



TOWN OF MEDWAY
Planning & Economic Development Board
155 Village Street
Medway, Massachusetts 02053

Andy Rodenhiser, Chairman
Robert K. Tucker, Vice-Chairman
Thomas A. Gay, Clerk
Matthew J. Hayes, P.E.
Richard Di Iulio

December 5, 2019

MODIFICATION
ADULT RETIREMENT COMMUNITY PLANNED UNIT DEVELOPMENT (ARCPUD)
SPECIAL PERMIT PLAN
Continuing Care Management, LLC
The Willows at Medway and Whitney Place
259, 261, 261R and 263 Village Street

Name/Address/Applicant: Continuing Care Management, LLC
One Lyman Street
Westborough, MA 01581

Project Location: 259, 261, 261R and 263 Village Street

Assessor's Reference: Agricultural Residential II

Purpose: Amend the previously approved ARCPUD special permit plan

This is a decision of the Medway Planning and Economic Development Board (hereinafter "Board") to modify the previously approved and endorsed ARCPUD special permit plan dated June 12, 2015, last revised December 11, 2017, endorsed by the Board on December 12, 2017 and recorded at the Norfolk County Registry of Deeds on December 20, 2017, Book 665, Pages 1 – 68B.

BACKGROUND – The ARCPUD special permit decision approved by the Board on March 24, 2016 pertained to the construction of an age-restricted, active adult/senior residential living community on the site to be known as The Willows at Medway and Whitney Place. The approved development is to consist of 54 cottage style independent living homes located in 29 buildings, a main building to include 15 cottage style independent living homes, 40 memory care apartments, 60 assisted living apartments and 56 independent living apartments, a 3,522 sq. ft. community center pavilion, and a 11,475 sq. ft. medical office building.

Approved improvements include 5,498 linear feet of privately owned roadway (*Willow Pond Circle, Waterside Drive, Lilac Path, and Walnut Grove*); sewage and water service; stormwater management/drainage facilities; 37.4 acres of dedicated open space open to the public; paved sidewalks; walking trails/paths; and associated parking and landscaping. Site access and egress will be from Village Street, a Medway Scenic Road. The open space land is protected through a conservation restriction and easement granted to the Town of Medway, acting through the Conservation



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Telephone: 508-533-3291 Fax: 508-321-4987
planningboard@townofmedway.org

Commission, for conservation and passive recreation purposes and to permit public access to the open space land, trails/pathways and parking area.

DESCRIPTION OF PROPOSED MODIFICATION – The proposed plan modifications were represented on the following plan sheets prepared by Coneco Engineers and Scientists of Bridgewater, MA and provided to the Board:

- Sheet 1 titled Campus Drainage dated 10-22-19
- Revised Sheet C24 dated 8-21-19
- Revised Sheet C25 dated 8-9-19
- Revised Sheet C26 dated 9-5-19
- Revised Sheet C27 dated 9-5-19
- Revised sheet C58 dated 11-18-19

These plan revisions reflect modifications to the installation of stormwater drainage facilities around the main campus building. The changes are needed to accommodate the structural fill that was brought in to provide necessary support for the building construction and placed below the nearby stormwater drainage infiltration facilities. The modification consists of rerouting roof runoff from the main building to alternative drainage facilities, resizing three infiltration trenches (trenches #16, #19 and #20) and removing two infiltration facilities (#17 & #18), and creating a hydraulic connection within the drainage facilities to ensure stormwater runoff is recharged to the underlying soils. The scope of the proposed changes required an amended Order of Conditions from the Medway Conservation Commission. That in turn triggered the need for a formal modification to the previously approved ARCPUD plan by the Board.

The proposed changes were reviewed by Tetra Tech, the Town’s Consulting Engineer; a review letter and accompanying email was issued September 26, 2019. A follow-up email dated November 20, 2019 was also provided. Tetra Tech also advised the Conservation Commission on the proposed changes. The Commission held a public hearing on November 21, 2019 and voted to approve the proposed changes and amend the Order of Conditions. On November 25, 2019, an amended Order of Conditions was issued; it included conditions for additional inspections pursuant to the Long Term Stormwater Operations and Maintenance Plan.

PEDB REVIEW PROCESS

Application Received:	October 31, 2019
Public Hearing Notice Posted with Town Clerk:	November 12, 2019
Abutters Notified via Certified Sent Mail:	November 12, 2019
Legal Ad Published in the <i>Milford Daily News</i> :	November 12 and 18, 2019
Public Hearing:	November 26 and December 3, 2019

DECISION OF THE BOARD – The Medway Planning and Economic Development Board, at a duly posted meeting held on December 3, 2019, on a motion made by Robert Tucker and seconded by Richard Di Iulio, voted five in favor and none opposed to modify the previously approved and endorsed ARCPUD special permit plan for the stormwater drainage design for the 225 unit independent and assisted senior living community at 259, 261, 261R and 263 Village Street as described herein.

All documents associated with the previous decision and amendments are hereby acknowledged and made a part of the record for this modification.

