

WILLIAM WALLACE VILLAGE

MEDWAY, MA

SITE PLAN

PREPARED BY:
LEGACY ENGINEERING LLC
730 MAIN STREET, SUITE 2C
MILLIS, MA 02054

JUNE 25, 2019
Latest Revision: December 27, 2019

PREPARED FOR:
DTRT LLC
P.O. BOX 95
TRURO, MA 02666

FOR REGISTRY USE

I HEREBY CERTIFY THAT THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE LINES DIVIDING EXISTING OWNERSHIPS, AND THE LINES OF THE STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED, AND THAT NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.

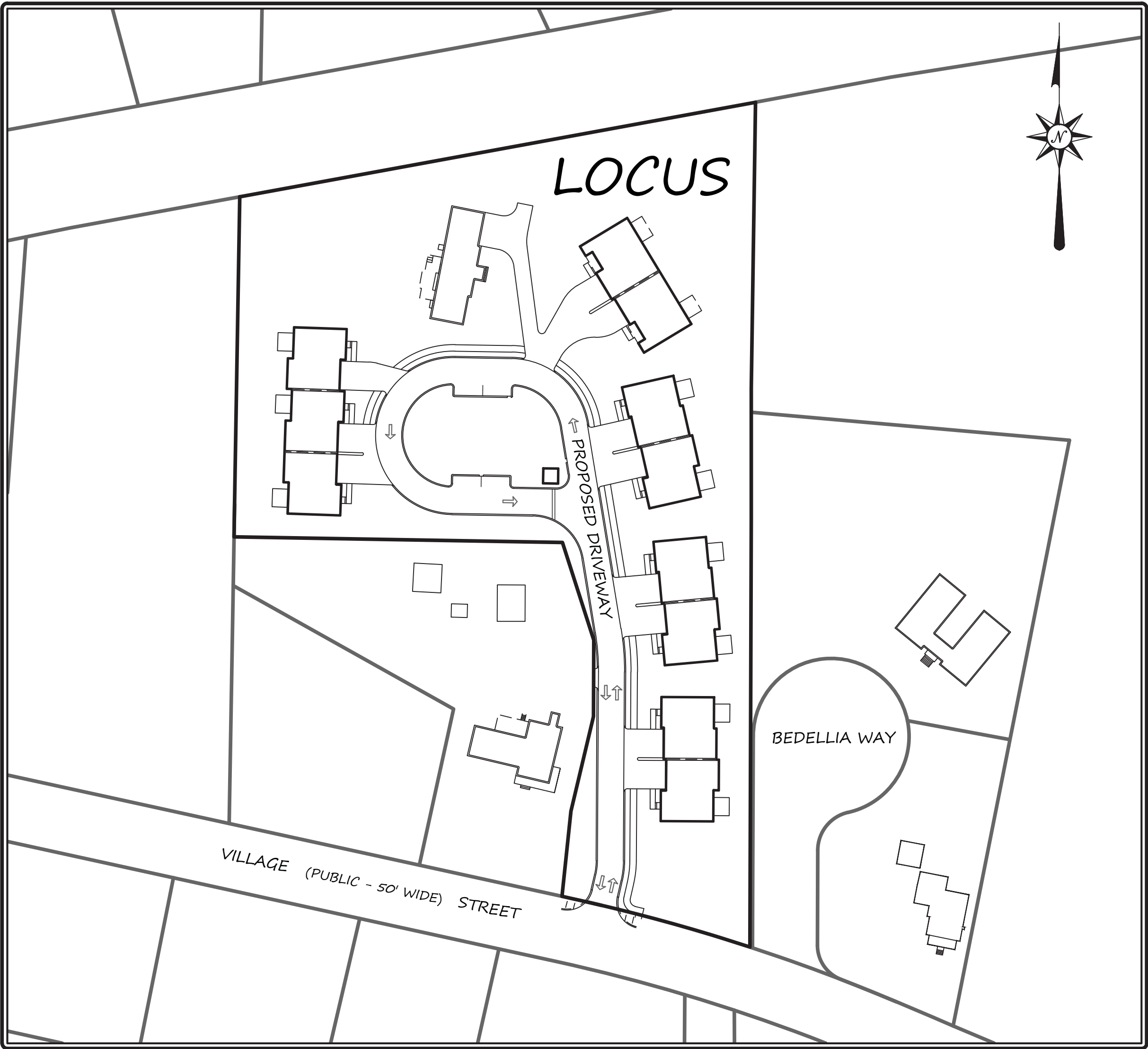
I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS

DATE: _____

REGISTERED LAND SURVEYOR



2013 MASSGIS AERIAL LOCUS
SCALE: 1" = 500'



LOCUS
SCALE: 1" = 70'



MEDWAY ASSESSORS LOCUS
SCALE: 1" = 200'

OWNER
#274
DTRT LLC
P.O. BOX 95
TRURO, MA 02666

PORTION OF #276
KEITH & JUDITH SPINNEY
276 VILLAGE STREET
MEDWAY, MA 02053

APPLICANT
DTRT LLC
P.O. BOX 95
TRURO, MA 02666

ZONING DISTRICT
AGRICULTURAL RESIDENTIAL II

ASSESSORS PARCEL
59-55

PLAN & DEED REFERENCE
DEED BOOK 6563 PAGE 42
DEED BOOK 19198 PAGE 100
PLAN BOOK 315 NO. 1166 OF 1984

WAIVERS LIST

PLANNING BOARD RULES AND REGULATIONS

204-3.A.7.a TO NOT REQUIRE A TRAFFIC IMPACT ASSESSMENT.

204-3.A.7.b TO NOT REQUIRE AN ENVIRONMENTAL IMPACT STUDY.

204-5.C.3 & D.7 TO NOT REQUIRE LOCATING EXISTING TREES OVER 1' IN DIAMETER.

205-3.B.2 TO ALLOW A DRIVEWAY WITHIN 15' OF A SIDE PROPERTY LINE.

205-6.H TO ALLOW CAPE COD BERM AT PARKING LOTS.

205-6.G.3.a TO ALLOW 18' DEEP PARKING SPACES.

205-9.F TO NOT REQUIRE FULL REPLACEMENT OF TREES.

SHEET LEGEND

C-0: COVER SHEET

C-1: SITE CONTEXT SHEET

C-2: EXISTING CONDITIONS PLAN

C-3: EROSION CONTROLS PLAN

C-4: LAYOUT PLAN

C-5: GRADING PLAN

C-6: UTILITIES PLAN

C-7: LIGHTING PLAN

C-8: LANDSCAPE PLAN (NOT INCLUDED)

C-9: SNOW PLAN

C-10: DETAILS

C-11: DETAILS

C-12: DETAILS

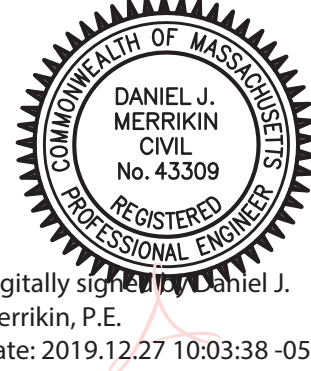
DATE APPROVED: _____

DATE ENDORSED: _____

MEDWAY PLANNING & ECONOMIC
DEVELOPMENT BOARD

| REVISION | DATE | BY |
|-----------------------------|------------|----|
| REVISIONS PER TOWN COMMENTS | 2019-09-04 | |
| REVISIONS PER TOWN COMMENTS | 2019-10-07 | |
| REVISIONS PER TOWN COMMENTS | 2019-12-27 | |
| REVISED SITE LAYOUT | | |

WILLIAM WALLACE VILLAGE
COVER SHEET
PLAN OF LAND
IN
MEDWAY, MA



PLAN SCALE: AS NOTED

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)

C-0



D158-01



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DDRT LLC
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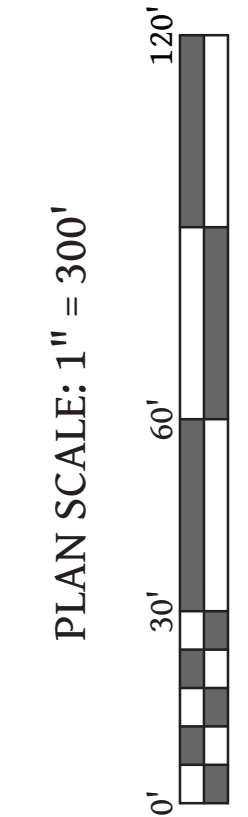
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ASSESSORS PARCEL
59-55

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PLAN BOOK 315 NO. 1166 OF
1984



| PLAN DATE: JUNE 25, 2019 | |
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MEDWAY PLANNING & ECONOMIC
DEVELOPMENT BOARD

WILLIAM WALLACE VILLAGE
SITE CONTEXT
PLAN OF LAND
IN
MEDWAY, MA



Digitally signed by Daniel J.
Merrikin, P.E.
Date: 2019.12.27 10:02:52 -05'00'

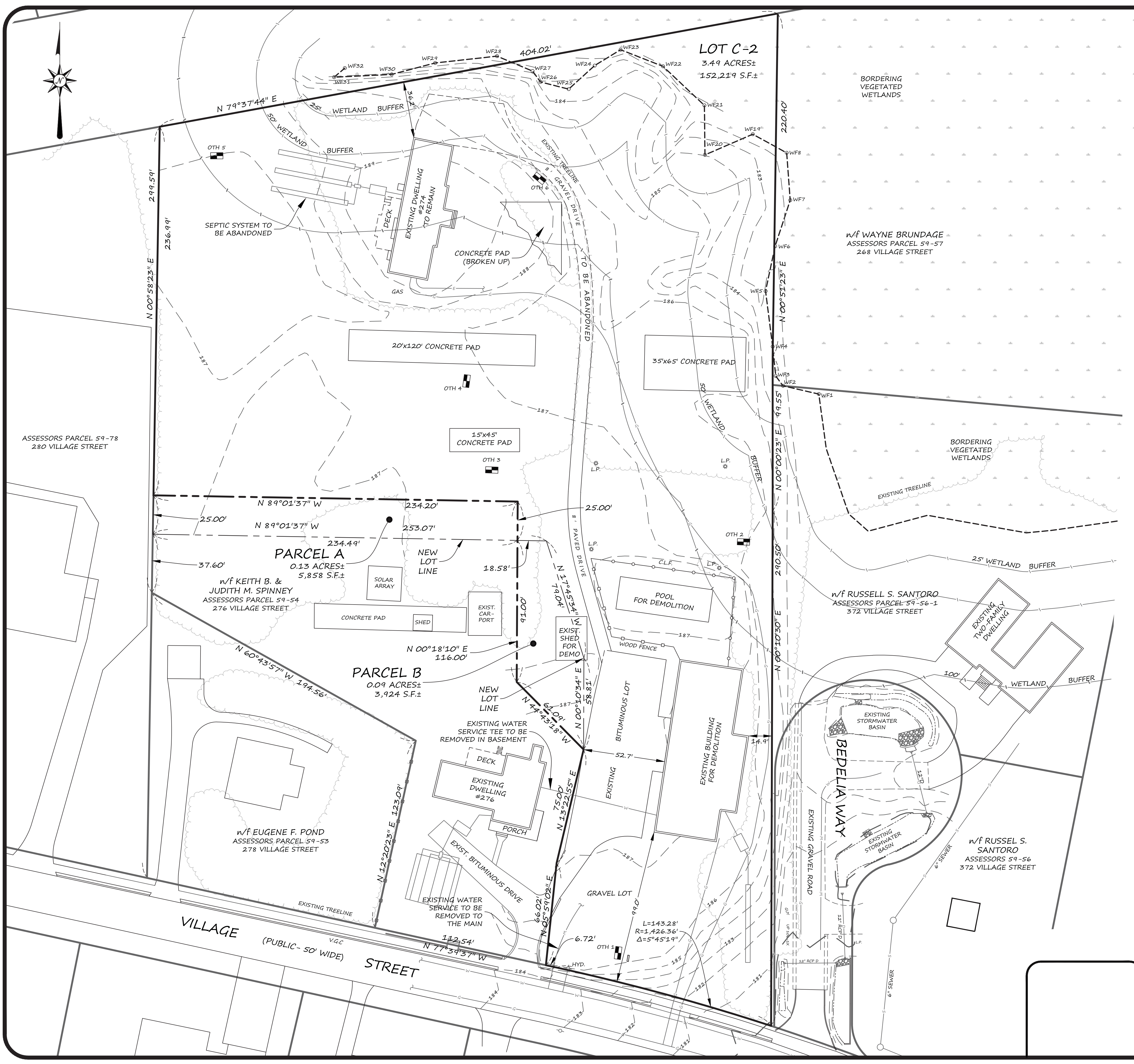
730 MAIN STREET
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508-376-8883(o)

C-1

D158-01



LEGACY
ENGINEERING



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- LEGEND & ABBREVIATIONS**
- CB: SINGLE-GRATE CATCH BASIN
 - CB: DOUBLE-GRATE CATCH BASIN
 - OPTU xxx: PROPRIETARY STORMWATER UNIT
 - ODMH: DRAIN MANHOLE
 - TR. DR.: TRENCH DRAIN
 - INFIL. TR.: INFILTRATION TRENCH
 - X" D: DRAIN PIPELINE
 - RCP: REINFORCED CONCRETE PIPE
 - PVC: POLYVINYL CHLORIDE PIPE
 - OSMH: SEWER MANHOLE
 - X" S: SEWER PIPELINE
 - CCO: SEWER SERVICE CLEANOUT
 - X" W: WATER MAIN
 - HYD: HYDRANT
 - W.G.V.: WATER GATE VALVE
 - C.S.: WATER SERVICE CURB STOP
 - M.B.: WATER SERVICE METER BOX
 - G: GAS PIPELINE
 - E: ELECTRIC CONDUIT
 - L.P.: LIGHT POLE
 - U.P.: UTILITY POLE
 - G.Y.: GUY WIRE
 - S.P.: TRAFFIC SIGNAL POLE
 - 25.2: EXISTING CONTOUR
 - 25.2: PROPOSED CONTOUR
 - E.O.P.: EDGE OF PAVEMENT
 - C.C.B.: INTEGRAL SLOPED BIT. BERM
 - V.B.B.: VERTICAL BITUMINOUS BERM
 - S.G.C.: SLOPED GRANITE CURB
 - V.G.C.: VERTICAL GRANITE CURB
 - V.C.C.: VERTICAL CONCRETE CURB
 - E.C.S.: EDGE CONCRETE SLAB
 - G.V.: GATE VALVE
 - C.L.F.: CHAIN LINK FENCE
 - W.S.F.: WOOD STOCKADE FENCE
 - P.P.F.: PVC PICKET FENCE
 - G.R.: GUARD RAIL
 - C.C.: HANDICAP CURB CUT

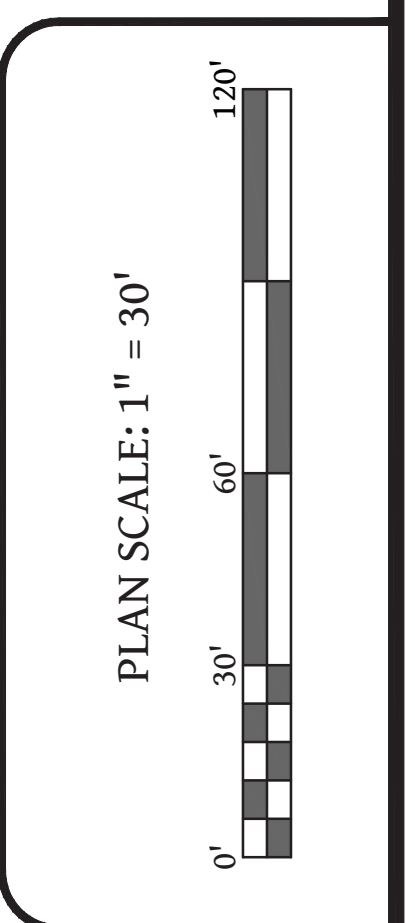
EXISTING CONDITION NOTES:

- PARCEL A & B WILL BE SWAPPED PRIOR TO CONSTRUCTION AND THE EXISTING SHED WILL BE DEMOLISHED. THE DEVELOPMENT WILL THEREFORE CONSIST OF LOT C-2 AND PARCEL A. THE REST OF THE PLAN SHEETS DEPICT THESE PARCELS AS THE PROJECT BOUNDARIES.
- THE LOCATION OF EXISTING UTILITIES IS BASED ON AVAILABLE INFORMATION SUCH AS SURFACE FEATURES AND RECORD PLANS. THE SHOWN UTILITY LOCATIONS ARE APPROXIMATE, ARE NOT WARRANTED TO BE CORRECT, AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL CONTACT DIGSAFE PRIOR TO CONDUCTING ANY EXCAVATION ON THE SITE.
- OFFSITE FEATURES SUCH AS BUILDING, PAVING LIMITS, UTILITIES, ETC... ARE APPROXIMATE ONLY AND BASED ON MASSGIS AERIAL PHOTOGRAPHS.
- ELEVATIONS ARE ON THE NAVD88 DATUM.

