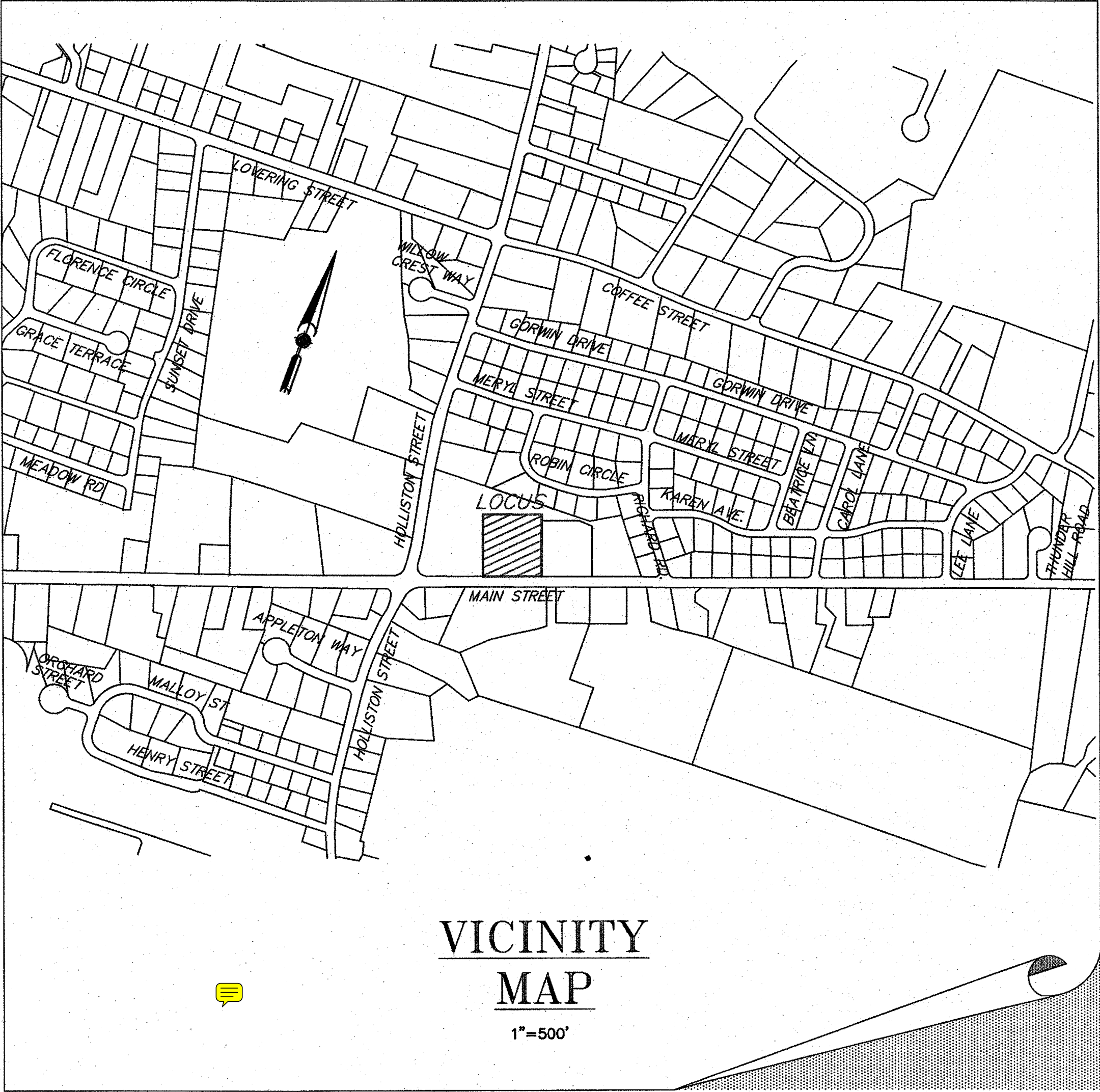


SITE PLAN
86 HOLLISTON STREET
MEDWAY
MASSACHUSETTS

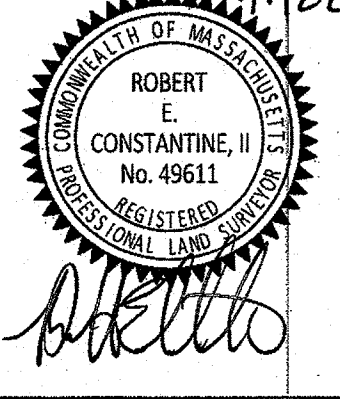
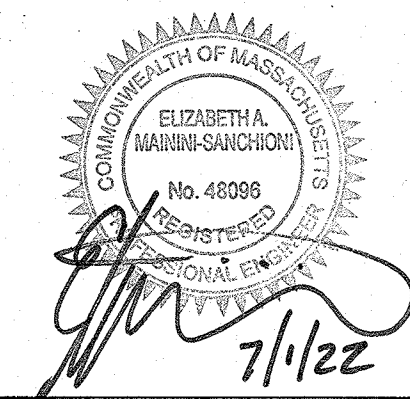
INDEX

1. COVER SHEET
 2. ABUTTER SHEET
 3. EXISTING CONDITIONS
 4. EROSION CONTROL
 5. PROPOSED SITE LAYOUT
 6. GRADING PLAN
 7. UTILITY PLAN
 8. LANDSCAPING PLAN
 9. CONSTRUCTION DETAILS
 10. CONSTRUCTION DETAILS
 11. CONSTRUCTION DETAILS
 12. CONSTRUCTION DETAILS
- PHOTOMETRIC PLAN (BY OTHERS)
- ARCHITECTURAL PLANS (BY OTHERS)



WAIVERS REQUESTED

- REQUEST FROM THE TOWN MEDWAY PLANNING BOARD
RULES AND REGULATIONS CHAPTER 200
1. SECTION 204-5 B SITE CONTEXT SHEET
 2. SECTION 204-5 D.B.A. LANDSCAPE PLAN NOT PREPARED BY REGISTERED LANDSCAPE ARCHITECT
 3. SECTION 207-9 B.1 SIDEWALK WIDTH REDUCTION AT VEHICLE OVERHANG
 4. SECTION 207-12 G.3.A PARKING WITHIN 20' OF BUILDING ENTRANCE
 5. SECTION 207-19 LANDSCAPING. B.2 LANDSCAPE BUFFERS
 6. SECTION 207-19 LANDSCAPING. C.1.A PARKING AREAS
- ZONING BYLAWS
7. SECTION 10.2.D.A OFF STREET PARKING EXCEEDING MAXIMUM
 8. SECTION 207-19 LANDSCAPING. H.6. SECTION 207-12 PARKING SPACE G. (3) LOCATION (a)



I, STEFANY GHANNESIAN, CLERK OF THE TOWN OF MEDWAY, RECEIVED AND RECORDED FROM THE PLANNING BOARD COVENANT APPROVAL OF THIS PLAN ON _____ AND NO APPEAL WAS TAKEN FOR TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SAME.

TOWN CLERK _____ DATE _____

APPROVED BY THE TOWN OF MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD

BOARD MEMBER _____ DATE _____

LEGAL NOTES

UTILITIES ARE PLOTTED AS A COMPILATION OF RECORD DOCUMENTS, MARKINGS AND OTHER OBSERVED EVIDENCE TO REVEAL OR A VIEW OF THE UNDERGROUND UTILITIES AND SHOULD BE CONSIDERED APPROXIMATE. PRIOR TO EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. ADDITIONAL UTILITIES, NOT EVIDENCED BY RECORD DOCUMENTS OR OBSERVED PHYSICAL EVIDENCE, MAY EXIST. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING AND CALL DIGSAFE AT 1(888)DIG-SAFE(7233).

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

OWNER

FREIL REALTY II, LLC
DEED BOOK 27992 PAGE 300
PLAN BK. 515, PG 721 OF 2003
A.M. 41 LOT 8

APPLICANT

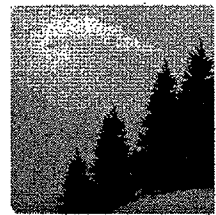
LOBISSER COMPANIES
1 CHARLESVIEW ROAD
HOPEDALE, MA 01747

SITE PLAN
86 HOLLISTON STREET
MEDWAY
MASSACHUSETTS

COVER SHEET

APRIL 14, 2022

DATE	REVISION DESCRIPTION
6/29/2022	REVISED PER TOWN COMMENTS



Guerriere &
Halnon, Inc.

ENGINEERING & LAND SURVEYING
55 WEST CENTRAL ST. PH. (508) 528-3221
FRANKLIN, MA 02038 FX. (508) 528-7921
www.gandhengineering.com

SHEET
1 OF 12

JOB NO. F4516

G:\CDP\plan\4516\DWG\F4516 SITE PLAN.dwg, 7/1/2022 9:19:51 AM



VICINITY MAP
N.T.S.

OWNER(S)/ASSESSOR INFORMATION:

PARCEL IDS:

41-007 DEIDRE O'DONNELL
64 MAIN ST.
MEDWAY, MA.

40-049
FREIL REALTY II, LLC.
86 HOLLISTON ST.
MEDWAY, MA.

40-088
LOK CHING NOMINEE TRUST
6 HAVEN WAY
HOPEDALE, MA.

31-092
JAMES M. CASSIDY
90 HOLLISTON ST.
MEDWAY, MA.

40-063
P & A REALTY TRUST
82 HOLLISTON ST.
MEDWAY, MA.

41-027
SEAN M. CURRIVAN TRUSTEE
36 ELLIS ST.
MEDWAY, MA.

40-050
CHARLES RIVER BANK
70 MAIN ST.
MEDWAY, MA.

41-10
REBECCA L. PURCELL
4 KAREN AVE.
MEDWAY, MA.

40-061
DAVID J. MCWHINNIE
11 ROBIN CIRCLE
MEDWAY, MA.

40-047
HERISTON PINTO
91 HOLLISTON ST.
MEDWAY, MA.

31-090
CHARLES J. DUDDY JR.
15 ROBIN CIRCLE
MEDWAY, MA.

41-021
ANGELO MUCCI TRUSTEE
2 RICHARD RD.
MEDWAY, MA.

32-086
GEORGE M. FASOLINO
8 ROBIN CIRCLE
MEDWAY, MA.

32-067
MICHAELS TRAINOR
10 RICHARD RD.
MEDWAY, MA.

40-059
FREIL REALTY II, LLC
86 HOLLISTON ST.
MEDWAY, MA.

40-064
NORMAN W. GREEN REALTY TRUST
71 MAIN ST.
MEDWAY, MA.

41-023
HIDDEN ACRES REALTY I, LLC
1371 OAKLAND BLVD.
WALNUT CREEK, CA.

41-023-067
HIDDEN ACRES REALTY I, LLC.
(67 C MAIN ST)
75 HOLLYHILL LANE
GREENWICH, CT.

32-085
CHRISTOPHER A. ANTHONY
6 ROBIN CIRCLE
MEDWAY, MA.

41-022
ERIC H. KESSLER
4 RICHARD RD.
MEDWAY, MA.

OWNER(S)/ASSESSOR INFORMATION:

PARCEL IDS:

32-079
KATHLEEN A. BUXTON
8 RICHARD RD.
MEDWAY, MA.

32-082
ALAN J. MEISTER
9 RICHARD RD.
MEDWAY, MA.

41-023-067
(67 A MAIN ST)
HIDDEN ACRES REALTY I, LLC.
75 HOLLY HILL LANE
GREENWICH, CT.

41-023-067
(67 B MAIN ST.)
HIDDEN ACRES REALTY I, LLC.
PO BOX 902
SPENCER, MA.

31-085
JOSEPH J. LATOSEK JR.
10 ROBIN CIRCLE
MEDWAY, MA.

41-023-067
(67 D MAIN ST.)
HIDDEN ACRES REALTY I, LLC.
ONE CVS DRIVE
WOONSOCKET, RI.

31-091
CHARLES J. DUDDY JR.
15 ROBIN CIRCLE
MEDWAY, MA.

41-25
FREIL REALTY I, LLC.
86 HOLLISTON ST.
MEDWAY, MA.

32-083
DIANE PRIDE
2 ROBIN CIRCLE
MEDWAY, MA.

41-004
SYDNEY LAMPKE
5 RICHARD RD.
MEDWAY, MA.

41-020
SAMUEL S. TORREY JR.
62 MAIN ST.
MEDWAY, MA.

40-086
CHEN DE XIANG TRUSTEE
6 HAVEN WAY
HOPEDALE, MA.

32-078
(1 KAREN AVE)
MARGARET A. LE COADY
7539 DANVERS CIRCLE
PORT CHARLOTTE, FL.

32-084
RYAN P. SULLIVAN
4 ROBIN CIRCLE
MEDWAY, MA.

40-048
FREIL REALTY II, LLC.
86 HOLLISTON ST.
MEDWAY, MA.

41-026
SEAN M. CURRIVAN
59 MAIN ST.
MEDWAY, MA.

40-066
(74 HOLLISTON ST.)
HIDDEN ACRES REALTY I, LLC.
75 HOLLY HILL LANE
GREENWICH, CT.

41-019
WILLIAM MCCAUL
60 MAIN ST.
MEDWAY, MA.

31-084
JOHN K. SPURLING
16 ROBIN CIRCLE
MEDWAY, MA.

OWNER(S)/ASSESSOR INFORMATION:

PARCEL IDS:

32-81
JAMES F. CASSIDY
14 MERYL ST.
MEDWAY, MA.

40-065
WHITE PEARL LLC.
76 HOLLISTON ST.
MEDWAY, MA.

40-87
AOUDE GAS & REPAIRS
73 MAIN ST.
MEDWAY, MA.

40-062
ROBERT G. COLLINS
9 ROBIN CIRCLE
MEDWAY, MA.

40-060
EDGAR E. DOCHERTY
13 ROBIN CIRCLE
MEDWAY, MA.

41-003
EDITH E. CULLEN
3 ROBIN CIRCLE
MEDWAY, MA.

41-001
MARILYN E. SMITH
7 ROBIN CIRCLE
MEDWAY, MA.

41-011
ERIKA R. LEGER
6 KAREN AVE.
MEDWAY, MA.

41-009
(68 MAIN ST)
FREIL REALTY II, LLC.
PO BOX 1159
DEERFIELD, IL.

41-002
AUTUMN RICHARD
5 ROBIN CIRCLE
MEDWAY, MA.

41-005
CLIFFORD M. LANDER
3 RICHARD ROAD
MEDWAY, MA.

32-077
ELOISE C. THIBAUT
3 KAREN AVE
MEDWAY, MA.

31-099
(9 LOVERING ST.)
TOWN OF MEDWAY
155 VILLAGE STREET
MEDWAY, MA.

41-006
KEVIN D. MULLER
1 RICHARD ROAD
MEDWAY, MA.

APPROVED BY THE TOWN OF MEDWAY
PLANNING & ECONOMIC DEVELOPMENT BOARD

BOARD MEMBER DATE

LEGAL NOTES

UTILITIES ARE PLOTTED AS A COMPILATION OF
RECORD DOCUMENTS, MARKINGS AND OTHER
OBSERVED EVIDENCE TO DEVELOP A VIEW OF THE
UNDERGROUND UTILITIES. IT SHOULD BE
CONSIDERED APPROXIMATE. DURING EXCAVATION,
THE EXACT LOCATION OF UNDERGROUND FEATURES
CANNOT BE ACCURATELY, COMPLETELY AND
RELIABLY DEPICTED. ADDITIONAL UTILITIES, NOT
EVIDENCED BY RECORD DOCUMENTS OR OBSERVED
PHYSICAL EVIDENCE, MAY EXIST. CONTRACTORS (IN
ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION
40 AS AMENDED) MUST CONTACT ALL UTILITY
COMPANIES BEFORE EXCAVATING AND DRILLING AND
CALL DIGSAFE AT 1(888)DIG-SAFE(7233).

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY
EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS,
RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY
BE REVEALED BY AN EXAMINATION OF THE TITLE.

OWNER

FREIL REALTY II, LLC
DEED BOOK 27992 PAGE 300
PLAN BK. 515, PG 721 OF 2003
A.M. 41 LOT 8

APPLICANT

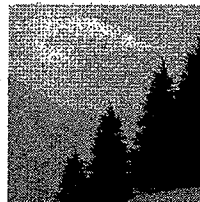
LOBISSER COMPANIES
1 CHARLESVIEW ROAD
HOPEDALE, MA 01747

SITE PLAN
86 HOLLISTON STREET
MEDWAY
MASSACHUSETTS

ABUTTER SHEET

APRIL 14, 2022

DATE	REVISION DESCRIPTION
6/29/2022	REVISED PER TOWN COMMENTS

**Guerriere &
Halnon, Inc.**
ENGINEERING & LAND SURVEYING
55 WEST CENTRAL ST. PH. (508) 528-3221
FRANKLIN, MA 02038 FX. (508) 528-7921
www.gandhengineering.com

ZONING DISTRICT CENTRAL BUSINESS

	REQUIRED
MIN. LOT AREA	10,000 SF
MIN. LOT FRONTAGE	NA'
MIN. YARD SETBACKS	
FRONT	10 FT
SIDE	10 FT
REAR	25 FT*
STRUCTURE COVERAGE	80%
MAXIMUM IMPERVIOUS COVERAGE	NA
MINIMUM OPEN SPACE	15%

*WHEN ABUTTING A RESIDENTIAL DISTRICT
PROPERTIES IN THE CENTRAL BUSINESS DISTRICT THAT DO NOT HAVE FRONTAGE ON A PUBLIC STREET SHALL BE REQUIRED TO HAVE AN EASEMENT OF AT LEAST 30 FEET IN WIDTH PROVIDING ACCESS TO A PUBLIC STREET.

