

IMPROVEMENTS TO: OAKLAND PARK

76 Oakland Street
Medway, Massachusetts

Assesor's Map/Lot: 42-058, 42-057,
Zoning District: Agricultural/Residential I

LIST OF REQUESTED WAIVERS

(See Form Q Sheets in Site Plan Review Application Packet)

- 204-3 A.7.a - Request for limited Traffic Impact Assessment
- 204-3 A.7.b - Request for limited Environmental Impact Assessment
- 204-5 C.1 and .2 - Request for waiver of survey 100' past property line
- 204-5 C.3, 204-5 D.7, and 205-9 F - Request for inventory of trees 18"+ DBH in lieu of 10"+ / 12"+
- 205-9 F part 2 - Request for acceptance of a lower ratio of tree replacement than 1" per 1" of DBH
- 205-3 B.6, 205-3 C.1 and 205-6 H - Request to waive requirement for granite curbing where appropriate to the site development
- 205-3 D.4 - Request to defer sidewalk extension to the site, as the Town is considering extending the sidewalk separately.
- 205-6 G.3 - Request for waiver of wheel stop requirement

DRAWING LIST

- L1.0 Site Context Plan
- L2.0 Illustrative Plan
- L3.0 Existing Conditions Plan
- L3.1 Existing Landscape Inventory & Removals
- L4.0 Site Improvements Plan
- L4.1 Site Improvements Plan Enlargement
- L5.0 Grading & Erosion Control Plan
- L6.0 Landscape Plan
- L6.1 Landscape Plan Enlargement
- L7.0 Architectural Plans - Building
- L7.1 Architectural Plans - Pavilion
- L8.0 Lighting / Photometric Plan
- L9.0 Details
- L9.1 Details
- L9.2 Details
- L9.3 Details
- L9.4 Details
- L9.5 Details
- L9.6 Details
- L9.7 Details
- L10.0 Play Equipment
- C1.1 Drainage & Utilities Plan
- C2.1 Stormwater & Utilities Details
- C2.2 Stormwater & Utilities Details

APPROVED BY MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD

APPROVED BY:

DATE:

Owner / Applicant:

Town Administrator's Office
Town of Medway
155 Village Street
Medway, MA 02053

Project Team:

CBA | Landscape Architects LLC

24 THORNDIKE STREET | CAMBRIDGE MA 02141
phone 617.945.9760 | www.cbaland.com | cba@cbaland.com
landscape architecture | urban design | master planning



Samiotes Consultants Inc.
Civil Engineers + Land Surveyors

20 A Street
Framingham, MA 01701

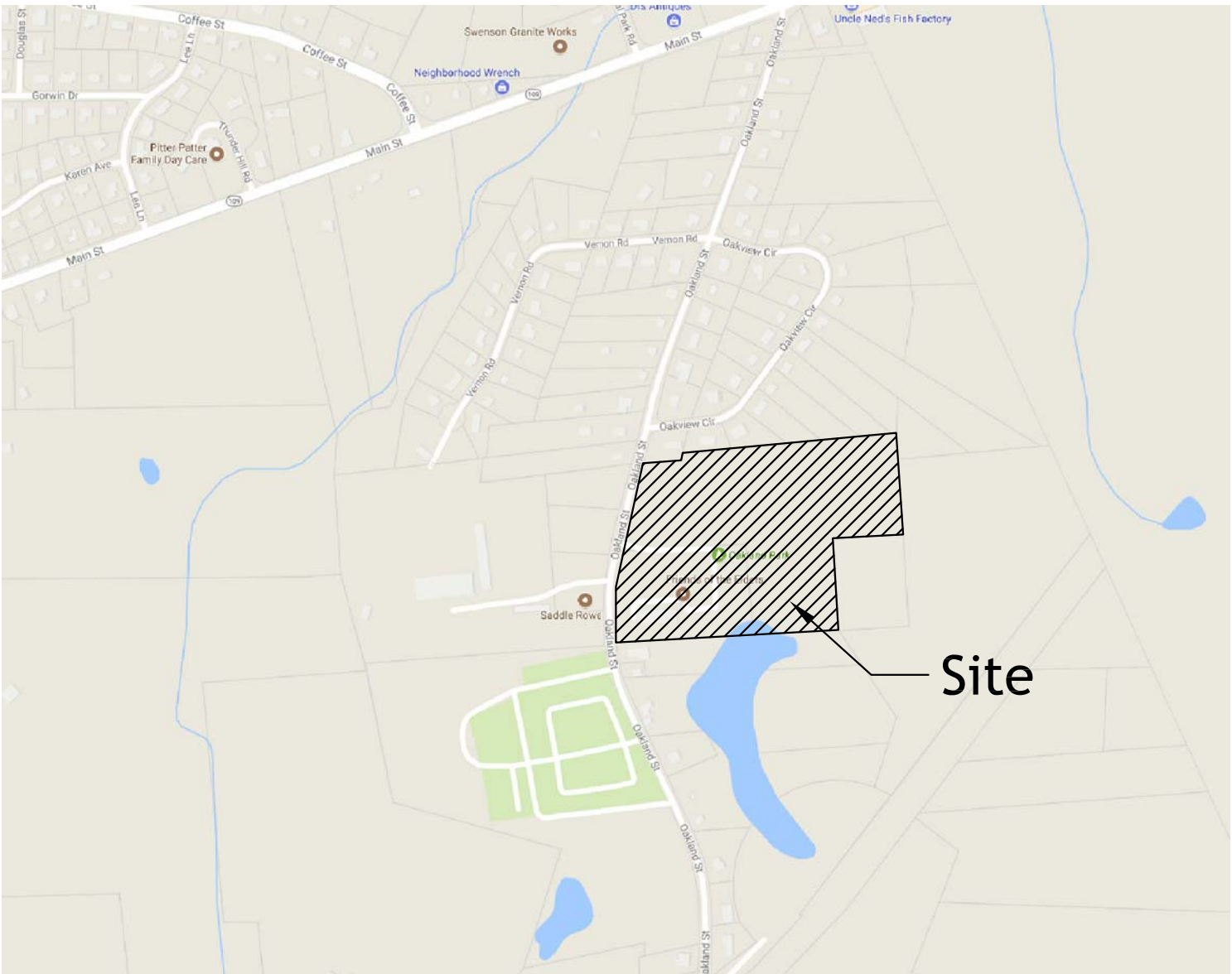
T: 508.877.6688
F: 508.877.8349

www.samiotes.com

CIVILVIEW

30 River Street
Methuen, MA 01844

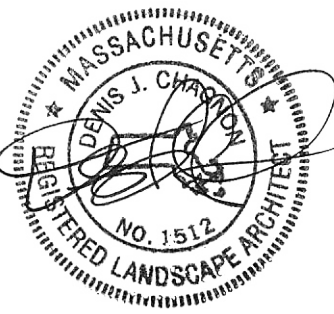
T: 978.416.0203
W: www.CivilVIEWInc.com

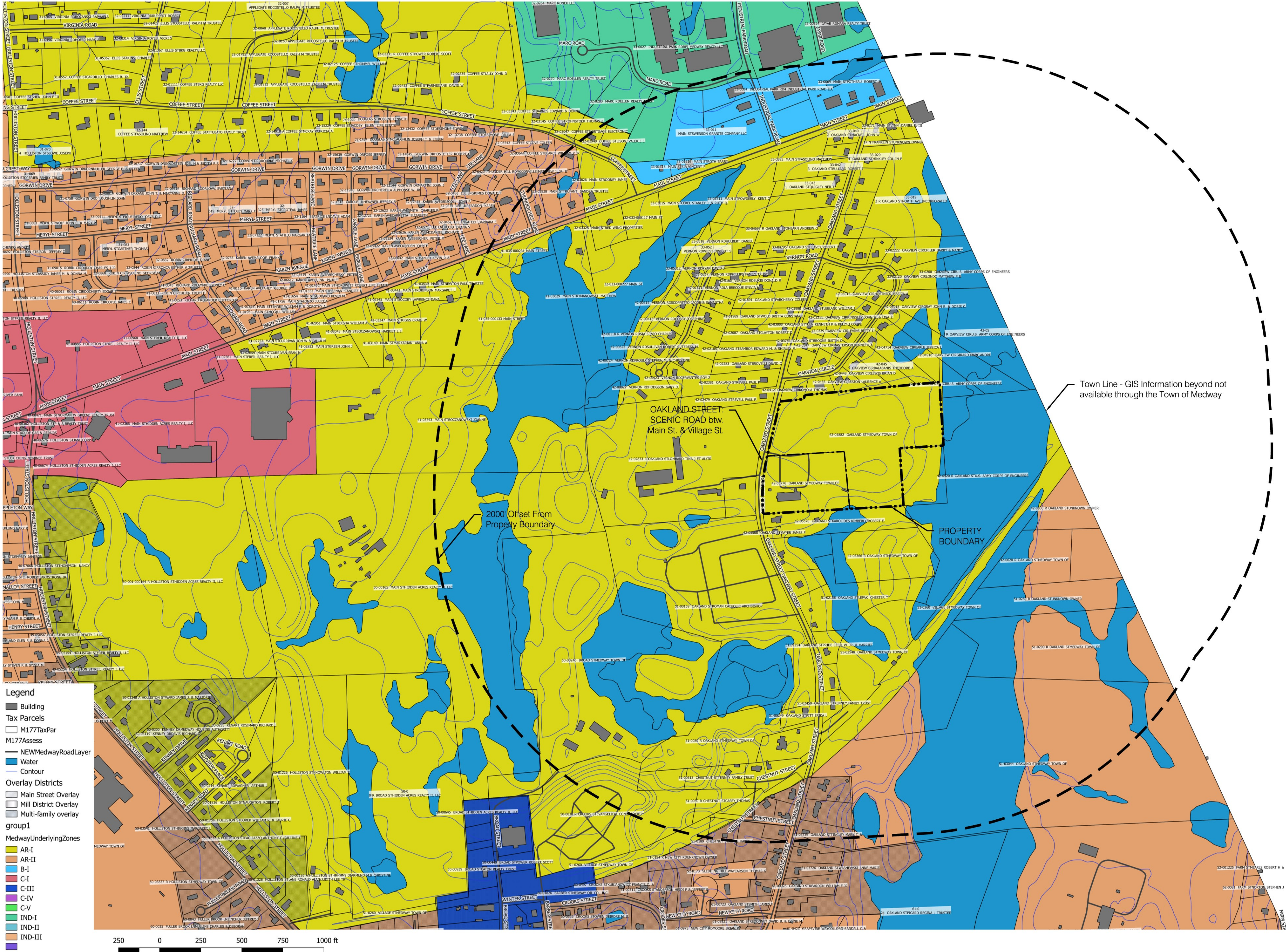


Locus Map
Not to Scale

Site Plan Submission
Revision 1 - Sept. 22, 2017

Prepared by CBA Landscape Architects LLC
Original Submission: Aug. 17, 2017





Legend

- Building
- Tax Parcels
- M177TaxPar
- M177Assess
- NEWMedwayRoadLayer
- Water
- Contour
- Overlay Districts
- Main Street Overlay
- Mill District Overlay
- Multi-family overlay
- group1
- MedwayUnderlyingZones
- AR-I
- AR-II
- B-I
- C-I
- C-III
- C-IV
- C-V
- IND-I
- IND-II
- IND-III

CBA Landscape Architects LLC

24 THORNDIKE STREET | CAMBRIDGE, MA 02141
phone 617.945.9760 | www.cbaland.com | cba@cbaland.com

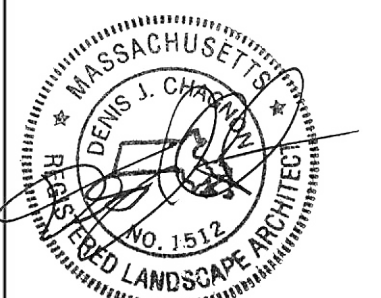
landscape architecture
urban design
master planning

OAKLAND PARK

Site Plan Submission

SITE CONTEXT PLAN

REVISIONS:		
1	09-22-17	P.B. Comments
DATE: 08-17-2017		
SCALE: 1" = 300'-0"		
FILE: OAK.PERMITTING_L1.dwg		
DWN BY: PAH		
CKD BY: DJC		
PROJ. #: 1612B		



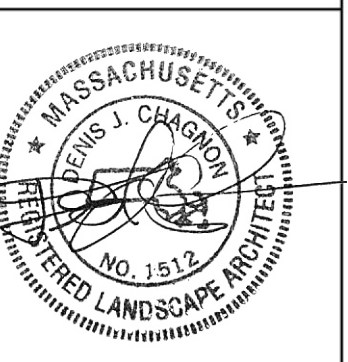
FOR PERMIT ONLY

L1.0



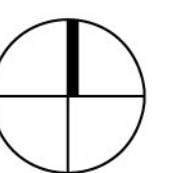
OAKLAND PARK
Site Plan Submission
ILLUSTRATIVE PLAN

REVISIONS:		
1	09-22-17	P.B. Comments
DATE: 08-17-2017		
SCALE: N.T.S.		
FILE: OAK_PERMITTING_L2.dwg		
DWN BY: PAH		
CKD BY: DJC		
PROJ. #: 1612B		



L2.0

FOR PERMIT ONLY



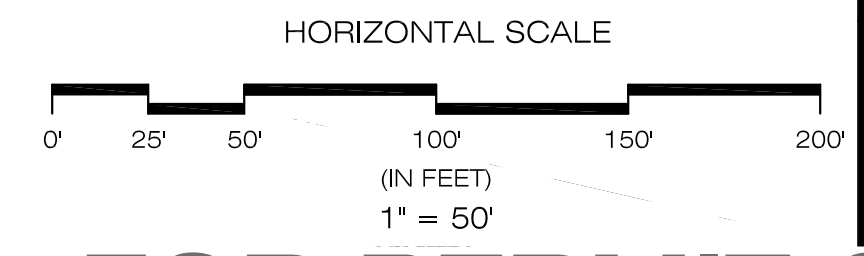


LOCUS MAP
(SCALE: 1:1,000)

LEGEND**NOTES:**
1. EXISTING CONDITIONS INFORMATION GENERATED FROM AN AERIAL SURVEY PERFORMED IN DECEMBER OF 2016 AND AN ON THE GROUND SURVEY PERFORMED IN JANUARY OF 2017 BY CIVILVIEW, INC.
2. PLAN BEARINGS ARE BASED UPON THE MASSACHUSETTS STATE PLANE COORDINATE SYSTEM (NAD83), MAINLAND ZONE PER GPS OBSERVATIONS.
3. ELEVATIONS ARE BASED UPON THE NORTH AMERICAN VERTICAL DATUM (NAVD83) PER GPS OBSERVATIONS.
4. SUBJECT PARCEL IS NOT LOCATED WITHIN A DESIGNATED FLOOD ZONE PER FEMA FLOOD INSURANCE RATE MAP 250501044E DATED JULY 17, 2012.
5. PROPERTY LINES ARE SHOWN BASED UPON A PLAN PREPARED BY OTTE & DWYER, INC. TITLED "PLAN OF LAND, OAKLAND PARK, OAKLAND STREET, MEDWAY, MA 02053" DATED FEBRUARY 7, 2017.

NOTE
For Existing Landscape Inventory, See L3.1

N/E
U.S. ARMY CORPS
OF ENGINEERS
658 VIRGINIA RD
CONCORD, MA 01742
(42-53)



DATE	DESCRIPTION
REVISIONS	
CLIENT:	
CBA LANDSCAPE ARCHITECTS, LLC 24 THORNDIKE STREET CAMBRIDGE, MA 02141	
PROJECT:	
OAKLAND STREET PARK MEDWAY, MA 02053	
DATE ISSUED:	JULY 12, 2017
PROJECT #:	16-09001
PREPARED BY:	AKG
PROFESSIONAL ENGINEER FOR CIVILVIEW, INC.	
30 River Street Medford, MA 01944 Tel: (978) 416-0209 www.CIVILVIEWINC.com	
DRAWING TITLE:	
EXISTING CONDITIONS PLAN	
DRAWING #:	

EC

FOR PERMIT ONLY

OAKLAND PARK

Site Plan Submission
EXISTING CONDITIONS

REVISIONS:

1	09-22-17	P.B. Comments
---	----------	---------------

DATE: 08-17-2017
SCALE: 1" = 50' - 0"
FILE: OAK_Permittig_L-3.dwg
DWN BY: PAH
CKD BY: DJC
PROJ. # : 1612B

L3.0

1. The Contractor shall verify location of and protect all utilities, drainage, and sub-drainage structures prior to starting construction. Call DIG-SAFE (1-888-DIG-SAFE).
2. Contractor shall complete all demolition and removals required to complete the intent of the proposed design.
3. The Owner shall have right of first refusal on all removed materials not indicated for reuse or stockpiling. Contractor is responsible for proper disposal of all refused materials, off-site and in accordance with all local and state regulations.
4. Protect from damage all removed items designated for reuse in the project, or for reuse or stockpiling by the Town of Medway. All materials claimed by the Town for future use shall be delivered by the Contractor to the Department of Public Services storage yard.
5. Protect from damage all trees, shrubs, curbs, paving, and any other site feature that is not designated for removal. (See also Notes 7 and 10 below.)
6. Any damaged item not scheduled for removal shall be restored by the Contractor at no extra charge to Owner.
7. ALL REMOVALS and ALL EXCAVATIONS outside Tree Protection Fencing but within the dripline of existing trees shall be HAND WORK or AIR SPADE ONLY. Cut NO ROOTS without the express permission of Landscape Architect or Owner's Representative. Provide 48 hours notice before all such work in "Hand Work Only" areas to allow Landscape Architect or Owner's Representative to observe work. (See Specifications 01 57 00.)
8. Temporary fencing with construction signage shall be installed around the perimeter of the work and staging areas to secure project site and notify the public of the closure for construction; see Specifications section 01 56 00. The Temporary Fencing shall be the Limit of Work unless otherwise directed in the Field. All public pathways outside the indicated fencing shall remain open.
9. Contractor shall review items to be removed, proposed staging areas, access routes, and intended procedure for accomplishing the Work with the Landscape Architect and Owner's Representative prior to commencement of work.
10. DO NOT REMOVE any existing drainage fabric, soil separator fabric, or other geotextiles under dripline of trees without the approval of the Landscape Architect or the Owner's Representative to avoid damage to feeder roots. (Where necessary, Contractor shall cut fabric and leave areas entangled by roots in place in the ground.)
11. All trees indicated as "Protect and Prune" shall be pruned as needed by a Mass Certified Arborist to remove all dead or diseased wood (Crown Cleaning) and to meet all regulations for clearances (See Specs.)

	Property Line
	Easement Line
	Limit of Work
	Limit of Work & Silt Sock
	Silt Fence
	Typical
	Remove & Dispose
	Remove & Relocate (See Materials Plan)
	Remove & Salvage (For Reuse By Town)
	Over Head Wires
	Scarify Existing Bituminous Concrete
	R&D Bituminous Concrete Paving & Subgrade
	R&D Gravel Parking Area & Subgrade
	R&D Playground & Associated Elements Including Wood Chip Surface & Subgrade
	Wooded Area to be Selectively Cleared and Grubbed
	Sawcut Line
	Existing Tree Line
	Proposed Tree Line
	Item to R&D
	18"+Cal. Tree To Remove (Includes Stump Removal)
	18"+Cal. Tree To Remain (Protect and Prune)
	<18" Cal. Tree To Remain (Protect and Prune)

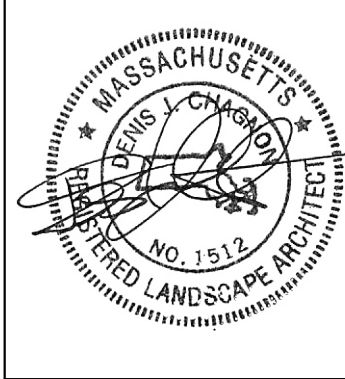
CBA Landscape Architects LLC
24 THORNDIKE STREET | CAMBRIDGE MA 02141
phone 617.945.9760 | www.cbaland.com | cba@cbaland.com
landscape architecture
urban design
master planning

OAKLAND PARK

Site Plan Submission

EXISTING LANDSCAPE INVENTORY

REVISIONS:		
1	09-22-17	P.B. Comme
DATE: 08-17-201		
SCALE: 1" = 30' - (
FILE: OAK_Permitting_L-3.d		
DWN BY:		PA
CKD BY:		DJ
PROJ. # :		1612

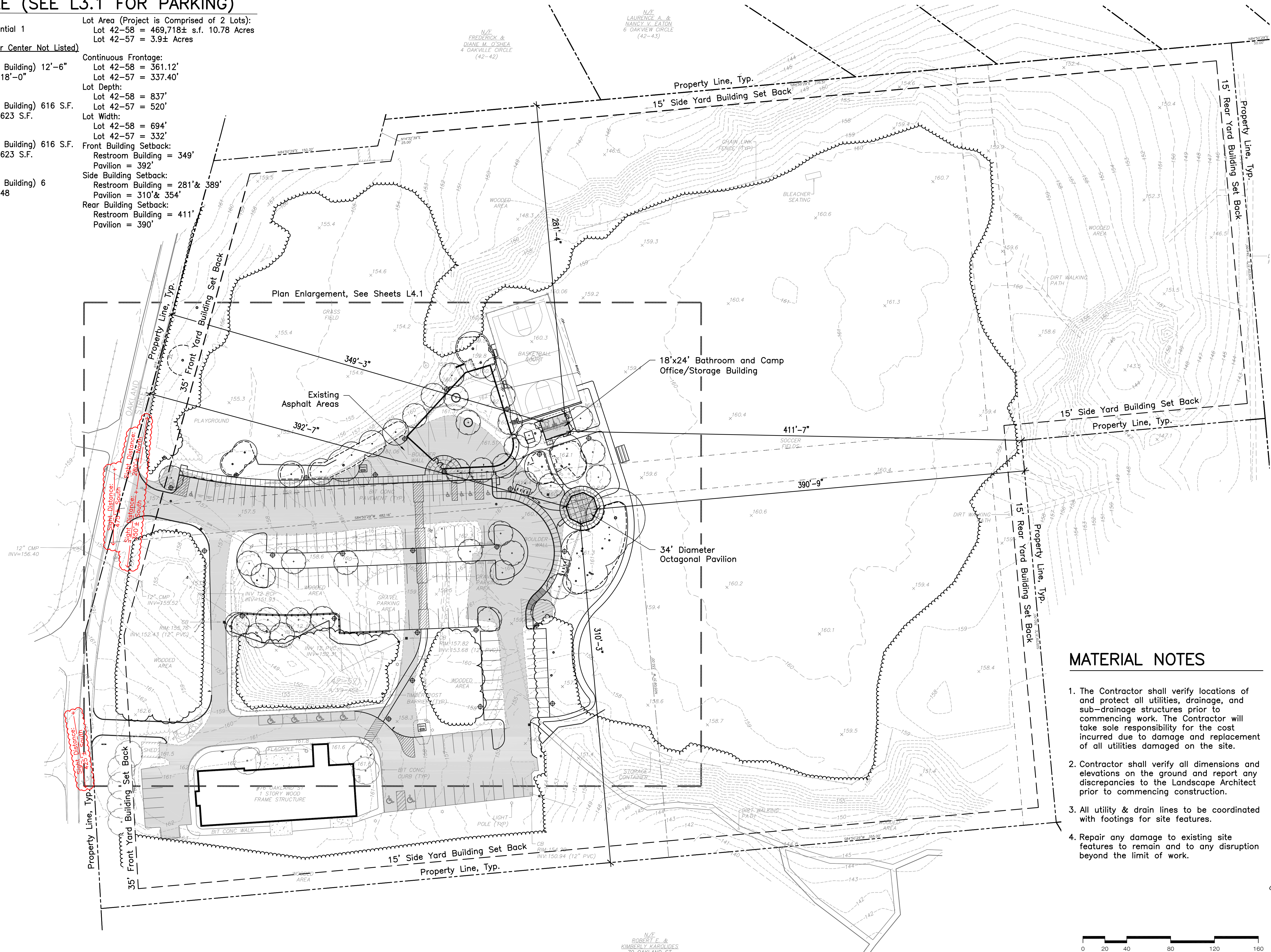


L3.1

FOR PERMIT ONLY

ZONING TABLE (SEE L3.1 FOR PARKING)

Zoning Classification:		Lot Area (Project is Comprised of 2 Lots):	
AR-1 Agricultural-Residential 1		Lot 42-58 = 469,718± s.f. 10.78 Acres	Lot 42-57 = 3.9± Acres
Proposed Structures: (Senior Center Not Listed)			
Building Height:		Continuous Frontage:	
Lot 42-58 = (Restroom Building) 12'-6"		Lot 42-58 = 361.12'	
Lot 42-58 = (Pavilion) 18'-0"		Lot 42-57 = 337.40'	
Lot 42-57 = NA		Lot Depth:	
Lot Coverage:		Lot 42-58 = 837'	
Lot 42-58 = (Restroom Building) 616 S.F.		Lot 42-57 = 520'	
Lot 42-58 = (Pavilion) 623 S.F.		Lot Width:	
Lot 42-57 = NA		Lot 42-58 = 694'	
Gross Floor Area:		Lot 42-57 = 332'	
Lot 42-58 = (Restroom Building) 616 S.F.		Front Building Setback:	
Lot 42-58 = (Pavilion) 623 S.F.		Restroom Building = 349'	
Lot 42-57 = NA		Pavilion = 392'	
Maximum Seating Capacity:		Side Building Setback:	
Lot 42-58 = (Restroom Building) 6		Restroom Building = 281' & 389'	
Lot 42-58 = (Pavilion) 48		Pavilion = 310' & 354'	
Lot 42-57 = NA		Rear Building Setback:	
Number of Employees:		Restroom Building = 411'	
Lot 42-58 = 0		Pavilion = 390'	
Lot 42-57 = NA			



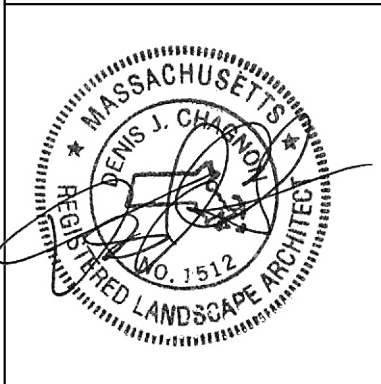
MATERIAL NOTES

1. The Contractor shall verify locations of and protect all utilities, drainage, and sub-drainage structures prior to commencing work. The Contractor will take sole responsibility for the cost incurred due to damage and replacement of all utilities damaged on the site.
2. Contractor shall verify all dimensions and elevations on the ground and report any discrepancies to the Landscape Architect prior to commencing construction.
3. All utility & drain lines to be coordinated with footings for site features.
4. Repair any damage to existing site features to remain and to any disruption beyond the limit of work.

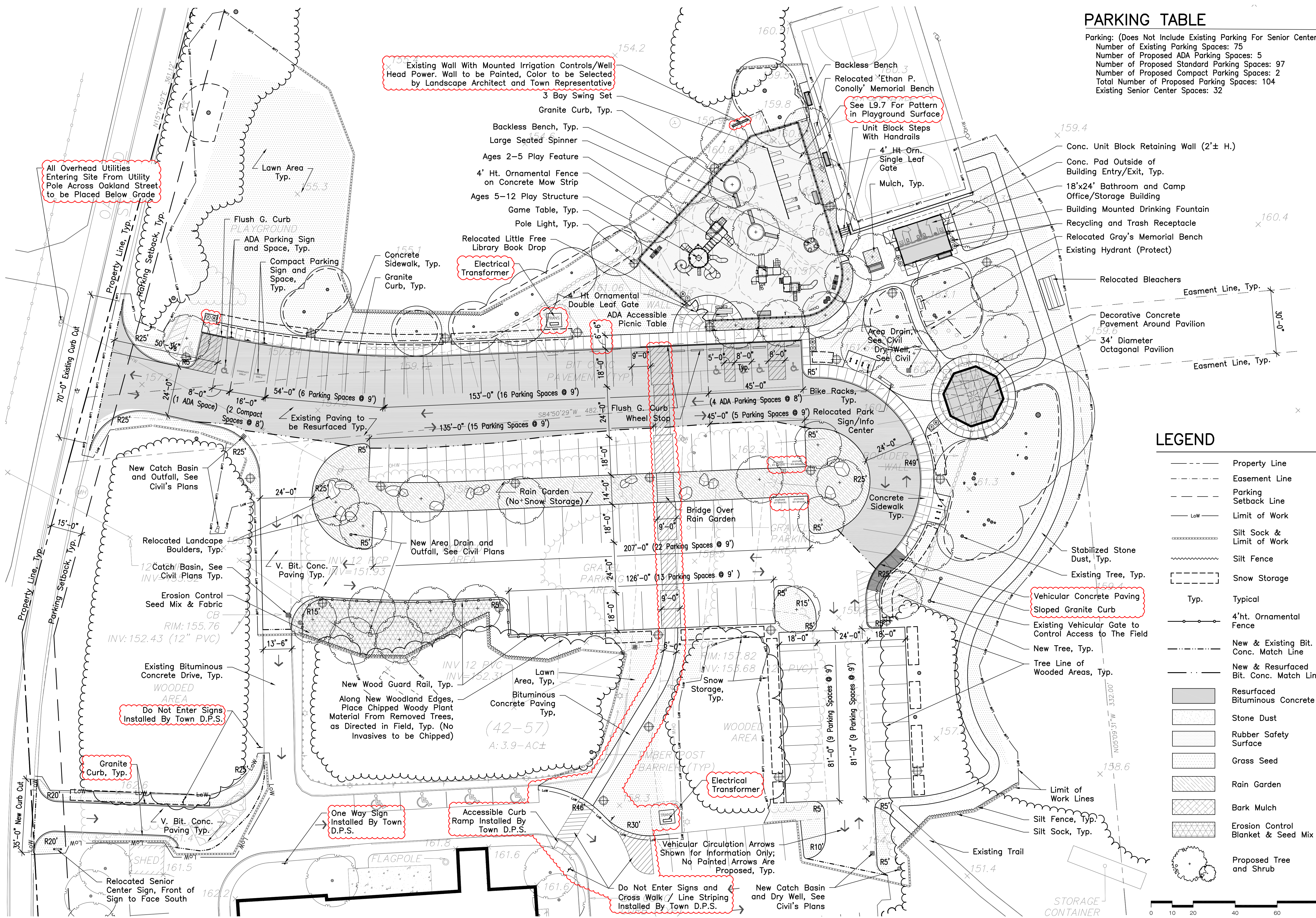
CBA Landscape Architects LLC
24 THORNDIKE STREET | CAMBRIDGE, MA 02141
phone 617.945.9760 | www.cbald.com | cba@cbald.com
landscape architecture
urban design
master planning

OAKLAND PARK
Site Plan Submission
SITE IMPROVEMENTS PLAN

REVISIONS:	
1	09-22-17 P.B. Comments
DATE: 08-17-2017	
SCALE: 1" = 40' - 0"	
FILE: OAK_PERMITTING_L4.dwg	
DWN BY: PAH	
CKD BY: DJC	
PROJ. #: 1612B	



L4.0



PARKING TABLE	
Parking: (Does Not Include Existing Parking For Senior Center)	
Number of Existing Parking Spaces:	75
Number of Proposed ADA Parking Spaces:	5
Number of Proposed Standard Parking Spaces:	97
Number of Proposed Compact Parking Spaces:	2
Total Number of Proposed Parking Spaces:	104
Existing Senior Center Spaces:	32

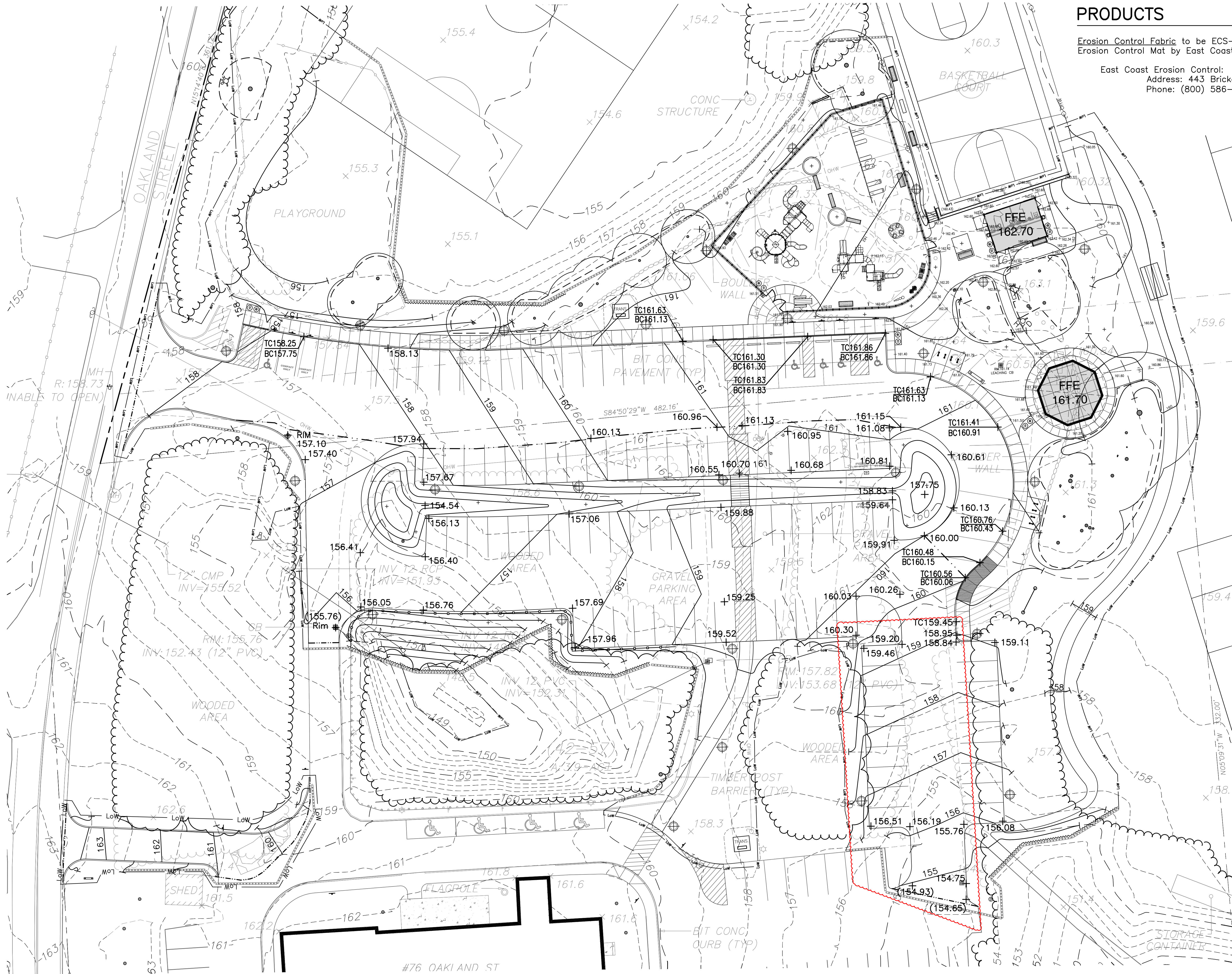
LEGEND	
	Property Line
	Easement Line
	Parking Setback Line
	Limit of Work
	Silt Sock & Limit of Work
	Silt Fence
	Snow Storage
	Typical
	4'ht. Ornamental Fence
	New & Existing Bit. Conc. Match Line
	New & Resurfaced Bit. Conc. Match Line
	Resurfaced Bituminous Concrete
	Stone Dust
	Rubber Safety Surface
	Grass Seed
	Rain Garden
	Bark Mulch
	Erosion Control Blanket & Seed Mix
	Proposed Tree and Shrub

CBA Landscape Architects LLC
24 THORNDIKE STREET CAMBRIDGE, MA 02141
phone 617.945.9760 cba@cbland.com www.cbland.com
landscape architecture
urban design
master planning

OAKLAND PARK
Site Plan Submission
SITE IMPROVEMENTS PLAN ENLARGEMENT

REVISIONS:	
1	09-22-17 P.B. Comments
DATE: 08-17-2017	
SCALE: 1" = 20' - 0"	
FILE: OAK_Permittin_L4.dwg	
DWN BY: PAH	
CKD BY: DJC	
PROJ. #: 1612B	

L4.1



PRODUCTS

Erosion Control Fabric to be ECS-1B Single Net Straw Biodegradable Rolled Erosion Control Mat by East Coast Erosion Control or Approved Equal

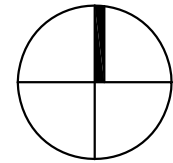
East Coast Erosion Control:
Address: 443 Bricker Road, Bernville, PA 19506
Phone: (800) 586-8496 Web: www.eastcoasterosion.com

GRADING NOTES

1. The Landscape Contractor shall verify location of and protect all utilities, drainage, and sub-drainage structures prior to commencing work.
2. Landscape Contractor shall verify all dimensions and elevations on the ground and report any discrepancies to the Landscape Architect prior to commencing construction.
3. Grade stakes to be set for approval by The Landscape Architect prior to installation of gravel bases and prior to all paving, edges, and walls.
4. All transitions to existing grades to be smooth and gradual.
5. Cross slopes and slopes in rubber play areas are not to exceed 1.9% in any direction.
6. Grade surfaces to assure positive drainage away from all structures and to prevent ponding of surface drainage.
7. Pitch evenly between spot grading. Any discrepancies not allowing an even pitch to occur shall be reported to the Landscape Architect prior to continuing work.
8. Handicap Accessible Areas shall be in conformance with the rules and regulations of the Architectural Access Board and the American With Disabilities Act.
9. All utility & drain lines to be coordinated with footings for site features.
10. Repair any damage to existing site features to remain and to any disruption beyond the limit of work.
11. ALL REMOVALS & EXCAVATIONS outside Tree Protection Fencing but within the dripline of existing trees shall be HAND WORK or AIR SPADE ONLY. Cut NO ROOTS without the express permission of Landscape Architect or Owner's Representative. Provide 48 hours notice before all such work in "Hand Work Only" areas to allow Landscape Architect or Owner's Representative to observe work.

