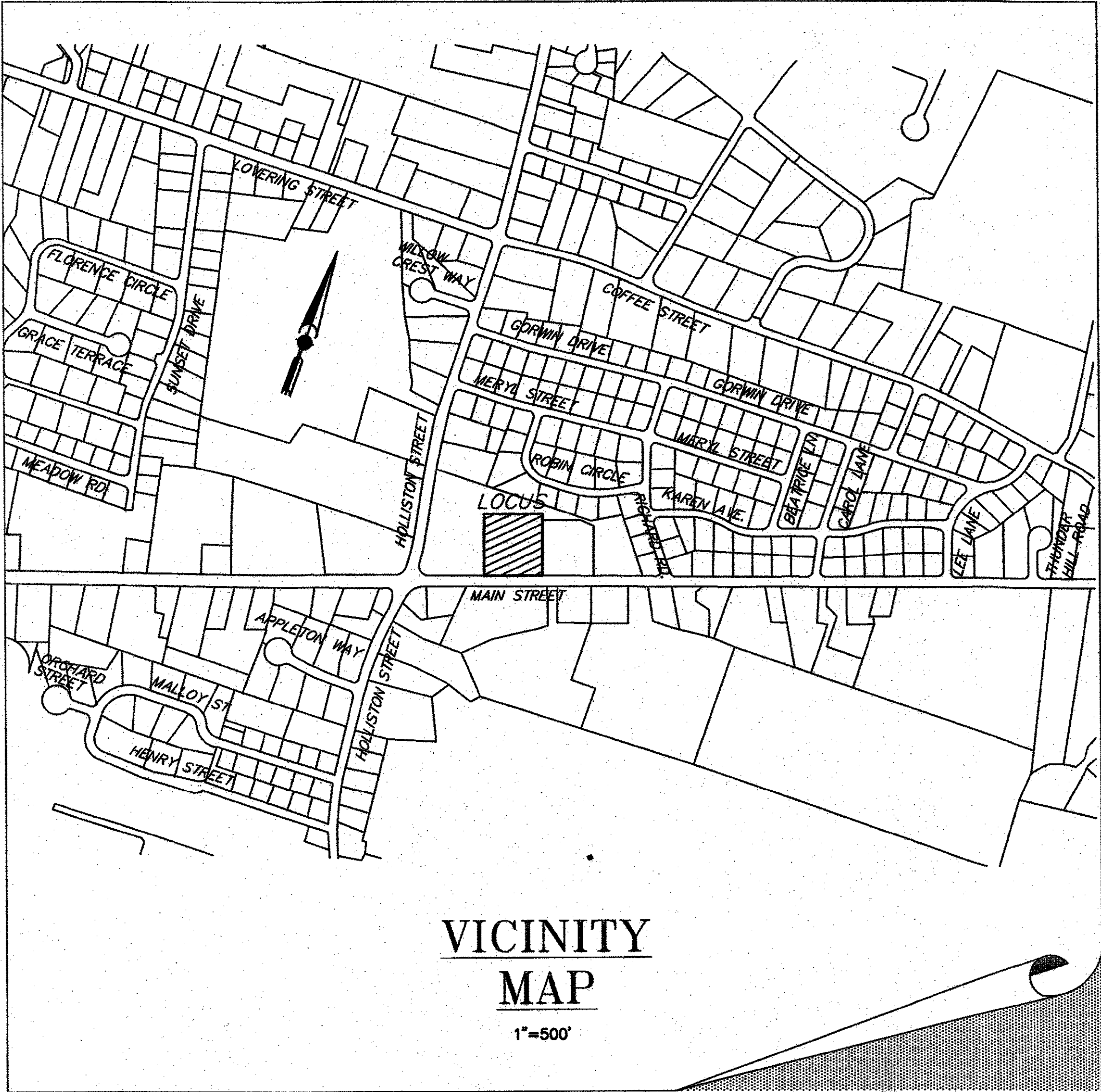


SITE PLAN  
86 HOLLISTON STREET  
MEDWAY  
MASSACHUSETTS

INDEX

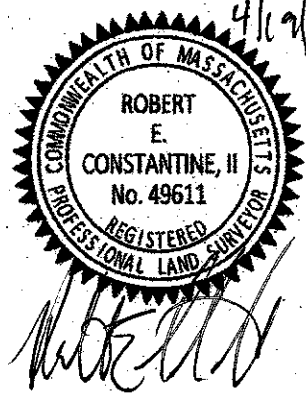
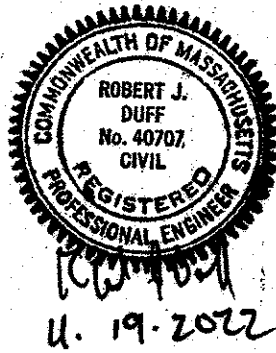
1. COVER SHEET
  2. ABUTTER SHEET
  3. EXISTING CONDITIONS
  4. EROSION CONTROL
  5. PROPOSED SITE LAYOUT
  6. GRADING PLAN
  7. UTILITY PLAN
  8. LANDSCAPING PLAN
  9. CONSTRUCTION DETAILS
  10. CONSTRUCTION DETAILS
  11. CONSTRUCTION DETAILS
  12. CONSTRUCTION DETAILS
- PHOTOMETRIC PLAN (BY OTHERS)
- ARCHITECTURAL PLANS (BY OTHERS)



WAIVERS REQUESTED

REQUEST FROM THE TOWN MEDWAY PLANNING BOARD  
RULES AND REGULATIONS CHAPTER 200

1. SECTION 204-5 B SITE CONTEXT SHEET
2. SECTION 204-5 D.8 LANDSCAPE PLAN
3. SECTION 207-9 PEDESTRIAN & BICYCLE ACCESS AND SIDEWALKS. B. SIDEWALKS (1)
3. SECTION 207-19 LANDSCAPING. B. LANDSCAPE BUFFERS (2)
4. SECTION 207-19 LANDSCAPING. C. PARKING AREAS (1a)
5. SECTION 207-19 LANDSCAPING. H.6. SECTION 207-12 PARKING SPACE G. (3) LOCATION (a)



I, STEFANY OHANNESIAN, CLERK OF THE TOWN OF MEDWAY, RECEIVED AND RECORDED FROM THE PLANNING BOARD COVENANT APPROVAL OF THIS PLAN ON \_\_\_\_\_ AND NO APPEAL WAS TAKEN FOR TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SAME.

TOWN CLERK \_\_\_\_\_ DATE \_\_\_\_\_

APPROVED BY THE TOWN OF MEDWAY  
PLANNING & ECONOMIC DEVELOPMENT BOARD

BOARD MEMBER \_\_\_\_\_ DATE \_\_\_\_\_

LEGAL NOTES

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OWNER

FREIL REALTY II, LLC  
DEED BOOK 27992 PAGE 300  
PLAN BK. 515, PG 721 OF 2003  
A.M. 41 LOT 8

APPLICANT

LOBISSER COMPANIES  
1 CHARLESVIEW ROAD  
HOPEDALE, MA 01747

SITE PLAN  
86 HOLLISTON STREET  
MEDWAY  
MASSACHUSETTS

COVER SHEET

APRIL 14, 2022

| DATE | REVISION DESCRIPTION |
|------|----------------------|
|      |                      |
|      |                      |
|      |                      |
|      |                      |
|      |                      |

**Guerriere & Halnon, Inc.**  
ENGINEERING & LAND SURVEYING

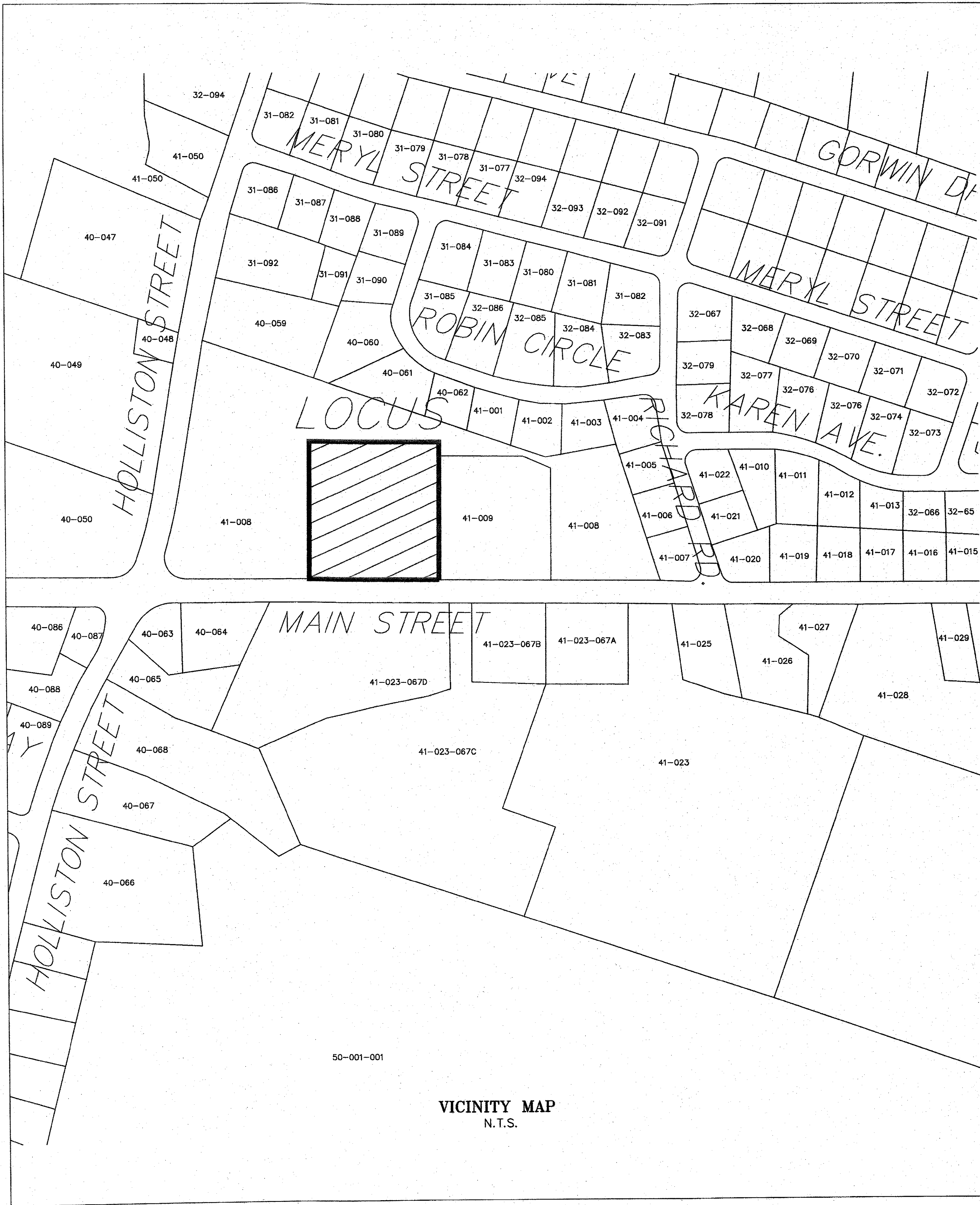
55 WEST CENTRAL ST. PH. (508) 528-3221  
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SHEET  
1 OF 12

JOB NO.  
F4516



3: \\C3DFranklin\F4516\DWG\F4516 SITE.dwg, 4/19/2022 11:25:54 AM, \\gndh-n-16\Oce PlotWave 350



VICINITY MAP  
N.T.S.

OWNER(S)/ASSESSOR INFORMATION:

PARCEL IDS:

41-007 DEIDRE O'DONNELL  
64 MAIN ST.  
MEDWAY, MA.

40-049  
FREIL REALTY II, LLC.  
86 HOLLISTON ST.  
MEDWAY, MA.

40-088  
LOK CHING NOMINEE TRUST  
6 HAVEN WAY  
HOPEDALE, MA.

31-092  
JAMES M. CASSIDY  
90 HOLLISTON ST.  
MEDWAY, MA.

40-063  
P & A REALTY TRUST  
82 HOLLISTON ST.  
MEDWAY, MA.

41-027  
SEAN M. CURRIVAN TRUSTEE  
36 ELLIS ST.  
MEDWAY, MA.

40-050  
CHARLES RIVER BANK  
70 MAIN ST.  
MEDWAY, MA.

41-10  
REBECCA L. PURCELL  
4 KAREN AVE.  
MEDWAY, MA.

40-061  
DAVID J. MCWHINNIE  
11 ROBIN CIRCLE  
MEDWAY, MA.

40-047  
HERISTON PINTO  
91 HOLLISTON ST.  
MEDWAY, MA.

31-090  
CHARLES J. DUDDY JR.  
15 ROBIN CIRCLE  
MEDWAY, MA.

41-021  
ANGELO MUCCI TRUSTEE  
2 RICHARD RD.  
MEDWAY, MA.

32-086  
GEORGE M. FASOLINO  
8 ROBIN CIRCLE  
MEDWAY, MA.

32-067  
MICHAELS TRAINOR  
10 RICHARD RD.  
MEDWAY, MA.

40-059  
FREIL REALTY II, LLC  
86 HOLLISTON ST.  
MEDWAY, MA.

40-064  
NORMAN W. GREEN REALTY TRUST  
71 MAIN ST.  
MEDWAY, MA.

41-023  
HIDDEN ACRES REALTY I, LLC  
1371 OAKLAND BLVD.  
WALNUT CREEK, CA.

41-023-067  
HIDDEN ACRES REALTY I, LLC.  
(67 C MAIN ST.)  
75 HOLLYHILL LANE  
GREENWICH, CT.

32-085  
CHRISTOPHER A. ANTHONY  
6 ROBIN CIRCLE  
MEDWAY, MA.

41-022  
ERIC H. KESSLER  
4 RICHARD RD.  
MEDWAY, MA.

OWNER(S)/ASSESSOR INFORMATION:

PARCEL IDS:

32-079  
KATHLEEN A. BUXTON  
8 RICHARD RD.  
MEDWAY, MA.

32-082  
ALAN J. MEISTER  
9 RICHARD RD.  
MEDWAY, MA.

41-023-067  
(67 A MAIN ST.)  
HIDDEN ACRES REALTY I, LLC.  
75 HOLLY HILL LANE  
GREENWICH, CT.

41-023-067  
(67 B MAIN ST.)  
HIDDEN ACRES REALTY I, LLC.  
PO BOX 902  
SPENCER MA.

31-085  
JOSEPH J. LATOSEK JR.  
10 ROBIN CIRCLE  
MEDWAY, MA.

41-023-067  
(67 D MAIN ST.)  
HIDDEN ACRES REALTY I, LLC.  
ONE CVS DRIVE  
WOONSOCKET, RI.

31-091  
CHARLES J. DUDDY JR.  
15 ROBIN CIRCLE  
MEDWAY, MA.

41-25  
FREIL REALTY I, LLC.  
86 HOLLISTON ST.  
MEDWAY, MA.

32-083  
DIANE PRIDE  
2 ROBIN CIRCLE  
MEDWAY, MA.

41-004  
SYDNEY LAMPKE  
5 RICHARD RD.  
MEDWAY, MA.

41-020  
SAMUEL S. TORREY JR.  
62 MAIN ST.  
MEDWAY, MA.

40-086  
CHEN DE XIANG TRUSTEE  
6 HAVEN WAY  
HOPEDALE, MA.

32-078  
(1 KAREN AVE)  
MARGARET A. LE COADY  
7539 DANVERS CIRCLE  
PORT CHARLOTTE, FL.

32-084  
RYAN P. SULLIVAN  
4 ROBIN CIRCLE  
MEDWAY, MA.

40-048  
FREIL REALTY II, LLC.  
86 HOLLISTON ST.  
MEDWAY, MA.

41-026  
SEAN M. CURRIVAN  
59 MAIN ST.  
MEDWAY, MA.

40-066  
(74 HOLLISTON ST.)  
HIDDEN ACRES REALTY I, LLC.  
75 HOLLY HILL LANE  
GREENWICH, CT.

41-019  
WILLIAM MCCAUL  
60 MAIN ST.  
MEDWAY, MA.

31-084  
JOHN K. SPURLING  
16 ROBIN CIRCLE  
MEDWAY, MA.

OWNER(S)/ASSESSOR INFORMATION:

PARCEL IDS:

32-81  
JAMES F. CASSIDY  
14 MERYL ST.  
MEDWAY, MA.

40-065  
WHITE PEARL LLC.  
76 HOLLISTON ST.  
MEDWAY, MA.

40-87  
AQUDE GAS & REPAIRS  
73 MAIN ST.  
MEDWAY, MA.

40-062  
ROBERT G. COLLINS  
9 ROBIN CIRCLE  
MEDWAY, MA.

40-060  
EDGAR E. DOCHERTY  
13 ROBIN CIRCLE  
MEDWAY, MA.

41-003  
EDITH E. CULLEN  
3 ROBIN CIRCLE  
MEDWAY, MA.

41-001  
MARILYN E. SMITH  
7 ROBIN CIRCLE  
MEDWAY, MA.

41-011  
ERIKA R. LEGER  
6 KAREN AVE.  
MEDWAY, MA.

41-009  
(68 MAIN ST.)  
FREIL REALTY II, LLC.  
PO BOX 1159  
DEERFIELD, IL.

41-002  
AUTUMN RICHARD  
5 ROBIN CIRCLE  
MEDWAY, MA.

41-005  
CLIFFORD M. LANDER  
3 RICHARD ROAD  
MEDWAY, MA.

32-077  
ELOISE C. THIBAUT  
3 KAREN AVE  
MEDWAY, MA.

31-099  
(9 LOVERING ST.)  
TOWN OF MEDWAY  
155 VILLAGE STREET  
MEDWAY, MA.

41-006  
KEVIN D. MULLER  
1 RICHARD ROAD  
MEDWAY, MA.

APPROVED BY THE TOWN OF MEDWAY  
PLANNING & ECONOMIC DEVELOPMENT BOARD

BOARD MEMBER DATE

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AND RELIABLY DEPICTED. ADDITIONAL UTILITIES, NOT  
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DEED BOOK 27992 PAGE 300  
PLAN BK. 515, PG 721 OF 2003  
A.M. 41 LOT 8

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1 CHARLESVIEW ROAD  
HOPEDALE, MA 01747

SITE PLAN  
86 HOLLISTON STREET  
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MASSACHUSETTS

ABUTTER SHEET

APRIL 14, 2022

DATE REVISION DESCRIPTION

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SHEET  
2 OF 12

JOB NO.  
F4516

REGISTRY USE ONLY

F4516



## ZONING DISTRICT CENTRAL BUSINESS

|                             | REQUIRED  |
|-----------------------------|-----------|
| MIN. LOT AREA               | 10,000 SF |
| MIN. LOT FRONTAGE           | NA        |
| MIN. YARD SETBACKS          |           |
| FRONT                       | 10 FT     |
| SIDE                        | 10 FT     |
| REAR                        | 25 FT*    |
| STRUCTURE COVERAGE          | 80%       |
| MAXIMUM IMPERVIOUS COVERAGE | NA        |
| MINIMUM OPEN SPACE          | 15%       |

\*WHEN ABUTTING A RESIDENTIAL DISTRICT  
PROPERTIES IN THE CENTRAL BUSINESS DISTRICT THAT DO NOT HAVE  
FRONTAGE ON A PUBLIC STREET SHALL BE REQUIRED TO HAVE AN  
EASEMENT OF AT LEAST 30 FEET IN WIDTH PROVIDING ACCESS TO  
A PUBLIC STREET.

## LEGEND

|   |                                  |   |                       |
|---|----------------------------------|---|-----------------------|
| ⊠ | CATCH BASIN                      | ☆ | LIGHT POLE            |
| ⊙ | DRAIN MANHOLE                    | ⊙ | UTILITY POLE          |
| ⊙ | ELECTRIC MANHOLE                 | • | GUY WIRE              |
| ⊙ | SEWER MANHOLE                    | — | SIGN                  |
| ⊙ | MANHOLE                          | • | WETFLAG               |
| ⊙ | GAS VALVE                        | ⊙ | UTILITY POLE          |
| ⊙ | GAS SHUT OFF VALVE               | ☆ | PROP. STREET LIGHTING |
| ⊙ | WATER VALVE                      |   |                       |
| ⊙ | WATER SHUT OFF VALVE             | ⊙ | SPOT ELEVATION        |
| ⊙ | FIRE HYDRANT                     | ⊙ | RIPRAP                |
| — | EXISTING CONTOUR                 |   |                       |
| — | EXISTING DRAIN LINE              |   |                       |
| — | EXISTING WATER LINE              |   |                       |
| — | EXISTING FENCE                   |   |                       |
| — | FLOOD ZONE X- MINIMAL RISK AREA  |   |                       |
| — | ZONE 2 WELLS PROTECTION DISTRICT |   |                       |

## NOTES

- THIS LAND IS ZONED CENTRAL BUSINESS.
- A PORTION OF THIS SITE IS LOCATED FLOOD HAZARD ZONE X PER FEMA FLOOD MAP 25021C0143E, EFFECTIVE DATE 7/17/2012.
- THE WETLANDS WERE EVALUATED BY GODDARD CONSULTING LLC, ON DECEMBER 13, 2021 AND JANUARY 28, 2022 SEE WETLAND REPORTS FOR FURTHER INFORMATION. WETLANDS WERE FIELD LOCATED BY GUERRIERE & HALNON, INC.
- REFER TO MEDWAY ASSESSORS MAP 41 LOT 008
- THIS SITE IS LOCATED WITHIN THE GROUNDWATER PROTECTION DISTRICT.
- ALL REFERENCED DEEDS ARE ON RECORD AT THE NORFOLK REGISTRY OF DEEDS.
- THIS SITE IS NOT LOCATED WITHIN A NATURAL HERITAGE AND ENDANGERED SPECIES PROGRAM AREA.
- ELEVATIONS ARE BASED ON HORIZONTAL DATUM: NAD83; VERTICAL DATUM: NAVD88.
- EXISTING SEWER INVERTS IN MAIN STREET OBTAINED FROM PLAN TITLED "TOWN OF MEDWAY, MASSACHUSETTS BOARD OF WATER/SEWER COMMISSIONERS SANITARY SEWER PROGRAM MAIN STREET - STA. 45+00 TO STA. 55+60.71" SHEET 5 OF 16 DATED 3-20-84, REVISED THROUGH 4-7-89, AND PREPARED BY METCALF & EDDY, INC./ENGINEERS.
- EXISTING SEWER INVERTS TO BE VERIFIED PRIOR TO START OF CONSTRUCTION.

