



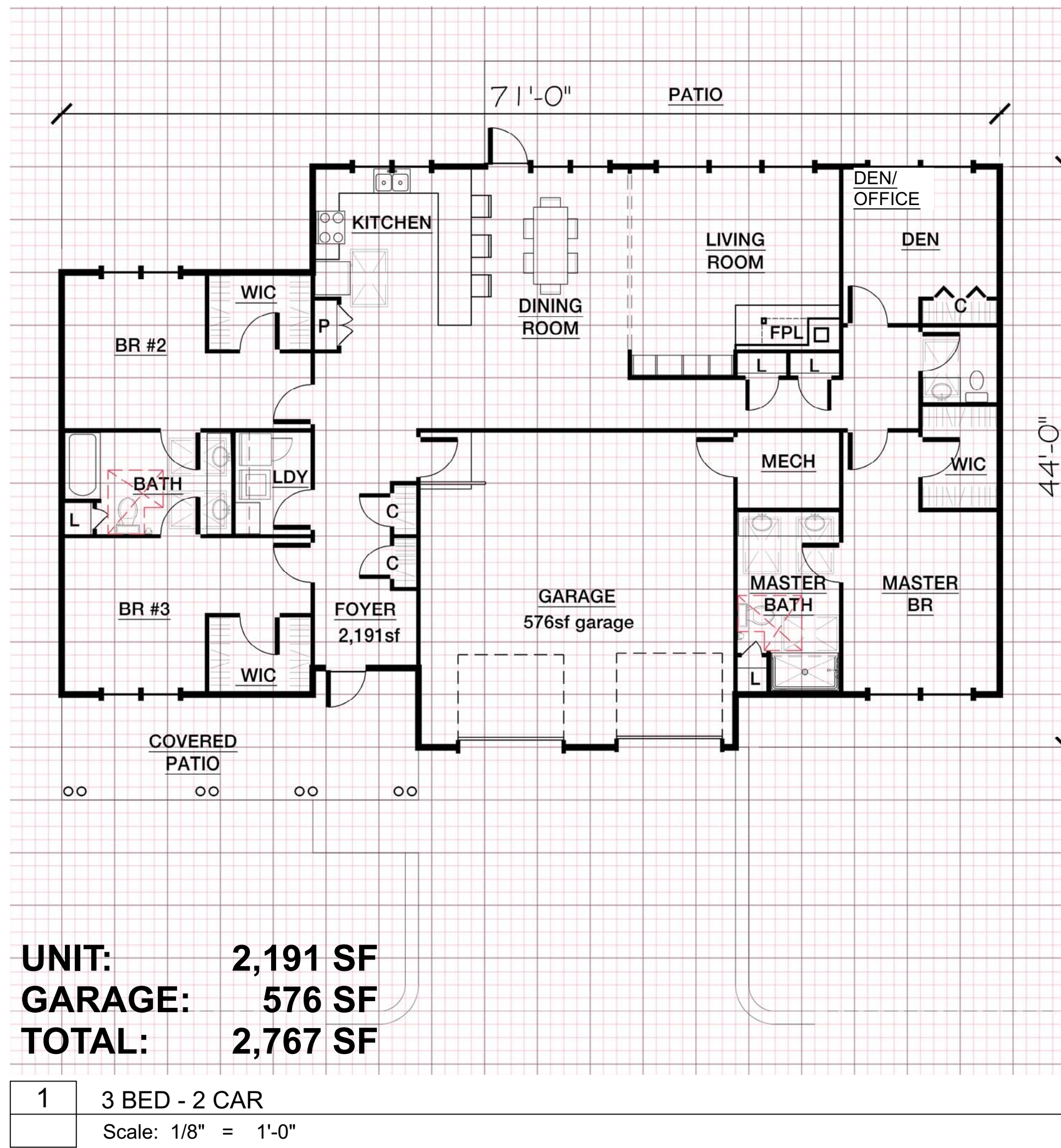
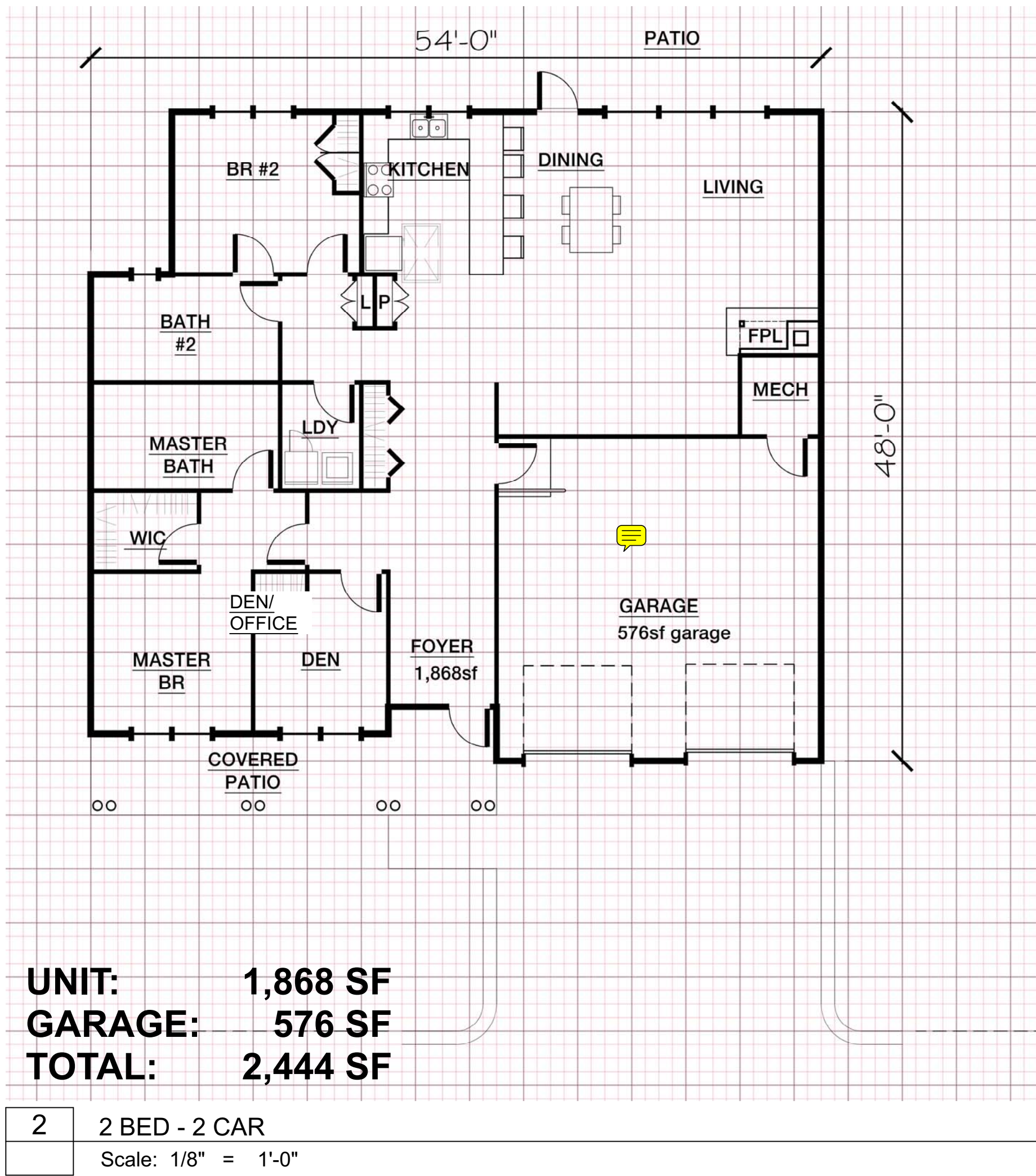
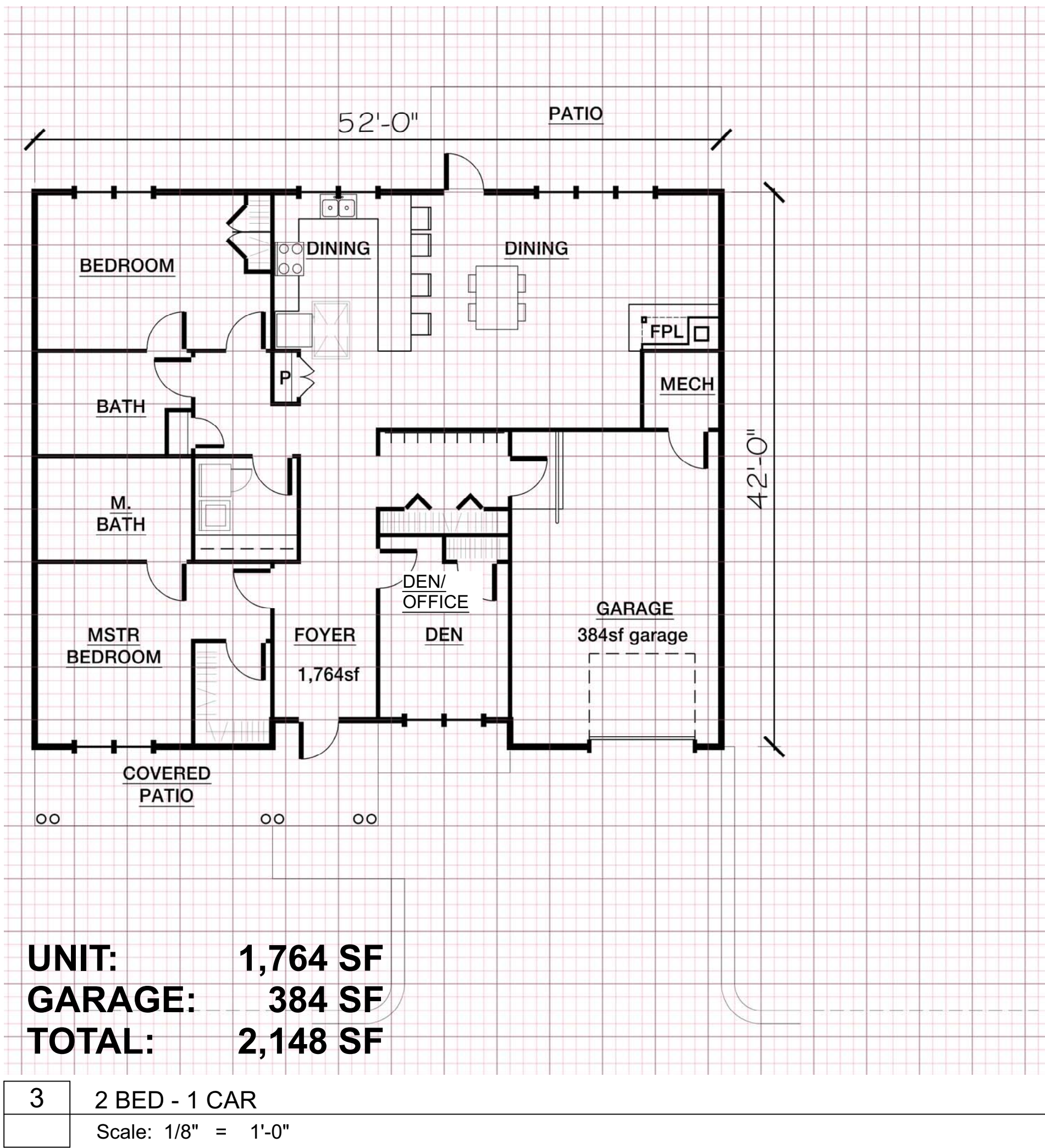
June 14, 2022
Medway Planning & Economic Development Board
Meeting