LEGEND

⊞	CATCH BASIN	☆	LIGHT POLE
⊙	DRAIN MANHOLE	⊙	UTILITY POLE
⊙	ELECTRIC MANHOLE	•	GUY WIRE
⊙	SEWER MANHOLE	—	SIGN
○	MANHOLE	•	WETFLAG
⊙	GAS VALVE	⊙	UTILITY POLE
⊙	GAS SHUT OFF VALVE	☆	PROP. STREET LIGHTING
⊙	WATER VALVE		
⊙	WATER SHUT OFF VALVE	X 000.0	SPOT ELEVATION
⊙	FIRE HYDRANT	⊞	RIPRAP
— 000 —	EXISTING CONTOUR		
— D —	EXISTING DRAIN LINE		
— W —	EXISTING WATER LINE		
— X — X — X —	EXISTING FENCE		
— X — — —	FLOOD ZONE X- MINIMAL RISK AREA		
— WPD2 —	ZONE 2 WELLHEAD PROTECTION DISTRICT		

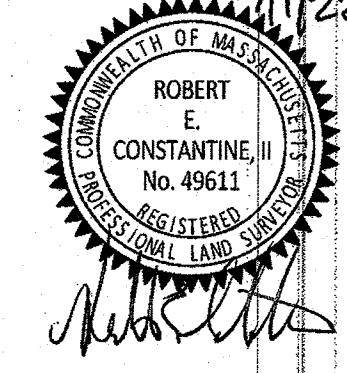
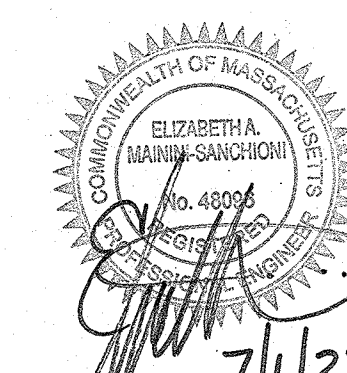
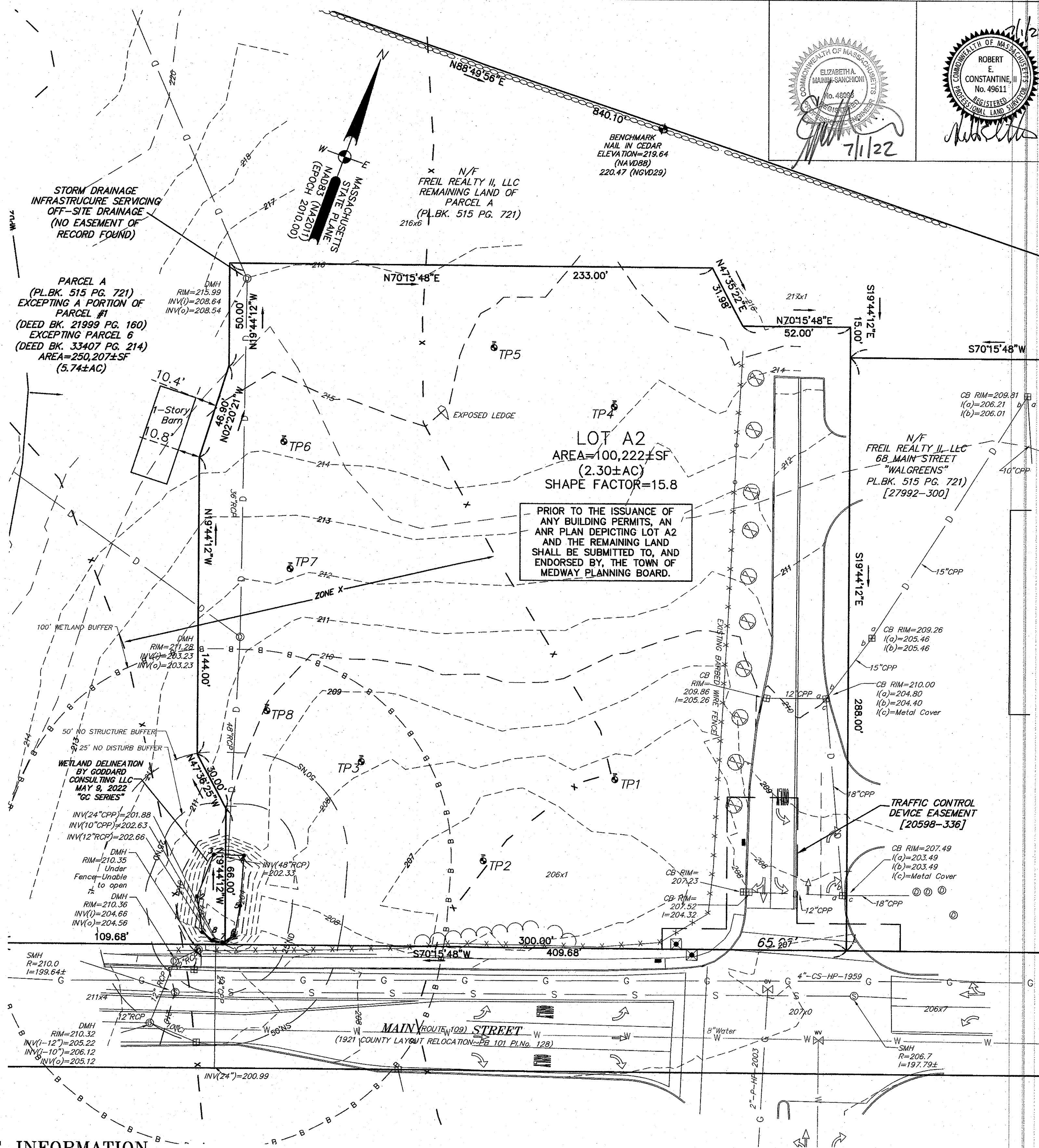
NOTES

- THIS LAND IS ZONED CENTRAL BUSINESS.
- A PORTION OF THIS SITE IS LOCATED FLOOD HAZARD ZONE X PER FEMA FLOOD MAP 25021C0143E, EFFECTIVE DATE 7/17/2012.
- THE WETLANDS WERE EVALUATED BY GODDARD CONSULTING LLC. ON DECEMBER 13, 2021 AND JANUARY 28, 2022 SEE WETLAND REPORTS FOR FURTHER INFORMATION. WETLANDS WERE FIELD LOCATED BY GUERRIERE & HALNON, INC.
- REFER TO MEDWAY ASSESSORS MAP 41 LOT 008
- THIS SITE IS LOCATED WITHIN THE GROUNDWATER PROTECTION DISTRICT.
- ALL REFERENCED DEEDS ARE ON RECORD AT THE NORFOLK REGISTRY OF DEEDS.
- THIS SITE IS NOT LOCATED WITHIN A NATURAL HERITAGE AND ENDANGERED SPECIES PROGRAM AREA.
- ELEVATIONS ARE BASED ON HORIZONTAL DATUM: NAD83; VERTICAL DATUM: NAVD88.
- EXISTING SEWER INVERTS IN MAIN STREET OBTAINED FROM PLAN TITLED "TOWN OF MEDWAY, MASSACHUSETTS BOARD OF WATER/SEWER COMMISSIONERS SANITARY SEWER PROGRAM MAIN STREET - STA. 45+00 TO STA. 55+60.71" SHEET 5 OF 16 DATED 3-20-84, REVISED THROUGH 4-7-89, AND PREPARED BY METCALF & EDDY, INC./ENGINEERS.
- EXISTING SEWER INVERTS TO BE VERIFIED PRIOR TO START OF CONSTRUCTION.

TESTING INFORMATION

TESTING DATE: JANUARY 5, 2022 SOIL EVALUATOR: MICHAEL HASSETT

207.60	TP 1	206.5	TP 2	208.1	TP 3	214.20	TP 4	214.80	TP 5	214.20	TP 6	212.20	TP 7	209.90	TP 8
206.94	SANDY LOAM A 8" 10YR 2/2	203.00	F 42"	205.10	F 36"					211.70	F 28"	209.20	F 36"	206.90	F 36"
205.36	SANDY LOAM B 7.5YR 5/8	201.50	Ab 10YR 2/2	204.10	Ab 10YR2/2					209.20	SAND & GRAVEL C1 10YR 5/8	208.70	F 36"	205.90	Ab 10YR2/2
203.62	COARSE SAND C1 10YR 5/8			202.60	SANDY LOAM B 7.5YR 5/8		LOAM/FILL		LOAM/FILL	208.70	LOAMY SAND C2 2.5YR 5/4	201.70	SANDY LOAM C 10YR 5/8	204.90	SANDY LOAM B 7.5YR 5/8
202.29	SANDY LOAM C2 2.5YR 5/4				SAND & GRAVEL 42"					205.53	SAND & GRAVEL C3 2.5YR 6/3	200.40	C 10YR 5/8	200.40	SAND & GRAVEL C 10YR 5/8
198.49	SAND & GRAVEL C3 2.5YR 6/3	196.25	LOAMY SAND Ab VARIES IN DEPTH 10YR 5/4	199.10	C 10YR 5/8		GW @ 3.3'		GW @ 5'		MOTTLES @ 30" WEeping @ 98"		MOTTLES @ 54" WEeping @ 120"		MOTTLES @ 54" B LAYERS VARY
	WEeping @ 77" MOTTLES @ 27" 205.35 NO REFUSAL		MOTTLES @ 34" 203.67 WEeping @ 6.5'		MOTTLES @ 42" 204.60 WEeping @ 78"										



APPROVED BY THE TOWN OF MEDWAY
PLANNING & ECONOMIC DEVELOPMENT BOARD

BOARD MEMBER DATE

LEGAL NOTES

UTILITIES ARE PLOTTED AS A COMPILATION OF RECORD DOCUMENTS, MARKINGS AND OTHER OBSERVED EVIDENCE TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES AND SHOULD BE CONSIDERED APPROXIMATE. DURING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE DETERMINED COMPLETELY AND RELIABLY DEPICTED. ADDITIONAL UTILITIES, NOT EVIDENCED BY RECORD DOCUMENTS OR OBSERVED PHYSICAL EVIDENCE, MAY EXIST. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING AND CALL DIGSAFE AT 1(888)DIG-SAFE(7233).

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

OWNER

FREIL REALTY II, LLC
DEED BOOK 27992 PAGE 300
PLAN BK. 515, PG 721 OF 2003
A.M. 41 LOT 8

APPLICANT

LOBISSER COMPANIES
1 CHARLESVIEW ROAD
HOPEDALE, MA 01747

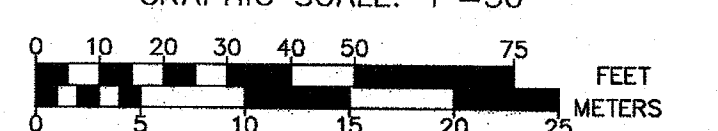
SITE PLAN
86 HOLLISTON STREET
MEDWAY
MASSACHUSETTS

EXISTING CONDITIONS

APRIL 14, 2022

DATE	REVISION DESCRIPTION
6/29/2022	REVISED PER TOWN COMMENTS

GRAPHIC SCALE: 1"=30'



Guerriere & Halon, Inc.
ENGINEERING & LAND SURVEYING
55 WEST CENTRAL ST. PH. (508) 528-3221
FRANKLIN, MA 02038 FX. (508) 528-7921
www.gandhengengineering.com

SHEET **3 OF 12** JOB NO. **F4516**

ZONING DISTRICT
CENTRAL BUSINESS

	REQUIRED	PROPOSED
MIN. LOT AREA	10,000 SF	100,222 SF
MIN. LOT FRONTAGE	NA ^f	300.00 FT
MIN. YARD SETBACKS		
FRONT	10 FT	112.3 FT
SIDE	10 FT 25 FT*	55.4 FT
REAR	25 FT	54.8 FT
STRUCTURE COVERAGE	80%	21.9%
MAXIMUM IMPERVIOUS COVERAGE**	NA	68.3%**
MINIMUM OPEN SPACE	15%	31.7%
INTERIOR PARKING LANDSCAPING	10%	11.0%

*WHEN ABUTTING A RESIDENTIAL DISTRICT

^fPROPERTIES IN THE CENTRAL BUSINESS DISTRICT THAT DO NOT HAVE FRONTAGE ON A PUBLIC STREET SHALL BE REQUIRED TO HAVE AN EASEMENT OF AT LEAST 30 FEET IN WIDTH PROVIDING ACCESS TO A PUBLIC STREET.

**MAXIMUM IMPERVIOUS COVERAGE IN A GROUND WATER PROTECTION DISTRICT: ANY USE THAT WILL RENDER IMPERVIOUS MORE THAN 15% OR 2500 SF. OF ANY LOT WHICHEVER IS GREATER.

NOTE

LOT COVERAGE CALCULATION:

NEW LOT AREA = 100,222±SF.

EXISTING PAVEMENT = 10,263± SF.

PROPOSED BUILDING = 21,900± SF.

PROPOSED PAVEMENT = 36,329± SF.

TOTAL IMPERVIOUS = 68,492± SF.

(68.3%)

LEGEND

⊞	CATCH BASIN	☆	LIGHT POLE
⊕	DRAIN MANHOLE	⊕	UTILITY POLE
⊙	ELECTRIC MANHOLE	→	GUY WIRE
⊙	SEWER MANHOLE	⊙	SIGN
○	MANHOLE	•	WETFLAG
⊗	GAS VALVE	⊕	UTILITY POLE
⊗	GAS SHUT OFF VALVE	☆	PROP. STREET LIGHTING
⊗	WATER VALVE	VGC	VERTICAL GRANITE CURB
⊗	WATER SHUT OFF VALVE	X 000.0	SPOT ELEVATION
⊗	FIRE HYDRANT	⊞	RIPRAP
— 000 —	EXISTING CONTOUR		
— D —	EXISTING DRAIN LINE		
— W —	EXISTING WATER LINE		

PARKING NOTES

ZONED: CENTRAL BUSINESS

PARKING REQUIREMENTS PER ZONING:

TABLE 3. SCHEDULE OF OFF STREET PARKING REQUIREMENTS

MEDICAL OFFICE OR CLINIC:

1 SPACE PER 300 SF. = 73 SPACES REQUIRED

NUMBER OF EMPLOYEES = 41

PARKING SPACES PROVIDED = 88 SPACES

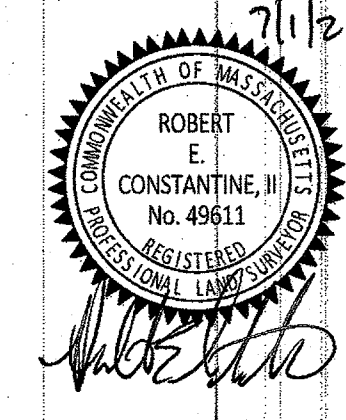
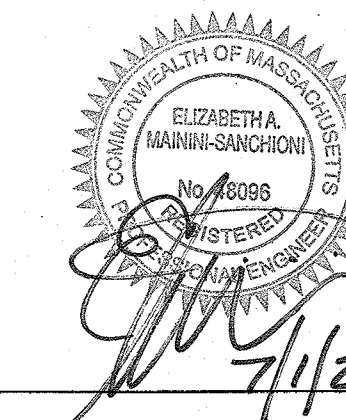
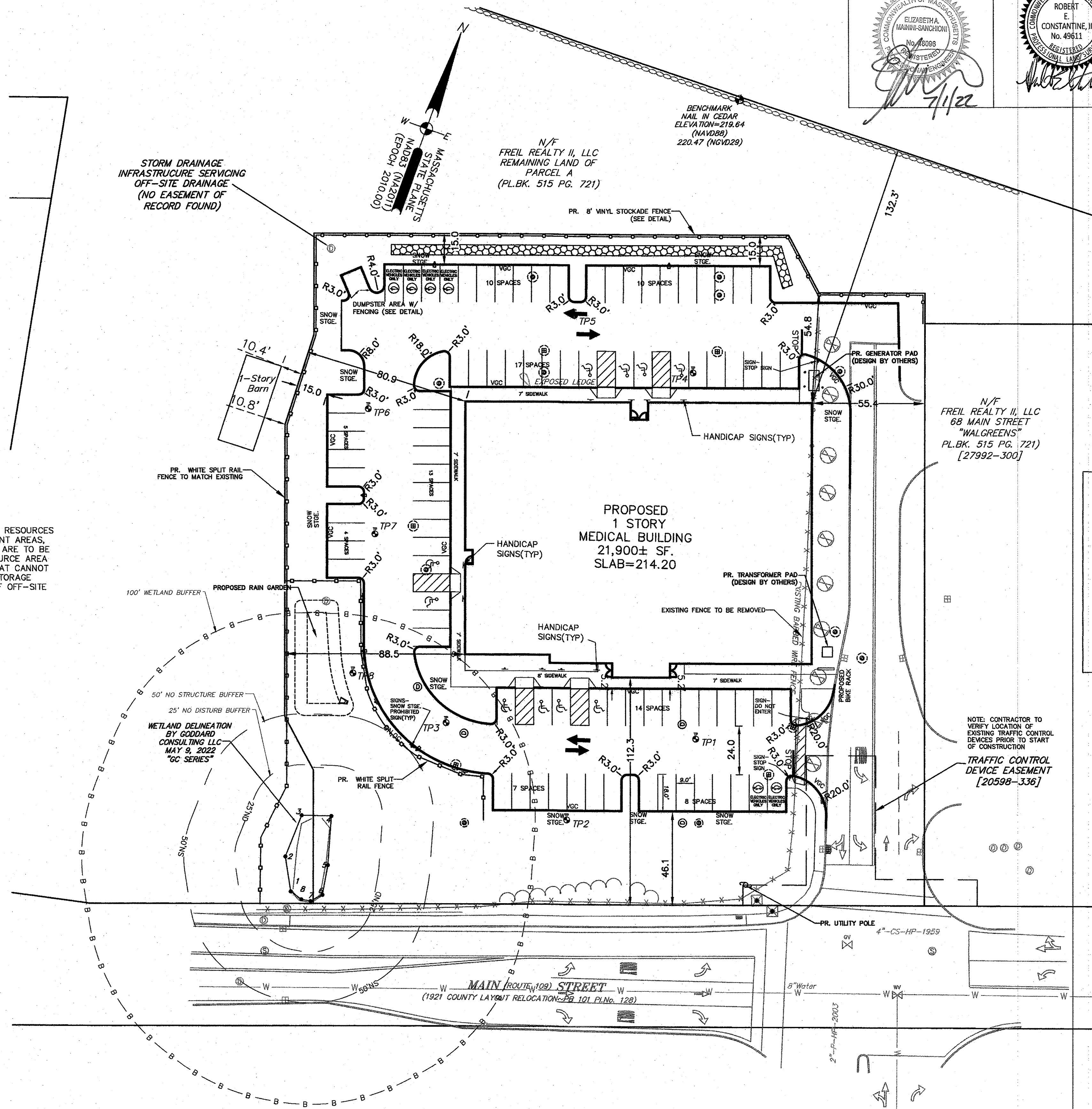
TYPICAL PARKING SPACE: 18' X 9'

ELECTRIC VEHICLE SPACES REQ'D = 4

ELECTRIC VEHICLE SPACES PROVIDED = 6

NOTE:

NO SNOW IS TO BE STORED WITHIN WETLAND RESOURCES OR THEIR BUFFERS, STORMWATER MANAGEMENT AREAS, OR PARKING SPACES. SNOW STORAGE SIGNS ARE TO BE PROVIDED ADJACENT TO THE WETLAND RESOURCE AREA AS SHOWN ON THIS PLAN. EXCESS SNOW THAT CANNOT BE STORED WITHIN THE DESIGNATED SNOW STORAGE AREAS IS TO BE REMOVED AND DISPOSED OF OFF-SITE WITHIN 72 HOURS.



APPROVED BY THE TOWN OF MEDWAY
PLANNING & ECONOMIC DEVELOPMENT BOARD

BOARD MEMBER DATE

LEGAL NOTES

UTILITIES ARE PLOTTED AS A COMPILATION OF RECORD DOCUMENTS, MARKINGS AND OTHER OBSERVED EVIDENCE TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES AND SHOULD BE CONSIDERED APPROXIMATE. PRIOR TO EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. ADDITIONAL UTILITIES, NOT EVIDENCED BY RECORD DOCUMENTS OR OBSERVED PHYSICAL EVIDENCE, MAY EXIST. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING AND CALL DIGSAFE AT 1(888)DIG-SAFE(7233).

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

OWNER

FREIL REALTY II, LLC
DEED BOOK 27992 PAGE 300
PLAN BK. 515, PG 721 OF 2003
A.M. 41 LOT 8

APPLICANT

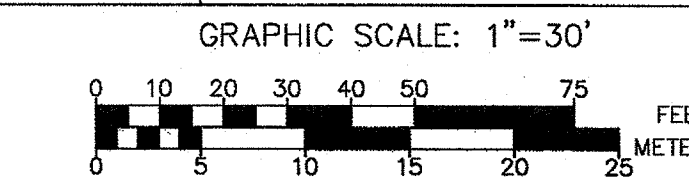
LOBISSER COMPANIES
1 CHARLESVIEW ROAD
HOPEDALE, MA 01747

SITE PLAN
86 HOLLISTON STREET
MEDWAY
MASSACHUSETTS

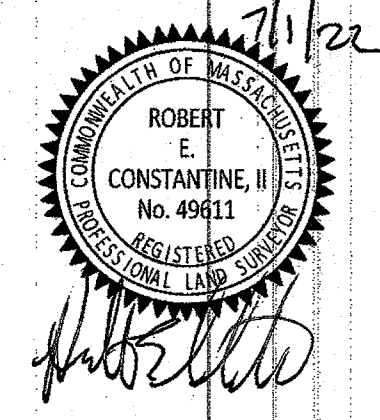
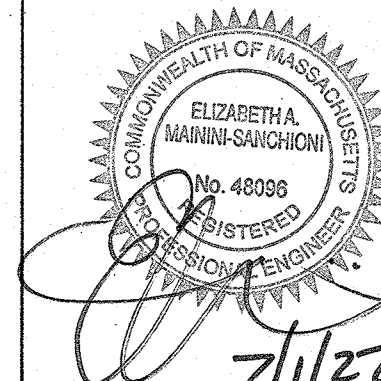
LAYOUT PLAN

APRIL 14, 2022

DATE	REVISION DESCRIPTION
6/29/2022	REVISED PER TOWN COMMENTS



Guerriere & Halnon, Inc.
ENGINEERING & LAND SURVEYING
55 WEST CENTRAL ST. PH. (508) 528-3221
FRANKLIN, MA 02038 FX. (508) 528-7921
www.gandhengineering.com



APPROVED BY THE TOWN OF MEDWAY
PLANNING & ECONOMIC DEVELOPMENT BOARD

BOARD MEMBER DATE
LEGAL NOTES

UTILITIES ARE PLOTTED AS A COMPILATION OF RECORD DOCUMENTS, MARKINGS AND OTHER OBSERVED EVIDENCE TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES AND SHOULD BE CONSIDERED APPROXIMATE. PRIOR TO ANY EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY DETERMINED. COMPLETELY AND RELIABLY DEPICTED ADDITIONAL UTILITIES, NOT EVIDENCED BY RECORD DOCUMENTS OR OBSERVED PHYSICAL EVIDENCE, MAY EXIST. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING AND CALL DIGSAFE AT 1(888)DIG-SAFE(72333).