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MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD



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WILLIAM WALLACE VILLAGE
EXISTING CONDITIONS
PLAN OF LAND
IN
MEDWAY, MA

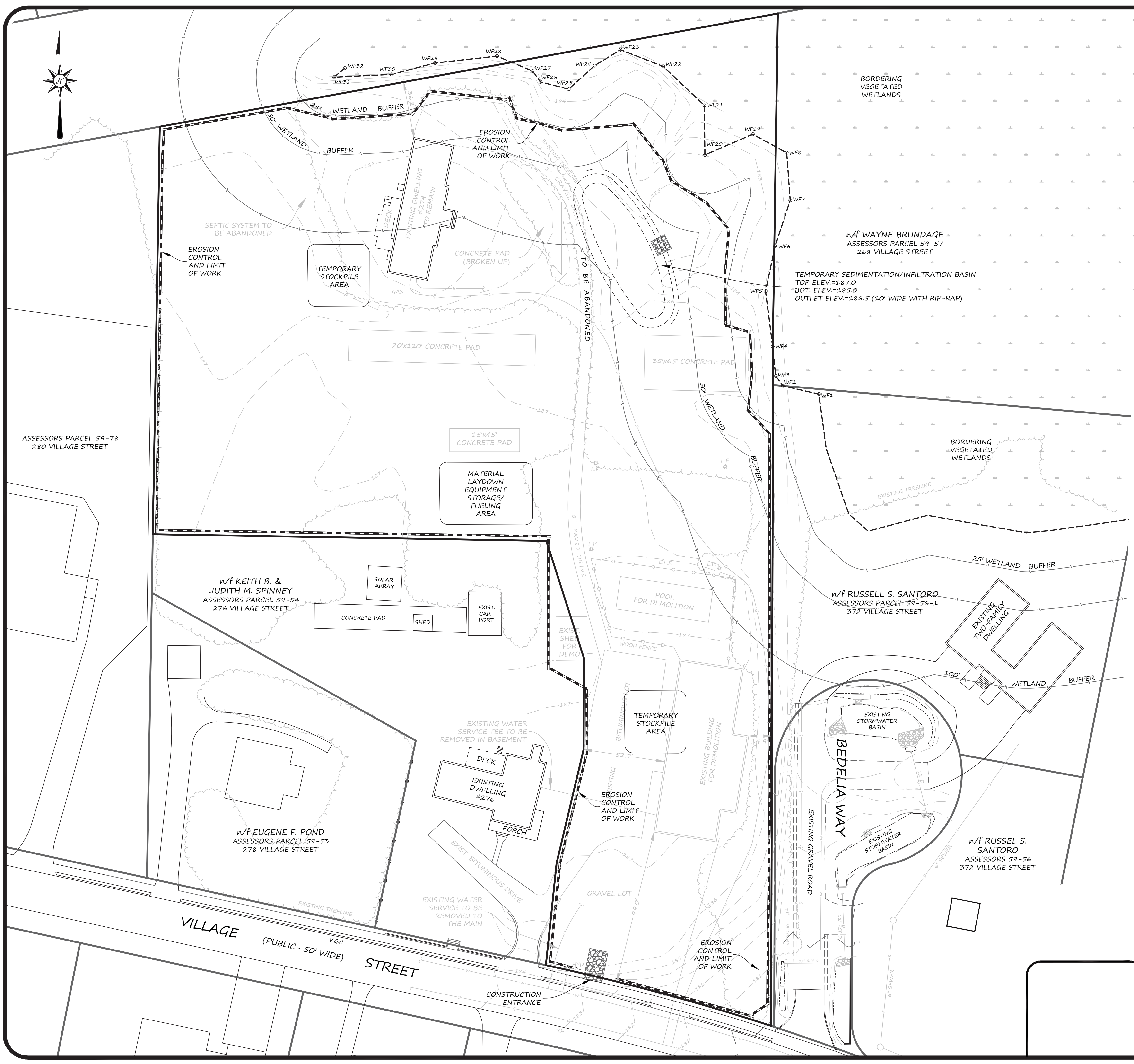


730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)

C-2

D158-01





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REGISTERED LAND SURVEYOR

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OWNER
#274
DDRT LLC
P.O. BOX 95
TRURO, MA 02666

PORTION OF #276
KEITH & JUDITH SPINNEY
276 VILLAGE STREET
MEDWAY, MA 02053

APPLICANT
DDRT LLC
P.O. BOX 95
TRURO, MA 02666

ZONING DISTRICT
AGRICULTURAL RESIDENTIAL II

ASSESSORS PARCEL
59-55

PLAN & DEED REFERENCE
DEED BOOK 6563 PAGE 42
DEED BOOK 14198 PAGE 100
PLAN BOOK 315 NO. 1166 OF 1984

CONSTRUCTION NOTES:

- FOR A FULL EXPLANATION OF EXPECTED CONSTRUCTION PRACTICES, PLEASE SEE THE STORMWATER POLLUTION PREVENTION PLAN IN THE STORMWATER MANAGEMENT REPORT.
- CONSTRUCTION SEQUENCE:
 - INSTALL CONSTRUCTION ENTRANCE AND PERIMETER EROSION CONTROLS
 - LOCATE EXISTING UTILITIES ON AND AROUND THE CONSTRUCTION AREA
 - DEMOLISH THE EXISTING GYM AND APPURTENANCES
 - CLEAR AND GRUB THE DEVELOPMENT AREA
 - INSTALL TEMPORARY STORMWATER BASIN
 - GRADE THE SITE
 - CONSTRUCT THE STORMWATER BASINS
 - INSTALL UTILITIES & BEGIN ROAD CONSTRUCTION
 - INSTALL BUILDING FOUNDATIONS FOR ALL UNITS EXCEPT FOR UNITS 7 & 8
 - COMPLETE BUILDING CONSTRUCTION AND BEGIN LANDSCAPING
 - ONCE NEW STORMWATER SYSTEMS ARE ONLINE, CONSTRUCT UNITS 7 & 8
 - FINISH LANDSCAPING AND PAVEMENT TOP COAT
 - ENSURE THAT ALL STORMWATER FACILITIES ARE CLEANED OUT AND OPERATE AS INTENDED
- REMOVE INVASIVE PLANT SPECIES WHERE DIRECTED BY THE CONSERVATION COMMISSION AGENT.

EROSION CONTROL NOTES:

- EROSION CONTROLS SHALL BE INSTALLED PRIOR TO ANY EXCAVATION. EROSION CONTROLS SHALL BE MAINTAINED IN GOOD CONDITION AT ALL TIMES. EROSION CONTROLS SHALL REMAIN UNTIL SUCH TIME AS THE ADJACENT DISTURBED AREAS ARE COMPLETELY STABILIZED AS APPROVED BY THE CONSERVATION COMMISSION.
- ALL SOIL STOCKPILES SHALL BE PROTECTED WITH COMPOST SOCK PERIMETER CONTROLS AND SEEDING/STABILIZATION PROTOCOL.
- ALL EXISTING CATCH BASINS NEAR THE SITE AND ALL PROPOSED CATCH BASINS ARE TO BE PROTECTED WITH A SILTSAC UNTIL ALL UPSTREAM AREAS ARE STABILIZED. CLEAN AS NEEDED THROUGHOUT CONSTRUCTION.
- INSPECT AND CLEAN NEWLY INSTALLED UNDERGROUND INFILTRATION SYSTEMS REGULARLY.
- REFER TO THE SWPPP FOR ADDITIONAL REQUIREMENTS.
- THE TOTAL AREA OF DISTURBANCE IS 136,807 S.F.

DATE APPROVED: _____

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MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD

PLAN SCALE: 1" = 30'

PLAN DATE: JUNE 25, 2019

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|-----------------------------|------------|----|
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| REVISED SITE LAYOUT | | |

WILLIAM WALLACE VILLAGE
EROSION CONTROL
PLAN OF LAND
IN
MEDWAY, MA

DANIEL J. MERRIKIN
CIVIL
No. 43309
REGISTERED PROFESSIONAL ENGINEER

Digitally signed by Daniel J. Merrikin, P.E.
Date: 2019.12.27 10:01:26 -05'00'

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)

C-3

1518-01

LEGACY
ENGINEERING



LOT C-2/
PARCEL A
3.63 ACRES±
158,077 S.F.±

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FOR REGISTRY USE

LAYOUT NOTES

1. TRASH WILL BE COLLECTED BY PRIVATE CURBSIDE PICKUP WITHIN THE DEVELOPMENT AND NOT AT THE VILLAGE STREET FRONTAGE.
2. ALL PATIOS TO BE CONSTRUCTED OF PERVIOUS PAVEMENT SYSTEMS AND ARE TO BE EXCLUDED FROM IMPERVIOUS COVERAGE CALCULATIONS.
3. REMOVE EXISTING DRIVEWAY APRON, SAWCUT STREET PAVING, INSTALL MATCHING CONCRETE CURB, INSTALL MATCHING GRASS STRIP, AND REPAVE EXISTING SIDEWALK AND PATCH STREET PAVING AS NEEDED FROM EXISTING CURB CUT TO NEW DRIVEWAY.

ZONING REQUIREMENTS

1. PROPOSED PARKING SPACES ARE 9' WIDE BY 18' DEEP.
2. 10% OF THE UNITS ARE REQUIRED TO BE AFFORDABLE, WHICH EQUALS 1.2 UNITS (ROUNDED DOWN TO ONE UNIT).
3. UNIT 11 WILL BE THE AFFORDABLE UNIT.

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ZONING DISTRICT
AGRICULTURAL RESIDENTIAL II

ASSESSORS PARCEL
59-55

PLAN & DEED REFERENCE
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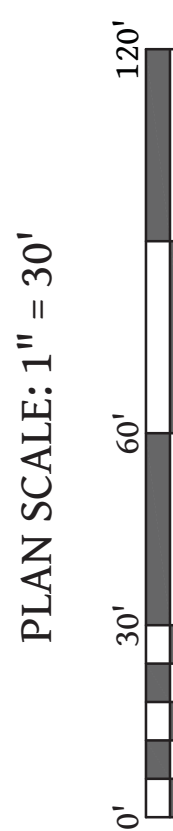
ZONING REQUIREMENTS:

ZONE: AGRICULTURAL RESIDENTIAL II
MIN. LOT AREA:
REQUIRED: 30,000 S.F. (FOR TWO FAMILY DWELLINGS)
PROVIDED: 158,077 S.F.
MIN. FRONTAGE:
REQUIRED: 50' (FOR MULTIFAMILY)
PROVIDED: 150.01'
MIN. FRONT SETBACK:
REQUIRED: 35'
PROVIDED: 73.6'
MIN. SIDE SETBACK:
REQUIRED: 15'
PROVIDED: 23.9'
MIN. REAR SETBACK:
REQUIRED: 15'
PROVIDED: 36.2'
MAX. HEIGHT:
REQUIRED: 40' (FOR MULTIFAMILY)
PROVIDED: APPROX. 26'
MAX. BUILDING COVERAGE:
REQUIRED: 30%
PROVIDED: 15% (24,273 S.F.)
MAX. LOT COVERAGE:
REQUIRED: 40%
PROVIDED: 35% (56,121 S.F.)
OPEN SPACE:
REQUIRED: 15% (FOR MULTIFAMILY)
PROVIDED: 55%
PARKING SPACES:
REQUIRED: 1.5/UNIT + 1 VISITOR/2 UNITS
= 24 PARKING SPACES
PROVIDED: 4/UNIT + 4 VISITOR = 52 SPACES

DATE APPROVED: _____

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MEDWAY PLANNING & ECONOMIC
DEVELOPMENT BOARD



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| REVISED SITE LAYOUT | | |

WILLIAM WALLACE VILLAGE
LAYOUT
PLAN OF LAND
IN
MEDWAY, MA



Digitally signed by Daniel J. Merrikin, P.E.
Date: 2019.12.27 10:00:43 -05'00'

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)

C-4

D158-01



LEGACY
ENGINEERING



LOT C-2/
PARCEL A
3.63 ACRES±
158,077 S.F.±

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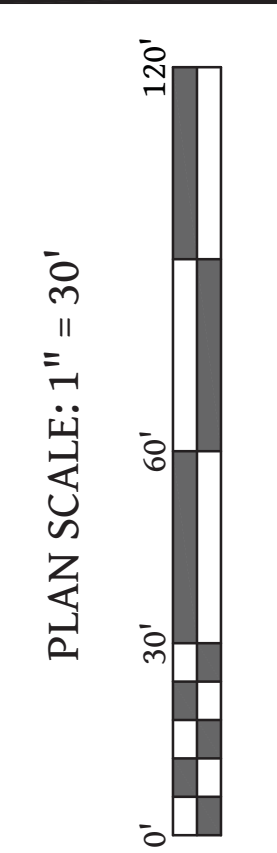
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AGRICULTURAL RESIDENTIAL II

ASSESSORS PARCEL
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GRADING NOTES

1. EXPECTED SOIL IMPORT: ~900 C.Y.
2. EXPECTED SOIL EXPORT: ~350 C.Y.
- 2.1. MOSTLY CONCRETE & PAVEMENT DEBRIS
3. LOAM AND SEED BUFFER ZONE RESTORATION AREAS WITH AN UPLAND EROSION CONTROL MIX. PLANT A TOTAL OF 10 SHRUBS (MIN 18" TALL AT INSTALLATION) IN RESTORATION AREAS. (SPECIES TO BE APPROVED BY CONSERVATION AGENT).



