

SITE PLAN REVIEW SUBMITTAL

O'BRIEN & SONS CORPORATE OFFICE

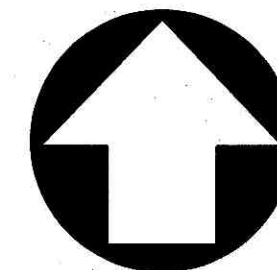
17 TROTTER DRIVE
(MAP 54, PARCEL 1)
MEDWAY, MASSACHUSETTS 02053

ZONING DISTRICT: INDUSTRIAL III
GROUNDWATER PROTECTION DISTRICT/ZONE II

MAY 23, 2017
REVISED SEPTEMBER 1, 2017



NORTH



LOCUS MAP

SCALE: 1" = 500'

OWNER

ANTHONY & MARGURITE MELE
203 MAIN STREET
MEDWAY, MASSACHUSETTS 02053

APPLICANT

BOTTLE CAP LOT, LLC
93 WEST STREET
MEDFIELD, MASSACHUSETTS 02052

CIVIL ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE



69 MILK STREET, SUITE 302
WESTBOROUGH, MASSACHUSETTS 01580
TELEPHONE: (508) 871-7030

500 CUMMINGS CENTER, SUITE 5950
BEVERLY, MASSACHUSETTS 01915
TELEPHONE: (978) 299-0447

ARCHITECTURE GIRILIA

Gorman Richardson Lewis Architects
239 South Street Hopkinton, MA 01748
T - 508.544.2600 F - 508.435.0072
www.grlaarchitect.com

DRAWING INDEX:

- C-0 COVER SHEET/LOCUS MAP
- C-1 EXISTING CONDITIONS PLAN
- C-2 LAYOUT AND MATERIALS PLAN
- C-3 GRADING, DRAINAGE & UTILITIES PLAN
- C-4 LANDSCAPE PLAN
- C-5 CONSTRUCTION DETAILS
- C-6 CONSTRUCTION DETAILS
- C-7 CONSTRUCTION DETAILS
- C-8 CONSTRUCTION DETAILS
- A1.0 FIRST FLOOR PLAN
- A3.1 EXTERIOR ELEVATIONS
- L-1 LIGHTING PLAN

APPROVED WAIVERS:

SITE PLAN RULES AND REGULATIONS:

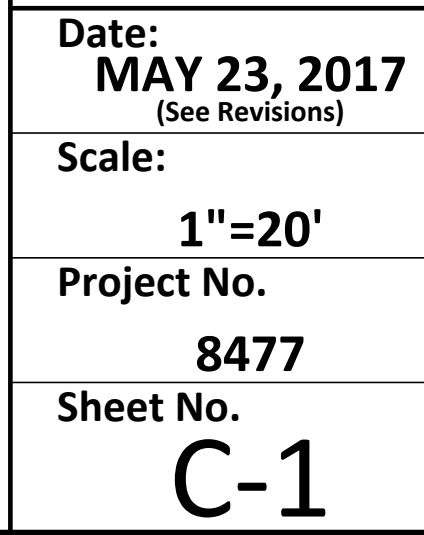
- SECTION 204-5 C.3. (EXISTING LANDSCAPE INVENTORY) TO NOT SHOW TREES BETWEEN 12" AND 18" (TREES 18" AND LARGER SHOWN).
- SECTION 205-6 G.3.a - PARKING STALL DESIGN SHALL BE 10'x20'. SITE COMPLIES WITH THE ZONING BY-LAW (7.1.1.E.3.a.) STATING 9'x18' AS THE REGULATION (9'x18' STANDARD).
- SECTION 205-6 G.3.b (WHEEL STOPS ABUTTING A WALKWAY) NOT PROVIDED, 7' WIDE SIDEWALK PROPOSED TO ACCOMMODATE VEHICLE OVERHANG.
- SECTION 205-6 G.4.a (PARKING PROHIBITED IN BUILDING ENTRANCE "AREA" AND LOADING DOCK "AREA") RELIEF REQUESTED.
- SECTION 205-6 G.4.b (NO PART OF ANY PARKING SHALL BE LOCATED WITHIN 15' OF A SIDE PROPERTY LINE.) 7.1' PROPOSED AT SOUTH PROPERTY LINE. ALDER STREET CUL-DE-SAC ALTERATION PROPOSED.
- SECTION 205-6 G.4.d (THE LAST PARKING STALL IN ANY DEAD END ROW SHALL BE 12' LONG X 20' WIDE TURNING AREA). PROVIDING 6'X24' AREA.
- SECTION 205-6 H. (PARKING AREA TO BE BOUNDED WITH VERTICAL GRANITE CURB) PRECAST CONCRETE CURB PROPOSED.

I HEREBY CERTIFY THAT NOTICE OF APPROVAL OF THIS PLAN BY THE MEDWAY PLANNING BOARD WAS RECEIVED AND RECORDED AT THIS OFFICE AND THAT NO NOTICE OF APPEAL WAS FILED IN 20 DAYS FOLLOWING SAID RECEIPT AND RECORDING.

Maryanne White Sept 5, 2017
TOWN CLERK, MEDWAY, MA. DATE

APPROVED BY THE TOWN OF MEDWAY
PLANNING & ECONOMIC DEVELOPMENT BOARD

[Signature]
[Signature]
[Signature]
August 8, 2017
APPROVAL DATE
September 5, 2017
ENDORSEMENT DATE



SCALE: 1" = 20'

A graphic scale bar with tick marks at 20', 10', 0, 20', 40', and 60'. The bar is divided into segments of 20' each, with the first segment further subdivided into two 10' segments.

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NOW OR FORMERLY
NEW ENGLAND POWER COMPANY

AGRICULTURAL-RESIDENTIAL II
INDUSTRIAL III

REMAINING LAND OF
JOSEPH C. JULIANI, ANTHONY MELE
& MARGUERITE K. MELE
(DEED BOOK 5655, PAGE 568)

TROTTER (PUBLIC-VARIABLE WIDTH) DRIVE

ALDER STREET (PUBLIC-60' WIDE)

PROPOSED CONDITIONS LEGEND

- | | | | | | |
|--|-------------------------|--|-----|--|-----------------------------------|
| | PROPERTY LINE | | DCB | | CATCH BASIN |
| | BUILDING | | OCS | | OUTLET CONTROL STRUCTURE |
| | RETAINING WALL | | FE | | FLARED END SECTION |
| | EROSION CONTROL BARRIER | | IB | | RIP RAP APRON / IMPACT BASIN |
| | LIMIT OF WORK | | WG | | WATER LINE (1" IF NOT SPECIFIED) |
| | ELEVATIONAL CONTOUR | | PIV | | WATER GATE VALVE |
| | SPOT GRADE | | ETC | | POST INDICATOR VALVE |
| | HIGH POINT/LOW POINT | | T | | ELECTRIC, CABLE & TELEPHONE LINE |
| | TOP/BOTTOM WALL | | G | | ELECTRIC TRANSFORMER PAD LOCATION |
| | DRAIN MANHOLE | | GG | | NATURAL GAS LINE |
| | DRAINAGE LINE | | GM | | GAS GATE |
| | ROOF DRAINAGE LINE | | S | | GAS METER |
| | CATCH BASIN | | SMH | | SEWER LINE (4" IF NOT SPECIFIED) |
| | | | | | SEWER MANHOLE |

NOW OR FORMERLY
CYBEX INTERNATIONAL INC.

- | | |
|--|-----------------------|
| | SEWER CLEANOUT |
| | TRAFFIC CONTROL SIGN |
| | VERTICAL GRANITE CURB |
| | PRECAST CONCRETE CURB |
| | DUMPSTER PAD |
| | SNOW STORAGE AREA |
| | APPROXIMATE TREELINE |

ZONING SUMMARY

ZONING DISTRICT: INDUSTRIAL III, GROUNDWATER PROTECTION DISTRICT		
BULK & DIMENSIONAL REQUIREMENTS	REQUIRED	PROVIDED
MINIMUM LOT AREA (S.F.)	40,000	47,757
MINIMUM LOT FRONTAGE (FT)	100	546
MINIMUM FRONT YARD (FT)	30	35
MINIMUM SIDE YARD (FT)	20	30
MINIMUM REAR YARD (FT)	30	N/A
MAXIMUM BUILDING HEIGHT (FT)	60	20
MAXIMUM LOT COVERAGE (%)	N/A	22
MAXIMUM IMPERVIOUS COVERAGE (%)	80	47
MINIMUM OPEN SPACE (%)	20	53

PARKING SUMMARY

BUILDING USES	BUSINESS/OFFICE/ RETAIL (1 : 300SF)	WAREHOUSE (1 : 2 SHIFT EMP. + 1 : 1,000 S.F.)
PARKING REQUIRED	22*	0**
PARKING PROVIDED	22***	0

*6,600 SF OFFICE / 300 = 22 SPACES

**3,931 SF STORAGE = 0 SPACES (NO ADDED EMPLOYEES FOR STORAGE AREAS)

***21 STANDARD & 1 VAN ACCESSIBLE SPACE

LAYOUT AND MATERIALS NOTES:

ALL WORK CONDUCTED WITHIN PUBLIC RIGHT-OF-WAYS SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF THE TOWN OF MEDWAY DEPARTMENT OF PUBLIC WORKS AND MASS HIGHWAY.

ALL ACCESSIBLE ROUTES, RAMPS AND PARKING SPACES TO COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (ADA) ACCESSIBILITY GUIDELINES AND THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD (AAB).

THE FOLLOWING LAYOUT CRITERIA SHALL CONTROL UNLESS OTHERWISE NOTED ON THE PLAN:
DIMENSIONS FROM BUILDING ARE FROM FACE OF BUILDING.
DIMENSIONS ARE TO FACE OF CURB AT GUTTER LINE.
DIMENSIONS ARE TO THE CENTER OF PAVEMENT MARKINGS.
ALL TIES TO PROPERTY LINES ARE PERPENDICULAR TO THE PROPERTY LINE UNLESS OTHERWISE NOTED.

SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND ALL DETAIL CONTIGUOUS TO THE BUILDING INCLUDING ENTRANCES, DOORWAY PADS, ETC.

ALIGN WALKWAYS CENTERED ON BUILDING EXIT DOORS UNLESS OTHERWISE NOTED.

ALL LINES AND DIMENSIONS ARE PARALLEL OR PERPENDICULAR TO THE LINES FROM WHICH THEY ARE MEASURED UNLESS OTHERWISE INDICATED.

COORDINATE THE LOCATION OF ALL SITE LIGHT STANDARDS WITH IMPROVEMENTS SHOWN ON THESE DRAWINGS.

CONTRACTOR SHALL REPORT SIGNIFICANT CONFLICTS TO THE OWNER OR HIS REPRESENTATIVE FOR RESOLUTION.

THE CONTRACTOR SHALL FURNISH AND SET ALL LINES AND GRADES REQUIRED AND PROTECT ALL PERMANENT BENCHMARKS OR MONUMENTS. DAMAGED MONUMENTS SHALL BE REPLACED BY A LICENSED SURVEYOR AT NO COST TO THE OWNER.

PAVEMENT MARKINGS SHALL CONFORM TO SECTION M7.01.05 OF THE COMMONWEALTH OF MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS "STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES".

ALL BITUMINOUS CONCRETE PAVING SHALL COMPLY WITH THE MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS "STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, 1988 EDITION AS AMENDED. THE CONTRACTOR SHALL SUBMIT A JOB MIX FORMULA DEMONSTRATING COMPLIANCE WITH THESE SPECIFICATIONS. THE CONTRACTOR SHALL SUPPLY THE ENGINEER WITH A CERTIFICATE OF COMPLIANCE SUPPLIED BY THE PAVING CONTRACTOR.

ALL CONCRETE WORK SHALL COMPLY WITH ACI301, "SPECIFICATION FOR STRUCTURAL CONCRETE," AND ACI 316R, UNLESS MODIFIED BY THE CONTRACT DOCUMENTS. COMPLY WITH CRSI'S "MANUAL OF STANDARD PRACTICE" FOR FABRICATING, PLACING, AND SUPPORTING REINFORCEMENT. COMPLY WITH ACI 306.1 FOR COLD WEATHER PROTECTION, AND FOLLOW RECOMMENDATIONS IN ACI 308R FOR HOT WEATHER PROTECTION DURING CURING. COMPLY WITH ACI 304 "GUIDE FOR MEASURING, MIXING, TRANSPORTING, AND PLACING CONCRETE."

BITUMINOUS CONCRETE PAVEMENT: CLASS I, TYPE I-1 CONFORMING TO THE STANDARD SPECIFICATIONS, SECTIONS 420 AND 460, AND M3.11.03 FOR BINDER COURSE AND TOP COURSE JOB MIX FORMULAS.

SAW-CUT EXISTING PAVEMENT WHERE NEW BITUMINOUS CONCRETE PAVEMENT IS TO COME IN CONTACT. PRIME COAT THE CUT EDGE PRIOR TO PLACEMENT.

FACE OF GUARDRAILS TO BE LOCATED TWO FEET SIX INCHES (2.5') FROM FACE OF CURB OR BACK OF WALK UNLESS OTHERWISE NOTED.

PAVEMENT REMOVAL WITHIN THE ALDER STREET CUL-DE-SAC-SUBJECT TO MEDWAY DEPT. OF PUBLIC SERVICES APPROVAL.

PROPOSED ROOF TO BE RUBBER TYPE EPDM, TPO OR APPROVED EQUAL.



LAYOUT & MATERIALS PLAN
O'BRIEN & SONS CORPORATE OFFICES

17 TROTTER DRIVE

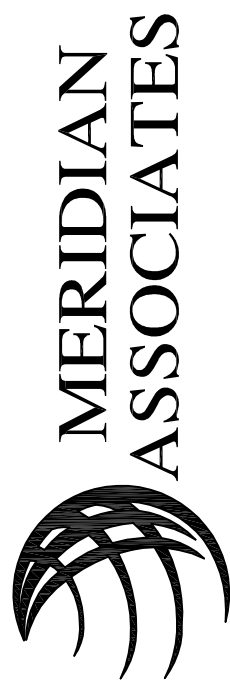
MEDWAY, MASSACHUSETTS 02053

Prepared for:

BOTTLE CAP LOT, LLC

93 West Street

Medfield, Massachusetts 02052



60 MILL STREET, SUITE 302
WESTFIELD, MASSACHUSETTS 01080
TELEPHONE: (408) 871-7030

Date:
MAY 23, 2017
(See Revisions)

Scale:

1"=20'

Project No.

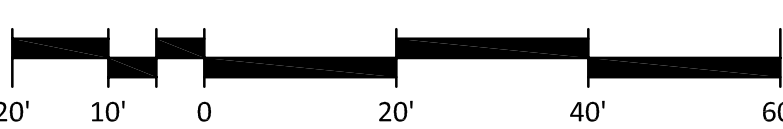
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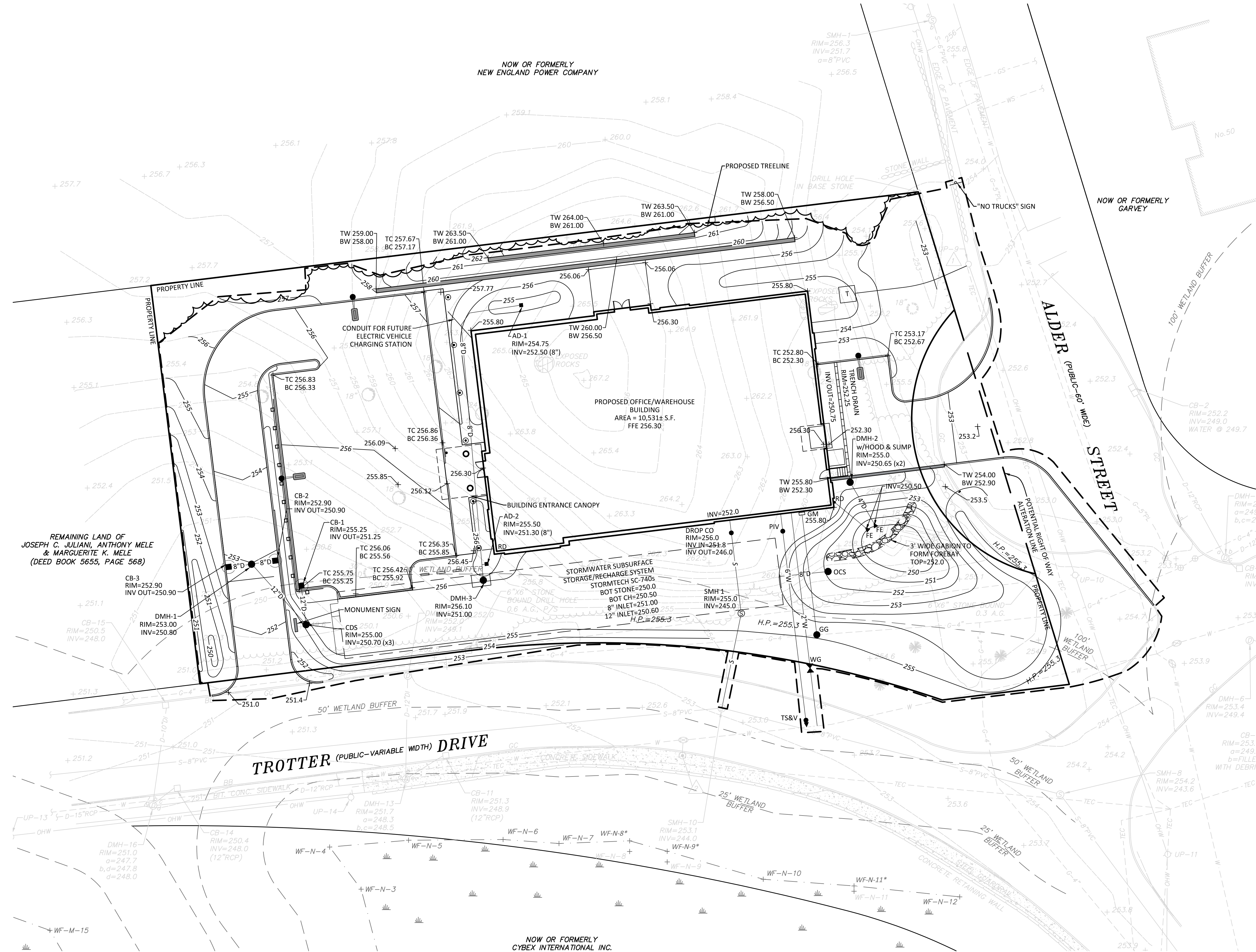
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SCALE: 1" = 20'



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GENERAL UTILITY NOTES:

CONTRACTOR SHALL PROTECT ALL UNDERGROUND DRAINAGE, SEWER AND UTILITY FACILITIES FROM EXCESSIVE VEHICULAR LOADS DURING CONSTRUCTION. ANY DAMAGE TO THESE FACILITIES RESULTING FROM CONSTRUCTION LOADS WILL BE RESTORED TO ORIGINAL CONDITION AT NO COST TO THE OWNER.

THE CONTRACTOR SHALL OBTAIN INSTRUCTIONS AND FINAL CONSTRUCTION DETAILS FOR MECHANICAL PADS FROM THE UTILITY COMPANIES.

ALL EXISTING UTILITIES SHALL BE VERIFIED FOR SERVICE, SIZE, INVERT ELEVATIONS, LOCATION, ETC., PRIOR TO NEW CONNECTIONS TO OR RELOCATION OF SAME. NOTIFY THE OWNER AND ENGINEER IN WRITING OF ANY AND ALL DISCREPANCIES PRIOR TO COMMENCING ANY WORK. ALL EXISTING UTILITIES UNCOVERED OR DAMAGED DURING EXCAVATIONS AND CONSTRUCTION SHALL BE PLUGGED, CAPPED, RE-ROUTED OR RELOCATED AS DIRECTED BY THE OWNER SO AS NOT TO INTERRUPT THE OPERATION OF ANY OF THE EXISTING SYSTEMS.

TRENCH FOR PIPE SHALL BE EXCAVATED TO THE REQUIRED LINE AND GRADE AND OF SUFFICIENT WIDTH TO PERMIT THOROUGH TAMPING OF THE FILL MATERIAL UNDER THE HAUNCHES AND AROUND THE PIPE. SOFT OR UNSUITABLE MATERIAL ENCOUNTERED BELOW THE NORMAL BEDDING LINE OF THE PIPE SHALL BE REMOVED AS DIRECTED, REPLACED WITH CRUSHED STONE AND THOROUGHLY COMPACTED. THE BOTTOM OF THE TRENCH SHALL BE SHAPED TO CONFORM TO THE CURVATURE OF THE PIPE AND EXCAVATED FOR THE BELLS OF PIPES. THE TRENCH MAY BE RAISED OR LOWERED ONLY AS APPROVED BY THE ENGINEER. USE CONCRETE OR OTHER APPROVED SUPPORT UNDER EXISTING PIPES PASSING THROUGH THE TRENCH.

PIPE SHALL BE LAID TRUE TO THE SPECIFIED LINES AND GRADES.

NO BACKFILLING OF ANY UTILITY SHALL TAKE PLACE UNTIL ALL NECESSARY INSPECTIONS AND TESTING HAS OCCURRED AND HAS BEEN APPROVED. A COPY OF ALL TEST RESULTS ARE TO BE SUPPLIED TO THE ENGINEER UPON RECEIPT.

THE CONTRACTOR SHALL ALTER THE MASONRY OF THE TOP SECTION OF ALL EXISTING DRAINAGE STRUCTURES AS NECESSARY FOR CHANGES IN GRADE, AND RESET ALL WATER AND DRAINAGE FRAMES, GRATES AND BOXES TO THE PROPOSED FINISH SURFACE GRADE.

