medway Zoning By-Law is applied is as follows. Because of the pre-existing non-conforming nature of the lot, the lot does not have enough area nor frontage to be a buildable lot currently in the zoning district. The pre-existing non-conforming structure on the lot will not be changed in any way from the exterior. There will be interior renovations to the structure that will not affect the exterior set back lines of the structure. The substantial hardship would be that the Petitioner would not be able to convert the structure to a two-family residence although it could continue to be used as a office building and apartment. The use as a two-family residence would be more in conformity with the surrounding zoning district.
3. Desirable relief may be granted without substantial detriment to the public good as the intent is to convert an insurance office building and apartment to a two-family residence which will be more in line with the surrounding neighborhood and the surrounding zoning district. This will allow substantial benefit to the public good as the new use will be more in conformity with the zoning district.
4. Relief may be granted without nullifying or substantially derogating from the intent or purpose of the Zoning By-Law because the intent and purpose of the Zoning By-Law is to have uses that are allowed in the zoning district and the use of this lot will go from an office building to two-family residence. This will be more in line with the intent or purpose of the Zoning By-Law in this zoning district.

GENERAL APPLICATION FORM



TOWN OF MEDWAY

ZONING BOARD OF APPEALS

155 Village Street
Medway MA 02053

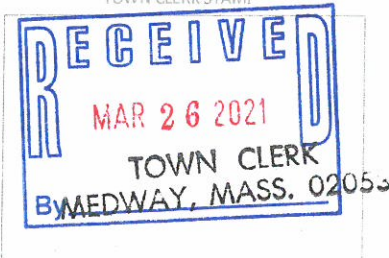
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TO BE COMPLETED BY THE APPLICANT

Applicant/Petitioner(s): <i>James Murphy</i> <i>Lori Ann Mosher Murphy</i>	Application Request(s):	
Property Owner(s): <i>Lori Ann Mosher Murphy</i>	Appeal <input type="checkbox"/>	
	Special Permit <input checked="" type="checkbox"/>	
Site Address(es): <i>24 Milford Street</i> <i>Medway Mass.</i> <i>02053</i>	Variance <input type="checkbox"/>	
	Determination/Finding <input type="checkbox"/>	
	Extension <input type="checkbox"/>	
	Modification <input type="checkbox"/>	
Parcel ID(s): <i>57-008</i>	Comprehensive Permit <input type="checkbox"/>	
Zoning District(s): <i>Residential</i>		
Registry of Deeds Book & Page No. and Date or Land Court Certificate No. and Date of Current Title: <i>April 29 1994 Book # 10497 Page # 416</i>		

TOWN CLERK STAMP



TO BE COMPLETED BY STAFF:

Check No.: *8197*

Date of Complete Submittal: *3/26/21*

Comments:

Morgan Harris

3/25/21

APPLICANT/PETITIONER INFORMATION

The owner(s) of the land must be included as an applicant, even if not the proponent. Persons or entities other than the owner may also serve as co-applicants in addition to the owner(s), however, in each instance, such person shall provide sufficient written evidence of authority to act on behalf of the owner(s). For legal entities such as corporations, LLCs, etc., list the type and legal status of ownership, the name of the trustees/officer members, their affiliation, and contact information. Please provide attachment for information if necessary.

Applicant/Petitioner(s): <i>James Murphy</i>	Phone: <i>(508) 533-6929</i>
<i>Lori Ann Mosher Murphy</i>	Email: <i>L2ndJmurphy@Comcast.net</i>
Address: <i>24 Milford Street.</i> <i>Medway, Mass. 02053.</i>	
Attorney/Engineer/Representative(s): <i>N/A</i>	Phone:
	Email:
Address:	
Owner(s): <i>Lori Ann Mosher Murphy</i>	Phone: <i>(508) 533-6929</i>
	Email: <i>L2ndJmurphy@comcast.net</i>
Mailing Address: <i>24 Milford Street.</i> <i>Medway, Mass. 02053</i>	

Please list name and address of other parties with financial interest in this property (use attachment if necessary):

Please disclose any relationship, past or present, interested parties may have with members of the ZBA:

I hereby certify that the information on this application and plans submitted herewith are correct, and that the application complies with all applicable provisions of Statutes, Regulations, and Bylaws to the best of my knowledge, and that all testimony to be given by me during the Zoning Board of Appeals public hearing associated with this application are true to the best of my knowledge and belief.

Lori Ann Mosher Murphy
Signature of Applicant/Petitioner or Representative

3/25/2021
Date

Signature Property Owner (if different than Applicant/Petitioner)

Date

APPLICATION INFORMATION

		YES	NO
Applicable Section(s) of the Zoning Bylaw: <i>3.4 Special Permit</i>	Requesting Waivers?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<i>5.4 Special Uses</i>	Does the proposed use conform to the current Zoning Bylaw?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Present Use of Property: <i>Single Family Resident.</i>	Has the applicant applied for and/or been refused a building permit?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Proposed Use of Property: <i>Same</i>	Is the property or are the buildings/structures pre-existing nonconforming?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	Is the proposal subject to approval by the BOH or BOS?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	Is the proposal subject to approval by the Conservation Commission?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Date Lot was created: <i>1923 ?</i>	Is the property located in the Floodplain District?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Date Building was erected: <i>1930's ?</i>	Is the property located in the Groundwater Protection District?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Does the property meet the intent of the Design Review Guidelines?	Is the property located in a designated Historic District or is it designated as a Historic Landmark?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Describe Application Request: <p><i>We would like to increase the number of Dogs we can have on the property. We have an existing Kennel License for (5) dogs.</i></p>			

GENERAL APPLICATION FORM

FILL IN THE APPLICABLE DATA BELOW

Required Data	Bylaw Requirement	Existing	Proposed
A. Use		Residential	
B. Dwelling Units		1	
C. Lot Size		.23 acres.	
D. Lot Frontage		90'	
E. Front Setback		25'	
F. Side Setback		40'	
G. Side Setback		10'	
H. Rear Setback		35'	
I. Lot Coverage		13,551 sq'	
J. Height		2 story	
K. Parking Spaces		2	
L. Other			

FOR TOWN HALL USE ONLY

To be filled out by the Building Commissioner:

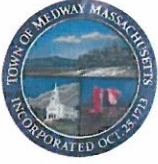
3/26/2021
Date Reviewed

Joel Mann
Medway Building Commissioner

Comments:

After completing this form, please submit an electronic copy to zoning@townofmedway.org and 4 paper copies to the Community & Economic Development Department.

GENERAL SPECIAL PERMIT FORM



TOWN OF MEDWAY ZONING BOARD OF APPEALS

155 Village Street
Medway MA 02053

Phone: 508-321-4915 | zoning@townofmedway.org
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TO BE COMPLETED BY THE APPLICANT

Please provide evidence regarding how the Special Permit Decision Criteria, outlined below, is met. Please write "N/A" if you believe any of the Criteria is Not Applicable. Provide attachments if necessary.

1. The proposed site is an appropriate location for the proposed use:

Yes Existing Kennel License

2. Adequate and appropriate facilities will be provided for the operation of the proposed use:

Yes Existing No Changes

3. The proposed use as developed will not create a hazard to abutters, vehicles, pedestrians, or the environment:

N/A

4. The proposed use will not cause undue traffic congestion or conflicts in the immediate area:

N/A

5. The proposed use will not be detrimental to the adjoining properties due to lighting, flooding, odors, dust, noise, vibration, refuse materials, or other undesirable visual, site, or operational attributes of the proposed use:

N/A

6. The proposed use as developed will not adversely affect the surrounding neighborhood or significantly alter the character of the zoning district:

N/A

GENERAL SPECIAL PERMIT FORM

7. The proposed use is in harmony with the general purposed and intent of this Zoning Bylaw:

N/A.

8. The proposed use is consistent with the goals of the Medway Master Plan:

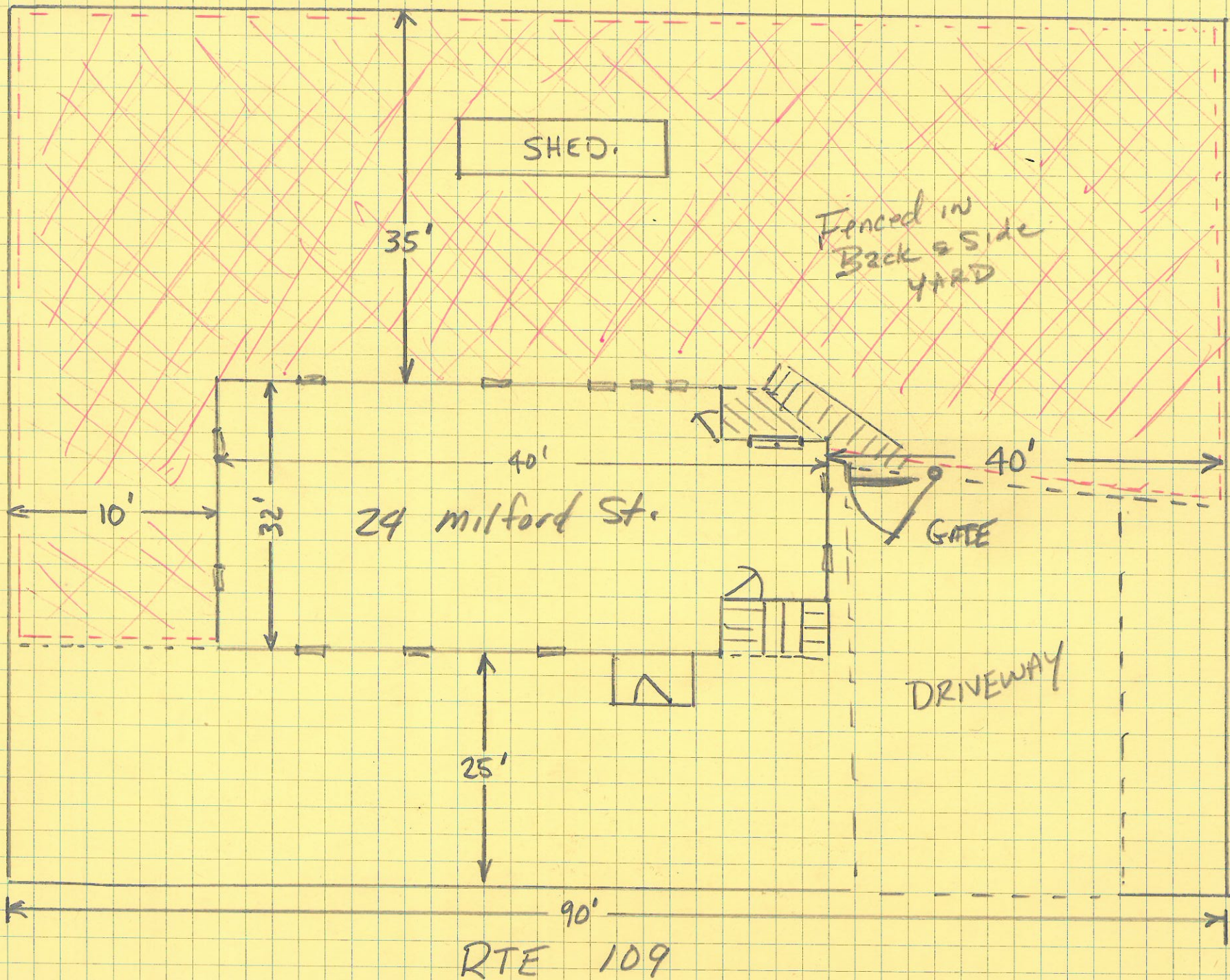
N/A

9. The proposed use will not be detrimental to the public good:

N/A

Lou Ann Maher Murphy
Signature of Applicant/Petitioner or Representative

03/25/2021
Date



March 25, 2021
24 Milford Street
Medway, MA 02053

Town Of Medway
Zoning Board Of Appeals
155 Village Street
Medway, MA 02053

Dear Sirs,

We would like to increase the number of dogs we can have on the property.

We have an existing Kennel license for 5 dogs granted in 2008.

Our situation has changed recently with the pandemic. We would like to help with older dogs that have been surrendered and are extremely difficult to find homes for.

This does not have to be a permanent extension of our Kennel license. If possible 7 to 10 dogs for a period of 3 to 5 years with return to the original 5 dog license at a given date.

We care for 15 to 20lbs King Charles Cavalier Spaniels.

Thank You

Lou Ann Master Murphy
James H. Murphy

COMMONWEALTH OF MASSACHUSETTS

NORFOLK, SS

IN THE MATTER OF: Lori Mosher Murphy
Petitioner

OPINION OF THE BOARD

REQUEST FOR SPECIAL PERMIT
24 Milford St.

Hearing: March 5, 2008
Decision: March 5, 2008

MEMBERS PRESENT: Joseph F. Musmanno, Chairman
David Cole
Matthew Flotta
Peter Gluckler, Jr.

THE WRITTEN OPINION WAS DELIVERED ON MARCH 25, 2008

Town Clerk
APR 8 2008
30 day appeal
date
April 23, 2008

OPINION OF THE BOARD

This is a proceeding of the Zoning Board of Appeals of the Town of Medway, MA (hereinafter the Board) acting under the Zoning By-Laws of the Town of Medway, MA, 02053 and the Massachusetts General Law C40A, as amended, in which the petitioner, Lori Mosher Murphy requests a Special Permit for a Kennel License at 24 Milford St., Medway, MA 02053.

Hearing

Notice of the Public Hearing by the Zoning Board of Appeals in this matter was published in the Milford Daily News on February 20 and 27, 2008. Notice also was sent to all "parties in interest" and posted in the Town Hall as required by Massachusetts General Laws Chapter 40A, Section 11.

The Public Hearing was held and the record closed on March 5, 2008. At the hearing, no one spoke in favor of; nor did anyone speak in opposition to the application. Two letters in support of the application were submitted and read into the record, including VCA Heritage Hill Animal Hospital and Lucky Star Cavalier Rescue.

Hearing Summary

The Applicant came before the Board to request a Kennel License to foster and house 5-7 rescue dogs, typically Cavalier Spaniels, at her home located at 24 Milford Street. The premises are approximately one-half acre and the rear back yard is totally fenced. The dogs are not left outside unattended. There would be no commercial operations on the premises. All the dogs are spayed or neutered. There have been no known complaints to the Medway Animal Officer. The Applicant owns 4 dogs presently, 1 English Setters and 3 Cavalier Spaniels, which are rescued dogs. Typically, the Cavalier Spaniels are less than 20 lbs. The rescue/fostering is usually for short periods of time, at most two months, before adoption by a suitable family.

Findings

By vote of 4-0:

1. The grant of a Special Permit to the Applicant for an appropriately limited kennel license would not be contrary to the public good.

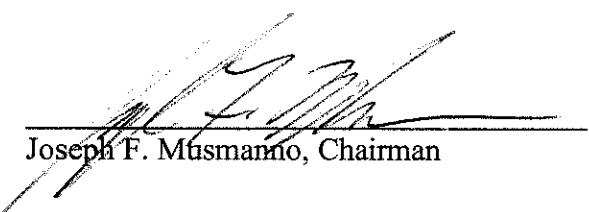
Relief Granted

By vote of 4-0: A Special Permit is granted for a Kennel License to the Applicant, Lori Mosher Murphy, at 24 Milford St., Medway, MA 02053; subject to the following conditions and/or restrictions:

1. Not more than five (5) dogs on the premises at any one time. (By vote of 4-0)
2. No kennel operation other than the temporary fostering of rescue dogs. (By vote of 4-0)

The Board hereby makes a detailed record of its findings and proceedings relative to this petition, sets forth its reasons for its findings and decision, incorporates by reference any plan or diagram received by it, directs that this decision be filed in the office of the Town Clerk and be made a public record and that notice and copies of its decision be made forthwith to all parties or persons interested.

IN ACCORDANCE WITH MASSACHUSETTS GENERAL LAW, CHAPTER 40A, SECTION 11 NO VARIANCE, SPECIAL PERMIT OR CONSTRUCTIVE GRANT OF A VARIANCE TAKES EFFECT UNTIL RECORDED IN THE REGISTRY OF DEEDS.



Joseph F. Musmamo, Chairman

David Cole

Matthew Flotta

Peter Gluckler, Jr.



April 13, 2021

**Medway Planning & Economic Development Board
Meeting**

20 Broad Street Plan Endorsement

- Revised site plan dated April 8, 2021 by GLM Engineering
- Sign off email from Tetra Tech dated April 12, 2021 as the last in a series of emails starting March 15, 2021.

We are still working on a few details of the wording for the performance security Covenant and arranging for signatures of the permittee and their construction lender. I would recommend the PEDB vote to endorse the final site plan and direct staff to hold its release to the permittee until the Covenant signed by the necessary parties is provided. The PEDB does not need to sign the Covenant.

APPROVED WAIVERS BY THE BOARD:
SITE PLAN SUBMITTAL REQUIREMENTS/PLAN CONTENTS
1. Section 204-3.A.7: - A Development Impact Statement

2. Section 204-4.D: All existing and proposed elevations shall refer to the North American Vertical Datum of 1988 (NAVD88).
3. Section 204-5 D.7: The landscape plan shall be prepared by a Licensed Landscape Architect.

SITE PLAN DEVELOPMENT STANDARDS

1. Section 205-6 Parking G.3. a) Parking Spaces/Stalls - Car parking spaces/stalls shall be ten (10) feet by twenty (20) feet.
2. Section 205-6 Parking H. Curbing - The perimeter of the parking area shall be bounded with vertical curb or similar type of edge treatment to delineate the parking lot.
3. Section 205-9. F. Landscaping - Tree Replacement - The total diameter of all trees over ten (10) inches in diameter that are removed from the site shall be replaced with trees that equal the total breast height diameter of the removed trees. The replacement trees may be placed off site as recommended by the board.

SURVEY NOTES:

1. THE EXISTING CONDITIONS AND PROPERTY LINE SURVEY WAS CONDUCTED BY A.S. ELIOT ASSOCIATES, P.O. BOX 85, HOPEDALE, MASSACHUSETTS.
2. SUBJECT TO ANY STATEMENT OF FACT AN UP-TO-DATE ABSTRACT OF TITLE WOULD DISCLOSE.
3. SUBJECT TO ALL RIGHTS, EASEMENTS, COVENANTS OR RESTRICTIONS OF RECORD.
4. UNDERGROUND UTILITIES, STRUCTURES AND FACILITIES, IF ANY, HAVE BEEN SHOWN FROM SURFACE LOCATIONS AND MEASUREMENTS OBTAINED FROM A FIELD SURVEY AND RECORD LOCATIONS. THEREFORE THEIR LOCATIONS MUST BE ONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHER UTILITIES WHICH THE EXISTENCE OF ARE NOT KNOW. SIZE TYPE AND LOCATION OF ALL UTILITIES MUST BE VERIFIED BY THE PROPER AUTHORITIES PRIOR TO ANY AND ALL CONSTRUCTION. CALL TOLL FREE DIG SAFE AT 1-888-DIG-SAFE, SEVENTY-TWO HOURS PRIOR TO EXCAVATION.
5. ELEVATIONS ON THIS PLAN ARE APPROXIMATE AND REFERENCE THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD 1929)
6. BENCHMARK #1 INFORMATION:
IN THE CENTER OF MEDWAY ON THE SOUTH SIDE OF VILLAGE STREET, 295. FEET SOUTH OF THE CENTERLINE IN FRONT OF A CATHOLIC CHURCH, 51.5 FEET FROM THE NORTHWEST CORNER, A GRANITE POST AT THE EAST SIDE OF WEST WALK TO CHURCH, AT THE STREET LIN (NO MARK) MASS DOT POINT ID: 14258; STATION NAME: CR 34.
7. APPROXIMATE LOCATION OF ZONE/ADAPTIVE USE OVERLAY DISTRICT BOUDARY LINE IS TAKEN FROM THE TOWN OF MEDWAY GIS MAP, AND SHOWN GRAPHICALLY.

ZONING TABLE:		
	REQUIRED	PROPOSED
LOT AREA:	10,000 S.F.	23,109 S.F.
LOT FRONTAGE:		
Multi-Family Overlay	50 FT.	184.29 FT.
YARD SETBACKS:		
FRONT:	20 FT.	21.0 FT.
SIDE:	10 FT.	13.7 FT.
REAR:	10 FT.	25.0 FT.
BUILDING HEIGHT:	40' Max.	34.5 FT.
MAX LOT COVERAGE		
STRUCTURES:	80%	(4,035 sf) 17.5%
MAX. LOT COVERAGE		
TOTAL IMPERVIOUS:	N.A.	(9,446 sf) 40.9%
OPEN SPACE		(6,800 sf) 29.4%

DWELLING UNITS ALLOWED:

Multi-Family Zoning: 12 Dwelling Units per 1 Acre

ALLOWABLE UNITS: 23,109 S.F. = 6 Dwelling Units

PARKING REQUIREMENTS:

Required: 2 Spaces Per Unit
(No handicap spaces required)

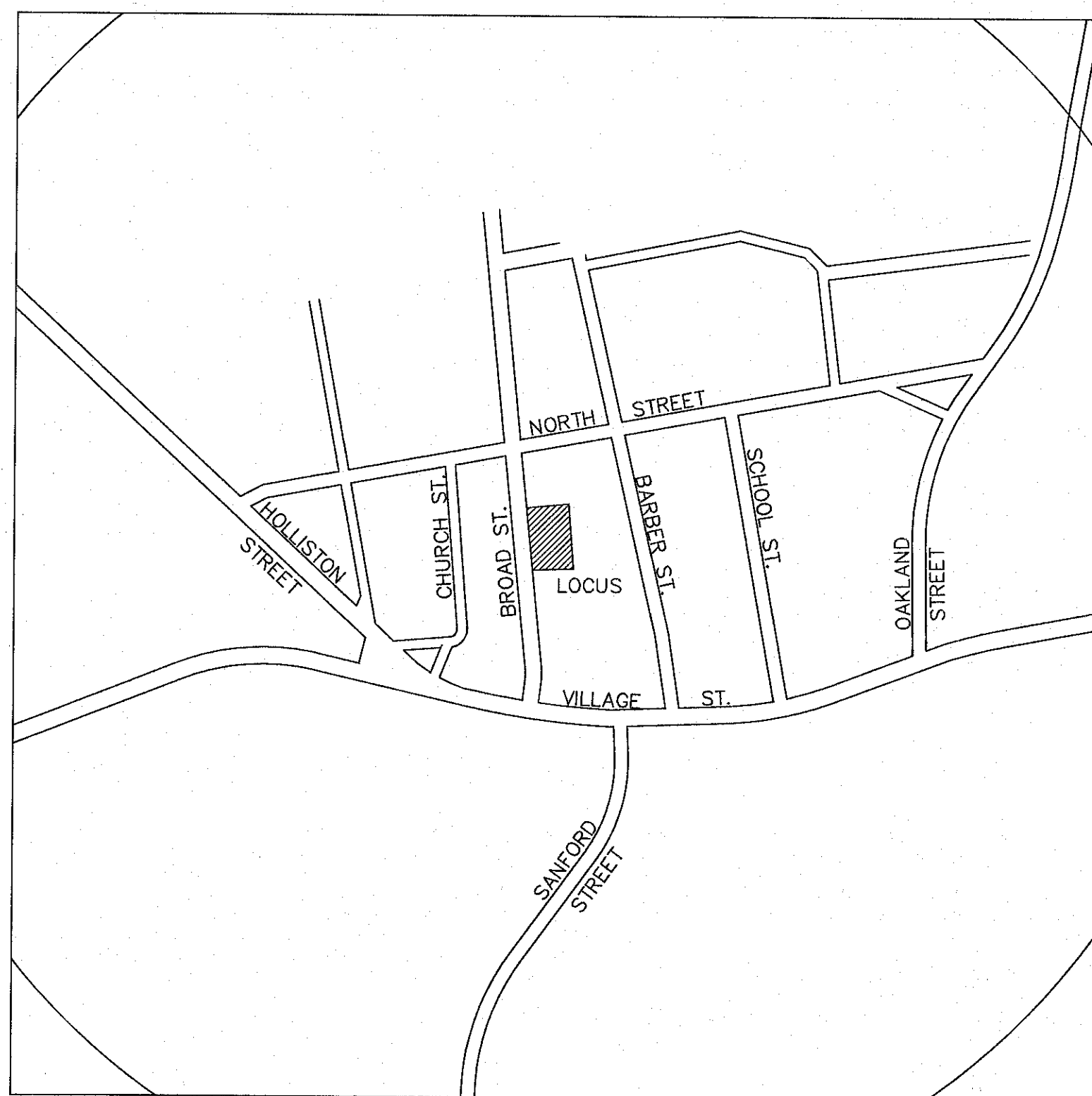
Provided: 12 Spaces

SITE DEVELOPMENT PLAN

20 BROAD STREET

MEDWAY, MASSACHUSETTS

DATE: SEPTEMBER 16, 2019
REVISED: NOVEMBER 22, 2019
MARCH 12, 2021
APRIL 8, 2021



Prepared By:
GLM ENGINEERING
CONSULTANTS, INC.
19 EXCHANGE STREET
HOLLISTON, MASSACHUSETTS 01746
(508)429-1100 fax:(508)429-7160

Applicant:
VILLAGE DISTRICT DEVELOPMENT LLC
9A NORTH STREET
MEDWAY, MASSACHUSETTS 02053

APPROVED BY
MEDWAY PLANNING AND ECONOMIC
DEVELOPMENT BOARD

DATE APPROVED: _____

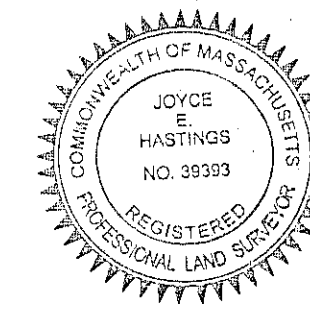
DATE ENDORSED: _____

APPROVAL SUBJECT TO A PERFORMANCE
SECURITY COVENANT TO BE EXECUTED BY THE
BOARD AND RECORDED WITH THE SPECIAL
PERMIT AND PLAN.

I TOWN CLERK OF THE TOWN OF MEDWAY,
RECEIVED FROM THE PLANNING BOARD
APPROVAL OF THIS PLAN AND NO APPEAL HAS
BEEN TAKEN FOR TWENTY DAYS NEXT AFTER
RECEIPT AND RECORDING OF SAME.

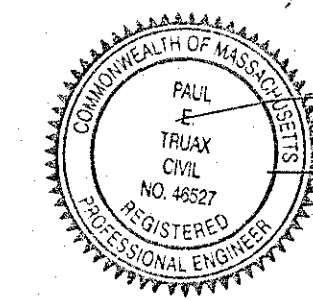
TOWN CLERK _____ DATE _____

THIS PLAN & SURVEY WAS PREPARED IN ACCORDANCE
WITH THE PROCEDURAL AND TECHNICAL STANDARDS FOR
THE PRACTICE OF LAND SURVEYING IN THE
COMMONWEALTH OF MASSACHUSETTS.



JOYCE E. HASTINGS
JOYCE E. HASTINGS P.L.S.

4/8/2021
DATE



PAUL E. TRUAX, P.E.

4-8-2021
DATE

ASSESSOR REFERENCE:
MAP 60, LOT 232

DEED REFERENCE:
NORFOLK COUNTY REGISTRY OF DEEDS

PLAN REFERENCE:
RECORDED IN MIDDLESEX SOUTH REGISTRY OF DEEDS
1. PLAN NO. 737 OF 1987, PL. BK. 355
2. PLAN NO. 71 OF 2008, PL. BK. 588
3. PLAN BK. 2272, PAGE 496
4. PLAN BK. D209, PAGE 900

ZONING CLASSIFICATION:
(VC) - VILLAGE COMMERCIAL
(MHOD) - MULTIFAMILY HOUSING OVERLAY DISTRICT
(AUOD) - ADAPTIVE USE OVERLAY DISTRICT
GROUNDWATER PROTECTION DISTRICT

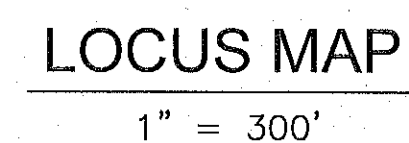
ZONING INTENSITY RULATIONS:

	REQUIRED
MIN LOT AREA:	10,000 S.F.
LOT FRONTAGE:	NA
MIN. FRONT SETBACK:	20 FT.
SIDE YARD SETBACK:	10 FT.
REAR YARD SETBACK:	10 FT.
MAX. BUILDING HEIGHT:	40 FT.
MAX. LOT COVERAGE:	80%

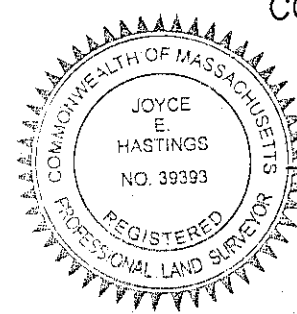
SHEET INDEX

- 1 COVER
- 2 SITE CONTEXT
- 3 EXISTING CONDITIONS
- 4 LAYOUT PLAN / GRADING & DRAINAGE
- 5 EROSION / O&M PLAN FOR CONSTRUCTION
- 6 DETAILS
- 7 DETAILS
- LA-1 - LA-3 LANDSCAPE PLANS
- P ARCHITECT FLOOR PLAN
- A2.0 ARCHITECT FLOOR PLAN
- P ARCHITECT FLOOR PLAN
- E ARCHITECT RENDERINGS
- LP LIGHTING PHOTOMETRIC PLAN

JOB No.	16,529D
DATE:	SEPT 16, 2019
SCALE:	AS SHOWN
SHEET:	1 of 7
PLAN #:	27,355



THIS PLAN & SURVEY WAS PREPARED IN ACCORDANCE
WITH THE PROCEDURAL AND TECHNICAL STANDARDS FOR
THE PRACTICE OF LAND SURVEYING IN THE
COMMONWEALTH OF MASSACHUSETTS.



JOYCE E. HASTINGS P.L.S.

4/8/2021
DATE

APPROVED BY
MEDWAY PLANNING AND ECONOMIC
DEVELOPMENT BOARD

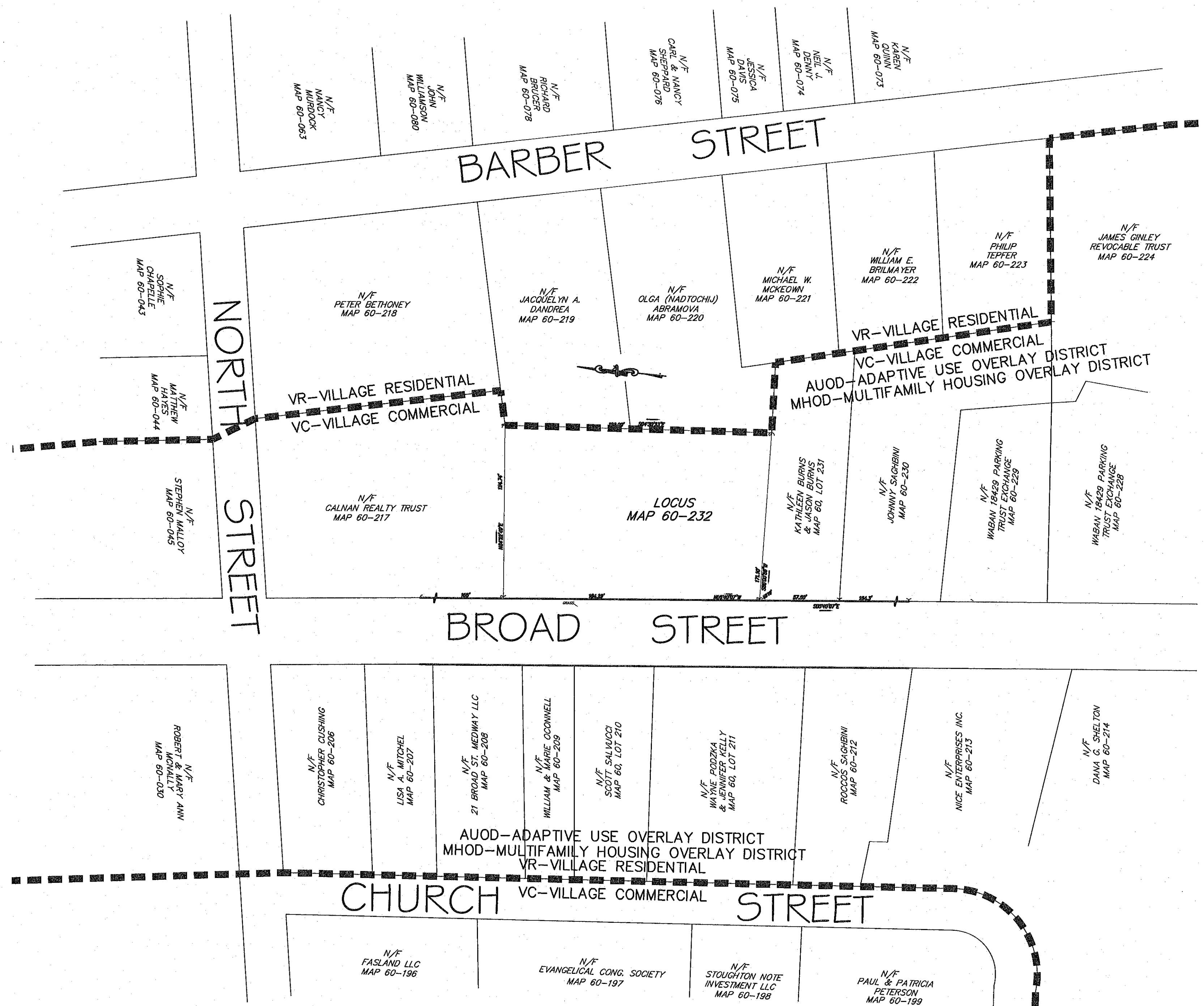
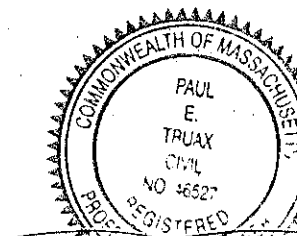
DATE APPROVED:

DATE ENDORSED:

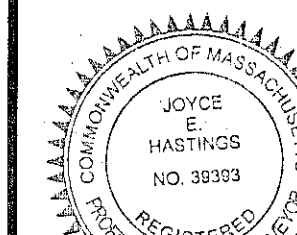
APPROVAL SUBJECT TO A PERFORMANCE
SECURITY COVENANT TO BE EXECUTED BY THE
BOARD AND RECORDED WITH THE SPECIAL
PERMIT AND PLAN.

I TOWN CLERK OF THE TOWN OF MEDWAY,
RECEIVED FROM THE PLANNING BOARD
APPROVAL OF THIS PLAN AND NO APPEAL HAS
BEEN TAKEN FOR TWENTY DAYS NEXT AFTER
RECEIPT AND RECORDING OF SAME.

TOWN CLERK _____ DATE _____

[illegible]

PAUL E. TRUAX, P.E.



4/8/2021

**SITE DEVELOPMENT PLAN
20 BROAD STREET
MEDWAY, MASSACHUSETTS**

PREPARED FOR:
VILLAGE DISTRICT DEVELOPMENT, LLC
9A NORTH STREET
MEDWAY, MASSACHUSETTS 02053

 **GLM** Engineering Consultants, Inc.
19 EXCHANGE STREET
HOLLISTON, MA 01746
P: 508-429-1100
F: 508-429-7160
www.GLMengineering.com

JOB No.	16,529
DATE:	SEPT. 16, 2019
SCALE:	1"=20'
SHEET:	2 of 7
PLAN #:	27,355

1. THE EXISTING CONDITIONS AND PROPERTY LINE SURVEY WAS CONDUCTED BY A.S. ELIOT ASSOCIATES, P.O. BOX 85, HOPEDALE, MASSACHUSETTS.
2. SUBJECT TO ANY STATEMENT OF FACT AN UP-TO-DATE ABSTRACT OF TITLE WOULD DISCLOSE.
3. SUBJECT TO ALL RIGHTS, EASEMENTS, COVENANTS OR RESTRICTIONS OF RECORD.
4. UNDERGROUND UTILITIES, STRUCTURES AND FACILITIES, IF ANY, HAVE BEEN SHOWN FROM SURFACE LOCATIONS AND MEASUREMENTS OBTAINED FROM A FIELD SURVEY AND RECORD LOCATIONS. THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHER UTILITIES WHICH THE EXISTENCE OF ARE NOT KNOWN. SIZE TYPE AND LOCATION OF ALL UTILITIES MUST BE VERIFIED BY THE PROPER AUTHORITIES PRIOR TO ANY AND ALL CONSTRUCTION. CALL TOLL FREE DIG SAFE AT 1-888-DIG-SAFE, SEVENTY-TWO HOURS PRIOR TO EXCAVATION.
5. ELEVATIONS ON THIS PLAN ARE APPROXIMATE AND REFERENCE THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD 1929). NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88) ELEVATION DIFFERENCE IS 0.80 FEET.
6. BENCHMARK #1 INFORMATION:
IN THE CENTER OF MCDWAY ON THE SOUTH SIDE OF VILLAGE STREET, 295. FEET SOUTH OF THE CENTERLINE IN FRONT OF A CATHOLIC CHURCH, 51.5 FEET FROM THE NORTHWEST CORNER, A GRANITE POST AT THE EAST SIDE OF WEST WALK TO CHURCH, AT THE STREET LINE (NO MARK) MASS DOT POINT ID: 14258; STATION NAME: CR 34.
7. APPROXIMATE LOCATION OF ZONE/ADAPTIVE USE OVERLAY DISTRICT BOUNDARY LINE IS TAKEN FROM THE TOWN OF MCDWAY GIS MAP, AND SHOWN GRAPHICALLY.

<u>ZONING INTENSITY REGULATIONS:</u>	
	<u>REQUIRED</u>
MIN LOT AREA:	10,000 S.F.
LOT FRONTAGE:	NA
MIN. FRONT SETBACK:	20 FT.
SIDE YARD SETBACK:	10 FT.
REAR YARD SETBACK:	10 FT.
MAX. BUILDING HEIGHT:	40 FT.
MAX. LOT COVERAGE:	80%

PLAN REFERENCE:
RECORDED IN MIDDLESEX SOUTH REGISTRY OF DEEDS

1. PLAN NO. 737 OF 1987, PL. BK. 355
2. PLAN NO. 71 OF 2008, PL. BK. 588
3. PLAN BK. 2272, PAGE 496
4. PLAN BK. D209, PAGE 900

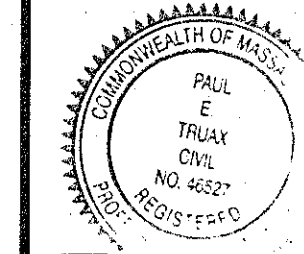
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FOR REGISTRY USE ONLY

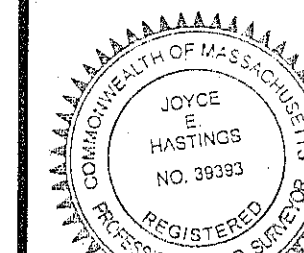
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JOYCE E. HASTINGS P.L.S.

4/6/2021
DATE



PAUL E. TRUAX, P.E.



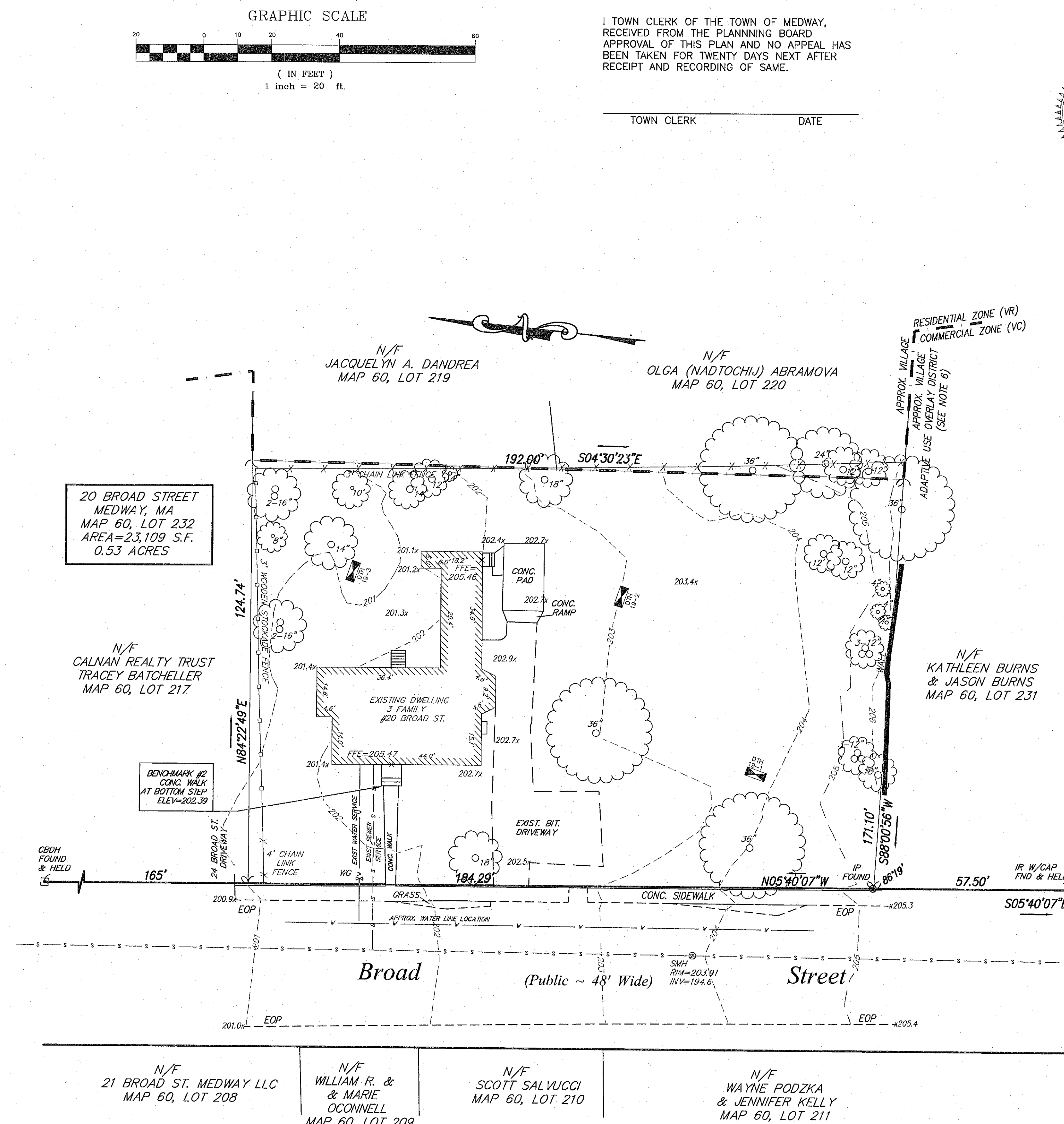
 4/8/2024

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JOB No.	16,529
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SCALE:	1"=20'
SHEET:	3 of 7
PLAN #:	27.355



EXISTING CONDITIONS

SOIL TEST DATA RESULTS

DEEP HOLE -- #19-1			DEEP HOLE -- 19-2			DEEP HOLE -- 19-3		
HORIZ DEPTH	DATE: 5/29/19	ELEV.	HORIZ DEPTH	DATE: 5/29/19	ELEV.	HORIZ DEPTH	DATE: 5/29/19	ELEV.
0"	A SANDY LOAM 10YR3/2	203.8	0"	A SANDY LOAM 10YR3/2	203.0	0"	A SANDY LOAM 10YR3/2	200.9
4"	Bw SANDY LOAM 10YR5/6	202.0	4"	Bw SANDY LOAM 10YR5/6	201.2	4"	Bw SANDY LOAM 10YR5/6	198.9
22"	C1 SAND Med-Coarse 50% Gravel 2.5YR/4	197.6	22"	C1 SAND Med-Coarse 50% Gravel 2.5YR/4	196.7	22"	C1 SAND Med-Coarse 50% Gravel 2.5YR/4	194.9
74"	C2 SAND Fine-Med Firm 10% Gravel 2.5YR/3	191.8	76"	C2 SAND Fine-Med Firm 10% Gravel 2.5YR/3	192.2	72"	C2 SAND Fine-Med Firm 10% Gravel 2.5YR/3	190.6
144"	GROUNDWATER SEEPAGE OBSERVED	193.2	130"	GROUNDWATER SEEPAGE OBSERVED	196.7	124"	GROUNDWATER SEEPAGE OBSERVED	194.9
128"	SOIL MOTTLING	197.6	76"	SOIL MOTTLING	196.7	72"	SOIL MOTTLING	194.9
74"	GROUNDWATER MONITORED	197.6	76"	GROUNDWATER MONITORED	196.7	72"	GROUNDWATER MONITORED	194.9
74"	ESTIMATED SEASONAL HIGH GROUNDWATER	197.6	76"	ESTIMATED SEASONAL HIGH GROUNDWATER	196.7	72"	ESTIMATED SEASONAL HIGH GROUNDWATER	194.9

SURVEY NOTES:

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LEGEND

- SBDH - STONE BOUND DRILL HOLE
- IP - IRON PIN
- UP - UTILITY POLE
- OHW - OVERHEAD WIRES
- 205 - EXISTING CONTOUR
- 202.94 - EXISTING SPOT ELEVATION
- EOP - EDGE OF PAVEMENT
- FFE=205.47 - FIRST FLOOR ELEVATION
- WG - EXISTING WATER GATE
- SMH - SEWER MANHOLE
- 203.8 - PROPOSED CONTOUR
- 203.8 - PROPOSED SPOT ELEVATION
- DRAIN LINE

APPROVED BY
MEDWAY PLANNING AND ECONOMIC
DEVELOPMENT BOARD

DATE APPROVED: _____

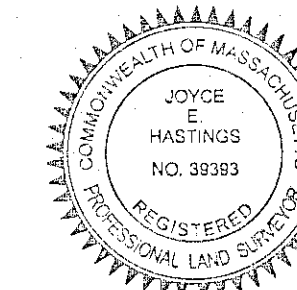
DATE ENDORSED: _____

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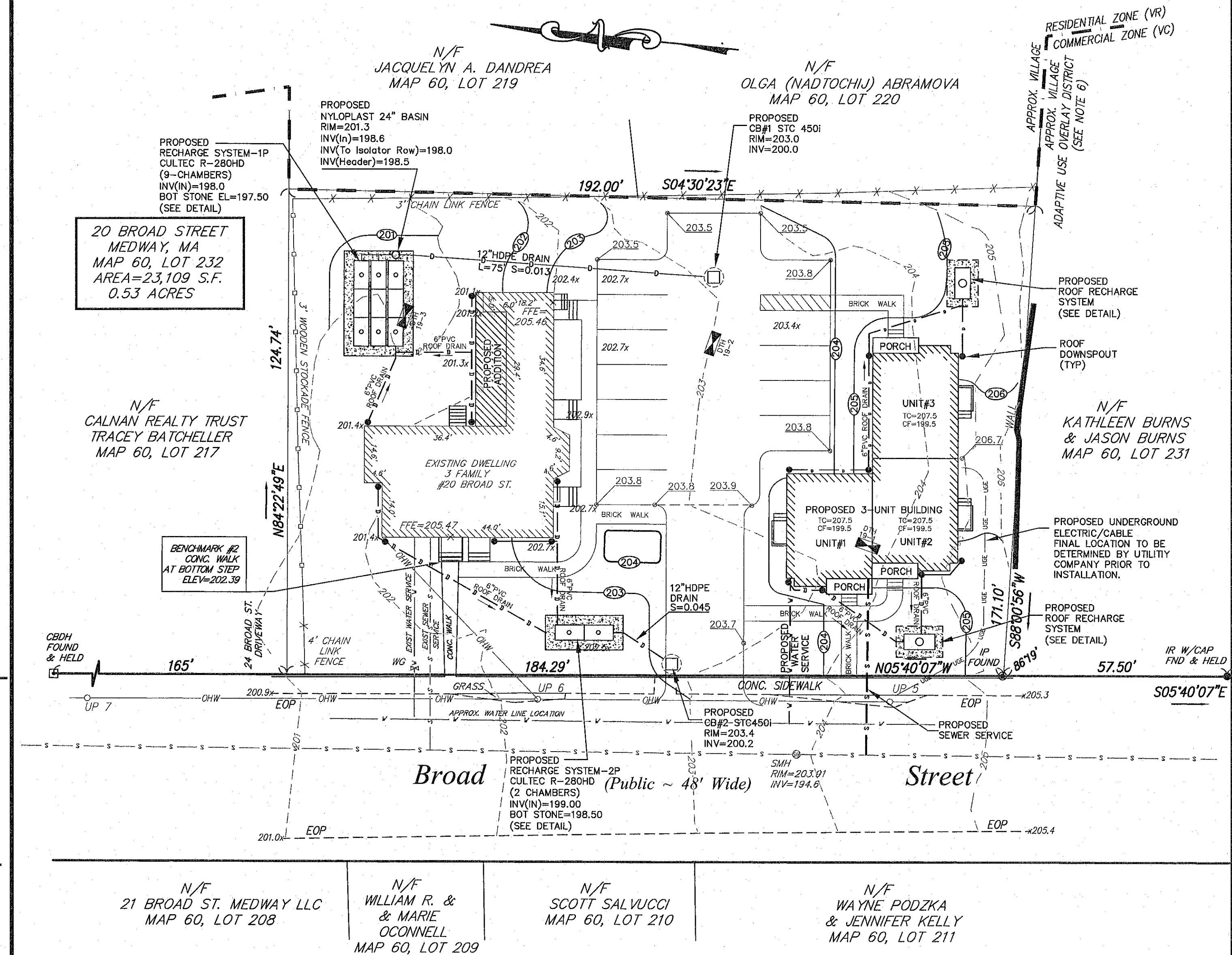
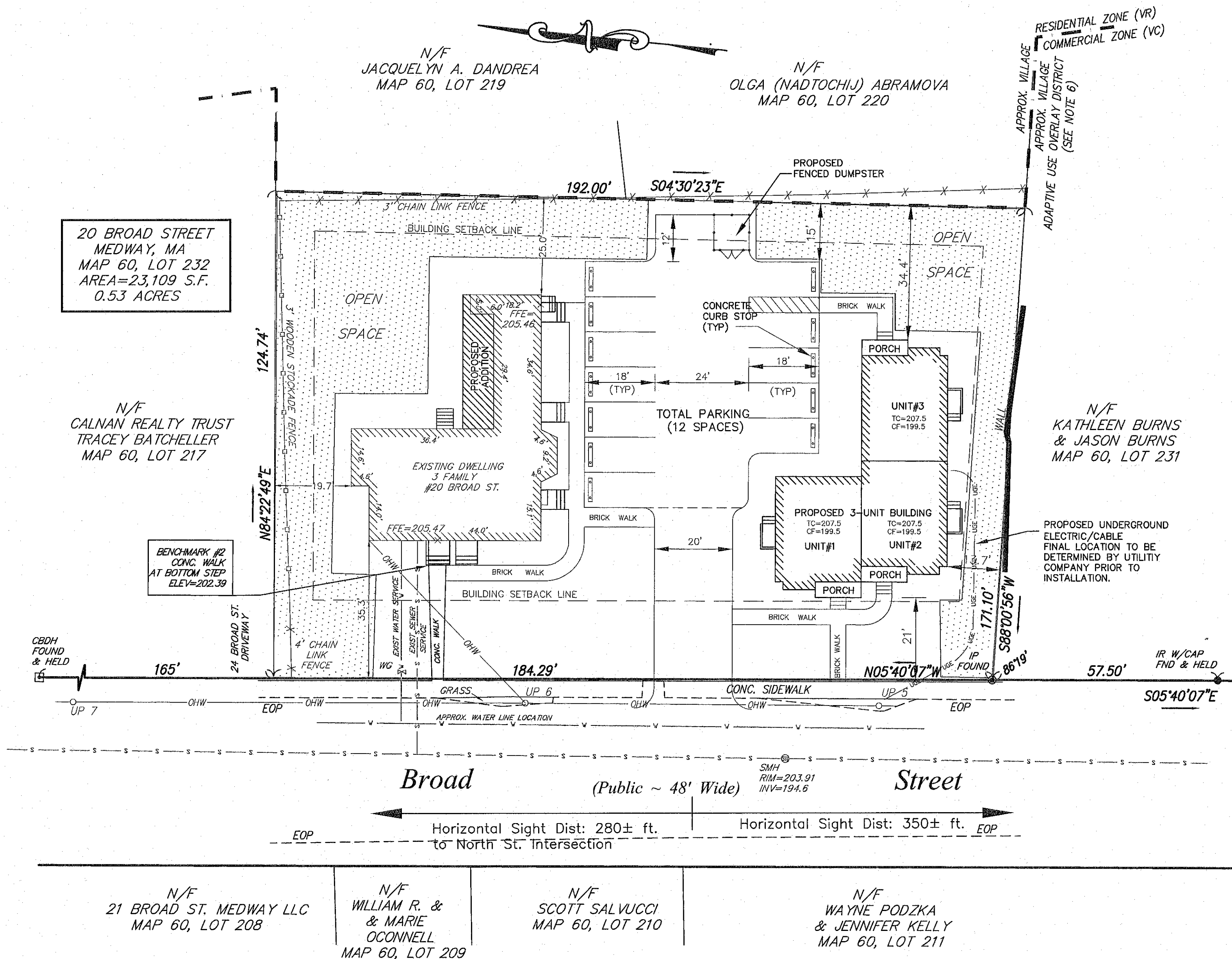
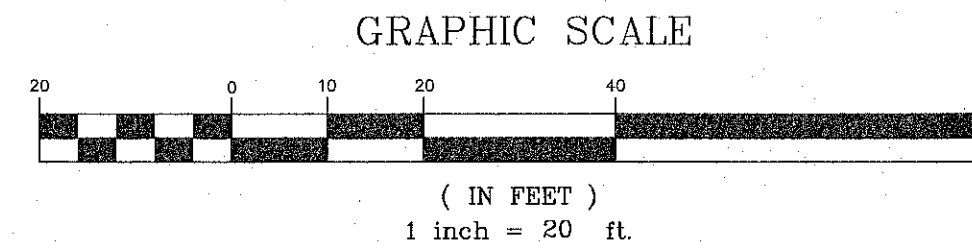
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Joyce E. Hastings
JOYCE E. HASTINGS P.L.S.

FOR REGISTRY USE ONLY

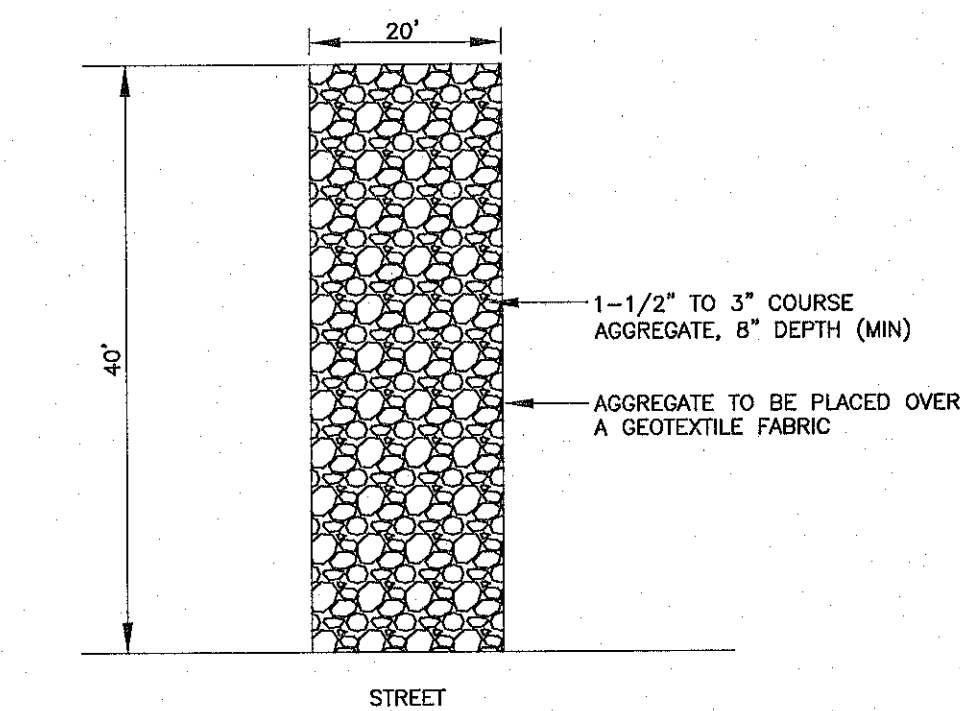
4/8/2021
DATE



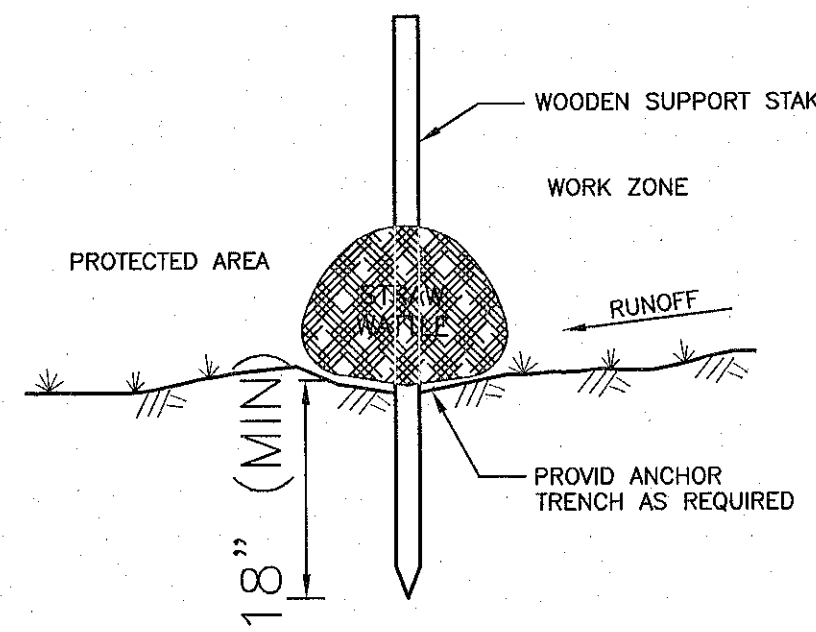
SITE DEVELOPMENT PLAN
20 BROAD STREET
MEDWAY, MASSACHUSETTS

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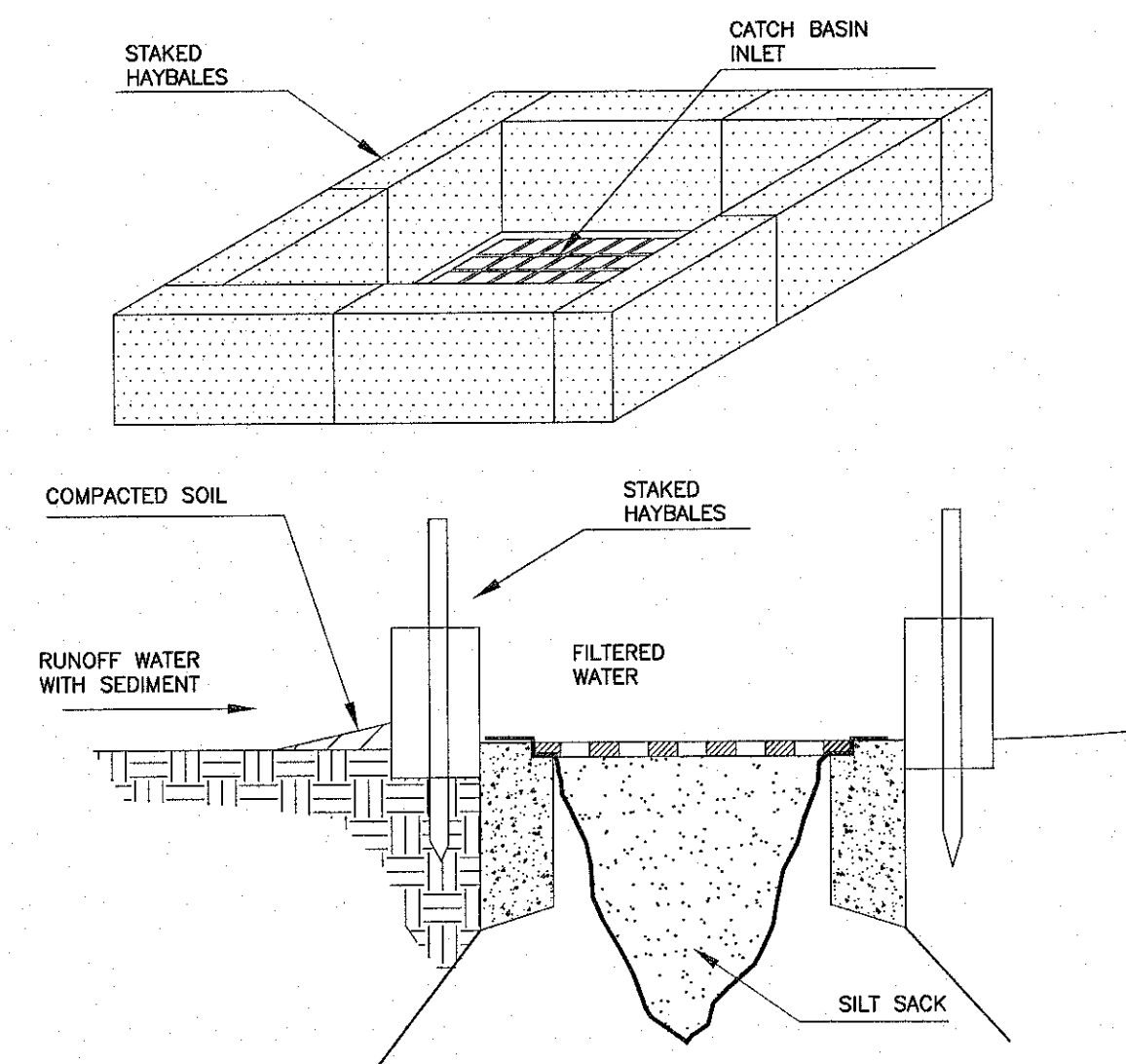
JOB No. 16,529
DATE: SEPT. 16, 2019
SCALE: 1"=20'
SHEET: 4 of 7
PLAN #: 27,355



TRAP ROCK APRON
CONSTRUCTION ENTRANCE
NOT TO SCALE

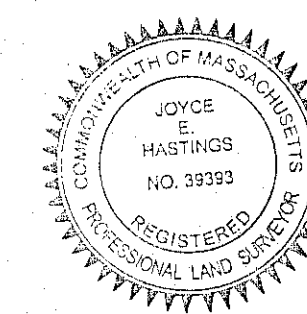


STRAW WATTLE DETAIL
NOT TO SCALE



HAYBALE & SILT SACK CATCH BASIN INLET
NOT TO SCALE

THIS PLAN & SURVEY WAS PREPARED IN ACCORDANCE WITH THE PROCEDURAL AND TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.