LEGEND

- Property Line
- Easement Line
- Limit of Work
- Silt Sock & Limit of Work
- Silt Fence
- Existing Contour
- Proposed Contour
- New to Existing Bit. Conc. Match Line
- New to Resurfaced Bit. Conc. Match Line



FOR PERMIT ONLY

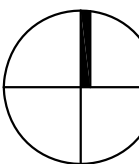
CBA Landscape Architects LLC
24 THORNDIKE STREET CAMBRIDGE MA 02141
phone 617.945.9760 www.cbaland.com cba@cbalands.com
landscape architecture
urban design
master planning

OAKLAND PARK
Site Plan Submission
GRADING & EROSION CONTROL PLAN

REVISIONS:	
1	09-22-17 P.B. Comments



L5.0

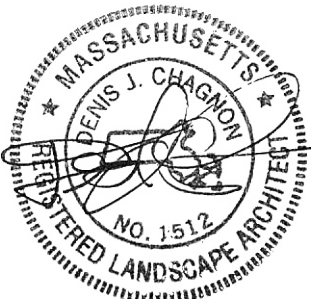


OAKLAND PARK

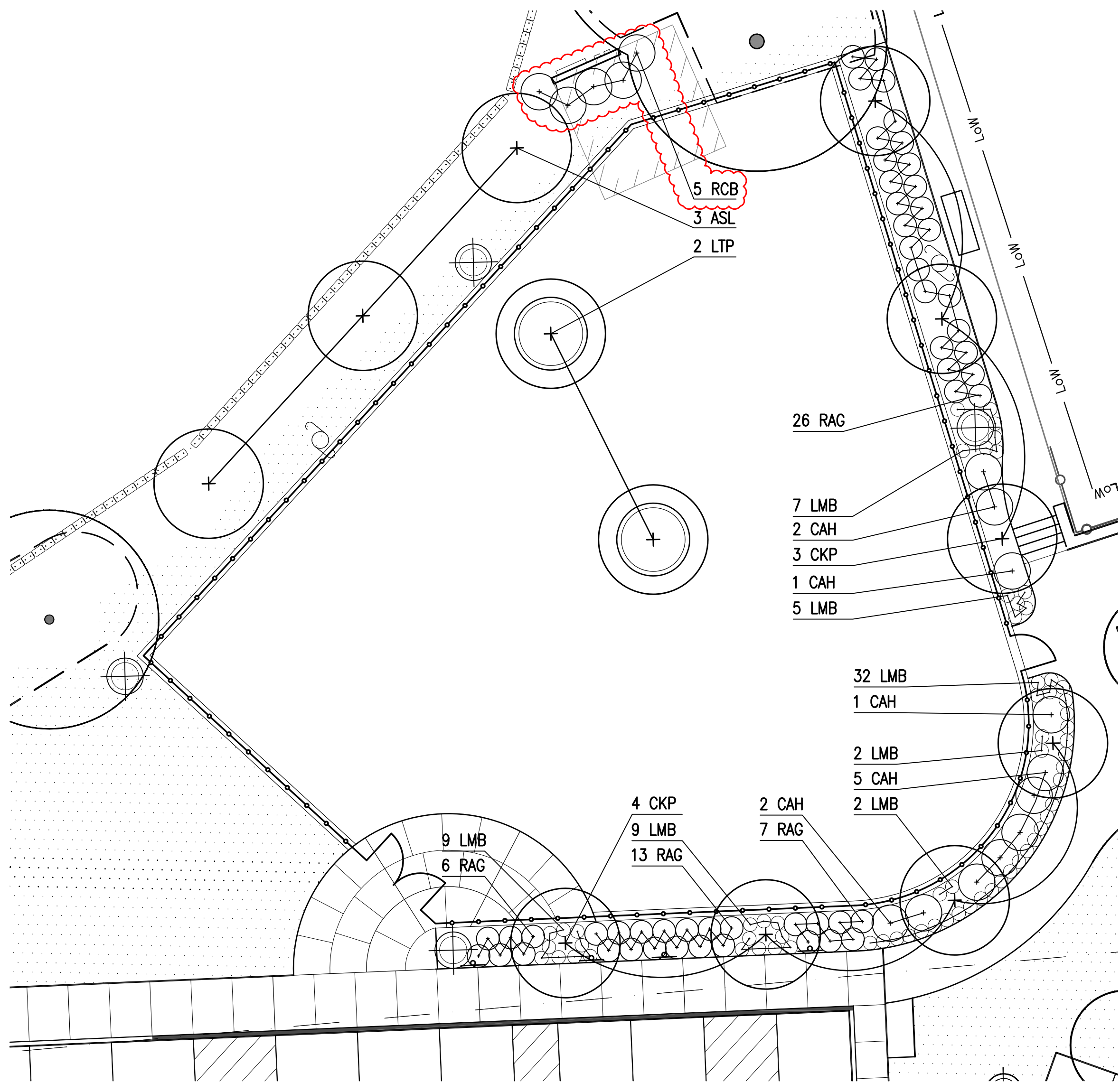
Site Plan Submission

LANDSCAPE PLAN

REVISIONS:	
09-22-17	P.B. Comments
DATE: 08-17-2017	
SCALE: 1" = 20' - 0"	
FILE: OAK_PERMITTING_L6.dwg	
DOWN BY:	PAH
CKD BY:	DJC
PROJ. # :	1612B

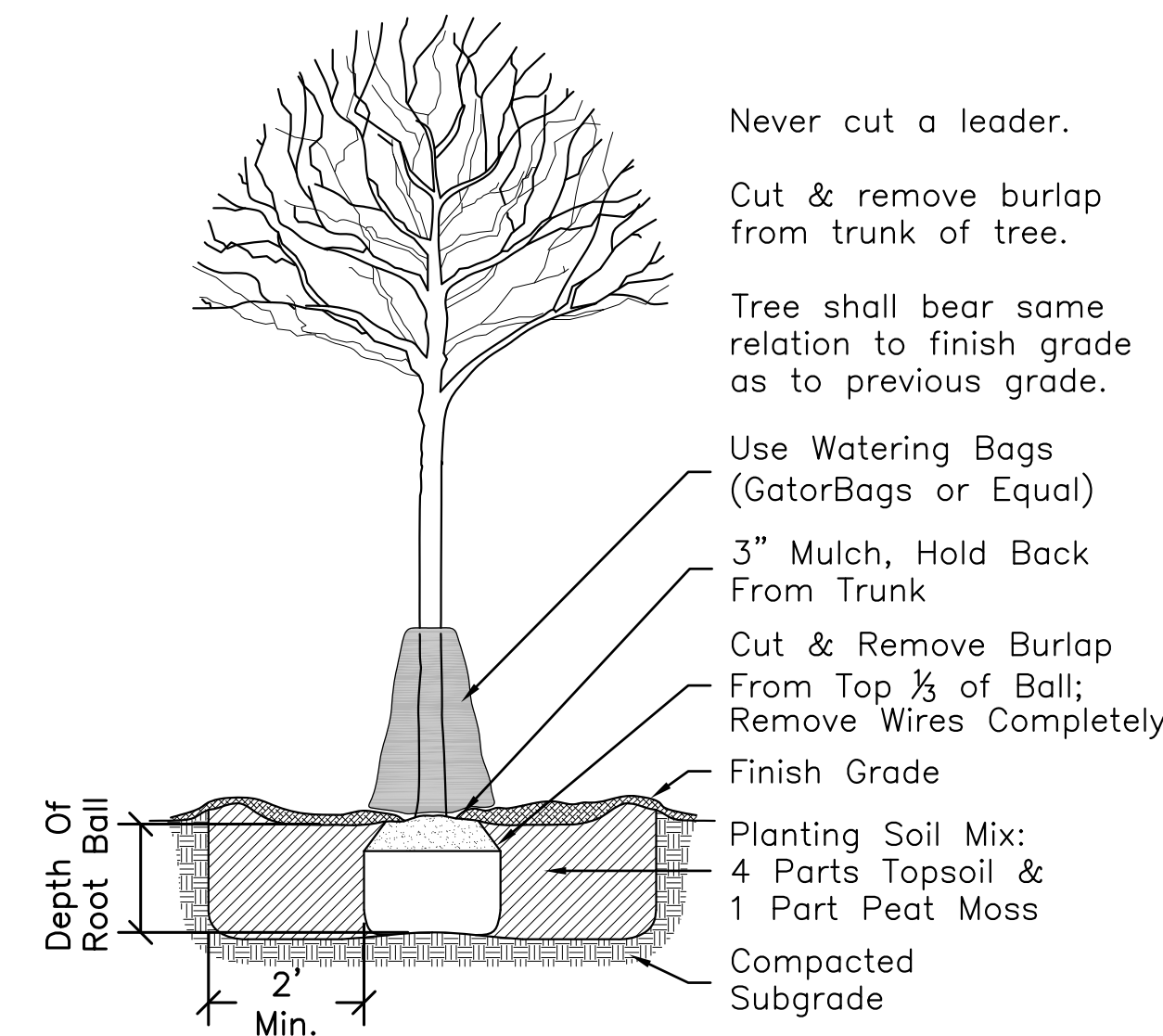


L6.0

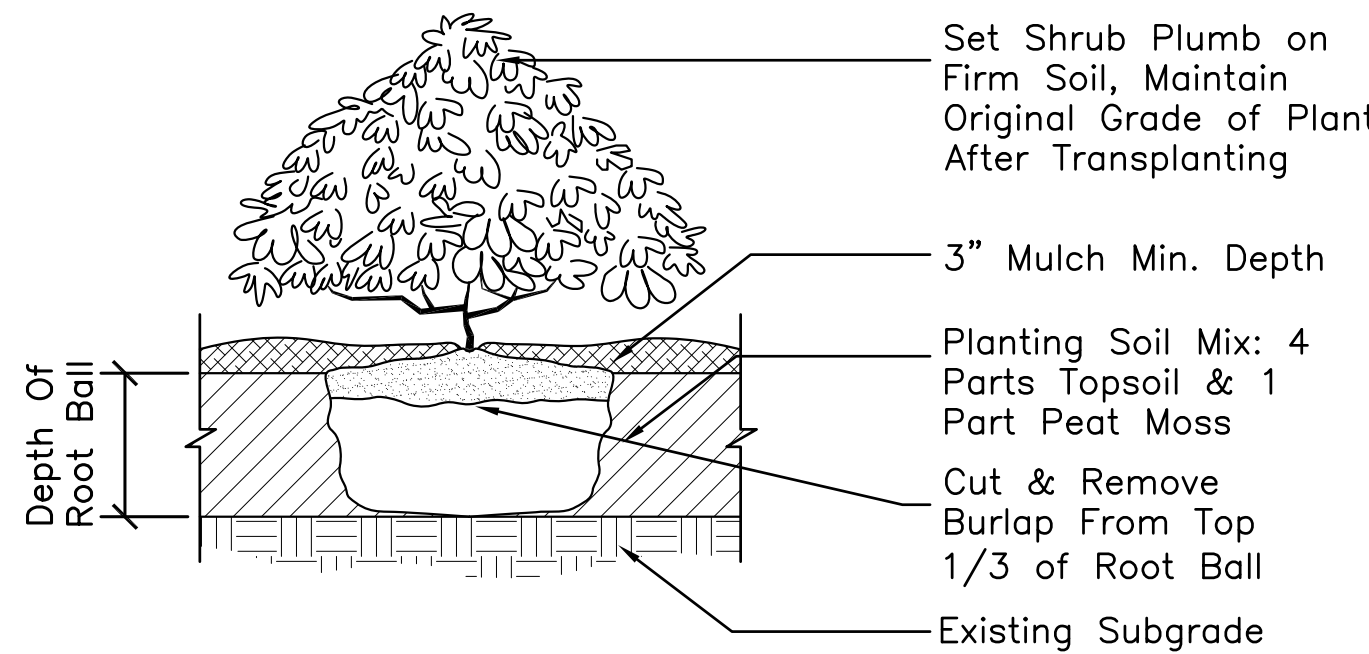


Plan Enlargement – See Sheet L6.0 For Overall Planting Plan

Scale: 1"=10'-0"

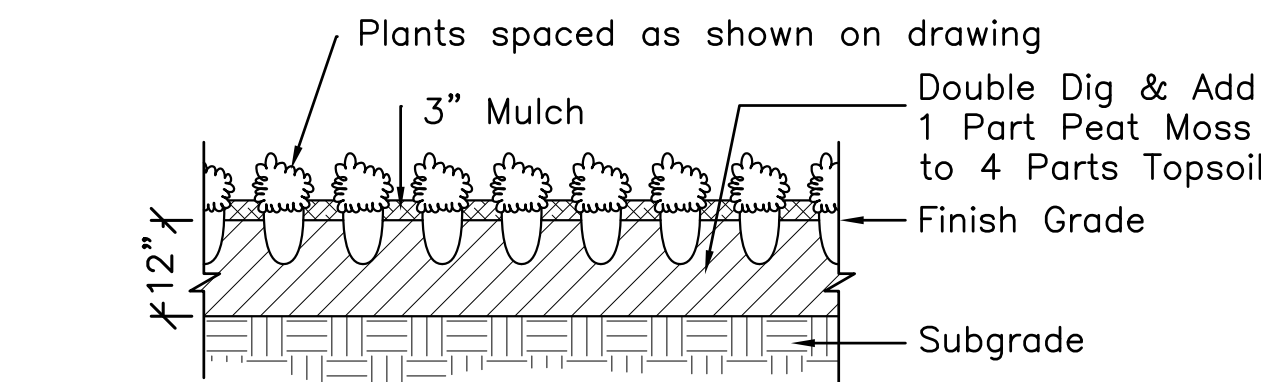


1 Tree Planting
Scale: 3/8" = 1'-0"



NOTE:
1. New shrub beds to have a minimum of one foot planting soil.

2 Shrub Planting
Scale: 1/2" = 1'-0"



3 Perennial Planting
Scale: 1/2" = 1'-0"

PLANT LIST

TREES

SYM	QTY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
ARO	8	Acer rubrum 'October Glory'	October Glory Red Maple	3"-3.5" CAL.	Native
ASL	3	Acer Saccharum 'Legacy'	Legacy Sugar Maple	3"-3.5" CAL.	Native
CKP	7	Cladrastis kentukea 'Perkins Pink'	Yellowwood 'Perkins Pink'	3"-3.5" CAL.	Native
LIS	2	Liquidambar styraciflua	American Sweetgum	3"-3.5" CAL.	Native
LTP	2	Liriodendron tulipifera	Tulip Tree	3"-3.5" CAL.	Native
QPG	8	Quercus palustris	Green Pillar Pin Oak	3"-3.5" CAL.	Native
QUR	6	Quercus rubra	Red Oak	3"-3.5" CAL.	Native

SHRUBS

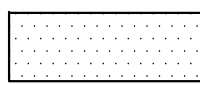
SYM	QTY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
CAH	11	Clethra alnifolia 'Hummingbird'	Hummingbird Summersweet	2'-3' HT	Native
RCB	5	Rhododendron catawbiense 'Boule de Neige'	Boule de Neige Rhododendron	3'-4' HT	
RAG	52	Rhus aromatica 'Gro-Low'	Grow Low Sumac	18"-24" HT	Native

PERENNIALS

SYM	QTY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
LMB	62	Liriope muscari 'Big Blue'	Big Blue Lilyturf	#1 Pot	15"

SEED MIX

Type



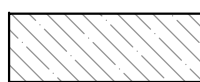
Grass Seed Mix to be Versaturf by Tuckahoe Turf Farms or Approved Equal

20% American Kentucky Bluegrass, 15% Award Kentucky Bluegrass, 15% Hampton Kentucky Bluegrass, 15% Victory Chewings Fescue, 15% Jasper Creeping Red Fescue, 20% Manhattan Perennial Ryegrass

Tuckahoe Turf Farms:

Address: Church Street (Rt. 91) Wood River Jct., RI 02894

Phone: (800) 556-6985



Rain Garden Seed Mix to be New England Wet Meadow Seed Mix by New England Wetland Plants or Approved Equal, Species to Include or be Similar to Below.

Grasses

River bank Wild Rye (Elymus riparius), Virginia Wild Rye (Elymus virginicus), Creeping Red Fescue (Festuca rubra), Switch Grass (Panicum virgatum), Blunt Broom Sedge (Carex scoparia), Fowl Bluegrass (Poa palustris) Tufted Hairgrass (Deschampsia cespitosa), Redtop (Agrostis alba), Creeping Bentgrass (Agrostis stolonifera), Soft Rush (Juncus effusus), Wool Grass (Scirpus cyperinus)

Wildflowers

Blue Vervain (Verbena hastata), Calico Aster (Aster lateriflorus), Nodding Bur Marigold (Bidens cernua), Common Sneezeweed (Helenium autumnale), Showy Tick Trefoil (Desmodium canadense), Boneset Eupatorium perfoliatum), New England Aster (Aster novaeangliae), Spotted Joe Pye Weed (Eupatorium maculatum), New York Ironweed (Vernonia noveboracensis), Monkey Flower (Mimulus ringens)

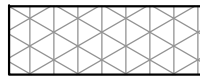
Shrubs

Elderberry (Sambucus canadensis), Silky Dogwood (Cornus amomum), Arrow Wood (Viburnum dentatum), Steeple Bush (Spiraea tomentosa)

New England Wetland Plants:

Address: 820 West Street, Amherst, MA 01002

Phone: (413) 549-4000 Email: info@newp.com



Erosion Control Seed Mix and Biodegradable Erosion Control Fabric, (See L5.0 for Fabric)

Erosion Control Seed Mix to be New England Erosion Control/Restoration Mix for Dry Sites by New England Wetland Plants or Approved Equal, Species to Include or be Similar to Below.

Creeping Red Fescue, (Festuca rubra), Canada Wild Rye, (Elymus canadensis), Annual Ryegrass, (Lolium multiflorum), Perennial Ryegrass, (Lolium perenne), Blue Grama, (Bouteloua gracilis), Little Bluestem, (Schizachyrium scoparium), Indian Grass, (Sorghastrum nutans), Rough Bentgrass, (Agrostis scabra), Upland Bentgrass, (Agrostis perennans).

New England Wetland Plants:

Address: 820 West Street, Amherst, MA 01002

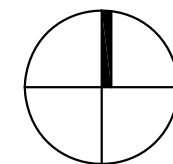
Phone: (413) 549-4000 Email: info@newp.com

PLANTING NOTES

- The Contractor shall protect all utilities prior to starting construction.
- The Contractor shall supply all plant materials in quantities sufficient to complete all planting shown on this drawing.
- All plant materials to conform to guidelines established by the American Standard for Nursery Stock published by the American Assn. of Nurserymen.
- Landscape Architecture to tag at nursery and approve all plant materials prior to installation.
- All plants to be placed or staked on the site for approval by the Landscape Architect prior to installation.
- If the Plant List does not agree with the Planting Plan, the Plan shall be followed.
- All plant beds to receive 3" un-dyed shredded bark mulch; supply sample for approval by Landscape Architect.
- No substitution of plant materials shall be allowed without approval of Landscape Architect.
- All plant material shall include a 1 year guarantee which begins when project has reached substantial completion. All replacement plant material will also carry a 1 year guarantee that begins at time of planting.
- Maintenance shall begin immediately after an area is planted and shall continue until final acceptance. The minimum maintenance period shall be ninety (90) calendar days after completion of all plant installations. Watering and mowing shall be done by the Contractor for the full 90 days.
- All trees indicated as "Protect and Prune" shall be pruned as needed by a Mass Certified Arborist to remove all dead or diseased wood (Crown Cleaning) and to meet all regulations for clearances (See Specs.)

LEGEND

- Property Line
- Easement Line
- LoW Limit of Work
- Silt Sock & Limit of Work
- Silt Fence
- Grass Seed
- Rain Garden
- Erosion Control Blanket & Seed Mix
- Shrubs & Perennials



© Copyright 2007 these drawings are the intellectual property of C.F.P. and shall not be copied or disclosed to any unauthorized parties in part or its entirety without our written permission, and they shall not be used for construction unless approved by a C.F.P. Representative.

Structure Erection Installation of this structure is to be done with a competent supervisor in the construction trades. This supervisor must be capable of reading the drawing(s) & following Cedar Forest Products' installation instructions using good construction practices and procedures. The contractor will be required to shim, cut and make adjustments of fitting for proper building erection.

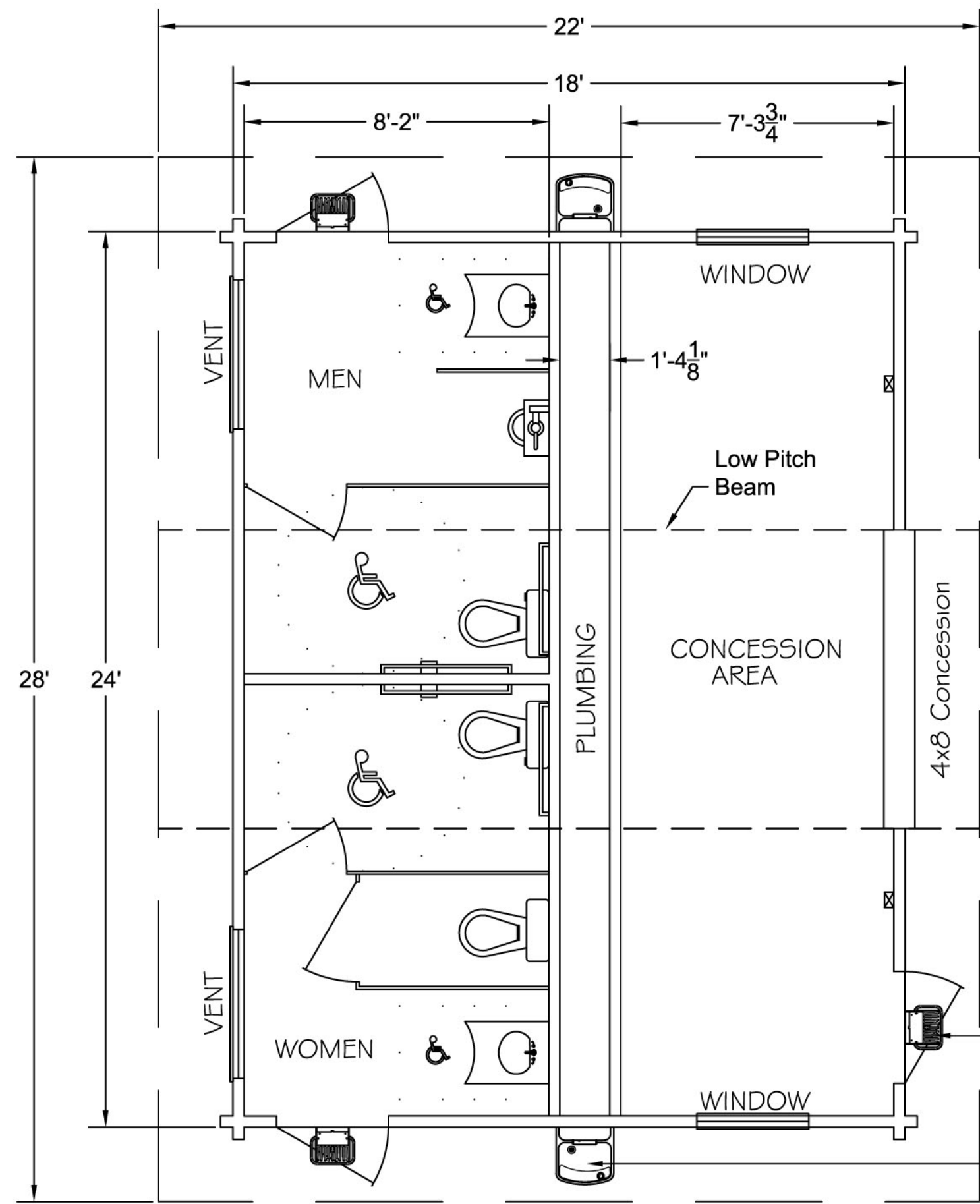
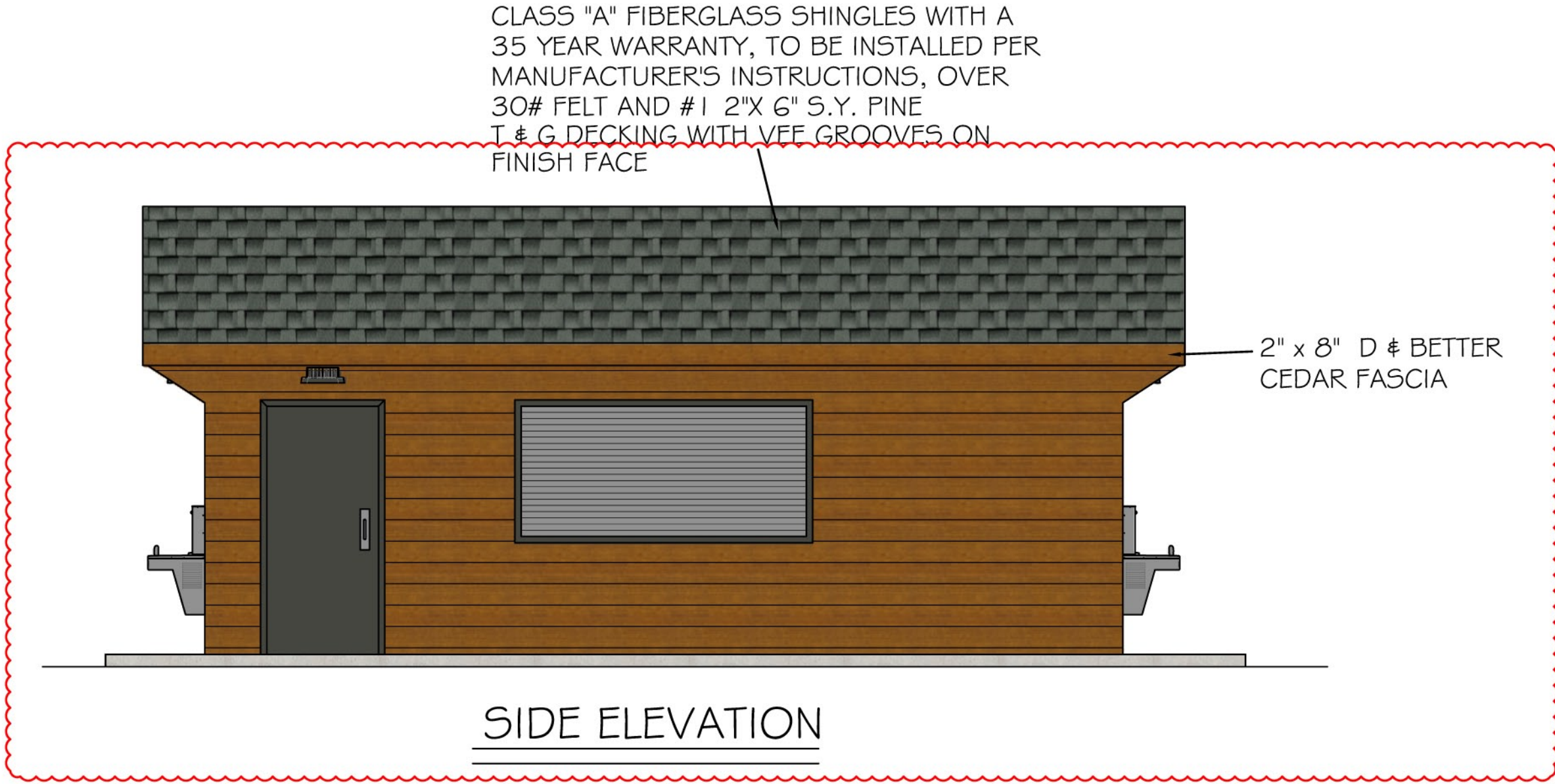
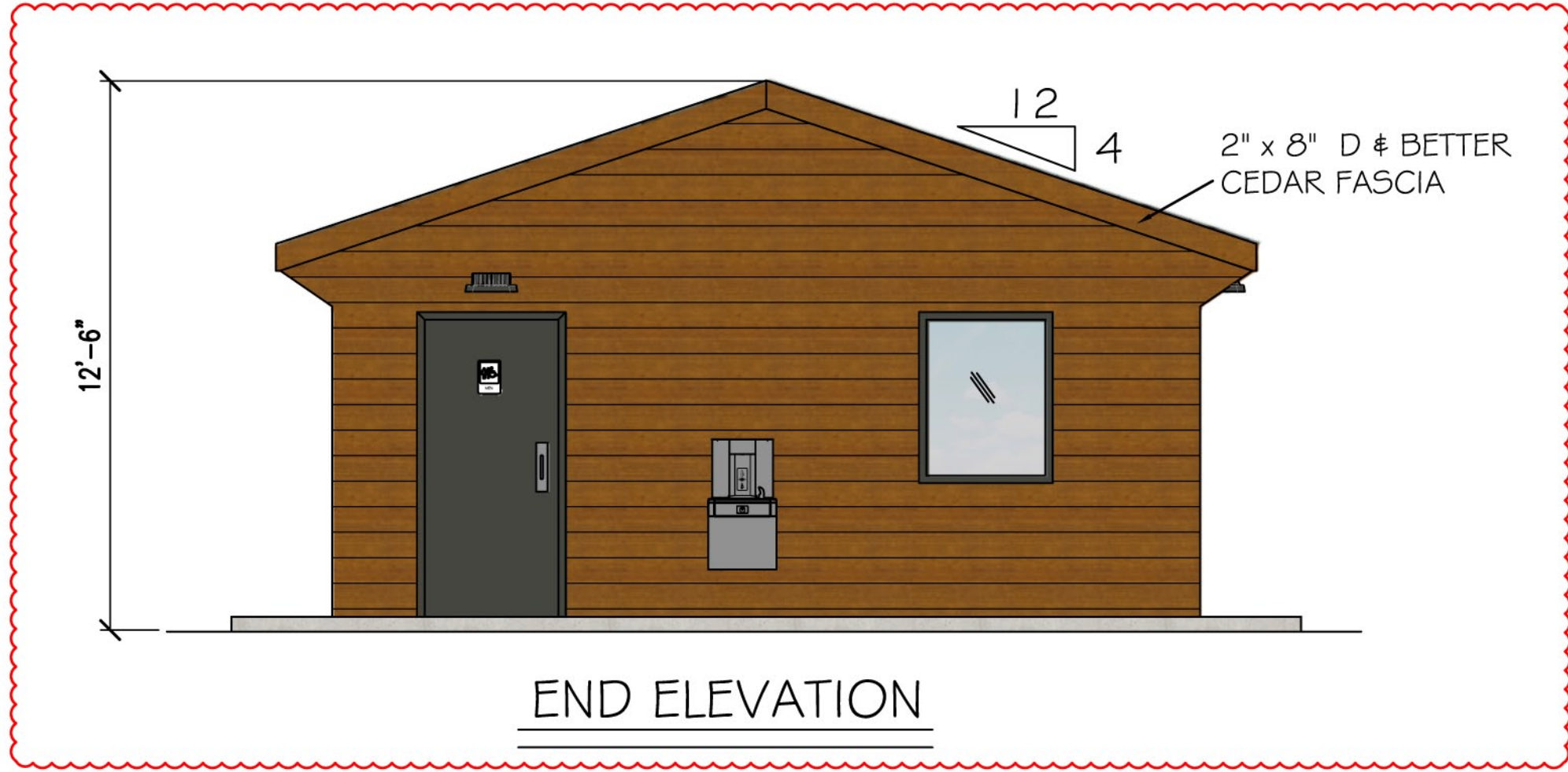
Returns: After receipt of materials, the general contractor is responsible for the condition. No merchandise can be returned without written authorization. Merchandise with return authorization must be in saleable condition. A 35% restocking fee will be charged. Merchandise to be returned must be shipped insured and freight prepaid.

Cedar Forest Products will not be liable for any unauthorized field work purchases to repair/replace/furnish materials. Any purchases must have prior written approval from Cedar Forest Products.

THE FOLLOWING WILL BE THE RESPONSIBILITY OF OTHERS

1. ALL CONSTRUCTION SHOULD MEET STATE & LOCAL BLDG. CODE RMTS.
2. ASSUMED SOIL BEARING CAPACITY = 3,000 P.S.F. ALL FOOTINGS TO BEAR ON UNDISTURBED SOIL.
3. CONSULT WITH A LOCAL REGISTERED STRUCTURAL ENGINEER IF SOIL BEARING CONDITIONS ARE OTHER THAN ABOVE.
4. DESIGN, EXCAVATION AND CONSTRUCTION OF THE STRUCTURE(S) FOUNDATION MUST BE VERIFIED BY A REGISTERED STRUCTURAL ENGINEER.
5. DETERMINE ALL DESIGN LOADS PER LOCAL CODES.
6. CONCRETE TO BE 3,000 P.S.I. COMPRESSIVE STRENGTH IN 28 DAYS.
7. REINFORCING STEEL TO BE A.S.T.M. A-305 DEFORMED.
8. ALL CONSTRUCTION SURVEYING AND FIELD VERIFICATION OF ALL DIMENSIONS.
9. PROVIDE AND INSTALL ALL CONCRETE, REINFORCING STEEL, & ANCHOR BOLTS.
10. UNLOAD ALL TRUCK(S) DELIVERING C.F.P. MATERIALS.
11. ERECTION OF THE STRUCTURE(S).