## TESTING INFORMATION

TESTING DATE: JANUARY 5, 2022 SOIL EVALUATOR: MICHAEL HASSETT

|        |                      |           |
|--------|----------------------|-----------|
| 207.60 | TP 1                 |           |
| 206.94 | SANDY LOAM A 8"      | 10YR 2/2  |
| 205.36 | SANDY LOAM B 19"     | 7.5YR 5/8 |
| 203.62 | COARSE SAND C1 21"   | 10YR 5/8  |
| 202.29 | SANDY LOAM C2 16"    | 2.5YR 5/4 |
| 198.49 | SAND & GRAVEL C3 46" | 2.5YR 6/3 |
|        | WEPPING @ 77"        | 205.35    |
|        | NO REFUSAL           |           |

|        |                    |          |
|--------|--------------------|----------|
| 206.5  | TP 2               |          |
| 203.00 | SANDY LOAM F 42"   |          |
| 201.50 | SANDY LOAM Ab 18"  | 10YR 2/2 |
|        | LOAMY SAND 63"     |          |
|        | Ab VARIES IN DEPTH |          |
| 196.25 |                    | 10YR 5/4 |
|        | MOTTLES @ 34"      | 203.67   |
|        | WEPPING @ 5.5"     |          |

|        |                   |           |
|--------|-------------------|-----------|
| 208.1  | TP 3              |           |
| 205.10 | SANDY LOAM F 36"  |           |
| 204.10 | SANDY LOAM Ab 12" | 10YR2/2   |
| 202.60 | SANDY LOAM B 18"  | 7.5YR 5/8 |
|        | SAND & GRAVEL 42" |           |
| 199.10 |                   | 10YR 5/8  |
|        | MOTTLES @ 42"     | 204.60    |
|        | WEPPING @ 78"     |           |

|        |           |           |
|--------|-----------|-----------|
| 214.20 | TP 4      |           |
|        | LOAM/FILL |           |
| 210.90 |           | GW @ 3.3' |

|        |           |         |
|--------|-----------|---------|
| 214.80 | TP 5      |         |
|        | LOAM/FILL |         |
| 209.80 |           | GW @ 5' |

|        |                      |           |
|--------|----------------------|-----------|
| 212.20 | TP 6                 |           |
| 211.70 | SAND & GRAVEL F 30"  |           |
| 209.20 | LOAMY SAND C1 28"    | 10YR 5/8  |
| 208.70 | SANDY SAND C2 6"     | 2.5YR 5/4 |
| 205.53 | SAND & GRAVEL C3 38" | 2.5YR 6/3 |
|        | MOTTLES @ 36"        |           |
|        | WEPPING @ 98"        |           |

|        |                  |          |
|--------|------------------|----------|
| 212.20 | TP 7             |          |
| 209.20 | SANDY LOAM F 36" |          |
|        | 90"              |          |
| 201.70 |                  | 10YR 5/8 |
|        | MOTTLES @ 54"    |          |
|        | WEPPING @ 120"   |          |

|        |                     |           |
|--------|---------------------|-----------|
| 209.90 | TP 8                |           |
| 206.90 | SANDY LOAM F 36"    |           |
| 205.90 | SANDY LOAM Ab 12"   | 10YR2/2   |
| 204.90 | SANDY LOAM B 12"    | 7.5YR 5/8 |
| 200.40 | SAND & GRAVEL C 54" | 10YR 5/8  |
|        | MOTTLES @ 54"       |           |
|        | B LAYERS VARY       |           |

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BOARD MEMBER DATE

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A.M. 41 LOT 8

APPLICANT

LOBISSER COMPANES  
1 CHARLESVIEW ROAD  
HOPEDALE, MA 01747

SITE PLAN  
86 HOLLISTON STREET  
MEDWAY  
MASSACHUSETTS

EXISTING CONDITIONS

APRIL 14, 2022

DATE REVISION DESCRIPTION

GRAPHIC SCALE: 1"=30'

0 10 20 30 40 50 60 70 80 FEET  
0 5 10 15 20 25 METERS

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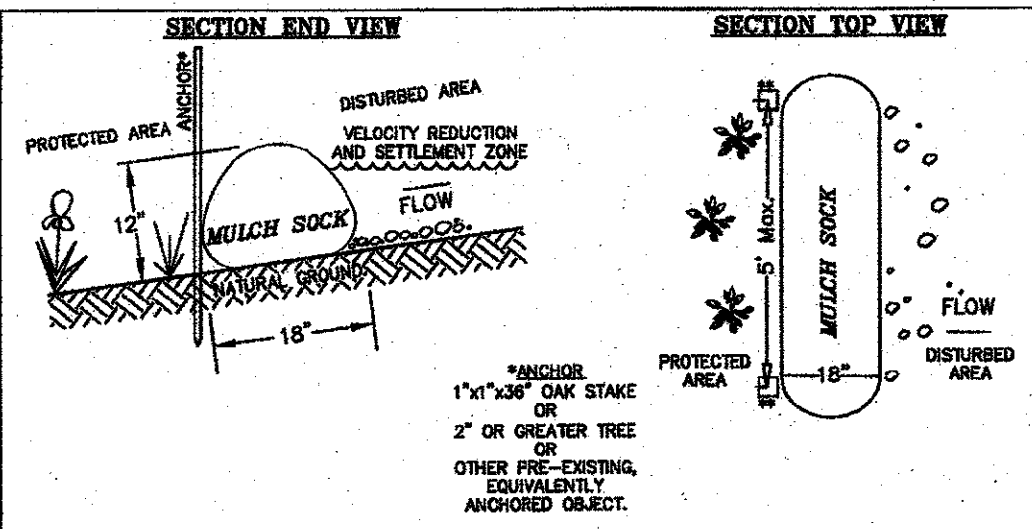
SHEET 3 OF 12

JOB NO. F4516

REGISTRY USE ONLY

F4516

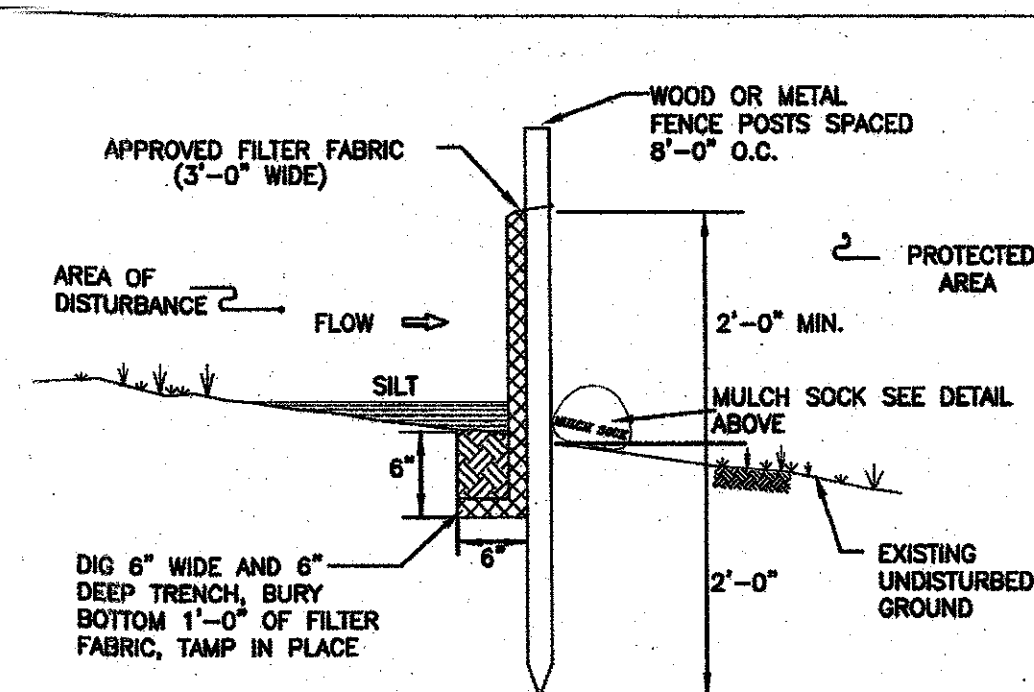




**MULCH SOCK COMPONENTS:**  
 OUTSIDE CASING: 100% organic heather.  
 FILLER INGREDIENT: FiberSed Mulch™  
 • A blend of coarse and fine compost and shredded wood.  
 • Particle sizes: 100% passing a 3" screen; 90-100% passing a 1" screen; 70-100% passing a 0.75" screen; 30-75% passing a 0.25" screen.  
 • Weight: Approx. 850 lbs./cu.yd. (Ave. 30 lbs./1.1')

**MULCH SOCK INSTALLATION:**  
 With the newest technology and equipment, sections can be constructed on site in lengths from 1' to 100'.  
 Sections can also be delivered to the site in lengths from 1' to 8'.  
 The flexibility of MULCH SOCK allows it to conform to any contour or terrain while holding a slightly oval shape at 12" high by 18" wide.  
 Where section ends meet, there shall be an overlap of 6" or greater. Both sides shall be anchored (oak stakes, trees, etc.) to stabilize the union. No additional anchors are required on slopes less than 2:1. \*\*Additional anchors are required at 5' intervals (max.) on the downslope or protected side on slopes greater than 2:1 to prevent movement.

**MULCH SOCK DETAIL**  
 NOT TO SCALE



1. PLACE SILT FENCE AT LOCATIONS AS SHOWN ON THE GRADING AND DRAINAGE PLAN.
2. SILT FENCE SHALL BE INSTALLED SO WATER CANNOT BYPASS THE FENCE AROUND THE SIDES.
3. INSPECTION SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE AS PROMPTLY AS POSSIBLE.
4. SILT FENCE SHALL REMAIN IN PLACE FOR THE DURATION OF THE PROJECT UNLESS OTHERWISE INSTRUCTED BY THE CONSERVATION COMMISSION.

**SILT FENCE EROSION CONTROL**  
 N.T.S.

**LEGEND**

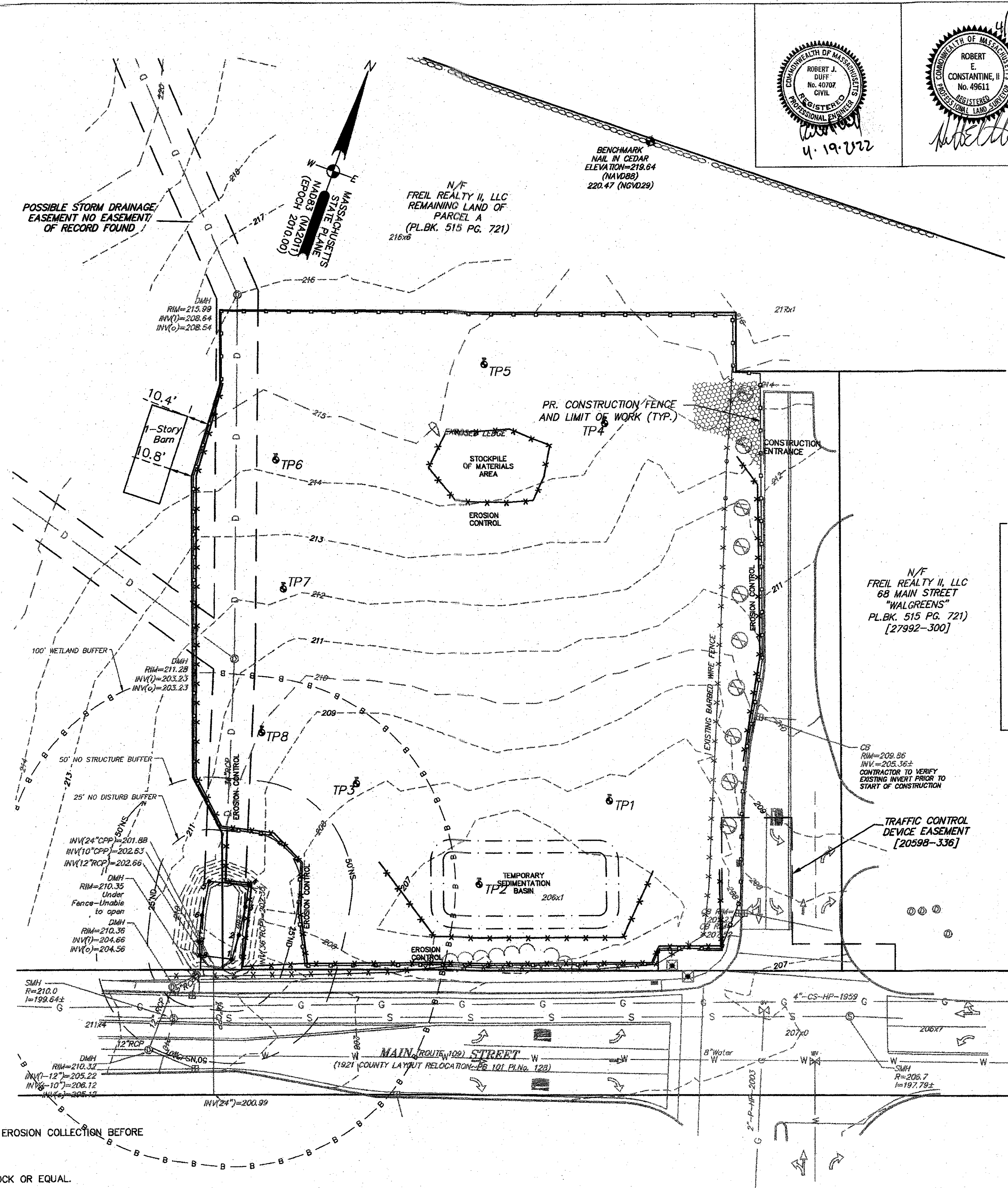
|         |                      |         |                       |
|---------|----------------------|---------|-----------------------|
| ⊞       | CATCH BASIN          | ☆       | LIGHT POLE            |
| ⊙       | DRAIN MANHOLE        | ⊙       | UTILITY POLE          |
| ⊕       | ELECTRIC MANHOLE     | +       | GUY WIRE              |
| ⊗       | SEWER MANHOLE        | —       | SIGN                  |
| ○       | MANHOLE              | •       | WETFLAG               |
| ⊕       | GAS VALVE            | ⊙       | UTILITY POLE          |
| ⊕       | GAS SHUT OFF VALVE   | ☆       | PROP. STREET LIGHTING |
| ⊕       | WATER VALVE          |         |                       |
| ⊕       | WATER SHUT OFF VALVE | x 000.0 | SPOT ELEVATION        |
| ⊕       | FIRE HYDRANT         |         | RIPRAP                |
| — 000 — | EXISTING CONTOUR     |         |                       |
| — D —   | EXISTING DRAIN LINE  |         |                       |
| — W —   | EXISTING WATER LINE  |         |                       |

**EROSION CONTROL AND DRAINAGE CONSTRUCTION PHASING**

1. INSTALL EROSION CONTROL DEVICES ALONG PERIMETER OF SITE WHERE SHOWN.
2. INSTALL CONSTRUCTION ENTRANCE.
3. SITE TO BE CLEARED AND GRUBBED.
4. INSTALL SLOPE MATTING TO STABILIZE SLOPES (IF APPLICABLE)
5. INSTALL DRAINAGE MANHOLES AND CATCHBASINS AND ENSURE TEMPORARY COVER IS IN PLACE.
6. INSTALL ALL DRAINAGE RISERS, GRATES AND COVERS
7. REMOVE CONSTRUCTION ENTRANCES.
8. UPON ALL CATCHMENT STRUCTURES AND MITIGATION FEATURES BECOMING OPERATIONAL, INSTALL PAVEMENT TO BINDER FINISH GRADE. PAVER TO PROVIDE TEMPORARY ASPHALT BERM ON BOTH SIDES OF PROPOSED PAVED AREAS. EROSION CONTROL MEASURES BACKED BY CRUSHED STONE TO BE PROVIDED ON DOWN GRADIENT SIDE OF CATCH BASINS TO DIRECT WATER TO TEMPORARY BASIN.
9. REMOVE TEMPORARY SEDIMENTATION BASIN AND FOREBAY AFTER SITE HAS BEEN STABILIZED AND PREPARED FOR BUILDING FOUNDATION INSTALLATION.

**GENERAL NOTES:**

1. SPECIAL CONSIDERATION FOR INLET CONTROLS FOR EROSION COLLECTION BEFORE ENTERING DRAINAGE SYSTEM.
2. INSTALL SILT SACKS.
3. INSTALL BARRIER AROUND CATCH BASIN, MULCH SOCK OR EQUAL.
4. INSTALL FILTER FABRIC ON ALL DRAIN MANHOLE OUTLETS DISCHARGING TO INFILTRATION SYSTEM.
5. INSPECTIONS BEFORE AND AFTER STORM EVENTS ARE REQUIRED TO INSURE ADEQUACY OF EROSION CONTROL MEASURES.
6. ALL EXISTING STRUCTURES TO BE RAZED.
7. STOCK PILE AREA TO BE CONTAINED USING EROSION CONTROL DEVICES
8. DIRT BAG SHALL BE USED TO PERIODICALLY CLEAN THE TEMPORARY SEDIMENTATION BASINS DURING CONSTRUCTION.
9. A CONSTRUCTION FENCE SHALL BE PLACED AROUND THE PERIMETER OF THE SITE.





## ZONING DISTRICT CENTRAL BUSINESS

|                               | REQUIRED        | PROPOSED  |
|-------------------------------|-----------------|-----------|
| MIN. LOT AREA                 | 10,000 SF       | 96,000 SF |
| MIN. LOT FRONTAGE             | NA†             | 300.00 FT |
| MIN. YARD SETBACKS            |                 |           |
| FRONT                         | 10 FT           | 97.2 FT   |
| SIDE                          | 10 FT<br>25 FT* | 58.4 FT   |
| REAR                          | 25 FT           | 83.0 FT   |
| STRUCTURE COVERAGE            | 80%             | 22.8%     |
| MAXIMUM IMPERVIOUS COVERAGE** | NA              | 73.7%**   |
| MINIMUM OPEN SPACE            | 15%             | 22.4%     |

\*WHEN ABUTTING A RESIDENTIAL DISTRICT

†PROPERTIES IN THE CENTRAL BUSINESS DISTRICT THAT DO NOT HAVE FRONTAGE ON A PUBLIC STREET SHALL BE REQUIRED TO HAVE AN EASEMENT OF AT LEAST 30 FEET IN WIDTH PROVIDING ACCESS TO A PUBLIC STREET.

\*\*MAXIMUM IMPERVIOUS COVERAGE IN A GROUND WATER PROTECTION DISTRICT:  
ANY USE THAT WILL RENDER IMPERVIOUS MORE THAN 15% OR 2500 SF. OF ANY LOT WHICHEVER IS GREATER.

### NOTE

A SPECIAL PERMIT WILL BE REQUIRED BY THE PLANNING BOARD FOR IMPERVIOUS COVERAGE IN A GROUNDWATER PROTECTION DISTRICT

NEW LOT AREA = 96,000±SF.

EXISTING PAVEMENT = 10,263± SF.  
PROPOSED BUILDING = 21,900± SF.  
PROPOSED PAVEMENT = 38,553± SF.