JOYCE E. HASTINGS P.L.S.

4/6/2021
DATE

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DATE APPROVED: _____

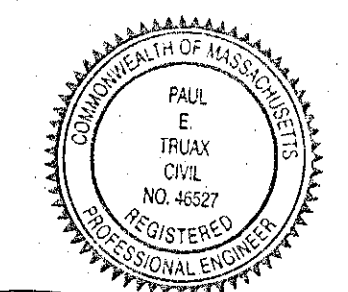
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REVISIONS	DATE	DESCRIPTION
1	11/22/19	PLANNING BOARD REVIEW
2	03/27/20	PLANNING BOARD DECISION
3	03/12/21	PLANNING BOARD DECISION
4	04/09/21	PLANNING BOARD DECISION



PAUL E. TRUAX, P.E.

Construction Period Operation and Maintenance:

Good Housekeeping Practices:

- Remove all debris from site and dispose of in trash dumpsters
- Plan for adequate disposal of scrap, waste and surplus materials
- Keep work area clean
- Secure loose or light material that is stored on the site
- Store flammable materials apart from other materials
- Secure all materials at the end of each work day
- Maintain a clean neat and orderly site

Construction Entrances:

The purpose of stabilizing entrances to a construction site is to minimize the amount of sediment leaving the area as mud and sediment attached to vehicles. The entrances shall be sized according to the Massachusetts DEP and US EPA guidelines and will be maintained on a weekly basis during construction. A Detail is included in the Site Plans prepared for the Project.

Dust Control:

Soils information for the site indicates that it is comprised of sandy soils. Therefore, Dust control BMPs to reduce surface activities and air movement that causes dust to be generated from disturbed soil surfaces will be required. The preferred measure for dust control is sprinkling/irrigation. This is an on-going/as-needed requirement until surfaces have been stabilized. There shall be a water truck on-site available as needed.

Catch Basin Protection:

Temporary inlet protection barriers consisting of Silt Sacks will be placed within all constructed inlets to prevent inflow of sediments into the constructed drainage system. The barriers shall remain in place until a permanent cover is established or diversions away from the inlets are constructed. The barriers shall be observed and maintained as necessary on a weekly basis and after every rainfall of 0.5 inches or more.

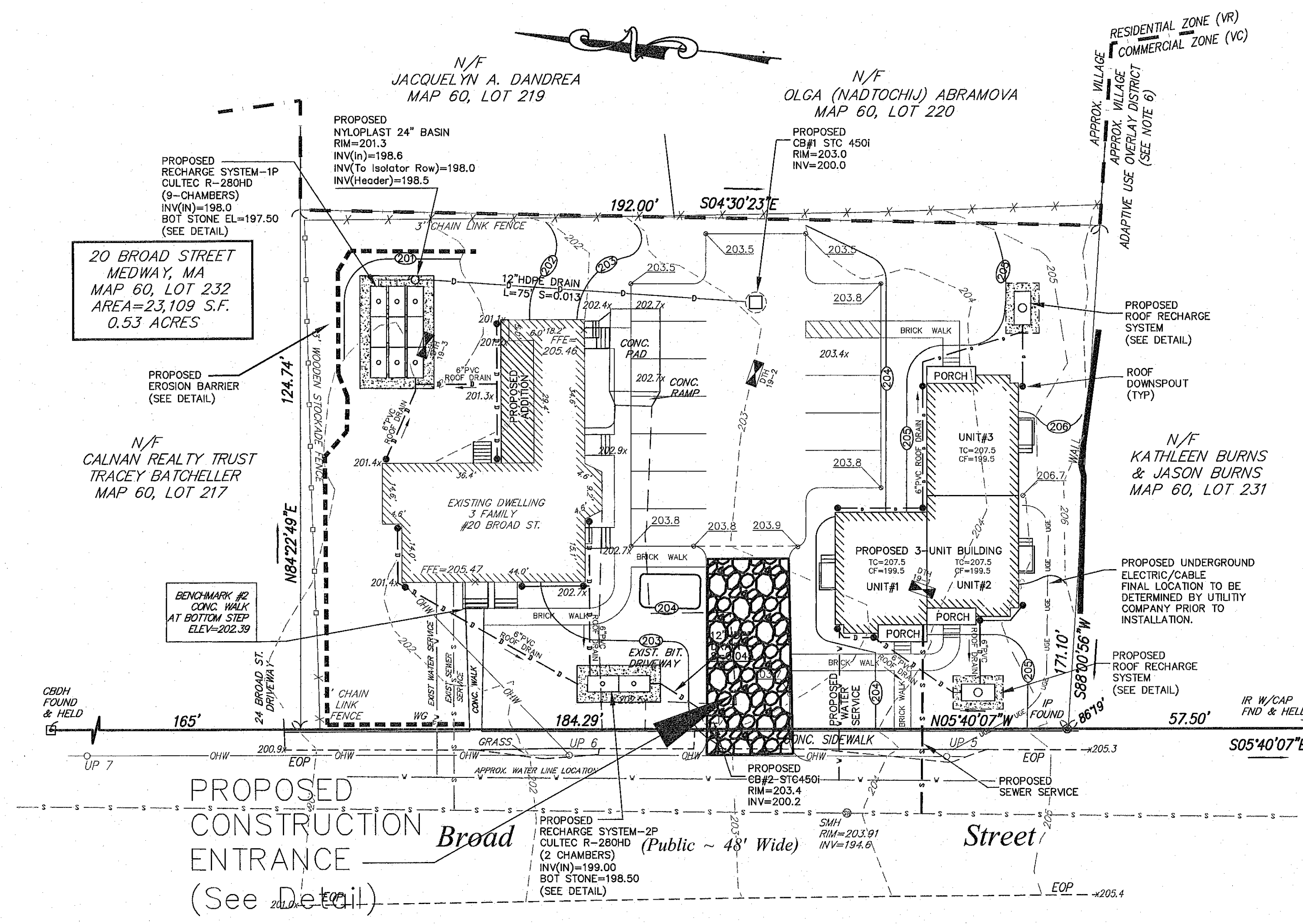
Subsurface Infiltration Chambers:

Rope or fence off the area selected for the infiltration chambers. Stabilize the site prior to installing the subsurface chambers. Do not allow runoff from any disturbed areas on site to flow to the chambers. Never allow construction equipment not performing the excavation to drive across the area where the chambers will be installed. Provide an access port, man-way, and an observation well to enable inspection of water levels within the system. Make the observation well pipe visible at grade.

Spill Control:

A contingency plan to address the spillage/release of petroleum products and any hazardous materials will be implemented for the site during construction. The plan will include the following measures:

- Equipment necessary to quickly attend to inadvertent spills or leaks shall be on-site in a secure but accessible location. Such equipment will include, but not be limited to, the following: urethane drain cover seals (mats), a spill containment kit which includes sand and shovels, suitable absorbent materials, storage containers, safety goggles, chemically resistant gloves and overshoe boots, water and chemical fire extinguishers, and first aid equipment.
- Spills or leaks will be treated properly according to material type, volume of spillage and location of spill. Mitigation will include preventing further spillage, containing the spilled material to the smallest practical area, removing spilled material in a safe and environmentally friendly manner, and remediating any damage to the environment.
- The contractor shall be familiar with the reporting requirements of the Massachusetts Contingency Plan (310 CMR 40.00) as issued by the Massachusetts Department of Environmental Protection (DEP); specifically Subpart C Notification of Releases and Threats of Release of Oil and Hazardous Materials and Subpart D Preliminary Response Activities and Risk Reduction Measures.
- For any large spills. The Massachusetts DEP Hazardous Waste Incident Response Group shall be notified immediately at 1-617-792-7653 and an emergency response contractor will be called in.



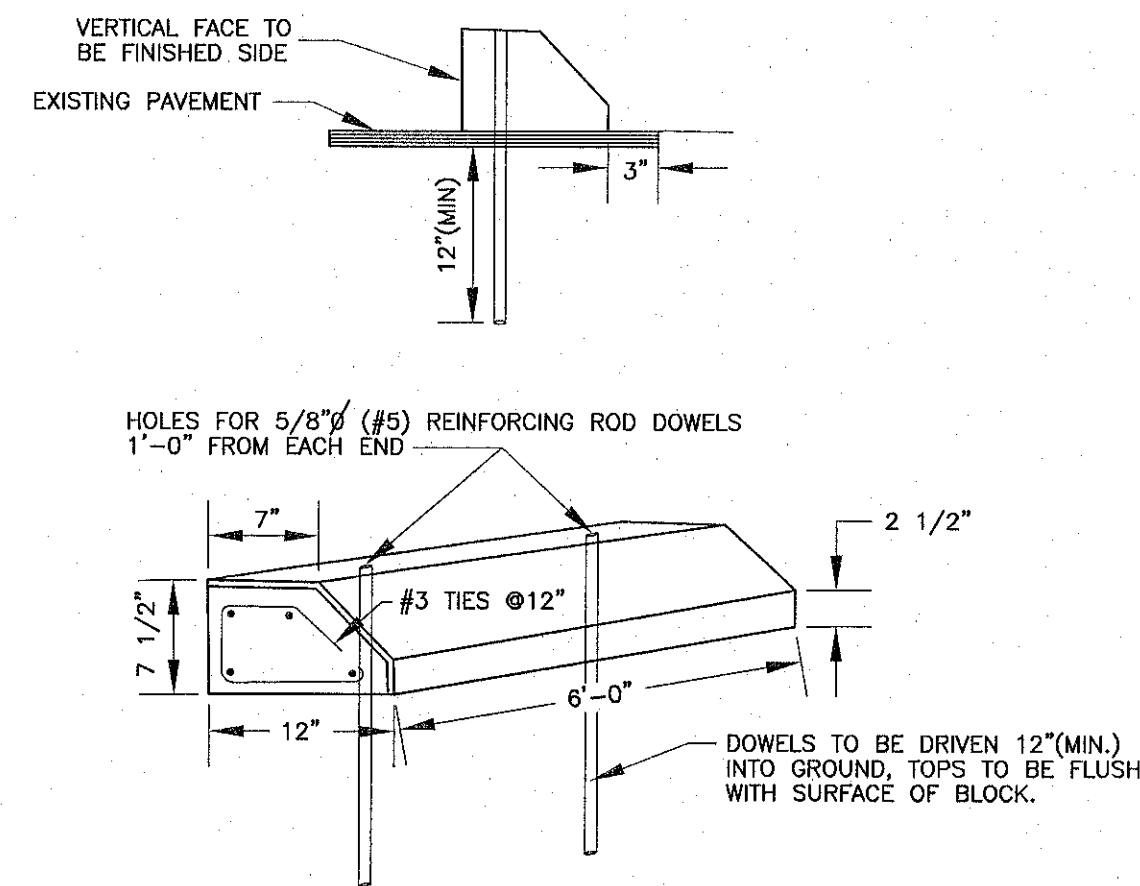
SITE DEVELOPMENT PLAN 20 BROAD STREET MEDWAY, MASSACHUSETTS

PREPARED FOR:
VILLAGE DISTRICT DEVELOPMENT, LLC
9A NORTH STREET
MEDWAY, MASSACHUSETTS 02053

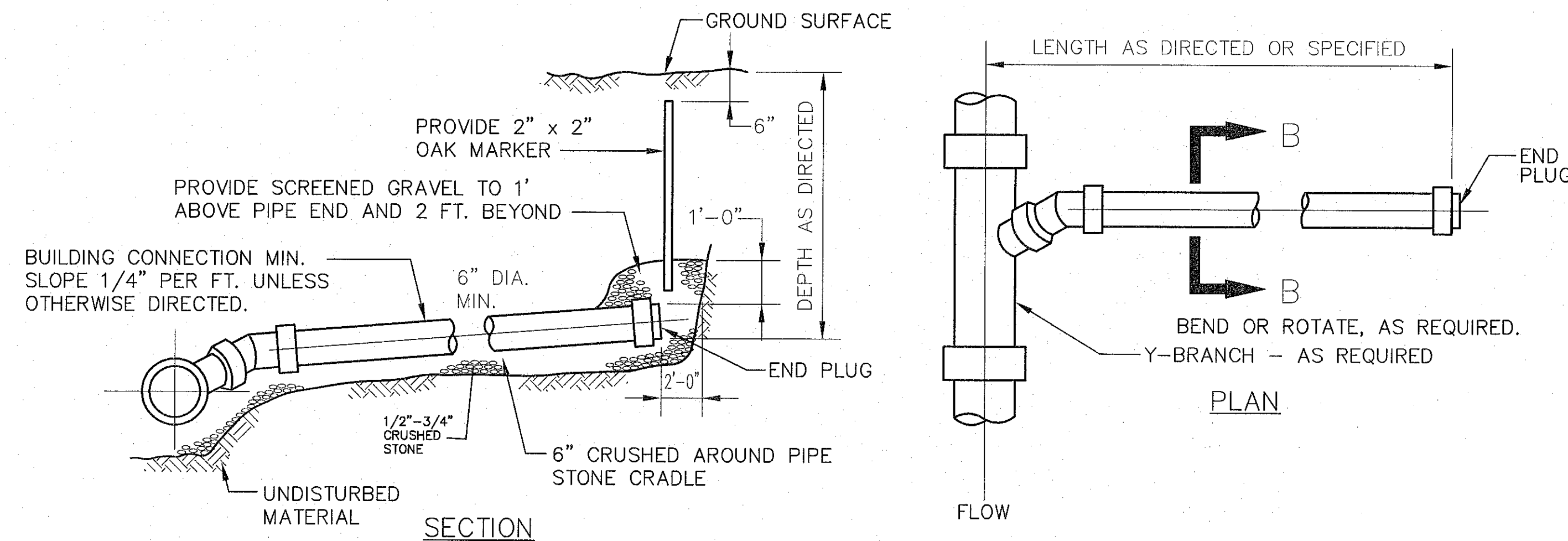
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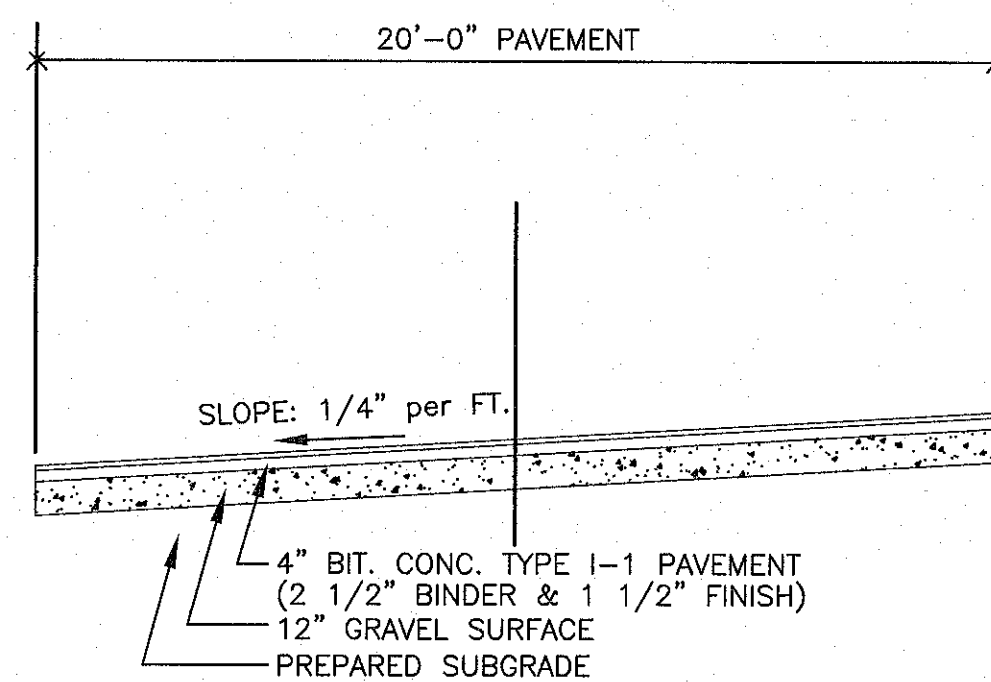
EROSION CONTROL



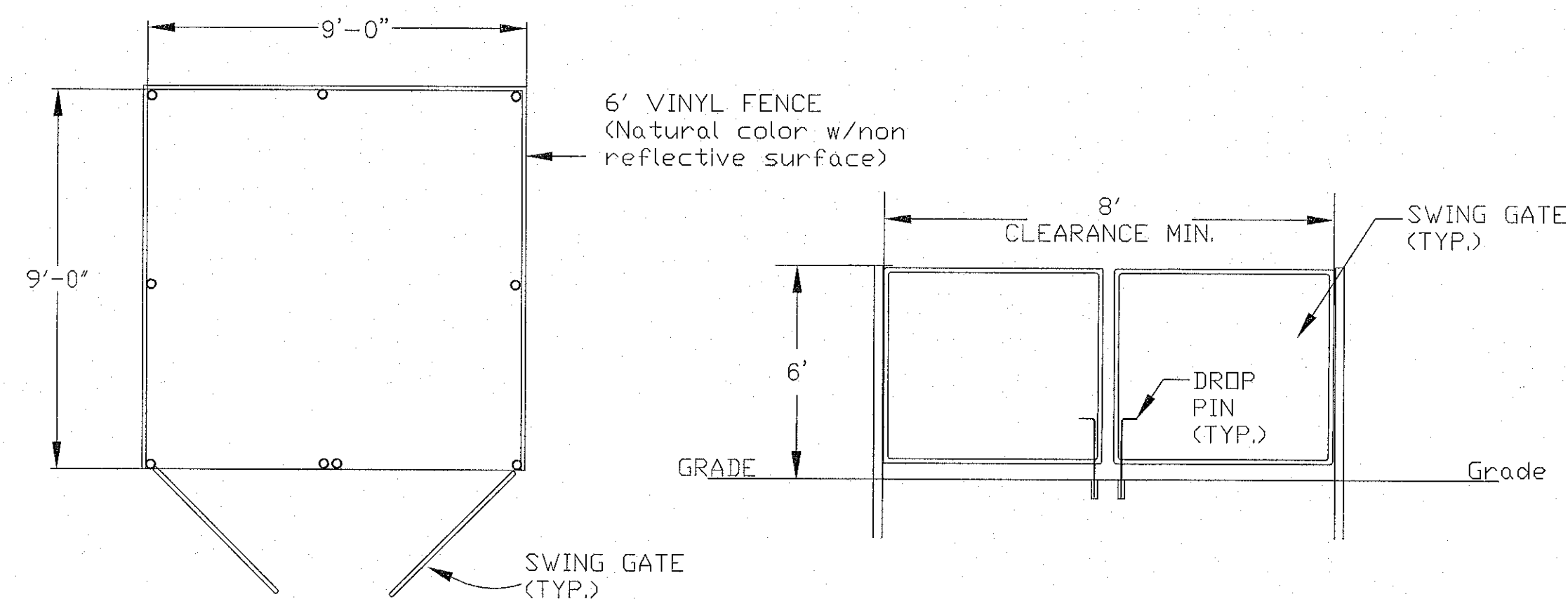
CONCRETE CURB STOP
NOT TO SCALE



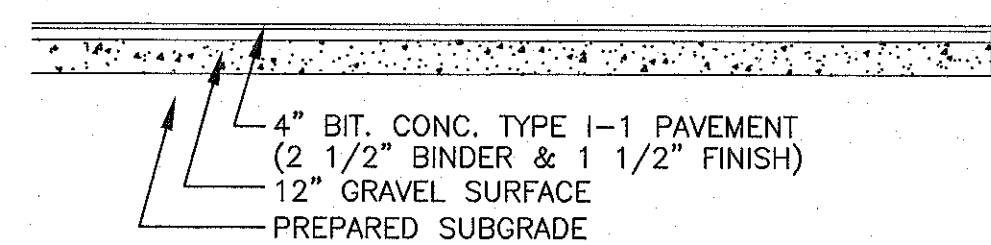
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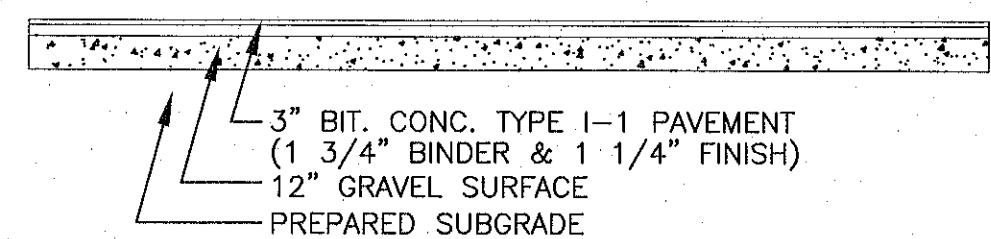
ENTRANCE DRIVE CROSS SECTION
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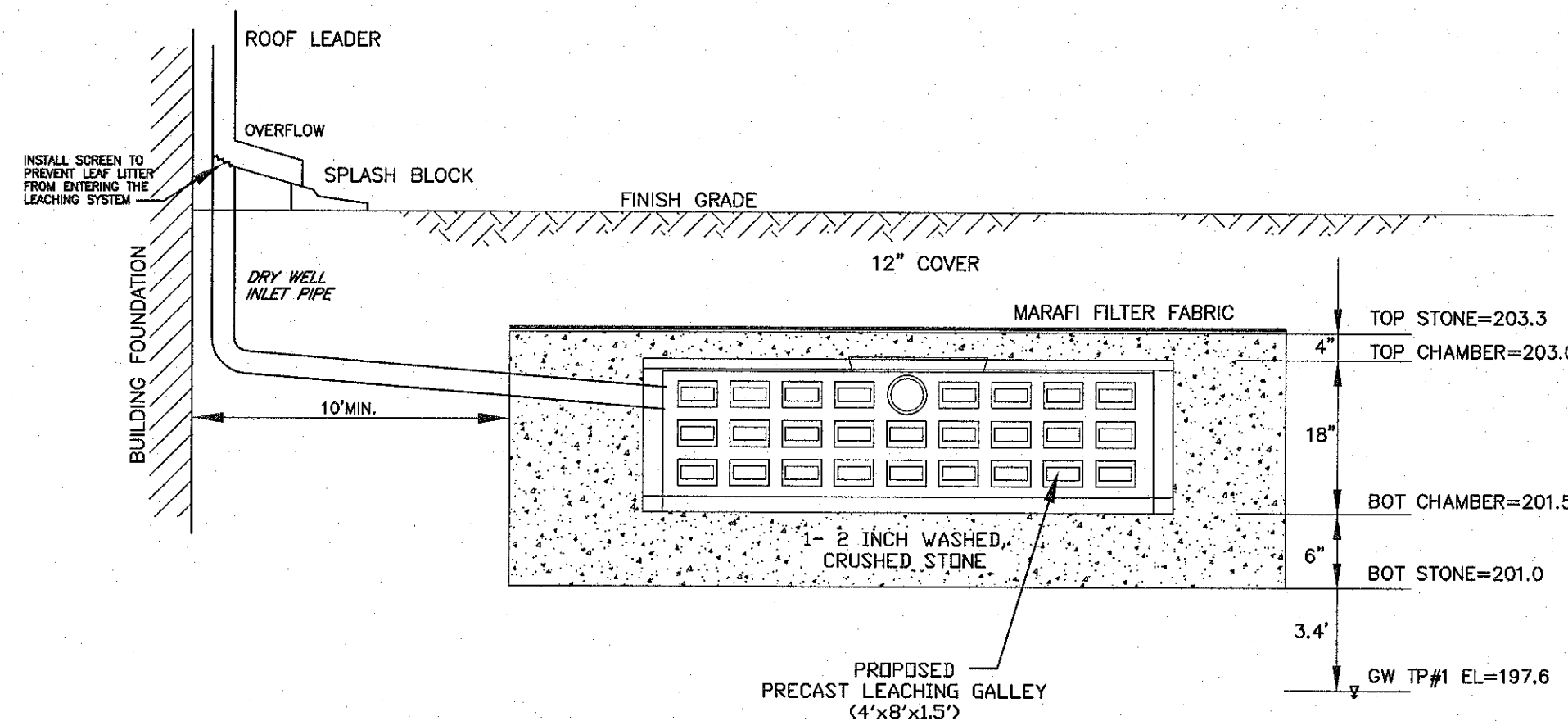
DUMPSTER SCREENING DETAIL
NOT TO SCALE



PAVEMENT CROSS SECTION
NOT TO SCALE

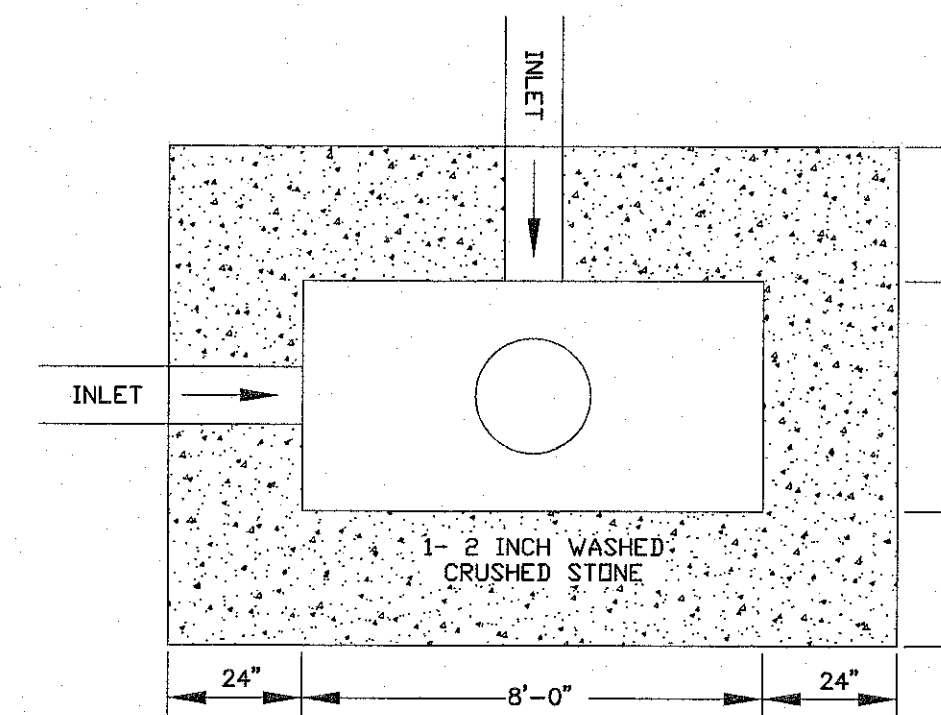


SIDEWALK CROSS SECTION
NOT TO SCALE



- NOTES:
1. PRECAST CONCRETE GALLEY 4'x8'x1.5'
 2. CONCRETE 4,000 PSI MINIMUM AFTER 28 DAYS.
 3. DESIGNED FOR 10-15 GPM LEACHING.
 4. 10" TO 12" WASHED CRUSHED STONE TO BE PLACED AROUND GALLEY.

ROOF RECHARGE LEACHING SYSTEM DETAIL
NOT TO SCALE:



APPROVED BY
MEDWAY PLANNING AND ECONOMIC
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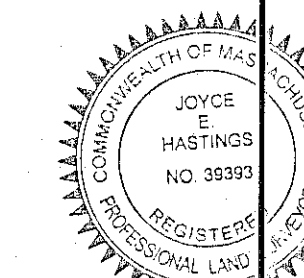
DATE APPROVED: _____
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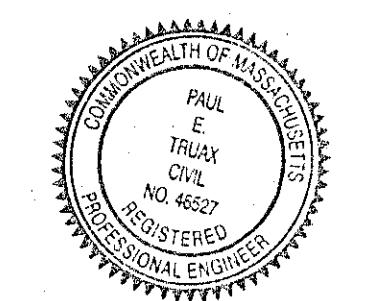
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JOYCE E. HASTINGS P.L.S.

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DATE

No.	DATE	DESCRIPTION
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4	04/08/21	PLANNING BOARD DECISION



PAUL E. TRUAX, P.E.

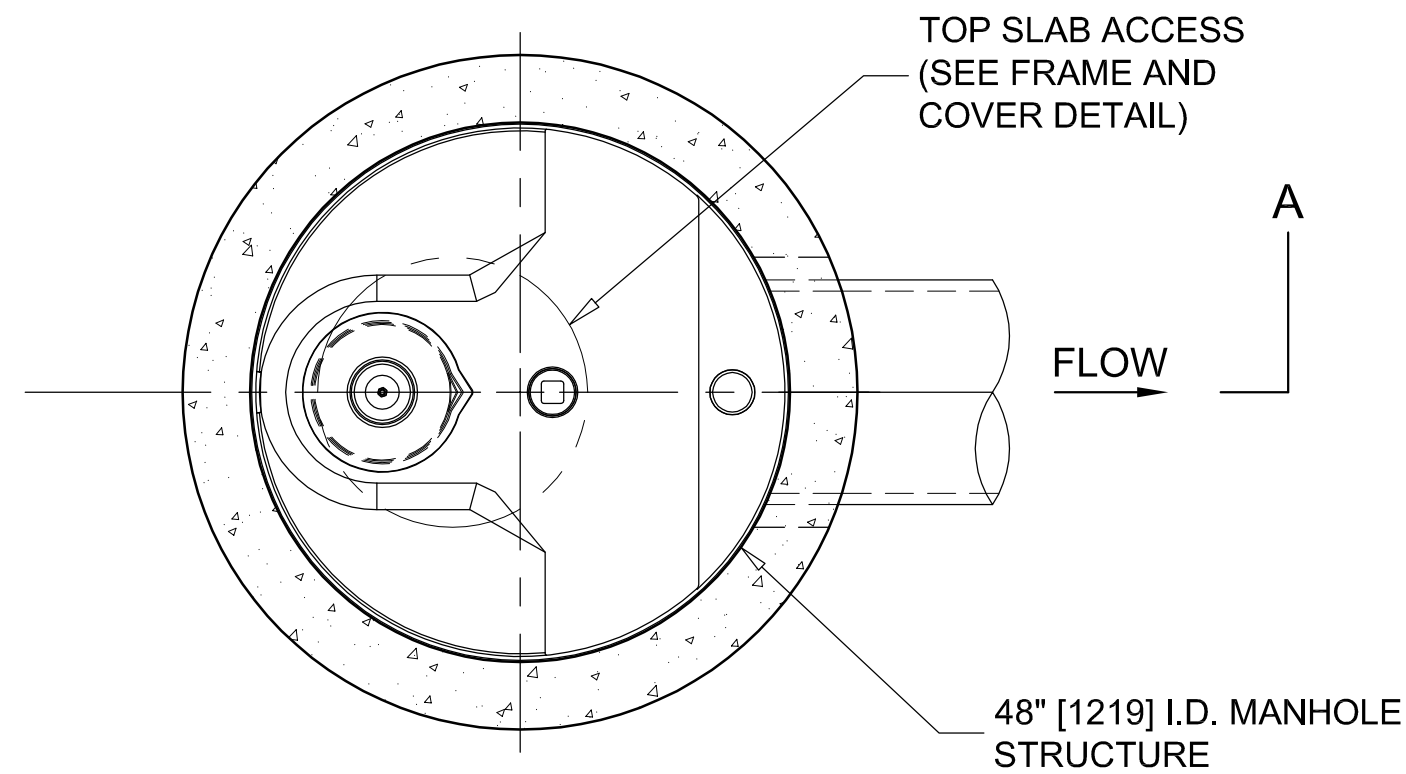
SITE DEVELOPMENT PLAN
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9A NORTH STREET
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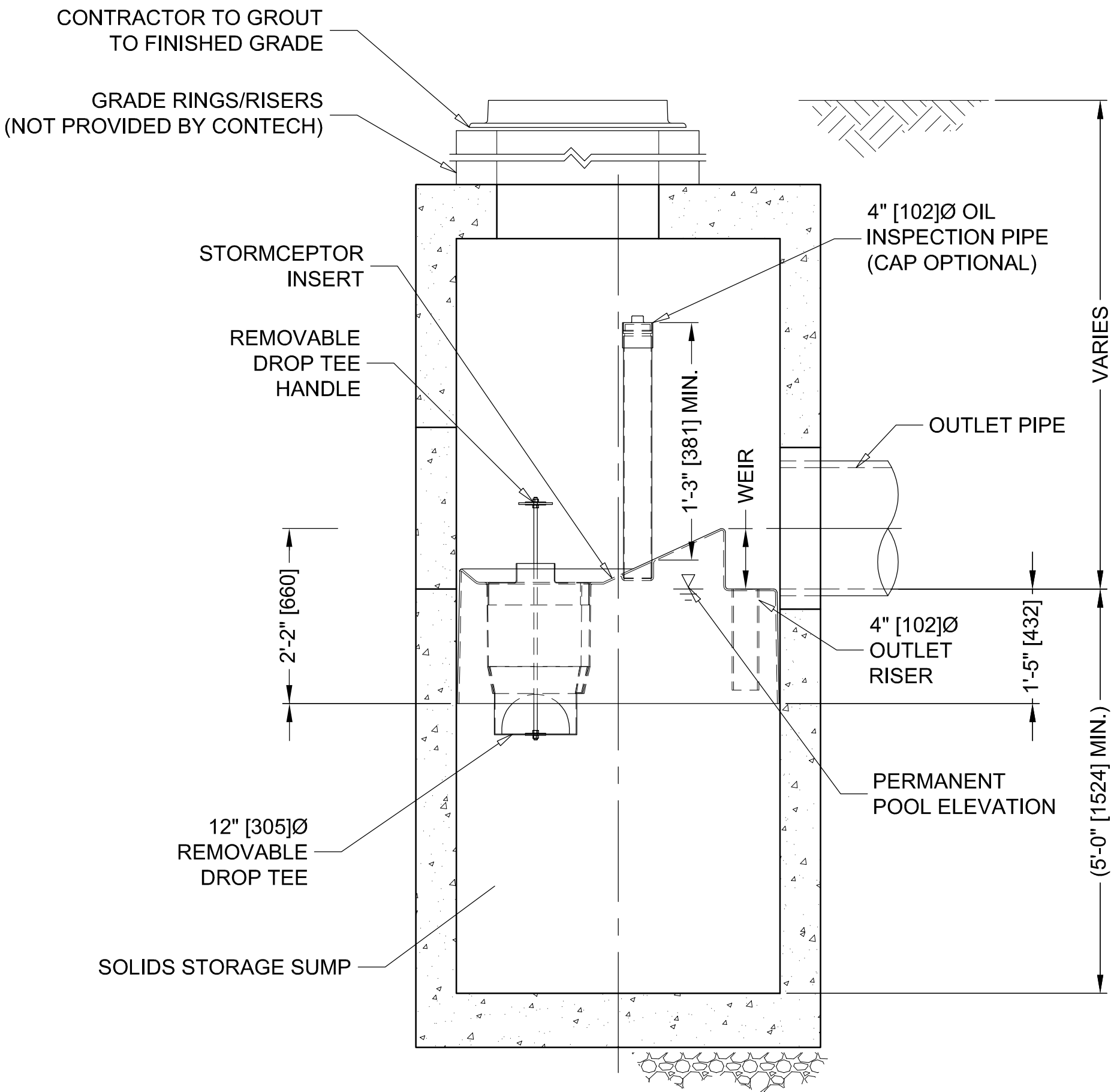
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SHEET:	6 of 7
PLAN #:	27,355

CONSTRUCTION DETAILS



PLAN VIEW
TOP SLAB NOT SHOWN



SECTION A-A

Stormceptor
FOR FURTHER INFORMATION, GO TO www.contechES.com

STC450i
STORMCEPTOR
STANDARD DETAIL

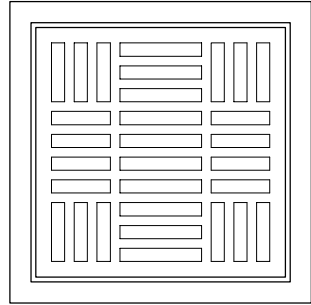
CONTECH
ENGINEERED SOLUTIONS LLC

www.contechES.com
9025 Centre Pointe Dr., Suite 400, West Chester, OH 45390
900-338-1122 513-645-7000 513-645-7983 FAX

CATCH BASIN - STC450i STORMCEPTOR STANDARD DETAIL

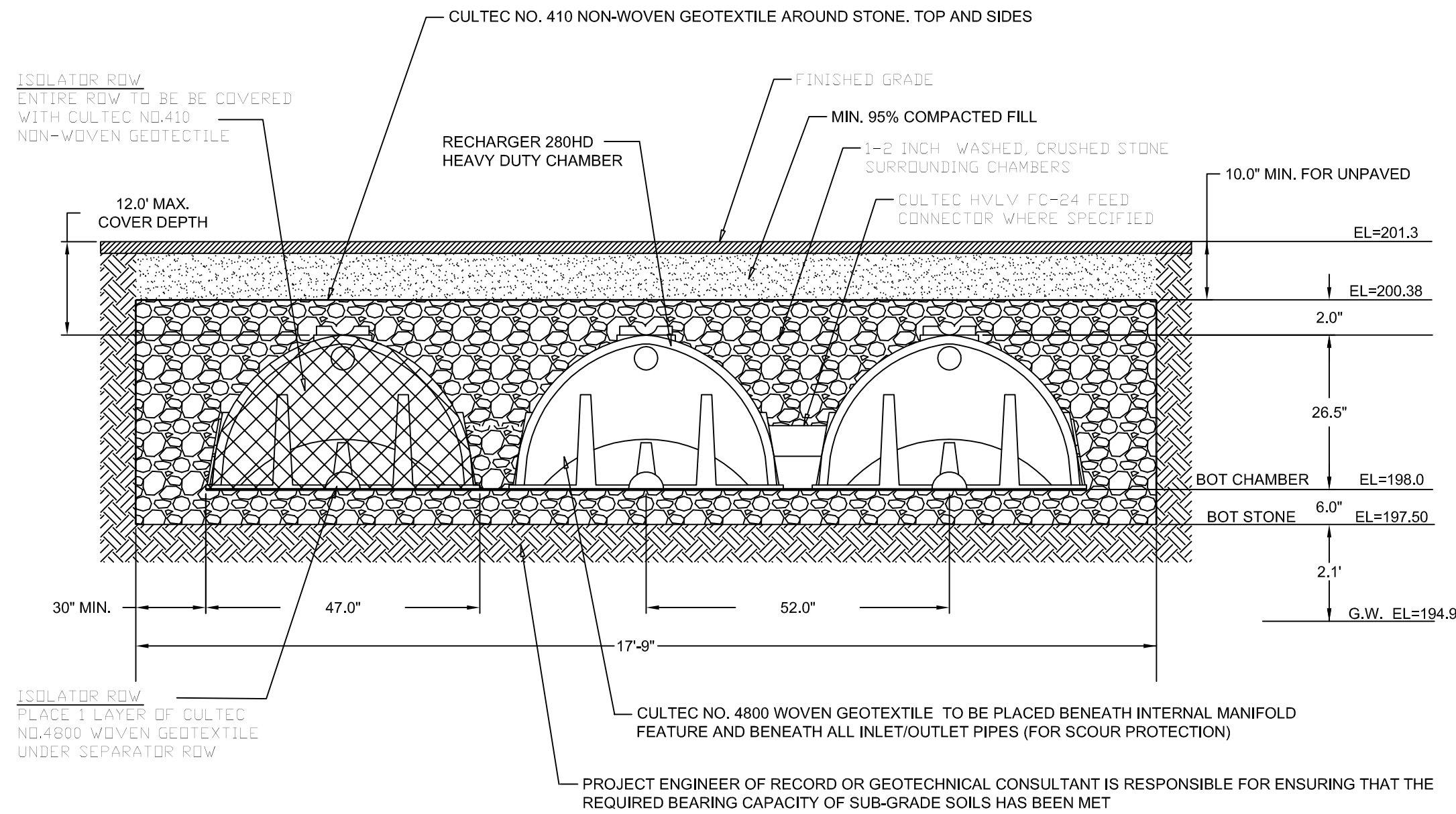
NOT TO SCALE:

FRAME AND GRATE
(MAY VARY)
NOT TO SCALE



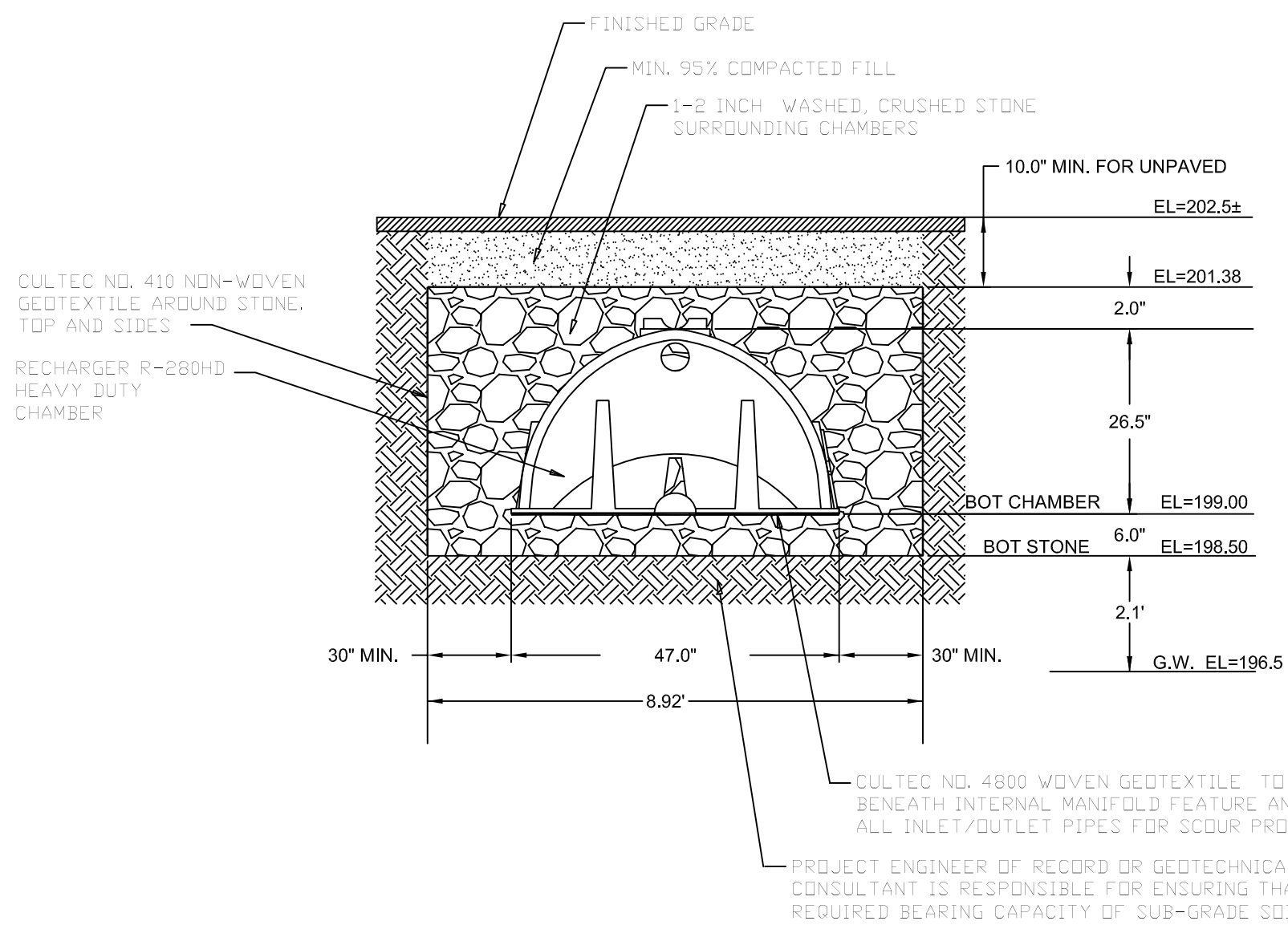
RECHARGE SYSTEM CLEANOUT DETAIL

NOT TO SCALE:



RECHARGE SYSTEM-1P STANDARD DETAIL

NOT TO SCALE:



RECHARGE SYSTEM-2P STANDARD DETAIL

NOT TO SCALE:

I, TOWN CLERK OF THE TOWN OF MEDWAY,
RECEIVED FROM THE PLANNING BOARD
APPROVAL OF THIS PLAN AND NO APPEAL HAS
BEEN TAKEN FOR TWENTY DAYS NEXT AFTER
RECEIPT AND RECORDING OF SAME.

TOWN CLERK DATE

APPROVED BY
MEDWAY PLANNING AND ECONOMIC
DEVELOPMENT BOARD

DATE APPROVED:

DATE ENDORSED:

APPROVAL SUBJECT TO A PERFORMANCE
SECURITY COVENANT TO BE EXECUTED BY THE
BOARD AND RECORDED WITH THE SPECIAL
PERMIT AND PLAN.

FOR REGISTRY USE ONLY

THIS PLAN & SURVEY WAS PREPARED IN ACCORDANCE
WITH THE PROCEDURAL AND TECHNICAL STANDARDS FOR
THE PRACTICE OF LAND SURVEYING IN THE
COMMONWEALTH OF MASSACHUSETTS.

JOYCE E. HASTINGS P.L.S.

DATE

REVISIONS	No.	DATE	DESCRIPTION
	1	11/22/19	PLANNING BOARD REVIEW
	2	03/27/20	PLANNING BOARD DECISION
	3	03/12/21	PLANNING BOARD DECISION
	4	04/08/21	PLANNING BOARD DECISION

PAUL E. TRUAX, P.E.

SITE DEVELOPMENT PLAN
20 BROAD STREET
MEDWAY, MASSACHUSETTS

PREPARED FOR:
VILLAGE DISTRICT DEVELOPMENT, LLC
9A NORTH STREET
MEDWAY, MASSACHUSETTS 02053

GLM Engineering
Consultants, Inc.
19 EXCHANGE STREET
HOLLISTON, MA 01746
P: 508-429-1100
F: 508-429-7160
www.GLMengineering.com

JOB No.	16,529
DATE:	SEPT. 16, 2019
SCALE:	AS SHOWN
SHEET:	7 of 7
PLAN #:	27,355

DETAILS



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APPROVED BY
MEDWAY PLANNING AND ECONOMIC
DEVELOPMENT BOARD

DATE APPROVED:

DATE ENDORSED:

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TOWN CLERK

DATE _____

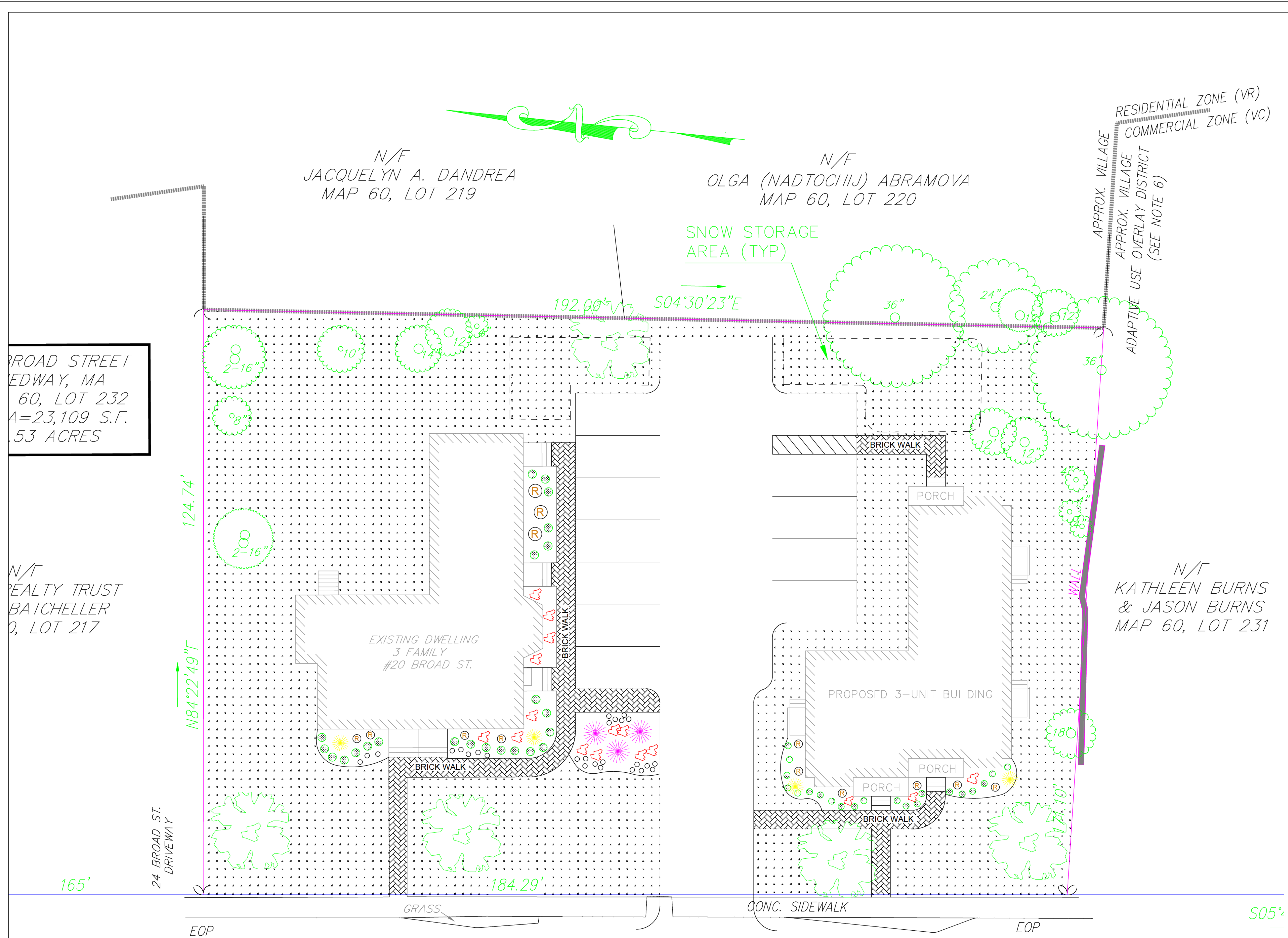
LANDSCAPE PLAN
"20 BROAD STREET"
MEDWAY, MASSACHUSETTS
PREPARED FOR
TOWN OF MEDWAY

NO.	DATE	DESCRIPTION
1.	1/25/19	EX. COND. (A.S. ELLIOT ASSOC.)
2.	9/16/19	LANDSCAPE PLAN (GLM)
3.	11/19/19	LANDSCAPE PLAN (GLM)
4.	2/20/20	LANDSCAPE PLAN (VL)
5.	3/24/21	LANDSCAPE PLAN (VL)

DATE: 2/20/2020

SHEET: LA-1

PLAN#: 254

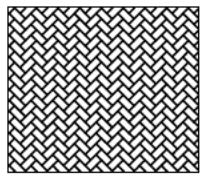
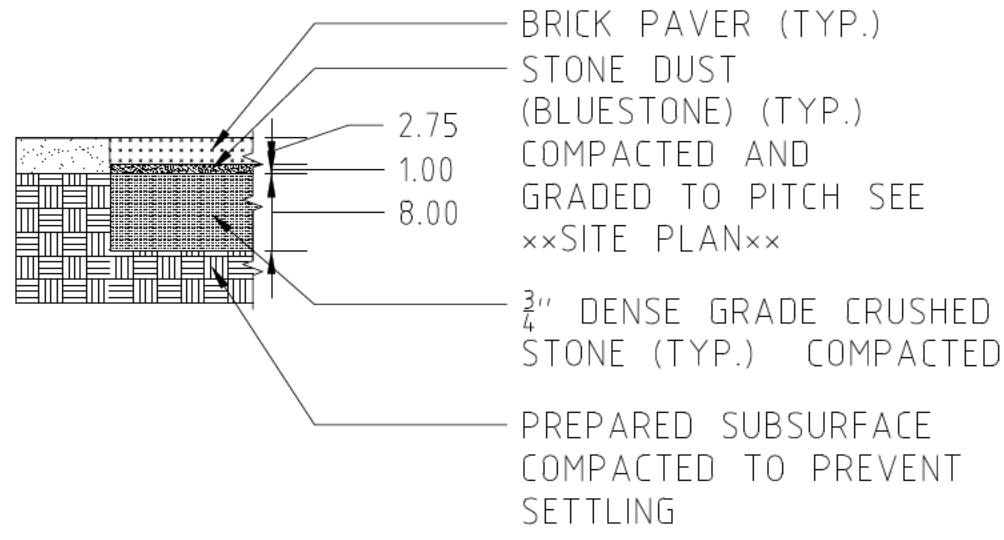


Broad

(Public ~ 48' Wide)

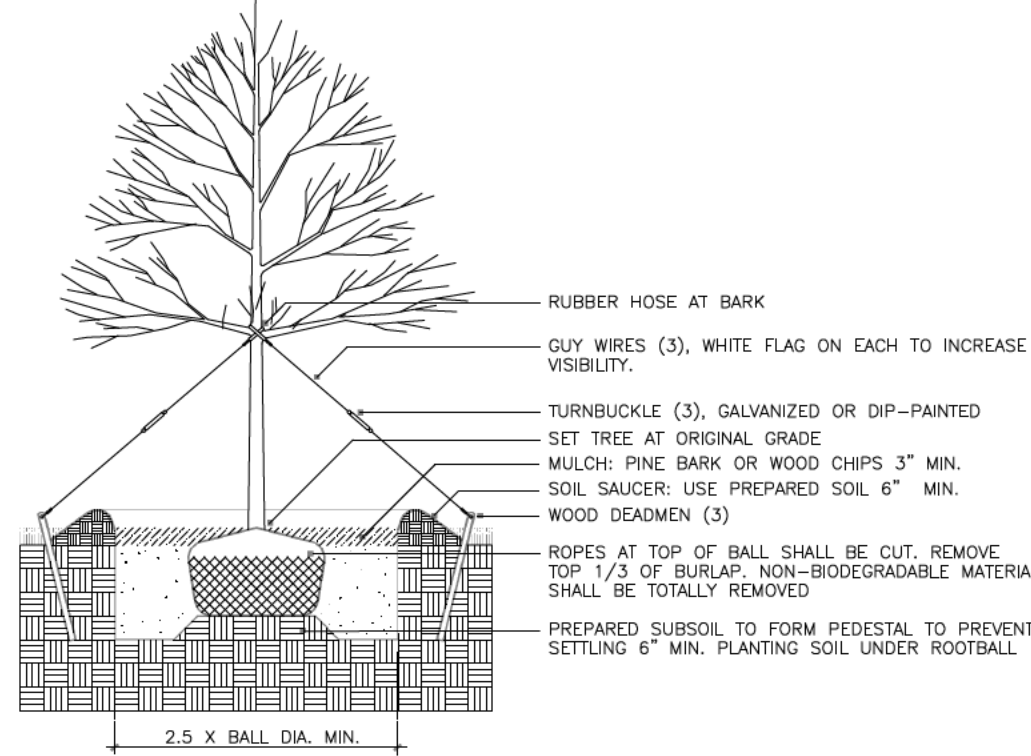
Street

WALKWAY CROSS SECTION

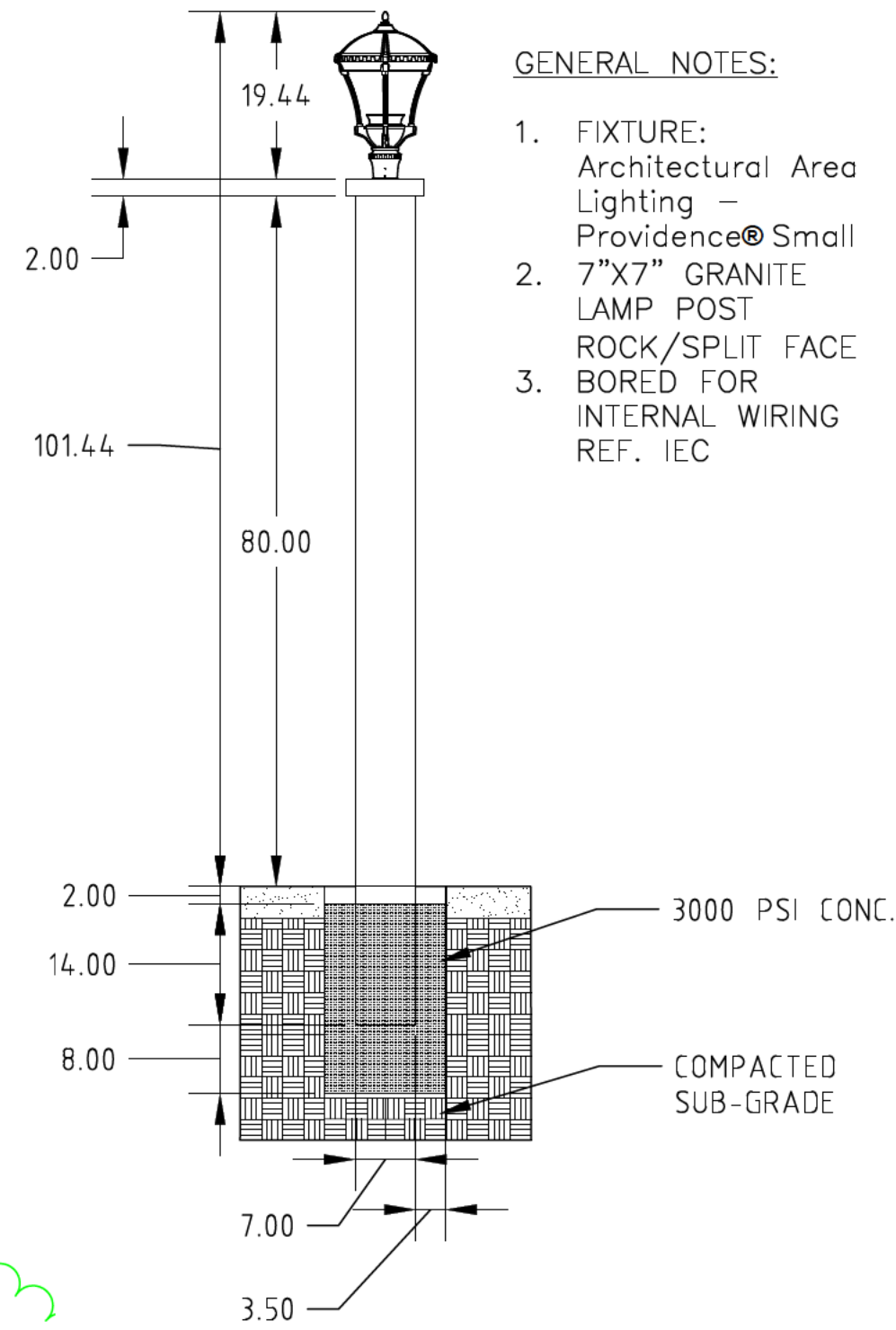


NOTES:

1. MATERIAL, BRICK CLAY PAVERS PEDESTRIAN AND LIGHT TRAFFIC ATSM C902
2. POLYMERIC SAND JOINTS
3. SUBGRADE TO SPEC.
4. PATTERN, HERRINGBONE



LAMP POST DETAIL

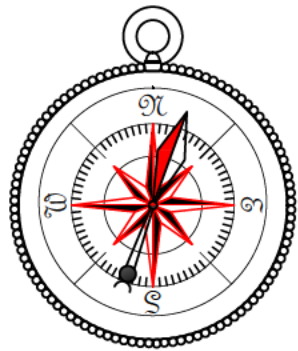


APPROVED BY
MEDWAY PLANNING AND ECONOMIC
DEVELOPMENT BOARD

DATE APPROVED: _____
DATE ENDORSED: _____
APPROVAL SUBJECT TO A PERFORMANCE
SECURITY COVENANT TO BE EXECUTED BY THE
BOARD AND RECORDED WITH THE SPECIAL
PERMIT AND PLAN.