NOT FOR CONSTRUCTION



FLOOR PLAN

Colors

- Roof Shingles to be "Slate"
- Wood Siding & Trim to be "Chestnut"
- Powdercoated Metal to be "Brown/Grey Ral. 6008"
- Lights to be "Dark Bronze"
- Drinking Fountain to be "Stainless Steel"

Wall Light (See L8.0)

Drinking Fountain (By Others)



P.O. BOX 145
WEST OLIVE, MI 49460
800-552-9495
WWW.CEDARFORESTPRODUCTS.COM

REVIEWED BY:

DEALER NAME:
CITY/STATE:
SALESPERSON:

M.E. O' Brien and Sons
—

OWNER NAME:
CITY/STATE/ZIP:

MODEL: GAR2228

Oakland Park
Medway, MA

REVISION DATES

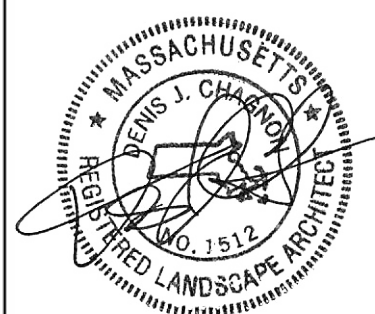
REV: 5-25-17
REV:
REV:

DRAWN BY: JES

DATE: 5-24-17

SHEET:
1 OF 1

REVISIONS:		
1	09-22-17	P.B. Comments
DATE: 08-17-2017		
SCALE: N.T.S.		
FILE: OAK_PERMITTING_L7.dwg		
DWN BY: PAH		
CKD BY: DJC		
PROJ. #: 1612B		



CBA Landscape Architects LLC
24 THORNDIKE STREET
CAMBRIDGE, MA 02141
phone 617.945.9760
www.cbaland.com
cbs@cballand.com
landscape architecture
urban design
master planning

OAKLAND PARK

Site Plan Submission
ARCHITECTURAL PLAN - BUILDING

18'x24' Bathroom and Camp Office / Storage Building

FOR PERMIT ONLY

L7.0

6. CONCRETE TO BE 3,000 P.S.I. COMPRESSIVE STRENGTH IN 28 DAYS.
7. REINFORCING STEEL TO BE A.S.T.M. A-305 DEFORMED.
8. ALL CONSTRUCTION SURVEYING AND FIELD VERIFICATION OF ALL DIMENSIONS.
9. PROVIDE AND INSTALL ALL CONCRETE, REINFORCING STEEL, & ANCHOR BOLTS.
10. UNLOAD ALL TRUCKS/ DELIVERING C.F.P. MATERIALS.
11. ERECTION OF THE STRUCTURE(S).

FOR PERMIT ONLY



Photometric Plan

Scale: 1"=40'-0"

Outdoor Luminaire Schedule						
Symbol	Qty	Label	Description	Lum. Lumens	LLF	Filename
	26	L1	90510_US_LITMS_PAT_LED_30K_V0	1805	0.900	90510_US_LITMS_PAT_LED_30K_V00 A032
	3	W1	KAXW LED P1 30K R4 MVOLT	3416	0.900	KAXW_LED_P1_30K_R4_MVOLT.ies

Luminaire Location Summary						
LumNo	Label	X	Y	Z	Orient	Tilt
1	L1	685705.625	2880322.25	14	0	0
2	L1	685761	2880304	14	0	0
3	L1	685751.75	2880178	14	0	0
4	L1	685484.875	2880174.12	14	0	0
5	L1	685813.125	2880173.87	14	0	0
6	L1	685547.125	2880170.37	14	0	0
7	L1	685519.5	2880114.12	14	0	0
8	L1	685603.875	2880113.87	14	0	0
9	L1	685788	2880106.12	14	0	0
10	L1	685681.875	2880099.62	14	0	0
11	L1	685802.25	2880034.5	14	0	0
12	L1	685736.875	2880031.87	14	0	0
13	L1	685454.875	2880231.62	14	0	0
14	L1	685513.5	2880243	14	0	0
15	L1	685577.75	2880240.75	14	0	0
16	L1	685641.125	2880243.12	14	0	0
17	L1	685667.5	2880277	14	0	0
18	L1	685704	2880246.75	14	0	0
19	L1	685790.875	2880262.75	14	0	0
20	L1	685835.875	2880277	14	0	0
21	L1	685764.875	2880230.87	14	0	0
22	L1	685610.75	2880172.12	14	0	0
23	L1	685675	2880174.87	14	0	0
24	L1	685733.125	2880102.5	14	0	0
25	L1	685675	2880056.37	10	0	0
26	L1	685653.25	2880021.12	10	0	0
27	W1	685815.125	2880297.87	7.5	20.556	0
28	W1	685791.375	2880289.87	7.5	199.359	0
29	W1	685799.25	2880275.75	7.5	287.241	0

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts_1	Illuminance	Fc	0.14	11.9	0.0	N.A.	N.A.

Pavilion Light(s)

(1) 12"x12" VR4 Compact Fluorescent by Lithonia Lighting or Approved Equal



KAXW
LED Wall Luminaire

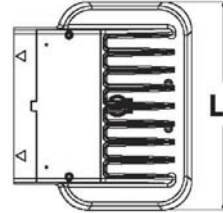
Catalog Number	
Notes	
Type	

Introduction

This feature-rich luminaire embodies the highest level of functionality, making it the perfect choice for most building mount applications. The optics are specifically designed to maximize the light in the desired area making it the smart choice for building-mounted doorway and pathway illumination on nearly any type of facility. By providing the maximum amount of light at minimal cost, the KAXW is the perfect choice for new installations or retrofit installations replacing up to 400W MH.

Specifications

Length: 14" (354mm)
Width: 12" (304mm)
Height: 5" (127mm)
Weight (max): 19.7 lbs (8.9kg)

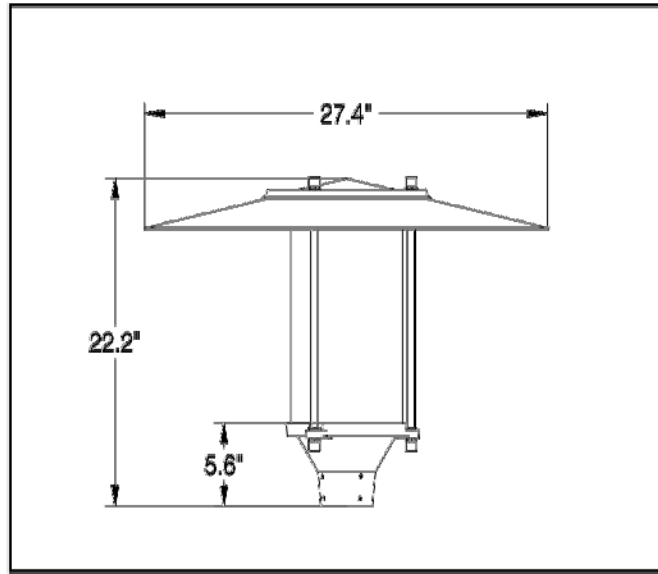


Building Mounted Light

HW Patina LED

louis poulsen

Design: Louis Poulsen



Light source	Voltage	Weight	Electric shock protection	Ingress protection
26W LED/3000K 26W LED/4000K	120-277V	19 lbs	CL	IP 44, Wet location

Recommended cleaning substances:
Wipe off dust with a dry, soft cloth. Remove greasy spots etc. with a soft cloth dampened in lukewarm water (<122° F/ 50° C) with a mild detergent.

Warning: Scouring powder and similar substances will scratch surfaces.

All installation is subject to local code and jurisdiction.

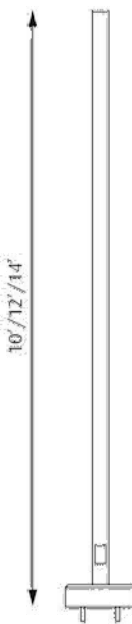
Consult a qualified electrician to ensure correct branch circuit conductor.

The installer must ensure that the foundation is stable and can support the luminaire's weight.

Light Fixture

louis poulsen

POLE ROUND STRAIGHT



Design:
Louis Poulsen A/S

Weight:
Min: 25 lbs. Max: 35 lbs.

Finish:
Brushed aluminum, Black, graphite grey, grey, natural painted aluminum or white, powder coated.

Material:
Aluminum.

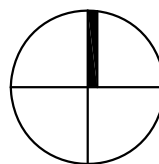
Mounting:
Base cover dimension: 14" diameter. Base plate: Mounted to a concrete base with 4 anchor bolts on a bolt circle of 8.0" diameter. Installation: Refer to mounting instruction download for installation details.



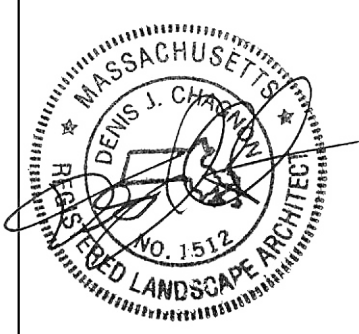
Light Pole

Light Pole with Fixture

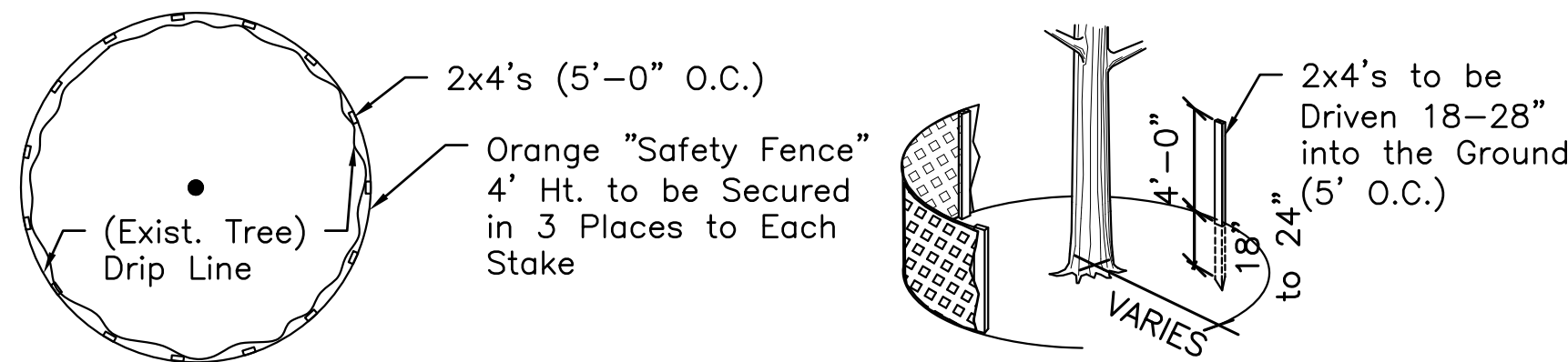
FOR PERMIT ONLY



REVISIONS:		
1	09-22-17	P.B. Comments
DATE: 08-17-2017		
SCALE: Varies		
FILE: OAK_PERMITTING_L8.dwg		
DWN BY: PAH		
CKD BY: DJC		
PROJ. #: 1612B		



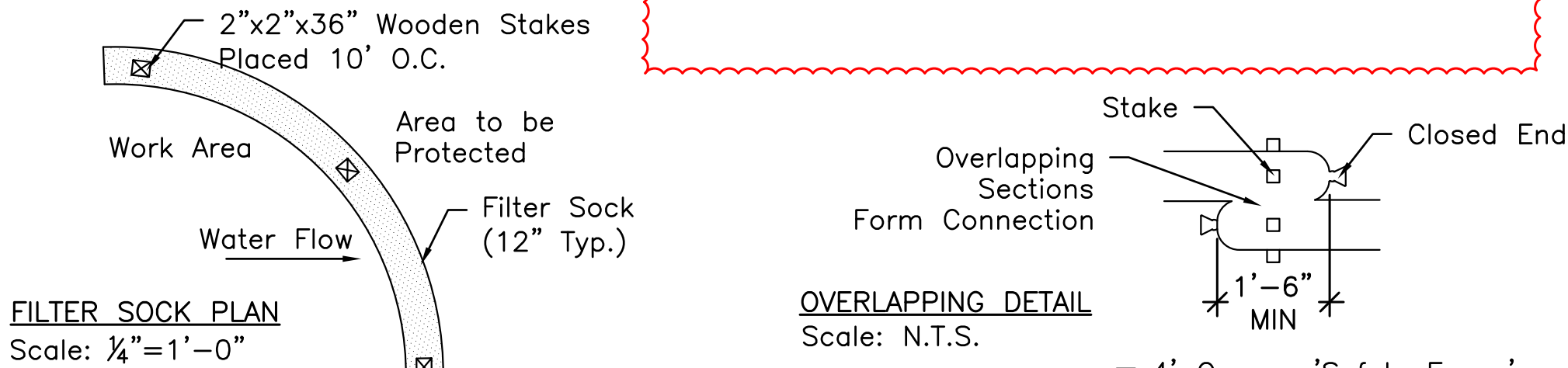
L8.0



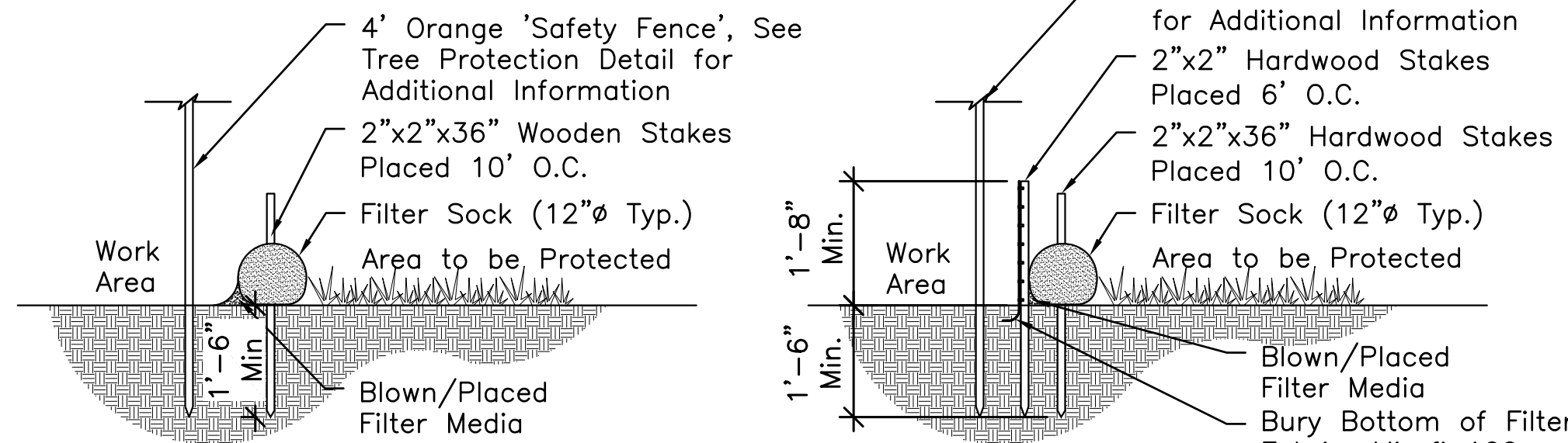
- NOTES:**
1. Maintain fence protection in sound condition until project completion.
 2. Protective fence to run outside dripline unless otherwise required to install improvements. Spray or stake layout of all proposed paving edges and site features within the dripline of existing trees before beginning any demolition work or remove existing material in order to determine the maximum extents of site fencing.
 3. Layout shown above is diagrammatic only.
 4. Landscape Architect and Owner's Representative to approve fence placement in field before construction begins.

1 Tree Protection

Scale: 1/2" = 1'-0"



FILTER SOCK PLAN
Scale: 1/4"=1'-0"

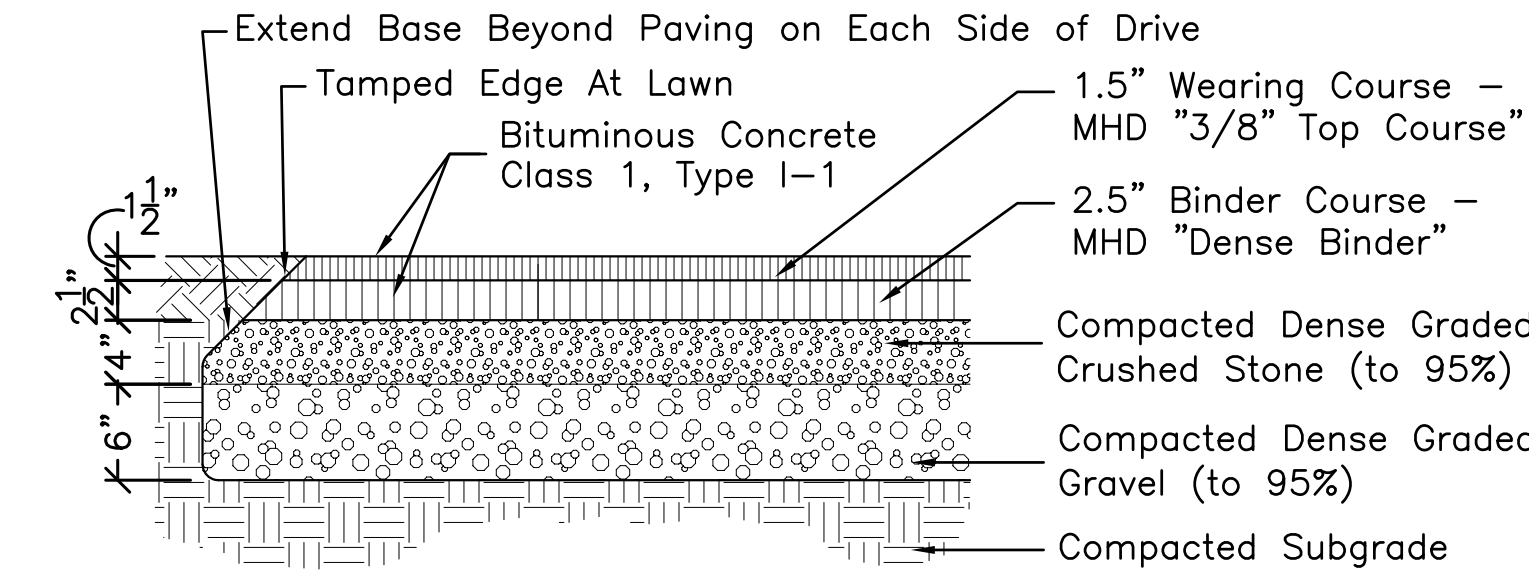


FILTER SOCK WITHOUT SILT FENCE
Scale: 1/2"=1'-0"

- Notes:**
1. Erosion Control Socks to be Filtrexx Silt Soxx, or approved equal.
 2. Contractor to submit erosion control sock product information for approval by Landscape Architect.
 3. Follow all manufacturer's specifications and instructions.
 4. Snow Fence to be placed in front of all erosion control. See Tree Protection Detail for installation.

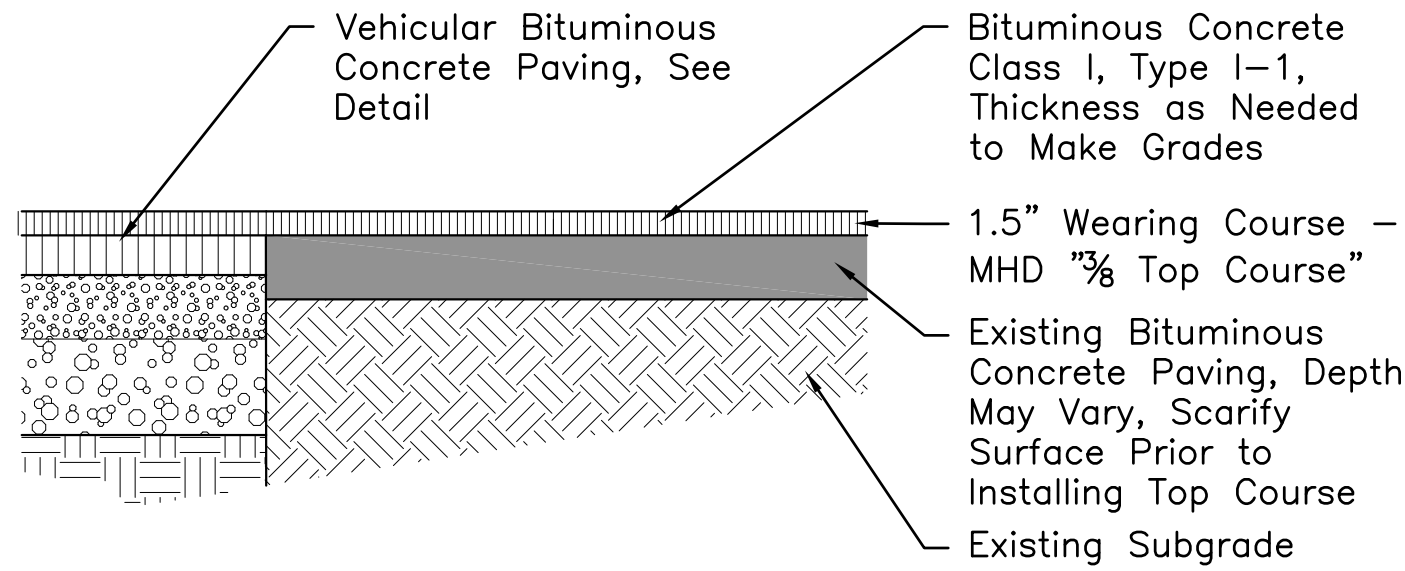
2 Erosions Control: Silt Sock & Silt Fence

Scale: 1" = 1'-0"



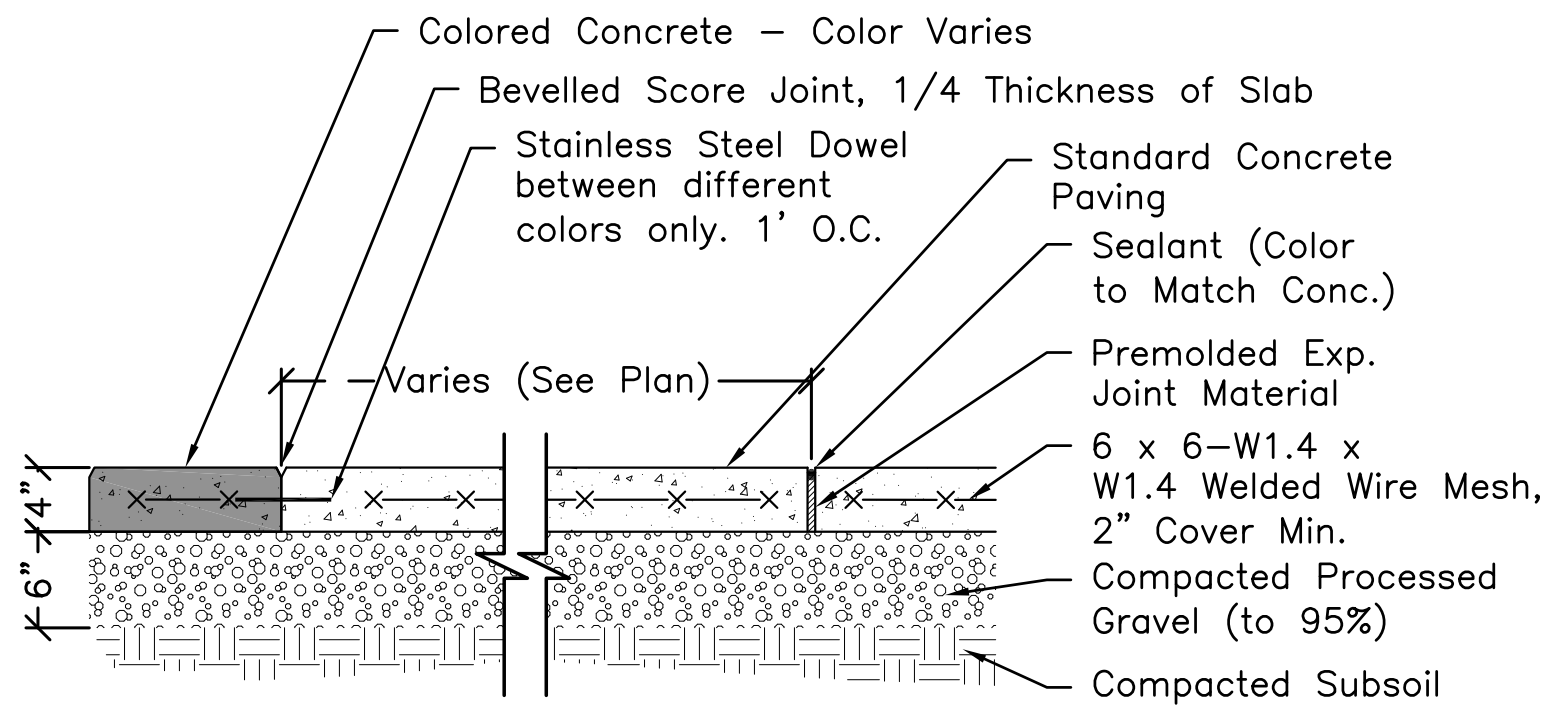
3 Vehicular Bituminous Concrete Paving

Scale: 1" = 1'-0"



4 Resurfaced Bituminous Concrete

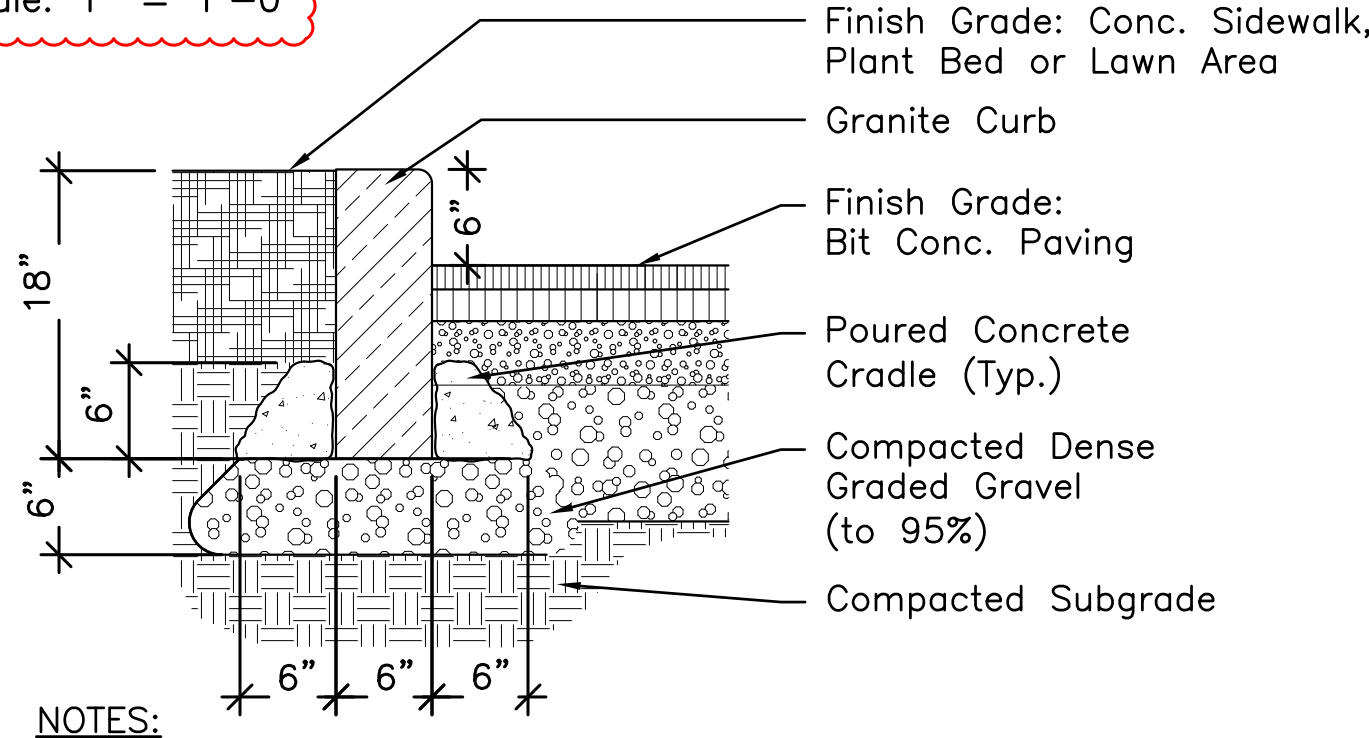
Scale: 1" = 1'-0"



- NOTES:**
1. See Layout Plans for Scoring Pattern of Colored Concrete.
 2. Expansion joints every 25' (maximum). Locate expansion joints where paving abuts structures, curbs, walls, or existing paving.
 3. Colored Concrete to be made with **CHROMIX Admixtures** and cured with **LITHOCHROME Colorwax** by SCOFIELD. (PH: 1800-800-9900). Apply per manufacturer's directions. Colors to be decided by Landscape Architect Provide 4'x4' sample of each color for approval by Landscape Architect and Architect.
 4. Concrete to be 4000 PSI (28 days), light broom finish.
 5. All walks and plaza's shall slope to drain (1.8% maximum cross slope). See Grading Plan.

5 Decorative Concrete Paving

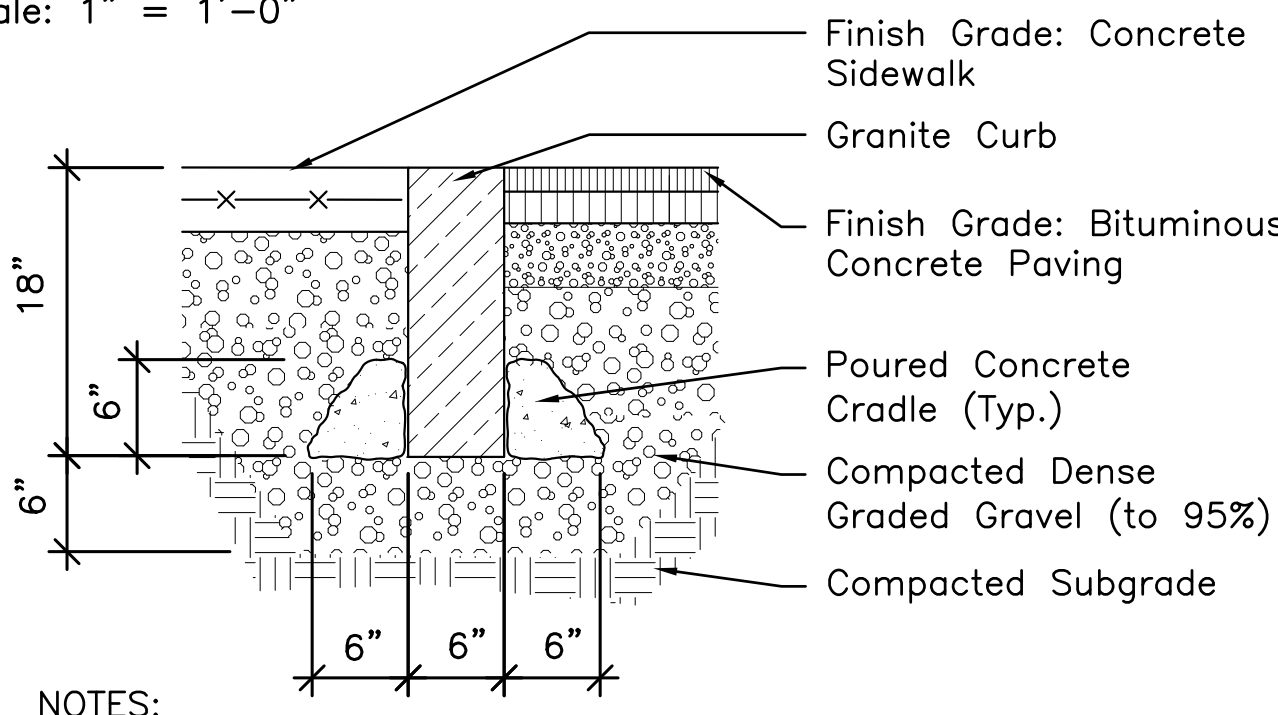
Scale: 1" = 1'-0"



- NOTES:**
1. Provide sample for approval by Landscape Architect.

6 Granite Curb

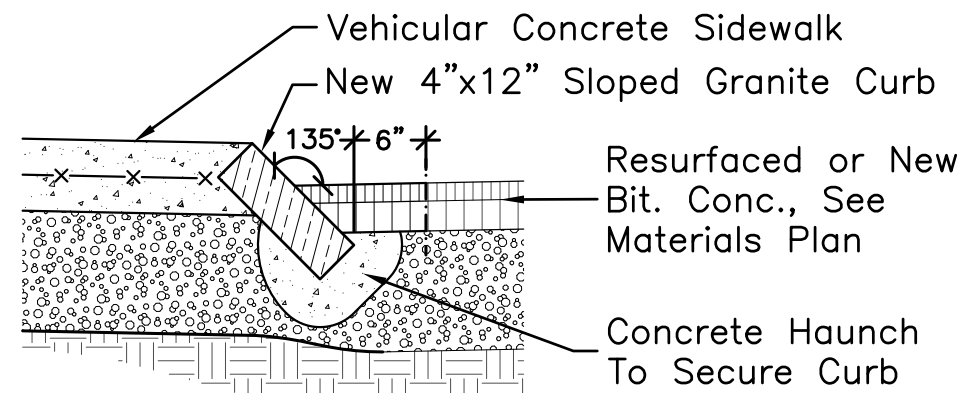
Scale: 1" = 1'-0"



- NOTES:**
1. Provide sample for approval by Landscape Architect.