TOTAL IMPERVIOUS = 70,716± SF.  
(73.7%)

### LEGEND

|     |                      |         |                       |
|-----|----------------------|---------|-----------------------|
| ⊠   | CATCH BASIN          | ☆       | LIGHT POLE            |
| ⊙   | DRAIN MANHOLE        | ⊙       | UTILITY POLE          |
| ⊕   | ELECTRIC MANHOLE     | ⊕       | GUY WIRE              |
| ⊗   | SEWER MANHOLE        | ⊗       | SIGN                  |
| ○   | MANHOLE              | ⋄       | WETFLAG               |
| ⊕   | GAS VALVE            | ⊙       | UTILITY POLE          |
| ⊕   | GAS SHUT OFF VALVE   | ☆       | PROP. STREET LIGHTING |
| ⊕   | WATER VALVE          | VGC     | VERTICAL GRANITE CURB |
| ⊕   | WATER SHUT OFF VALVE | X 000.0 | SPOT ELEVATION        |
| ⊕   | FIRE HYDRANT         | ⊠       | RIPRAP                |
| --- | EXISTING CONTOUR     |         |                       |
| --- | EXISTING DRAIN LINE  |         |                       |
| --- | EXISTING WATER LINE  |         |                       |

### PARKING NOTES

ZONED: CENTRAL BUSINESS  
PARKING REQUIREMENTS PER ZONING:  
TABLE 3. SCHEDULE OF OFF STREET PARKING REQUIREMENTS

MEDICAL OFFICE OR CLINIC:  
1 SPACE PER 300 SF. = 73 SPACES REQUIRED  
PARKING SPACES PROVIDED = 102 SPACES  
TYPICAL PARKING SPACE: 18' X 9'

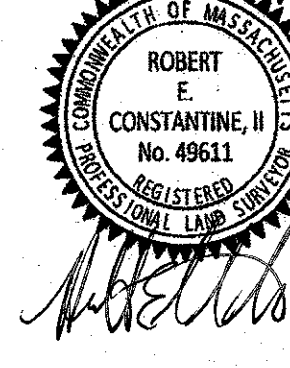
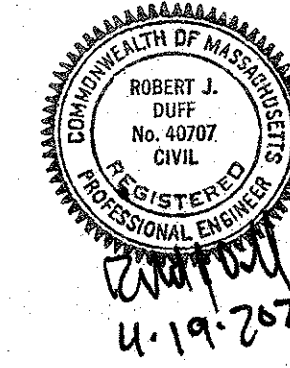
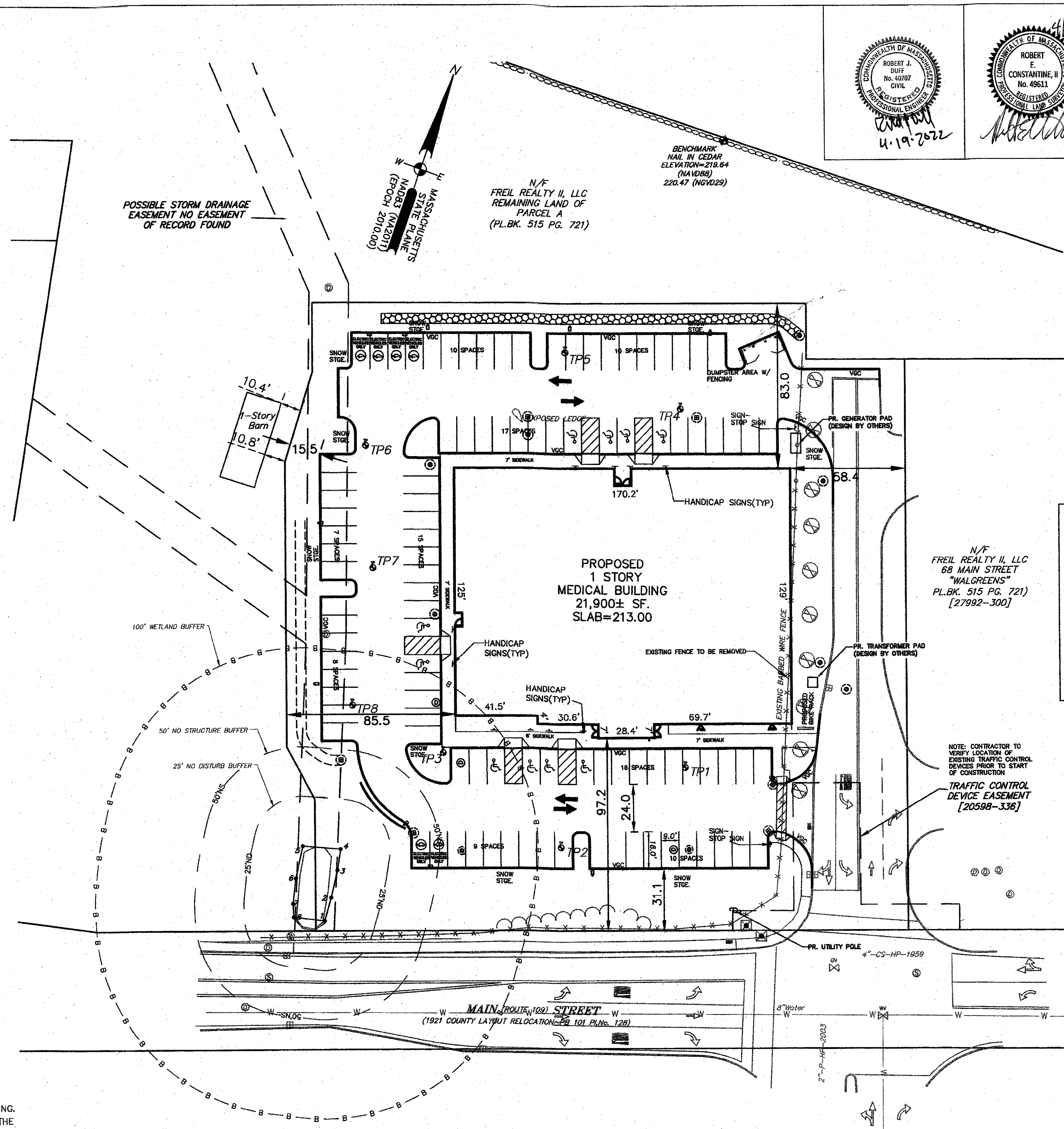
ELECTRIC VEHICLE SPACES REQ'D = 4  
ELECTRIC VEHICLE SPACES PROVIDED = 6

A SPECIAL PERMIT WILL BE REQUIRED BY THE PLANNING BOARD FOR PARKING LOCATED WITHIN THE FRONT YARD SETBACK.

#### SECTION 7. GENERAL REGULATIONS

##### 7.1.1. OFF STREET PARKING AND LOADING

K.(4) SPECIAL PARKING TYPES AND STANDARDS:  
FRONTAGE PARKING- BY SPECIAL PERMIT, BY THE BOARD TO ALLOW A LIMITED AMOUNT OF OFFSTREET SURFACE PARKING TO BE PLACED BETWEEN A PUBLIC STREET AND THE STREET FACING FACADE OF A PRIMARY BUILDING. WHERE THIS IS PERMITTED BY THE BOARD, THE PARKING AREA WILL BE SETBACK A MINIMUM OF TWENTY FEET FROM THE STREET LINE AND STREETScape TREATMENT.



APPROVED BY THE TOWN OF MEDWAY  
PLANNING & ECONOMIC DEVELOPMENT BOARD

BOARD MEMBER DATE

#### LEGAL NOTES

UTILITIES ARE PLOTTED AS A COMPILATION OF RECORD DOCUMENTS, MARKINGS AND OTHER OBSERVED EVIDENCE. IT IS THE RESPONSIBILITY OF THE UNDERGROUND UTILITY LOCATING CONTRACTOR TO BE CONSIDERED APPROXIMATE. EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY COMPLETELY AND RELIABLY DEPICTED. ADDITIONAL UTILITIES, NOT EVIDENCED BY RECORD DOCUMENTS OR OBSERVED PHYSICAL EVIDENCE, MAY EXIST. CONTRACTORS (IN ACCORDANCE WITH MASS. GEN. LAWS, CHAPTER 92, SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING AND CALL DIGSAFE AT 1(888)DIG-SAFE(7233).

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

#### OWNER

FREIL REALTY II, LLC  
DEED BOOK 27992 PAGE 300  
PLAN BK. 515, PG 721 OF 2003  
A.M. 41 LOT 8

#### APPLICANT

LOBISSER COMPANIES  
1 CHARLESVIEW ROAD  
HOPEDALE, MA 01747

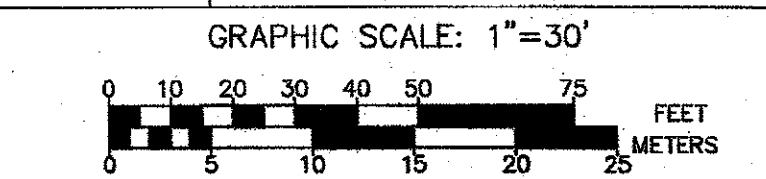
**SITE PLAN**  
**86 HOLLISTON STREET**  
**MEDWAY**  
**MASSACHUSETTS**

#### LAYOUT PLAN

**APRIL 14, 2022**

DATE REVISION DESCRIPTION

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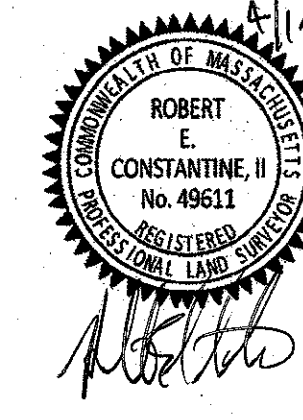
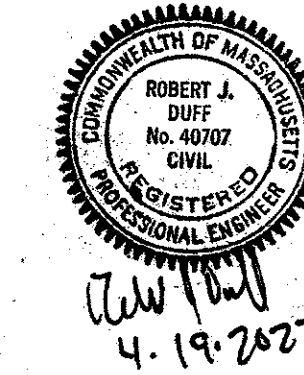
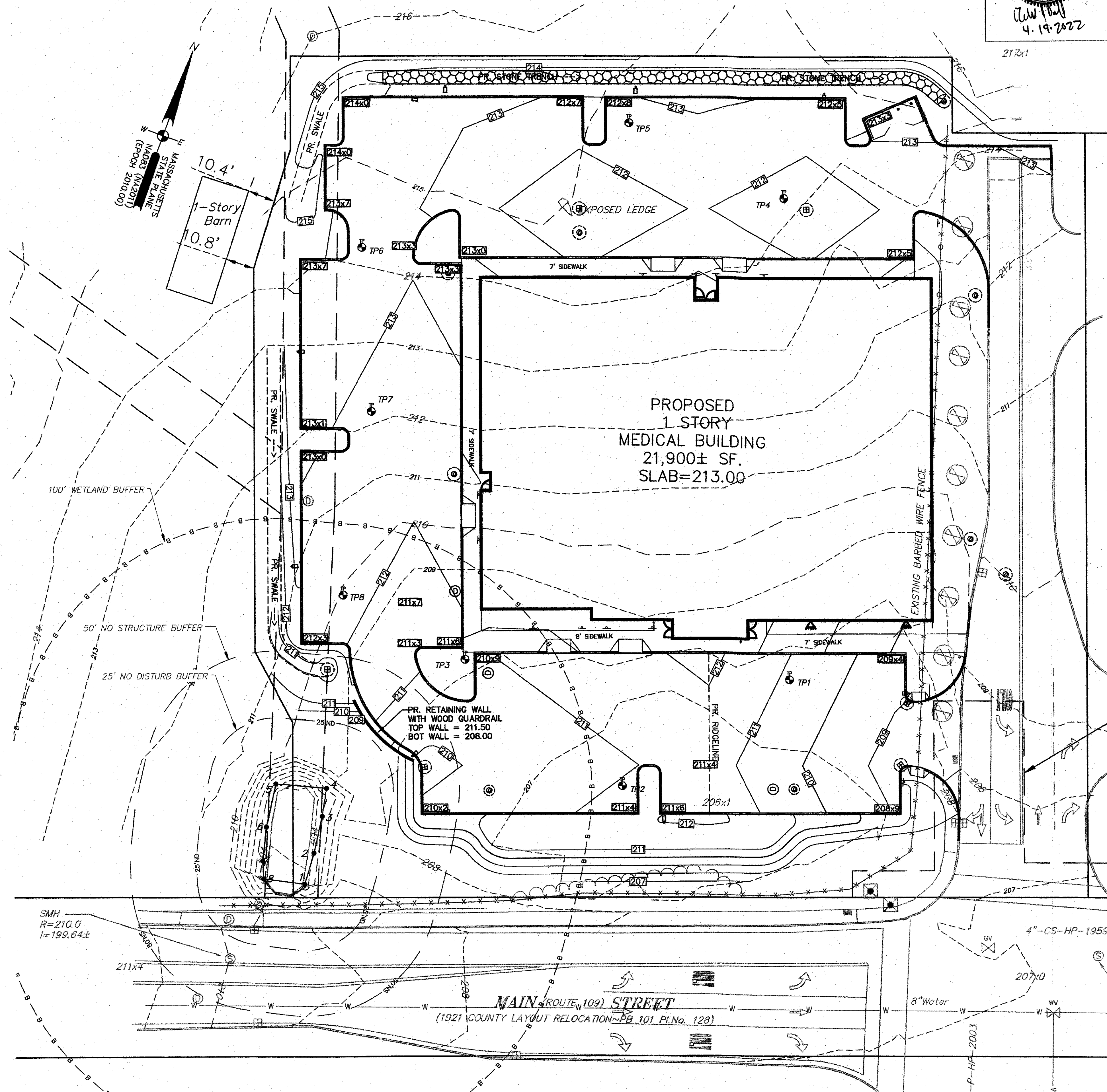
SHEET  
5 OF 12

JOB NO. **F4516**



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| LEGEND |                      |         |                       |
|--------|----------------------|---------|-----------------------|
| ⊞      | CATCH BASIN          | ☆       | LIGHT POLE            |
| ⊙      | DRAIN MANHOLE        | ⊕       | UTILITY POLE          |
| ⊙      | ELECTRIC MANHOLE     | •       | GUY WIRE              |
| ⊙      | SEWER MANHOLE        | —       | SIGN                  |
| ○      | MANHOLE              | •       | WETFLAG               |
| ⊕      | GAS VALVE            | ⊕       | UTILITY POLE          |
| ⊕      | GAS SHUT OFF VALVE   | ☆       | PROP. STREET LIGHTING |
| ⊕      | WATER VALVE          |         |                       |
| ⊕      | WATER SHUT OFF VALVE | X 000.0 | SPOT ELEVATION        |
| ⊕      | FIRE HYDRANT         | ⊞       | RIPRAP                |
| ---    | EXISTING CONTOUR     |         |                       |
| D      | EXISTING DRAIN LINE  |         |                       |
| W      | EXISTING WATER LINE  |         |                       |



APPROVED BY THE TOWN OF MEDWAY  
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BOARD MEMBER DATE

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UTILITIES ARE PLOTTED AS A COMPILATION OF  
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OBSERVED EVIDENCE TO DEVELOP A VIEW OF THE  
UNDERGROUND UTILITIES AND SHOULD BE  
CONSIDERED APPROXIMATE. PRIOR TO EXCAVATION,  
THE EXACT LOCATION OF UNDERGROUND FEATURES  
CANNOT BE 100% ACCURATELY COMPLETED AND  
RELIABLY DEPICTED. ADDITIONAL UTILITIES, NOT  
EVIDENCED BY RECORD DOCUMENTS OR OBSERVED  
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OWNER

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PLAN BK. 515, PG 721 OF 2003  
A.M. 41 LOT 8

APPLICANT

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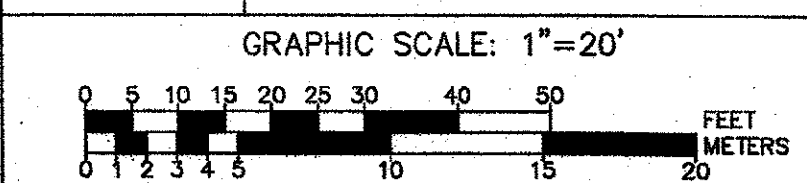
**SITE PLAN**  
**86 HOLLISTON STREET**  
**MEDWAY**  
**MASSACHUSETTS**

**GRADING PLAN**

**APRIL 14, 2022**

DATE REVISION DESCRIPTION

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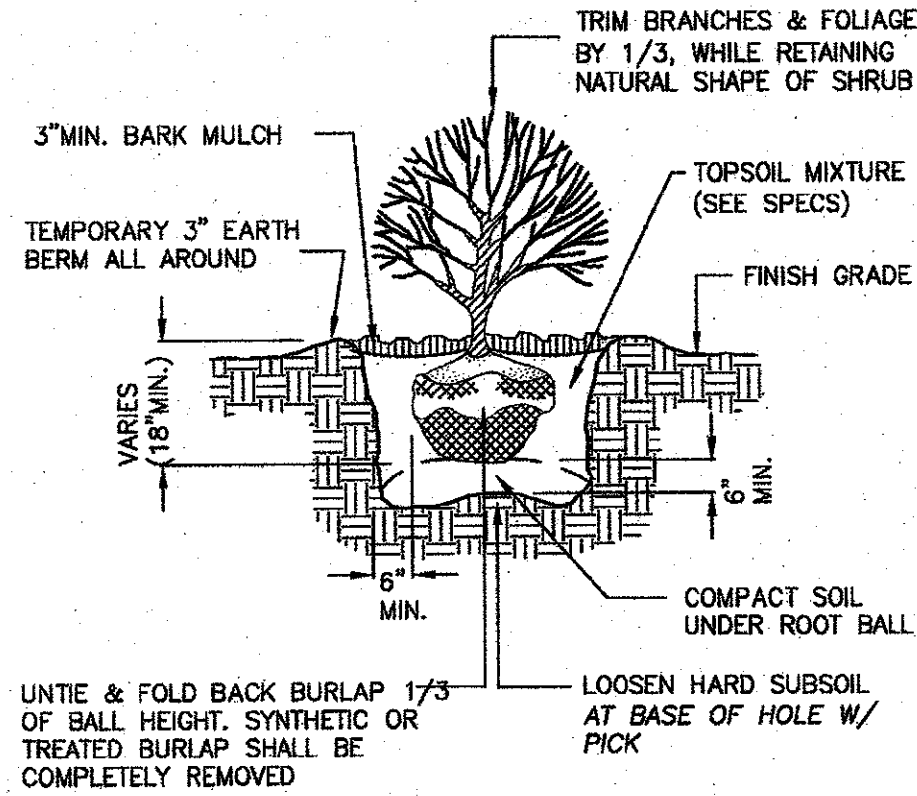
SHEET 6 OF 12 JOB NO. F4516

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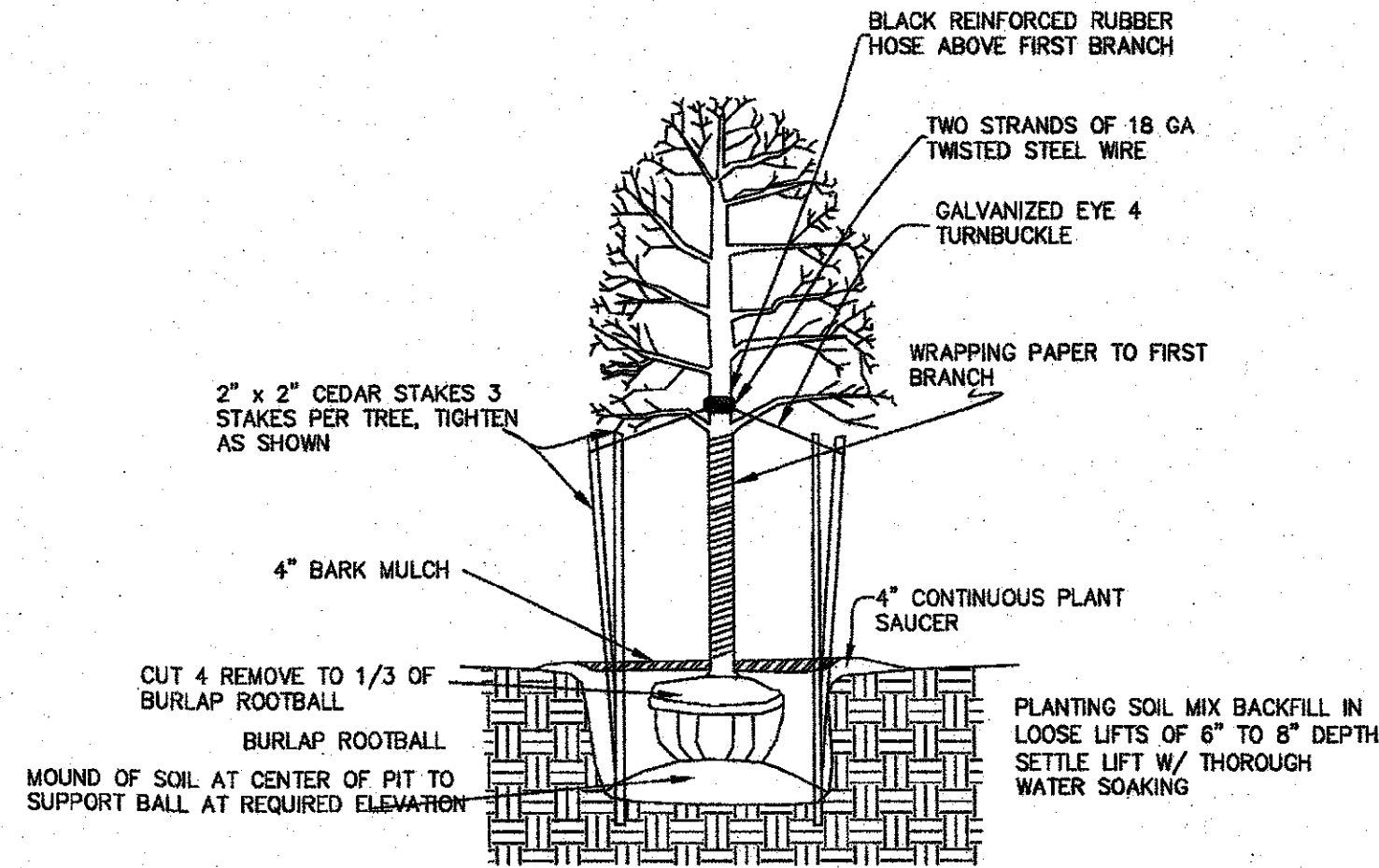








SHRUB PLANTING DETAIL  
N.T.S.



TREE DETAIL  
N.T.S.