TESTING OF SANITARY SEWERS AND SEWER MANHOLES SHALL BE IN CONFORMANCE WITH ALL TOWN OF MEDWAY DEPARTMENT OF PUBLIC WORKS REQUIREMENTS.

INSTALLATION AND MATERIALS OF DATA/COMMUNICATION AND ELECTRICAL SUPPLY DUCT BANKS AND MANHOLES SHALL CONFORM TO UTILITY COMPANY REQUIREMENTS AND SPECIFICATIONS.

PROVIDE UNDERGROUND ELECTRIC CONDUIT FOR SITE LIGHTS AS APPROPRIATE.

THE CONTRACTOR SHALL COORDINATE ALL WORK ON UTILITY DUCTS WITH THE APPROPRIATE UTILITY COMPANY INCLUDING WORK BY UTILITY COMPANY FORCES, SERVICE CONNECTIONS AND INSPECTIONS.

PRE-CAST CONCRETE STRUCTURES INCLUDING TANKS, BARREL SECTIONS, CATCHBASINS AND BASES SHALL CONFORM TO ASTM C478 AND AASHTO H520-44. PLACEMENT SHALL BE IN ACCORDANCE WITH MANUFACTURER INSTRUCTIONS. ALL PRE-CAST STRUCTURES INCLUDING JOINTS, SEALS, OPENINGS, ETC. MUST BE WATERTIGHT. BITUMINOUS DAMP-PROOFING SHALL BE PROVIDED ON THE EXTERIOR WALLS OF ALL SANITARY SEWER AND WATER QUALITY INLET STRUCTURES.

UTILITY / MANHOLE INSTALLATIONS SHALL CONFORM TO UTILITY COMPANY REQUIREMENTS.

ANY WORK NOT MEETING THE APPROVED STANDARDS SHALL BE IMMEDIATELY REMOVED AND REPLACED AT THE FULL RESPONSIBILITY AND COST/EXPENSE OF THE CONTRACTOR.

THE CONTRACTOR SHALL MAKE APPLICATION FOR AND PAY ALL FEES FOR PERMITS REQUIRED TO CONSTRUCT THE PROJECT UTILITIES.

ALL UTILITY COVERS, GRATES, ETC. SHALL BE ADJUSTED TO BE FLUSH WITH THE PAVEMENT FINISH GRADE UNLESS OTHERWISE NOTED. RIM ELEVATIONS OF DRAINAGE STRUCTURES AND MANHOLES ARE APPROXIMATE.

INSULATE SANITARY PIPE WHERE INVERT DEPTH IS LESS THAN (4) FEET BELOW FINISHED GRADE.

EXCAVATION REQUIRED WITHIN THE PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT NO COST TO THE OWNER.

UNLESS OTHERWISE INDICATED, ABANDONED EXISTING UTILITY LINES SHALL BE CAPPED AND ABANDONED IN PLACE UNLESS THEY CONFLICT WITH PROPOSED IMPROVEMENTS. CAP REMAINING PORTIONS WHERE PARTIALLY REMOVED.

CAP ALL PROPOSED UTILITY STUBS AS APPROPRIATE.



LEGEND:

SEE SHEET C-3 FOR LEGEND

NOTE:

SITE IS LOCATED WITHIN A ZONE II/GROUNDWATER PROTECTION DISTRICT

GRADING NOTES:

THE CONTRACTOR SHALL VERIFY EXISTING GRADES IN THE FIELD AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE OWNER OR HIS REPRESENTATIVE.

EXCAVATION REQUIRED WITHIN THE PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT NO COST TO THE OWNER.

PITCH EVENLY BETWEEN SPOT GRADES. GRADE ALL AREAS TO DRAIN. ALL PAVED AREAS MUST PITCH TO DRAIN AT A MINIMUM OF 1/8" PER FOOT UNLESS OTHERWISE SPECIFIED. ANY DISCREPANCIES NOT ALLOWING THIS MINIMUM PITCH SHALL BE REPORTED TO THE OWNER OR HIS REPRESENTATIVE PRIOR TO CONTINUING WORK.

ALL SITEWORK SHALL CONFORM TO THE CONTRACT DOCUMENTS AND SHALL COMPLY WITH APPLICABLE CODES AND REGULATIONS, AND THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) PREPARED FOR THE PROJECT.

A GEOTECHNICAL ENGINEER MAY BE RETAINED BY THE OWNER TO OBSERVE PERFORMANCE OF WORK, FOR CONFORMANCE WITH THESE CONTRACT DOCUMENTS, IN CONNECTION WITH EXCAVATING, TRENCHING, FILLING, BACKFILLING AND GRADING, AND TO PERFORM ASSOCIATED FIELD TESTS.

DURING THE PROGRESS OF THE WORK, THE CONTRACTOR MAY BE REQUIRED TO EXCAVATE ADDITIONAL TEST PITS FOR THE PURPOSE OF LOCATING UNDERGROUND UTILITIES OR STRUCTURES AS AN AID IN ESTABLISHING THE PRECISE LOCATION OF NEW WORK. THIS WORK IS TO BE PERFORMED AT NO ADDITIONAL COST TO THE OWNER. TEST PITS SHALL BE BACKFILLED, AS SOON AS THE DESIRED INFORMATION HAS BEEN OBTAINED.

PROTECT STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS AND OTHER FACILITIES FROM DAMAGE CAUSED BY SETTLEMENT, LATERAL MOVEMENT, UNDERMINING, WASHOUT AND OTHER HAZARDS CREATED BY CONTRACTOR OPERATIONS.

UNLESS DIRECTED OTHERWISE, ALL EXISTING TURF OR VEGETATED AREAS WITHIN THE PROPOSED LIMITS OF WORK FOR EXCAVATION, GRADING, OR IMPROVEMENT SHALL BE CLEARED AND GRUBBED. WITHIN THE CLEARING AND GRUBBING AREA, REMOVE ALL TREES, SHRUBS AND ROOTS UNLESS DESIGNATED OTHERWISE. CLEARING SHALL INCLUDE THE FELLING, CUTTING AND OFF-SITE DISPOSAL OF ALL TREES, SHRUBS, STUMPS AND VEGETATIVE DEBRIS PRODUCED THROUGH THE CLEARING OPERATIONS.

FILL DEPRESSIONS CAUSED BY TEST PITS AND CLEARING AND GRUBBING OPERATIONS WITH SATISFACTORY SOIL MATERIAL UNLESS FURTHER EXCAVATION OR EARTHWORK IS INDICATED.

THE CONTRACTOR SHALL PREVENT SURFACE WATER AND SUBSURFACE OR GROUNDWATER FROM FLOWING INTO EXCAVATIONS OR EARTHWORK AREAS WHICH WOULD CAUSE FLOODING OF THE PROJECT SITE AND SURROUNDING AREA, OR SOFTENING OR LOOSENING OF THE SOIL AT EXCAVATION OR EARTHWORK SUB-GRADES.

THE CONTRACTOR SHALL PROVIDE, INSTALL, OPERATE, MAINTAIN AND REMOVE ADEQUATE AND SATISFACTORY DEWATERING SYSTEMS AND DRAINAGE OF EXCAVATIONS TO PERMIT CONSTRUCTION TO PROCEED "IN THE DRY". THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR THE ADEQUACY OF THE METHODS, MATERIALS AND EQUIPMENT EMPLOYED. THE CONTRACTOR SHALL BEAR THE FULL COST OF PROVIDING ALL NECESSARY DRAINAGE.

THE CONTRACTOR SHALL PROHIBIT SEEPAGE, GROUNDWATER FLOW OR SURFACE INFILTRATION AND RUNOFF FROM UNDERMINING OR OTHERWISE DAMAGING ADJACENT STRUCTURES AND UTILITIES.

THE CONTRACTOR SHALL COLLECT AND DISPOSE OF WATER FROM ALL SYSTEMS IN ACCORDANCE WITH THE SWPPP AND WITH FEDERAL, STATE AND LOCAL CODES, ORDINANCES AND REGULATIONS AND OBTAIN ALL NECESSARY PERMITS. ANY WATER PUMPED FROM EXCAVATIONS WILL BE CONVEYED BY HOSE TO AN UPLAND AREA AND DISCHARGED INTO HAYBALE CORRALS OR SEDIMENTATION BAGS.

PAVING, CONCRETE WORK AND BASE COURSE PREPARATION SHALL BE DONE ONLY AFTER EXCAVATION AND CONSTRUCTION WORK WHICH MIGHT INJURE THEM HAS BEEN COMPLETED. DAMAGE CAUSED DURING CONSTRUCTION SHALL BE REPAIRED BEFORE ACCEPTANCE.

PAVEMENT OR BASE MATERIALS SHALL NOT BE PLACED ON A MUDDY OR FROZEN SUBGRADE.

ESTABLISHMENT OF GRADES, GRADE CONTROL, AND CONFORMANCE TO REQUIRED GRADE TOLERANCES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

PROTECT GRADED, FINISHED OR PAVED AREAS FROM DAMAGE AND KEEP THEM FREE OF TRASH AND DEBRIS RESULTING FROM CONSTRUCTION OPERATIONS. REPAIR AND RE-ESTABLISH GRADES IN SETTLED, ERODED AND RUTTED AREAS.

PAVEMENT EXCAVATED DURING UTILITY CONSTRUCTION, WHETHER ON THE SITE OR ADJACENT PROPERTIES, SHALL BE RESTORED AND MATCHED WITH EXACTLY THE SAME MATERIALS AND TOLERANCES AS PRIOR TO DISRUPTION, AT NO ADDITIONAL COST TO THE OWNER, OR ADJACENT PROPERTY OWNERS.

LAWN OR PLANTING AREAS EXCAVATED DURING UTILITY INSTALLATION, WHETHER ON THE SITE OR ADJACENT PROPERTIES, SHALL BE RE-GRADED AND RESTORED AT NO ADDITIONAL COST TO THE OWNER, OR ADJACENT PROPERTY OWNERS.

THE CONTRACTOR SHALL REMOVE, AND LEGALLY DISPOSE OF, ALL EXCAVATED MATERIAL CLASSIFIED AS SURPLUS OR UNSATISFACTORY FROM THE SITE.

STONE USED FOR MACHINE PLACED RIP-RAP SHALL BE REASONABLY WELL GRADED, HARD, DURABLE, ANGULAR IN SHAPE, RESISTANT TO WEATHERING AND FREE FROM ORGANIC MATERIAL. ROUNDED STONES OR BOULDERS ARE NOT ACCEPTABLE. THE MINIMUM WEIGHT OF THE STONE SHALL BE 155 POUNDS PER CUBIC FOOT. STONE SHALL BE PLACED IN CONFORMANCE WITH THE LINES, GRADES AND THICKNESSES SHOWN ON THE DRAWINGS.

AT ALL LOCATIONS WHERE EXISTING CURBING OR PAVEMENT ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING CURB OR PAVEMENT SHALL BE SAW CUT TO A CLEAN, SMOOTH EDGE. BLEND NEW PAVEMENT, CURBS AND EARTHWORK SMOOTHLY INTO EXISTING BY MATCHING LINES, GRADES AND JOINTS.

ALL RIP RAP STONE SHALL BE HAND CHINKED AND SHALL CONFORM TO MASSACHUSETTS HIGHWAY DEPARTMENT STANDARDS.

BLEND NEW EARTHWORK SMOOTHLY INTO EXISTING.

DRAINAGE NOTES:

MANHOLES SHALL BE 48-INCH DIAMETER (UNLESS OTHERWISE SPECIFIED). CAST-IN-PLACE BASES SHALL BE USED WHERE MANHOLES ARE CONSTRUCTED OVER EXISTING PIPES.

FRAMES AND COVERS FOR DRAINAGE STRUCTURES AND SANITARY SEWER STRUCTURES SHALL PROVIDE A 24-INCH MINIMUM CLEAR OPENING AND SHALL BE LABEON TYPE LK110 OR APPROVED EQUAL.

DRAINAGE STRUCTURE COVERS SHALL HAVE THE WORD "DRAIN" CENTERED ON THE COVER IN 3-INCH HIGH LETTERS. SANITARY SEWER STRUCTURE COVERS SHALL HAVE THE WORD "SEWER" CENTERED ON THE COVER IN 3-INCH HIGH LETTERS.

SINGLE CATCH BASIN FRAMES AND GRATES SHALL BE LABEON TYPE LF 248-2 OR AS REQUIRED BY TOWN OF MEDWAY DPW.

DOUBLE CATCH BASIN FRAMES SHALL BE LABEON ONE-PIECE LV2448-1 FRAMES OR APPROVED EQUAL. FOR DOUBLE CATCH BASIN GRATES, USE TWO LABEON TYPE LF 248-2 OR APPROVED EQUAL.

FRAMES, GRATES AND COVERS SHALL BE SET FIRM AND TRUE TO GRADE, ADJUST FOR GRADE WITH BRICK MASONRY.

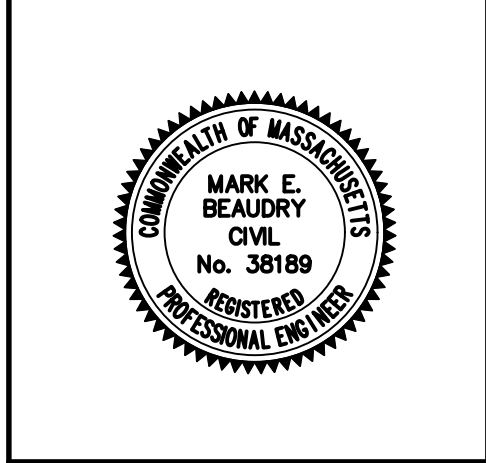
ALL ON-SITE DRAIN LINES SHALL BE SMOOTH INTERIOR WALLED CORRUGATED POLYETHYLENE PIPE UNLESS OTHERWISE NOTED.

FLARED END SECTIONS SHALL BE PIPE MANUFACTURER STANDARD CONSTRUCTED FROM THE SAME MATERIAL AS THE PIPE.

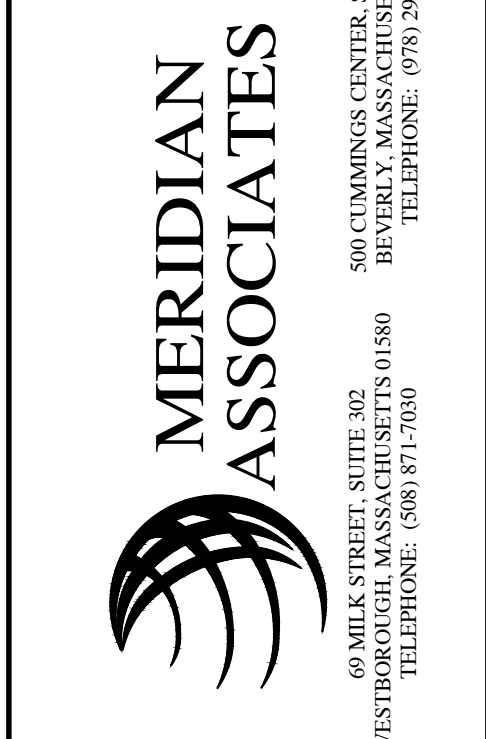
INSTALL PIPE AND FLARED ENDS IN STRICT ACCORDANCE WITH PIPE MANUFACTURER INSTRUCTIONS.

ALL DRAIN LINES SHOWN SHALL BE 12" DIAMETER UNLESS OTHERWISE NOTED.

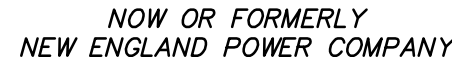
REVISIONS					
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		RESPONSE TO FINAL COMMENTS	DG	WEB	
		RESPONSE TO COMMENTS	RB	WEB	
		LAYOUT CHANGE / TOWN COMMENTS	RB	WEB	
		WETLAND FLAGS	RB	WEB	
					BY
					CHKD



GRADING, DRAINAGE & UTILITIES PLAN
O'BRIEN & SONS CORPORATE OFFICES
17 TROTTER DRIVE
MEDWAY, MASSACHUSETTS 02053
Prepared for:
BOTTLE CAP LOT, LLC
93 West Street
Medfield, Massachusetts 02052



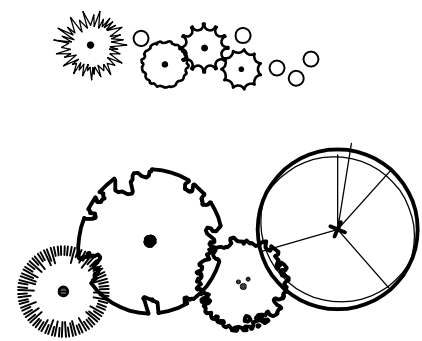
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MAY 23, 2017
(See Revisions)
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8477
Sheet No.
C-3



REMAINING LAND OF
JOSEPH C. JULIANI, ANTHONY MELE
& MARGUERITE K. MELE
(DEED BOOK 5655, PAGE 568)

LIMIT OF WORK LINE

SHRUBS, PERENNIALS, GROUNDCOVERS & VINES



PLANT SCHEDULE

TREES					
QTY	SYM	LATIN NAME	COMMON NAME	SIZE	NOTES
	AR	Acer rubrum	Red Maple	3"-3.5" Cal., B&B	N - Fall color
	BN	Betula nigra	River Birch	10"-12" Ht., B&B	DR - DT - N
	CV	Cornus florida	Flowering Dogwood	2"-2.5" Cal., B&B	DR - N
	OF	Ostrya virginiana	Eastern Hop Hornbeam	2.5"-3" Cal., B&B	DR - DT - N
	PG	Picea glauca 'Conica'	Conical White Spruce	3.5"-4" Ht., 10" Pot,	DR - N
	ZS	Zelkova serrata 'Village Green'	Village Green Japanese Zelkova	2.5" Cal. B&B	

SHRUBS

CB	Cornus sericea 'Bud's Yellow	Bud's Yellow Redosier Dogwood	24"-30" Ht., #3 Pot	DR - N - ST - 48" O.C.
CF	Cornus sericea 'Farrow' Artic Fire	Artic Fire Redosier Dogwood	24"-30" Ht., #3 Pot	DR - N - ST - 36" O.C.
HI	Hamamelis x intermedia 'Arnold Promise'	Arnold Promise Witch Hazel	24"-30" Ht., #10 Pot	DR - 10' O.C.
HQ	Hydrangea quercifolia 'Flemingea'	Snow Queen Oakleaf Hydrangea	30"-36" Ht., B&B	60" O.C.
IG	Ilex glabra 'Shamrock'	Shamrock inkberry	24"-30" Ht., B&B	DR - N - ST - 36" O.C.
PJ	Pieris japonica 'Mountain Fire'	Mountain Fire Andromeda	24"-30" Ht., #3 Pot	DR - 48" O.C.
PD	Potentilla fruticosa	Shrubby Cinquefoil	18"-24" Ht., #3 Pot	DR - ST - N - ST - 36" O.C.
VF	Viburnum dentatum	Viburnum Viburnum	36"-60" Ht., #7 Pot	DR - 10' - 48" O.C.

GROUND COVER

EP	Echinacea purpurea	Purple Coneflower	#1 Pot	DR - DT - N - ST - 18" O.C.
HM	Hemerocallis 'Happy Returns'	Happy Returns Daylily	#1 Pot	ST - 15" O.C.
MD	Microbiota decussata	Happy Cypress	#5 Pot	ST - 48" O.C.
PP	Phlox paniculata 'Bright Eyes'	Bright Eyes Phlox	#1 Pot	DT - N - 12" O.C.

ORNAMENTAL GRASSES

CA	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	#2 Pot	ST - 18" O.C.
CL	Chasmanthium latifolium	Northern Sea Oats	#1 Pot	ST - 18" O.C.
FG	Festuca glauca 'Elijah Blue'	Elijah Blue Fescue	#1 Pot	DT - ST - 12" O.C.
MS	Miscanthus Sinensis 'Gracillimus'	Maiden Grass	#3 Pot	DT - 48" O.C.
PV	Panicum virgatum 'Northwind'	Northwind Switchgrass	#3 Pot	DT - N - ST - 24" O.C.
PA	Pennisetum alopecuroides 'Hameln'	Dwarf Fountain Grass	#2 Pot	DT - ST - 18" O.C.
SS	Schizachyrium scoparium	Little Bluestem	#2 Pot	DR - OT - N - ST - 18" O.C.

ABBREVIATIONS:
B&B: BALL AND BURLAP
CAL: CALIPER
DR: DEER RESISTANT
DT: DROUGHT TOLERANT
N: NATIVE
OC: ON CENTER
ST: SALT TOLERANT

LANDSCAPE NOTES

SPACE PLANTS AT SCALED DISTANCES SHOWN ON DRAWINGS UNLESS OTHERWISE INDICATED.

ANY PROPOSED SUBSTITUTION OF PLANT MATERIAL SHALL ONLY BE MADE AFTER PRIOR APPROVAL OF LANDSCAPE ARCHITECT.

ALL PLANT MATERIAL SHALL CONFORM TO THE MINIMUM GUIDELINES ESTABLISHED BY THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.

ALL PLANTING BEDS TO BE FILLED WITH SOIL AND CROWNED ABOVE ADJACENT LAWN OR IMPROVED AREAS. ALL PLANTING BEDS TO BE MULCHED WITH AGED HARDWOOD BARK MULCH TO A DEPTH OF THREE (3) INCHES.

PROVIDE FIVE (5) FOOT DIAMETER MULCH CIRCLE AROUND ALL INDIVIDUAL TREE PLANTINGS AND CONTINUOUS MULCH BED AROUND SHRUB PLANTINGS.

PLANT MATERIALS SHALL BEAR SAME RELATIONSHIP TO FINISH GRADE AS THEY BORE TO GRADE IN THE NURSERY.

