



**March 22, 2022**

**Medway Planning & Economic Development Board  
Meeting**

**Newton Lane Roadway Layout**

- Email dated 3-8-22 from Liz Langley on behalf of the Select Board requesting the PEDB's review and recommendation on "laying out" Newton Lane.
- Draft as-built and street acceptance plan for Newton Lane, prepared by CMG Engineering Services, dated 1-20-22. This is in the process of being revised based on review comments from Tetra Tech.

After the PEDB makes its roadway layout recommendation to the Select Board, the Select Board must then hold a roadway layout public hearing; that is tentatively scheduled for its April 19, 2022 meeting.

This is all in preparation for a street acceptance vote at the May 9<sup>th</sup> Town Meeting.

## Susan Affleck-Childs

---

**From:** Liz Langley  
**Sent:** Tuesday, March 8, 2022 9:02 AM  
**To:** Susan Affleck-Childs  
**Subject:** Select Board Vote re: Newton Lane 3.7.22

Hi Susy:

The Select Board voted that following regarding Newton Lane at the meeting last evening on 3.7.22:

**Mr. Rossi moved that the Board express its intent to lay out as a public way Newton Lane in its entirety from its intersection with Nobscot Road to its end, and to refer this matter to the Planning and Economic Development Board for a report and recommendation. Mr. Trindade seconded. No discussion. VOTE: 5-0-0.**

Please let me know if you need anything further. Thank you. Liz

**Liz Langley**  
**Executive Assistant, Town Manager's Office**  
**Town of Medway**  
**155 Village Street**  
**Medway, MA 02053**  
**(508) 533-3264**