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

OWNER
FREIL REALTY II, LLC
DEED BOOK 27992 PAGE 300
PLAN BK. 515, PG 721 OF 2003
A.M. 41 LOT 8

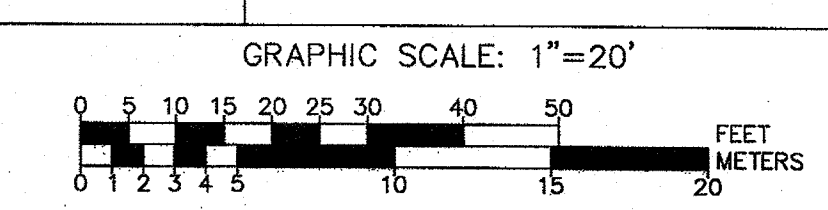
APPLICANT
LOBISSER COMPANIES
1 CHARLESVIEW ROAD
HOPEDALE, MA 01747

SITE PLAN
86 HOLLISTON STREET
MEDWAY
MASSACHUSETTS

GRADING PLAN

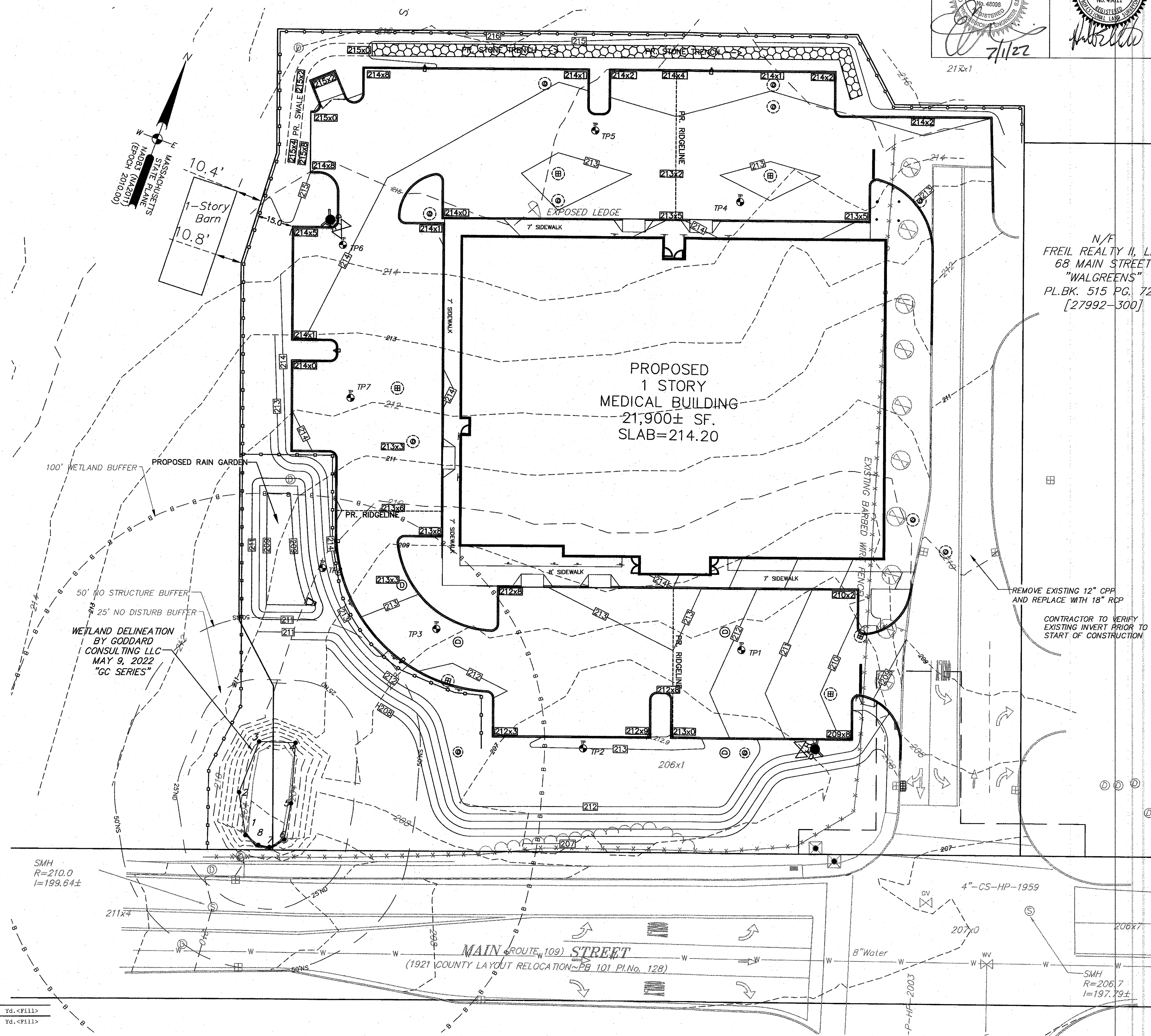
APRIL 14, 2022

DATE	REVISION DESCRIPTION
6/29/2022	REVISED PER TOWN COMMENTS



Guerriere & Halnon, Inc.
ENGINEERING & LAND SURVEYING
55 WEST CENTRAL ST. PH. (508) 528-3221
FRANKLIN, MA 02038 FX. (508) 528-7921
www.gandhengineering.com

LEGEND			
	CATCH BASIN		LIGHT POLE
	DRAIN MANHOLE		UTILITY POLE
	ELECTRIC MANHOLE		GUY WIRE
	SEWER MANHOLE		SIGN
	MANHOLE		WETFLAG
	GAS VALVE		UTILITY POLE
	GAS SHUT OFF VALVE		PROP. STREET LIGHTING
	WATER VALVE		SPOT ELEVATION
	WATER SHUT OFF VALVE		RIPRAP
	FIRE HYDRANT		
	EXISTING CONTOUR		
	EXISTING DRAIN LINE		
	EXISTING WATER LINE		



Cut/Fill Summary					
Name	Cut Factor	Fill Factor	2d Area	Cut	Fill
CUT/FILL 1.000	1.000		80176 Sq. Ft.	709 Cu. Yd.	6106 Cu. Yd.
Totals			80176 Sq. Ft.	709 Cu. Yd.	6106 Cu. Yd.

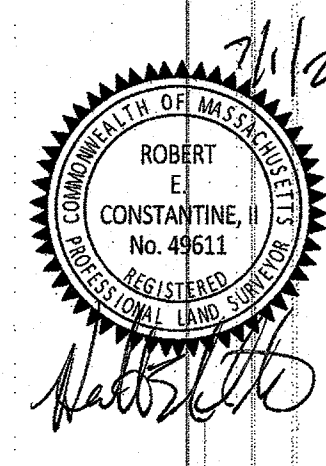
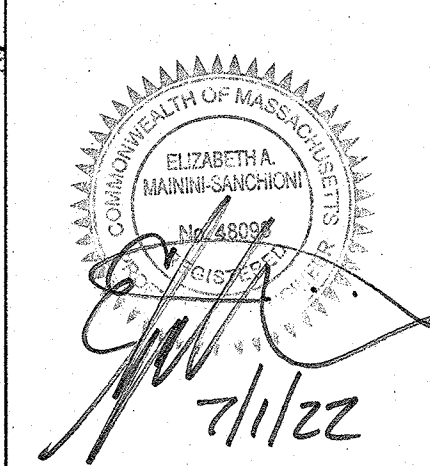
LEGEND			
⊠	CATCH BASIN	☆	LIGHT POLE
⊙	DRAIN MANHOLE	⊙	UTILITY POLE
⊙	ELECTRIC MANHOLE	⊙	GUY WIRE
⊙	SEWER MANHOLE	⊙	SIGN
○	MANHOLE	•	WETFLAG
⊕	GAS VALVE	⊕	UTILITY POLE
⊕	GAS SHUT OFF VALVE	☆	PROP. STREET LIGHTING
⊕	WATER VALVE	⊕	SPOT ELEVATION
⊕	WATER SHUT OFF VALVE	⊕	RIPRAP
⊕	FIRE HYDRANT		
---	EXISTING CONTOUR		
---	EXISTING DRAIN LINE		
---	EXISTING WATER LINE		

STORM DRAINAGE
INFRASTRUCTURE SERVICING
OFF-SITE DRAINAGE
(NO EASEMENT OF
RECORD FOUND)

REMAINING LAND OF
PARCEL A
(PL.BK. 515 PG. 721)

PROPOSED CULTEC CHAMBER SYSTEM #3
33 CULTEC RECHARGER 280HD CHAMBERS
MIN COVER=213.80
TOP CHAMBER=212.30
BOT CHAMBER=210.10
BOT STONE=209.60
SYSTEM TO BE LINED WITH
40 MIL IMPERVIOUS BARRIER

DMH #13
RIM=214.1'
INV. IN=210.10
INV. OUT=210.10



APPROVED BY THE TOWN OF MEDWAY
PLANNING & ECONOMIC DEVELOPMENT BOARD

BOARD MEMBER DATE

LEGAL NOTES

UTILITIES ARE PLOTTED AS A COMPILATION OF
RECORD DOCUMENTS, MARKINGS AND OTHER
OBSERVED EVIDENCE TO DEVELOP A VIEW OF THE
UNDERGROUND UTILITIES AND SHOULD BE
CONSIDERED APPROXIMATE. EXCAVATION,
THE EXACT LOCATION OF UNDERGROUND FEATURES
CANNOT BE ACCURATELY, COMPLETELY AND
RELIABLY DEPICTED. ADDITIONAL UTILITIES, NOT
EVIDENCED BY RECORD DOCUMENTS OR OBSERVED
PHYSICAL EVIDENCE, MAY EXIST. CONTRACTORS (IN
ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION
40 AS AMENDED) MUST CONTACT ALL UTILITY
COMPANIES BEFORE EXCAVATING AND DRILLING AND
CALL DIGSAFE AT 1(888)DIG-SAFE(7233).

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY
EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS,
RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY
BE REVEALED BY AN EXAMINATION OF THE TITLE.

OWNER

FREIL REALTY II, LLC
DEED BOOK 27992 PAGE 300
PLAN BK. 515, PG. 721 OF 2003
A.M. 41 LOT 8

APPLICANT

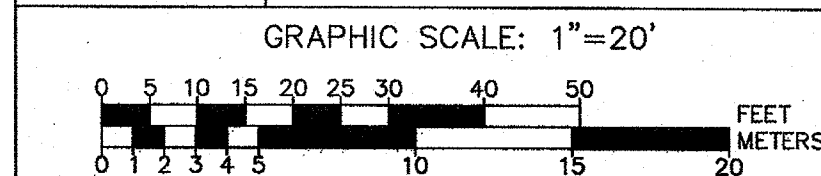
LOBISSER COMPANIES
1 CHARLESVIEW ROAD
HOPEDALE, MA 01747

SITE PLAN
86 HOLLISTON STREET
MEDWAY
MASSACHUSETTS

UTILITY PLAN

APRIL 14, 2022

DATE	REVISION DESCRIPTION
6/29/2022	REVISED PER TOWN COMMENTS



Guerriere & Halnon, Inc.
ENGINEERING & LAND SURVEYING
55 WEST CENTRAL ST. PH. (508) 528-3221
FRANKLIN, MA 02038 FX. (508) 528-7921
www.gandhengineering.com

SHEET 7 OF 12 JOB NO. F4516

STORM DRAINAGE NOTES

- ALL DRAINAGE PIPES TO BE 12" RCP UNLESS OTHERWISE NOTED. WHERE LESS THAN 3.5' OF COVER IS PROVIDED, CLASS V RCP SHALL BE USED.
 - DMH #1, DMH #7, CB #4, and CB #7 SHALL BE CONTECH CDS1515-3-C WATER QUALITY MANHOLES.
 - NON-METAL ROOFS ARE PROPOSED FOR THE PROPOSED BUILDING.
 - FILL MATERIAL BENEATH THE PROPOSED INFILTRATION CHAMBER SYSTEMS AND RAIN GARDEN SHALL BE REMOVED TO THE DEPTH OF THE NATURALLY OCCURRING SANDY MATERIAL IDENTIFIED IN THE TEST PIT SOIL LOGS, AND THE SYSTEM BROUGHT TO GRADE WITH SAND, CRUSHED STONE, OR OTHER ACCEPTABLE MATERIAL, AS DETERMINED BY THE DESIGN ENGINEER AND THE TOWN OF MEDWAY.
- SPECIAL CONSIDERATION FOR INLET CONTROLS FOR EROSION COLLECTION BEFORE ENTERING DRAINAGE SYSTEM:
- INSTALL SILT SACKS.
 - BARRIER AROUND CATCH BASIN, COMPOST SOCK OR EQUAL.
 - INSTALL FILTER FABRIC ON ALL DRAIN MANHOLE OUTLETS DISCHARGING TO INFILTRATION SYSTEM.
 - INSPECTIONS BEFORE AND AFTER STORM EVENTS ARE REQUIRED TO INSURE ADEQUACY OF EROSION CONTROL MEASURES.
 - CONTRACTOR & ARCHITECT ARE TO VERIFY SITE UTILITIES PRIOR TO DESIGN & CONSTRUCTION.
 - ALL PIPE GASKETS SHALL BE PRE-MOLDED NEOPRENE O-RING TYPE (300-11 B.(2)(A)).

SITE DRAINAGE INSTALLATIONS NOTES

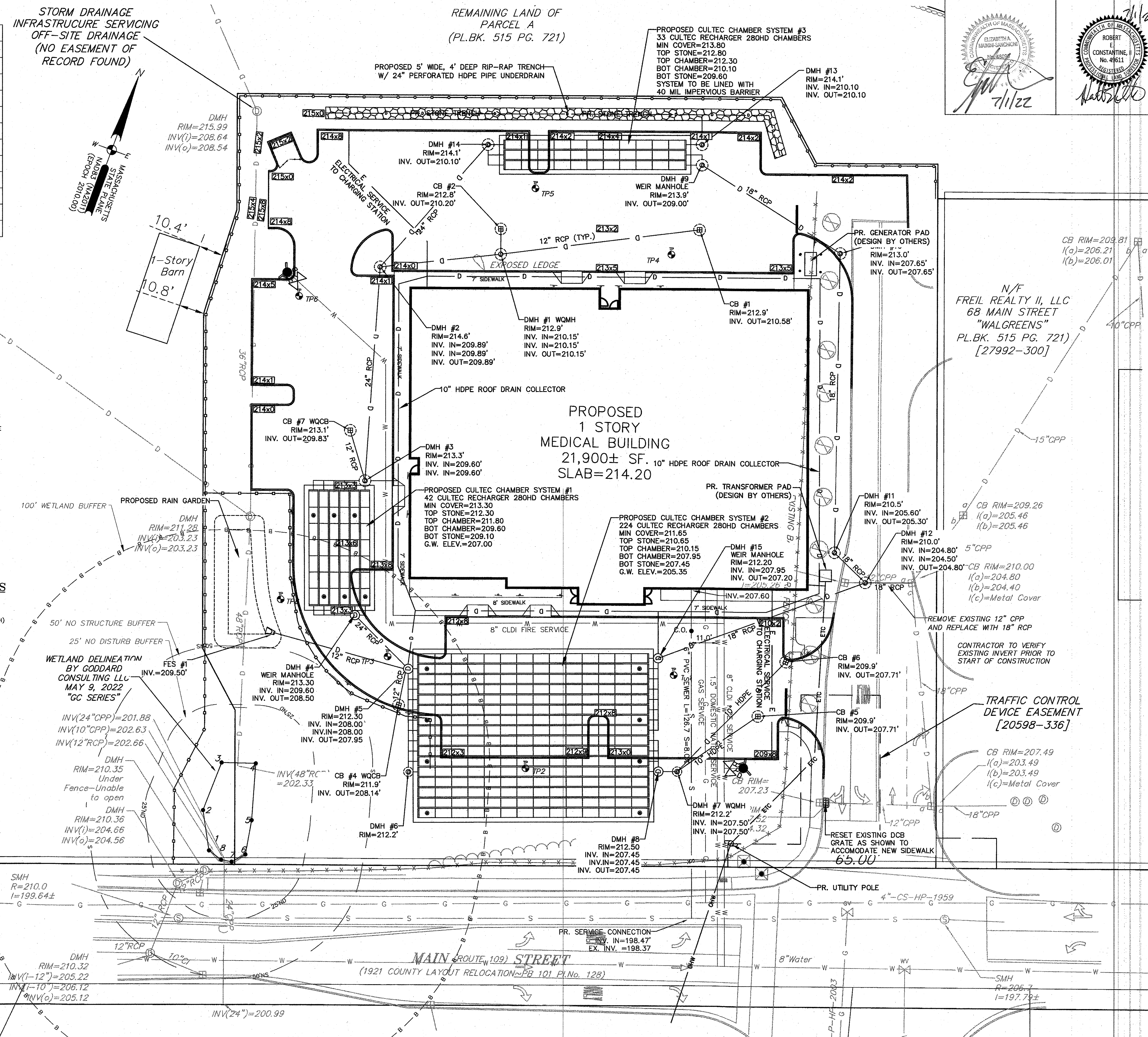
- EACH SUBSURFACE CHAMBER WILL BE INSTALLED SEPARATELY TO DESIGN ELEVATION.
- INSTALL CONNECTIONS TO CATCH BASINS, WATER QUALITY MANHOLE (WQMH) AND DRAIN MANHOLES.
- EXCAVATE AND INSTALL SUBSURFACE UNIT, BACKFILL W/ STONE MAINTAINING 18"-24" COVER AND AS-BUILT EACH SECTION.

UTILITY NOTE

ALL UTILITIES SHALL BE CONSTRUCTED AND TESTED ACCORDING TO STATE AND LOCAL REGULATIONS.

ALL WATER AND SEWER UTILITIES TO COMPLY WITH THE TOWN OF MEDWAY DEPARTMENT OF PUBLIC WORKS STANDARD DETAILS, WHERE CONFLICTS EXIST, THE TOWN'S SPECIFICATIONS SHALL CONTROL.

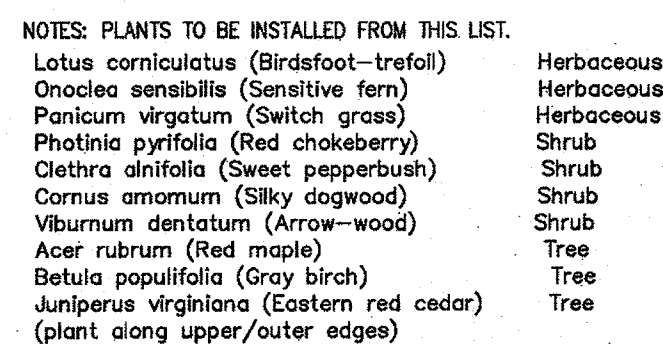
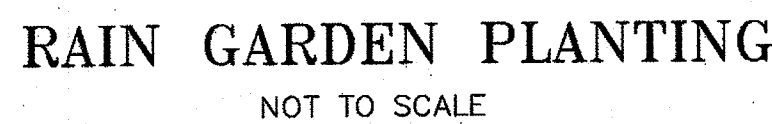
ALL WATER AND SEWER LINE WORK WITHIN THE STREET OR SIDEWALK MUST UTILIZE FLOWABLE FILL TO THE SATISFACTION OF THE MEDWAY DEPARTMENT OF PUBLIC WORKS.



