



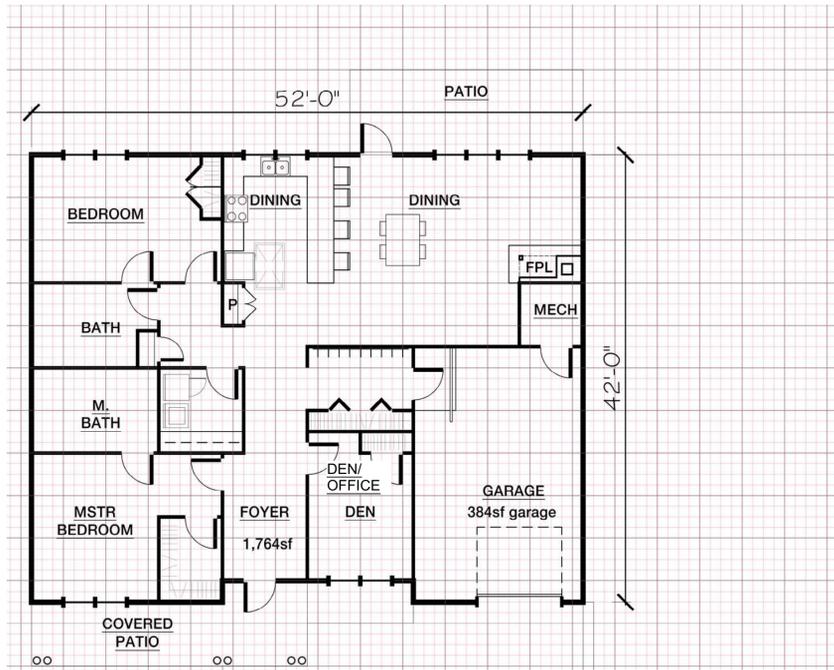
**June 14, 2022**  
**Medway Planning & Economic Development Board**  
**Meeting**

**Field Change Discussion – Salmon**  
**Willows Cottages**

You will remember that Salmon sold a portion of the site on the east side to John Burns of Black Brook Realty to build some of the independent living “cottage” units. In November, 2021, the PEDB approved his requested field change to reduce the building footprint and modify the architectural style of those cottages from what had originally been approved in 2016 (Dario Designs version). **Both of those designs are Attached.**

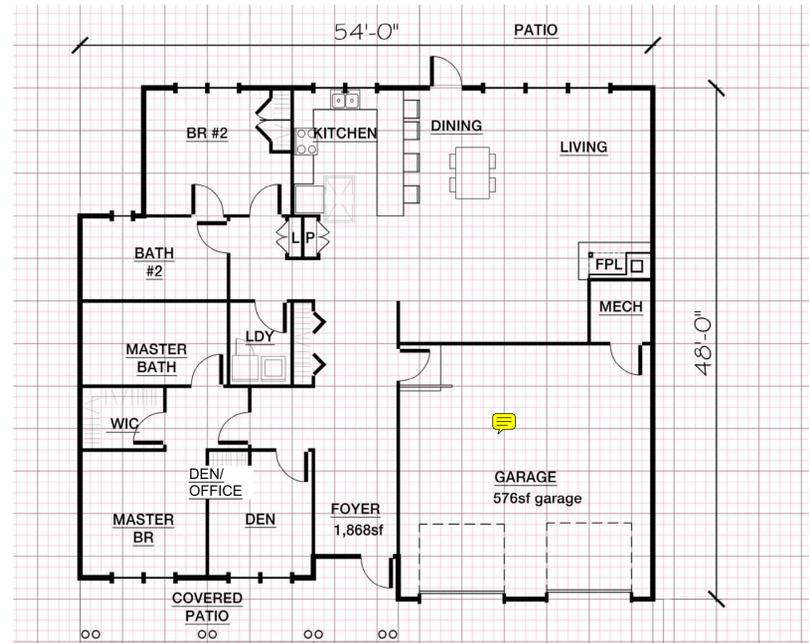
Mr. Burns has not proposed another field change to further reduce the building footprints due to construction challenges resulting from site conditions. **See attached revised site plans showing the previous footprints and the proposed revisions in the areas under his control.** In addition, he has provided a revised architectural design to correspond to the new footprints. **See Attached.** There is no change in the number of units.

We had planned for Mr. Burns to meet with the DRC on June 6<sup>th</sup> to review and discuss his proposal and for the Committee to offer its recommendation to the PEDB. Unfortunately, the Zoom link was not correctly indicated on the meeting agenda (my mistake!) so the DRC meeting could not take place. That meeting has been rescheduled to Wednesday, June 22. However, Mr. Burns has asked that the PEDB review the proposed changes at the June 14<sup>th</sup> meeting.



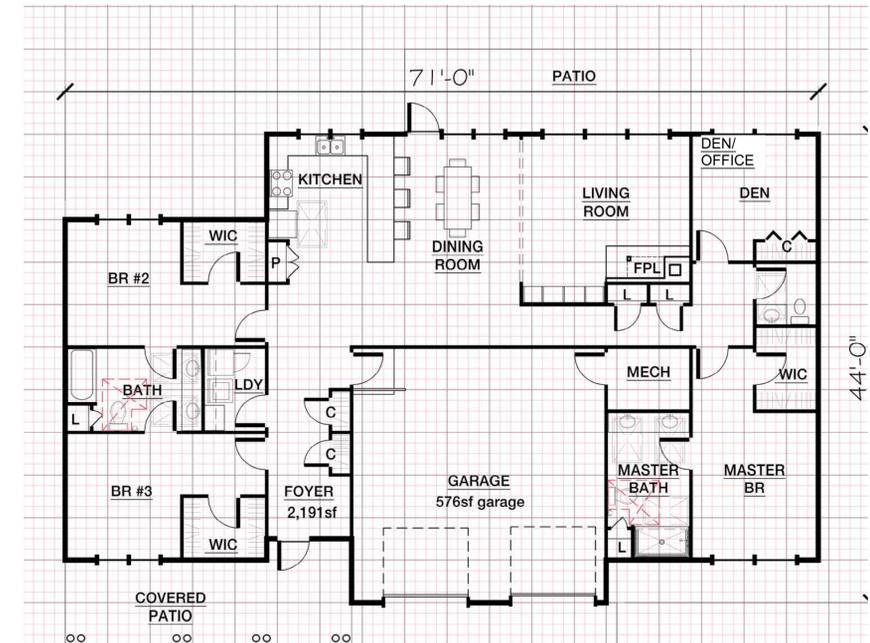
**UNIT: 1,764 SF**  
**GARAGE: 384 SF**  
**TOTAL: 2,148 SF**

**3** 2 BED - 1 CAR  
 Scale: 1/8" = 1'-0"



**UNIT: 1,868 SF**  
**GARAGE: 576 SF**  
**TOTAL: 2,444 SF**

**2** 2 BED - 2 CAR  
 Scale: 1/8" = 1'-0"



**UNIT: 2,191 SF**  
**GARAGE: 576 SF**  
**TOTAL: 2,767 SF**

**1** 3 BED - 2 CAR  
 Scale: 1/8" = 1'-0"

PLANNING BOARD APPROVAL REQUIRED UNDER THE SPECIAL PERMIT ARCPUD ZONING BY-LAW.

