

FALES STREET

NOW OR FORMERLY
VICTOR W. JR. & ANN V. TERRANOVA
DEED BOOK 22299 PAGE 198
8 FALES STREET

NOW OR FORMERLY
JOHN WILLIAM PARLEE
& JAME L. HODGES
DEED BOOK 32840 PAGE 4
5 FALES STREET

NOW OR FORMERLY
CATHY F. SUTTON & WILLIAM A. RITCHIE
DEED BOOK 8417 PAGE 2
216 MAIN STREET

NOW OR FORMERLY
DANIEL M. & JAME A. BERGERON
DEED BOOK 6899 PAGE 177
214 MAIN STREET

NOW OR FORMERLY
RICHARD E. & HELEN M. FORCE
DEED BOOK 30979 PAGE 576
230 MAIN STREET

NOW OR FORMERLY
JOYONTE ALLEN SANTOS
& MYRIAM SANTOS
DEED BOOK 35427 PAGE 407
224 MAIN STREET

NOW OR FORMERLY
ROBERT E. & MARIAN L. LEONARD
DEED BOOK 3554 PAGE 451
222 MAIN STREET

NOW OR FORMERLY
JENNIFER F. & JASON M. ROMAN
DEED BOOK 33718 PAGE 185
228 MAIN STREET

LAYOUT & MATERIALS LEGEND:

BITUMINOUS CONCRETE CURB	BB
LIMIT OF WORK	---
SETBACK	---
MAILBOX	
LIGHT FIXTURE/POST	*
SILT FENCE/HAYBALE LINE	---

LAYOUT AND MATERIALS NOTES:

ALL WORK CONDUCTED WITHIN PUBLIC RIGHT-OF-WAYS SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF THE TOWN OF MEDWAY DEPARTMENT OF PUBLIC WORKS AND MASS HIGHWAY.

ALL ACCESSIBLE ROUTES, RAMPS AND PARKING SPACES TO COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (ADA) ACCESSIBILITY GUIDELINES AND THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD (AAB).

THE FOLLOWING LAYOUT CRITERIA SHALL CONTROL UNLESS OTHERWISE NOTED ON THE PLAN: DIMENSIONS FROM BUILDING ARE FROM FACE OF BUILDING. DIMENSIONS ARE TO FACE OF CURB AT GUTTER LINE. DIMENSIONS ARE TO THE CENTER OF PAVEMENT MARKINGS. ALL TIES TO PROPERTY LINES ARE PERPENDICULAR TO THE PROPERTY LINE UNLESS OTHERWISE NOTED.

SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND ALL DETAIL CONTIGUOUS TO THE BUILDING INCLUDING ENTRANCES, DOORWAY PADS, STAIRS, ETC.

ALIGN WALKWAYS CENTERED ON BUILDING EXIT DOORS UNLESS OTHERWISE NOTED.

ALL LINES AND DIMENSIONS ARE PARALLEL OR PERPENDICULAR TO THE LINES FROM WHICH THEY ARE MEASURED UNLESS OTHERWISE INDICATED.

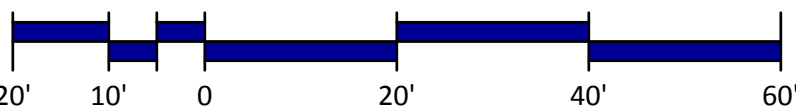
COORDINATE THE LOCATION OF ALL SITE LIGHT STANDARDS WITH IMPROVEMENTS SHOWN ON THESE DRAWINGS.

ALL BITUMINOUS CONCRETE PAVING SHALL COMPLY WITH THE MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, 1988 EDITION AS AMENDED. THE CONTRACTOR SHALL SUBMIT A JOB MIX FORMULA DEMONSTRATING COMPLIANCE WITH THESE SPECIFICATIONS. THE CONTRACTOR SHALL SUPPLY THE ENGINEER WITH A CERTIFICATE OF COMPLIANCE SUPPLIED BY THE PAVING CONTRACTOR.

BITUMINOUS CONCRETE PAVEMENT: CLASS 1, TYPE I-1 CONFORMING TO THE STANDARD SPECIFICATIONS, SECTIONS 420 AND 460, AND M3.11.03 FOR BINDER COURSE AND TOP COURSE JOB MIX FORMULAS.

NO SNOW IS TO BE PLACED WITHIN OR ON TOP OF DRAINAGE STRUCTURES.