### LEGEND

| SYMBOL | DESCRIPTION          | SYMBOL  | DESCRIPTION           |
|--------|----------------------|---------|-----------------------|
| ⊕      | CATCH BASIN          | ☆       | LIGHT POLE            |
| ⊕      | DRAIN MANHOLE        | ⊕       | UTILITY POLE          |
| ⊕      | ELECTRIC MANHOLE     | •       | GUY WIRE              |
| ⊕      | SEWER MANHOLE        | —       | SIGN                  |
| ⊕      | MANHOLE              | •       | WETFLAG               |
| ⊕      | GAS VALVE            | ⊕       | UTILITY POLE          |
| ⊕      | GAS SHUT OFF VALVE   | ☆       | PROP. STREET LIGHTING |
| ⊕      | WATER VALVE          |         |                       |
| ⊕      | WATER SHUT OFF VALVE | X 000.0 | SPOT ELEVATION        |
| ⊕      | FIRE HYDRANT         |         | RIPRAP                |
| —      | EXISTING CONTOUR     |         |                       |
| —      | EXISTING DRAIN LINE  |         |                       |
| —      | EXISTING WATER LINE  |         |                       |

### NOTES

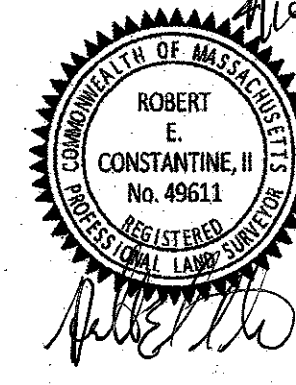
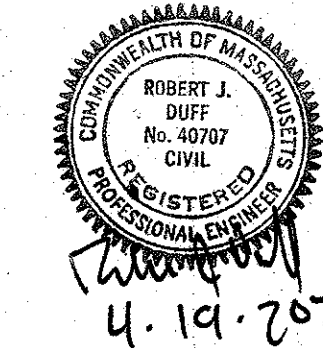
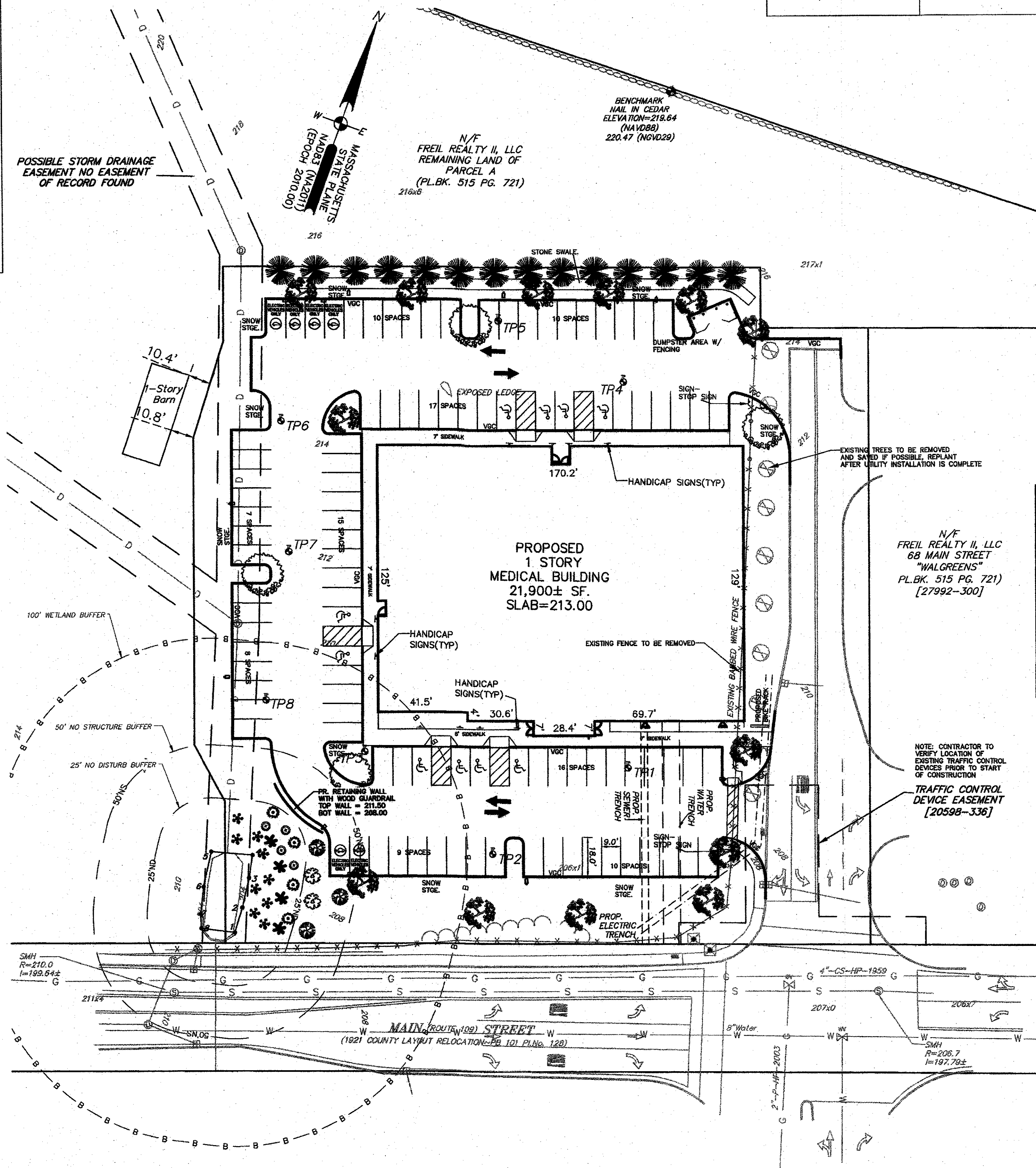
1. THE CONTRACTOR SHALL VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION.
2. PLANT MATERIALS SHALL CONFORM TO THE GUIDELINES BY THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
3. ALL PLANTING SHALL BE PLACED ACCORDING TO THE APPROVED LANDSCAPING PLAN.
4. AFTER PLANTING 4" OF MULCH SHALL BE PLACED WITHIN THE DESIGNATED AREAS.
5. ALL PLANT MATERIAL SHALL INCLUDE A 1 YEAR GUARANTEE.
6. THE CONTRACTOR/LANDSCAPER SHALL WATER NEWLY PLANTED MATERIAL FOR 90 DAYS.
7. DAMAGED VEGETATION WILL BE REMOVED AND REPLACED IF NECESSARY.
8. AREA OF INTERIOR LANDSCAPING = 6,005±SF (13.3%)

### PLANTING LEGEND

| SYMBOL | NAME                                | SIZE                 | QUANTITY |
|--------|-------------------------------------|----------------------|----------|
| ⊕      | RED MAPLE<br>ACER RUBRUM            | 5' MIN.<br>2.5" CAL. | 13       |
| ⊕      | EASTERN WHITE PINE<br>PINUS STROBUS | 10' HIGH MIN.        | 14       |
| ⊕      | RED OAK<br>QUERCUS RUBRA            | 5' MIN.<br>2.5" CAL. | 4        |

### REPLICATION LEGEND

| SYMBOL | NAME                                        | SIZE                 | QUANTITY |
|--------|---------------------------------------------|----------------------|----------|
| ⊕      | RIVER BIRCH<br>BETULA NIGRA                 | 4' MIN.<br>2.5" CAL. | 3        |
| ⊕      | MOUNTAIN PEPPERBUSH<br>CLETHRA ACUMINATA    | 3 GAL.               | 4        |
| ⊕      | HIGH BUSH BLUEBERRY<br>VACCINIUM CORYMBOSUM | 5 GAL.               | 2        |
| ⊕      | WINTERBERRY<br>ILEX VERTICILLATA            | 3 GAL.               | 4        |
| ⊕      | SHEEP LAUREL<br>KALMIA ANGUSTIFOLIA         | 3 GAL.               | 4        |
| ⊕      | CINNAMON FERN<br>OSMUNDA CINNAMOMEA         | 2 GAL.               | 9        |



APPROVED BY THE TOWN OF MEDWAY  
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BOARD MEMBER DATE

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### OWNER

FREIL REALTY II, LLC  
DEED BOOK 27992 PAGE 300  
PLAN BK. 515, PG. 721 OF 2003  
A.M. 41 LOT 8

### APPLICANT

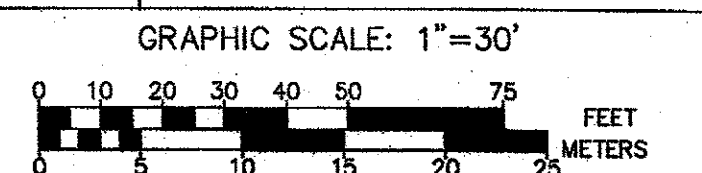
LOBISSER COMPANIES  
1 CHARLESVIEW ROAD  
HOPEDALE, MA 01747

**SITE PLAN**  
**86 HOLLISTON STREET**  
**MEDWAY**  
**MASSACHUSETTS**

### LANDSCAPING PLAN

**APRIL 14, 2022**

DATE REVISION DESCRIPTION



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SHEET 8 OF 12 JOB NO. F4516





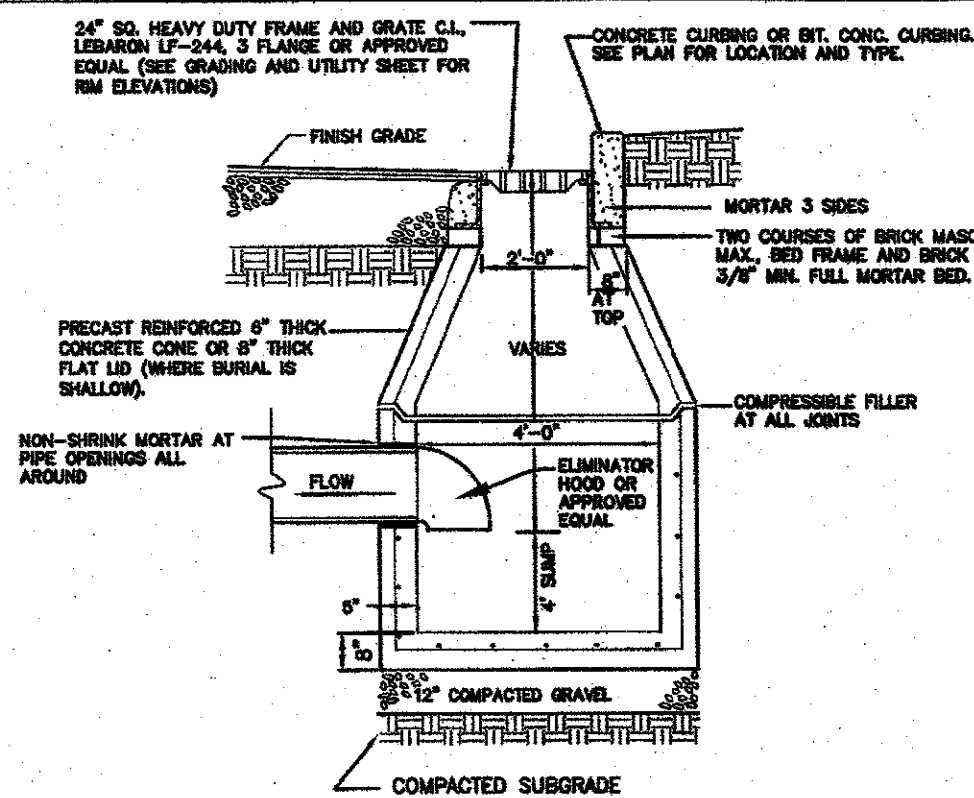


**GENERAL EROSION CONTROL AND CONSTRUCTION NOTES**

1. THE LIMITS OF ALL CLEARING, GRADING AND DISTURBANCE SHALL BE KEPT TO A MINIMUM WITHIN THE PROPOSED AREA OF CONSTRUCTION. ALL AREAS OUTSIDE THE LIMITS OF DISTURBANCE SHALL REMAIN TOTALLY UNDISTURBED.
2. INSPECT ALL SEDIMENT AND EROSION CONTROL MEASURES AT LEAST ONCE PER WEEK AND WITHIN 24 HOURS AFTER EVERY RAINFALL EVENT.
3. MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES OR REPLACE AS REQUIRED TO ASSURE PROPER FUNCTION.
4. CONTRACTOR SHALL IMMEDIATELY REPAIR ANY AND ALL EROSION AND SEDIMENT CONTROLS FOUND TO BE FAULTY.
5. ANY AND ALL DEBRIS AND LITTER WHICH ACCUMULATES IN THE BASINS SHALL BE REMOVED WEEKLY.
6. THE CONTRACTOR SHALL IMPLEMENT ALL REASONABLE EROSION AND SEDIMENT CONTROLS PRIOR TO THE ACTUAL COMMENCEMENT OF CONSTRUCTION ACTIVITIES INCLUDING THE CLEARING AND/OR GRUBBING OF ANY PORTION OF THE PROPERTY. THESE MEASURES SHALL BE MAINTAINED IN EFFECT THROUGHOUT THE ENTIRE CONSTRUCTION PHASE, OR UNTIL THE SITE HAS BECOME STABILIZED WITH AN ADEQUATE VEGETATIVE COVER.
7. SEDIMENT BUILD UP BEHIND FILTERMITS SHALL BE MONITORED AND BE REMOVED WHENEVER IT HAS ACCUMULATED TO FOUR INCHES IN DEPTH.
8. CATCH BASINS SHALL BE PROTECTED WITH SILT FILTERS (SILT SACKS). INSPECT SEDIMENT FILTERS AT LEAST ONCE PER WEEK AND WITHIN 24 HOURS AFTER RAINFALL THAT PRODUCES RUNOFF. CLEAN OR REPLACE FILTERS WITHIN 24 HOURS OF INSPECTION WHEN SEDIMENT REACHES ONE HALF OF THE FILTER SACK DEPTH. CATCH BASINS SHALL BE PROTECTED BY SEDIMENT FILTERS THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS ARE THOROUGHLY STABILIZED. SUMPS SHALL BE CLEANED WHENEVER SEDIMENT HAS ACCUMULATED TO A DEPTH OF 24 INCHES AND IMMEDIATELY FOLLOWING INSTALLATION OF PERMANENT PAVEMENT.
10. THE CONTRACTOR SHALL MAINTAIN AN ADEQUATE STOCKPILE OF EROSION CONTROL MATERIALS ON-SITE AT ALL TIMES FOR EMERGENCY OR ROUTINE REPLACEMENT AND SHALL INCLUDE MATERIALS TO REPAIR OR REPLACE SILT FENCE, MULCH SOCK, STONE FILTER DIKES OR ANY OTHER DEVICES PLANNED FOR USE DURING CONSTRUCTION.
11. THE CONTRACTOR IS TO INSPECT ALL CONTROLS NO LESS THAN WEEKLY, AND IN ANTICIPATION OF RAINFALL EVENTS EXPECTED TO EXCEED 1/2 INCH IN DEPTH. ALL DEFICIENCIES NOTED DURING SAID INSPECTION SHALL BE REPAIRED IMMEDIATELY AND IN NO CASE SHALL A DEFICIENCY BE ALLOWED TO GO UNCORRECTED DURING A RAINFALL EVENT. THE EROSION CONTROL DEVICES SHALL BE MAINTAINED, REINFORCED, OR REPLACED IF NECESSARY. ALL ACCUMULATED SEDIMENTS AND OTHER MATERIALS COLLECTED.
12. BY THE SEDIMENTATION CONTROL SYSTEMS SHALL BE REMOVED AS NECESSARY TO INSURE PROPER FUNCTION OF SYSTEMS AND DISPOSED OF IN A MANNER THAT IS CONSISTENT WITH THE INTENT OF THIS PLAN, IN AN UPLAND AREA.
13. TEMPORARY EARTH OR STONE DIKES, DRAINAGE SWALES AND/OR TEMPORARY SLOPE DRAINS SHALL BE INSTALLED WHERE OFF-SITE OR ON-SITE RUNOFF IS SUFFICIENT ENOUGH SUCH THAT IT WILL BE NECESSARY TO DIVERT THE FLOW AROUND THE SITE OR PREVENT EROSION WITHIN THE LIMITS OF WORK.
14. STORM DRAIN INLET PROTECTION SHALL BE USED FOR ALL EXISTING AND PROPOSED CATCH BASINS IN THE PROJECT AREA. PRIOR TO COMPLETION OF THE PROJECT, ALL CATCH BASINS WITHIN THE PROJECT AREA SHALL BE CLEANED.
15. ALL DISTURBED EARTH SLOPES AREA TO BE STABILIZED WITH PERMANENT VEGETATIVE COVER, TO BE ESTABLISHED AS SOON AS POSSIBLE. DISTURBED AREAS THAT ARE NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL RECEIVE A PERMANENT OR TEMPORARY VEGETATIVE COVER AS SOON AS FINAL CONTOURS ARE ESTABLISHED. TEMPORARY VEGETATIVE COVER IS TO BE ESTABLISHED ON ALL DISTURBED AREAS WHERE CONSTRUCTION ACTIVITIES WILL NOT REQUIRE ADDITIONAL DISTURBANCE FOR PERIOD OF 30 DAYS OR MORE. IF THE SEASON PREVENTS THE ESTABLISHMENT OF VEGETATIVE COVER, DISTURBED AREAS SHALL BE MULCHED AND THEN SEEDED AS SOON AS WEATHER CONDITIONS ALLOW.
16. THERE SHALL BE NO DIRECT DISCHARGE OF DEWATERING OPERATIONS INTO ANY DRAINAGE SYSTEM UNLESS THIS DISCHARGE IS CLEAN AND FREE OF SETTLEABLE SOLIDS. ANY DEWATERING DISCHARGE CONTAINING SETTLEABLE SOLIDS (SEDIMENTS) SHALL BE PASSED THROUGH A SEDIMENTATION CONTROL DEVICE (FILTER BAG) TO REMOVE THESE SOLIDS. THE CONTRACTOR IS TO MAINTAIN SAID SEDIMENT CONTROL DEVICE THROUGHOUT THE ENTIRE DEWATERING OPERATION AND REPAIR DEFICIENCIES IMMEDIATELY.
17. SOIL STOCKPILE AREAS FOR CONSTRUCTION MATERIALS SHALL BE LOCATED OUTSIDE WETLAND AREAS AND ASSOCIATED BUFFERS.
18. ALL PLANTINGS SHALL BE ACCOMPLISHED BY THE CONTRACTOR AS EARLY AS THE POSSIBLE UPON COMPLETION OF GRADING AND CONSTRUCTION.
19. ALL PLANTINGS SHALL BE WATERED AND MAINTAINED BY THE CONTRACTOR TO ENSURE SURVIVAL.
20. EROSION CONTROL SHALL REMAIN IN PLACE UNTIL THE CERTIFICATE OF COMPLETION IS ISSUED.

**INTERIM EROSION CONTROL AND CONSTRUCTION SEQUENCE**

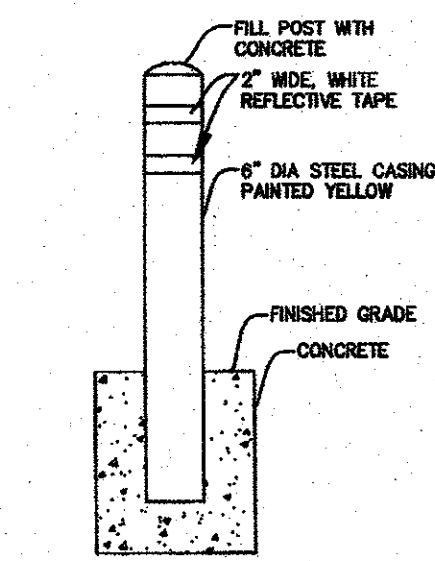
1. INSTALL EROSION CONTROL BARRIERS AND HAVE ENGINEER INSPECT AND PREPARE LETTER.
2. CLEAR SITE OF ALL TREES DESIGNATED TO BE REMOVED. CONSTRUCT A TEMPORARY BASIN TO COLLECT RUNOFF DURING CONSTRUCTION.
3. STOCKPILE LOAM, OR REMOVE LOAM.
4. INSTALL PIPES FOR DRAINAGE SYSTEMS. INSTALL DISCHARGE POINT ON EACH SYSTEM.
5. BRING SITE TO SUB-GRADE.
6. ALL SLOPES ALONG THE PROPERTY LINES SHALL BE MULCHED TEMPORARILY, IF DISTURBED.
7. TEMPORARY STONE (3/4" - 1 1/2") SHALL BE PLACED AT THE PROJECT ENTRANCE WHEN ACCESSING EXISTING PAVEMENT. SWEEPING IS REQUIRED IF FINES ARE OBSERVED IN THE PARKING LOT OR PUBLIC WAYS.
8. ALL DISTURBED AREAS NOT TREATED WITH PERMANENT LOAM AND SEED SHALL BE COVERED WITH MULCH, OR OTHER EROSION CONTROL DEVICE.
9. ALL CONSTRUCTION GRADES IN THE INTERIM SHALL BE SLOPED TO FLOW INTO THE TEMPORARY BASIN, WHERE POSSIBLE.
10. THE SITE MITIGATION OF EROSION IN THOSE AREAS TO BE LANDSCAPED OR MULCHED SHALL BE TO INSTALL AS SOON AS POSSIBLE.
11. CLEAN ALL SEDIMENT OUT OF TEMPORARY BASIN AND INSTALL CLEAN FILL PER PLAN SPECIFICATIONS PRIOR TO FINAL GRADING AND SURFACE STABILIZATION.
12. THE SUBSURFACE DRAINAGE SYSTEM SHALL BE INSTALLED PRIOR TO PAVEMENT INSTALLATION. PROPER FILTERFABRIC SHALL BE PLACED AT INLETS TO KEEP THE STORM DRAINAGE CLEAN OF DEBRIS.
13. ONCE THE CURB IS INSTALLED, THE PERMANENT MULCH AND LANDSCAPING SHALL BE INSTALLED.
14. SEDIMENT CONTROL SHALL REMAIN IN PLACE UNTIL THE SITE IS STABILIZED.
15. CLEAN ALL ON SITE CATCH BASINS, MANHOLES, PIPING, TEMPORARY BASIN, AND INFILTRATION CHAMBERS. INSTALL SILT BAGS AT EACH CATCH BASIN.
16. KEEP SITE SWEEPED AND MAINTAINED PER STORMWATER MANAGEMENT PLAN.