MEDWAY PLANNING BOARD:

DATE OF APPROVAL: \_\_\_\_\_  
 DATE OF ENDORSEMENT: \_\_\_\_\_

NO.	REVISIONS
1	FINAL SUBMISSION

PROJECT: SALMON HEALTH AND RETIREMENT COMMUNITY  
 259, 261, 261R & 263 Village Street, Medway MA 02053  
 SHEET TITLE: FLOOR PLANS - DETACHED COTTAGES

ARCHITECT: DARIO DESIGNS  
 100 WASHINGTON ST. SUITE 101  
 WASHINGTON, MA 01890  
 TEL: 978.877.4444  
 FAX: 978.877.4444

CONSULTANT: LEVI+WONG DESIGN ASSOCIATES  
 LANDSCAPE ARCHITECT  
 401 WASHINGTON ST. SUITE 101  
 WASHINGTON, MA 01890  
 TEL: 978.877.4444  
 FAX: 978.877.4444

LWDA

OWNER: SALMON HEALTH and RETIREMENT  
 CONTINUING CARE MANAGEMENT, LLC  
 1 LYMAN STREET, WESTBOROUGH, MA 01581 (508) 898-3416

DATE: 2/18/16  
 SCALE: AS NOTED

PROJECT NO. 1507

NORTH SHEET NO. **A1.01DC**

**DETACHED COTTAGE - UNIT TYPE LEGEND**

- |          |                   |          |            |           |                   |
|----------|-------------------|----------|------------|-----------|-------------------|
| <b>1</b> | 2 Bedroom - 1 Car | <b>A</b> | Gable Roof | <b>.1</b> | Color Variation 1 |
| <b>2</b> | 2 Bedroom - 2 Car | <b>B</b> | Cape Roof  | <b>.2</b> | Color Variation 2 |
| <b>3</b> | 3 Bedroom - 2 Car | <b>C</b> | Hip Roof   | <b>.3</b> | Color Variation 3 |
- 
- |           |                                |
|-----------|--------------------------------|
| <b>1A</b> | 2 Bedroom - 1 Car (Gable Roof) |
| <b>1B</b> | 2 Bedroom - 1 Car (Cape Roof)  |
| <b>1C</b> | 2 Bedroom - 1 Car (Hip Roof)   |
- 
- |           |                                |
|-----------|--------------------------------|
| <b>2A</b> | 2 Bedroom - 2 Car (Gable Roof) |
| <b>2B</b> | 2 Bedroom - 2 Car (Cape Roof)  |
| <b>2C</b> | 2 Bedroom - 2 Car (Hip Roof)   |
- 
- |           |                                |
|-----------|--------------------------------|
| <b>3A</b> | 3 Bedroom - 2 Car (Gable Roof) |
| <b>3B</b> | 3 Bedroom - 2 Car (Cape Roof)  |
| <b>3C</b> | 3 Bedroom - 2 Car (Hip Roof)   |



2B

2A

5 Front Elevation  
Scale: 1/8" = 1'-0"



2A

2B

4 Rear Elevation  
Scale: 1/8" = 1'-0"



2A

3 Side Elevation  
Scale: 1/8" = 1'-0"



2B

2 Side Elevation  
Scale: 1/8" = 1'-0"



2C

1 Side Elevation  
Scale: 1/8" = 1'-0"

PLANNING BOARD APPROVAL REQUIRED UNDER THE SPECIAL PERMIT ARCPUD ZONING BY-LAW.

MEDWAY PLANNING BOARD:

DATE OF APPROVAL: \_\_\_\_\_

DATE OF ENDORSEMENT: \_\_\_\_\_

NO.	REVISIONS
NO. 1	5/23/16
	FINAL SUBMISSION

PROJECT: SALMON HEALTH AND RETIREMENT COMMUNITY  
259, 261, 261R & 263 Village Street, Medway MA, 02053

SHEET TITLE: EXTERIOR ELEVATIONS 1 - DETACHED COTTAGES DUPLEX

ARCHITECT: DARIO DESIGNS  
150 MAIN STREET, SUITE 101  
MEDFORD, MA 02155  
TEL: 960.977.4444  
FAX: 960.977.4494

CONSULTANT: LEVI+WONG DESIGN ASSOCIATES  
LANDSCAPE ARCHITECT: CLIA

OWNER: SALMON HEALTH and RETIREMENT  
CONTINUING CARE MANAGEMENT, LLC  
1 LYMAN STREET, WESTBOROUGH, MA 01581 (508) 898-3416

DATE: 2/18/16  
SCALE: AS NOTED

PROJECT NO. 1507

NORTH

SHEET NO. **A2.01DC**



**DETACHED COTTAGE - UNIT TYPE LEGEND**

- |          |                   |          |            |           |                   |
|----------|-------------------|----------|------------|-----------|-------------------|
| <b>1</b> | 2 Bedroom - 1 Car | <b>A</b> | Gable Roof | <b>.1</b> | Color Variation 1 |
| <b>2</b> | 2 Bedroom - 2 Car | <b>B</b> | Cape Roof  | <b>.2</b> | Color Variation 2 |
| <b>3</b> | 3 Bedroom - 2 Car | <b>C</b> | Hip Roof   | <b>.3</b> | Color Variation 3 |

- 1A** 2 Bedroom - 1 Car (Gable Roof)  
**1B** 2 Bedroom - 1 Car (Cape Roof)  
**1C** 2 Bedroom - 1 Car (Hip Roof)

- 2A** 2 Bedroom - 2 Car (Gable Roof)  
**2B** 2 Bedroom - 2 Car (Cape Roof)  
**2C** 2 Bedroom - 2 Car (Hip Roof)

- 3A** 3 Bedroom - 2 Car (Gable Roof)  
**3B** 3 Bedroom - 2 Car (Cape Roof)  
**3C** 3 Bedroom - 2 Car (Hip Roof)



**8** 2B  
Scale: 1/8" = 1'-0"

**7** 2A  
Scale: 1/8" = 1'-0"



**6** 2C  
Scale: 1/8" = 1'-0"

**5** 1B  
Scale: 1/8" = 1'-0"



**4** 2A.1  
Scale: 1/8" = 1'-0"

**3** 3C  
Scale: 1/8" = 1'-0"



**2** 3B  
Scale: 1/8" = 1'-0"

**1** 3A  
Scale: 1/8" = 1'-0"

PLANNING BOARD APPROVAL REQUIRED UNDER THE SPECIAL PERMIT ARCPUD ZONING BY-LAW.  
 MEDWAY PLANNING BOARD:  
 DATE OF APPROVAL: \_\_\_\_\_  
 DATE OF ENDORSEMENT: \_\_\_\_\_

NO.	REVISIONS
NO. 1	FINAL SUBMISSION
5/23/16	

PROJECT: SALMON HEALTH AND RETIREMENT COMMUNITY  
 259, 261, 261R & 263 Village Street, Medway MA, 02053  
 SHEET TITLE: EXTERIOR ELEVATIONS 2 - DETACHED COTTAGES DUPLEX

ARCHITECT: DARIO DESIGNS  
 100 WASHINGTON STREET, SUITE 101, WESTBOROUGH, MA 01581  
 TEL: 978.377.4444 FAX: 978.377.4494  
 ARCHITECTURE, INTERIOR DESIGN, PLANNING, CONSULTING  
 CONSULTANT: LEVI+WONG DESIGN ASSOCIATES  
 LANDSCAPE ARCHITECT: CLIA

OWNER: SALMON HEALTH and RETIREMENT  
 CONTINUING CARE MANAGEMENT, LLC  
 1 LYMAN STREET, WESTBOROUGH, MA 01581 (508) 898-3416