7 Flush Granite Curb

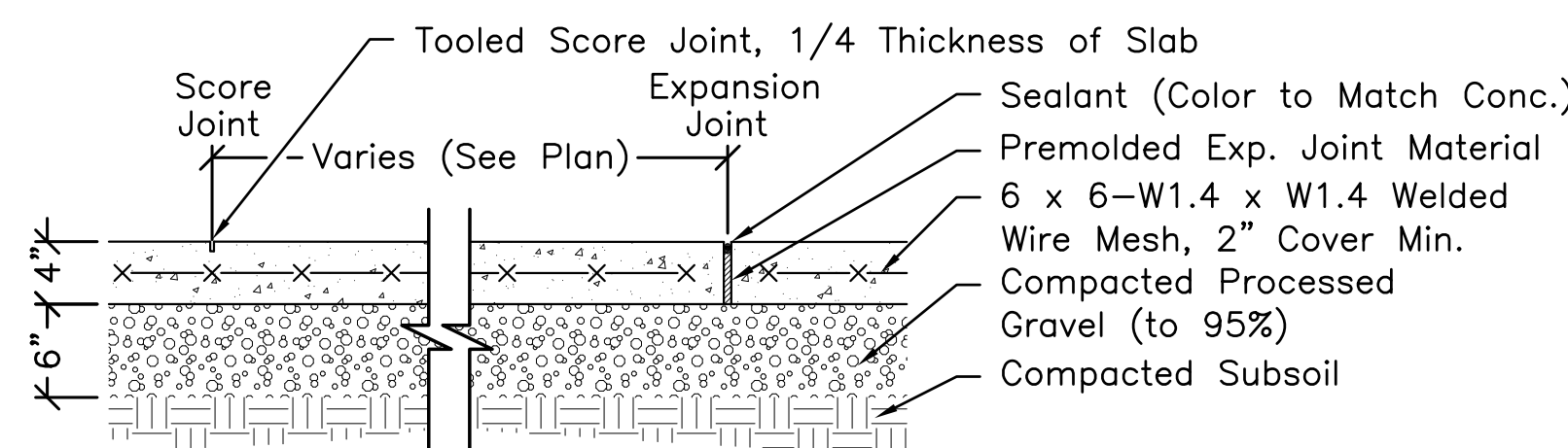
Scale: 1" = 1'-0"



- NOTES:**
1. Install 5'± transition curbs on either end of sloped granite curb
 2. Provide sample for approval by Landscape Architect

8 Sloped Granite Curb

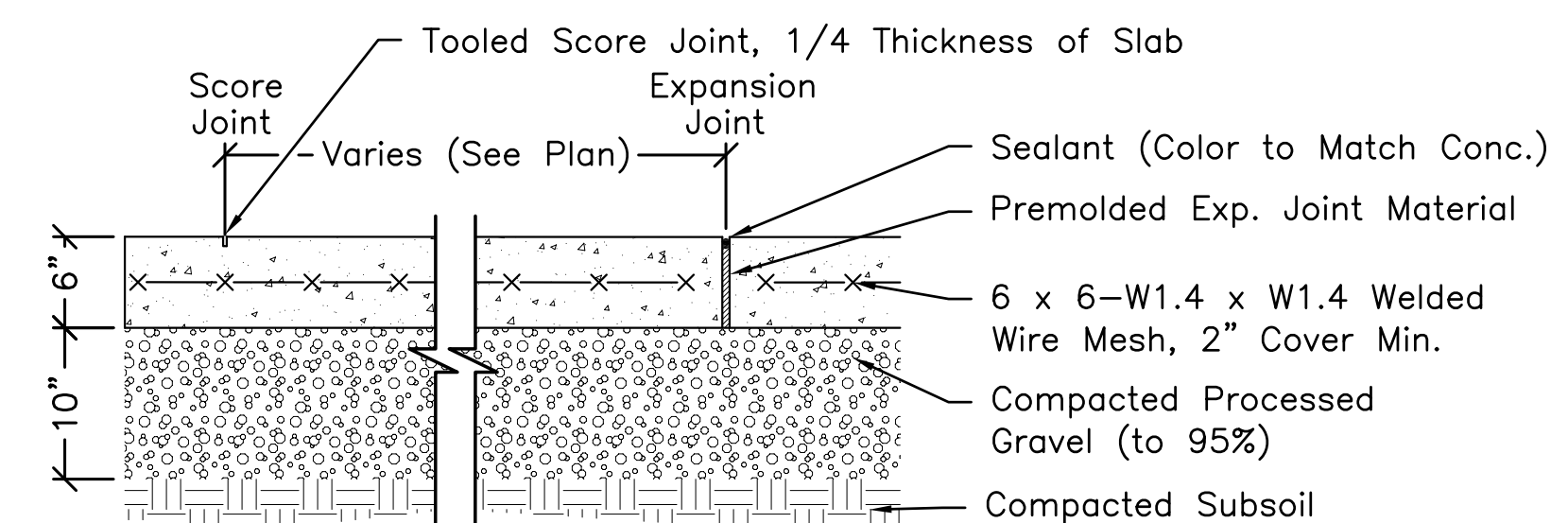
Scale: 3/4" = 1'-0"



- NOTES:**
1. Score joints every 6' (maximum), both directions (see Plan). Expansion joints every 25' (maximum). Locate expansion joints where paving abuts structures, curbs, walls, or existing paving.
 2. Concrete to be 4000 PSI (28 days), light broom finish. 4" steel trowel all edges.
 3. All walks and plaza's shall slope to drain (1.5% maximum cross slope). Coordinate with existing grades.
 4. Integral colored concrete color to be approved by Landscape Architect prior to pouring.

9 Concrete Paving/Sidewalk/Pad

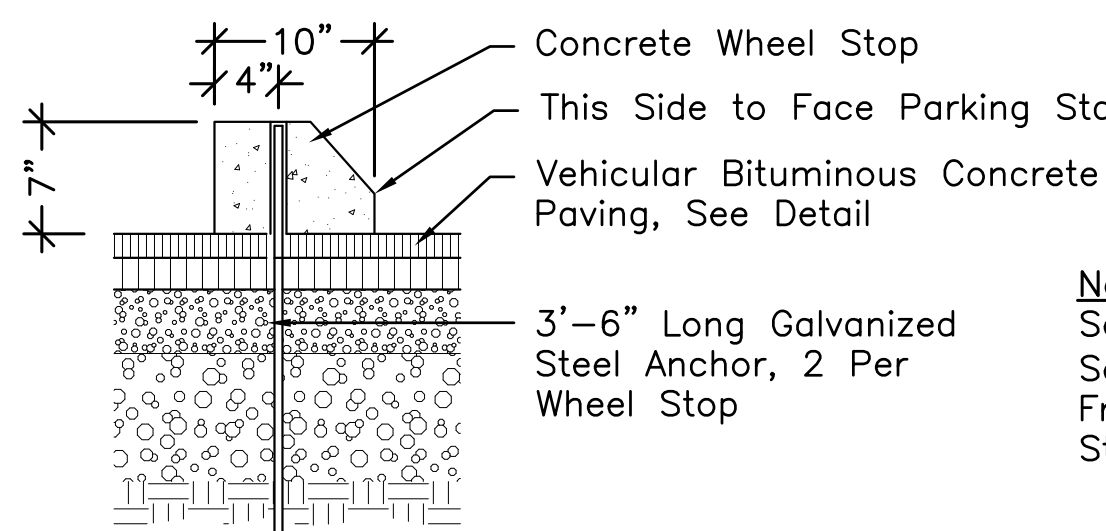
Scale: 1" = 1'-0"



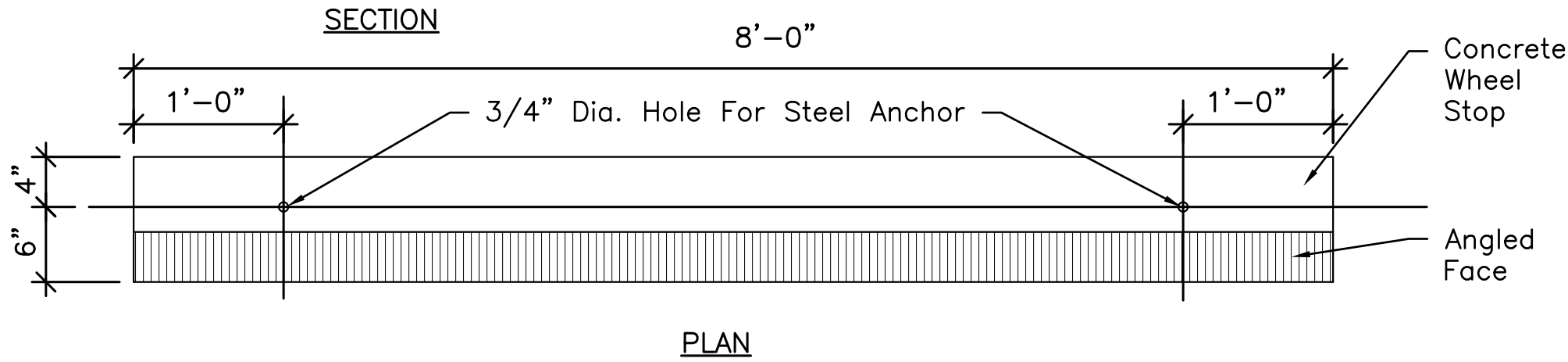
- NOTES:**
1. Score joints every 6' (maximum), both directions (see Plan). Expansion joints every 25' (maximum). Locate expansion joints where paving abuts structures, curbs, walls, or existing paving.
 2. Concrete to be 4000 PSI (28 days), light broom finish. 4" steel trowel all edges.
 3. All walks and plaza's shall slope to drain (1.5% maximum cross slope). Coordinate with existing grades.

10 Vehicular Concrete Sidewalk

Scale: 1" = 1'-0"



Note:
See L3.0 for Locations. Set Wheel Stops 24" From Head of Parking Stall and Centered.

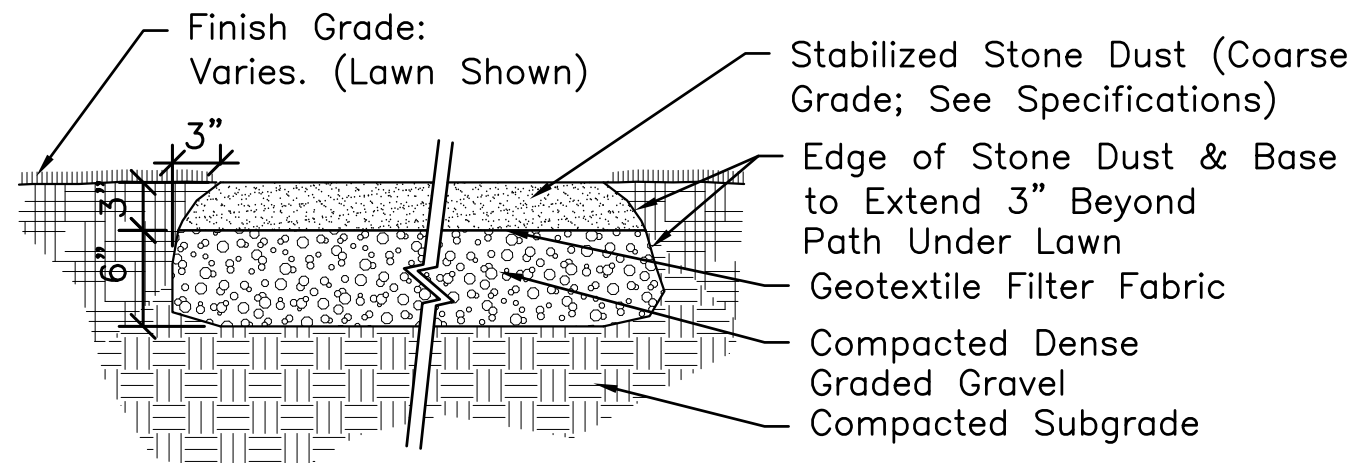


11 Concrete Wheel Stop

Scale: 1" = 1'-0"

REVISIONS:		
1	09-22-17	P.B. Comments
DATE: 08-17-2017		
SCALE: VARIES		
FILE: OAK_PERMITTING_L9.dwg		
DWN BY: PAH		
OKD BY: DJC		
PROJ. #: 1612B		

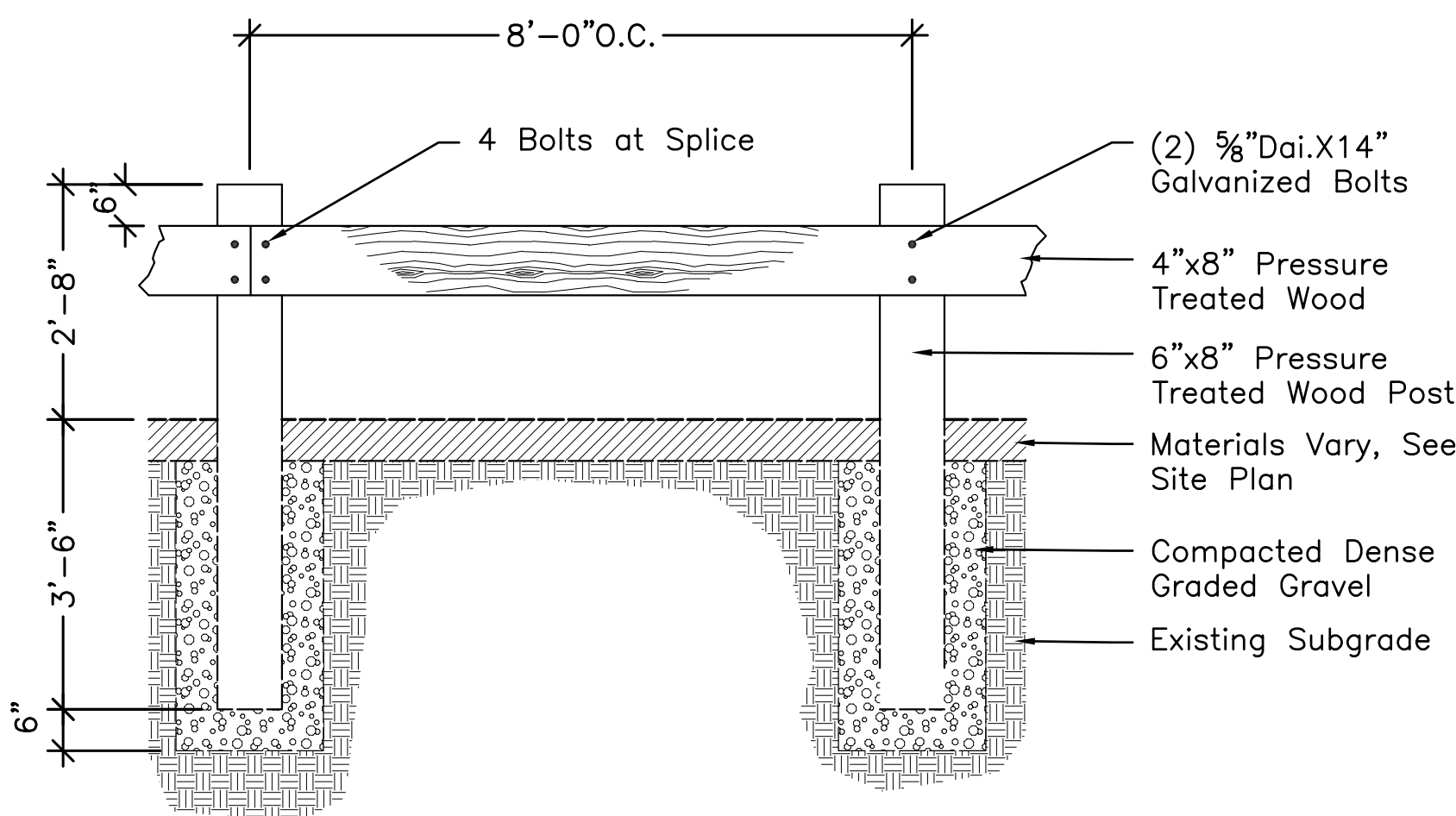




- NOTES:
1. Stone Dust to meet adjacent Finish Grade smoothly.
 2. Provide sample for approval.
 3. Contractor to ensure stone dust and all equipment are free of vegetative matter and seeds

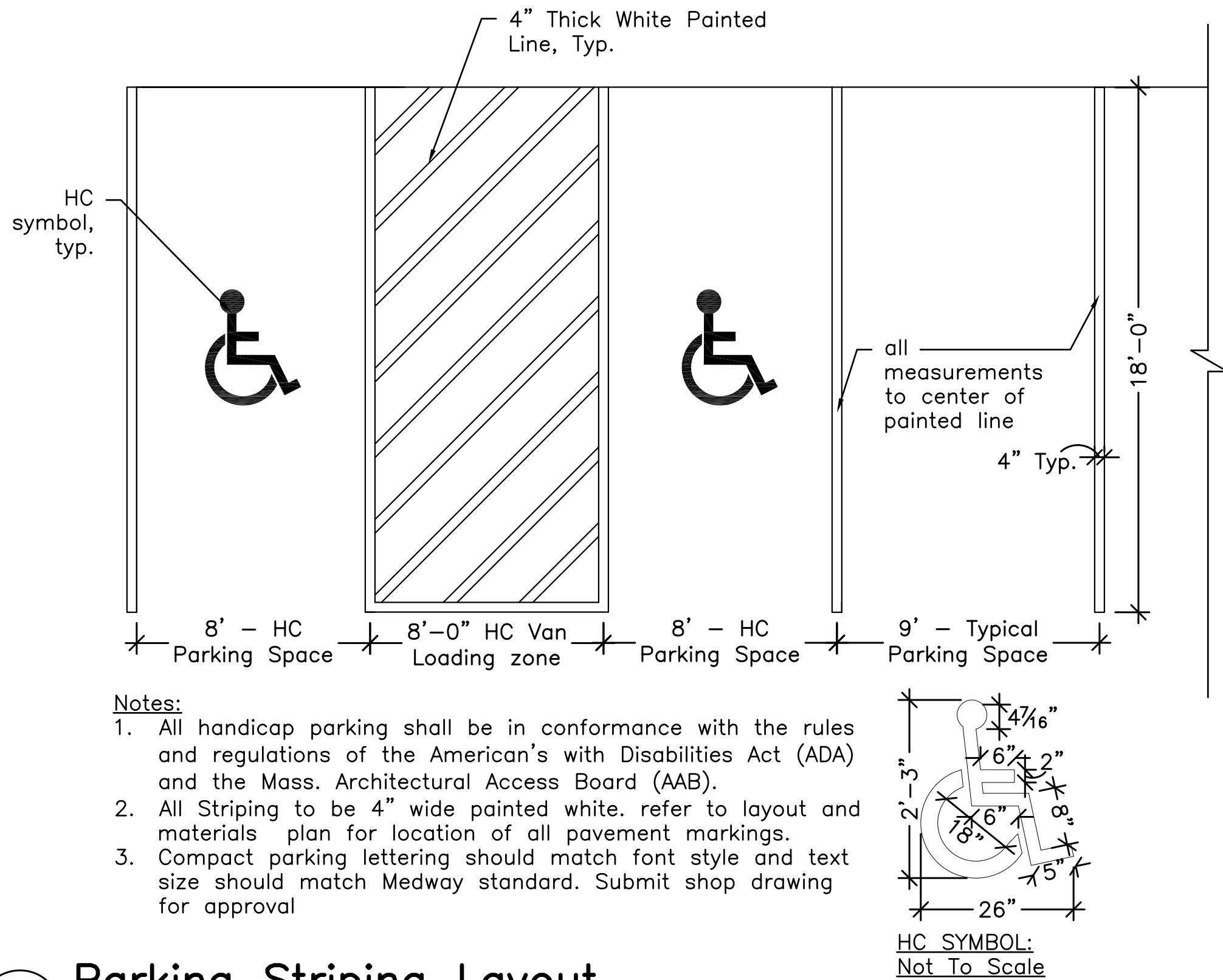
1 Stabilized Stonedust

Scale: 1" = 1'-0"



2 Vehicular Guard Rail

Scale: 1/2" = 1'-0"

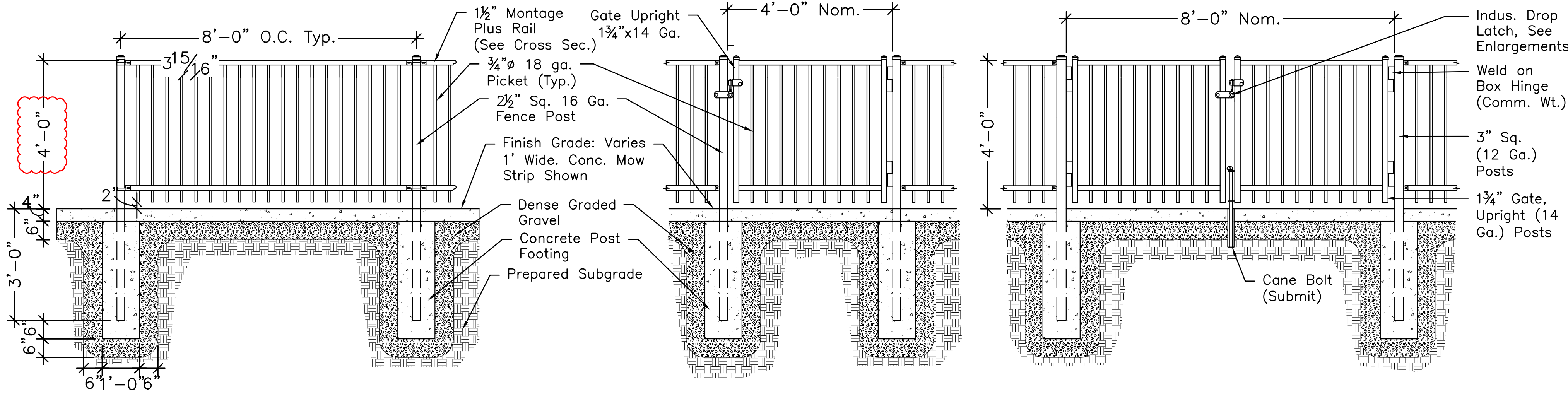


- Notes:
1. All handicap parking shall be in conformance with the rules and regulations of the American's with Disabilities Act (ADA) and the Mass. Architectural Access Board (AAB).
 2. All Striping to be 4" wide painted white. refer to layout and materials plan for location of all pavement markings.
 3. Compact parking lettering should match font style and text size should match Medway standard. Submit shop drawing for approval

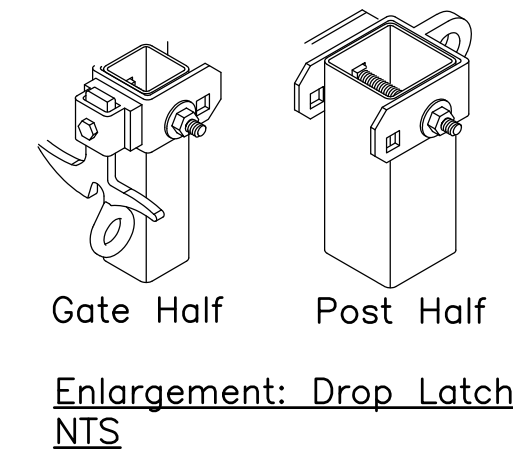
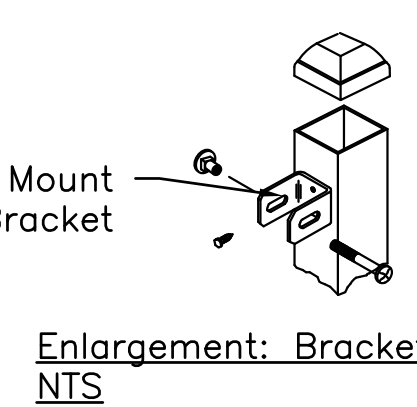
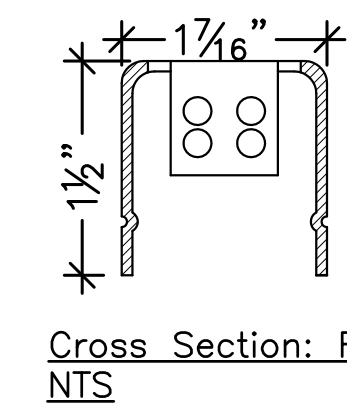
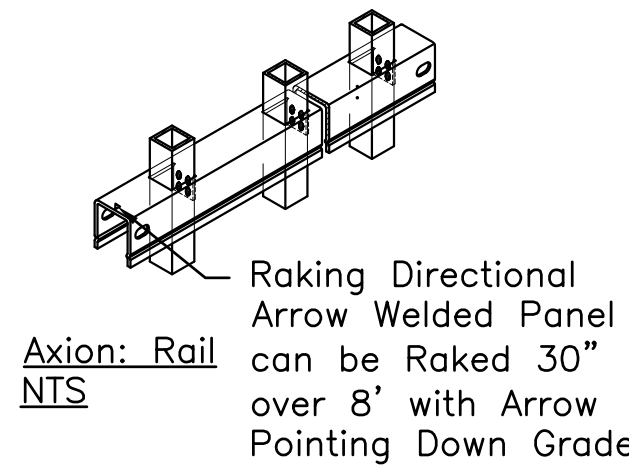
HC SYMBOL:
Not To Scale

3 Parking Striping Layout

Scale: 1/4" = 1'-0"

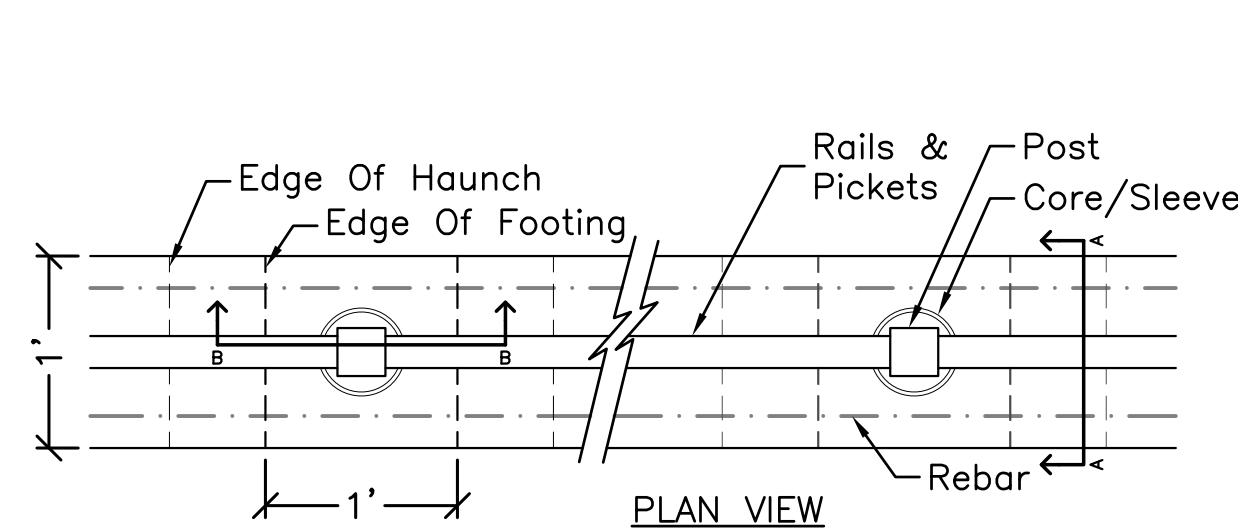


- NOTES:
1. SHOP DRAWINGS REQUIRED.
 2. Fence, Gates, and Hardware shall be "Montage II Majestic 2 Rail" by AmeriStar Fence or Approved Equal. Install according to manufacturer's instructions.
 3. Gate is to have a self-closing, lockable industrial drop latch with minimal projections, operable from both sides of fence, Omega II Standard Latch (C-20LP4/C-20LC2) by Omega II Fence Systems of Laval, QC or Appr. Eq.
 4. Through-Bolt Latch through posts & frame, or weld in place; clamped attachment will not be accepted.
 5. Latch mechanism to be 48" Min. above grade.
 6. Hinges to be MHH-180 Hinges or Approved Equal.
 7. All steel members coated with zinc rich epoxy then finished with black polyester powder coating. Submit full manufacturer's info for all accessories.
 8. All cut ends MUST be treated with zinc galvanizing compound per manufacturer's instructions.

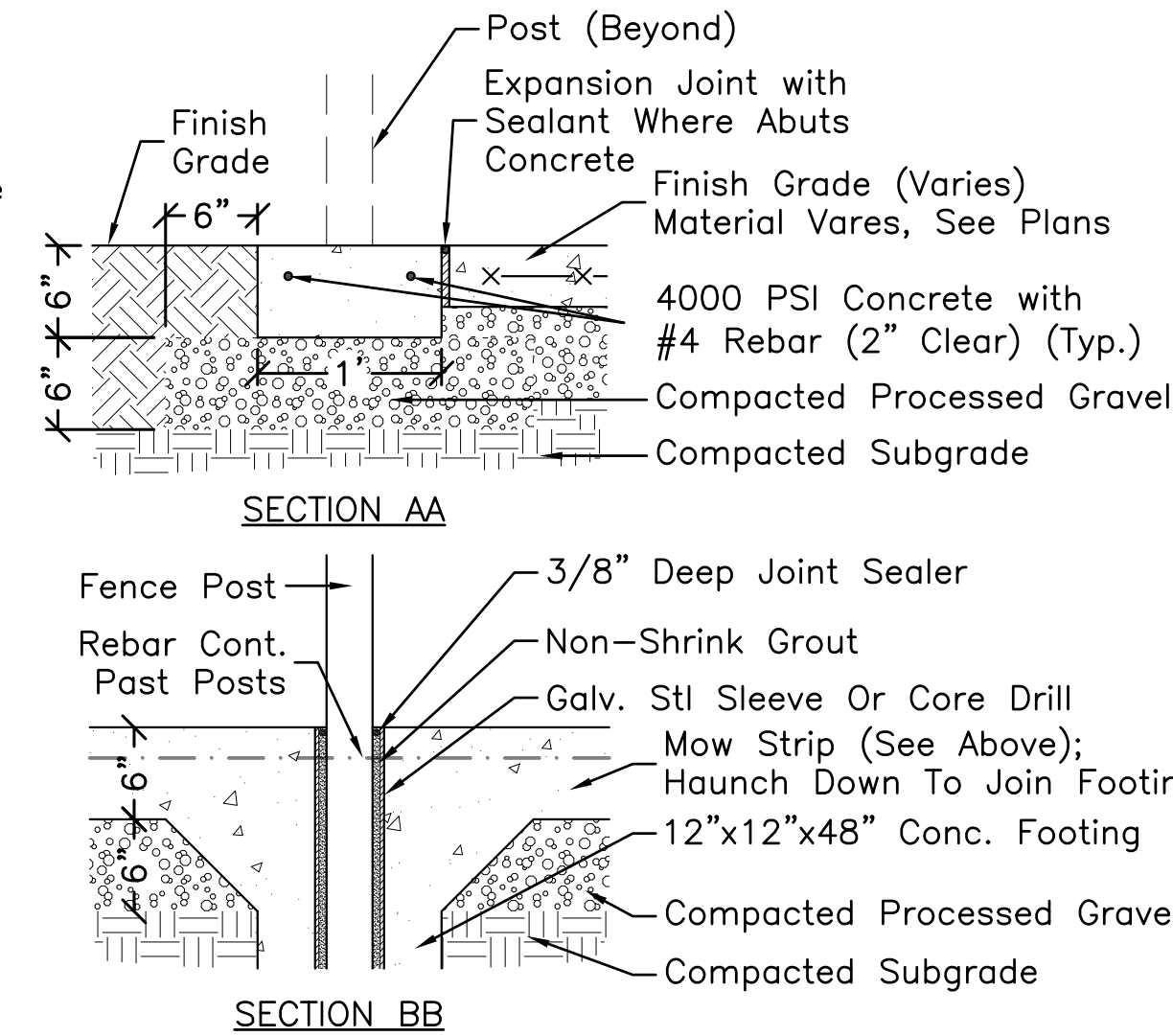


4 4' Ht. Ornamental Fence – 4' Ht. Ornamental Single & Double Leaf Gates

Scale: 1/4" = 1'-0"



- NOTES:
1. Score joints to be centered between posts. Locate expansion joints where paving abuts structures, walls, or existing paving, and every 30' Max. O.C.
 2. Concrete to be 4000 PSI (28 days) with light broom finish.
 3. Depth of concrete and base course should be adjusted where necessary to avoid major tree roots; all areas of proposed adjustment should be discussed in the field with the Landscape Architect and Owner before pouring strip.

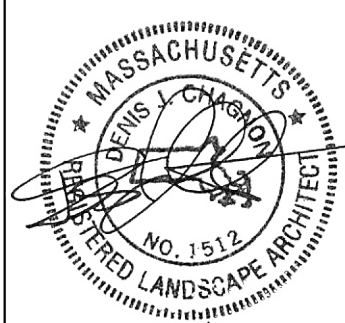


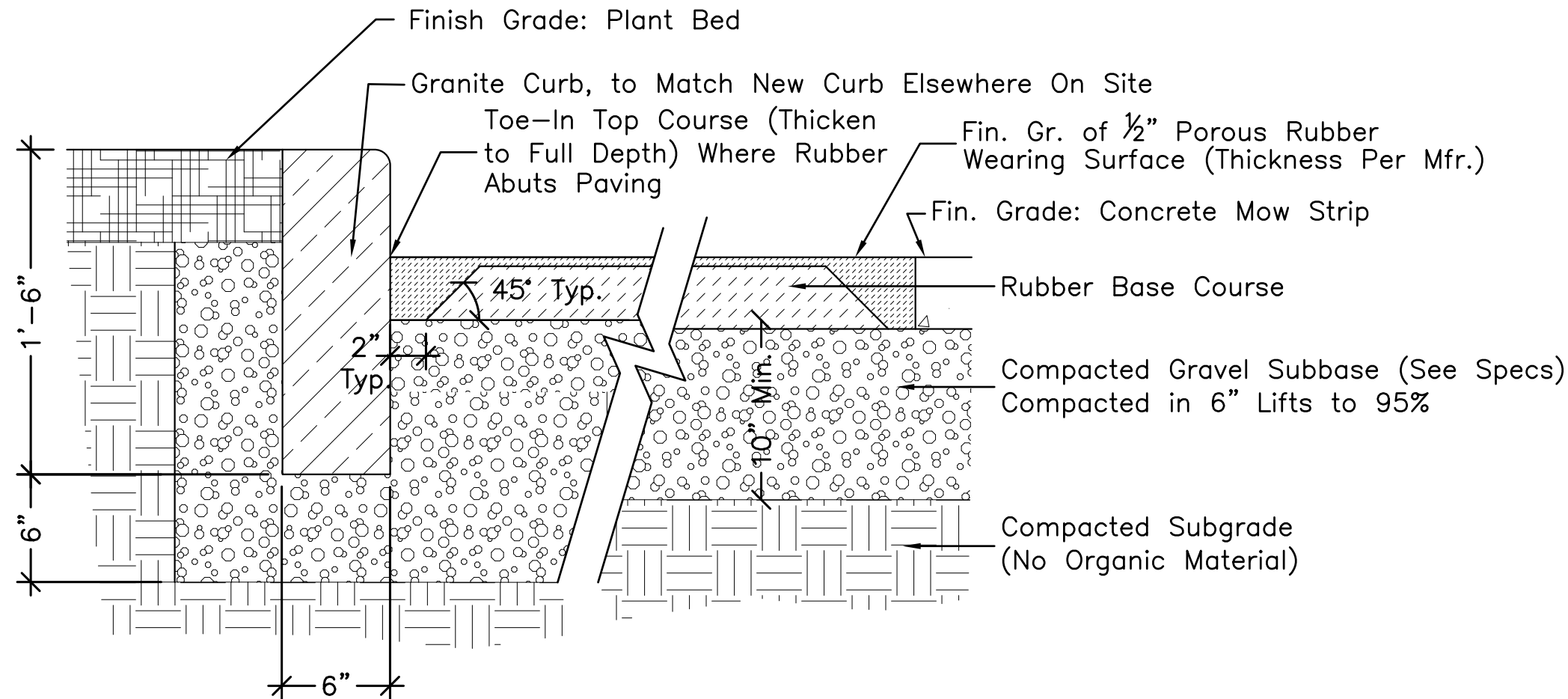
5 Concrete Mow Strip Under Ornamental Fence

Scale: 1' = 1'-0"

FOR PERMIT ONLY

REVISIONS:		
1	09-22-17	P.B. Comments
DATE: 08-17-2017		
SCALE: VARIES		
FILE: OAK_PERMITTING_L9.dwg		
DWN BY: PAH		
CKD BY: DJC		
PROJ. #: 1612B		

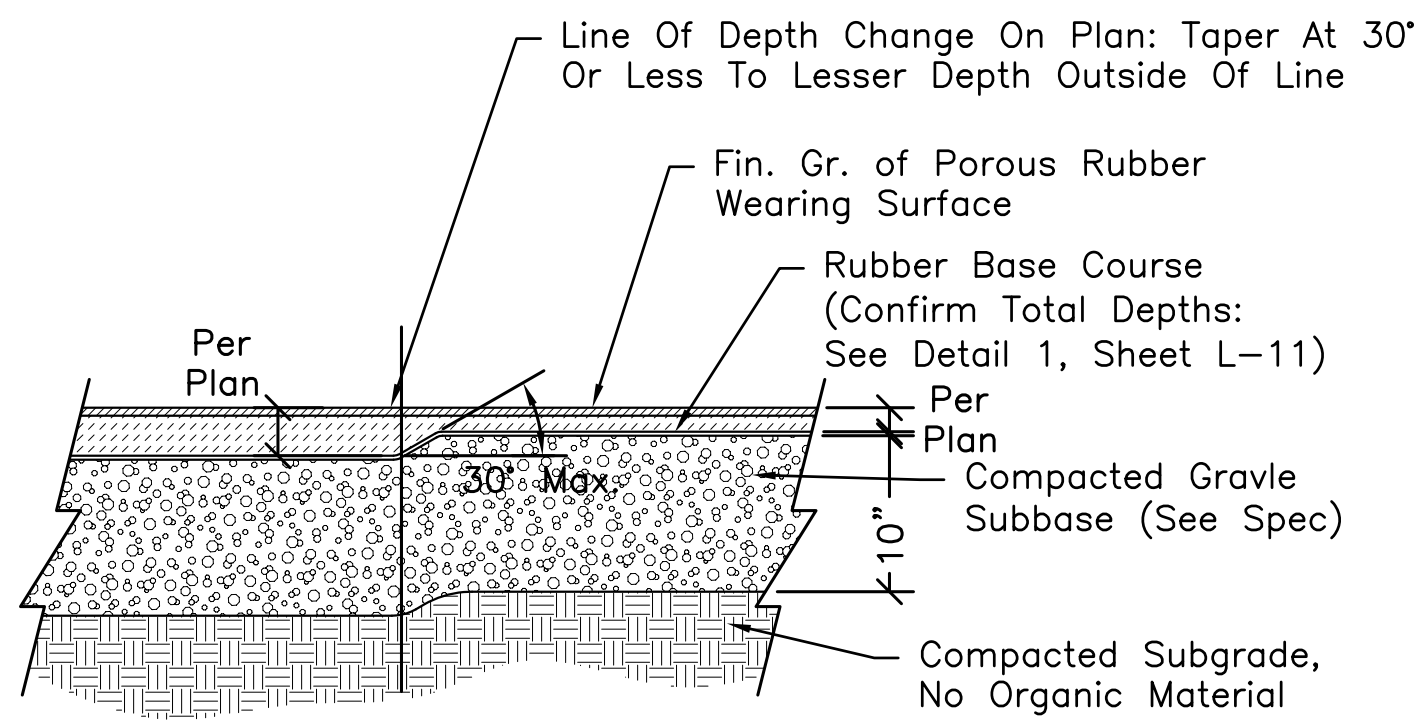




- NOTES:**
1. Rubber Safety Surface to be Playbound Poured-In-Place by Surface America or approved equal conforming with ASTM 1292 per note 2, and ASTM 1951.
 2. Total Surface Depths to be based on proposed surfacing supplier and play equipment. Verify that critical height of surface at depth to be installed meets ASTM 1292 and all other applicable standards for all fall heights of play equipment as installed. The Compacted Crushed Stone base is to be considered a "Hard Base" when determining the required thicknesses.
 3. System to use only aliphatic (non-aromatic) solvents in upper wearing surface.
 4. Landscape Architect to select color blend from manufacturers full range of color options.
 5. System to be tested within 30 days after installation to confirm performance, see specifications.