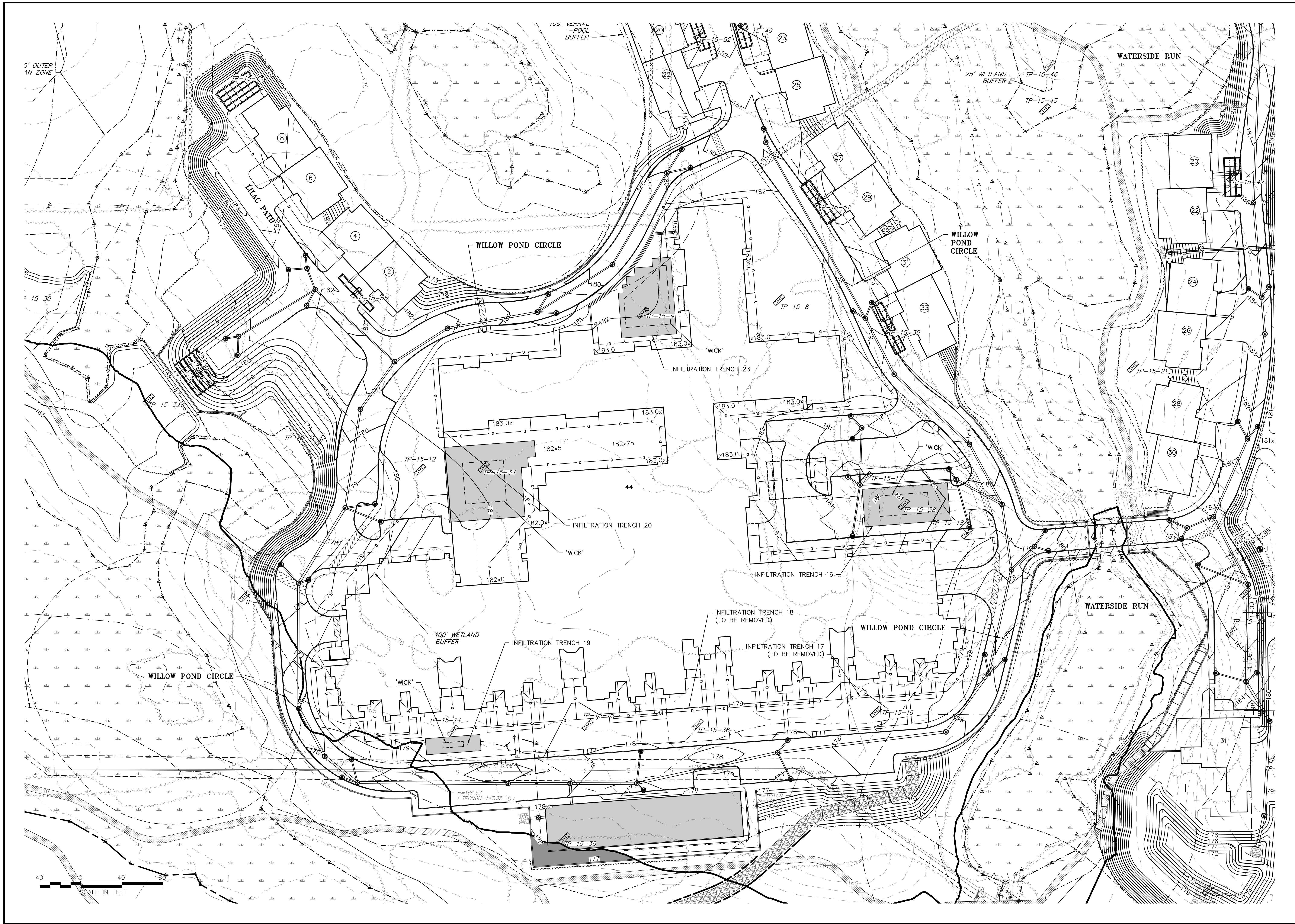
The above noted plan sheets by Coneco Engineers and Scientists depicting the approved changes are attached to this decision.

CONDITIONS

- 1. The above noted plan sheets shall be revised to include a signature block for the Board’s endorsement after this decision’s 20 day appeal period has concluded. The Cover Sheet shall include a block to indicate the Town Clerk’s certification of no appeal.
- 2. This decision with the noted plan sheets as endorsed shall be recorded at the Norfolk County Registry of Deeds and proof of such recording shall be provided to the Board.
- 3. The provisions of the Conservation Commission’s November 25, 2019 Order of Conditions as such pertain to these changes shall also apply to this site plan modification.
- 4. All other conditions of approval of the ARCPUD special permit dated March 24, 2016 remain in force.

Attest: _____
Susan E. Affleck-Childs Date
Planning and Economic Development Coordinator

cc: Jack Mee, Building Inspector/Zoning Enforcement Officer
Jeff Robinson, Continuing Care Management, LLC
Jon Novak, Coneco Engineers and Scientists
Steve Bouley, Tetra Tech
Bridget Graziano, Conservation Agent



REVISIONS			
NO.	DATE	DESCRIPTION	DR/CK

PROJECT	PREPARED FOR	DRAWING
SALMON HEALTH AND RETIREMENT COMMUNITY 259, 261, 261R AND 263 VILLAGE STREET MEDWAY, MASSACHUSETTS 02053	CONTINUING CARE MANAGEMENT, LLC 1 LYMAN STREET WESTBOROUGH, MASSACHUSETTS 01581	CAMPUS DRAINAGE

CONSTRUCTION DOCUMENTS
DATE: 10/22/2019
DESIGNED: JEN CHECKED: JEN
DRAFTED: DJD IN CHARGE: JEN
SCALE: 1"=40'
PROJECT NO. 8548.0
SHEET NO. 1

Engineers & Scientists
4 FIRST STREET, BRIDGEWATER, MASSACHUSETTS 02324
PHONE: 508-697-3191 OR 800-548-3355 FAX: 508-697-5996
WEBSITE: www.coneco.com