DATE: 2/18/16  
 SCALE: AS NOTED  
 PROJECT NO. 1507  
 SHEET NO. A2.02DC



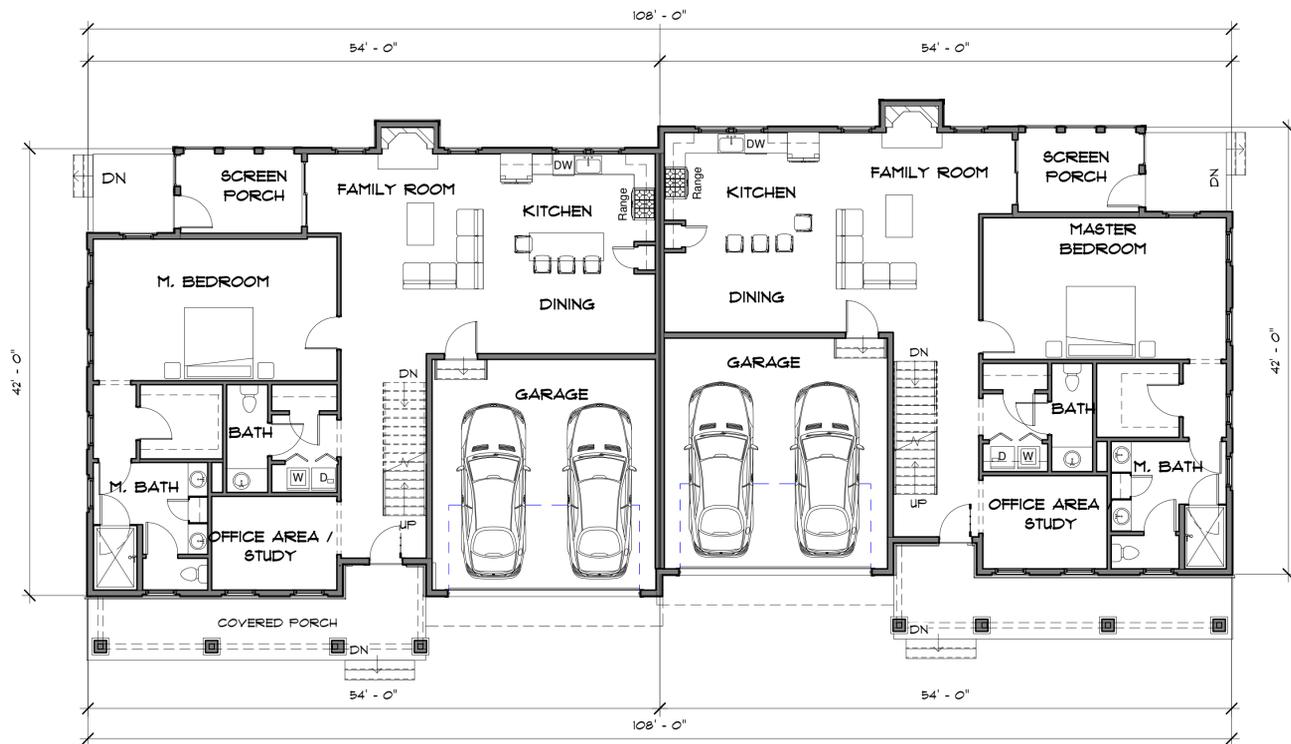
2 BIRDS EYE PERSPECTIVE 1  
NOT TO SCALE



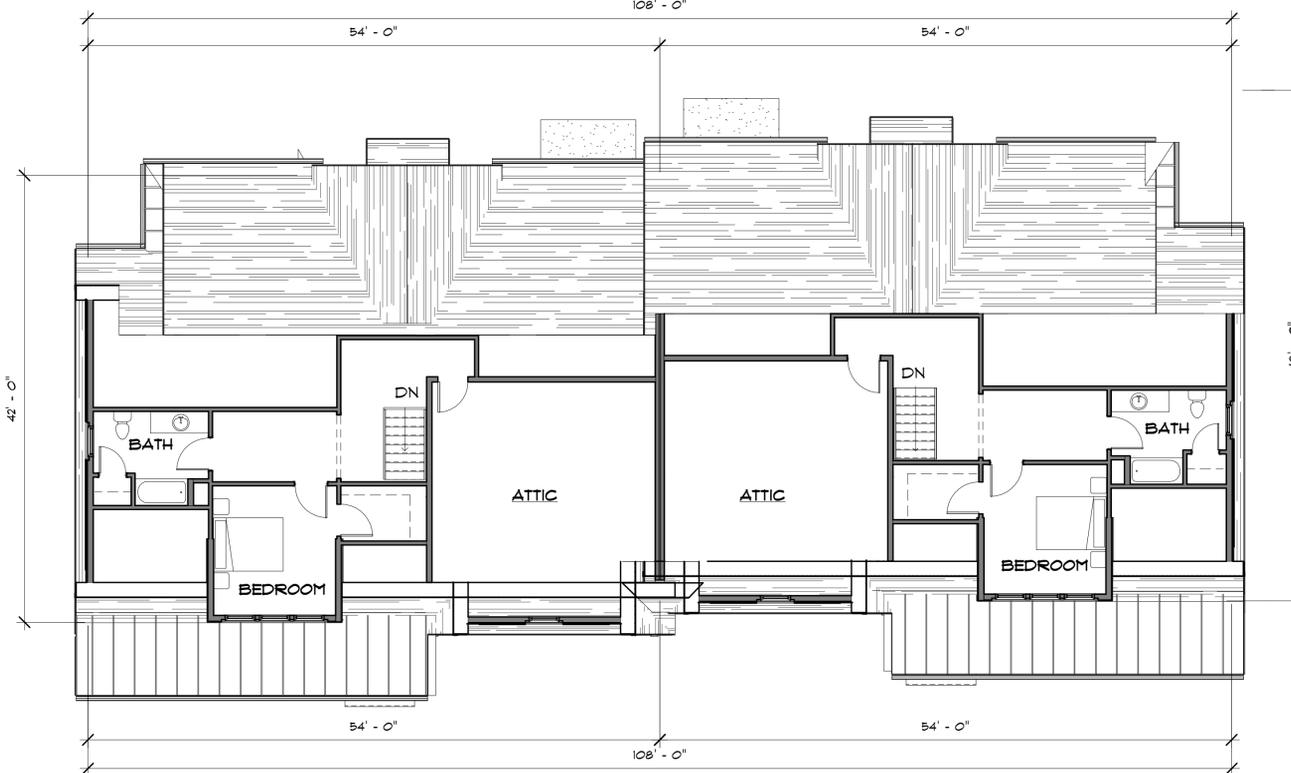
1 GROUND PERSPECTIVE 1 - FRONT  
NOT TO SCALE

PLANNING BOARD APPROVAL REQUIRED UNDER THE SPECIAL PERMIT ARCPUD ZONING BY-LAW.  
MEDWAY PLANNING BOARD:  
DATE OF APPROVAL:  
DATE OF ENDORSEMENT:

REVISIONS NO. 1 5/23/16 FINAL SUBMISSION	
PROJECT: <b>SALMON HEALTH AND RETIREMENT COMMUNITY</b> 259, 261, 261R & 263 Village Street, Medway MA, 02063 SHEET TITLE: <b>EXTERIOR PERSPECTIVE - DETACHED COTTAGES DUPLEX</b>	ARCHITECT: <b>DARIO DESIGNS</b> 115 MAIN STREET, SUITE 101 WESTBOROUGH, MA 01581 TEL: 978.377.4444 FAX: 978.377.4494
ARCHITECTURE INTERIOR EXTERIOR PLANNING CONSULTING	CONSULTANT: <b>LEVI+WONG</b> DESIGN ASSOCIATES LANDSCAPE ARCHITECTS <b>LWDA</b> 401 BRIDGE STREET, SUITE 200 WESTBOROUGH, MA 01581 TEL: 978.377.4444 FAX: 978.377.4494
OWNER: <b>SALMON HEALTH AND RETIREMENT</b> CONTINUING CARE MANAGEMENT, LLC 1 LYMAN STREET, WESTBOROUGH, MA 01581 (508) 898-3416	DATE: 2/18/16 SCALE: AS NOTED PROJECT NO. 1507 SHEET NO. <b>A2.03DC</b>