**TYP. PRECAST CONCRETE CATCH BASIN DETAIL**

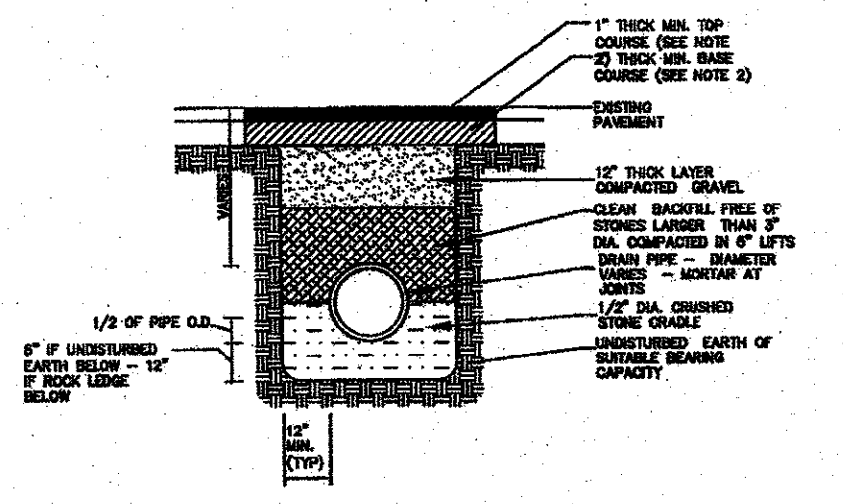
NOT TO SCALE

NOTE: ALL STRUCTURES SHALL BE SUITABLE FOR H-20 LOADING AND SHALL MEET THE REQUIREMENTS OF ASTM C478.

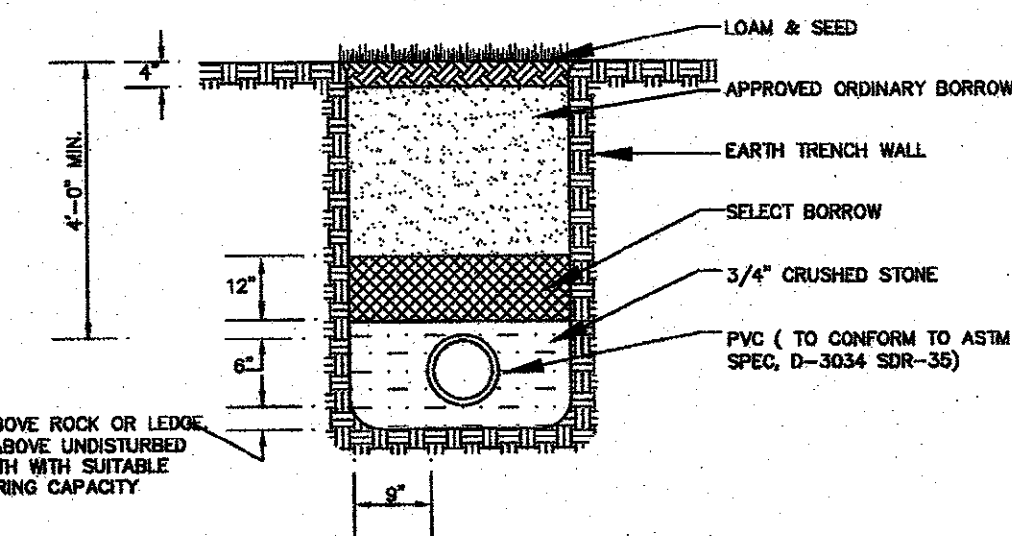


**BOLLARD DETAIL**

NOT TO SCALE

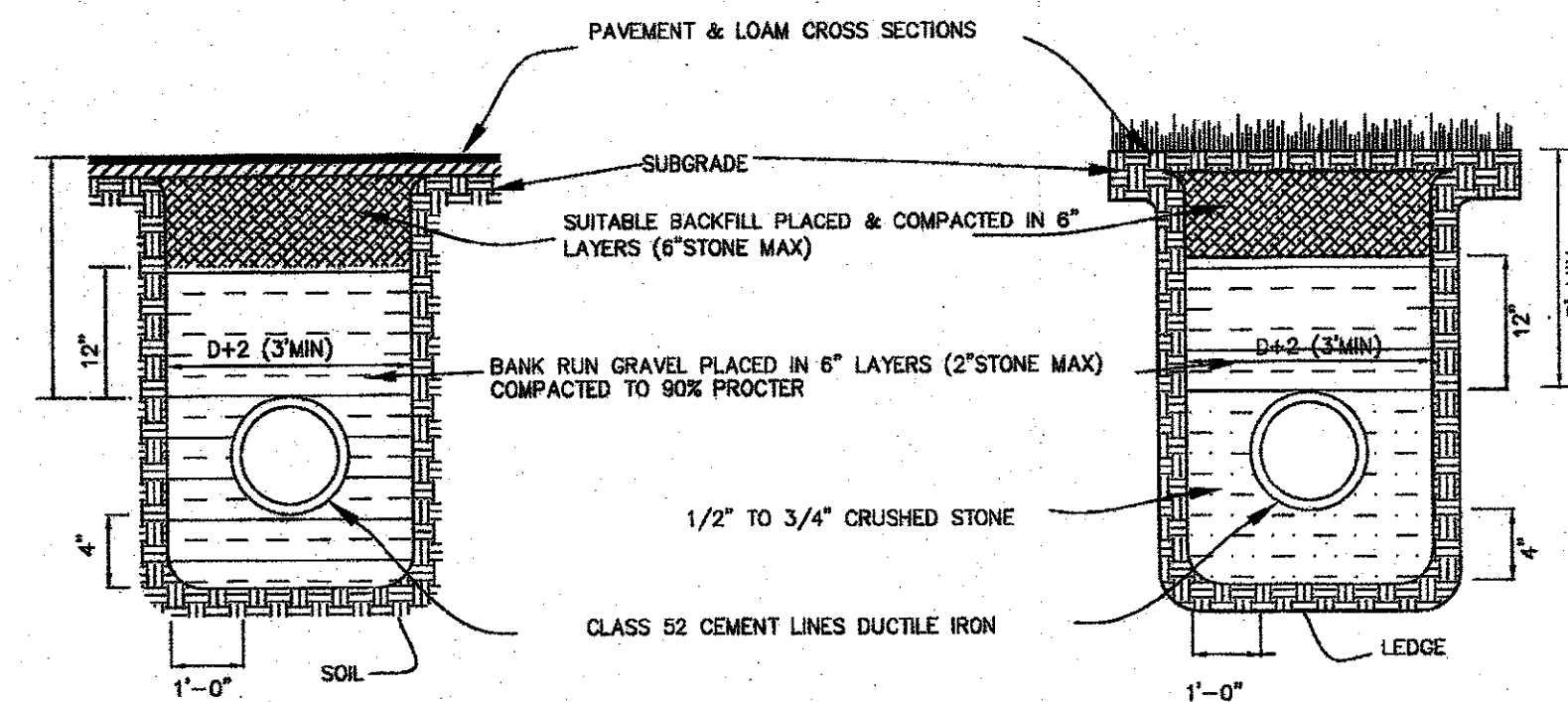


**TYPICAL TRENCH SECTION FOR REINFORCED CONCRETE PIPE**

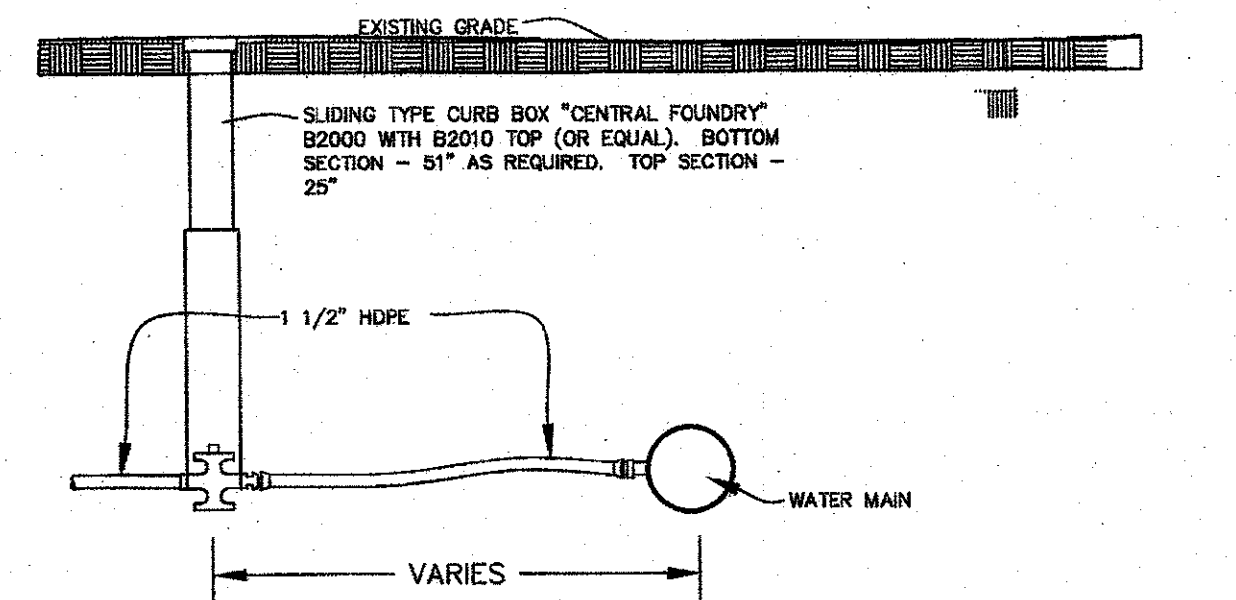


**TYPICAL P.V.C. TRENCH SECTION**

NOT TO SCALE

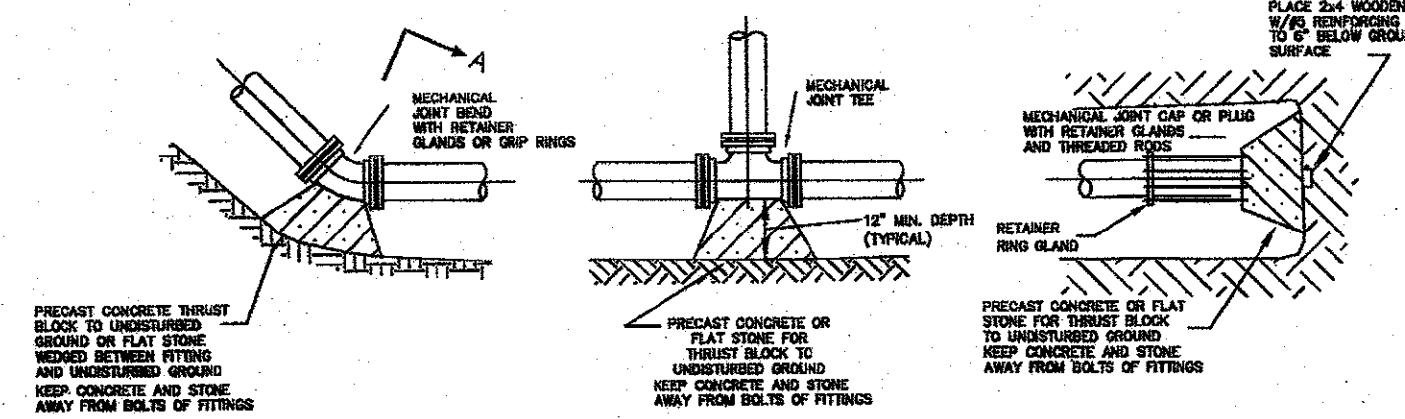


**TYPICAL TRENCH SECTION FOR D.I. WATER MAIN (TYPE 5 BEDDING AWWAC-600)**

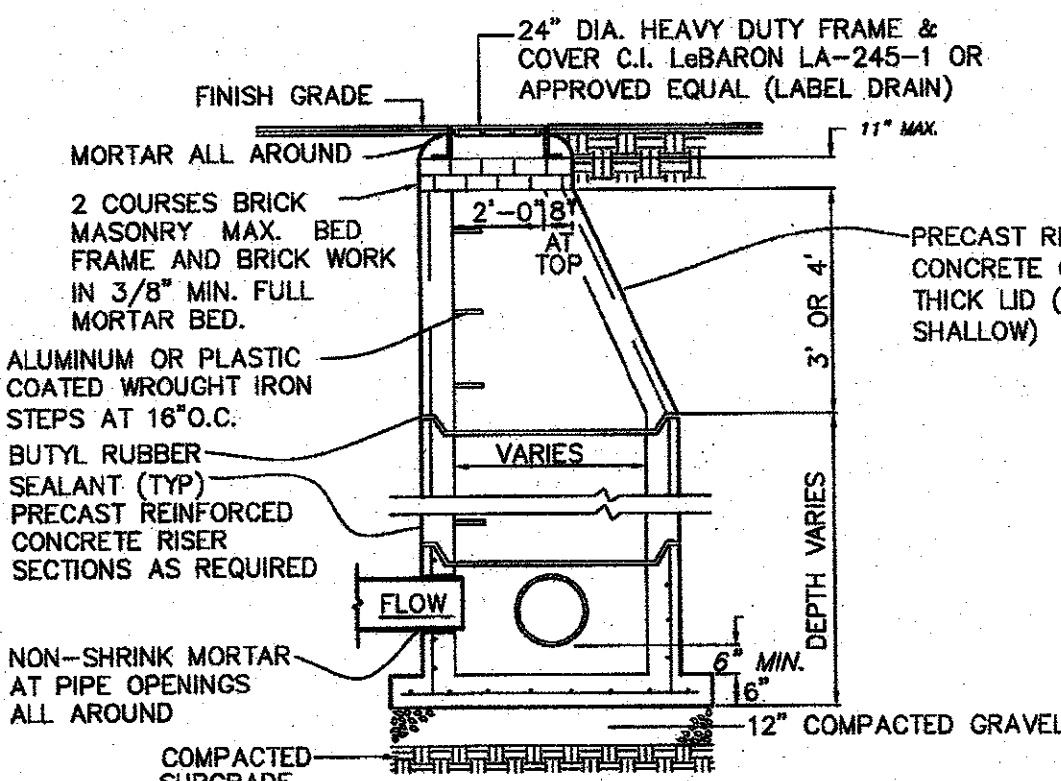


**TYPICAL WATER SERVICE CONNECTION**

NOT TO SCALE



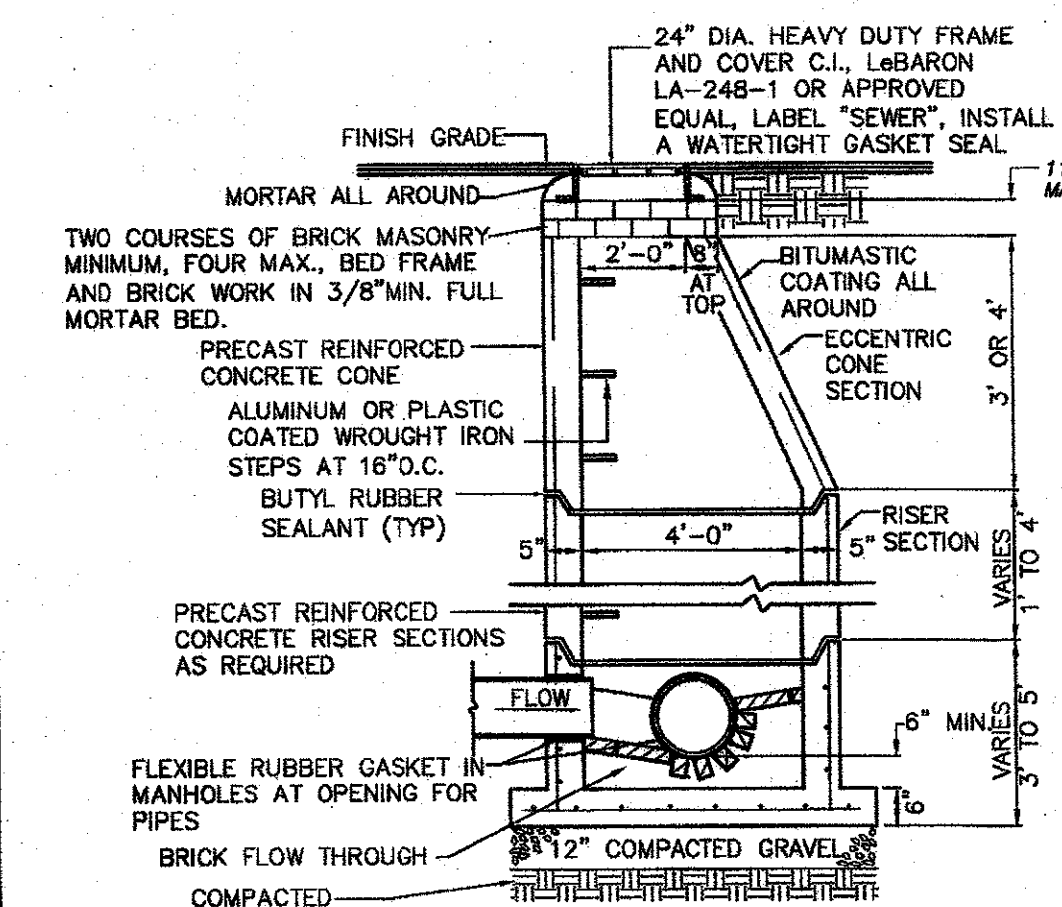
**TYPICAL THRUST BLOCK DETAILS**



**TYP. PRECAST CONCRETE MANHOLE STORM DRAIN**

N.T.S.

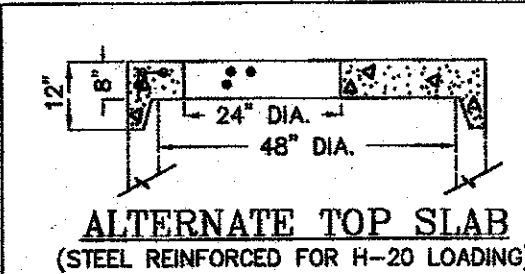
NOTE: ALL STRUCTURES SHALL BE SUITABLE FOR H-20 LOADING AND SHALL MEET THE REQUIREMENTS OF A.S.T.M. C478.



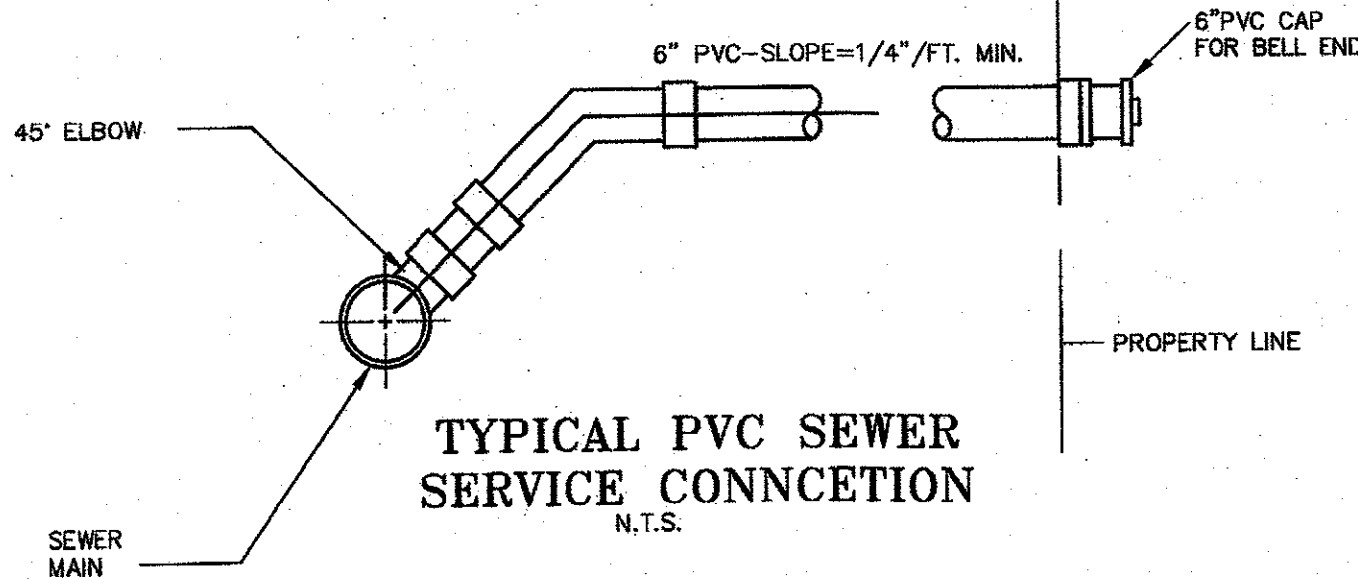
**TYP. PRECAST CONCRETE MANHOLE SANITARY**

N.T.S.

NOTE: ALL STRUCTURES SHALL BE SUITABLE FOR H-20 LOADING AND SHALL MEET THE REQUIREMENTS OF ASTM C478.

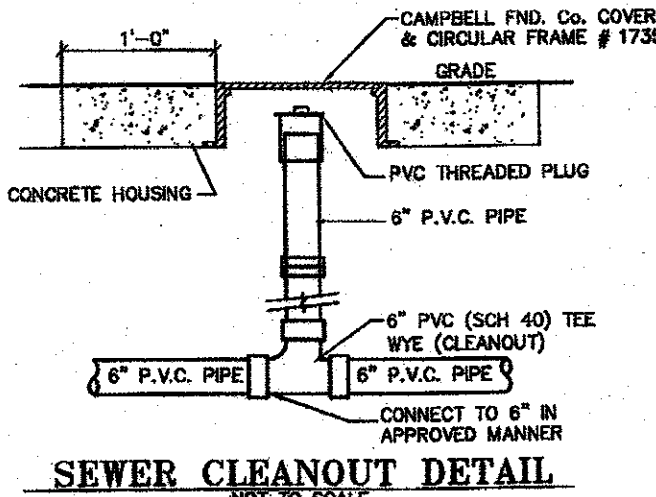


**ALTERNATE TOP SLAB (STEEL REINFORCED FOR H-20 LOADING)**



**TYPICAL PVC SEWER SERVICE CONNECTION**

N.T.S.