Field Change Discussion – Salmon
Willows Cottages

You will remember that Salmon sold a portion of the site on the east side to John Burns of Black Brook Realty to build some of the independent living “cottage” units. In November, 2021, the PEDB approved his requested field change to reduce the building footprint and modify the architectural style of those cottages from what had originally been approved in 2016 (Dario Designs version). **Both of those designs are Attached.**

Mr. Burns has not proposed another field change to further reduce the building footprints due to construction challenges resulting from site conditions. **See attached revised site plans showing the previous footprints and the proposed revisions in the areas under his control.** In addition, he has provided a revised architectural design to correspond to the new footprints. **See Attached.** There is no change in the number of units.

We had planned for Mr. Burns to meet with the DRC on June 6th to review and discuss his proposal and for the Committee to offer its recommendation to the PEDB. Unfortunately, the Zoom link was not correctly indicated on the meeting agenda (my mistake!) so the DRC meeting could not take place. That meeting has been rescheduled to Wednesday, June 22. However, Mr. Burns has asked that the PEDB review the proposed changes at the June 14th meeting.








PLANNING BOARD APPROVAL REQUIRED
UNDER THE SPECIAL PERMIT ARCPUD
ZONING BY-LAW.

MEDWAY PLANNING BOARD:

DATE OF APPROVAL: _____

DATE OF ENDORSEMENT: _____

OWNER:		CONTINUING CARE MANAGEMENT, LLC 1 LYMAN STREET, WESTBOROUGH, MA 01581 (508) 898-3416	PROJECT:	SALMON HEALTH AND RETIREMENT COMMUNITY		259, 261, 261R & 263 Village Street, Medway MA 02053	SHEET TITLE:	FLOOR PLANS - DETACHED COTTAGES			
				ARCHITECT:	DARIO DESIGNS						
CONSULTANT:	LEVI+WONG	DESIGN ASSOCIATES	ARCHITECT:	DARIO DESIGNS	CONSULTANT:	LEVI+WONG	DESIGN ASSOCIATES	ARCHITECT:	DARIO DESIGNS		
DATE:	2/18/16		DATE:	2/18/16		DATE:	2/18/16		DATE:	2/18/16	
SCALE:	AS NOTED		SCALE:	AS NOTED		SCALE:	AS NOTED		SCALE:	AS NOTED	
PROJECT NO.	1507		PROJECT NO.	1507		PROJECT NO.	1507		PROJECT NO.	1507	
NORTH			NORTH			NORTH			NORTH		
SHEET NO.	A1.01DC		SHEET NO.	A1.01DC		SHEET NO.	A1.01DC		SHEET NO.	A1.01DC	



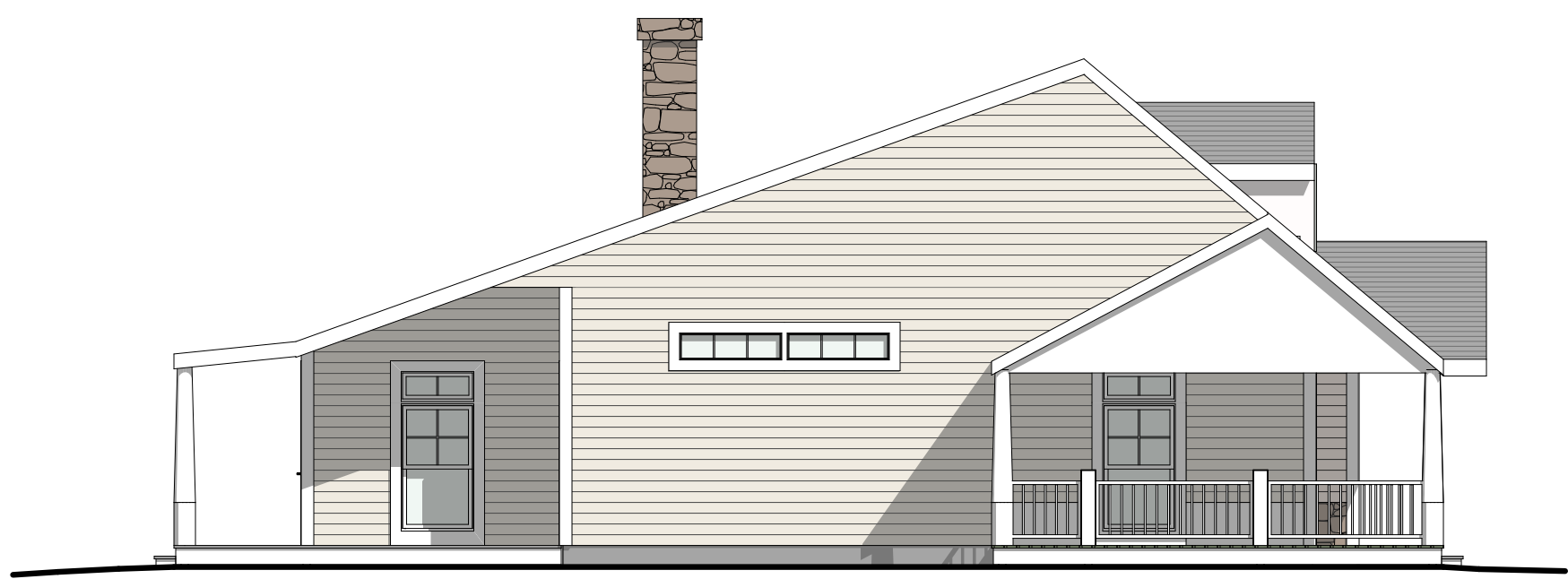
5 Front Elevation
Scale: 1/8" = 1'-0"



4 Rear Elevation
Scale: 1/8" = 1'-0"



3 Side Elevation
Scale: 1/8" = 1'-0"



2 Side Elevation
Scale: 1/8" = 1'-0"



1 Side Elevation
Scale: 1/8" = 1'-0"

PLANNING BOARD APPROVAL REQUIRED
UNDER THE SPECIAL PERMIT ARCPUD
ZONING BY-LAW.