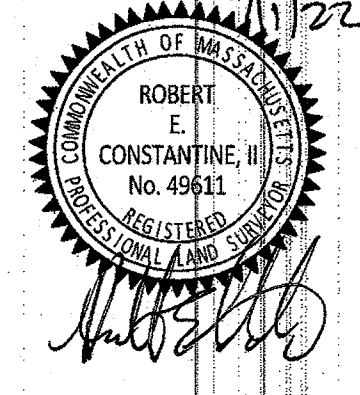


	CATCH BASIN		LIGHT POLE
	DRAIN MANHOLE		UTILITY POLE
	ELECTRIC MANHOLE		GUY WIRE
	SEWER MANHOLE		SIGN
	MANHOLE		WET FLAG
	GAS VALVE		UTILITY POLE
	GAS SHUT OFF VALVE		PROP. STREET LIGHTING
	WATER VALVE		
	WATER SHUT OFF VALVE		SPOT ELEVATION
	FIRE HYDRANT		RIPRAP
_____ 000 _____		EXISTING CONTOUR	
_____ D _____		EXISTING DRAIN LINE	
_____ W _____		EXISTING WATER LINE	

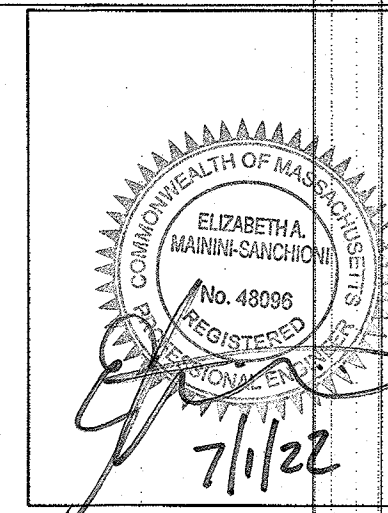
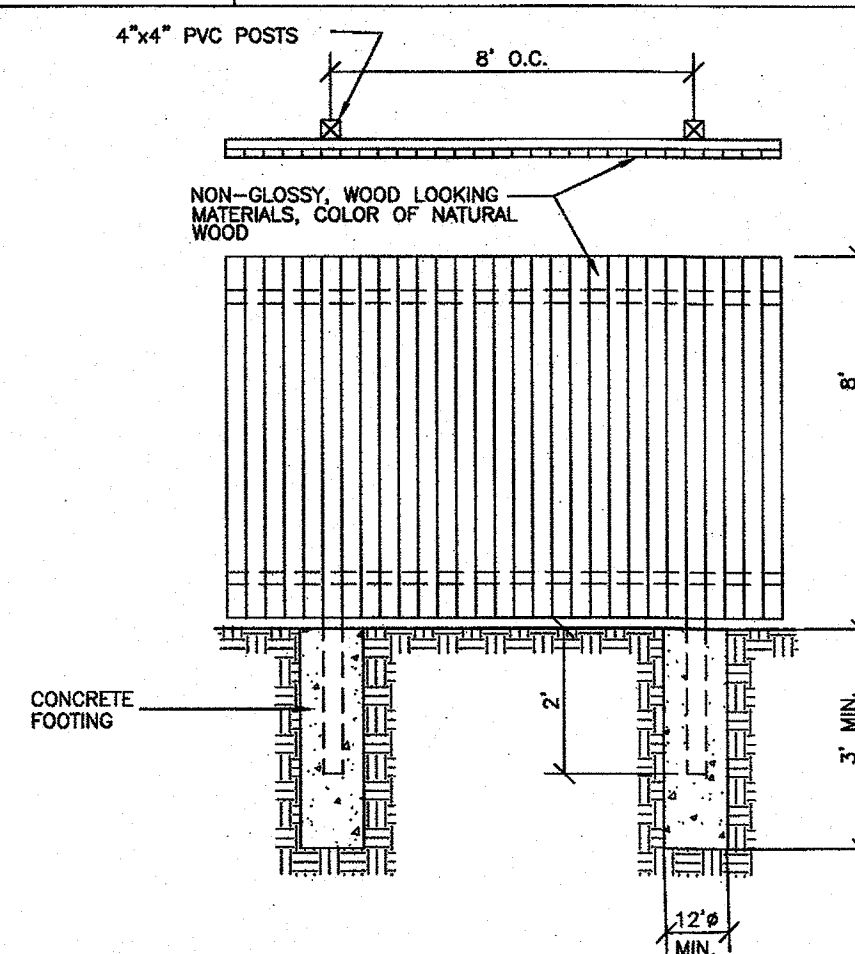
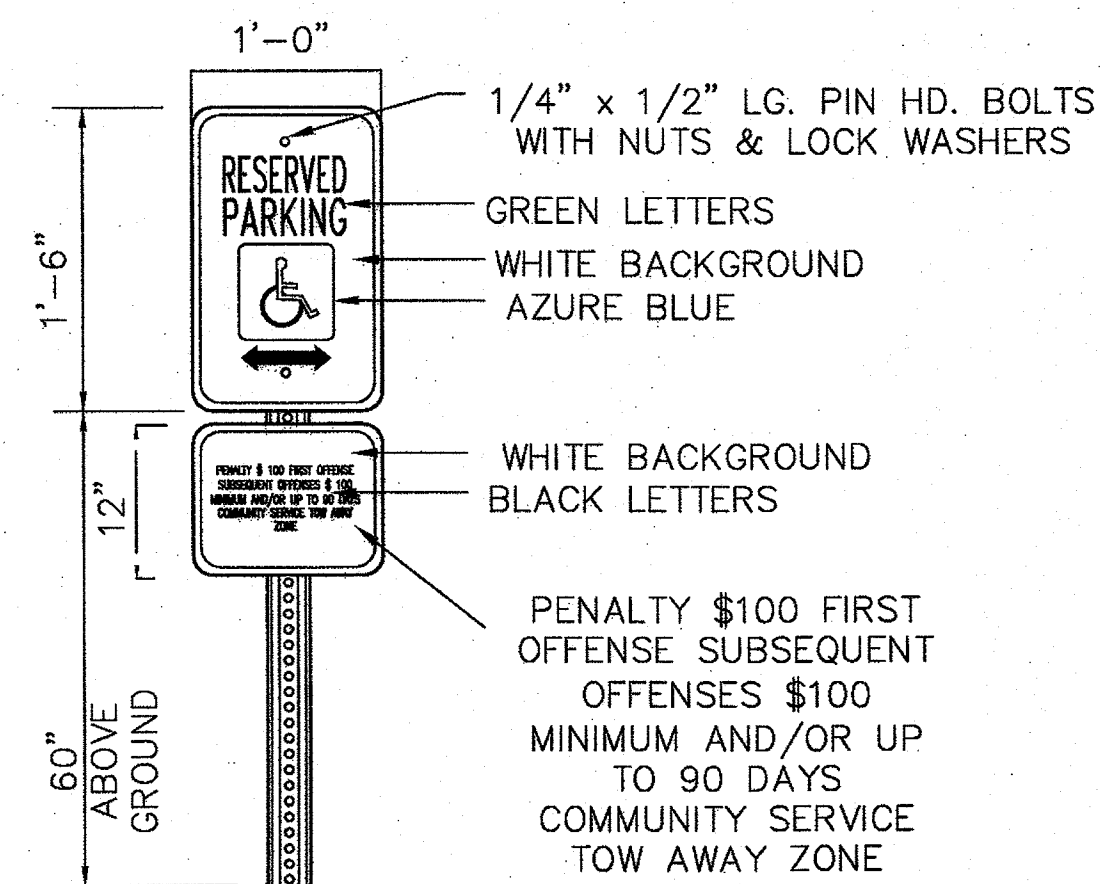
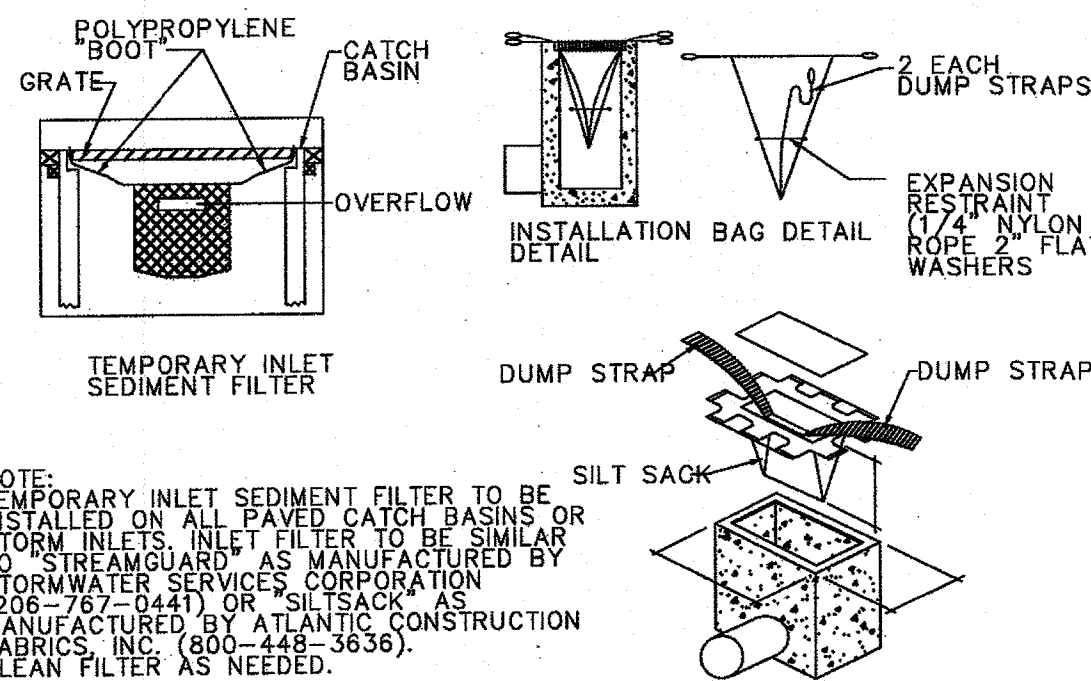
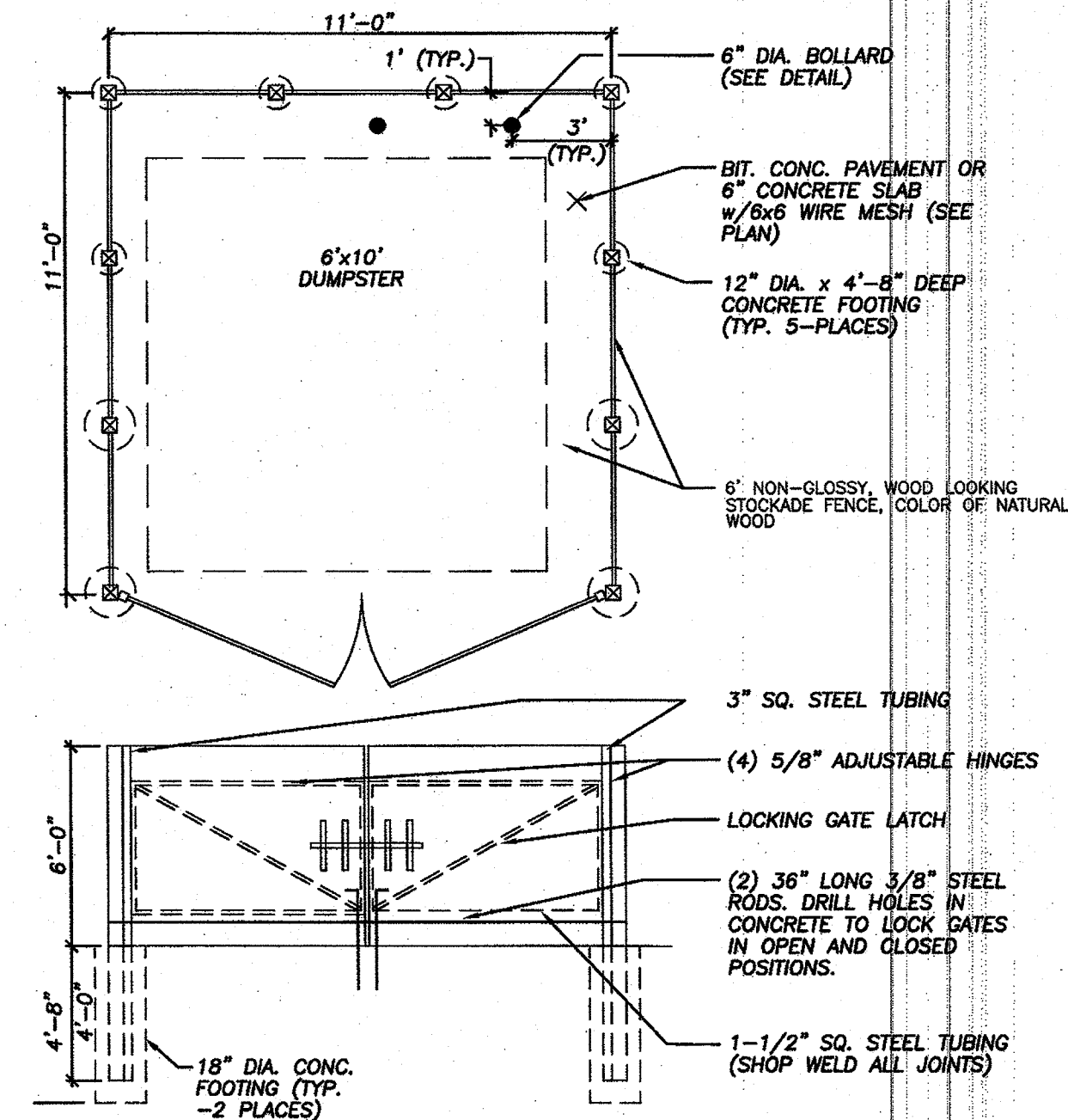
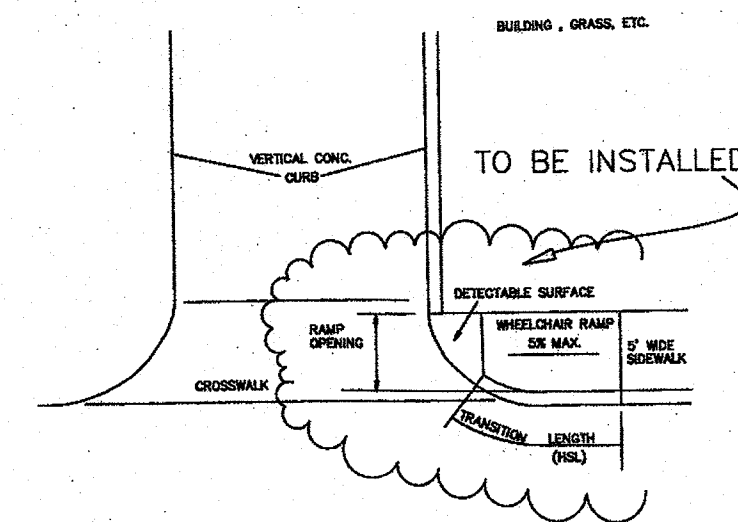
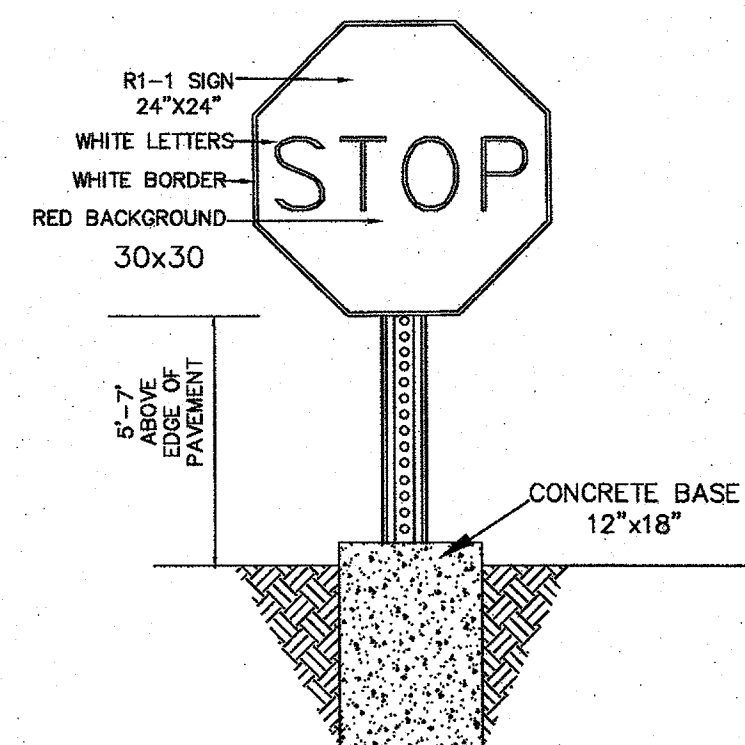
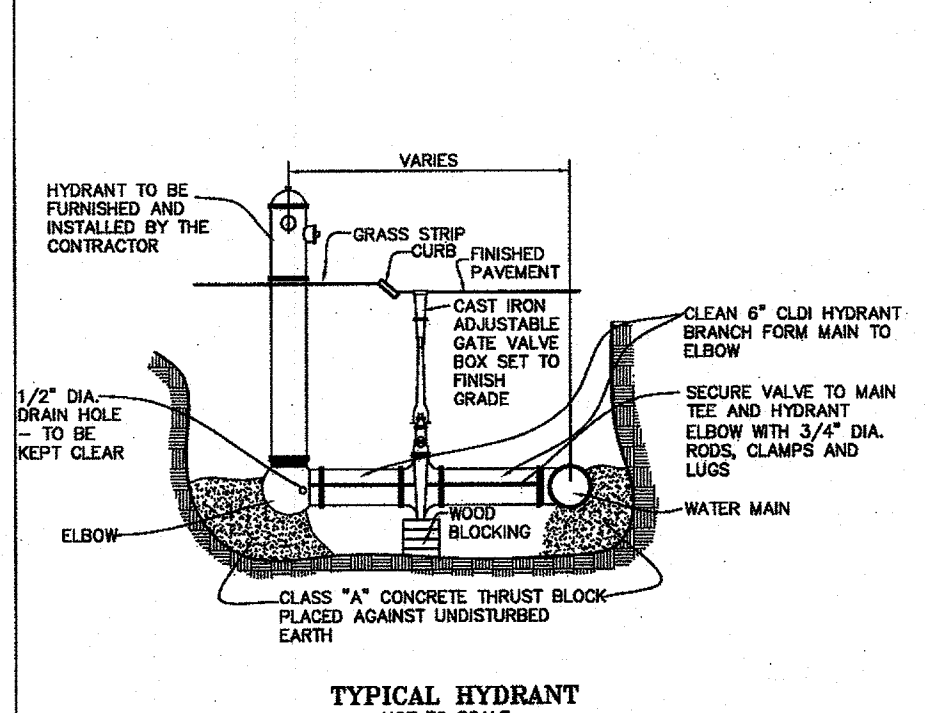
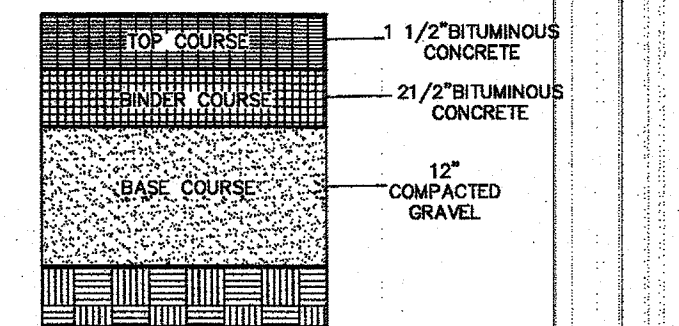
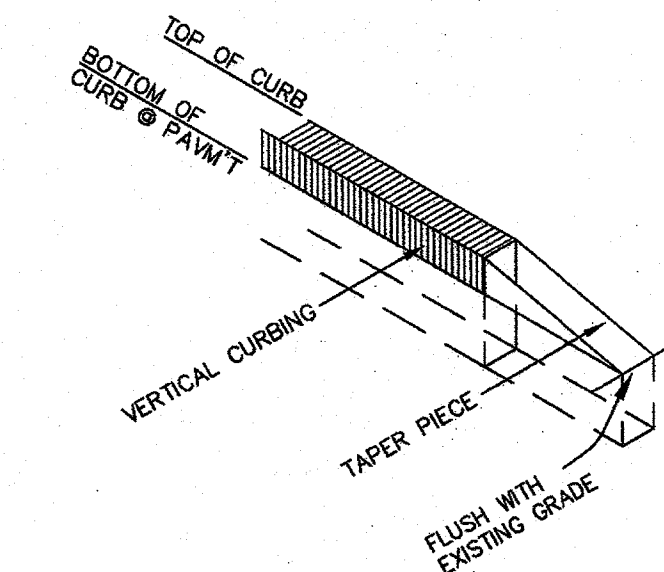
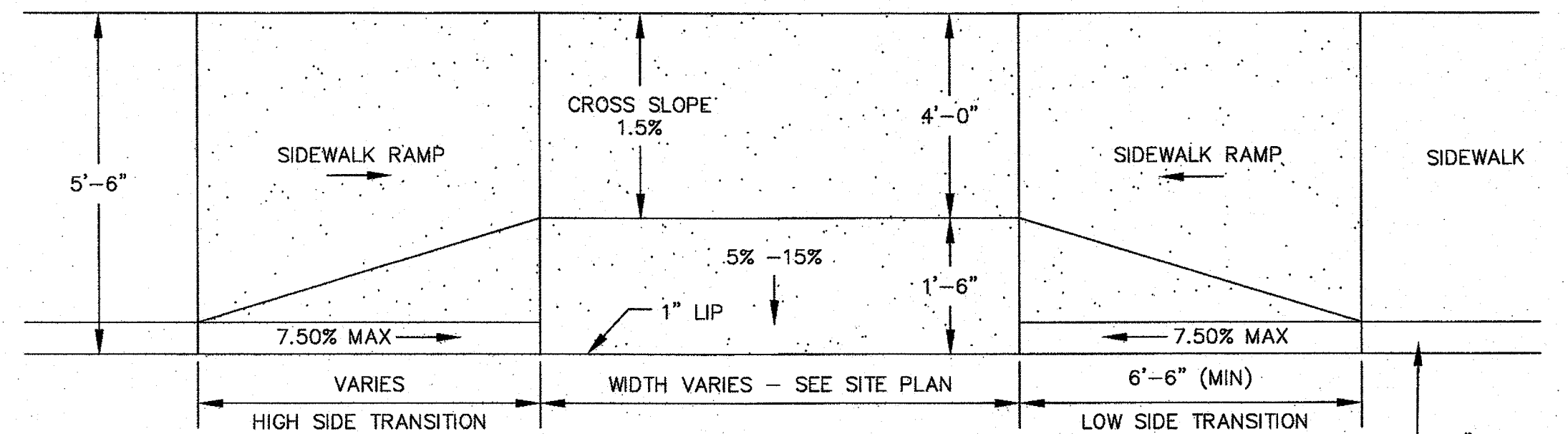
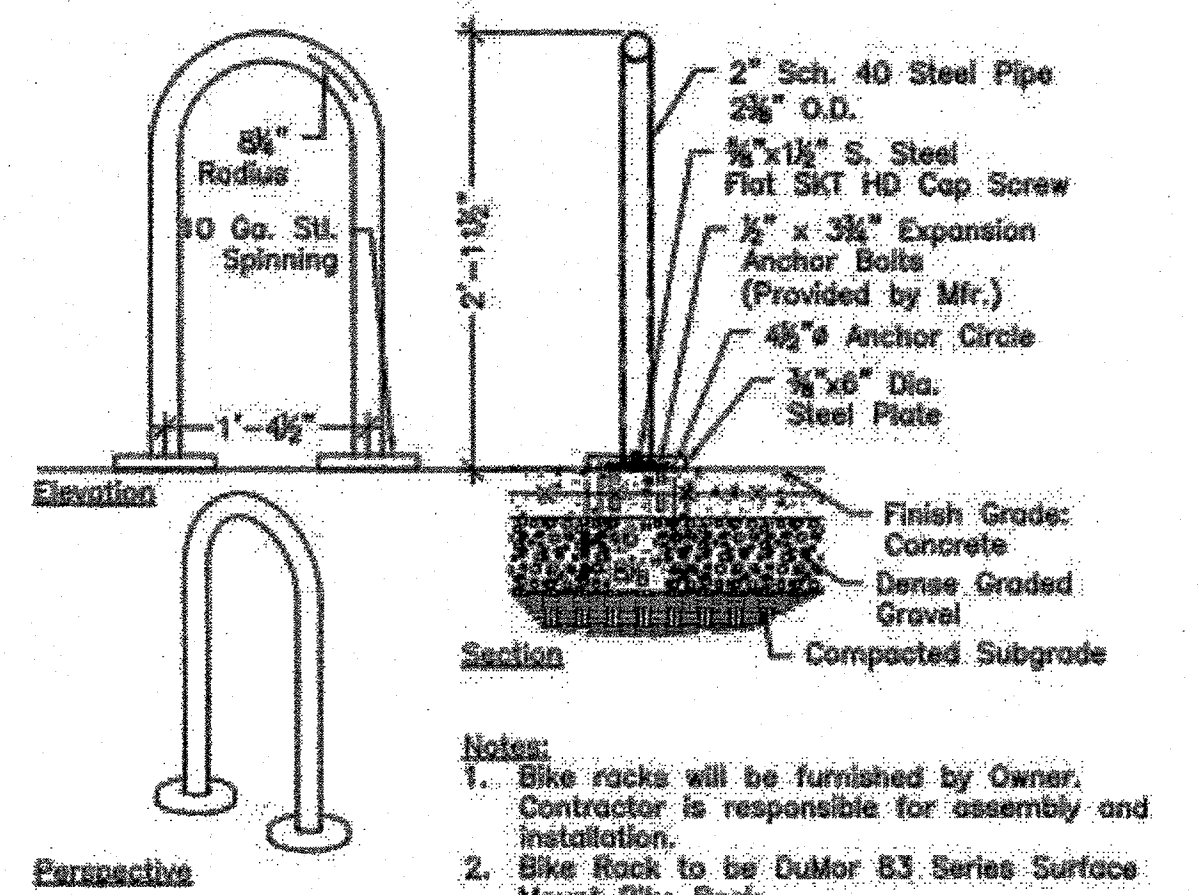
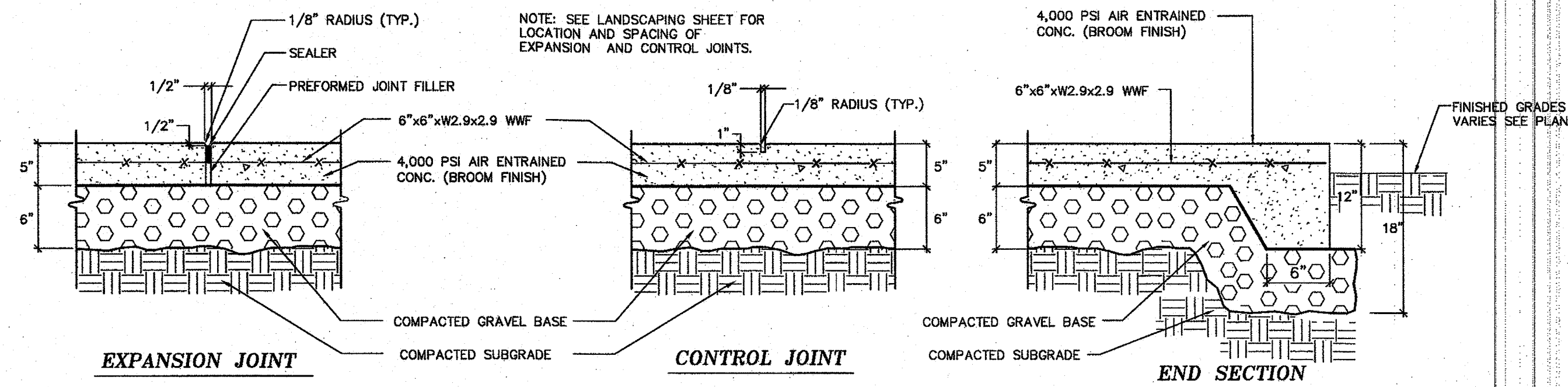
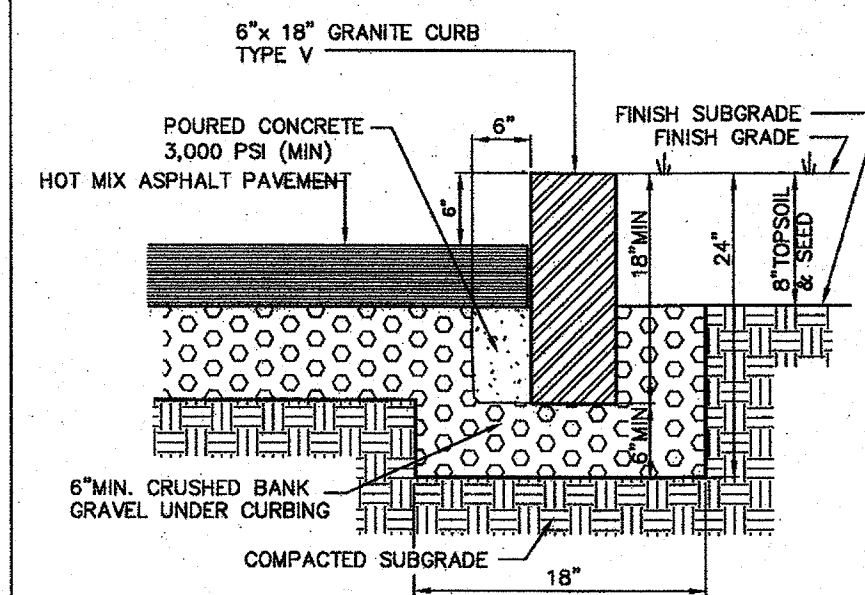
SYMBOL	NAME	SIZE	QUANTITY
	RED MAPLE ACER RUBRUM	5' MIN. 2.5" CAL.	11
	NORWAY SPRUCE PICEA ABIES	6-7' HIGH MIN.	12
	RED OAK QUERCUS RUBRA	5' MIN. 2.5" CAL.	4
	MOUNTAIN LAUREL K.LATIFOLIA	3 GAL.	7
	EARLY AZALEA R.ROSEUM	3 GAL.	6
	CREEPING JUNIPER JUNIPERUS HORIZONTALIS	3 GAL.	33
	DWARF MUGO PINE PINUS MUGO VAR. PUMILIO	3' GAL.	4
	BOXWOOD NORTH STAR BUXUS SEMPERVIRENS KATERBERG	3' GAL	5
	SWITCH GRASS PANICUM VIGATUM	3' GAL	19
	WHITE SAGE ARTEMISIA LUDOVICIANA	3' GAL	20
	SPIREA WEDDING CAKE SPIREA HIPPONICA	3' GAL	15
	MEADOW ANEMONE-CANADENSIS & GAYFEATHER -LIATRIS SPICATA	3' GAL(EA)	27(EA)