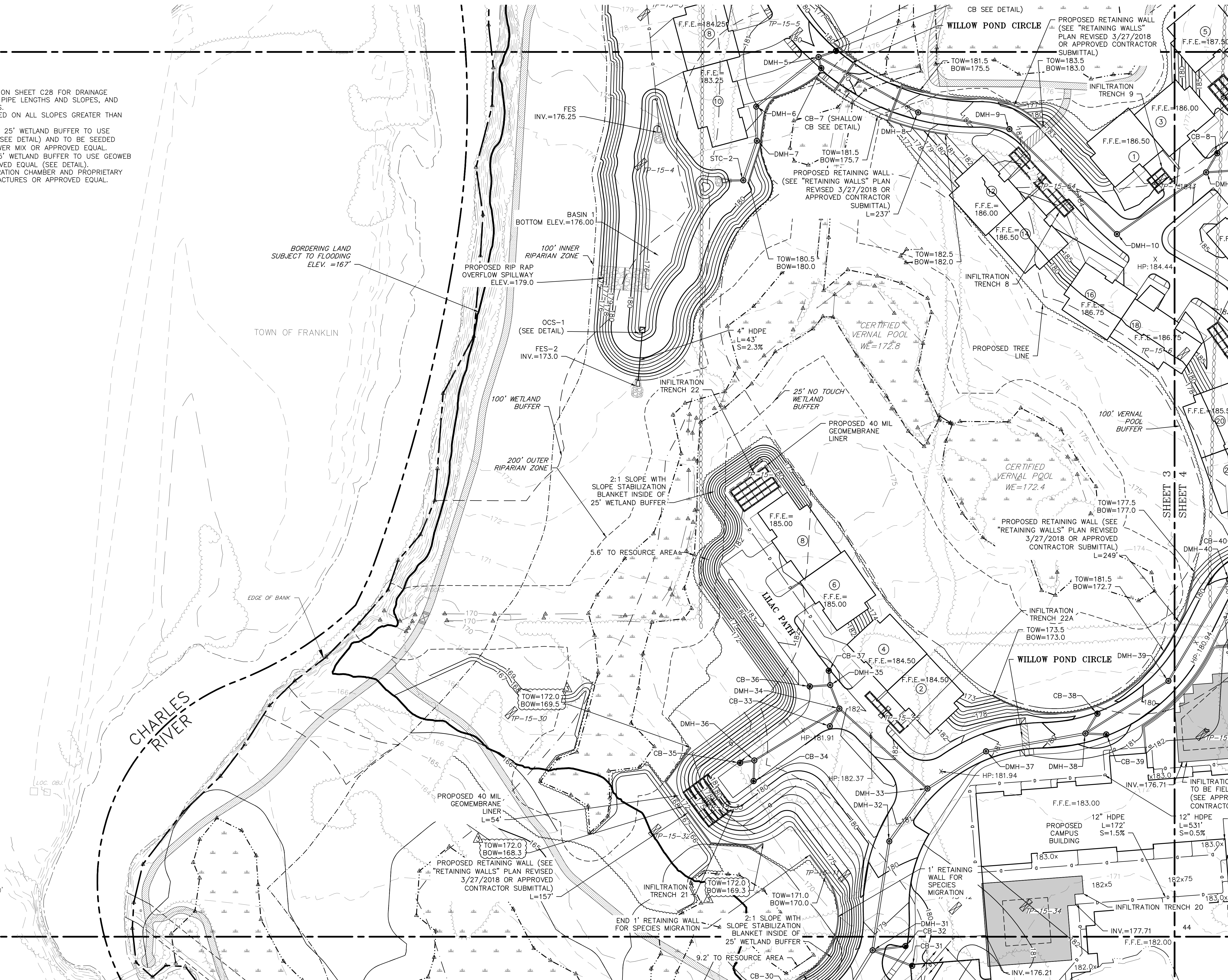
SHEET 1
SHEET 3

NOTES:

1. REFER TO DRAINAGE SCHEDULE ON SHEET C28 FOR DRAINAGE STRUCTURE RIMS AND INVERTS, PIPE LENGTHS AND SLOPES, AND INFILTRATION SYSTEM ELEVATIONS.
2. SLOPE STABILIZATION TO BE USED ON ALL SLOPES GREATER THAN 3:1.
3. ALL 2:1 SLOPES INSIDE OF THE 25' WETLAND BUFFER TO USE SLOPE STABILIZATION BLANKET (SEE DETAIL) AND TO BE SEEDED WITH A CONSERVATION/WILDFLOWER MIX OR APPROVED EQUAL.
4. ALL 2:1 SLOPES OUTSIDE OF 25' WETLAND BUFFER TO USE GEOWEB SLOPE STABILIZATION OR APPROVED EQUAL (SEE DETAIL).
5. CONTRACTOR TO INSTALL INFILTRATION CHAMBER AND PROPRIETARY SEPARATOR PER SHOWN MANUFACTURES OR APPROVED EQUAL.



SHEET 3
SHEET 5



REVISIONS	
NO.	DESCRIPTION
1	04/29/19
2	06/09/19
3	08/21/19

DR/CK	MSD/EN	MSD/EN	JEN/EN

PROJECT: SALMON HEALTH AND RETIREMENT COMMUNITY
259, 261, 261R AND 263 VILLAGE STREET
MEDWAY, MASSACHUSETTS 02053

PREPARED FOR: CONTINUING CARE MANAGEMENT, LLC
1 LYMAN STREET
WESTBOROUGH, MASSACHUSETTS 01581

CONSTRUCTION DOCUMENTS

GRADING & DRAINAGE
SHEET 3 OF 6

DATE: 6/18/2018
DESIGNED: JEN
CHECKED: TLD
DRAFTED: DJD
IN CHARGE: SMO
SCALE: 1"=40'
PROJECT NO.: 8548.0
SHEET NO.: C24

SHEET 3
SHEET 5

3/27/2018 OR APPROVED CONTRACTOR SUBMITTAL) L=157'