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WILLIAM WALLACE VILLAGE
GRADING & UTILITIES
PLAN OF LAND
IN
MEDWAY, MA

DATE APPROVED: _____
DATE ENDORSED: _____

MEDWAY PLANNING & ECONOMIC
DEVELOPMENT BOARD



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C-5
D158-01



LOT C-2/
PARCEL A
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UTILITY NOTES:

1. DOMESTIC WATER SERVICE SHALL BE TYPE K COPPER IN ACCORDANCE WITH THE REQUIREMENTS OF THE SEWER AND WATER DEPARTMENT. THE PROJECT ARCHITECT SHALL VERIFY THE DOMESTIC, IRRIGATION AND FIRE WATER SERVICE PIPE SIZE REQUIREMENTS FOR THE BUILDINGS.
2. WATER MAINS SHALL BE CLASS 52 CEMENT LINED DUCTILE IRON.
3. SEWER SERVICE SHALL BE 6-INCH SDR35 PIPE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MEDWAY SEWER AND WATER DEPARTMENT. MIN SLOPE = 0.02. CLEANOUTS SHALL BE POSITIONED IN LANDSCAPE AREAS. PROVIDE MIN. 18" VERTICAL SEPARATION BETWEEN SEWER SERVICES AND WATER MAIN.
4. STORMWATER PIPING SHALL BE HDPE RATED FOR H2O LOADING. (ADS N12 OR EQUAL) PIPES.
5. EXCEPT WHERE NOTED, ROOF DRAIN PIPING TO BE 6" HDPE.
6. THE ELECTRIC COMPANY SHALL DETERMINE THE FINAL LOCATION AND DESIGN OF THE ELECTRIC SERVICE AND TRANSFORMER. ALL ON-SITE ELECTRICAL WIRING SHALL BE UNDERGROUND.
7. FIRE PROTECTION SPRINKLERS SHALL BE PROVIDED FOR ALL RESIDENTIAL UNITS.
8. THE EXISTING HYDRANT MAY NEED TO BE RELOCATED DURING CONSTRUCTION IF REQUIRED BY THE DPW.
9. ALL FIRE SERVICE LINES SHALL BE CONNECTED DIRECTLY TO THE MAIN.
10. CURB STOPS LOCATED IN PAVEMENT SHALL BE FURNISHED WITH A STREET BOX TOP PER DPW REQUIREMENTS.

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PLAN SCALE: 1" = 30'



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UTILITY
PLAN OF LAND
IN
MEDWAY, MA

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MEDWAY PLANNING & ECONOMIC
DEVELOPMENT BOARD



Digitally signed by Daniel J. Merrikin, P.E.
Date: 2019.12.27 09:59:25 -05'00'

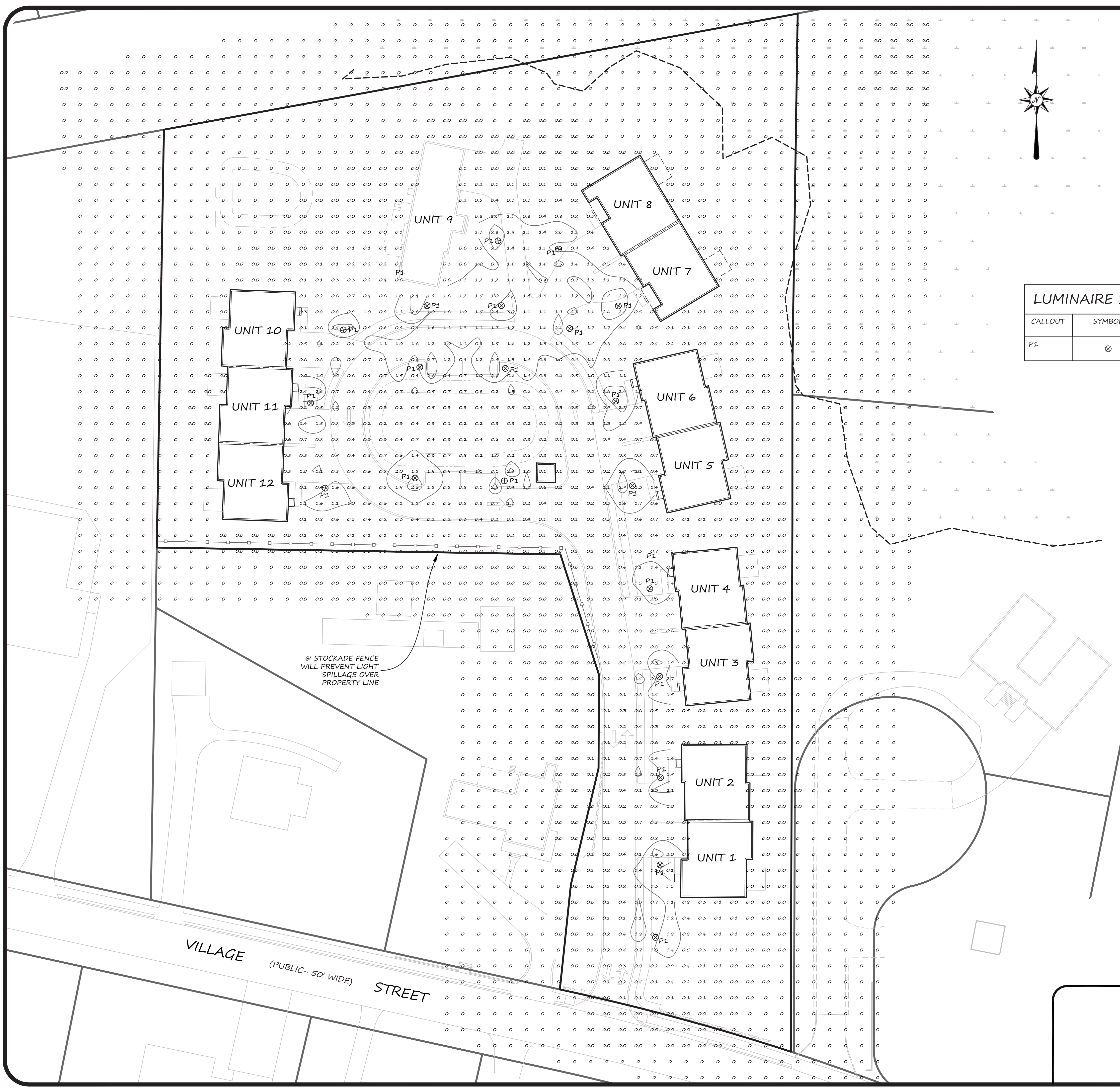
730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)



LEGACY
ENGINEERING

C-6

D158-01



OWNER
#274
DDRT LLC
P.O. BOX 95
TRURO, MA 02666

PORTION OF #276
KEITH & JUDITH SPINNEY
276 VILLAGE STREET
MEDWAY, MA 02053

APPLICANT
DDRT LLC
P.O. BOX 95
TRURO, MA 02666

ZONING DISTRICT
AGRICULTURAL RESIDENTIAL II

ASSESSORS PARCEL
59-55

PLAN & DEED REFERENCE
DEED BOOK 6563 PAGE 42
DEED BOOK 19198 PAGE 100
PLAN BOOK 315 NO. 1166 OF
1984

I HEREBY CERTIFY THAT THE PROPERTY
LINES SHOWN ON THIS PLAN ARE THE
LINES DIVIDING EXISTING OWNERSHIPS,
AND THE LINES OF THE STREETS AND
WAYS SHOWN ARE THOSE OF PUBLIC OR
PRIVATE STREETS OR WAYS ALREADY
ESTABLISHED, AND THAT NO NEW LINES
FOR DIVISION OF EXISTING OWNERSHIP OR
FOR NEW WAYS ARE SHOWN.

I CERTIFY THAT THIS PLAN HAS BEEN
PREPARED IN CONFORMITY WITH THE
RULES AND REGULATIONS OF THE
REGISTERS OF DEEDS OF THE
COMMONWEALTH OF MASSACHUSETTS

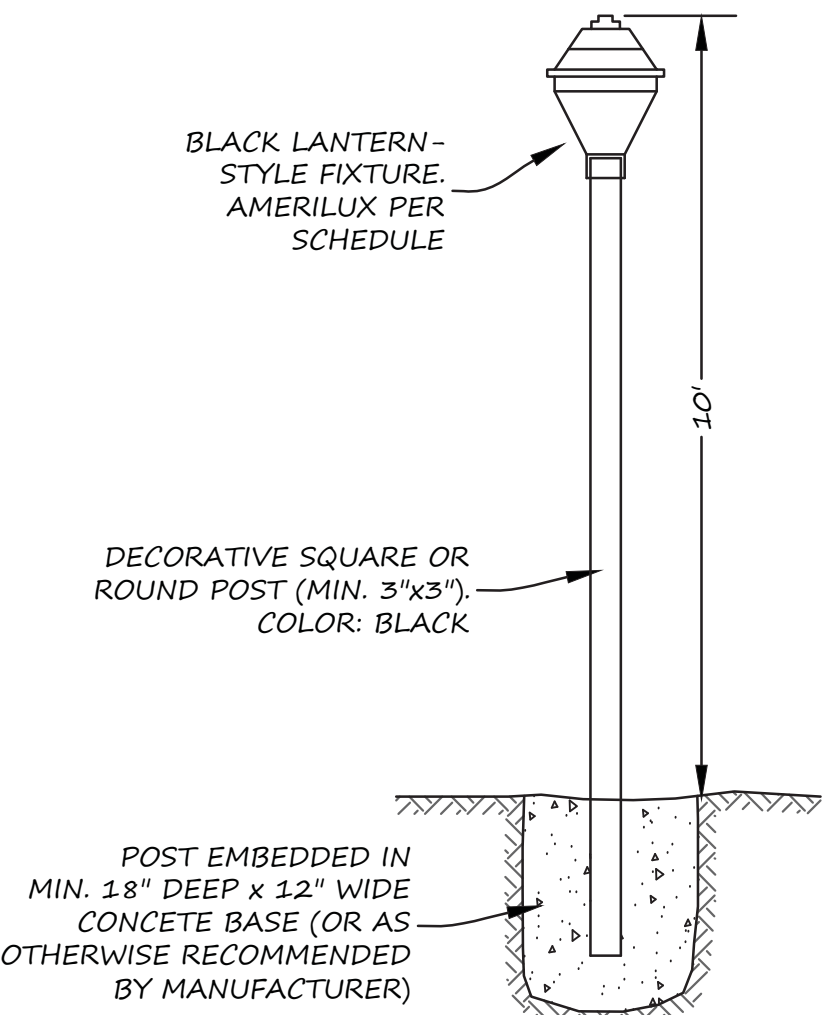
DATE: _____

REGISTERED LAND SURVEYOR

FOR REGISTRY USE

LUMINAIRE SCHEDULE

| CALLOUT | SYMBOL | QUANTITY | LAMP | MOUNTING | MOUNTING HEIGHT | MODEL |
|---------|--------|----------|------|----------|-----------------|--|
| P1 | ⊗ | 20 | LED | POLE TOP | 10' | AMERILUX D623-FDR FULL-CUTOFF FIXTURE |



RESIDENTIAL LIGHTPOST

NOT TO SCALE

DATE APPROVED: _____

DATE ENDORSED: _____

MEDWAY PLANNING & ECONOMIC
DEVELOPMENT BOARD



Digitally signed by Daniel J.
Merrikin, P.E.
Date: 2019.12.27 09:58:54 -05'00'

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)

C-7

D158-01



LEGACY
ENGINEERING

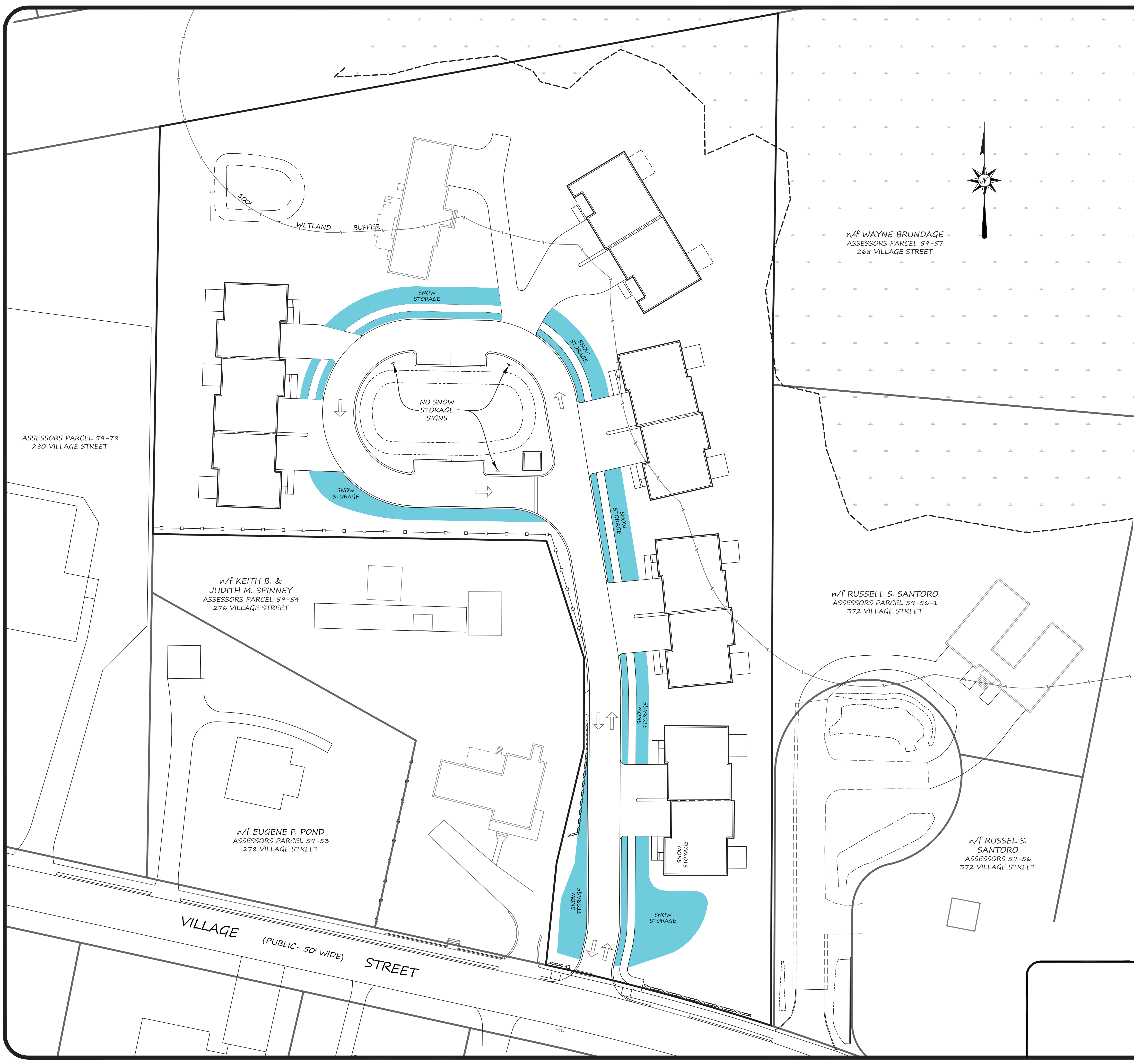
PLAN SCALE: 1" = 30'



PLAN DATE: JUNE 25, 2019

| REVISION | DATE | BY |
|-----------------------------|------------|----|
| REVISIONS PER TOWN COMMENTS | 2019-09-04 | |
| REVISIONS PER TOWN COMMENTS | 2019-10-07 | |
| REVISIONS PER TOWN COMMENTS | 2019-12-27 | |

WILLIAM WALLACE VILLAGE
LIGHTING
PLAN OF LAND
IN
MEDWAY, MA



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DATE: _____

REGISTERED LAND SURVEYOR

FOR REGISTRY USE

OWNER
#274
DDRT LLC
P.O. BOX 95
TRURO, MA 02666

PORTION OF #276
KEITH & JUDITH SPINNEY
276 VILLAGE STREET
MEDWAY, MA 02053

APPLICANT
DDRT LLC
P.O. BOX 95
TRURO, MA 02666

ZONING DISTRICT
AGRICULTURAL RESIDENTIAL II

ASSESSORS PARCEL
59-55

PLAN & DEED REFERENCE
DEED BOOK 6563 PAGE 42
DEED BOOK 14198 PAGE 100
PLAN BOOK 315 NO. 1166 OF 1984

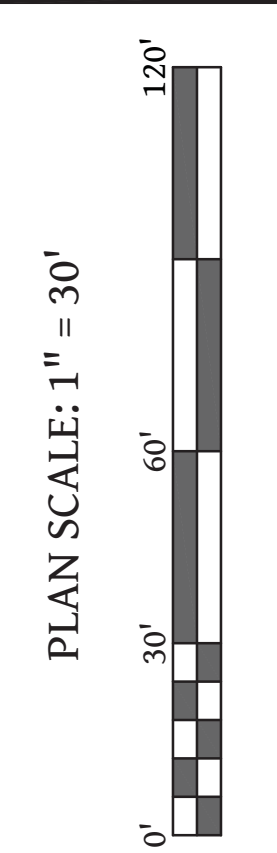
SNOW REMOVAL NOTES:

1. SNOW SHALL BE PLOWED INTO WINDROWS ALONG PAVEMENT WHERE POSSIBLE AND STOCKPILED IN DESIGNATED SNOW STORAGE AREAS.
2. NO SNOW STORAGE ALLOWED WITHIN THE 100' BUFFER ZONE.
3. SNOW SHALL NOT BE PILED AT THE ENTRANCE CORNERS IN SUCH A MANNER THAT IT WILL OBSTRUCT SIGHT DISTANCE
4. ICE CONTROL SHALL BE BY SAND, SODIUM CHLORIDE OR CALCIUM CHLORIDE.
5. THE TOTAL AREA REQUIRING SNOW REMOVAL IS APPROXIMATELY 16,171 S.F. THE SNOW STORAGE AREAS TOTAL APPROXIMATELY 9,910 S.F.