- [illegible]



JOB NO. **F4516**

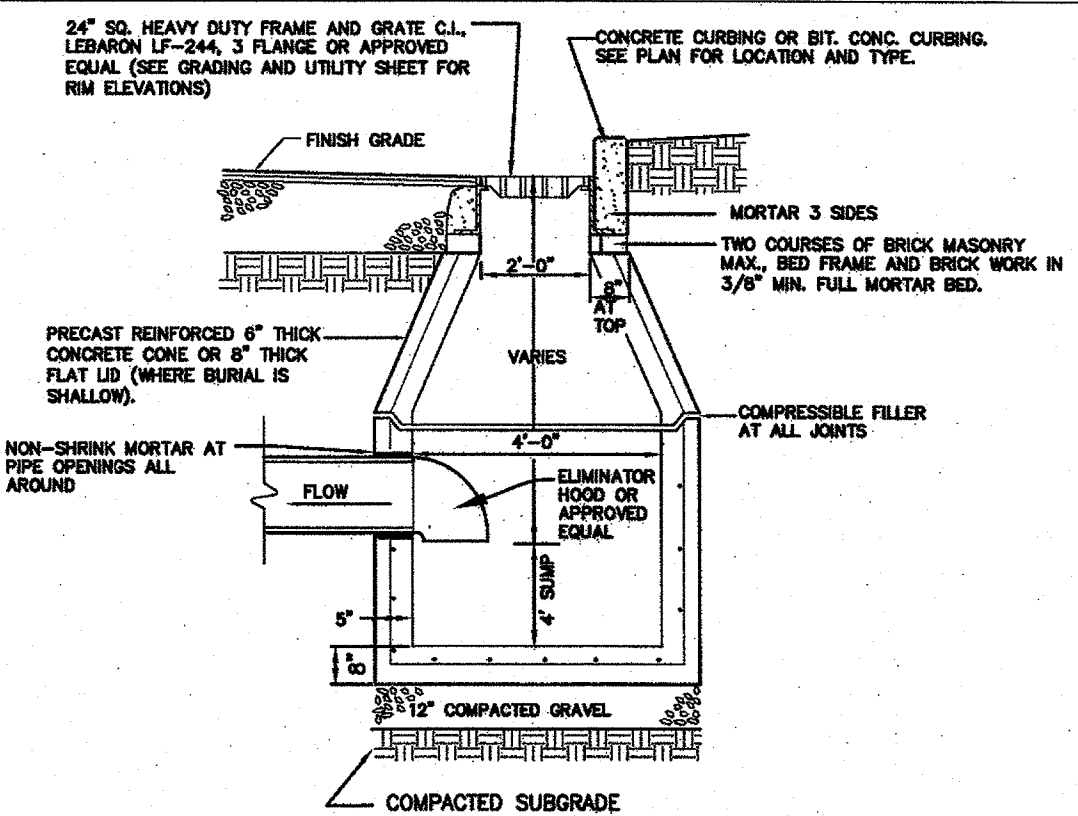


GENERAL EROSION CONTROL AND CONSTRUCTION NOTES

1. THE LIMITS OF ALL CLEARING, GRADING AND DISTURBANCE SHALL BE KEPT TO A MINIMUM WITHIN THE PROPOSED AREA OF CONSTRUCTION. ALL AREAS OUTSIDE THE LIMITS OF DISTURBANCE SHALL REMAIN TOTALLY UNDISTURBED.
2. INSPECT ALL SEDIMENT AND EROSION CONTROL MEASURES AT LEAST ONCE PER WEEK AND WITHIN 24 HOURS AFTER EVERY RAINFALL EVENT.
3. MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES OR REPLACE AS REQUIRED TO ASSURE PROPER FUNCTION.
4. CONTRACTOR SHALL IMMEDIATELY REPAIR ANY AND ALL EROSION AND SEDIMENT CONTROLS FOUND TO BE FAULTY.
5. ANY AND ALL DEBRIS AND LITTER WHICH ACCUMULATES IN THE BASINS SHALL BE REMOVED WEEKLY.
6. THE CONTRACTOR SHALL IMPLEMENT ALL REASONABLE EROSION AND SEDIMENT CONTROLS PRIOR TO THE ACTUAL COMMENCEMENT OF CONSTRUCTION ACTIVITIES INCLUDING THE CLEARING AND/OR GRUBBING OF ANY PORTION OF THE PROPERTY. THESE MEASURES SHALL BE MAINTAINED IN EFFECT THROUGHOUT THE ENTIRE CONSTRUCTION PHASE, OR UNTIL THE SITE HAS BECOME STABILIZED WITH AN ADEQUATE VEGETATIVE COVER.
7. SEDIMENT BUILD UP BEHIND FILTERMITT SHALL BE MONITORED AND BE REMOVED WHENEVER IT HAS ACCUMULATED TO FOUR INCHES IN DEPTH.
8. CATCH BASINS SHALL BE PROTECTED WITH SILT FILTERS (SILT SACKS). INSPECT SEDIMENT FILTERS AT LEAST ONCE PER WEEK AND WITHIN 24 HOURS AFTER RAINFALL THAT PRODUCES RUNOFF.
9. CLEAN OR REPLACE FILTERS WITHIN 24 HOURS OF INSPECTION WHEN SEDIMENT REACHES ONE HALF OF THE FILTER SACK DEPTH. CATCH BASINS SHALL BE PROTECTED BY SEDIMENT FILTERS THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS ARE THOROUGHLY STABILIZED. SUMPS SHALL BE CLEANED WHENEVER SEDIMENT HAS ACCUMULATED TO A DEPTH OF 24 INCHES AND IMMEDIATELY FOLLOWING INSTALLATION OF PERMANENT PAVEMENT.
10. THE CONTRACTOR SHALL MAINTAIN AN ADEQUATE STOCKPILE OF EROSION CONTROL MATERIALS ON-SITE AT ALL TIMES FOR EMERGENCY OR ROUTINE REPLACEMENT AND SHALL INCLUDE MATERIALS TO REPAIR OR REPLACE SILT FENCE, MULCH, SOCK, STONE FILTER DIKES OR ANY OTHER DEVICES PLANNED FOR USE DURING CONSTRUCTION.
11. THE CONTRACTOR IS TO INSPECT ALL CONTROLS NO LESS THAN WEEKLY, AND IN ANTICIPATION OF RAINFALL EVENTS EXPECTED TO EXCEED 1/2 INCH IN DEPTH. ALL DEFICIENCIES NOTED DURING SAID INSPECTION SHALL BE REPAIRED IMMEDIATELY AND IN NO CASE SHALL A DEFICIENCY BE ALLOWED TO GO UNCORRECTED DURING A RAINFALL EVENT. THE EROSION CONTROL DEVICES SHALL BE MAINTAINED, REINFORCED, OR REPLACED IF NECESSARY. ALL ACCUMULATED SEDIMENTS AND OTHER MATERIALS COLLECTED.
12. BY THE SEDIMENTATION CONTROL SYSTEMS SHALL BE REMOVED AS NECESSARY TO INSURE PROPER FUNCTION OF SYSTEMS AND DISPOSED OF IN A MANNER THAT IS CONSISTENT WITH THE INTENT OF THIS PLAN, IN AN UPLAND AREA.
13. TEMPORARY EARTH OR STONE DIKES, DRAINAGE SWALES AND/OR TEMPORARY SLOPE DRAINS SHALL BE INSTALLED WHERE OFF-SITE OR ON-SITE RUNOFF IS SUFFICIENT ENOUGH SUCH THAT IT WILL BE NECESSARY TO DIVERT THE FLOW AROUND THE SITE OR PREVENT EROSION WITHIN THE LIMITS OF WORK.
14. STORM DRAIN INLET PROTECTION SHALL BE USED FOR ALL EXISTING AND PROPOSED CATCH BASINS IN THE PROJECT AREA. PRIOR TO COMPLETION OF THE PROJECT, ALL CATCH BASINS WITHIN THE PROJECT AREA SHALL BE CLEANED.
15. ALL DISTURBED EARTH SLOPES AREA TO BE STABILIZED WITH PERMANENT VEGETATIVE COVER, TO BE ESTABLISHED AS SOON AS POSSIBLE. DISTURBED AREAS THAT ARE NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL RECEIVE A PERMANENT OR TEMPORARY VEGETATIVE COVER AS SOON AS FINAL CONTOURS ARE ESTABLISHED. TEMPORARY VEGETATIVE COVER IS TO BE ESTABLISHED ON ALL DISTURBED AREAS WHERE CONSTRUCTION ACTIVITIES WILL NOT REQUIRE ADDITIONAL DISTURBANCE FOR PERIOD OF 30 DAYS OR MORE. IF THE SEASON PREVENTS THE ESTABLISHMENT OF VEGETATIVE COVER, DISTURBED AREAS SHALL BE MULCHED AND THEN SEEDED AS SOON AS WEATHER CONDITIONS ALLOW.
16. THERE SHALL BE NO DIRECT DISCHARGE OF DEWATERING OPERATIONS INTO ANY DRAINAGE SYSTEM UNLESS THIS DISCHARGE IS CLEAN AND FREE OF SETTLEABLE SOLIDS. ANY DEWATERING DISCHARGE CONTAINING SETTLEABLE SOLIDS (SEDIMENTS) SHALL BE PASSED THROUGH A SEDIMENTATION CONTROL DEVICE(FILTER BAG) TO REMOVE THESE SOLIDS. THE CONTRACTOR IS TO MAINTAIN SAID SEDIMENT CONTROL DEVICE THROUGHOUT THE ENTIRE DEWATERING OPERATION AND REPAIR DEFICIENCIES IMMEDIATELY.
17. SOIL STOCKPILE AREAS FOR CONSTRUCTION MATERIALS SHALL BE LOCATED OUTSIDE WETLAND AREAS AND ASSOCIATED BUFFERS.
18. ALL PLANTINGS SHALL BE ACCOMPLISHED BY THE CONTRACTOR AS EARLY AS THE POSSIBLE UPON COMPLETION OF GRADING AND CONSTRUCTION.
19. ALL PLANTINGS SHALL BE WATERED AND MAINTAINED BY THE CONTRACTOR TO ENSURE SURVIVAL.
20. EROSION CONTROL SHALL REMAIN IN PLACE UNTIL THE CERTIFICATE OF COMPLETION IS ISSUED

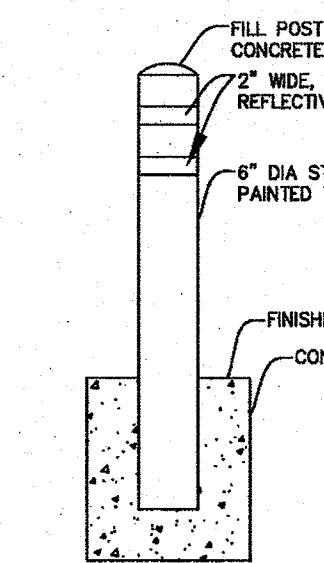
INTERIM EROSION CONTROL AND CONSTRUCTION SEQUENCE

1. INSTALL EROSION CONTROL BARRIERS AND HAVE ENGINEER INSPECT AND PREPARE LETTER.
2. CLEAR SITE OF ALL TREES DESIGNATED TO BE REMOVED. CONSTRUCT A TEMPORARY BASIN TO COLLECT RUNOFF DURING CONSTRUCTION.
3. STOCKPILE LOAM, OR REMOVE LOAM.
4. INSTALL PIPES FOR DRAINAGE SYSTEMS. INSTALL DISCHARGE POINT ON EACH SYSTEM.
5. BRING SITE TO SUB-GRADE.
6. ALL SLOPES ALONG THE PROPERTY LINES SHALL BE MULCHED TEMPORARILY, IF DISTURBED.
7. TEMPORARY STONE (3/4" - 1 1/2") SHALL BE PLACED AT THE PROJECT ENTRANCE WHEN ACCESSING EXISTING PAVEMENT. SWEEPING IS REQUIRED IF FINES ARE OBSERVED IN THE PARKING LOT OR PUBLIC WAYS.
8. ALL DISTURBED AREAS NOT TREATED WITH PERMANENT LOAM AND SEED SHALL BE COVERED WITH MULCH, OR OTHER EROSION CONTROL DEVICE.
9. ALL CONSTRUCTION GRADES IN THE INTERIM SHALL BE SLOPED TO FLOW INTO THE TEMPORARY BASIN, WHERE POSSIBLE. THE SITE MITIGATION OF EROSION IN THOSE AREAS TO BE LANDSCAPED OR MULCHED SHALL BE TO INSTALL AS SOON AS POSSIBLE.
10. CLEAN ALL SEDIMENT OUT OF TEMPORARY BASIN AND INSTALL CLEAN FILL PER PLAN SPECIFICATIONS PRIOR TO FINAL GRADING AND SURFACE STABILIZATION.
11. THE SUBSURFACE DRAINAGE SYSTEM SHALL BE INSTALLED PRIOR TO PAVEMENT INSTALLATION PROPER FILTERFABRIC SHALL BE PLACED AT INLETS TO KEEP THE STORM DRAINAGE CLEAN OF DEBRIS.
12. ONCE THE CURB IS INSTALLED, THE PERMANENT MULCH AND LANDSCAPING SHALL BE INSTALLED.
13. SEDIMENT CONTROL SHALL REMAIN IN PLACE UNTIL THE SITE IS STABILIZED.
14. CLEAN ALL ON SITE CATCH BASINS, MANHOLES, PIPING, TEMPORARY BASIN, AND INFILTRATION CHAMBERS. INSTALL SILT BAGS AT EACH CATCH BASIN.
15. KEEP SITE SWEEP AND MAINTAINED PER STORMWATER MANAGEMENT PLAN.