STREET ACCEPTANCE & AS-BUILT PLAN  
FOR HARTNEY ACRES II DEFINITIVE SUBDIVISION

NEWTON LANE  
MEDWAY, MA 02053

OWNER

HARTNEY REALTY TRUST  
P.O. BOX 1  
MEDWAY, MA 02053

PREPARED FOR

PAUL YORKIS  
159 MAIN STREET  
MEDWAY MA 02053

TOWN OF MEDWAY PLANNING  
& ECONOMIC DEVELOPMENT BOARD

DATE - AS-BUILT  
PLAN APPROVAL

DATE - ROAD LAYOUT  
ACCEPTANCE APPROVAL

TOWN OF MEDWAY SELECTMAN

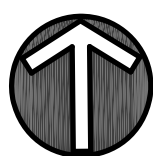
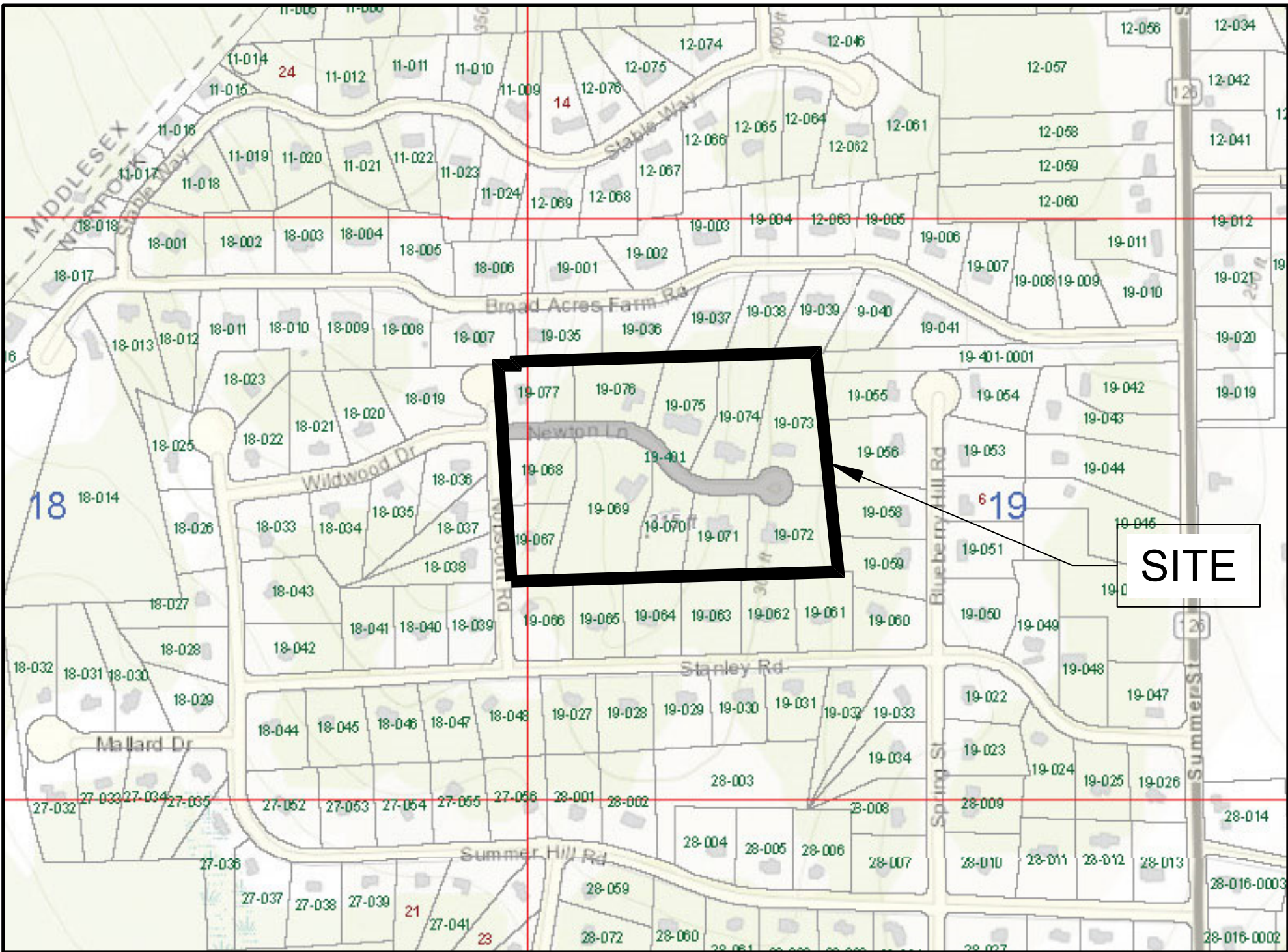
DATE - ROAD LAYOUT  
ACCEPTANCE APPROVED

- 1.) "I HEREBY CERTIFY THAT THIS PLAN SHOWS THE ACTUAL AS-BUILT LOCATIONS, PROFILES AND ELEVATIONS OF THE ROADWAYS, DRAINAGE FACILITIES AND UTILITIES, BASED UPON A FIELD SURVEY PERFORMED BETWEEN JUNE 14, 2011 & NOVEMBER 30, 2011."
- 2.) "THE STREET (OR WAY THEREOF) AS LAID OUT AND THE BOUNDS HAVE BEEN SET AS SHOWN ON THE PLAN."
- 3.) "I CERTIFY THAT THIS PLAN IS PREPARED IN CONFORMANCE WITH THE "RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS."

DANIEL A. O'DRISCOLL, PLS

DATE

DIG SAFE NOTE (1-888-344-7233):  
CONTRACTOR REQUIRED TO NOTIFY "DIG SAFE" 72 HOURS PRIOR TO ANY ON-SITE EXCAVATION OR CONSTRUCTION AT 1-888-344-7233. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER AND SEWER DEPARTMENTS TO MARK OUT THEIR UTILITIES.