SCALE: 1" = 20'



REVISIONS

NO.	DATE	DESCRIPTION	BY	CHKD.
2	10/22/20	QUAD CONCEPT	DG	
1	9/8/20	PEDB REVIEW COMMENTS	DG	MEB

QUAD CONCEPT

Multifamily Development

218-220 MAIN STREET
MEDWAY, MA 02053

Prepared For:

Harmony Village LLC



MERIDIAN
ASSOCIATES

60 MILK STREET, SUITE 208, WESTBROOK, MA 01581 | 978.871.2020
500 CUMMINGS CENTER, SUITE 5950 BEVERLY, MA 01915 | 978.399.0447
www.MeridianAssoc.com

Date:

June 9, 2020
(See Revisions)

Scale:

1"=20'

Project No.

8521

Sheet No.

Q-1
OF

Medway Multifamily Development (Quadplex) 218-220 Main Street

DESIGN INTENT
NOT FOR CONSTRUCTION
19 OCTOBER 2020



PACIFIC-VISIONS STUDIO LLC
ARCHITECTURAL DESIGN
38 Thompson Ave.
Bristol, RI
774.633.1272
Pacific-Visions.com



CIVIL ENGINEER
Drew Garvin
69 Milk Street, Suite 208
Westborough, MA 01581
(508) 871-7030 x34

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COVER



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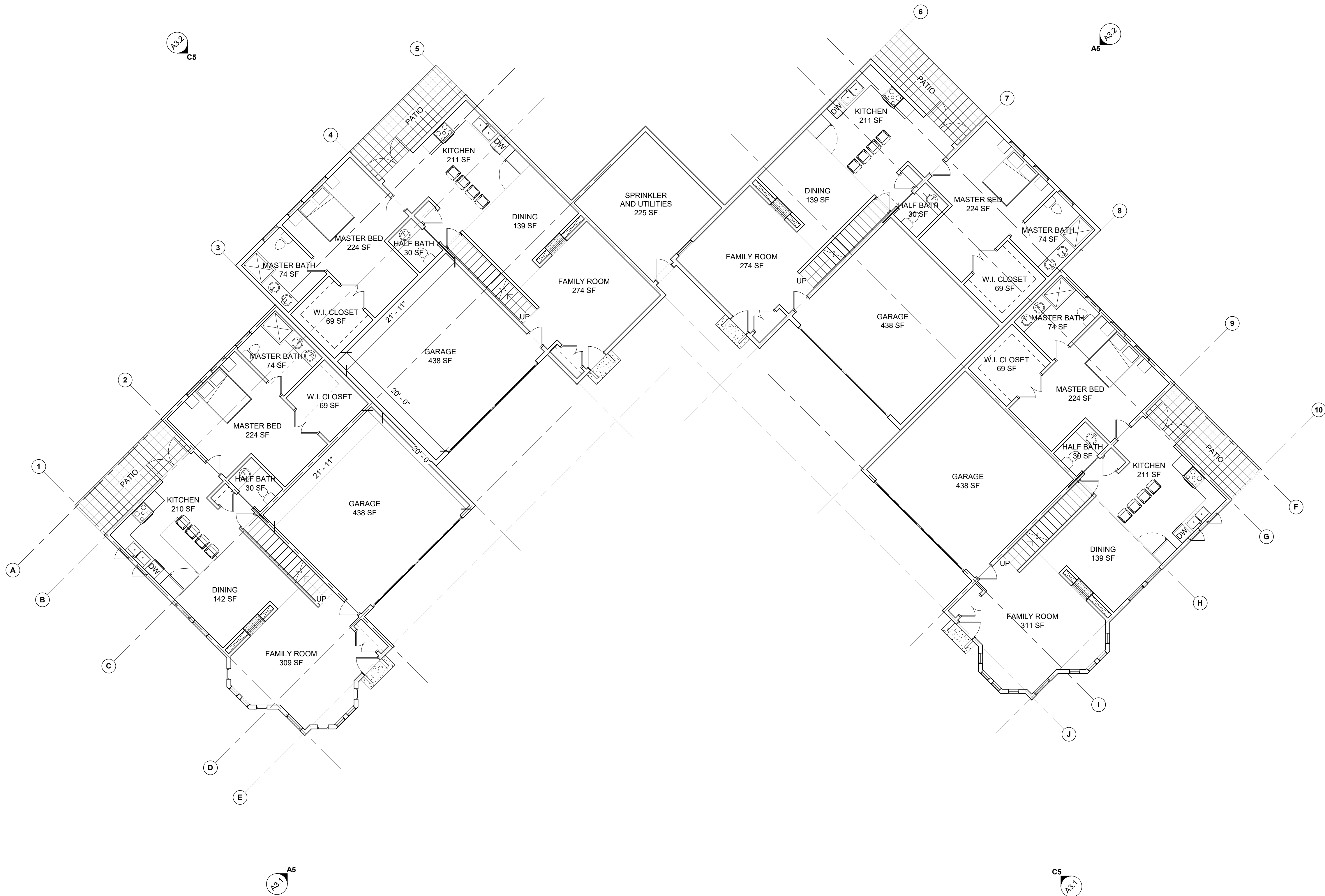
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FIRST FLOOR PLAN