ALL PLANT MATERIALS AND LAWN AREAS TO BE MAINTAINED BY LANDSCAPE CONTRACTOR UNTIL FINAL WRITTEN ACCEPTANCE PROVIDED TO CONTRACTOR BY OWNER OR HIS REPRESENTATIVE.

ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF FINAL WRITTEN ACCEPTANCE FROM THE OWNER OR HIS REPRESENTATIVE.

ALL PLANT MATERIALS ARE INTENDED TO BE DROUGHT TOLERANT ONCE ESTABLISHED.

REUSE EXISTING TOPSOIL ENCOUNTERED ON-SITE AND AMEND TO PARAMETERS LISTED BELOW. IF ADDITIONAL TOPSOIL IS NEEDED PROVIDE FERTILE, FRIABLE, NATURAL TOPSOIL OF LOAMY CHARACTER (FOR PLANTING MIX), WITHOUT ADMIXTURE OF SUBSOIL MATERIAL, OBTAINED FROM A WELL-DRAINED SITE, REASONABLY FREE OF CLAY, LUMPS, COARSE SANDS, STONES, PLANTS, ROOTS, STICKS AND OTHER FOREIGN MATERIALS, WITH ACIDITY RANGE OF BETWEEN PH 6.0 AND 6.8. TOPSOIL SHALL NOT BE DELIVERED OR WORKED IN A MUDDY OR FROZEN CONDITION.

PLANTING MIX: MIX THE SPECIFIED MATERIALS IN THE FOLLOWING PROPORTIONS:
3 PARTS TOPSOIL, 1 PART PEAT MOSS, 1 PART SAND, WITH 5 POUNDS OF SUPERPHOSPHATE/ CUBIC YARD OF MIXTURE (ONLY IF PLANTS ARE INSTALLED IN SPRING). ALL AMENDMENTS SHALL BE THOROUGHLY INCORPORATED INTO MIXTURE TO ASSURE UNIFORM DISTRIBUTION.

PLANTING MIX SHALL BE SPREAD TO A MINIMUM DEPTH OF SIX (6) INCHES AFTER SETTLING ON ALL DISTURBED AREAS, TURFGRASS LAWN AREAS AND PLANTING BED SUBGRADE AREAS UPON COMPLETION OF FINAL GRADING. SEEDING OPERATION OR SPREADING OF TURFGRASS SOD TO BE COMPLETED IMMEDIATELY FOLLOWING THE APPLICATION OF THE PLANTING MIX OVER THE SUBGRADE. SCARIFY SUBGRADE TO A DEPTH OF 2" BEFORE PLACING TOPSOIL.

SEED OR PROVIDE SOD FOR ALL TURFGRASS LAWN AREAS WITH A DROUGHT TOLERANT TURFGRASS SEED MIX (80% TALL FESCUE, 10% PERENNIAL RYEGRASS, 10% KENTUCKY BLUEGRASS).

CONTRACTOR SHALL VERIFY QUANTITIES SHOWN ON PLANT LIST. QUANTITIES SHOWN ON PLANS SHALL GOVERN.

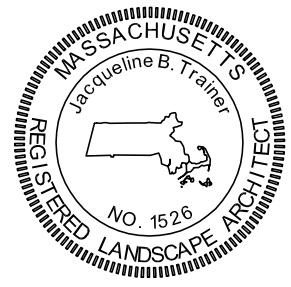
NATIVE SEED MIX SHALL BE "NEW ENGLAND NATIVE WARM SEASON GRASS MIX" AS SUPPLIED FROM NEW ENGLAND WETLAND PLANTS, WWW.NEWP.COM. SPECIES INCLUDED: LITTLE BLUESTEM, (SCHIZACHYRIUM SCOPARIUM), BIG BLUESTEM, (ANDROPOGON GERARDII), VIRGINIA WILD RYE, (ELYMUS VIRGINICUS), INDIAN GRASS, (SORGHASTRUM NUTANS), CREEPING RED FESCUE, (FESTUCA RUBRA), SWITCH GRASS, (PANICUM VIRGATUM).



SCALE: 1" = 20'



REVISIONS					
	5	9/1/17	FINAL CONDITIONS	DG	MEB
	4	8/2/17	RESPONSE TO FINAL COMMENTS	DG	MEB
	3	7/17/17	RESPONSE TO COMMENTS	RB	MEB
	2	7/16/17	LAYOUT CHANGE / TOWN COMMENTS	RB	MEB
	1	6/8/17	WETLAND FLAGS	RB	MEB
	NO.	DATE	DESCRIPTION	BY	CHKD.



LANDSCAPE PLAN
O'BRIEN & SONS CORPORATE OFFICES
17 TROTTER DRIVE
MEDWAY, MASSACHUSETTS 02053
Prepared for:
BOTTLE CAP LOT, LLC
93 West Street
Medfield, Massachusetts 02052



69 MILK STREET, SUITE 302
WESTBOROUGH, MASSACHUSETTS 01580
TELEPHONE: (508) 871-7030

Date: **MAY 23, 2017**
(See Revisions)

Scale:

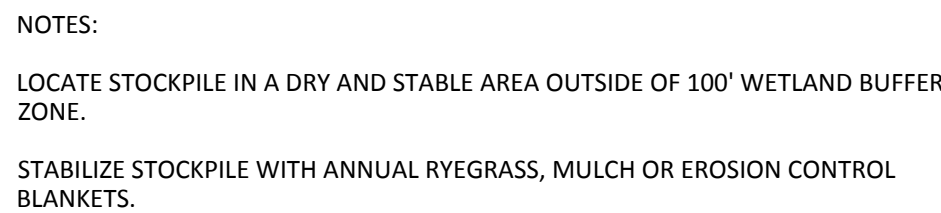
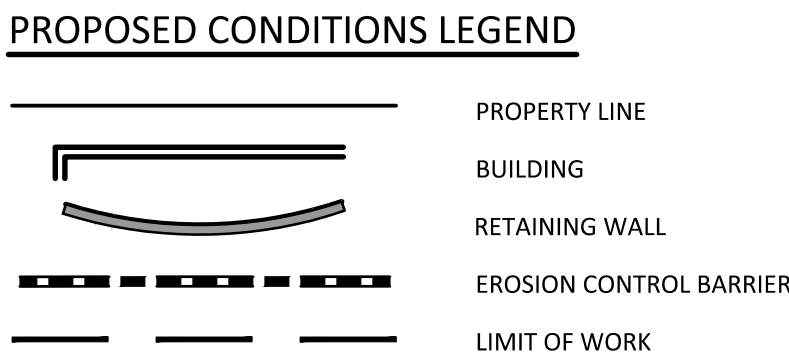
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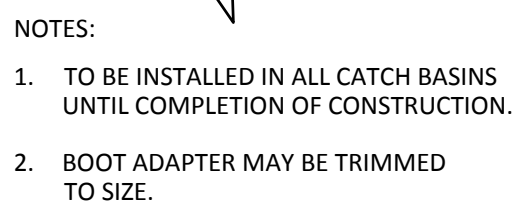
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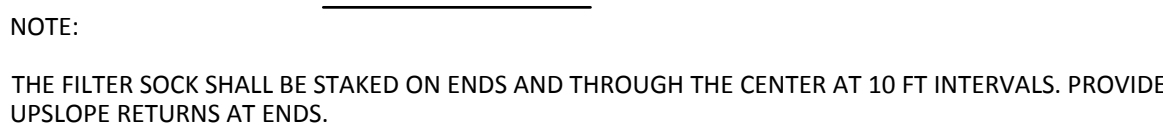
C-4



SOIL STOCKPILE
(NOT TO SCALE)



FILTER BAG
(NOT TO SCALE)



COMPOST FILTER SOCK - SEDIMENT CONTROL
(NOT TO SCALE)

CONSTRUCTION SITE WASTE MATERIALS WILL BE PROPERLY STORED ON SITE AND DISPOSED OFFSITE AT A LOCATION IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.

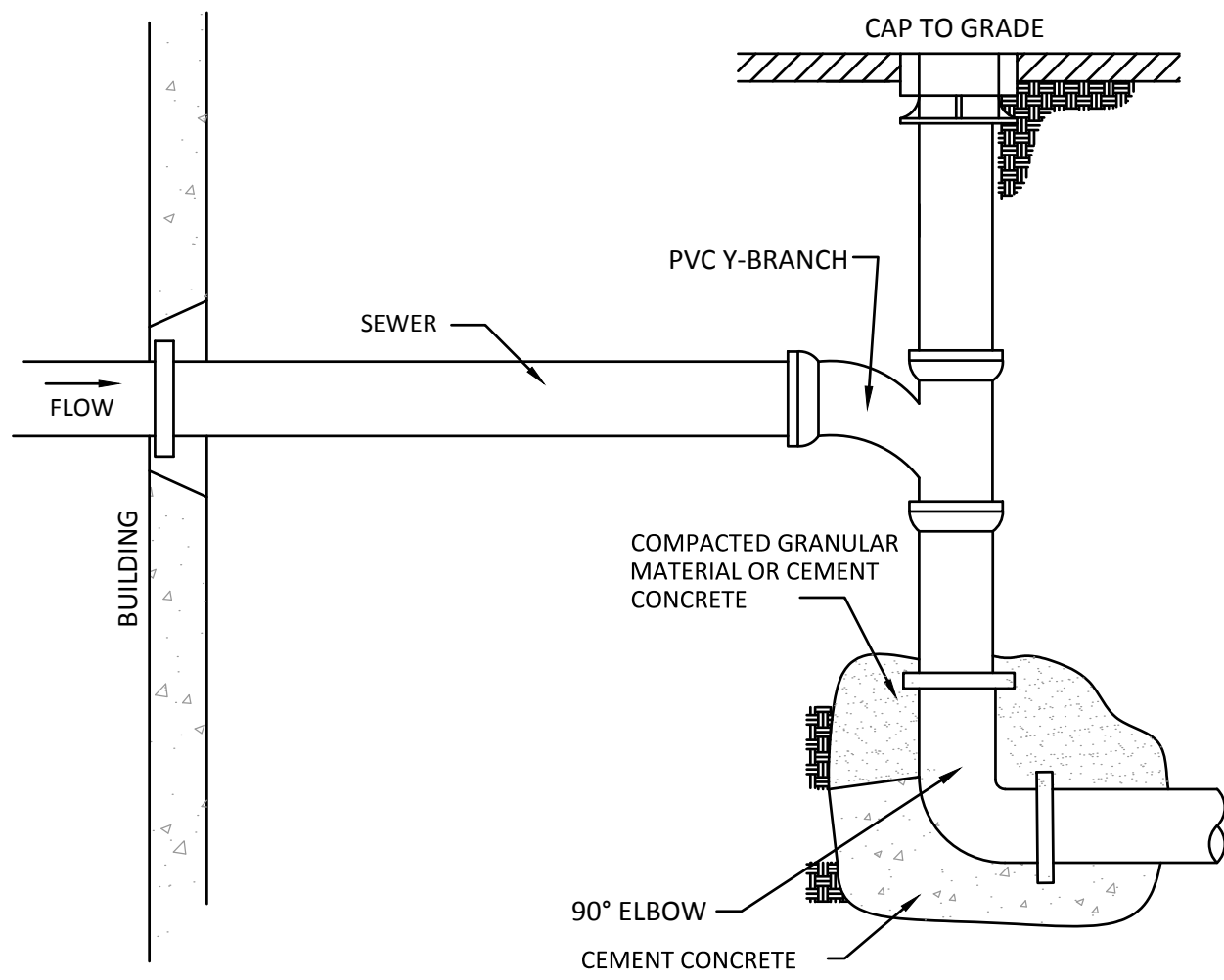
93 West Street
Medfield, Massachusetts 02052



Sheet No.

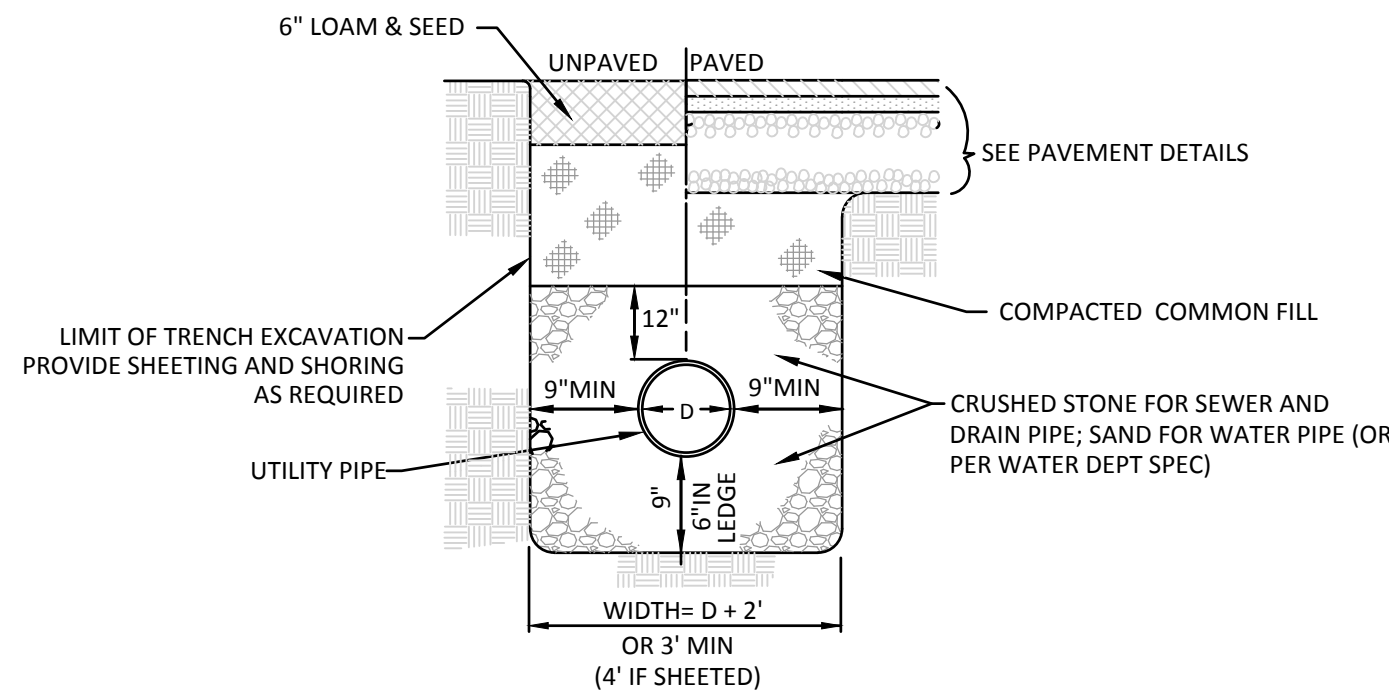
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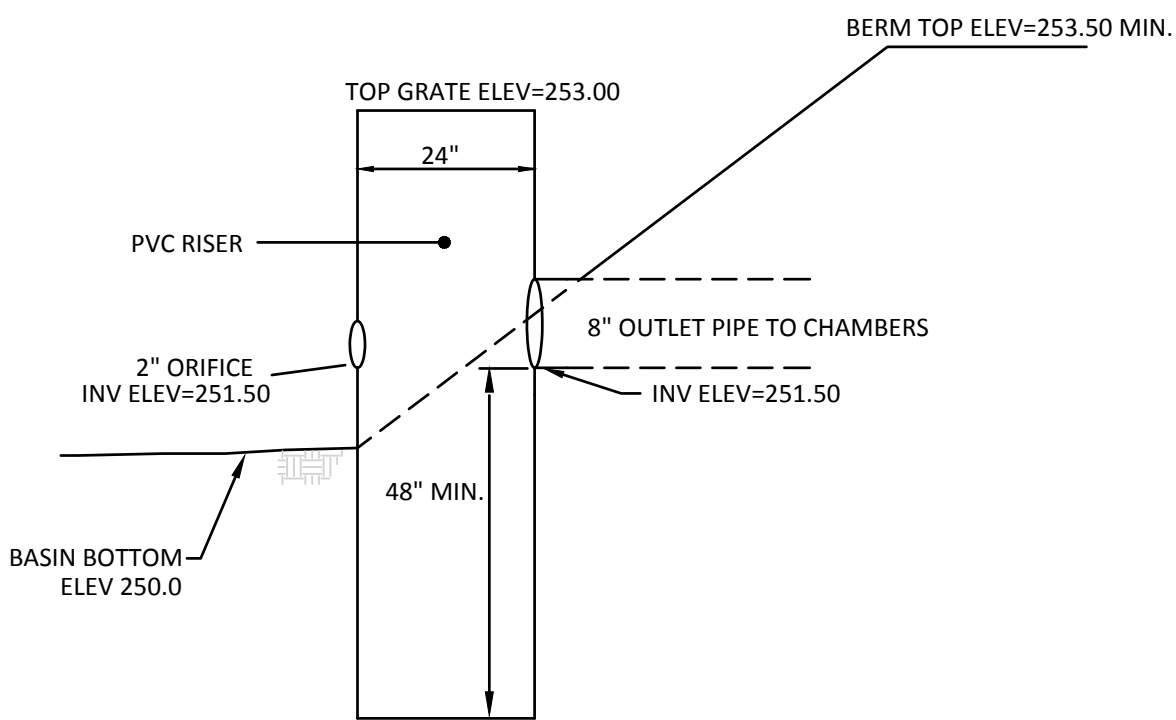


DROP CLEAN OUT DETAIL
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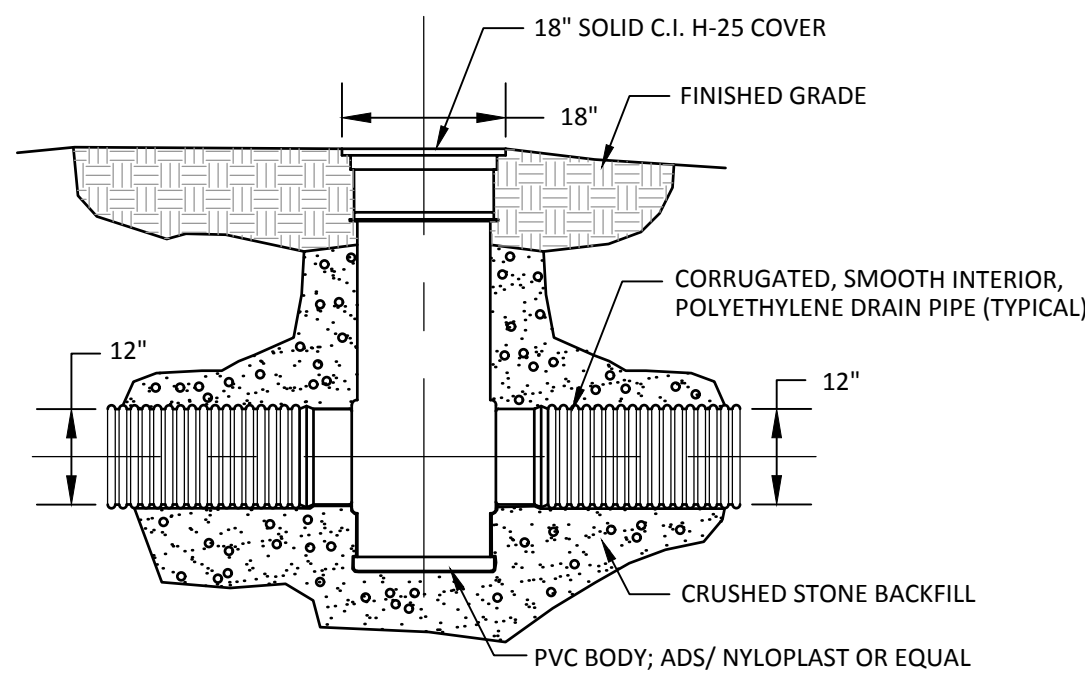
TRENCH WIDTH (W)		
D DIAMETER OF PIPE	W UNSHEETED	W SHEETED
TO 12"	3'	4'
14" TO 24"	4'	5'
30" TO 36"	5'	6'



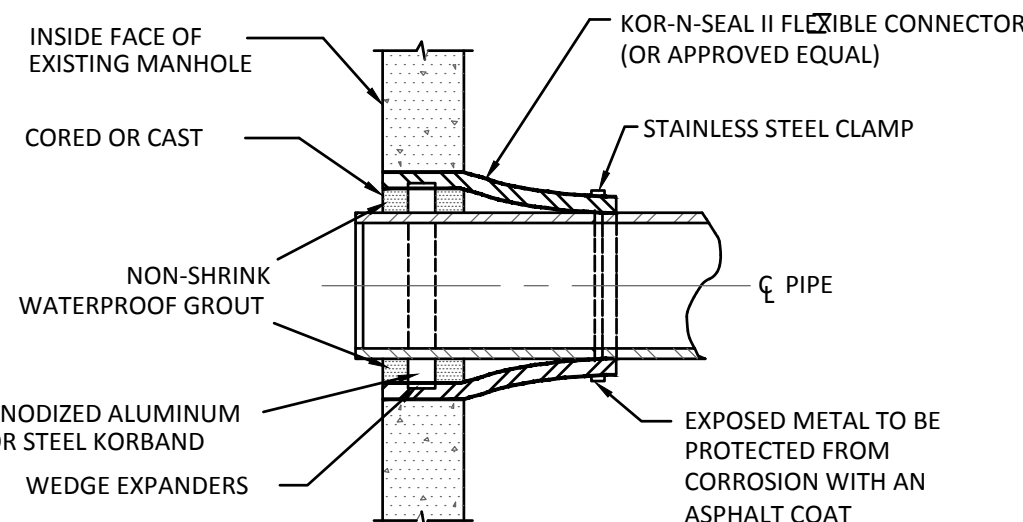
TYPICAL TRENCH SECTION
(NOT TO SCALE)