INFILTRATION TRENCH 21

TOW=172.0
BOW=169.3

TOW=171.0
BOW=170.0

END 1' RETAINING WALL FOR SPECIES MIGRATION

2:1 SLOPE WITH SLOPE STABILIZATION BLANKET INSIDE OF 25' WETLAND BUFFER

9.2' TO RESOURCE AREA

BEGIN 1' RETAINING WALL FOR SPECIES MIGRATION

100' POTENTIAL VERNAL POOL OFFSET

25' WETLAND BUFFER

200' OUTER RIPARIAN ZONE

100' INNER RIPARIAN ZONE

POTENTIAL VERNAL POOL

WILLOW POND CIRCLE

HP: 179.30

DMH-29

DMH-30

TOW=167.5
BOW=166.5

TOW=178.5
BOW=166.5

HP: 179.30

DMH-29

DMH-28

CB-27

CB-28

DMH-27

HP: 179.19
INV.=173.25

DMH-26

STC-3

DMH-26

DMH-27

DMH-28

DMH-29

DMH-30

DMH-31

DMH-32

DMH-33

DMH-34

DMH-35

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DMH-316

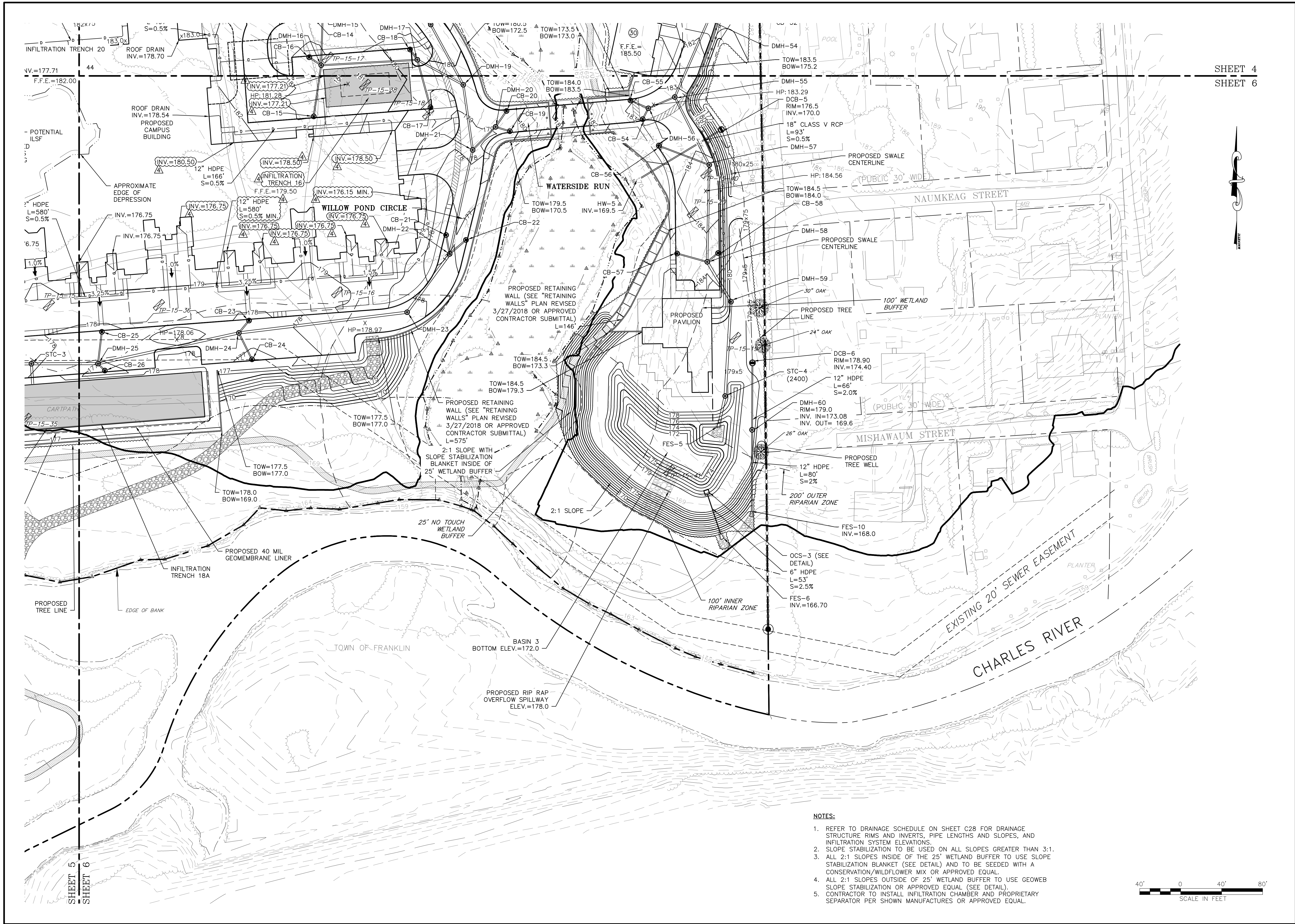
DMH-317

DMH-318

1. REFER TO DRAINAGE SCHEDULE ON SHEET C28 FOR DRAINAGE STRUCTURE RIMS AND INVERTS, PIPE LENGTHS AND SLOPES, AND INFILTRATION SYSTEM ELEVATIONS.
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<div><div><div>CONECO</div><div>Engineers & Scientists</div><div>4 FIRST STREET, BROOKFIELD, MASSACHUSETTS 02324 PHONE 508-697-3100 FAX 508-697-5986 WEBSITE: www.conecoco.com</div></div></div>		PROJECT: SALMON HEALTH AND RETIREMENT COMMUNITY VILLAGE STREET 259, 261, 261R AND 263 VILLAGE STREET MEDWAY, MASSACHUSETTS 02053		PREPARED FOR: CONTINUING CARE MANAGEMENT, LLC 1 LYMAN STREET WESTBOROUGH, MASSACHUSETTS 01581		<div></div>			
DATE 6/18/2018		DESIGNED: JEN		CHECKED: TLD		REVISIONS			
DRAFTED: DJD		IN CHARGE: SMO		SCALE: 1"=40'		NO. DATE DESCRIPTION DR / CK			
PROJECT NO. 8548.0		SHEET NO. C26				1 04/29/19 CONSTRUCTION MODIFICATIONS MSD / JEN			
						2 08/09/19 CONSTRUCTION MODIFICATIONS MSD / JEN			
						4 09/05/19 BULLETIN 4 JEN / JEN			



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REVISIONS	
NO.	DESCRIPTION
1	04/29/19 CONSTRUCTION MODIFICATIONS
2	06/09/19 CONSTRUCTION MODIFICATIONS
4	09/06/19 BULLETIN 4