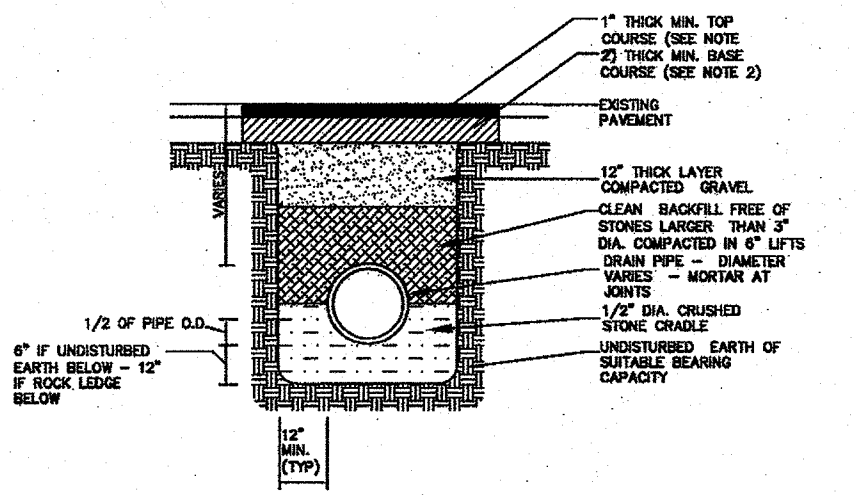
TYP. PRECAST CONCRETE CATCH BASIN DETAIL

NOT TO SCALE
NOTE:
ALL STRUCTURES SHALL BE SUITABLE FOR H-20 LOADING AND SHALL MEET THE REQUIREMENTS OF ASTM C478.



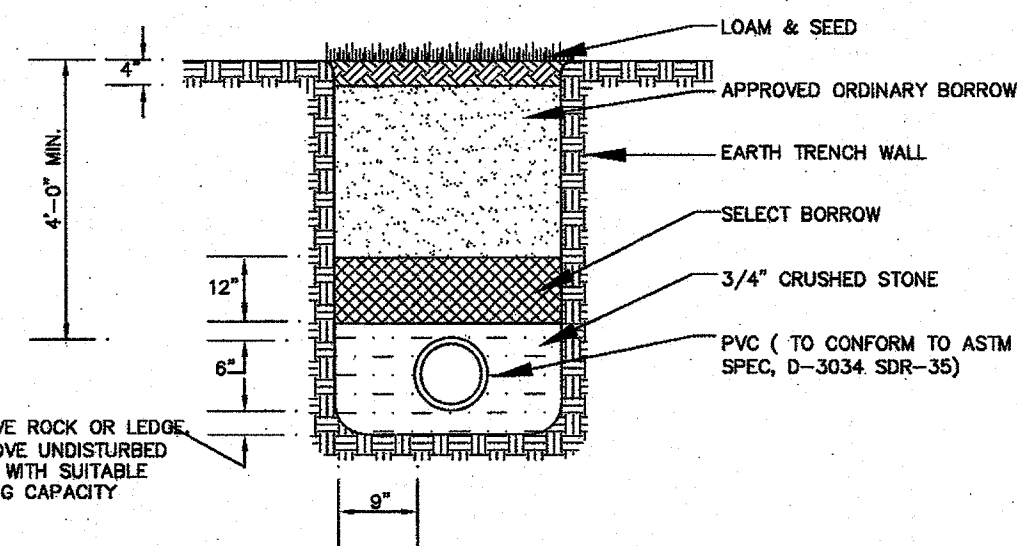
BOLLARD DETAIL

NOT TO SCALE



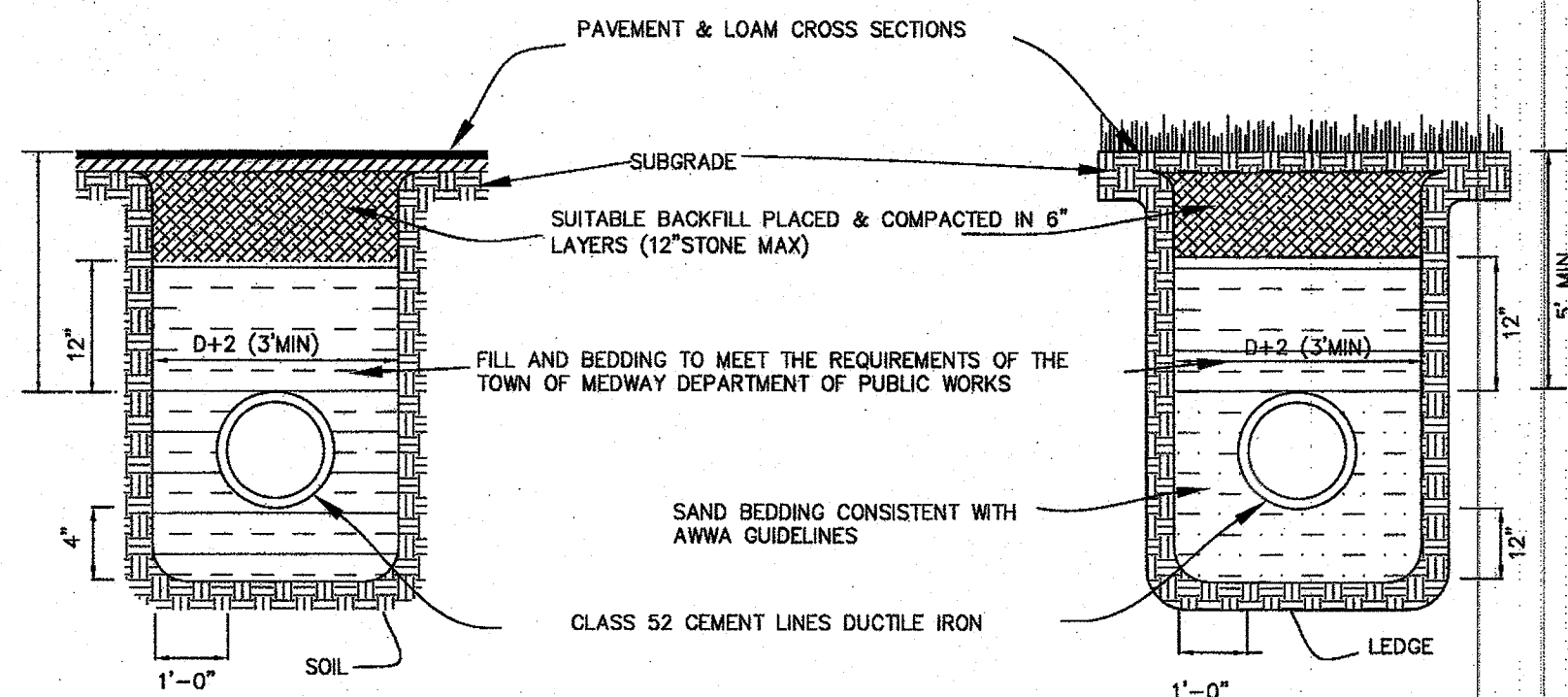
NOTES:
1. AT TIME OF CONSTRUCTION, THE TRENCH IS TO BE BACKFILLED, THEN TOPPED WITH A 12\"/>

TYPICAL TRENCH SECTION FOR REINFORCED CONCRETE PIPE

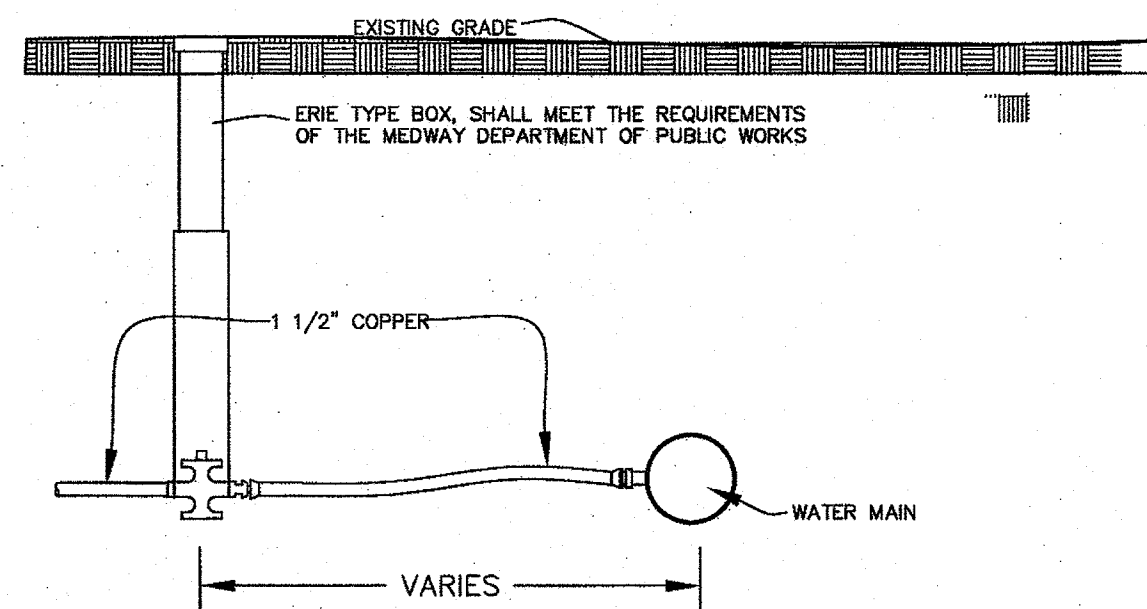


TYPICAL P.V.C. TRENCH SECTION

NOT TO SCALE

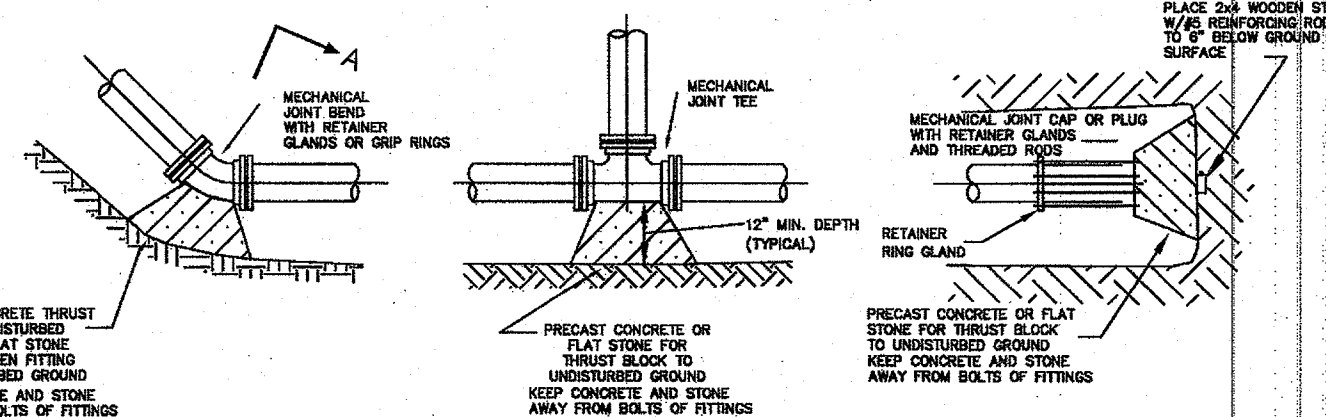


TYPICAL TRENCH SECTION FOR D.I. WATER MAIN (TYPE 5 BEDDING AWWAC-600)

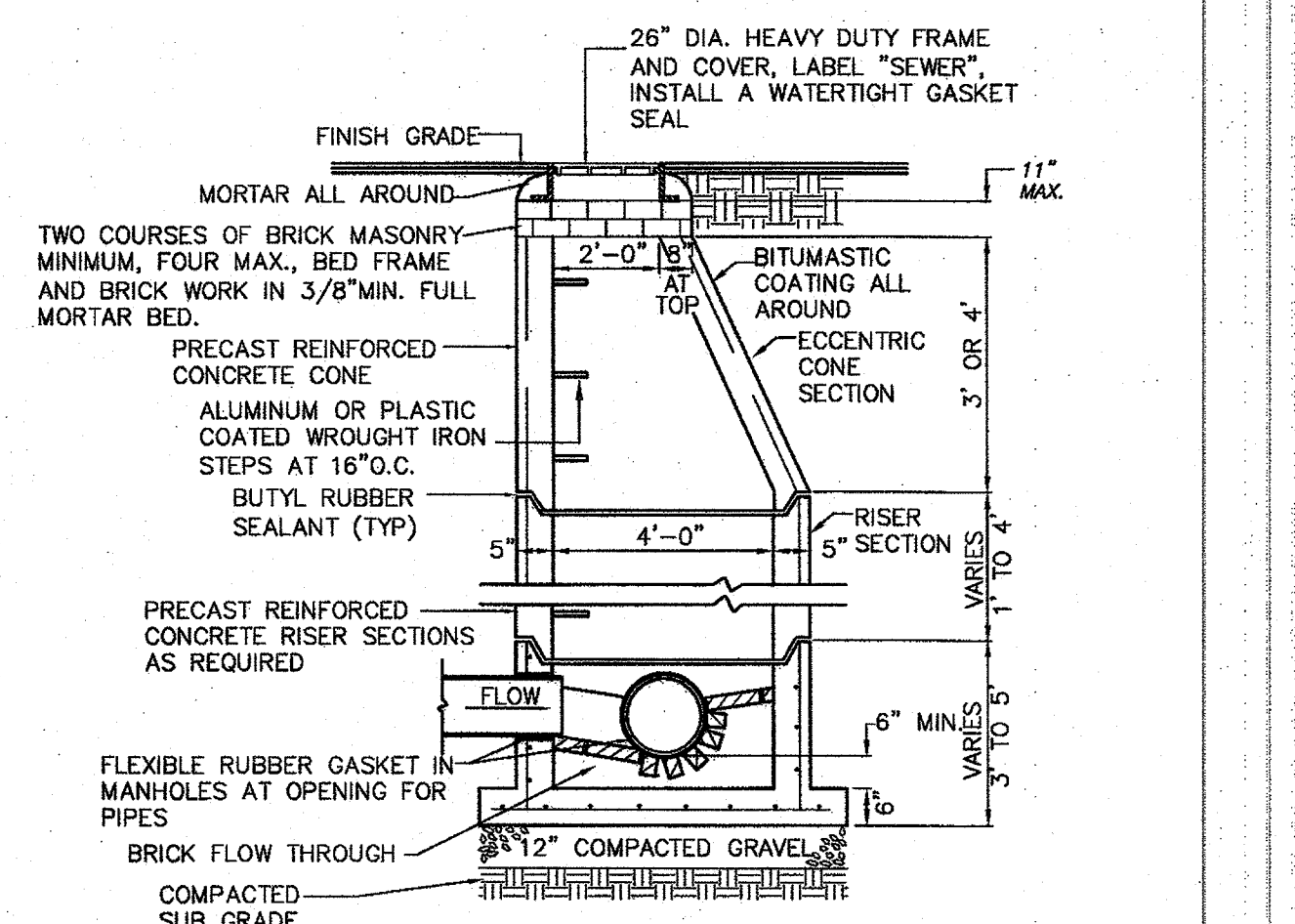


TYPICAL WATER SERVICE CONNECTION

NOT TO SCALE

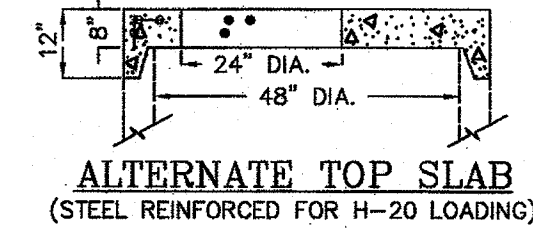


TYPICAL THRUST BLOCK DETAILS

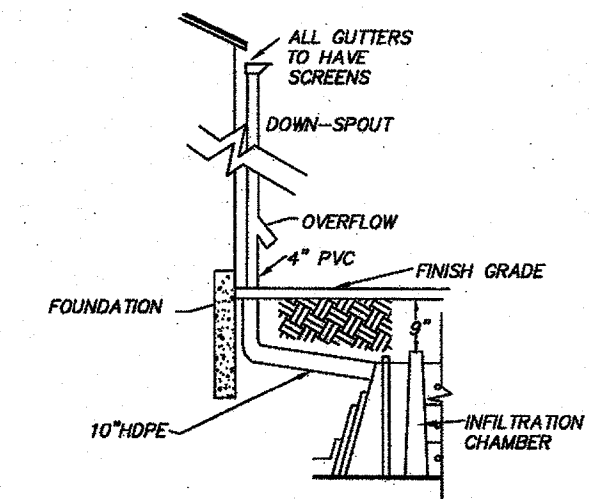


TYP. PRECAST CONCRETE MANHOLE SANITARY

N.T.S.
NOTE:
ALL STRUCTURES SHALL BE SUITABLE FOR H-20 LOADING AND SHALL MEET THE REQUIREMENTS OF ASTM C478.