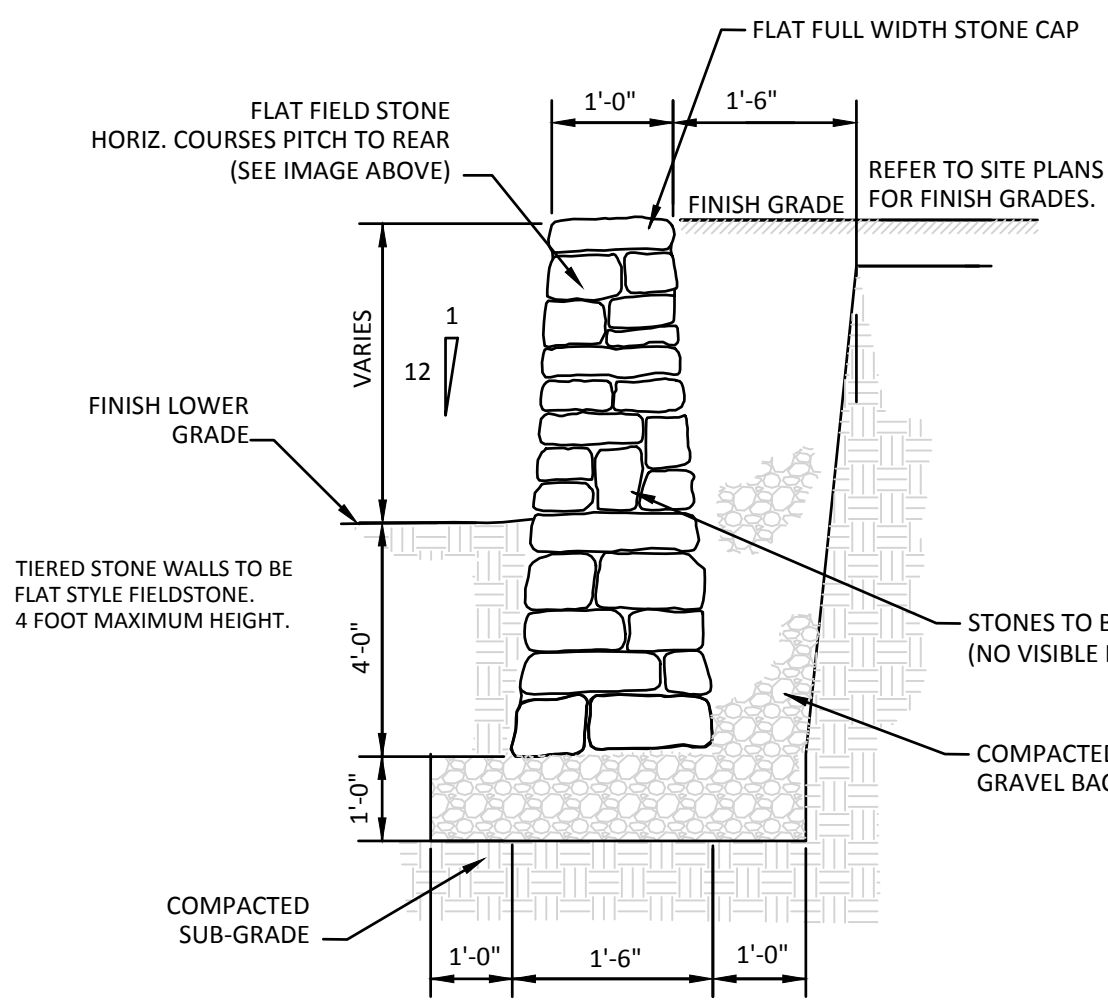
OUTLET CONTROL STRUCTURE (OCS)
(NOT TO SCALE)



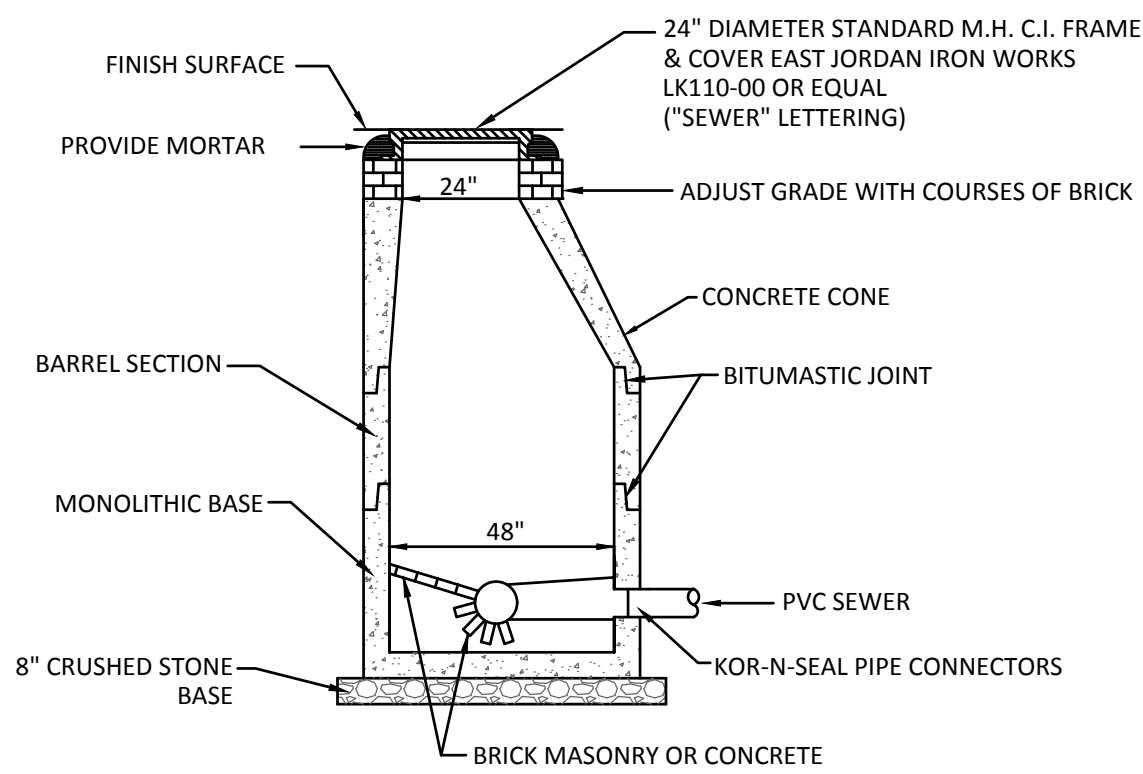
CLEAN OUT DETAIL
(NOT TO SCALE)



MANHOLE AND PUMP STATION
CONNECTION DETAIL
(NOT TO SCALE)

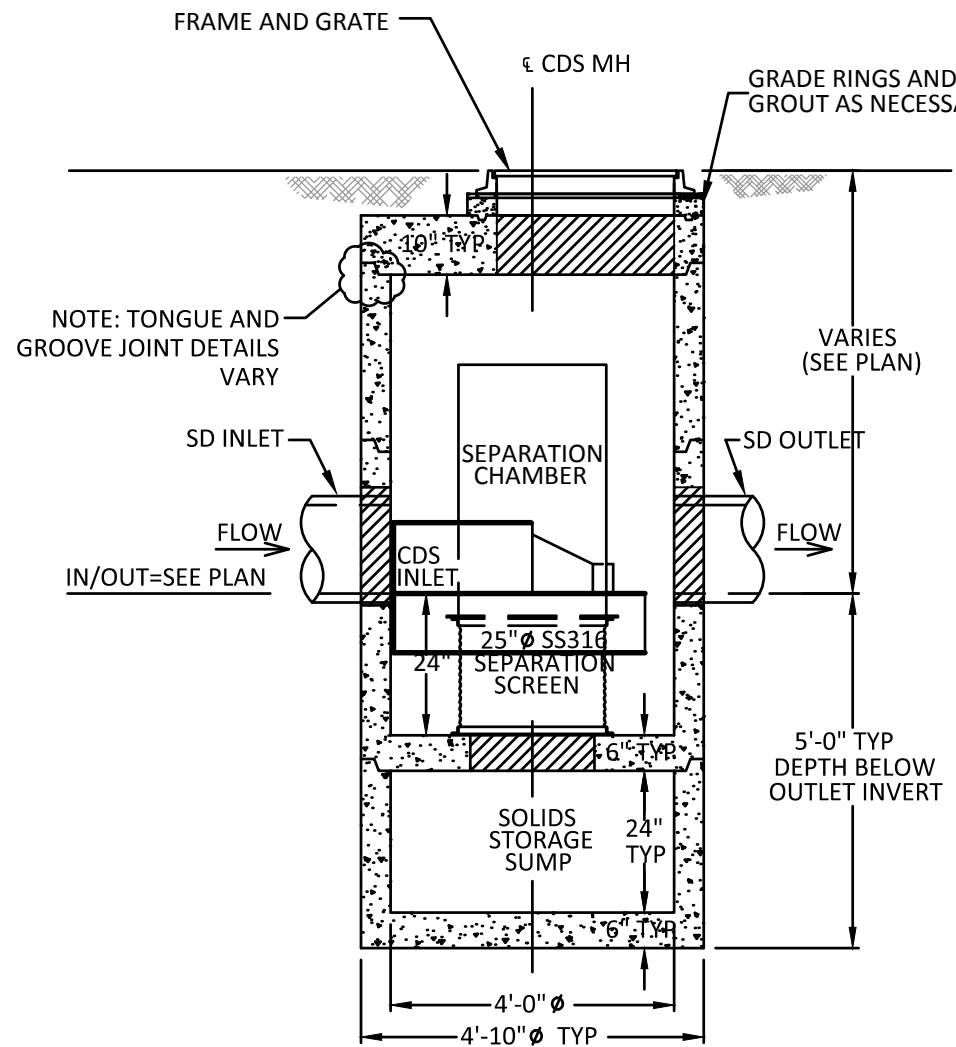


STONE RETAINING WALL
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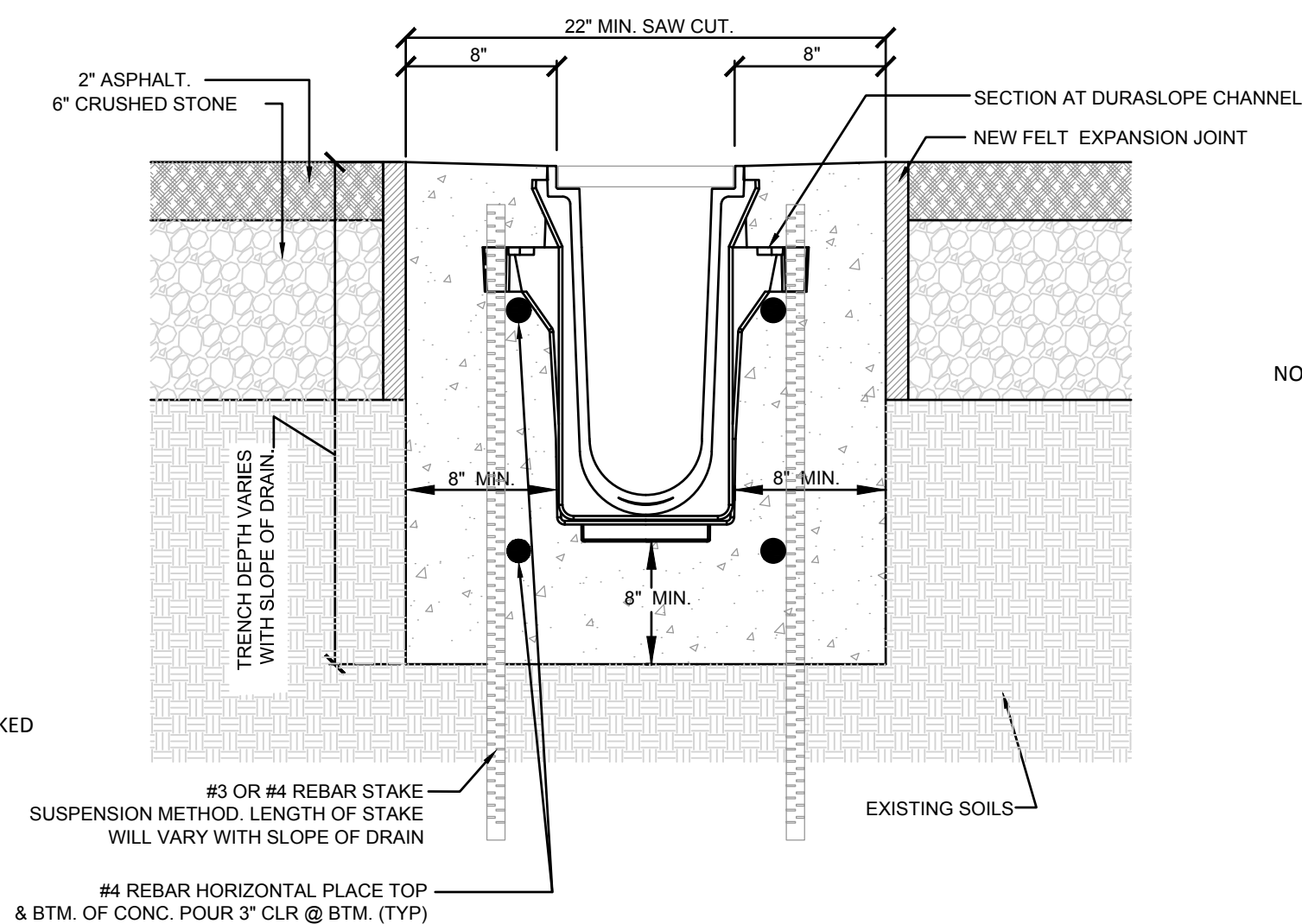


SEWER MANHOLE DETAIL (SMH)
(NOT TO SCALE)

- NOTES:
1. MANHOLE DESIGN SHALL CONFORM TO LATEST ASTM C478.
 2. REINFORCING STEEL SHALL CONFORM TO LATEST ASTM A 185.
 3. CONCRETE COMPRESSIVE STRENGTH-4,000 PSI @ 28 DAYS.
 4. ONE POUR MONOLITHIC BASE.
 5. STEPS-STEEL REINFORCED COPOLYMER POLYPROPYLENE PLASTIC (PS2-PFSL M.A. INDUSTRIES, INC.) CONFORMING TO LATEST ASTM C478 PARA-12.
 6. KOR-N-SEAL FLEXIBLE PIPE CONNECTORS SHALL CONFORM TO LATEST ASTM C923, A167.

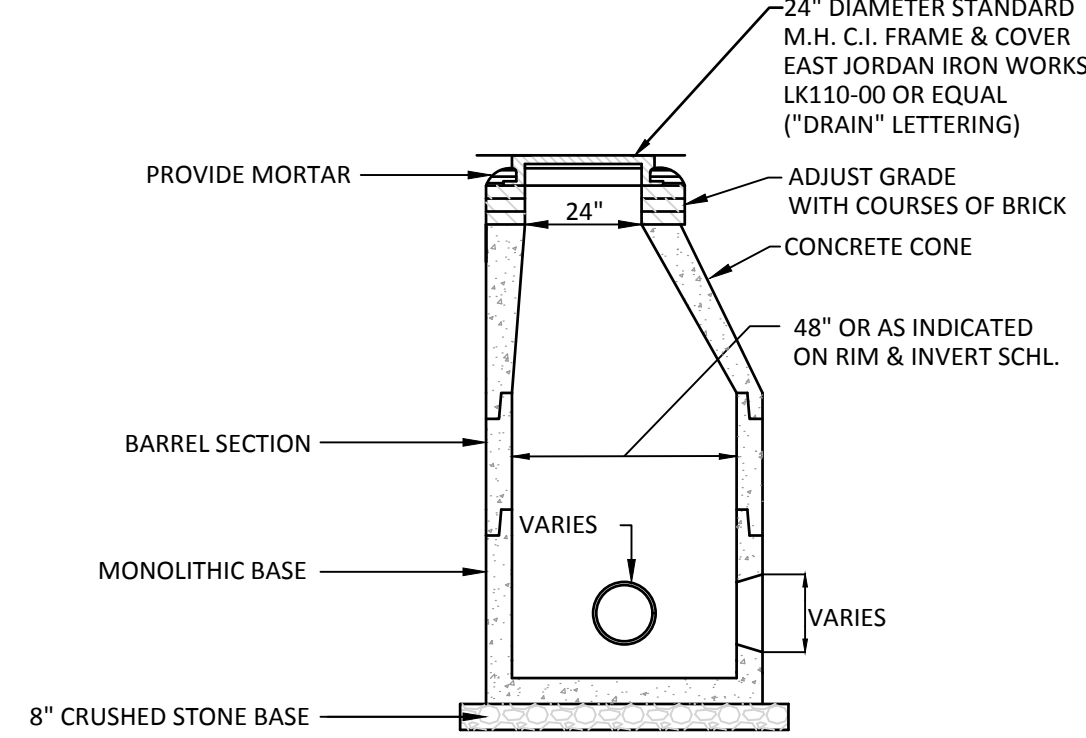


CONTINUOUS DEFLECTIVE SEPARATOR (CDS)
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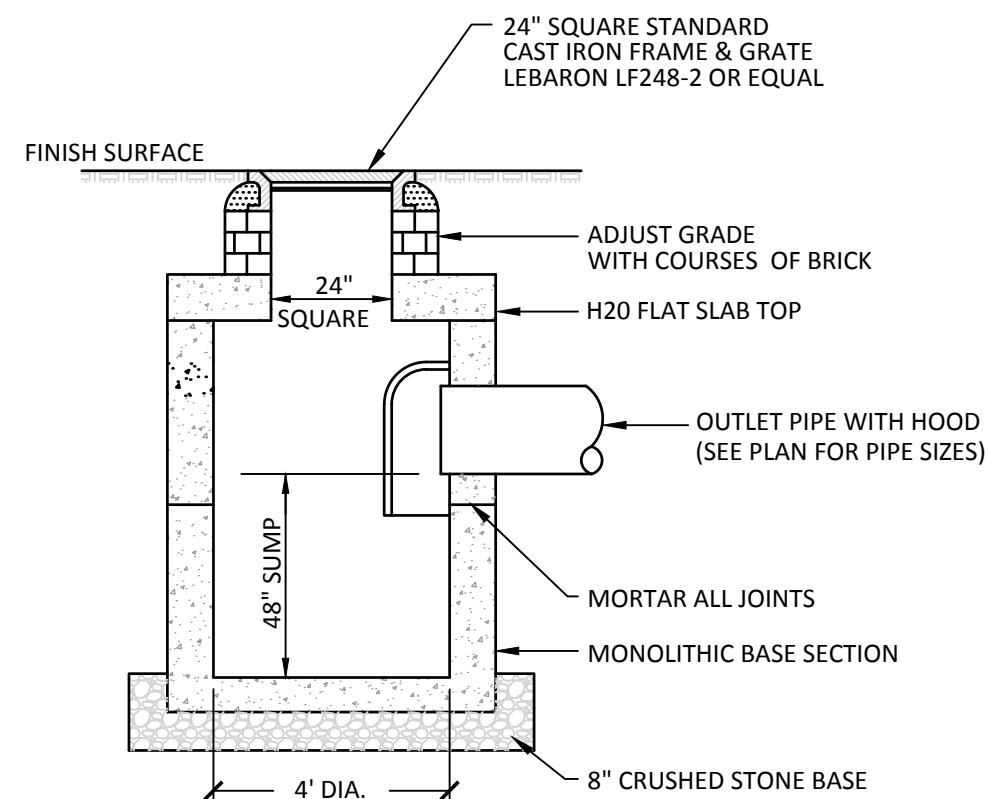
- NOTES:
- CHANNELS TO BE INSTALLED WITH BLANK GRATE. GRATE TO BE PROTECTED FROM CONCRETE POUR (COVER HOLES WITH TAPE).
- SET TRENCH DRAIN IN CHANNEL SURROUNDED BY 8" OF CONCRETE OR THICKNESS OF THE CONCRETE SLAB WITH A MINIMUM OF 3,500 P.S.I. AVOID FULL LOAD TRAFFIC FOR 28 DAYS OR UNTIL CONCRETE HAS COMPLETELY HARDENED.