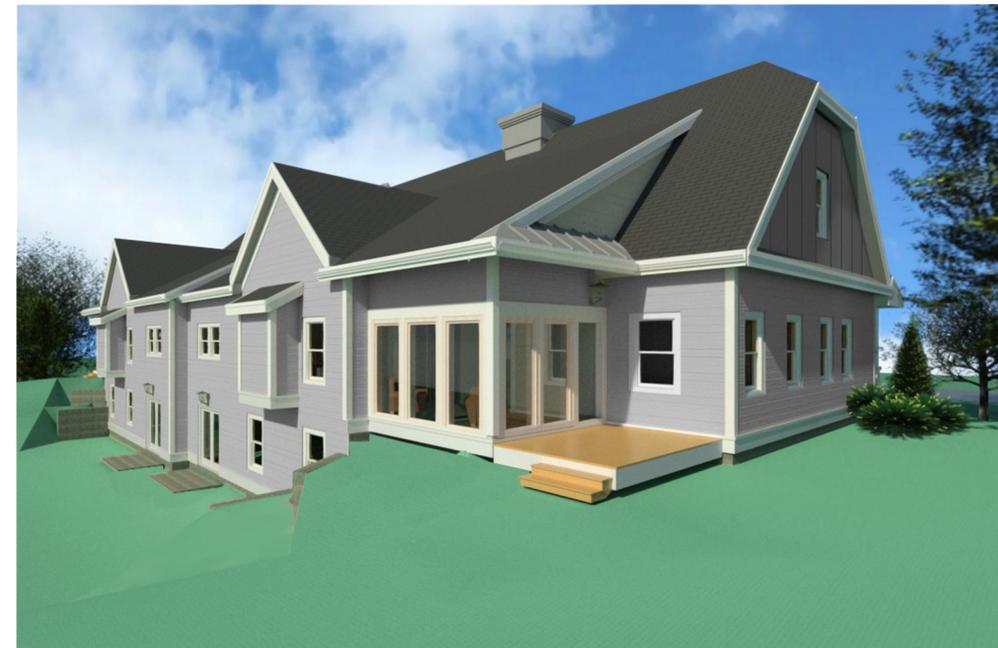


1 FIRST FLOOR  
1/8" = 1'-0"



2 SECOND FLOOR  
1/8" = 1'-0"

PROPOSED DUPLEX FOR:  
**BLACK BROOK REALTY**  
 VILLAGE STREET  
 MEDWAY, MA.  
 DATE: OCTOBER 28, 2021



DESIGNED BY:  
**GAVIN AND SULLIVAN ARCHITECTS, INC.**

128 WARREN STREET  
 LOWELL, MA 01852



STANDING METAL SEAM ROOF



CULTURED STONE VENEER



GARAGE DOOR  
18' x 9'



VINYL CLAPBOARD SIDING



EXTERIOR LANTERN SCONCE

PROPOSED DUPLEX FOR:  
**BLACK BROOK REALTY**  
VILLAGE STREET  
MEDWAY, MA.  
DATE: OCTOBER 28, 2021



1 FRONT ELEVATION  
1/8" = 1'-0"



3 REAR ELEVATION  
1/8" = 1'-0"



2 LEFT ELEVATION  
1/8" = 1'-0"



4 RIGHT ELEVATION  
1/8" = 1'-0"



VINYL BATTEN BOARD SIDING



VINYL EXTERIOR TRIM BOARD



VINYL SHINGLE SIDING



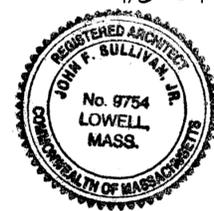
INSULATED FIBERGLASS FRONT DOOR  
9 PANEL



ASPHALT ROOF SHINGLES



DOUBLE HUNG WINDOWS



**GAVIN AND SULLIVAN ARCHITECTS, INC.**

DESIGNED BY:  
128 WARREN STREET  
LOWELL, MA 01852

3/24/16 ORIGINAL APPROVED PROJECT COVERAGE INFORMATION:

THE COVERAGE CALCULATION FOR THE 3/24/16 ORIGINAL APPROVED PROJECT BUILDING & DRIVEWAY LIMITS WITHIN EXCLUSIVE USE AREA 3C-2 TOTAL: 25,464 SF TOTAL COVERAGE

PENDING TOWN REVIEW PROPOSED PROJECT MODIFICATION COVERAGE INFORMATION:

THE COVERAGE CALCULATION FOR THE PENDING TOWN REVIEW PROPOSED PROJECT MODIFICATION BUILDING & DRIVEWAY LIMITS WITHIN EXCLUSIVE USE AREA 3C-2 TOTAL: 17,761 SF TOTAL COVERAGE OR A 31.3% REDUCTION IN TOTAL COVERAGE WITH BUILDING & DRIVEWAY LIMITS AS ILLUSTRATED BELOW, PROJECT WORK LIMITS REMAIN UNCHANGED FROM ORIGINAL ORDER OF CONDITIONS 216-854

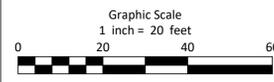
**DIG SAFE NOTE**

UNDERGROUND UTILITY LOCATIONS ARE NOT GUARANTEED. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. DIGSAFE IS TO BE NOTIFIED 72 BUSINESS HOURS IN ADVANCE OF CONSTRUCTION. CALL DIGSAFE AT 811.



REV #	DATE	DESCRIPTION
0	5/9/22	ISSUED FOR REVIEW

DRWN BY: ZRB  
CHK'D BY: PSB  
APRVD BY: WML



PREPARED BY:  
**EDC** Engineering Design Consultants, Inc.  
32 Turnpike Road  
Southborough, Massachusetts  
(508) 480-0225

PROJECT:  
**THE WILLOWS AT MEDWAY  
AND WHITNEY PLACE CONDOMINIUM**  
261 VILLAGE STREET  
(NORFOLK COUNTY)  
MEDWAY, MASSACHUSETTS

TITLE: **EXISTING & PROPOSED CONDITIONS  
EXCLUSIVE USE AREA 3C-2**  
PREPARED FOR: **Willows Medway Townhomes Realty, LLC**  
1 Lyman Street  
Westborough, Massachusetts 01581

DATE: **MAY 9, 2022**  
**1 OF 1**  
EDC PROJECT NUMBER  
**3750**

3/24/16 ORIGINAL APPROVED PROJECT COVERAGE INFORMATION:

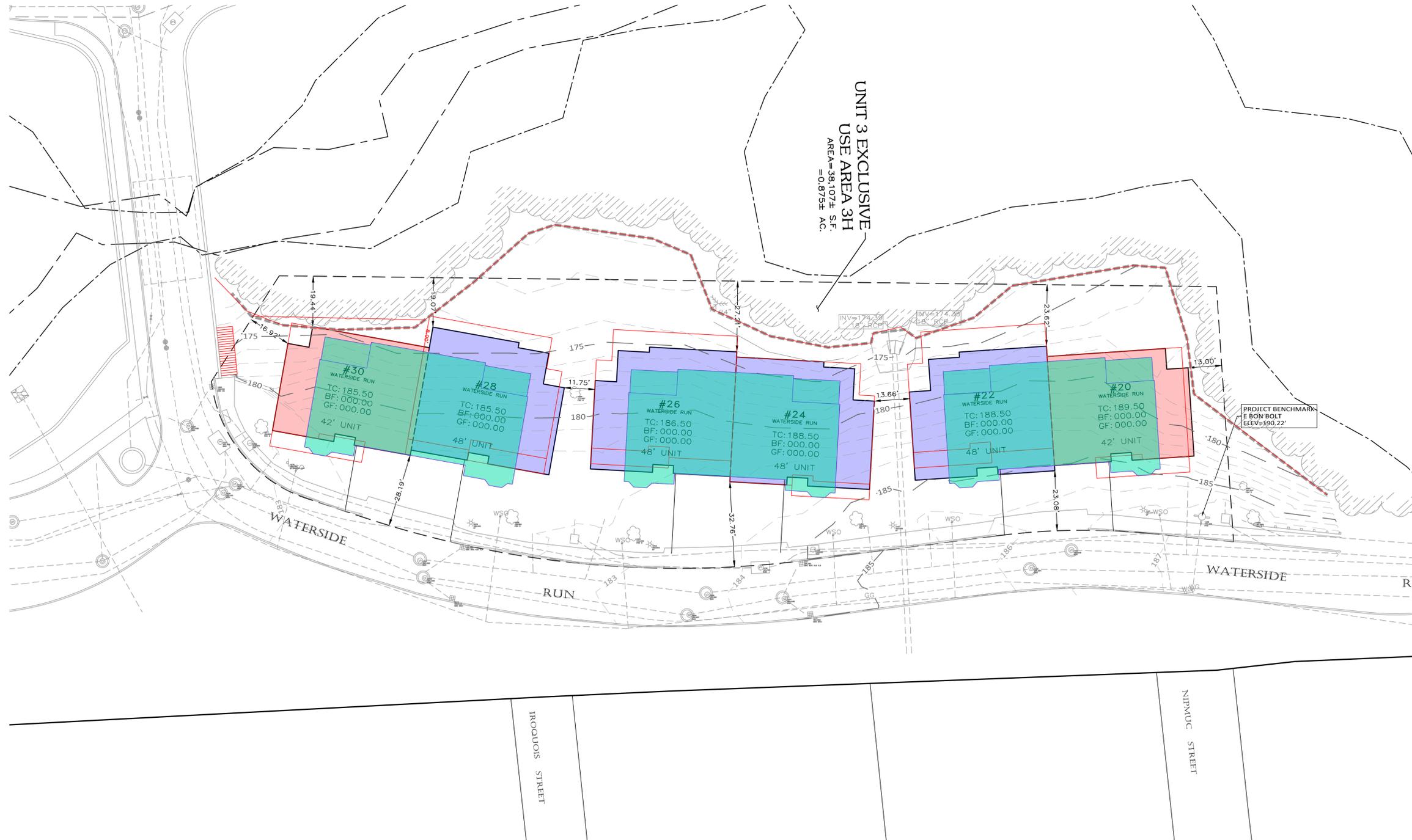
THE COVERAGE CALCULATION FOR THE 3/24/16 ORIGINAL APPROVED PROJECT BUILDING & DRIVEWAY LIMITS WITHIN EXCLUSIVE USE AREA 3H:  
19,194 SF TOTAL COVERAGE