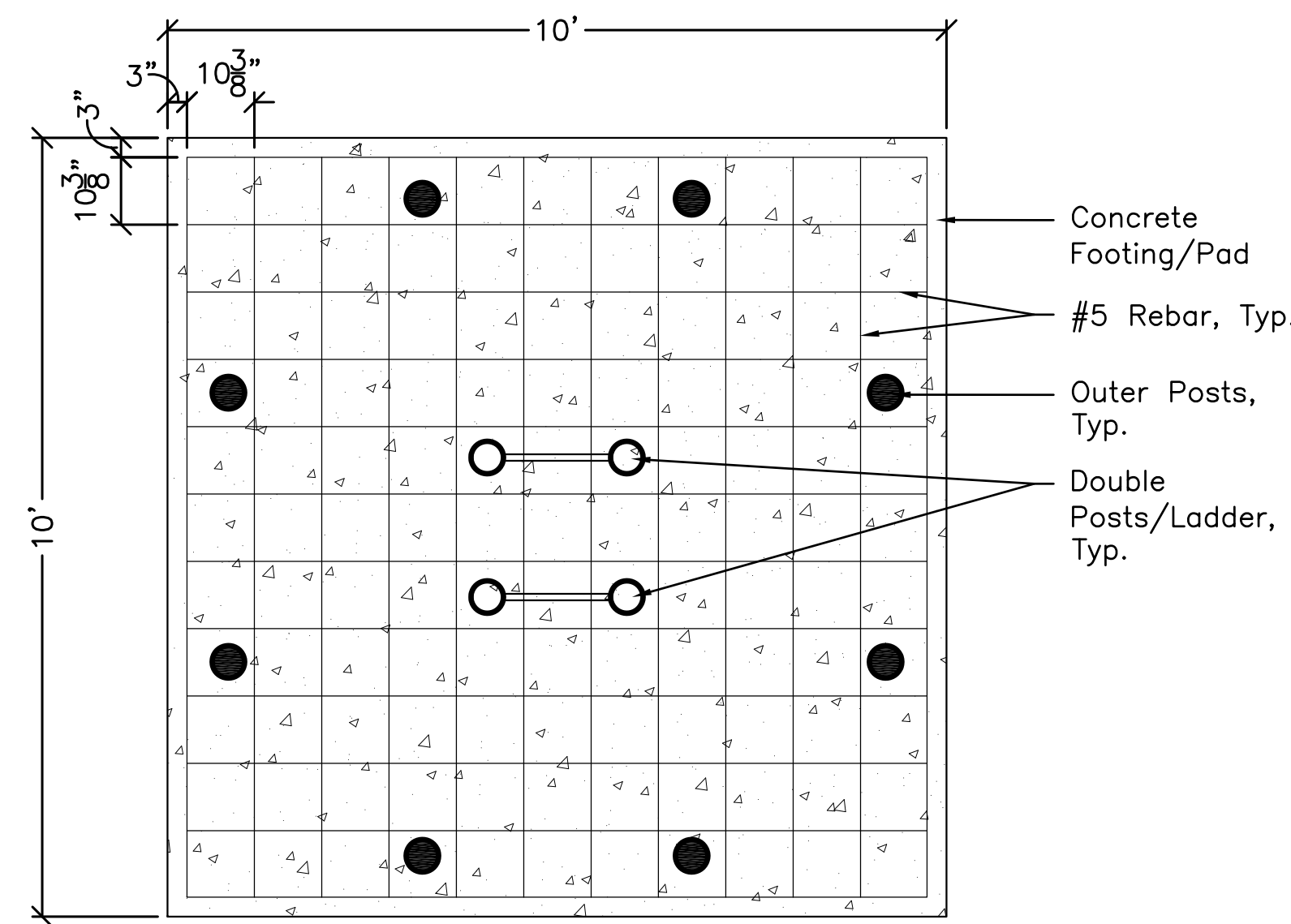
1 Rubber Safety Surface

Scale: 1-1/2" = 1'-0"

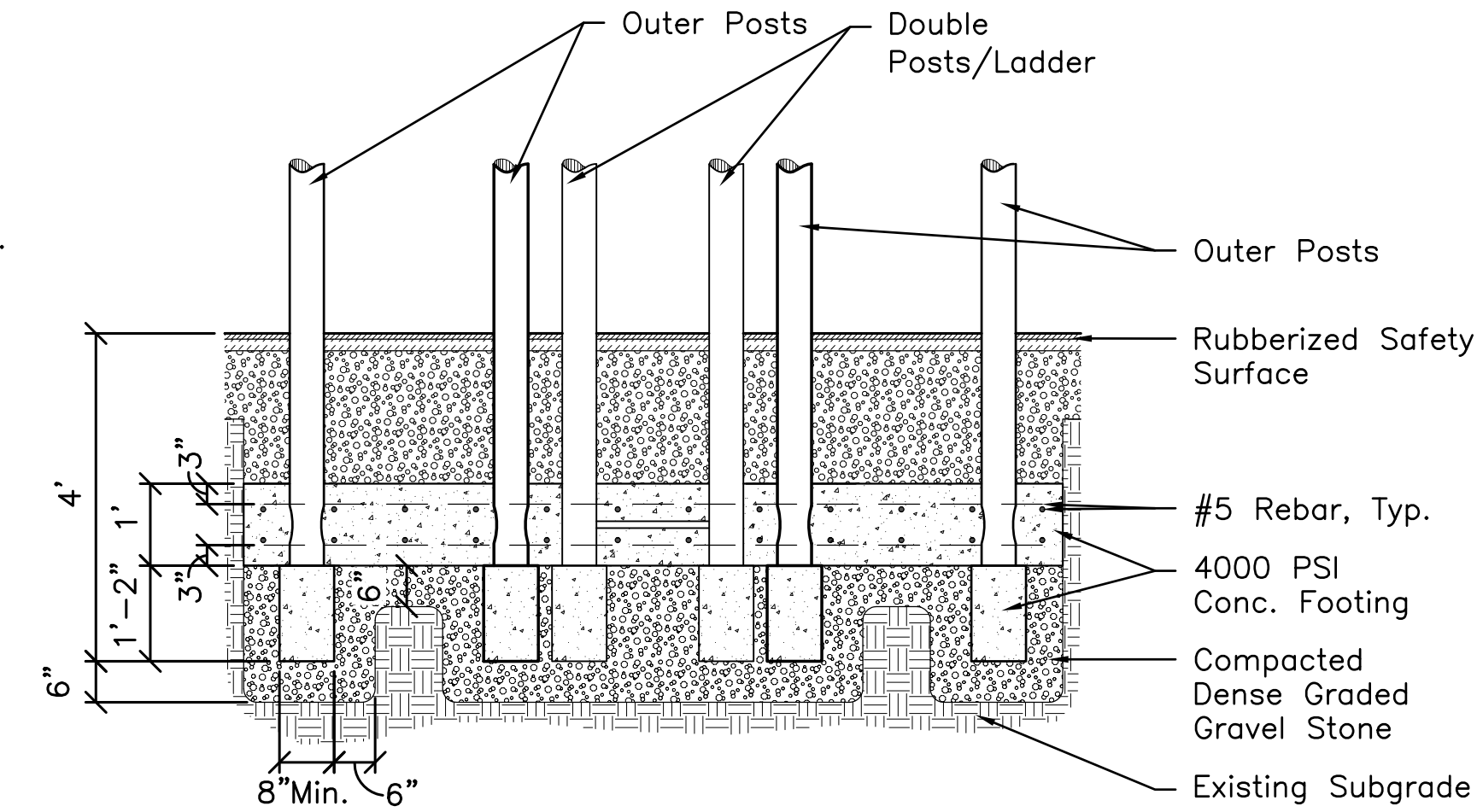


2 Rubber Surface Depth Change

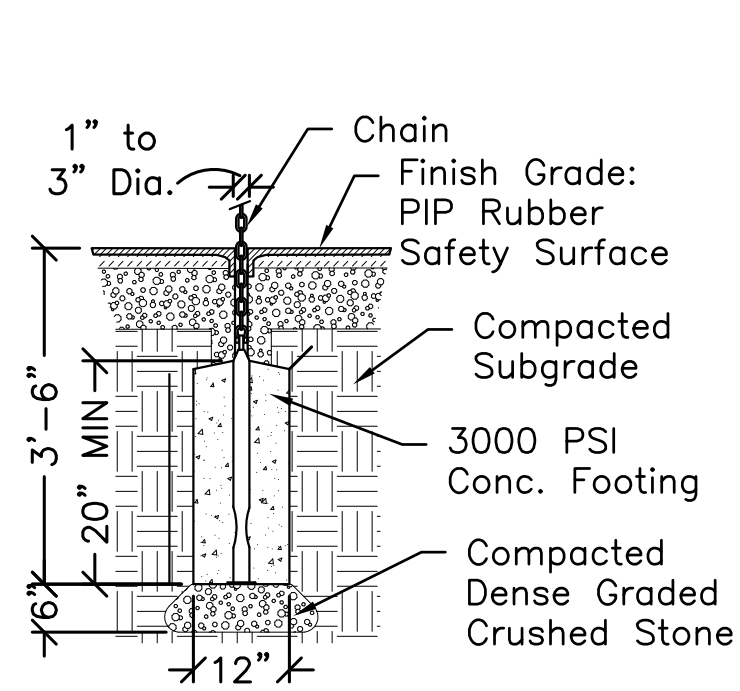
Scale: 1" = 1'-0"



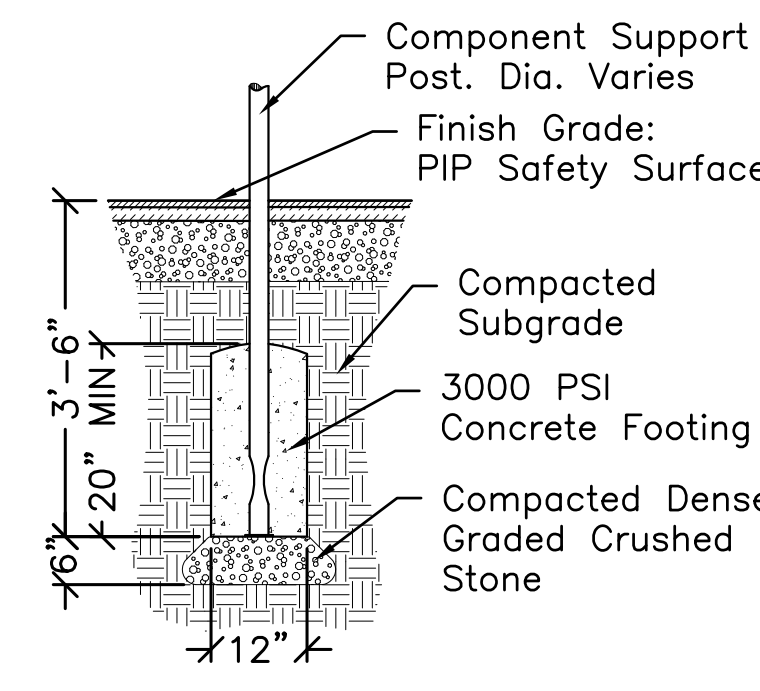
PLAN VIEW OF FOOTING FOR:
1. PlayOdyssey 10' Tower



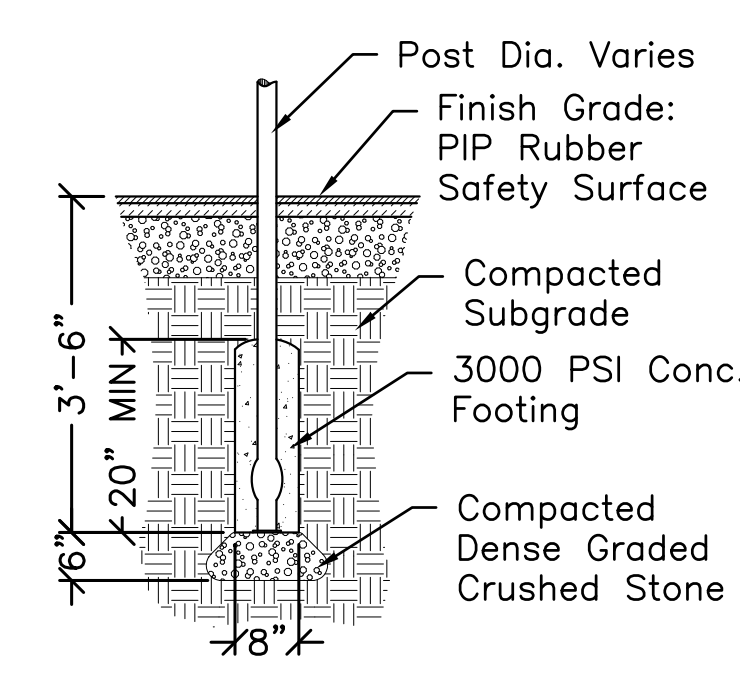
SECTION OF FOOTING FOR:
1. PlayOdyssey 10' Tower



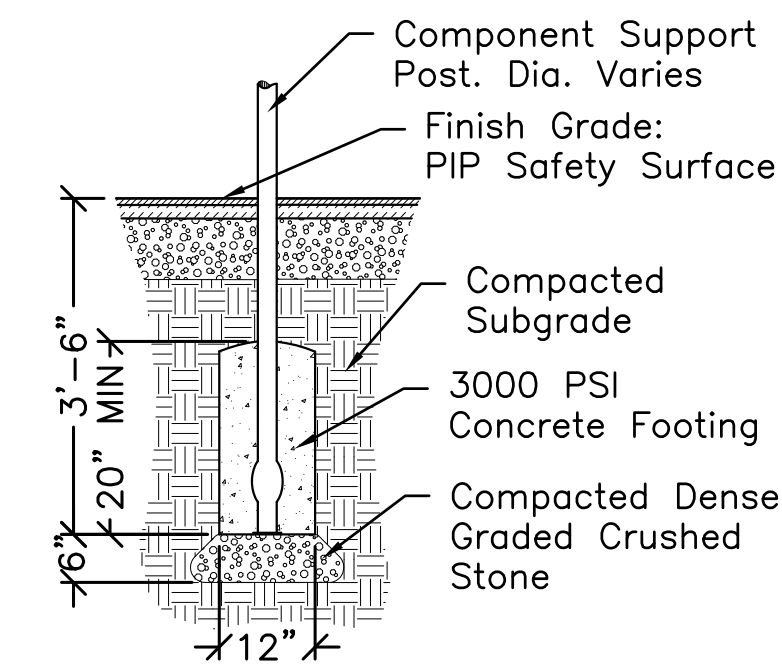
FOOTING FOR:
1. Wood Wiggle Ladder



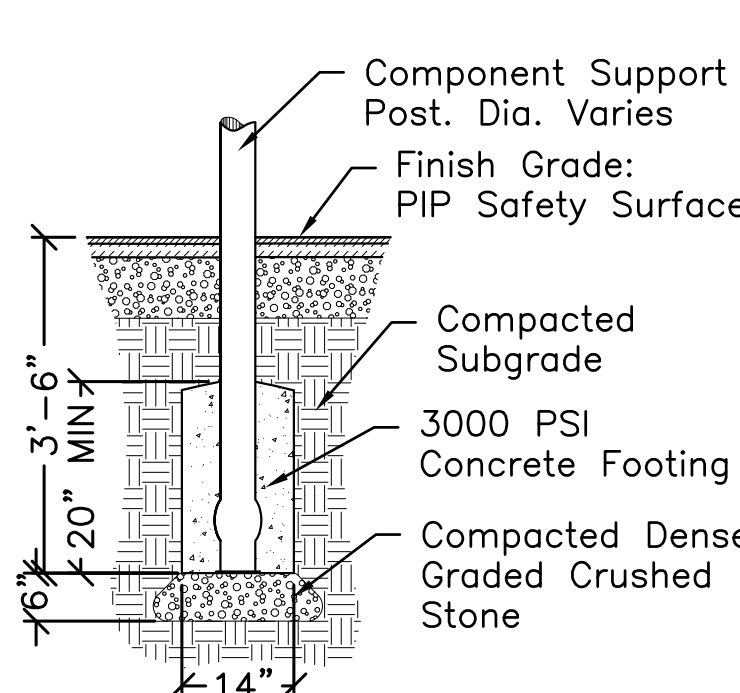
FOOTING FOR:
1. Play Booster
2. Tower Wooshwinder
3. Slidewinder2



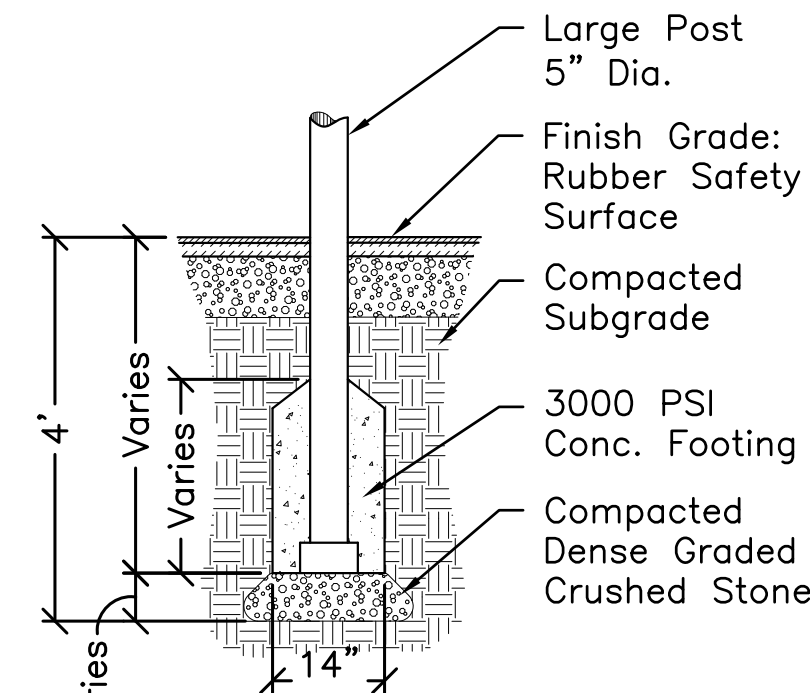
FOOTING FOR:*
1. Cliff Climber
2. Step Support
3. ABC Climber



FOOTING FOR:*
1. Cork Screw
2. Tower Wooshwinder
3. Slidewinder2
4. Fire Pole
5. Loop Ladder
6. Block Climber
7. Log Steppers
8. Table Panel
9. Talk Tubes
10. Double Slide



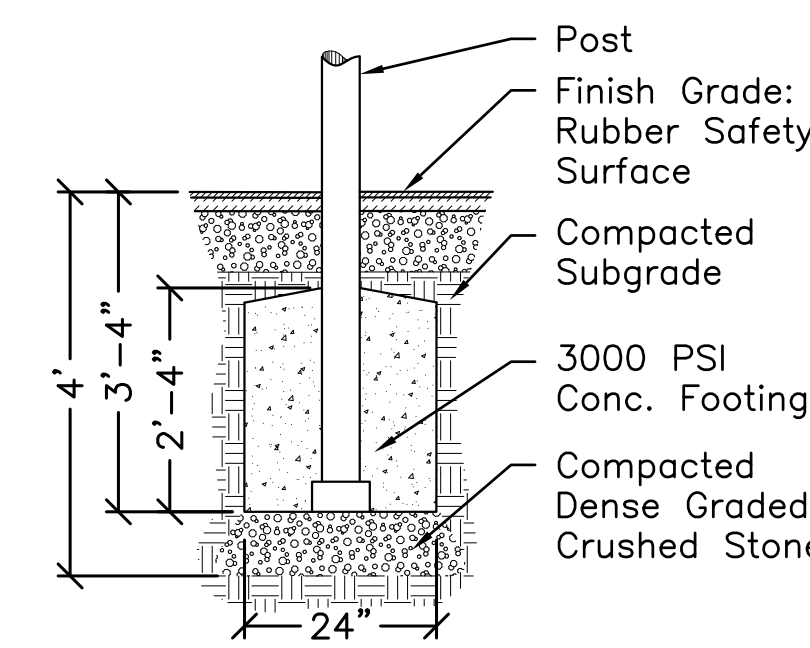
FOOTING FOR:
1. Deck Support
2. Log Steppers
3. Transfer Module



FOOTING FOR:
1. 5" Post

NOTES FOR 5" POST:

1. Footing Size: 20"min length, 30"min length for those supporting 96" decks.
2. Footing Depth: 34"min depth, 44"min for those supporting 96" decks.



FOOTING FOR:
1. Single Post Swing Frame

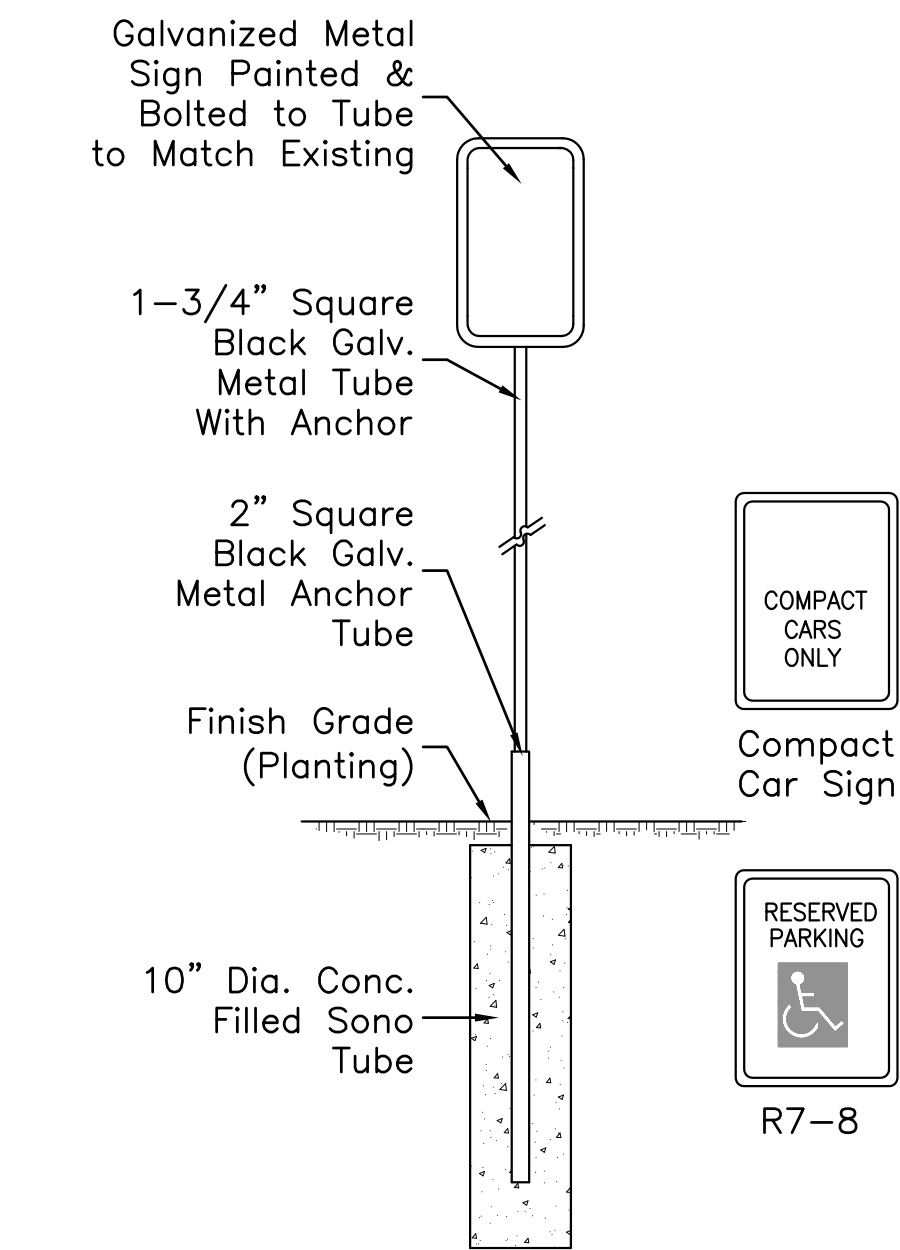
- NOTES:**
1. SHOP DRAWINGS OF PLAY EQUIPMENT AND POST/FOOTING PLANS REQUIRED.
 2. Play equipment's safety zones to only include safety surfaces specified. Play equipment to be installed so safety zones do NOT overlap with walls, stairs, manholes, curbs, concrete paving, bituminous concrete paving, etc.
 3. Footing sizes vary; dimensions shown are minimums. Provide the GREATER of the diameter indicated on the supplier's Footing Schedule OR the size above (footings may be larger/deeper than required by supplier).
 4. Play equipment colors to be as shown in renderings.

3 Play Structure Footings

Scale: 1/2" = 1'-0"

REVISIONS:		
1	09-22-17	P.B. Comments
DATE: 08-17-2017		
SCALE: VARIES		
FILE: OAK_PERMITTING_L9.dwg		
DWN BY: PAH		
CKD BY: DJC		
PROJ. #: 1612B		





- NOTES:**
1. Sign to be type R7-8 ADA space sign (18" x 12") , or compact car parking sign (18" x 12") and to conform with the Manual on Uniform Traffic Control Devices (latest edition), or as noted.

1 Handicap or Compact Parking Sign

Scale: 1/2" = 1'-0"



Little Free Library

- Note:**
1. Existing Little Free Library at existing playground to be removed and reinstalled; see plan L4.1 for location.
 2. Little Free Library to be reinstalled in the same manner as it is currently installed.

3 Relocated Little Free Library

Scale: N.T.S.



Information Center/Kiosk

- Note:**
1. Existing Information Center/Kiosk at upper field entrance to be removed and reinstalled; see plan L4.1 for location.
 2. Information Center/Kiosk to be reinstalled in the same manner as it is currently installed.

4 Relocated Information Center/Kiosk

Scale: N.T.S.



Ethan P. Conolly Memorial Bench



Gray's Memorial Bench

- Note:**
1. Existing Memorial Benches to be removed and reinstalled, see plan L4.1 for locations. Protect benches from damage while stored.
 2. Benches to be reinstalled in the same manner as they are currently installed.

6 Memorial Benches to be Relocated

Scale: N.T.S.

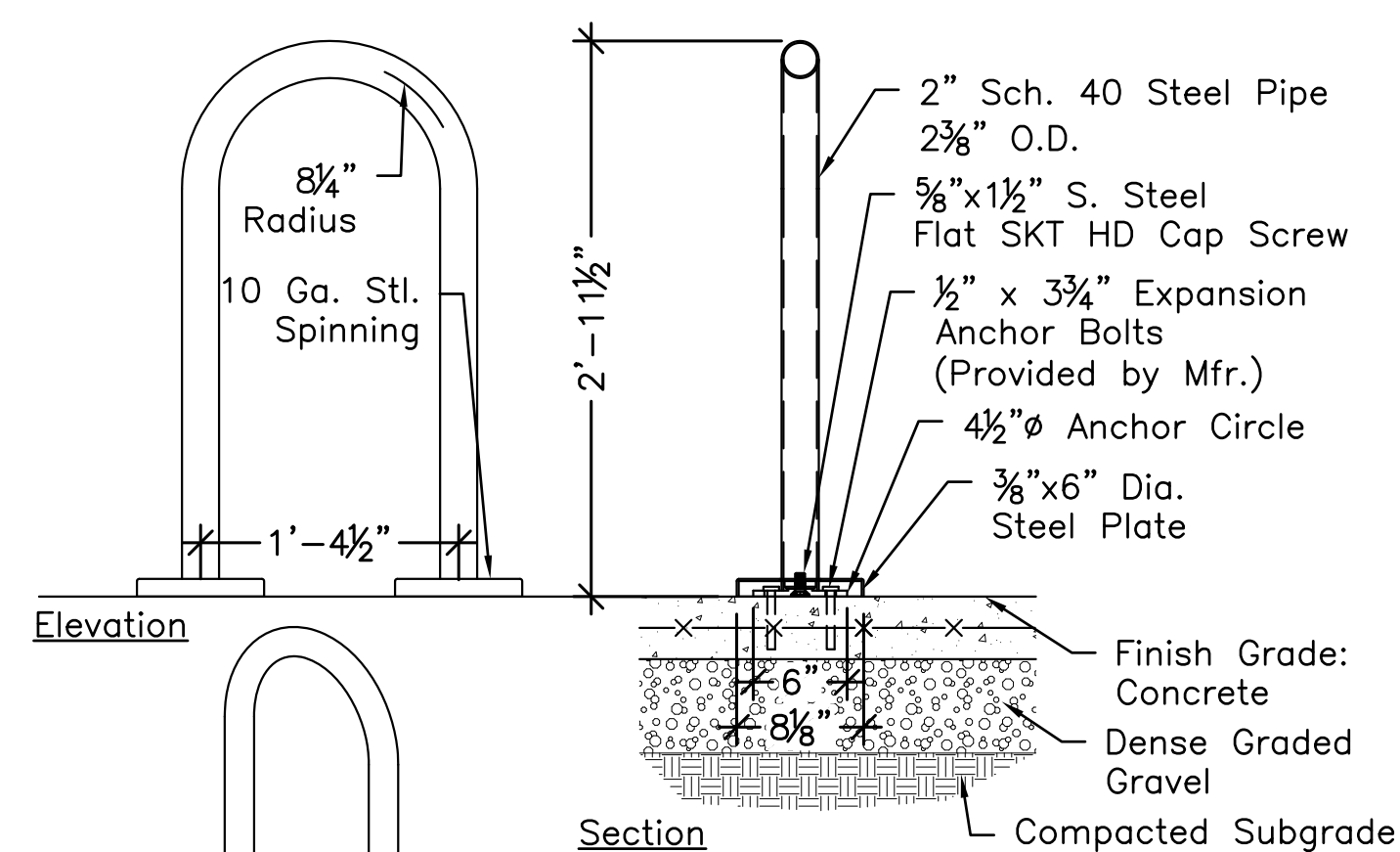


Senior Center Sign

- Note:**
1. Existing Medway Senior Center Sign at Senior Center Entry in the existing parking lot to be removed and reinstalled; see plan L4.1 for location.
 2. Senior Center Sign to be reinstalled in the same manner as it is currently installed.
 3. Front of sign to face south down Oakland Street.
 4. Rear of sign to be painted by Town at later point

2 Relocated Medway Senior Center Sign

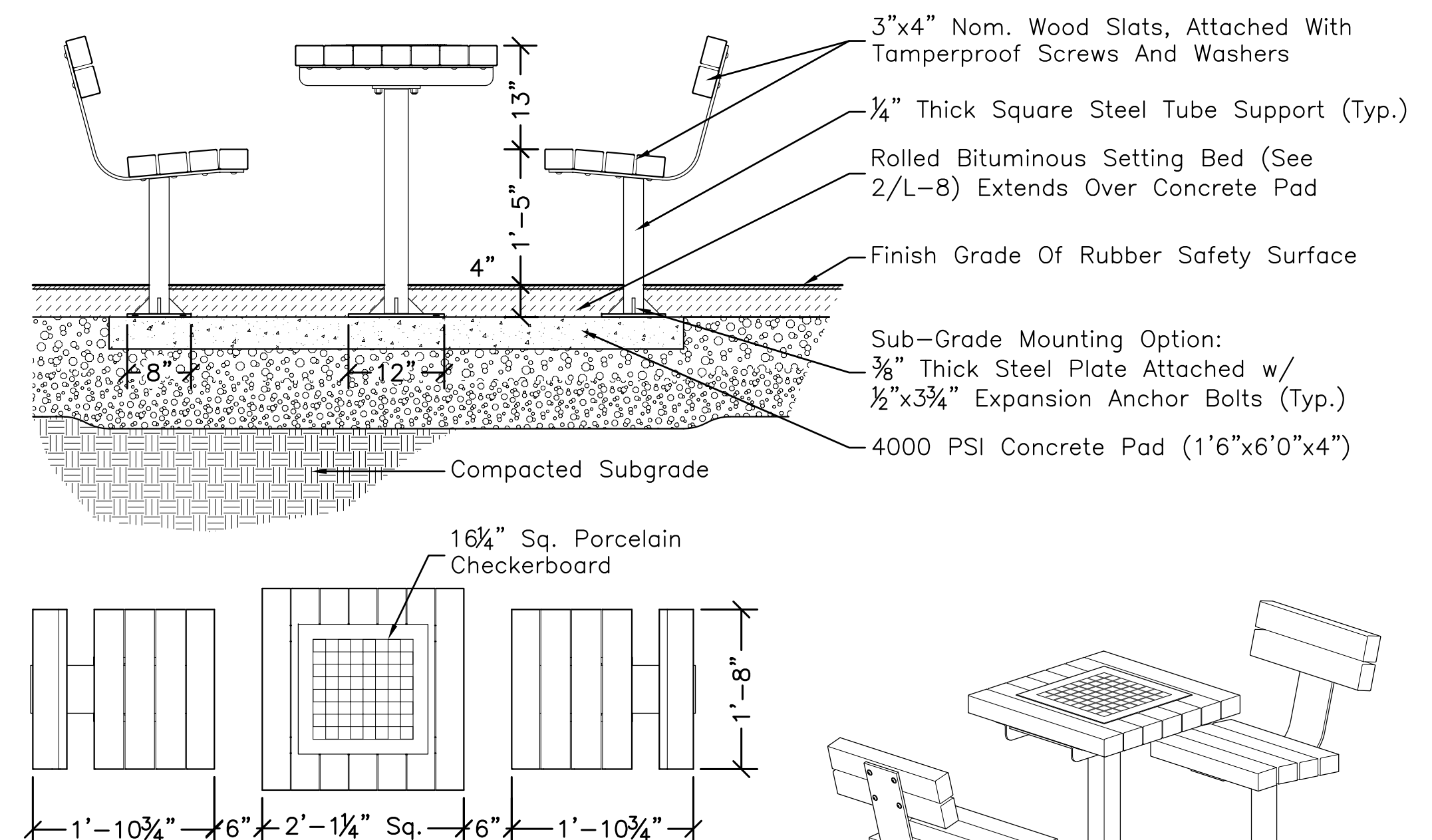
Scale: 1" = 1'-0"