LOCUS MAP

APPROXIMATE SCALE: 1" = 400'

SHEET #	SHEET NAME
C-1.0	TITLE SHEET
C-2.0	STREET ACCEPTANCE PLAN
C-3.0	"NEWTON LANE" AS-BUILT PLAN

PRELIMINARY PLAN  
NOT FOR CONSTRUCTION PURPOSES  
1/19/2022

- NOTES:
1. ORIGINAL PLANS ENTITLED, "HARTNEY ACRES II - DEFINITIVE SUBDIVISION PLAN IN MEDWAY MASSACHUSETTS", DATED NOVEMBER 29, 2004, REVISE DATE JANUARY 7, 2005, PREPARED BY O'DRISCOLL LAND SURVEYING CO. & FAIST ENGINEERING.
2. ORIGINAL PLAN APPROVAL DATE: DECEMBER 17, 2004  
ORIGINAL PLAN ENDORSEMENT DATE: FEBRUARY 8, 2005  
ORIGINAL COVENANT DATE: JANUARY 4, 2005  
RECORDING INFORMATION:  
PLAN BOOK 533, PLAN No. 67 OF 2005
3. ELEVATIONS REFER TO THE DATUM SHOWN ON PLAN No. 67 OF 2005.
4. UNDERGROUND ELECTRIC/ CABLE/ TELEPHONE UTILITY LINES/ CONDUIT LOCATIONS ARE APPROXIMATE AND BASED ON AS-BUILT UTILITY BOX LOCATIONS AND LIMITED PAVEMENT MARKINGS AT THE TIME OF THE SURVEY. (SEE DIG-SAFE NOTE)

OWNER:  
HARTNEY REALTY TRUST

REVISIONS

NO	DATE	DESCRIPTION	BY	CHKD

PROJECT:

STREET ACCEPTANCE & AS-BUILT PLAN  
HARTNEY ACRES II  
NEWTON LANE  
MEDWAY, MA 02053

PREPARED FOR:

PAUL YORKIS  
159 MAIN STREET  
MEDWAY, MA 02053

ENGINEERING SERVICES  
ENVIRONMENTAL SERVICES

67 Hall Road  
Sturbridge, MA 01560  
Phone: 774-241-0901  
fax: 774-241-0906

CMG  
Est. 2002

O'DRISCOLL  
LAND SURVEYING INC.  
LAND SURVEYING, GPS MAPPING, LAND CONSULTING  
46 COTTAGE STREET - MEDWAY, MASSACHUSETTS 02053 (508) 533-3314

ISSUE DATE: 11/24/2021

DRAWN BY: RL CHECKED BY: DTF

SCALE: 1" = 40'

PROJECT NO.: 2020-102

TITLE SHEET

C-1.0



LEGEND

PROPERTY LINE

ABUTTING PROPERTY LINE

IRON PIPE

MONUMENT

UTILITY POLE

FIRE HYDRANT

WATER GATE

GAS VALVE

CATCH BASIN (CB)

DRAINAGE MAINHOLE (DMH)

SEWER MANHOLE (SMH)