PENDING TOWN REVIEW PROPOSED PROJECT MODIFICATION COVERAGE INFORMATION:

THE COVERAGE CALCULATION FOR THE PENDING TOWN REVIEW PROPOSED PROJECT MODIFICATION BUILDING & DRIVEWAY LIMITS WITHIN EXCLUSIVE USE AREA 3H TOTAL:13,684 SF  
TOTAL COVERAGE OR A 28.7% REDUCTION IN TOTAL COVERAGE WITH BUILDING & DRIVEWAY LIMITS AS ILLUSTRATED BELOW, PROJECT WORK LIMITS REMAIN UNCHANGED FROM ORIGINAL ORDER OF CONDITIONS 216-854

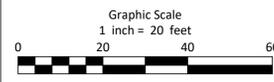
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REV #	DATE	DESCRIPTION
0	5/9/22	ISSUED FOR REVIEW

DRWN BY: ZRB  
CHK'D BY: PSB  
APRVD BY: WML



PREPARED BY:  
**EDC** Engineering Design Consultants, Inc.  
32 Turnpike Road  
Southborough, Massachusetts  
(508) 480-0225

PROJECT:  
**THE WILLOWS AT MEDWAY  
AND WHITNEY PLACE CONDOMINIUM**  
261 VILLAGE STREET  
(NORFOLK COUNTY)  
MEDWAY, MASSACHUSETTS

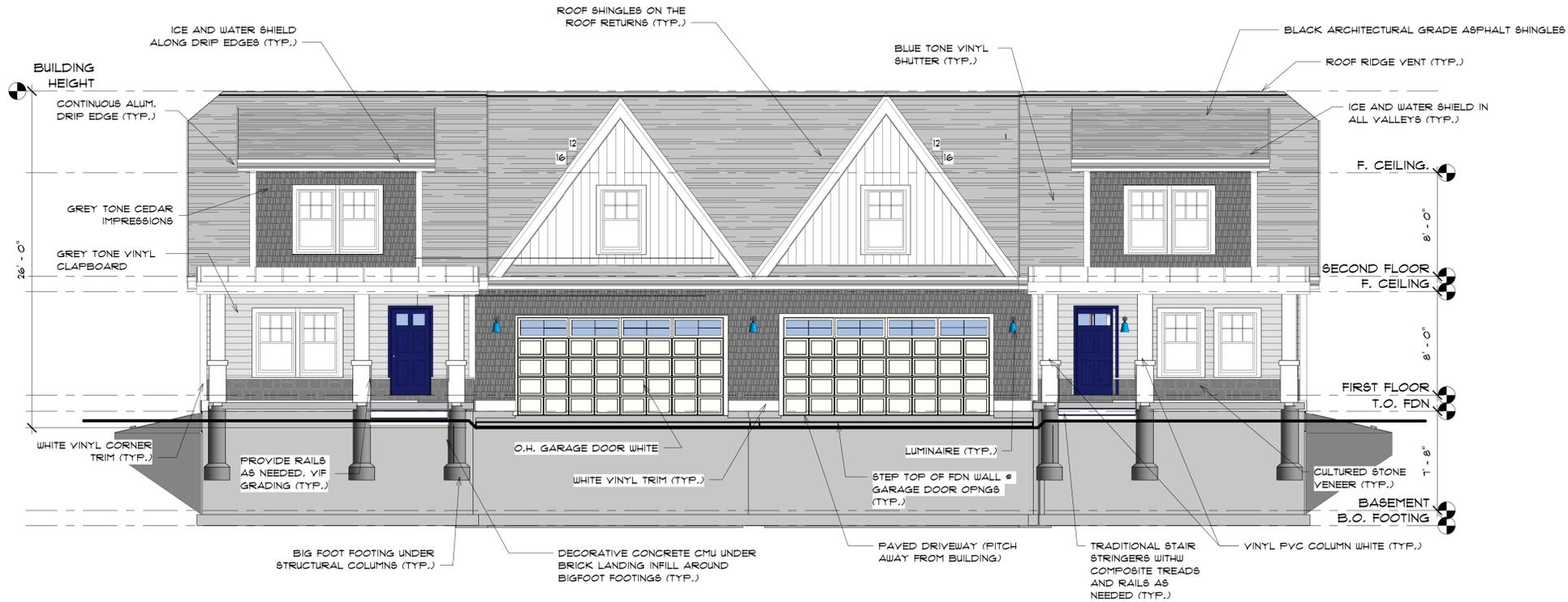
TITLE: **EXISTING & PROPOSED CONDITIONS  
EXCLUSIVE USE AREA 3H**

PREPARED FOR: Willows Medway Townhomes Realty, LLC  
1 Lyman Street  
Westborough, Massachusetts 01581