I TOWN CLERK OF THE TOWN OF MEDWAY,
RECEIVED FROM THE PLANNING BOARD
APPROVAL OF THIS PLAN AND NO APPEAL HAS
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TOWN CLERK _____ DATE _____



VILLAGE
LIMITED

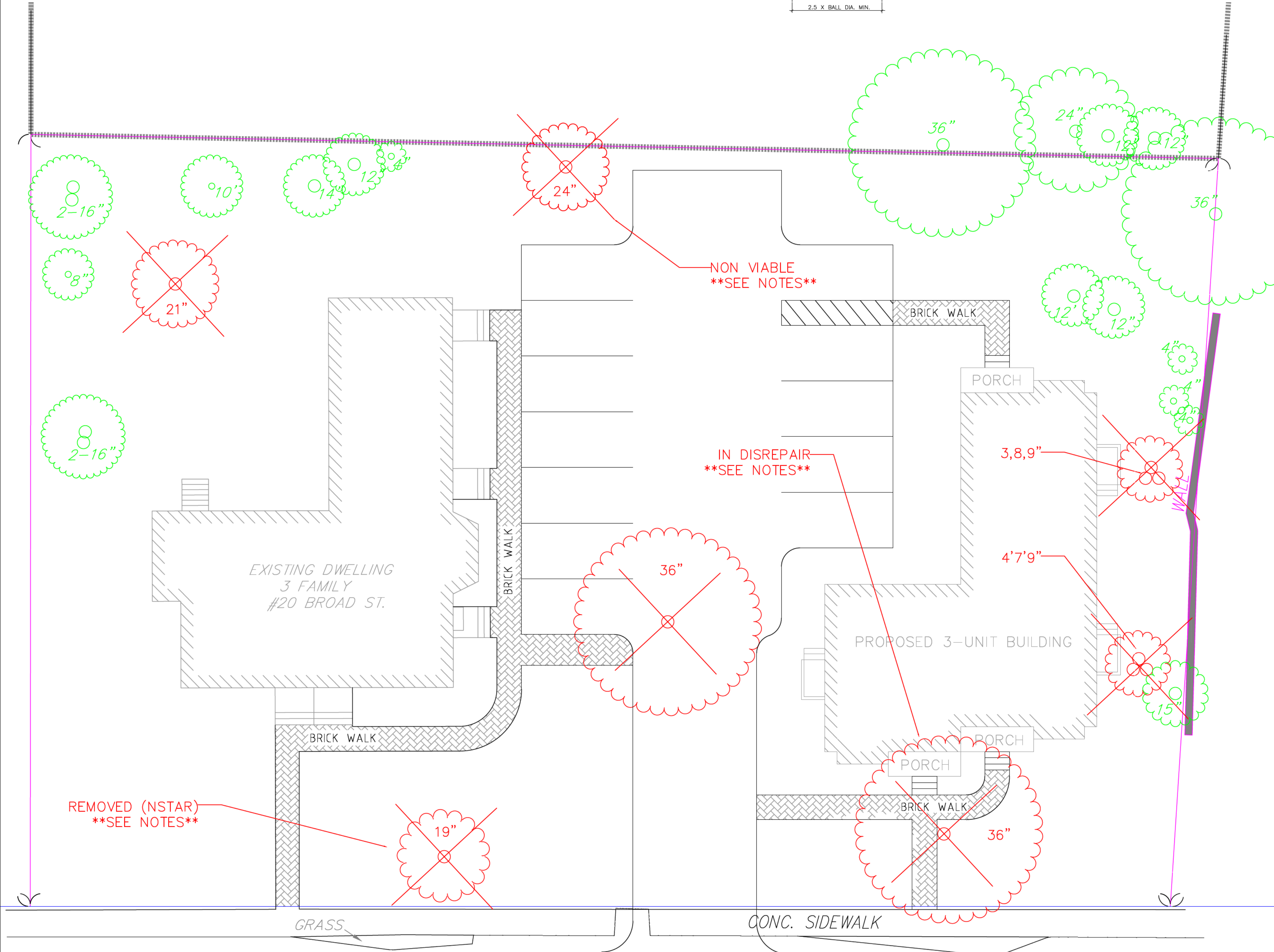
39 WEST STREET
MEDWAY, MA 01746

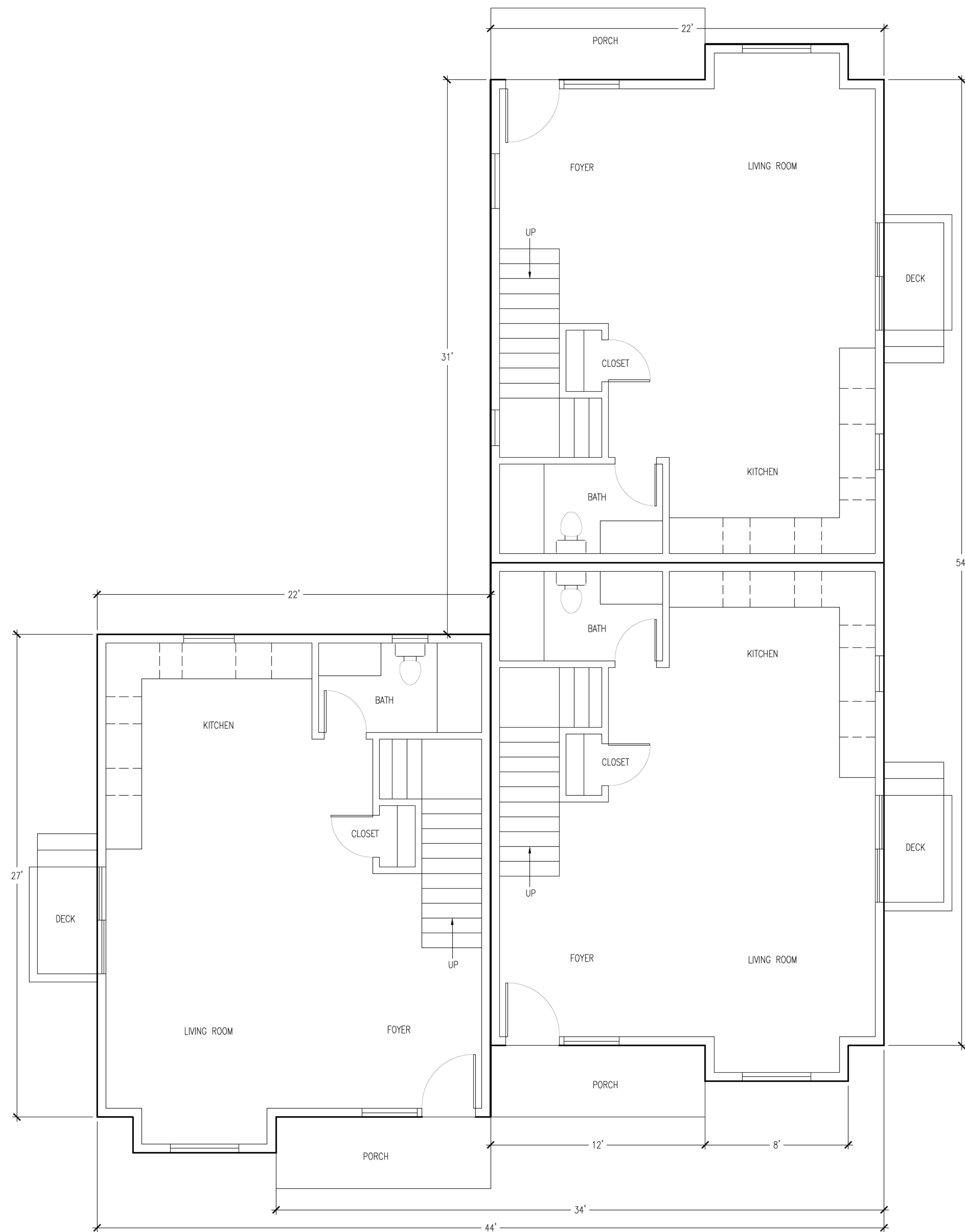
P: 508-816-6700

VILLAGE.LIMITED@OUTLOOK.COM

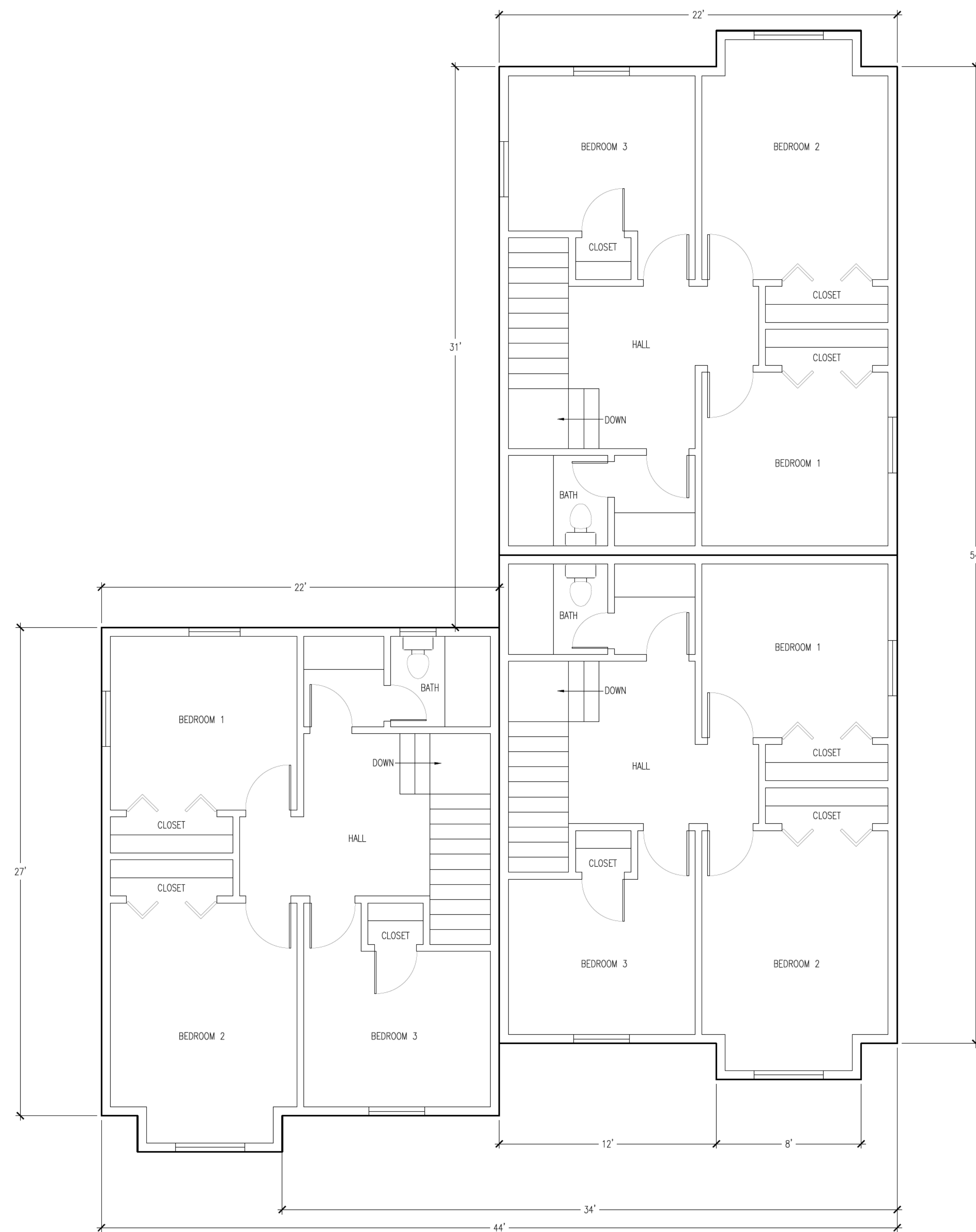
TREE REMOVAL & EXISTING
CONDITIONS (VEG.)
"20 BROAD STREET"
MEDWAY, MASSACHUSETTS
PREPARED FOR
TOWN OF MEDWAY

TREE DATA	
1. TREE COUNT	EXISTING: 25 PROPOSED: 30 NET: 5
2. TOTAL TREE GAUGE	EXISTING: 459" PROPOSED: 313" NET: -146"
3. TREE SPAN TOTAL	EXISTING: 705' PROPOSED: 631' NET: -74'
4. TREE HEIGHT TOTAL	EXISTING: 1062' PROPOSED: 850' NET: -212'
5. SHRUBS AND PLANTING	EXISTING: 0 PROPOSED: 92 NET: 92
6. SPECIES	EXISTING: 24 DEC./1 EV. PROPOSED: 27 DEC./3 EV.
NOTES: 1. NON VIABLE AND REMOVED TREES WERE NOT INCLUDED IN DATA SET 2. PROPOSED DATA BASED ON INSTALL DATE 3. MINIMUM INSTALLED GAUGE OF AT LEAST 2.5 INCHES 4. PROPOSED TREE COUNT IS STATIC 5. EXISTING TREE COUNT IS COMPOSED OF (1) EVERGREEN (EV) (SPRUCE) AND (24) DECIDUOUS (DEC) MAPLE AND OAKS 6. HEIGHT AND SPAN ESTIMATED AND BASED ON BROADIEST SPAN OF CANOPY IN EXISTING CONDITIONS 7. MATURE SPAN WIDTH AND GAUGE OF PROPOSED INVENTORY IS TO MATCH EXISTING CONDITIONS 8. SHRUB COUNT TO VARY WITHIN NORMAL LIMITS BASED ON MATURE SPACING AND LAYOUT CODIFICATIONS 9. SOUTHEAST CORNER OAK IS INCLUDED IN DATA THOUGH ITS HAS BEEN NOTED TO BE IN DISREPAIR, DEEMED NOT VARIABLE	

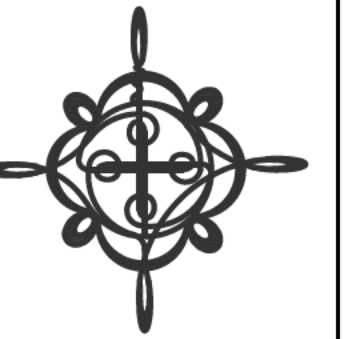




20 BROAD STREET, MEDWAY MA. FIRST FLOOR PLAN SCALE: $\frac{1}{4}" = 1'-0"$



20 BROAD STREET, MEDWAY MA. SECOND FLOOR PLAN SCALE: $\frac{1}{4}" = 1'-0"$



B T A
BRETT THIBAUT ARCHITECT
28 VINCENT ROAD
MENDON, MA 01756
BRETT@BTARC.COM
(508) 634 8400

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APPROVED BY
MEDWAY PLANNING AND ECONOMIC
DEVELOPMENT BOARD

DATE APPROVED: _____

DATE ENDORSED: _____

APPROVAL SUBJECT TO A PERFORMANCE
SECURITY COVENANT TO BE EXECUTED BY THE
BOARD AND RECORDED WITH THE SPECIAL
PERMIT AND PLAN.

I, TOWN CLERK OF THE TOWN OF MEDWAY,
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RECEIPT AND RECORDING OF SAME.

TOWN CLERK _____ DATE _____

18022
20 BROAD STREET
MEDWAY MA

DRAWING TITLE:
FLOOR PLANS--PROPOSED TRIPLEX

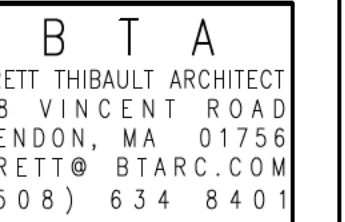
REVISED: _____
REVISED: _____
REVISED: _____
REVISED: _____
REVISED: _____
REVISED: _____

ISSUE SCHEMATIC

SCALE AS NOTED

DATE 12/16/2019

P



DATE APPROVED: _____
DATE ENDORSED: _____
APPROVAL SUBJECT TO A PERFORMANCE
SECURITY COVENANT TO BE EXECUTED BY THE
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TOWN CLERK _____ DATE _____

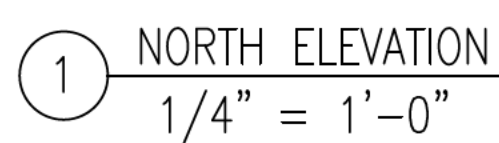
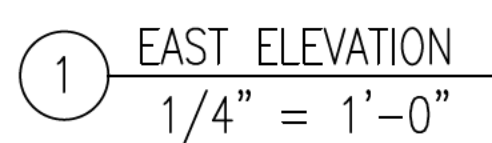
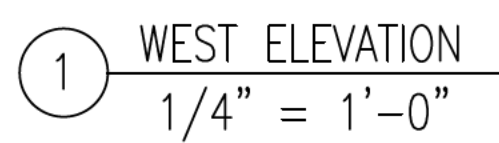
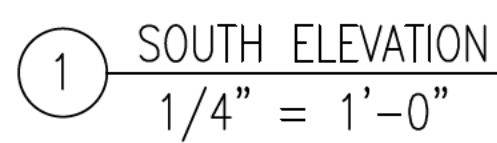
ACCESSORY ADDITION
153 HOPEDALE STREET
HOPEDALE, MA 01747

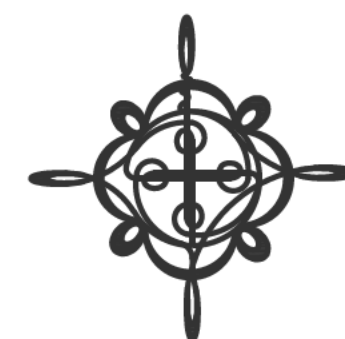
10081

DRAWING TITLE:
FOUNDATION AND FRAMING PLANS,
KEY AND NOTES

	REVISUO: 09/04/2018 per emello 8/31/18 & 9/3/18	
	REVISUO:	
	REVISUO:	
	REVISUO:	
	REVISUO:	
	REVISUO:	
UE	PERMIT	
E	AS NOTED	
	06/25/2018	

A2.0





B T A
BRETT THIBAUT ARCHITECT
28 VINCENT ROAD
MENDON, MA 01756
BRETT@BTARC.COM
(508) 634 8401

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MIDWAY PLANNING AND ECONOMIC
DEVELOPMENT BOARD

DATE APPROVED: _____

DATE ENDORSED: _____

APPROVAL SUBJECT TO A PERFORMANCE
SECURITY COVENANT TO BE EXECUTED BY THE
BOARD AND RECORDED WITH THE SPECIAL
PERMIT AND PLAN.

TOWN CLERK

DATE

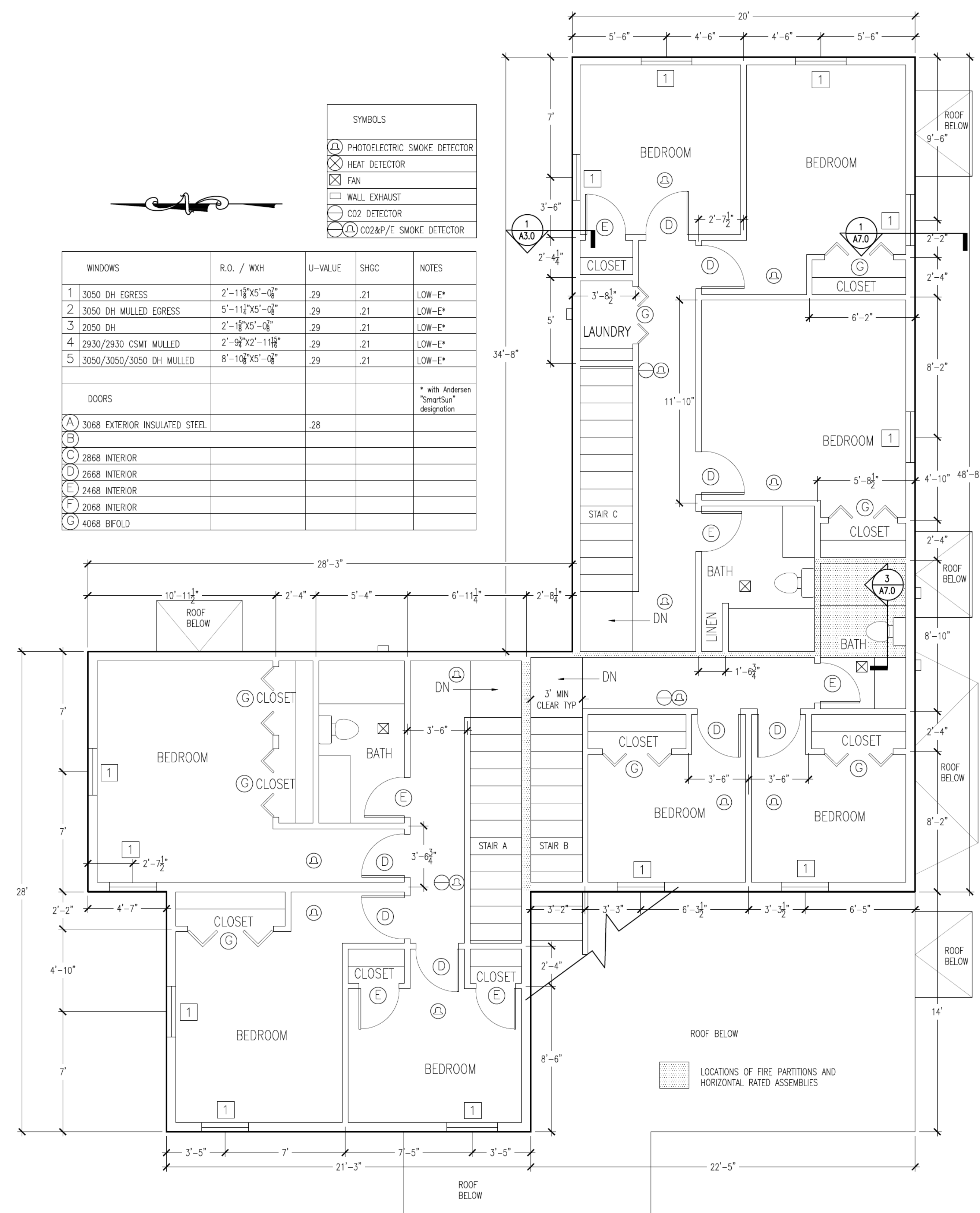
20 BROAD STREET
MIDWAY, MA

18022

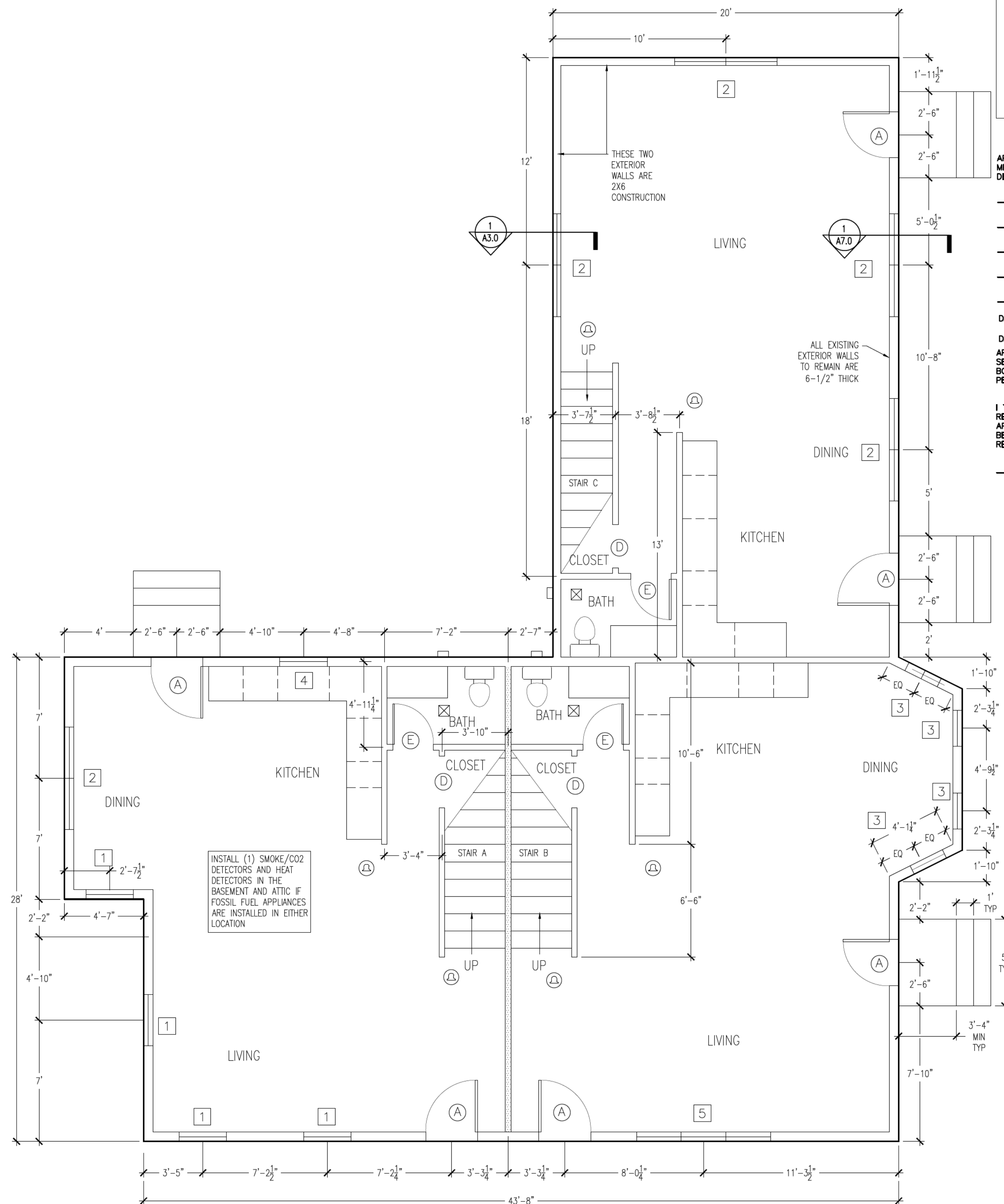
DRAWING TITLE:
FLOOR PLANS

REVISED:	REVISED:	REVISED:	REVISED:	REVISED:	REVISED:
ISSUE	SCHEMATIC				
SCALE	AS NOTED				
DATE	12/16/2019				

P



2 SECOND FLOOR PLAN
1/4" = 1'-0"



1 FIRST FLOOR PLAN
1/4" = 1'-0"

APPROVED BY
MEDWAY PLANNING AND ECONOMIC
DEVELOPMENT BOARD

DATE APPROVED: _____

DATE ENDORSED: _____

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TOWN CLERK _____

DATE _____

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28 VINCENT ROAD
MEDFORD, MA 01756
BRETT@BTARC.COM
(508) 634 8401

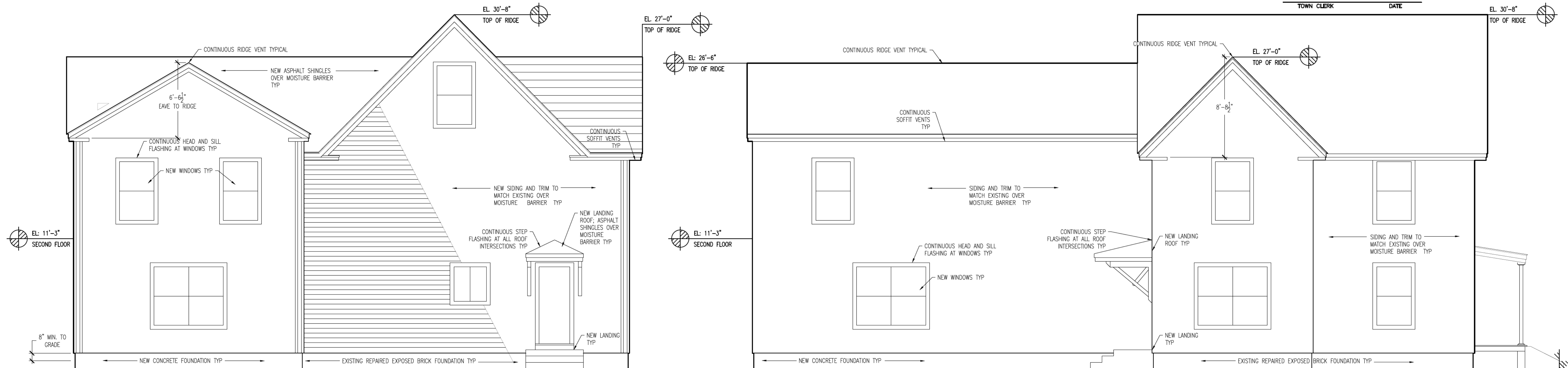
18022

20 BROAD STREET
MEDWAY, MA

DRAWING TITLE:
PROPOSED ELEVATIONS

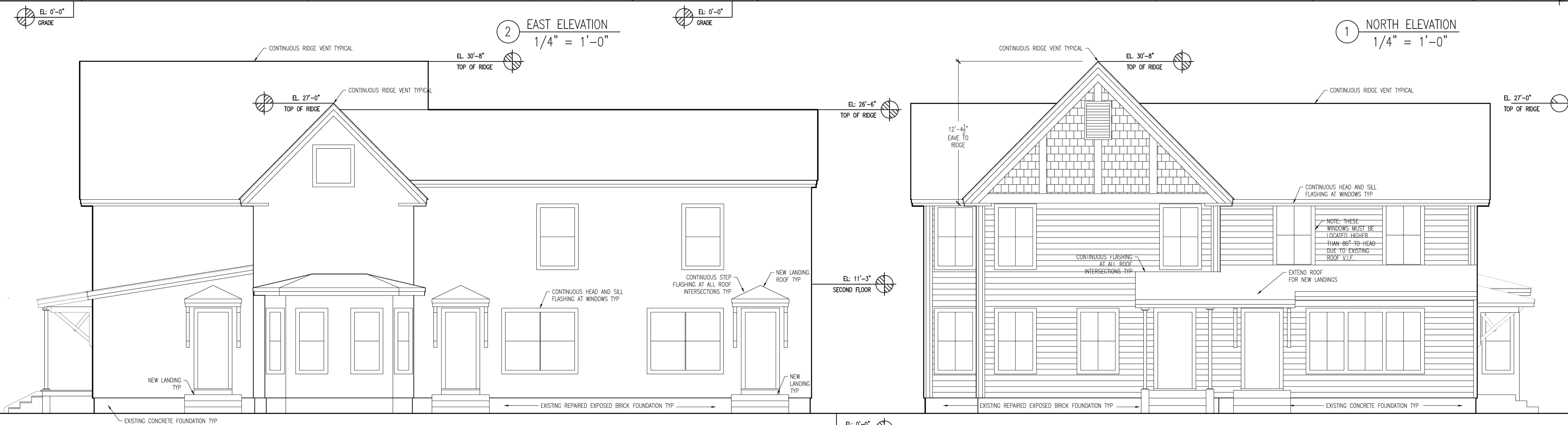
REVISED:	REVISED:	REVISED:	REVISED:	REVISED:	REVISED:
ISSUE	SCHEMATIC				
SCALE	AS NOTED				
DATE	12/16/2019				

E



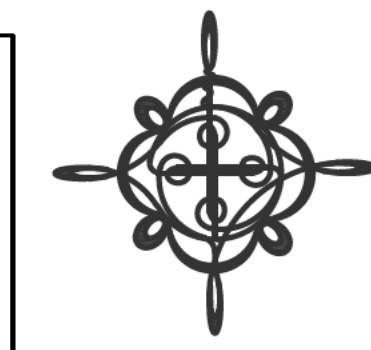
2 EAST ELEVATION
1/4" = 1'-0"

1 NORTH ELEVATION
1/4" = 1'-0"



1 SOUTH ELEVATION
1/4" = 1'-0"

3 WEST ELEVATION
1/4" = 1'-0"



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MENDON, MA 01756
BRETT@BTARC.COM
(508) 634 8401

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MEDWAY PLANNING AND ECONOMIC
DEVELOPMENT BOARD

DATE APPROVED: _____

DATE ENDORSED: _____

APPROVAL SUBJECT TO A PERFORMANCE
SECURITY COVENANT TO BE EXECUTED BY THE
BOARD AND RECORDED WITH THE SPECIAL
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TOWN CLERK DATE

20 BROAD STREET
MEDWAY, MA 02053

DRAWING TITLE:
LIGHTING PHOTOMETRIC PLAN

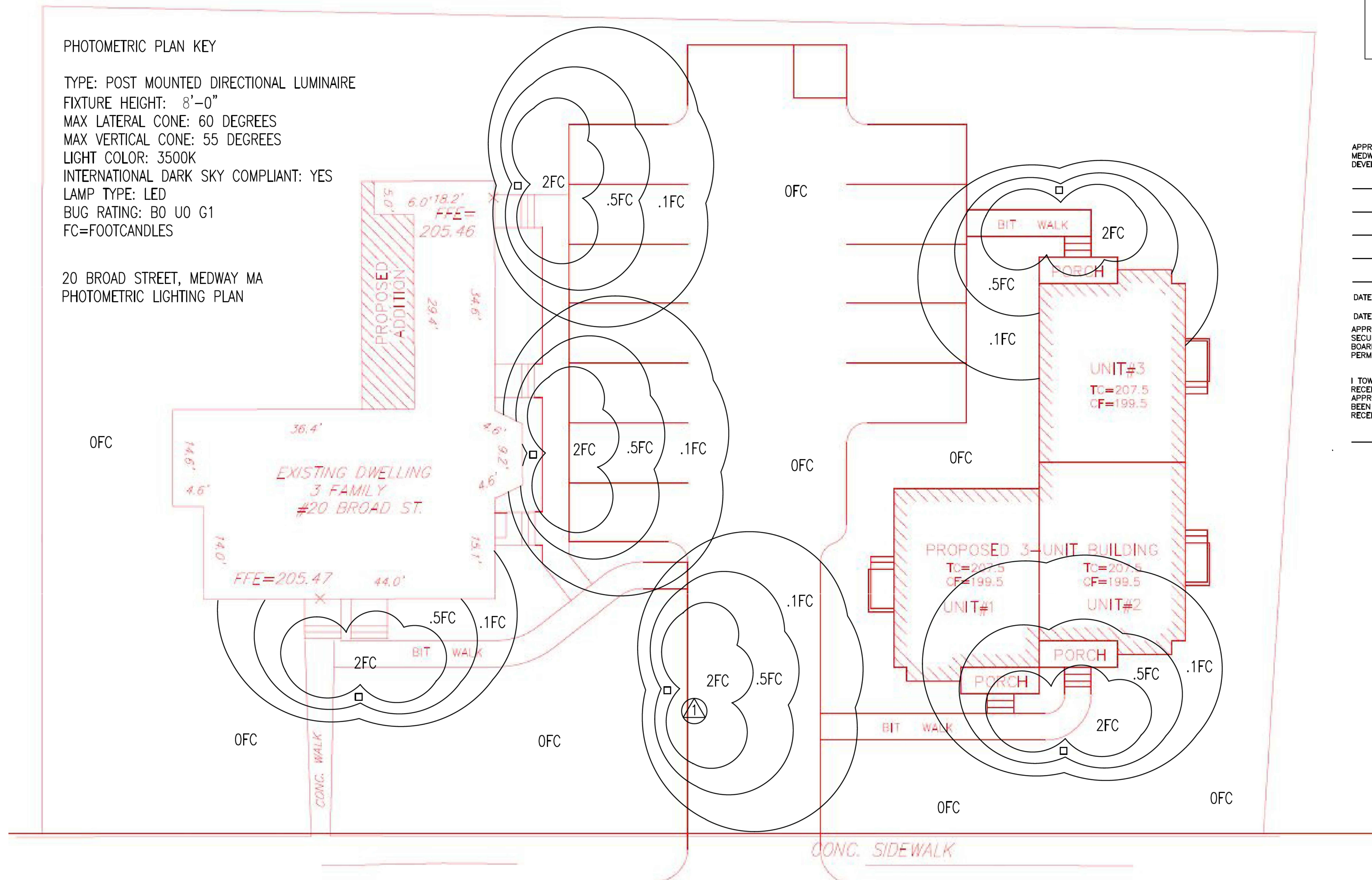
REVISED: 02-06-2020 MOVE POST FIXTURE 36" EAST	
ISSUE	APP
SCALE	NTS
DATE	9/19/2019

LP

PHOTOMETRIC PLAN KEY

TYPE: POST MOUNTED DIRECTIONAL LUMINAIRE
FIXTURE HEIGHT: 8'-0"
MAX LATERAL CONE: 60 DEGREES
MAX VERTICAL CONE: 55 DEGREES
LIGHT COLOR: 3500K
INTERNATIONAL DARK SKY COMPLIANT: YES
LAMP TYPE: LED
BUG RATING: B0 U0 G1
FC=FOOTCANDLES

20 BROAD STREET, MEDWAY MA
PHOTOMETRIC LIGHTING PLAN



Susan Affleck-Childs

From: Bouley, Steven <Steven.Bouley@tetrattech.com>
Sent: Monday, April 12, 2021 12:09 PM
To: Robert Truax; Susan Affleck-Childs
Cc: Steven Brody; White, Sara
Subject: RE: 20 Broad St Revised Site Plan

Perfect, thanks.



Susy, all of our comments have been addressed.

Steven M. Bouley, P.E. | Project Manager | Tetra Tech
Direct +1 (508) 786-2382 | Business +1 (508) 786-2200 | steven.bouley@tetrattech.com

While we are operating remotely in response to COVID-19, Tetra Tech teams remain fully connected and hard at work servicing our clients and ongoing projects. We would also like to wish health and wellness to you and your family.

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From: Robert Truax <Robert.Truax@glmengineering.com>
Sent: Monday, April 12, 2021 12:08 PM
To: Bouley, Steven <Steven.Bouley@tetrattech.com>; Susan Affleck-Childs <sachilds@townofmedway.org>
Cc: Steven Brody <village.limited@outlook.com>; White, Sara <Sara.White@tetrattech.com>
Subject: RE: 20 Broad St Revised Site Plan

 **CAUTION:** This email originated from an external sender. Verify the source before opening links or attachments. 

Steve,

This is a copy of the detail sheet with connector between the isolator row and remainder removed, Thanks

Rob

From: Bouley, Steven [<mailto:Steven.Bouley@tetrattech.com>]
Sent: Friday, April 09, 2021 3:53 PM
To: Robert Truax; Susan Affleck-Childs
Cc: Steven Brody; White, Sara
Subject: RE: 20 Broad St Revised Site Plan

Hi Rob, can you remove the feed connector between the isolator row and the remainder of the system on the "Recharge System-1P Standard Detail" as discussed in the call yesterday? All other items have been addressed and we have no further comment.

Please keep Sara white CC'd on all further correspondence.

Steve

Steven M. Bouley, P.E. | Project Manager | Tetra Tech
Direct +1 (508) 786-2382 | Business +1 (508) 786-2200 | steven.bouley@tetrattech.com

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From: Robert Truax <Robert.Truax@glmengineering.com>
Sent: Friday, April 9, 2021 9:56 AM
To: Susan Affleck-Childs <sachilds@townofmedway.org>
Cc: Bouley, Steven <Steven.Bouley@tetrattech.com>; Steven Brody <village.limited@outlook.com>
Subject: 20 Broad St Revised Site Plan

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Susy, Steve,

I attached the revised plans.

With the following revisions:

1. Provided a Nyloplast cleanout manhole at the beginning of the isolated row. Inv. to isolated lower to bottom. See Sheet 7 of 7 Detail.
2. Light post detail provided see sheet LA-3
3. Paver detail See Sheet LA-3, Site plan revised depicting brick walks.
4. All sheets provided with registry info.

Let me know if you have any questions.

If the plans are reviewed and ok, I can print mylars and get them to Susy.

Thanks
Rob

From: Susan Affleck-Childs [<mailto:sachilds@townofmedway.org>]
Sent: Friday, April 09, 2021 7:43 AM
To: Bouley, Steven; jeff.brody@jbitadvisors.com
Cc: Robert Truax; White, Sara
Subject: RE: Re: FW: 20 Broad St Revised Site Plan

Thanks, everyone!

From: Bouley, Steven [<mailto:Steven.Bouley@tetrattech.com>]
Sent: Thursday, April 8, 2021 2:55 PM
To: Susan Affleck-Childs <sachilds@townofmedway.org>; jeff.brody@jbitadvisors.com
Cc: Robert.Truax@glmengineering.com; White, Sara <Sara.White@tetrattech.com>
Subject: RE: Re: FW: 20 Broad St Revised Site Plan

Hi Susy,

I spoke with Rob and we discussed the edits to the drainage system, he will be following up with a revised set of plans.



Steve

Steven M. Bouley, P.E. | Project Manager | Tetra Tech
Direct +1 (508) 786-2382 | Business +1 (508) 786-2200 | steven.bouley@tetrattech.com

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From: Susan Affleck-Childs <sachilds@townofmedway.org>
Sent: Thursday, April 8, 2021 1:02 PM
To: jeff.brody@jbitadvisors.com
Cc: Robert.Truax@glmengineering.com; White, Sara <Sara.White@tetrattech.com>; Bouley, Steven <Steven.Bouley@tetrattech.com>
Subject: RE: Re: FW: 20 Broad St Revised Site Plan

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Excellent.

Steve Bouley will be out on paternity leave very soon! In his absence, the contact person at Tetra Tech is Sara White. I have copied her on this email.

Take care.

Susy

Susan E. Affleck-Childs
Planning and Economic Development Coordinator
Town of Medway
155 Village Street
Medway, MA 02053
508-533-3291
sachilds@townofmedway.org

From: jeff.brody@jbitadvisors.com [<mailto:jeff.brody@jbitadvisors.com>]
Sent: Thursday, April 8, 2021 12:52 PM
To: Susan Affleck-Childs <sachilds@townofmedway.org>
Cc: Robert.Truax@glmengineering.com
Subject: Re: FW: 20 Broad St Revised Site Plan

Hi Susy.

I believe there is a conversation needed between Rob and Tetra Tech on one of the change requests. Hopefully him and Steve Bouley have resolved the issue. We will keep you informed.

Thanks
Jeff

----- On Thu, 08 Apr 2021 12:48:15 -0400 sachilds@townofmedway.org wrote -----

Hi Jeff,

Sorry for my delay in getting back to you. Catching up now from being on vacation.

See note below from Tetra Tech engineer Steve Bouley with comments on the latest version of the 20 Broad Street site plan. There are a few comments on several more items that need to be included or revised. My humblest apologies for not forwarding this to you and GLM sooner.

Rob, please make these changes and resubmit.

I will follow-up with our Town Attorney on the covenant.

Stay tuned.

Susy

Susan E. Affleck-Childs

Planning and Economic Development Coordinator

Town of Medway

155 Village Street

Medway, MA 02053

508-533-3291

sachilds@townofmedway.org

From: Bouley, Steven [mailto:Steven.Bouley@tetrattech.com]
Sent: Tuesday, March 16, 2021 2:27 PM
To: Susan Affleck-Childs <sachilds@townofmedway.org>
Subject: RE: 20 Broad St Revised Site Plan

Hi Susy,

We reviewed the plans titled "Site Development Plan, 20 Broad Street, Medway, Massachusetts" dated September 16, 2019, revised March 12, 2021 against Section VIII of the Decision dated February 25, 2020 and have the following comments:

1. The Applicant has supplied detail for proposed isolator row but no proposed manhole access in order to properly maintain the row. Pipe invert into the row should be at the bottom of the chamber so it can be jetted and material pulled into the access manhole for removal via vactor truck. Additionally, the row should be designed to receive first flush and then flow bypass to the remainder of the system in larger storm events. (§VIII.D.4)
2. Proposed light post detail has not been provided on the Plans. (§VIII.D.8)
3. Sidewalk paver detail has not been provided on the Plans. Additionally, the proposed layout plan shows bituminous sidewalk and the landscape plan shows brick. These plans should be coordinated to ensure clarity in the design. (§VIII.D.9)
4. Registry box, board endorsement block, clerk signature line, etc. has not been included on the Landscape Plans. (§VIII.D.10)

Please let me know if you need any other info, thanks.



Steve

Steven M. Bouley, P.E. | Project Manager | Tetra Tech
Direct +1 (508) 786-2382 | Business +1 (508) 786-2200 | steven.bouley@tetrattech.com

While we are operating remotely in response to COVID-19, Tetra Tech teams remain fully connected and hard at work servicing our clients and ongoing projects. We would also like to wish health and wellness to you and your family.

This message, including any attachments, may include privileged, confidential and/or inside information. Any distribution or use of this communication by anyone other than the intended recipient is strictly prohibited and may be unlawful. If you are not the intended recipient, please notify the sender by replying to this message and then delete it from your system.

From: Susan Affleck-Childs <sachilds@townofmedway.org>
Sent: Monday, March 15, 2021 5:11 PM
To: Bouley, Steven <Steven.Bouley@tetrattech.com>
Subject: FW: 20 Broad St Revised Site Plan

 **CAUTION:** This email originated from an external sender. Verify the source before opening links or attachments. 

Hi Steve,

Attached is the revised site plan for 20 Broad Street from GLM, presented for Board endorsement.

I have also attached the decision so you can see what items they were supposed to include.

Please review to determine if everything has been addressed.

Thanks.

Susy

Susan E. Affleck-Childs

Planning and Economic Development Coordinator

Town of Medway

155 Village Street

Medway, MA 02053

508-533-3291

sachilds@townofmedway.org

From: Jeff Brody [<mailto:jeff.brody@jbitadvisors.com>]
Sent: Monday, March 15, 2021 4:01 PM
To: Susan Affleck-Childs <sachilds@townofmedway.org>
Subject: 20 Broad St Revised Site Plan

Hi Susy.

Please see the revised plan from Rob at GLM. Please take a look and reply with any missing requested revisions.

Thanks

Jeff



April 13, 2021

**Medway Planning & Economic Development Board
Meeting**

**Medway Place Shopping Plaza Site Plan
Public Hearing Continuation**

- Public Hearing Continuation Notice
- Email communications dated 4-7-21 between Susy Affleck-Childs and attorney Gareth Orsmond
- 3-23-21 Administrative Site Plan Review
Decision re: fencing (referred to PEDB to be incorporated into the major site plan review)

Board Members

Andy Rodenhiser, Chair
Robert Tucker, Vice Chair
Thomas Gay, Clerk
Matthew Hayes, P.E.,
Member
Richard Di Iulio, Member
Jessica Chabot, Associate
Member

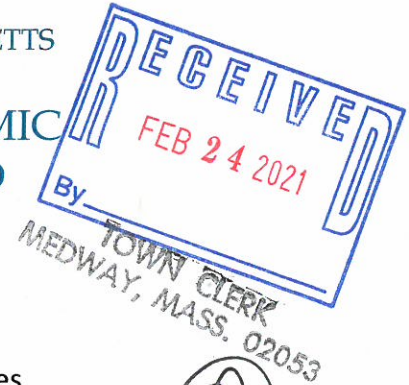


Medway Town Hall
155 Village Street
Medway, MA 02053
Phone (508) 533-3291
Fax (508) 321-4987
Email: planningboard@townofmedway.org
www.townofmedway.org

TOWN OF MEDWAY

COMMONWEALTH OF MASSACHUSETTS

PLANNING AND ECONOMIC DEVELOPMENT BOARD



MEMORANDUM

February 24, 2021

TO: Maryjane White, Town Clerk
Town of Medway Departments, Boards and Committees
FROM: Susy Affleck-Childs, Planning and Economic Development Coordinator
RE: **Public Hearing Continuation for Medway Place Shopping Plaza Site Plan**
98, 108 and 114 Main Street

Continuation Date – Tuesday, April 13, 2021 at 7:15 p.m.

At its February 23, 2021 meeting, the Planning and Economic Development Board voted to continue the public hearing on the application of Medway Realty LLC of Boston, MA for approval of a site plan for proposed site improvements at the Medway Place shopping plaza to a Tuesday, April 13, 2021 at 7:15 p.m.

This continuation is also made pursuant to Chapter 53 of the Acts of 2020, enacted April 3, 2020, which grants authority to Massachusetts planning boards to reschedule public hearings to a date not more than 45 days after termination of the COVID-19 state of emergency. Presently, there is no conclusion date for the Covid-19 emergency.

Proposed are a series of changes in the layout of and landscaping for the 446 space Medway Place parking lot as a result of the recently completed Route 109 improvement project. The proposed parking lot work will align the plaza's parking space layout with the Mass DOT constructed boulevard style main entrance. Also proposed are new stormwater management controls to treat stormwater collected from the parking lot before it is discharged to the Town's municipal storm drain system. The Applicant has also applied to the Medway Department of Public Works for an MS4 Connection Permit to improve the site's stormwater system.

The site plan and landscaping revisions are shown on *Medway Place Site Plan and Landscape Plan* dated October 16, 2019 by Howard Stein Hudson of Boston, MA. The *Drainage Improvement Plan for 98, 108 and 114 Main Street* is dated September 7, 2019 and was prepared by Grady Consulting, LLC of Kingston, MA. The documents are on file with the Medway Town Clerk and the Community and Economic Development office at Medway Town Hall. The information is also posted at the Planning and Economic Development Board's page at the Town's web site at: <https://www.townofmedway.org/planning-economic-development-board/pages/medway-plaza-site-plan> ***The applicant intends to submit a revised plan for further Town review. Upon receipt, it will be uploaded to the Board's web site.*** Please don't hesitate to contact me if you have any questions.

Susan Affleck-Childs

From: Gareth Orsmond <gorsmond@PierceAtwood.com>
Sent: Wednesday, April 7, 2021 4:09 PM
To: Susan Affleck-Childs
Subject: RE: Medway Place

Yes that's fine. Honestly it's just in a back-and-forth phase – we get a plan from the engineer, send back some comments and questions, and wait ...

If I were an engineer we'd be done already...

Gareth Orsmond	
PIERCE ATWOOD LLP	PH 617.488.8181

From: Susan Affleck-Childs <sachilds@townofmedway.org>
Sent: Wednesday, April 7, 2021 3:28 PM
To: Gareth Orsmond <gorsmond@PierceAtwood.com>
Subject: RE: Medway Place

*****This message originated outside your organization*****

Hi Gareth,

Thanks for your note. I would like to keep Medway Place on the agenda for next week. An update from you would be great. Thanks.

I am finalizing the agenda today. Stay tuned.

Susy

From: Gareth Orsmond [<mailto:gorsmond@PierceAtwood.com>]
Sent: Tuesday, March 30, 2021 10:44 AM
To: Susan Affleck-Childs <sachilds@townofmedway.org>
Subject: Medway Place

Hi Susan.

I hope all is well.

We have a draft site plan but we are still going back-and-forth on some changes to it – all in an effort to make it better. So we're not yet ready to file, but I anticipate a week or two at most.

If you want to keep me on the agenda for the next meeting as an update, that's fine; we may have filed it by the plan by then anyway. If not then certainly by the next meeting after that we will be ready.

Thanks,
Gareth

Gareth Orsmond
PIERCE ATWOOD LLP

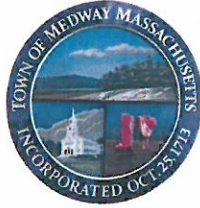
100 Summer Street
22nd Floor
Boston, MA 02110
PH 617.488.8181
FAX 617.824.2020

One New Hampshire Ave
Suite 350
Portsmouth, NH 03801
PH 617.488.8181
FAX 603.433.6372

gorsmond@PierceAtwood.com

BIO ► **Admitted in MA/NH**

This e-mail was sent from Pierce Atwood. It may contain information that is privileged and confidential. If you suspect that you were not intended to receive it please delete it and notify us as soon as possible.



TOWN OF MEDWAY
Department of Community and Economic Development
155 Village Street - Medway, Massachusetts 02053

March 23, 2021

ADMINISTRATIVE SITE PLAN REFERRAL
114 Main Street - Medway Place Shopping Plaza Fencing

As owner of the subject property, Medway Realty LLC has requested Administrative Site Plan Approval under Section 3.5.3.A.3.j Administrative Site Plan Review of the Medway Zoning Bylaw.

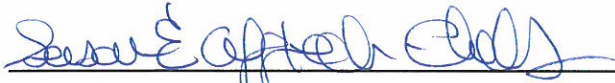
- I. **PROJECT LOCATION** – 114 Main Street (Medway map and parcel #40-057) in the Central Business zoning district. The area is 3.62 acres.
- II. **DESCRIPTION of PROPOSED WORK** – Medway Realty LLC proposes to install a fence that it states will replace a pre-existing fence that runs along the western-most property line near Ocean State Job Lot. The proposed fence is a six-foot high, PVC fence that runs approximately 224 feet. In accordance with the DPW's regulations, the fence will be installed approximately (but no less than) 17" from the western property line, which was marked out in a stakeout plan prepared by Grady Consulting, LLC, and attached to application for review.
- III. **PROCEDURAL HISTORY** - An application for administrative site plan review was filed with the Community and Economic Development Department and the Town Clerk on March 16, 2021. The Medway Administrative Site Plan Review Team (Building Commissioner Jack Mee, Planning and Economic Development Coordinator Susan Affleck-Childs, and Director of Community and Economic Development Barbara Saint Andre) met virtually via Zoom on March 22, 2021 to review the application. Todd Wilson and attorney Gareth Orsmond were also present on behalf of the applicants.
- IV. **INDEX OF SITE PLAN DOCUMENTS** – The following materials were provided for review:
 - A. Administrative Site Plan Review Application dated March 16, 2021

Administrative site plan review is required for this project pursuant to the Medway Zoning Bylaw Section 3.5.3.A.3.i. This fencing started to be put in place, triggering a cease and desist from the building department, and the applicant filed this request in response to the cease and desist order. The Team discussed with the applicant the possibility of this project being advanced to the Planning and Economic Development Board, to be considered along with a Major Site Plan application that is currently before

the PEDB for the same site. It seemed more appropriate to include the fencing as part of the pending site plan approval application.

– At its meeting on March 22, 2021, the Medway Administrative Site Plan Review Team voted 3-0 to advance the matter to the Planning and Economic Development Board, due to the pending Major Site Plan application before the PEDB which is also related to this property.


Signed:



Susan E. Affleck-Childs
Planning and Economic Development Coordinator

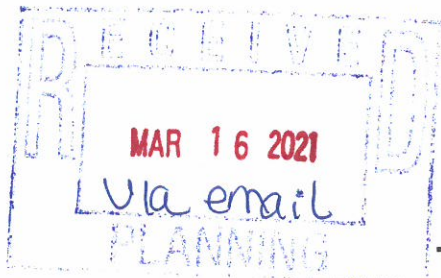


Jack Mee
Building Commissioner



Barbara J. Saint Andre
Director of Community and Economic Development

COPIES TO: Donna Greenwood, Principal Assessor
David D'Amico, DPW Director
Michael Boynton, Town Administrator
Jack Mee, Building Commissioner
Barbara Saint Andre, Director of Community and Economic Development
Chief Allen Tingley, Police Department
Sergeant Jeff Watson
Chief Jeff Lynch, Fire Department
Todd Wilson, Medway Realty LLC



Town of Medway, MA

Community and Economic Development

Medway Town Hall – 155 Village Street – Medway, MA 02053

508-321-4915

Application for Administrative Site Plan Review

Administrative Site Plan Review is for small construction and site improvement projects as defined in Section 3.5.3.A.3 of the Zoning Bylaw.

Administrative Site Plan Review is handled by the Town's Administrative Site Plan Project Review Team.

INSTRUCTIONS TO APPLICANT and OWNER

This Application is made pursuant to Section 3.5 of the *Medway Zoning Bylaw* and the Planning and Economic Development Board's *Rules and Regulations for the Submission and Review of Site Plans (Regulations)*.

You are advised to contact the Medway Community and Economic Development office at 508-321-4915 to schedule an appointment to discuss your project and submittal requirements before you prepare and submit this application.

_____, 20____

APPLICANT INFORMATION

Applicant Name: **Medway Realty LLC**

Mailing Address: **63 Atlantic Ave**

Boston MA 02110

Name of Primary Contact: **Todd Wilson**

Relationship to Applicant: **Management Representative**

Telephone: **Cell: 781-760-8230**

Email address: **twilson@dfi.cc**

Check one of the following:

☒ **X** You own the subject property

☐ You are the purchaser on a purchase and sales agreement

☐ You are a tenant of the subject property

Please note, if you are not the owner, the owner must sign this application as well.

PROPERTY INFORMATION

Property Address: **114 Main Street, Medway**

Medway Assessors' Map and Parcel #: **Map 40 Parcel 057**

Total Acreage of Land Area: **Parcel 40-057 is 3.62± acres and is owned in common with Parcels 50-056 and 40-057. The total area of all three contiguous parcels is 10.31± acres.**

General Description of Property: **Shopping Center known as Medway Plaza**

Medway Zoning District Classification: **Central Business**

Current Use of Property: **Shopping Center**

Setbacks for Existing Structure (if applicable): **Not applicable to this application**

Front: _____ Side: _____
Back: _____ Side: _____

Scenic Road:

Does any portion of this property have frontage on a Medway Scenic Road?

____ Yes ☒ No If yes, please name street: _____

Historic District:

Is any portion of this property located within a Medway National Register Historic District? **No**

____ Yes - Rabbit Hill

____ Yes - Medway Village

Wetlands:

Is any portion of the property within a Wetland Resource Area? ____ Yes ☒ No

Groundwater Protection:

Is any portion of the property within a Groundwater Protection District? ____ Yes ☒ No

Flood Plain:

Is any portion of the property within a Designated Flood Plain? ____ Yes ☒ No

Zoning Board of Appeals:

Will this project require a variance or special permit? ____ Yes ☒ No

Explanation: _____

PROPOSED PROJECT INFORMATION

Development Name: **Replacement of Fence along Ocean State Job Lot Property Line**

Project Description: Medway Realty LLC (Medway Realty) proposes to replace a 30±-year-old fence that runs along the western-most property line near Ocean State Job Lot. The proposed

fence is a six-foot-high quality PVC fence that runs approximately 224 feet. In accordance with the DPW's regulations, the fence will be installed approximately (but no less than) 17" from the western property line, which was marked out in a stakeout plan prepared by Grady Consulting, LLC, and attached to application for review.

SITE PLAN INFORMATION

Plan Title: Stakeout Plan

Plan Date: January 19, 2021

Prepared by:

Name: Darren Grady

Firm: Grady Consulting, LLC

Telephone: Office: 781-585-2300 Cell: 781-254-6559

Email address: darren@gradyconsulting.com

PROPERTY OWNER INFORMATION (if not applicant)

Property Owner: **Medway Realty LLC**

Mailing Address: **63 Atlantic Ave
Boston MA 02110**

Primary Contact: **Todd Wilson**

Telephone: **Cell: 781-760-8230**

Email address: **twilson@dfi.cc**

The owner's title to the land that is the subject matter of this application is derived under deed from: **Medway Realty Trust to Medway Realty LLC** dated **December 21, 2001** and recorded in Land Court Certificate of Title Number **161308**, Land Court Case Numbers **26706 and 36413**, registered in the Norfolk County Land Registry District Volume **807**, Page **108**.