A1.1



1 LEVEL 1 FIRST FLOOR PLAN
A1.1 Scale: 1/8" = 1'-0"



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SECOND FLOOR PLAN

A1.2



1 2ND FLOOR
A1.2 Scale: 1/8" = 1'-0"



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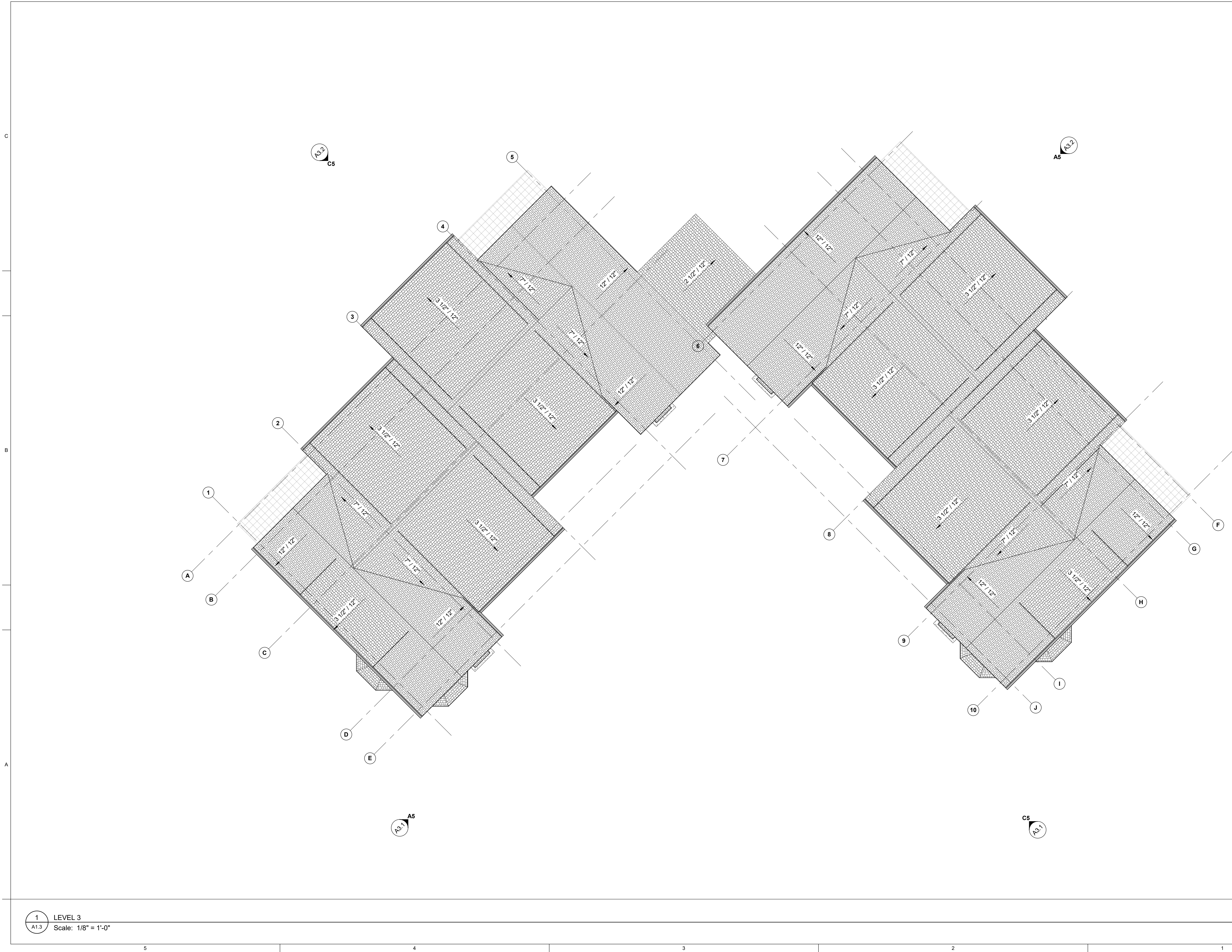
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ROOF PLAN

A1.3



1 LEVEL 3
A1.3 Scale: 1/8" = 1'-0"



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EXTERIOR ELEVATIONS



C5 EAST ELEVATION
A3.1 Scale: 3/16" = 1'-0"