MEDWAY PLANNING BOARD:

DATE OF APPROVAL: _____

DATE OF ENDORSEMENT: _____

DETACHED COTTAGE - UNIT TYPE LEGEND

- | | | | | | |
|---|-------------------|---|------------|----|-------------------|
| 1 | 2 Bedroom - 1 Car | A | Gable Roof | .1 | Color Variation 1 |
| 2 | 2 Bedroom - 2 Car | B | Cape Roof | .2 | Color Variation 2 |
| 3 | 3 Bedroom - 2 Car | C | Hip Roof | .3 | Color Variation 3 |

- 1A 2 Bedroom - 1 Car (Gable Roof)
- 1B 2 Bedroom - 1 Car (Cape Roof)
- 1C 2 Bedroom - 1 Car (Hip Roof)

- 2A 2 Bedroom - 2 Car (Gable Roof)
- 2B 2 Bedroom - 2 Car (Cape Roof)
- 2C 2 Bedroom - 2 Car (Hip Roof)

- 3A 3 Bedroom - 2 Car (Gable Roof)
- 3B 3 Bedroom - 2 Car (Cape Roof)
- 3C 3 Bedroom - 2 Car (Hip Roof)

REVISIONS		PROJECT:		OWNER:	
NO. 1	5/23/16	SALMON HEALTH AND RETIREMENT COMMUNITY		SALMON HEALTH AND RETIREMENT	
		259, 261, 261R & 263 Village Street, Medway MA 02053		HEALTH and RETIREMENT	
		SHEET TITLE:		CONTINUING CARE MANAGEMENT, LLC	
		EXTERIOR ELEVATIONS 1 - DETACHED COTTAGES DUPLEX		1 LYMAN STREET, WESTBOROUGH, MA 01581 (508) 898-3416	
ARCHITECT:		ARCHITECTURE:		ARCHITECT:	
DARIO DESIGNS		DARIO DESIGNS		DARIO DESIGNS	
LEVI + WONG		LEVI + WONG		LEVI + WONG	
DESIGN ASSOCIATES		DESIGN ASSOCIATES		DESIGN ASSOCIATES	
LANDSCAPE ARCHITECT:		LANDSCAPE ARCHITECT:		LANDSCAPE ARCHITECT:	
CWA		CWA		CWA	



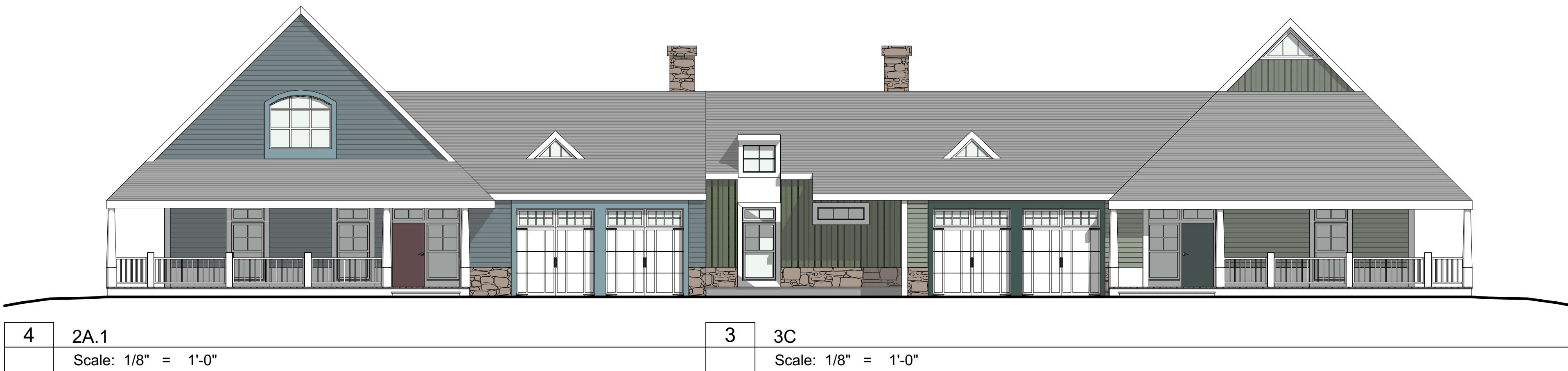
8 2B
Scale: 1/8" = 1'-0"

7 2A
Scale: 1/8" = 1'-0"



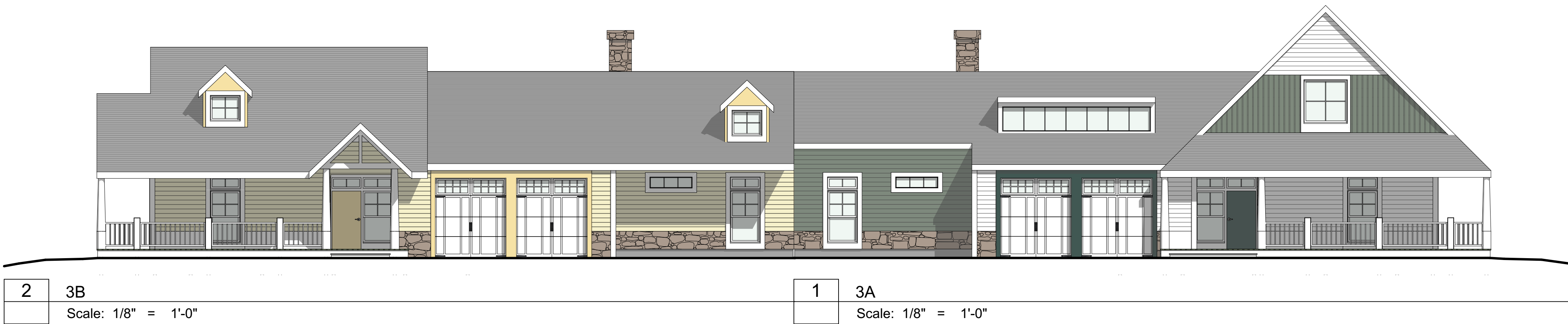
6 2C
Scale: 1/8" = 1'-0"

5 1B
Scale: 1/8" = 1'-0"



4 2A.1
Scale: 1/8" = 1'-0"

3 3C
Scale: 1/8" = 1'-0"



2 3B
Scale: 1/8" = 1'-0"

1 3A
Scale: 1/8" = 1'-0"

DETACHED COTTAGE - UNIT TYPE LEGEND

- | | | | | | |
|----------|-------------------|----------|------------|-----------|-------------------|
| 1 | 2 Bedroom - 1 Car | A | Gable Roof | .1 | Color Variation 1 |
| 2 | 2 Bedroom - 2 Car | B | Cape Roof | .2 | Color Variation 2 |
| 3 | 3 Bedroom - 2 Car | C | Hip Roof | .3 | Color Variation 3 |

- 1A** 2 Bedroom - 1 Car (Gable Roof)
1B 2 Bedroom - 1 Car (Cape Roof)
1C 2 Bedroom - 1 Car (Hip Roof)

- 2A** 2 Bedroom - 2 Car (Gable Roof)
2B 2 Bedroom - 2 Car (Cape Roof)
2C 2 Bedroom - 2 Car (Hip Roof)

- 3A** 3 Bedroom - 2 Car (Gable Roof)
3B 3 Bedroom - 2 Car (Cape Roof)
3C 3 Bedroom - 2 Car (Hip Roof)

PLANNING BOARD APPROVAL REQUIRED
UNDER THE SPECIAL PERMIT ARCPUD
ZONING BY-LAW.

MEDWAY PLANNING BOARD:

DATE OF APPROVAL:
DATE OF ENDORSEMENT:

PROJECT:
SALMON HEALTH AND
RETIREMENT COMMUNITY
259, 261, 261R & 263 Village Street, Medway MA 02053
SHEET TITLE:
EXTERIOR ELEVATIONS 2 - DETACHED COTTAGES DUPLEX

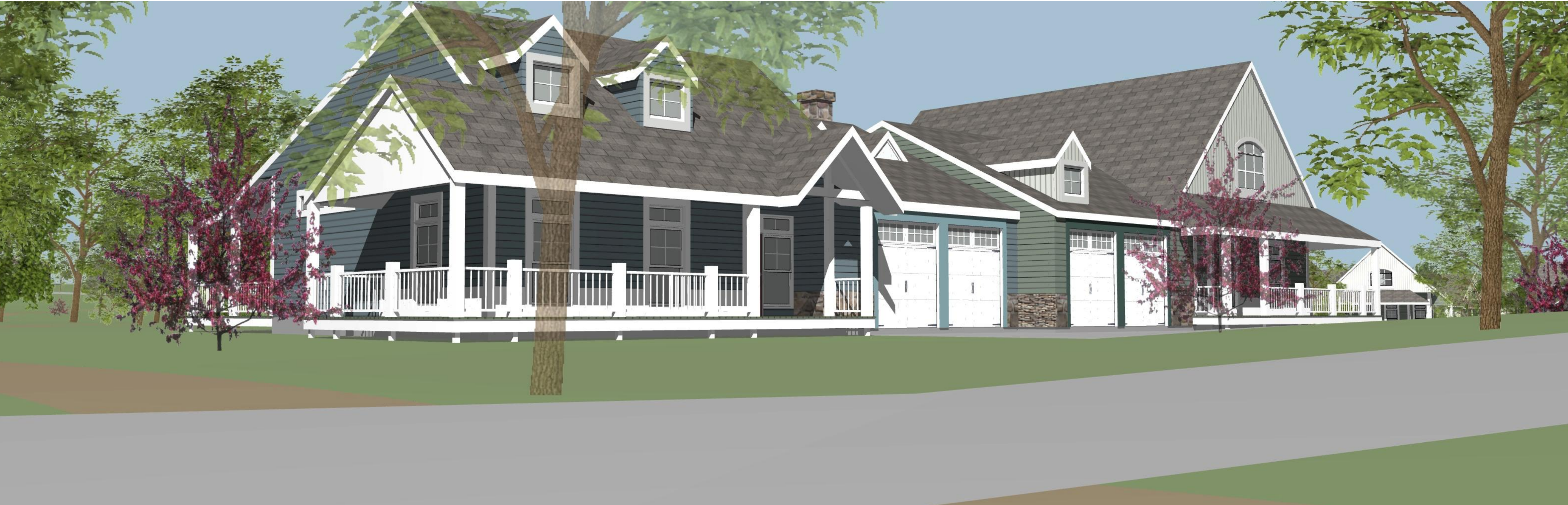
ARCHITECT:
DARIO
DESIGNS
CONSULTANT:
LEVI+WONG
DESIGN ASSOCIATES
LANDSCAPE ARCHITECT:
CLIA
440 High Street, Suite 301
North Attleboro, MA 01930
TEL: 508.877.4444
FAX: 508.877.4494