**SEWER CLEANOUT DETAIL**

NOT TO SCALE

**ROOF DRAIN DETAIL**

N.T.S.

APPROVED BY THE TOWN OF MEDWAY  
PLANNING & ECONOMIC DEVELOPMENT BOARD

BOARD MEMBER DATE

LEGAL NOTES

UTILITIES ARE PLOTTED AS A COMPILATION OF RECORD DOCUMENTS, MARKINGS AND OTHER OBSERVED EVIDENCE. FOR A VIEW OF THE UNDERGROUND UTILITIES, A SHOULD BE CONSIDERED APPROXIMATE. DURING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY DETERMINED. COMPLETELY AND RELIABLY DEPICTED. ADDITIONAL UTILITIES, NOT EVIDENCED BY RECORD DOCUMENTS OR OBSERVED PHYSICAL EVIDENCE, MAY EXIST. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING AND CALL DIGSAFE AT 1(888)DIG-SAFE[7233].

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

OWNER

FREIL REALTY II, LLC  
DEED BOOK 27992 PAGE 300  
PLAN BK. 515, PG 721 OF 2003  
A.M. 41 LOT 8

APPLICANT

LOBISSER COMPANIES  
1 CHARLESVIEW ROAD  
HOPEDALE, MA 01747

**SITE PLAN**  
**86 HOLLISTON STREET**  
**MEDWAY**  
**MASSACHUSETTS**

**CONSTRUCTION**  
**DETAILS**

**MARCH 28, 2022**

DATE REVISION DESCRIPTION



# CULTEC RECHARGER 280HD SPECIFICATIONS

GENERAL: CULTEC RECHARGER 280HD CHAMBERS ARE DESIGNED FOR UNDERGROUND STORMWATER MANAGEMENT. THE CHAMBERS MAY BE USED FOR RETENTION, RECHARGING, DETENTION OR CONTROLLING THE FLOW OF ON-SITE STORMWATER RUNOFF.

## CHAMBER PARAMETERS

- THE CHAMBERS WILL BE MANUFACTURED BY CULTEC, INC. OF BROOKFIELD, CT. (203-775-4416 OR 1-800-428-5832)
- THE CHAMBER SHALL BE VACUUM THERMOFORMED OF HIGH MOLECULAR WEIGHT HIGH DENSITY POLYETHYLENE (HDPE) WITH A BLACK INTERIOR AND BLUE EXTERIOR.
- THE CHAMBER WILL BE OPEN BOTTOMED.
- THE CHAMBER WILL BE OPEN BOTTOMED.
- THE CHAMBER WILL BE JOINED USING AN INTERLOCKING OVERLAPPING RIB METHOD. CONNECTIONS MUST BE FULLY SHOULDERS OVERLAPPING RIBS, HAVING NO SEPARATE COUPLINGS OR SEPARATE END WALLS.
- THE NOMINAL CHAMBER DIMENSIONS OF THE CULTEC RECHARGER 280HD SHALL BE 28.5 INCHES (730 mm) TALL, 47 INCHES (1194 mm) WIDE AND 8 FEET (2.44 m) LONG. THE INSTALLED LENGTH OF A JOINED RECHARGER 280HD SHALL BE 7 FEET (2.13 m).
- MAXIMUM INLET OPENING ON THE CHAMBER ENDWALL IS 21 INCHES (533 mm) HDPE.
- THE CHAMBER WILL HAVE TWO SIDE PORTALS TO ACCEPT CULTEC HVLV FC-24 FEED CONNECTORS TO CREATE AN INTERNAL MANIFOLD. NOMINAL INSIDE DIMENSIONS OF THE SIDE PORTAL SHALL HAVE A WIDTH OF 11.25" (286 mm) AND HEIGHT OF 11.5" (292 mm). THE SIDE PORTAL CAN ACCEPT A MAXIMUM OUTLET DIAMETER (O.D.) PIPE SIZE OF 12 INCHES (305 mm).
- THE NOMINAL CHAMBER DIMENSIONS OF THE CULTEC HVLV FC-24 FEED CONNECTOR SHALL BE 12 INCHES (305 mm) TALL, 16 INCHES (406 mm) WIDE AND 24.2 INCHES (614 mm) LONG.
- THE NOMINAL STORAGE VOLUME OF THE RECHARGER 280HD CHAMBER WILL BE 6.079 CFS (0.688 m³) WITHOUT STONE. THE NOMINAL STORAGE VOLUME OF A JOINED RECHARGER 280HD SHALL BE 42.585 CFS (UNTIL 1.208 m³) WITHOUT STONE.
- THE NOMINAL STORAGE VOLUME OF THE HVLV FC-24 FEED CONNECTOR WILL BE 0.913 CFS (0.095 m³) WITHOUT STONE.
- THE RECHARGER 280HD CHAMBER WILL SEVENTY-TWO DISCHARGE HOLES BORED INTO THE SIDEWALLS OF THE CHAMBER CORE TO PROMOTE LATERAL CONVEYANCE OF WATER.
- THE RECHARGER 280HD CHAMBER SHALL HAVE 15 CORRUGATIONS.
- THE ENDWALL OF THE CHAMBER, WHEN PRESENT, WILL BE AN INTEGRAL PART OF THE CONTINUOUSLY FORMED UNIT. SEPARATE END PLATES CANNOT BE USED WITH THIS UNIT.
- THE RECHARGER 280HD STAND ALONE UNIT MUST BE FORMED AS A WHOLE CHAMBER HAVING TWO FULLY FORMED INTEGRAL ENDWALLS AND HAVING NO SEPARATE END PLATES OR SEPARATE END WALLS.
- THE RECHARGER 280HD STARTER UNIT MUST BE FORMED AS A WHOLE CHAMBER HAVING ONE FULLY FORMED INTEGRAL ENDWALL AND ONE PARTIALLY FORMED INTEGRAL ENDWALL WITH A LOWER TRANSFER OPENING OF 9 INCHES (229 mm) HIGH X 35 INCHES (889 mm) WIDE.
- THE RECHARGER 280HD INTERMEDIATE UNIT MUST BE FORMED AS A WHOLE CHAMBER HAVING ONE FULLY FORMED INTEGRAL ENDWALL AND ONE FULLY OPEN END WALL AND HAVING NO SEPARATE END PLATES OR END WALLS.
- THE HVLV FC-24 FEED CONNECTOR MUST BE FORMED AS A WHOLE CHAMBER HAVING TWO OPEN END WALLS AND HAVING NO SEPARATE END WALLS OR SEPARATE END WALLS. THE UNIT WILL FIT INTO THE SIDE PORTALS OF THE RECHARGER 280HD AND ACT AS CROSS FEED CONNECTIONS.
- CHAMBERS MUST HAVE HORIZONTAL STIFFENING FLEX REDUCTION STEPS BETWEEN THE RIBS.
- THE CHAMBER WILL HAVE A RAISED INTEGRAL CAP AT THE TOP OF THE ARCH IN THE CENTER OF EACH UNIT TO BE USED AS AN OPTIONAL INSPECTION PORT OR CLEAN-OUT.
- THE UNITS MAY BE TRIMMED TO CUSTOM LENGTHS BY CUTTING BACK TO ANY CORRUGATION.
- THE CHAMBER SHALL BE MANUFACTURED IN AN IN AN ISO 9001:2015 CERTIFIED FACILITY.
- THE CHAMBER WILL BE DESIGNED TO WITHSTAND TRAFFIC LOADS WHEN INSTALLED ACCORDING TO CULTEC'S INSTALLATION INSTRUCTIONS.
- THE CHAMBER SHALL BE DESIGNED AND MANUFACTURED TO MEET THE MATERIAL AND STRUCTURAL REQUIREMENTS OF ASTM D1555, INCLUDING RESISTANCE TO ASHTO M-10 AND M-20 HIGHWAY LIVE LOADS, WHEN INSTALLED IN ACCORDANCE WITH CULTEC'S INSTALLATION INSTRUCTIONS.
- MAXIMUM ALLOWED COVER OVER TOP OF UNIT SHALL BE 12 FEET (3.66 m).

# CULTEC HVLV FC-24 FEED CONNECTOR PRODUCT SPECIFICATIONS

GENERAL: CULTEC HVLV FC-24 FEED CONNECTORS ARE DESIGNED TO CREATE AN INTERNAL MANIFOLD FOR CULTEC RECHARGER 280HD STORMWATER CHAMBERS.

## CHAMBER PARAMETERS

- THE CHAMBER WILL BE MANUFACTURED BY CULTEC, INC. OF BROOKFIELD, CT. (203-775-4416 OR 1-800-428-5832)
- THE CHAMBER SHALL BE VACUUM THERMOFORMED OF HIGH MOLECULAR WEIGHT HIGH DENSITY POLYETHYLENE (HDPE) WITH A BLACK INTERIOR AND BLUE EXTERIOR.
- THE CHAMBER WILL BE OPEN BOTTOMED.
- THE CHAMBER WILL BE OPEN BOTTOMED.
- THE NOMINAL CHAMBER DIMENSIONS OF THE CULTEC HVLV FC-24 FEED CONNECTOR SHALL BE 12 INCHES (305 mm) TALL, 16 INCHES (406 mm) WIDE AND 24.2 INCHES (614 mm) LONG.
- THE NOMINAL STORAGE VOLUME OF THE HVLV FC-24 FEED CONNECTOR WILL BE 0.913 CFS (0.095 m³) WITHOUT STONE.
- THE HVLV FC-24 FEED CONNECTOR CHAMBER SHALL HAVE 2 CORRUGATIONS.
- THE HVLV FC-24 FEED CONNECTOR MUST BE FORMED AS A WHOLE CHAMBER HAVING TWO OPEN END WALLS AND HAVING NO SEPARATE END WALLS OR SEPARATE END WALLS. THE UNIT WILL FIT INTO THE SIDE PORTALS OF THE RECHARGER 280HD AND ACT AS CROSS FEED CONNECTIONS.
- THE CHAMBER WILL BE DESIGNED TO WITHSTAND TRAFFIC LOADS WHEN INSTALLED ACCORDING TO CULTEC'S INSTALLATION INSTRUCTIONS.
- THE CHAMBER SHALL BE MANUFACTURED IN AN IN AN ISO 9001:2015 CERTIFIED FACILITY.

CULTEC NO. 410" NON-WOVEN GEOTEXTILE: CULTEC NO. 410" NON-WOVEN GEOTEXTILE MAY BE USED WITH CULTEC CONNECTIONS AND RECHARGERS FOR STORMWATER INSTALLATIONS TO PROVIDE A BARRIER THAT PREVENTS SOIL INTRUSION INTO THE STONE.

## GEOTEXTILE PARAMETERS

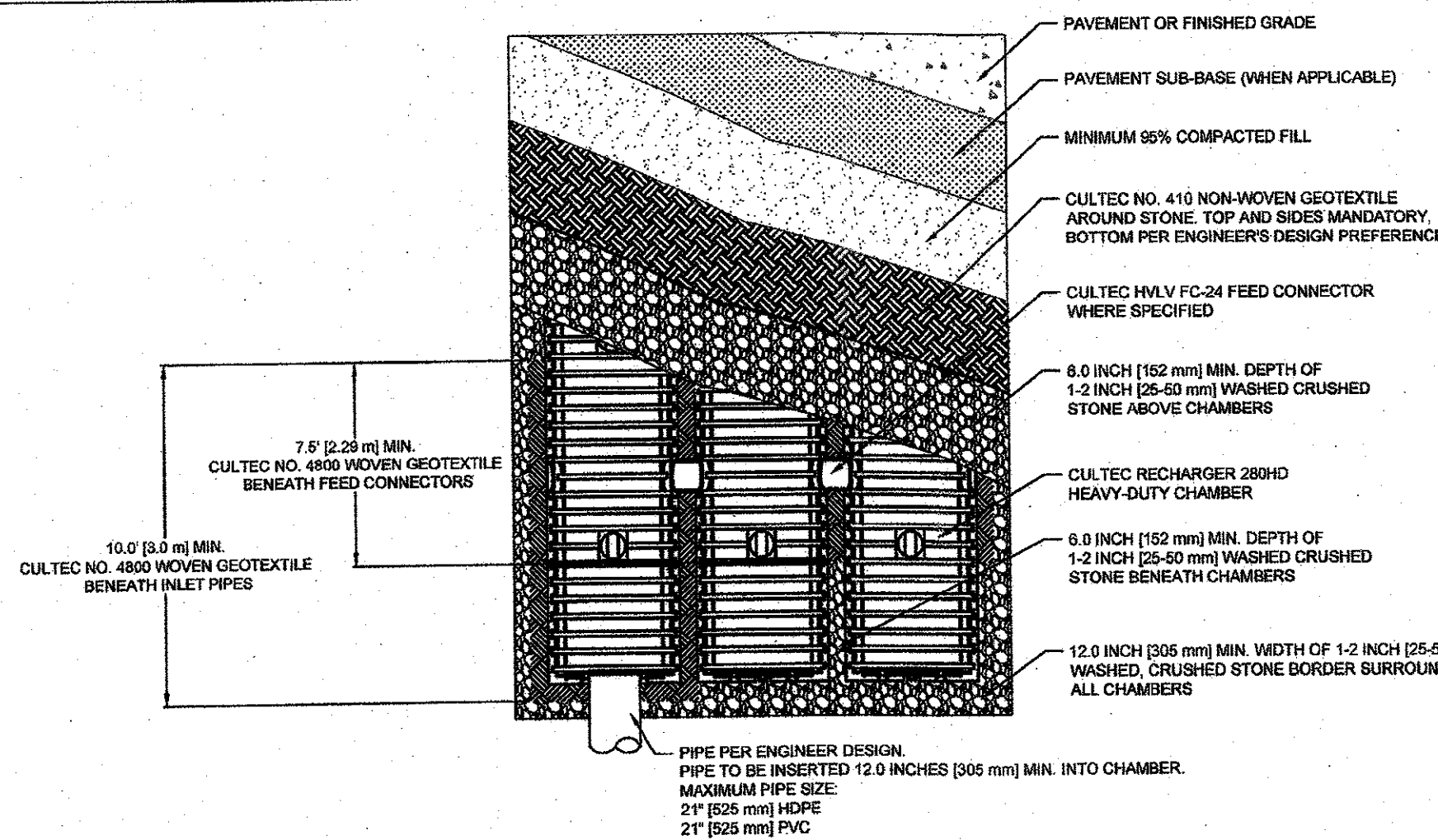
- THE GEOTEXTILE SHALL BE PROVIDED BY CULTEC, INC. OF BROOKFIELD, CT. (203-775-4416 OR 1-800-428-5832)
- THE GEOTEXTILE SHALL BE BLACK IN APPEARANCE.
- THE GEOTEXTILE SHALL HAVE A TENSILE STRENGTH VALUE OF 120 LBS (533 N) PER ASTM D4532 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE AN ELONGATION @ BREAK RESISTANCE OF 50% PER ASTM D4532 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE A MAJEN BURST VALUE OF 225 PSI (1551 KPA) PER ASTM D3786 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE A PUNCTURE RESISTANCE VALUE OF 65 LBS (289 N) PER ASTM D4933 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE A CBR PUNCTURE VALUE OF 340 LBS (1513 N) PER ASTM D6241 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE A TRAPEZOIDAL TEAR VALUE OF 50 LBS (222 N) PER ASTM D4533 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE A AOS VALUE OF 70 U.S. SIEVE (0.212 mm) PER ASTM D4751 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE A PERMITTIVITY VALUE OF 1.7 SEC-1 PER ASTM D4991 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE A WATER FLOW RATE VALUE OF 135 GAL/MIN/PSI (5500 L/MIN/PSI) PER ASTM D4991 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE A UV STABILITY @ 500 HOURS VALUE OF 70% PER ASTM D4535 TESTING METHOD.

CULTEC NO. 4800" WOVEN GEOTEXTILE: CULTEC NO. 4800" WOVEN GEOTEXTILE IS DESIGNED AS AN UNDERLAYMENT TO PREVENT SCOURING CAUSED BY WATER MOVEMENT WITHIN THE CULTEC CHAMBERS AND RECHARGERS UTILIZING THE CULTEC MANIFOLD FEATURE. IT MAY ALSO BE USED AS A COMPONENT OF THE CULTEC SEPARATOR ROW TO ACT AS A BARRIER TO PREVENT SOIL/CONTAMINANT INTRUSION INTO THE STONE WHILE ALLOWING FOR MAINTENANCE.

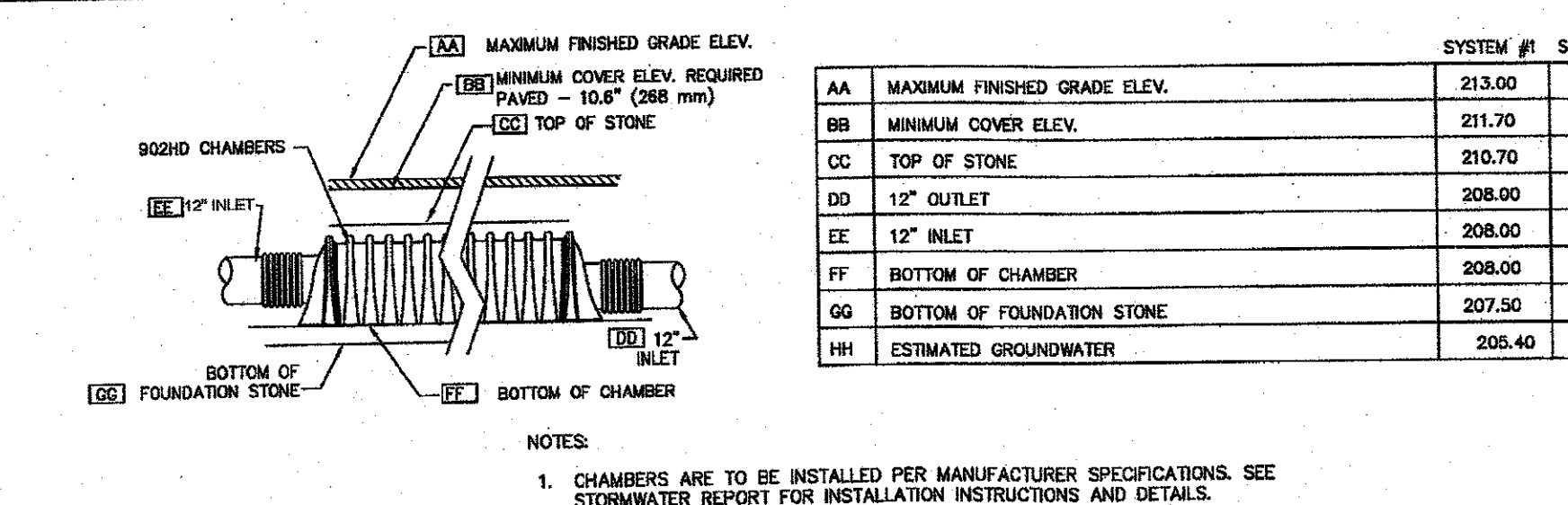
## GEOTEXTILE PARAMETERS

- THE GEOTEXTILE SHALL BE PROVIDED BY CULTEC, INC. OF BROOKFIELD, CT. (203-775-4416 OR 1-800-428-5832)
- THE GEOTEXTILE SHALL BE BLACK IN APPEARANCE.
- THE GEOTEXTILE SHALL HAVE A TENSILE STRENGTH VALUE OF 550 X 550 LBS (2,448 X 2,448 N) PER ASTM D4532 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE AN ELONGATION @ BREAK RESISTANCE OF 20 X 20% PER ASTM D4532 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE A WIDE WIDTH TENSILE RESISTANCE OF 5,070 X 5,070 LBS/FT (7,414 X 7,414 N/M) PER ASTM D4535 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE A WIDE WIDTH TENSILE RESISTANCE @ 2% STRAIN OF 960 X 1,096 LBS/FT (14 X 16 N/M) PER ASTM D4535 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE A WIDE WIDTH TENSILE RESISTANCE @ 5% STRAIN OF 2,740 X 2,740 LBS/FT (40 X 40 N/M) PER ASTM D4535 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE A WIDE WIDTH TENSILE RESISTANCE @ 10% STRAIN OF 4,800 X 4,800 LBS/FT (70 X 70 N/M) PER ASTM D4535 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE A CBR PUNCTURE RESISTANCE OF 1,700 LBS (7,560 N) PER ASTM D6241 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE A TRAPEZOIDAL TEAR RESISTANCE OF 380 X 180 LBS (861 X 801 N) PER ASTM D4533 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE AN APPARENT OPENING SIZE OF 40 U.S. SIEVE (0.425 mm) PER ASTM D4751 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE A PERMITTIVITY RATING OF 0.15 SEC-1 PER ASTM D4991 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE A WATER FLOW RATE OF 11.5 GAL/FT² (470 LPM/FT²) PER ASTM D4991 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE A UV RESISTANCE OF 80% @ 500 HRS. PER ASTM D4535 TESTING METHOD.