TYPICAL DURASLOPE INSTALLATION
(NOT TO SCALE)



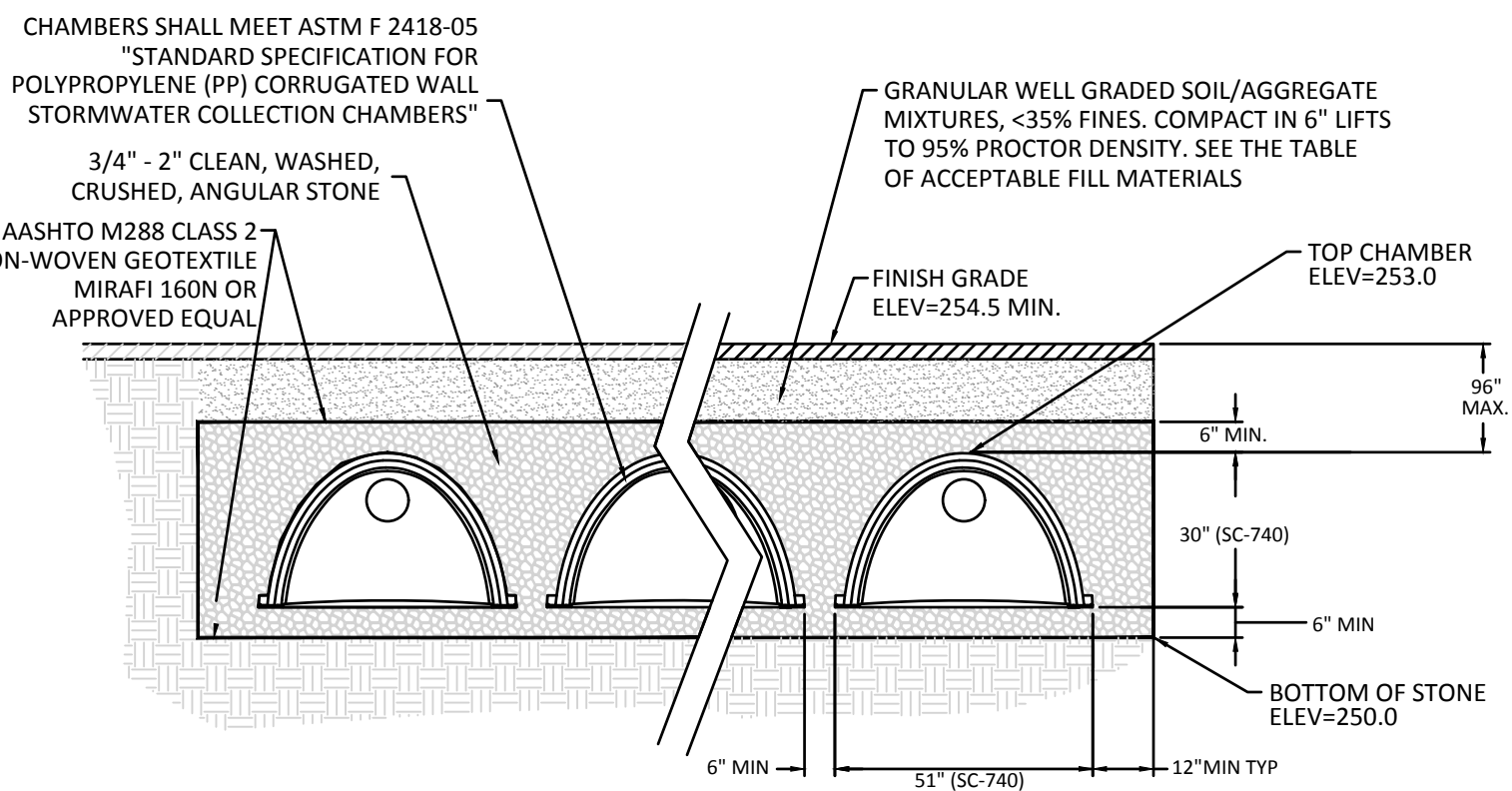
- NOTES:
1. MANHOLE DESIGN TO LATEST ASTM C478.
 2. REINFORCING STEEL CONFORMS TO LATEST ASTM A 185.
 3. CONCRETE COMPRESSIVE STRENGTH - 4,000 PSI @ 28 DAYS.
 4. ONE POUR MONOLITHIC BASE.
 5. STEPS - STEEL REINFORCED COPOLYMER POLYPROPYLENE PLASTICS (PS2-PFSL M.A. INDUSTRIES, INC.) CONFORMS TO LATEST ASTM C478 PARA-12.
 6. BITUMASTIC BUTYL RUBBER FOR JOINTS CONFORM TO LATEST ASTM C443 AND FED SS-5-201A SPEC.

PRECAST CONCRETE DRAIN MANHOLE
(NOT TO SCALE)



- NOTES:
1. STRUCTURE DESIGN TO LATEST ASTM C478.
 2. REINFORCING STEEL CONFORMS TO LATEST ASTM A 185.
 3. CONCRETE COMPRESSIVE STRENGTH - 4,000 PSI @ 28 DAYS.
 4. FLAT SLAB TOP AASHTO H-20.5. ONE POUR MONOLITHIC BASE.

PRECAST CONCRETE CATCH BASIN W/ TRAP
(NOT TO SCALE)



- NOTES:
- THIS CROSS SECTION DETAILS THE REQUIREMENTS NECESSARY TO SATISFY THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS SECTION 12.12 FOR EARTH AND LIVE LOADS USING STORMTECH CHAMBERS
- THE INSTALLED CHAMBER SYSTEM SHALL PROVIDE THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS SECTION 12.12 FOR EARTH AND LIVE LOADS, WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCE.
- FOR INSTALLATION/LAYOUT QUESTIONS CONTACT THE REGIONAL STORMTECH REPRESENTATIVE ROB LEMIRE @ 1-888-292-7081.