OWNER:
SALMON
HEALTH and RETIREMENT
CONTINUING CARE MANAGEMENT, LLC
1 LYMAN STREET, WESTBOROUGH, MA 01581 (508) 898-3416

DATE: 2/18/16
SCALE: AS NOTED
PROJECT NO. 1507
SHEET NO. A2.02DC



2 BIRDS EYE PERSPECTIVE 1
NOT TO SCALE



1 GROUND PERSPECTIVE 1 - FRONT
NOT TO SCALE

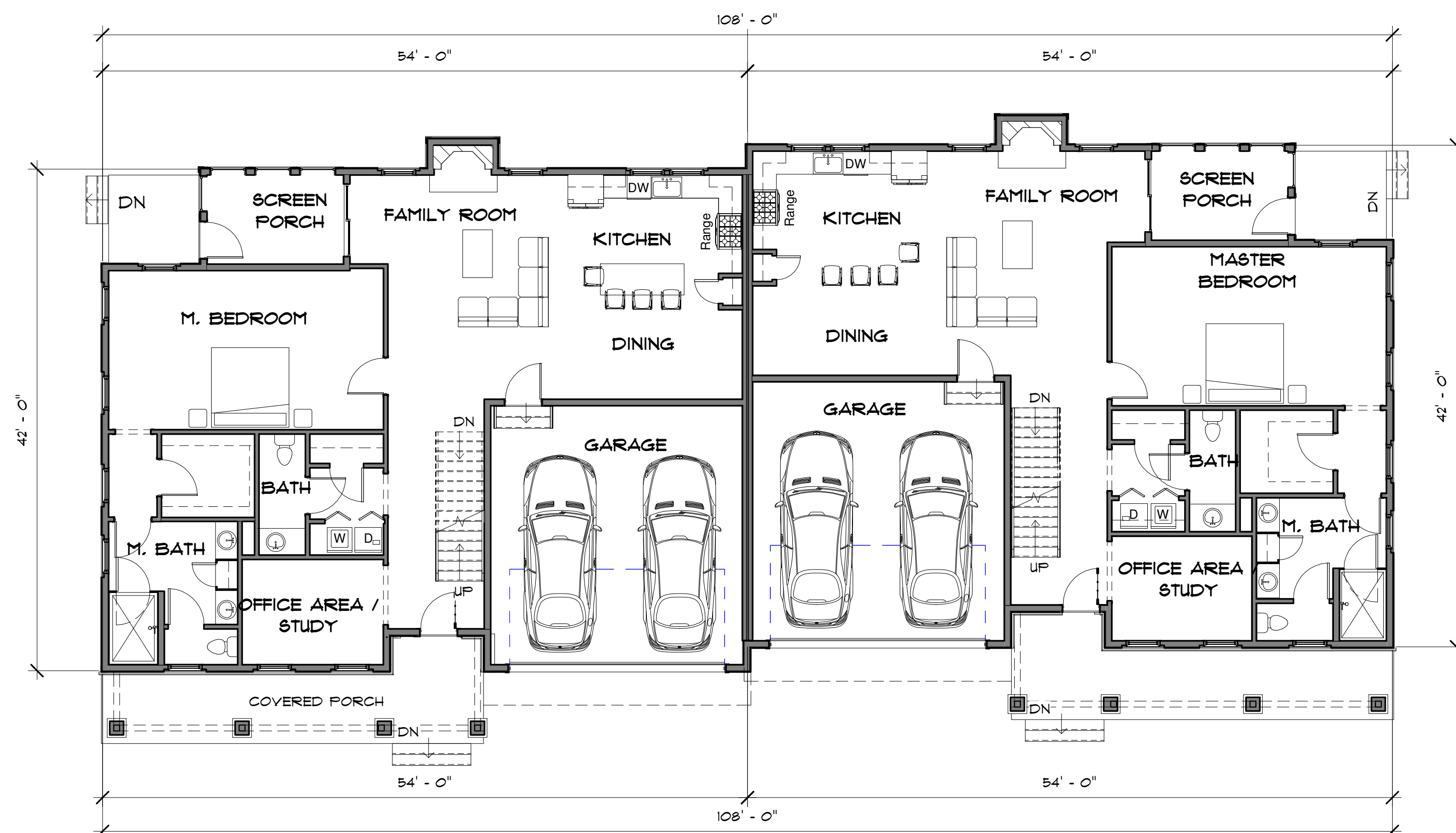
PLANNING BOARD APPROVAL REQUIRED
UNDER THE SPECIAL PERMIT ARCPUD
ZONING BY-LAW.

MEDWAY PLANNING BOARD:

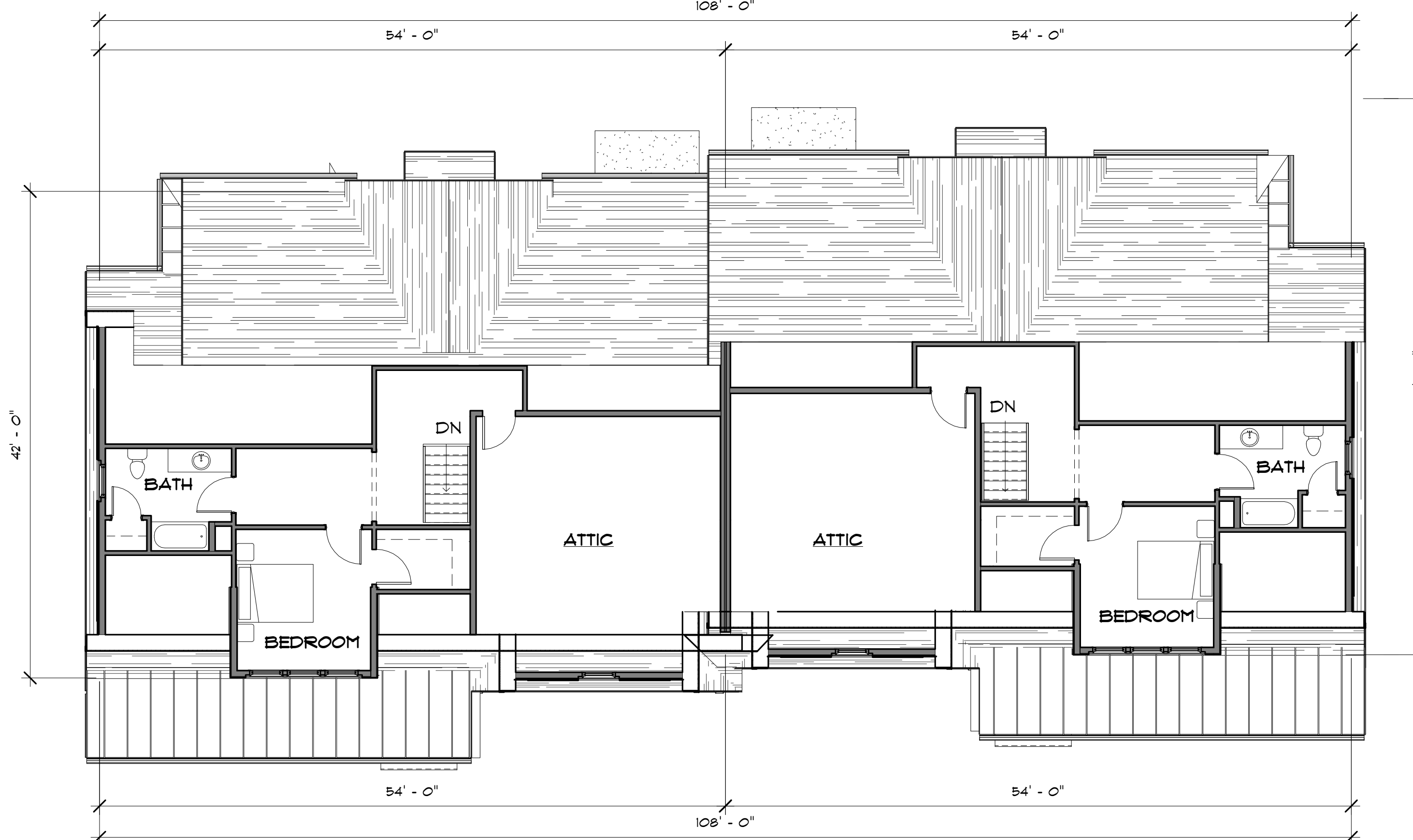
DATE OF APPROVAL:

DATE OF ENDORSEMENT:

REVISIONS	
NO. 1	5/23/16
FINAL SUBMISSION	
PROJECT: SALMON HEALTH AND RETIREMENT COMMUNITY	
259, 261, 261R & 263 Village Street, Medway MA 02053	
SHEET TITLE: EXTERIOR PERSPECTIVE - DETACHED COTTAGES DUPLEX	
ARCHITECT: DARIO DESIGNS	1 LYMAN STREET, SUITE 301 NORFOLK, MA 01901 TEL: 508.877.4444 FAX: 508.877.4494
CONSULTANT: LEVI+WONG	LWDA
LANDSCAPE ARCHITECT: DESIGN ASSOCIATES	CLIA
OWNER: SALMON HEALTH and RETIREMENT	CONTINUING CARE MANAGEMENT, LLC
1 LYMAN STREET, WESTBOROUGH, MA 01581 (508) 898-3416	
DATE: 2/18/16	
SCALE: AS NOTED	
PROJECT NO. 1507	
NORTH	SHEET NO. A2.03DC

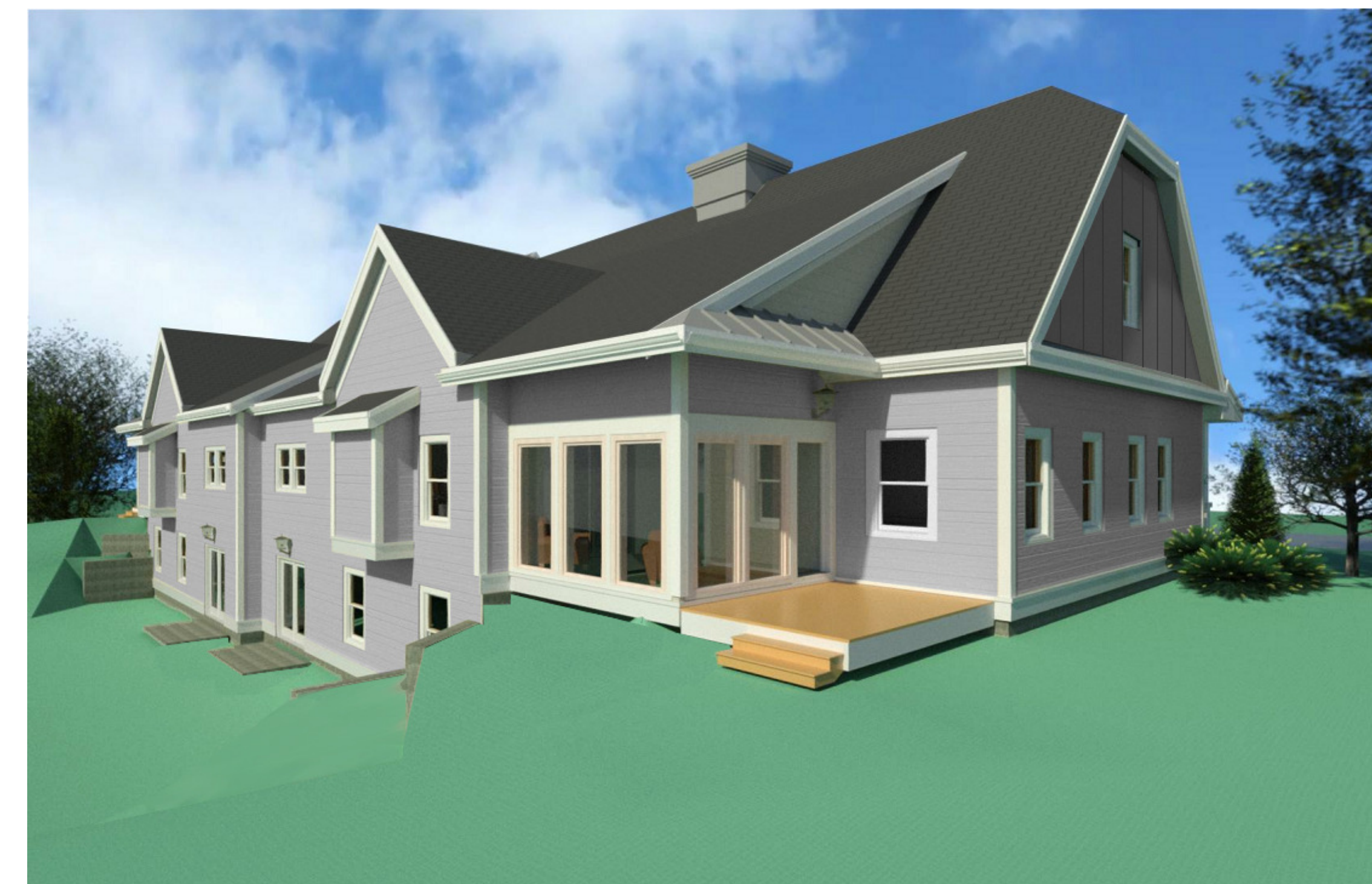
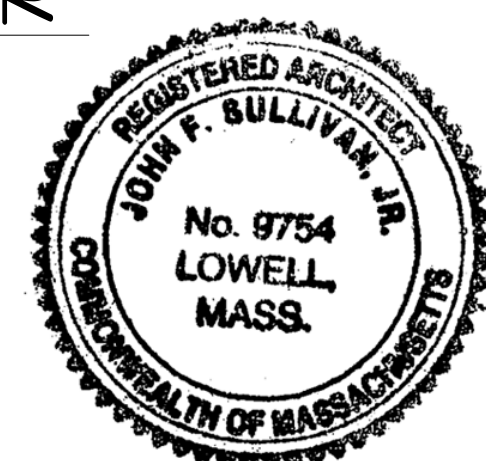


1 FIRST FLOOR
1/8" = 1'-0"



2 SECOND FLOOR
1/8" = 1'-0"

PROPOSED DUPLEX FOR:
BLACK BROOK REALTY
VILLAGE STREET
MEDWAY, MA.
DATE: OCTOBER 28, 2021



DESIGNED BY:
GAVIN AND SULLIVAN ARCHITECTS, INC.

128 WARREN STREET
LOWELL, MA 01852



STANDING METAL SEAM ROOF



CULTURED STONE VENEER



GARAGE DOOR
18' x 9'



VINYL CLAPBOARD SIDING



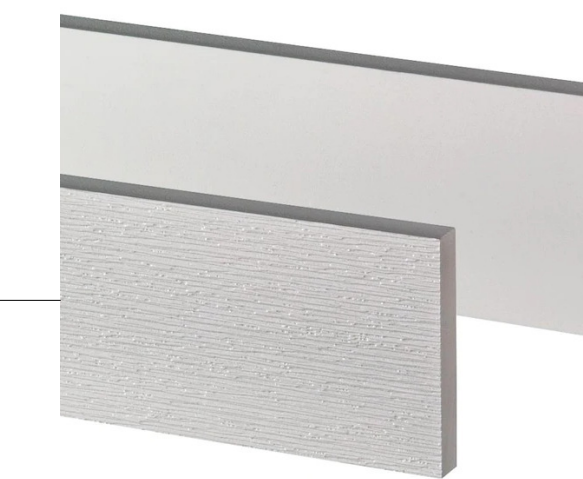
EXTERIOR LANTERN
SCONCE

PROPOSED DUPLEX FOR:
BLACK BROOK REALTY
VILLAGE STREET
MEDWAY, MA.

DATE: OCTOBER 28, 2021



1 FRONT ELEVATION
1/8" = 1'-0"



VINYL EXTERIOR
TRIM BOARD



VINYL SHINGLE
SIDING



INSULATED FIBERGLASS
FRONT DOOR
9 PANEL



ASPHALT ROOF
SHINGLES



DOUBLE HUNG
WINDOWS



3 REAR ELEVATION
1/8" = 1'-0"



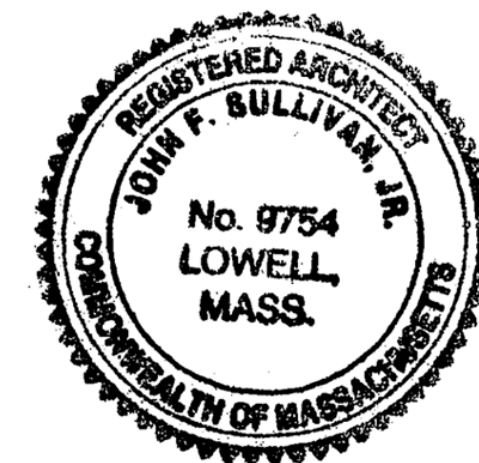
2 LEFT ELEVATION
1/8" = 1'-0"



4 RIGHT ELEVATION
1/8" = 1'-0"



VINYL BATTEN
BOARD SIDING



GAVIN AND SULLIVAN ARCHITECTS, INC.