DATE APPROVED: _____

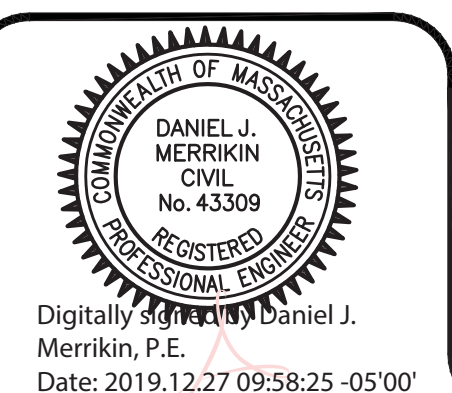
DATE ENDORSED: _____

MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD



| REVISION | DATE | BY |
|-----------------------------|------------|----|
| REVISIONS PER TOWN COMMENTS | 2019-09-04 | |
| REVISIONS PER TOWN COMMENTS | 2019-10-07 | |
| REVISIONS PER TOWN COMMENTS | 2019-12-27 | |
| REVISED SITE LAYOUT | | |

WILLIAM WALLACE VILLAGE
SNOW STORAGE
PLAN OF LAND
IN
MEDWAY, MA

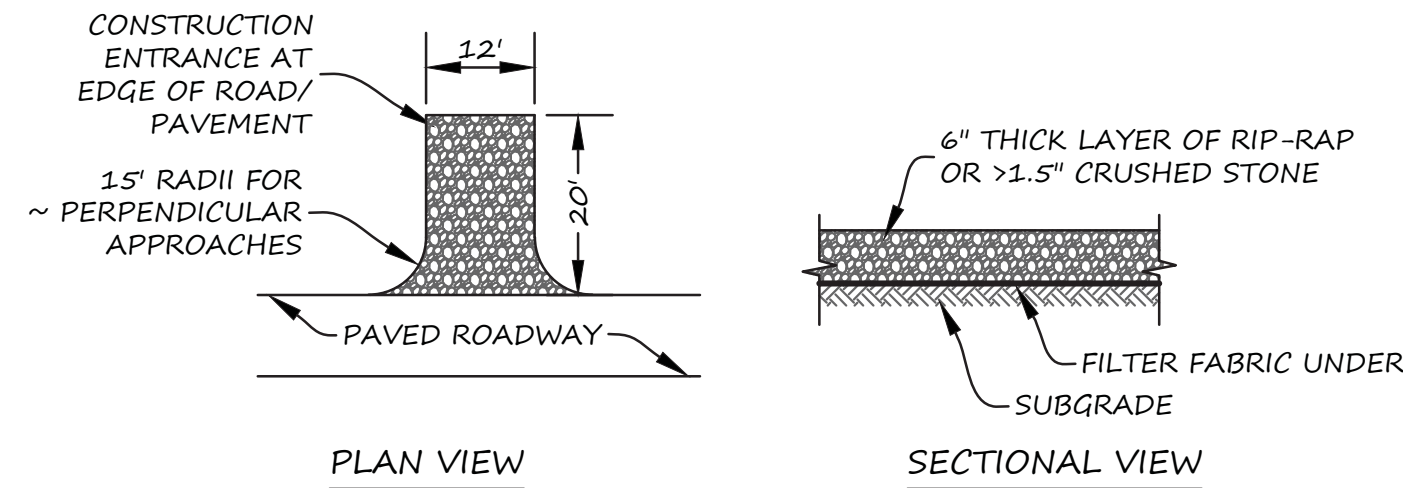


730 MAIN STREET
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MILLIS, MA 02054
508-376-8883(o)

C-9

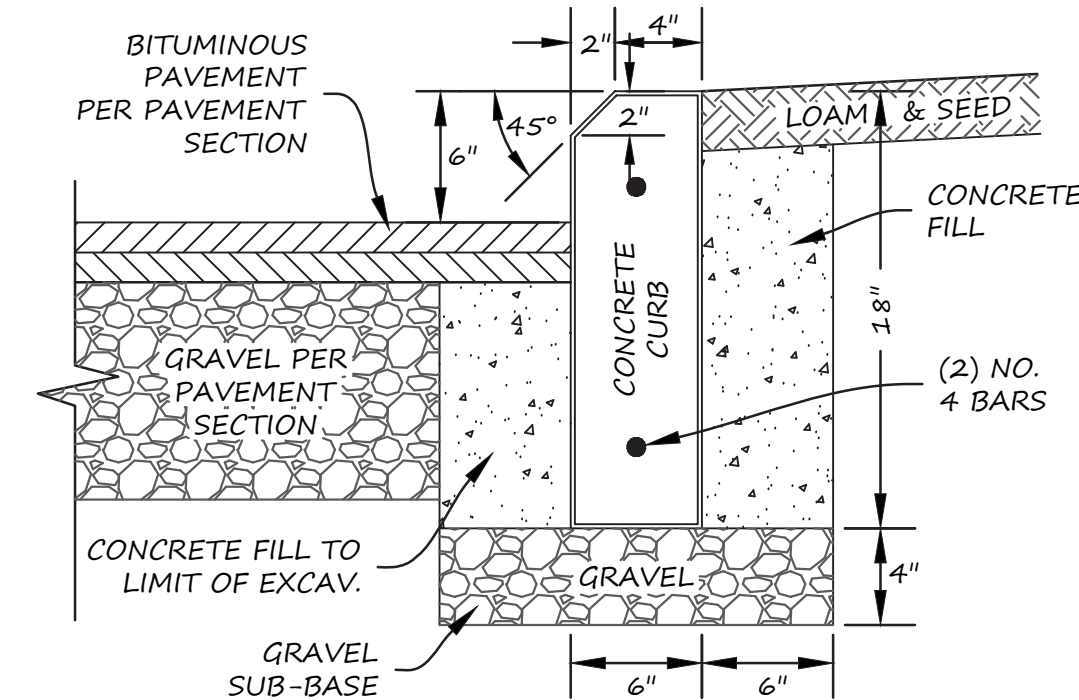


D158-01



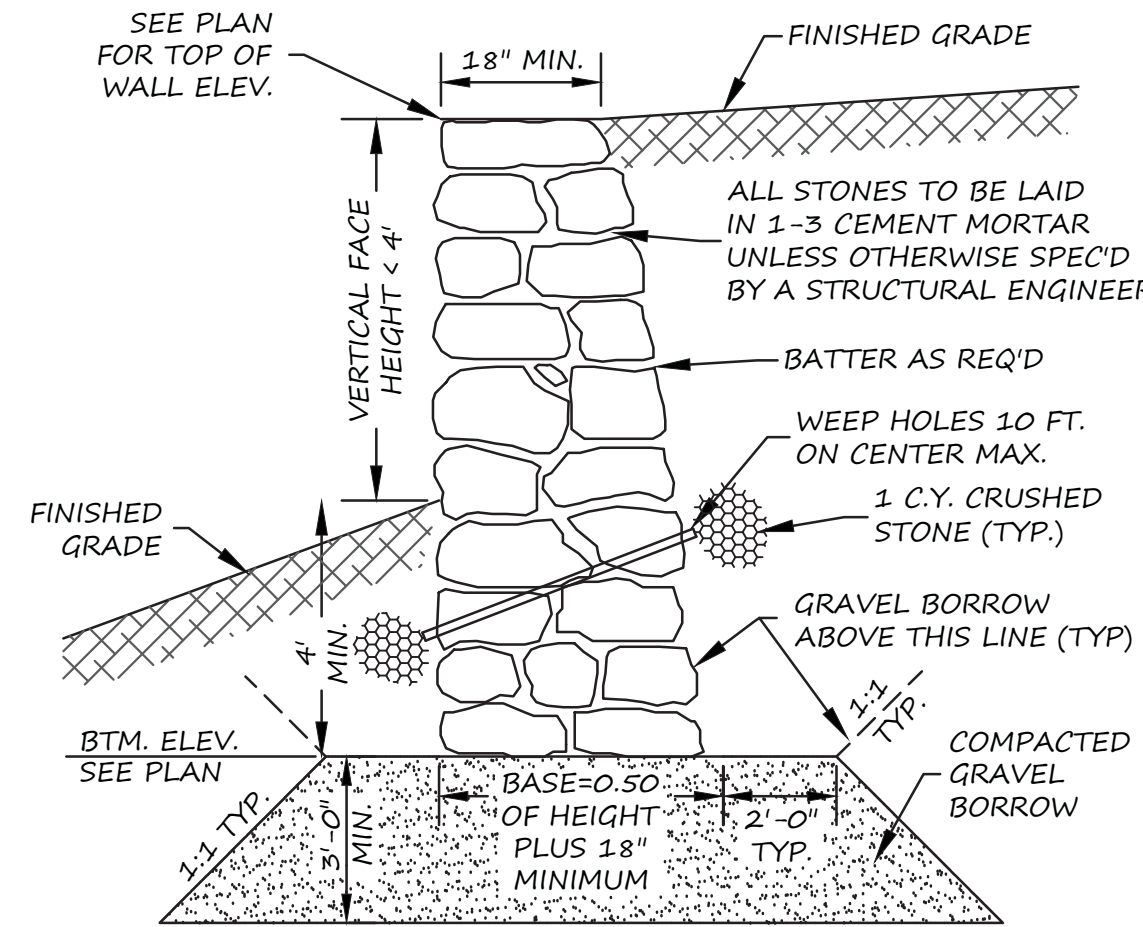
- NOTES:
- ENTRANCE SHALL BE INSTALLED BEFORE ANY EXCAVATION WORK OCCURS ON-SITE.
 - ENTRANCE SHALL BE MAINTAINED IN GOOD CONTITION UNTIL A PAVED DRIVEWAY IS INSTALLED. REPLACE ENTRANCE IF FILLED WITH SOILS OR IF SOILS ARE BEING TRACKED ONTO ADJACENT ROADWAYS.

CONSTRUCTION ENTRANCE DETAIL
NOT TO SCALE

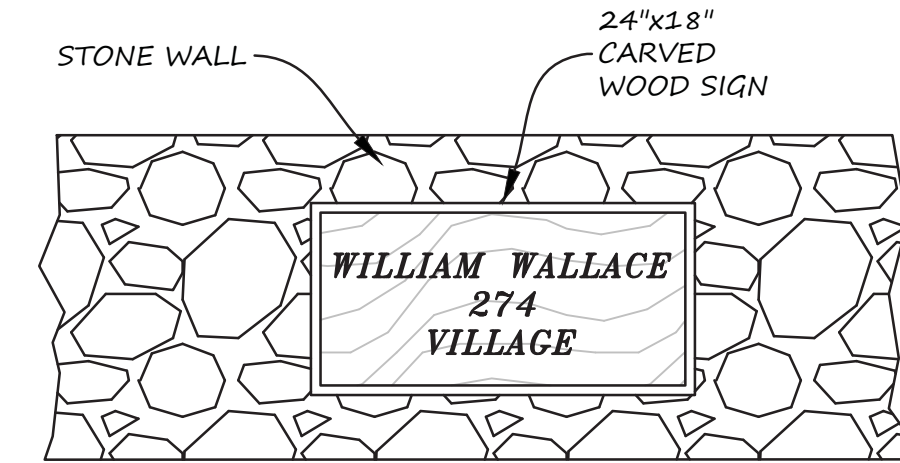


- NOTES:
- CONCRETE TO BE 4,000 PSI.
 - ALL RADII 50' AND SMALLER TO BE CONSTRUCTED USING CURVED SECTIONS.

PRECAST CONCRETE CURB DETAIL
(NO SCALE)



TYPICAL STONE RETAINING WALL
NOT TO SCALE



ENTRANCE SIGNS
NOT TO SCALE

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DATE: _____

REGISTERED LAND SURVEYOR

FOR REGISTRY USE

OWNER
#274
DDRT LLC
P.O. BOX 95
TRURO, MA 02666

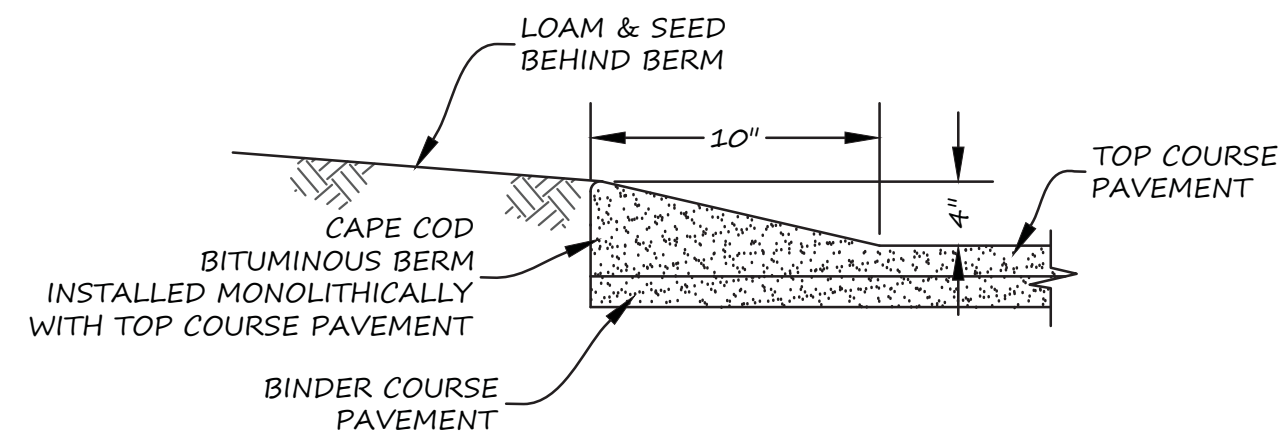
PORTION OF #276
KEITH & JUDITH SPINNEY
276 VILLAGE STREET
MEDWAY, MA 02053

APPLICANT
DDRT LLC
P.O. BOX 95
TRURO, MA 02666

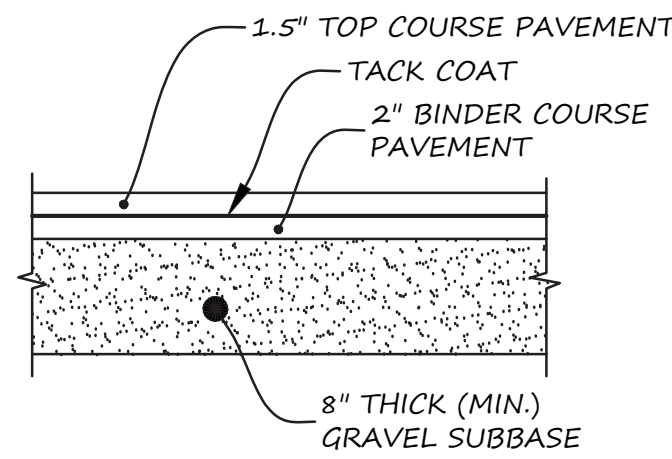
ZONING DISTRICT
AGRICULTURAL RESIDENTIAL II