PROJECT:
SALMON HEALTH AND RETIREMENT COMMUNITY
259, 261, 261R AND 263 VILLAGE STREET
MEDWAY, MASSACHUSETTS 02053

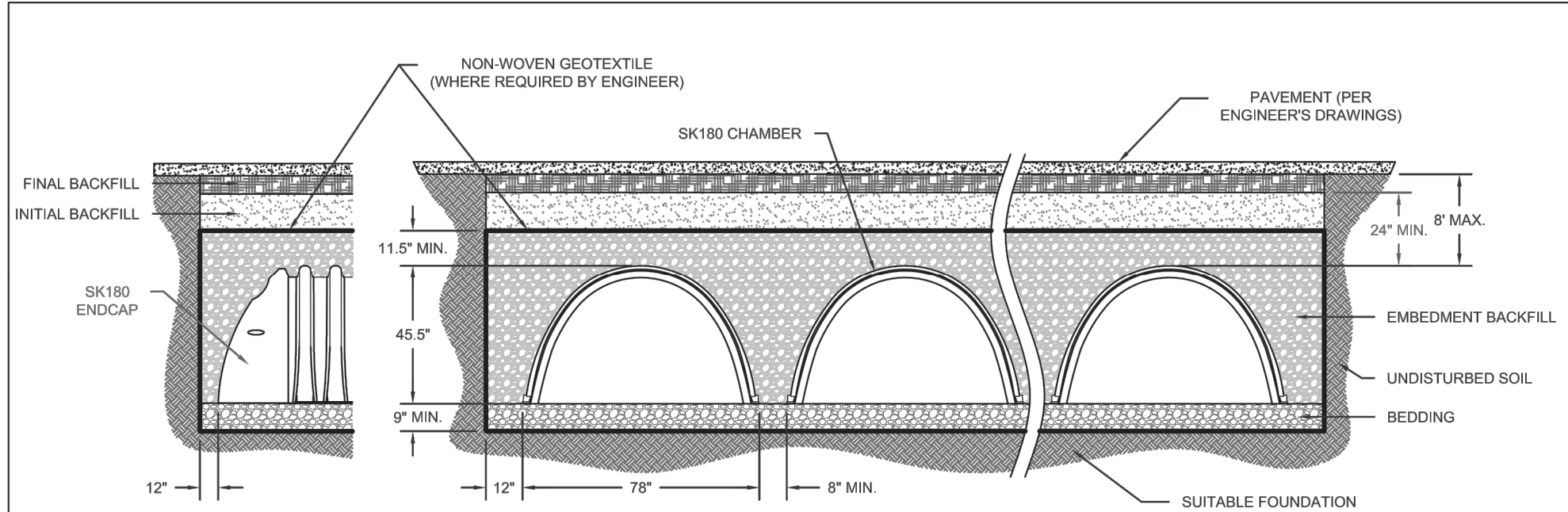
PREPARED FOR:
CONTINUING CARE MANAGEMENT, LLC
1 LYMAN STREET
WESTBOROUGH, MASSACHUSETTS 01581

CONNECO
Engineers & Scientists
4 FIRST STREET, BRIDGEWATER, MASSACHUSETTS 02324
PHONE 508-697-3191 OR 800-548-3355 FAX 508-697-5996
WEBSITE: www.conneco.com

DATE: 6/18/2018
DESIGNED: JEN CHECKED: TLD
DRAFTED: DJD IN CHARGE: SMO
SCALE: 1"=40'
PROJECT NO. 8548.0
SHEET NO. C27

PLANNING SET:
CONSTRUCTION DOCUMENTS

DRAWING:
GRADING & DRAINAGE
SHEET 6 OF 6



- NOTES:
- CHAMBER SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S LATEST INSTALLATION GUIDELINES.
 - FOUNDATION: TRENCH BOTTOMS WITH UNSTABLE OR UNYIELDING MATERIAL SHALL BE EXCAVATED TO A DEPTH DIRECTED BY THE ENGINEER AND REPLACED WITH SUITABLE MATERIAL. FOR UNSTABLE MATERIALS, GEOTEXTILE MAY BE USED TO STABILIZE THE TRENCH BOTTOM. IF DIRECTED BY THE ENGINEER, THE DESIGN ENGINEER IS RESPONSIBLE FOR VERIFYING FOUNDATION SUITABILITY.
 - GEOTEXTILE: A 6oz NON-WOVEN GEOTEXTILE FILTER FABRIC SHOULD BE USED TO PREVENT NATIVE SOIL FROM MIGRATING INTO THE INITIAL BACKFILL MATERIAL.
 - BEDDING: SUITABLE MATERIAL SHALL BE A 3/4" - 2" INCH, CLEAN, CRUSHED ANGULAR STONE, OR AASHTO M43 SIZES (3, 357, 4, 467, 5, 56, 57) WITH CLEAN, CRUSHED, ANGULAR STONE ADDED TO THE GRADATION, e.g., CLEAN, CRUSHED, ANGULAR #3 (AASHTO M43) STONE. MINIMUM BEDDING THICKNESS SHALL BE 9 INCHES. COMPACTION SHOULD BE DONE IN LIFTS OF NO MORE THAN 9 INCHES TO A DENSITY OF 95% STANDARD PROCTOR DENSITY.
 - EMBEDMENT BACKFILL: SUITABLE MATERIAL SHALL BE A 3/4" - 2" INCH, CLEAN, CRUSHED ANGULAR STONE, OR AASHTO M43 SIZES (3, 357, 4, 467, 5, 56, 57) WITH CLEAN, CRUSHED, ANGULAR STONE ADDED TO THE GRADATION, e.g., CLEAN, CRUSHED, ANGULAR #3 (AASHTO M43) STONE. MINIMUM BEDDING THICKNESS SHALL BE 9 INCHES. EMBEDMENT BACKFILL SHALL EXTEND FROM TOP OF BEDDING TO NOT LESS THAN 11 1/2" INCHES ABOVE THE TOP OF THE CHAMBER. NO COMPACTION IS REQUIRED BUT AN EFFORT SHOULD BE MADE TO HAND KNIFE STONE INTO ALL CORRUGATIONS.
 - INITIAL BACKFILL: SUITABLE MATERIAL SHALL BE A GRANULAR, WELL GRADED SOIL WITH LESS THAN 35% FINES OR AASHTO M43 SIZES (3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10) WITH CLEAN, CRUSHED, ANGULAR STONE ADDED TO THE GRADATION. INITIAL BACKFILL SHALL EXTEND FROM TOP OF EMBEDMENT BACKFILL TO NOT LESS THAN 24 INCHES ABOVE THE TOP OF THE CHAMBER. COMPACTION SHOULD BE BROUGHT TO A MINIMUM OF 95% STANDARD PROCTOR DENSITY.
 - FINAL BACKFILL: SUITABLE MATERIALS SHALL BE ANY SOIL DIRECTED BY THE ENGINEER. FINAL BACKFILL SHALL EXTEND FROM TOP OF INITIAL BACKFILL TO NO MORE THAN 8 FEET ABOVE THE TOP OF THE CHAMBER. COMPACTION LEVELS SHOULD FOLLOW ENGINEERS RECOMMENDATIONS.
 - MINIMUM COVER: FOR UP TO H-25 TRAFFIC APPLICATIONS A MINIMUM COVER OF 24 INCHES IS REQUIRED, MEASURED FROM THE TOP OF THE CHAMBER TO THE BOTTOM OF THE FLEXIBLE PAVEMENT. ADDITIONAL COVER MAY BE REQUIRED FOR CONSTRUCTION LOADS OR WHERE RUTTING MAY TAKE PLACE.
 - MAXIMUM COVER: A COVER HEIGHT OF OVER 8 FEET IS NOT RECOMMENDED. COVER HEIGHT IS MEASURED FROM THE TOP OF THE CHAMBER TO THE TOP OF THE PAVEMENT.