- Notes:**
1. SHOP DRAWINGS REQUIRED
 2. Bike Rack to be DuMor 83 Series Surface Mount Bike Rack
 3. Contractor to follow all Manufacturer's installation instructions.
 4. All Steel members are to be coated with a Zinc Richy epoxy and then finished with polyester powder coating. Color to be Black

5 Surface Mount Bike Rack

Scale: 1" = 1'-0"

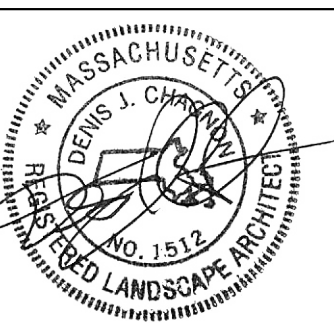


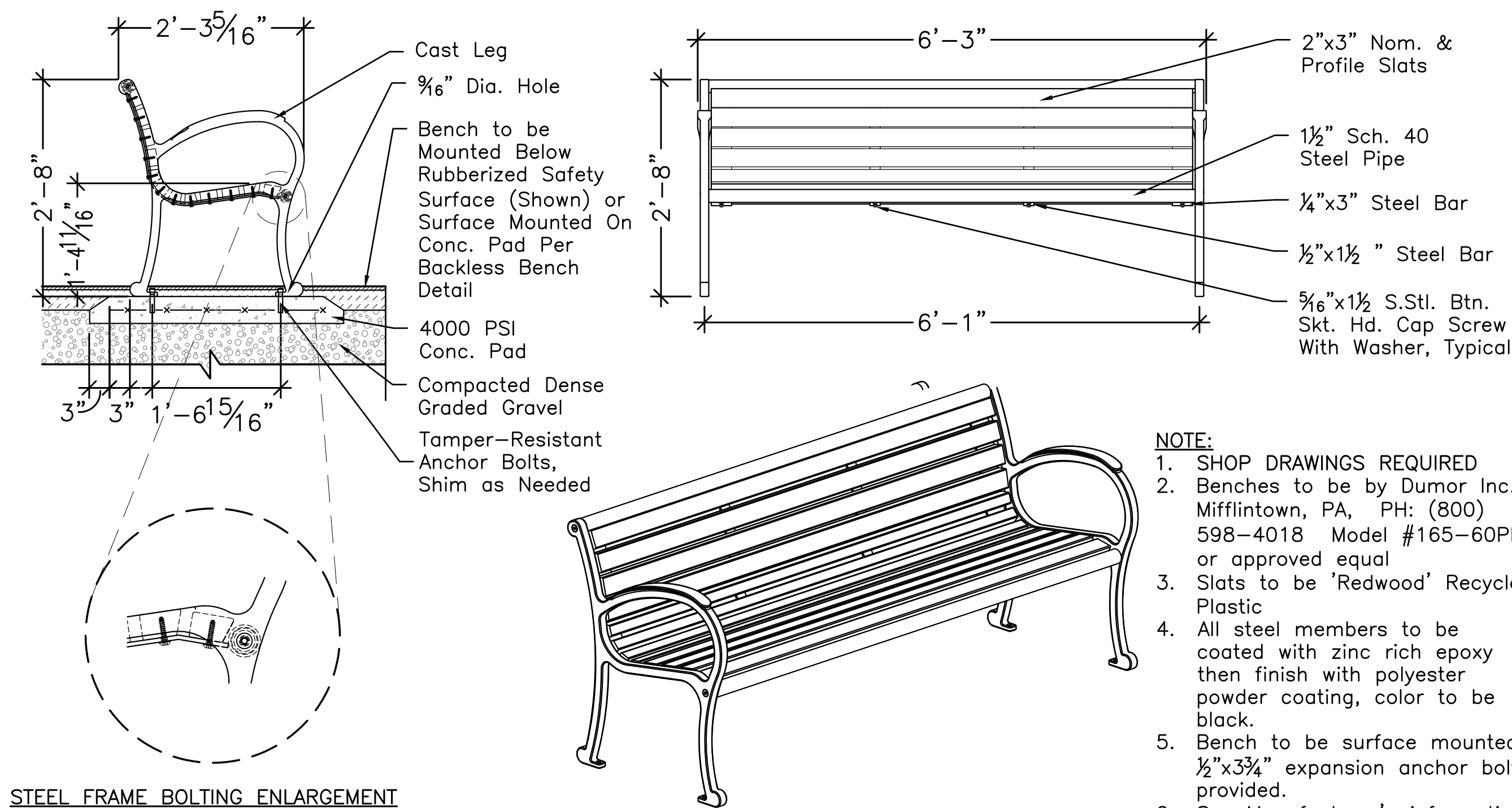
- NOTE:**
1. SHOP DRAWINGS REQUIRED
 2. Benches to be by Dumor Inc. Mifflintown, PA, PH: (800) 598-4018 Model 78-32PL/S-4 Mounting (Sub-Floor).
 3. Slots to be 'Redwood' Recycled Plastic
 4. All steel members to be coated with zinc rich epoxy then finish with polyester powder coating, color to be black. Touch-up Paint Kit to be provided.
 5. Bench to be sub-grade mounted.
 6. See manufactures information for installation instructions.

7 Game Table

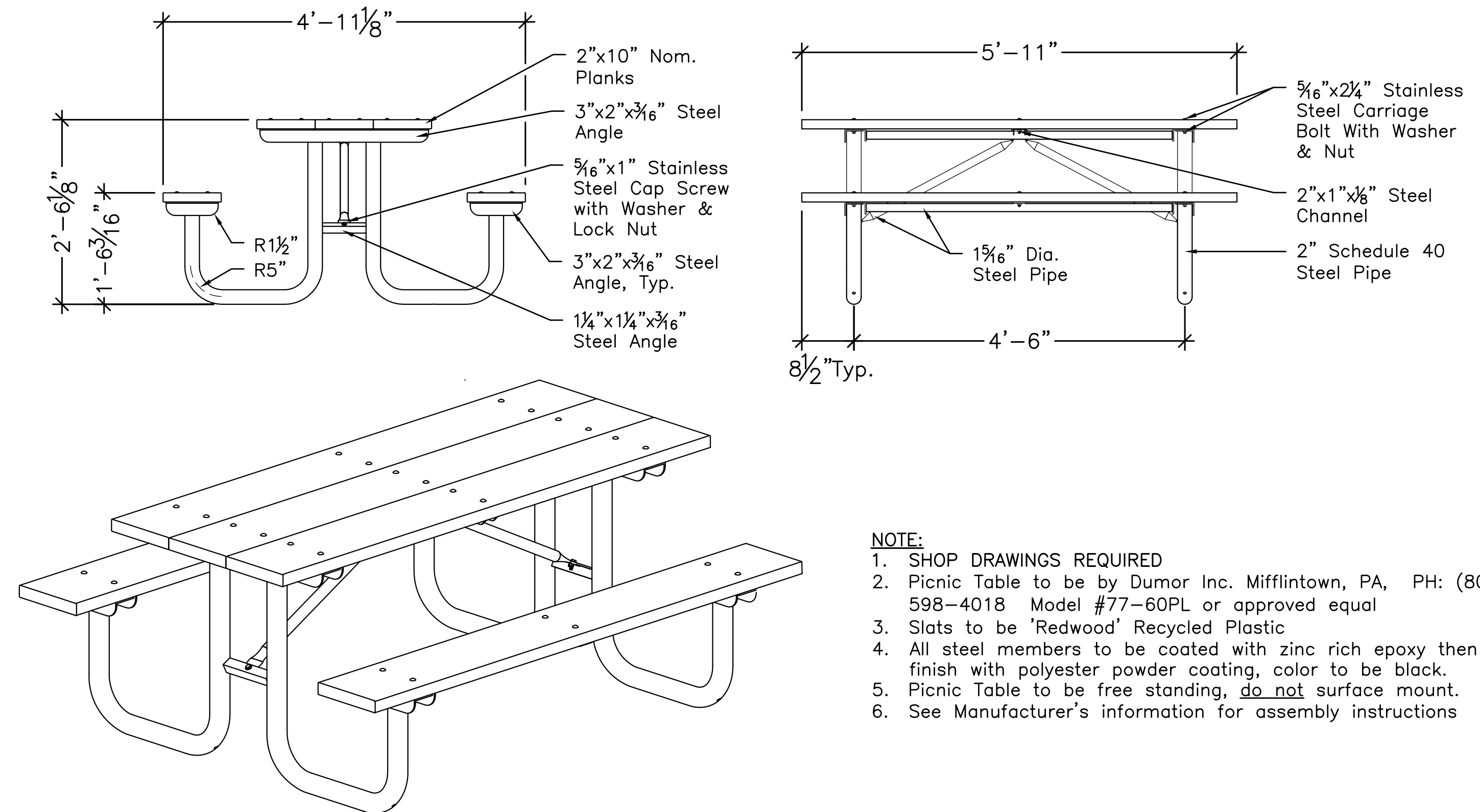
Scale: 3/4" = 1'-0"

REVISIONS:		
1	09-22-17	P.B. Comments
DATE:	08-17-2017	
SCALE:	VARIES	
FILE:	OAK_PERMITTING_L9.dwg	
DWN BY:	PAH	
CKD BY:	DJC	
PROJ. #:	1612B	

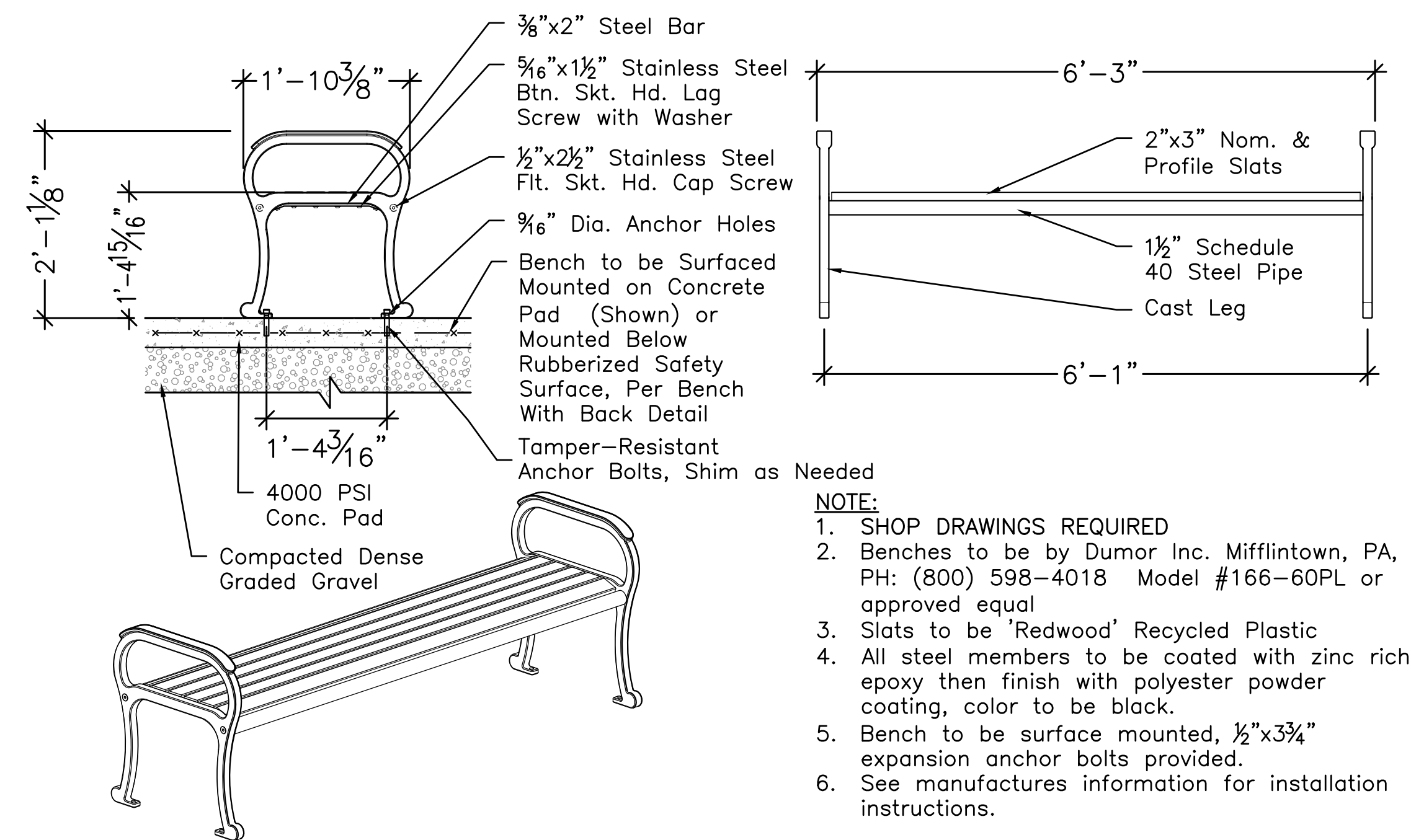




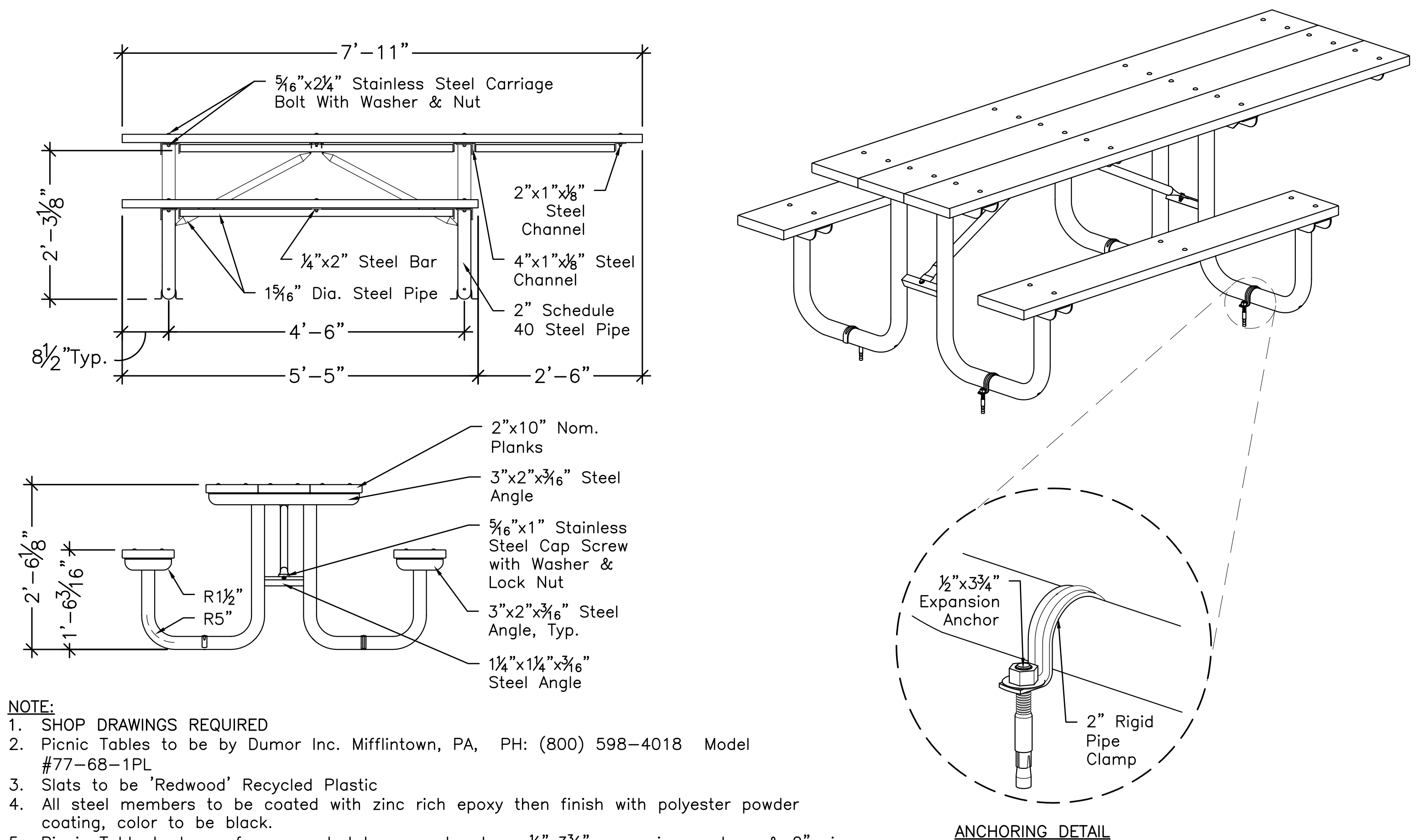
1 6' Bench With Back
Scale: 3/4" = 1'-0"



3 6' Picnic Table (Below Pavilion)
Scale: 3/4" = 1'-0"

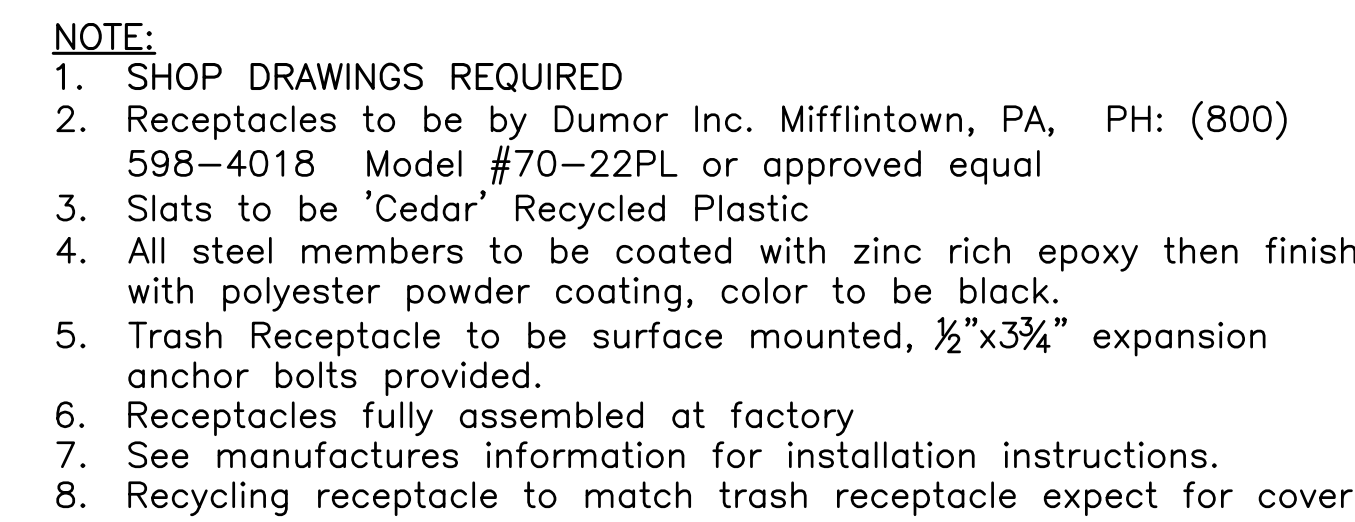


2 6' Bench With Back
Scale: 3/4" = 1'-0"

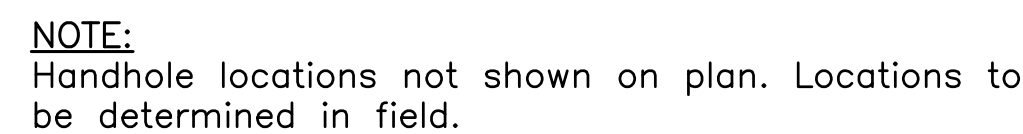
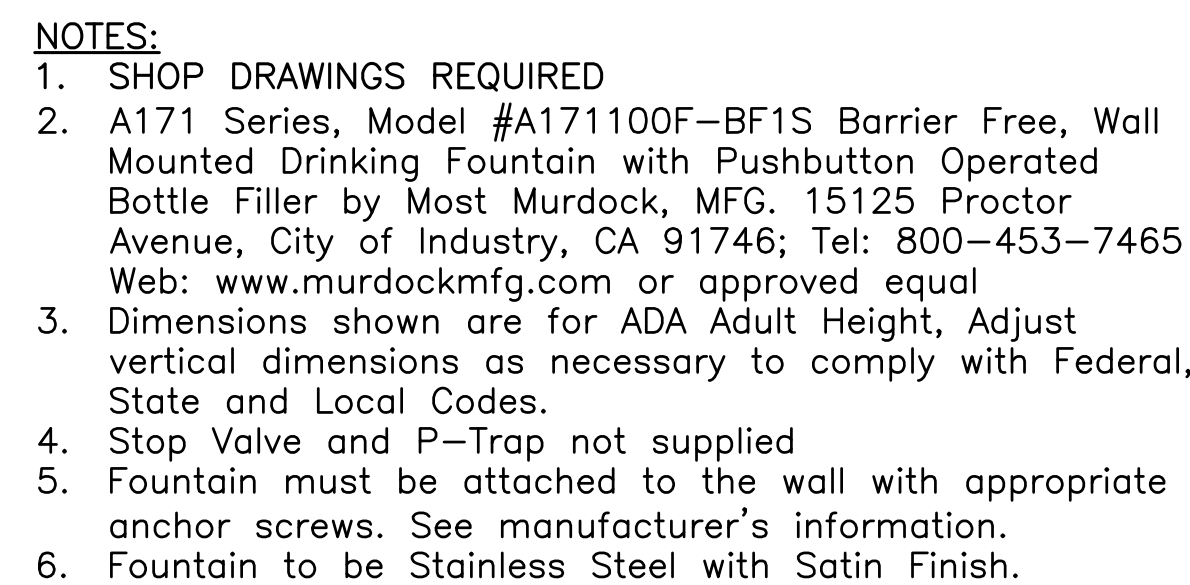


4 ADA Accessible Picnic Table (In Playground)
Scale: 3/4" = 1'-0"

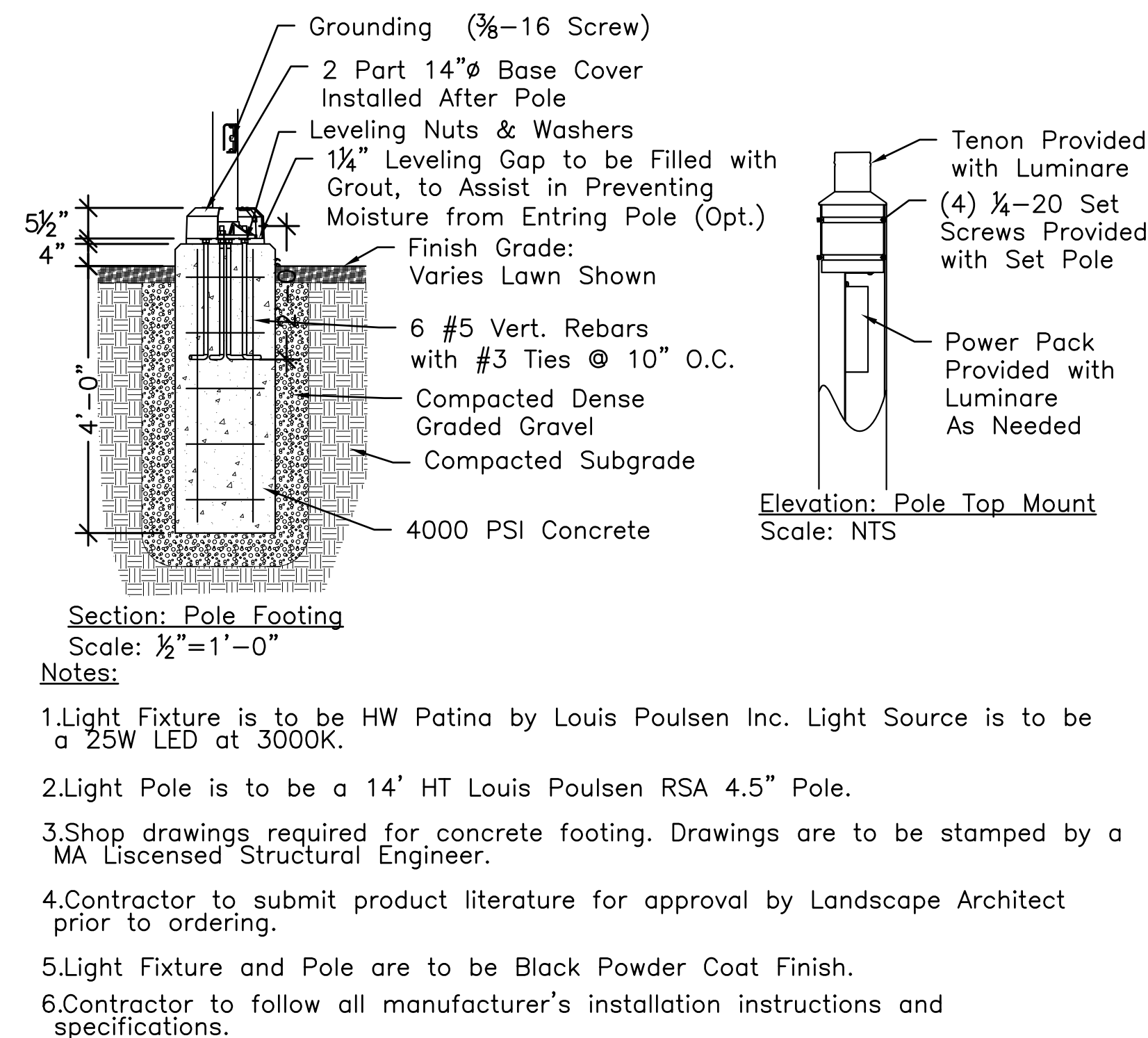
FOR PERMIT ONLY



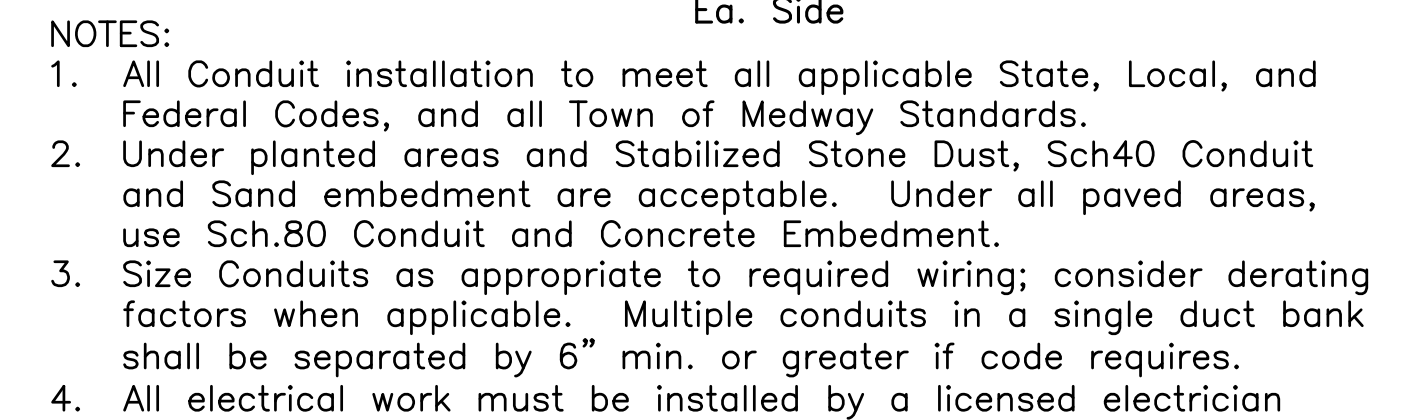
Scale: $3/4" = 1'-0"$



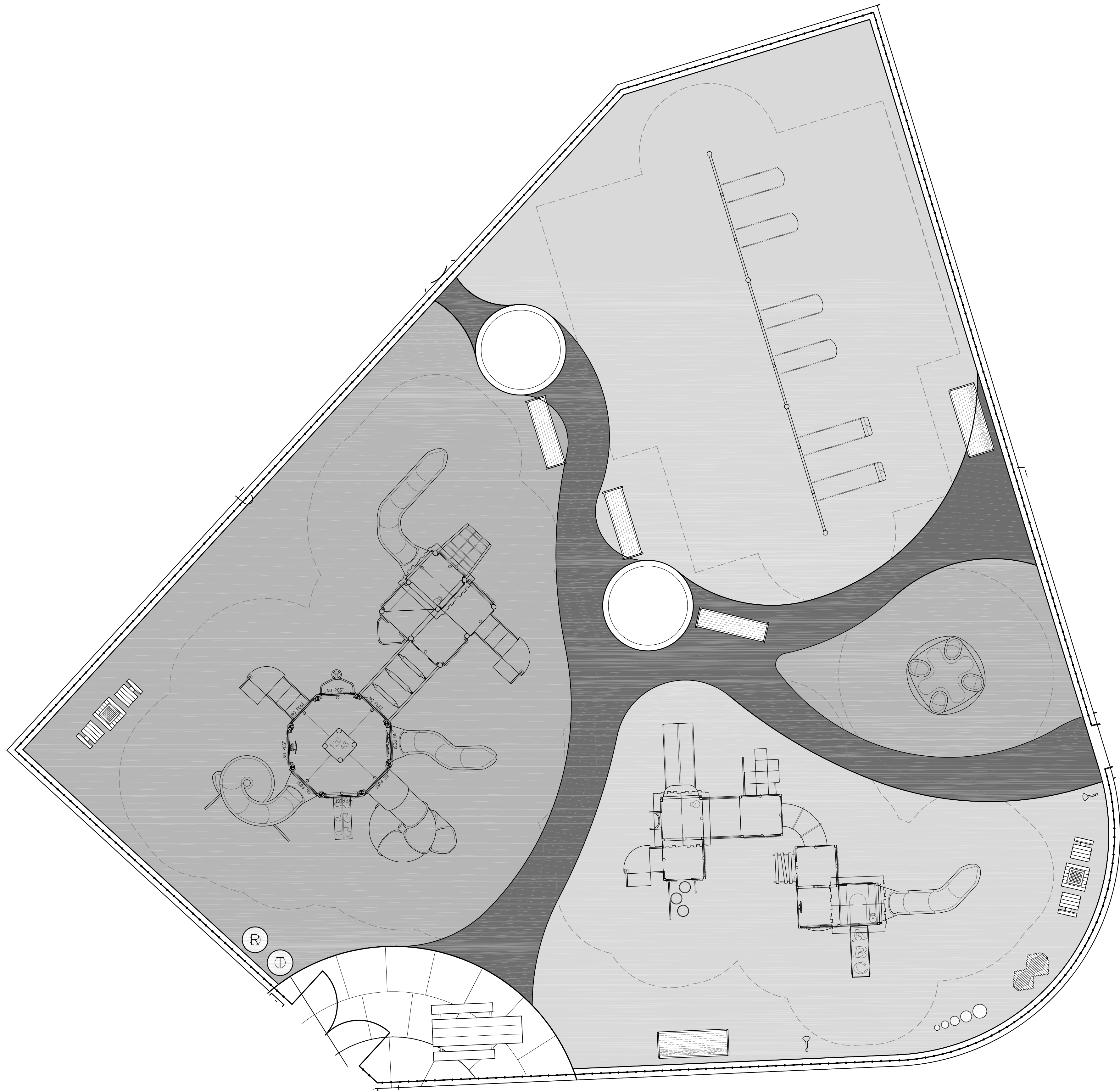
Scale: $\frac{3}{4}" = 1'-0"$



Scale: $1/2'' = 1'-0''$



Scale: $\frac{3}{4}" = 1'-0"$



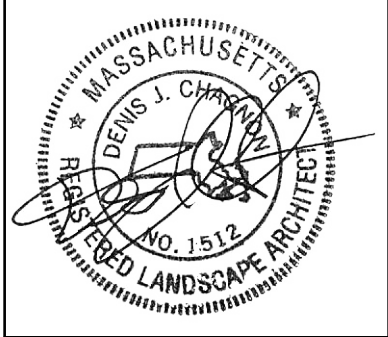
NOTES:

1. Layout of details shown is schematic only, intended to show approximate extents; final layout will be determined in the field by the Landscape Architect and Owner before installation of rubber surface top (wearing/color) course.
2. Color detail areas shall be applied first unless otherwise approved by Landscape Architect and Owner's Representative. Prepare rubber safety surface base (cushion) course, then lay out details in the field with Landscape Architect and Owner.
3. Each color blend (3 total: 2 for large fields, plus 1 color blend for dividing wave) shall be a mix of 3 standard colors, to be selected by Landscape Architect and Owner from the manufacturer's full color range.
4. Prepare sample area for approval before installation.