A5 SOUTH ELEVATION
A3.1 Scale: 3/16" = 1'-0"



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EXTERIOR ELEVATIONS

A3.2





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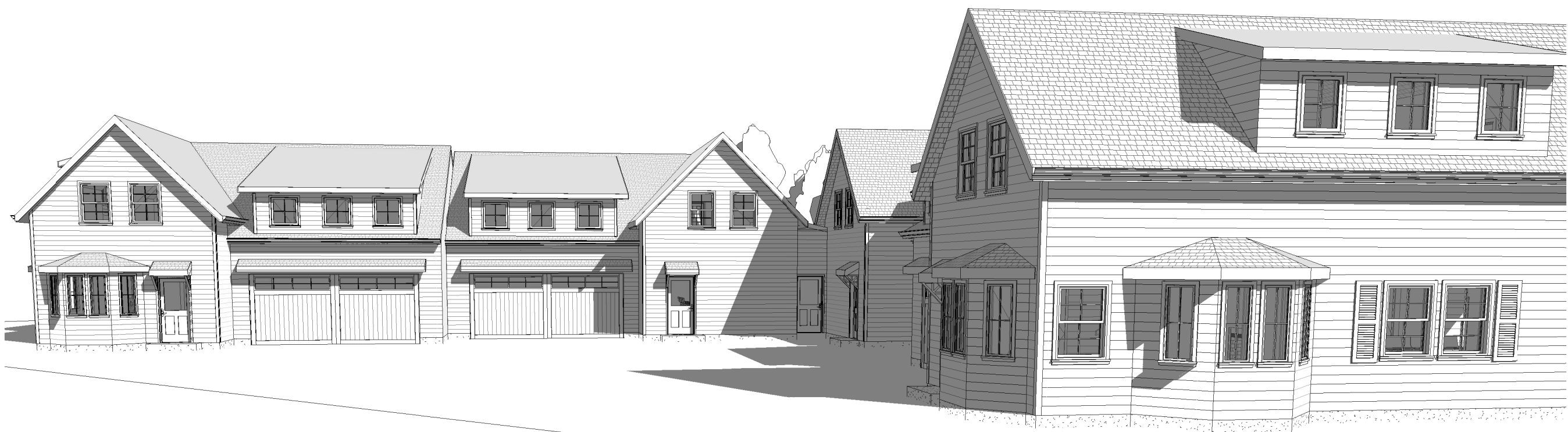
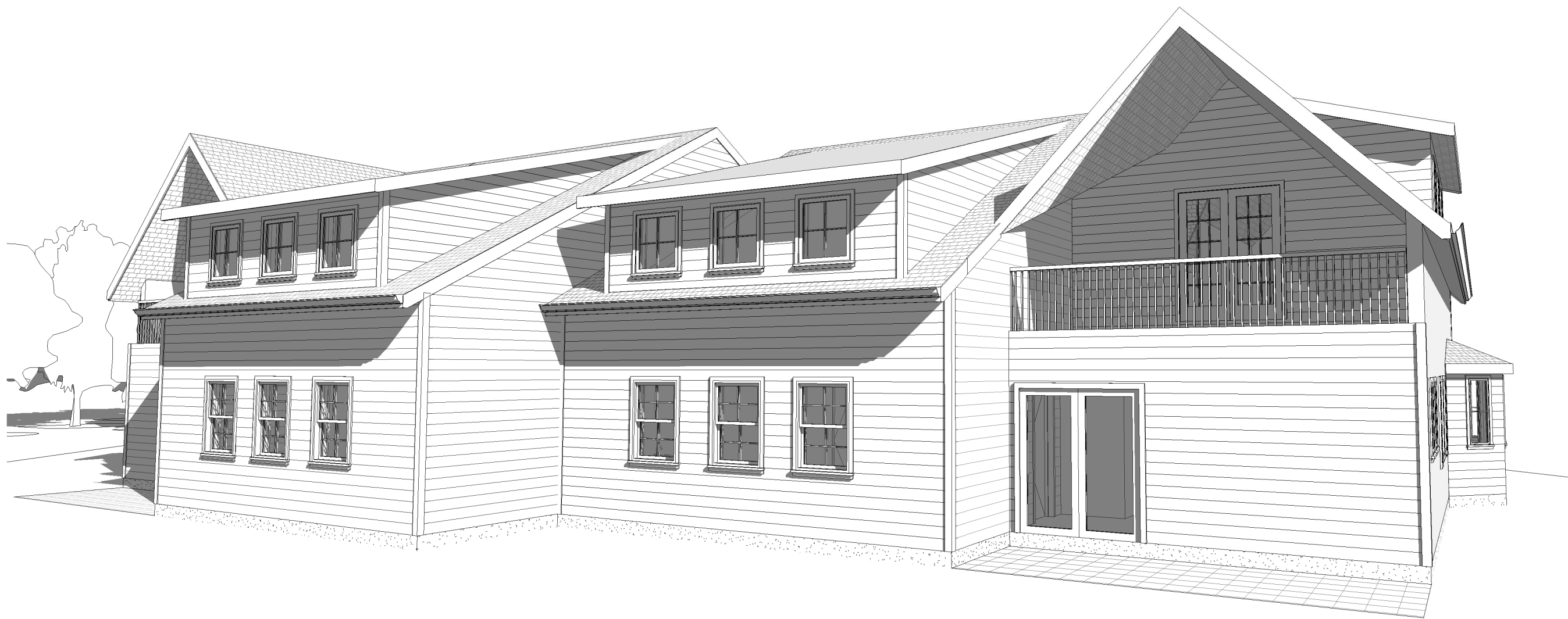
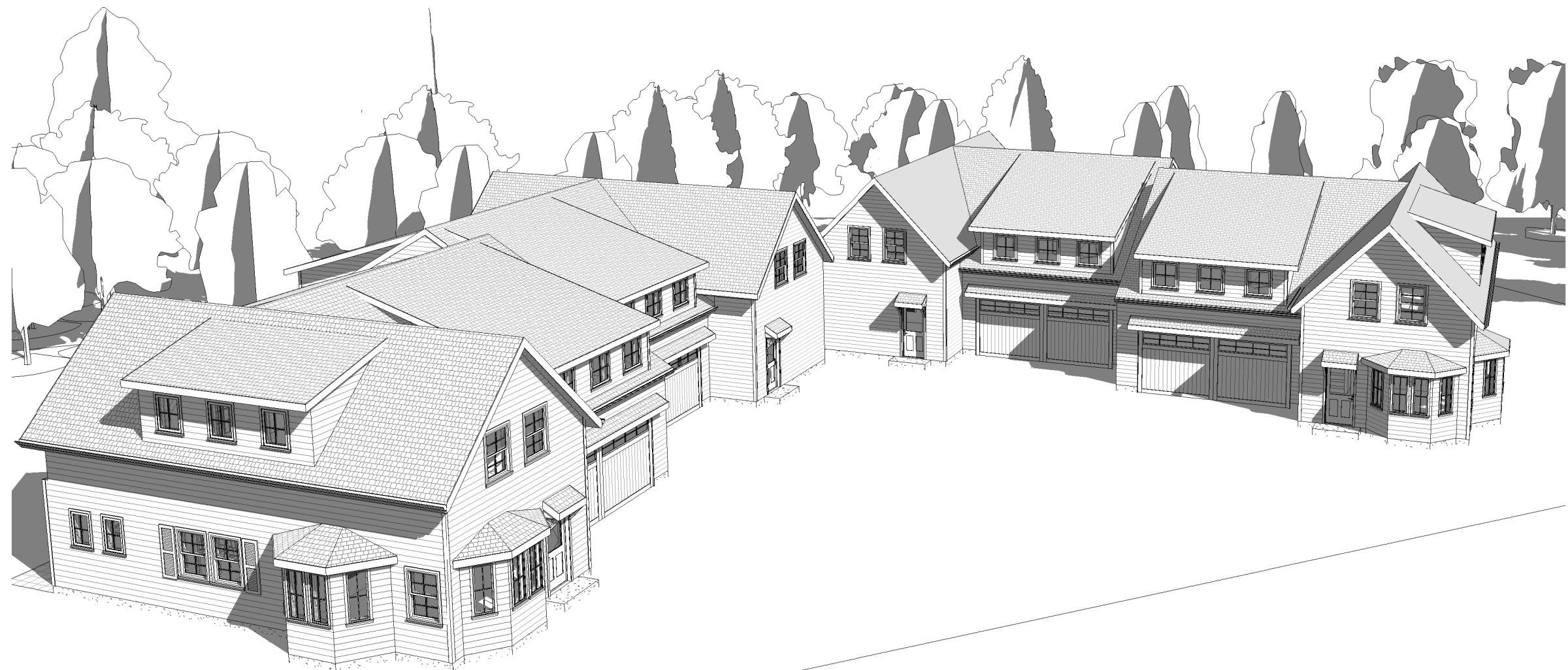
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3D VIEWS

A4.0





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EXTERIOR BUILDING RENDERING

10/23/20

A4.1



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EXTERIOR BUILDING RENDERING

10/23/20

A4.2