ASSESSORS PARCEL
59-55

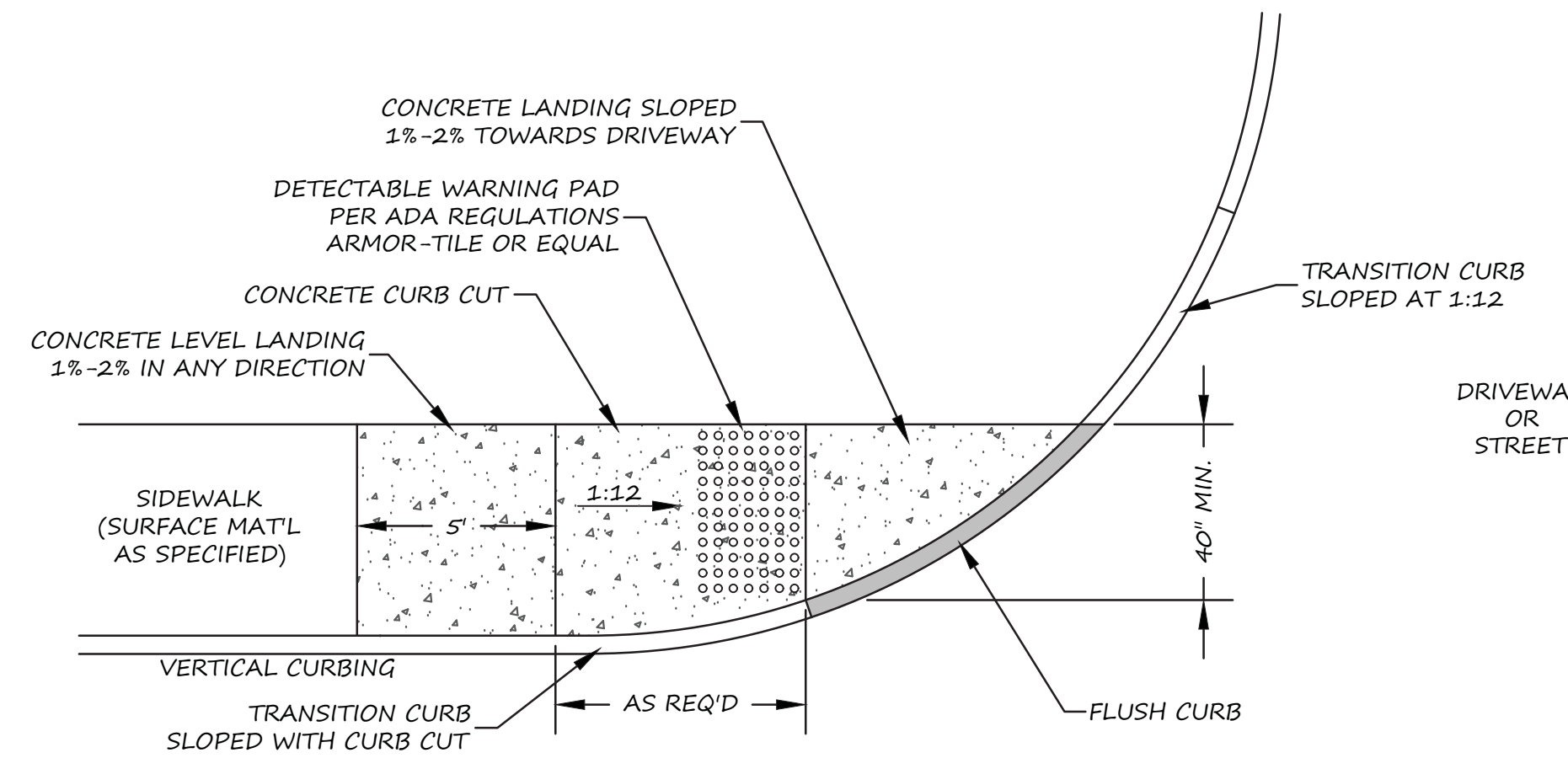
PLAN & DEED REFERENCE
DEED BOOK 6563 PAGE 42
DEED BOOK 14198 PAGE 100
PLAN BOOK 315 NO. 1166 OF 1984



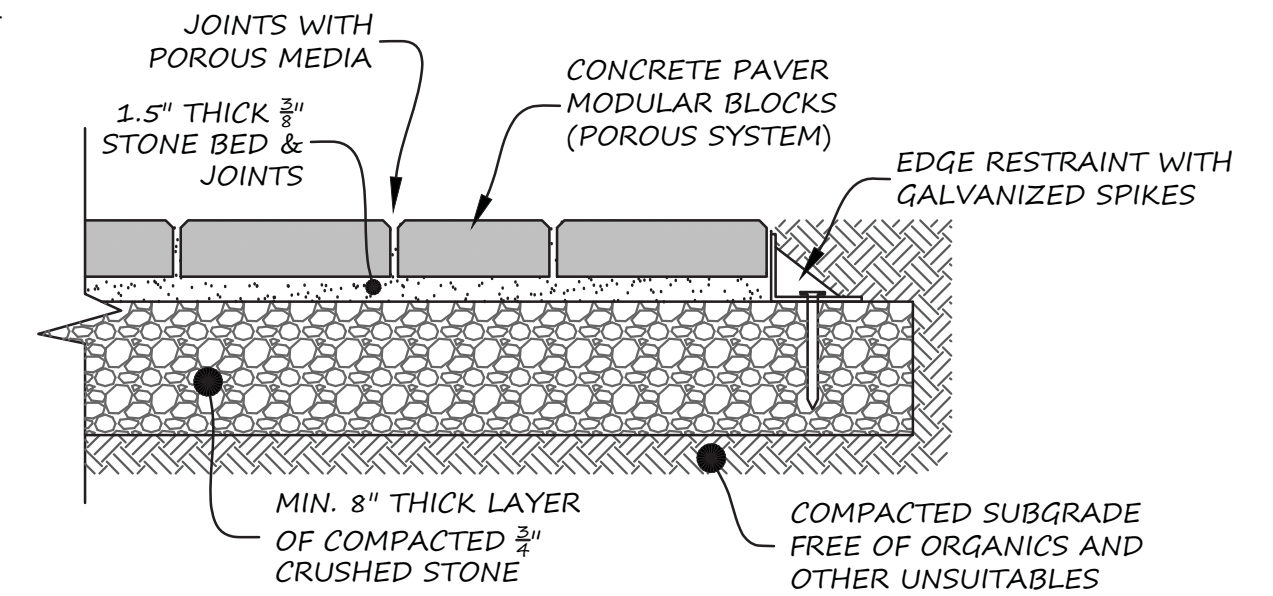
MONOLITHIC CAPE COD BERM DETAIL
(NO SCALE)



TYPICAL PARKING LOT PAVING SECTION
NOT TO SCALE

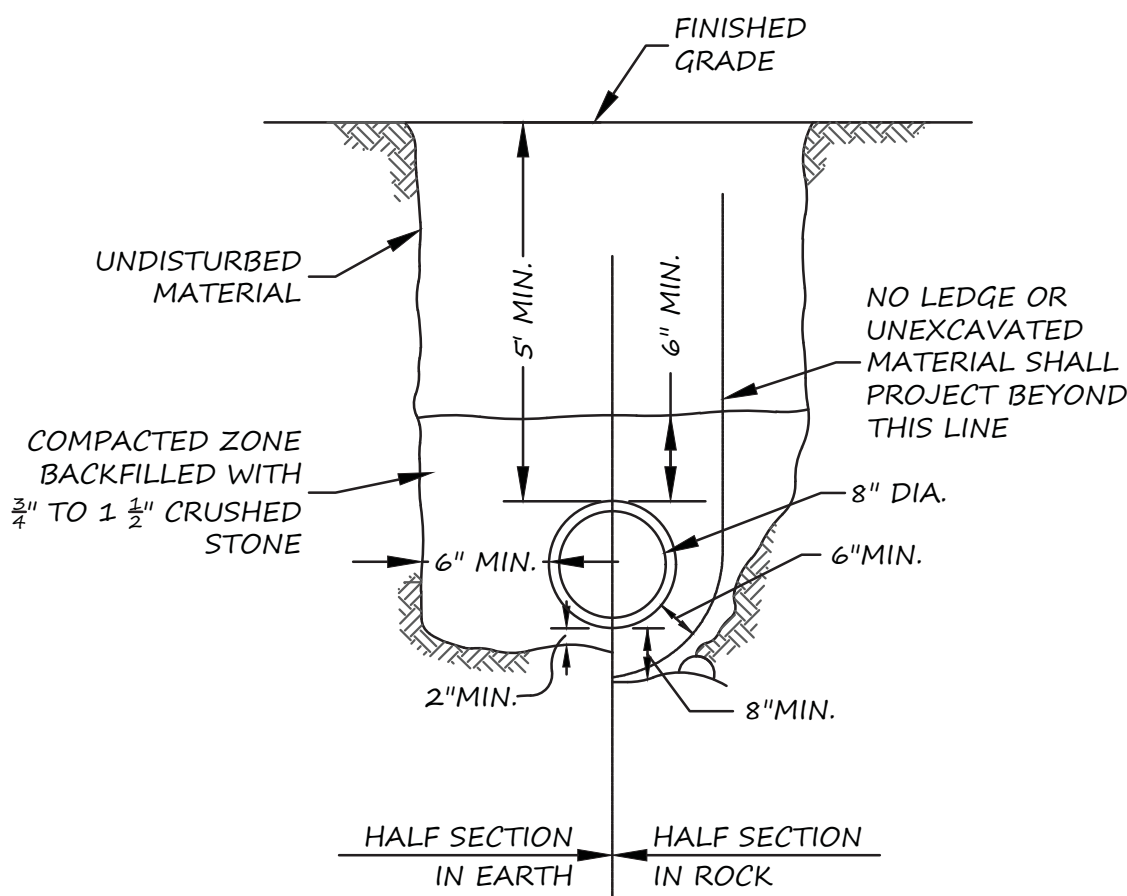


TYPICAL ACCESSIBLE CURB CUT DETAIL
NOT TO SCALE

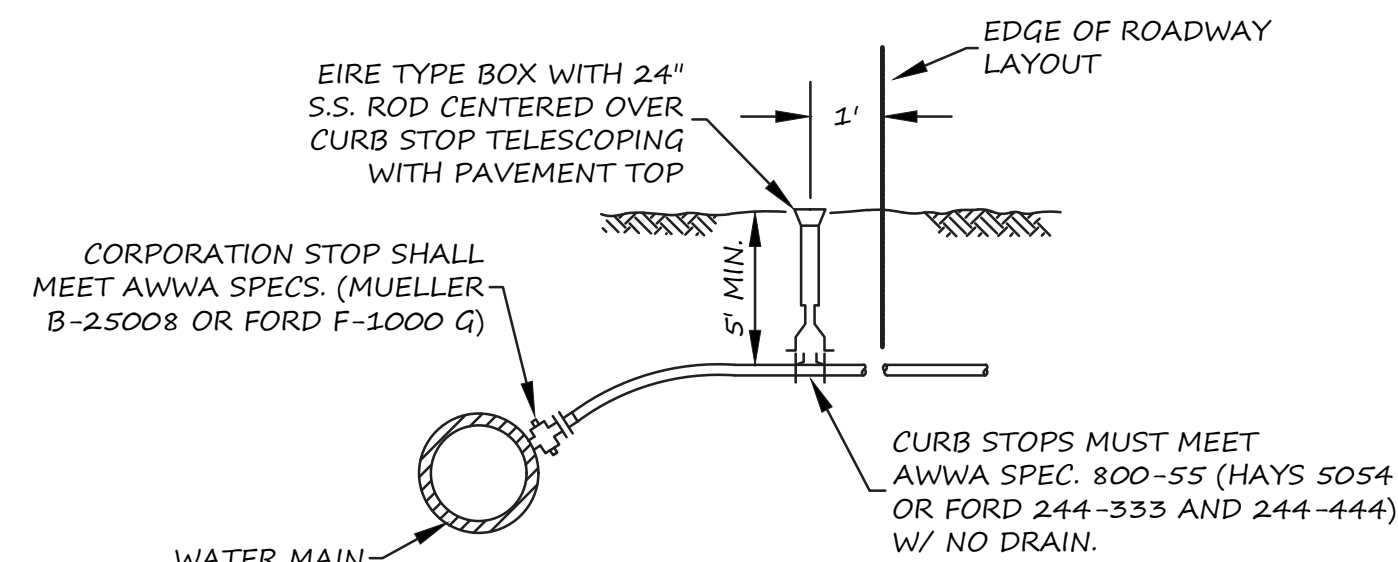


NOTE: PAVER MANUFACTURER, MODEL AND COLOR AT APPLICANT'S DISCRETION BUT MUST BE A POROUS PAVER SYSTEM.