DESIGNATED REPRESENTATIVE INFORMATION

Name: **Same As Above**

Address: _____

Telephone: Office: _____ Cell: _____

Email address: _____

SIGNATURES

The undersigned, being the Applicant for Administrative Site Plan review and approval and Owner of the property, herewith submits this application, Site Plan and other required documents to the Medway Community and Economic Development office. I (we) hereby certify, under the pains and penalties of perjury, that the information contained in this application is a true, complete and accurate representation of the facts regarding the property and proposed development and site improvements.

(If applicable, I hereby authorize _____ to serve as my Designated Representative to represent my interests with respect to this application.)

I (we) understand that the Administrative Site Plan Project Review Team will review the application at a posted meeting during regular Town Hall hours. I (we) understand that Town staff may request additional information which I (we) am responsible for providing to assist them in reviewing the proposed development. In submitting this application, I (we) authorize Town staff to access the site during the plan review process.

Signature of Property Owner

Date

Signature of Applicant (if other than Property Owner)

Date

Todd Wilson

3/16/2021

Signature of Designated Representative

Date

**TOWN OF MEDWAY
ADMINISTRATIVE SITE PLAN REVIEW
APPLICATION SUBMITTAL REQUIREMENTS**

Complete the application, see Section 206-3 of the *Site Plan Rules and Regulations*, and submit with the following documents to:

Town Clerk

- _____ One signed original *Administrative Site Plan Application*
- _____ One copy of the *Site Plan*, 11" x 17" or larger, showing all planned improvements. See attached for list of items to be included on the *Site Plan*.

Community and Economic Development office

- _____ One signed original *Administrative Site Plan Application*
- _____ One written *Project Description*
- _____ One 24" x 36" site plan and three copies of the *Site Plan*, 11" x 17" or larger showing all planned building and site improvements. See attached for list of items to be included on the *Site Plan*.
- _____ One copy of a *Stormwater Drainage Evaluation* report. This shall include a letter signed by a Professional Engineer licensed in the Commonwealth of Massachusetts. This report shall:
 - describe the existing stormwater drainage patterns and system on the site;
 - identify how the proposed site plan work will impact the existing stormwater drainage patterns and system; and
 - describe the location and design of proposed stormwater management measures to be used to dispose of added surface water resulting from the proposed site changes.
- _____ One copy of all relevant approvals received from other Town departments, boards, agencies and committees
- _____ List of Requested Waivers from the *Site Plan Rules and Regulations*
- _____ Electronic version of all application materials. Provide CD, flash drive or email.
- _____ \$350 Administrative Site Plan Filing Fee – Payable to Town of Medway

NOTE

Electronic submittals of all Application materials should also be emailed to:
CommDev@townofmedway.org.

PROJECT DESCRIPTION

Medway Realty LLC (Medway Realty) proposes to replace a 30±-year-old fence that runs along the western property line near Ocean State Job Lot. The existing fencing has fallen into disrepair. The fence will prevent people from trampling over existing and future landscaping .

The proposed fence is a six-foot-high quality PVC fence. In accordance with the DPW's fence regulations, the fence will be installed approximately and no less than 17" from the property line, which was marked out by Grady Consulting, LLC, as shown on the Stakeout Plan dated January 19, 2021, included with this application.

The fence will be approximately 224 feet long, running from the northernmost property line to the approximate location of the off-street driveway connecting Medway Plaza and the adjacent property on the west. The fence will not obstruct this driveway.

The proposed design of the fence is shown on the attached photograph.

Reservation of Rights

Medway Realty submits this application for administrative review under reservation of rights, including those stated in its letter dated February 6, 2020, from Gareth Orsmond, Esq., with respect to the Major Site Plan Application and Medway Plaza's status as a lawfully nonconforming, pre-existing use, a copy of which is on file with the Community and Economic Development Office, and those arising from the DPW's fence regulations, which state that no permit is required for a fence, and Section 202-3 of the Rules and Regulations for Submission, Review and Approval of Site Plans, which state, "No building permit shall be issued for any use, site or building alteration, or other improvement ... unless an application for Site Plan Review has been prepared...." No building permit is required for fencing.

REQUEST FOR WAIVERS

In accordance with Section 202-5 of Rules and Regulations for Submission, Review and Approval of Site Plans, Medway Realty requests waivers from the following requirements for administrative site plan review:

- Section 206-3.A.2, requiring a 24" x 36" site plan.
- Section 206-3.B.2, to the extent it requires another 24" x 36" site plan.
- Section 206-3.B.3, to the extent the project description requires anything more than the description included with this application.
- Section 206-3.B.4, which requires a stormwater drainage evaluation report. Stormwater drainage is addressed at length in the reports and plans submitted for the application for a Municipal Stormwater Connection and Discharge permit pending with DPW for the Medway Plaza.
- Section 206-3.B.6, to the extent it requires that waivers be requested on a form provided by the Planning and Economic Development Board other than this application form.
- Sections 206-4 and 206-5, which set forth standards for site plan preparation and site plan content. Instead of a site plan as set forth in those requirements, Medway Realty proposes to substitute the January 19, 2021 Stakeout Plan prepared by Grady Consulting, LLC, the project narrative, and the photograph of the proposed fence included with this application.
- The requirements of Article VII and elsewhere in the Rules and Regulations for "development projects." There is no definition of what constitutes a development project. Medway Realty submits that the proposed fencing is not a development project.

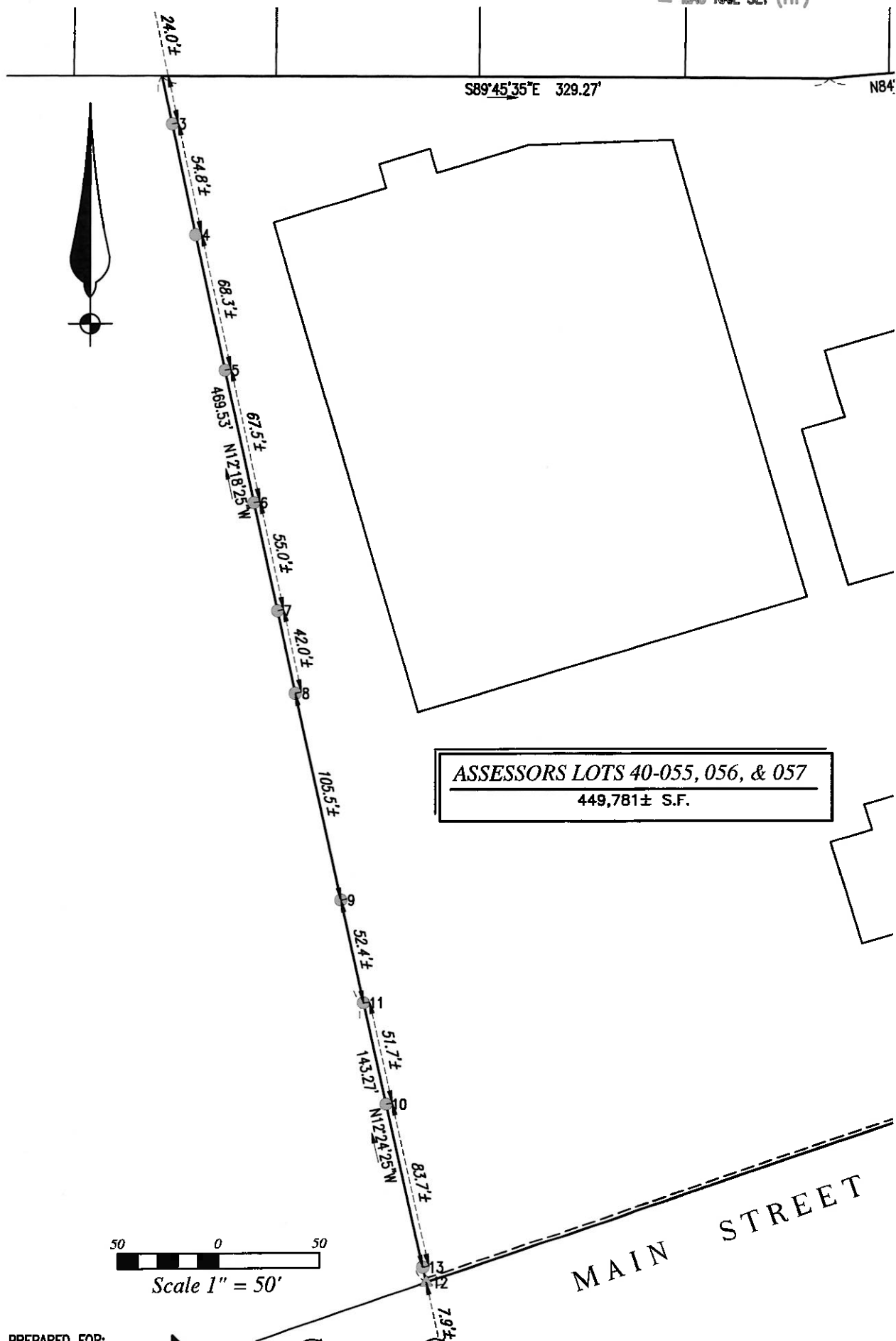
Medway Realty submits that the requested waivers meet the requirements for waiving strict compliance with the Rules and Regulations as set forth in Section 202-5. In particular, the rule or regulation requested to be waived does not apply to the situation under review, and a waiver will have no significant detriment to the achievement of any of the purposes of site plan review and approval and is consistent with the purpose and intent of the Zoning Bylaw and the Rules and Regulations.



104 MAIN STREET, MEDWAY

● BEANPOLE SET (TYP)

▲ MAG NAIL SET (TYP)



ASSESSORS LOTS 40-055, 056, & 057

449,781± S.F.

50 0 50
Scale 1" = 50'

PREPARED FOR:
MEDWAY REALTY, LLC
63 ATLANTIC AVENUE
BOSTON, MA 02110



GRADY CONSULTING, L.L.C.

Civil Engineers and Land Surveyors

JANUARY 19, 2021
SCALE: 1"=50'
10R No. 10-015



April 13, 2021

**Medway Planning & Economic Development Board
Meeting**

**Eversource Site Plan – Tetra Tech
Construction Services Cost Estimate**

- Tetra Tech estimate dated April 6, 2021 for \$5,244



Eversource Station 65
Construction Administration Budget
April 6, 2021

Item No. ¹	Inspection	Visits	Hrs/Inspection ²	Rate	Total
1	Pre-Construction Meeting	1	4	\$161	\$644
2	Erosion Control Inspections	6	2	\$116	\$1,392
3	Culvert Replacement	2	4	\$116	\$928
3	Punch List Inspections ³	2	3	\$116	\$696
5	As-Built Review	1	4	\$161	\$644
6	Meetings	6	0.5	\$161	\$483
7	Admin	1	3	\$69	\$207
	Subtotal				\$4,994
	Expenses			5.0%	\$250
	TOTAL				\$5,244

Notes:

¹ Each item includes site visit, inspection and written report and is based on current TT/Medway negotiated rates through June 2021.

² If installation schedule is longer than that assumed by engineer for any item above, or if additional inspections are required due to issues with the contract work, additional compensation will be required.

³ Punch List Inspections include a substantial completion inspection and Punch List memo provided to the town. It also includes one (1) final inspection to verify that comments from the list have been addressed and one (1) revision to the list if required.

Date Approved by Medway PEDB _____

Certified by: _____ **Date** _____
Susy Affleck-Childs
Medway PEDB Coordinator



April 13, 2021

**Medway Planning & Economic Development Board
Meeting**

**The Settlement – Central Business District
Mixed Use Development**

(119A & 119B Main Street, 1 & 3 Elm Street)

- **Public Hearing Notice**
- **Project Narrative**
- **CBD Mixed Use special permit application**
- **Major site plan application**
- **Shared parking application**
- **Development Impact Statement**
- **Site Plan prepared by Legacy Engineering, dated 3-8-21 (with landscaping plan and building elevations)**
- **Requests for waivers from the Site Plan Rules and Regulations**
- **4-1-21 comments from Barbara Saint Andre**
- **3-29-21 comments from Dave D'Amico**
- **Proposed CBD zoning bylaw amendments for May town meeting as approved by the PEDB on 3-31-2**
- **4-5-21 Design Review Committee letter**
- **4-13-21 TetraTech Review**

Board Members

Andy Rodenhiser, Chair
Robert Tucker, Vice Chair
Thomas Gay, Clerk
Matthew Hayes, P.E.,
Member
Richard Di Iulio, Member
Jessica Chabot, Associate
Member



Medway Town Hall
155 Village Street
Medway, MA 02053
Phone (508) 533-3291
Fax (508) 321-4987
Email: planningboard@townofmedway.org
www.townofmedway.org

TOWN OF MEDWAY COMMONWEALTH OF MASSACHUSETTS PLANNING AND ECONOMIC DEVELOPMENT BOARD

March 23, 2021

NOTICE OF PUBLIC HEARING

Major Site Plan Approval, Central Business District Mixed Use Special Permit, and Reduced Parking Special Permit

The Settlement, 1657 – 119 A and B Main Street and 1 and 3 Elm Street

In accordance with the *Medway Zoning Bylaw*, Section 3.5 Site Plan Review, Section 5.4.1 Special Permits in the Central Business District, and Section 7.1.1 Off-Street Parking and Loading – J. Reduced Parking, the provisions of Chapter 40A, Massachusetts General Laws, and the Board's *Site Plan Rules and Regulations*, notice is given that the ***Medway Planning and Economic Development Board will hold a public hearing on Tuesday, April 13, 2021 at 7:30 p.m. to consider the applications of Thomas Steeves of Bellingham, MA for approval of a Central Business District mixed-use special permit, a reduced parking special permit, and major site plan for a proposed mixed-use development at 119A and 119B Main Street and 1 and 3 Elm Street.***

The applicant's proposed development includes six mixed-use, village style buildings, one at the front of the site facing Main Street and five at the back of the site, along with associated driveways, parking areas to accommodate 57 vehicles, landscaping, utility systems, and stormwater management systems. The proposal specifies a total of 12,544 sq. ft. of ground floor commercial/office space and 25,448 sq. ft. of residential space (26 apartment style dwelling units) of which 6 would be affordable.

The 6.3 acre site (Medway Assessor's parcels 48-07, 48-07-1, 48-07-2, and 48-07-03) is owned by Thomas Steeves of Bellingham, MA. The property is located within the Central Business zoning district at the southeast corner of Main and Elm Streets. The site includes wetland resources and is under the jurisdiction of the Medway Conservation Commission which is reviewing the project for an Order of Conditions and a Land Disturbance permit.

The proposed site improvements are shown on a plan titled *The Settlement, 1657, Medway MA Site Plan*, dated March 8, 2021, prepared by Legacy Engineering, of Millis, MA.

The applications, site plan, and associated documents are on file at the offices of the Town Clerk and the Planning and Economic Development Board at Medway Town Hall, 155 Village Street and may be reviewed during regular business hours. Face coverings are required to enter Town Hall. The site plan and application materials have also been posted at the Board's web page at: <https://www.townofmedway.org/planning-economic-development-board/pages/current-applications-pedb-0>.

OVER 

Pursuant to Governor Baker's March 12, 2020 Order Suspending Certain Provisions of the Open Meeting Law, and the Governor's Orders imposing strict limitations on the number of people that may gather inside in one place, no in-person attendance will be permitted at this meeting. Board members, Town staff, the Board's engineering consultant, and the applicant and its representatives will attend the public hearing via ZOOM. Meeting access for the public will also be provided via ZOOM at: <https://us02web.zoom.us/j/87829889801?pwd=cVF0T0drV3V0a1lBVmdmc2hUZWI3dz09> Members of the public may also watch the meeting on Medway Cable Access - channel 11 on Comcast Cable, channel 35 on Verizon Cable, or on Medway Cable's Facebook page @medwaycable.

Interested persons are invited to review the applications and plan, attend the public hearing via ZOOM, and express their views. Questions should be directed to the Planning and Economic Development office at 508-533-3291. Written comments are encouraged and may be forwarded to: planningboard@townofmedway.org. All comments will be entered into the record during the public hearing.

Andy Rodenhiser, Chairman

Legal advertisement to be published in the *Milford Daily News*:

Monday, March 29, 2021

Tuesday, April 6, 2021

SITE PLAN & SPECIAL PERMIT NARRATIVE

FOR

THE SETTLEMENT, *1657*

MEDWAY, MA 02053

PROPOSED MIXED-USE DEVELOPMENT

MARCH 9, 2021

PREPARED BY:
LEGACY ENGINEERING LLC
CONSULTING ENGINEERS
730 MAIN STREET, SUITE 2C
MILLIS, MA 02054

PREPARED FOR:
THOMAS STEEVES
15 CHASE STREET
BELLINGHAM, MA 02019

INTRODUCTION

This narrative report serves as the Project Description as required for a Major Site Plan Review and the special permit narrative as required for the two special permits sought for the development.

DEVELOPMENT SITE PLAN

The existing and proposed conditions of the site are depicted on a plan set dated December 10, 2019 entitled "The Settlement, 1657 Medway, MA Site Plan." revised March 8, 2021.

EXISTING SITE CONDITIONS

The proposed development lies on four undeveloped parcels of land located at the corner of Elm and Main Street with a total area of 6.3 acres (the "Site").

SITE CONDITIONS

ZONING DISTRICTS

The site lies within the Central Business District.

EXISTING CONDITIONS

The site is undeveloped and is entirely wooded. There are two areas of Bordering Vegetated Wetlands on the site, and a Notice of Intent has been filed with the Medway Conservation Commission for all work within jurisdictional areas.

HISTORICAL/ARCHAEOLOGICAL RESOURCES

There are no features on the site that indicate that that it is historically or archeologically significant.

PROPOSED CONSTRUCTION

GENERAL DESCRIPTION

The proposed development consists of six new mixed-use buildings along with associated driveways, parking areas, landscaping, utility systems, and stormwater management systems. The development has been designed as a small village-style complex of modestly sized buildings. This will integrate with the immediate neighborhood in an unobtrusive way.

PROPOSED DEVELOPMENT

BUILDINGS

The proposed buildings will be of wood frame construction on cast-in-place concrete basement. One of the buildings in the rear of the site will be a walkout (The Bullen House) with an occupied basement level. The other buildings will have an unoccupied basement level for storage. The ground floor of each building will contain commercial or office space, while the other floors will contain residential units. All buildings will be fully equipped with required fire protection systems and will meet or exceed all requirements of the Massachusetts State Building Code.

AFFORDABLE UNITS (SECTION 8.6 OF THE ZONING BYLAW)

Applicability

Adherence to section 8.6 of the Zoning Bylaw is required for mixed-use developments resulting in a net increase of 6 or more dwelling units.

Affordable Units

20% of the units in this 26-unit development are required to be affordable. This requires a minimum of 5.2 affordable dwelling units. The developer intends to provide 6 affordable units rather than converting the 0.2 units to a cash payment. All affordable units will have a Deed Rider as required.

Location and Comparability

All units on the site are near identical, making the affordable units comparable to the market-rate units. Due to the small nature of the site, none of the units are located far from amenities.

DRIVEWAYS/PARKING

The proposed driveway will connect to Main Street through an existing curb cut and has been designed to accommodate Medway's fire trucks (see Attached fire truck circulation plan).

The development requires 42 parking spaces for commercial use and 39 spaces for residential use for a total of 81 parking spaces. A special permit is being sought to reduce this number by 30% to 57 spaces, as the non-competing uses on the site allow for shared spaces.

EXTERIOR LIGHTING

Walkways and parking areas are provided with residential-style lantern light poles. Hours of operation will be as needed, but not between the hours of 11:00 P.M. and 6:00 A.M.

STORMWATER MANAGEMENT

Stormwater is treated and infiltrated by three separate infiltration basins. The capacity of these basins is supplemented by underground infiltration fields. In-depth stormwater design considerations and calculations can be found in the Stormwater Report.

DEVELOPMENT TIMETABLE

The hours of construction activities are expected to be between 7:00 am and 7:00 pm Monday through Saturday. Construction activities are expected to commence in the fall of 2021 and be completed by the fall of 2024.

SPECIAL PERMITS

The development at 119A & 119B, 1 & 3 Elm Street requires a special permit to reduce required parking pursuant to the Zoning Bylaw section 7.1.1.J.2.a. A second special permit is needed for a mixed-use development in the Central Business District pursuant to section 5.4.1.B.

3.4 SPECIAL PERMIT CRITERIA

1. The proposed site is an appropriate location for the proposed use. The site is within the central business district on Main Street, in the downtown area, where these types of mixed-use developments are desired.
2. Adequate and appropriate facilities will be provided for the operation of the proposed use. The applicant has access to municipal water and sewer systems. Private electric and gas is also available at the site. Trash removal will be by

private collection. A stormwater management system has been designed in accordance with applicable requirements.

3. The proposed use as developed will not create a hazard to abutters, vehicles, pedestrians or the environment. The proposed use of small commercial businesses on the first floors with residential units above will not be hazardous for vehicles, pedestrians, or abutters. Appropriate driveways and parking areas are provided throughout the site. An appropriate stormwater management system is provided to protect the environment.
4. The proposed use will not cause undue traffic congestion or conflicts in the immediate area. The proposed use will generate minimal amounts of traffic and has adequate sight distance at the entrance driveway. Main Street was recently fully reconstructed and is able to accommodate the small increase in traffic from this development. The proposed use therefore will not cause any undue traffic congestion or conflicts in the immediate area.
5. The proposed use will not be detrimental to the adjoining properties due to lighting, flooding, odors, dust, noise, vibration, refuse materials, or other undesirable visual, site or operational attributes of the proposed use. Lighting will not be directed towards abutters, and proper screening is provided. Refuse will be disposed of in an on-site dumpster that will be collected privately. A stormwater management system has been provided in accordance with applicable requirements. Mixed-use developments of this nature are not generally known to result in significant problems associated with odors, dust, noise, vibration, or other undesirable impacts. The proposed commercial spaces are small and are likely to be occupied by low-intensity office uses.
6. The proposed use as developed will not adversely affect the surrounding neighborhood or significantly alter the character of the zoning district. The surrounding neighborhood consists of commercial, single-family, and multifamily uses. The site will therefore be consistent with the neighborhood. Building facades have been carefully designed to be in keeping with the character of the surrounding neighborhood. As such, the development will not adversely affect the surrounding neighborhood or significantly alter the character of the zoning district.
7. The proposed use is in harmony with the general purpose and intent of this Zoning Bylaw. The bylaw allows for mixed-use developments in the CB district.
8. The proposed use is consistent with the goals of the Medway Master Plan. This development will increase the availability, affordability, and diversity of the Medway housing stock while providing increased commercial space and is consistent with the Master Plan.
9. The proposed use will not be detrimental to the public good. The proposed mixed-use development will provide additional housing opportunities for residents in the downtown area. It will therefore not be detrimental to the public good.

5.4.1 MIXED-USE DEVELOPMENT

Applicability

The proposed development lies within the Central Business district and can therefore apply for a special permit to the Planning and Economic Development Board for a mixed-use development.

Dimensional Regulations

All dimensional requirements for the underlying district are met by the development. No building on the site will exceed the maximum height of 60 feet.

Special Regulations

Residential units are not located on the ground floor of buildings at the front of the development. There are ground floor residential units in the Bullen House to facilitate handicap accessibility. The basement level of this building will be used for commercial space.

7.1.1J REDUCTION IN OFF-STREET PARKING

Applicability

The applicant seeks to reduce the number of required parking spaces by 30%. This reduction is appropriate because the mixed-use development has non-competing parking needs.

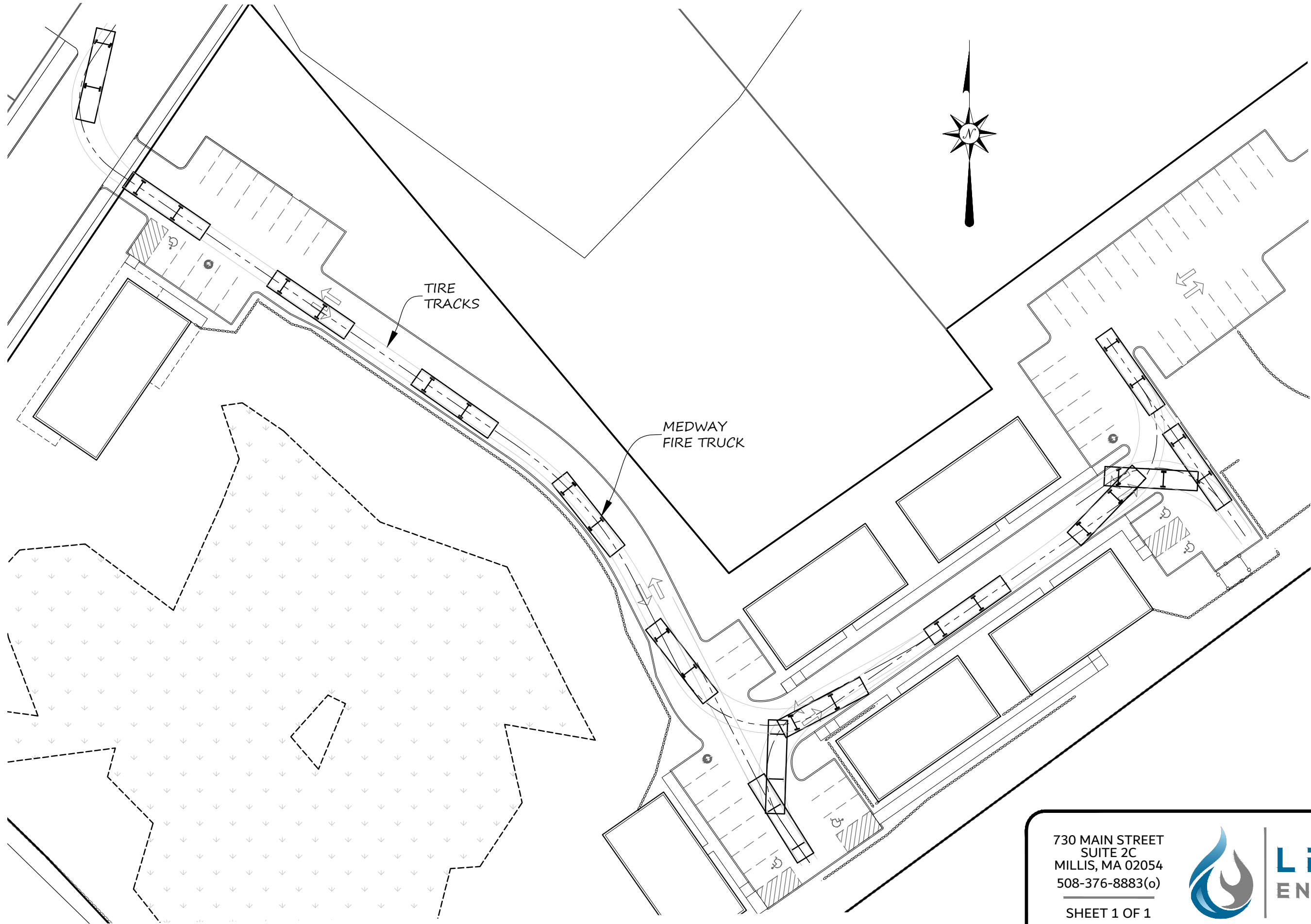
Shared Parking

The site is mixed-use with low-intensity commercial and residential units. Parking needs generated by these two uses are at times of day that do not usually overlap. The residential units will require parking spaces from approximately 5 P.M. to 9 A.M., while the low-intensity commercial units will require parking spaces from approximately 8 A.M. to 5 P.M.

The requested reduction in parking would reduce the required number of parking spaces from 81 spaces to 57 (a 30% reduction).

ATTACHMENT A

FIRE TRUCK CIRCULATION EXHIBIT



PLAN SCALE: 1"=40'



PLAN DATE: MARCH 9, 2021

REVISION	DATE	BY

THE SETTLEMENT, 1657
FIRE TRUCK
PLAN OF LAND
IN
MEDWAY, MA

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)

SHEET 1 OF 1



LEGACY
ENGINEERING

Special Permit
Mixed-Use CBD
Application



Medway

MASSACHUSETTS



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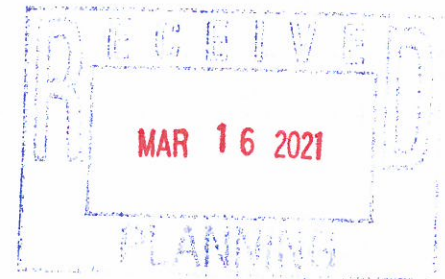
Make a payment



Upload documents



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**Permit #:** SPE21-000001**Project #:** 21-000625**Status:** Online Application Received**Balance Due:** \$0.00**Address:** 119B MAIN ST 📍**Description:** Mixed use development with 6 proposed buildings and all appurtenant driveways, parking areas, utilities, and stormwater management systems.

Permit

Reviews

Documents

Inspections

Permit #:

SPE21-000001

Permit Type:

PEDB - Special Permit

Sub Type:

PEDB Special Permit

Issue Date:

Expiration Date:

Above address should be project location.

Please check here if the Applicant is the equitable owner (purchaser on a purchase and sales agreement.):

No

Primary Address Map #:

48

Primary Address Parcel #:

47

How many additional addresses associated with site plan?:

3

Additional Address:

119A MAIN ST

Map and parcel number:

48-07-01

Additional Address:

1 Elm Street

Map and parcel number:

48-07-02

Additional Address:

3 Elm Street

Map and parcel number:

48-07-03

Project Information

Development Name:

The Settlement, 1657

Plan Title:

The Settlement, 1657 Medway, MA Site Plan

Plan Date:

03/08/2021

Prepared by:

Legacy Engineering - Dan Merrikin

Type of Project

Note - In most cases, the applicant will also need to file an application for site plan review.

Check all that apply:

Infill Dwelling Unit (Section 8.1):

No

Vehicle fuel station with repair services:

No

Vehicle fuel station with car wash:

No

Vehicle fuel station with convenience store:

No

Car wash:

No

Vehicle repair:

No

Auto body shop:

No

Drive-thru facility:

No

Assisted living residence facility:

No

Multi-Family dwelling units in combination with a commercial use in the Central Business District (Section 5.4.1):

Yes

Other special permit uses, normally reviewed by the Zoning Board of Appeals, such as a Groundwater Protection District Special Permit and a Flood Plain Special Permit, but which are reviewed instead by the Planning and Economic Development Board when the project also requires site plan review (Section 3.5.3.A. 5. a.):

Yes

NOTE - There are separate application forms for the following special permits:

- Open Space Residential Development (OSRD)
- Adult Retirement Community Planned Unit Development (ARCPUD)
- Multi-Family Housing Overlay District (MHOD)
- Adaptive Use Overlay District (AUOD)
- Marijuana Facilities and Establishments (medical and adult recreational)
- Affordable Housing

Do not use this application form for those developments

Property Information

Size of Development Parcel(s):

6.3

General Description of Property:

The site is undeveloped and entirely wooded. There are two areas of Bordering vegetated Wetlands on the site.

Medway Zoning District Classification (Zoning Map Found Here):

CB

Are any additional zoning districts involved?:

No

Property Owner Information (if not applicant)

Is the applicant the property owner?:

Yes

Mailing Address:

15 Chase Street Bellingham, MA 02019

Primary Contact:

Thomas Steeves

Consultant Information

Designated Representative:

Legacy Engineering - Dan Merrikin

Electronic Submittal Requirements

Attach the following items

- A detailed narrative on how the proposed development project meets the special permit criteria included in the Medway Zoning Bylaw, SECTION 3.4 Special Permit Criteria AND any specific criteria included in the particular section(s) of the Zoning Bylaw for which a special permit is sought.

Hard Copy Submittal Requirements

Check the boxes below confirming you will submit hard copies of the following documents

- Special Permit Application - one for the Town Clerk and one for the Planning and Economic Development Board:

Yes

Signatures

Provide Applicant Declaration Found Here :

Declaration-Special Permits.pdf

No Special Permit fees. Fees will be charged with the site plan application.

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Medway

MASSACHUSETTS



1 ITEM



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VIEW PERMIT

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MAR 23 '21 PM1:51

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Permit #: SP21-000002**Project #:** 21-000623**Status:** Online Application Received**Balance Due:** \$13,995.50**Address:** 119B MAIN ST **Description:** Mixed use development with 6 proposed buildings and all appurtenant driveways, parking areas, utilities, and stormwater management systems.

Permit

Reviews

Documents

Inspections

Permit #:

Legacy Engineering - Dan Merrikin

Property Information

Total Acreage of Land Area:

6.3

General Description of Property:

The site is undeveloped and entirely wooded. There are two areas of Bordering vegetated Wetlands on the site.

Medway Zoning District Classification (Zoning Map Found Here):

CB

Are any additional zoning districts involved?:

No

Current Use of Property:

Undeveloped

Length of Existing Frontage:

299.24

On what street?:

Main Street

Setbacks for Existing Structure (if applicable)

Front:

Back:

Side:

Side:

Scenic Road

Does any portion of this property have frontage on a Medway Scenic Road? (See list of Scenic Roads Here):

Yes

Please name street:

Elm Street - Note that no work is proposed along Elm Street

You will need to apply for a scenic road work permit as well. Please contact Department of Public Works at at 508-533-3275.

Historic Status

Does the property include a building that is more than 75 years old?:

No

Does the property include a building listed on the National Register of Historic Places?:

No

Is any portion of this property located within a Medway National Register Historic District?:

No

Does the project include demolition of a building that is 75 years of age or older?:

d) Construction of ground mounted solar photovoltaic installations of any size in any zoning district including solar canopy type systems in parking areas:

No

e) Removal, disturbance, and/or alteration of 20,000 sq. ft. or more of existing impervious surface:

No

Variance/Special Permit

Will this project also require a variance or special permit from the Zoning Board of Appeals?:

No

Special Permit

Will this project also require a special permit from the Planning and Economic Development Board?:

Yes

Explanation:

A special permit is sought to allow a mixed-use development under section 5.4.1 of the Zoning Bylaw. A special permit is also sought to allow a reduction in off-street parking under section 7.1.1.J of the Zoning Bylaw.

Order of Conditions

Will this project also require an Order of Conditions from the Conservation Commission?:

Yes

Explanation:

Some of the proposed work is to be done within the 100' buffer of bordering vegetated wetlands found on the site.

Land Disturbance Permit

Will this project also require a Land Disturbance Permit?:

Yes

Explanation:

The site disturbs more than 20,000 s.f., and adds 10,000 s.f. or more of impervious surfaces.

MS4 Permit

Will this project also require a MS4 Permit from Medway DPW department?:

No

Property Owner Information (if not applicant)

Is the applicant the property owner?:

Yes

Mailing Address:

15 Chase Street Bellingham, MA 02019

Attach Request for Abutters Found Here

Provide copy of form and payment to Assessor's office:

Abutter List Request.pdf

Project Narrative as described in Section 204 - 3, C. of the Medway Site Plan Rules and Regulations. This description should also include a narrative on how the proposed project meets the requirements of the Medway Zoning Bylaw for parking (Section 7.1.1) and outdoor lighting (Section 7.1.2):

Development Impact Statement as described in Section 204 - 3, F. of the Medway Site Plan Rules and Regulations:
2021-03-09 DIS.pdf

Request for Waivers as described in Section 202-5 of the Medway Site Plan Rules and Regulations.. Use Form Q.:

Form Q - 15' Buffer.pdf

Form Q - Environmental Study.pdf

Form Q - Parking.pdf

Form Q - Traffic Study.pdf

Stormwater Drainage Report as described in Section 204 - 3, G. of the Medway Site Plan Rules and Regulations.:
2021-01-12 Stormwater Report.pdf

A Construction Management Plan as described in Section 204-3 H. of the Medway Site Plan Rules and Regulations:

Earth Removal Calculations as described in Section 204 - 3, i. of the Medway Site Plan Rules and Regulations.:

Earth Fill Estimates as described in Section 204 - 3, J. of the Medway Site Plan Rules and Regulations.:

An Order of Resource Area Delineation or a Determination of Applicability Finding from the Medway Conservation Commission:

Order 35757-377.pdf

All relevant approvals received to date from other Town boards/committees/departments:

Decision 22544-550.pdf

Decision 26459-59.pdf

Decision 36556-531.pdf

Deed 233875-228.PDF

Order 22667-412.pdf

Order 35757-377.pdf

Applicant Declaration

The undersigned, being the Applicant, herewith submits this application and associated plans and documents to the Medway Planning and Economic Development Board for review and approval. I hereby certify, under the pains and penalties of perjury, that the information contained in this application is a true, complete and accurate representation of the facts regarding the property and proposed development under consideration.

I understand the Board's engineering and planning consultants will review the application and associated materials for compliance with the *Medway Zoning Bylaw* and the applicable *Rules and Regulations*.

If applicable, I hereby authorize Daniel Merrikin to serve as my Agent/Designated Representative to represent my interests before the Board with respect to this application.

In submitting this application, I authorize members of the Board, its consultants and agents, Town staff, and members of other Town Boards and Committees to access the site during the plan review process.

I understand that pursuant to MGL 53G, the Board may retain outside professional consultants to review this application and that I am responsible for the costs associated with such reviews.

I understand that the Board, its agents, staff, consultants, and other Town staff and committees may request additional information which I am responsible for providing to assist them in reviewing the proposed development.

I understand I am expected to attend or be represented at hearings before the Board

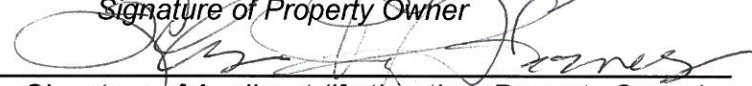
I agree to abide by the *Medway Zoning Bylaw* and the *Rules and Regulations* applicable to this project, the decision, and approved plan.



Signature of Property Owner

3/10/2021

Date



Signature of Applicant (if other than Property Owner)

3/10/2021

Date



Signature of Agent/Designated Representative

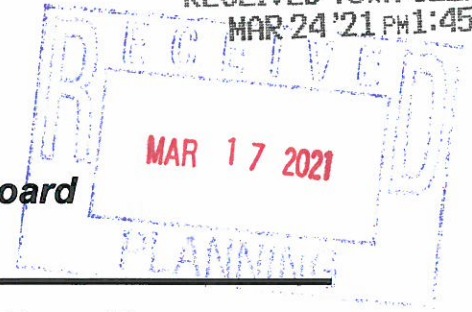
3/10/2021

Date



**Planning & Economic Development Board
Town of Medway, MA**

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MAR 24 '21 PM 1:45



Application for Approval of Special Permit

INSTRUCTIONS TO APPLICANT/OWNER

This Application is made pursuant to the Medway Zoning Bylaw.

The Town's Planning and Engineering Consultants will review the Application and associated submittals and provide review letters to the Planning and Economic Development Board.

A copy of those review letters will be provided to you in advance of the meeting.

You and/or your duly authorized Agent/Official Representative are expected to attend the Board meeting at which your Application will be considered to answer any questions and/or submit such additional information as the Board may request.

Your absence may result in a delay the Board's review of the special permit application.

March 24, 2021, 20 21

APPLICANT INFORMATION

Applicant's Name: Thomas Steeves

Mailing Address: 15 Chase Street

Bellingham, MA 02019

Name of Primary Contact: Thomas Steeves

Telephone: _____
Office: _____ Cell: 617-480-4448

Email address: steevest50@gmail.com

☐ Please check here if the Applicant is the equitable owner (purchaser on a purchase and sales agreement.)

PROPERTY INFORMATION

Location Address: 119A & 119B Main Street, 1 & 3 Elm Street

The land shown on the plan is shown on Medway Assessor's Map # 48 as Parcel # 47,47-1,2,&3

Size of Development Parcel(s): 6.3 Acres

Development Name: The Settlement, 1657

General Description of Property: The site is undeveloped and entirely wooded.
There are two areas of Bordering Vegetated Wetlands on the site.

Medway Zoning District Classification: Central Business District, Multiple Housing Overlay District

TYPE OF SPECIAL PERMIT

As provided in the following Section(s) of the Medway Zoning Bylaw. List all that apply.
Reduction of parking under Section 7.1.1.J.2.a

PROPERTY OWNER INFORMATION (if not applicable)

Property Owner's Name: Same as Applicant

Mailing Address: _____

Primary Contact: _____

Telephone: _____

Office: _____ Cell: _____

Email address: _____

OFFICIAL REPRESENTATIVE INFORMATION

Name: Daniel Merrikin - Legacy Engineering LLC

Address: 730 Main Street, Suite 2C

Millis, MA 02054

Telephone: _____

Office: 508-376-8883 Cell: 508-868-8353

Email address: dan@legacy-ce.com

SIGNATURES

The undersigned, being the Applicant, herewith submits this application for a special permit(s) to the Medway Planning and Economic Development Board for review and action.

I hereby certify, under the pains and penalties of perjury, that the information contained in this application is a true, complete and accurate representation of the facts regarding the property under consideration.

(If applicable, I hereby authorize Daniel Merrikin to serve as my Agent/Official Representative to represent my interests before the Medway Planning & Economic Development Board with respect to this application.)

In submitting this application, I authorize the Board, its consultants and agents, Town staff, and members of the Design Review Committee and other Town boards and committees to access the site during the special permit review process.



Signature of Property Owner

3/24/21

Date

Signature of Applicant (if other than Property Owner)

Date

Signature of Agent/Official Representative

Date

DEVELOPMENT IMPACT STATEMENT

FOR

THE SETTLEMENT, 1657

MEDWAY, MA 02053

PROPOSED MIXED USE DEVELOPMENT

MARCH 9, 2021

PREPARED BY:
LEGACY ENGINEERING LLC
CONSULTING ENGINEERS
730 MAIN STREET, SUITE 2C
MILLIS, MA 02054

PREPARED FOR:
THOMAS STEEVES
15 CHASE STREET
BELLINGHAM, MA 02019

INTRODUCTION

This Development Impact Statement addresses the potential and anticipated impacts of the proposed development known as “The Settlement, 1657”. Per Section 204-3.A.7 of the Medway Planning and Economic Development Board Regulations, this report addresses the traffic, environmental, community, and parking impacts of the development.

TRAFFIC IMPACTS

TRAFFIC IMPACT ASSESSMENT WAIVER

This project proposes access on a public way and therefore is required to submit a Traffic Impact Assessment per Section 204-3.A.7.a.2 of the Medway Planning and Economic Development Board Regulations. The applicant seeks a waiver from this requirement, which is included on Form Q (See Attachment I). Due to the small nature of this project, it is our view that a full traffic assessment is not warranted. Instead, the potential traffic impacts have been analyzed in a general manner as described below.

LOCATION

The proposed driveway is located on a straight portion of Main Street that offers good sight distances in both directions. The estimated sight distance to both east and west of the site is over 1,000 feet. The speed limit on Main Street at the site is 35 mph. A sidewalk exists on both sides of the street along with nearby pedestrian crossings, which provide safe pedestrian access to and from the site.

TRAFFIC GENERATION

All traffic generation calculations are based on the ITE Trip Generation manual. A classification of “Multifamily Housing (Low-Rise)” was used for the residential portion of the mixed-use buildings, and the “General Office Building” classification was used for office portion of the buildings.

Each dwelling unit (26 units) is expected to generate 7.32 trips for a total of 190 trips per average weekday. Offices (12,544 s.f.) are expected to generate 9.74 trips per 1,000 s.f. for a total of 122 trips. The peak hour is estimated to generated 36 trips into and out of the site.

These additional trips are not expected to have a noticeable impact on the surrounding roadways. The section of Main Street connected to this development was recently reconstructed and has ample capacity to accommodate a small development like this.

ENVIRONMENTAL IMPACTS

ENVIRONMENTAL IMPACT ASSESSMENT WAIVER

This project proposes to disturb more than 30,000 s.f. of land and therefore is required to submit an Environmental Impact Assessment per Section 204-3.A.7.b.2 of the Medway Planning and Economic Development Board Regulations. The applicant seeks a waiver from this requirement, which is included on Form Q (See Attachment I). Due to the presence of on-site wetlands, a notice of intent has been submitted to the Medway Conservation Commission and Massachusetts Department of Environmental Protection, and therefore an additional environmental impact assessment is not believed to be necessary. Instead, the environmental impacts are discussed in a general manner below.

EXISTING CONDITIONS

The site is undeveloped and is entirely wooded. There are two areas of Bordering Vegetated Wetlands on the site and a Notice of Intent has been filed with the Medway Conservation Commission for all work within jurisdictional areas.

PROPOSED CONDITIONS

A 25' buffer is maintained to all wetlands on the site and the large areas of uplands and wetlands will continue to provide habitat to local wildlife. Large portions of the site will remain undisturbed woodland.

COMMUNITY IMPACTS

COMMUNITY CHARACTER

This development is consistent with Medway's planning goals and provides alternative housing options that will diversify Medway's housing inventory. The proposed dwellings are designed to integrate with the existing style of the surrounding neighborhoods (colonial).

RESIDENT IMPACTS

The quality of life of existing residents is not expected to be significantly impacted by this small development. There is only one abutting residential dwelling, to which screening will be provided.

PARKING IMPACTS

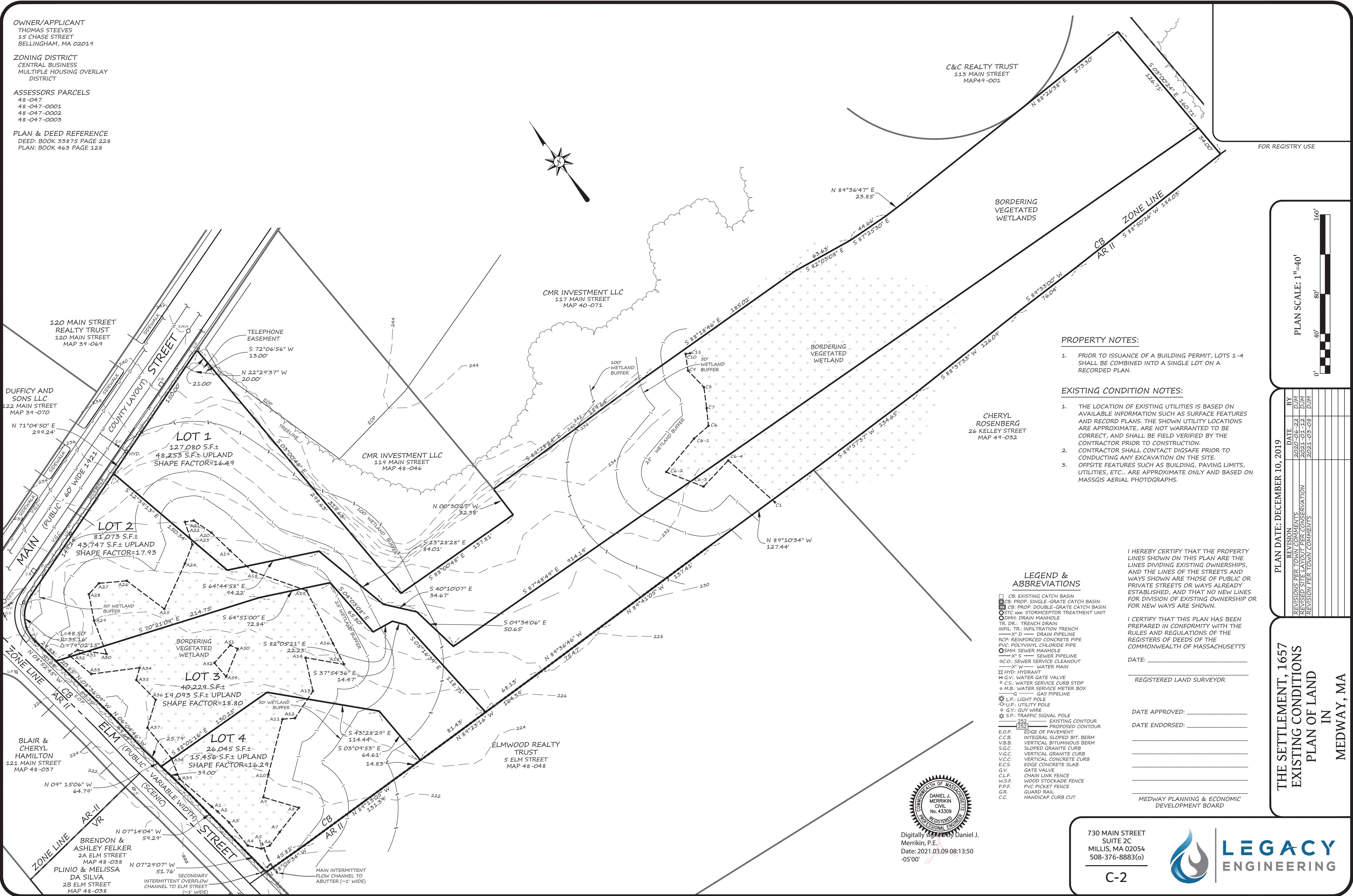
The development proposes a total of 57 parking spaces. These spaces are not condensed into a single location but are distributed throughout the development. These spaces are more than sufficient to handle the residents, office employees, and additional guests.

OWNER/APPLICANT
THOMAS STEEVES
15 CHASE STREET
BELLINGHAM, MA 02019

ZONING DISTRICT
CENTRAL BUSINESS
MULTIPLE HOUSING OVERLAY
DISTRICT

ASSESSORS PARCELS
48-047
48-047-0001
48-047-0002
48-047-0003

PLAN & DEED REFERENCE
DEED: BOOK 33875 PAGE 228
PLAN: BOOK 463 PAGE 128



PROPERTY NOTES:

1. PRIOR TO ISSUANCE OF A BUILDING PERMIT, LOTS 1-4 SHALL BE COMBINED INTO A SINGLE LOT ON A RECORDED PLAN.

EXISTING CONDITION NOTES:

1. THE LOCATION OF EXISTING UTILITIES IS BASED ON AVAILABLE INFORMATION SUCH AS SURFACE FEATURES AND RECORD PLANS. THE SHOWN UTILITY LOCATIONS ARE APPROXIMATE, ARE NOT WARRANTED TO BE CORRECT, AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
2. CONTRACTOR SHALL CONTACT DIGSAFE PRIOR TO CONDUCTING ANY EXCAVATION ON THE SITE.
3. OFFSITE FEATURES SUCH AS BUILDING, PAVING LIMITS, UTILITIES, ETC... ARE APPROXIMATE ONLY AND BASED ON MASSGIS AERIAL PHOTOGRAPHS.

LEGEND & ABBREVIATIONS

- CB: EXISTING CATCH BASIN
- CB: PROP. SINGLE-GRATE CATCH BASIN
- CB: PROP. DOUBLE-GRATE CATCH BASIN
- STC: STORMWATER TREATMENT UNIT
- DMH: DRAIN MANHOLE
- TR: TRENCH DRAIN
- INFIL: INFILTRATION TRENCH
- X'D: DRAIN PIPELINE
- RCP: REINFORCED CONCRETE PIPE
- PVC: POLYVINYL CHLORIDE PIPE
- SMH: SEWER MANHOLE
- X-S: SEWER PIPELINE
- Q.C.O.: SEWER SERVICE CLEANOUT
- X-W: WATER MAIN
- HYD: HYDRANT
- G.V.: WATER GATE VALVE
- C.S.: WATER SERVICE CURB STOP
- M.B.: WATER SERVICE METER BOX
- G: GAS PIPELINE
- L.P.: LIGHT POLE
- U.P.: UTILITY POLE
- G.Y.: GUY WIRE
- S.F.: TRAFFIC SIGNAL POLE
- 252: EXISTING CONTOUR
- 252: PROPOSED CONTOUR
- E.O.P.: EDGE OF PAVEMENT
- C.C.B.: INTEGRAL SLOPED BIT. BERM
- V.B.B.: VERTICAL BITUMINOUS BERM
- S.G.C.: SLOPED GRANITE CURB
- V.G.C.: VERTICAL GRANITE CURB
- V.C.C.: VERTICAL CONCRETE CURB
- E.C.S.: EDGE CONCRETE SLAB
- G.V.: GATE VALVE
- C.L.F.: CHAIN LINK FENCE
- W.S.F.: WOOD STOCKADE FENCE
- P.P.F.: PVC PICKET FENCE
- G.R.: GUARD RAIL
- C.C.: HANDICAP CURB CUT

I HEREBY CERTIFY THAT THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE LINES DIVIDING EXISTING OWNERSHIPS, AND THE LINES OF THE STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED, AND THAT NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS

DATE: _____

REGISTERED LAND SURVEYOR

DATE APPROVED: _____

DATE ENDORSED: _____

MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD



Digitally signed by Daniel J. Merrikin, P.E.
Date: 2021.03.09 08:13:50 -05'00'

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)



LEGACY
ENGINEERING

FOR REGISTRY USE

PLAN SCALE: 1"=40'



PLAN DATE: DECEMBER 10, 2019

REVISION	DATE	BY
REVISIONS PER TOWN COMMENTS	2020-06-22	DM
REVISED SITE LAYOUT PER CONSERVATION	2021-01-12	DM
REVISION PER TOWN COMMENTS	2021-03-08	DM

THE SETTLEMENT, 1657
EXISTING CONDITIONS
PLAN OF LAND
IN
MEDWAY, MA

THE SETTLEMENT, 1657
EROSION & SEDIMENT
CONTROL
PLAN OF LAND IN
MEDWAY, MA

LEGACY
ENGINEERING

OWNER/APPLICANT
THOMAS STEEVES
15 CHASE STREET
BELLINGHAM, MA 02019

ZONING DISTRICT
CENTRAL BUSINESS
MULTIPLE HOUSING OVERLAY
DISTRICT

ASSESSORS PARCELS
48-047
48-047-0001
48-047-0002
48-047-0003

PLAN & DEED REFERENCE
DEED: BOOK 33875 PAGE 228
PLAN: BOOK 463 PAGE 128

DUFFICY AND SONS LLC
122 MAIN STREET
MAP 39-070

120 MAIN STREET REALTY
TRUST
120 MAIN STREET
MAP 39-069

ROBERT & CHERYL
HAMILTON
1A DRYBRIDGE ROAD
MAP 39-029

BLAIR & CHERYL
HAMILTON
121 MAIN STREET
MAP 48-037

BRENDON & ASHLEY
FELKER
2A ELM STREET
MAP 48-038
PLINIO & MELISSA DA SILVA
28 ELM STREET
MAP 48-038

SECONDARY
INTERMITTENT OVERFLOW
CHANNEL TO ELM STREET
(~1' WIDE)

MAIN INTERMITTENT
FLOW CHANNEL TO
ABUTTER (~1' WIDE)

EXISTING CATCH
BASIN
RIM=219.46

ELMWOOD REALTY TRUST
5 ELM STREET
MAP 48-048

CMR INVESTMENT LLC
117 MAIN STREET
MAP 40-071

CMR INVESTMENT LLC
119 MAIN STREET
MAP 48-046



Digitally signed by Daniel J.
Merrikin, P.E.
Date: 2021.03.09 08:12:49 -05'00'

I HEREBY CERTIFY THAT THE PROPERTY
LINES SHOWN ON THIS PLAN ARE THE
LINES DIVIDING EXISTING OWNERSHIPS,
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MEDWAY PLANNING & ECONOMIC
DEVELOPMENT BOARD

GRADING NOTES:

1. PROVIDE FOUNDATION SHELF ALONG ADJACENT
WALKWAYS AS NEEDED TO MEET WALKWAY GRADES AT
BUILDING ENTRANCES.

CUT-FILL NOTES:

CUT
AREA: 1.2± ACRES
VOLUME: 870± C.Y.
AVERAGE DEPTH: 0.5'
FILL
AREA: 2.1± ACRES
VOLUME: 6,990± C.Y.
AVERAGE DEPTH: 2.0'

TOTAL: ~6,120± C.Y. OF FILL TO BE
IMPORTED TO THE SITE.

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)

C-5



LEGACY
ENGINEERING

PLAN SCALE: 1"=30'



PLAN DATE: DECEMBER 10, 2019

REVISION	DATE	BY
REVISIONS PER TOWN COMMENTS	2020-06-22	DJM
REVISED SITE LAYOUT PER CONSERVATION	2021-01-12	DJM
REVISION PER TOWN COMMENTS	2021-03-08	DJM

THE SETTLEMENT, 1657
GRADING & DRAINAGE
PLAN OF LAND
IN
MEDWAY, MA

OWNER/APPLICANT
THOMAS STEEVES
15 CHASE STREET
BELLINGHAM, MA 02019

ZONING DISTRICT
CENTRAL BUSINESS
MULTIPLE HOUSING OVERLAY
DISTRICT

ASSESSORS PARCELS
48-047
48-047-0001
48-047-0002
48-047-0003

PLAN & DEED REFERENCE
DEED: BOOK 33875 PAGE 228
PLAN: BOOK 463 PAGE 128

DUFFICY AND SONS LLC
122 MAIN STREET
MAP 39-070

120 MAIN STREET REALTY
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MAP 39-069

ROBERT & CHERYL
HAMILTON
1A DRYBRIDGE ROAD
MAP 39-029

BLAIR & CHERYL
HAMILTON
121 MAIN STREET
MAP 48-037

BRENDON & ASHLEY
FELKER
2A ELM STREET
MAP 48-038
PLINIO & MELISSA DA SILVA
28 ELM STREET
MAP 48-038

UTILITY NOTES:

- DOMESTIC WATER SERVICES SHALL BE TYPE K COPPER IN ACCORDANCE WITH THE REQUIREMENTS OF THE SEWER AND WATER DEPARTMENT. THE PROJECT ARCHITECT SHALL VERIFY THE DOMESTIC, IRRIGATION AND FIRE WATER SERVICE PIPE SIZE REQUIREMENTS FOR THE BUILDINGS.
- WATER MAINS SHALL BE CLASS 52 CEMENT LINED DUCTILE IRON.
- SEWER SERVICES SHALL BE 6-INCH SDR35 PIPE WITH A MIN. SLOPE OF 2% IN ACCORDANCE WITH THE REQUIREMENTS OF THE SEWER AND WATER DEPARTMENT.
- DRAINAGE PIPING SHALL BE HDPE RATED FOR H₂O LOADING, (ADS N12 OR EQUAL)
- ROOF DOWNSPOUT PIPING SHALL BE HDPE, MIN. SLOPE = 0.5%.
- THE ELECTRIC COMPANY SHALL DETERMINE THE FINAL LOCATION AND DESIGN OF THE ELECTRIC SERVICE AND TRANSFORMER (IF NEEDED). CONDUITS TO PROPOSED LIGHT POLES SHALL BE DESIGNED BY THE ARCHITECT.
- WATER AND SEWER LINES SHALL BE SEPARATED BY AT LEAST 10 FEET.
- DIG TEST PIT TO CONFIRM SEWER STUB LOCATION AND ELEVATION BEFORE INSTALLING SEWER MAIN.
- PROVIDE SUMP PUMPS IN BASEMENT LEVELS.