STORMTECH SC 740 UNDERGROUND INFILTRATION SYSTEM

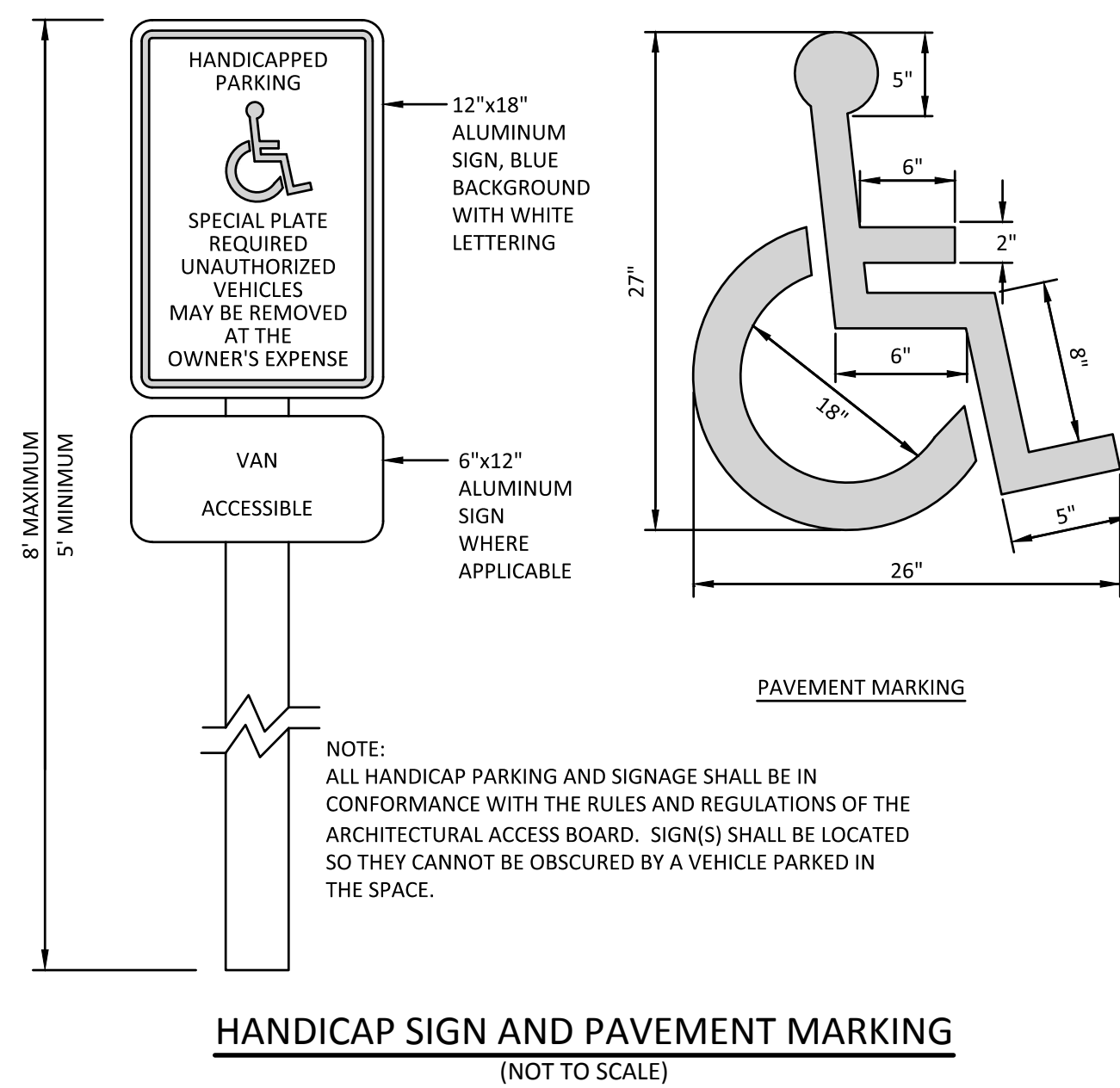
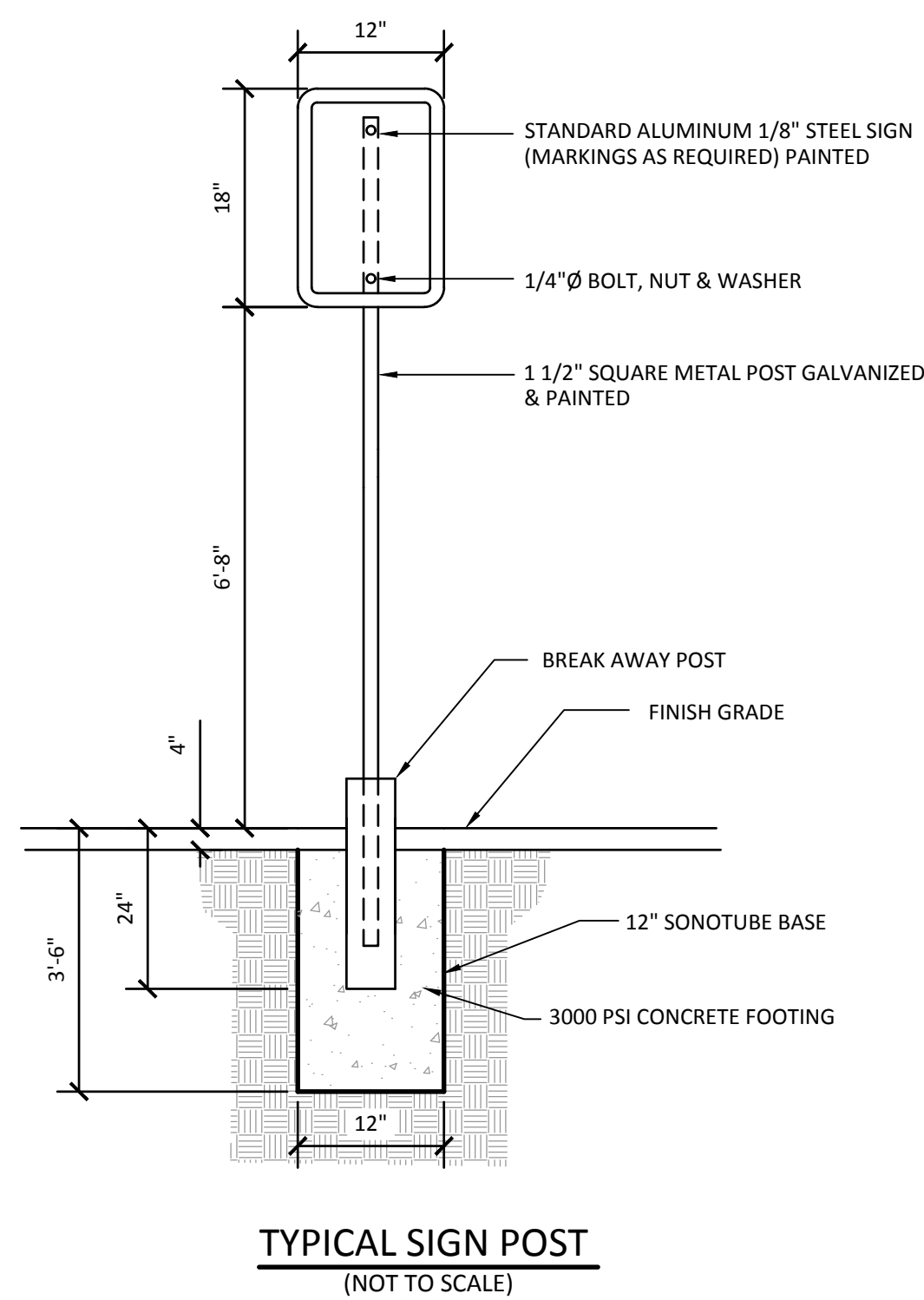
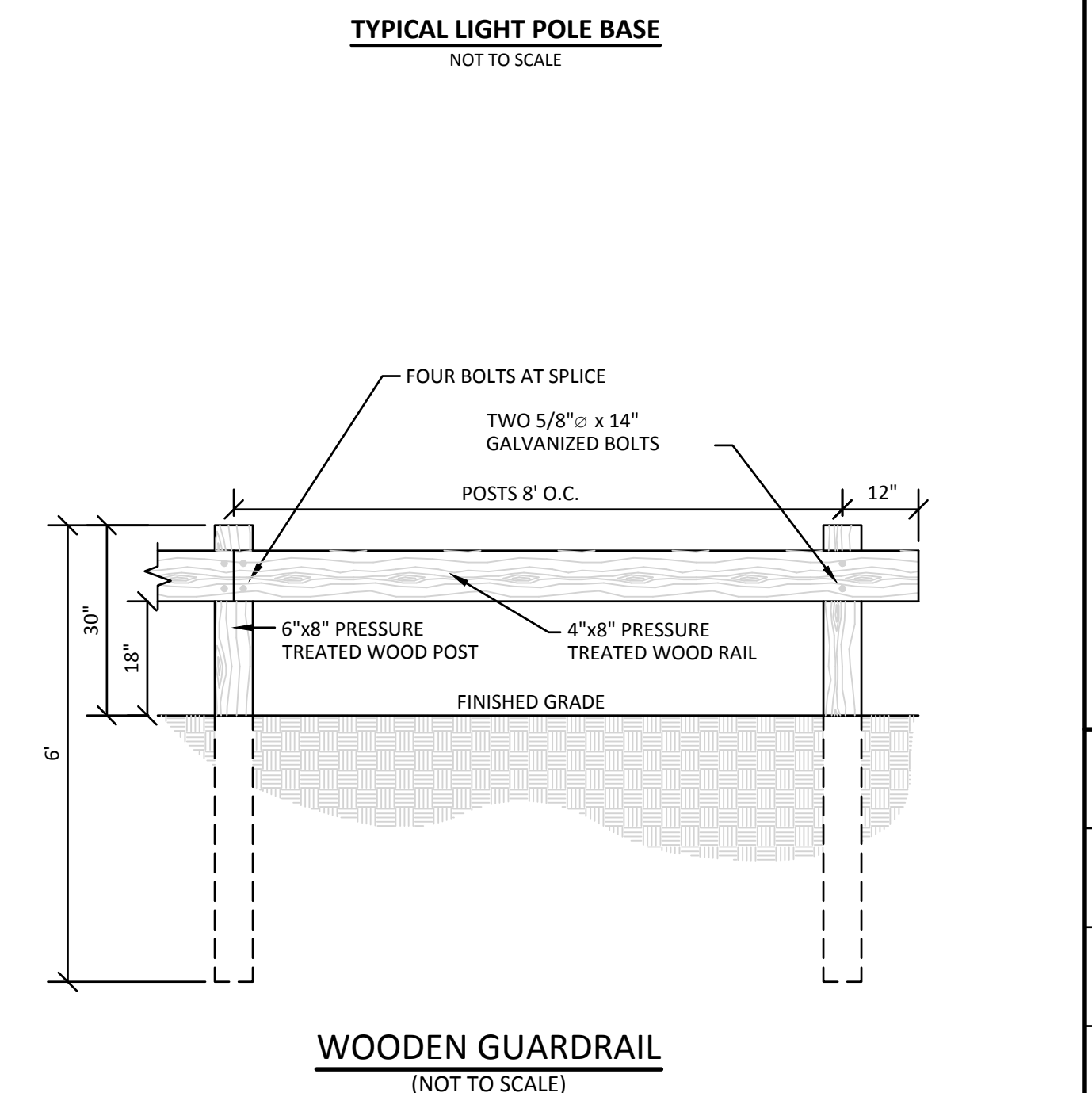
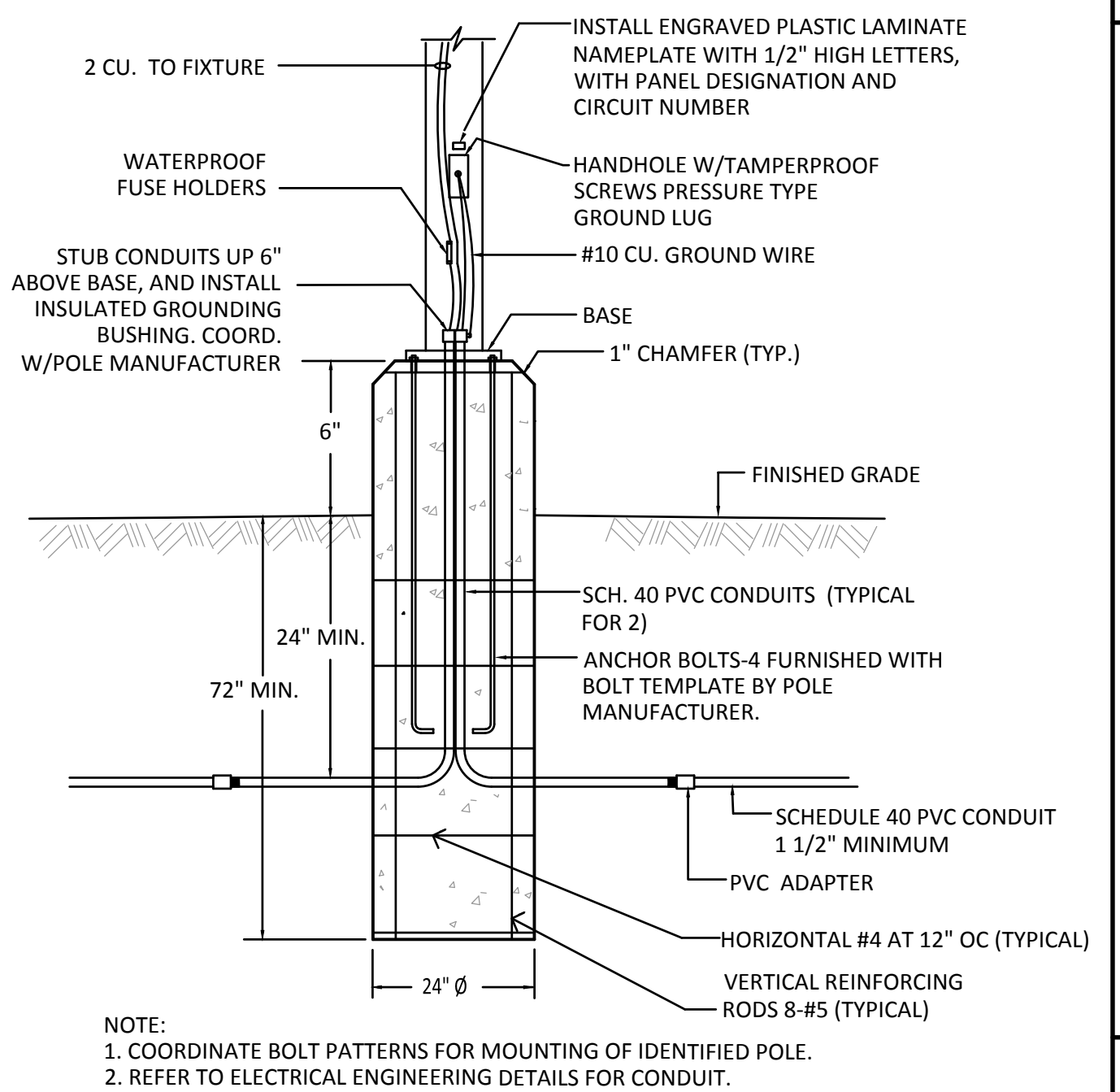
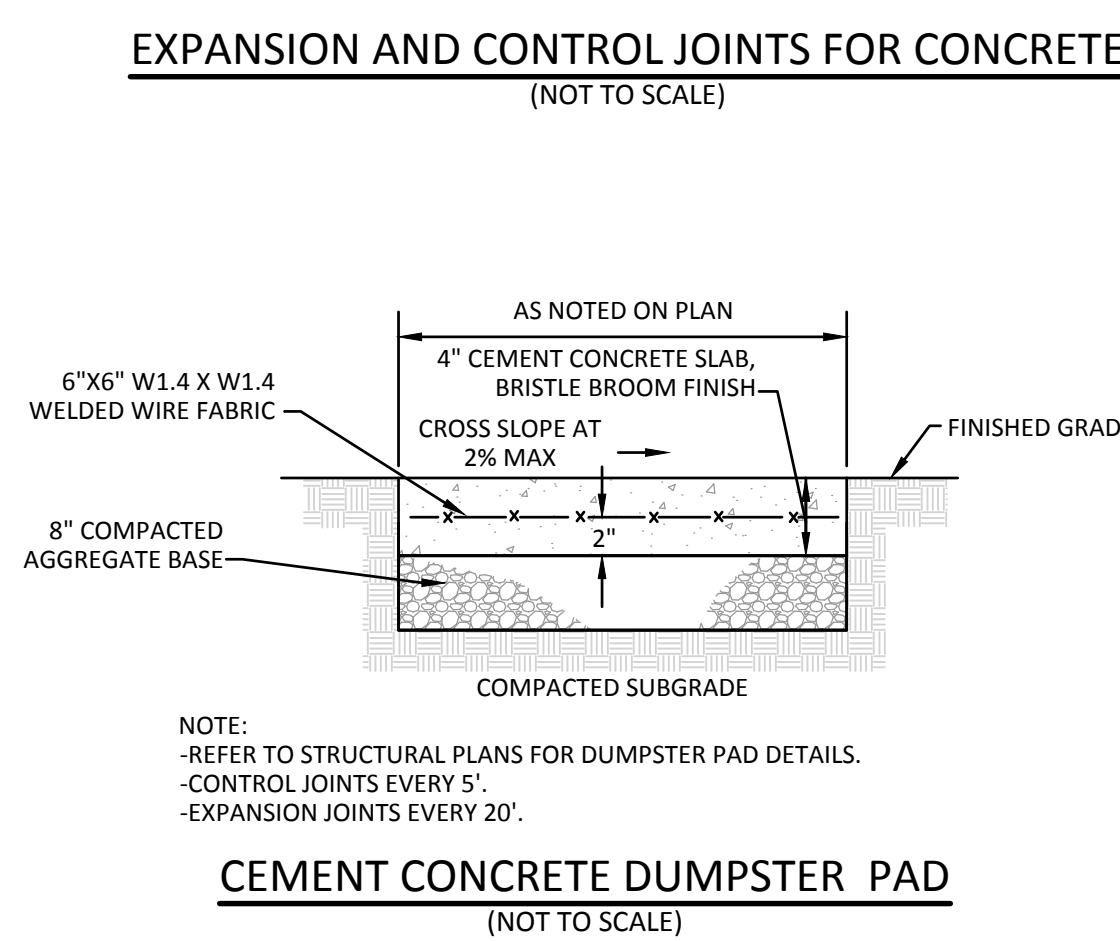
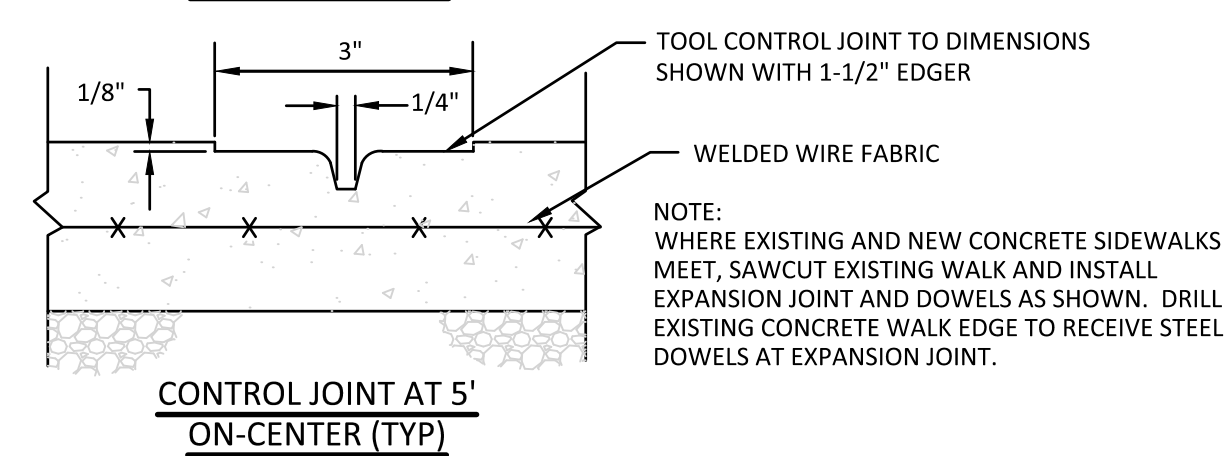
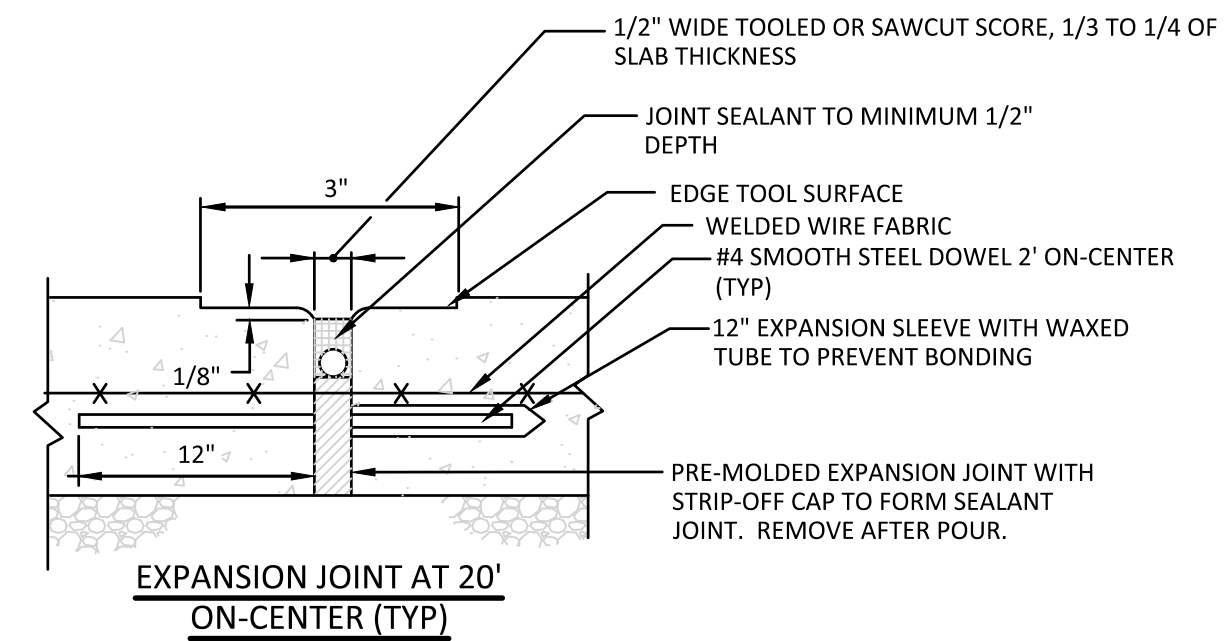
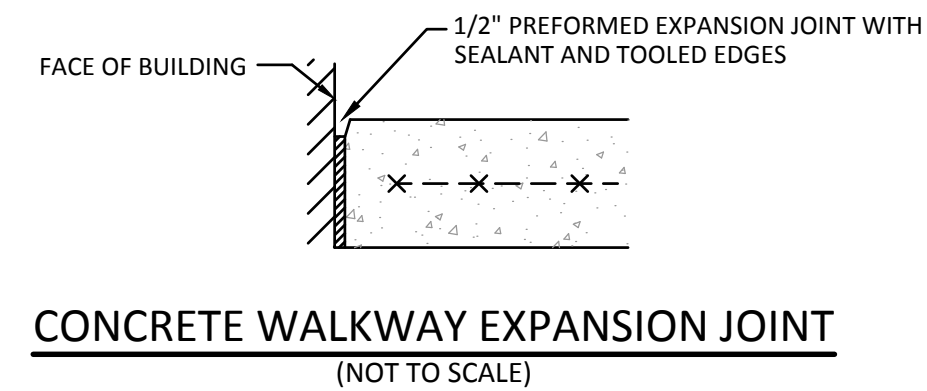
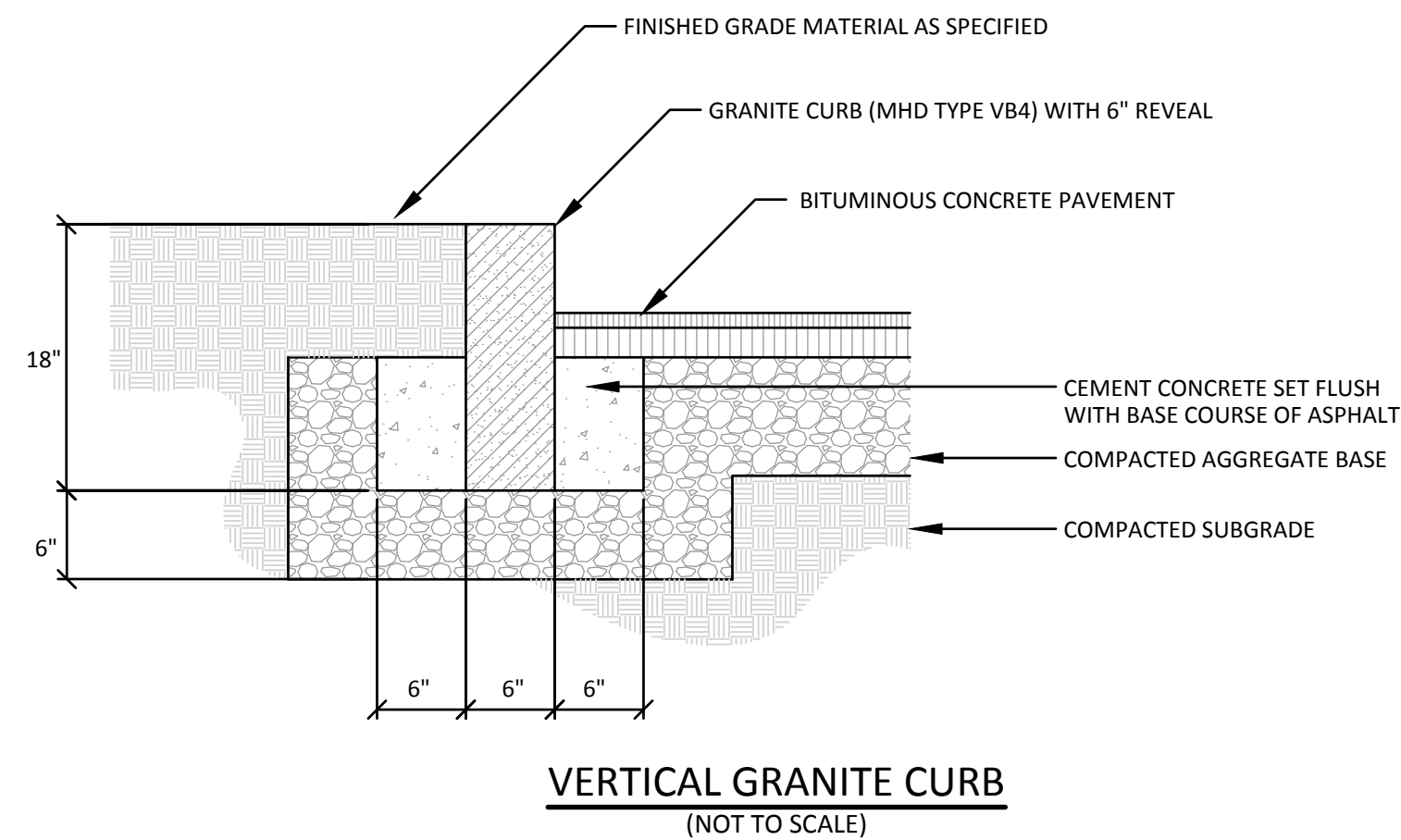
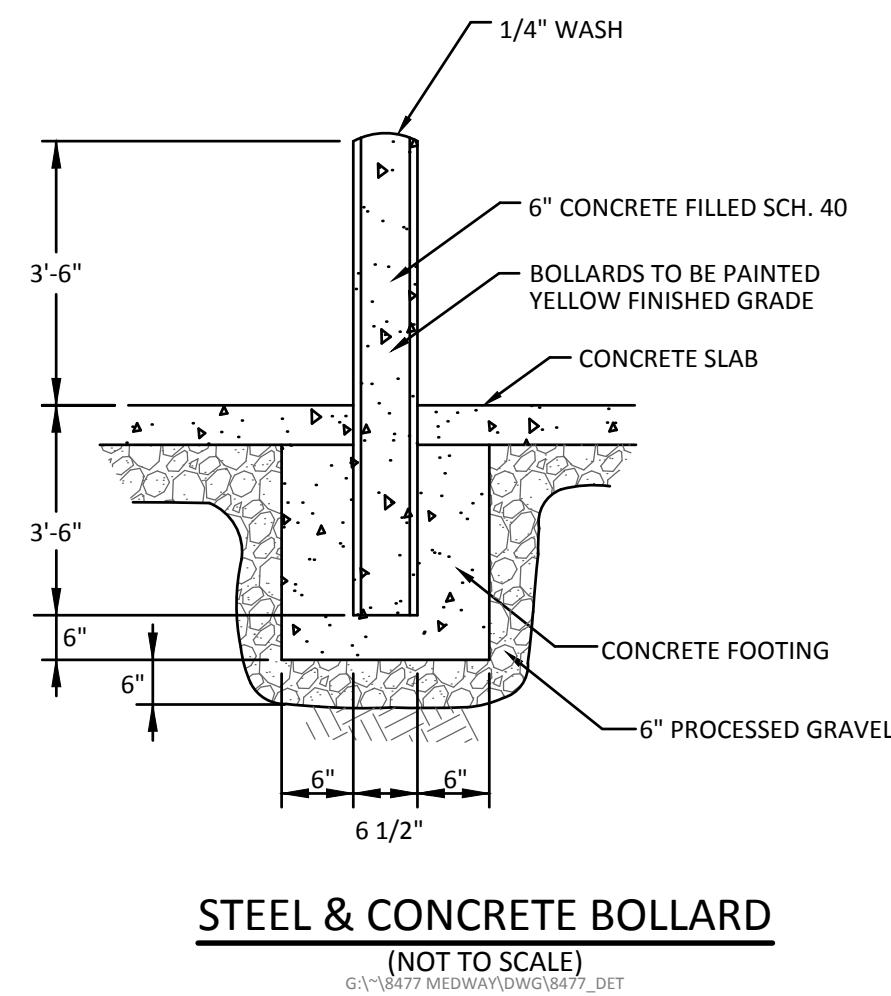
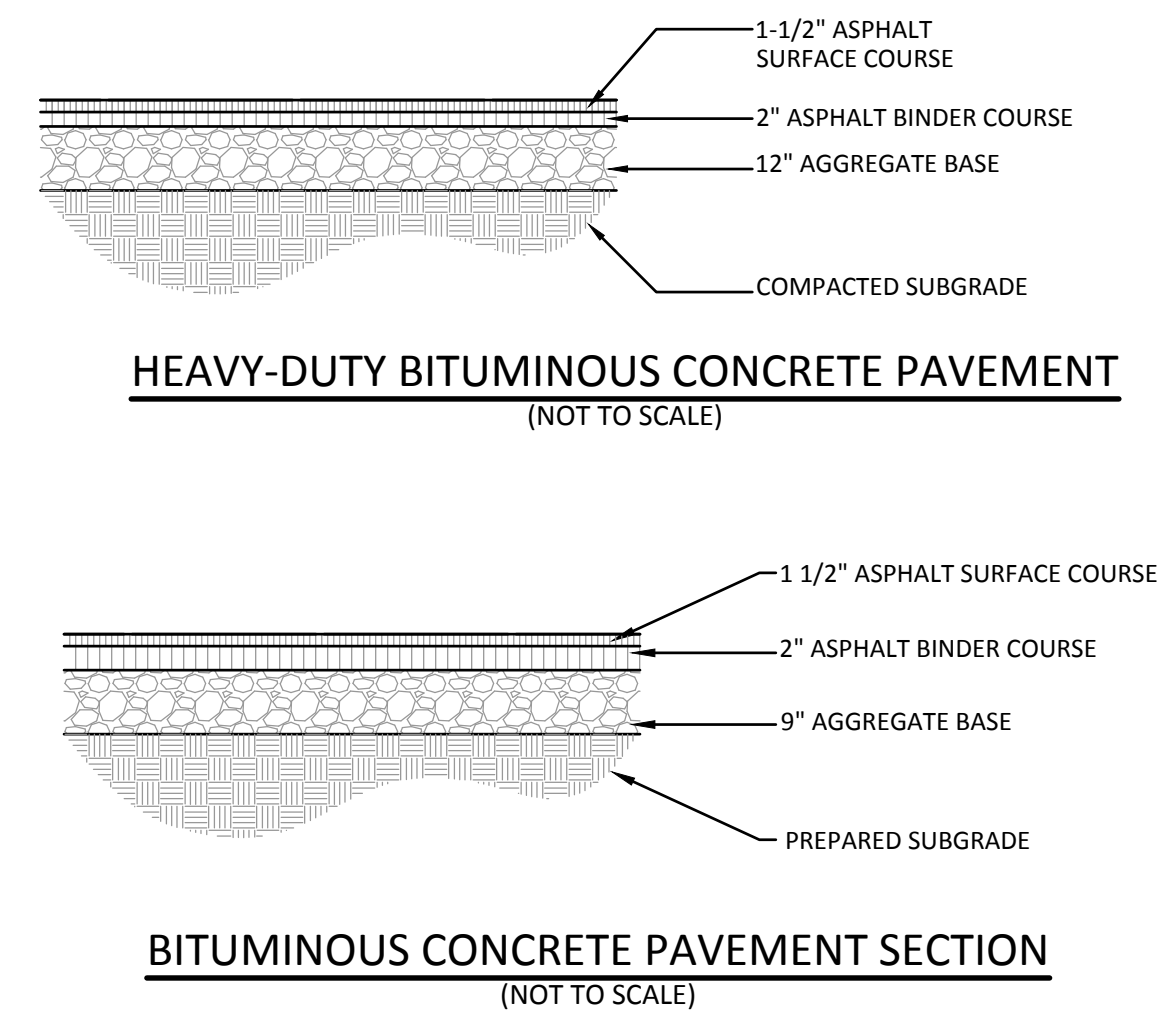
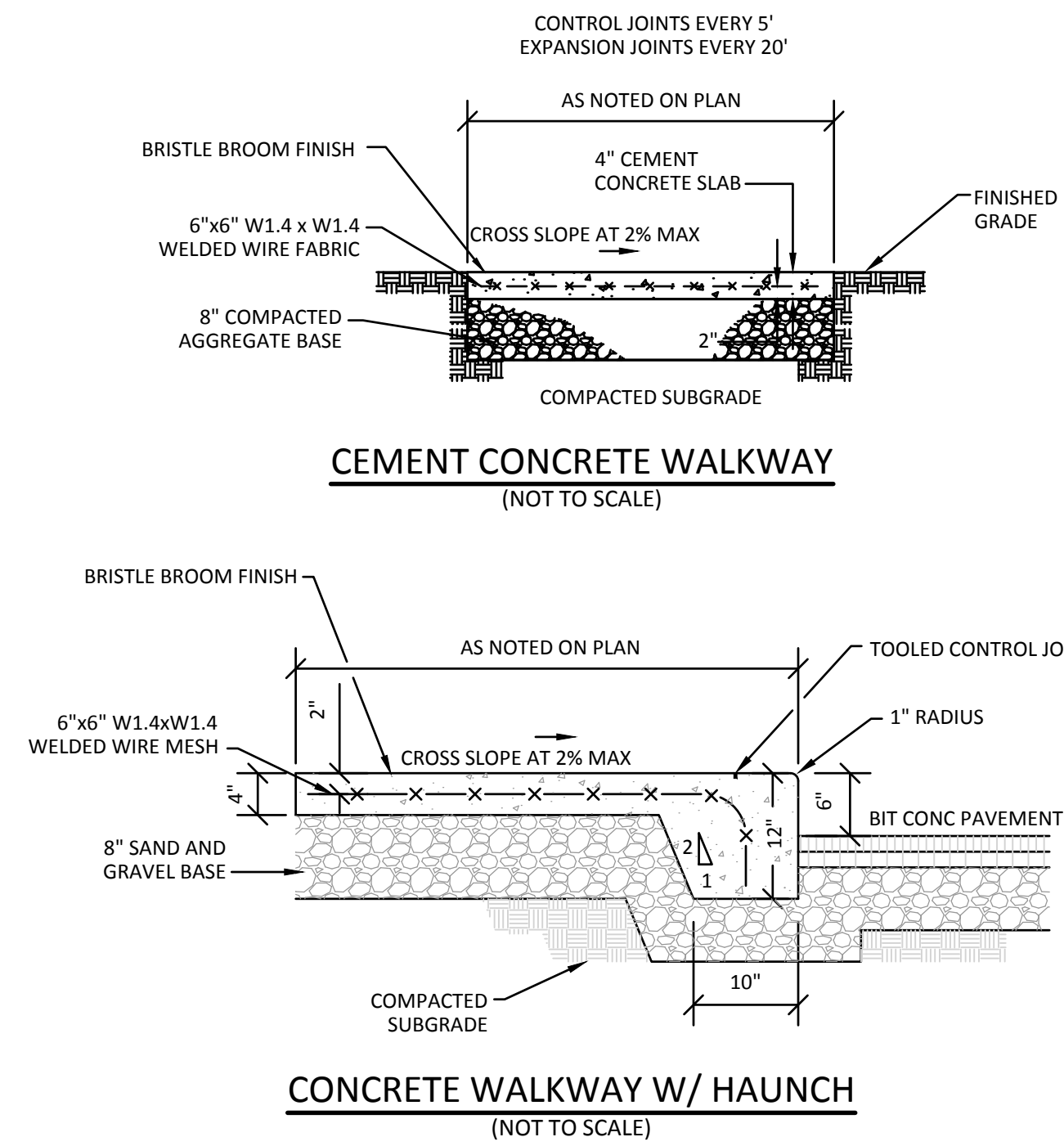
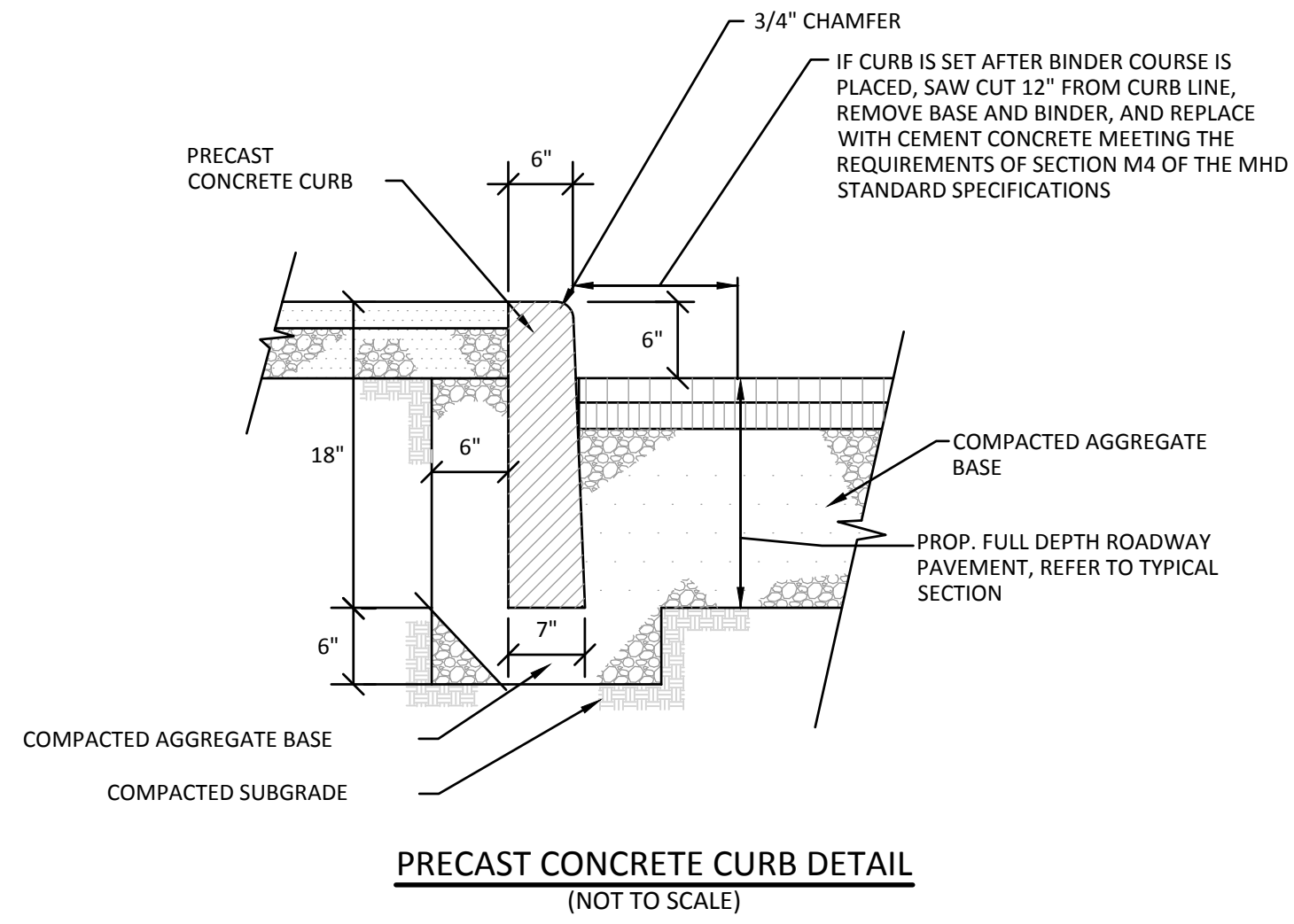
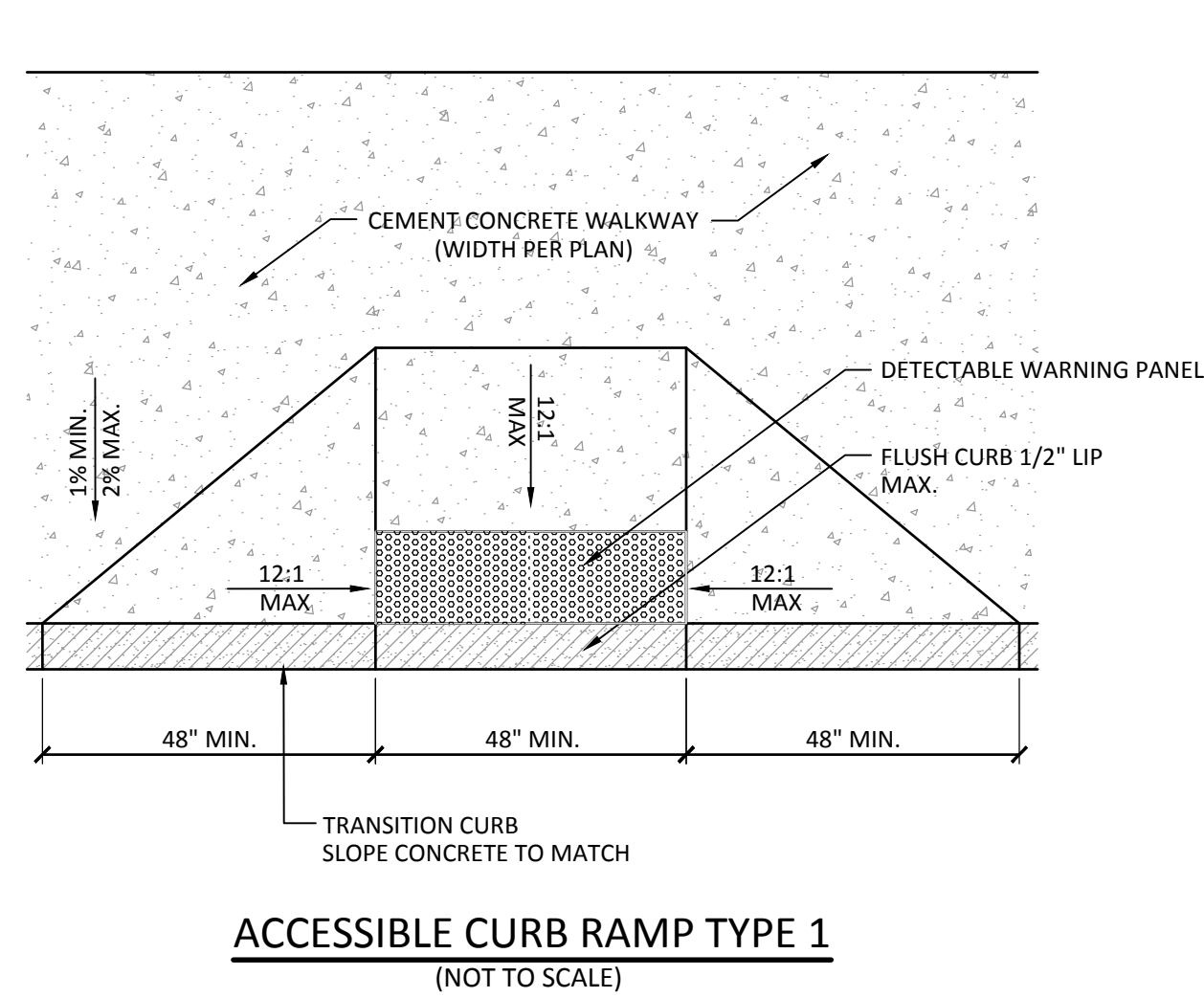