THIS DETAIL DEPICTS RECOMMENDED INSTALLATION PRACTICES AND IS NOT INTENDED TO SUPERSEDE ANY NATIONAL, STATE OR LOCAL SPECIFICATIONS. LANE ENTERPRISES, INC. BEARS NO RESPONSIBILITY FOR ANY ALTERATIONS, REVISION AND/OR DEVIATION FROM THIS STANDARD DETAIL. LANE ENTERPRISES, INC. HAS NOT PERFORMED ANY ENGINEERING OR DESIGN SERVICE FOR THIS PROJECT. THE DESIGN ENGINEER SHALL REVIEW THESE DETAILS PRIOR TO CONSTRUCTION TO VERIFY SUITABILITY.



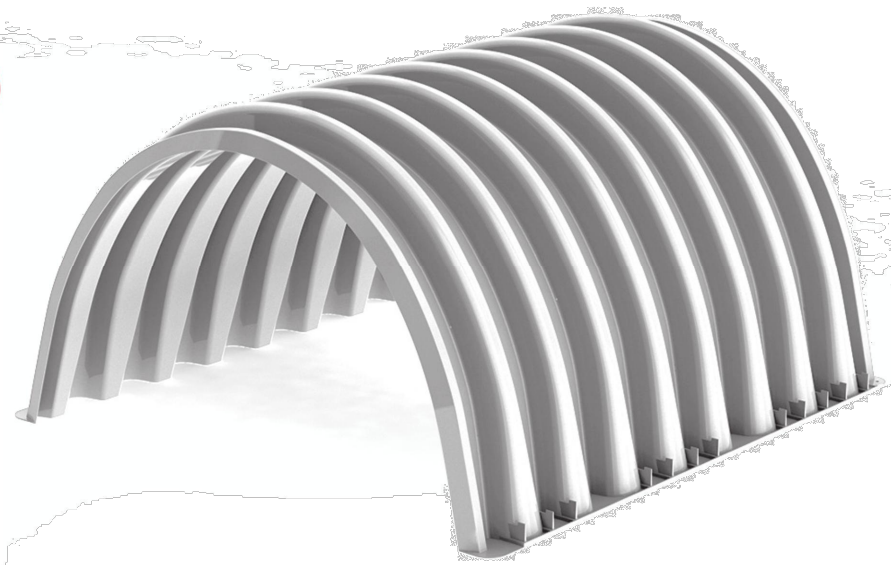
TYPICAL CROSS SECTION
SK180 CHAMBER

DRAWN BY	JAL
DATE	12/17/2014
SCALE	NTS
SHEET	1 of 1



StormKeeper SK180

The StormKeeper SK180 is the highest quality and structurally sound stormwater chamber available on the market. The StormKeeper family of chambers are designed utilizing the most sophisticated and comprehensive techniques to meet the stringent AASHTO LRFD and ASTM requirements. Intended for use under traffic and nontraffic areas, StormKeeper provides a truly cost-effective and structurally superior system to provide underground stormwater storage, saving valuable land and protecting the environment.



StormKeeper SK180

Nominal Dimensions

Size (L x W x H)	88.7" x 77.8" x 45.5"
Chamber Storage	113.6 cf
Min. Installed Storage	180.0 cf
Weight	127 lbs