EDGE OF WETLANDS

WETLAND SYMBOL

WETLAND BUFFER

RESERVED FOR REGISTRY USE

TOWN OF MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD

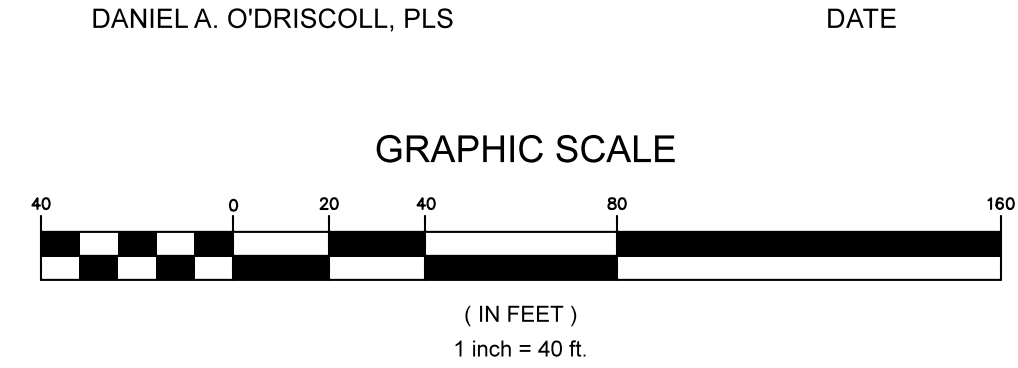
DATE - AS-BUILT PLAN APPROVAL

DATE - ROAD LAYOUT ACCEPTANCE APPROVAL

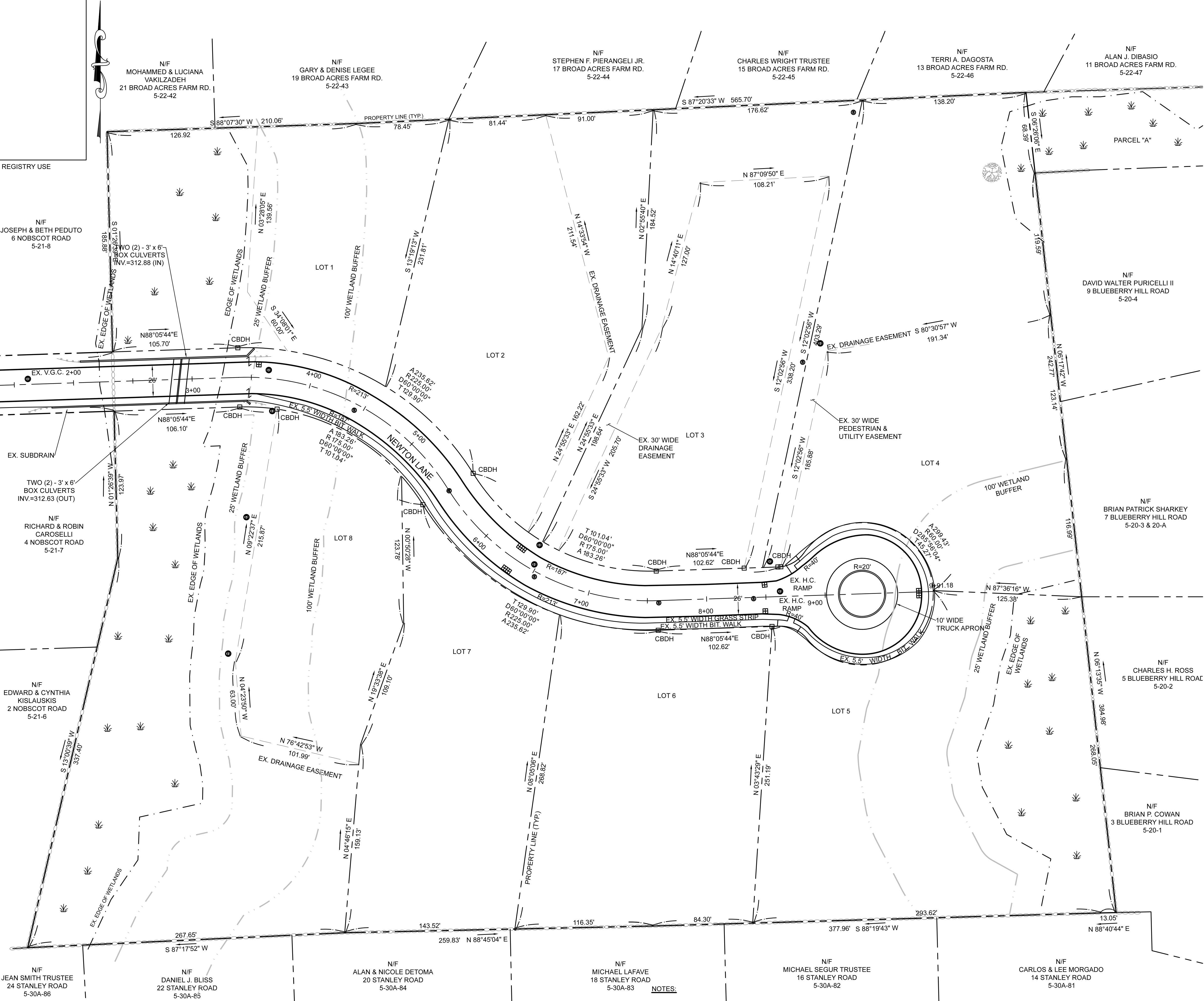
TOWN OF MEDWAY SELECTMAN

DATE - ROAD LAYOUT ACCEPTANCE APPROVED

- 1.) "I HEREBY CERTIFY THAT THIS PLAN SHOWS THE ACTUAL AS-BUILT LOCATIONS, PROFILES AND ELEVATIONS OF THE ROADWAYS, DRAINAGE FACILITIES AND UTILITIES, BASED UPON A FIELD SURVEY PERFORMED BETWEEN JUNE 14, 2011 & NOVEMBER 30, 2011."
- 2.) "THE STREET (OR WAY THEREOF) AS LAID OUT AND THE BOUNDS HAVE BEEN SET AS SHOWN ON THE PLAN."
- 3.) "I CERTIFY THAT THIS PLAN IS PREPARED IN CONFORMANCE WITH THE "RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS."