CONCRETE PAVER DETAIL
NOT TO SCALE

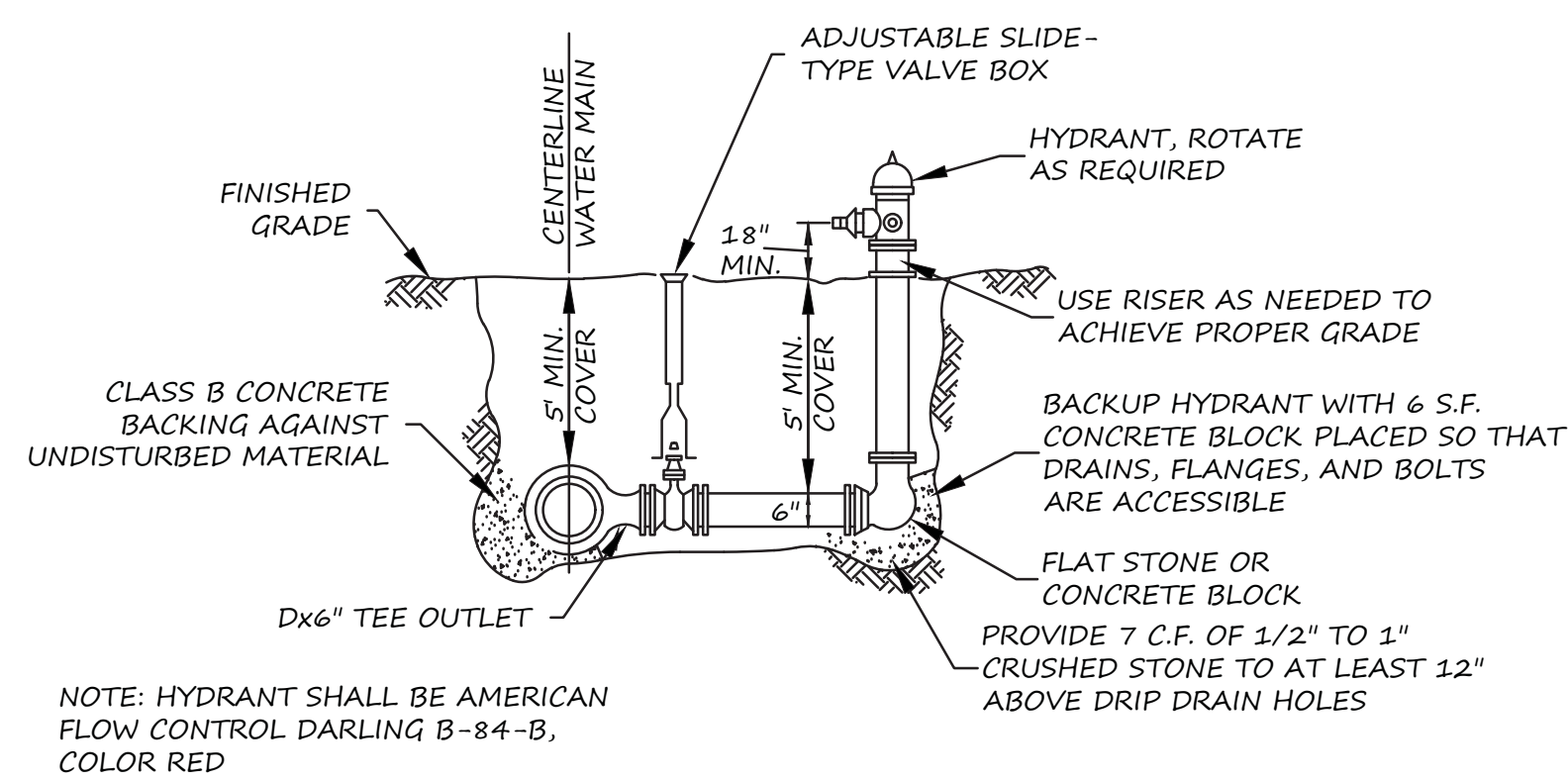


WATER MAIN TRENCH DETAIL
NOT TO SCALE

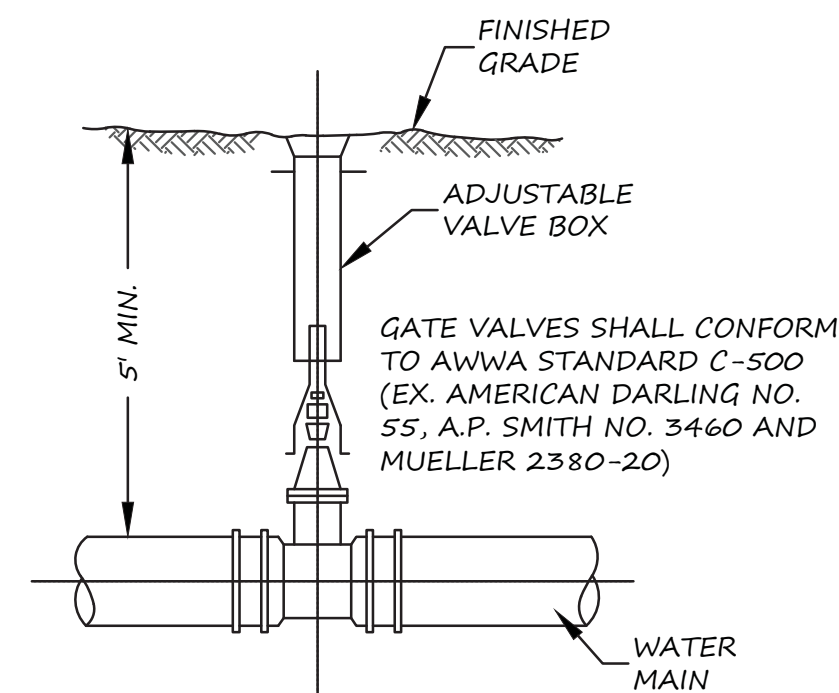


- NOTES:
- COPPER TUBING SHALL MEET AWWA SPEC. 76-CR TYPE K OR FEDERAL SPEC. WWT-799 TYPE K.
 - 1 1/2-INCH AND LARGER SERVICES SHALL BE INSTALLED WITH A SADDLE.

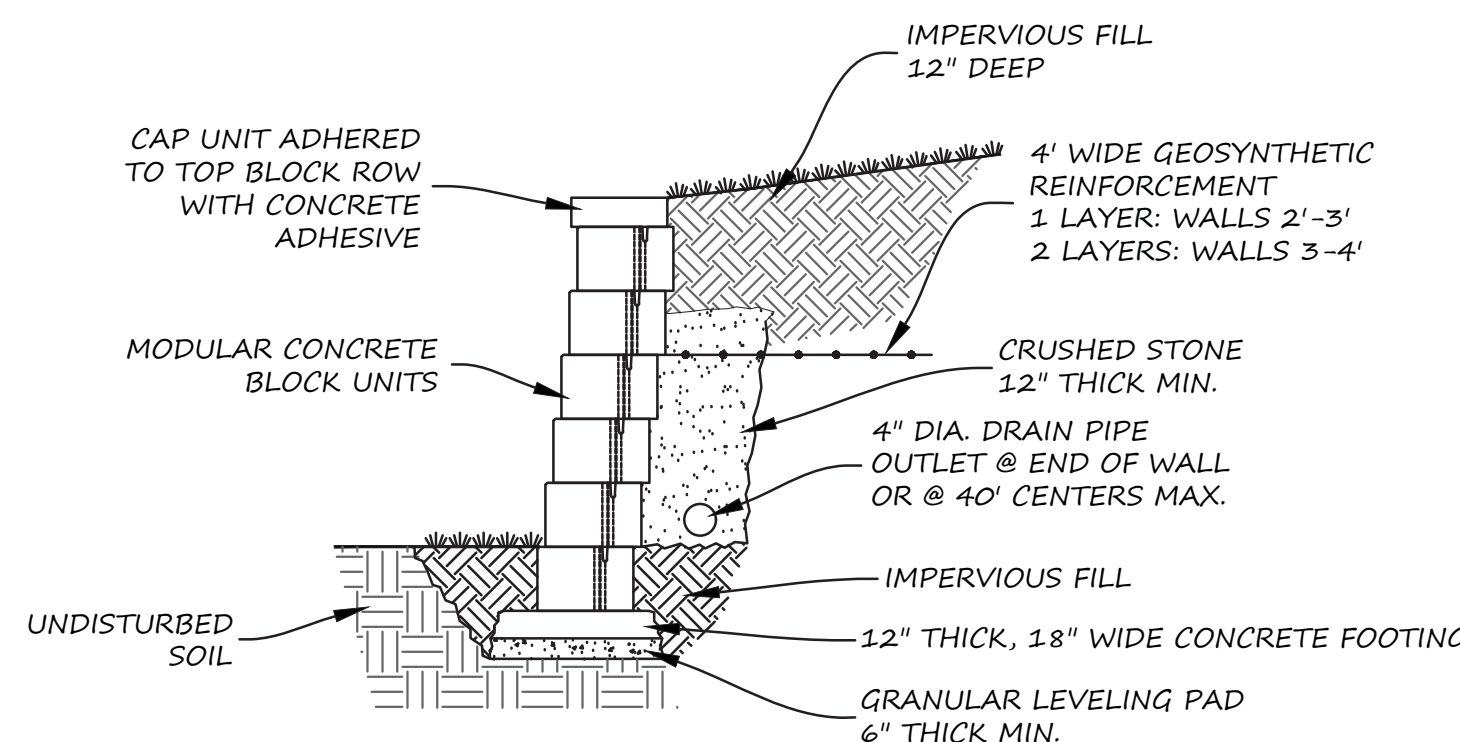
TYPICAL WATER SERVICE CONNECTION
NOT TO SCALE



TYPICAL HYDRANT ASSEMBLY DETAIL
NOT TO SCALE

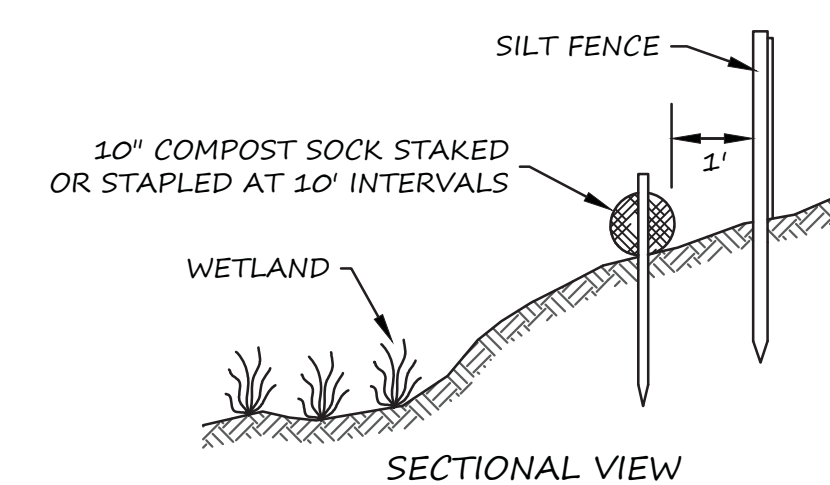


TYPICAL GATE VALVE
NOT TO SCALE



- NOTES:
- SMALL BLOCK UNITS SHALL BE THE SQUARE FOOT PRODUCT BY VERSA-LOK OR APPROVED EQUAL. WALL HEIGHT WITHOUT REINFORCEMENT SHALL BE LIMITED TO 3.5' EXPOSED FACE.
 - INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS.

TYPICAL "SMALL BLOCK" RETAINING WALL
NOT TO SCALE



EROSION CONTROL DETAIL (FILTER SOCK)
NOT TO SCALE

DATE APPROVED: _____

DATE ENDORSED: _____

MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD



Digitally signed by Daniel J. Merrikin, P.E.
Date: 2019.12.27 09:57:56 -05'00'

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)

C-10

D158-01

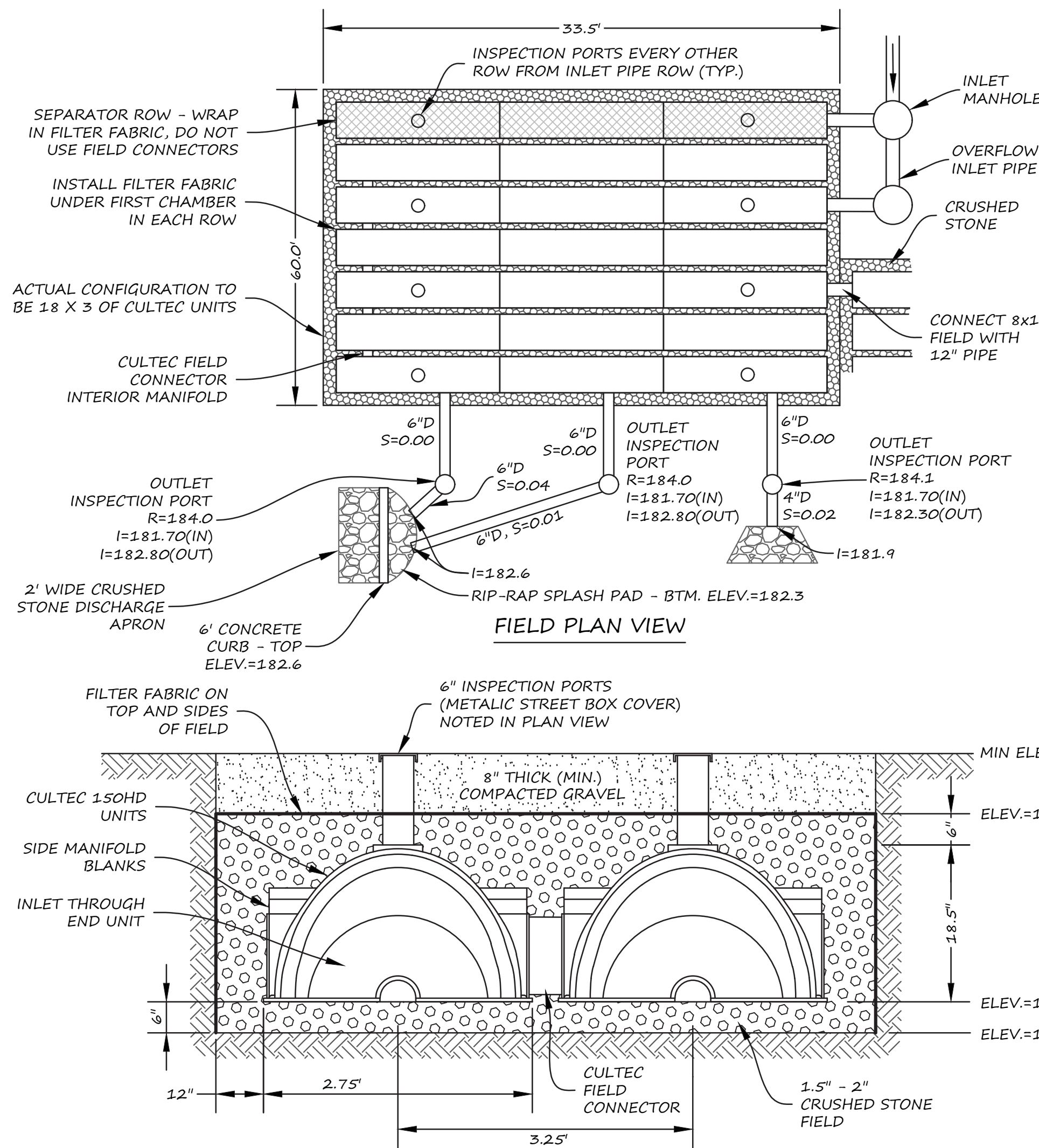


PLAN SCALE: NOT TO SCALE

| REVISION | DATE | BY |
|-----------------------------|------------|----|
| REVISIONS PER TOWN COMMENTS | 2019-09-04 | |
| REVISIONS PER TOWN COMMENTS | 2019-10-07 | |
| REVISIONS PER TOWN COMMENTS | 2019-12-27 | |
| REVISED SITE LAYOUT | | |