StormKeeper SK180 End Caps

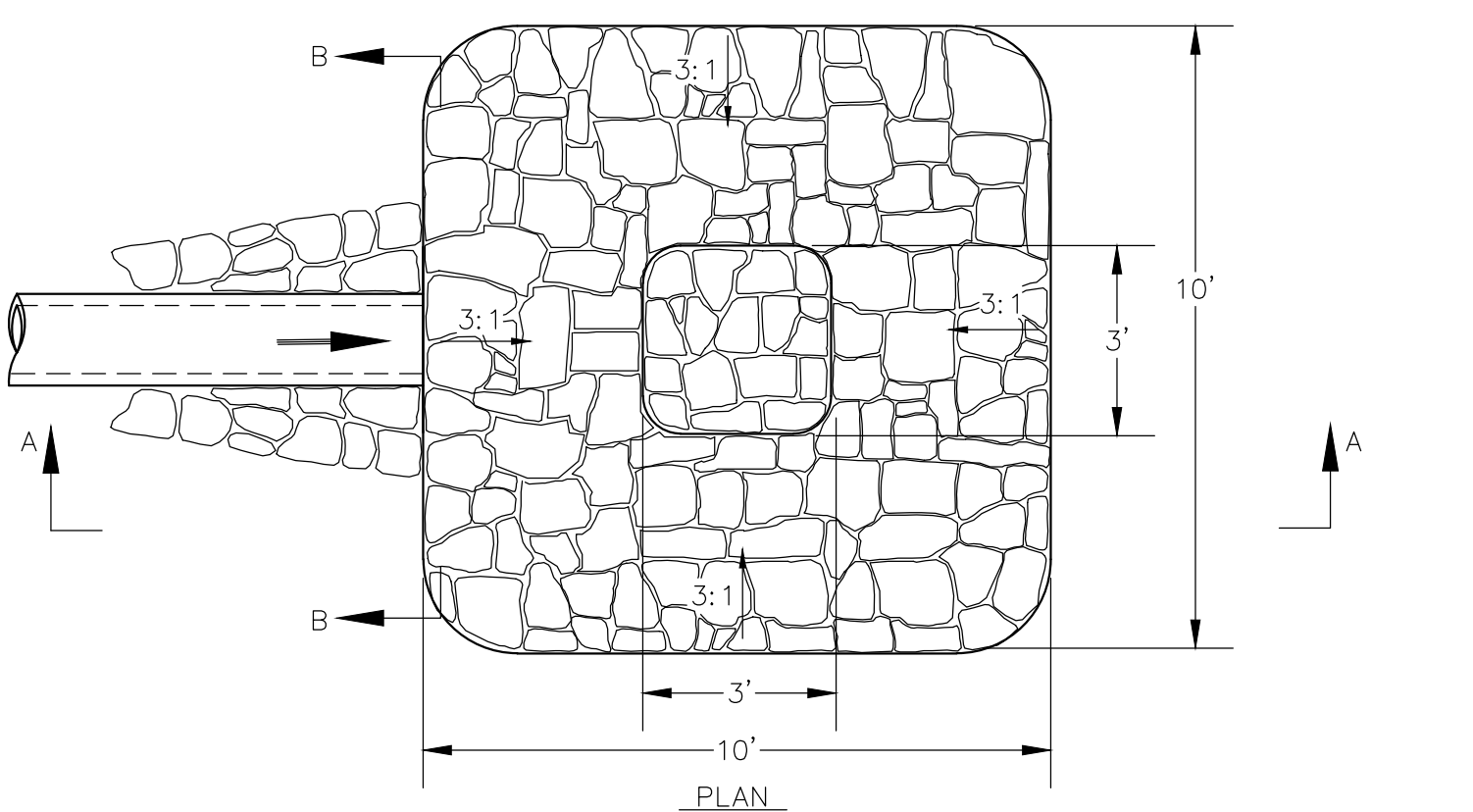
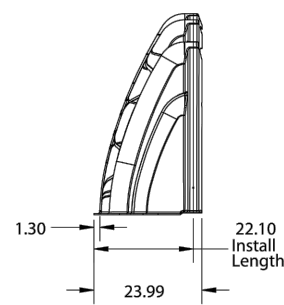
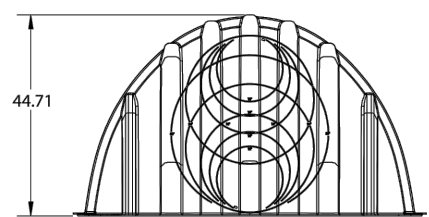
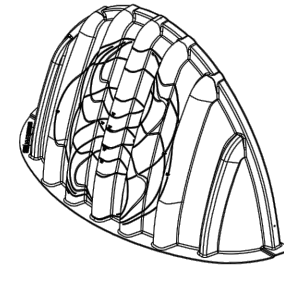
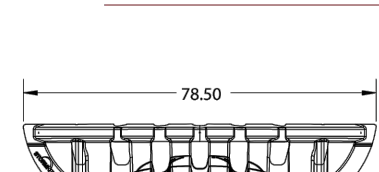
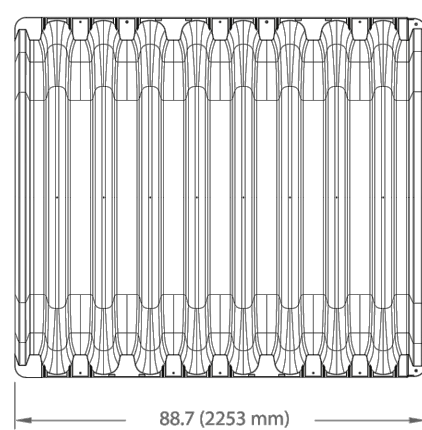
Nominal Dimensions

Size (L x W x H)	23.99" x 78.5" x 44.71"
End Cap Storage	15.3 cf
Min. Installed Storage	41.8 cf
Weight	52 lbs