DIG SAFE NOTE (1-888-344-7233): CONTRACTOR REQUIRED TO NOTIFY "DIG SAFE" 72 HOURS PRIOR TO ANY ON-SITE EXCAVATION OR CONSTRUCTION AT 1-888-344-7233. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER AND SEWER DEPARTMENTS TO MARK OUT THEIR UTILITIES.



PRELIMINARY PLAN

NOT FOR CONSTRUCTION PURPOSES

1/19/2022

NOTES:

1. ORIGINAL PLANS ENTITLED, "HARTNEY ACRES II - DEFINITIVE SUBDIVISION PLAN IN MEDWAY MASSACHUSETTS", DATED NOVEMBER 29, 2004, REVISE DATE JANUARY 7, 2005, PREPARED BY O'DRISCOLL LAND SURVEYING CO. & FAIST ENGINEERING.
2. ORIGINAL PLAN APPROVAL DATE: DECEMBER 17, 2004  
ORIGINAL PLAN ENDORSEMENT DATE: FEBRUARY 8, 2005  
ORIGINAL COVENANT DATE: JANUARY 4, 2005  
RECORDING INFORMATION: PLAN BOOK 533, PLAN No. 67 OF 2005
3. ELEVATIONS REFER TO THE DATUM SHOWN ON PLAN No. 67 OF 2005.
4. UNDERGROUND ELECTRIC/ CABLE/ TELEPHONE UTILITY LINES/ CONDUIT LOCATIONS ARE APPROXIMATE AND BASED ON AS-BUILT UTILITY BOX LOCATIONS AND LIMITED PAVEMENT MARKINGS AT THE TIME OF THE SURVEY. (SEE DIG-SAFE NOTE)
- OWNER: HARTNEY REALTY TRUST