WILLIAM WALLACE VILLAGE
DETAIL
PLAN OF LAND
IN
MEDWAY, MA

PLAN DATE: JUNE 25, 2019

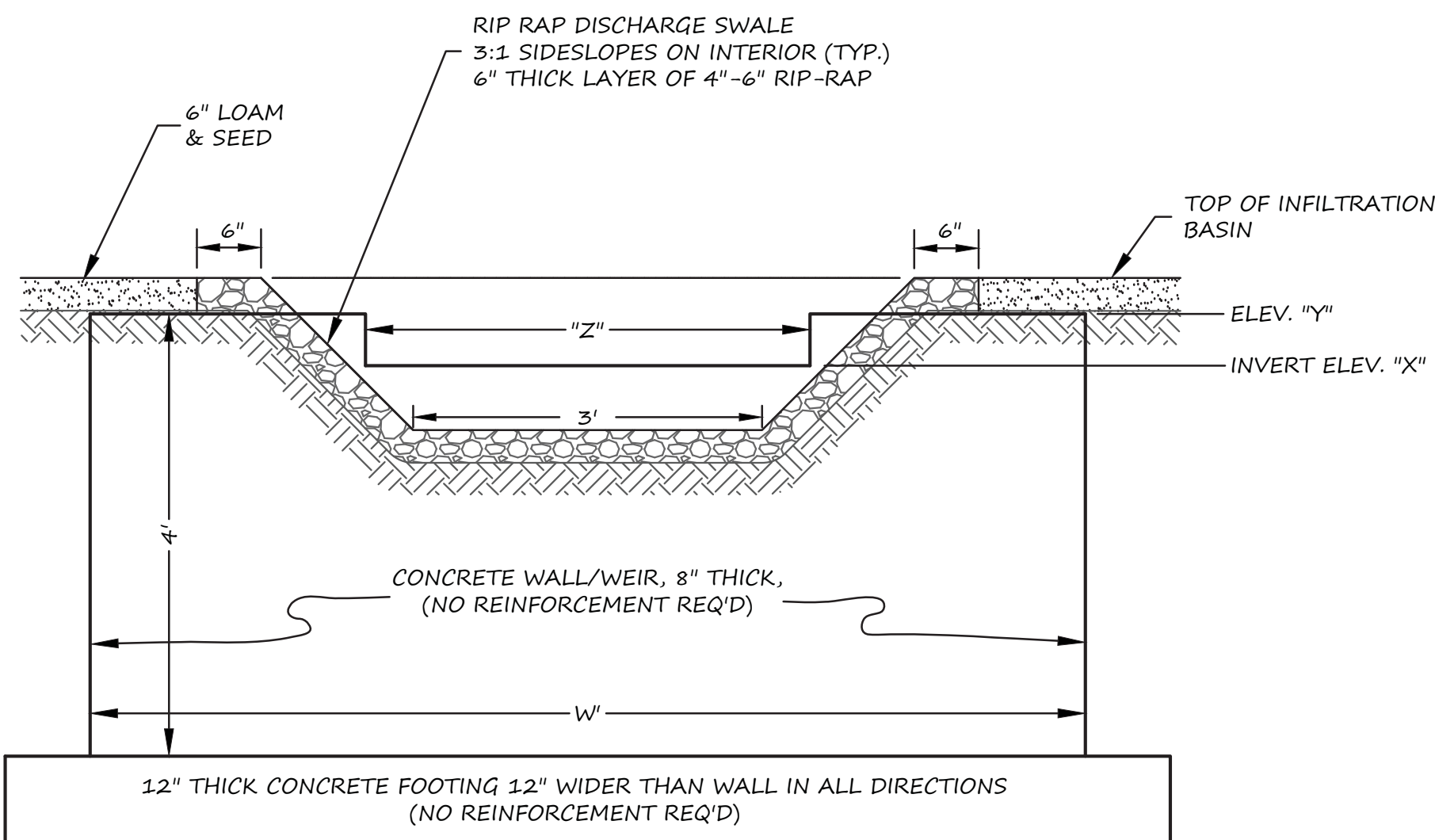


NOTES:

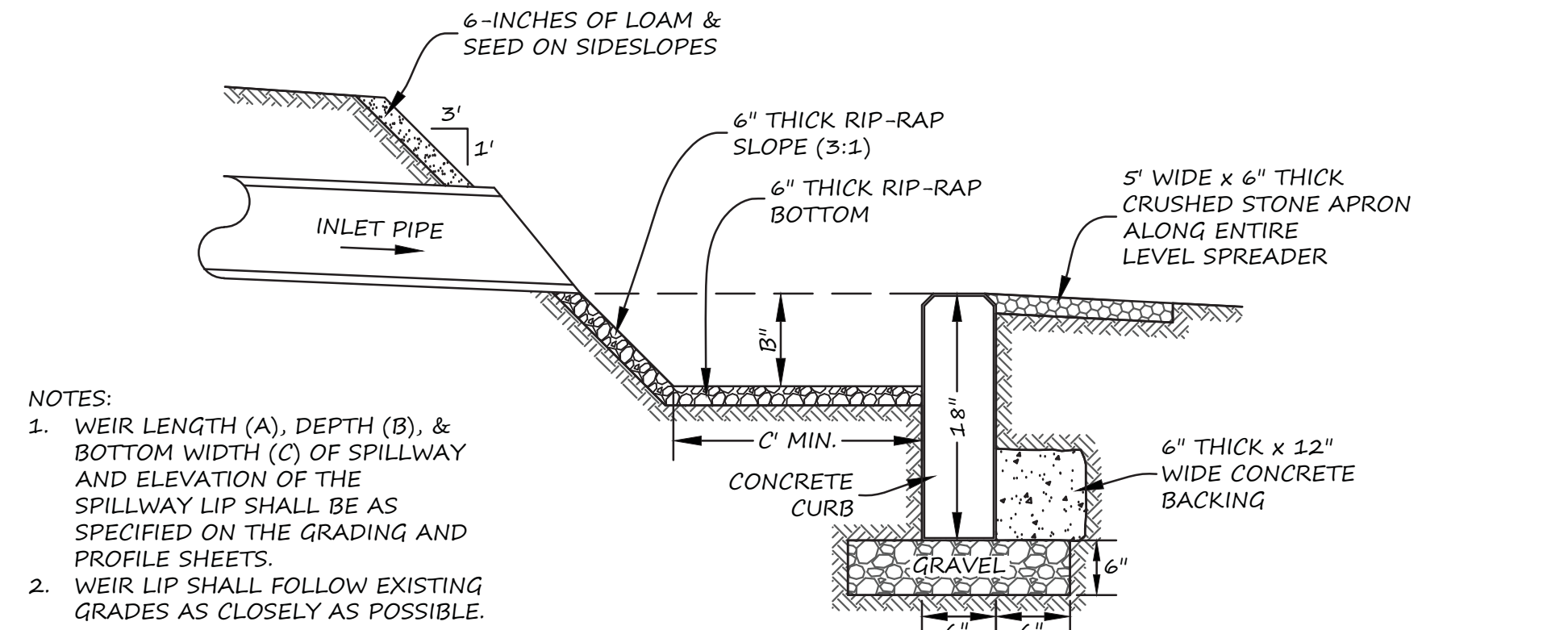
1. INFILTRATION TRENCH UNITS TO BE RECHARGER 150XLHD AS MANUFACTURED BY CULTEC, INC., 878 FEDERAL ROAD, BROOKFIELD, CT 06804, OR APPROVED EQUAL. APPROVED EQUALS MUST CONTAIN AT LEAST THE SAME TOTAL SYSTEM STORAGE VOLUME AND BOTTOM AREA.
2. INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS.
3. TWO-TRENCH SYSTEM CROSS-SECTION SHOWN. MULTIPLE TRENCHES WOULD USE THE SAME EXTERIOR STONE THICKNESS AND INTERIOR CHAMBER SEPARATION VALUES.
4. INFILTRATION TRENCH UNITS SHALL BE ABLE TO WITHSTAND H-20 LOADINGS.
5. REMOVE ALL TOPSOIL AND SUBSOIL BELOW SYSTEM AND REPLACE WITH GRAVEL MEETING ENGINEER'S APPROVAL AS NEEDED.

INFILTRATION FIELD DETAIL

NOT TO SCALE



BASIN OUTLET WEIR AND RIP-RAP SWALE DETAIL

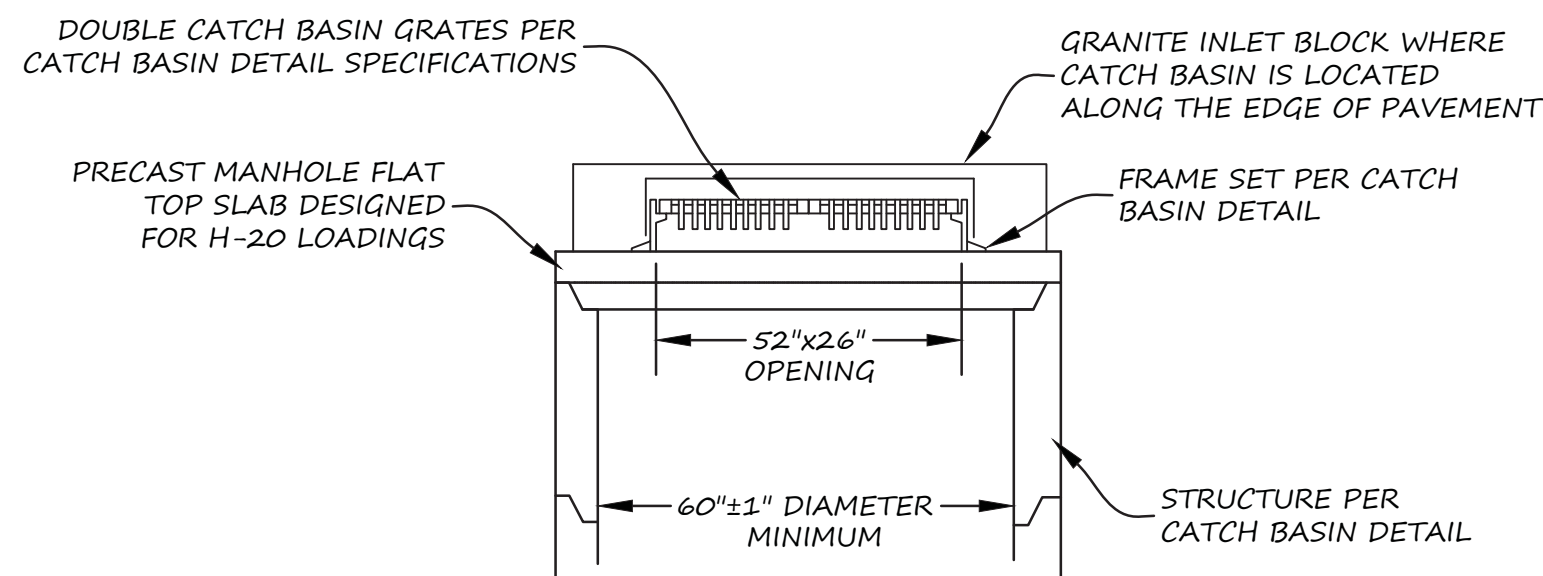


TYPICAL SECTIONAL VIEW

PLAN VIEW

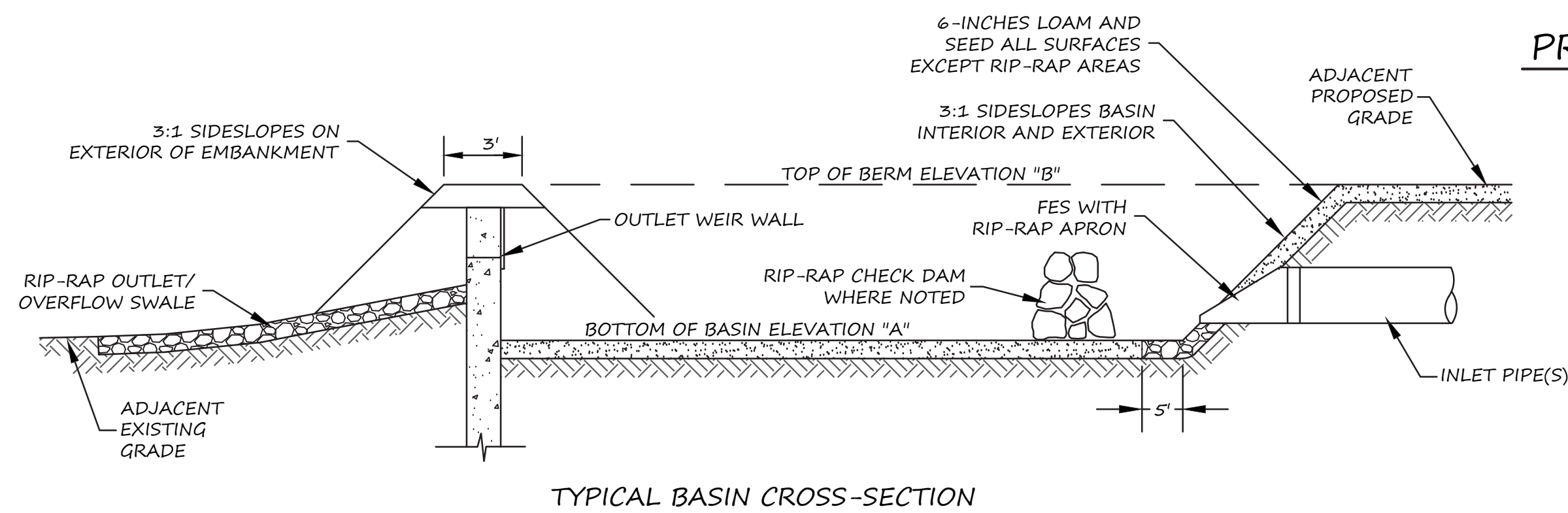
LEVEL SPREADER DETAIL

NOT TO SCALE



CATCH BASIN DOUBLE GRATE DETAIL

NOT TO SCALE



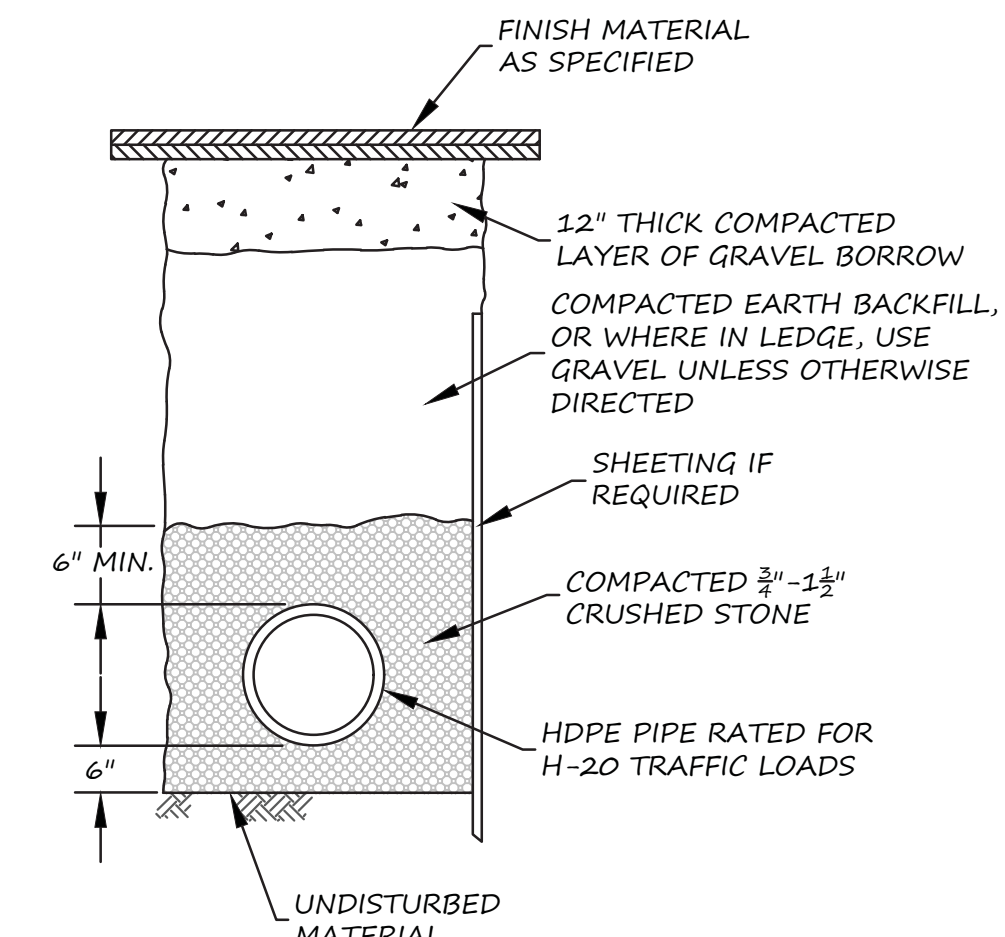
TYPICAL BASIN CROSS-SECTION

SCHEDULE OF DIMENSIONS AND ELEVATIONS

| | BASIN #1 | BASIN #2 |
|-------------------------------|----------|----------|
| BOTTOM OF BASIN ELEVATION "A" | 186.0 | 185.0 |
| TOP OF BERM ELEVATION "B" | 187.5 | 187.0 |
| EMERGENCY OVERFLOW ELEV. | 187.0 | 186.5 |
| EMERGENCY OVERFLOW WIDTH | 6' | 6' |