DESIGNED BY:
128 WARREN STREET
LOWELL, MA 01852

3/24/16 ORIGINAL APPROVED PROJECT COVERAGE INFORMATION:

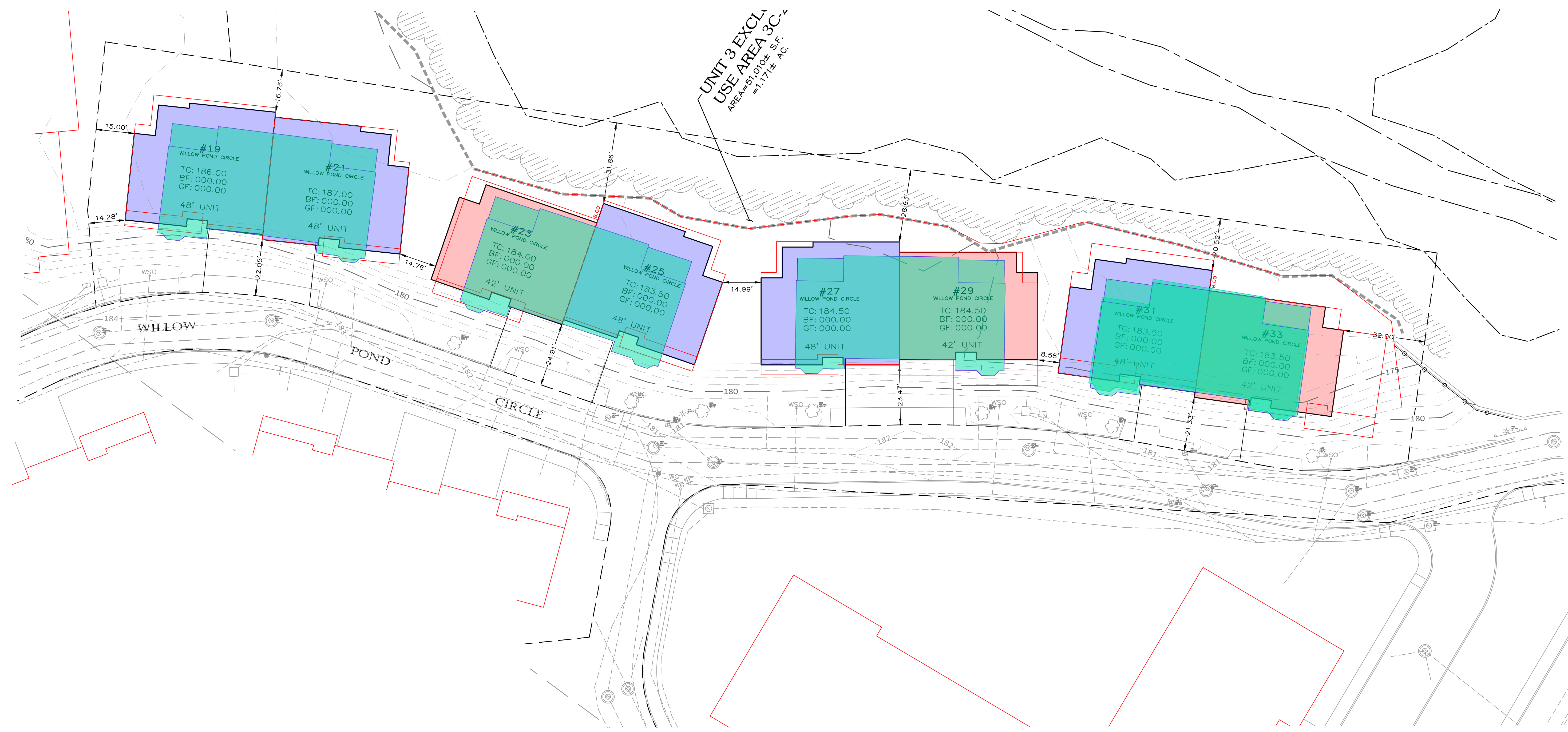
THE COVERAGE CALCULATION FOR THE 3/24/16 ORIGINAL APPROVED PROJECT BUILDING & DRIVEWAY LIMITS WITHIN EXCLUSIVE USE AREA 3C-2 TOTAL:
25,464 SF TOTAL COVERAGE

PENDING TOWN REVIEW PROPOSED PROJECT MODIFICATION COVERAGE INFORMATION:

THE COVERAGE CALCULATION FOR THE PENDING TOWN REVIEW PROPOSED PROJECT MODIFICATION BUILDING & DRIVEWAY LIMITS WITHIN EXCLUSIVE USE AREA 3C-2 TOTAL:17,761 SF
TOTAL COVERAGE OR A 31.3% REDUCTION IN TOTAL COVERAGE WITH BUILDING & DRIVEWAY LIMITS AS ILLUSTRATED BELOW, PROJECT WORK LIMITS REMAIN UNCHANGED FROM ORIGINAL ORDER OF CONDITIONS 216-854

DIG SAFE NOTE

UNDERGROUND UTILITY LOCATIONS ARE NOT GUARANTEED.
IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION.
DIGSAFE IS TO BE NOTIFIED 72 BUSINESS HOURS IN ADVANCE OF CONSTRUCTION. CALL DIGSAFE AT 811.



DRWN BY: ZRB
CHK'D BY: PSB
APRVD BY: WML

0
REV #

5/9/22
DATE

ISSUED FOR REVIEW
DESCRIPTION

Graphic Scale
1 inch = 20 feet
0 20 40 60

PREPARED BY:
Engineering Design Consultants, Inc.
32 Turnpike Road
Southborough, Massachusetts
(508) 480-0225

PROJECT:
THE WILLOWS AT MEDWAY
AND WHITNEY PLACE CONDOMINIUM
261 VILLAGE STREET
(NORFOLK COUNTY)
MEDWAY, MASSACHUSETTS

TITLE:
EXISTING & PROPOSED CONDITIONS
EXCLUSIVE USE AREA 3C-2

PREPARED FOR:
Willows Medway Townhomes Realty, LLC
1 Lyman Street
Westborough, Massachusetts 01581

DATE:
MAY 9, 2022

1 OF 1

EDC PROJECT NUMBER
3750

3750 SITE PLAN.DWG - SITE PLAN 3C-2

DIG SAFE NOTE

THE COVERAGE CALCULATION FOR THE 3/24/16 ORIGINAL
APPROVED PROJECT BUILDING & DRIVEWAY LIMITS
WITHIN EXCLUSIVE USE AREA 3H:
19,194 SF TOTAL COVERAGE

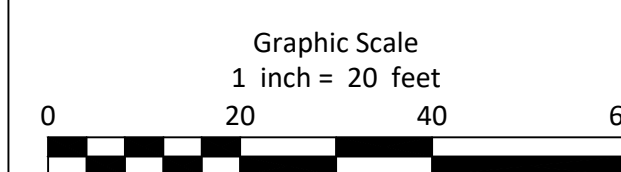
THE COVERAGE CALCULATION FOR THE PENDING TOWN REVIEW
PROPOSED PROJECT MODIFICATION BUILDING & DRIVEWAY LIMITS
WITHIN EXCLUSIVE USE AREA 3H TOTAL:13,684 SF
TOTAL COVERAGE OR A 28.7% REDUCTION IN TOTAL COVERAGE WITH
BUILDING & DRIVEWAY LIMITS AS ILLUSTRATED BELOW, PROJECT WORK
LIMITS REMAIN UNCHANGED FROM ORIGINAL ORDER OF CONDITIONS 216-854

UNDERGROUND UTILITY LOCATIONS ARE NOT GUARANTEED.
IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO
VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES
PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION.

DIGSAFE IS TO BE NOTIFIED 72 BUSINESS HOURS IN
ADVANCE OF CONSTRUCTION. CALL DIGSAFE AT 811.



DRWN BY: ZRB		REVISIONS:	
CHK'D BY: PSB			
APRVD BY: WML			
0	5/9/22	ISSUED FOR REVIEW	
REV #	DATE	DESCRIPTION	



PREPARED BY:



Engineering Design Consultants, Inc.
32 Turnpike Road
Southborough, Massachusetts
(508) 480-0225

PROJECT:

THE WILLOWS AT MEDWAY
AND WHITNEY PLACE CONDOMINIUM
261 VILLAGE STREET
(NORFOLK COUNTY)
MEDWAY, MASSACHUSETTS

|| TITLE:

EXISTING & PROPOSED CONDITIONS
EXCLUSIVE USE AREA 3H

PREPARED FOR:

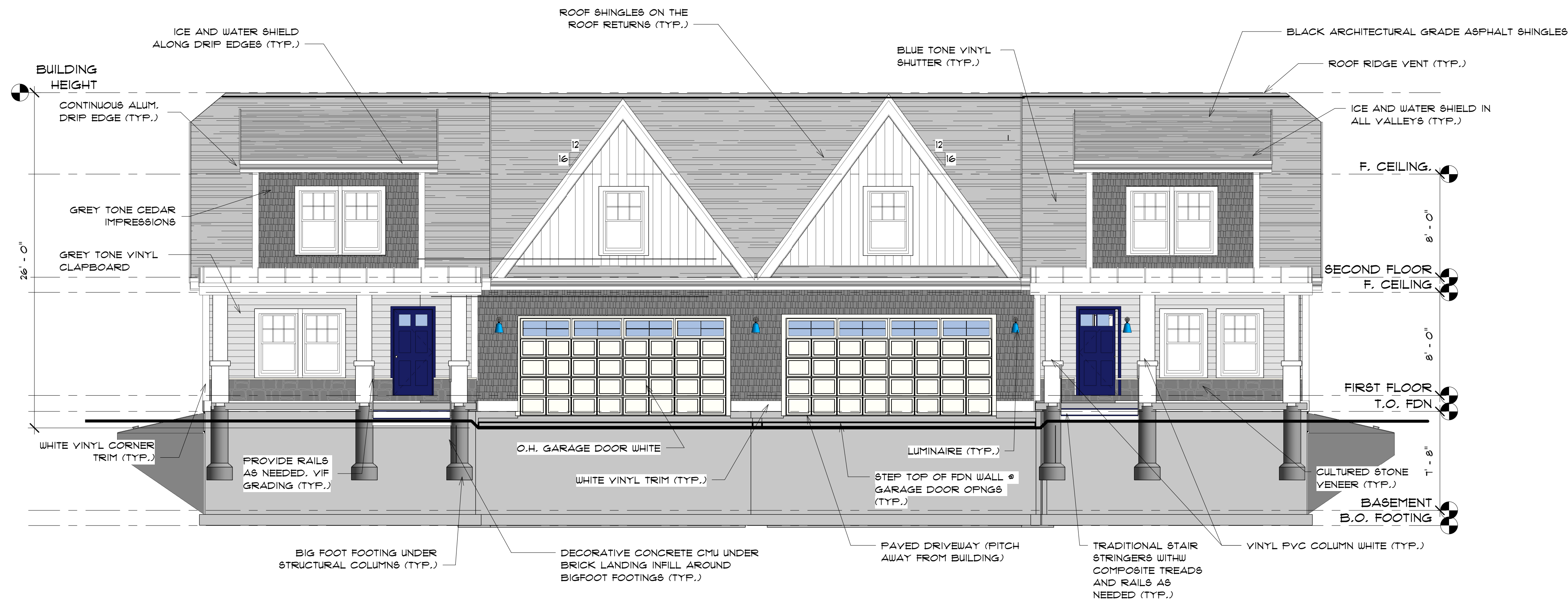
Willows Medway Townhomes Realty, LLC
1 Lyman Street
Westborough, Massachusetts 01581