DETAILS SHEET 2
O'BRIEN & SONS CORPORATE OFFICES
17 TROTTER DRIVE
MEDWAY, MASSACHUSETTS 02053
Prepared for:
BOTTLE CAP LOT, LLC
93 West Street
Medfield, Massachusetts 02052



500 CUMMINGS CENTER, SUITE 500
WESTBOROUGH, MASSACHUSETTS 01580
TELEPHONE: (508) 717-1600

Date:
MAY 23, 2017
(See Revisions)
Scale:
1"=20'
Project No.
8477
Sheet No.
C-6



REVISIONS					
	5	9/1/17	FINAL CONDITIONS	DG	MEB
	4	8/2/17	RESPONSE TO FINAL COMMENTS	DG	MEB
	3	7/17/17	RESPONSE TO COMMENTS	RB	MEB
	2	7/16/17	LAYOUT CHANGE / TOWN COMMENTS	RB	MEB
	1	6/8/17	WETLAND FLAGS	RB	MEB
	NO.	DATE	DESCRIPTION	BY	CHKD.



O'BRIEN & SONS CORPORATE OFFICES
 DETAILS SHEET 3
 17 TROTTER DRIVE
 MEDWAY, MASSACHUSETTS 02053
 Prepared for:
BOTTLE CAP LOT, LLC
 93 West Street
 Medfield, Massachusetts 02052



WESTBOROUGH, MASSACHUSETTS 01580
TELEPHONE: (508) 871-7030


Date:
MAY 23, 2017
 (See Revisions)

Scale:
1"=20'

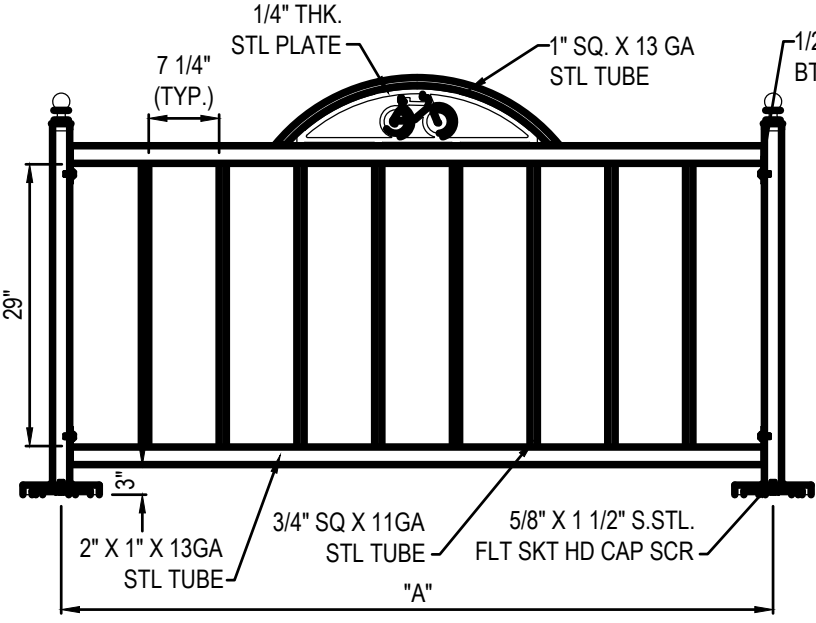

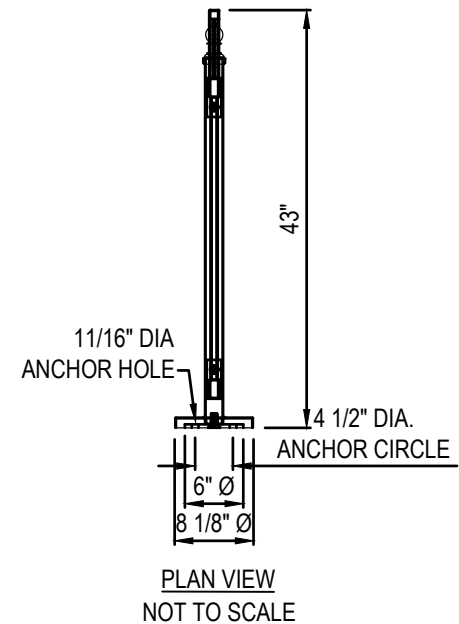
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8477

Sheet No.
C-7

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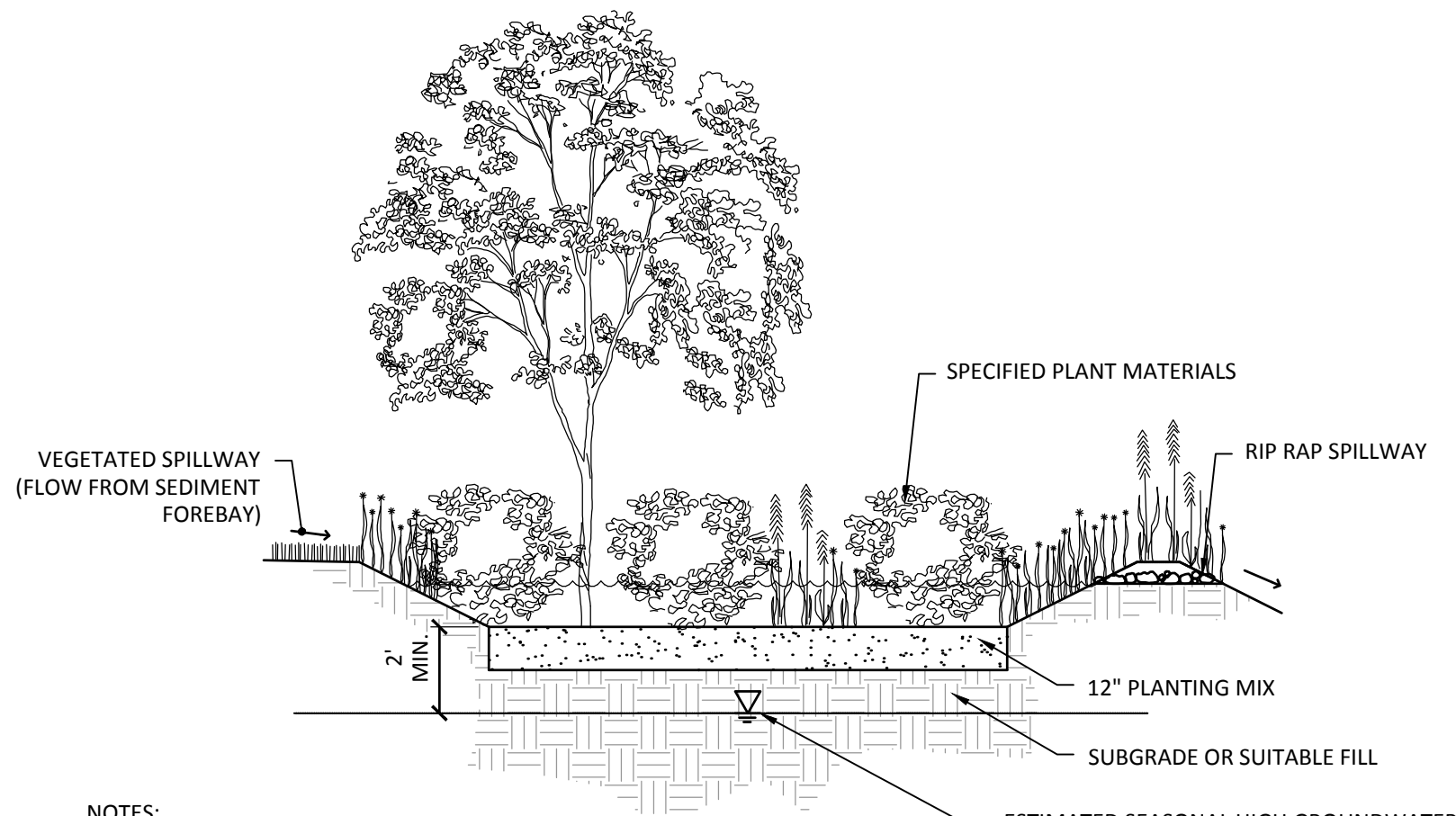
DU MOR, INC.
15 INDUSTRIAL CIRCLE, P.O. BOX 142
MIFFLINTOWN, PA 17059-0142
TOLL FREE: 1-800-598-4018
PHONE: (717) 436-2106
FAX: (717) 436-9839
www.dumor.com



MODEL NO.	OPENINGS	DIM "A"
188-05	5	41 1/4" LG.
188-07	7	57 1/4" LG.
188-09	9	73 1/4" LG.
188-11	11	89 1/4" LG.
188-13	13	105 1/4" LG.
188-15	15	121 1/4" LG.

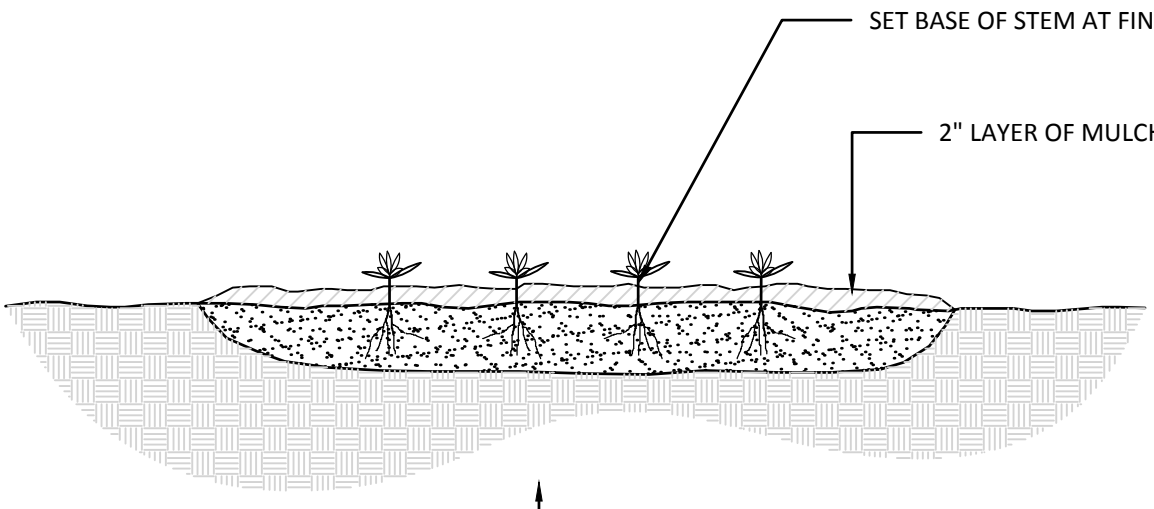
NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
2. DO NOT SCALE DRAWINGS.
3. ALL STL. MEMBERS COATED W/ ZINC RICH EPOXY THEN FINISHED W/ POLYESTER POWDER COATING
4. 1/2" X 3-3/4" EXPANSION ANCHOR BOLTS PROVIDED
5. CONTRACTOR'S NOTE: FOR PRODUCT AND PURCHASING INFORMATION VISIT www.CADdetails.com/info REFERENCE NUMBER 017-465.

BIKE RACK DETAIL
(NOT TO SCALE)



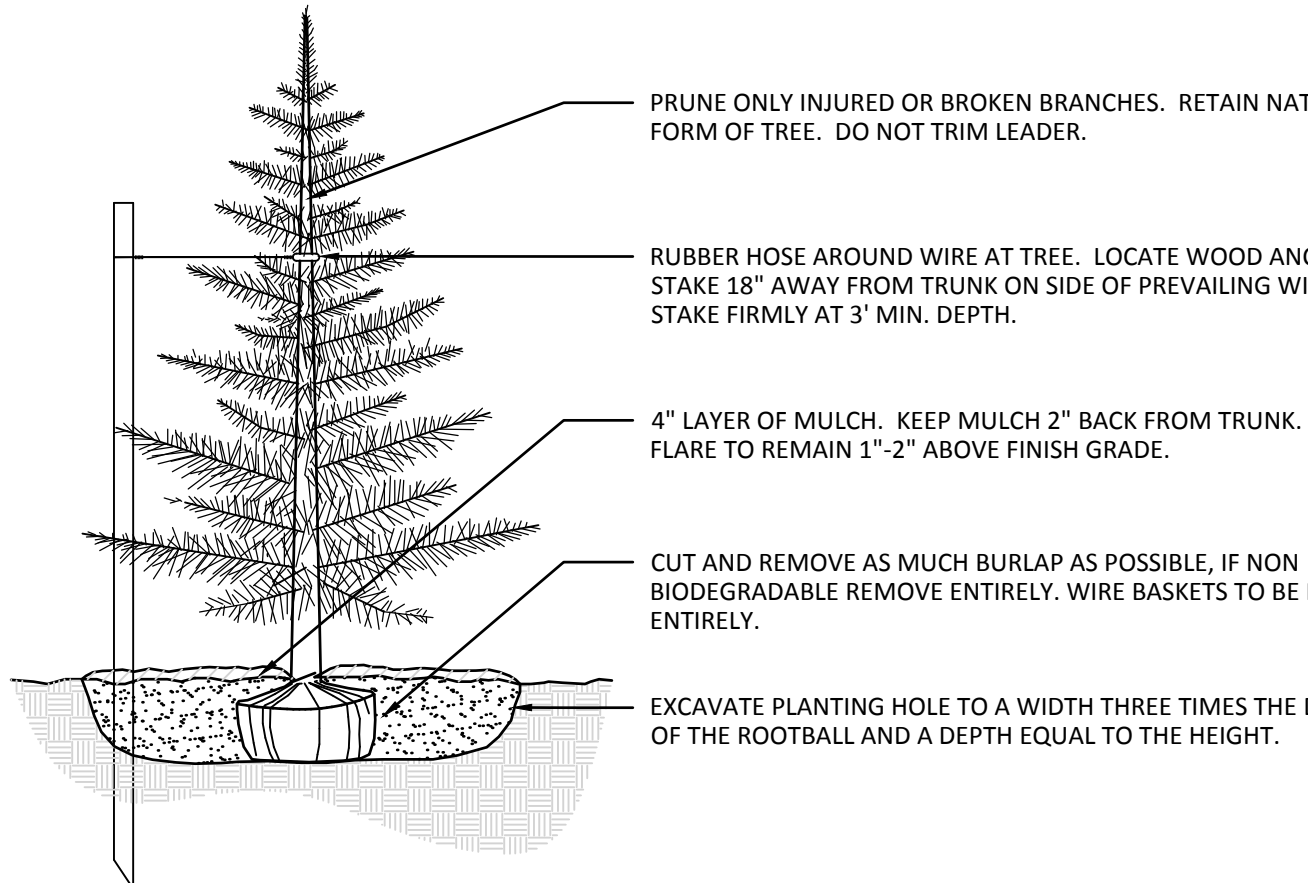
NOTES:
SEE PLANS FOR LOCATIONS AND SIZES OF BIO-RETENTION ELEMENTS AND PLANT MATERIALS.
THE PLANTING MIX SHOULD BE A MIXTURE OF SAND, COMPOST AND SOIL. SPECIFICALLY, 40% SAND, 20-30% TOPSOIL, AND 30-40% COMPOST. THE CLAY CONTENT SHOULD NOT EXCEED 15%. MIX MUST BE UNIFORM, FREE OF STONES, STUMPS, ROOTS OR SIMILAR OBJECTS LARGER THAN 2 INCHES.