SECONDARY
INTERMITTENT OVERFLOW
CHANNEL TO ELM STREET
(~1' WIDE)

MAIN INTERMITTENT
FLOW CHANNEL TO
ABUTTER (~1' WIDE)

EXISTING CATCH
BASIN
RIM=219.46



Digitally signed by Daniel J.
Merrikin, P.E.
Date: 2021.03.09 08:12:29 -05'00'

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DATE: _____

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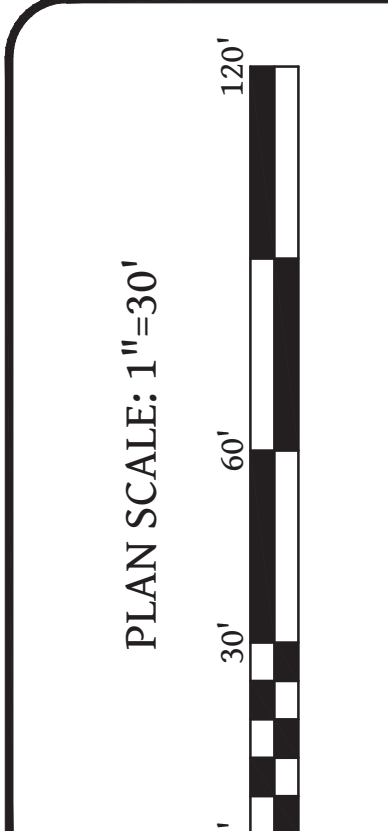
MEDWAY PLANNING & ECONOMIC
DEVELOPMENT BOARD

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)

C-6



LEGACY
ENGINEERING



REVISION	DATE	BY
REVISIONS PER TOWN COMMENTS	2020-06-22	DJM
REVISED SITE LAYOUT PER CONSERVATION	2021-01-12	DJM
REVISION PER TOWN COMMENTS	2021-03-08	DJM

THE SETTLEMENT, 1657
UTILITIES
PLAN OF LAND
IN
MEDWAY, MA

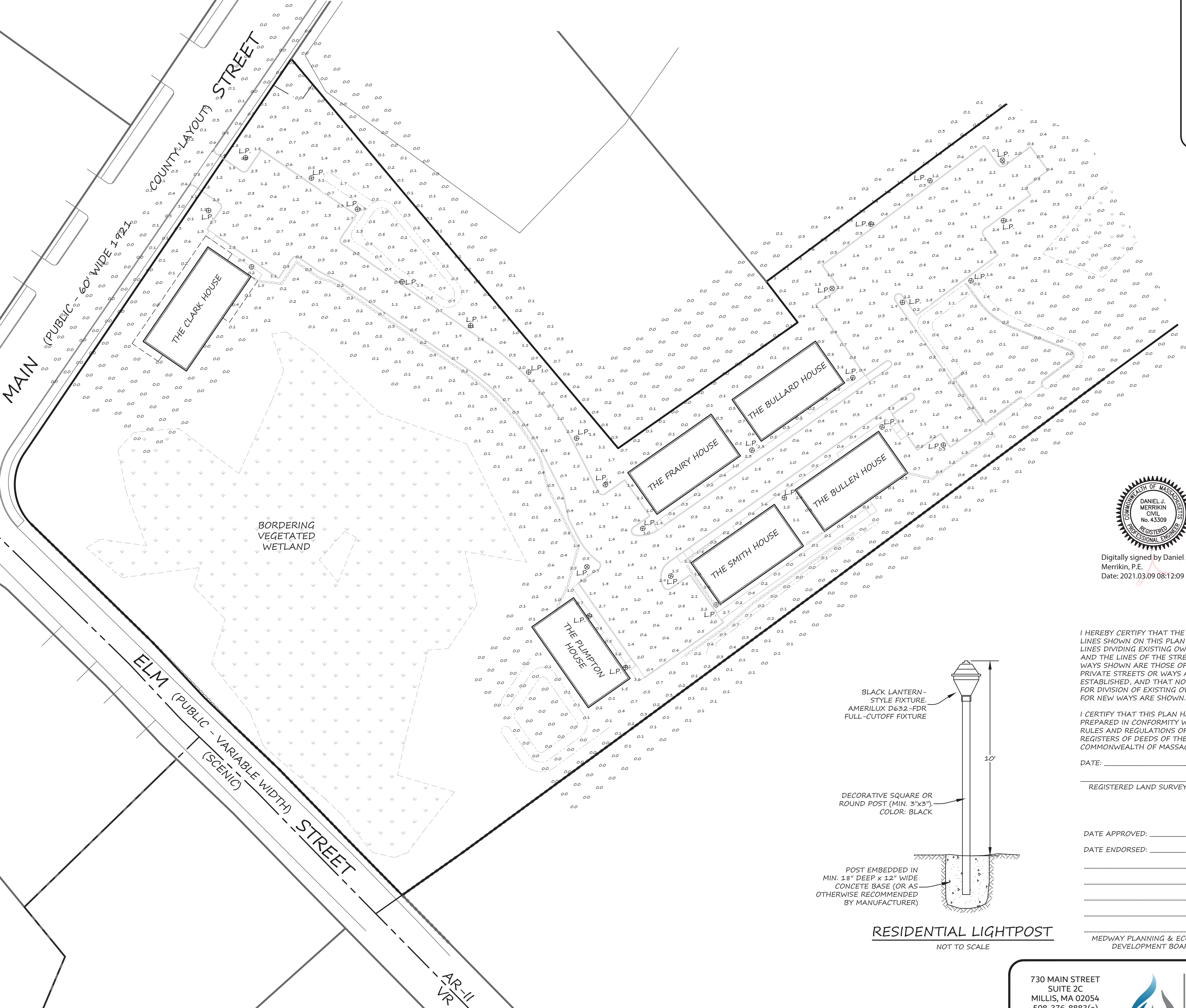
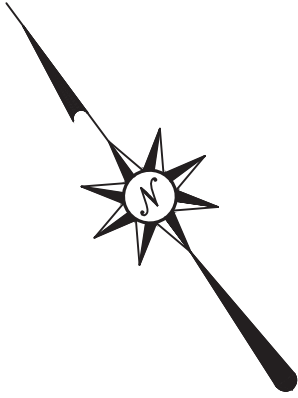
PLAN DATE: DECEMBER 10, 2019

OWNER/APPLICANT
THOMAS STEEVES
15 CHASE STREET
BELLINGHAM, MA 02019

ZONING DISTRICT
CENTRAL BUSINESS
MULTIPLE HOUSING OVERLAY
DISTRICT

ASSESSORS PARCELS
48-047
48-047-0001
48-047-0002
48-047-0003

PLAN & DEED REFERENCE
DEED: BOOK 33875 PAGE 228
PLAN: BOOK 463 PAGE 128



Digitally signed by Daniel J. Merrikin, P.E.
Date: 2021.03.09 08:12:09 -05'00'

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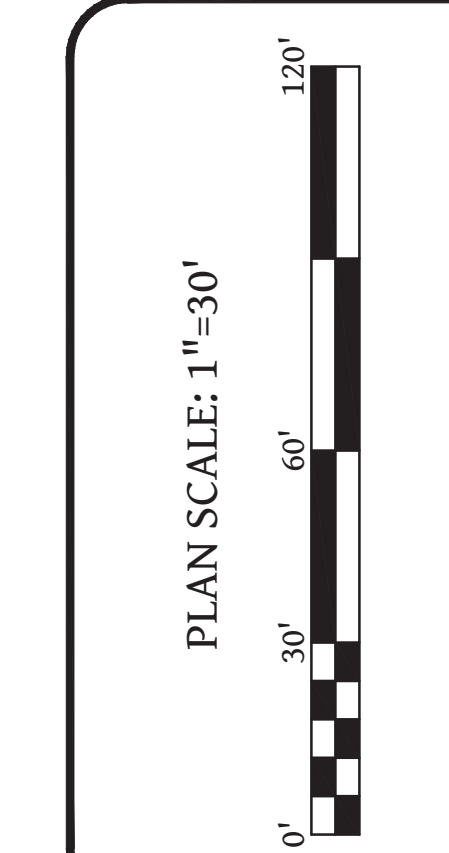
DATE: _____

REGISTERED LAND SURVEYOR

DATE APPROVED: _____

DATE ENDORSED: _____

MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD



PLAN SCALE: 1"=30'

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REVISIONS PER TOWN COMMENTS	2020-06-22	DJM
REVISED SITE LAYOUT PER CONSERVATION	2021-01-12	DJM
REVISION PER TOWN COMMENTS	2021-03-08	DJM

THE SETTLEMENT, 1657
LIGHTING
PLAN OF LAND
IN
MEDWAY, MA

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)

C-7



OWNER/APPLICANT
THOMAS STEEVES
15 CHASE STREET
BELLINGHAM, MA 02019

ZONING DISTRICT
CENTRAL BUSINESS
MULTIPLE HOUSING OVERLAY
DISTRICT

ASSESSORS PARCELS
48-047
48-047-0001
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48-047-0003

PLAN & DEED REFERENCE
DEED: BOOK 33875 PAGE 228
PLAN: BOOK 463 PAGE 128

DUFFICY AND SONS LLC
122 MAIN STREET
MAP 39-070

120 MAIN STREET REALTY
TRUST
120 MAIN STREET
MAP 39-069

ROBERT & CHERYL
HAMILTON
1A DRYBRIDGE ROAD
MAP 39-029

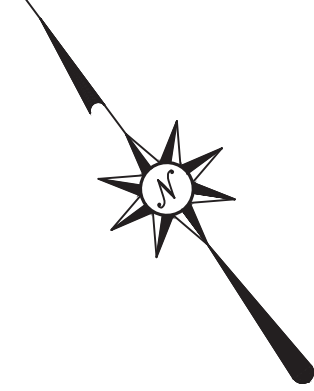
BLAIR & CHERYL
HAMILTON
121 MAIN STREET
MAP 48-037

BRENDON & ASHLEY
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ELMWOOD REALTY TRUST
5 ELM STREET
MAP 48-048

CMR INVESTMENT LLC
117 MAIN STREET
MAP 40-071

CMR INVESTMENT LLC
119 MAIN STREET
MAP 48-046



MAIN (PUBLIC - 60' WIDE 1921)
COUNTY LAYOUT STREET
ELM (PUBLIC - VARIABLE WIDTH) (SCENIC) STREET
AR-II VR

SNOW STORAGE
"NO SNOW STORAGE IN BASIN" SIGN
"NO SNOW STORAGE BEYOND THIS SIGN" SIGN
50' WETLAND BUFFER
BORDERING VEGETATED WETLAND
25' WETLAND BUFFER
100' WETLAND BUFFER

SNOW STORAGE
100' WETLAND BUFFER
50' WETLAND BUFFER
25' WETLAND BUFFER
"NO SNOW STORAGE BEYOND THIS SIGN" SIGN
SNOW STORAGE



Digitally signed by Daniel J. Merrikin, P.E.
Date: 2021.03.09 08:11:50 -05'00'

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MEDWAY PLANNING & ECONOMIC
DEVELOPMENT BOARD

SNOW REMOVAL NOTES:

1. SNOW SHALL BE PLOWED INTO WINDROWS ALONG PAVEMENT WHERE ALLOWED AND STOCKPILED IN DESIGNATED SNOW STORAGE AREAS.
2. SNOW SHALL NOT BE PILED AT THE ENTRANCE CORNERS IN SUCH A MANNER THAT IT WILL OBSTRUCT SIGHT DISTANCE
3. ICE CONTROL SHALL BE BY SAND, SODIUM CHLORIDE OR CALCIUM CHLORIDE.
4. THE TOTAL AREA REQUIRING SNOW REMOVAL IS APPROXIMATELY 32,100 S.F. THE SNOW STORAGE AREAS TOTAL APPROXIMATELY 6,000 S.F., WHICH CAN STORE 0.5' OF SNOW ACROSS ALL IMPERVIOUS AREAS IF PILED TO A HEIGHT OF 2.7'.

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)



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THE SETTLEMENT, 1657
SNOW STORAGE
PLAN OF LAND
IN
MEDWAY, MA

PLAN DATE: DECEMBER 10, 2019

REVISION	DATE	BY
REVISIONS PER TOWN COMMENTS	2020-06-22	DJM
REVISED SITE LAYOUT PER CONSERVATION	2021-01-12	DJM
REVISION PER TOWN COMMENTS	2021-03-08	DJM

PLAN SCALE: 1"=30'



FOR REGISTRY USE

PLAN & DEED REFERENCE
DEED: BOOK 33875 PAGE 228
PLAN: BOOK 463 PAGE 128



1. ENTRANCE SHALL BE INSTALLED BEFORE ANY EXCAVATION WORK OCCURS ON-SITE.
2. ENTRANCE SHALL BE MAINTAINED IN GOOD CONTITION UNTIL A PAVED DRIVEWAY IS INSTALLED. REPLACE ENTRANCE IF FILLED WITH SOILS OR IF SOILS ARE BEING TRACKED ONTO ADJACENT ROADWAYS.

NOT TO SCALE



1. COPPER TUBING SHALL MEET AWWA SPEC. 76-CR TYPE K OR FEDERAL SPEC. WWT-799 TYPE K.
2. 1 1/2-INCH AND LARGER SERVICES SHALL BE INSTALLED WITH A SADDLE.

NOT TO SCALE



1. SMALL BLOCK UNITS SHALL BE THE SQUARE FOOT PRODUCT BY VERSA-LOK OR APPROVED EQUAL. WALL HEIGHT WITHOUT REINFORCEMENT SHALL BE LIMITED TO 3.5' EXPOSED FACE.
2. INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS.

NOT TO SCALE



DATE: _____

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DATE APPROVED: _____

DATE ENDORSED:

MEDWAY PLANNING & ECONOMIC
DEVELOPMENT BOARD

Digitally signed by Daniel J.
Merrikin, P.E.
Date: 2021.03.09 08:11:33 -05'00

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)



LEGACY
ENGINEERING

C-9

PLAN SCALE: N.T.S.

PLAN DATE: DECEMBER 10, 2019

THE SETTLEMENT, 1657

REVIEWING, DETAIL

DETAILED PLAN OF LAND

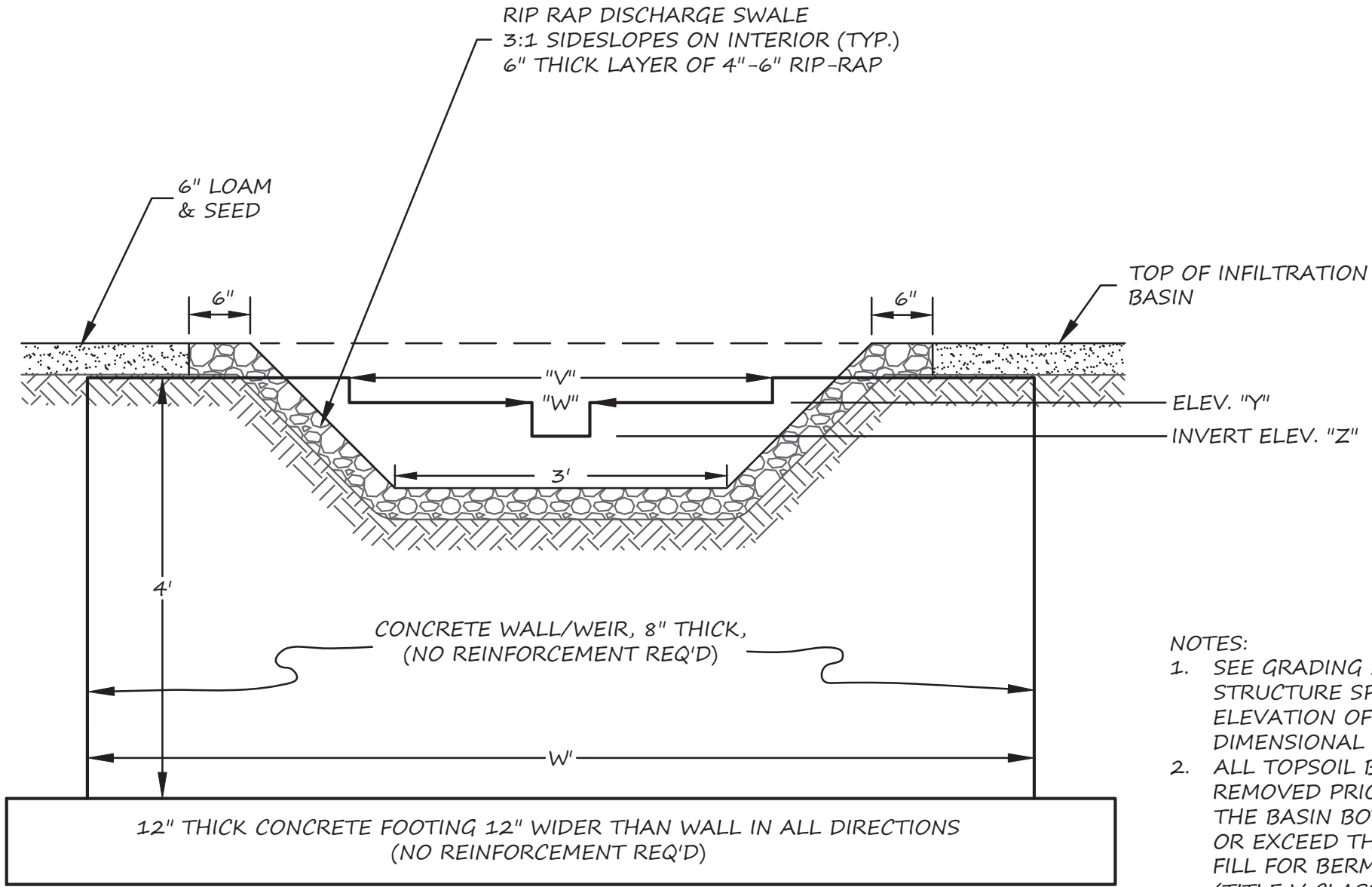
IN
MEDWAY, MA

OWNER/APPLICANT
THOMAS STEEVES
15 CHASE STREET
BELLINGHAM, MA 02019

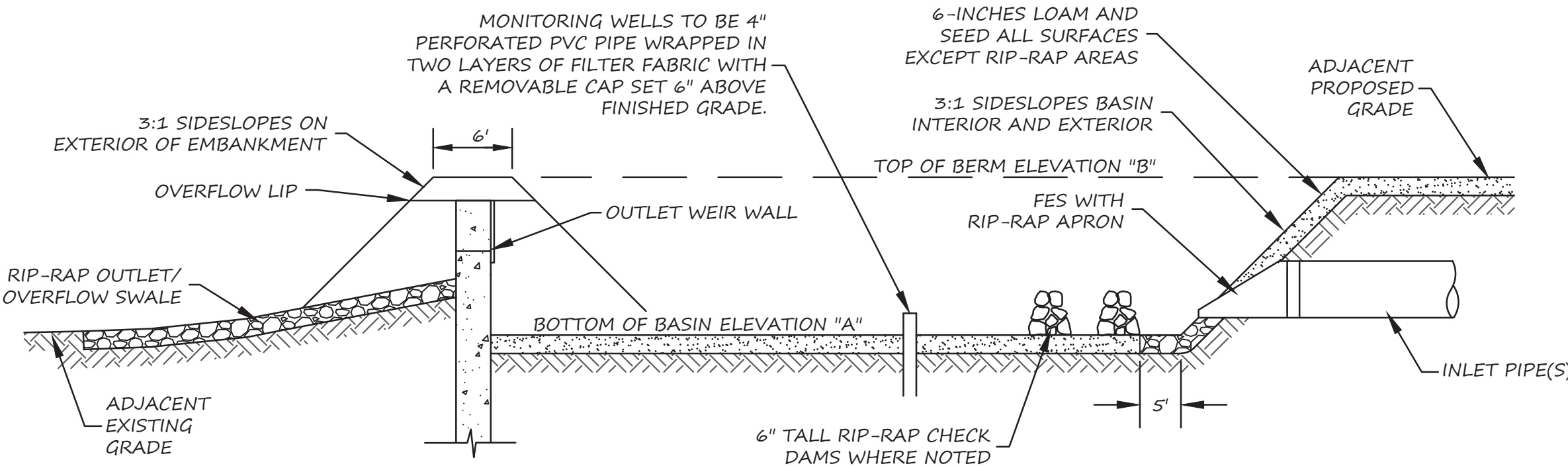
ZONING DISTRICT
CENTRAL BUSINESS
MULTIPLE HOUSING OVERLAY
DISTRICT

ASSESSORS PARCELS
48-047
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48-047-0003

PLAN & DEED REFERENCE
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PLAN: BOOK 463 PAGE 128



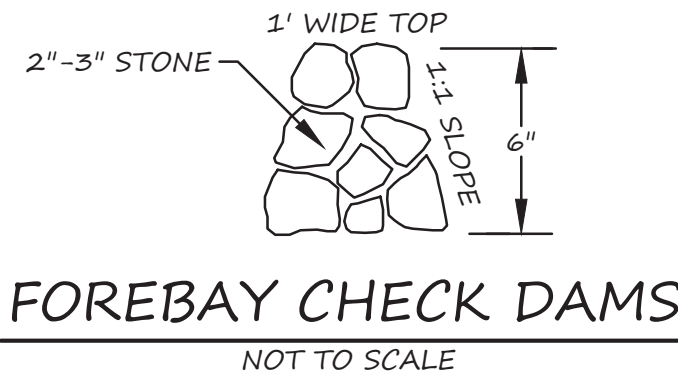
OUTLET WEIR AND RIP-RAP SWALE DETAIL BASINS 2 & 3



TYPICAL BASIN CROSS-SECTION

SCHEDULE OF DIMENSIONS AND ELEVATIONS

	BASIN #1	BASIN #2	BASIN #3
BOTTOM OF BASIN ELEVATION "A"	235.5	223.5	231.7
TOP OF BERM ELEVATION "B"	237.0	225.5	234.0
OUTLET WEIR WALL LENGTH "W"	N/A	14'	15'
OVERFLOW ORIFICE INVERT "Y"	235.70	225.30	233.00
WIDTH "V"	12" PIPE x4	10'	5'
DISCHARGE ORIFICE INVERT "Z"	235.70	224.00	232.00
WIDTH "W"	12" PIPE x4	1.60'	1.50'

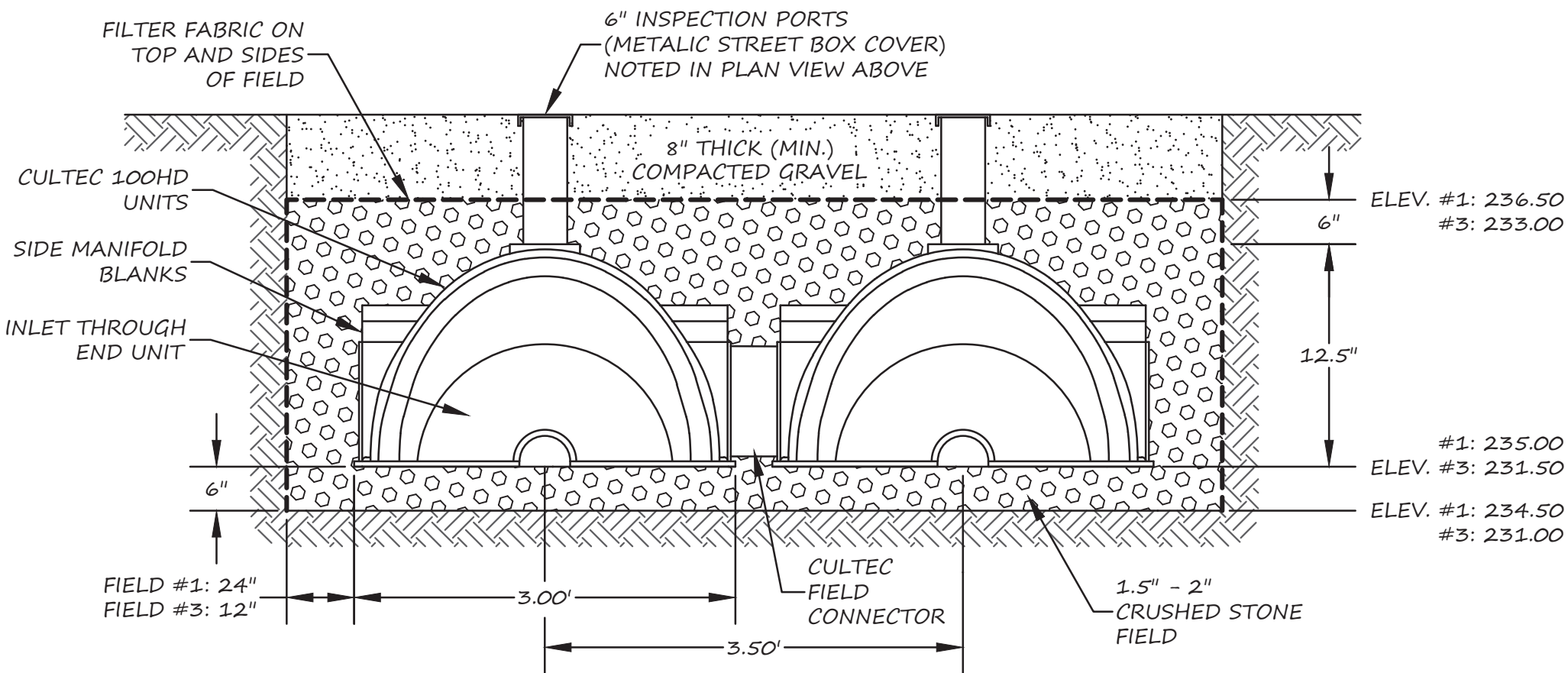


FOR REGISTRY USE

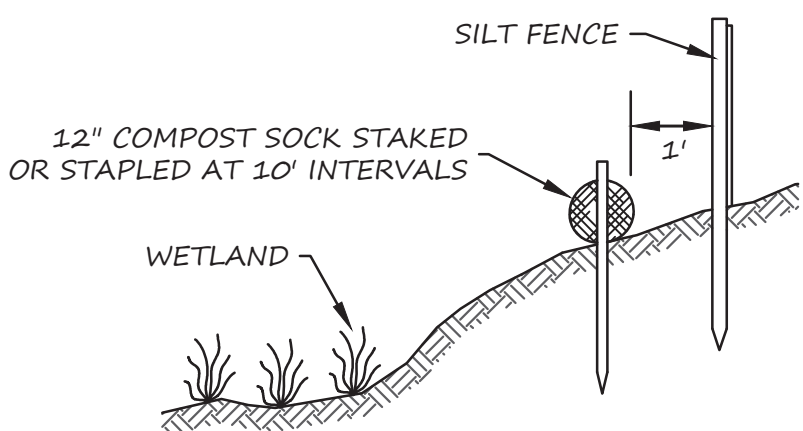
- NOTES:
- SEE GRADING SHEETS FOR SIZE OF INLETS AND OUTLETS, OUTLET STRUCTURE SPECIFICATIONS, ELEVATION OF BOTTOM OF BASIN, ELEVATION OF TOP OF BASIN, SLOPE OF SIDESLOPES, AND OTHER DIMENSIONAL REQUIREMENTS FOR EACH BASIN.
 - ALL TOPSOIL BELOW THE BOTTOM OF THE BASIN SHALL BE REMOVED PRIOR TO BASIN CONSTRUCTION. FILL MATERIALS UNDER THE BASIN BOTTOM SHALL BE CLEAN GRAVEL, AND SHALL MATCH OR EXCEED THE UNDERLYING SOIL'S DRAINAGE CHARACTERISTICS. FILL FOR BERMS MAY BE SAND, LOAMY SAND OR SANDY LOAM. (TITLE V CLASSIFICATIONS).
 - BERM AREAS SHALL BE REMOVED OF ALL TOP AND SUB-SOIL AND OTHER UNSUITABLE SOILS. BERM CORE SHALL CONSIST OF ORDINARY BORROW INSTALLED IN 12-INCH LIFTS TO A MINIMUM 93% PROCTOR DENSITY.

TYPICAL INFILTRATION BASIN CROSS-SECTION

NOT TO SCALE

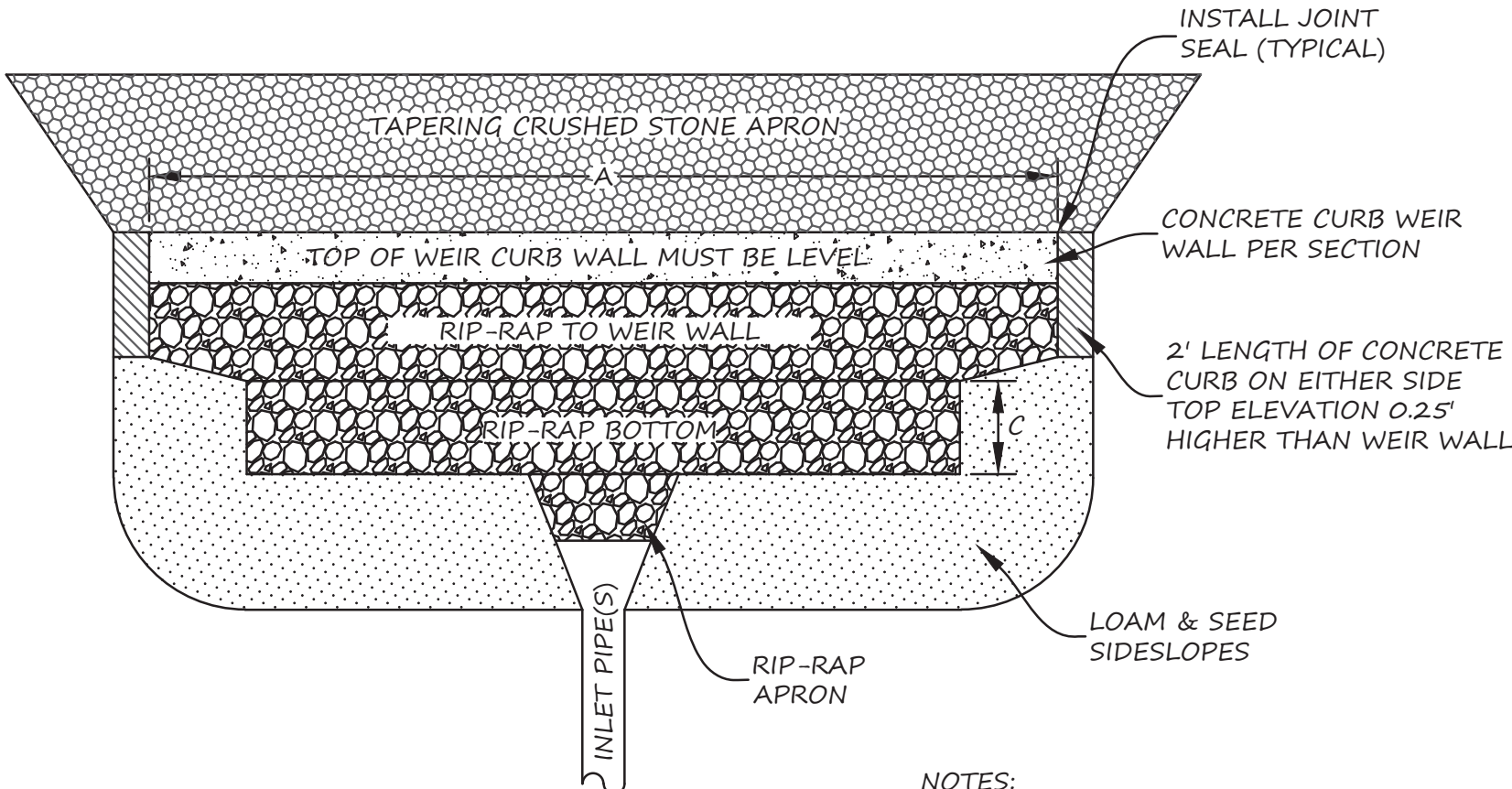


SECTION THROUGH 100HD UNIT LEACHING FIELD (FIELDS #1 & #3)



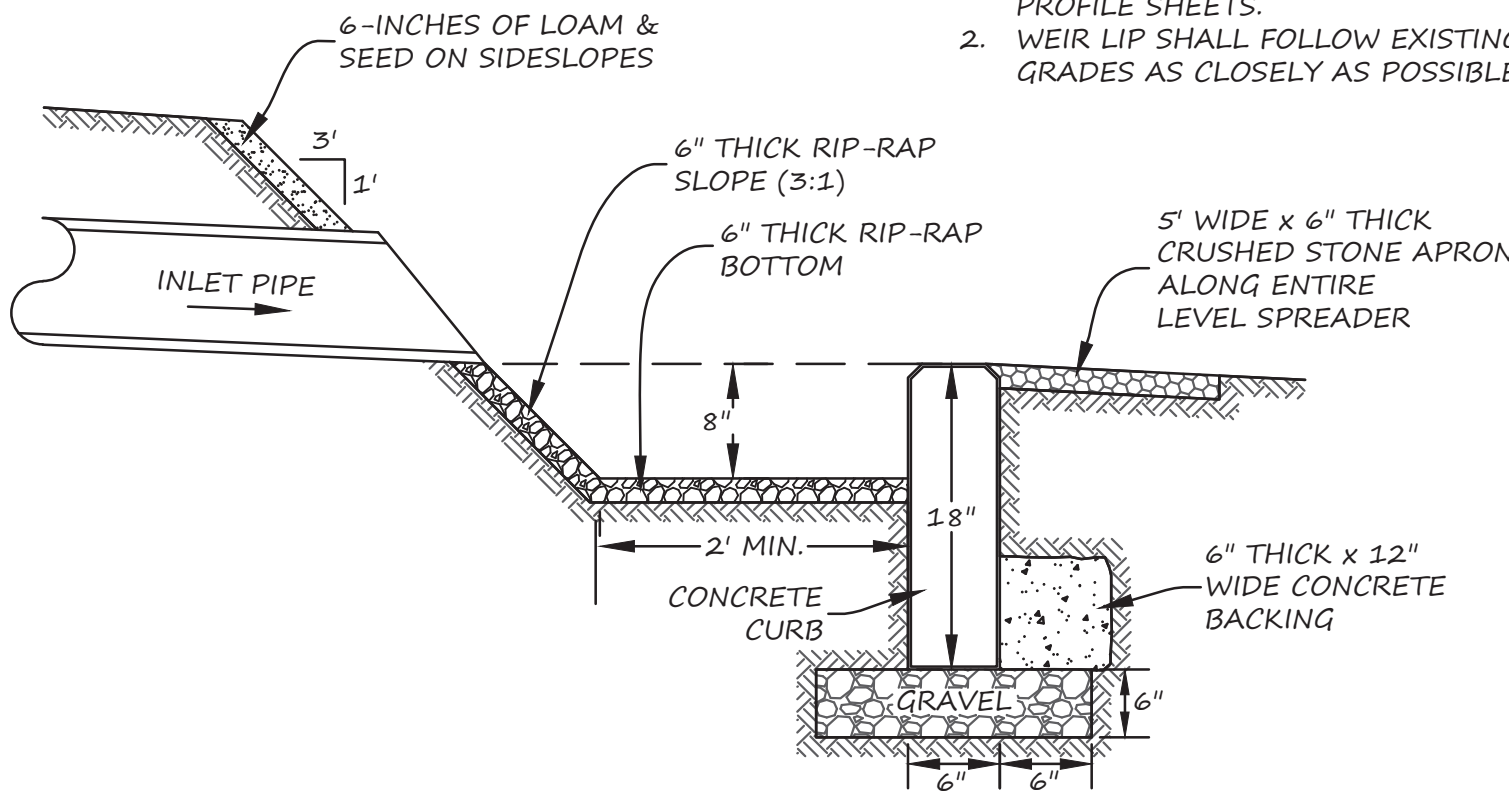
EROSION CONTROL DETAIL (FILTER SOCK)

NOT TO SCALE



PLAN VIEW

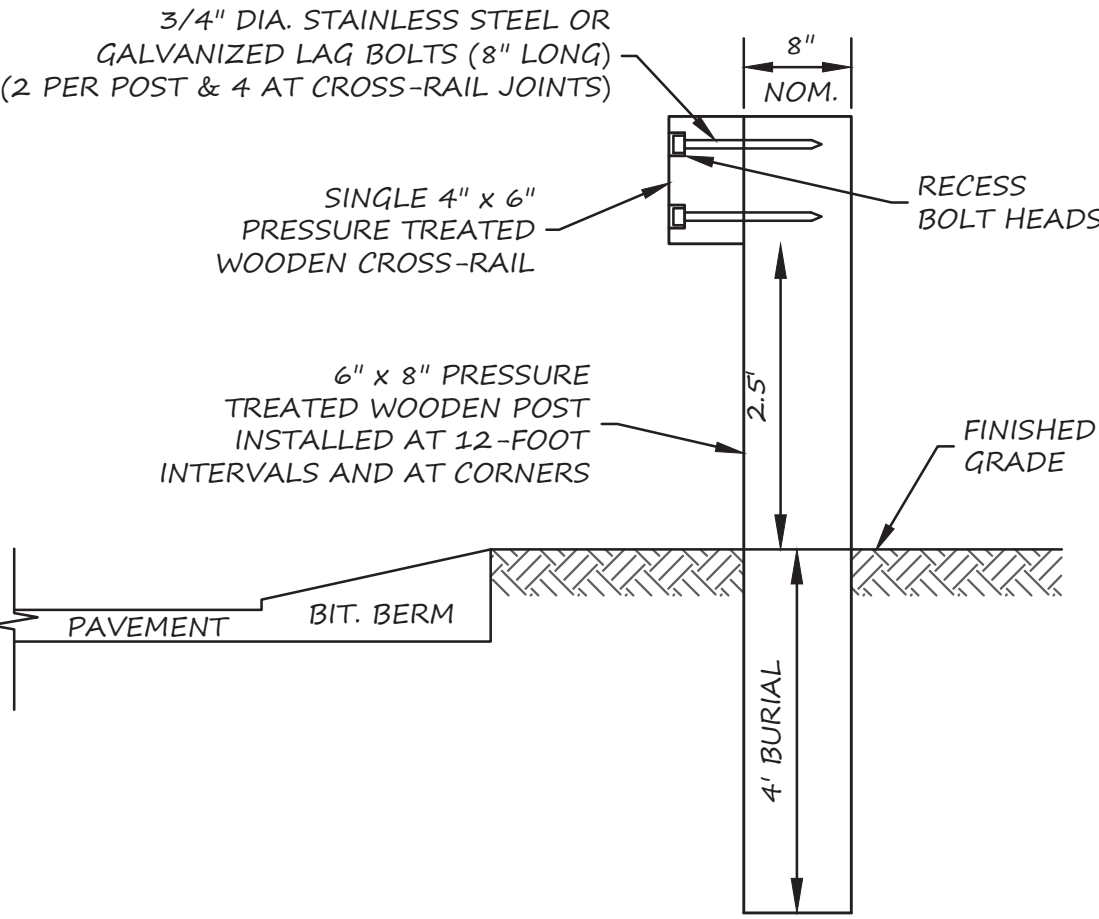
- NOTES:
- WEIR LENGTH (A), DEPTH (B), & BOTTOM WIDTH (C) OF SPILLWAY AND ELEVATION OF THE SPILLWAY LIP SHALL BE AS SPECIFIED ON THE GRADING AND PROFILE SHEETS.
 - WEIR LIP SHALL FOLLOW EXISTING GRADES AS CLOSELY AS POSSIBLE.



TYPICAL SECTIONAL VIEW

LEVEL SPREADER DETAIL

NOT TO SCALE



WOODEN GUARD-RAIL DETAIL

NOT TO SCALE



Digitally signed by Daniel J. Merrikin, P.E.
Date: 2021.03.09 08:11:15 -05'00'

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MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD

PLAN SCALE: N.T.S.

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REVISION PER TOWN COMMENTS	2021-03-08	DJM

THE SETTLEMENT, 1657
DETAIL
PLAN OF LAND
IN
MEDWAY, MA

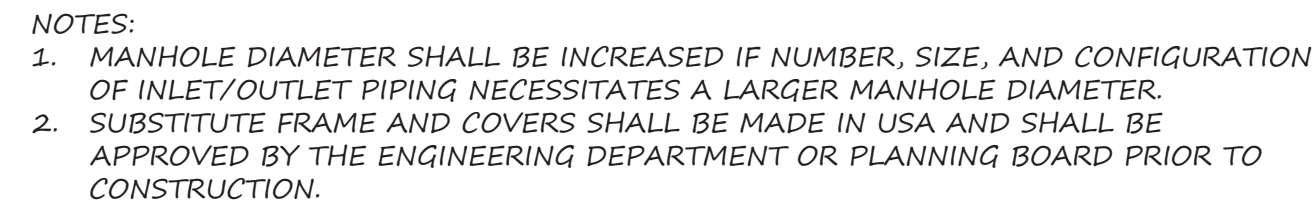
730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)



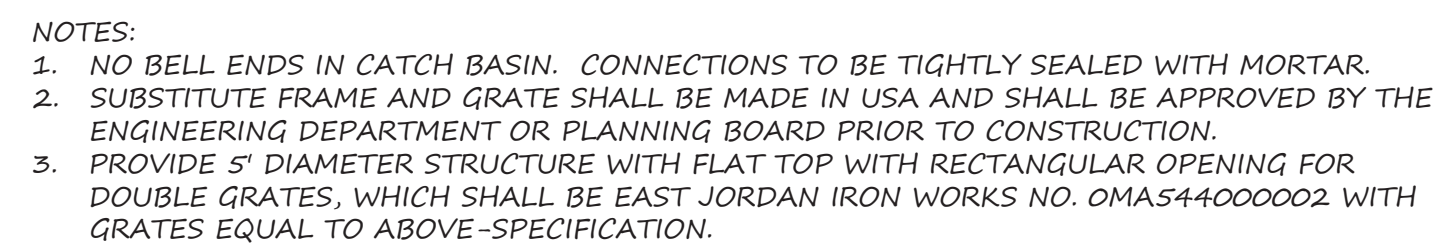
LEGACY
ENGINEERING

C-10

PLAN & DEED REFERENCE
DEED: BOOK 33875 PAGE 228
PLAN: BOOK 463 PAGE 128



NOT TO SCALE



NOT TO SCALE

PLAN SCALE: N.I.S.



Digitally signed by Daniel J.
Merrikin, P.E.
Date: 2021.03.09 08:10:50
-05'00'

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DATE: _____

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DATE ENDORSED: _____

80 79 78 77 76 75 74 73 72 71 70 69 68 67 66 65 64 63 62 61 60 59 58 57 56 55 54 53 52 51 50 49 48 47 46 45 44 43 42 41 40 39 38 37 36 35 34 33 32 31 30 29 28 27 26 25 24 23 22 21 20 19 18 17 16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1

MEDWAY PLANNING & ECONOMIC
DEVELOPMENT BOARD

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)



LEGACY
ENGINEERING

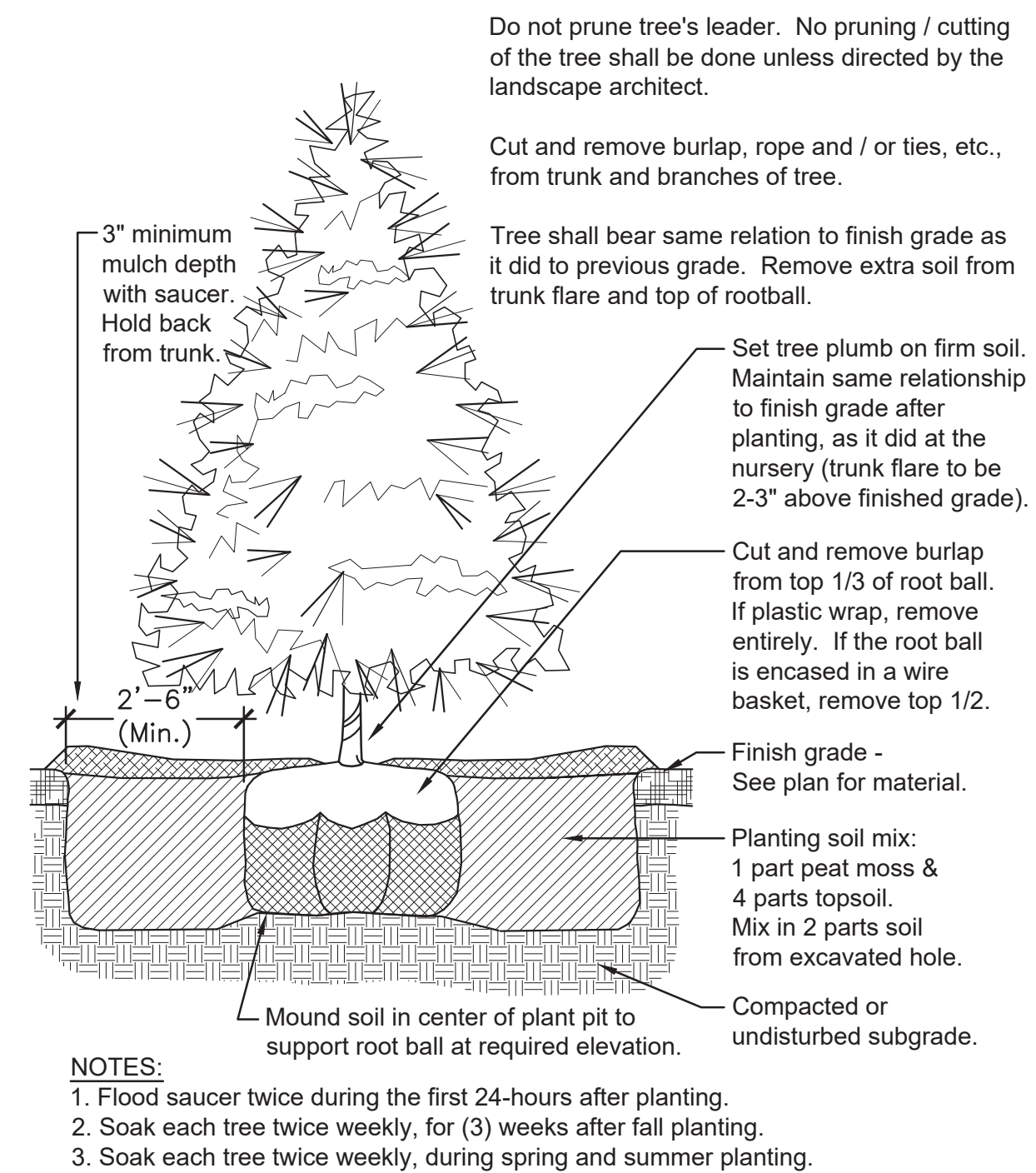
C-11

REVISION	DATE

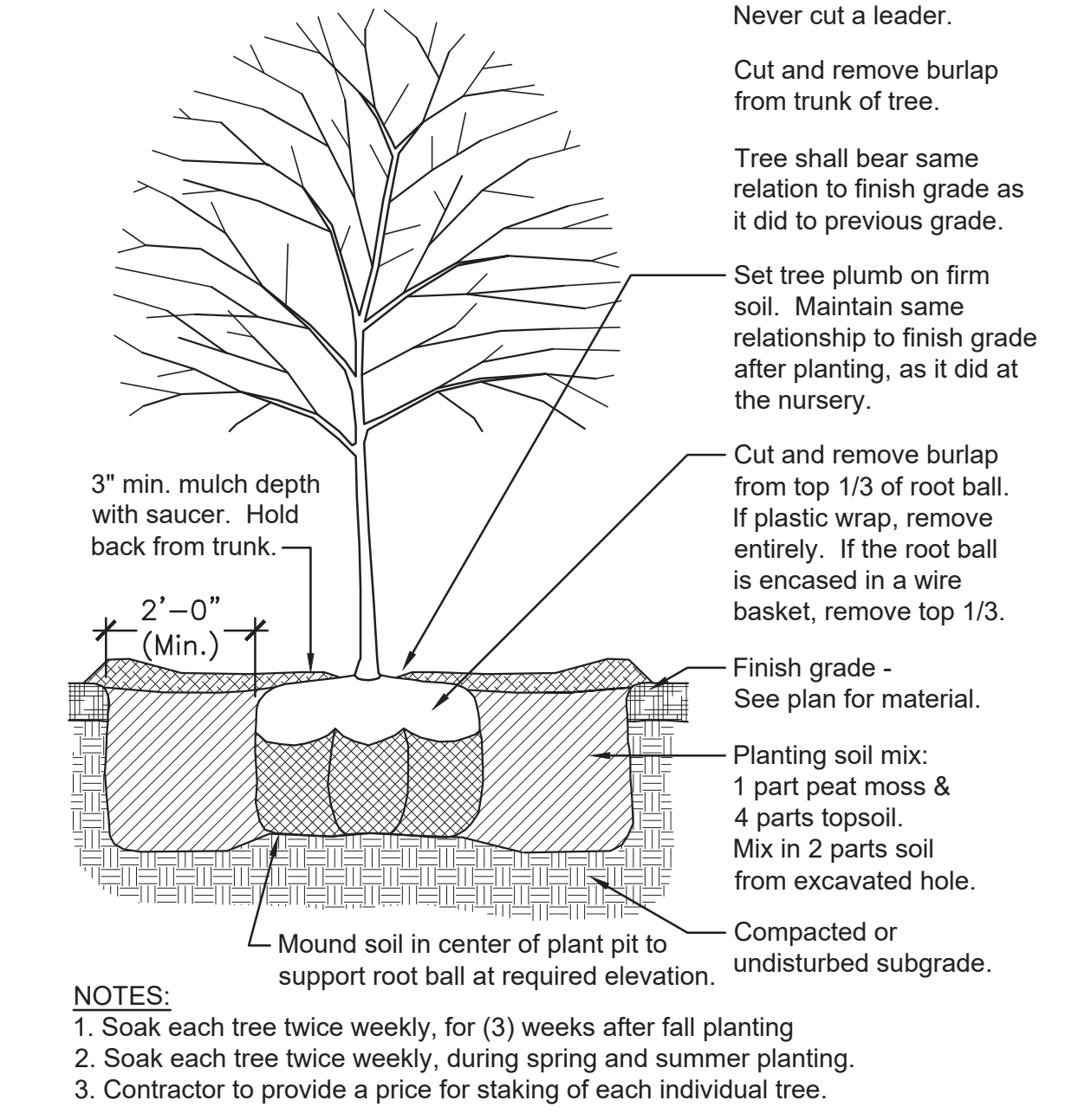
PLAN DATE: DECEMBER 10, 2019

REVISION		DATE	BY
REVISIONS PER TOWN COMMENTS		2020-06-22	DJM
REVISED SITE LAYOUT PER CONSERVATION		2021-01-12	DJM
REVISION PER TOWN COMMENTS		2021-03-08	DJM

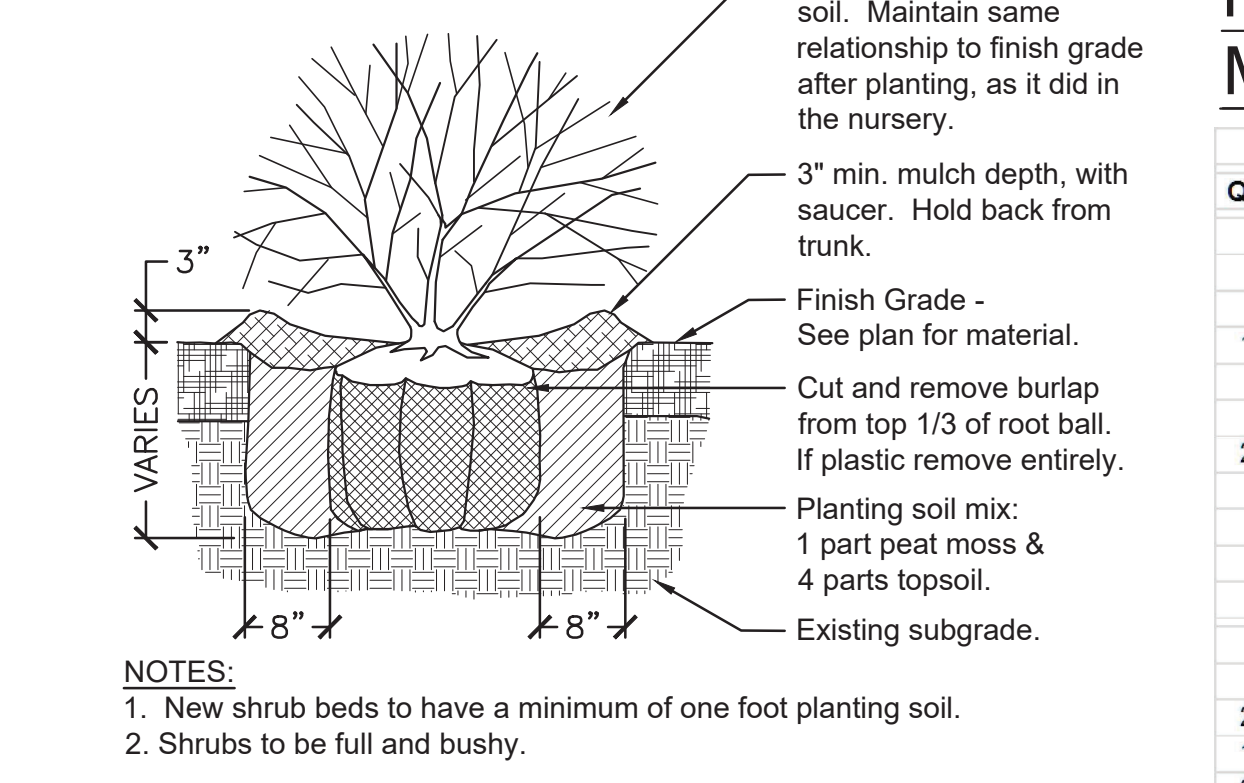
THE SETTLEMENT, 1657
DETAIL
PLAN OF LAND
IN
MEDWAY, MA



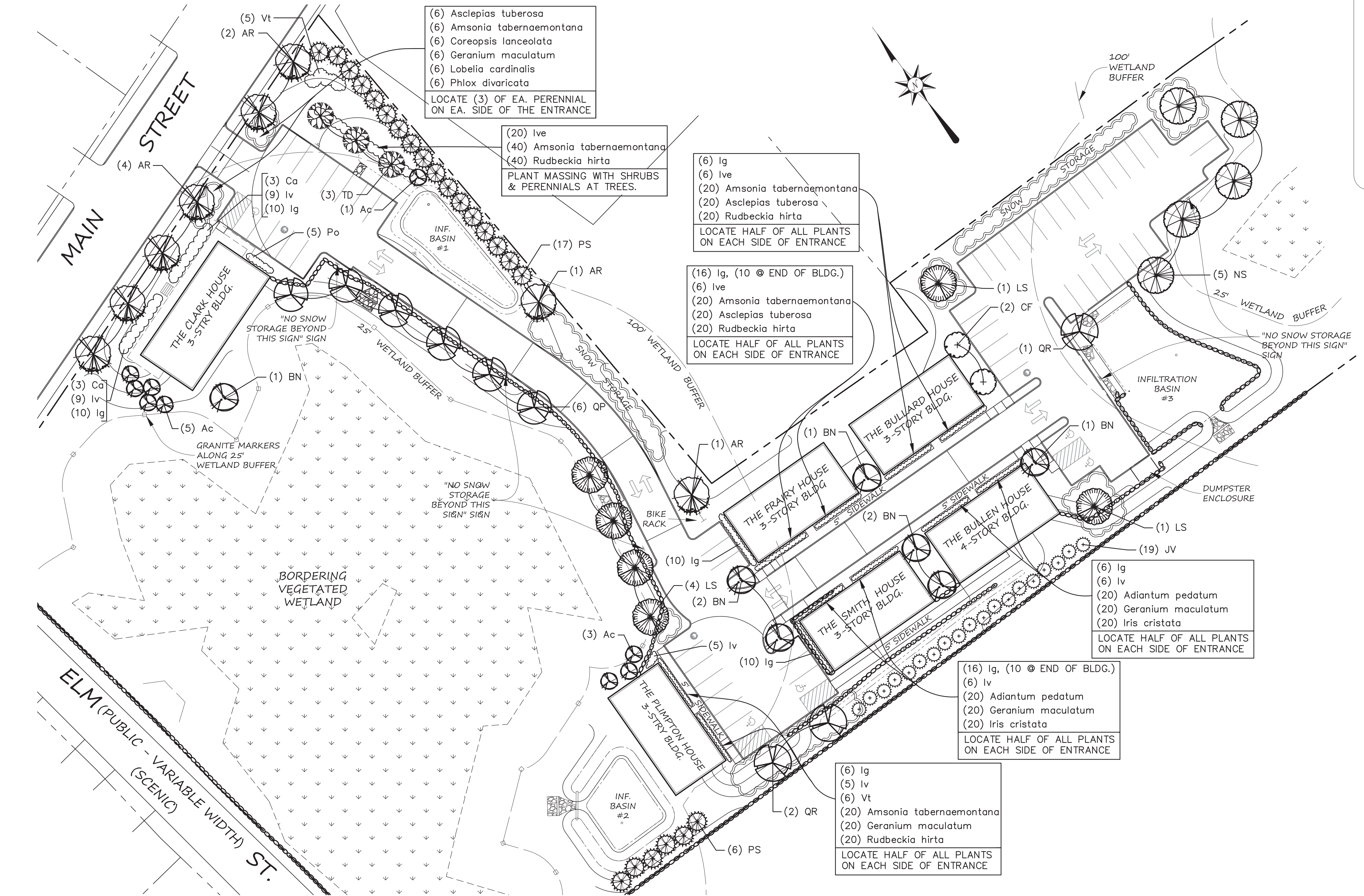
1 TYP. EVERGREEN TREE PLANTING
Scale: 1/2" = 1' - 0"



2 TYP. DECIDUOUS TREE PLANTING
Scale: 1/2" = 1' - 0"



3 TYPICAL SHRUB PLANTING
Scale: 3/4" = 1' - 0"



**PLANT LIST -
MAIN ST. AND COMMON AREAS:**

TREES - DECIDUOUS AND EVERGREEN			
Qty.	Sym.	Botanical Name	Common Name
8	AR	Acer rubrum	Red Maple
7	BN	Betula nigra 'Heritage'	Heritage River Birch
2	CF	Cornus florida	Flowering Dogwood
19	JV	Juniperus virginiana	Eastern Red Cedar
6	LS	Liquidambar styraciflua	American Sweetgum
5	NS	Nyssa sylvatica	Black Gum or Tupelo
23	PS	Pinus strobus	Eastern White Pine
6	QP	Quercus palustris	Pin Oak
3	QR	Quercus rubra	Red Oak
3	TD	Taxodium distichum	Bald Cypress
SHRUBS - DECIDUOUS AND EVERGREEN			
9	Ac	Amelanchier canadensis	Downy Shadblow
46	at	Amsonia tabernaemontana	Showy Blue-Star
6	cl	Coreopsis lanceolata	Lanceleaf Coreopsis
6	gm	Geranium maculatum	Geranium
6	lc	Lobelia cardinalis	Cardinal Flower
6	pd	Phlox divaricata	Woodland Phlox
40	rh	Rudbeckia hirta	Black-eyed Susan

**PLANT LIST -
FOUNDATION PLANTS AT REAR:**

SHRUBS - DECIDUOUS AND EVERGREEN			
Qty.	Sym.	Botanical Name	Common Name
50	lg	Ilex glabra	Inkberry
17	lv	Itea virginica	Sweetspire
12	ve	Ilex verticillata	Winterberry
6	Vt	Viburnum trilobum	American Cranberrybush
PERENNIALS			
40	ap	Adiantum pedatum	Maidenhair Fern
40	as	Asclepias tuberosa	Butterfly Milkweed
60	at	Amsonia tabernaemontana	Showy Blue-Star
60	gm	Geranium maculatum	Geranium
40	lc	Iris cristata	Dwarf Crested Iris
60	rh	Rudbeckia hirta	Black-eyed Susan

PLANTING NOTES:

1. Trees and shrubs shall be uniform, full and bushy, and well branched specimen plants. All plants to be approved by the Landscape Architect.
2. Plants shall be balled and burlapped or container grown.
3. Plants to conform to the requirements established in 'American Standards For Nursery Stock', latest edition.
4. Plant beds to receive 3-inch minimum depth of shredded bark mulch. Contractor to submit bark samples for approval.
5. Plant materials shall be guaranteed for 1-year after installation.
6. Plant materials shall be field located and approved by Landscape Architect.
7. Planting beds at perennial locations to have a 6-inch min. depth of loam. Loam at trees, shrubs & ornamental grass locations to be depth of root ball.
8. Loam (6" min. depth) and seed all lawn areas and disturbed areas not noted to receive other treatment.
9. Plant substitutions allowed based on best availability of nursery stock, with all substitutions to be approved by the Landscape Architect.