DATE: _____

MAY 9, 2022

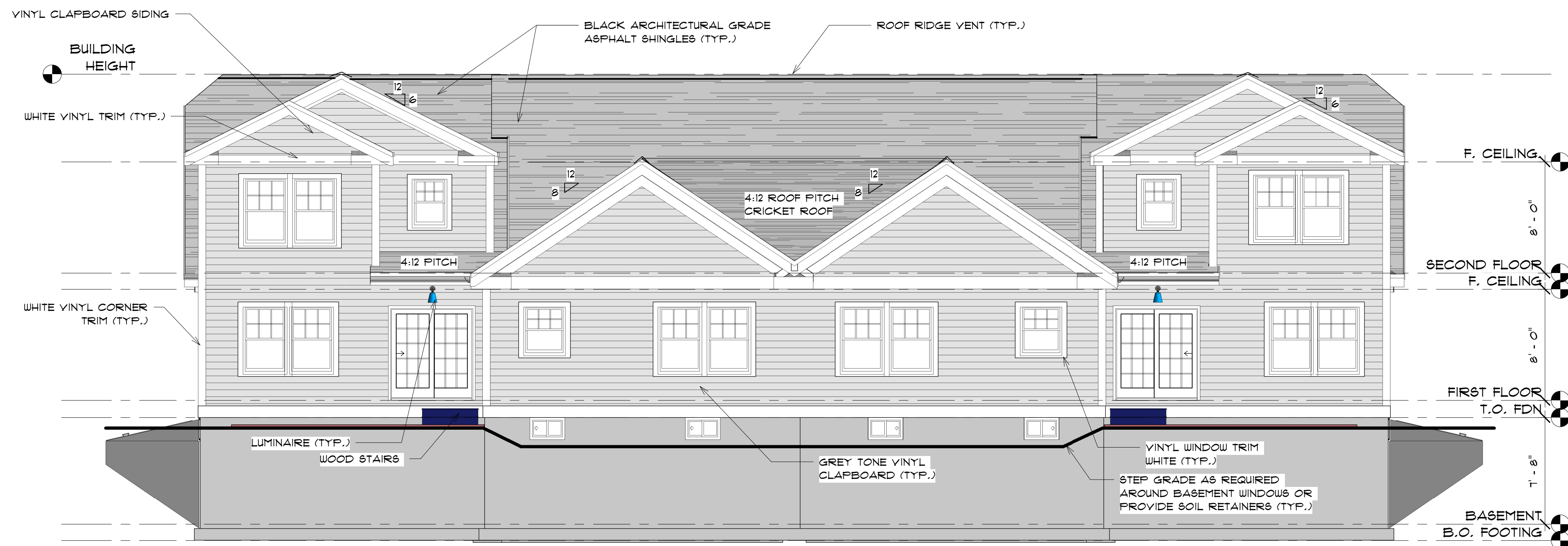
1 OF 1

EDC PROJECT NUMBER
3750



1 FRONT ELEVATION
3/16" = 1'-0"

CONTRACTOR TO VERIFY WITH CIVIL
ENGINEER FINAL BASEMENT / GARAGE
SLAB ELEVATIONS. ADJUST ELEVATIONS
AS REQUIRED.



2 REAR ELEVATION
3/16" = 1'-0"

SQUARE FOOTAGE CHAT	
FIRST FLOOR	- 1,125 +/- SQ.FT.
SECOND FLOOR	- 1,120 +/- SQ.FT.
GARAGE	- 465 +/- SQ.FT.
TOTAL	- 2,710 SQ.FT.

DUPLEX PROGRESS

BUILDING ENVELOPE ASPECTS TO COMPLY WITH
CURRENT ENERGY CODE

IT IS THE CONTRACTOR'S OR OWNER'S RESPONSIBILITY TO EMPLOY GAVIN AND SULLIVAN ARCHITECTS TO PERFORM ON SITE VERIFICATION IF REQUIRED OR DESIRED. IT IS THE OWNER'S OR CONTRACTOR'S RESPONSIBILITY TO ASSURE THAT TIMELY NOTIFICATION OF THE PROJECT PROGRESS IS PROVIDED SO THAT ADEQUATE ON SITE ARCHITECTURAL PRESENCE IS OBTAINED. LIABILITY IS SEVERLY DIMINISHED IF ARCHITECT ON SITE VERIFICATION IS NOT PERFORMED.

ALL HVAC, ELECTRICAL, FIRE ALARM, AUTOMATIC FIRE SPRINKLERS, AND PLUMBING TO BE PERFORMED ON A DESIGN BUILD BASIS WITH REGISTERED ENGINEERS. ENGINEERS SHALL PROVIDE NARRATIVES, AFFIDAVITS, AND STAMPED DRAWINGS. FIRE SPRINKLER AND FIRE ALARM PLANS SHALL BE APPROVED BY THE SALEM FIRE DEPARTMENT.

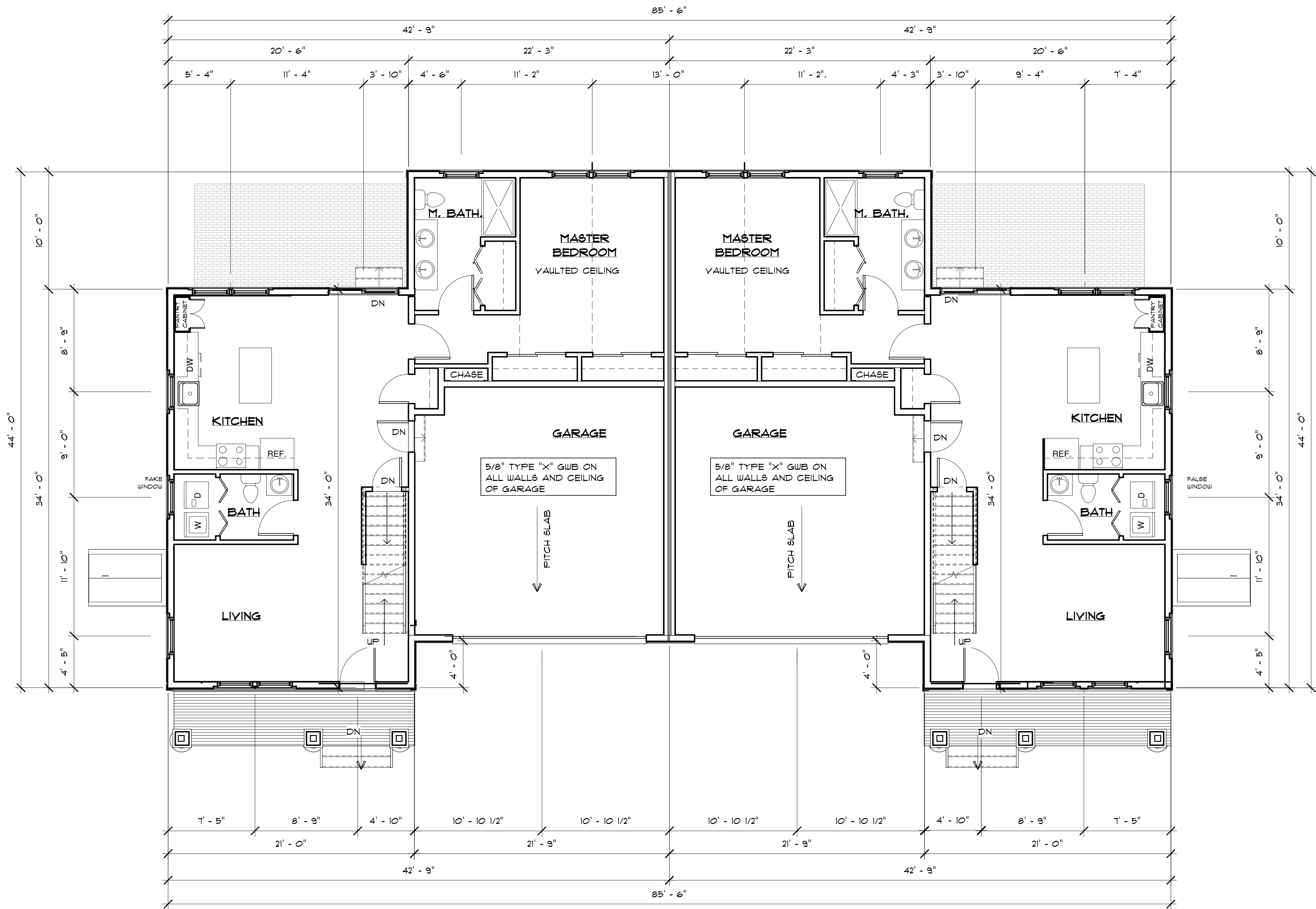
CONTRACTOR TO FIELD VERIFY ALL DETAILS AND DIMENSIONS BEFORE PROCEEDING WITH THE WORK. NOTES ON THIS CONSTRUCTION DOCUMENT ARE TYPICAL UNLESS OTHERWISE NOTED. IF THE CONTRACTOR SEES AN AREA OF THE BUILDING THAT IS INCOMPLETE AND IS NOT NOTED ON THIS DRAWING SET, HE MUST ALSO INCLUDE THIS AREA IN THIS WORK, MATCHING SIMILAR FINISH AREAS OF THIS BUILDING.