SCHEMATIC OF BIO-RETENTION BASIN
(NOT TO SCALE)



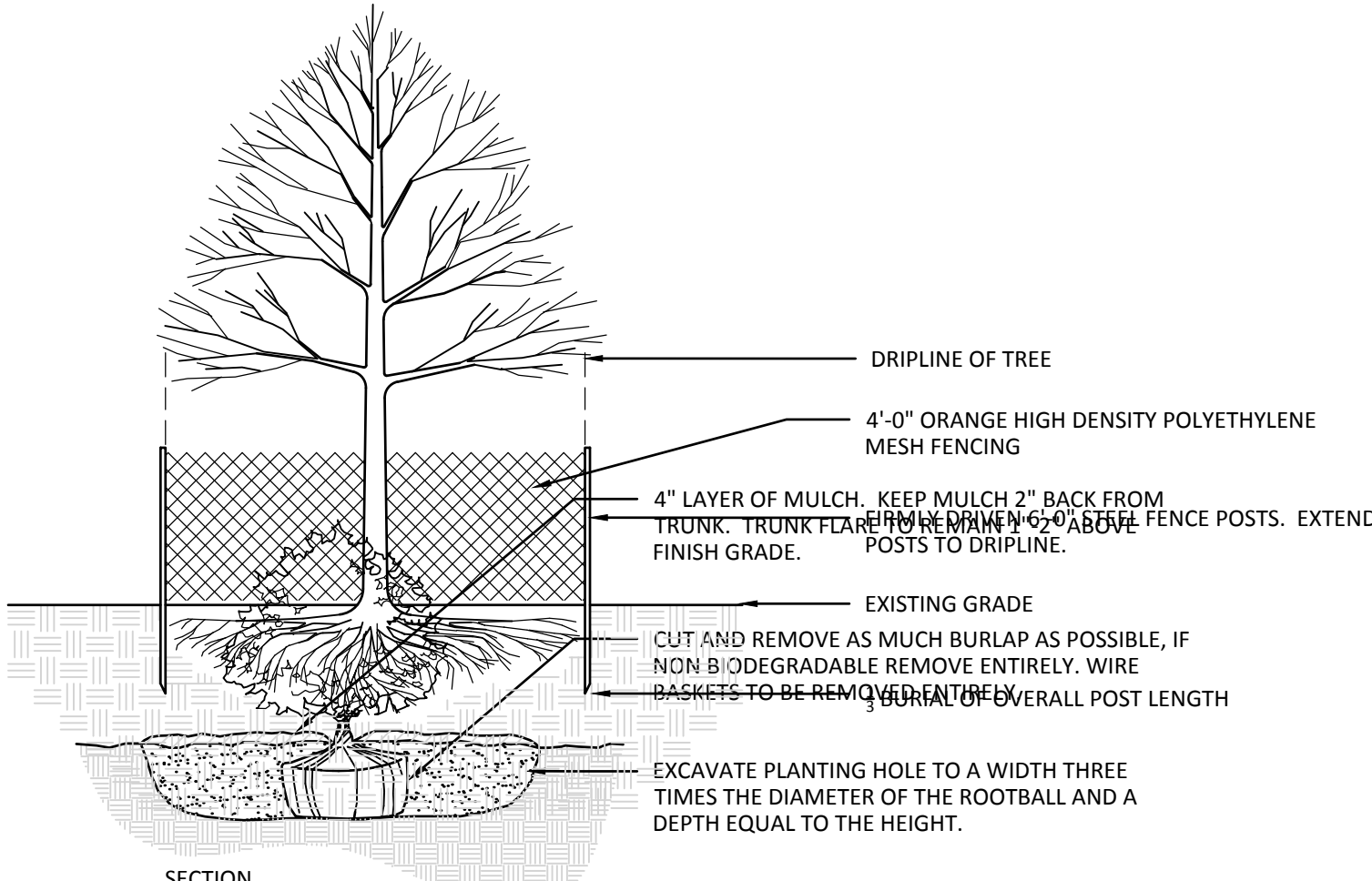
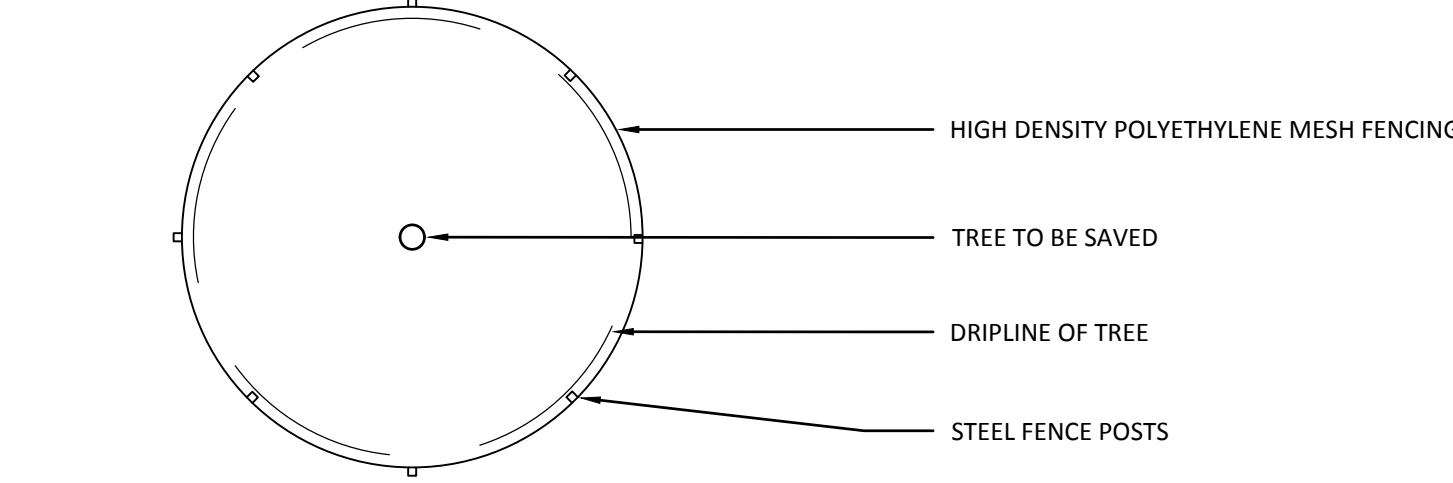
NOTE:
SPACE PLANTS EQUALLY TO PROVIDE CONSISTENT COVER OVER INDICATED PLANTING BED.

GROUNDCOVER PLANTING
(NOT TO SCALE)



NOTES:
BACKFILL PLANTING HOLE WITH EXISTING SOIL AMENDED AS NECESSARY.
BACKFILL HALF THE SOIL AND WATER TO SETTLE OUT AIR POCKETS, COMPLETE BACKFILLING AND REPEAT WATERING.
IF ROOTS ARE CIRCLING THE ROOTBALL EXTERIOR, CUT ROOTS VERTICALLY IN SEVERAL PLACES PRIOR TO PLANTING.
ONLY STAKE TREES SITUATED ON WINDY SITES OR EXPOSED TO SUBSTANTIAL PEDESTRIAN TRAFFIC.

EVERGREEN TREE PLANTING
(NOT TO SCALE)



NOTES:
BACKFILL PLANTING HOLE WITH EXISTING SOIL AMENDED AS NECESSARY.
BACKFILL HALF THE SOIL AND WATER TO SETTLE OUT AIR POCKETS, COMPLETE BACKFILLING AND REPEAT WATERING.
IF ROOTS ARE CIRCLING THE ROOTBALL EXTERIOR, CUT ROOTS VERTICALLY IN SEVERAL PLACES PRIOR TO PLANTING.

TREE PROTECTION
(NOT TO SCALE)

SHRUB PLANTING
(NOT TO SCALE)

TREE PLANTING
(NOT TO SCALE)

REVISIONS


NO.	DATE	DESCRIPTION
1	6/8/17	WETLAND FLAGS
2	7/16/17	LAYOUT CHANGE / TOWN COMMENTS
3	7/17/17	RESPONSE TO COMMENTS
4	8/22/17	RESPONSE TO FINAL COMMENTS
5	9/1/17	FINAL CONDITIONS

DATE: MAY 23, 2017
(See Revisions)

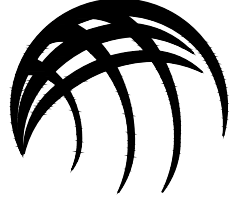
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Project No. 8477

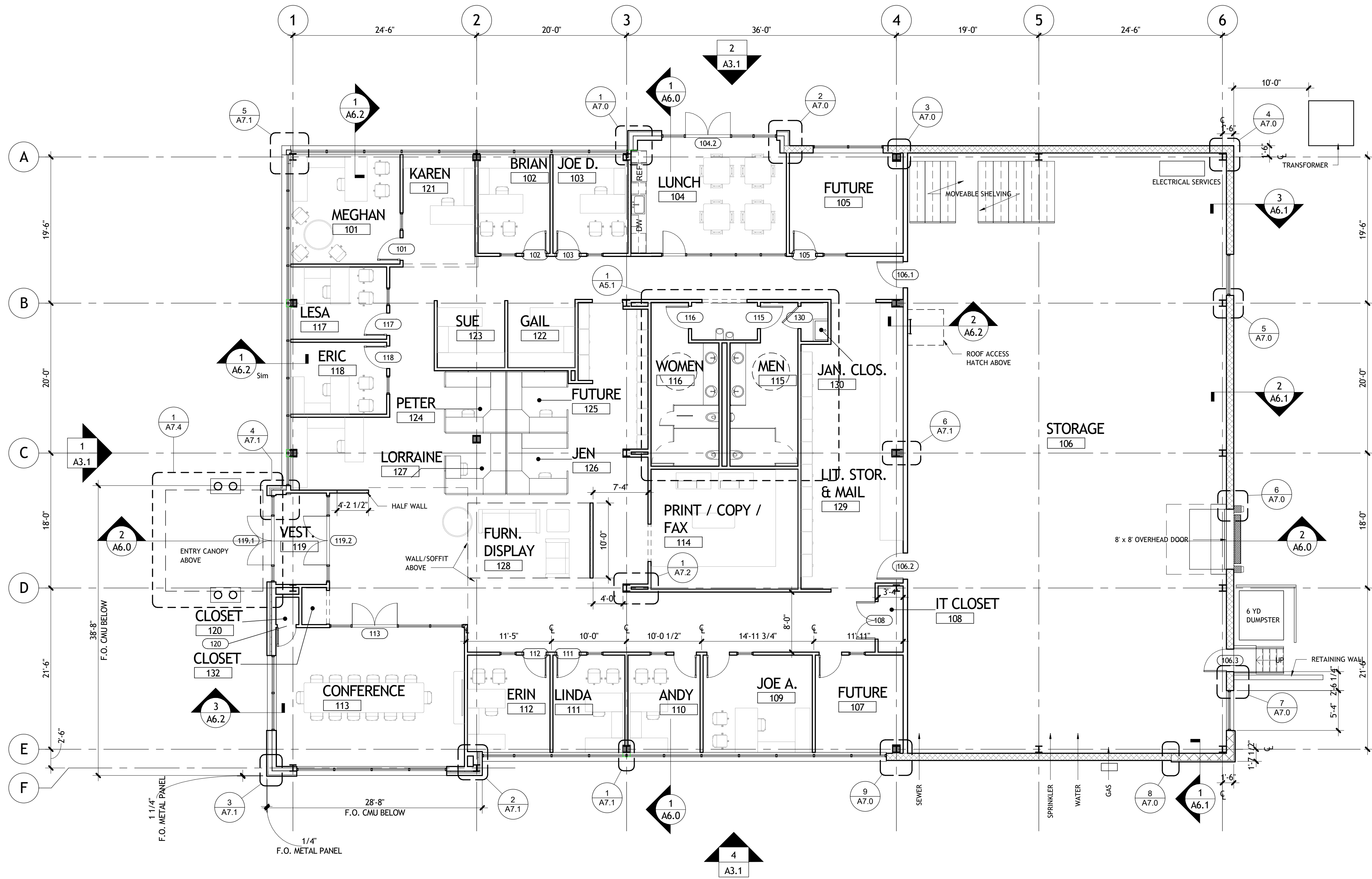
Sheet No. C-8



O'BRIEN & SONS CORPORATE OFFICES
17 TROTTER DRIVE
MEDWAY, MASSACHUSETTS 02053
Prepared for:
BOTTLE CAP LOT, LLC
93 West Street
Medfield, Massachusetts 02052



MERIDIAN ASSOCIATES
500 CUMMINGS CENTER, SUITE 500
WESTBOROUGH, MASSACHUSETTS 01581
TELEPHONE: (508) 971-7600



1 GROUND FLOOR PLAN
SCALE: 1/8" = 1'-0"

- GENERAL PLAN NOTES
- 1.) ALL NEW WALL PARTITIONS ARE TYPE 2 UNLESS OTHERWISE NOTED.
 - 2.) REFER TO A10.1 SHEETS FOR WALL FINISHES.
 - 3.) INSTALL WOOD BLOCKING IN NEW WALLS AS REQUIRED FOR WALL MOUNTING EQUIPMENT AND MILLWORK.

PLAN LEGEND

- NEW DOOR
- NEW WALL
- NEW/RELOCATED FIRE EXTINGUISHER/F.E. CABINET
- LIMIT OF FLOOR FINISH
- N.I.C. NOT IN CONTRACT

DATE: SEPTEMBER, 2017
Proj. No.: 2016068.01
Scale: 1/8" = 1'-0"
Drawn By: JCB
Checked By: SR

PROPOSED FIRST FLOOR PLAN

A1.0

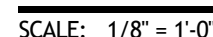
O'BRIEN & SONS
CORPORATE
OFFICE
LOT 1, TROTTER DRIVE,
MEDWAY, MA 02053

O'BRIEN & SONS

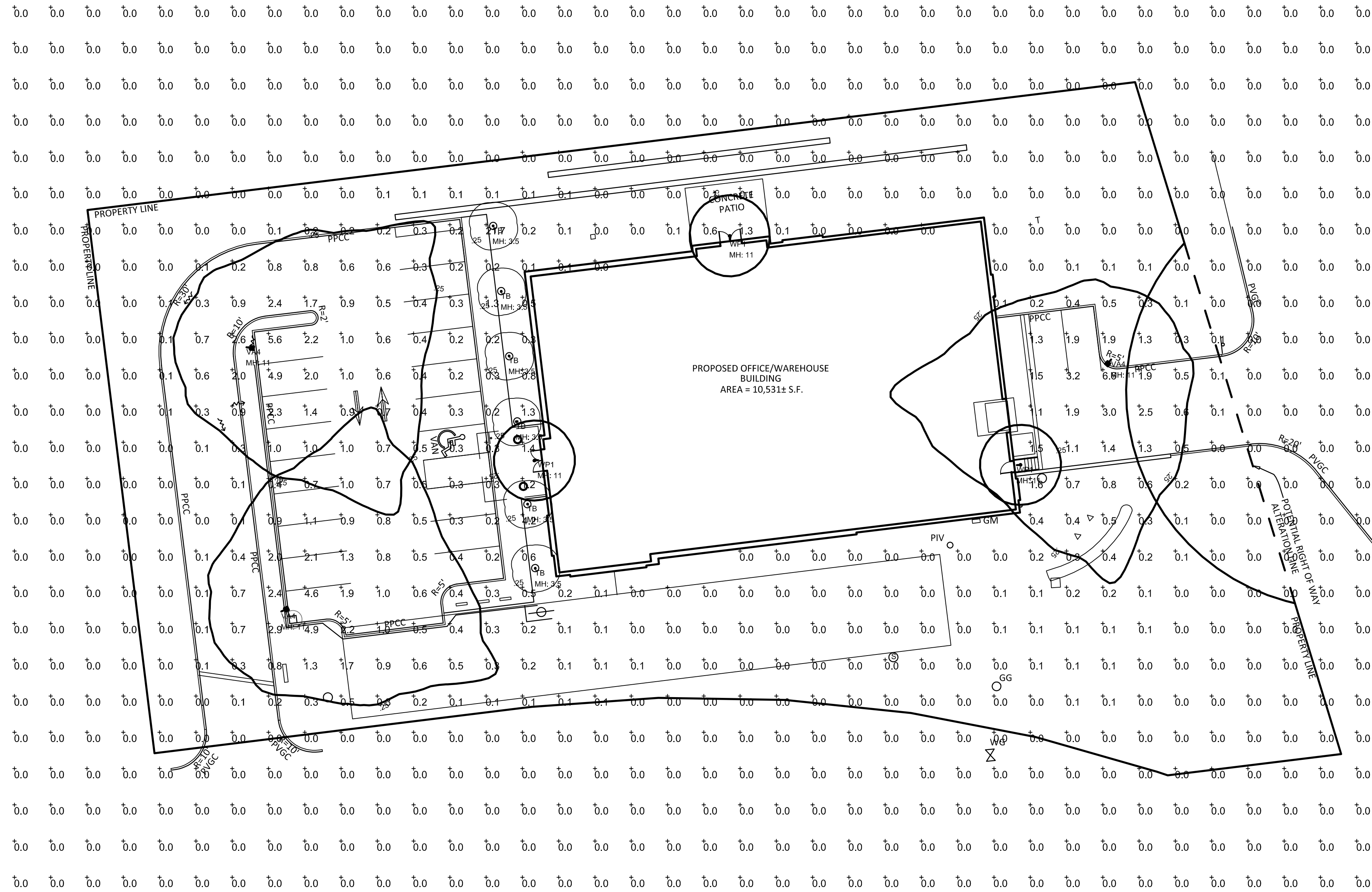
93 WEST STREET
MEDFIELD, MA 02052

G | R | L | A
Gorman Richardson Lewis Architects
239 South Street Hopkinton, MA 01748
T - 508.544.2600 F - 508.435.0072
www.grlarchitects.com

PROJECT
CLIENT
FIRM
KEY PLAN
REVISIONS
REMARKS
COPYRIGHT
SCALE / ORIENTATION
DATA
TITLE
SHEET

Checked By: SR

A3.1

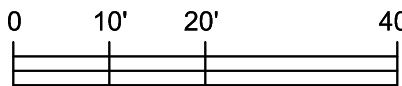


CalcPts_1

Outdoor Luminaire Schedule						
Symbol	Qty	Label	Description	Arm	Lum. Lumens	LLF
	3	WP1	22 380	1	465	0.800
	6	TB	7000BTUR8304240CHUNVS	0	1995	0.800
	3	VA4	VA1-L83-730-T4-F-S-xxxx-xxxx-xxxx	1.5	6773	0.800

Luminaire Location Summary						
LumNo	Label	X	Y	Z	Orient	Tilt
1	VA4	-10398.375	10231.375	11	24.997	10
2	TB	-10328.375	10243.25	3.5	7	0
3	TB	-10330.5	10261	3.5	7	0
4	WP1	-10195.625	10271.75	11	4.434	0
5	WP1	-10327.625	10273.125	11	186.116	0
6	TB	-10333.625	10283.75	3.5	7	0
7	VA4	-10169.625	10300.875	11	229.635	10
8	TB	-10335.625	10301.875	3.5	7	0
9	VA4	-10408	10304.25	11	352.626	10
10	TB	-10337.75	10319.625	3.5	7	0
11	WP1	-10274.75	10334	11	92.553	0
12	TB	-10340	10337.75	3.5	7	0

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts_1	Illuminance	Fc	0.22	21.7	0.0	N/A	N/A



OMNI-LITE, INC.

263 WINN STREET BURLINGTON, MA. 01803
PH # 781-272-2300, FAX # 781-272-0759 www.omnilight.com

PROJECT:
17 Trotter Dr., Medway, MA

CLIENT:
O'Brien

SCALE: 1"=20'

FILE: omni obrien bldg 01.adm

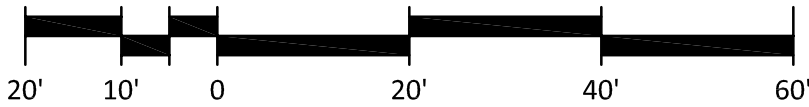
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SALES PERSON: Taylor Hachey

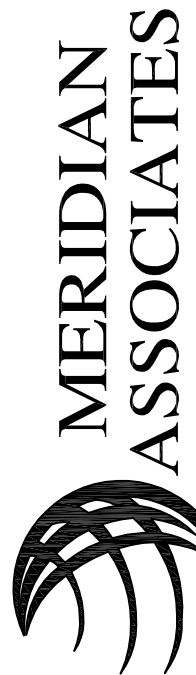
THE VALUES REPRESENTED ARE AN APPROXIMATION GENERATED FROM DATA SUPPLIED BY LAMP MFG. AND TESTING LABS.



SCALE: 1" = 20'



LIGHTING PLAN
O'BRIEN & SONS CORPORATE OFFICES
17 TROTTER DRIVE
MEDWAY, MASSACHUSETTS 02053
Prepared for:
BOTTLE CAP LOT, LLC
93 West Street
Medfield, Massachusetts 02052



69 MILK STREET, SUITE 302
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500 CUMMINGS CENTER, SUITE 5050
BOSTON, MASSACHUSETTS 02115
TELEPHONE: (978) 294-0427

Date:
MAY 23, 2017
(See Revisions)
Scale:
1"=20'
Project No.
8477
Sheet No.
L-1

REVISIONS

NO.	DATE	DESCRIPTION	BY	CHKD.
1	6/8/17	WETLAND FLAGS	MEB	
2	7/6/17	LAYOUT CHANGE / TOWN COMMENTS	RB	
3	7/17/17	RESPONSE TO COMMENTS	RB	
4	8/2/17	RESPONSE TO FINAL COMMENTS	DG	
5	9/4/17	FINAL CONDITIONS	DG	