I HEREBY CERTIFY THAT THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE LINES DIVIDING EXISTING OWNERSHIPS, AND THE LINES OF THE STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED, AND THAT NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS


DATE: _____

REGISTERED LAND SURVEYOR

DATE APPROVED: _____

DATE ENDORSED: _____

MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD



PLANTING PLAN
119 MAIN STREET
MEDWAY, MA
Cosmos Associates
Landscape Architects & Site Planners
5 Longview Street, Natick, MA 01760
p: 508.654.6847 www.cosmosassociates.com


SHEET 1 OF 1
DATE 2/10/2021
PLAN NO. 119 Main St-Landsp.2-2021.dwg
DRAWN BY SSC / REC
CHECKED BY SSC

PLAN DATE: DECEMBER 10, 2019

REVISION	DATE	BY
REVISIONS PER TOWN COMMENTS	2020-06-20	DJM
REVISED SITE LAYOUT PER CONSERVATION	2021-01-12	DJM
UPDATED SITE PLAN	2021-02-10	REC

THE SETTLEMENT, 1657
LANDSCAPE
PLAN OF LAND
IN
MEDWAY, MA

PLAN SCALE: 1" = 30'



119 Main St-Medway / 119 Main St-Landsp.2-2021.dwg / 119 Main St-Landsp.2-8-2021_Rev 3.pdf

DRAWING STATUS:

**PLANNING BOARD
PERMITTING**
NOT FOR CONSTRUCTION

CLIENT:

PROJECT:
THE SETTLEMENT, 1657
119 MAIN ST.
MEDWAY, MA

DRAWING:
THE CLARK HOUSE
33'x72'

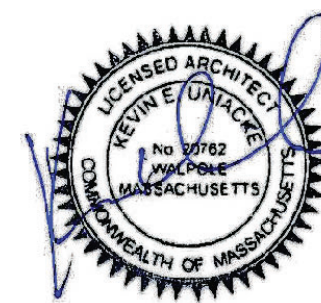
Scale: AS NOTED

Date: 2/16/2021

Job #: 20021

Drawn by: TJF

Checked by: KEU



A1.0



6
A1.0
REAR ELEVATION
CLARK HOUSE
SCALE: 1/8" = 1'-0"



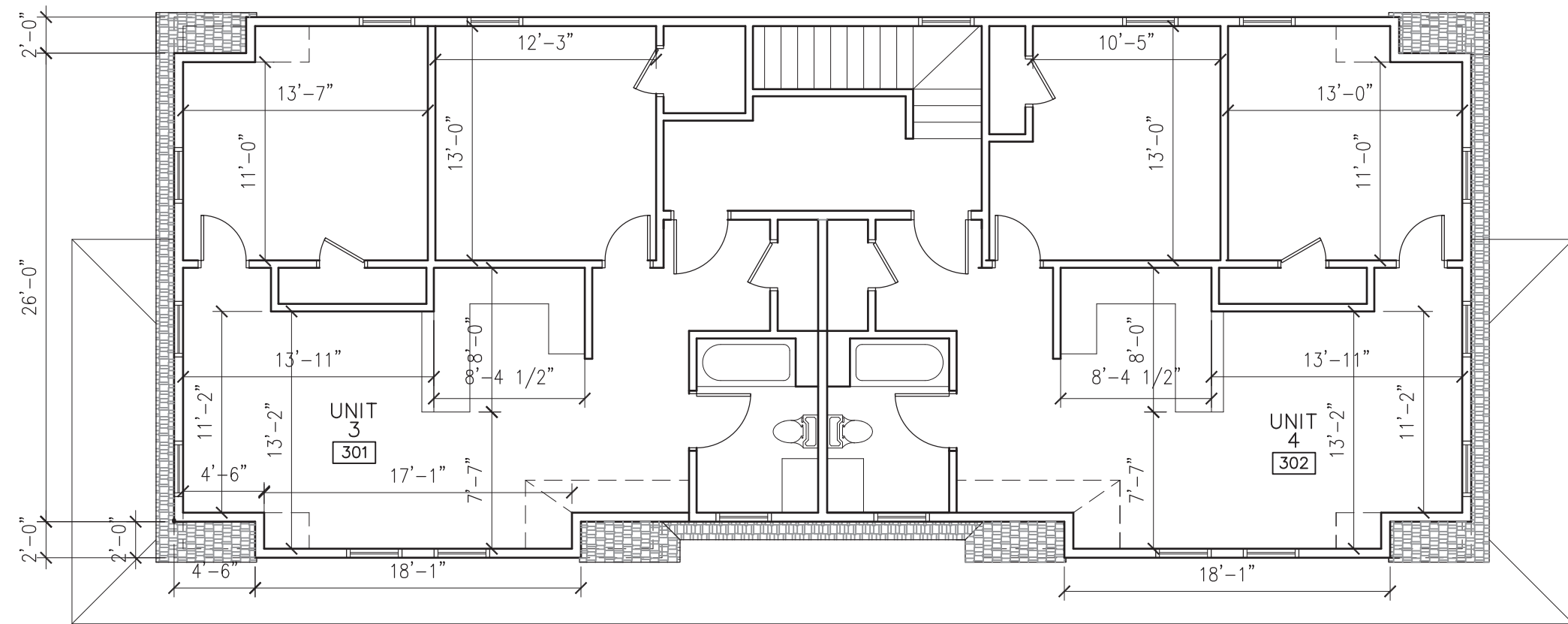
7
A1.0
RIGHT ELEVATION
CLARKHOUSE
SCALE: 1/8" = 1'-0"



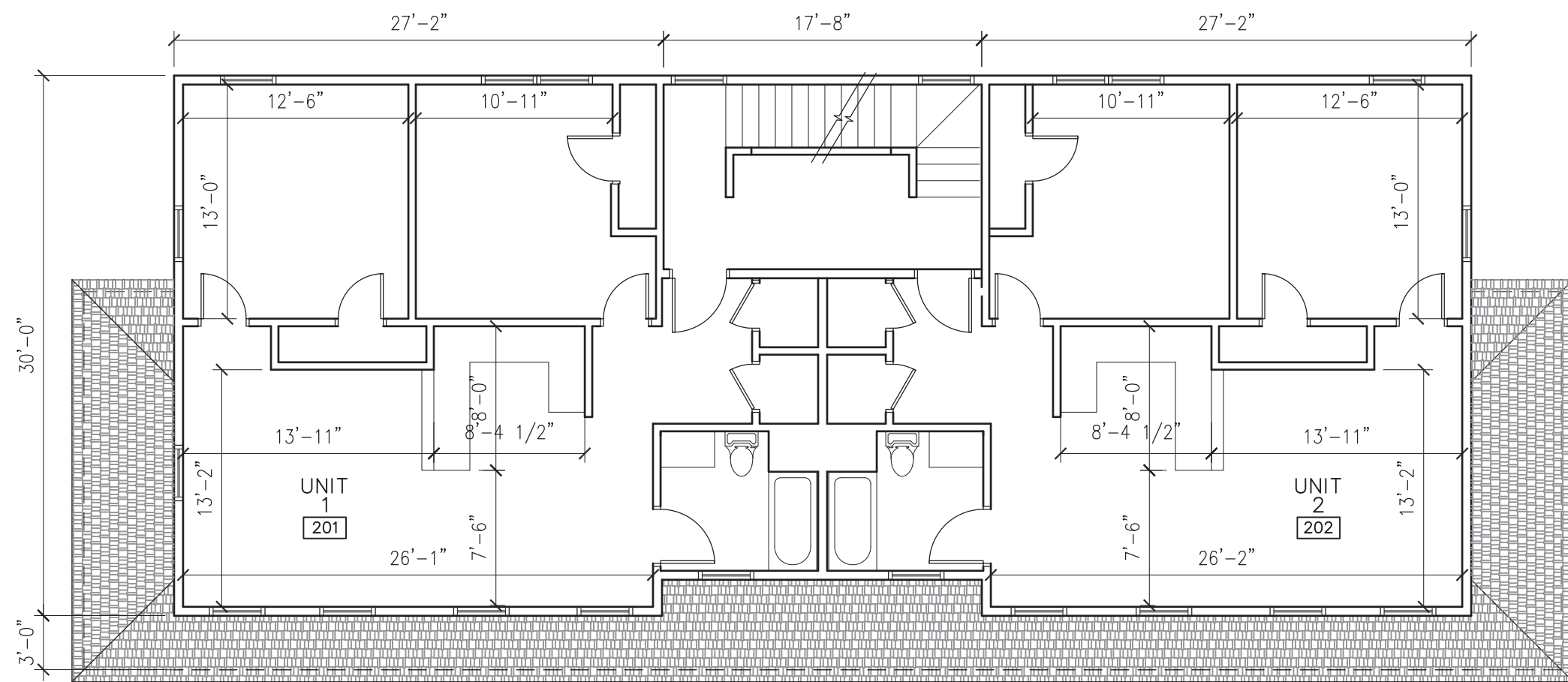
5
A1.0
LEFT ELEVATION
CLARKHOUSE
SCALE: 1/8" = 1'-0"



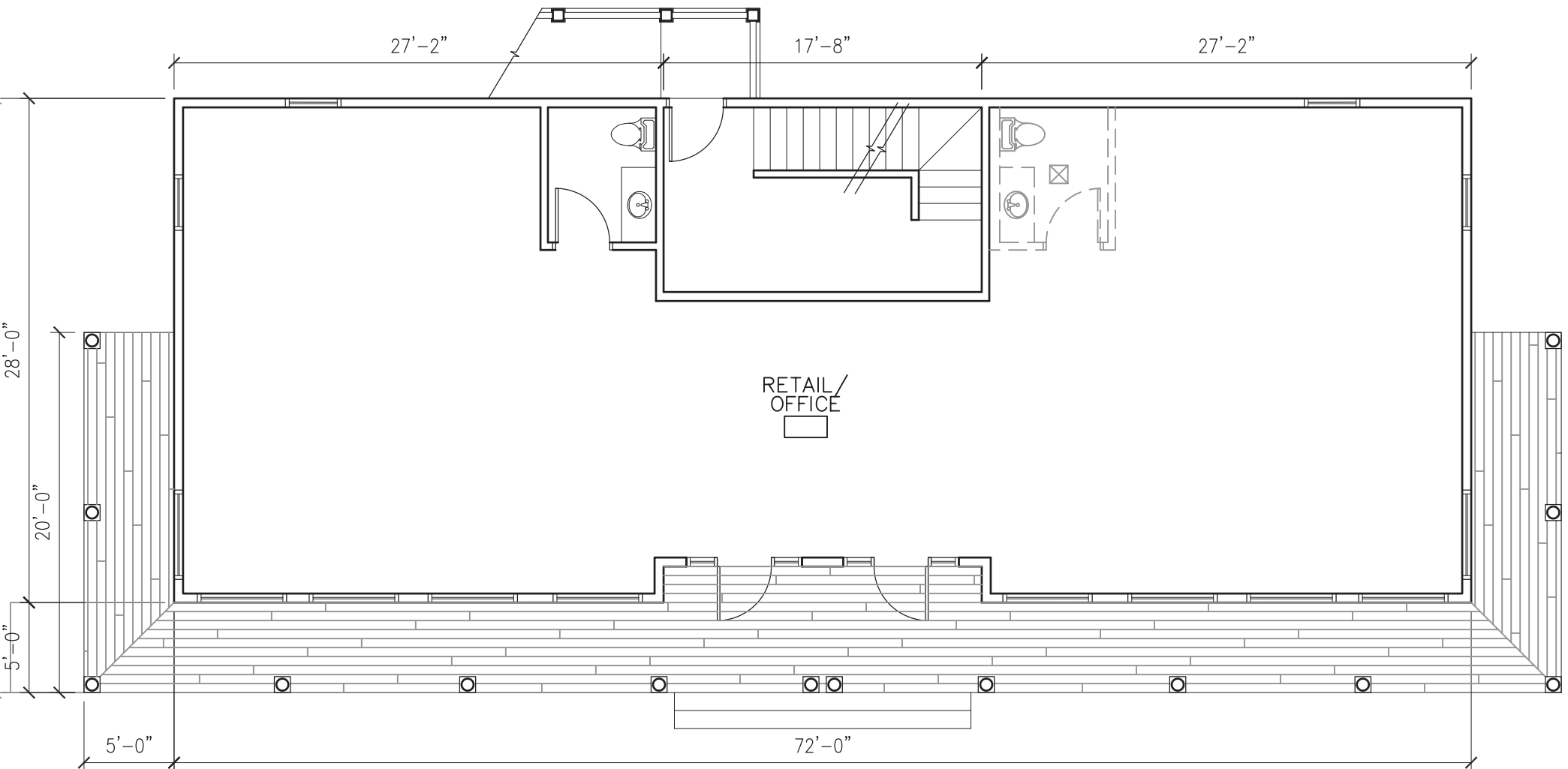
4
A1.0
FRONT ELEVATION
CLARK HOUSE
SCALE: 1/4" = 1'-0"



3
A1.0
3RD FL. — CLARK HOUSE
SCALE: 1/8" = 1'-0"



2
A1.0
2ND FL. — CLARK HOUSE
SCALE: 1/8" = 1'-0"



1
A1.0
1ST FL. — CLARK HOUSE
SCALE: 1/8" = 1'-0"

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COMMONWEALTH OF MASSACHUSETTS

DATE: _____

FOR REGISTRY USE

REGISTERED ARCHITECT



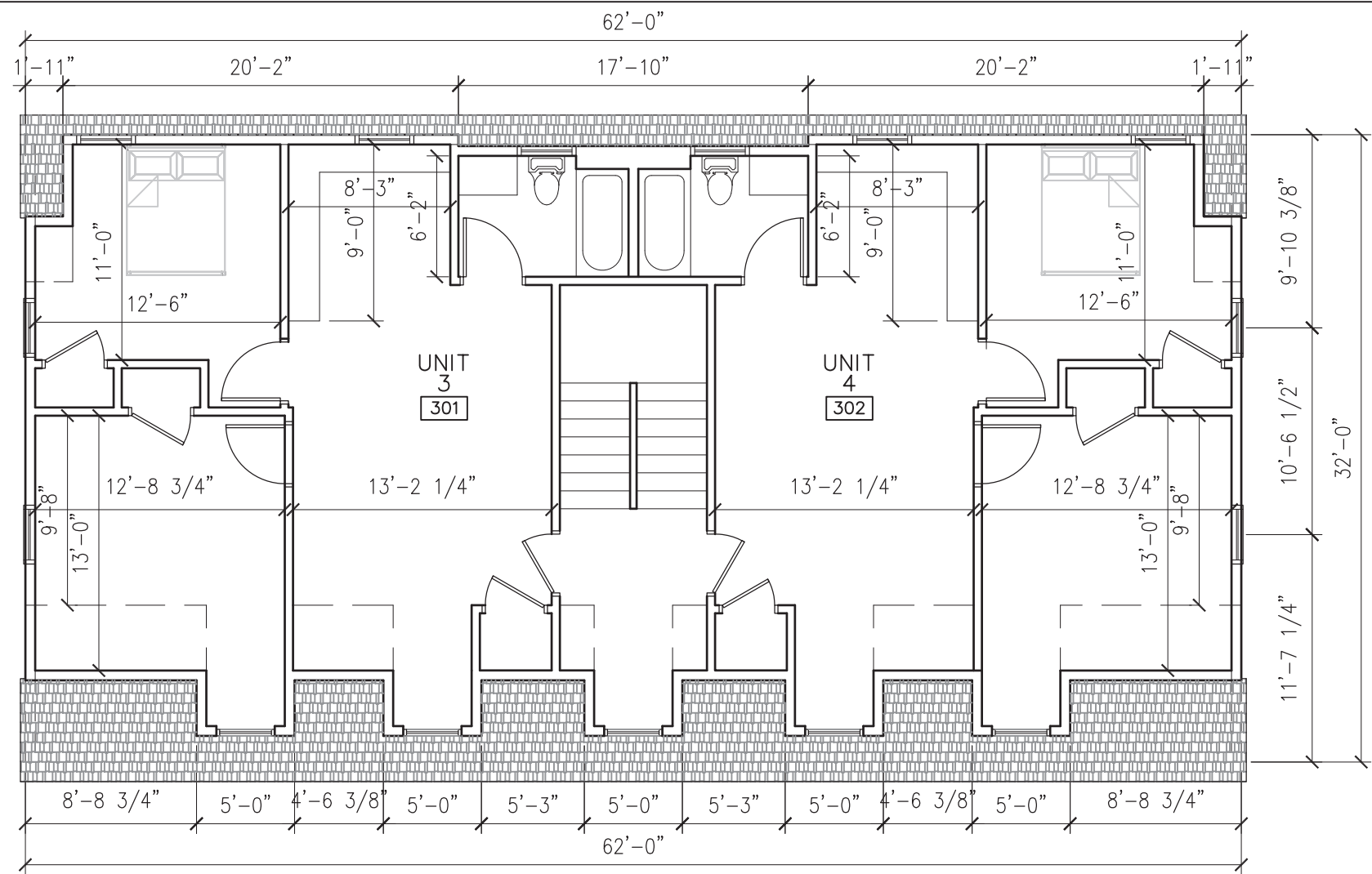
6
A2.0 REAR ELEVATION
PLIMPTON HOUSE
SCALE: 1/8" = 1'-0"



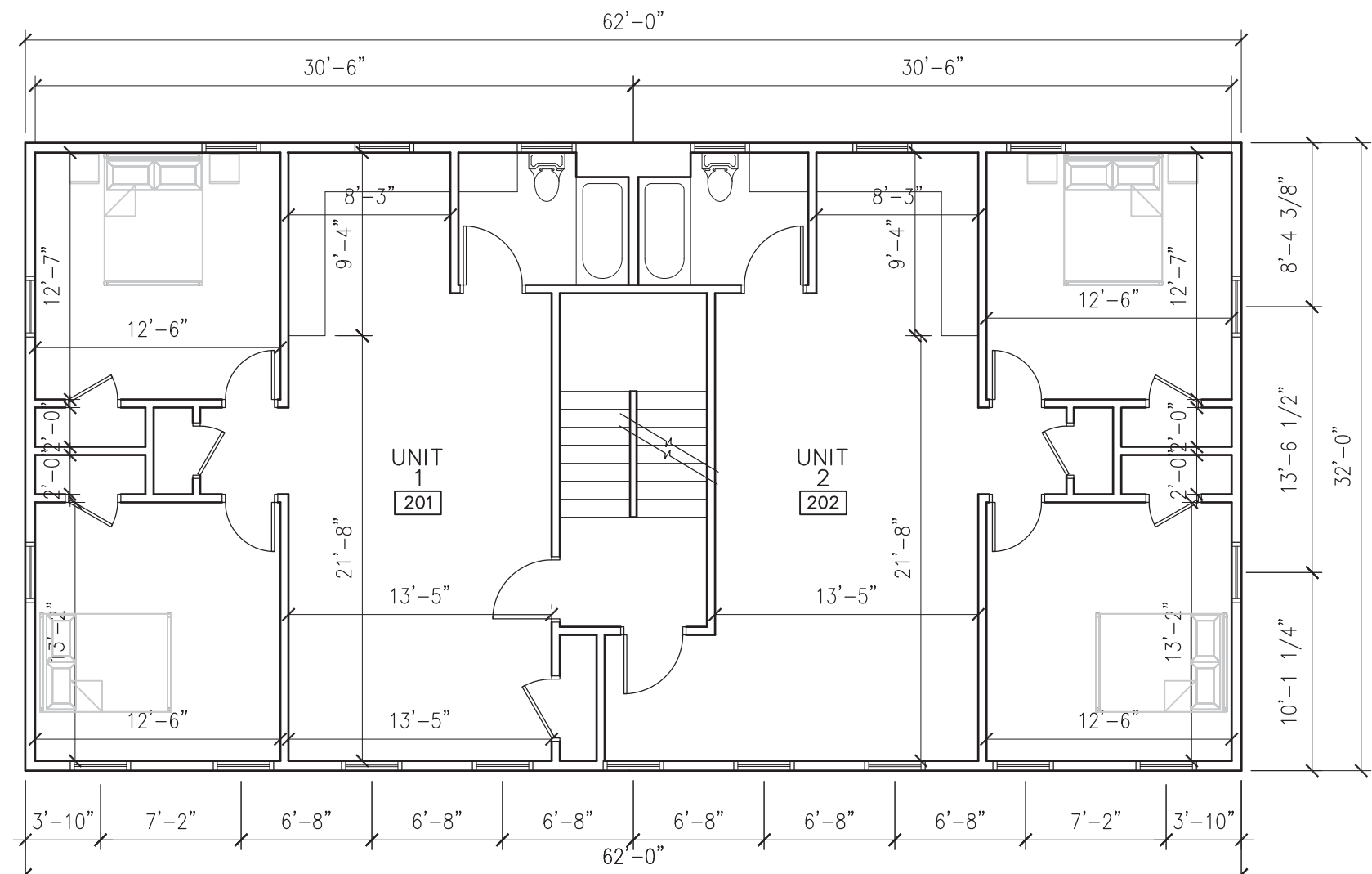
5
A2.0 TYP. SIDE ELEVATION
PLIMPTON HOUSE
SCALE: 1/8" = 1'-0"



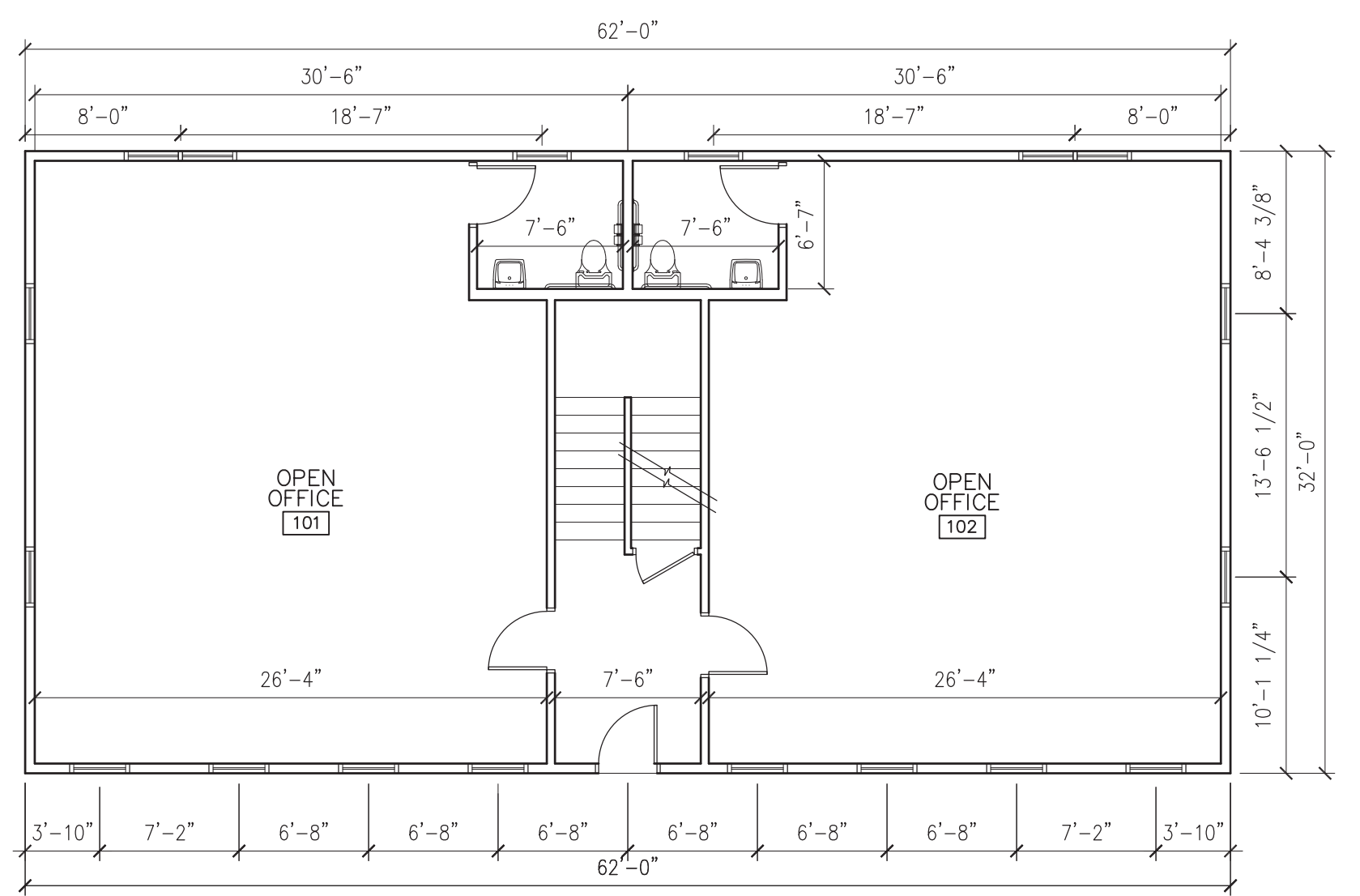
4
A2.0 FRONT ELEVATION
PLIMPTON HOUSE
SCALE: 1/4" = 1'-0"



3
A2.0 3RD FL. — PLIMPTON HOUSE
SCALE: 1/8" = 1'-0"



2
A2.0 2ND FL. — PLIMPTON HOUSE
SCALE: 1/8" = 1'-0"



1
A2.0 1ST FL. — PLIMPTON HOUSE
SCALE: 1/8" = 1'-0"

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COMMONWEALTH OF MASSACHUSETTS

DATE: _____

FOR REGISTRY USE

REGISTERED ARCHITECT



110 PEACH STREET, SUITE 100B
WALPOLE, MASSACHUSETTS 02081
P. 508-734-5236 F. 508-734-5256

DRAWING STATUS:

**PLANNING BOARD
PERMITTING
NOT FOR CONSTRUCTION**

CLIENT:

PROJECT:
THE SETTLEMENT, 1657
119 MAIN ST.
MEDWAY, MA

DRAWING:
THE PLIMPTON HOUSE
32'x62'

Scale: AS NOTED

Date: 2/16/2021

Job #: 20021

Drawn by: TJF

Checked by: KEU



A2.0



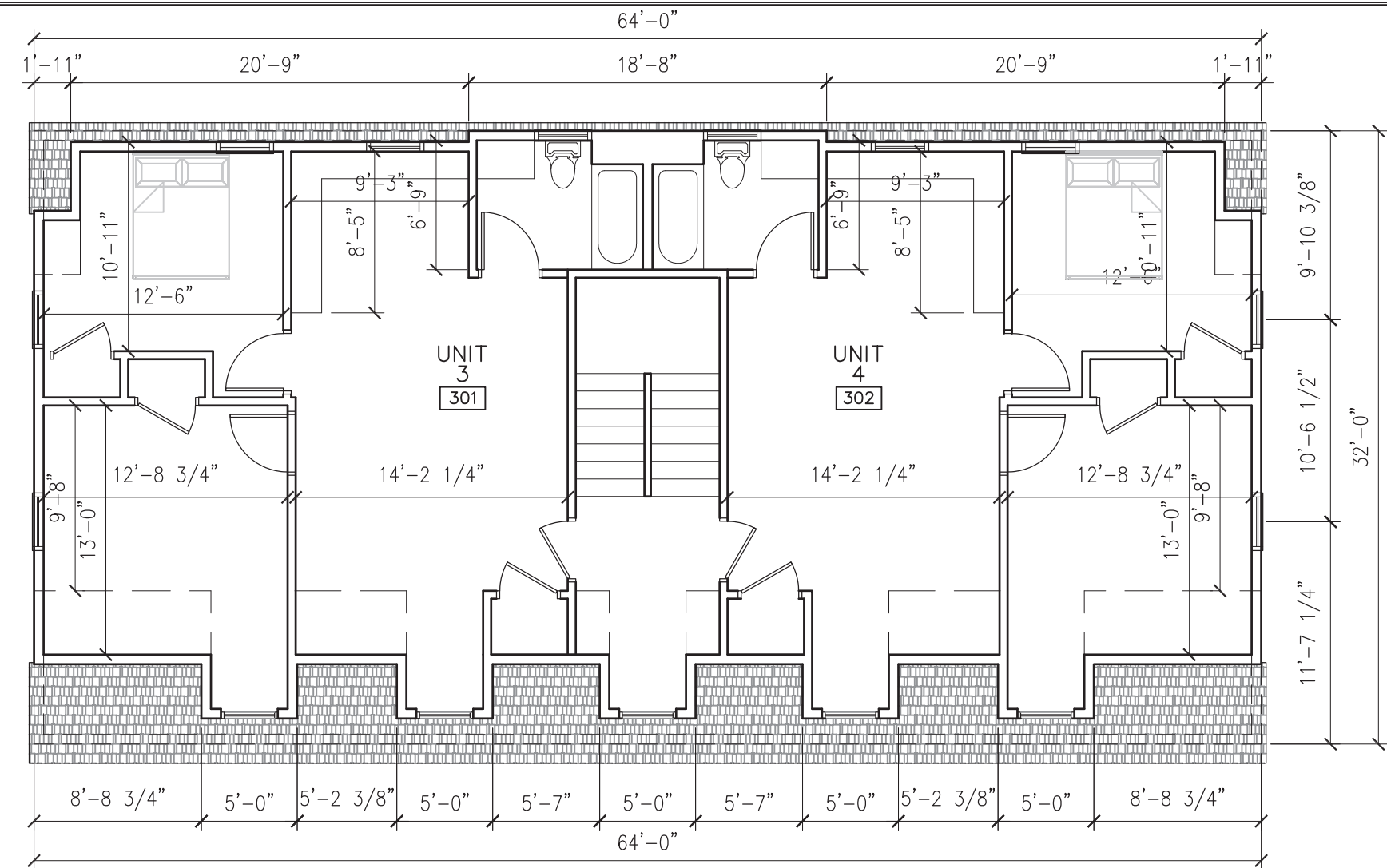
6
A3.0 REAR ELEVATION
FRAIRY/BULLARD HOUSE
SCALE: 1/8" = 1'-0"



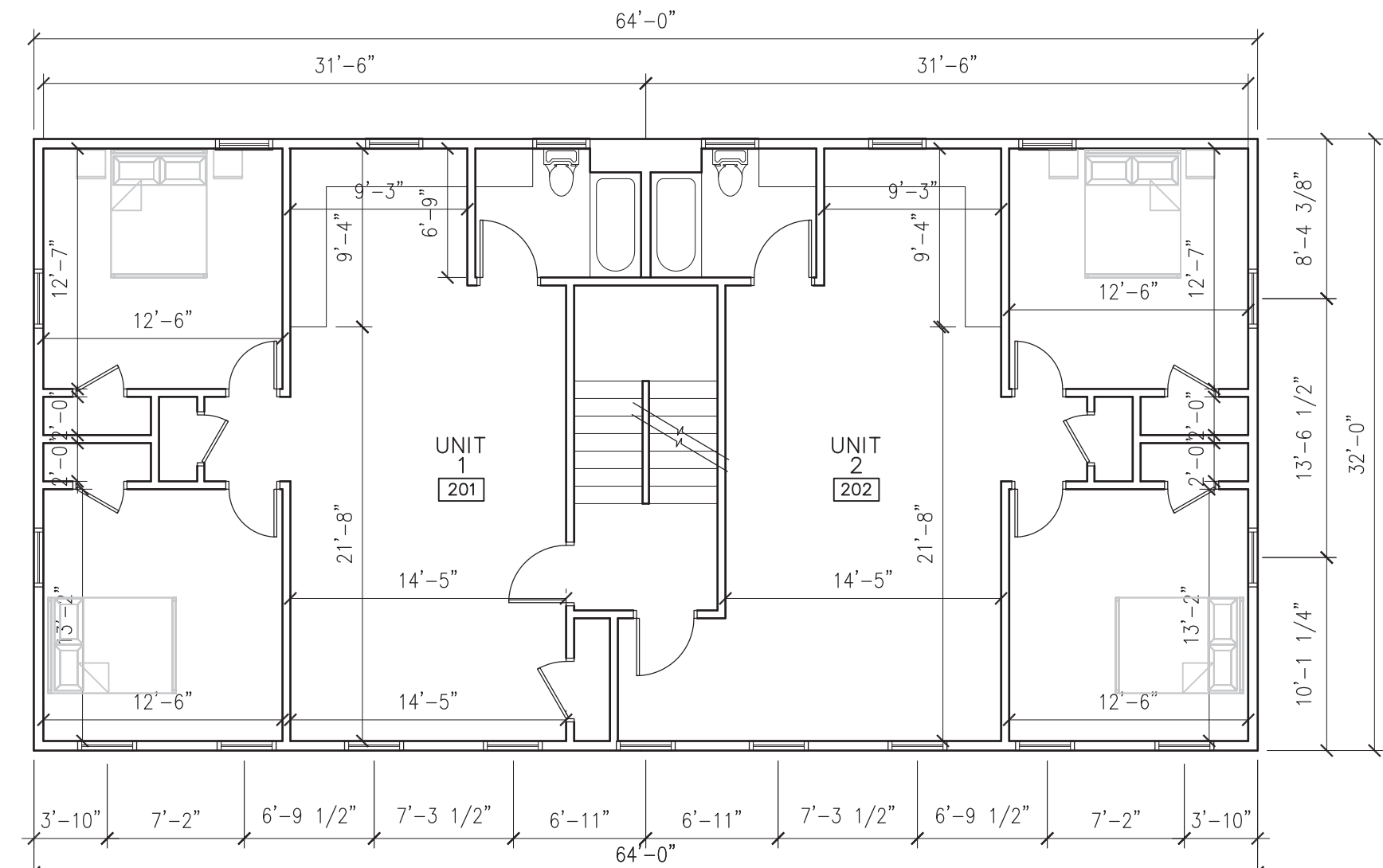
5
A3.0 TYP. SIDE ELEVATION
FRAIRY/BULLARD HOUSE
SCALE: 1/8" = 1'-0"



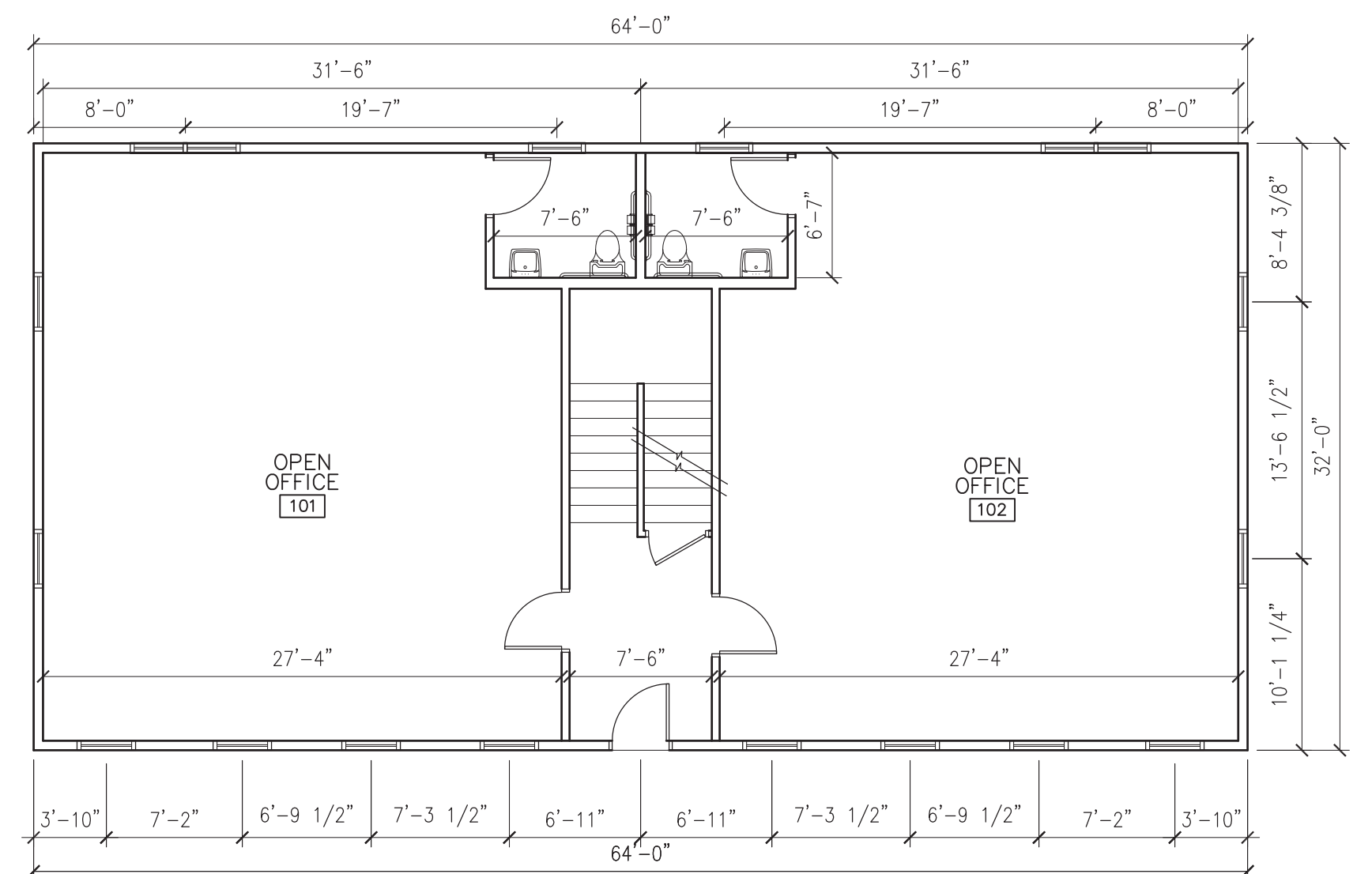
4
A3.0 FRONT ELEVATION
FRAIRY/BULLARD HOUSE
SCALE: 1/4" = 1'-0"



3
A3.0 3RD FL. — FRAIRY/BULLARD HOUSE
SCALE: 1/8" = 1'-0"



2
A3.0 2ND FL. — FRAIRY/BULLARD HOUSE
SCALE: 1/8" = 1'-0"



1
A3.0 1ST FL. — FRAIRY/BULLARD HOUSE
SCALE: 1/8" = 1'-0"

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DATE: _____

FOR REGISTRY USE

REGISTERED ARCHITECT



110 PEACH STREET, SUITE 100B
WALPOLE, MASSACHUSETTS 02081
P. 508-734-5236 F. 508-734-5256

DRAWING STATUS:

**PLANNING BOARD
PERMITTING
NOT FOR CONSTRUCTION**

CLIENT:

PROJECT:

THE SETTLEMENT, 1657
119 MAIN ST.
MEDWAY, MA

DRAWING:

THE FRAIRY HOUSE &
THE BULLARD HOUSE
32'x64'

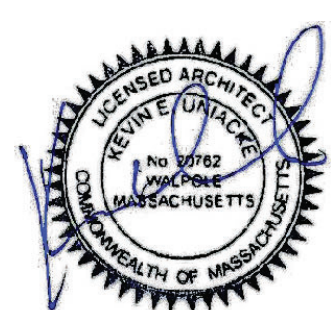
Scale: AS NOTED

Date: 2/16/2021

Job #: 20021

Drawn by: TJF

Checked by: KEU



A3.0

DRAWING STATUS:

PLANNING BOARD
PERMITTING
NOT FOR CONSTRUCTION

CLIENT:

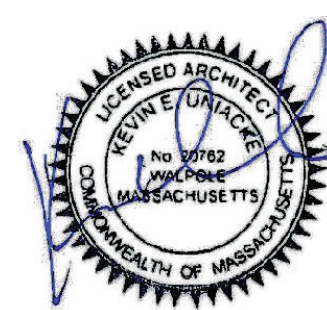
PROJECT:
THE SETTLEMENT, 1657
119 MAIN ST.
MEDWAY, MA

DRAWING:
THE BULLEN HOUSE
32'x64'

Scale: AS NOTED

Date: 2/16/2021 Job #: 20021

Drawn by: TJF Checked by: KEU



A3.1



FRONT ELEVATION
BULLEN HOUSE

4
A3.1
SCALE: 1/4" = 1'-0"



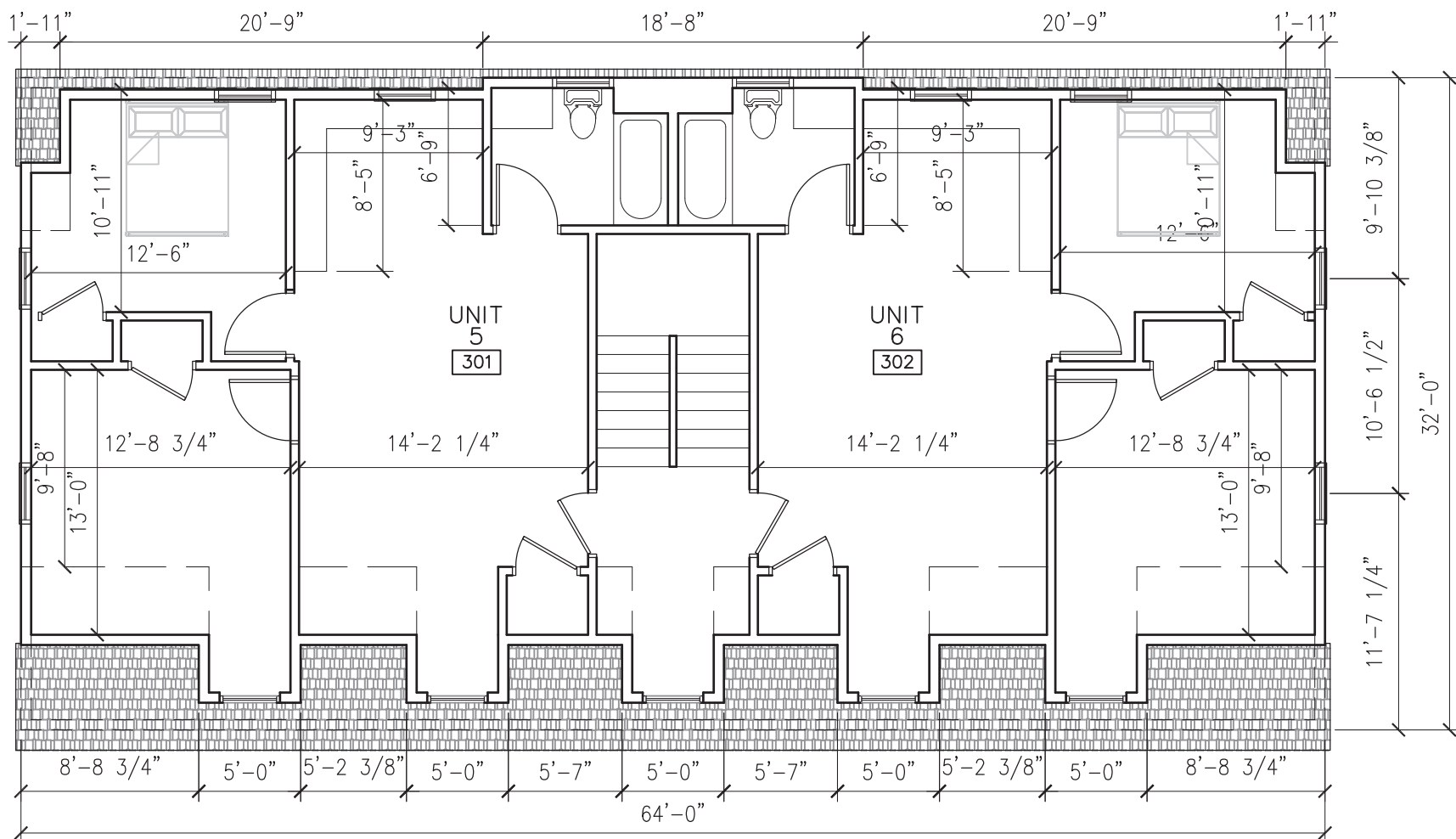
TYP. SIDE ELEVATION
BULLEN HOUSE

5
A3.1
SCALE: 1/8" = 1'-0"



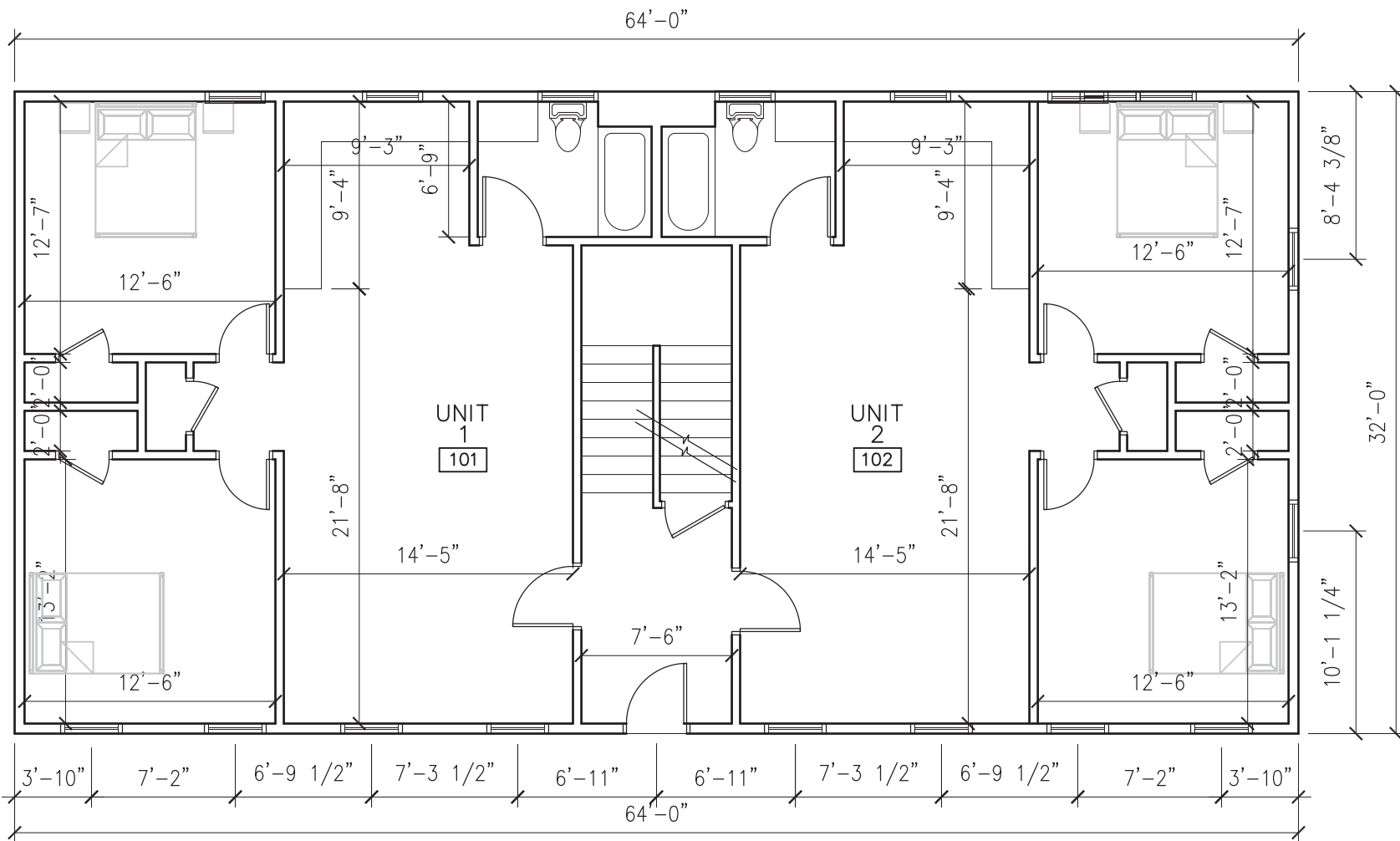
REAR ELEVATION
BULLEN HOUSE

6
A3.1
SCALE: 1/8" = 1'-0"



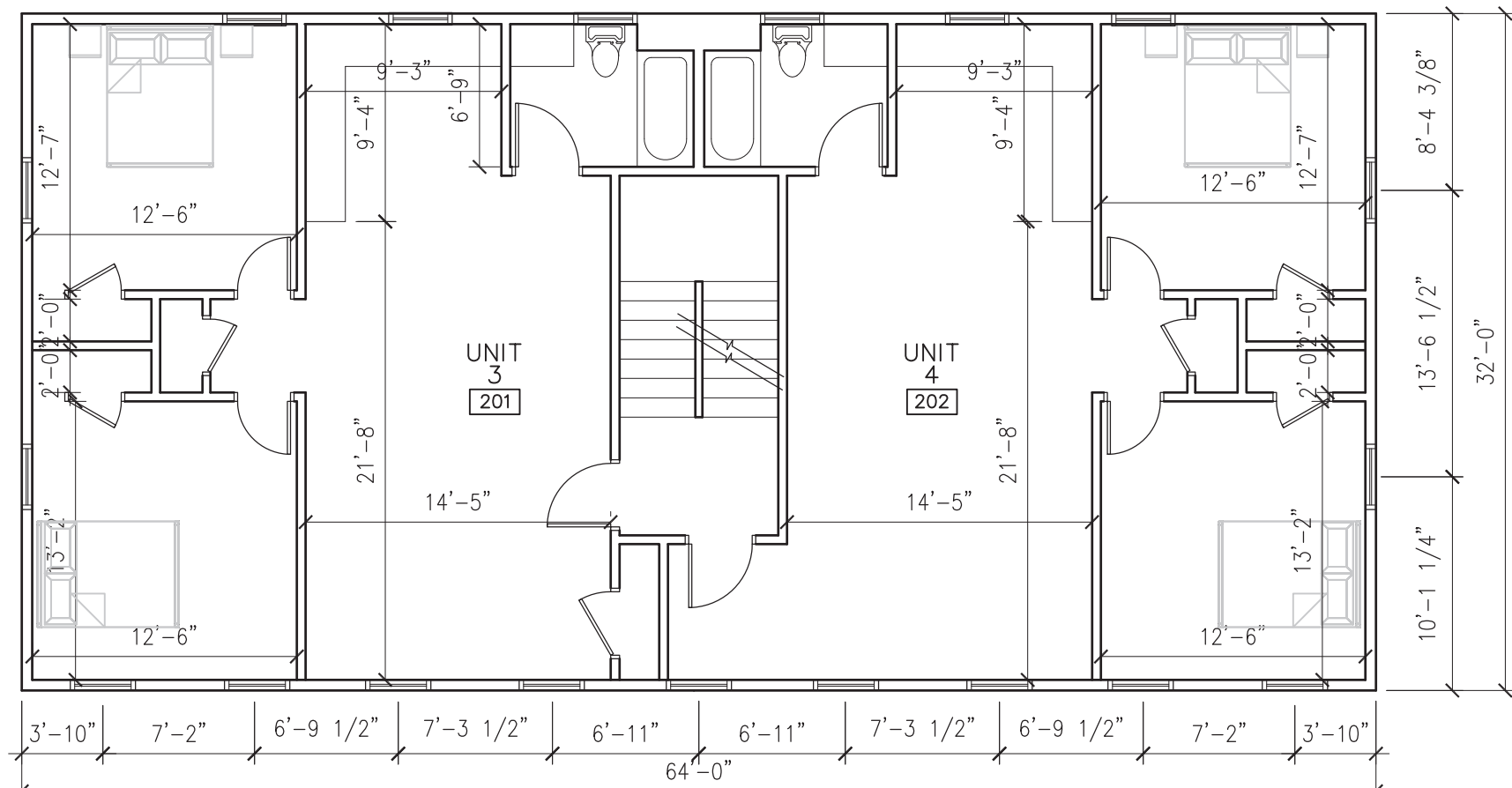
3RD FL. — BULLEN HOUSE

3
A3.1
SCALE: 1/8" = 1'-0"



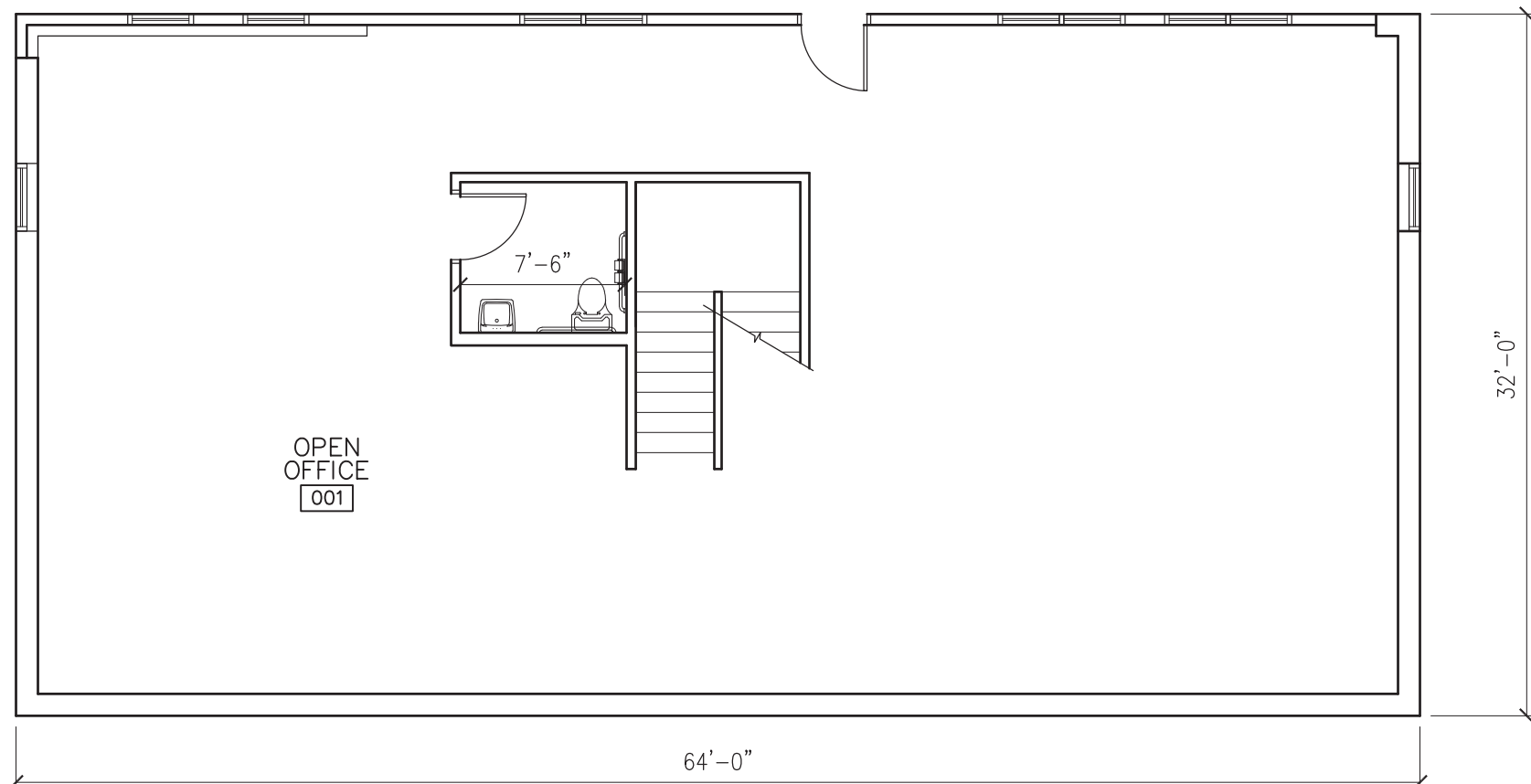
1ST FL. — BULLEN HOUSE

1
A3.1
SCALE: 1/8" = 1'-0"



2ND FL. — BULLEN HOUSE

2
A3.1
SCALE: 1/8" = 1'-0"



WALK-OUT BASEMENT — BULLEN HOUSE

0
A3.1
SCALE: 1/8" = 1'-0"

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REGISTERS OF DEEDS OF THE
COMMONWEALTH OF MASSACHUSETTS

DATE: _____

FOR REGISTRY USE

REGISTERED ARCHITECT



LEFT SIDE ELEVATION
SMITH HOUSE

SCALE: 1/8" = 1'-0"



REAR ELEVATION
SMITH HOUSE

SCALE: 1/8" = 1'-0"



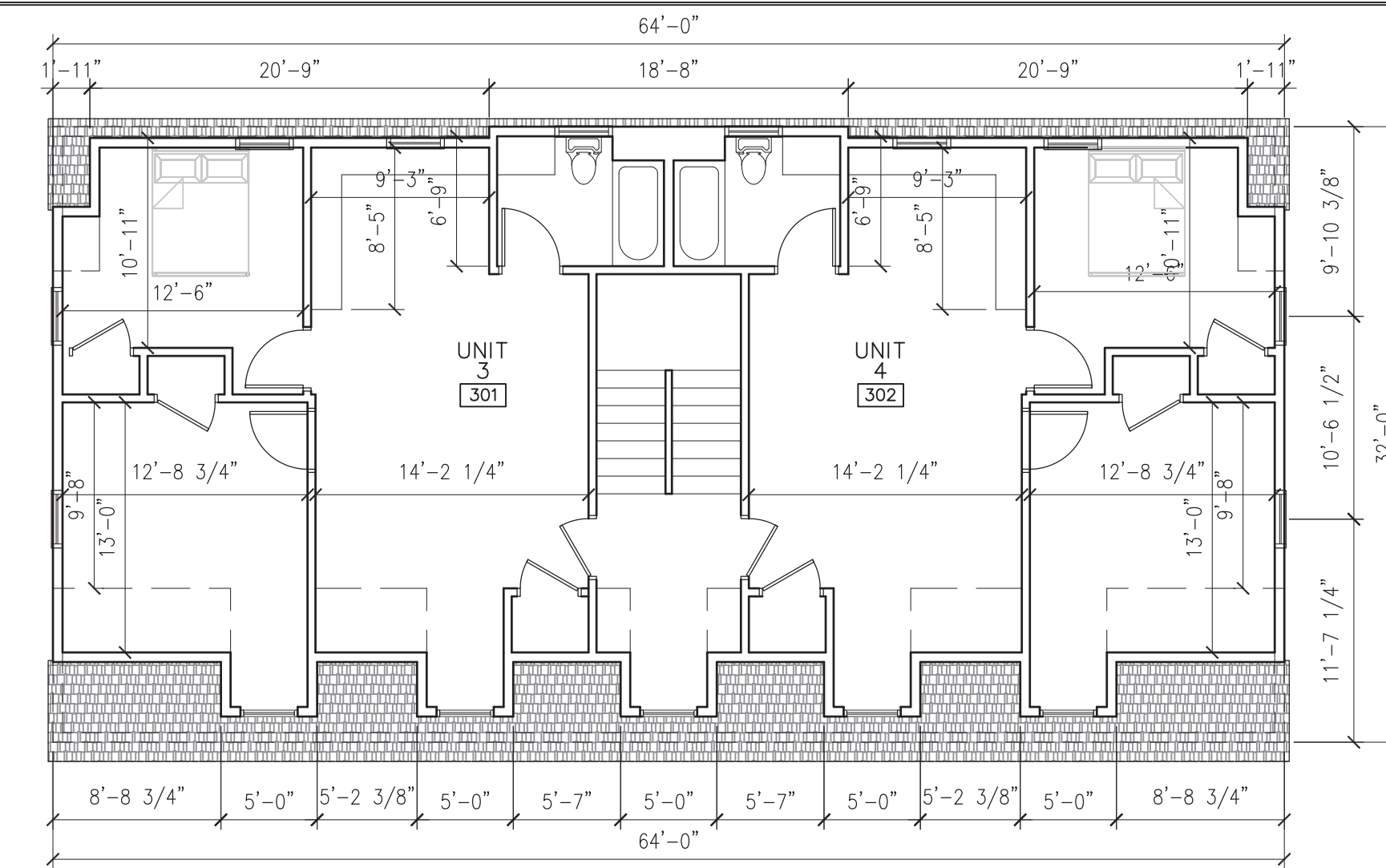
RIGHT SIDE ELEVATION
SMITH HOUSE

SCALE: 1/8" = 1'-0"



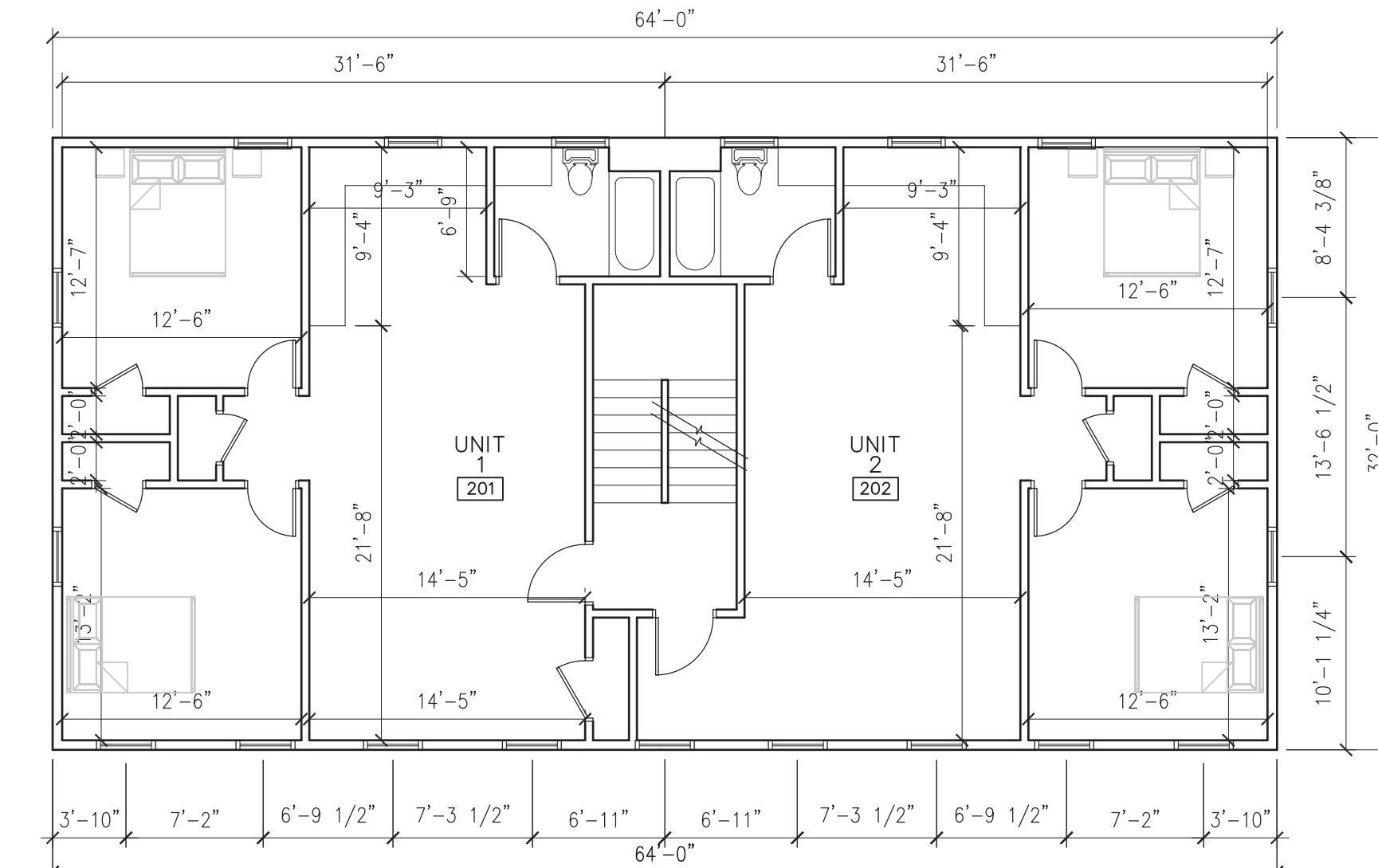
FRONT ELEVATION
SMITH HOUSE

SCALE: 1/4" = 1'-0"



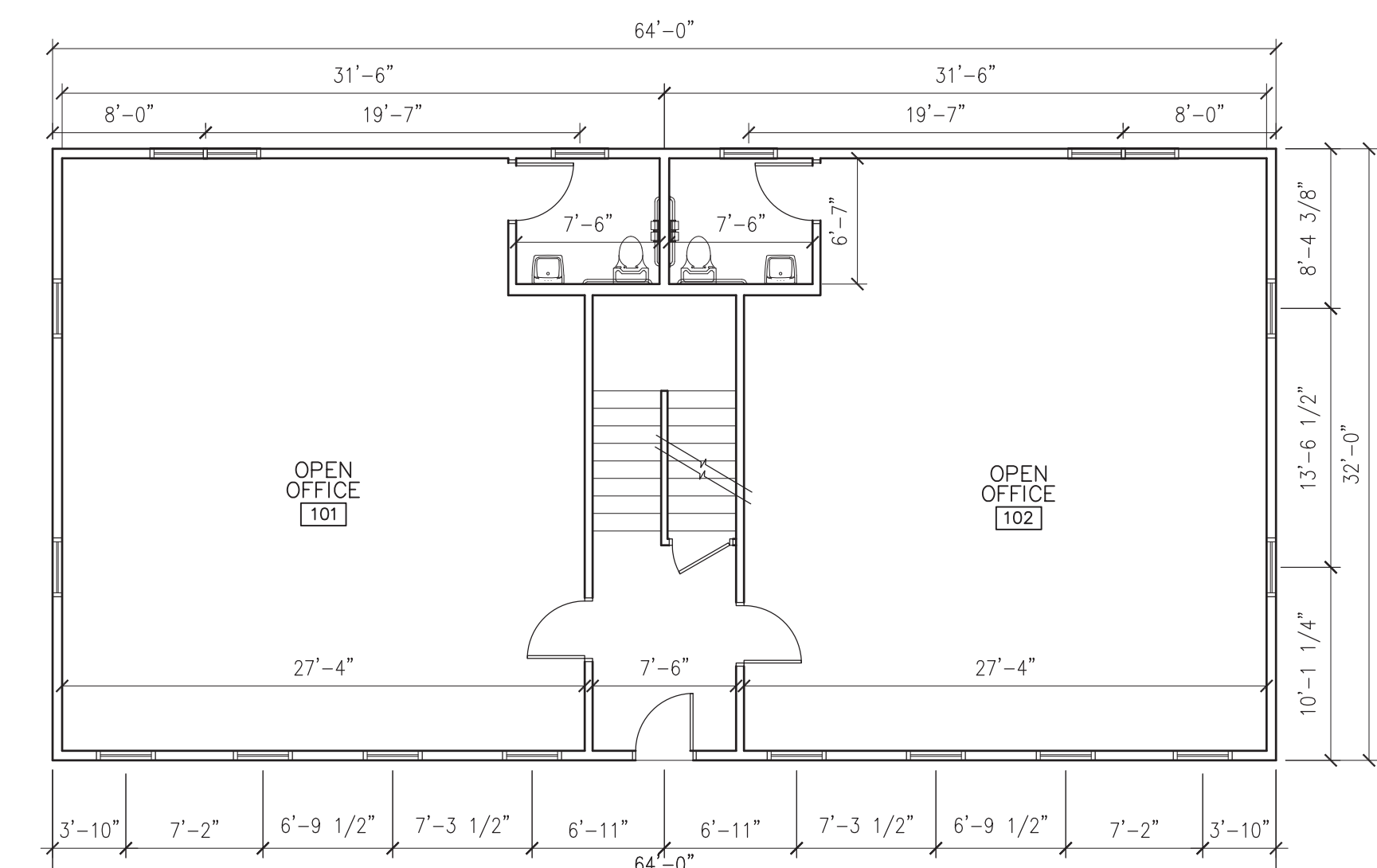
3RD FL. — SMITH HOUSE

SCALE: 1/8" = 1'-0"



2ND FL. — SMITH HOUSE

SCALE: 1/8" = 1'-0"



1ST FL. — SMITH HOUSE

SCALE: 1/8" = 1'-0"

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COMMONWEALTH OF MASSACHUSETTS

DATE: _____

FOR REGISTRY USE

REGISTERED ARCHITECT



110 PEACH STREET, SUITE 100B
WALPOLE, MASSACHUSETTS 02081
P. 508-734-5236 F. 508-734-5256

DRAWING STATUS:

**PLANNING BOARD
PERMITTING**
NOT FOR CONSTRUCTION

CLIENT:

PROJECT:

THE SETTLEMENT, 1657
119 MAIN ST.
MEDWAY, MA

DRAWING:

THE SMITH HOUSE
32'x64'

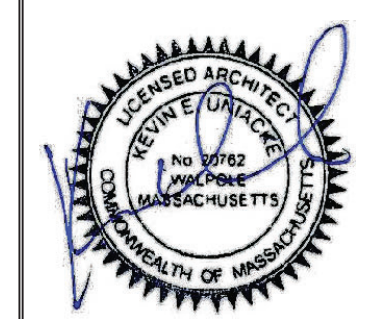
Scale: AS NOTED

Date: 2/16/2021

Job #: 20021

Drawn by: TJF

Checked by: KEU



A3.2

Medway Planning and Economic Development Board
FORM Q - Request for Waiver from Rules and Regulations
 Complete 1 form for each waiver request

Project Name:	THE SETTLEMENT, 1657
Property Location:	119A & 119B Main Street, 1 & 3 Elm Street
Type of Project/Permit:	Major Site Plan
Identify the number and title of the relevant Section of the applicable Rules and Regulations from which a waiver is sought.	204-19.B.2 Planning Board Rules and Regulations
Summarize the text of the relevant Section of the Rules and Regulations from which a waiver is requested.	The perimeter of the entire site is to have a 15' landscape buffer.
What aspect of the Regulation do you propose be waived?	The size of the buffer.
What do you propose instead?	A 10' landscape buffer, as required by the Zoning Bylaws in the Central Business District
Explanation/justification for the waiver request. Why is the waiver needed? Describe the extenuating circumstances that necessitate the waiver request.	The Site Plan Regulations are inconsistent with the Zoning Bylaw.
What is the estimated value/cost savings to the applicant if the waiver is granted?	None
How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	Not applicable.
What is the impact on the development if this waiver is denied?	Impacts to the proposed site layout, which has been designed per the CB Zoning Bylaw.
What are the design alternatives to granting this waiver?	None
Why is granting this waiver in the Town's best interest?	Consistency with the CB Zoning Bylaw.
If this waiver is granted, what is the estimated cost savings and/or cost avoidance to the Town?	None
What mitigation measures do you propose to offset not complying with the particular Rule/Regulation?	The 10' buffer will be planted with screening vegetation where abutting residential uses.
What is the estimated value of the proposed mitigation measures?	Unknown
Other Information?	None
Waiver Request Prepared By:	Legacy Engineering LLC
Date:	9-Mar-21

Medway Planning and Economic Development Board
FORM Q - Request for Waiver from Rules and Regulations
Complete 1 form for each waiver request

Questions?? - Please contact the Medway PED office at 508-533-3291.