DESIGNED BY:
GAVIN & SULLIVAN ARCHITECTS, INC.
128 WARREN STREET LOWELL, MA.

PROPOSED MULTI - FAMILY FOR:
BLACK BROOK REALTY
MEDWAY, MA

ELEVATIONS
PROJECT: ***** SCALE AS NOTED
DATE: 05-25-2022 DRAWN BY: ADS

A1.0



1 FIRST FLOOR
3/16" = 1'-0"

DUPLEX PROGRESS

BUILDING ENVELOPE ASPECTS TO COMPLY WITH
CURRENT ENERGY CODE

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CONTRACTOR TO FIELD VERIFY ALL DETAILS AND DIMENSIONS BEFORE PROCEEDING WITH THE WORK. NOTES ON THIS CONSTRUCTION DOCUMENT ARE TYPICAL UNLESS OTHERWISE NOTED. IF THE CONTRACTOR SEES AN AREA OF THE BUILDING THAT IS INCOMPLETE AND IS NOT NOTED ON THIS DRAWING SET, HE MUST ALSO INCLUDE THIS AREA IN THIS WORK, MATCHING SIMILAR FINISH AREAS OF THIS BUILDING.

OVERALL FIRST FLOOR

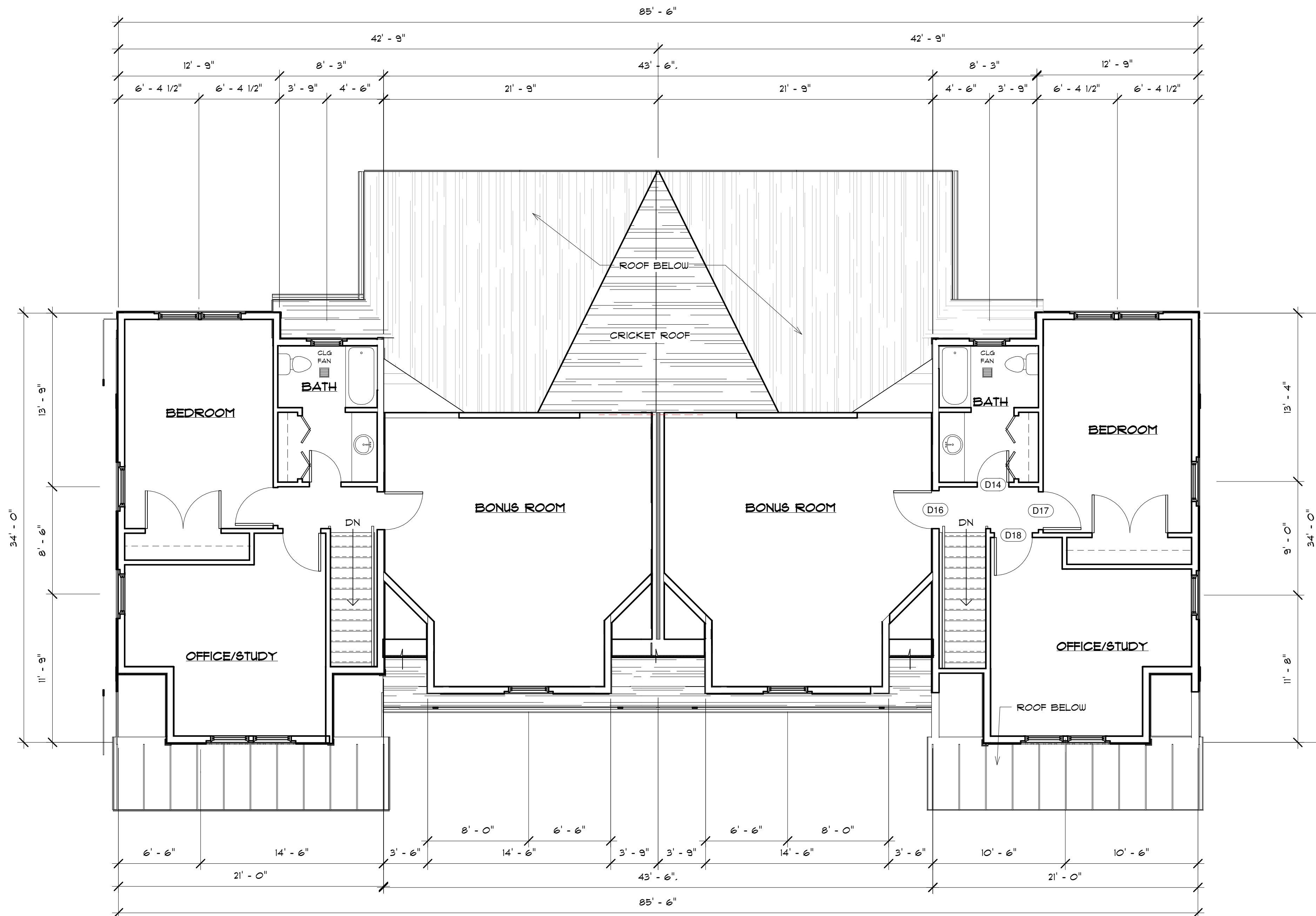
PROJECT: *****
DATE: 05-25-2022
SCALE AS NOTED
DRAWN BY: MJW

DESIGNED BY:
GAVIN & SULLIVAN ARCHITECTS, INC.
128 WARREN STREET LOWELL, MA.

PROPOSED MULTI - FAMILY FOR:
BLACK BROOK REALTY

MEDWAY, MA

A2.0



1 SECOND FLOOR PLAN
3/16" = 1'-0"

DUPLEX PROGRESS

BUILDING ENVELOPE ASPECTS TO COMPLY WITH
CURRENT ENERGY CODE

IT IS THE CONTRACTOR'S OR OWNER'S RESPONSIBILITY TO EMPLOY GAVIN AND SULLIVAN ARCHITECTS TO PERFORM ON SITE VERIFICATION IF REQUIRED OR DESIRED. IT IS THE OWNER'S OR CONTRACTOR'S RESPONSIBILITY TO ASSURE THAT TIMELY NOTIFICATION OF THE PROJECT PROGRESS IS PROVIDED SO THAT ADEQUATE ON SITE ARCHITECTURAL PRESENCE IS OBTAINED. LIABILITY IS SEVERELY DIMINISHED IF ARCHITECT ON SITE VERIFICATION IS NOT PERFORMED.

ALL HVAC, ELECTRICAL, FIRE ALARM, AUTOMATIC FIRE SPRINKLERS, AND PLUMBING TO BE PERFORMED ON A DESIGN BUILD BASIS WITH REGISTERED ENGINEERS. ENGINEERS SHALL PROVIDE NARRATIVES, AFFIDAVITS, AND STAMPED DRAWINGS. FIRE SPRINKLER AND FIRE ALARM PLANS SHALL BE APPROVED BY THE SALEM FIRE DEPARTMENT.

CONTRACTOR TO FIELD VERIFY ALL DETAILS AND DIMENSIONS BEFORE PROCEEDING WITH THE WORK. NOTES ON THIS CONSTRUCTION DOCUMENT ARE TYPICAL UNLESS OTHERWISE NOTED. IF THE CONTRACTOR SEES AN AREA OF THE BUILDING THAT IS INCOMPLETE AND IS NOT NOTED ON THIS DRAWING SET, HE MUST ALSO INCLUDE THIS AREA IN THIS WORK, MATCHING SIMILAR FINISH AREAS OF THIS BUILDING.

DESIGNED BY:
GAVIN & SULLIVAN ARCHITECTS, INC.
128 WARREN STREET LOWELL, MA.

PROPOSED MULTI - FAMILY FOR:
BLACK BROOK REALTY
MEDWAY, MA

OVERALL SECOND FLOOR

PROJECT: ***** SCALE AS NOTED
DATE: 05-25-2022 DRAWN BY: ADS

A2.1