1 Wave Pattern In Playground

Scale: 3/16" = 1'-0"

REVISIONS:		
1	09-22-17	P.B. Comments
DATE: 08-17-2017		
SCALE: VARIES		
FILE: OAK_PERMITTING_L9.dwg		
DWN BY: PAH		
CKD BY: DJC		
PROJ. #: 1612B		



L9.7

FOR PERMIT ONLY

OAKLAND PARK
Site Plan Submission
DETAILS



Renderings of the Proposed Play Equipment

CBA Landscape Architects LLC
24 THORNDIKE STREET CAMBRIDGE MA 02141
phone 617.945.9760 I www.cbaland.com I cba@cbaland.com
landscape architecture
urban design
master planning

OAKLAND PARK
Site Plan Submission
PLAY EQUIPMENT

REVISIONS:		
1	09-22-17	P.B. Comments
DATE: 08-17-2017		
SCALE: N.T.S.		
FILE: OAK_PERMITTING_L10.dwg		
DWN BY: PAH		
CKD BY: DJC		
PROJ. # : 1612B		



L10.0

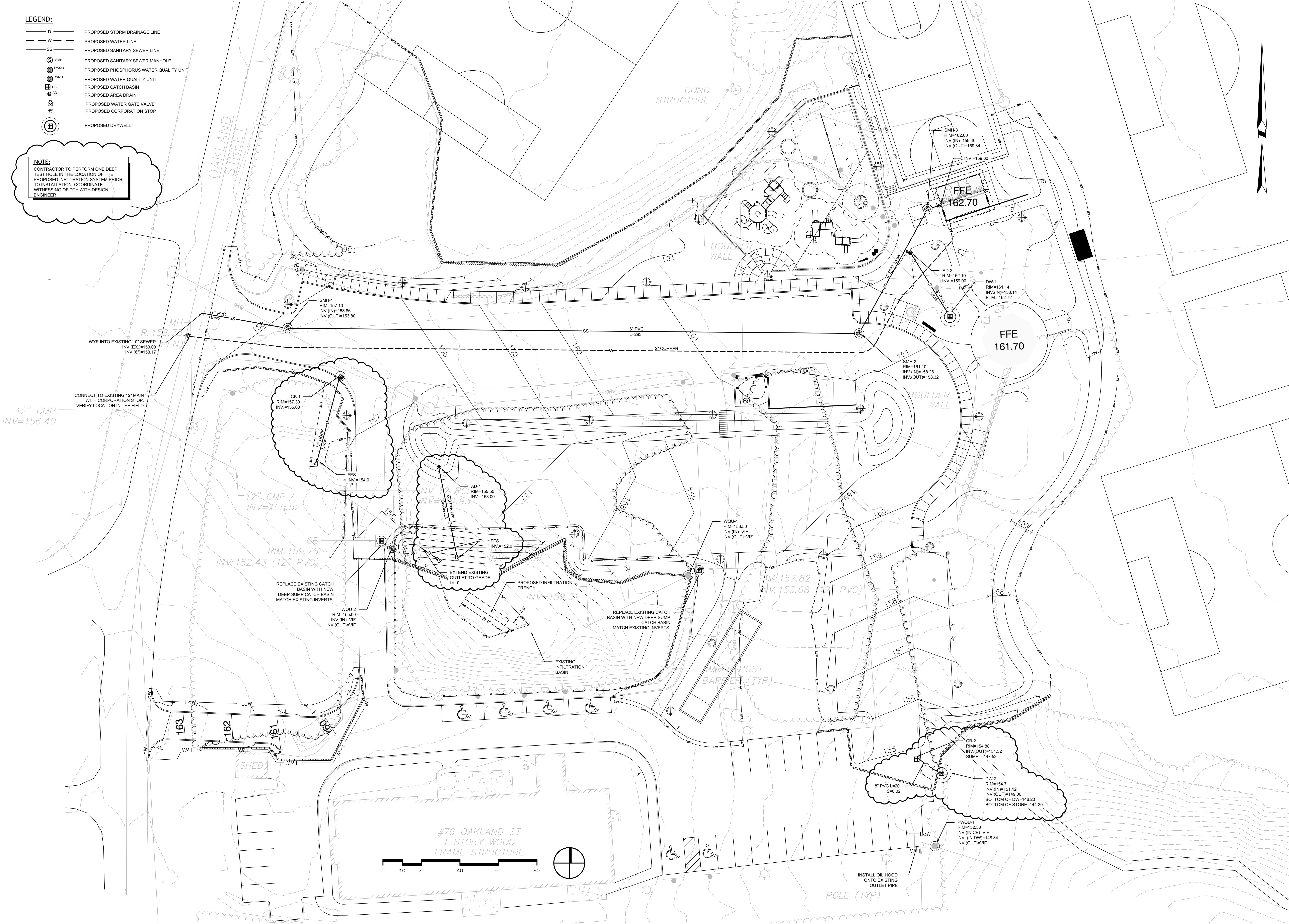
FOR PERMIT ONLY

LEGEND:

- D — PROPOSED STORM DRAINAGE LINE
W — PROPOSED WATER LINE
SS — PROPOSED SANITARY SEWER LINE
SMH — PROPOSED SANITARY SEWER MANHOLE
PWQU — PROPOSED PHOSPHORUS WATER QUALITY UNIT
WQU — PROPOSED WATER QUALITY UNIT
CB — PROPOSED CATCH BASIN
AD — PROPOSED AREA DRAIN
WGV — PROPOSED WATER GATE VALVE
COP — PROPOSED CORPORATION STOP
DW — PROPOSED DRYWELL

NOTE:

CONTRACTOR TO PERFORM ONE DEEP TEST HOLE IN THE LOCATION OF THE PROPOSED INFILTRATION SYSTEM PRIOR TO INSTALLATION. COORDINATE WITNESSING OF DTH WITH DESIGN ENGINEER



CBA | Landscape Architects LLC

24 THORNDIKE STREET | CAMBRIDGE, MA 02141
phone 617.945.9760 | www.cbaland.com | cba@cbaland.com
landscape architecture
urban design
master planning

OAKLAND PARK

Medway, MA

DRAINAGE AND UTILITIES PLAN

REVISIONS:

1	09-22-17	P.B. Comments
---	----------	---------------

DATE: 08.17.2017

SCALE: 1"=20'

FILE: 17027.00cd.dwg

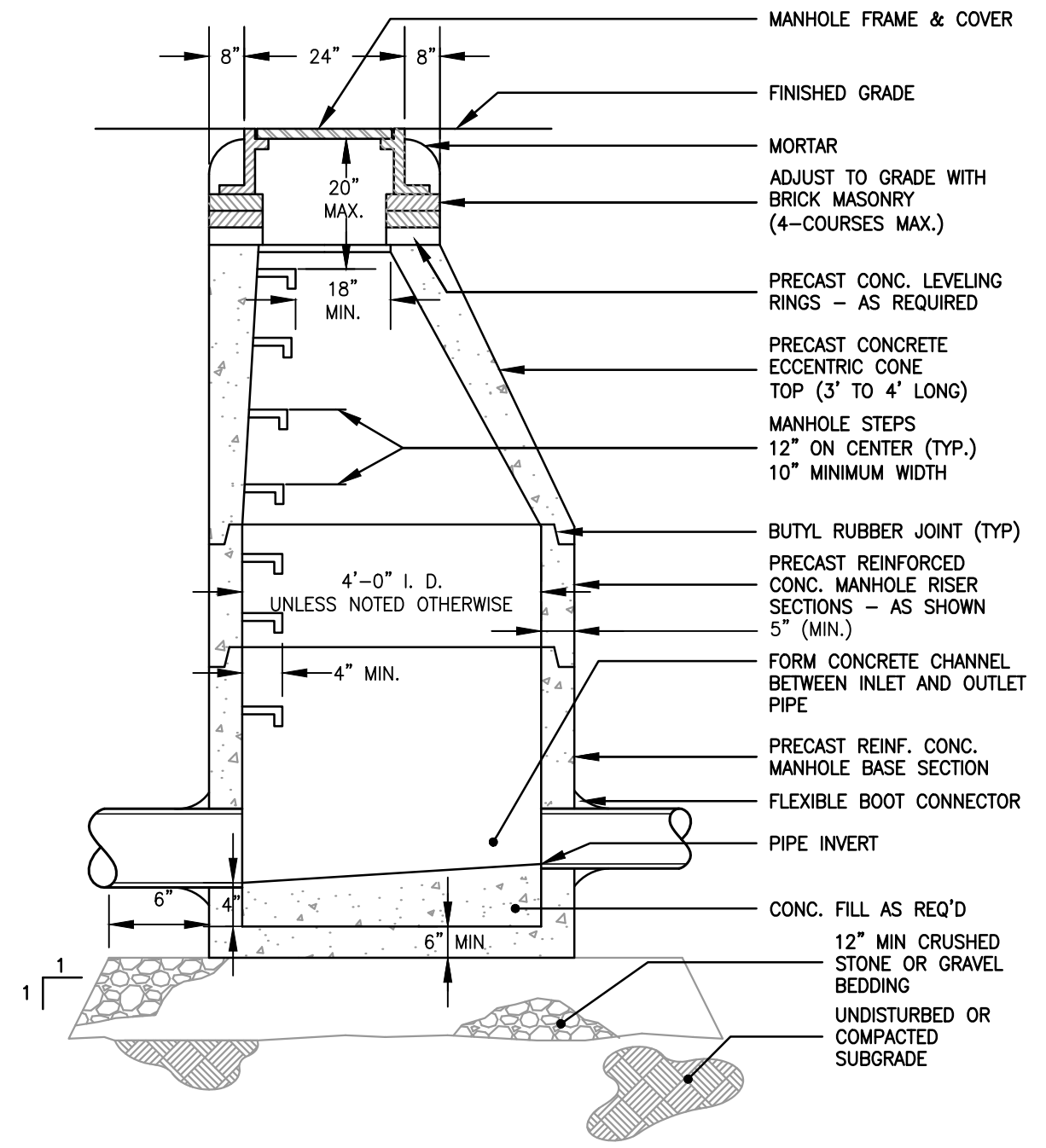
DWN BY: NS

CKD BY: AMT

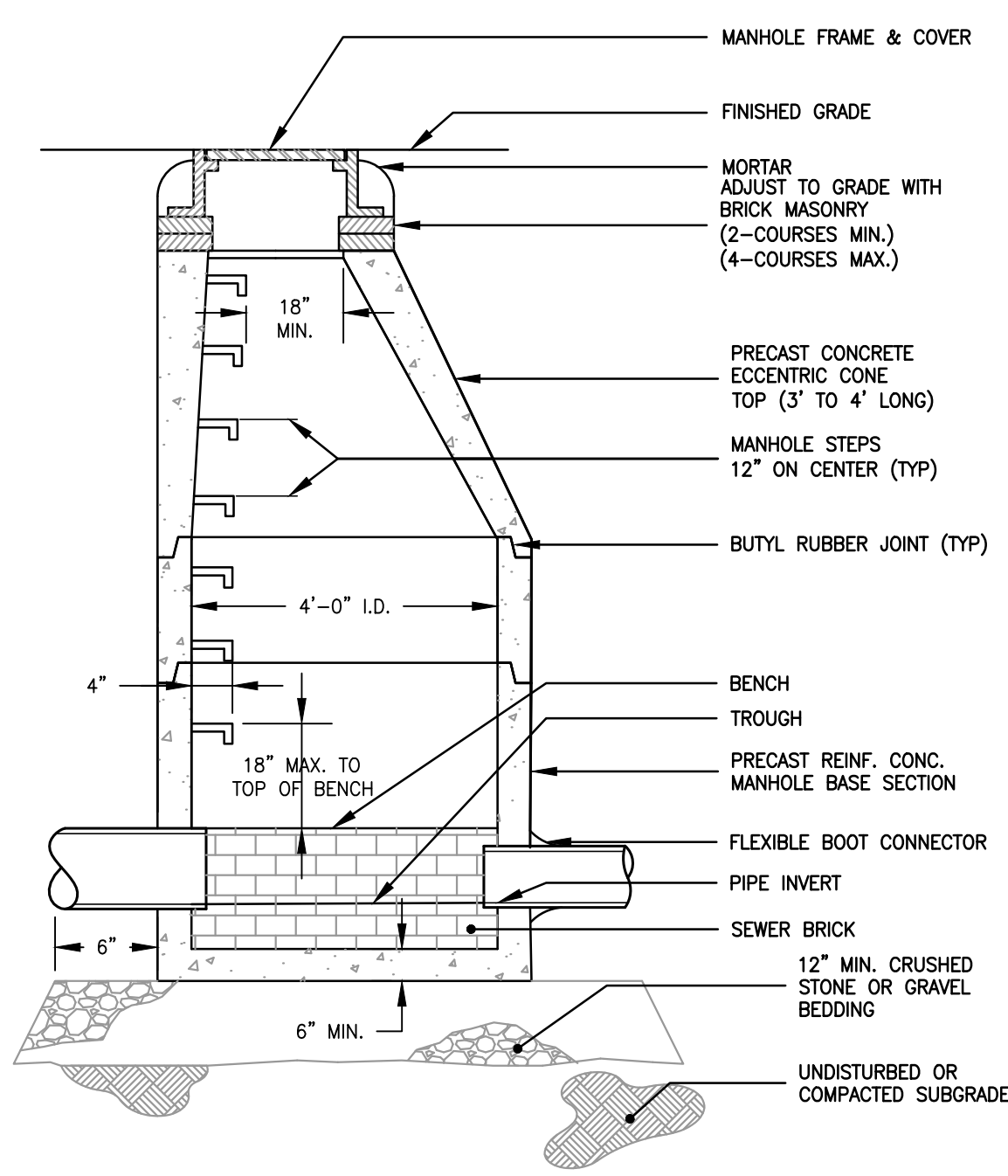
PROJ. #: 17027.00



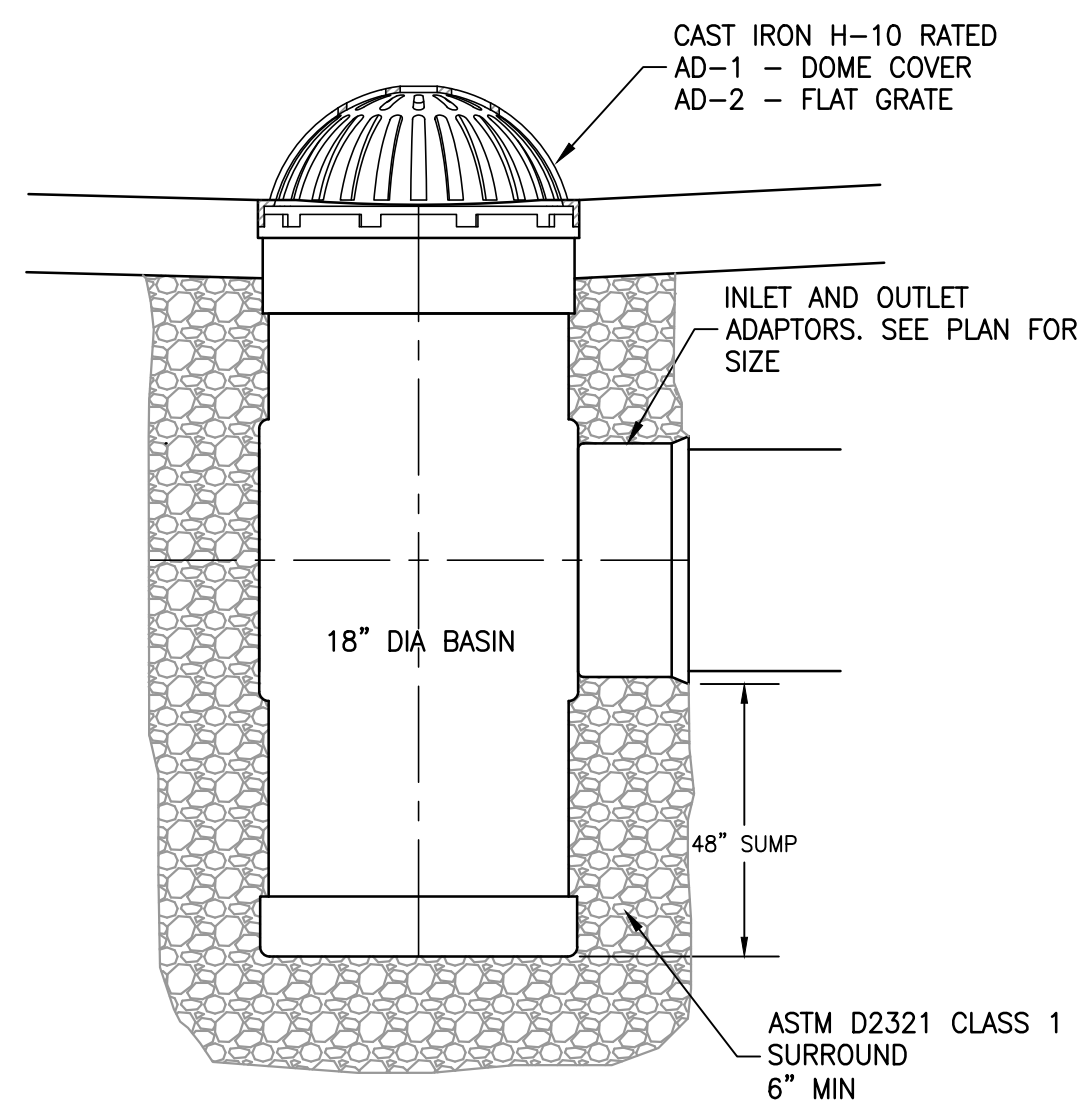
C-1.1



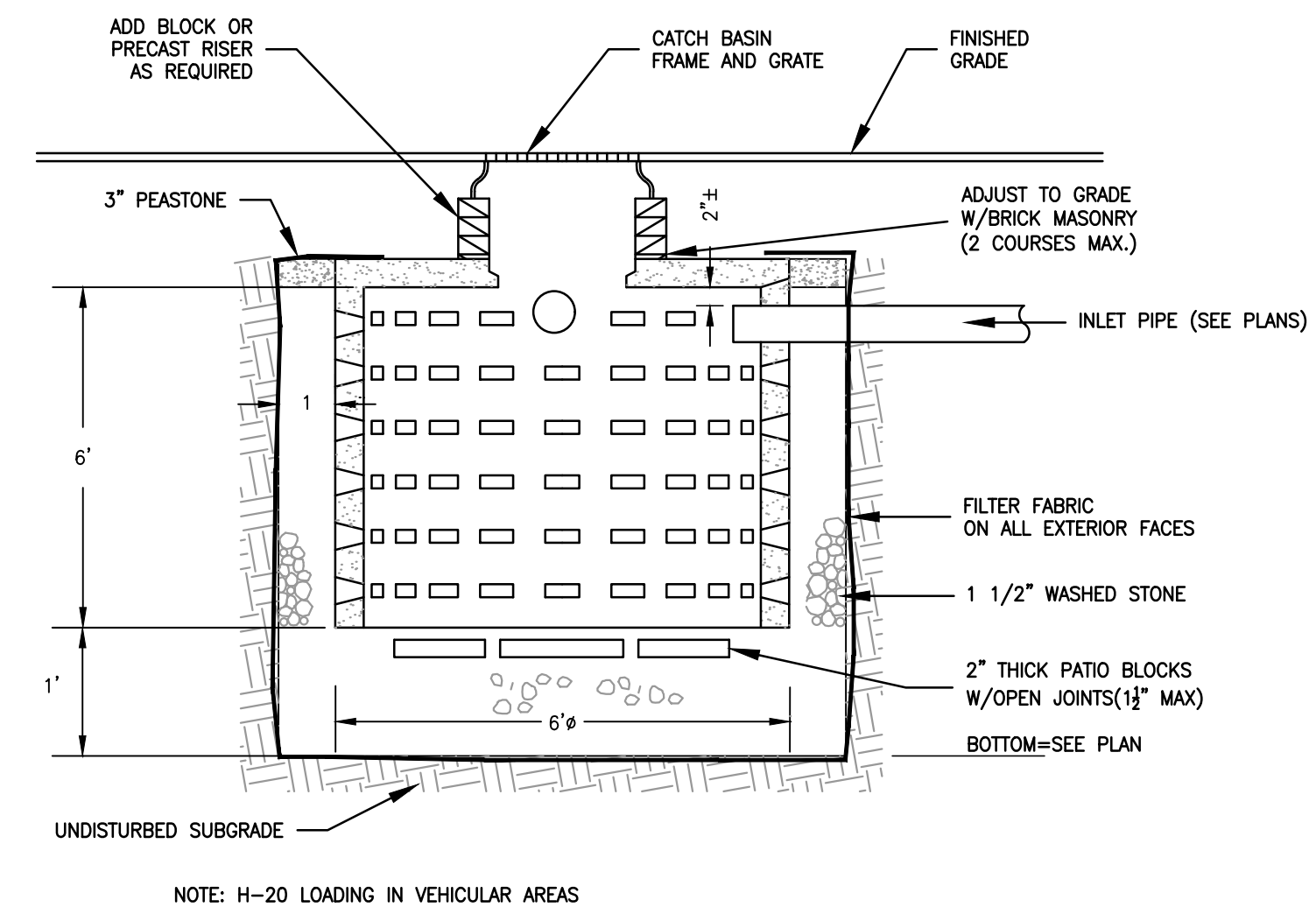
1 PRECAST STORM DRAIN MANHOLE
NTS



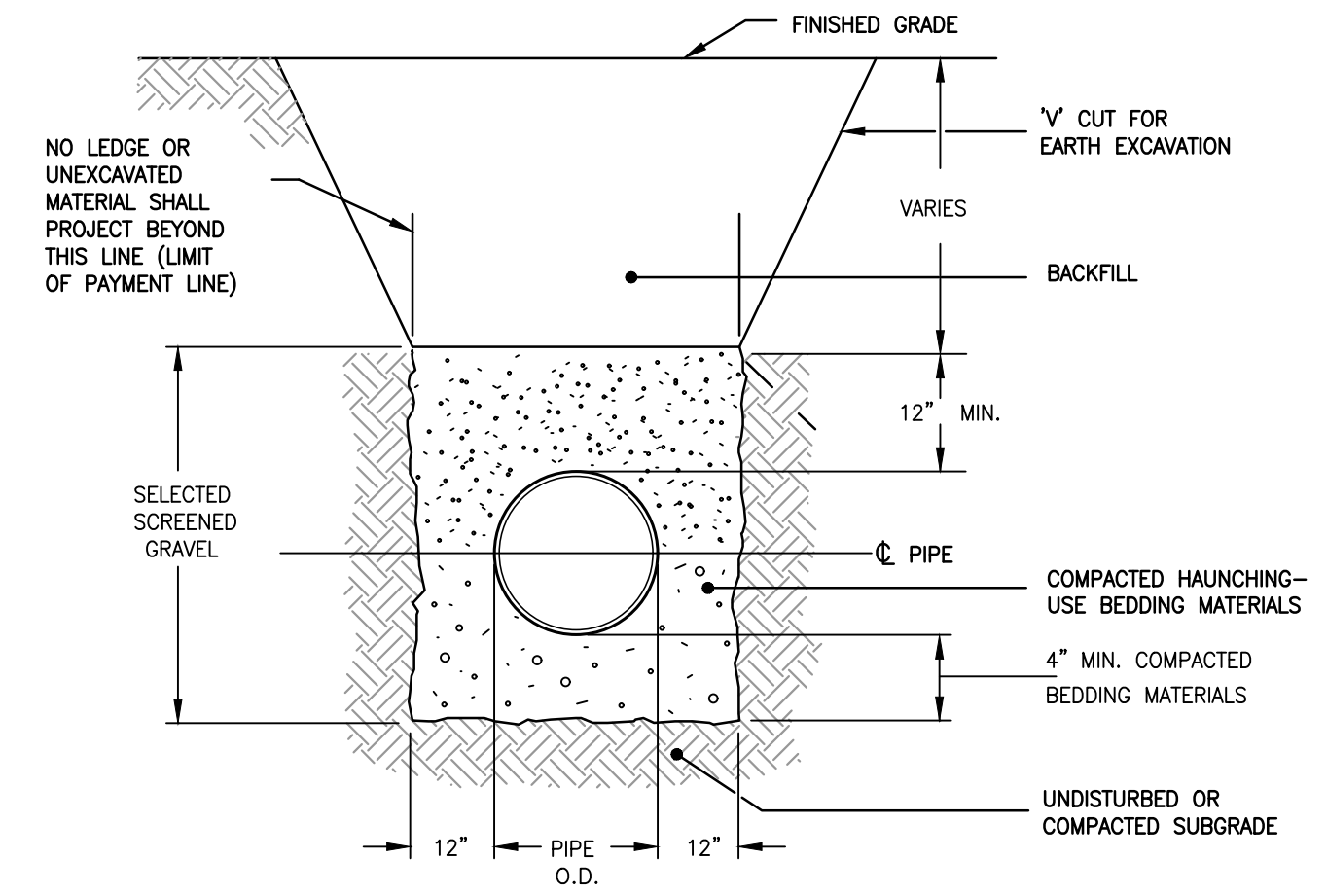
2 PRECAST SANITARY MANHOLE
NTS



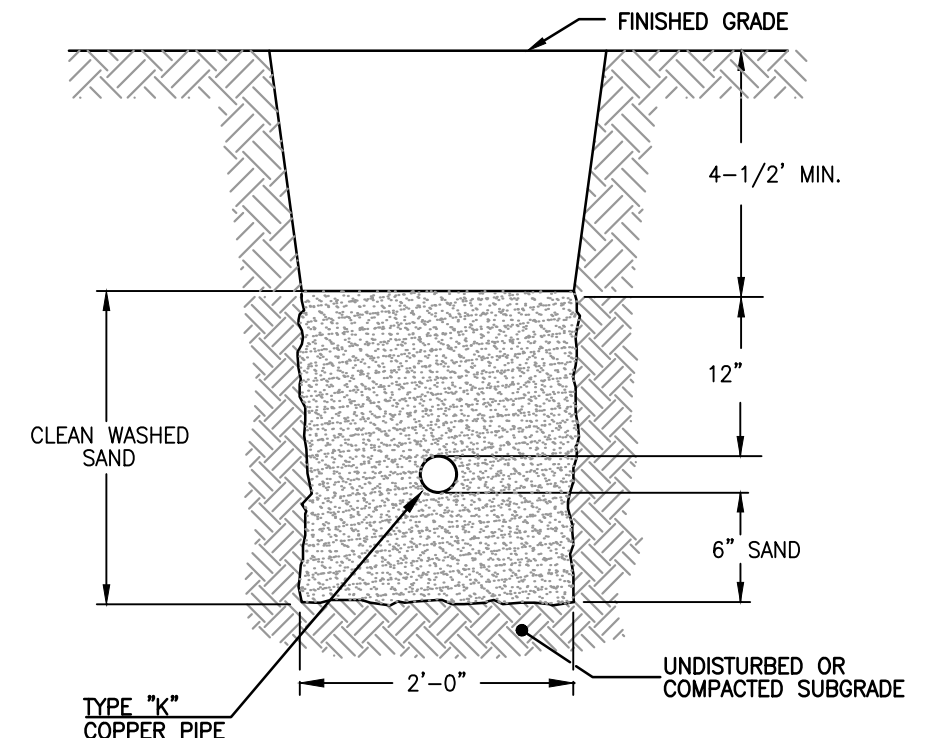
3 AREA DRAIN
NTS



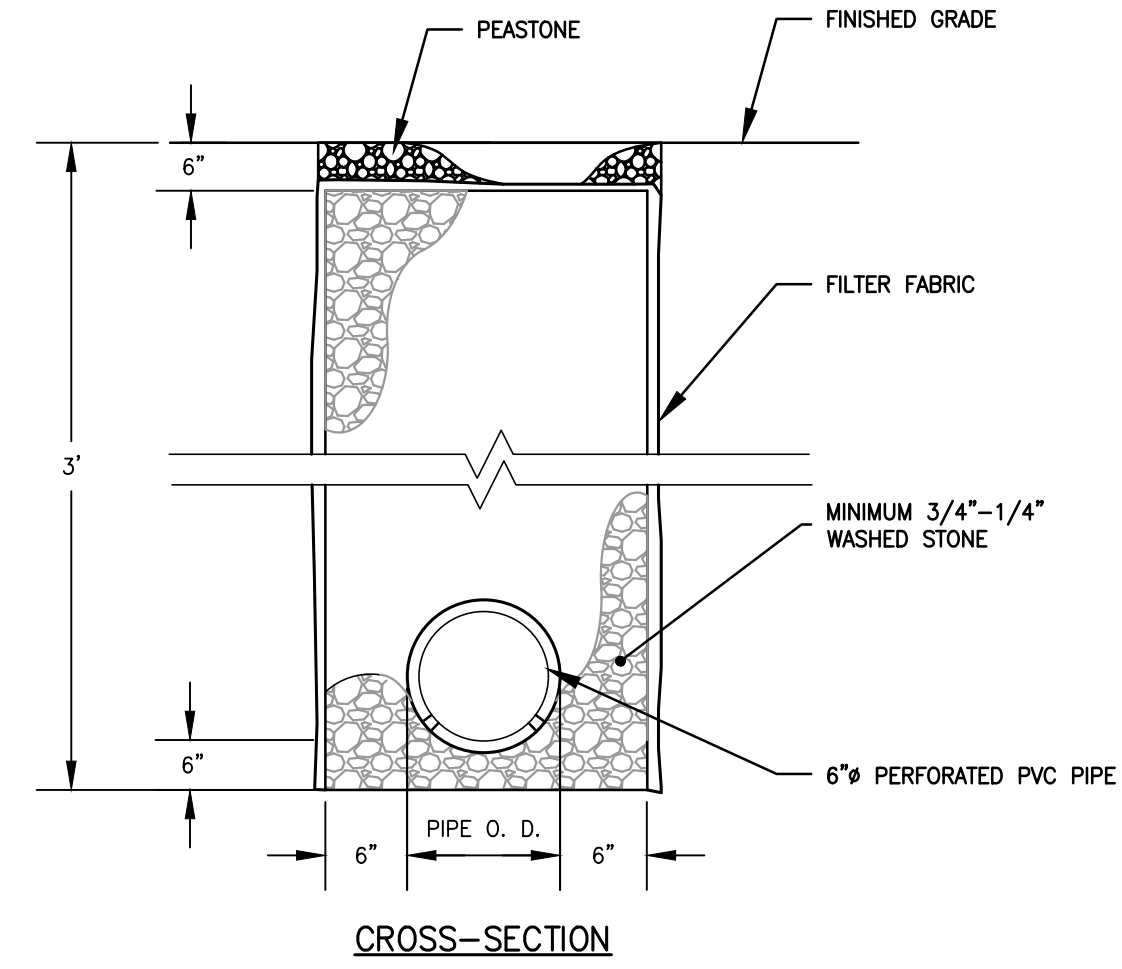
4 LEACHING CATCH BASIN/DRYWELL
NTS



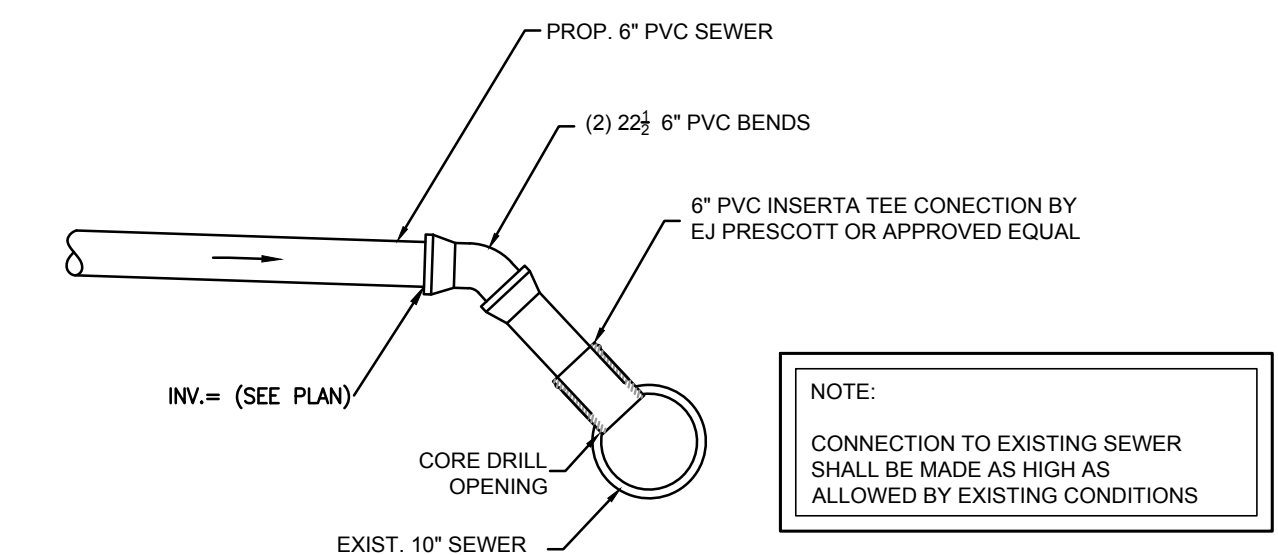
5 TRENCH SECTION- HDPE/PVC GRAVITY PIPE
NTS