7/8/2011

Medway Planning and Economic Development Board
FORM Q - Request for Waiver from Rules and Regulations
 Complete 1 form for each waiver request

Project Name:	THE SETTLEMENT, 1657
Property Location:	119A & 119B Main Street, 1 & 3 Elm Street
Type of Project/Permit:	Major Site Plan
Identify the number and title of the relevant Section of the applicable Rules and Regulations from which a waiver is sought.	204-3.F.2 Planning Board Rules and Regulations
Summarize the text of the relevant Section of the Rules and Regulations from which a waiver is requested.	The Development Impact Statement shall include an environmental Impact Study.
What aspect of the Regulation do you propose be waived?	The requirement of an Environmental Impact Study.
What do you propose instead?	A general analysis of the environmental impacts.
Explanation/justification for the waiver request. Why is the waiver needed? Describe the extenuating circumstances that necessitate the waiver request.	A Notice of Intent has been filed, which addresses the environmental impact.
What is the estimated value/cost savings to the applicant if the waiver is granted?	Labor costs in preparing the study.
How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	Approval of this waiver would not impact the design.
What is the impact on the development if this waiver is denied?	Cost implications
What are the design alternatives to granting this waiver?	The plans and submitted documents adequately address environmental impacts
Why is granting this waiver in the Town's best interest?	The plans and submitted documents adequately address environmental impacts
If this waiver is granted, what is the estimated cost savings and/or cost avoidance to the Town?	Town staff's time to review the documents, which are unnecessary.
What mitigation measures do you propose to offset not complying with the particular Rule/Regulation?	A general environmental analysis.
What is the estimated value of the proposed mitigation measures?	None
Other Information?	None
Waiver Request Prepared By:	Legacy Engineering LLC
Date:	9-Mar-21
Questions?? - Please contact the Medway PED office at 508-533-3291.	

Medway Planning and Economic Development Board
FORM Q - Request for Waiver from Rules and Regulations
 Complete 1 form for each waiver request

Project Name:	THE SETTLEMENT, 1657
Property Location:	119A & 119B Main Street, 1 & 3 Elm Street
Type of Project/Permit:	Major Site Plan
Identify the number and title of the relevant Section of the applicable Rules and Regulations from which a waiver is sought.	207-12.G.3.b Planning Board Rules and Regulations
Summarize the text of the relevant Section of the Rules and Regulations from which a waiver is requested.	Parking spaces are not to be within 15' of property lines.
What aspect of the Regulation do you propose be waived?	The 15' setback.
What do you propose instead?	A 10' setback.
Explanation/justification for the waiver request. Why is the waiver needed? Describe the extenuating circumstances that necessitate the waiver request.	The Site Plan Regulations are inconsistent with the Zoning Bylaw, which allows for parking to be within 10 feet of the lot line.
What is the estimated value/cost savings to the applicant if the waiver is granted?	Not applicable
How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	The design will be consistent with the requirements of the CB Zoning Bylaw.
What is the impact on the development if this waiver is denied?	An undesirable parking layout.
What are the design alternatives to granting this waiver?	None
Why is granting this waiver in the Town's best interest?	There will be no difference to the Town.
If this waiver is granted, what is the estimated cost savings and/or cost avoidance to the Town?	None
What mitigation measures do you propose to offset not complying with the particular Rule/Regulation?	None
What is the estimated value of the proposed mitigation measures?	None
Other Information?	None
Waiver Request Prepared By:	Legacy Engineering LLC
Date:	9-Mar-21
Questions?? - Please contact the Medway PED office at 508-533-3291.	

Medway Planning and Economic Development Board
FORM Q - Request for Waiver from Rules and Regulations
Complete 1 form for each waiver request

7/8/2011

Medway Planning and Economic Development Board
FORM Q - Request for Waiver from Rules and Regulations
 Complete 1 form for each waiver request

Project Name:	THE SETTLEMENT, 1657
Property Location:	119A & 119B Main Street, 1 & 3 Elm Street
Type of Project/Permit:	Major Site Plan
Identify the number and title of the relevant Section of the applicable Rules and Regulations from which a waiver is sought.	204-3.F.1.b Planning Board Rules and Regulations
Summarize the text of the relevant Section of the Rules and Regulations from which a waiver is requested.	The Development Impact Statement shall include a Traffic Impact Assessment.
What aspect of the Regulation do you propose be waived?	The requirement of a Traffic Impact Assessment.
What do you propose instead?	A general analysis of the traffic impacts.
Explanation/justification for the waiver request. Why is the waiver needed? Describe the extenuating circumstances that necessitate the waiver request.	The small nature of the project does not warrant a full traffic analysis. A project of this nature does not generate significant traffic relative to the capacity of Main Street.
What is the estimated value/cost savings to the applicant if the waiver is granted?	Costs of hiring a consultant to perform the assessment.
How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	Approval of this waiver would not impact the design.
What is the impact on the development if this waiver is denied?	Cost Savings for an unnecessary traffic study.
What are the design alternatives to granting this waiver?	A general traffic discussion is provided in the site narrative.
Why is granting this waiver in the Town's best interest?	This project will not have a substantive impact on traffic conditions on Main Street.
If this waiver is granted, what is the estimated cost savings and/or cost avoidance to the Town?	Town staff's time to review the documents, which are unnecessary.
What mitigation measures do you propose to offset not complying with the particular Rule/Regulation?	A general traffic discussion is provided in the site narrative.
What is the estimated value of the proposed mitigation measures?	None
Other Information?	None
Waiver Request Prepared By:	Legacy Engineering LLC
Date:	9-Mar-21
Questions?? - Please contact the Medway PED office at 508-533-3291.	

Susan Affleck-Childs

From: Barbara Saint Andre
Sent: Thursday, April 1, 2021 11:58 AM
To: Susan Affleck-Childs
Cc: Andy Rodenhiser; Jack Mee
Subject: RE: Request for Comments - Proposed Mixed Use Development Project at the corner of Main and Elm Streets

Susy, please forward these comments to the Board for its consideration. As the members of the PEDB may be aware, G.L. c. 40A, §6 provides in part that zoning by-laws shall not apply to “a building or special permit issued before the first publication of notice of the public hearing on such... by-law, but shall apply... to a building or special permit issued after the first notice of said public hearing...” The PEDB has published the first notice of the public hearing on proposed amendments to the Central Business District (indeed, the public hearing has been completed). Since the application is for a special permit for land located in the Central Business District, it seems to me that, if the Central Business District zoning amendments are passed at Town Meeting on May 10, 2021, this application would generally be subject to the new zoning by-law provisions.

I do note that on April 11, 2017, the PEDB endorsed an approval not required plan under G.L. c. 41, §81P (ANR) for the land that is the subject of this application. A second ANR plan for the land that is the subject of this application was signed by the PEDB on March 27, 2018. Under G.L. c. 40A, §6, “the use of the land shown on such plan shall be governed by applicable provisions of the zoning ... by-law in effect at the time of the submission of such plan ...for a period of three years from the date of endorsement by the planning board...”

It appears that the uses proposed in the special permit application are allowed under both the current Central Business zoning provisions, and the proposed amendments, so it does not appear that the applicant needs to avail itself of the ANR protection. (Note that Chapter 53 of the Acts of 2020, §17(b)(iii) provides that a “permit in effect or existence as of March 10, 2020...shall not lapse or otherwise expire and the expiration date of the permit... shall toll during the state of emergency.” Although the definition of “permit” in chapter 53 is not explicit, arguably it could be construed to include an ANR endorsement. If so, the three year freeze for uses would still be in effect for this land.) I did not find any other endorsed or approved plans for this property, but if there are other applicable endorsed or approved plans, that could affect the status of the property. (There was a variance granted on December 5, 2018, for construction of duplexes which did not need to have the appearance of single family homes, but that does not affect the ANR provisions under chapter 40A, §6.)

There are a number of provisions in the proposed Central Business zoning amendments that could affect this application, such as Pedestrian Frontage zone, parking requirements, streetscaping and landscaping, transitional buffer zones, sustainable site design, Outdoor Amenity Space, setbacks, design standards, access streets, Public Realm requirements, or others. I recommend that the potential applicability and effect of the proposed zoning by-law amendments be discussed with the applicant during the public hearing process.

Barbara J. Saint Andre
Director, Community and Economic Development
Town of Medway
155 Village Street
Medway, MA 02053
(508) 321-4918

From: Susan Affleck-Childs

Sent: Thursday, March 25, 2021 2:53 PM

To: Michael Boynton <mboynton@townofmedway.org>; Jeff Lynch <ChiefLynch@townofmedway.org>; jwatson@medwaypolice.com; Bridget Graziano <bgraziano@townofmedway.org>; Jack Mee <jmee@townofmedway.org>; David Damico <ddamico@townofmedway.org>; Peter Pelletier <ppelletier@townofmedway.org>; Stephanie Carlisle <scarlisle@townofmedway.org>; Joanne Russo <jrusso@townofmedway.org>; Barbara Saint Andre <bsaintandre@townofmedway.org>; Doug Havens <dhavens@townofmedway.org>; Donna Greenwood <dgreenwood@townofmedway.org>

Cc: Sandy Johnston <sjohnston@townofmedway.org>

Subject: Request for Comments - Proposed Mixed Use Development Project at the corner of Main and Elm Streets

Hi,

The Medway Planning & Economic Development Board has received an application from Thomas Steeves of Bellingham, MA for approval of a major site plan, a Central Business District mixed-use special permit, and a reduced parking special permit for a proposed mixed-use development on a 6.3 acre site located at 119A and 119B Main Street and 1 and 3 Elm Street (southeast corner of Main and Elm Streets).

PROJECT SUMMARY: The proposed development, known as “The Settlement”, includes six mixed-use, village style buildings, one at the front of the site facing Main Street and five at the back of the site, along with associated driveways, parking areas to accommodate 57 vehicles, landscaping, utility systems, and stormwater management systems. The proposal specifies a total of 12,544 sq. ft. of ground floor commercial/office space and 25,448 sq. ft. of residential space (26 apartment style dwelling units) of which 6 would be affordable.

PUBLIC HEARING – April 13, 2021: The applicant and their representative will present the proposed site plan to the PEDB on Tuesday evening, April 13th at 7:30 p.m. via ZOOM. The ZOOM access instructions will be included on the agenda for that meeting. The plan will be reviewed by Tetra Tech, the Board’s consulting engineer.

DOCUMENTS AVAILABLE FOR REVIEW:

- Major Site Plan Application.
- Mixed-Use Special Permit Application.
- Reduced Parking Special Permit Application.
- Site Plan and Special Permit Project Narrative.
- Development Impact Statement.
- *The Settlement, 1657, Medway MA* Site Plan, dated March 8, 2021, prepared by Legacy Engineering, of Millis, MA.
- *Waiver Requests*
- Stormwater Calculations Report prepared by Legacy Engineering LLC. of Millis, MA,

The applications, site plan, and associated documents are on file at the offices of the Town Clerk and the Planning and Economic Development Board. The materials have also been posted at: <https://www.townofmedway.org/planning-economic-development-board/pages/settlement-1657-119-main-street>

COMMENTS REQUESTED: Please review the referenced site plan and provide any written comments to me by Wednesday, April 7th. Thanks.

QUESTIONS: If you have any questions, please do not hesitate to contact me.

Best regards,

Susy

Susan E. Affleck-Childs
Planning and Economic Development Coordinator
Town of Medway
155 Village Street
Medway, MA 02053
508-533-3291
sachilds@townofmedway.org

Susan Affleck-Childs

From: David Damico
Sent: Monday, March 29, 2021 4:21 PM
To: Susan Affleck-Childs
Cc: Stephanie Carlisle; Peter Pelletier; Bridget Graziano
Subject: RE: Request for Comments - Proposed Mixed Use Development Project at the corner of Main and Elm Streets

Susy,

As I look at the plans submitted, if they are taken as stand alone documents with no knowledge of any other development in this area, you come to the conclusion that there are some serious drainage concerns here and conservation impacts. If you had information of development proposed at 5 Elm, existing flooding concerns on Kelley Street, Villa Drive neighborhood, Cottage Street/Elm Street area, and beyond, it's clear that this proposed development sits right in the middle of a major drainage channel. I fear that it's impact could be as little as creating a dam resulting in new flooding of surrounding areas to as large as creating a shift in the wetland areas that currently exist. Choking off some and trying to add new (aka flooding).

I see that the applicant has asked for waiver from an Environmental Impact Assessment. This should not be waived. A thorough modeling of the drainage basin is needed to fully comprehend what the impacts are of this proposed development coupled with the other development proposed in the same area. The assessment should include a thorough soils analysis and impacts of snow storage as proposed. I would imagine the soils do not drain well here making infiltration difficult. Snow storage areas will also impact drainage routes and infiltration capacity. Without some very good forethought, the area neighborhoods could be severely impacted, as well as, the development itself in my opinion.

Thanks,

Dave
Medway DPW Director
Town of Medway
45B Holliston Street
Medway, MA 02053
508-533-3275
Check us out on-line at www.townofmedway.org

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From: Susan Affleck-Childs <sachilds@townofmedway.org>
Sent: Thursday, March 25, 2021 2:53 PM
To: Michael Boynton <mboynton@townofmedway.org>; Jeff Lynch <ChiefLynch@townofmedway.org>; jwatson@medwaypolice.com; Bridget Graziano <bgraziano@townofmedway.org>; Jack Mee <jmee@townofmedway.org>; David Damico <ddamico@townofmedway.org>; Peter Pelletier <ppelletier@townofmedway.org>; Stephanie Carlisle <scarlisle@townofmedway.org>; Joanne Russo <jrusso@townofmedway.org>; Barbara Saint Andre <bsaintandre@townofmedway.org>; Doug Havens <dhavens@townofmedway.org>; Donna Greenwood <dgreenwood@townofmedway.org>

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COMMENTS REQUESTED: Please review the referenced site plan and provide any written comments to me by Wednesday, April 7th. Thanks.

QUESTIONS: If you have any questions, please do not hesitate to contact me.

Best regards,

Susy

Susan E. Affleck-Childs
Planning and Economic Development Coordinator
Town of Medway
155 Village Street
Medway, MA 02053
508-533-3291
sachilds@townofmedway.org

Central Business District
APPROVED BY PEDB 3-31-21

ARTICLE 21: To see if the Town will vote to amend the Zoning Bylaws, by deleting Section 5.4.1 in its entirety and adding a new Section 10, CENTRAL BUSINESS DISTRICT DEVELOPMENT STANDARDS; and by amending Section 5.4, Table 1, Schedule of Uses, and amending Section 6.1 Schedule of Dimensional and Density Regulations and Table 2; all as follows:

Add the following new Section 10:

SECTION 10: CENTRAL BUSINESS DISTRICT DEVELOPMENT STANDARDS

10.1. PURPOSES

- A. To further the goals of the Medway Master Plan.
- B. To encourage mixed-use development in the Central Business District with a balanced and vibrant mix of compatible business uses and multi-family residential development.
- C. To encourage revitalization and economic investment in the Central Business District in a manner which represents the qualities of a traditional New England town center.
- D. To encourage greater variety of housing to meet the needs of a diverse population with respect to income, ability, household types, and stage of life.
- E. To improve walkability within the district and provide better access between housing, shops, services, and employment.

10.2. GENERAL SITE DEVELOPMENT STANDARDS

Uses which are allowed in the Central Business District by right or by special permit shall be required to meet the following performance standards.

A. Vehicle Fuel Station With Convenience Store.

New vehicle fuel stations are prohibited in the Central Business District. A special permit from the Planning and Economic Development Board is required for substantial redevelopment or renovation of an existing Vehicle Fuel Station with Repair Service or Vehicle Fuel Station with Convenience Store in the Central Business District as a Gas Station and Convenience Store under the development standards on Table 9.4.C.1.B.

B. Main Street Pedestrian Frontage Zone.

- 1. The Main Street Pedestrian Frontage Zone includes all properties with frontage on Route 109(Main Street). These frontages are prioritized for pedestrian-oriented ground floor uses. Buildings fronting on the designated Pedestrian Frontage Zone shall be subject to the following requirements:
 - a. Ground floor uses shall be reserved for retail, restaurant, and other non-residential uses open to the public on an appointment or walk-in basis, including but not limited to personal service, office, repair, and municipal uses (“Publicly Oriented Uses”).

- b. Residential uses and non-residential uses that are not Publicly Oriented Uses shall be allowed to have access through the front of a building in the Pedestrian Frontage Zone by an entrance that leads to the upper floors of the building, or by an entrance to the rear of the building.
- c. Residential uses and non-residential uses that are not Publicly Oriented Uses shall be allowed on ground floors only where:
 - 1) The use is within a building with frontage on the street and the use is set back a minimum of sixty feet from the street right-of-way line; or
 - 2) The PEDB has waived this requirement after determining that street-front residential and/or other non-Publicly Oriented Uses on the ground floor will not have an adverse impact on the continuity and vitality of the Pedestrian Frontage Zone.

C. Building Placement and Orientation.

- 1. Building Lot and Type: The minimum lot size in the Central Business District is identified on Table 2 - Dimensional and Density Regulations in Section 6.1 of the Zoning Bylaws. For specific building types, there are alternative dimensional standards for building lot and for building design that apply under Section 10.4 below.
- 2. Number of Buildings: There is no limit on the number of principal buildings allowed on a building lot except as limited by dimensional requirements and other site development standards in this section.
- 3. Building Step-back: Buildings in the Central Business District shall be setback or stepped back from the street right-of-way line in accordance with Table 9.3.B.6 for the Village Center Street Type. Therefore, a building may have to be set back or stepped back further from the street right-of-way line in order to achieve the maximum height allowed. The purpose of this requirement is to enhance the pedestrian environment and prevent excessive enclosure and shadowing on Main Street. The space created by building setbacks is referred to as the Building Frontage Zone. The Building Frontage Zone is regulated under Sections 10.2.E.2 and 10.5.B below.
- 4. Façade Orientation: Buildings located within sixty feet of a street right-of-way line must be built parallel to the street, with the front façade and entrance of the building oriented to the public sidewalk.

D. Parking Requirements.

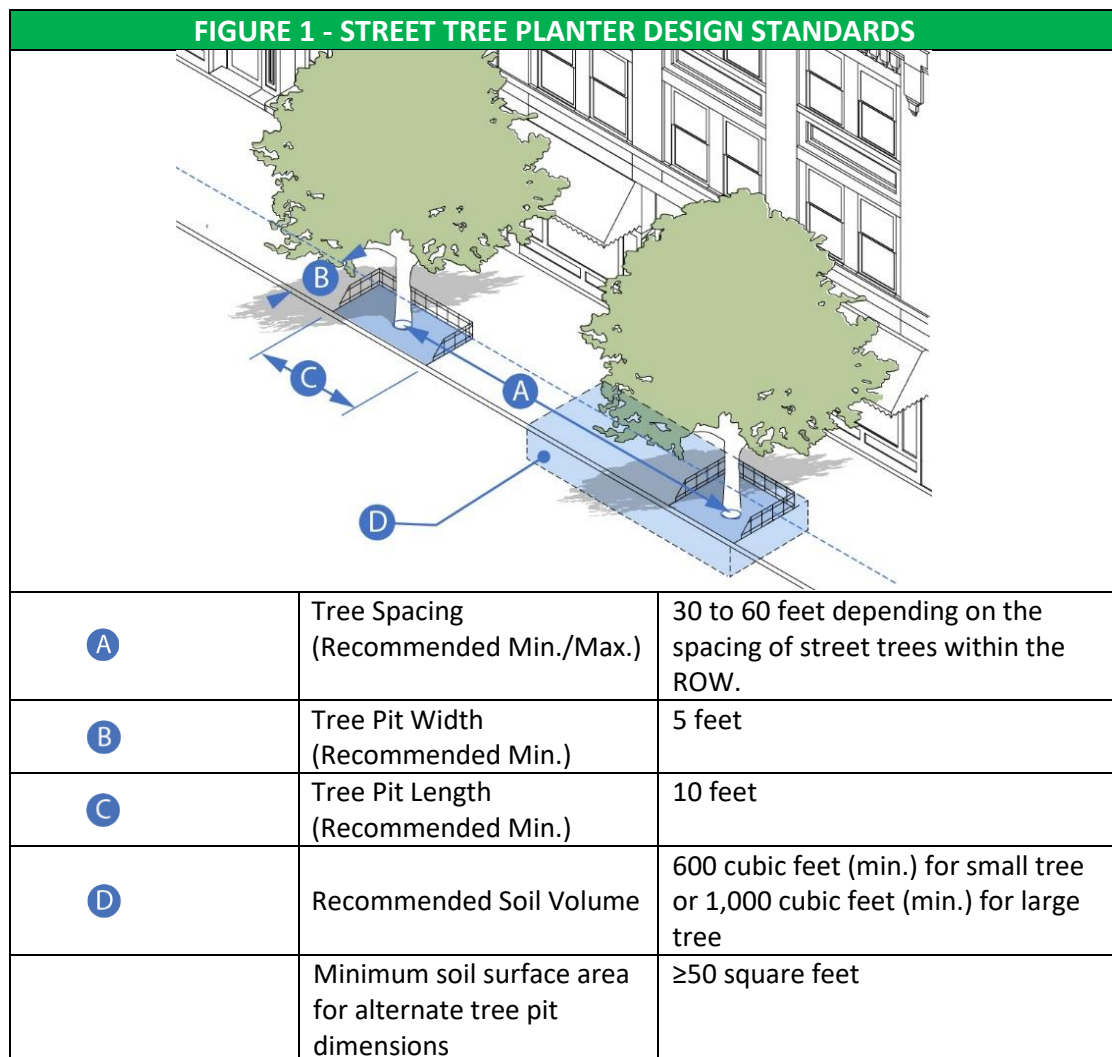
- 1. Purpose and Intent. The purpose and intent in applying parking standards in the Central Business District are as follows:
 - a. To improve walkability by minimizing sidewalk interruptions and conflict points between pedestrians, cyclist, and vehicles on Main Street and on site.
 - b. To ensure adequate parking for existing and new development while minimizing excessive and inefficient off-street parking areas
 - c. that result in lost opportunities to develop new buildings that expand business and the tax base.
 - d. To encourage the use of public transportation, bicycling, and walking as an alternative to motor vehicle use when a choice of travel mode exists.

2. Applicability. The parking requirements in Section 7.1.1 shall apply to the Central Business District with the following adjustments:
 - a. Off-Street Parking Requirements. In the Central Business District (CB) the minimum number of off-street parking spaces required by use on Table 3 in Section 7.1.1.D. shall be interpreted to be both the minimum and the maximum amount of parking spaces required. A reduction of parking may be allowed by special permit under Section 7.1.1.J. Additional off-street parking spaces shall require a waiver from the PEDB and the applicant shall demonstrate sufficiently that additional parking is necessary.
 - b. Parking Area Design. In addition to the standards provided in Section 7.1.1.F., the following standards shall be required in the Central Business District:
 - 1) Parking Area Plantings. In parking areas containing thirty or more spaces, a minimum of one deciduous tree and two shrubs exclusive of any required perimeter plantings must be planted for every three-thousand square feet of parking areas. When planted, deciduous trees must be a minimum height of ten feet and/or two and one half inches in caliper. Planting areas must each contain not less than fifty square feet of unpaved soil area. Trees and soil plots shall be so located as to provide visual relief and wind interruption within the parking area, and to assure safe patterns of internal circulation.
 - 2) Internal Pedestrian Access. In parking areas with more than seventy-five spaces, the expanse of pavement shall be interrupted by separating rows of parking spaces from each other with a combined planting strip and sidewalk at least eight feet in width. Design of these planting strips/sidewalks shall take into account the need to store snow, locate light poles, install deciduous trees, and allow safe pedestrian movement. In addition, if an existing parking area is expanded to over seventy-five spaces, the combined planting strip and sidewalk requirement shall apply to the entire parking area. All proposals to construct or modify parking areas with more than seventy-five spaces are subject to site plan review.
 - c. Parking Placement. As an exception to Section 7.1.1.G., all off-street parking shall be located behind or beside buildings located in the Pedestrian Frontage Zone and within sixty feet of the Main Street right-of-way line. Vehicular parking between the front building line and the street right-of-way line is permitted only if the Planning and Economic Development Board grants a special permit and the applicant can demonstrate that no other reasonable alternative exists.
 - d. Temporary Use of Off-Street Parking. In addition to provisions for reduced parking in Section 7.1.1.J., excess parking spaces may be reprogrammed and utilized for temporary commercial uses such as for seasonal retail sales, food trucks, farmers' markets, craft shows, live entertainment, auxiliary space for one or more restaurants, and similar commercial uses. Such temporary use of excess parking spaces requires a special permit from the PEDB, and the applicant shall demonstrate that the excess parking spaces are not necessary to support existing businesses on site, and that the temporary commercial use provides a sufficient level of safety for users.

E. Streetscaping, Landscaping and Screening.

1. General Standards. Landscaping shall comply with the Planning and Economic Development Board Rules and Regulations, Chapter 200 - Site Plans – Rules & Regulations for Submission and Review of Site Plans, Section 205-9. In the event of any conflict between the provisions of this bylaw and the provisions of said Regulations, the provisions of this bylaw shall apply.

2. **Streetscape Treatments.** In the Building Frontage Zone between the Main Street right-of-way line and the front facade of the building, streetscape treatments should be coordinated and complimentary to the public sidewalk and streetscape treatments within right-of way.
 - a. **Sidewalk Expansion.** A concrete walkway or terrace may be installed adjacent to the public sidewalk within the Building Frontage Zone where no landscaping has been installed on the outer edge of the right-of-way, in effect, expanding the public sidewalk. This expansion is required along the entire length of the frontage, connecting to existing or future sidewalk extensions on adjacent lots.
 - b. **Street Trees.** Deciduous street trees may be installed in the Building Frontage Zone that compliment street trees within the street right-of-way. Trees shall be a minimum of three and one-half inch caliper at least four feet above grade and of native species common to the area. They should be planted in accordance with the recommended standards set forth below in Figure 1. The trees should be drought and salt tolerant. They should be regularly trimmed to provide clear visibility into the site from the street and provide shade over the walkway.



- c. **Ground Cover.** Low lying and low maintenance grasses, shrubs, bushes, flowers, and similar vegetative ground cover may be planted adjacent to the street right-of-way line.

All ground cover must be maintained at a height of no more than thirty inches to avoid blocking visibility for drivers entering or exiting the site.

- d. Other Enhancements in the Building Frontage Zone. Additional treatments and design standards are identified in Section 10.5.B.
3. Transitional Buffer Requirements. Transitional buffers are required between properties in the Central Business District and abutting properties in residential districts to create a compatible transition with the surrounding neighborhoods. Transitional buffers may include any combination of natural or landscaped screening and fencing that provides an opaque visual barrier to a minimum height of eight feet above the ground installed along the property boundary line. Where transitional buffers are required, all buildings, accessory structures, and loading areas shall be set back a minimum of seventy-five feet, and parking shall be set back a minimum of fifty feet, from the property line where the transitional buffer is to be installed.
4. Public Utilities. All new public utilities (except structures and other facilities that require above-grade access) shall be installed underground.
5. Trash and Service Areas.
 - a. All service, loading, trash, and recycling storage areas viewable from a public right of way or from an adjacent residential district shall be screened by one or a combination of masonry, a wood screen, or evergreen plantings to reduce their visual impact.
 - b. Loading and service areas shall not be visible from any public street or any property in a residential district unless no other location is feasible. Sufficient landscaping and screening of loading and service areas shall be required.
 - c. Garage doors and loading spaces are prohibited on the street facing façade of any commercial, mixed-use, or multi-family building unless no other location is feasible.
6. Sustainable Site Design Standards. Sustainable Design and Low Impact Development (LID) techniques shall be used in the Central Business District to reduce stormwater runoff, improve water quality, maintain canopy tree cover, protect natural landscapes, install appropriate planting materials, and encourage the production of local food. In achieving the requirements of this section, applicants shall comply with sustainable and low impact development techniques provided in the Planning & Economic Development Board Rules and Regulations, Chapter 200 - Site Plans – Rules & Regulations for Submission and Review of Site Plans, Section 205-4; Massachusetts Stormwater Management Standards; and Town of Medway General Bylaws Article XXVI, Stormwater Management and Land Disturbance.

F. Outdoor Amenity Space

1. General Standard. The amount of outdoor amenity space provided within a site development shall be at least fifteen percent of the lot or development site. Up to fifty percent of the required minimum amount of open space required in Section 6, Table 2 – Dimensional and Density Regulations may be used for Outdoor Amenity Spaces. Outdoor amenity space shall not include transitional buffer areas, landscaping within parking areas, or general landscaping alongside yard setbacks.
2. Permitted Outdoor Amenity Spaces. The outdoor amenity spaces and associated design

standards identified in Table 9.6.B.1. and permitted in the Central Business District are listed below. The total amount of required outdoor amenity space may include any combination of the following:

- a. Dooryard (Residential Buildings Only)
 - b. Forecourt
 - c. Community Garden (Residential Buildings Only)
 - d. Courtyard
 - e. Plaza or Square
 - f. Pocket Park or Playground (Residential Buildings Only)
 - g. Outdoor Dining Terrace
 - h. Rooftop Terrace
3. Building Outdoor Amenity Spaces. Outdoor amenity spaces for individual buildings include rooftop gardens and terraces, decks, porches, stoops, balconies, pedestrian passages, and similar accessory spaces where outdoor seating can be provided.
 4. Other Outdoor Amenity Space Types. Permitted by special permit by the PEDB.

G. Signs. The sign regulations in Section 7.2 shall apply to the Central Business District except for the variations under Public Realm Interface in Section 10.5.B below.

10.3. MIXED-USE DEVELOPMENT STANDARDS

A. Applicability

1. The PEDB may grant a special permit for a Mixed-Use Development or a Mixed-Use Building in the Central Business District to include any combination of uses allowed by right and uses allowed by special permit as specified in Table 1 – Schedule of Uses.
2. The provisions of this Section are available by special permit from the Planning and Economic Development Board for uses permitted by right in order to achieve a flexible site design.

B. Definitions: See definitions of Mixed-Use Development, Mixed-Use Building, and Multi-Family Building in SECTION 2 DEFINITIONS.

C. Dimensional Requirements.

1. Mixed-Use and Residential Development. The dimensional requirements for the Central Business District are provided in Section 6.1. Schedule of Dimensional and Density Regulations. For residential and mixed-use development, however, the following standards apply.
 - a. Front-yard Setback Encroachments. Principal buildings shall be set back a minimum of 10 feet from the front lot line. Architectural features such as bay windows, porches, balconies, porticos, canopies, etc. shall not be subject to the ten-foot minimum setback.
 - b. Side-Yard and Rear-Yard Setbacks. Notwithstanding the provisions of Section 10.2.E.3, there shall be a minimum setback of 25 feet from all side and rear lot lines abutting a

residential zoning district, of which the first ten feet nearest each lot line shall not be used for the parking or storage of vehicles and shall be suitably landscaped. There is no side-yard or rear-yard setback for properties abutting other properties within the Central Business district.

- c. Maximum Building Height: Residential and mixed-use buildings shall not exceed sixty feet in height, and are subject to the building height step back requirements in Section 10.2.C.3.

D. Residential Uses in a Mixed-Use Development.

1. Combination of Uses in a Mixed-Use Building. A mixed-use building shall include multi-family residential units and one or more retail, municipal, service, office, commercial or other business uses allowed in the zoning district (hereinafter referred to as “business uses”) in at least the minimum percentages as set forth in Subsection D.2 below.
2. Percentage and Location of Uses in a Mixed-Use Building. Except as provided in Section D.4 below, in a two-story building at least fifty percent of the gross floor area shall be comprised of business uses, and no more than fifty percent of the gross floor area shall be comprised of multi-family dwelling units and any common areas and support facilities associated with those multi-family dwelling units. In a three-story building, at least thirty-three percent of the gross floor area shall be comprised of business uses, and no more than sixty-seven percent of the gross floor area shall be comprised of multi-family dwelling units and any common areas and support facilities associated with those multi-family units. In a building of four stories or more, at least twenty-five percent of the gross floor area shall be comprised of business uses, and no more than seventy-five percent of the gross floor area shall be comprised of multi-family dwelling units and any common areas and support facilities associated with those multi-family units. The gross floor area comprised of business uses may include hallways, lobbies, maintenance areas, security areas, closets, and other areas which serve exclusively the business uses in that building.
3. Residential Use On Ground Floor Exception. Multi-family dwelling units may not be located on the ground floor of a mixed-use building or development unless:
 - a. The building with the multi-family dwelling units is set behind another building which has business uses on the ground floor and a front façade that faces a public way or primary access drive; or
 - b. The residential portion of the ground floor is located behind the business uses within the same building which has a front façade that faces a public way or primary access drive.
4. Residential Buildings in Mixed-Use Development. A mixed-use development may include a stand-alone building comprised of only multi-family dwelling units and common areas and support facilities associated with those multi-family dwelling units provided that the multi-family building shall meet the requirements of Section 10.3.D.5 below and shall be set back at least two hundred feet from the Main Street right-of way line on the north side and one hundred feet from the Main Street right-of-way line on the south side.
5. Ratio of Residential to Business GFA in a Mixed-Use Development. A stand-alone building comprised of only multi-family dwelling units and common areas and support facilities associated with those multi-family dwelling units shall be permitted in a Mixed-Use

Development only as part of a Mixed-Use Development that complies with the business use potential. The business use potential of a Mixed-Use Development shall be the total percentage of gross floor area of all existing and/or proposed buildings in the Development that is required to be comprised of business uses pursuant to Section D.2 above. .

6. Affordability Requirements. The provisions of Section 8.6. Affordable Housing shall apply to Mixed-Use Developments.

E. Special Permit Review Criteria:

1. Special permits granted under this Section 10.3 are not subject to the special permit criteria under Section 3.4.
2. Before granting a special permit for a mixed-use development or flexible site design of a permitted use in the Central Business district, the PEDB shall find that all of the following criteria are met:
 - a. The proposed uses and site design represent the qualities of a traditional New England town center;
 - b. The proposed site design is environmentally sound and is readily accessible to and useable by pedestrians;
 - c. The proposed site design reflects and advances the goals and objectives of the Medway Master Plan as updated;
 - d. Adequate pedestrian and (where applicable) vehicular linkages within the site and connecting to abutting properties are provided;
 - e. Streets, driveways, sidewalks, landscaped areas and public services are laid out in a safe manner;
 - f. Any detrimental impacts of the use on abutting properties and/or residential neighborhoods have been adequately mitigated; and
 - g. The site design incorporates the site's existing topography and protects natural features to the maximum extent feasible.

10.4. BUILDING TYPES AND DESIGN STANDARDS

A. Building Façade Composition and Architectural Features.

1. Building Transparency: Street facing façades shall have windows and doors with highly transparent, low reflectivity glass measured on the ground floor between two feet and twelve feet. Upper floor transparency may vary with use.
2. Building Articulation and Modulation: Street-facing building façades should be vertically articulated with architectural bays to create an equal, central, or end articulated façade composition. Street-facing building façades should be horizontally articulated with a clearly defined base, middle, and top. See Diagram 9.3.C.2.
3. Surface Relief with Architectural Features: Street-facing building façades should provide surface relief through the use of bay windows, cladding, columns, corner boards, cornices, door surrounds, moldings, piers, pilasters, sills, sign bands, windows, and other architectural features that either recess or project from the average plane of the façade by at least four inches. See Diagram 9.3.C.3.

B. Exterior Treatments.

Unless otherwise required by the State Building Code, Fire Code, or other regulation, traditional construction materials such as brick, stone, clapboard, and shingle are suggested construction materials. Other contemporary construction materials such as glass, metal, block, and other siding materials may be appropriate in certain instances when compatible with more traditional materials. The main elements of the architectural treatment of the building's street-facing façade, including the materials used, should be continued around all sides of the building that are visible from existing streets or Outdoor Amenity Spaces.

C. Commercial, Residential and Mixed-Use Building Types.

1. Building Design Standards: The building types and associated design standards permitted in the Central Business District are identified below:
 - a. Rowhouse (RH) on Separate Lot as set forth in TABLE 9.4.C.1.A.
 - b. Rowhouse (RH) on Common Lot as set forth in TABLE 9.4.C.1.A.
 - c. Multi-Family Building as set forth in TABLE 9.4.C.1.A.
 - d. Mixed-Use Building as set forth in TABLE 9.4.C.1.B.
 - e. General Commercial Building as set forth in TABLE 9.4.C.1.B.
 - f. Hotel as set forth in TABLE 9.4.C.1.B.
 - g. Gas Station and Convenience Store as set forth in TABLE 9.4.C.1.B, applicable only to substantial redevelopment or renovation of existing vehicle fuel stations with repair or vehicle fuel stations with convenience store pursuant to Section 10.2.A.
 - h. Civic or Community Building as set forth in TABLE 9.4.C.1.C.
2. Alternative Building Types: If the Building Commissioner cannot classify a proposed new building as one of the building types specifically allowed by this section, the building type is subject to issuance of a special permit by the PEDB.

10.5. PUBLIC REALM STANDARDS

A. Access Street Design Standards.

Access streets provide internal site access from existing public streets in the Central Business District. Access streets shall be engineered and constructed in accordance with the design standards in Section 7 of the Medway PEDB Land Subdivision Rules and Regulations. In the event of any conflict between the provisions of this bylaw and the provisions of said Regulations, the provisions of this Bylaw shall apply. Access streets must have a minimum cross section of twenty-four feet with two travel lanes and at least one sidewalk connecting the public sidewalk with the front entrance of a primary building on site. Access streets may also include sidewalks on both sides, on-street parking, street trees, curb extensions, and crosswalks under the design standards in Section 9.7.B and as illustrated in DIAGRAM 9.7.B.5.

B. Public Realm Interface

1. Building Frontage Zones. A Building Frontage Zone is the setback space between the street facing façades of the building and the street right-of-way line (See DIAGRAM 9.7.C.1.).

2. Building Interface with Main Street ROW Line. Selected building interfaces and related interactive components on TABLE 9.7.C.2. may be permitted with a special permit from the PEDB in the Building Frontage Zone (BFZ) when they contribute to vibrant spaces for the enjoyment of the public and do not interfere with the public sidewalk. Standards for permissible building interfaces are set forth in TABLE 9.7.C.2. and allowed in the Central Business District as follows:
 - a. Sidewalk Dining (Building Frontage Zone only)
 - b. Storefront Display (Building Frontage Zone only)
 - c. Sidewalk Sign (Building Frontage Zone only)
 - d. Projecting Sign (Building Frontage Zone and over the public sidewalk)
 - e. Awning (Building Frontage Zone only)
 - f. Balcony (Building Frontage Zone only)
 - g. Bay Window (Building Frontage Zone only)
 - h. Gallery (Building Frontage Zone only)

[illegible]

B. PUBLIC SERVICE													
Municipal use	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y
Public utility	SP	SP	SP	SP	Y	Y	Y	Y	Y	Y	N	N	N
C. RESIDENTIAL USES													
Detached single-family house (Amended 5-7-17)	Y	Y	Y	N	Y	N	N	N	N	N	N	N	Y ¹
Two-family house/duplex, provided that the exterior of the dwelling has the appearance of a single-family dwelling. (Amended 5-7-17)	N	SP	SP	N	N	N	N	N	N	N	N	N	N
Infill dwelling unit, subject to Section 8.1.	N	PB	PB	N	N	N	N	N	N	N	N	N	N
Open space residential development, subject to Section 8.4	PB	PB	N	N	N	N	N	N	N	N	N	N	N
Assisted living residence facility	PB	PB	N	N	N	N	N	N	N	N	PB	N	N
Adult retirement community planned unit development, subject to Section 8.5	PB	PB	N	N	N	N	N	N	N	N	N	N	N
Rowhouse subject to Section 10.0	N	N	N	PB	N	N	N	N	N	N	Y²	N	Y
Multi-Family Building, Apartment Building, and Multi-Family Development (Amended 11-18-19)	Allowed by special permit from the Planning and Economic Development Board in the Multi-Family Overlay District (See Section 5.6.4) and the Medway Mill Conversion Subdistrict (See Section 5.6.2 E).										Y ²	N	Y
Mixed-Use Development and Mixed-Use Building subject to Section 10.0 5.4.1- (Amended 11-16-20)	N	N	N	PB	N	N	N	N	N	N	Y	Y	N
Long-term care facility	SP	SP	N	N	N	N	N	N	N	N	PB	N	PB
Accessory Uses													
Accessory family dwelling unit, subject to Section 8.2	SP	SP	SP	N	SP	N	N	N	N	N	N	N	N
Home-based business, subject to Section 8.3	Y	Y	Y	N Y	Y	N	N	N	N	N	Y	N	Y
Boathouse	Y	Y	N	N	N	N	N	N	N	N	N	N	N
Greenhouse	Y	Y	Y	N	N	N	N	N	N	N	Y	N	Y
D. BUSINESS USES													
Retail Trade													
Retail bakery (Added 11-16-15)	N	N	N	Y	Y	Y	Y	N	N	N	Y	Y	N
Retail sales	N	N	N	Y	Y	Y	Y	N	N	N	Y	Y	N
Retail store larger than 20,000 sq. ft.	N	N	N	SP PB	N	N	SP	N	N	N	PB	PB	N
Retail sales, outdoors	N	N	N	N	N	N	Y	N	N	N	N	PB	N

Shopping center/multi-tenant development	N	N	N	SP PB	N	SP	SP	N	N	N	PB	PB	N
Auto parts	N	N	N	N	N	N	Y	N	N	N	N	N	N
Florist	N	N	N	Y	Y	Y	Y	N	N	N	Y	Y	N
Indoor sales of motor vehicles, trailers, boats, farm equipment, with accessory repair services and storage, but excluding auto body, welding, or soldering shop (Amended 11-16-20)	N	N	N	N	N	N	N	N	N	N	N	PB	N
Hospitality and Food Services													
Restaurant providing food within a building, which may include outdoor seating on an adjoining patio	N	N	N	Y	Y	Y	Y	N	N	N	Y	Y	N
Restaurant providing live entertainment within a building, subject to license from the Board of Selectmen	N	N	N	Y	SP	SP	N	N	N	N	Y	Y	N
Brew pub	N	N	N	Y	Y	Y	Y	N	N	N	Y	Y	N
Motel (Amended 11-16-20)	N	N	N	SP PB	N	N	N	N	N	Y	PB	PB	N
Hotel (Amended 11-16-20)	N	N	N	SP PB	N	N	N	N	N	Y	Y	Y	N
Bed and breakfast	SP	N	N	N	N	N	N	N	N	N	Y	N	PB
Inn	SP	SP	SP	SP	SP	N	N	N	N	N	Y	N	N
Cultural and Entertainment Uses													
Studio	N	N	SP	Y	Y	Y	N	N	N	N	Y	Y	N
Museum	N	N	N	Y	SP	SP	N	N	N	N	Y	PB	N
Movie theatre/cinema	N	N	N	SP	N	N	N	N	N	N	Y	PB	N
Gallery	N	N	N	Y	Y	Y	N	N	N	N	Y	PB	N
Commercial indoor amusement	N	N	N	SP	N	N	Y	Y	Y	Y	Y	Y	N
Professional Uses and Financial Services													
Financial institution	N	N	N	Y	Y	Y	Y	N	N	N	Y	Y	N
Professional or business office	N	N	N	Y	Y	Y	Y	Y	Y	Y	Y	Y	N
Services													
Personal care service establishments	N	N	N	Y	Y	Y	Y	N	N	N	Y	Y	N
Service establishment (Amended 11-13-17)	N	N	N	Y	Y	Y	Y	N	N	N	Y	Y	N
Doggie day care	N	N	N	N	N	N	SP	N	N	N	N	Y	N
Repair shop	N	N	N	N Y	Y	Y	Y	SP	N	N	Y	Y	N

Furniture Repair	N	N	N	N Y	Y	Y	Y	SP	N	N	N	Y	N
Educational/instructional facility, commercial	N	N	N	Y	Y	Y	Y	Y	N	N	Y	PB	N
Funeral home	SP	SP	N	SP	Y	Y	Y	N	N	N	N	N	N
Veterinary hospital	SP	SP	N	N PB	N	Y	Y	N	N	N	N	PB	N
Kennel	SP	SP	SP	N	SP	N	SP	SP	N	N	N	PB	N
Medical office or clinic	N	N	N	Y	Y	Y	Y	N	N	N	Y	Y	N
Adult day care facility, subject to Section 8.5	PB	PB	N	N PB	N	N	N	N	N	N	N	N	N
Automotive Uses													
Vehicle fuel station with repair services⁴	N	N	N	N PB	N	N	PB	N	N	N	N	N	N
Vehicle fuel station with car wash	N	N	N	N	N	N	PB	N	N	N	N	N	N
Car wash	N	N	N	N	N	N	PB	N	N	N	N	PB	N
Vehicle fuel station with convenience store⁴	N	N	N	N PB	N	N	PB	N	N	N	PB	N	N
Vehicle repair	N	N	N	N	PB	N	PB	Y	N	N	N	Y	N
Auto body shop	N	N	N	N	N	N	PB	Y	N	N	N	Y	N
Parking Lot <i>(Added 11-16-20)</i>	N	N	N	N	N	N	N	N	N	N	N	N	N
Other Business Uses: Unclassified													
Adult uses	N	N	N	N	N	N	N	Y	N	N	N	N	N
Mixed-Use Development and Mixed-Use Building subject to Section 10.0 5.4.1 <i>(Added 11-16-20)</i>	N	N	N	PB	N	N	N	N	N	N	Y	Y	N
Accessory Uses													
Drive-through facility <i>(Amended 11-16-20)</i>	N	N	N	N PB	N	PB	PB	N	N	N	PB	PB	N
Outdoor display	N	N	N	SP	SP	SP	SP	N	N	N	Y	Y	N
Outdoor storage of materials and parking of vehicles and equipment associated with a business operated in a building on the premises, subject to Section 7.1.3 of the Zoning Bylaw. <i>(Amended 11-18-19)</i>	N	N	N	N	N	N	Y	Y	N	Y	N	PB	N
E. INDUSTRIAL AND RELATED USES													
Warehouse/distribution facility	N	N	N	N	N	Y	N	Y	Y	Y	N	PB	N
Wholesale bakery <i>(Added 11-16-15)</i>	N	N	N	N	N	N	N	Y	Y	Y	N	Y	N
Wholesale showroom or office, including warehouse	N	N	N	N	N	N	Y	Y	Y	Y	N	Y	N

Manufacturing <i>(Amended 5-8-17)</i>	N	N	N	N	N	N	Y	Y	Y	Y	N	Y	N
Light Manufacturing <i>(Added 5-8-17)</i>	N	N	N	N	N	Y	Y	Y	Y	Y	N	Y	N
Contractor's yard	N	N	N	N	N	N	Y	Y	N	N	N	PB	N
Research and development	N	N	N	N	N	N	Y	Y	Y	Y	N	Y	N
Brewery	N	N	N	N	N	N	Y	Y	Y	Y	N	Y	N
Research and development and/or manufacturing of renewable energy products <i>(Amended 11-16-20)</i>	N	N	N	N	N	N	Y	Y	Y	Y	N	Y	N
Bulk Storage <i>(Added 11-18-19)</i>	N	N	N	N	N	N	N	N	N	N	N	N	N
Electric power generation which includes large- scale ground-mounted solar photovoltaic installations with a rated name plate capacity of 250 kW (DC) or more and other Renewable Energy sources. <i>(Amended 11-16-20)</i>	N	N	N	N	N	N	N	N	Y	N	N	N	N
Gravel/loam/sand or stone removal, commercial	N	N	N	N	N	N	N	N	N	N	N	N	N
Accessory Uses													
Outdoor storage of materials and parking of vehicles and equipment associated with a business operated in a building on the premises, subject to Section 7.1.3 of the Zoning Bylaw <i>(Amended 11-18-19)</i>	N	N	N	N	N	N	Y	Y	Y	Y	N	PB	N
F. INSTITUTIONAL USES													
Community center	SP	SP	SP	SP	SP	SP	SP	N	N	N	Y	PB	PB
Lodge or club	SP	SP	SP	N PB	N	N	N	N	N	N	Y	Y	N
G. MARIJUANA RELATED USES													
Recreational Marijuana Establishment <i>(Added 3-19-18 and amended 5-21-18)</i>	N	N	N	N	N	N	N	PB	N	PB	N	N	N
Recreational Marijuana Retailer <i>(Added 3-19-18 and amended 5-21-18)</i>	N	N	N	N	N	N	N	N	N	N	N	N	N
Recreational Marijuana Social Consumption Establishment <i>(Added 5-21-18)</i>	N	N	N	N	N	N	N	N	N	N	N	N	N
Registered Medical Marijuana Facility (Retail) <i>(Added 5-21-18)</i>	N	N	N	N	N	N	PB	N	N	N	N	N	N

Registered Medical Marijuana Facility (Non-retail) (Added 5-21-18)	N	N	N	N	N	N	N	PB	N	PB	N	N	N
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Footnotes:

1. In the OGN District, detached single family homes are permitted if they meet the designs standards for cottages under Section 9.4

2. In the OGVC District **and CB District**, multi-family dwellings and developments include rowhouses (attached single family units) which are subject to the design standards under Section 9.4

3. Allowed by special permit from the Planning and Economic Development Board in the Multi-Family Overlay District (See Section 5.6.4) and the Medway Mill Conversion Subdistrict (See Section 5.6.2 E).

4. Vehicle fuel station with convenience store in the Central Business District (CB) is only allowed on the site of an existing vehicle fuel station with convenience store or an existing vehicle fuel station with repair services. Any substantial improvement to the existing building(s) or fueling station(s) shall require the site to comply with the design standards of Gas Station and Convenience Store in Section 9, Table 9.4.C.1.B

3/1/2021 - REVISED

And to amend Section 6.1 Schedule of Dimensional and Density Regulations & Table 2 as follows:
(deleted language shown in ~~strike through~~, added language shown in **bold**)

TABLE 2. DIMENSIONAL AND DENSITY REGULATIONS										
Requirement	AR-I	AR-II	VR	CB	VC	NC	BI	EI	ER	WI
Minimum Lot Area (Sq. Ft.)	44,000	22,500	22,500	10,000	10,000	20,000	20,000	20,000	20,000	40,000
		30,000 ^{a, b}	30,000 ^{a, b}							
Minimum Lot Frontage (Ft.)	180'	150'	150'	50' NA ^f	50'	50'	75'	100'	150'	100'
Minimum Setbacks (Ft) ^c										
Front	35'	35'	20' ^d	10'	20' ^d	35'	25'	30'	30'	30'
Side	15'	15'	10' ^d	10'	10' ^d	15'	15'	20'	20'	20'
				25' ^e						
Rear	15'	15'	10' ^d	25'	10' ^d	15'	15'	30'	30'	30'
Maximum Building Height (Ft.)	35'	35'	35'	40'	40'	40'	40'	60'	40'	60'

Maximum Lot Coverage (Pct. of lot) (Primary and accessory buildings and structures) – <i>Amended 5-8-17</i>	25%	30%	30%	80%	80%	40%	40%	NA	NA	NA
Maximum Impervious Coverage (Pct. of lot)	35%	40%	40%	NA	NA	80%	80%	80%	80%	80%
Minimum Open Space (Pct. of lot)	NA	NA	NA	15%	NA	20%	20%	20%	20%	20%

Notes to Table 2

NA means not applicable

- a. For a two family house. No parking shall be permitted within 10 feet of an adjoining lot line
- b. For a newly constructed two-family house or when a single family detached house is enlarged for 2 family house.
- c. When a nonresidential use abuts a residential use, the first 10 feet within the required side or rear setback of the nonresidential use along the lot line shall be used as a buffer
- d. Or the average setback of the existing primary buildings within 300' of the lot on the same side of the street and within the same zoning district, whichever is less.
- e. When abutting a residential district.
- f. Properties in the Central Business District that do not have frontage on a public street shall be required to have an easement of a least 30 feet in width providing access to a public street.**

Or to act in any manner relating thereto.