NO.	DATE	DESCRIPTION	BY	CWD

STREET ACCEPTANCE & AS-BUILT PLAN

HARTNEY ACRES II

NEWTON LANE

MEDWAY, MA 02053

PAUL YORKIS

159 MAIN STREET

MEDWAY, MA 02053

ENGINEERING SERVICES

ENVIRONMENTAL SERVICES

67 Hall Road

Sturbridge, MA 01560

Phone: 774-241-0901

fax: 774-241-0906



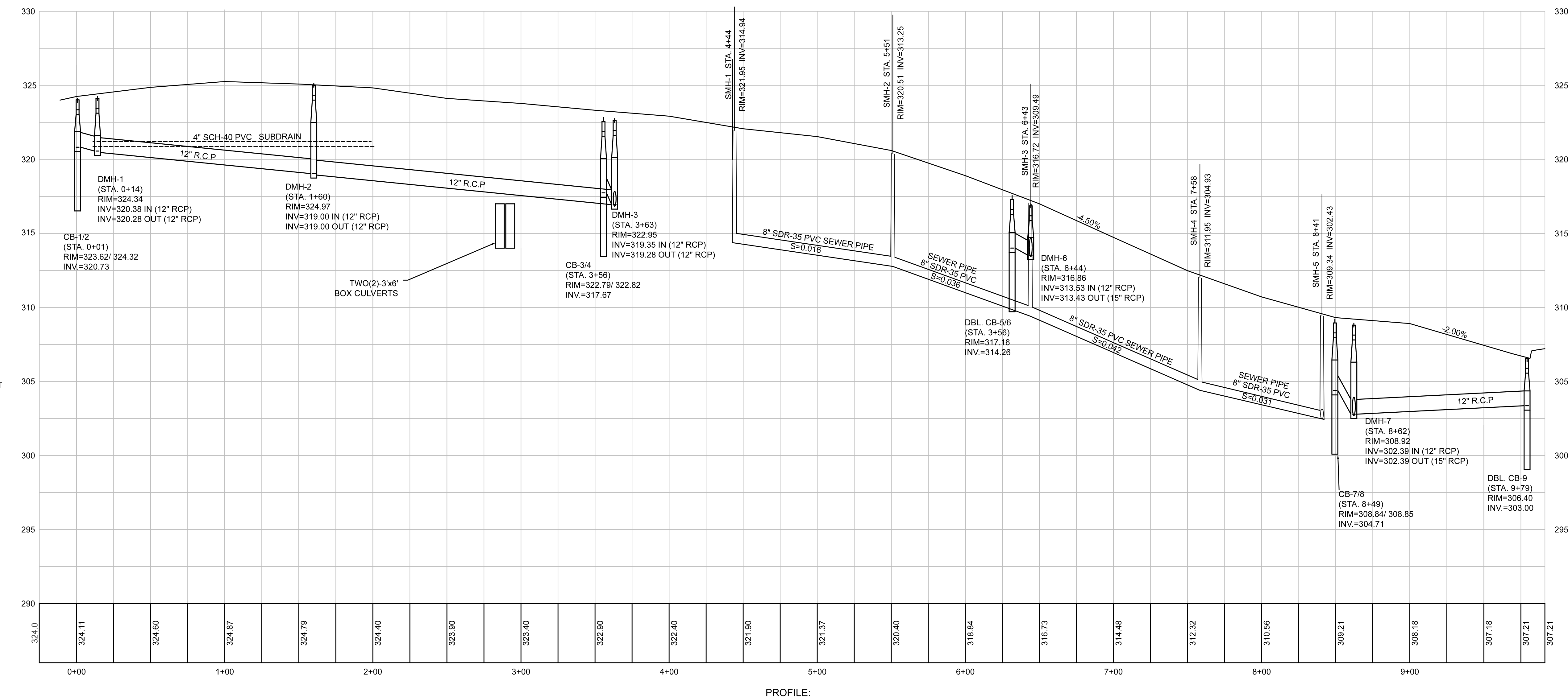
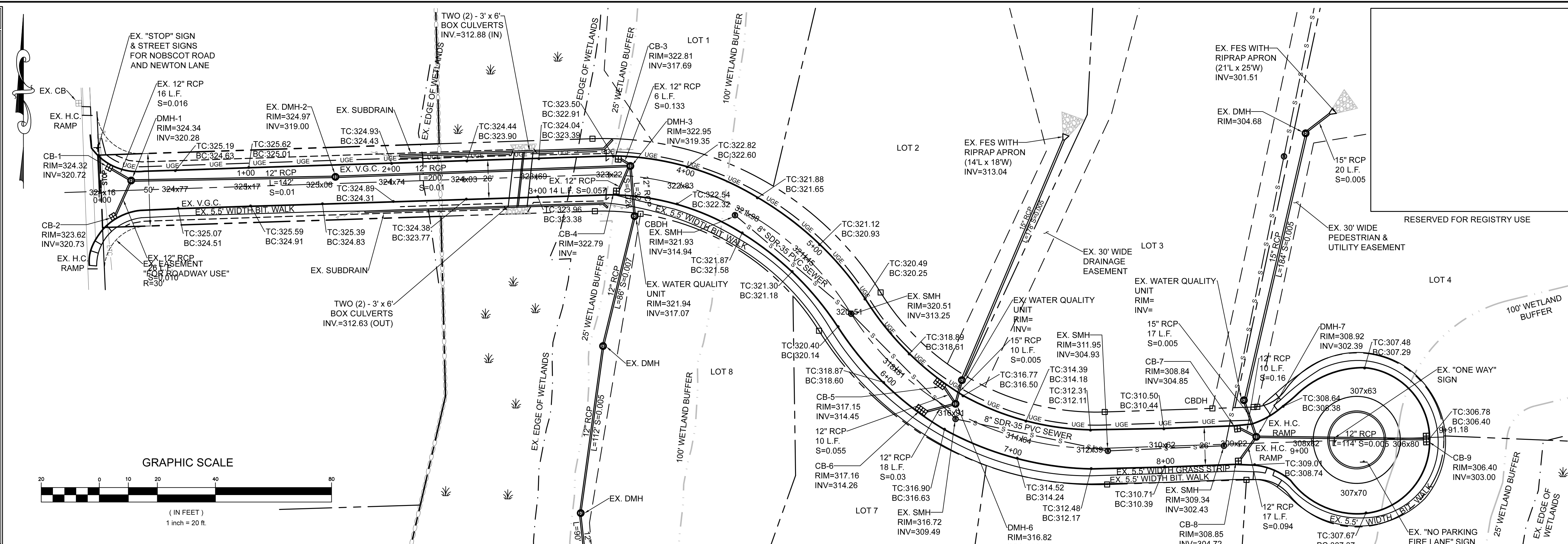
O'DRISCOLL