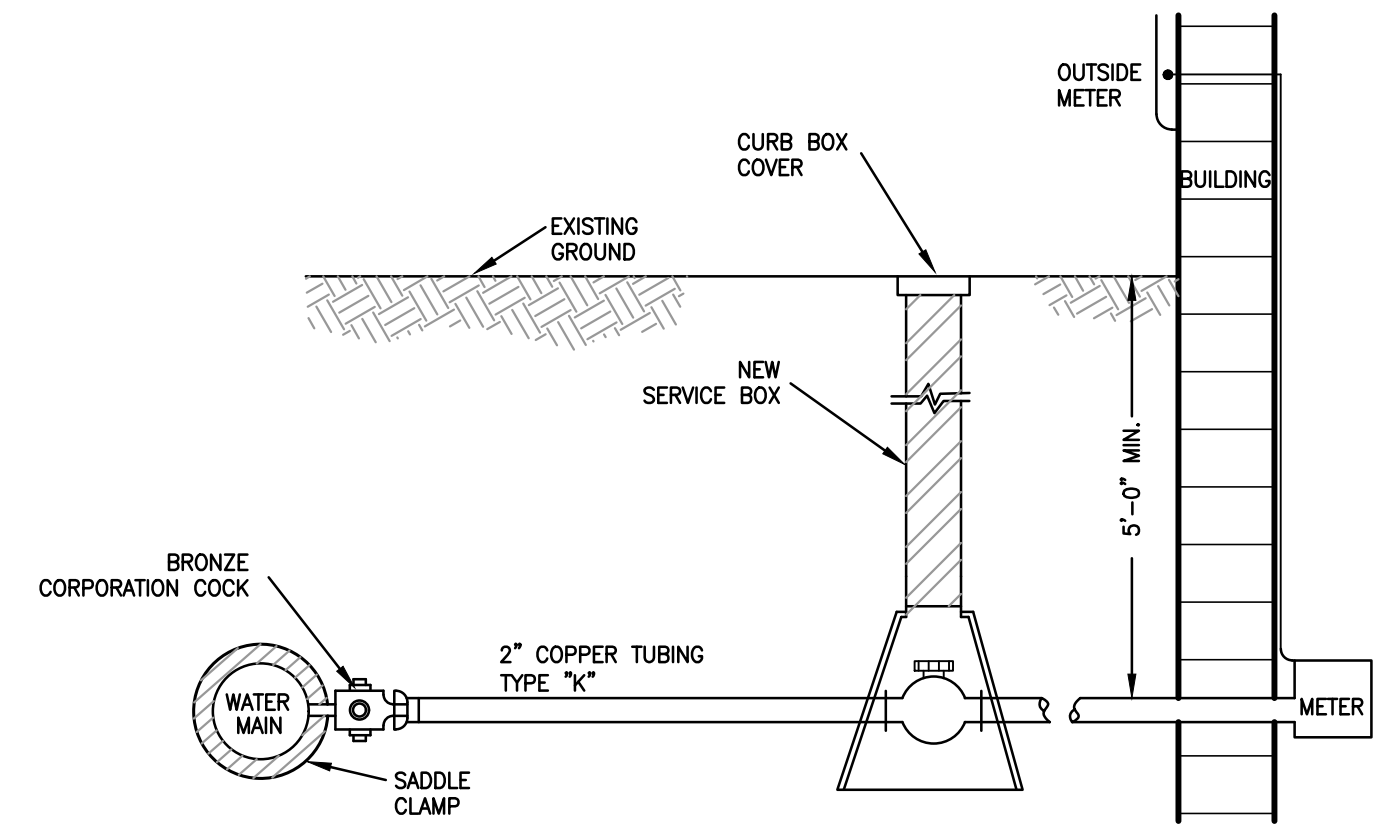
6 COPPER PIPE TRENCH
NTS



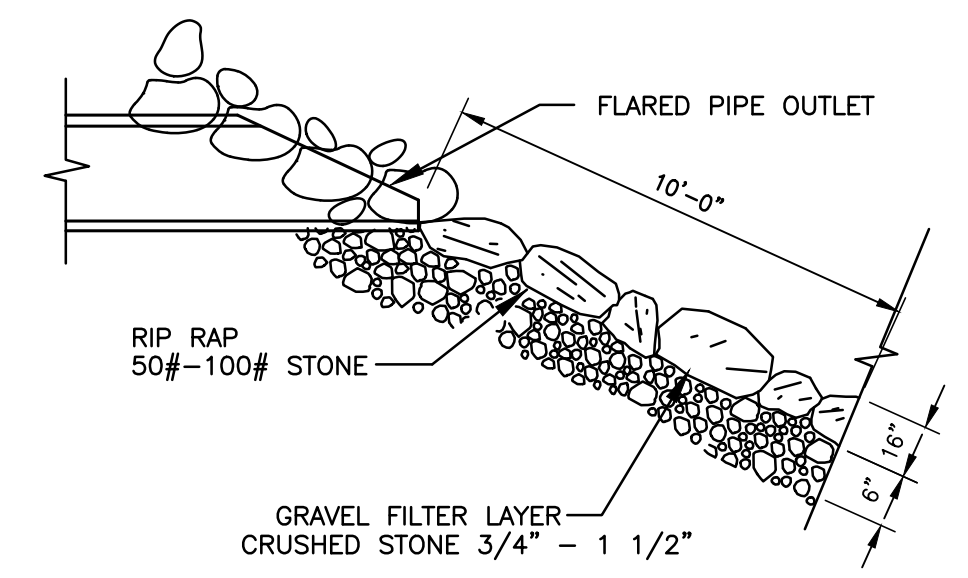
7 INFILTRATION TRENCH
NTS



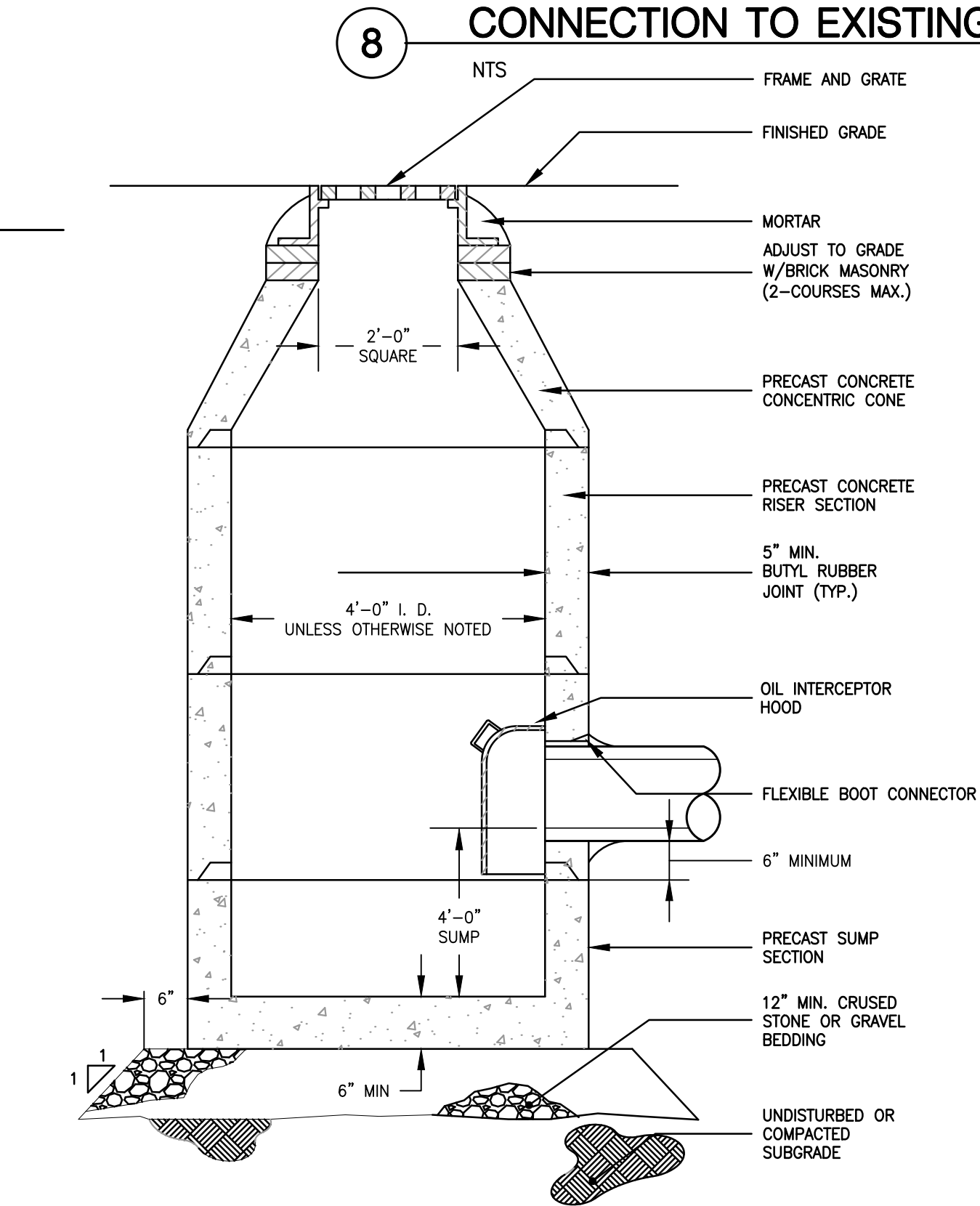
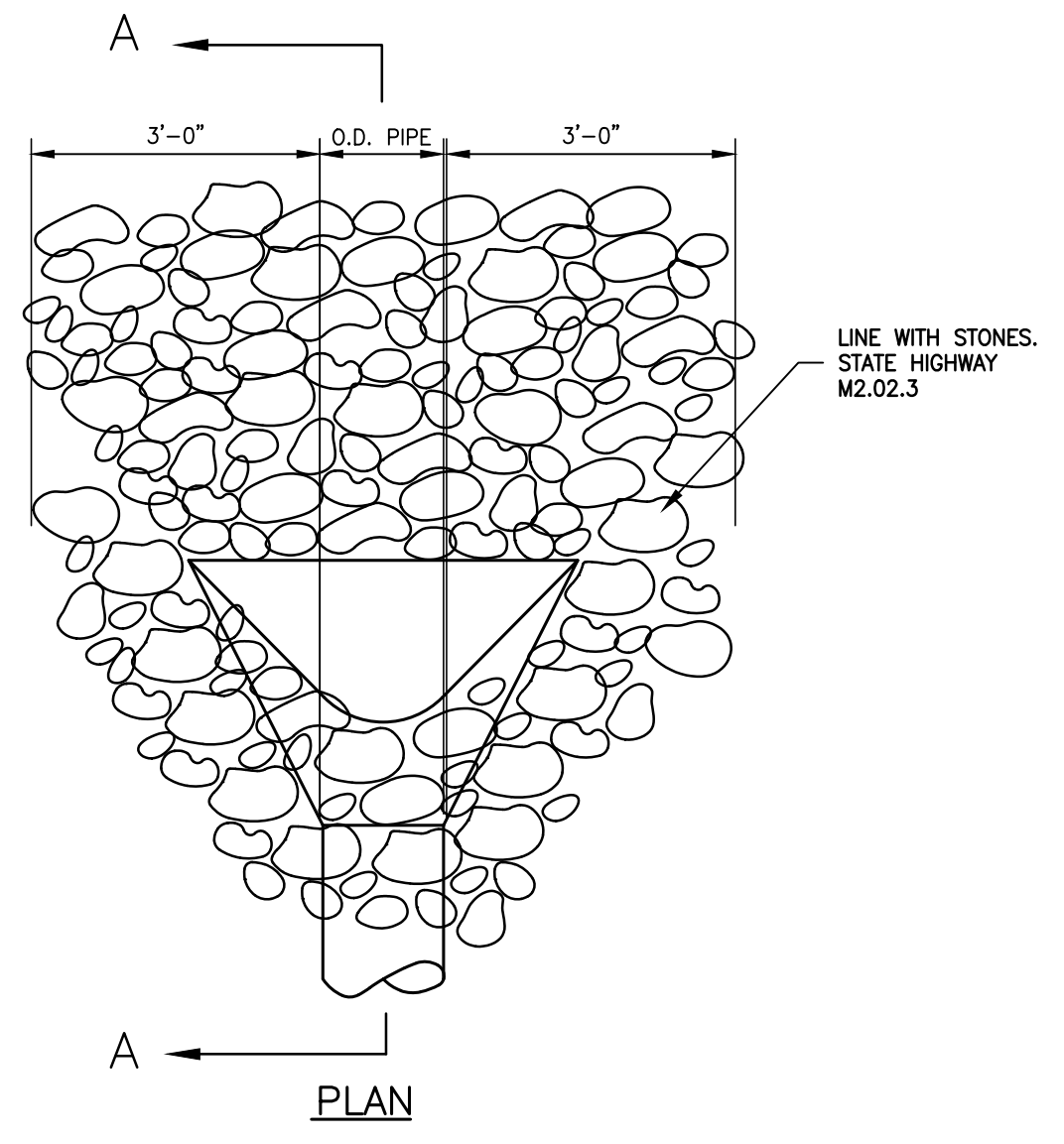
8 CONNECTION TO EXISTING SEWER
NTS



9 CORPORATION STOP & METER
NTS



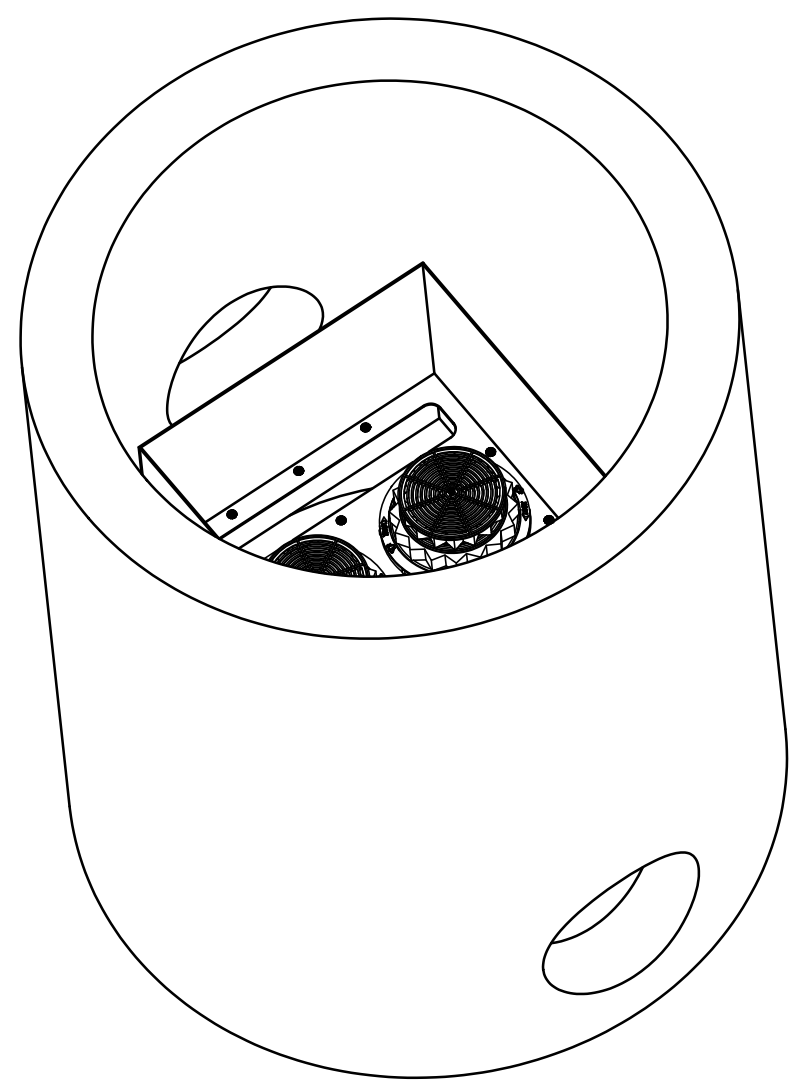
10 FLARED END SECTION OUTLET
NTS



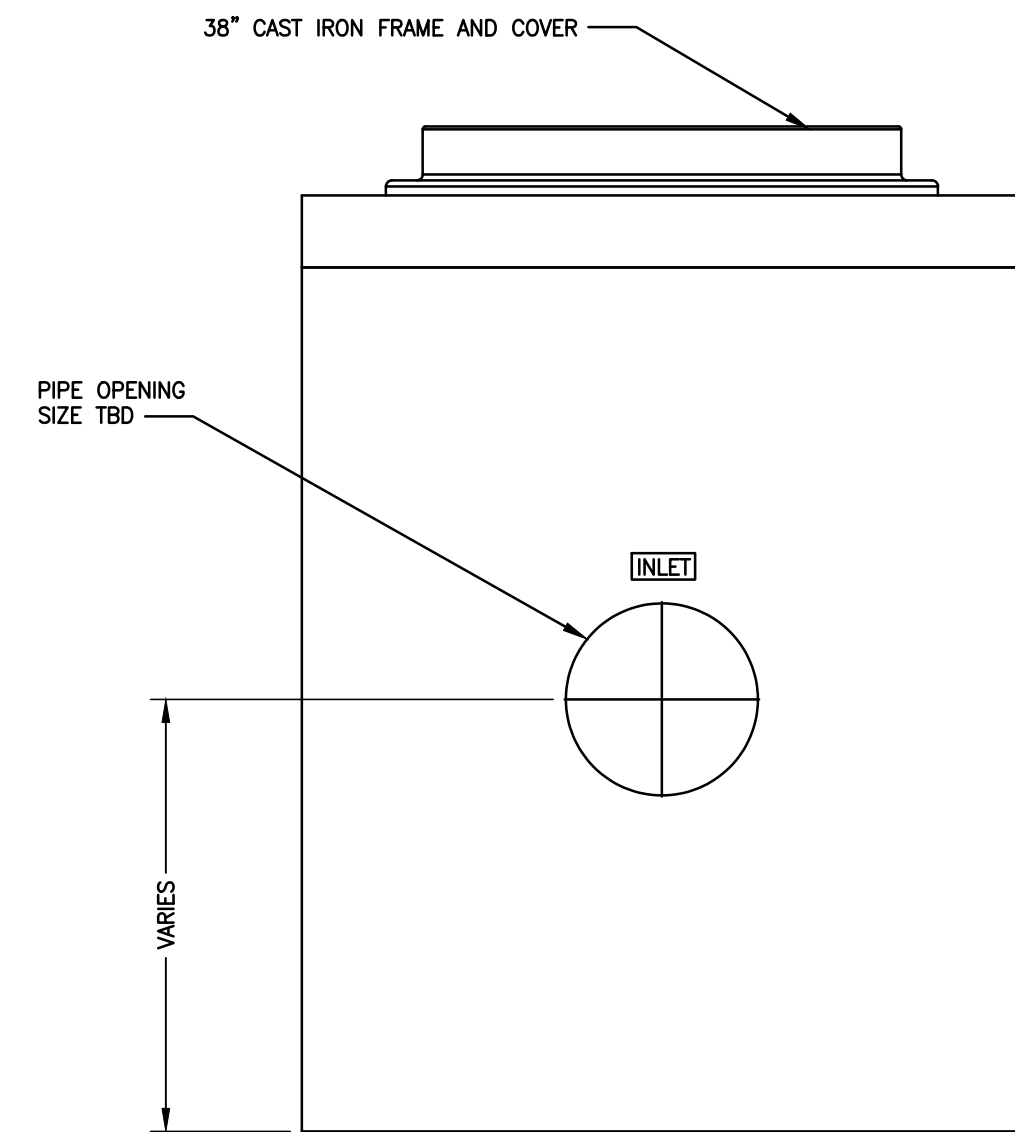
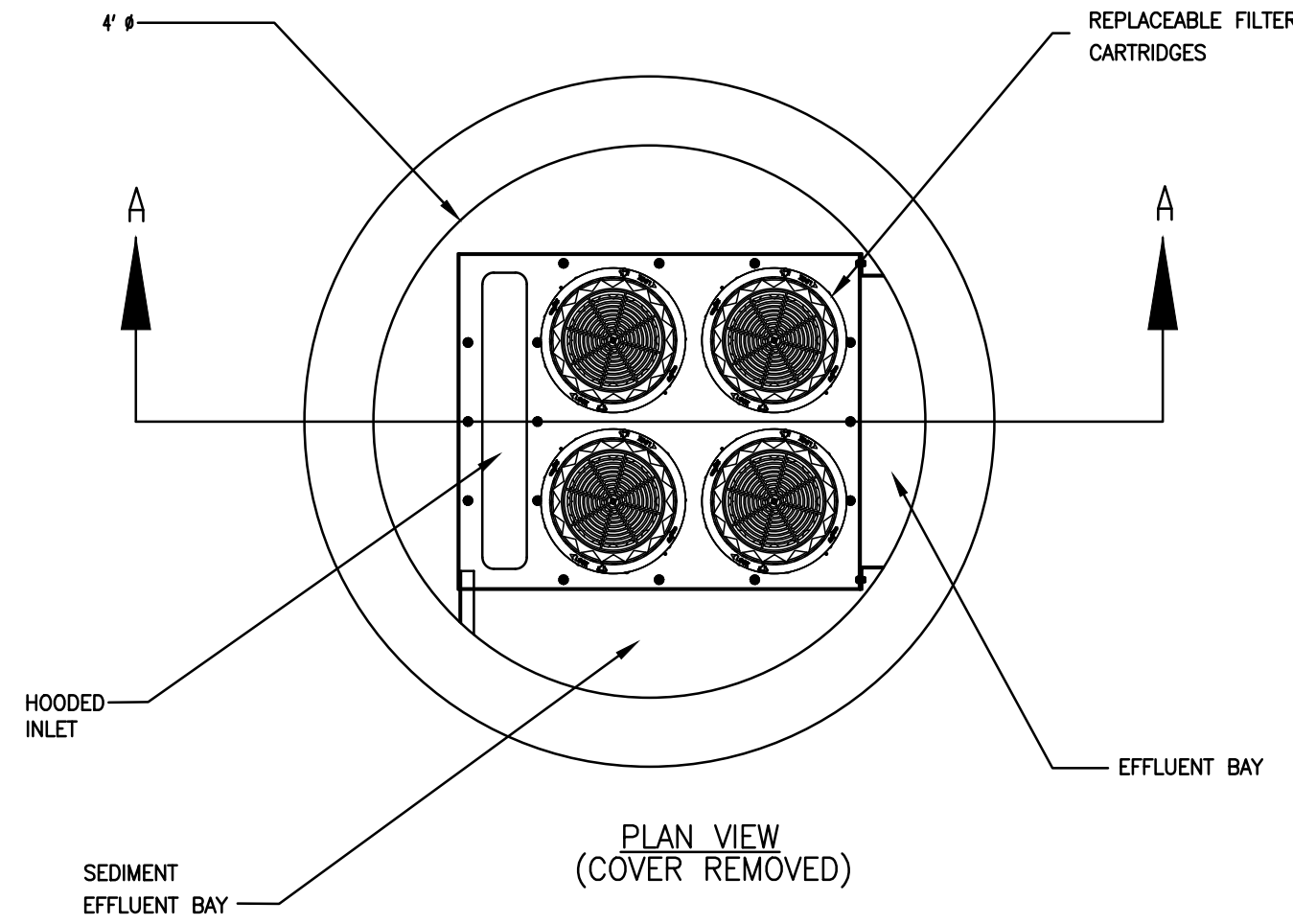
11 CATCH BASIN
NTS

REVISIONS:		
09-22-17	P.B. Comments	
DATE:	08-17-2017	
SCALE:	NTS	
FILE:	17027.00cd.dwg	
DWN BY:	NS	
CKD BY:	AMT	
PROJ. #:	17027.00	

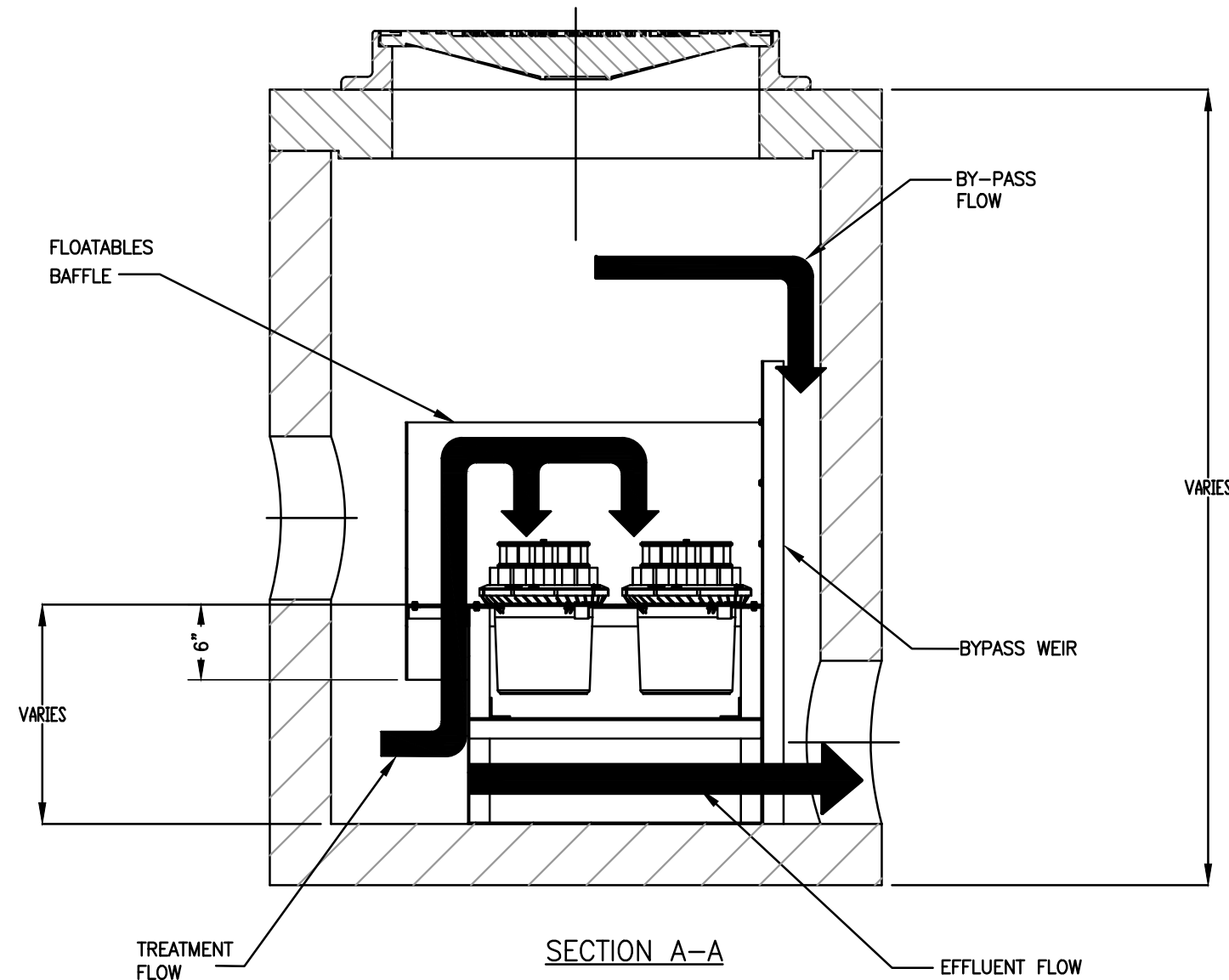




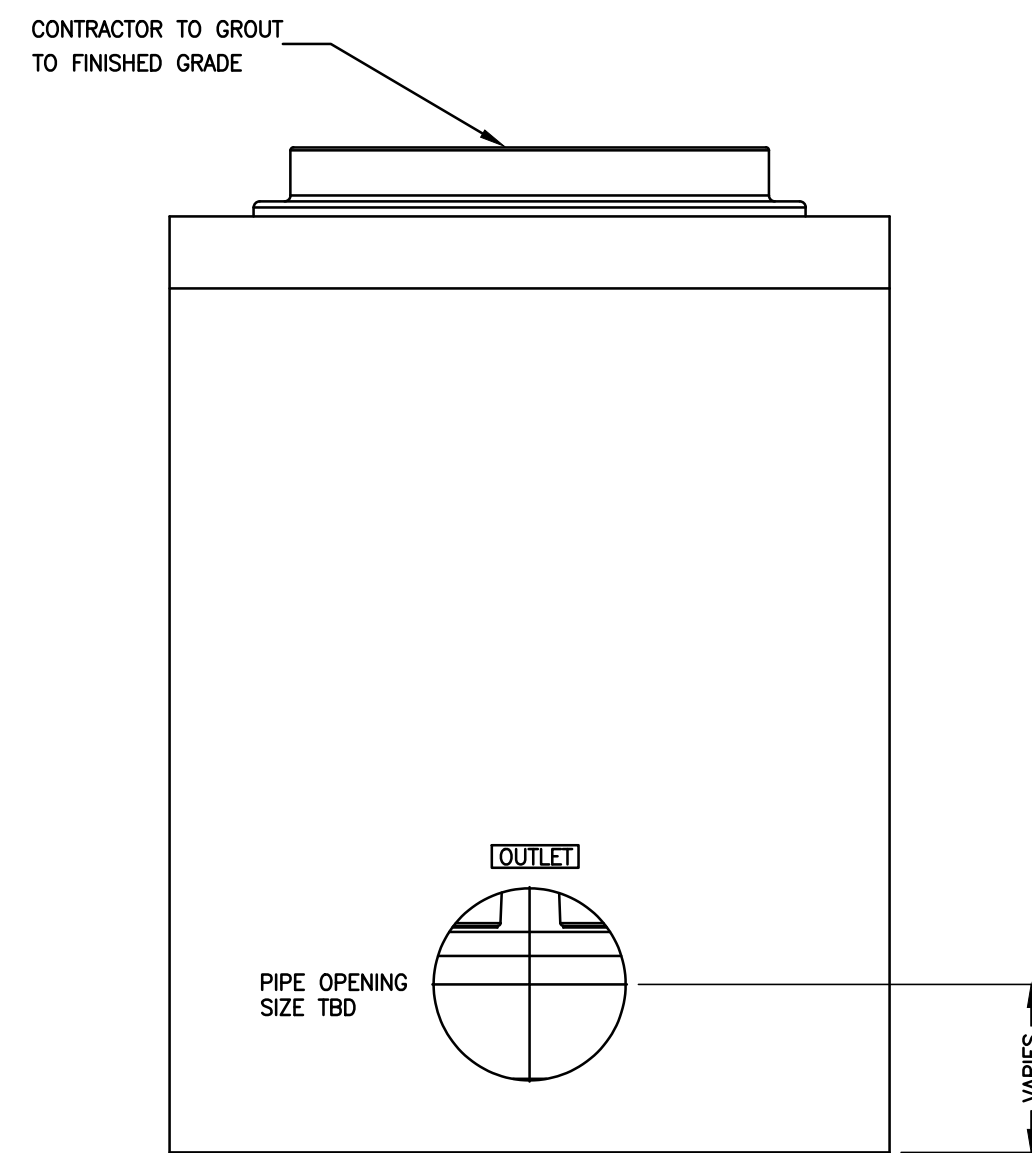
REFERENCE VIEW
(COVER REMOVED)



END VIEW, INLET



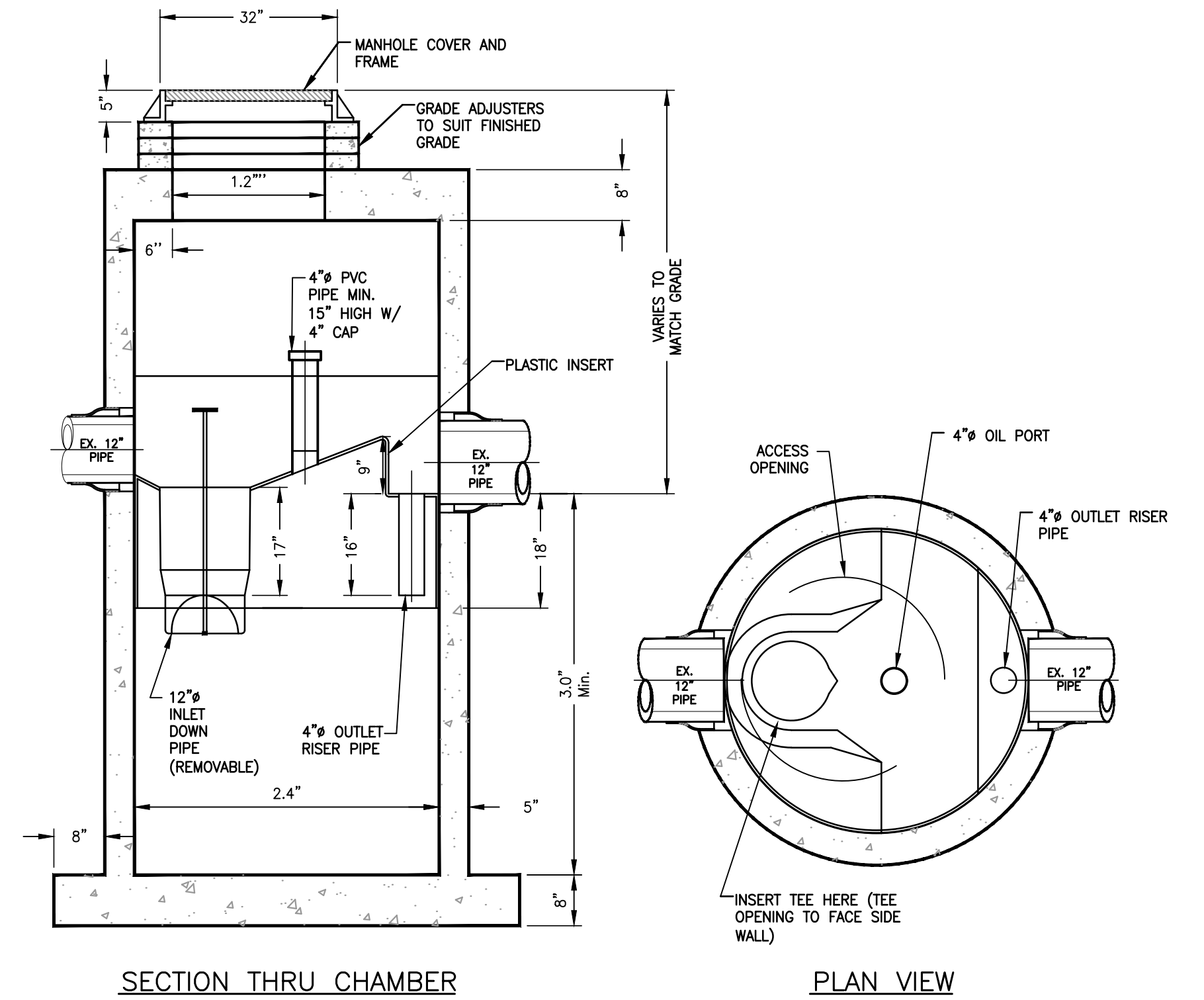
SECTION A-A



END VIEW, OUTLET

STORM SAFE PHOSPHOROUS WATER QUALITY UNIT

NTS

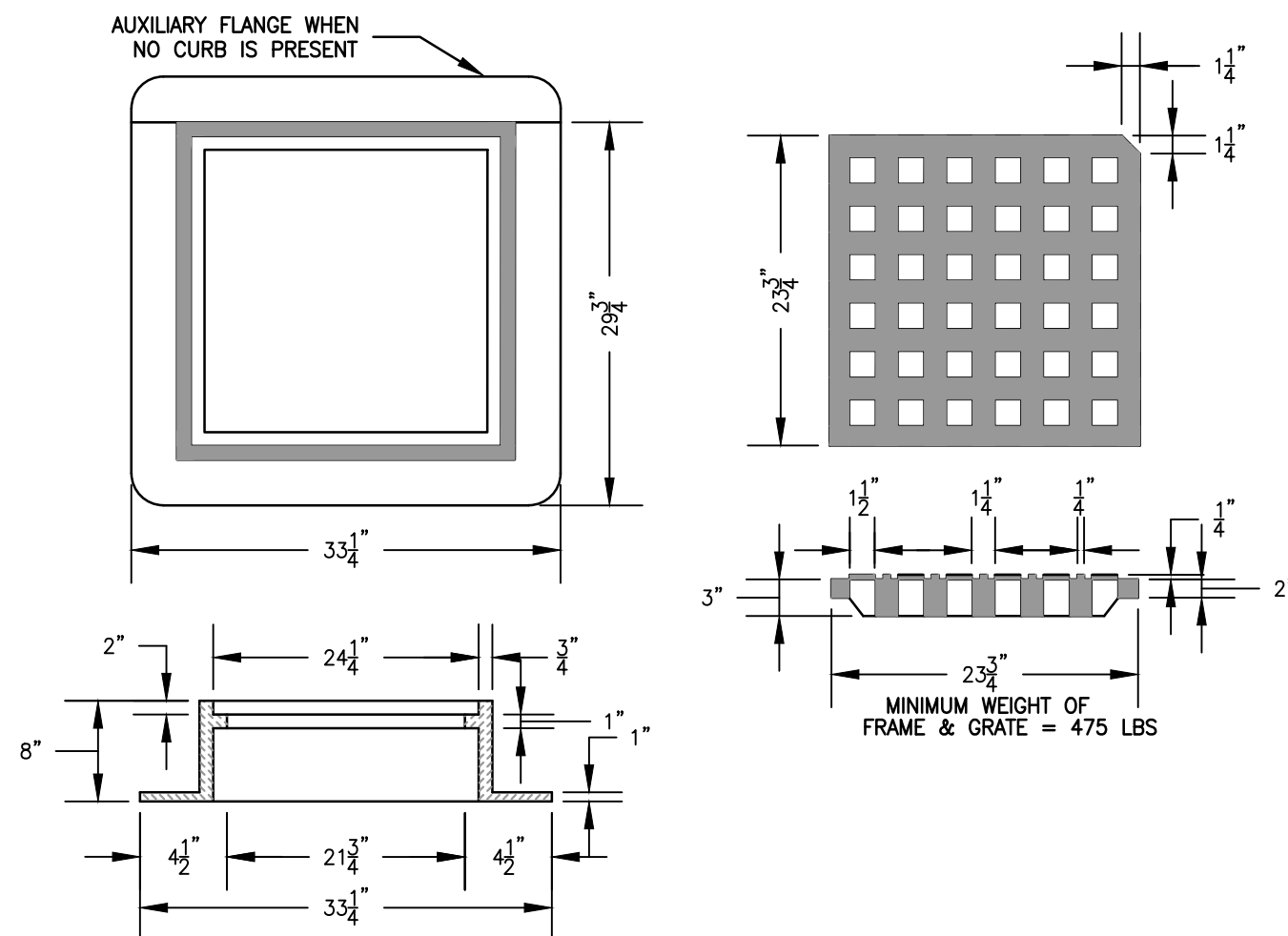


SECTION THRU CHAMBER

PLAN VIEW

STORMCEPTOR 450I WATER QUALITY UNIT

NTS



CATCH BASIN FRAME & GRATE

NTS

REVISIONS:

09-22-17 P.B. Comments

DATE: 08-17-2017

SCALE: NTS

FILE: 17027.00cd.dwg

DWN BY: NS

CKD BY: AMT

PROJ. #: 17027.00