## GENERAL NOTES



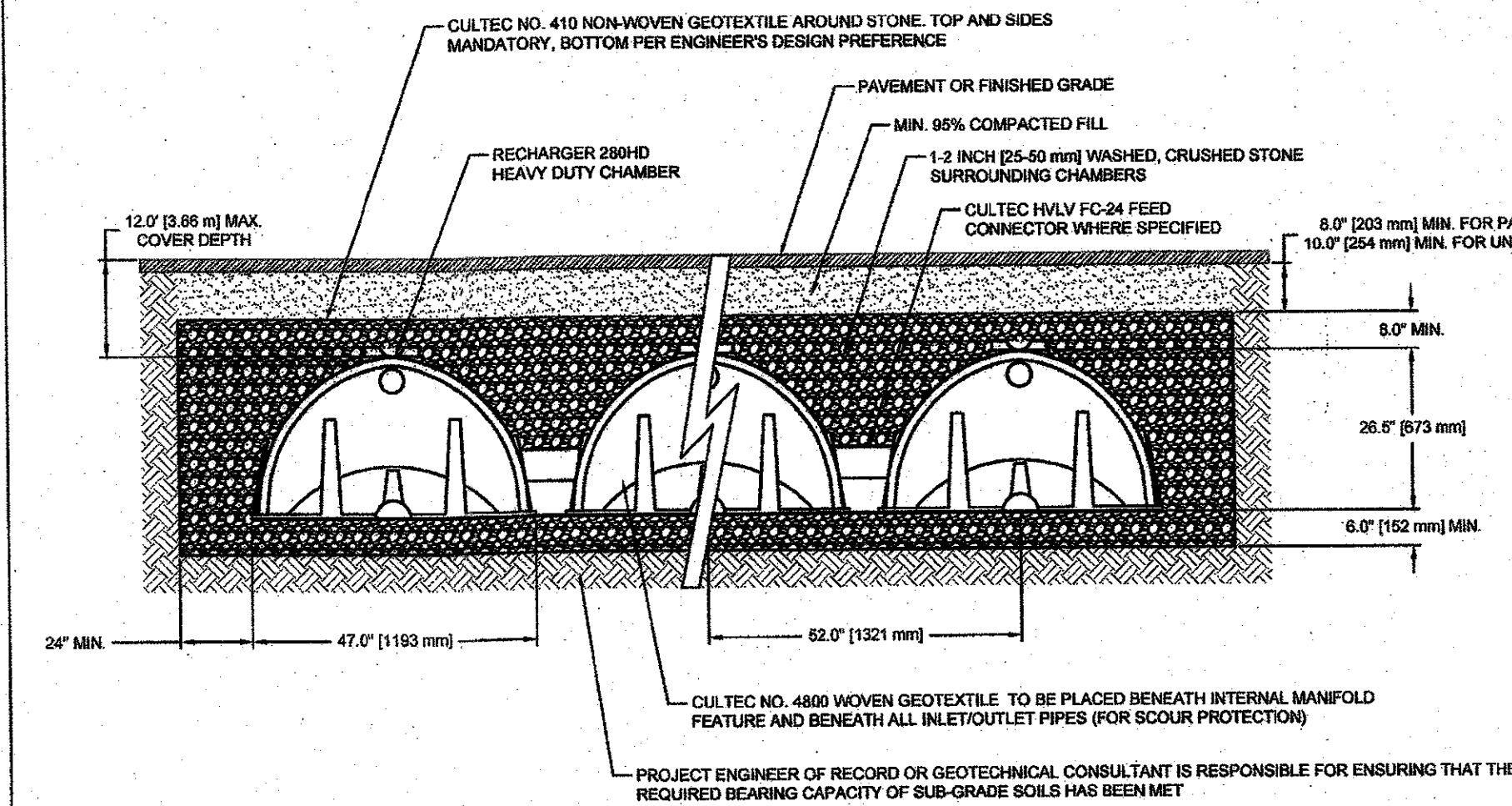
## CULTEC RECHARGER 280HD HEAVY DUTY PLAN VIEW



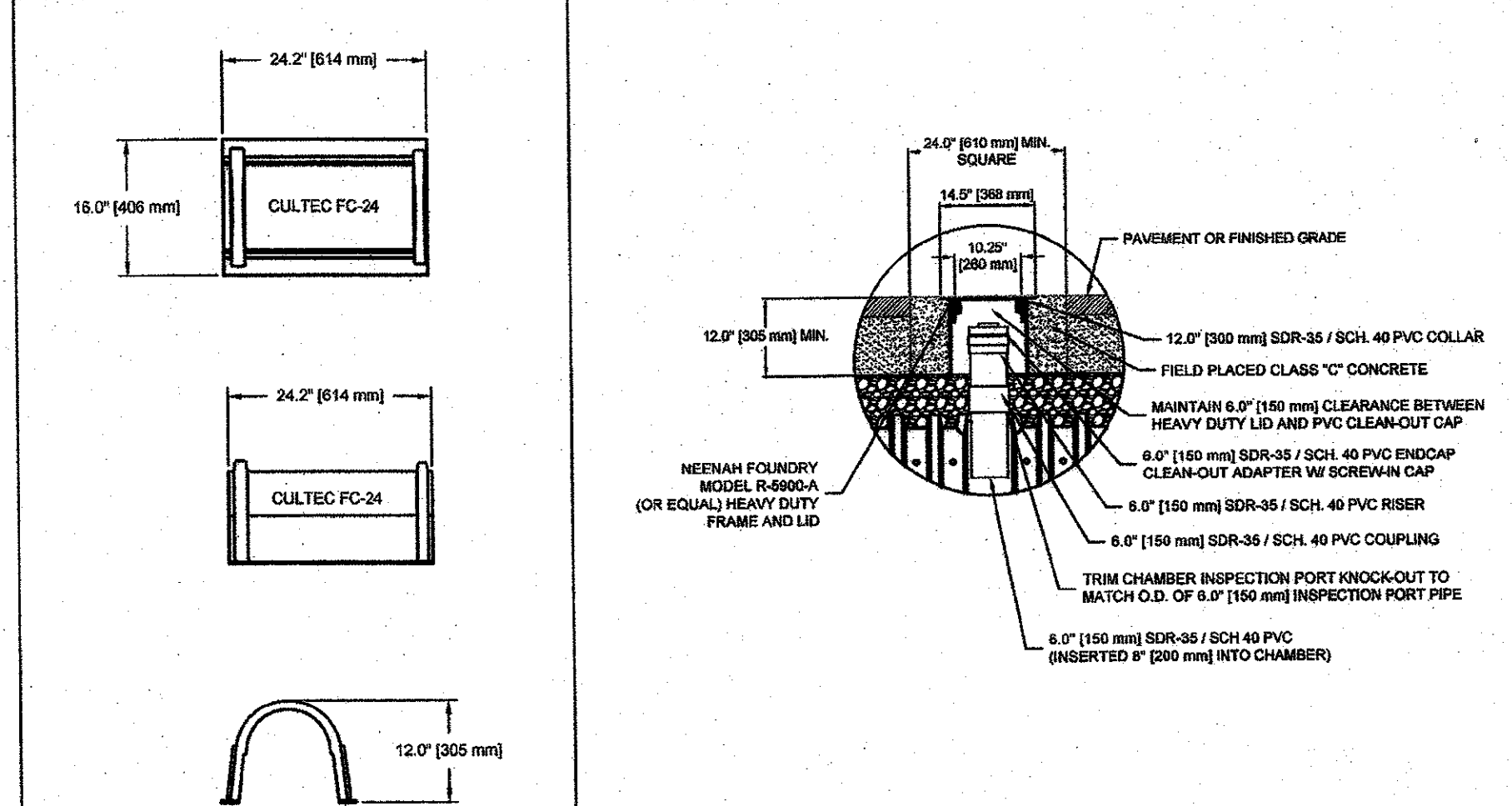
## CULTEC 280HD CHAMBER SYSTEM ELEVATIONS

NOT TO SCALE

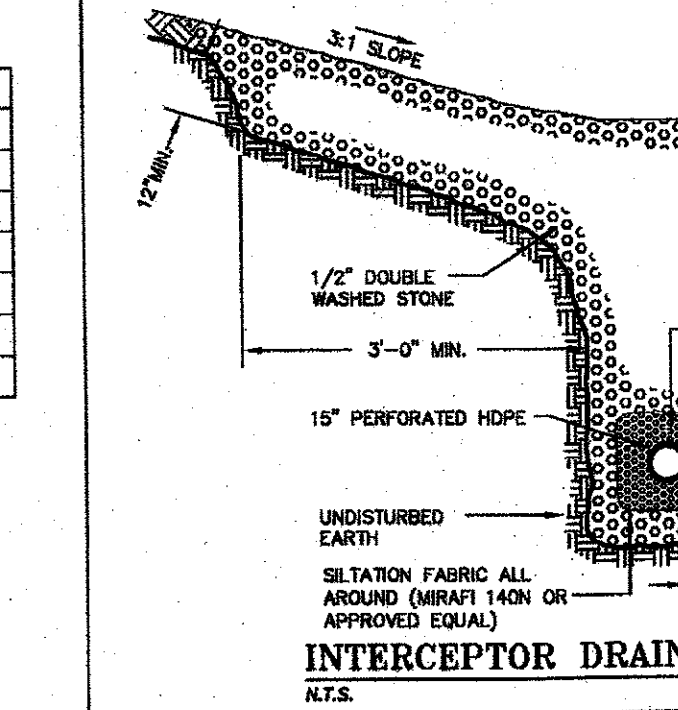
## CULTEC RECHARGER 280HD HEAVY DUTY THREE VIEW



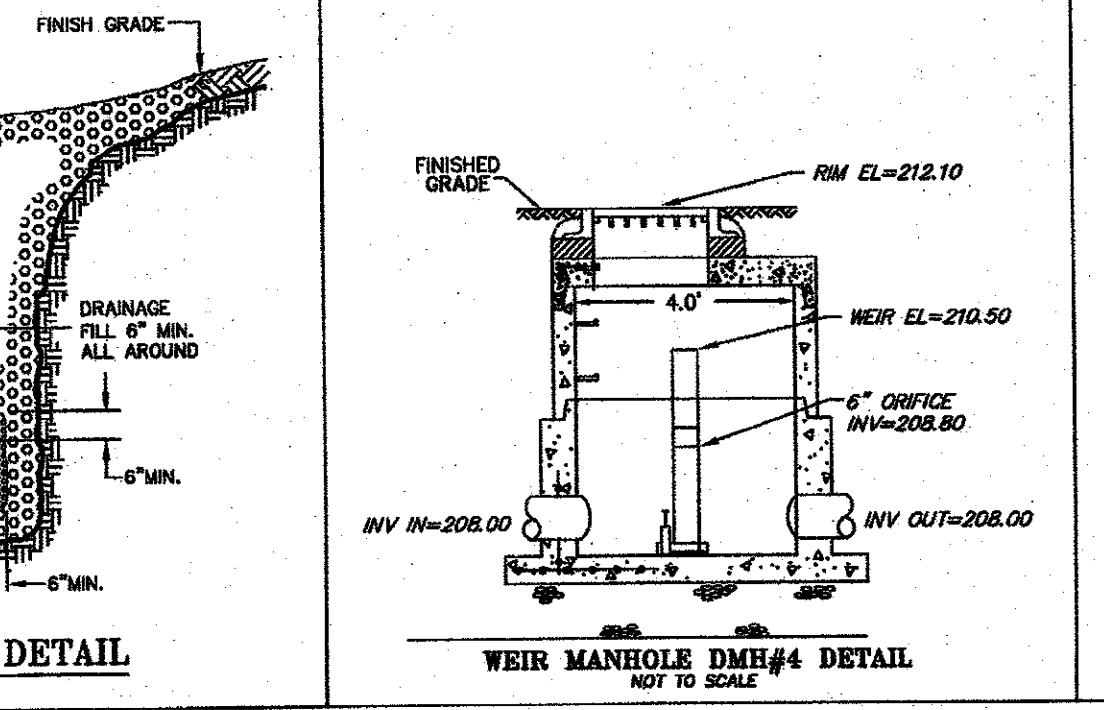
## CULTEC RECHARGER 280HD HEAVY DUTY CROSS SECTION



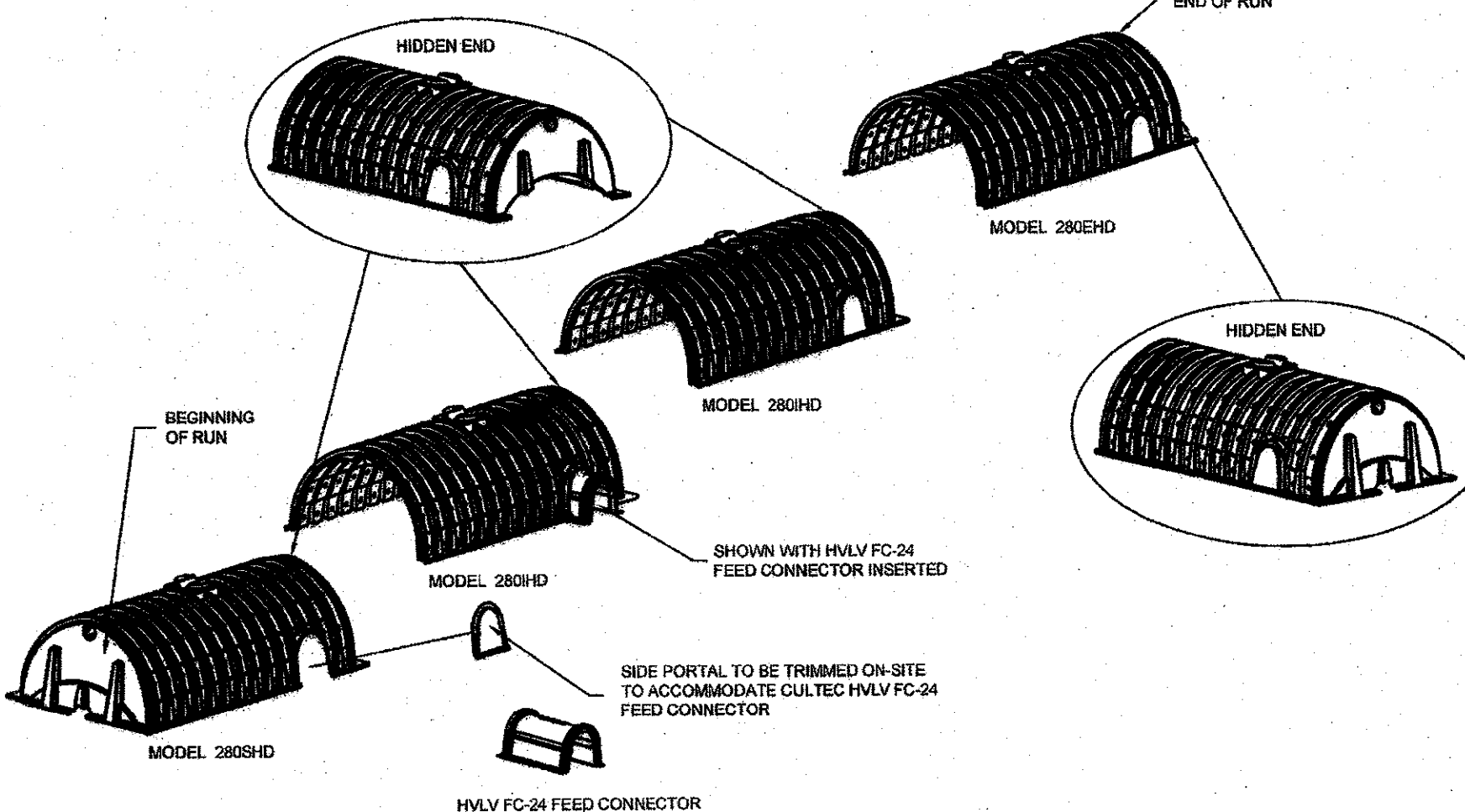
## CULTEC HVLV FC-24 FEED CONNECTOR THREE VIEW



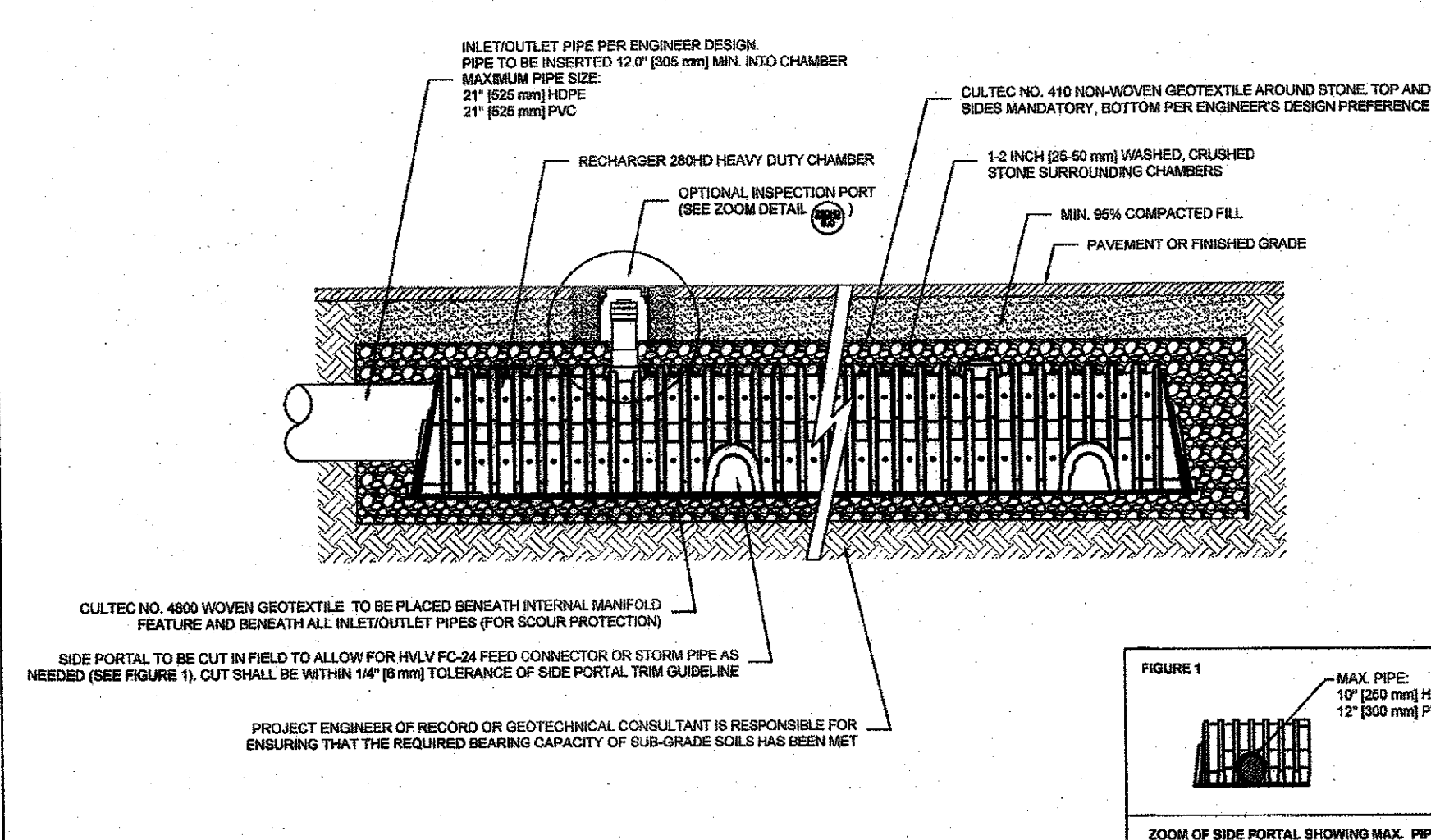
## OPTIONAL INSPECTION PORT - ZOOM DETAIL



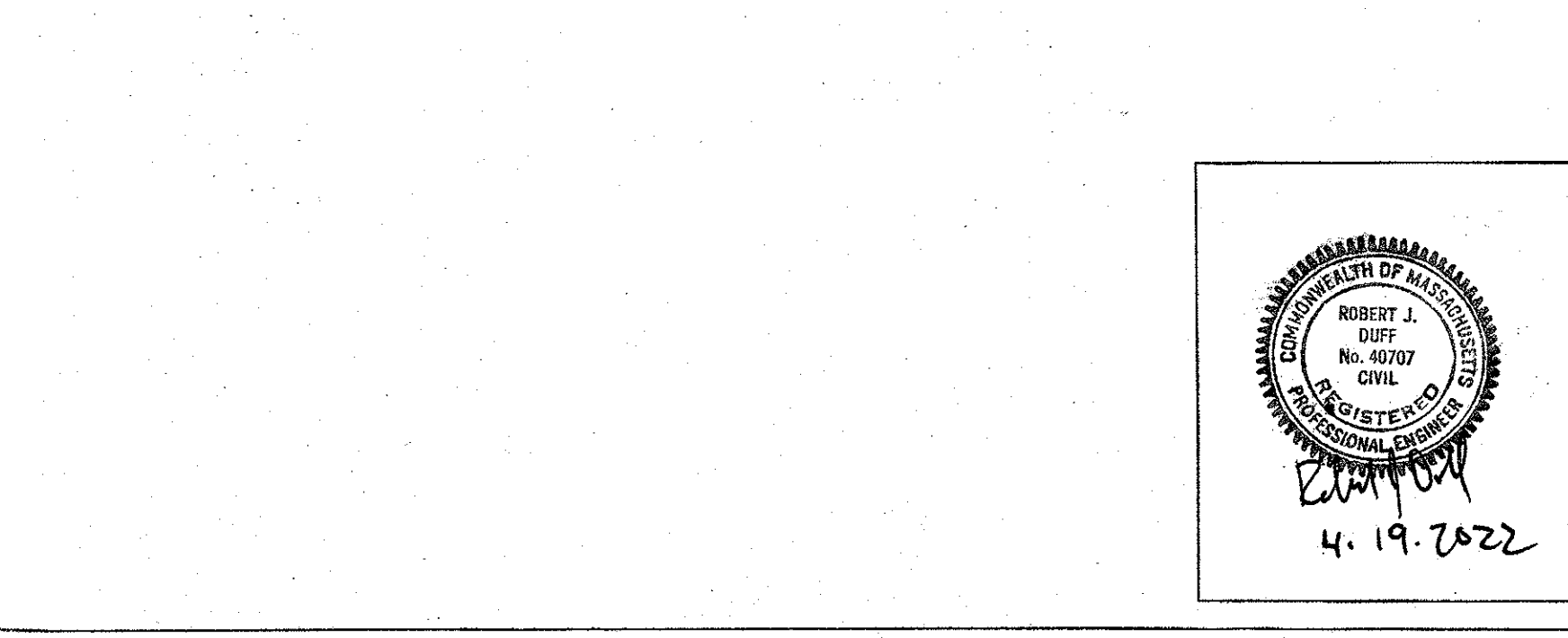
## CULTEC RECHARGER 280HD HEAVY DUTY END DETAIL INFORMATION