LAND SURVEYING INC.

LAND SURVEYING GPS MAPPING LAND CONSULTING

46 COTTAGE STREET MEDWAY, MASSACHUSETTS 02053 (508) 533-3314

ISSUE DATE:	11/24/2021
DRAWN BY:	RL
CHECKED BY:	DTF
SCALE:	1" = 40'
PROJECT NO.:	2020-102
STREET ACCEPTANCE PLAN	
C-2.0	



<div><p>ENGINEERING SERVICES ENVIRONMENTAL SERVICES</p><p>67 Hall Road Sturbridge, MA 01560 Phone: 774-241-0901 fax: 774-241-0906</p></div> <div><p>O'DRISCOLL LAND SURVEYING Inc. LAND SURVEYING GPS MAPPING LAND CONSULTING 46 COTTAGE STREET MEDWAY MASSACHUSETTS 02053 (508) 533-3344</p></div>	PROJECT: <b>STREET ACCEPTANCE &amp; AS-BUILT PLAN</b>		<table><thead><tr><th colspan="5">REVISIONS</th></tr><tr><th>NO.</th><th>DATE</th><th>DESCRIPTION</th><th>BY</th><th>CHKD</th></tr></thead><tbody><tr><td> </td><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td><td> </td></tr></tbody></table>					REVISIONS					NO.	DATE	DESCRIPTION	BY	CHKD																																								
	REVISIONS																																																								
	NO.	DATE						DESCRIPTION	BY	CHKD																																															
PREPARED FOR:		<b>PAUL YORKIS</b> <b>159 MAIN STREET</b> <b>MEDWAY, MA 02053</b>																																																							
ISSUE DATE: 11/24/2021																																																									
DRAWN BY: RL		CHECKED BY: DT																																																							
SCALE: 1" = 40'																																																									
PROJECT NO.: 2020-102																																																									
NEWTON LANE AS-BUILT PLAN																																																									
C-3.0																																																									

**PRELIMINARY PLAN**  
NOT FOR CONSTRUCTION PURPOSES  
1/19/2022