DATE: MAY 9, 2022

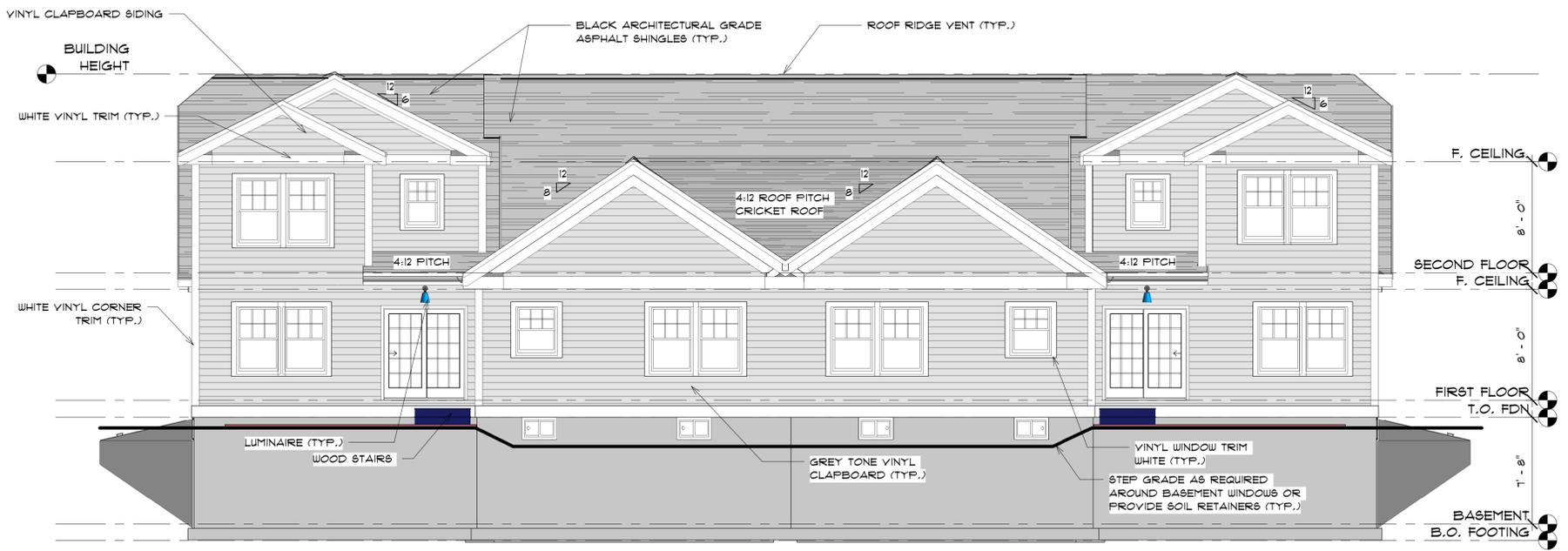
1 OF 1

EDC PROJECT NUMBER  
3750



1 FRONT ELEVATION  
3/16" = 1'-0"

CONTRACTOR TO VERIFY WITH CIVIL ENGINEER FINAL BASEMENT / GARAGE SLAB ELEVATIONS. ADJUST ELEVATIONS AS REQUIRED.



2 REAR ELEVATION  
3/16" = 1'-0"

SQUARE FOOTAGE CHAT	
FIRST FLOOR	- 1,125 +/- SQ.FT.
SECOND FLOOR	- 1,120 +/- SQ.FT.
GARAGE	- 465 +/- SQ.FT.
TOTAL	- 2,710 SQ.FT.

## DUPLEX PROGRESS

BUILDING ENVELOPE ASPECTS TO COMPLY WITH CURRENT ENERGY CODE

IT IS THE CONTRACTOR'S OR OWNER'S RESPONSIBILITY TO EMPLOY GAVIN AND SULLIVAN ARCHITECTS TO PERFORM ON SITE VERIFICATION IF REQUIRED OR DESIRED. IT IS THE OWNER'S OR CONTRACTOR'S RESPONSIBILITY TO ASSURE THAT TIMELY NOTIFICATION OF THE PROJECT PROGRESS IS PROVIDED SO THAT ADEQUATE ON SITE ARCHITECTURAL PRESENCE IS OBTAINED. LIABILITY IS SEVERLY DIMINISHED IF ARCHITECT ON SITE VERIFICATION IS NOT PERFORMED.

ALL HVAC, ELECTRICAL, FIRE ALARM, AUTOMATIC FIRE SPRINKLERS, AND PLUMBING TO BE PERFORMED ON A DESIGN BUILD BASIS WITH REGISTERED ENGINEERS. ENGINEERS SHALL PROVIDE NARRATIVES, AFFIDAVITS, AND STAMPED DRAWINGS. FIRE SPRINKLER AND FIRE ALARM PLANS SHALL BE APPROVED BY THE SALEM FIRE DEPARTMENT.

CONTRACTOR TO FIELD VERIFY ALL DETAILS AND DIMENSIONS BEFORE PROCEEDING WITH THE WORK. NOTES ON THIS CONSTRUCTION DOCUMENT ARE TYPICAL UNLESS OTHERWISE NOTED. IF THE CONTRACTOR SEES AN AREA OF THE BUILDING THAT IS INCOMPLETE AND IS NOT NOTED ON THIS DRAWING SET, HE MUST ALSO INCLUDE THIS AREA IN THIS WORK, MATCHING SIMILAR FINISH AREAS OF THIS BUILDING.

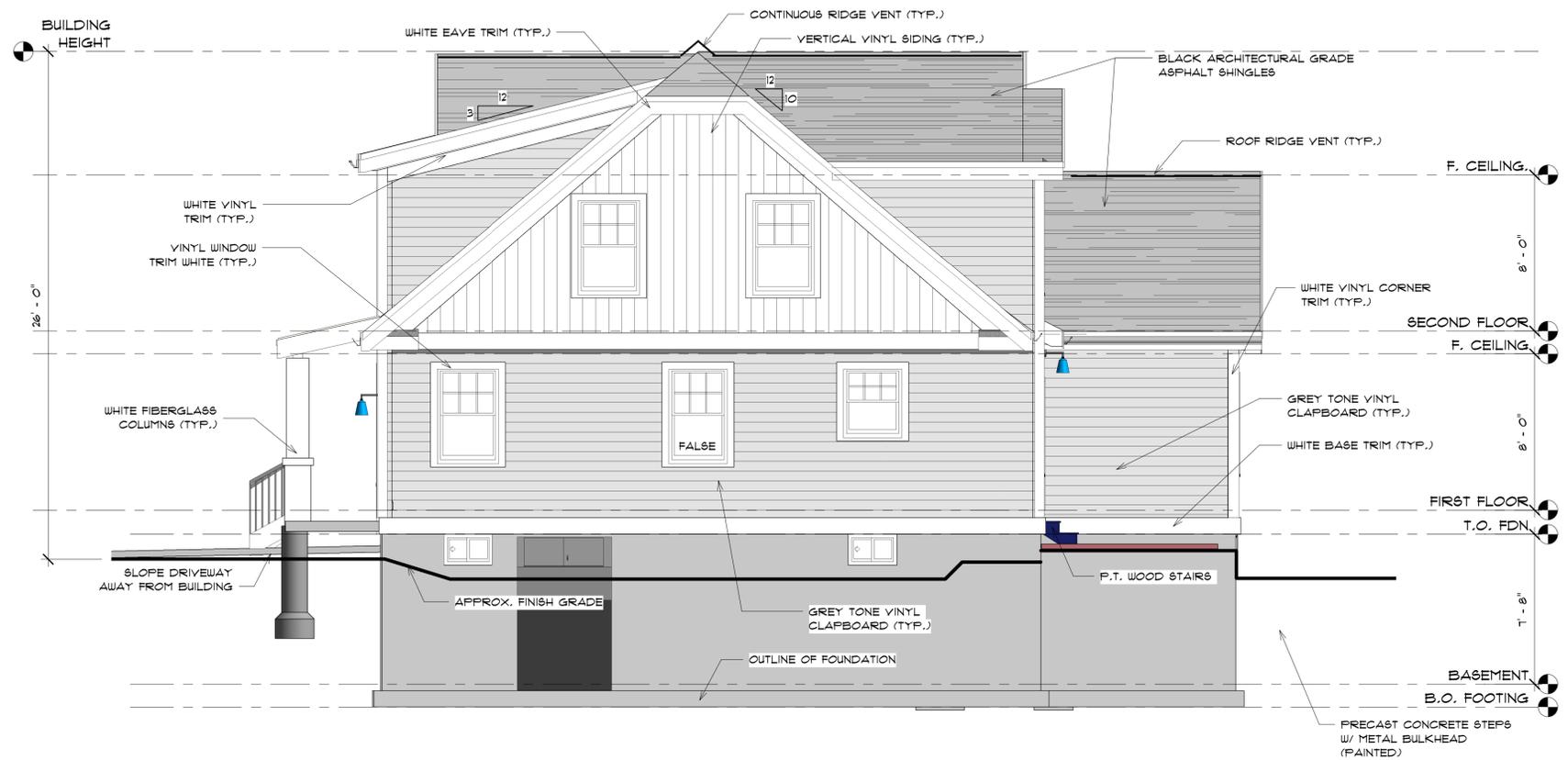
DESIGNED BY:  
**GAVIN & SULLIVAN ARCHITECTS, INC.**  
128 WARREN STREET LOWELL, MA.