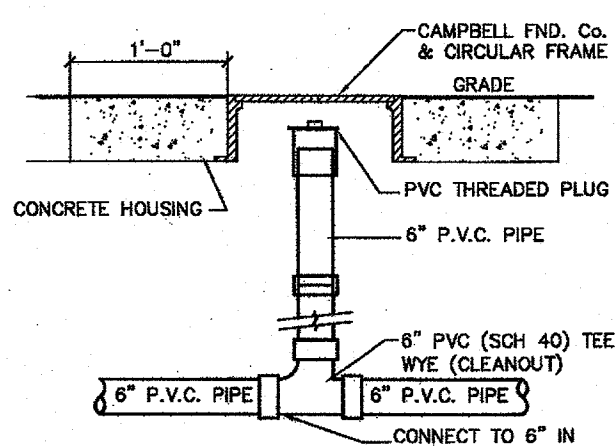


ALTERNATE TOP SLAB (STEEL REINFORCED FOR H-20 LOADING)



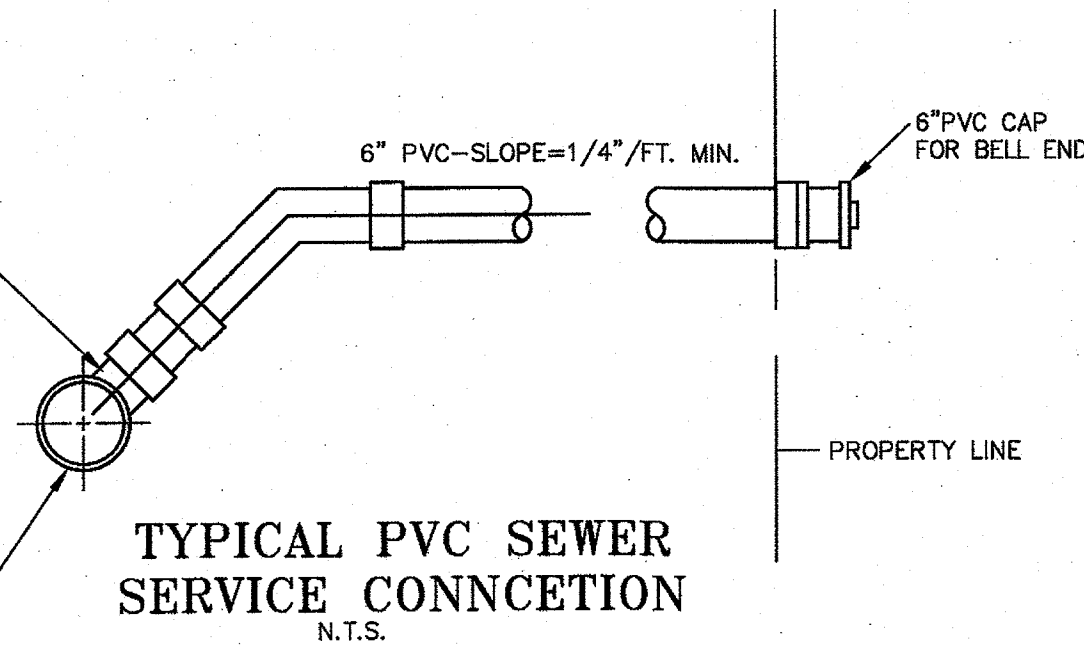
ROOF DRAIN DETAIL

N.T.S.



SEWER CLEANOUT DETAIL

NOT TO SCALE



TYPICAL PVC SEWER SERVICE CONNECTION

N.T.S.

APPROVED BY THE TOWN OF MEDWAY
PLANNING & ECONOMIC DEVELOPMENT BOARD

BOARD MEMBER DATE

LEGAL NOTES

UTILITIES ARE PLOTTED AS A COMPILATION OF RECORD DOCUMENTS, MARKINGS AND OTHER OBSERVED EVIDENCE TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES AND SHOULD BE CONSIDERED APPROXIMATE. ANY EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. ADDITIONAL UTILITIES, NOT EVIDENCED BY RECORD DOCUMENTS OR OBSERVED PHYSICAL EVIDENCE, MAY EXIST. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING AND CALL DIGSAFE AT 1(888)DIG-SAFE(72333).

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

OWNER

FREL REALTY II, LLC
DEED BOOK 27992 PAGE 300
PLAN BK. 515, PG 721 OF 2003
A.M. 41 LOT 8

APPLICANT

LOBISSER COMPANIES
1 CHARLESVIEW ROAD
HOPEDALE, MA 01747

SITE PLAN
86 HOLLISTON STREET
MEDWAY
MASSACHUSETTS

CONSTRUCTION
DETAILS

MARCH 28, 2022

DATE	REVISION DESCRIPTION
6/29/2022	REVISED PER TOWN COMMENTS

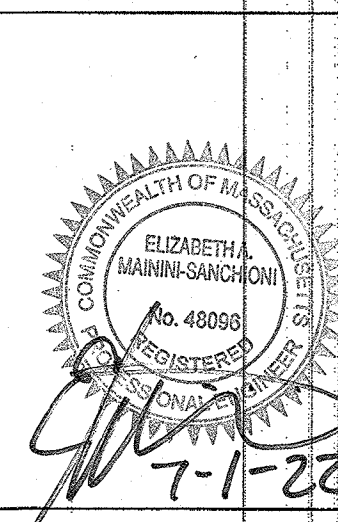
Guerriere & Halnon, Inc.
ENGINEERING & LAND SURVEYING
55 WEST CENTRAL ST. PH. (508) 528-3221
FRANKLIN, MA 02038 FX. (508) 528-7921
www.gandhengineering.com

SHEET 10 OF 12

JOB NO. F4516

REGISTRY USE ONLY

F4516



GENERAL
CULTEC RECHARGER 280HD CHAMBERS ARE DESIGNED FOR UNDERGROUND STORMWATER MANAGEMENT. THE CHAMBERS MAY BE USED FOR RETENTION, RECHARGING, DETENTION OR CONTROLLING THE FLOW OF ON-SITE STORMWATER RUNOFF.

1. THE CHAMBERS WILL BE MANUFACTURED BY CULTEC, INC. OF BROOKFIELD, CT
(203-775-4418 OR 1-800-428-5832)

- GENERAL.**
CULTEC HWLV FC-24 FEED CONNECTORS ARE DESIGNED TO CREATE AN INTERNAL MANIFOLD FOR CULTEC RECHARGER 220HD STORMWATER CHAMBERS.

2. THE CHAMBER SHALL BE VACUUM THERMOFORMED OF HIGH MOLECULAR WEIGHT P (HIMANPE) WITH A BLACK INTERIOR AND BLUE EXTERIOR.

- CULTEC NO. 4800™ WOVEN GEOTEXTILE**
- CULTEC NO. 4800 WOVEN GEOTEXTILE IS DESIGNED AS A UNDERLAYMENT TO PREVENT SCOURING CAUSED BY WATER MOVEMENT WITHIN THE CULTEC CHAMBERS AND FEED CONNECTORS UTILIZING THE CULTEC MANIFOLD FEATURE. IT MAY ALSO BE USED AS A COMPONENT OF THE CULTEC SEPARATOR ROW TO ACT AS A BARRIER TO PREVENT SOIL/CONTAMINANT INTRUSION INTO THE STONE WHILE ALLOWING FOR MAINTENANCE.

1. THE GEOTEKSTILE SHALL BE PROVIDED BY CLUTEC, INC. OF BROOKFIELD, CT. (203-775-4416 OR 1-800-428-3932)
2. THE GEOTEKSTILE SHALL BE BLACK IN APPEARANCE.
3. THE GEOTEKSTILE SHALL HAVE A TENSILE STRENGTH OF 550 X 550 LBS (2,448 X 2,448) PER ASTM D4632 TESTING METHOD.
4. THE GEOTEKSTILE SHALL HAVE A ELONGATION @ BREAK RESISTANCE OF 20 X 20% PER ASTM D4632 TESTING METHOD.
5. THE GEOTEKSTILE SHALL HAVE A WIDE WIDTH TENSILE RESISTANCE OF 5,070 X 5,070 LBS/FT (74 X 74 KMN) PER ASTM D4595 TESTING METHOD.
6. THE GEOTEKSTILE SHALL HAVE A WIDE WIDTH TENSILE RESISTANCE @ 2% STRAIN OF 960 X 1,09 LBS/FT (14 X 16 KMN) PER ASTM D4595 TESTING METHOD.
7. 2,620 X 2,620 LBS (11,700 X 11,700) PER WIDTH TENSILE RESISTANCE @ 3% STRAIN OF 420 X 420 LBS/FT (60 X 60 KMN) PER ASTM D4595 TESTING METHOD.
8. THE GEOTEKSTILE SHALL HAVE A WIDE WIDTH TENSILE RESISTANCE @ 10% STRAIN OF 4,800 X 4,800 LBS/FT (70 X 70 KMN) PER ASTM D4595 TESTING METHOD.
9. THE GEOTEKSTILE SHALL HAVE A CIRC PUNCTURE RESISTANCE OF 1,700 LBS (7,560 N) PER ASTM D6241 TESTING METHOD.
10. THE GEOTEKSTILE SHALL HAVE A TRAPEZOIDAL, TEAR RESISTANCE OF 180 X 180 LBS (801 X 801 N) PER ASTM D6241 TESTING METHOD.
11. THE GEOTEKSTILE SHALL HAVE AN APPARENT OPENING SIZE OF 40 STD. SIEVE (.425 MM) PER ASTM D4751 TESTING METHOD.
12. THE GEOTEKSTILE SHALL HAVE A PERMITTIVITY RATING OF 0.15 SEC-1 PER ASTM D4941 TESTING METHOD.
13. THE GEOTEKSTILE SHALL HAVE A WATER FLOW RATING OF 1.5 GPM/FT² (470 LPM/MT²) PER ASTM D4941 TESTING METHOD.
14. THE GEOTEKSTILE SHALL HAVE A UV RESISTANCE OF 80% @ 500 HRS. PER ASTM D4335 TESTING METHOD.

SMALL RIB	LARGE RIB
MODEL 280SHD STARTER	
SMALL RIB	LARGE RIB
MODEL 280IHD INTERMEDIATE	
SMALL RIB	LARGE RIB
MODEL 280EHD END	
SMALL RIB	LARGE RIB

6.0' [150 mm] DIA
INSPECTION PORT KNOCK-OUT

47.0' [1194 mm]

96.0' [2438 mm]

MAXIMUM PIPE SIZE IN END WALL:
21' [525 mm] HDPE
21' [525 mm] PVC

9.0' [229 mm]

26.5' [673 mm]

35.0' [889 mm]

47.0' [1194 mm]

84.0' [2134 mm] INSTALLED LENGTH =

42.0' [1066 mm]

42.0' [1066 mm]

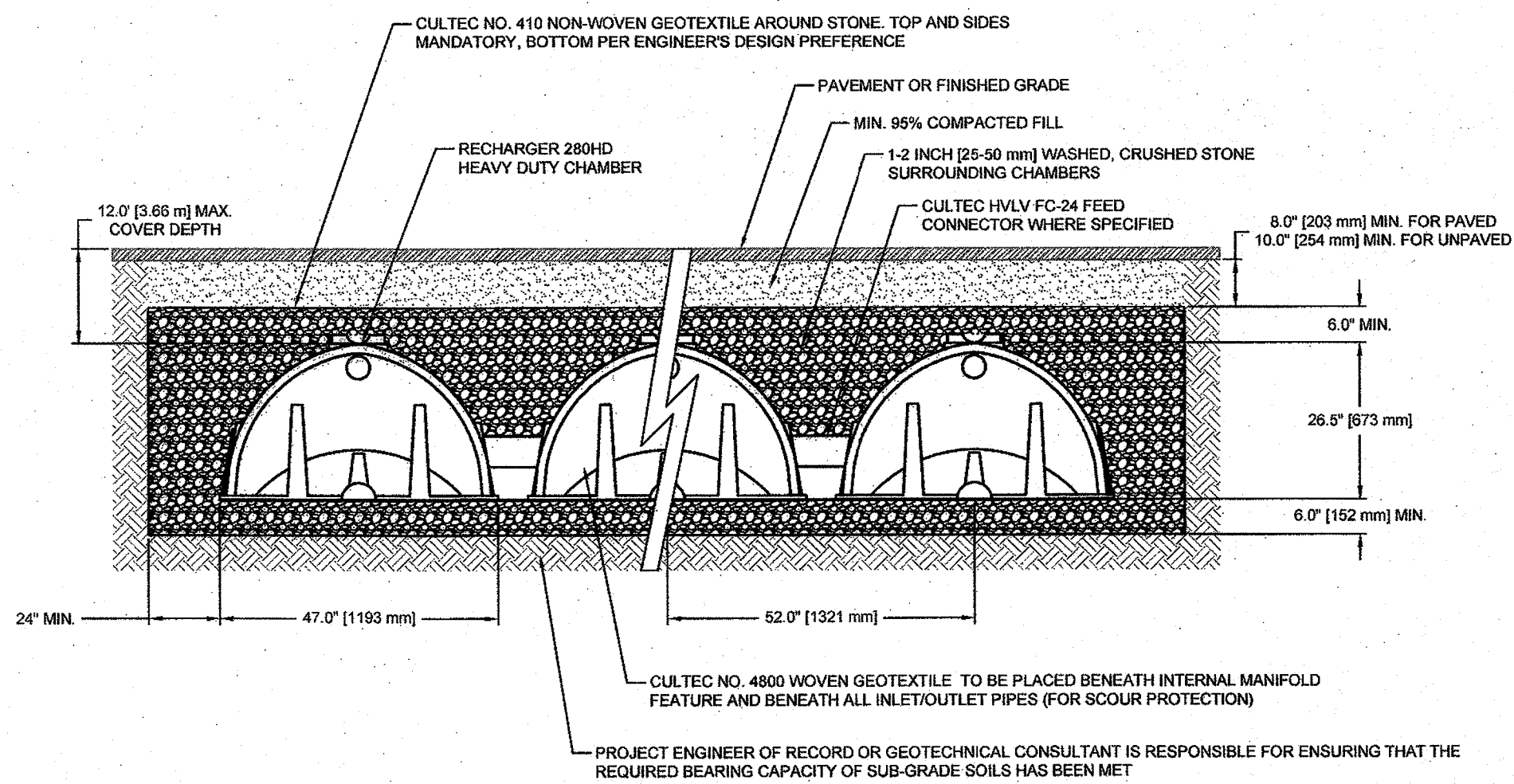
SMALL RIB

LARGE RIB

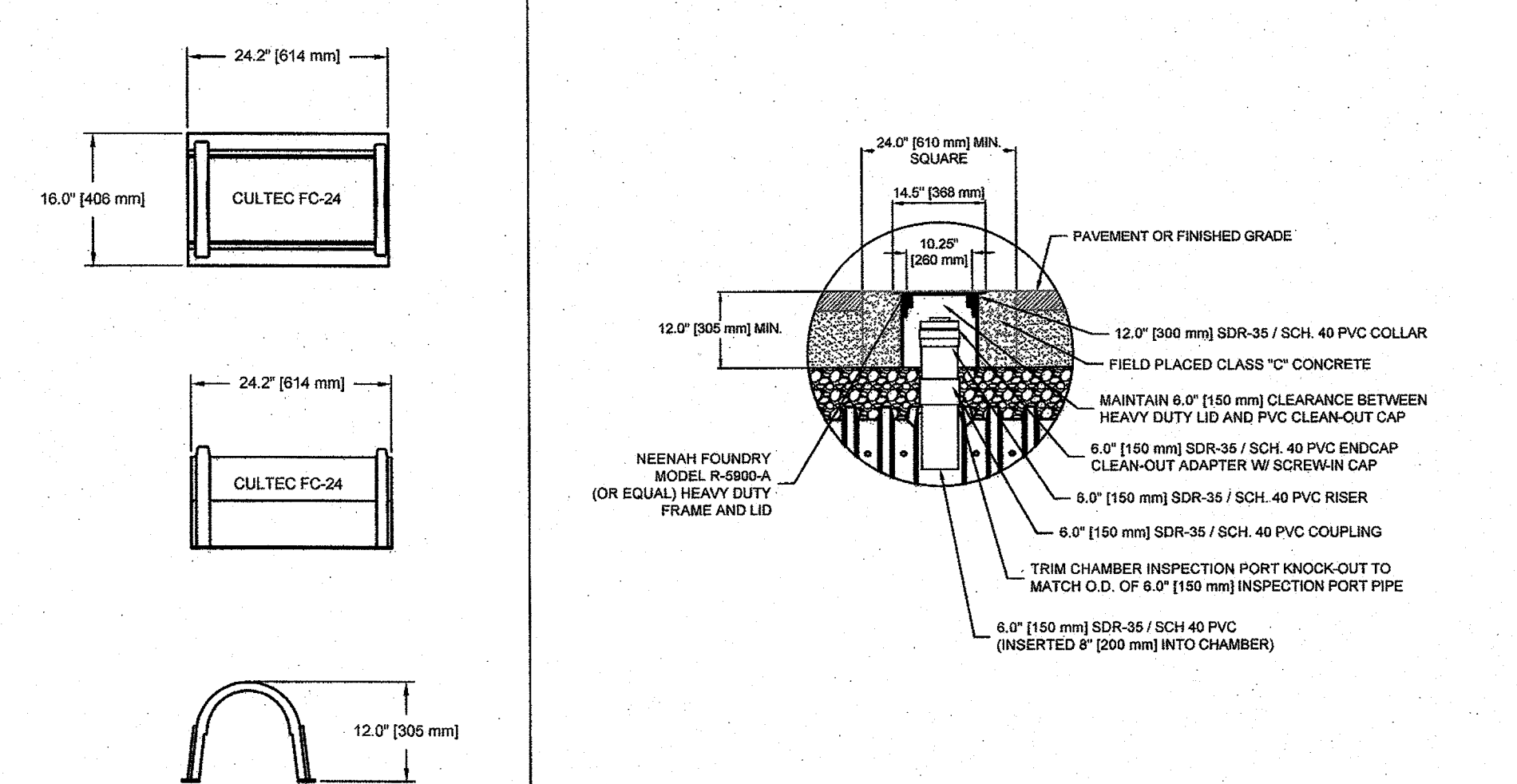
SIDE PORTAL FOR OPTIONAL INTERNAL MANIFOLD
(ACCOMMODATES CULTECH HVLV FC-24 FEED CONNECTOR
OR STORM PIPE)
MAX. PIPE
10" [250 mm] HDPE
12" [300 mm] PVC

CULTECH RECHARGER 280-HD CHAMBER STORAGE = 6.079 CF/FT [0.565 m³/m]