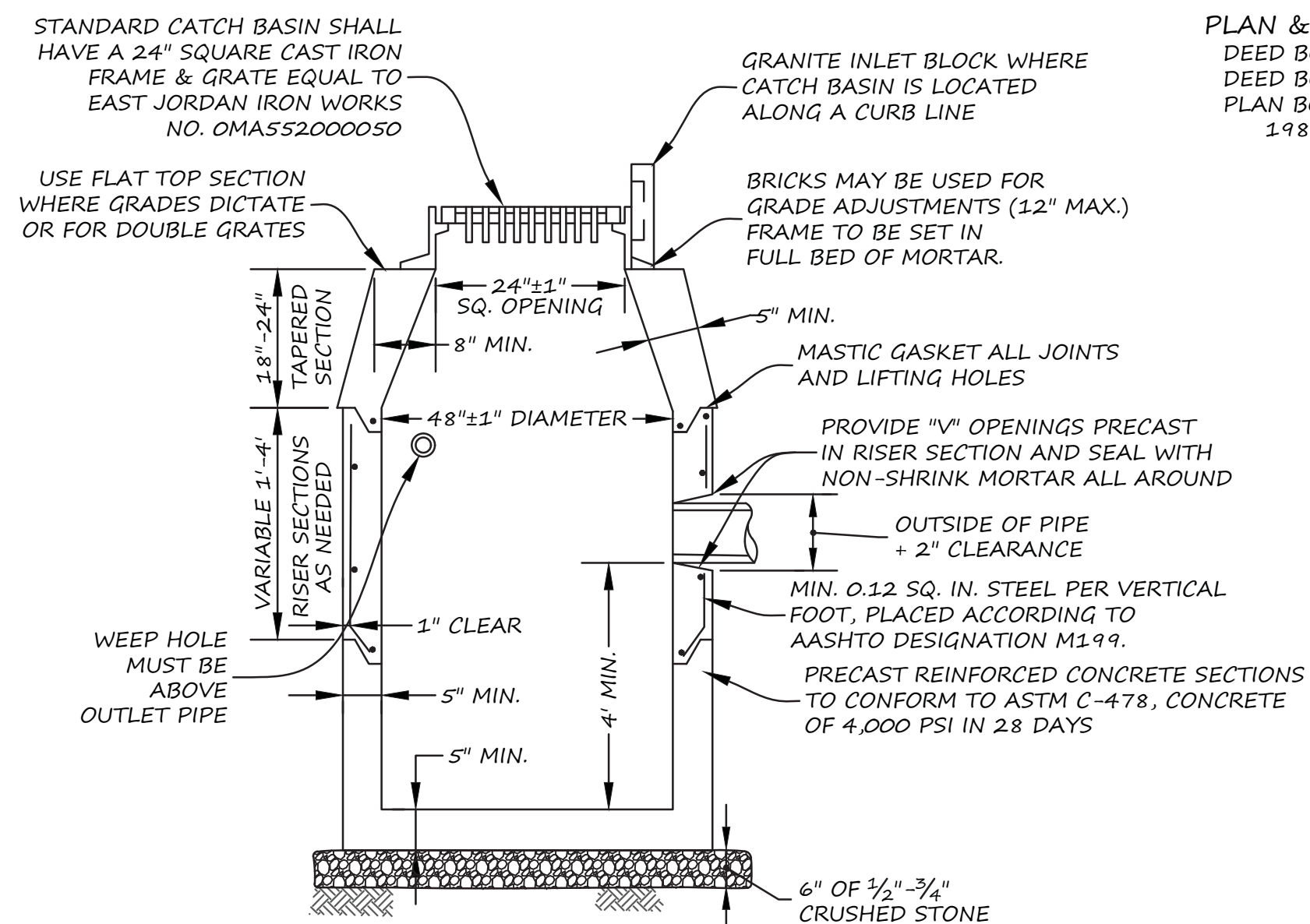
TYPICAL INFILTRATION BASIN CROSS-SECTION

NOT TO SCALE



TYPICAL DRAIN TRENCH

(NO SCALE)



NOTES:

1. NO BELL ENDS IN CATCH BASIN. CONNECTIONS TO BE TIGHTLY SEALED WITH MORTAR.
2. SUBSTITUTE FRAME AND GRATE SHALL BE MADE IN USA AND SHALL BE APPROVED BY THE ENGINEERING DEPARTMENT OR PLANNING BOARD PRIOR TO CONSTRUCTION.
3. PROVIDE 5" DIAMETER STRUCTURE WITH FLAT TOP WITH RECTANGULAR OPENING FOR DOUBLE GRATES, WHICH SHALL BE EAST JORDAN IRON WORKS NO. 0MA544000002 WITH GRATES EQUAL TO ABOVE-SPECIFICATION.

PRECAST CONCRETE CATCH BASIN

NOT TO SCALE

NOTES:

1. SEE GRADING SHEETS FOR SIZE OF INLETS AND OUTLETS, OUTLET STRUCTURE SPECIFICATIONS, ELEVATION OF BOTTOM OF BASIN, ELEVATION OF TOP OF BASIN, SLOPE OF SIDESLOPES, AND OTHER DIMENSIONAL REQUIREMENTS FOR EACH BASIN.
2. ALL TOPSOIL AND SUBSOIL BELOW THE BOTTOM OF THE BASIN SHALL BE REMOVED PRIOR TO BASIN CONSTRUCTION. FILL MATERIALS UNDER THE BASIN BOTTOM SHALL BE CLEAN GRAVEL. FILL FOR BERMS MAY BE SAND, LOAMY SAND OR SANDY LOAM. (TITLE V CLASSIFICATIONS).
3. BERM AREAS SHALL BE REMOVED OF ALL TOP AND SUB-SOIL AND OTHER UNSUITABLE SOILS. BERM CORE SHALL CONSIST OF ORDINARY BORROW INSTALLED IN 12-INCH LIFTS TO A MINIMUM 93% PROCTOR DENSITY.

DATE APPROVED: _____

DATE ENDORSED: _____

MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD



Digitally signed by Daniel J. Merrikin, P.E.
Date: 2019.12.27 09:57:23 -05'00'

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)

C-11

D158-01



LEGACY
ENGINEERING

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DATE: _____

REGISTERED LAND SURVEYOR

FOR REGISTRY USE

OWNER
#274
DDRT LLC
P.O. BOX 95
TRURO, MA 02666

PORTION OF #276
KEITH & JUDITH SPINNEY
276 VILLAGE STREET
MEDWAY, MA 02053

APPLICANT
DDRT LLC
P.O. BOX 95
TRURO, MA 02666

ZONING DISTRICT
AGRICULTURAL RESIDENTIAL II

ASSESSORS PARCEL
59-55

PLAN & DEED REFERENCE
DEED BOOK 6563 PAGE 42
DEED BOOK 1418 PAGE 100
PLAN BOOK 315 NO. 1166 OF 1984

PLAN SCALE: NOT TO SCALE

PLAN DATE: JUNE 25, 2019

| REVISION | DATE | BY |
|-----------------------------|------------|----|
| REVISIONS PER TOWN COMMENTS | 2019-09-04 | |
| REVISIONS PER TOWN COMMENTS | 2019-10-07 | |
| REVISIONS PER TOWN COMMENTS | 2019-12-27 | |
| REVISED SITE LAYOUT | | |

WILLIAM WALLACE VILLAGE
DETAIL
PLAN OF LAND
IN
MEDWAY, MA

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PORTION OF #276
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ZONING DISTRICT
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PLAN & DEED REFERENCE
DEED BOOK 6563 PAGE 42
DEED BOOK 19198 PAGE 100
PLAN BOOK 315 NO. 1166 OF
1984

PLAN SCALE: NOT TO SCALE

[illegible]

WILLIAM WALLACE VILLAGE
DETAIL
PLAN OF LAND
IN
MEDWAY, MA



NOT TO SCALE



NOTE:
DO NOT MORTAR OVER
INTERIOR BRICK WORK.

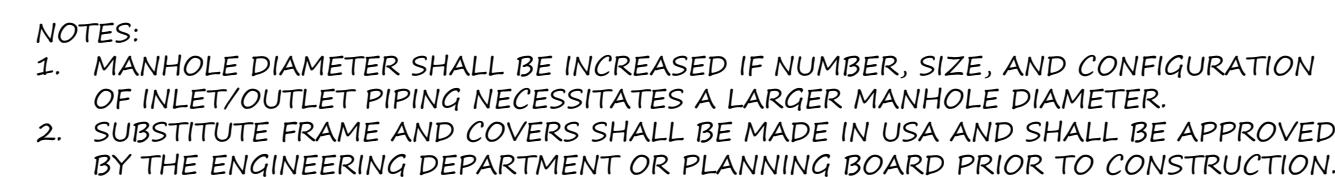


BUILDING CONNECTION
1/4" SLOPE PER FT. UNLESS
OTHERWISE DIRECTED

SECTION

TYPICAL BUILDING SEWER SERVICE CONNECTION

NOT TO SCALE

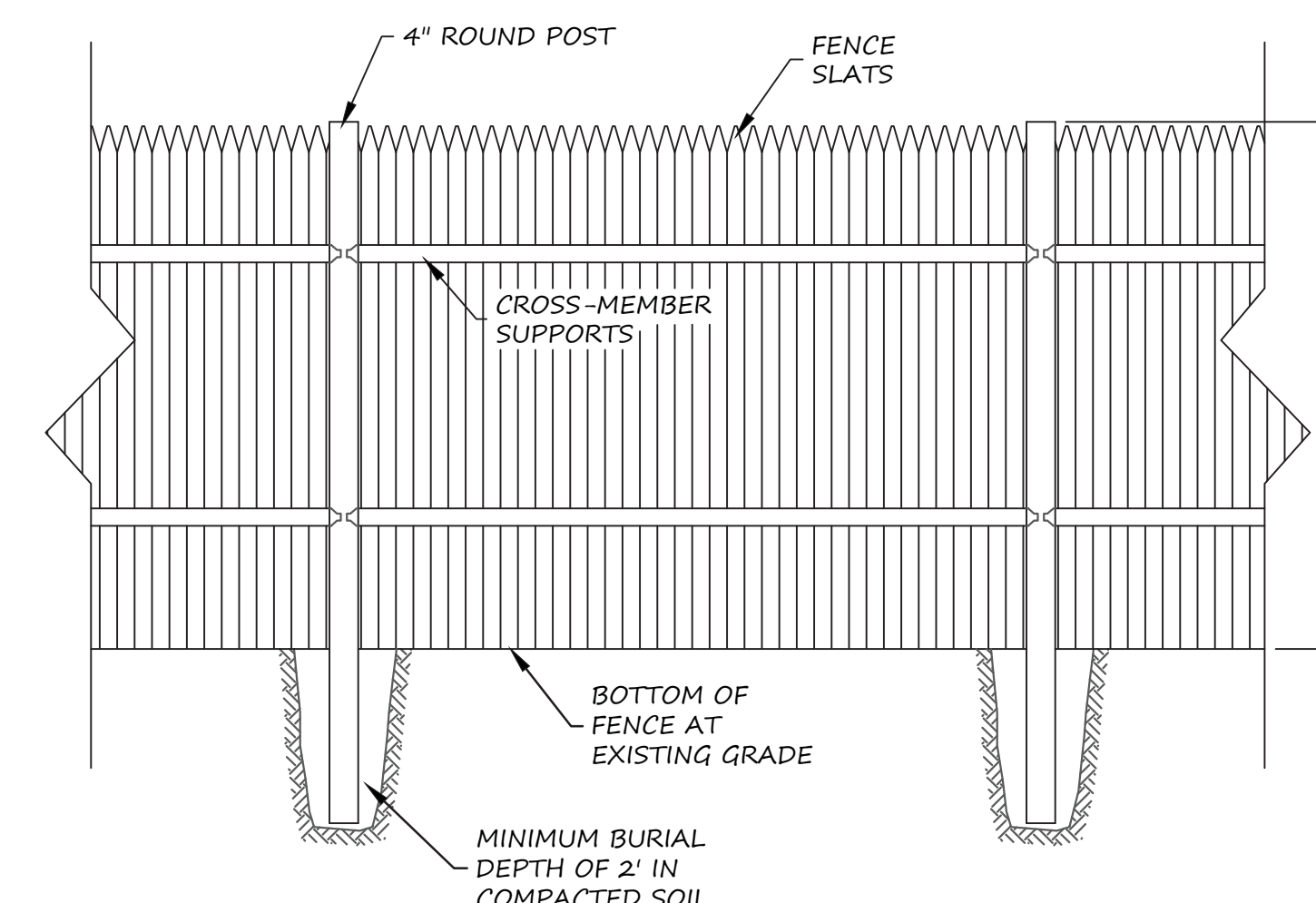


PRECAST CONCRETE DRAIN MANHOLE

NOT TO SCALE



NOT TO SCALE

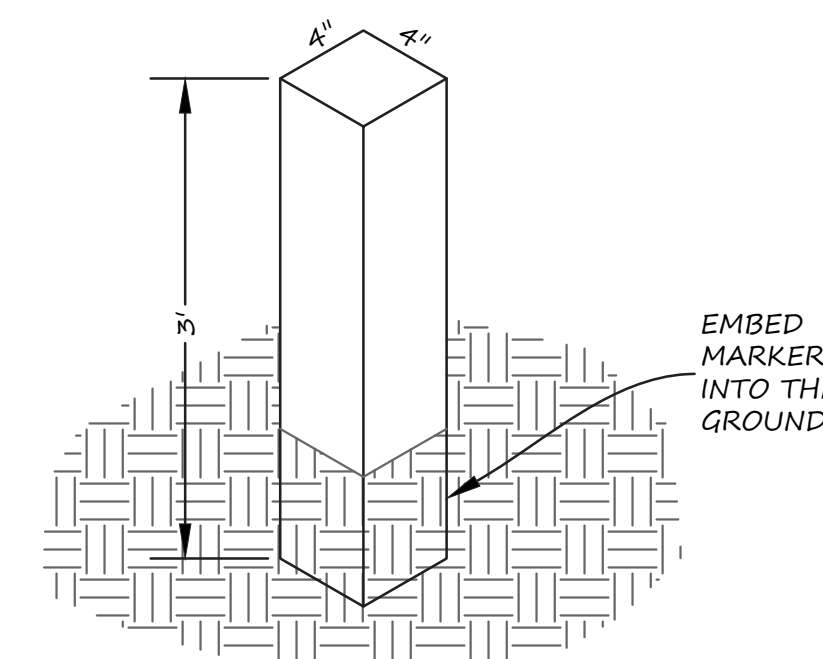


NOTES:

1. ALL WOOD COMPONENTS TO BE CEDAR.
2. FENCE TO BE INSTALLED WITH FINISHED SIDE FACING ABUTTING PROPERTIES.
3. VINYL STOCKADE MAY BE SUBSTITUTED PROVIDED THAT THE FINISH IS TEXTURED AND SLIGHTLY MATTED SO IT IS NOT EXCESSIVELY GLOSSY.

STOCKADE FENCE DETAIL

NOT TO SCALE



GRANITE WETLAND BUFFER MARKER

NOT TO SCALE

DATE ENDORSED: _____

MEDWAY PLANNING & ECONOMIC
DEVELOPMENT BOARD



NOT TO SCALE



NOT TO SCALE



Digitally signed by Daniel J. Merrikin
P.E.
Date: 2019.12.27 09:48:53 -05'00'

730 MAIN STREET
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C-12

D158-01



LEGACY
ENGINEERING