PROPOSED MULTI - FAMILY FOR:  
**BLACK BROOK REALTY**  
MEDWAY, MA

ELEVATIONS

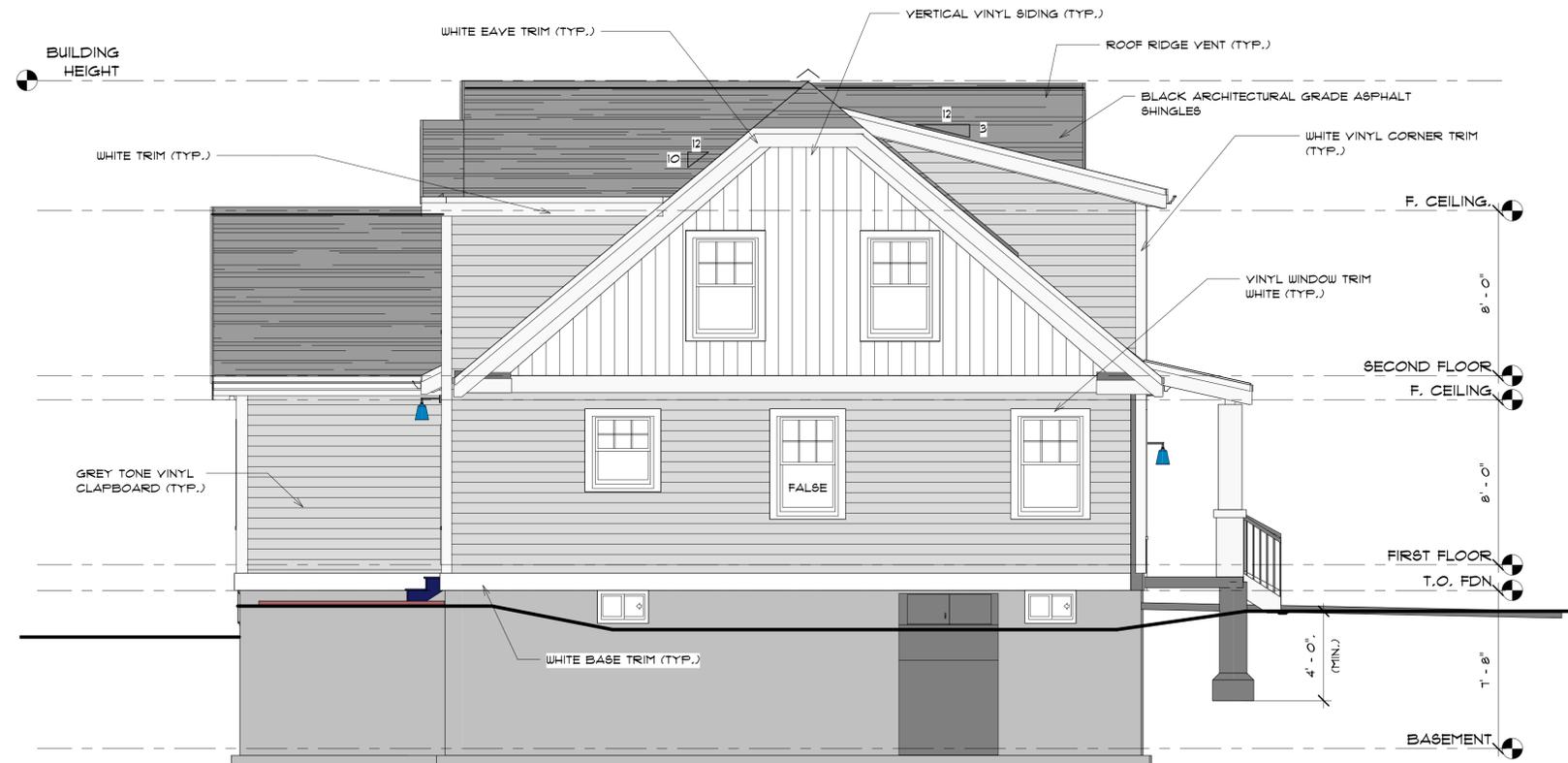
PROJECT: \*\*\*\*\* SCALE AS NOTED  
DATE: 05-25-2022 DRAWN BY: ADS

A1.0



1 RIGHT ELEVATION  
1/4" = 1'-0"

CONTRACTOR TO VERIFY WITH CIVIL ENGINEER FINAL BASEMENT / GARAGE SLAB ELEVATIONS. ADJUST ELEVATIONS AS REQUIRED.



2 LEFT ELEVATION  
1/4" = 1'-0"

**DUPLEX PROGRESS**

BUILDING ENVELOPE ASPECTS TO COMPLY WITH CURRENT ENERGY CODE

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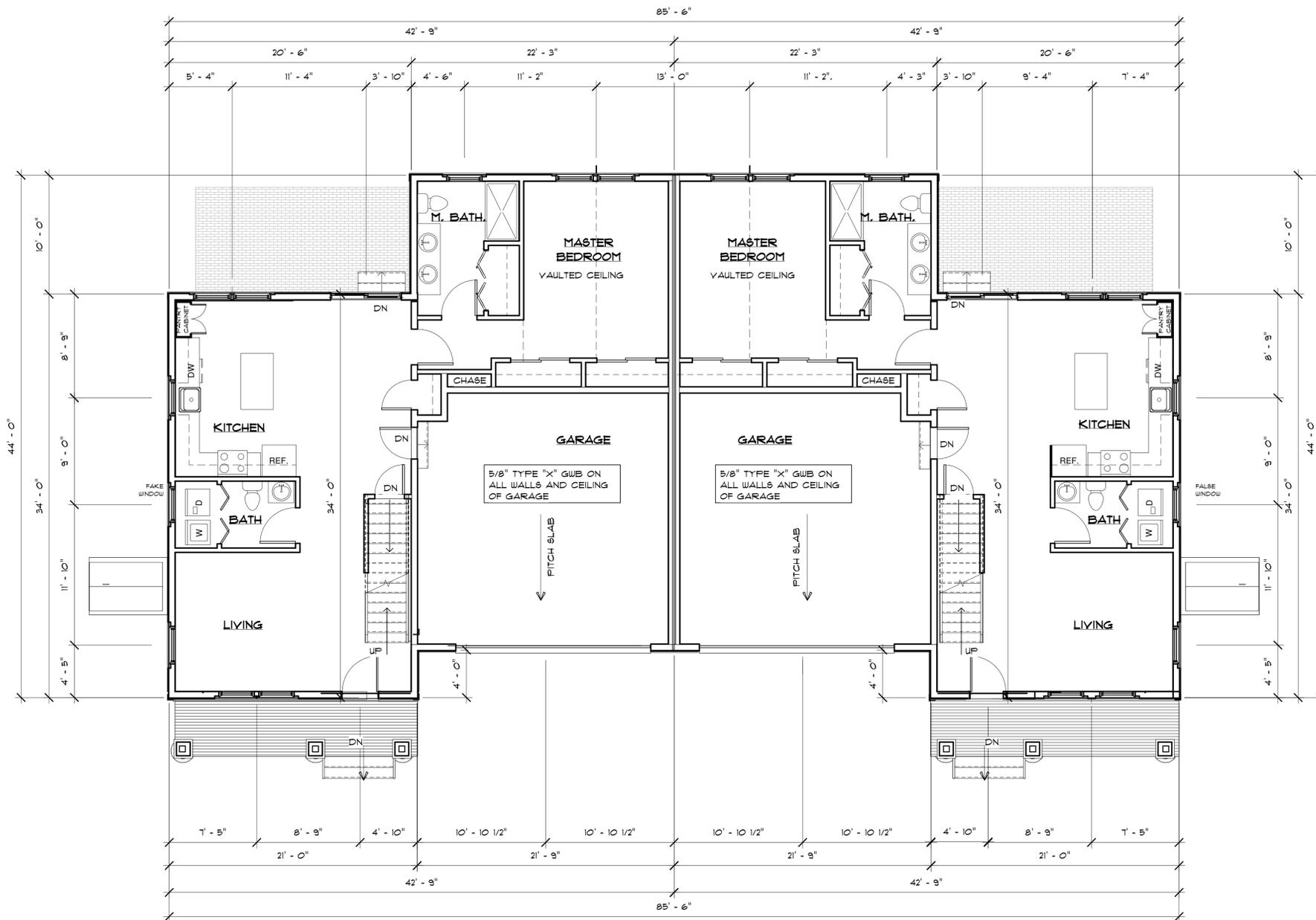
CONTRACTOR TO FIELD VERIFY ALL DETAILS AND DIMENSIONS BEFORE PROCEEDING WITH THE WORK. NOTES ON THIS CONSTRUCTION DOCUMENT ARE TYPICAL UNLESS OTHERWISE NOTED. IF THE CONTRACTOR SEES AN AREA OF THE BUILDING THAT IS INCOMPLETE AND IS NOT NOTED ON THIS DRAWING SET, HE MUST ALSO INCLUDE THIS AREA IN THIS WORK, MATCHING SIMILAR FINISH AREAS OF THIS BUILDING.