280HD
2.0



280HD
4.0



280HD
70

FEED CONNECTOR THREE VIEW

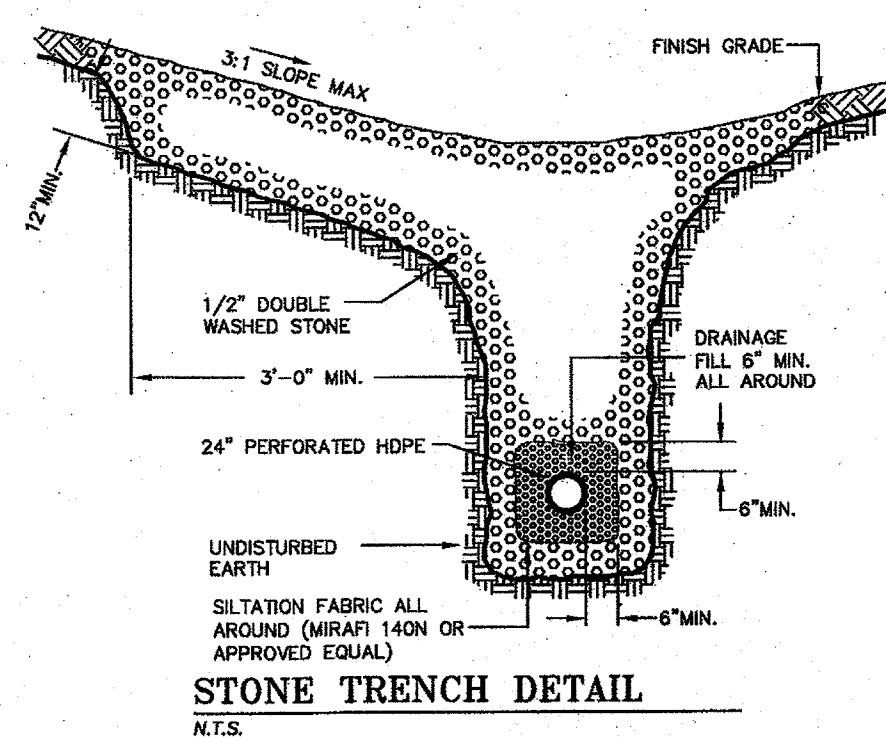
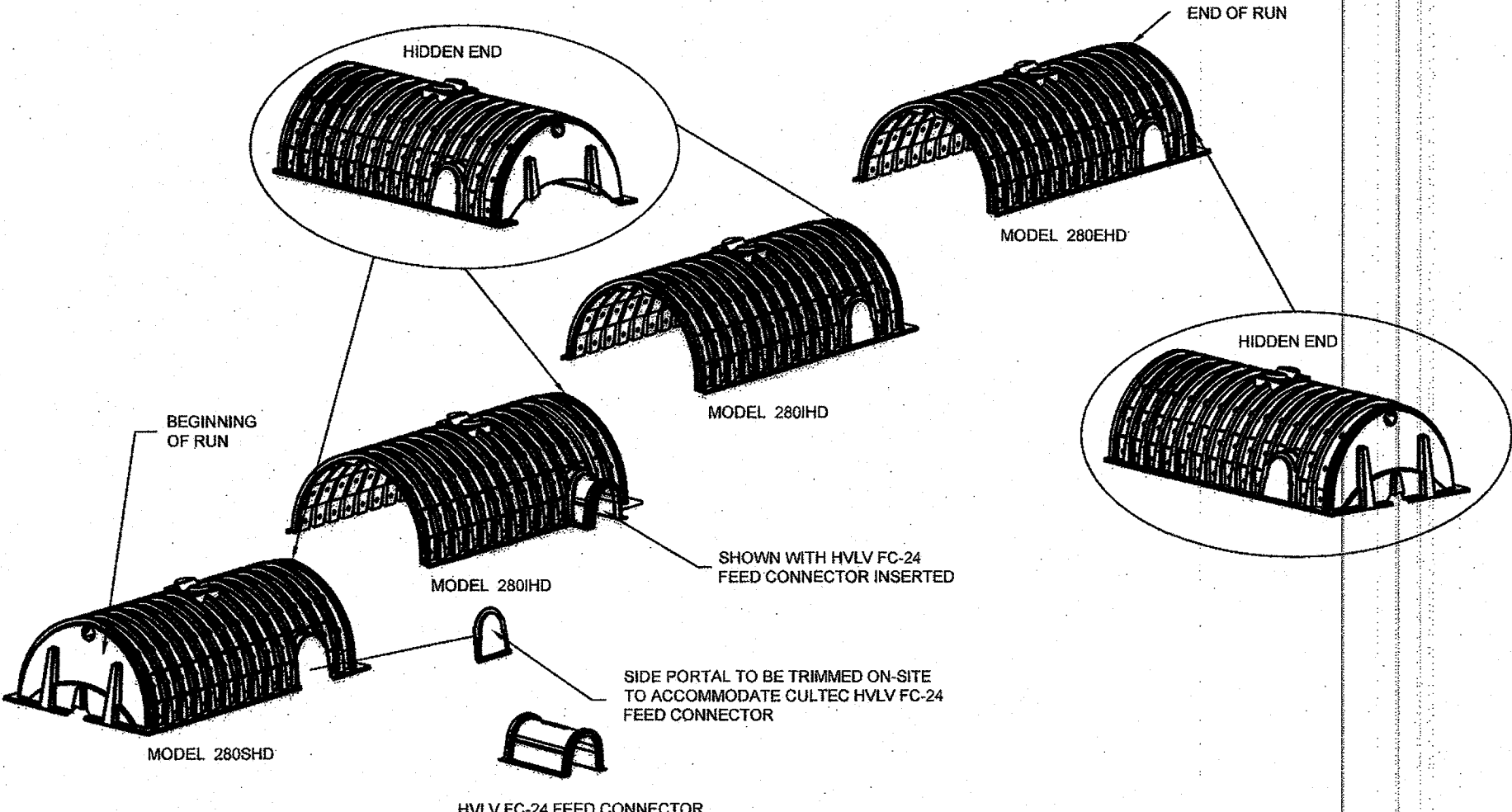


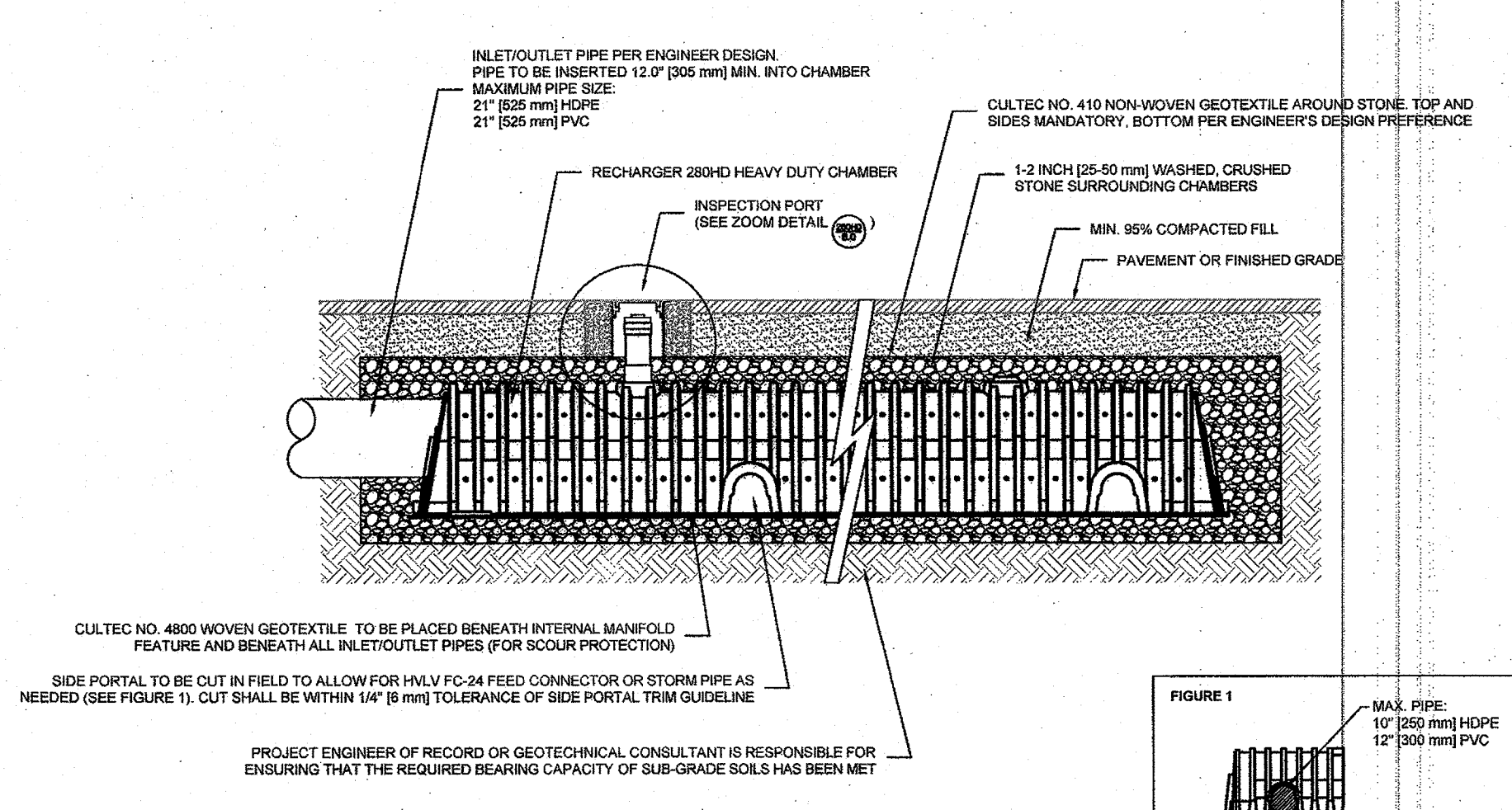
Diagram illustrating the cross-section of a weir structure. Key features and elevations are labeled:

- FINISHED GRADE
- RIM EL.=213.30
- 5.0'
- WEIR EL.=211.25
- 3x 9" ORIFICES
- INV.=208.60
- INV.=208.60
- INV. OUT.=208.50

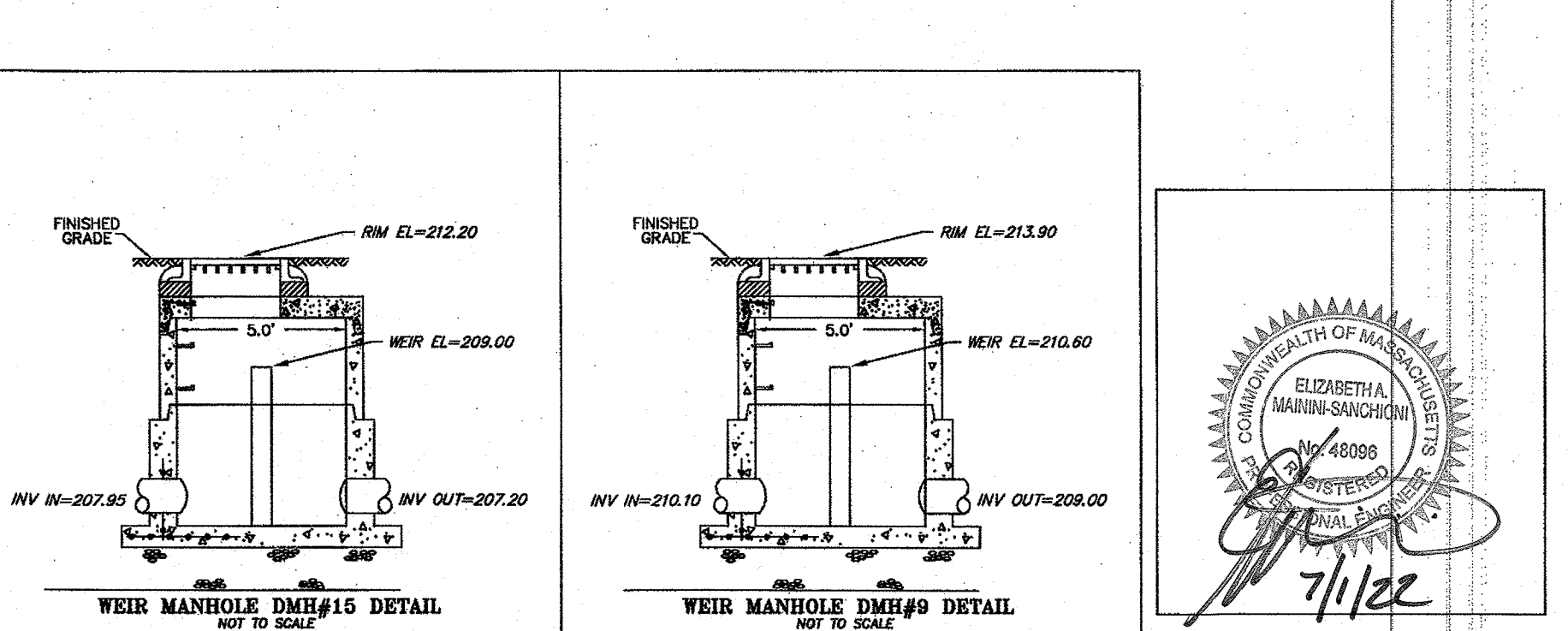
	LARGE RIB END DETAIL		SMALL RIB END DETAIL
MODEL 280RHD STARTER UNITS ARE USED AS SINGLE STAND ALONE SECTIONS.		MODEL RHD	
MODEL 280SHD STARTER UNITS ARE USED TO BEGIN A LINE.		MODEL SHD	
MODEL 280IHD INTERMEDIATE UNITS ARE USED AS MIDDLE SECTIONS TO EXTEND THE LENGTH OF A LINE.		MODEL IHD	
MODEL 280EHD END UNITS ARE USED TO END THE LENGTH OF A LINE.		MODEL EHD	

$$\left(\frac{280\text{HD}}{3.0} \right)$$


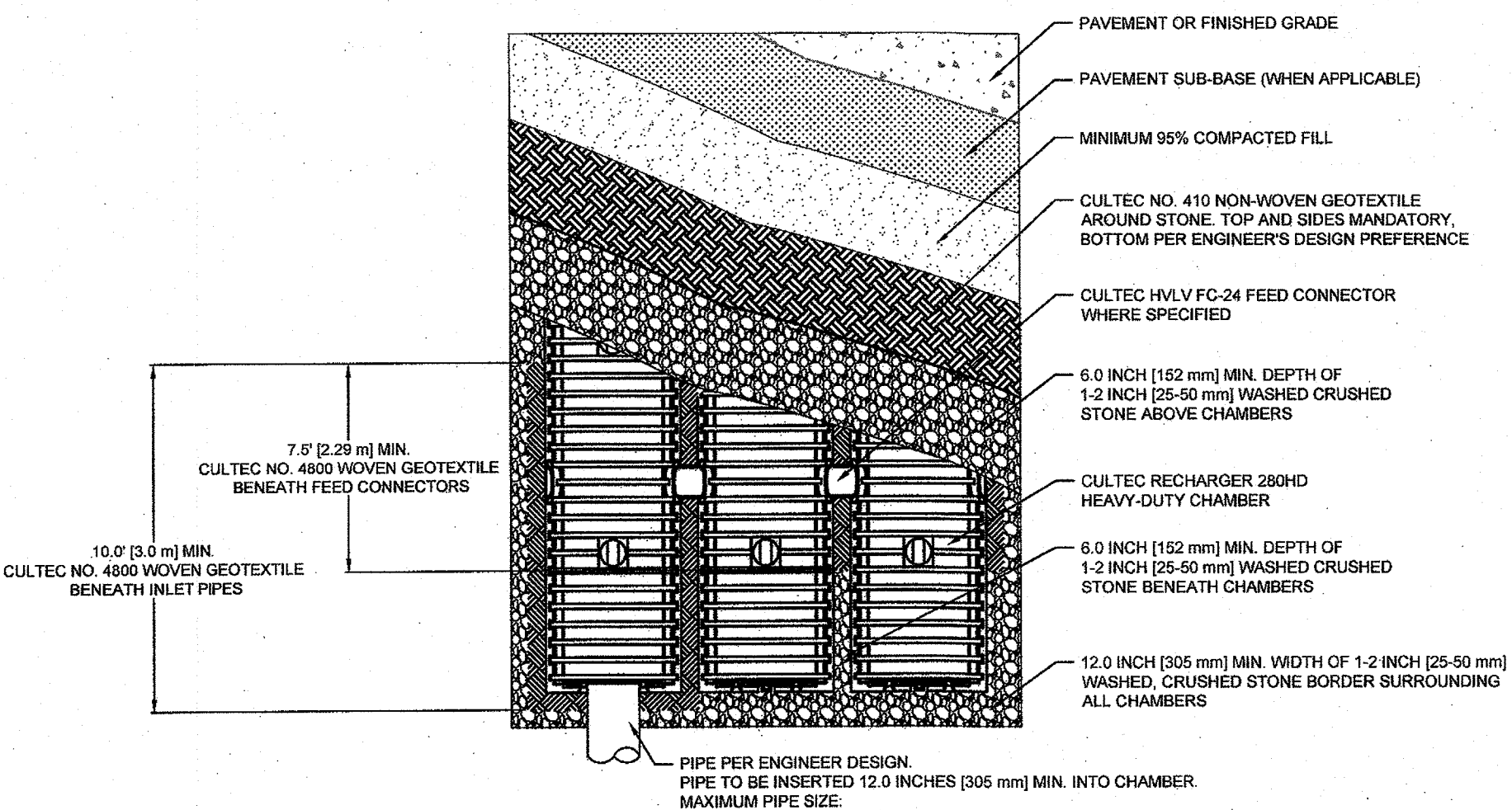
280HE
5.0



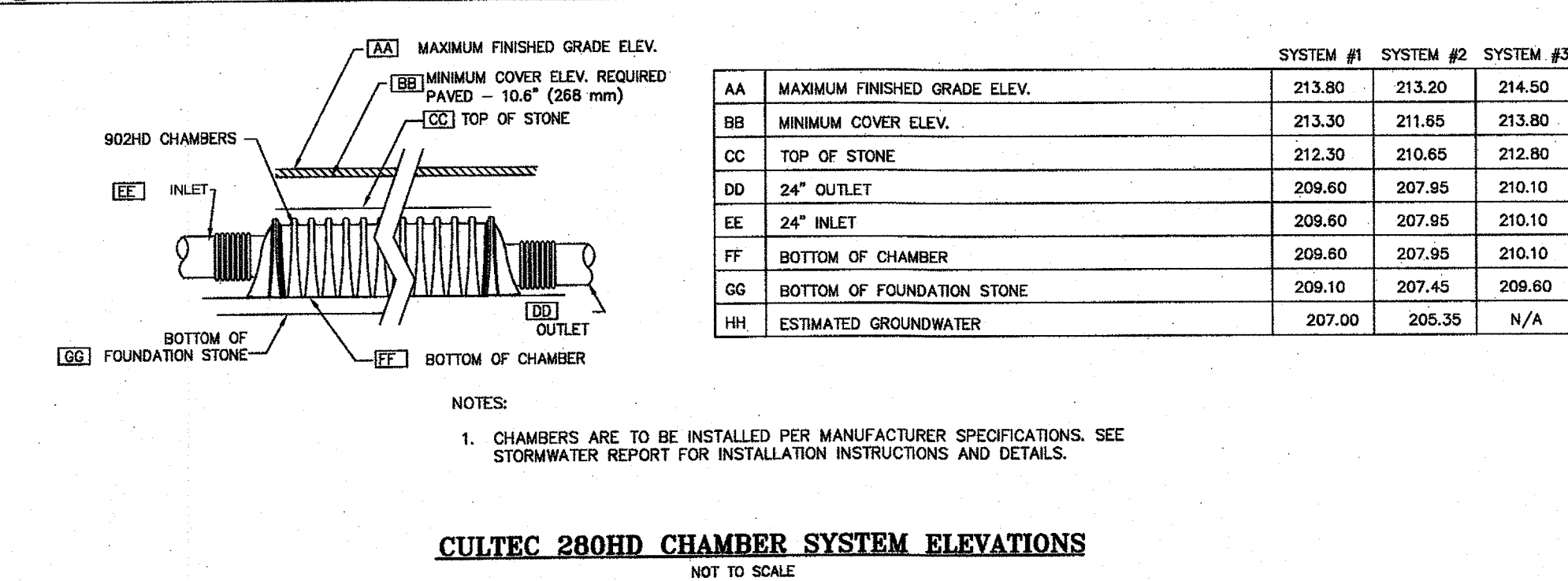
280H
9.0



280HD
10



280HD



APPROVED BY THE TOWN OF MEDWAY
PLANNING & ECONOMIC DEVELOPMENT BOARD

BOARD MEMBER	DATE
--------------	------

UTILITIES ARE PLOTTED AS A COMPILATION OF RECORD DOCUMENTS, MARKINGS AND OTHER OBSERVED EVIDENCE TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES AND SHOULD BE CONSIDERED APPROXIMATE. MARKING EXCAVATIONS IN THE SAME LOCATION UNDERGROUND UTILITIES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. ADDITIONAL UTILITIES, NOT EVIDENCED BY RECORD DOCUMENTS OR OBSERVED PHYSICAL EVIDENCE, MAY BE LOST. CONTRACTORS (IN ACCORDANCE WITH MARYLAND CHAPTER 22, SECTION 2-201 OF THE SUBSTRUCTURE AND CONSTRUCTION ARTICLE) SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITIES COMPANIES BEFORE EXCAVATING AND DRILLING AND CALL DIGSAFE AT 1(888)DIG-SAFE(7233).

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY
EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS
RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY
BE REVEALED BY AN EXAMINATION OF THE TITLE.

OWNER

FREIL REALTY II, LLC
DEED BOOK 27992 PAGE 300
PLAN BK. 515, PG 721 OF 2003
A.M. 41 LOT 8

APPLICANT

LOBISSER COMPANIES
1 CHARLESVIEW ROAD
HOPE DALE, MA 01747

**SITE PLAN
86 HOLLISTON STREET
MEDWAY
MASSACHUSETTS**

CONSTRUCTION DETAILS

MARCH 28, 2022

DATE	REVISION DESCRIPTION
6/29/2022	REVISED PER TOWN COMMENTS



**Guerriere &
Halnon, Inc.**

ENGINEERING & LAND SURVEYING
55 WEST CENTRAL ST. PH. (508) 528-3221
FRANKLIN, MA 02038 FX. (508) 528-7921
www.gandhengineering.com

SHEET 11 OF 12

JOB NO. **F4516**