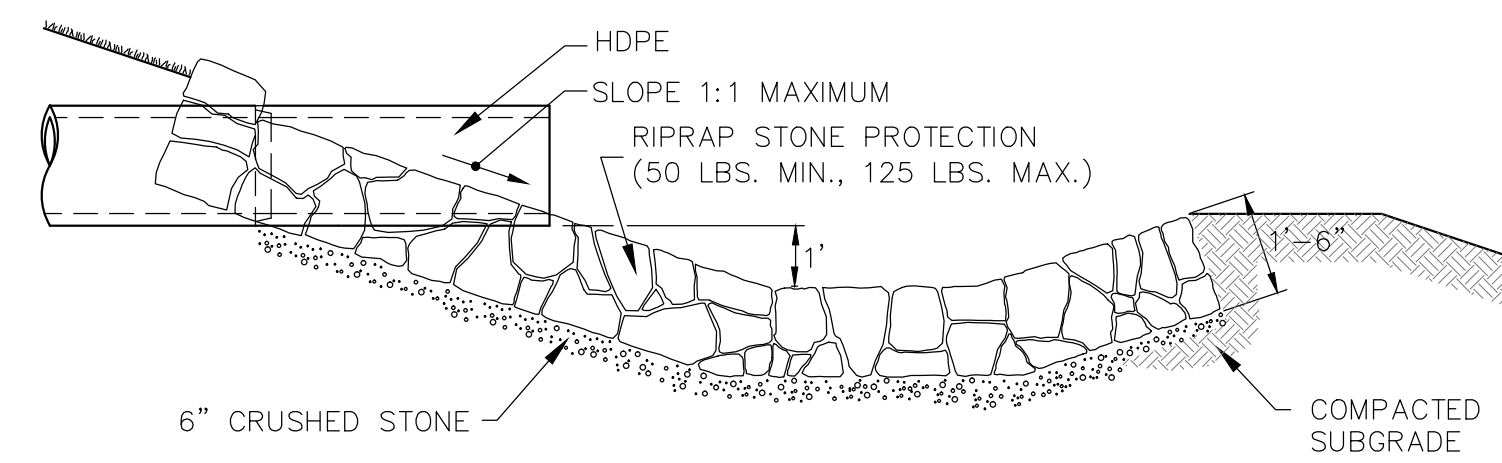
Shipping

Nominal Dimensions

- 17 chambers per pallet
- 12 end caps per pallet
- 8 pallets per truck

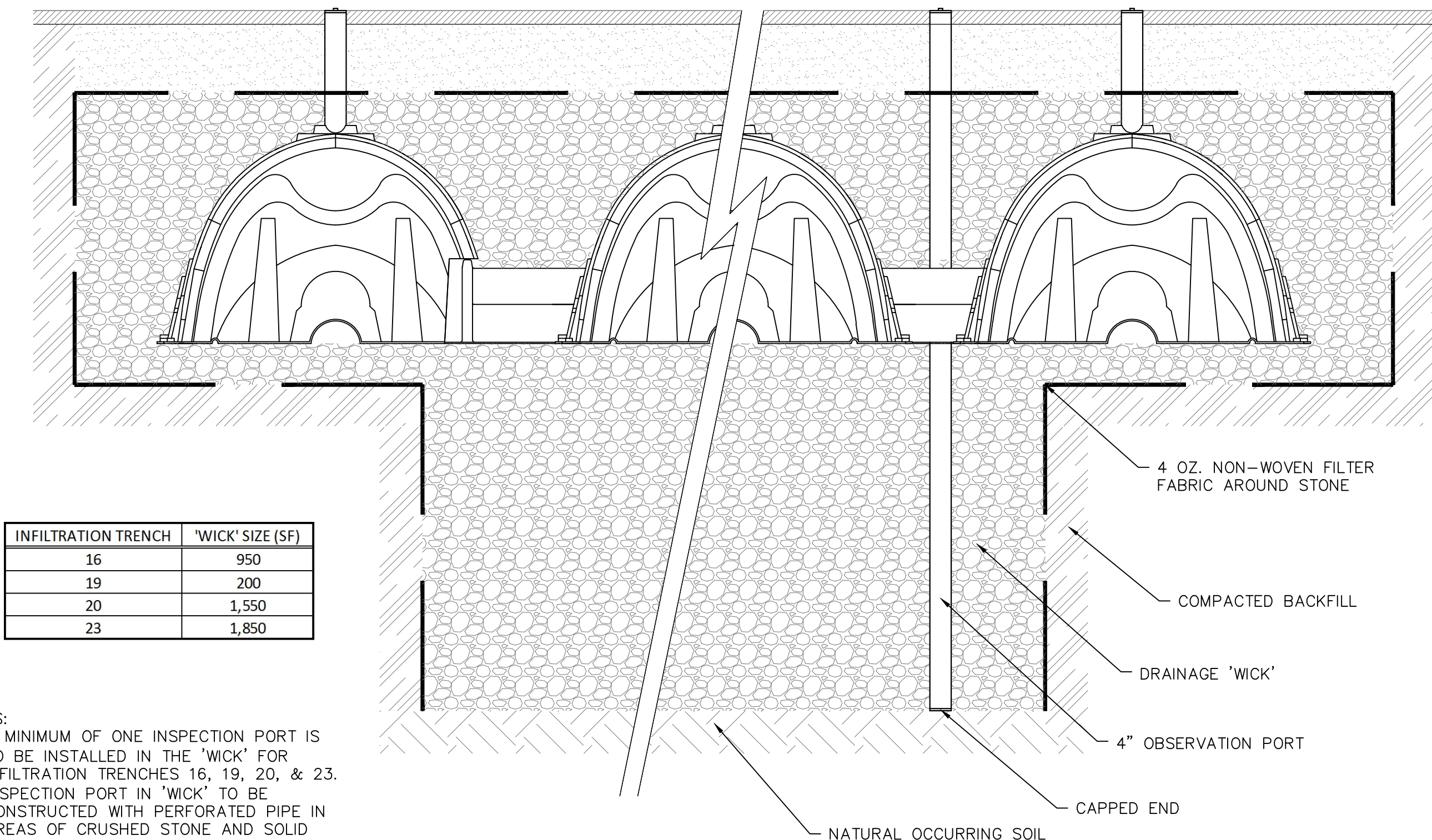


SECTION B-B



NOTE: ACTUAL CONFIGURATION MAY VARY - SEE PLAN VIEW

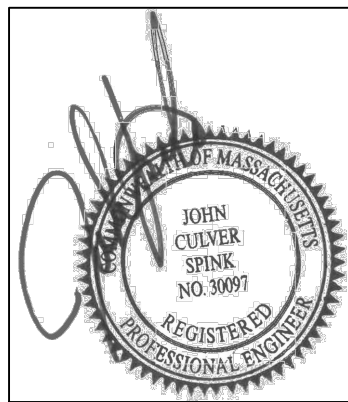
PLUNGE POOL DETAIL
N.T.S.



INFILTRATION TRENCH	'WICK' SIZE (SF)
16	950
19	200
20	1,550
23	1,850

- NOTES:
- A MINIMUM OF ONE INSPECTION PORT IS TO BE INSTALLED IN THE 'WICK' FOR INFILTRATION TRENCHES 16, 19, 20, & 23.
 - INSPECTION PORT IN 'WICK' TO BE CONSTRUCTED WITH PERFORATED PIPE IN AREAS OF CRUSHED STONE AND SOLID PIPE IN ALL OTHER AREAS.

INFILTRATION TRENCH 'WICK'
N.T.S.



NO.	DATE	REVISIONS			
		DESCRIPTION	DR/CK	MSD/JEN	MSD/JEN
1	04/28/19	CONSTRUCTION MODIFICATIONS			
2	08/09/19	CONSTRUCTION MODIFICATIONS			
4	09/05/19	BULLETIN 4			
5	11/18/19	MODIFIED DETAILS			

PREPARED FOR:
CONTINUING CARE MANAGEMENT, LLC
1 LYMAN STREET
WESTBOROUGH, MASSACHUSETTS 01581

DRAWING:
CONSTRUCTION DETAILS
SHEET 8 OF 12

PROJECT:
SALMON HEALTH AND RETIREMENT
COMMUNITY
259, 261, 261R AND 263 VILLAGE STREET
MEDWAY, MASSACHUSETTS 02053

PLAN SET:
CONSTRUCTION
DOCUMENTS

CONECO
Engineers & Scientists
4 FIRST STREET, BRIDGEWATER, MASSACHUSETTS 03324
PHONE 508-697-1911 OR 800-548-3155 FAX 508-697-5996
WEBSITE: www.coneco.com

DATE: 6/11/2018
DESIGNED: JEN CHECKED: TLD
DRAFTED: DJD IN CHARGE: SMO
SCALE: N.T.S.
PROJECT NO. 8548.0
SHEET NO.

C58