PLANNING AND ECONOMIC DEVELOPMENT BOARD



Town of Medway
DESIGN REVIEW COMMITTEE
155 Village Street
Medway MA 02053
508-533-3291
drc@townofmedway.org

April 12, 2021

TO: Medway Planning and Economic Development Board
FROM: Matthew Buckley, Chair
RE: DRC Comments –The Settlement - Site plan review
119A & B Main Street

Dear Members of the Medway Planning and Economic Development Board

The Medway Design Review Committee [DRC] is pleased to provide a comment letter for the proposed mixed-use special development at 119A & B Main Street. The DRC met with representatives of this project from Legacy Engineering, LLC and UDA Architects on April 5th, 2021. The DRC reviewed a plan set updated on March 8th and architectural elevations dated February 18th 2021. During the presentation a group of 3-dimensional architectural renderings were shown.

The DRC is satisfied that, to date, the applicant has made their best effort to bring the designs and layouts of the site in line with the Medway *Design Review Guidelines*. The architectural styles and level of details communicate their desire to create an attractive and appropriate site. The DRC provided a variety of recommendations to better achieve these goals. The applicant was receptive, and a constructive discussion progressed. At the conclusion, the applicant indicated that they would incorporate the recommendations where possible and return with reworked designs.

Those recommendations included.

- Develop a master signage plan for the site.
- Include indigenous elements, like stone walls and boulders.
- Limit massing of buildings that are visible from three or more sides. In particular the Plimpton and Frairy buildings.
- Limit dormer sizes that are visible and create more developed facades that are adjacent to these, to diminish appearance of mass.
- Further develop the design scheme of the Clark building by extending the broad frieze board and increasing fascia molding.
- Consider including various façade materials to create natural variety and further the concept of organic development of the front Clark building.

- Extend a sidewalk from internal site out to the Town right of way to create walkability.
- Create walkways from the rear parking area to the various destinations within the site.
- Consider a natural walking trail within the site.
- Include site amenities, like benches or pocket parks to establish areas of community.

The DRC recognizes that these plans are in an early phase, but a number of items remain to be reviewed. Among these are lighting fixtures, site signage and building colors or materials. The DRC remains available to review any of these elements or subsequent changes and will gladly provide feedback in the most effective manner that will assist these proceedings.

Sincerely,

A handwritten signature in black ink, appearing to read "Matthew J. Buckley". The signature is fluid and cursive, with the first name "Matthew" and last name "Buckley" clearly distinguishable.

Matthew Buckley
Chair



April 13, 2021

Ms. Susan E. Affleck-Childs
Medway Planning and Economic Development Coordinator
Medway Town Hall
155 Village Street
Medway, MA 02053

**Re: The Settlement
Mixed-Use Special Permit Site Plan Review
Elm Street/Main Street
Medway, Massachusetts**

Dear Ms. Affleck-Childs:

Tetra Tech (TT) has performed a review of the proposed Site Plan for the above-mentioned Project at the request of the Town of Medway Planning and Economic Development Board (PEDB). The proposed Project is located at the corner of Elm Street and Main Street in Medway, Massachusetts. The Project includes five (5) three-story mixed-use buildings, each containing four (4) residential units and commercial/office space, one (1) four-story mixed-use building containing six (6) residential units and commercial/office space as well as associated driveway, parking, utilities and stormwater infrastructure.

TT is in receipt of the following materials:

- A plan (Plans) set titled "The Settlement, 1657, Medway, MA, Site Plan" dated December 10, 2019, revised March 8, 2021, prepared by Legacy Engineering, LLC (LEL).
- An Application for Approval of Special Permit, dated March 10, 2021, prepared by LEL.
- An Application Package for Major Site Plan Approval, including waivers, dated March 10, 2021, prepared by LEL.
- Architectural renderings of proposed mixed-use buildings prepared by UDA Architects.

The Plans and accompanying materials were reviewed for conformance with Chapter 200 of the Town of Medway PEDB Rules and Regulations (Regulations), last amended October 8, 2019, and good engineering practice. Review of the project for zoning, stormwater and wetland related issues was not completed as these reviews are conducted by separate town permitting authorities. Our initial comments are provided below.

SITE PLAN REVIEW

1. The Applicant has not provided documentation regarding the water and sewer demand projected for the proposed development in the Project Narrative. (Ch. 200 §204-3.C.4)
2. The Applicant has not provided documentation regarding the proposed hours of operation for the retail/commercial uses for the proposed development in the Project Narrative. (Ch. 200 §204-3.C.6)
3. The Applicant has not provided documentation regarding the calculation of proposed lot coverage and impervious surface for the proposed development in the Project Narrative. (Ch. 200 §204-3.C.9)
4. The Applicant has not supplied a written Traffic Impact Statement. A waiver has been requested from this Regulation by the Applicant. (Ch. 200 §204-3.F.1)

5. The Applicant has not supplied a written Environmental Impact Assessment. A waiver has been requested from this Regulation by the Applicant. (Ch. 200 §204-3.F.2)
6. The Applicant has not provided documentation regarding the expected demand for municipal service for the proposed development in the Neighborhood Impact Assessment. (Ch. 200 §204-3.F.3)
7. Lot lines with dimensions are not shown on the Site Context Map. However, these dimensions are sufficiently shown in the Existing Conditions Plan. (Ch. 200 §204-5.B.3)
8. Existing topography at two-foot intervals is not provided in the Site Context Map. However, the topography of the existing conditions is sufficiently shown in the Existing Conditions Plan. We recommend the Applicant specify the source of the elevations provided and identify benchmarks on the Plans. (Ch. 200 §204-5.B.4)
9. An Existing Landscape Inventory, including the specific identification of existing trees with a diameter of 15 inches or greater at four feet above grade, trees that will be beneficial for screening, and tree drip lines, is not provided in the Plans. (Ch. 200 §204-5.C.3)
10. The Plans do not indicate the proposed depths of binder course or top course for the development. Applicant to ensure the pavement cross section meets the 3.5-inch minimum depth over 8 inches of gravel borrow as required in the Regulations. (Ch. 200 §204-5.D.4)
11. A Master Signage Plan is not provided in the submission. We recommend adding a “STOP” sign with stop bar at the main entrance off Main Street. (Ch. 200 §204-5.D.14)
12. Parking spaces shall not be located within 15 feet of the front, side, or rear property lines. A waiver has been requested from this Regulation by the Applicant. (Ch. 200 §207-12.G.3)
13. Landscaping buffers do not meet the 15-foot minimum requirement. A waiver has been requested from this Regulation by the Applicant. (Ch. 200 §207-19.B.2)

GENERAL COMMENTS

14. Provide a silt sack detail on the detail sheets. Inlet protection shall be provided in all structures that may be impacted during construction. Additionally, TT recommends a note be added to the “Erosion Control Detail (Filter Sock)” indicating the toe of the silt fence be embedded at least 6” to prevent sediment-laden water from traveling under the silt fence.
15. Proposed sidewalks are only provided in the front of each building. We recommend the Applicant consider extending the sidewalk to Main Street to prevent residents and employees from entering the roadway to access the existing sidewalk on Main Street.
16. A tree is proposed on the Landscaping Plan above the northeast corner of Infiltration Field #2. We recommend the tree be relocated away from the footprint of the infiltration system to prevent root migration and potential damage to the infiltration system.
17. We recommend the Applicant confirm connection of the proposed site water main to the existing main in Main Street, it appears the connection is being made at an existing stub at the property line. Additionally, we recommend either looping the water main or terminating the main at a hydrant, so it is able to be flushed to maintain water quality. All water main work to be coordinated with Medway DPW.
18. We recommend snow storage areas be relocated away from proposed handicap stalls to ensure snow stockpiles do not impede accessibility.
19. We recommend the Applicant coordinate with the Medway Water/Fire Department regarding proposed colors of hydrant.

20. Please provide proposed location for irrigation well, if applicable. Town water shall not be used to irrigate the site.
21. The building numbers for the four rear buildings appear to be incorrectly labeled, all as Building #3.
22. Please confirm the location of the bike rack, there is a discrepancy between the Layout Sheet and Planting Plan.

These comments are offered as guides for use during the Town's review and additional comments may be generated during the course of review. The Applicant shall be advised that any absence of comment shall not relieve them of the responsibility to comply with all applicable local, state and federal regulations for the Project. If you have any questions or comments, please feel free to contact us at (508) 786-2200.

Very truly yours,



Sara J. White, PE
Project Manager



Bradley M. Picard, EIT
Civil Engineer

P:\21583\143-21583-21005 (PEDB THE SETTLEMENT)\DOCS\THE SETTLEMENT-PEDBREV(2021-04-13).DOCX



Town of Medway
DESIGN REVIEW COMMITTEE
155 Village Street
Medway MA 02053
508-533-3291
drc@townofmedway.org

April 12, 2021

TO: Medway Planning and Economic Development Board
FROM: Matthew Buckley, Chair
RE: DRC Comments -The Settlement - Site plan review
119A & B Main Street

Dear Members of the Medway Planning and Economic Development Board

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Those recommendations included.

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- Limit dormer sizes that are visible and create more developed facades that are adjacent to these, to diminish appearance of mass.
- Further develop the design scheme of the Clark building by extending the broad frieze board and increasing fascia molding.
- Consider including various façade materials to create natural variety and further the concept of organic development of the front Clark building.

- Extend a sidewalk from internal site out to the Town right of way to create walkability.
- Create walkways from the rear parking area to the various destinations within the site.
- Consider a natural walking trail within the site.
- Include site amenities, like benches or pocket parks to establish areas of community.

The DRC recognizes that these plans are in an early phase, but a number of items remain to be reviewed. Among these are lighting fixtures, site signage and building colors or materials. The DRC remains available to review any of these elements or subsequent changes and will gladly provide feedback in the most effective manner that will assist these proceedings.

Sincerely,

A handwritten signature in black ink, reading "Matthew J. Buckley". The signature is written in a cursive, flowing style with a large, prominent "M" and "B".

Matthew Buckley
Chair



April 13, 2021

Ms. Susan E. Affleck-Childs
Medway Planning and Economic Development Coordinator
Medway Town Hall
155 Village Street
Medway, MA 02053

**Re: The Settlement
Mixed-Use Special Permit Site Plan Review
Elm Street/Main Street
Medway, Massachusetts**

Dear Ms. Affleck-Childs:

Tetra Tech (TT) has performed a review of the proposed Site Plan for the above-mentioned Project at the request of the Town of Medway Planning and Economic Development Board (PEDB). The proposed Project is located at the corner of Elm Street and Main Street in Medway, Massachusetts. The Project includes five (5) three-story mixed-use buildings, each containing four (4) residential units and commercial/office space, one (1) four-story mixed-use building containing six (6) residential units and commercial/office space as well as associated driveway, parking, utilities and stormwater infrastructure.

TT is in receipt of the following materials:

- A plan (Plans) set titled "The Settlement, 1657, Medway, MA, Site Plan" dated December 10, 2019, revised March 8, 2021, prepared by Legacy Engineering, LLC (LEL).
- An Application for Approval of Special Permit, dated March 10, 2021, prepared by LEL.
- An Application Package for Major Site Plan Approval, including waivers, dated March 10, 2021, prepared by LEL.
- Architectural renderings of proposed mixed-use buildings prepared by UDA Architects.

The Plans and accompanying materials were reviewed for conformance with Chapter 200 of the Town of Medway PEDB Rules and Regulations (Regulations), last amended October 8, 2019, and good engineering practice. Review of the project for zoning, stormwater and wetland related issues was not completed as these reviews are conducted by separate town permitting authorities. Our initial comments are provided below.

SITE PLAN REVIEW

1. The Applicant has not provided documentation regarding the water and sewer demand projected for the proposed development in the Project Narrative. (Ch. 200 §204-3.C.4)
2. The Applicant has not provided documentation regarding the proposed hours of operation for the retail/commercial uses for the proposed development in the Project Narrative. (Ch. 200 §204-3.C.6)
3. The Applicant has not provided documentation regarding the calculation of proposed lot coverage and impervious surface for the proposed development in the Project Narrative. (Ch. 200 §204-3.C.9)
4. The Applicant has not supplied a written Traffic Impact Statement. A waiver has been requested from this Regulation by the Applicant. (Ch. 200 §204-3.F.1)

5. The Applicant has not supplied a written Environmental Impact Assessment. A waiver has been requested from this Regulation by the Applicant. (Ch. 200 §204-3.F.2)
6. The Applicant has not provided documentation regarding the expected demand for municipal service for the proposed development in the Neighborhood Impact Assessment. (Ch. 200 §204-3.F.3)
7. Lot lines with dimensions are not shown on the Site Context Map. However, these dimensions are sufficiently shown in the Existing Conditions Plan. (Ch. 200 §204-5.B.3)
8. Existing topography at two-foot intervals is not provided in the Site Context Map. However, the topography of the existing conditions is sufficiently shown in the Existing Conditions Plan. We recommend the Applicant specify the source of the elevations provided and identify benchmarks on the Plans. (Ch. 200 §204-5.B.4)
9. An Existing Landscape Inventory, including the specific identification of existing trees with a diameter of 15 inches or greater at four feet above grade, trees that will be beneficial for screening, and tree drip lines, is not provided in the Plans. (Ch. 200 §204-5.C.3)
10. The Plans do not indicate the proposed depths of binder course or top course for the development. Applicant to ensure the pavement cross section meets the 3.5-inch minimum depth over 8 inches of gravel borrow as required in the Regulations. (Ch. 200 §204-5.D.4)
11. A Master Signage Plan is not provided in the submission. We recommend adding a “STOP” sign with stop bar at the main entrance off Main Street. (Ch. 200 §204-5.D.14)
12. Parking spaces shall not be located within 15 feet of the front, side, or rear property lines. A waiver has been requested from this Regulation by the Applicant. (Ch. 200 §207-12.G.3)
13. Landscaping buffers do not meet the 15-foot minimum requirement. A waiver has been requested from this Regulation by the Applicant. (Ch. 200 §207-19.B.2)

GENERAL COMMENTS

14. Provide a silt sack detail on the detail sheets. Inlet protection shall be provided in all structures that may be impacted during construction. Additionally, TT recommends a note be added to the “Erosion Control Detail (Filter Sock)” indicating the toe of the silt fence be embedded at least 6” to prevent sediment-laden water from traveling under the silt fence.
15. Proposed sidewalks are only provided in the front of each building. We recommend the Applicant consider extending the sidewalk to Main Street to prevent residents and employees from entering the roadway to access the existing sidewalk on Main Street.
16. A tree is proposed on the Landscaping Plan above the northeast corner of Infiltration Field #2. We recommend the tree be relocated away from the footprint of the infiltration system to prevent root migration and potential damage to the infiltration system.
17. We recommend the Applicant confirm connection of the proposed site water main to the existing main in Main Street, it appears the connection is being made at an existing stub at the property line. Additionally, we recommend either looping the water main or terminating the main at a hydrant, so it is able to be flushed to maintain water quality. All water main work to be coordinated with Medway DPW.
18. We recommend snow storage areas be relocated away from proposed handicap stalls to ensure snow stockpiles do not impede accessibility.
19. We recommend the Applicant coordinate with the Medway Water/Fire Department regarding proposed colors of hydrant.

20. Please provide proposed location for irrigation well, if applicable. Town water shall not be used to irrigate the site.
21. The building numbers for the four rear buildings appear to be incorrectly labeled, all as Building #3.
22. Please confirm the location of the bike rack, there is a discrepancy between the Layout Sheet and Planting Plan.

These comments are offered as guides for use during the Town's review and additional comments may be generated during the course of review. The Applicant shall be advised that any absence of comment shall not relieve them of the responsibility to comply with all applicable local, state and federal regulations for the Project. If you have any questions or comments, please feel free to contact us at (508) 786-2200.

Very truly yours,



Sara J. White, PE
Project Manager



Bradley M. Picard, EIT
Civil Engineer

P:\21583\143-21583-21005 (PEDB THE SETTLEMENT)\DOCS\THE SETTLEMENT-PEDBREV(2021-04-13).DOCX



April 13, 2021
Medway Planning & Economic Development Board
Meeting

Construction Reports

- Choate Trail Field Reports dated 3-30-2021, 3-31-2021, and 4-8-2021
- 21 Trotter Drive Field Reports dated 3-30-2021, 4-5-2021, and 4-6-2021
- Salmon Health Field Report dated 4-7-2021

FIELD REPORT

Project	Date	Report No.
Choate Trail – Copper Drive	3/30/2021	4
Location	Project No.	Sheet 1 of
42 Highland Street, Medway, MA	143-21583-20008	2
Contractor	Weather	Temperature
Bob Pace (Owner/General Contractor)	A.M. CLEAR	A.M. 60°F
Rhino Construction (Site Contractor)	P.M.	P.M.

On Tuesday, March 30, 2021, Steven M. Bouley, PE from Tetra Tech (TT) and Bridget Graziano from Medway Conservation Commission visited the project location to inspect the current condition of the site and monitor construction progress. The following report outlines observations made during the site visit.

- A. Site Conditions/Erosion Controls: Site is generally firm with some soft areas due to recent rainfall, particularly at the low point in the property adjacent to the wetland resource area. Compost filter sock has been installed throughout the project limit as indicated on the endorsed Plans and appears to be in good condition. Silt fence has also been installed along the western portion of the site adjacent to the existing wetland resource area and appears to be in good condition. Stabilized construction entrance has not been installed, Contractor intends to install construction entrance as entrance is being brought to grade to reduce potential issues with vehicles driving off of the road at the entrance location, this should be completed this week. Temporary sediment basins have been installed at the low points and appear to be functioning.
- B. Meeting was called to go over SWPPP reporting requirements and we explained the requirements for regular inspections of erosion controls as well as post-storm event inspections as required by the OOC and NPDES CGP. Contractor will be completing the SWPPP reports. Contractor stated they had a rain gauge on-site at one time, but it was stolen so they are going to get a new one and relocate it to a different portion of the site.
- C. A tree stump is located at the approximate centerline of the proposed roadway. The roots from the stump appear to be buried under the pavement of Highland Street and when contractor tried to pull the stump it was moving the pavement. Contractor will mark the location of the stump and speak with DPW to about how best to deal with it.

CONTRACTOR'S FORCE AND EQUIPMENT						WORK DONE BY OTHERS	
Sup't	1	Bulldozer		Asphalt Paver		Dept. or Company	Description of Work
Foreman		Backhoe		Asphalt Reclaimer			
Laborers		Loader		Vib. Roller			
Drivers		Rubber Tire Backhoe/Loader		Static Roller			
Oper. Engr.	1	Skid Steer		Vib. Walk Comp.			
Carpenters		Hoeram		Compressor			
Masons		Excavator	1	Jack Hammer			
Iron Workers		Grader		Power Saw			
Electricians		Crane		Conc. Vib.			
Flagpersons		Scraper		Tack Truck			
Surveyors		Conc. Mixer		Man Lift			
Roofers		Conc. Truck		Skidder		OFFICIAL VISITORS TO JOB	
Mechanical/HVAC		Conc. Pump Truck		Compact Track Loader		Bridget Graziano	Conservation Agent
		Pickup Truck					
		Tri-Axle Dump Truck					
		Trailer Dump Truck					
Police Details: N/A						RESIDENT REPRESENTATIVE FORCE	
Contractor's Hours of Work: 7:00 A.M. to 6:00 P.M.						Name	Time on-site
						Steven M. Bouley, PE	9:30 A.M. – 10:30 A.M.

Project Choate Trail Way	Date 3/30/2021	Report No. 4
Location 42 Highland Street, Medway, MA	Project No. 143-21583-20008	Sheet 2 of 2

FIELD OBSERVATIONS CONTINUED

- D. Contractor planning to begin gravel import to build up the roadway for the first 200 feet±. Once the gravel import on that section of roadway is complete the contractor will install the construction entrance.

2. SCHEDULE

- A. TT will maintain communication with contractor and will inspect the site on an as-need basis.

3. NEW ACTION ITEMS

- A. Remove existing tree stump adjacent to Highland Street per recommendation from Medway DPW.

4. PREVIOUS OPEN ACTION ITEMS

- A. Contractor shall install construction entrance prior to stumping and stripping topsoil.
- B. Contractor shall repair portion of silt fence that has fallen. **TT Update: Silt fence has been repaired, item resolved.**

5. MATERIALS DELIVERED TO SITE SINCE LAST INSPECTION

- A. Drainage Structures (catch basins and manholes)

Tetra Tech
100 Nickerson Road, Suite 200
Marlborough, MA 01752

FIELD REPORT

Project Choate Trail – Copper Drive	Date 3/31/2021	Report No. 5
Location 42 Highland Street, Medway, MA	Project No. 143-21583-20008	Sheet 1 of 2
Contractor Bob Pace (Owner/General Contractor) Rhino Construction (Site Contractor)	Weather A.M. P.M. OVERCAST	Temperature A.M. P.M. 61°F

FIELD OBSERVATIONS

On Wednesday, March 31, 2021, Tucker D. Paradee, E.I.T. from Tetra Tech (TT) visited the project location to inspect the current condition of the site and monitor construction progress. The following report outlines observations made during the site visit.

1. OBSERVATIONS

- A. Site Conditions/Erosion Controls: Site is generally firm with some soft areas due to recent rainfall, particularly at the low point in the property adjacent to the wetland resource area. Compost filter sock has been installed throughout the project limit as indicated on the endorsed Plans and appears to be in good condition. Silt fence has also been installed along the western portion of the site adjacent to the existing wetland resource area and appears to be in good condition. Temporary sediment basins have been installed at the low points and appear to be functioning.
- B. Contractor has begun building proposed roadway with gravel import, starting from Highland St. Contractor intends to build up roadway for the first 200 feet±, followed by installing the construction entrance. Contractor also bringing Lot 1 to grade with stockpiled soil during inspection.
- C. Once roadway fill is placed, contractor intends to install drainage infrastructure adjacent to wetlands followed by installing proposed subsurface drain system.

CONTRACTOR'S FORCE AND EQUIPMENT						WORK DONE BY OTHERS	
Sup't		Bulldozer	1	Asphalt Paver		Dept. or Company	Description of Work
Foreman		Backhoe		Asphalt Reclaimer			
Laborers		Loader		Vib. Roller	1		
Drivers		Rubber Tire Backhoe/Loader		Static Roller			
Oper. Engr.	3	Skid Steer		Vib. Walk Comp.			
Carpenters		Hoeram		Compressor			
Masons		Excavator	1	Jack Hammer			
Iron Workers		Grader		Power Saw			
Electricians		Crane		Conc. Vib.			
Flagpersons		Scraper		Tack Truck			
Surveyors		Conc. Mixer		Man Lift			
Roofers		Conc. Truck		Skidder		OFFICIAL VISITORS TO JOB	
Mechanical/HVAC		Conc. Pump Truck		Compact Track Loader			
		Pickup Truck	3	Rock Truck	1		
		Tri-Axle Dump Truck					
		Trailer Dump Truck					
Police Details: N/A						RESIDENT REPRESENTATIVE FORCE	
Contractor's Hours of Work: 7:00 A.M. to 6:00 P.M.						Name	Time on-site
						Tucker D. Paradee E.I.T.	12:00 P.M. – 12:30 P.M.

NOTE: Please use reverse side for remarks and sketches

Project Choate Trail Way	Date 3/31/2021	Report No. 5
Location 42 Highland Street, Medway, MA	Project No. 143-21583-20008	Sheet 2 of 2

FIELD OBSERVATIONS CONTINUED

2. SCHEDULE

- A. TT will maintain communication with contractor and will inspect the site on an as-need basis.

3. NEW ACTION ITEMS

- A. N/A

4. PREVIOUS OPEN ACTION ITEMS

- A. Remove existing tree stump adjacent to Highland Street per recommendation from Medway DPW.
- B. Contractor shall install construction entrance prior to stumping and stripping topsoil.

5. MATERIALS DELIVERED TO SITE SINCE LAST INSPECTION

- A. N/A

Tetra Tech
100 Nickerson Road, Suite 200
Marlborough, MA 01752

FIELD REPORT

Project Choate Trail – Copper Drive	Date 4/8/2021	Report No. 6
Location 42 Highland Street, Medway, MA	Project No. 143-21583-20008	Sheet 1 of 2
Contractor Bob Pace (Owner/General Contractor) Rhino Construction (Site Contractor)	Weather A.M. CLEAR P.M.	Temperature A.M. 60°F P.M.

FIELD OBSERVATIONS

On Wednesday, March 31, 2021, Tucker D. Paradee, E.I.T. from Tetra Tech (TT) visited the project location to inspect the current condition of the site and monitor construction progress. The following report outlines observations made during the site visit.

1. OBSERVATIONS

- A. Site Conditions/Erosion Controls: Site is generally firm with some soft areas in regions where vehicle traffic is minimal. Compost filter sock has been installed throughout the project limit as indicated on the endorsed Plans and appears to be in good condition. Silt fence has also been installed along the western portion of the site adjacent to the existing wetland resource area and appears to be in good condition as well. Temporary sediment basins have been installed at the low points and appear to be functioning. Construction entrance has been installed, no evidence of tracked material present on Highland Ave.
- B. TT on site to witness drainage infrastructure installation. Upon arrival, Contractor begins excavation at the location of proposed DMH2+98. Once excavation is completed, Contractor installs 12" of crushed stone for the manhole bedding as indicated on the endorsed Plans. Depths of excavation and elevations are verified using a rotary laser level. Contractor paused drain manhole installation during the inspection due to the delivery of ductile iron pipe and hydrants, TT requested photos of the continued installation and progress from the day's work. Photos were submitted to TT by one of the Contractor's foreman and showed the finished installation of proposed DMH2+98, proposed OCS at STA 2+82, and 18" RCP pipe between the two structures.

CONTRACTOR'S FORCE AND EQUIPMENT						WORK DONE BY OTHERS	
Sup't		Bulldozer	1	Asphalt Paver		Dept. or Company	Description of Work
Foreman		Backhoe		Asphalt Reclaimer			
Laborers		Loader		Vib. Roller	1		
Drivers		Rubber Tire Backhoe/Loader		Static Roller			
Oper. Engr.	3	Skid Steer		Vib. Walk Comp.			
Carpenters		Hoeram		Compressor			
Masons		Excavator	1	Jack Hammer			
Iron Workers		Grader		Power Saw			
Electricians		Crane		Conc. Vib.			
Flagpersons		Scraper		Tack Truck			
Surveyors		Conc. Mixer		Man Lift			
Roofers		Conc. Truck		Skidder		OFFICIAL VISITORS TO JOB	
Mechanical/HVAC		Conc. Pump Truck		Compact Track Loader			
		Pickup Truck	3	Rock Truck	1		
		Tri-Axle Dump Truck					
		Trailer Dump Truck					
Police Details: N/A						RESIDENT REPRESENTATIVE FORCE	
Contractor's Hours of Work: 7:00 A.M. to 6:00 P.M.						Name	Time on-site
						Bradley M. Picard, EIT	7:45 A.M. – 8:45 A.M.

NOTE: Please use reverse side for remarks and sketches

Project Choate Trail Way	Date 4/8/2021	Report No. 6
Location 42 Highland Street, Medway, MA	Project No. 143-21583-20008	Sheet 2 of 2

FIELD OBSERVATIONS CONTINUED

2. SCHEDULE

- A. Contractor to install proposed culvert at the beginning of next week (4/12/2021), followed by installation of water main.
- B. TT will maintain communication with contractor and will inspect the site on an as-need basis.

3. NEW ACTION ITEMS

- A. N/A

4. PREVIOUS OPEN ACTION ITEMS

- A. Remove existing tree stump adjacent to Highland Street per recommendation from Medway DPW.
- B. Contractor shall install construction entrance prior to stumping and stripping topsoil. **TT 4/8/2021 Update: Contractor has installed construction entrance. In our opinion, this item is resolved.**

5. MATERIALS DELIVERED TO SITE SINCE LAST INSPECTION

- A. Ductile Iron Pipe
- B. Fire Hydrants

Tetra Tech
100 Nickerson Road, Suite 200
Marlborough, MA 01752

FIELD REPORT

Project 21 Trotter Drive	Date 3/30/2021	Report No. 13
Location 21 Trotter Drive, Medway, MA	Project No. 143-21583-19018	Sheet 1 of 2
Contractor RP Marzilli (Site Contractor)	Weather A.M. P.M. CLEAR	Temperature A.M. P.M. 60°F

FIELD OBSERVATIONS

On Tuesday, March 30, 2021, Steven M. Bouley, PE from Tetra Tech (TT) and Bridget Graziano from Medway Conservation Commission visited the project location to inspect the current condition of the site and monitor construction progress. The following report outlines observations made during the site visit.

1. OBSERVATIONS

- A. Site Conditions/Erosion Controls: Dry ground surface that is firm throughout, some ponding water present on the ground surface due to recent rainfall. Silt fence barrier (SFB) and compost filter tubes have been installed around the perimeter of site as shown on the endorsed Plans. Compost filter tubes are placed just inside of the SFB along the eastern portion of the erosion control limits and appear to be in good condition. Stockpiles of excavated material are present throughout the southern portion of the site outside of the current paved limit. Catch basins throughout the site have silt sacks installed and appear to be maintained however silt is still present in standing water in the infiltration basin. The paved limit of the site has been swept and site organized in a manner which decreases traffic on the gravel areas. It appears the Contractor has performed regular sweeping since our previous visit and the site appears to be in a much better condition. We have received the latest SWPPP report from the engineer dated March 29, 2021. Report recommends exposed slopes be re-hydroseeded, owner install floc logs in the basin to settle out sediment and continued cleaning and maintenance on the silt sacks to help prevent silt from entering the system. The report also recommended placing crushed stone in the nursery storage area to stabilize that area.
- B. Turbid water was observed in the infiltration basin as well as sediment on the rip-rap at the bottom of the basin. No hydrocarbon sheen was observed on the water and the owner stated he had the substance tested and it did not come back as hydrocarbons but some other discharge caused by a biological process, we asked if the owner could please forward those test results for the record. It appears to basin was also recently hydroseeded and grass is starting to grow in areas.
- C. The owner stated they ceased washing vehicles outdoors and that was only a temporary condition. A dedicated vehicle wash area is being proposed for review and will be forthcoming.
- D. Temporary downspout connections were made to the roof drain system to limit any illicit discharge from being drained into the system.

CONTRACTOR'S FORCE AND EQUIPMENT				WORK DONE BY OTHERS	
Sup't		Bulldozer		Asphalt Paver	
Foreman		Backhoe		Asphalt Reclaimer	
Laborers		Loader		Vib. Roller	
Drivers		Rubber Tire Backhoe/Loader		Static Roller	
Oper. Engr.		Skid Steer		Vib. Walk Comp.	
Carpenters		Hoeram		Compressor	
Masons		Excavator		Jack Hammer	
Iron Workers		Grader		Power Saw	
Electricians		Crane		Conc. Vib.	
Flagpersons		Scraper		Tack Truck	
Surveyors		Conc. Mixer		Man Lift	
Roofers		Conc. Truck		Skidder	
Mechanical/HVAC		Conc. Pump Truck		Compact Track Loader	
		Pickup Truck		Lull	
		Tri-Axle Dump Truck			
		Trailer Dump Truck			
Police Details: N/A				OFFICIAL VISITORS TO JOB	
Contractor's Hours of Work: 7:00 A.M. to 6:00 P.M.				Bridget Graziano	Medway Conservation
RESIDENT REPRESENTATIVE FORCE				Name	Time on-site
				Steven M. Bouley, PE	11:30 A.M. – 12:30 P.M.

NOTE: Please use reverse side for remarks and sketches

Project 21 Trotter Drive	Date 3/30/2021	Report No. 13
Location 21 Trotter Drive, Medway, MA	Project No. 143-21583-19018	Sheet 2 of 2

FIELD OBSERVATIONS CONTINUED

- E. Areas along the eastern side of the site were finish graded and hydroseeded as previously requested.
- F. The Owner is in the process of installing footings for rack storage systems that are not shown on the Approved Plans. The owner stated they have contacted the building department and are currently in permitting process for the rack systems. These areas will also be shown on modified plans to be submitted at a later date.
- G. The owner has expanded the paved area along the eastern side of the existing building as mentioned in our previous report. Since then, the owner has stated they will be removing pavement on another portion of the site as mitigation. These areas will be shown on modified plans to be submitted at a later date, modified stormwater analysis not required if there is no net increase in impervious coverage at the site.

2. SCHEDULE

- A. TT will maintain communication with contractor and will inspect the site on an as-need basis.

3. NEW ACTION ITEMS

- A. Contractor to submit test report from sample taken from Infiltration Basin to confirm oil sheen observed in basin is not hydrocarbons.
- B. Contractor to install crushed stone at nursery storage area.

4. PREVIOUS OPEN ACTION ITEMS

- A. Contractor to submit photos of drainage system installed on the east side of the site, TT not present during installation.
- B. Contractor to clean hydrocarbons from the Infiltration Basin. Engineer of record to inspect stormwater infrastructure throughout the site to determine the origin of spill, and cleanings of stormwater infrastructure to be completed as needed. **TT Update: No hydrocarbons appear to be present during this site visit. Owner stated they had the "oil sheen" tested and the results did not indicate that the substance was hydrocarbons. We asked the owner to forward the test report to us for the record. A new action item will be generated for submission of the testing results. In our opinion, this item is resolved.**
- C. Contractor to remove snow stockpiles from the wetland buffer zone on the east side of the site. TT Update: Snow has melted so we are unsure if it was removed or left to melt. Several areas of crushed stone and gravel have been pushed over the retaining wall and the Contractor was asked to remove the displaced stone/gravel. **TT Update: all areas along the eastern and southern portions of the site have been cleaned of site materials, finish graded and hydroseeded. In our opinion this item is resolved.**
- C. Perform SWPPP inspections with proposed action items to mitigate sediment/hydrocarbon loading to stormwater infrastructure. Provide past reports completed at the site to ensure compliance with NPDES and Town Land Disturbance Permit. **TT Update: The SWPPP inspector has visited the site and generated the necessary report. Additionally, the site has been maintained per our requests. The SWPPP inspector shall continue to provide the necessary reporting as required by the SWPPP. In our opinion, this item is resolved.**
- D. Cease washing heavy machinery at the site until proper wash water capture and containment can be proposed and constructed. **TT Update: The owner has ceased washing vehicles outdoors and is in the process of proposing a dedicated vehicle wash area with plans forthcoming for approval. In our opinion, this item is resolved.**
- E. Provide Plan modification at the direction of the Medway PEDB coordinator to include the racking systems and additional paved areas. Additionally, the changes to the stormwater system and impervious coverage at the site shall be coordinated with Medway Conservation Commission. We recommend a revision to the Stormwater Report to account for the additional impervious coverage. **TT Update: The owner has contacted the building department for proper permitting of the rack systems and stated that pavement will be removed from another portion of the site to mitigate the increase in paving which will be included in the plan.**
- F. Sweep the site and continue to regularly sweep throughout the construction of the Project. We anticipate daily sweeping will be required due to high traffic at the site since it is an operational landscaping business during construction. **TT Update: The owner/contractor has swept the site regularly since our previous visit. In our opinion, this item is resolved.**
- G. Replace/maintain silt sacks. **TT update: Silt sacks appear to have been maintained. In our opinion, this item is resolved.**
- H. Clean drainage structures.
- I. Install temporary piping at roof downspout locations. **TT update: Temporary piping has been installed. In our opinion this item is resolved.**

5. MATERIALS DELIVERED TO SITE SINCE LAST INSPECTION

- A. N/A

Tetra Tech
100 Nickerson Road, Suite 200
Marlborough, MA 01752

FIELD REPORT

Project 21 Trotter Drive	Date 04/05/2021	Report No. 14
Location 21 Trotter Drive, Medway, MA	Project No. 143-21583-19018	Sheet 1 of 2
Contractor RP Marzilli (Site Contractor)	Weather A.M. P.M. OVERCAST	Temperature A.M. P.M. 61°F

FIELD OBSERVATIONS

On Monday, April 5, 2021, Tucker D. Paradee, E.I.T. from Tetra Tech (TT) visited the project location to inspect the current condition of the site and monitor construction progress. The following report outlines observations made during the site visit.

1. OBSERVATIONS

- A. Site Conditions/Erosion Controls: Dry ground surface that is firm throughout, some ponding water present on the ground surface. Silt fence barrier (SFB) and compost filter tubes have been installed around the perimeter of site as shown on the endorsed Plans and appear to be in good condition. Silt sacks have been replaced at proposed catch basins installed throughout the site. During the site visit, accumulated sediment was observed on the paved portions of the site. The Contractor informs TT regular sweeping has been conducted at the end of each day. Final grade and hydroseeding has been completed on the eastern side of the site within the SFB to promote vegetative growth.
- B. Upon inspection, the Infiltration Basin had water ponding present and fine sediment was observed on the rip-rap at the bottom of the basin. The Contractor has placed a section of SFB at the inlet pipe in an effort try to capture any fine sediment which may discharge into the basin. TT will continue to monitor the performance of the infiltration basin during inspections. Grass continues to grow as temperatures improve.
- C. The Owner expressed interest in expanding rack storage systems along the eastern side of the paved area that is outside of the proposed paving limit shown on the endorsed plans. Owner to coordinate with Medway Building Department.
- D. During the site visit, Harshaw Paving & Reclamation nears completion of fine grading operations. Harshaw bringing subbase to grade with bulldozer and grader. Multiple grade stakes were located throughout the remaining unpaved regions of the site indicating top of binder grades. Contractor to pave pinder tomorrow (4/6/21).

CONTRACTOR'S FORCE AND EQUIPMENT						WORK DONE BY OTHERS	
Sup't	1	Bulldozer	1	Asphalt Paver		Dept. or Company	Description of Work
Foreman		Backhoe		Asphalt Reclaimer		Harshaw Paving & Reclamation	Fine Grading
Laborers	5+	Loader	2	Vib. Roller			
Drivers		Rubber Tire Backhoe/Loader		Static Roller			
Oper. Engr.	3	Skid Steer	2	Vib. Walk Comp.			
Carpenters		Hoeram		Compressor			
Masons		Excavator	1	Jack Hammer			
Iron Workers		Grader	1	Power Saw			
Electricians		Crane		Conc. Vib.			
Flagpersons		Scraper		Tack Truck			
Surveyors		Conc. Mixer		Man Lift			
Roofers		Conc. Truck		Skidder		OFFICIAL VISITORS TO JOB	
Mechanical/HVAC		Conc. Pump Truck		Compact Track Loader			
		Pickup Truck	5+	Lull			
		Tri-Axle Dump Truck					
		Trailer Dump Truck					
Police Details: N/A						RESIDENT REPRESENTATIVE FORCE	
Contractor's Hours of Work: 7:00 A.M. to 6:00 P.M.						Name	Time on-site
						Tucker D. Paradee, E.I.T.	11:00 A.M. – 12:00 P.M.

NOTE: Please use reverse side for remarks and sketches

Project 21 Trotter Drive	Date 04/05/2021	Report No. 14
Location 21 Trotter Drive, Medway, MA	Project No. 143-21583-19018	Sheet 2 of 2

FIELD OBSERVATIONS CONTINUED

2. SCHEDULE

- A. TT will maintain communication with contractor and will inspect the site on an as-need basis.
- B. Contractor to pave binder course tomorrow (4/6/21).

3. NEW ACTION ITEMS

- A. N/A

4. PREVIOUS OPEN ACTION ITEMS

- A. Contractor to submit photos of drainage system installed on the east side of the site, TT not present during installation.
- B. Clean drainage structures.
- C. Contractor to submit test report from sample taken from Infiltration Basin to confirm oil sheen observed in basin is not hydrocarbons.
- D. Contractor to install crushed stone at nursery storage area.

5. MATERIALS DELIVERED TO SITE SINCE LAST INSPECTION

- A. N/A

Tetra Tech
100 Nickerson Road, Suite 200
Marlborough, MA 01752

FIELD REPORT

Project 21 Trotter Drive	Date 4/6/2021	Report No. 15
Location 21 Trotter Drive, Medway, MA	Project No. 143-21583-19018	Sheet 1 of 2
Contractor RP Marzilli (Site Contractor)	Weather A.M. CLEAR P.M.	Temperature A.M. 55°F P.M.

FIELD OBSERVATIONS

On Tuesday, April 6, 2021, Steven M. Bouley, PE from Tetra Tech (TT) visited the project location to inspect the current condition of the site and monitor construction progress. The following report outlines observations made during the site visit.

1. OBSERVATIONS

- A. Site Conditions/Erosion Controls: Dry ground surface that is firm throughout. Silt fence barrier (SFB) and compost filter tubes remain in good condition around the site and no areas appear to be eroding off-site. Compost filter tubes are placed just inside of the SFB along the eastern portion of the erosion control limits and appear to be in good condition. Stockpiles have been removed from the site and heavy equipment relocated in preparation for paving the remainder of the binder at the site. Catch basins throughout the site have silt sacks installed and appear to be maintained. The paved limit of the site has been swept and site organized in a manner which decreases traffic on the gravel areas. It appears the Contractor has performed regular sweeping since our previous visits. Crushed stone has been placed at the nursery area and floc logs have been ordered for the basin.
- B. The basin was dry at the time of inspection and sediment observed on the rip-rap bottom. No presence of hydrocarbons was noted during the inspection. Grass continues to grow as temperatures permit.
- C. TT on-site for binder course paving throughout the remainder of the site. Binder will not be paved around the proposed fueling station as additional work is required in that area. Harshaw Paving and Reclamation onsite for the paving operation. The contractor is installing mix at approximate loose depth of 3-inches to achieve a final compacted depth of approximately 2 ½-inches. Asphalt was procured from Bevilacqua Asphalt in Uxbridge, MA.

CONTRACTOR'S FORCE AND EQUIPMENT						WORK DONE BY OTHERS	
Sup't	1	Bulldozer		Asphalt Paver	1	Dept. or Company	Description of Work
Foreman	1	Backhoe		Asphalt Reclaimer		Harshaw Paving & Recla.	Binder Course
Laborers	5	Loader		Vib. Roller	3		
Drivers		Rubber Tire Backhoe/Loader		Static Roller			
Oper. Engr.		Skid Steer		Vib. Walk Comp.			
Carpenters		Hoeram		Compressor			
Masons		Excavator		Jack Hammer			
Iron Workers		Grader		Power Saw			
Electricians		Crane		Conc. Vib.			
Flagpersons		Scraper		Tack Truck			
Surveyors		Conc. Mixer		Man Lift			
Roofers		Conc. Truck		Skidder		OFFICIAL VISITORS TO JOB	
Mechanical/HVAC		Conc. Pump Truck		Compact Track Loader			
		Pickup Truck		Lull			
		Tri-Axle Dump Truck	5+				
		Trailer Dump Truck					
Police Details: N/A						RESIDENT REPRESENTATIVE FORCE	
Contractor's Hours of Work: 7:00 A.M. to 6:00 P.M.						Name	Time on-site
						Steven M. Bouley, PE	8:30 A.M. – 10:00 A.M.

NOTE: Please use reverse side for remarks and sketches

Project 21 Trotter Drive	Date 4/6/2021	Report No. 15
Location 21 Trotter Drive, Medway, MA	Project No. 143-21583-19018	Sheet 2 of 2

FIELD OBSERVATIONS CONTINUED

2. SCHEDULE

- A. TT will maintain communication with contractor and will inspect the site on an as-need basis.

3. NEW ACTION ITEMS

- A. N/A

4. PREVIOUS OPEN ACTION ITEMS

- A. Contractor to submit photos of drainage system installed on the east side of the site, TT not present during installation.
- B. Clean drainage structures.
- C. Contractor to submit test report from sample taken from Infiltration Basin to confirm oil sheen observed in basin is not hydrocarbons.
- D. Contractor to install crushed stone at nursery storage area. **TT 4/6/2021 Update: Crushed stone installed, and area stabilized. In our opinion, this item is resolved.**

5. MATERIALS DELIVERED TO SITE SINCE LAST INSPECTION

- A. N/A

FIELD REPORT

Project Salmon Health and Retirement Community (The Willows)	Date 04/07/2021	Report No. 62
Location Village Street, Medway, MA	Project No. 143-21583-15011	Sheet 1 of 2
Contractor Rubicon Builders (General Contractor) Marois Brothers, Inc. (Site Contractor)	Weather A.M. SUNNY P.M.	Temperature A.M. 55°F P.M.

FIELD OBSERVATIONS

On Wednesday, April 7, 2021, Bradley M. Picard, E.I.T. from Tetra Tech (TT) visited the project location to inspect the current condition of the site and monitor construction progress. The report outlines observations made during the site visit.

1. OBSERVATIONS

- A. Site Conditions/Erosion Controls: The western portion of the site along Willow Pond Circle is firm. Stockpiled construction materials present throughout the main open portion of the site. Straw wattles are placed at the base of the large loam pile at the entrance to Willow Pond Circle from Village Street. Sections of silt fence barrier (SFB) have fallen off the stakes at multiple locations throughout the site, particularly along the east side of Willow Pond Circle adjacent to Walnut Grove. Contractor to inspect the entire erosion control limit and repair fallen sections as needed. Catch basins within Waterside Run and Willow Pond Circle have silt sacks installed. Damage to the edges of silt sacks, possibly due to plowing operations, remain visible throughout the site. Contractor to replace damaged silt sacks as needed. Slopes on the southwest side of Willow Pond Circle adjacent to the main campus building, as well as slopes adjacent to the canoe put-in, remain partially or mostly without vegetation. TT recommends slopes to be protected with additional seeding or other forms of erosion controls to prevent unstabilized material from traveling into buffer zone.
- B. Pacella Paving Division on-site to install binder course asphalt in the parking lot and mechanical area located to the south of Infiltration Trench 20 off Willow Pond Circle. Pacella installs approximately 3" (loose) of binder course to achieve a final, compacted depth of 2.5". Asphalt was procured from Aggregate Industries in Wrentham, MA. During the inspection, TT identified a drop inlet that was installed in the mechanical area that was not proposed in the endorsed Plans. After discussion with the Contractor, TT was informed that installation of the drop inlet was installed and connects to proposed CB-31 as opposed to grading the subcatchment directly towards CB-31 per the Plans.

CONTRACTOR'S FORCE AND EQUIPMENT						WORK DONE BY OTHERS	
Sup't	1	Bulldozer		Asphalt Paver	1	Dept. or Company	Description of Work
Foreman		Backhoe		Asphalt Reclaimer		Pacella Paving	Binder Course
Laborers	10+	Loader		Vib. Roller			
Drivers		Rubber Tire Backhoe/Loader		Static Roller			
Oper. Engr.		Skid Steer		Vib. Walk Comp.			
Carpenters		Hoeram		Compressor			
Masons		Excavator		Jack Hammer			
Iron Workers		Grader		Power Saw			
Electricians		Crane		Conc. Vib.			
Flagpersons		Scraper		Tack Truck			
Surveyors		Conc. Mixer		Man Lift			
		Conc. Truck		Skidder		OFFICIAL VISITORS TO JOB	
		Conc. Pump Truck		Compact Track Loader			
		Pickup Truck	5+	Water Truck			
		Tri-Axle Dump Truck		Crane Truck			
		Trailer Dump Truck		Lull			
		Art. Dump Truck		BOMAG Remote Comp.	1		
Police Details: N/A						RESIDENT REPRESENTATIVE FORCE	
Contractor's Hours of Work: 7:00 A.M. to 3:30 P.M.						Name	Time on-site
						Bradley M. Picard, EIT	8:15 A.M. – 10:00 A.M.

Project Salmon Health and Retirement Community	Date 04/07/2021	Report No. 62
Location Village Street, Medway, MA	Project No. 143-21583-15011	Sheet 2 of 2

FIELD OBSERVATIONS CONTINUED

Subcatchment for CB-31 appears to be unaffected with current drainage layout. Design engineer and Applicant to coordinate with Medway Conservation Commission regarding the review for the drainage modification, if necessary.

- C. TT identified landscape features being installed on the concrete pad above Infiltration Trench 20. Further discussion with the Contractor confirmed excavation activities had no impact to the infiltration system's filter fabric. Contractor stated the depth of excavation was at least 6" above the top of Infiltration System 20's filter fabric and posed no risk to the performance and integrity of the system.
- D. Contractor appears to have restored the wetland and buffer adjacent to the Willow Pond Circle bridge, stone has been removed from the area and appears to be in good condition.
- E. Contractor has removed asphalt collars around raised manhole covers throughout the site.

2. SCHEDULE

- A. Contractor to perform CCTV inspections of drainage infrastructure within Waterside Run.
- B. TT will maintain communication with contractor and will inspect the site as construction progresses.

3. NEW ACTION ITEMS

- A. Contractor to coordinate with Conservation Commission on drainage modification at the mechanical area south of Infiltration Trench 20.
- B. Contractor to repair and replace erosion controls and silt sacks as needed throughout the site. Contractor to also reseed or protect all slopes that are not permanently stabilized.

4. PREVIOUS OPEN ACTION ITEMS

- A. Contractor to scarify the bottom of Infiltration Basin #3 to promote stormwater recharge within the required 72-hour drawdown period.
- B. Contractor to compact the 1.5" stone and to place 3/8" stone along the driveway to the canoe put-in.
- C. Contractor to coordinate with Conservation Commission on restoration of wetland and buffer adjacent to the Willow Pond Circle bridge. **TT Update 4/7/2021: Contractor appears to have restored the buffer zone and wetland adjacent to the Willow Pond Circle bridge. In our opinion, this item is resolved.**
- D. Contractor to repair and replace erosion controls and silt sacks as needed throughout the site. **TT Update 4/7/2021: This item will be included with the "New Action Items" above and will be removed from the next report.**
- E. Contractor to provide information regarding the authorization, construction, and proposed use for concrete pad located above Infiltration Trench 20. **TT 4/7/2021 Update: TT confirmed the concrete pad was built for landscape/recreational features and the installation of the concrete pad did not impact the integrity of Infiltration Trench 20. In our opinion, this item is resolved.**

5. MATERIALS DELIVERED TO SITE SINCE LAST INSPECTION

- A. Binder Course Asphalt.



April 13, 2021

**Medway Planning & Economic Development Board
Meeting**

Next Steps – Environmental Standards

- 4-12-21 email from John Lally with attachments

The intent of this discussion is to identify what help we need from outside noise and odor consultants to help us move along on this work so we can have an article for the Fall Town Meeting. We need to develop a scope of services for each party we wish to engage.

Susan Affleck-Childs

From: Lally, John - 0666 - MITLL <jlally@ll.mit.edu>
Sent: Monday, April 12, 2021 7:58 AM
To: Susan Affleck-Childs
Subject: Noise Consultant Impact Analysis Request.
Attachments: 47CoffeeSt_NoiseImpacts_wrt_IndIndLevels.png; 47CoffeeSt_NoiseCalcs.xlsx

Good morning Susy,

Noticed on the agenda for this Tuesday's PEDB meeting there's a discussion item for hiring consultants for the Environmental Standard update refinements.

After mulling over Barbara's question Re: Science behind Ind/Ind noise levels, occurred to me that at least to a first approximation a free-field analysis might be applicable to the houses on the North side of lower Coffee Street because there aren't any permanent noise barriers nor significant topography changes between many of the facilities in the East Industrial Park and those homes.

The only features of consequence are the piles of construction debris/soil mounds in the contractors yard across from 2 Marc Rd which residents can't rely on as permanent noise barriers, and some trees which have proven to be ineffective noise barriers especially from about mid-fall to mid-spring because many of those trees are deciduous.

So, I went ahead and did a free-field analysis versus Ind/Ind noise levels of: 52dBA, 47dBA & 42dBA, the results are attached.

The png file shows the noise source locations used, (I put the noise sources roughly in the center of facility roofs) and the house I used (47 Coffee St) as the impact location.

The spread-sheet details the calculations used, btw I think this is the approach used for the 23 Jayar Rd special permit.

Suspect it'll be helpful to have an independent noise consultant determine the applicability of this type of analysis and independently perform a noise impact analysis for the homes that directly abut the East Industrial park.

This type of analysis is fairly straightforward so would expect it to be relatively inexpensive and informative to the discussions going forward.

I therefore, respectfully request the board ask the noise consultant to perform a noise impact analysis on the houses located on the North side of lower Coffee Street as a function of Ind/Ind noise levels, say for example using Ind/Ind noise levels of: 52dBA, 47dBA, & 42dBA. These are the Ind/Ind nighttime continuous noise levels that have been under discussion. Would expect any of the homes at 45, 47 or 49 Coffee Street to be representative.

As usual please feel free to distribute this email and attachments as you see fit.

Respectfully submitted,
John Lally, Resident
35 Coffee Street
Medway, MA 02053

NOISE SOURCE LOCATIONS	SOURCE DISTANCES	
	Distance(ft) to Ind/Ind Prop Line	Distance(ft) to 47 Coffee St
4 Marc Rd	225	725
2 Mard Rd	250	775
7 Ind Park Rd	250	700
6 Ind Park Rd	225	1225
1 Marc Rd	180	900
4 Ind Park Rd	140	1125
3 Ind Park Rd	200	900
10 Main St.	460	925
2 Loudest Facilities combined Potential Noise Impacts(dBA) @ 47 Coffee Street		
4 Loudest Facilities combined Potential Noise Impacts(dBA) @ 47 Coffee Street		
8 Facilities combined Potential Noise Impacts @ 47 Coffee Street		

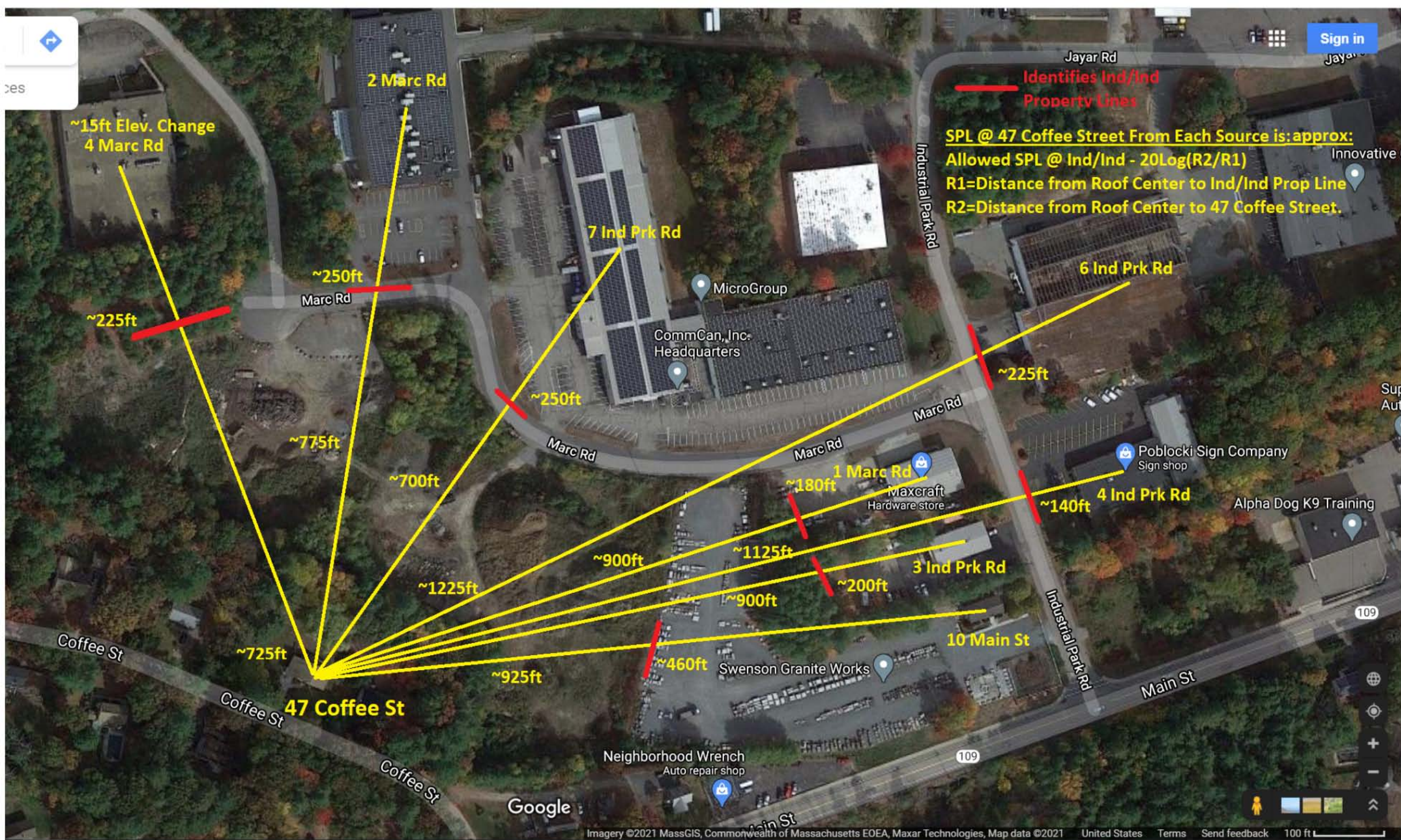
1.) THE ADVANTAGE OF 42dBA AT IND/IND PROPERTY LINES IS THAT FAILURE TO COMPLY AT THE FACILITY WILL VIOLATE NOISE LEVELS AT HOMES, ENABLING THE ZONING ENFORCEMENT OFFICER TO IDENTIFY THE VIOLATIONS.

2.) THE DISADVANTAGE OF 52dBA & 47dBA IS THAT COMPLIANCE AT THE SOURCE PROPERTY LINE MAKING IT VERY DIFFICULT FOR THE ZONING ENFORCEMENT OFFICER TO IDENTIFY THE VIOLATIONS.

POTENTIAL NOISE IMPACT (dBA) AT 47 COFFEE STREET AS A FUNCTION OF ALLOWED IND/IND NOISE LEVELS		
52dBA at Ind/Ind	47dBA at Ind/Ind	42dBA at Ind/Ind
41.83689023	36.83689023	31.83689023
42.17276612	37.17276612	32.17276612
43.05683937	38.05683937	33.05683937
37.28092859	32.28092859	27.28092859
38.02059991	33.02059991	28.02059991
33.89951026	28.89951026	23.89951026
38.93574972	33.93574972	28.93574972
45.93232198	40.93232198	35.93232198
47.73864029	42.73864029	37.73864029
49.59839872	44.59839872	39.59839872
50.53596552	45.53596552	40.53596552

THE SOURCE PROPERTY LINE IS A GOOD INDICATOR THAT A
FACILITY IS VIOLATING THE NOISE CRITERIA.

THE SOURCE PROPERTY LINE IS A POOR INDICATOR FOR COMPLIANCE AT HOMES,
SINCE THE NOISE CRITERIA IS BASED ON THE RECEIVING FACILITY USING SOURCE PROPERTY LINE



	A	B	C	D	E	F
1	NOISE SOURCE LOCATIONS	SOURCE DISTANCES		POTENTIAL NOISE IMPACT (dBA) AT 47 COFFEE STREET AS A FUNCTION OF ALLOWED IND/IND NOISE		
2		Distance(ft) to Ind/Ind Prop Line	Distance(ft) to 47 Coffee St	52dBA at Ind/Ind	47dBA at Ind/Ind	42dBA at Ind/Ind
3	4 Marc Rd	225	725	41.83689023	36.83689023	31.83689023
4	2 Marc Rd	250	775	42.17276612	37.17276612	32.17276612
5	7 Ind Park Rd	250	700	43.05683937	38.05683937	33.05683937
6	6 Ind Park Rd	225	1225	37.28092859	32.28092859	27.28092859
7	1 Marc Rd	180	900	38.02059991	33.02059991	28.02059991
8	4 Ind Park Rd	140	1125	33.89951026	28.89951026	23.89951026
9	3 Ind Park Rd	200	900	38.93574972	33.93574972	28.93574972
10	10 Main St.	460	925	45.93232198	40.93232198	35.93232198
11						
12	2 Loudest Facilities combined Potential Noise Impacts(dBA) @ 47 Coffee Street			47.73864029	42.73864029	37.73864029
13						
14	4 Loudest Facilities combined Potential Noise Impacts(dBA) @ 47 Coffee Street			49.59839872	44.59839872	39.59839872
15						
16	8 Facilities combined Potential Noise Impacts @ 47 Coffee Street			50.53596552	45.53596552	40.53596552
17						