## CULTEC RECHARGER 280HD HEAVY DUTY TYPICAL INTERLOCK



## CULTEC INTERNAL MANIFOLD - OPTIONAL INSPECTION PORT DETAIL



APPROVED BY THE TOWN OF MEDWAY  
PLANNING & ECONOMIC DEVELOPMENT BOARD

BOARD MEMBER DATE

LEGAL NOTES

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OWNER

FREIL REALTY II, LLC  
DEED BOOK 27992 PAGE 300  
PLAN BK. 515, PG 721 OF 2003  
A.M. 41 LOT 8

APPLICANT

LOBISSER COMPANIES  
1 CHARLESVIEW ROAD  
HOPEDALE, MA 01747

SITE PLAN  
86 HOLLISTON STREET  
MEDWAY  
MASSACHUSETTS

CONSTRUCTION  
DETAILS

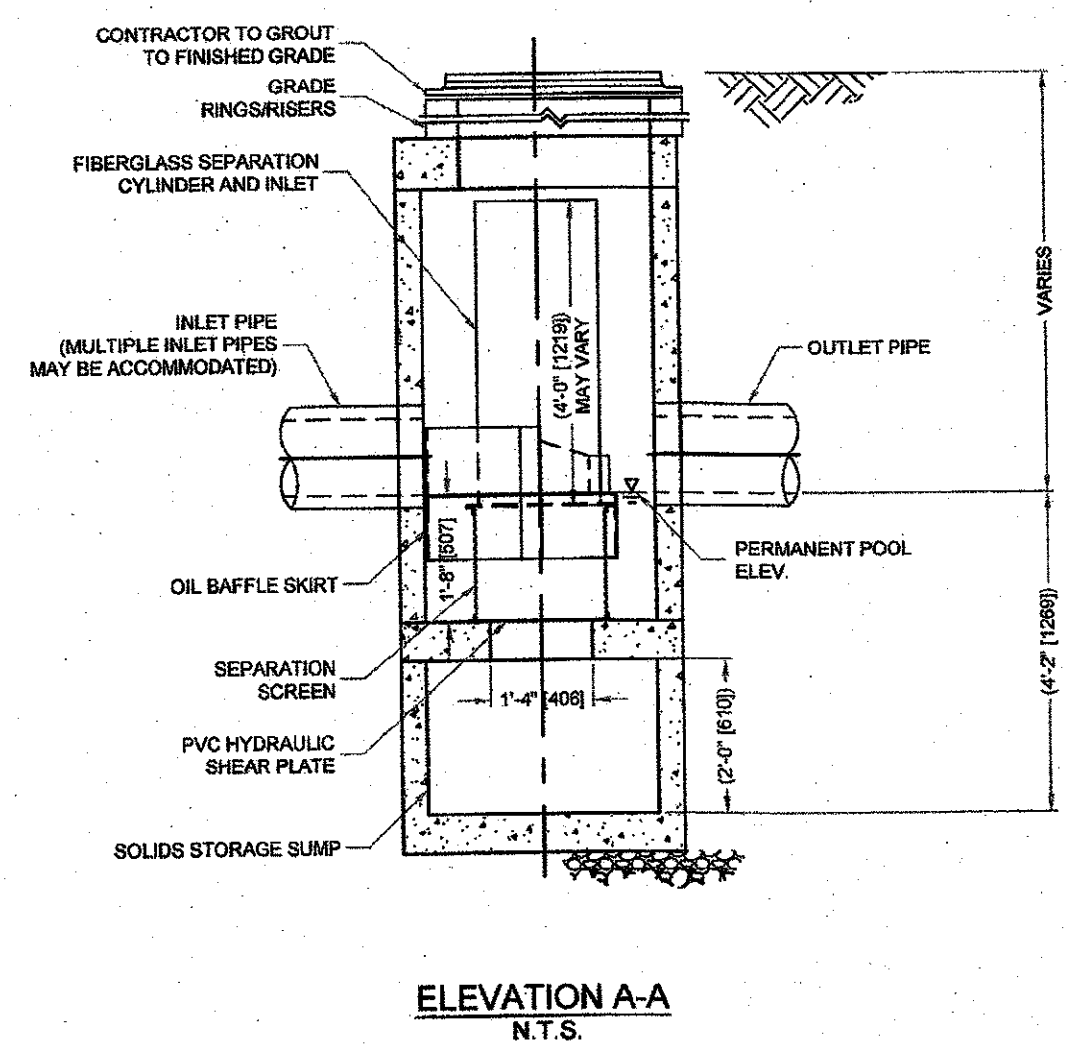
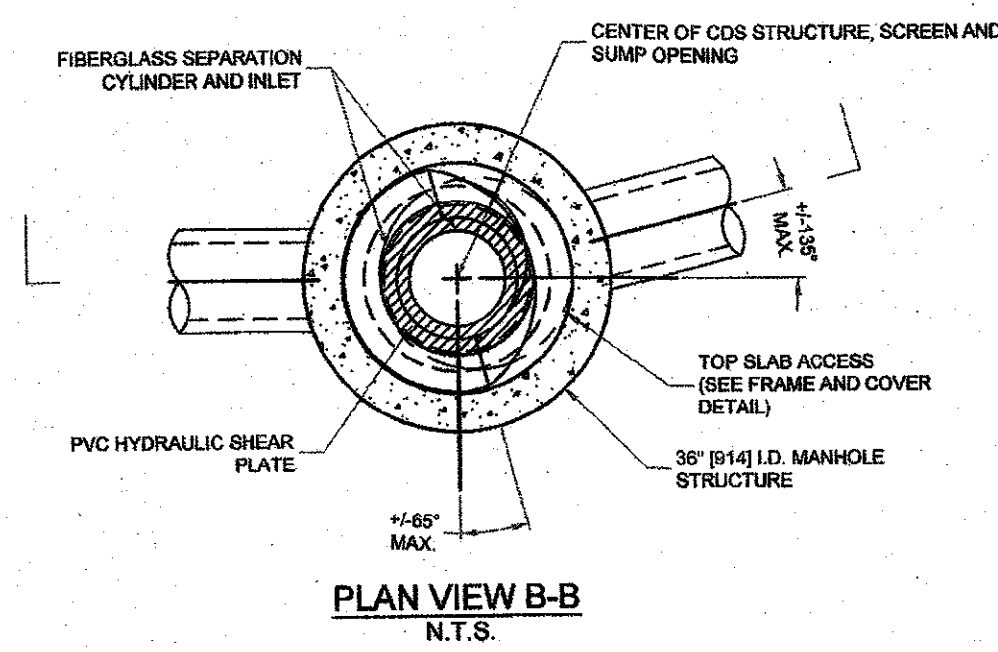
MARCH 28, 2022

DATE REVISION DESCRIPTION

Guerriere & Halnon, Inc.  
ENGINEERING & LAND SURVEYING  
55 WEST CENTRAL ST. PH. (508) 528-3221  
FRANKLIN, MA 02038 FX. (508) 528-7921  
www.gandhengineering.com

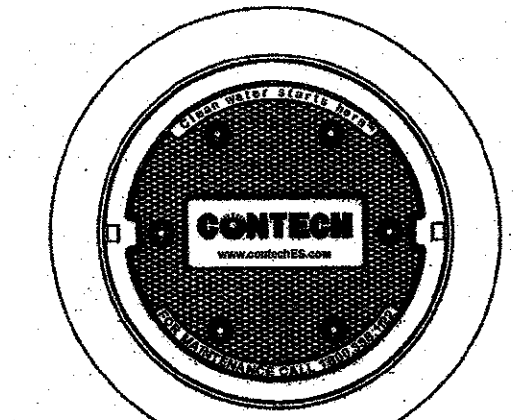
SHEET 11 OF 12 JOB NO. F4516





### CDS1515-3-C DESIGN NOTES

CDS1515-3-C RATED TREATMENT CAPACITY IS 1.0 CFS, OR PER LOCAL REGULATIONS. THE STANDARD CDS1515-3-C CONFIGURATION IS SHOWN.



FRAME AND COVER  
(DIAMETER VARIES)  
N.T.S.

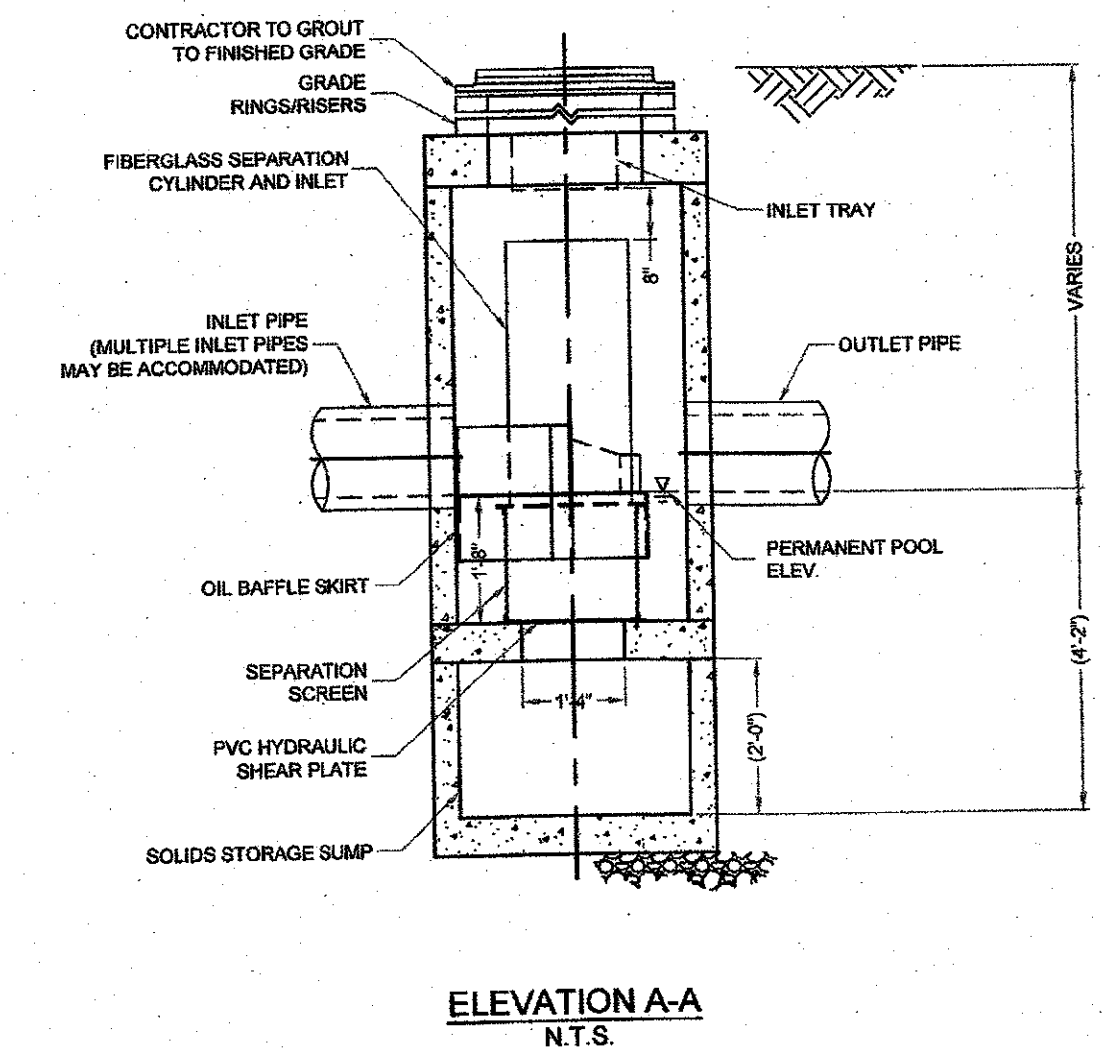
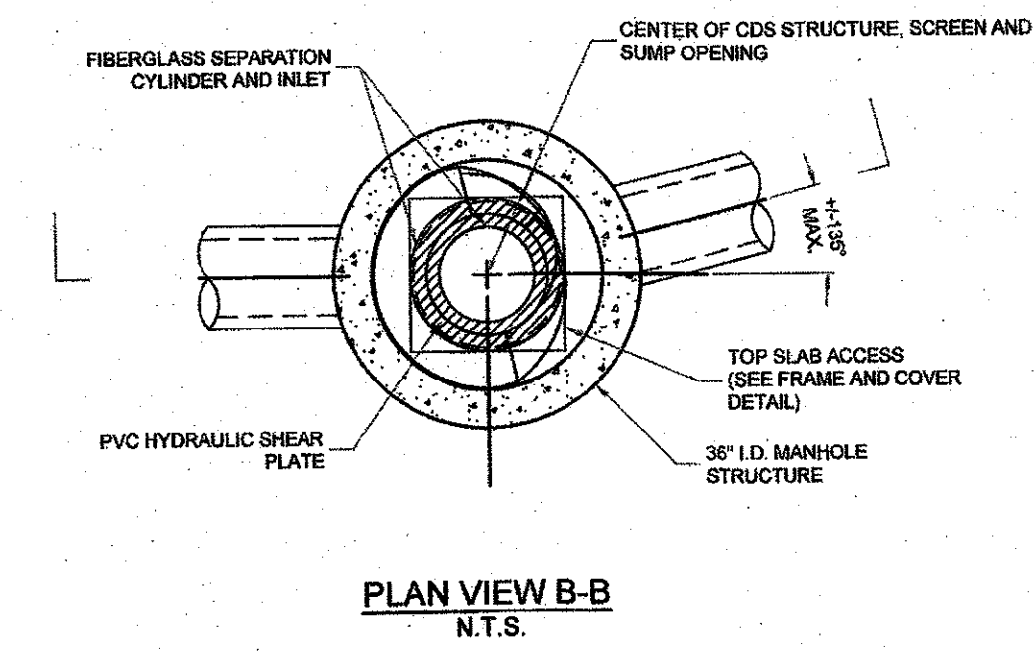
#### SITE SPECIFIC DATA REQUIREMENTS

|                                      |       |          |          |
|--------------------------------------|-------|----------|----------|
| STRUCTURE ID                         |       |          |          |
| WATER QUALITY FLOW RATE (CFS OR L/s) |       |          |          |
| PEAK FLOW RATE (CFS OR L/s)          |       |          |          |
| RETURN PERIOD OF PEAK FLOW (YRS)     |       |          |          |
| SCREEN APERTURE (2400 OR 4700)       |       |          |          |
| PIPE DATA:                           | LE    | MATERIAL | DIAMETER |
| INLET PIPE 1                         |       |          |          |
| INLET PIPE 2                         |       |          |          |
| OUTLET PIPE                          |       |          |          |
| RIM ELEVATION                        |       |          |          |
| ANTI-FLOTATION BALLAST               | WIDTH | HEIGHT   |          |
| NOTES/SPECIAL REQUIREMENTS:          |       |          |          |
| * PER ENGINEER OF RECORD             |       |          |          |

- GENERAL NOTES**
- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
  - FOR SITE SPECIFIC DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. [www.conteches.com](http://www.conteches.com)
  - CDS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
  - STRUCTURE SHALL MEET AASHTO H2020 LOAD RATING, ASSUMING EARTH COVER OF 0' - 2' AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M250 AND BE CAST WITH THE CONTECH LOGO.
  - IF REQUIRED, PVC HYDRAULIC SHEAR PLATE IS PLACED ON SHELF AT BOTTOM OF SCREEN CYLINDER. REMOVE AND REPLACE AS NECESSARY DURING MAINTENANCE CLEANING.
  - CDS STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C-478 AND AASHTO LOAD FACTOR DESIGN METHOD.
- INSTALLATION NOTES**
- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
  - CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE.
  - CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLE STRUCTURE.
  - CONTRACTOR TO PROVIDE, INSTALL, AND GROUT INLET AND OUTLET PIPE(S). MATCH PIPE INVERTS WITH ELEVATIONS SHOWN. ALL PIPE CENTERLINES TO MATCH PIPE OPENING CENTERLINES.
  - CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.



CDS1515-3-C  
ONLINE CDS  
STANDARD DETAIL



### CDS1515-3-C DESIGN NOTES

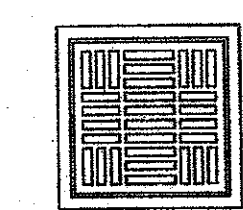
CDS1515-3-C RATED TREATMENT CAPACITY IS 1.0 CFS, OR PER LOCAL REGULATIONS. THE STANDARD CDS1515-3-C WITH GRATED INLET CONFIGURATION IS SHOWN. ALTERNATE CONFIGURATIONS ARE AVAILABLE AND ARE LISTED BELOW. SOME CONFIGURATIONS MAY BE COMBINED TO SUIT SITE REQUIREMENTS.

**CONFIGURATION DESCRIPTION**

|                                       |
|---------------------------------------|
| GRATED INLET ONLY (NO INLET PIPE)     |
| GRATED INLET WITH INLET PIPE OR PIPES |



INLET TRAY  
NOT TO SCALE



24" X 24" FRAME AND GRATE  
(MAY VARY)  
NOT TO SCALE

#### SITE SPECIFIC DATA REQUIREMENTS

|                                      |       |          |          |
|--------------------------------------|-------|----------|----------|
| STRUCTURE ID                         |       |          |          |
| WATER QUALITY FLOW RATE (CFS OR L/s) |       |          |          |
| PEAK FLOW RATE (CFS OR L/s)          |       |          |          |
| RETURN PERIOD OF PEAK FLOW (YRS)     |       |          |          |
| SCREEN APERTURE (2400 OR 4700)       |       |          |          |
| PIPE DATA:                           | LE    | MATERIAL | DIAMETER |
| INLET PIPE 1                         |       |          |          |
| INLET PIPE 2                         |       |          |          |
| OUTLET PIPE                          |       |          |          |
| RIM ELEVATION                        |       |          |          |
| ANTI-FLOTATION BALLAST               | WIDTH | HEIGHT   |          |
| NOTES/SPECIAL REQUIREMENTS:          |       |          |          |
| * PER ENGINEER OF RECORD             |       |          |          |

- GENERAL NOTES**
- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
  - FOR SITE SPECIFIC DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. [www.conteches.com](http://www.conteches.com)
  - CDS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
  - STRUCTURE SHALL MEET AASHTO H2020 LOAD RATING, ASSUMING EARTH COVER OF 0' - 2' AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M250 AND BE CAST WITH THE CONTECH LOGO.
  - IF REQUIRED, PVC HYDRAULIC SHEAR PLATE IS PLACED ON SHELF AT BOTTOM OF SCREEN CYLINDER. REMOVE AND REPLACE AS NECESSARY DURING MAINTENANCE CLEANING.
  - CDS STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C-478 AND AASHTO LOAD FACTOR DESIGN METHOD.
- INSTALLATION NOTES**
- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
  - CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE.
  - CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLE STRUCTURE.
  - CONTRACTOR TO PROVIDE, INSTALL, AND GROUT INLET AND OUTLET PIPE(S). MATCH PIPE INVERTS WITH ELEVATIONS SHOWN. ALL PIPE CENTERLINES TO MATCH PIPE OPENING CENTERLINES.
  - CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.



CDS1515-3-C  
ONLINE CDS  
STANDARD DETAIL

APPROVED BY THE TOWN OF MEDWAY  
PLANNING & ECONOMIC DEVELOPMENT BOARD

BOARD MEMBER DATE

LEGAL NOTES

UTILITIES ARE PLOTTED AS A COMPILATION OF RECORD DOCUMENTS, MARKINGS AND OTHER OBSERVED EVIDENCE TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES AND SHOULD BE CONSIDERED APPROXIMATE. PRIOR TO ANY EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE DETERMINED COMPLETELY AND RELIABLY DEPICTED. ADDITIONAL UTILITIES, NOT EVIDENCED BY RECORD DOCUMENTS OR OBSERVED PHYSICAL EVIDENCE, MAY EXIST. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING AND CALL DIGSAFE AT 1(888)DIG-SAFE[7233].

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

OWNER

FREIL REALTY II, LLC  
DEED BOOK 27992 PAGE 300  
PLAN BK. 515, PG 721 OF 2003  
A.M. 41 LOT 8

APPLICANT

LOBISSER COMPANIES  
1 CHARLESVIEW ROAD  
HOPEDALE, MA 01747

**SITE PLAN**  
**86 HOLLISTON STREET**  
**MEDWAY**  
**MASSACHUSETTS**

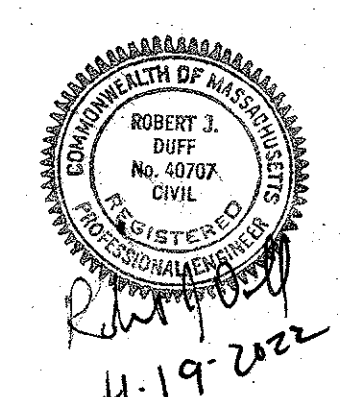
**CONSTRUCTION**  
**DETAILS**

**MARCH 28, 2022**

DATE REVISION DESCRIPTION

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**Guerriere & Halnon, Inc.**  
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FRANKLIN, MA 02038 FX. (508) 528-7921  
[www.gandhengineering.com](http://www.gandhengineering.com)



SHEET 12 OF 12 JOB NO. F4516