DESIGNED BY:  
**GAVIN & SULLIVAN ARCHITECTS, INC.**  
128 WARREN STREET LOWELL, MA.

PROPOSED MULTI-FAMILY FOR:  
**BLACK BROOK REALTY**  
MEDWAY, MA

**ELEVATIONS**

PROJECT: \*\*\*\*\* SCALE AS NOTED  
DATE: 05-25-2022 DRAWN BY: ADS



1 FIRST FLOOR  
3/16" = 1'-0"

**DUPLEX PROGRESS**

BUILDING ENVELOPE ASPECTS TO COMPLY WITH CURRENT ENERGY CODE

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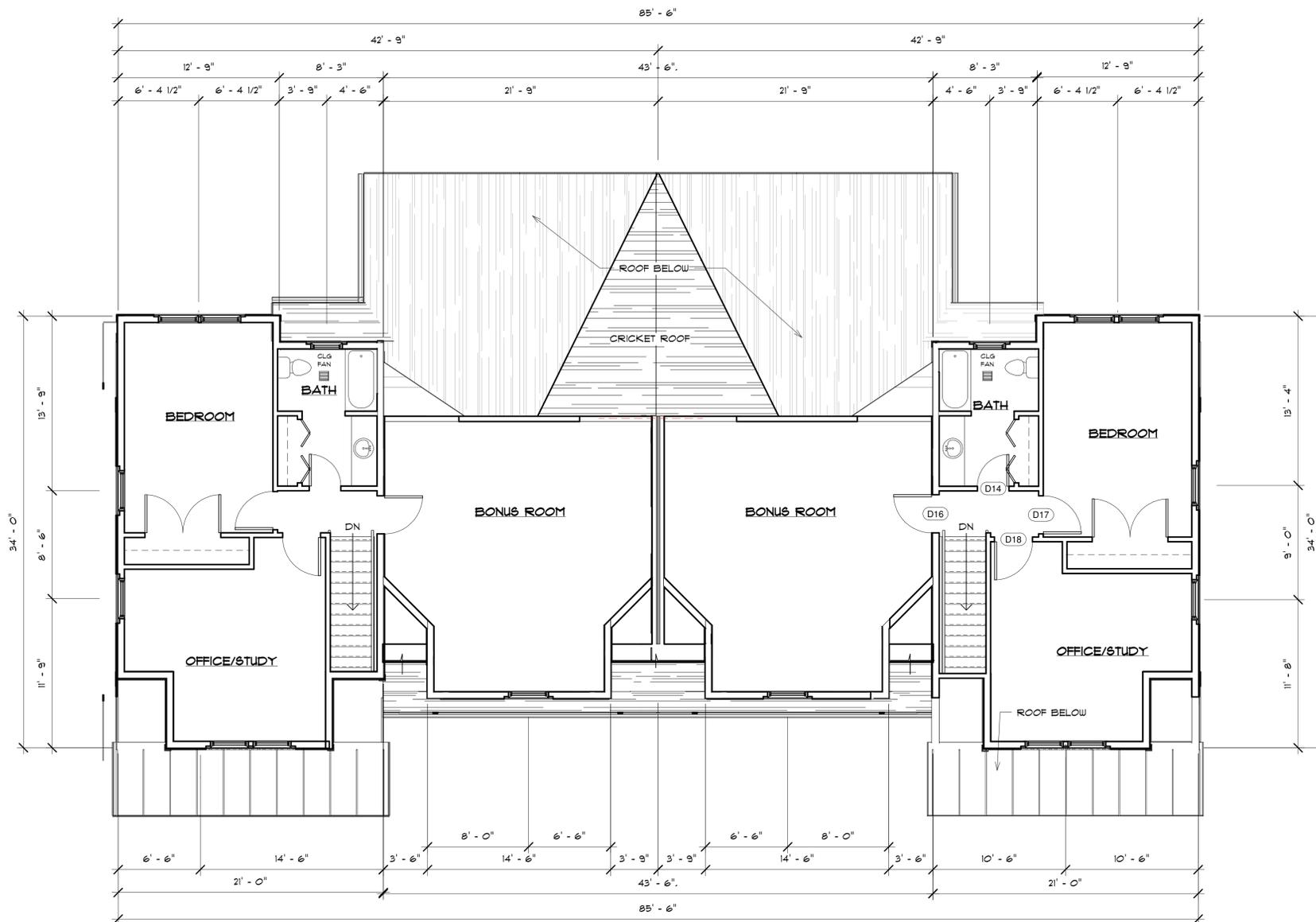
DESIGNED BY:  
**GAVIN & SULLIVAN ARCHITECTS, INC.**  
128 WARREN STREET LOWELL, MA.

PROPOSED MULTI - FAMILY FOR:  
**BLACK BROOK REALTY**  
MEDWAY, MA

**OVERALL FIRST FLOOR**

PROJECT: \*\*\*\*\* SCALE AS NOTED  
DATE: 05-25-2022 DRAWN BY: MJW

**A2.0**



1 SECOND FLOOR PLAN  
 3/16" = 1'-0"

## DUPLEX PROGRESS

BUILDING ENVELOPE ASPECTS TO COMPLY WITH  
 CURRENT ENERGY CODE

IT IS THE CONTRACTOR'S OR OWNER'S RESPONSIBILITY TO EMPLOY GAVIN AND SULLIVAN ARCHITECTS TO PERFORM ON SITE VERIFICATION IF REQUIRED OR DESIRED. IT IS THE OWNER'S OR CONTRACTOR'S RESPONSIBILITY TO ASSURE THAT TIMELY NOTIFICATION OF THE PROJECT PROGRESS IS PROVIDED SO THAT ADEQUATE ON SITE ARCHITECTURAL PRESENCE IS OBTAINED. LIABILITY IS SEVERELY DIMINISHED IF ARCHITECT ON SITE VERIFICATION IS NOT PERFORMED.

ALL HVAC, ELECTRICAL, FIRE ALARM, AUTOMATIC FIRE SPRINKLERS, AND PLUMBING TO BE PERFORMED ON A DESIGN BUILD BASIS WITH REGISTERED ENGINEERS. ENGINEERS SHALL PROVIDE NARRATIVES, AFFIDAVITS, AND STAMPED DRAWINGS. FIRE SPRINKLER AND FIRE ALARM PLANS SHALL BE APPROVED BY THE SALEM FIRE DEPARTMENT.

CONTRACTOR TO FIELD VERIFY ALL DETAILS AND DIMENSIONS BEFORE PROCEEDING WITH THE WORK. NOTES ON THIS CONSTRUCTION DOCUMENT ARE TYPICAL UNLESS OTHERWISE NOTED. IF THE CONTRACTOR SEES AN AREA OF THE BUILDING THAT IS INCOMPLETE AND IS NOT NOTED ON THIS DRAWING SET, HE MUST ALSO INCLUDE THIS AREA IN THIS WORK, MATCHING SIMILAR FINISH AREAS OF THIS BUILDING.

DESIGNED BY:  
**GAVIN & SULLIVAN ARCHITECTS, INC.**  
 128 WARREN STREET LOWELL, MA.

PROPOSED MULTI - FAMILY FOR:  
**BLACK BROOK REALTY**  
 MEDWAY, MA

OVERALL SECOND FLOOR

PROJECT: \*\*\*\*\* SCALE AS NOTED  
 DATE: 05-25-2022 DRAWN BY: ADS

A2.1