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APPROVED BY PLANNING BOARD
DATE: 4-25-2017

MEDWAY GREENS
MULTIFAMILY HOUSING SPECIAL PERMIT SITE PLAN
176 & 178 MAIN STREET
MEDWAY, MASSACHUSETTS

ZONING TABLE-VILLAGE RESIDENTIAL DISTRICT

	REQUIRED	PROPOSED
LOT AREA	22500	26136
LOT FRONTAGE	150	274+
LOT WIDTH	NA	220+
FRONT SETBACK	35	15.8
SIDE SETBACK	15	30
REAR SETBACK	15	34
BLDG. HT.	NA	--
LOT COVERAGE (BUILDINGS)	30%	22.1%
LOT COVERAGE (IMPERVIOUS)	40%	58.2%
PARKING	1.5/UNIT	2/UNIT

OWNER:
176 MAIN STREET REALTY TRUST
57 DRAPER ROAD
DOVER, MA 02030

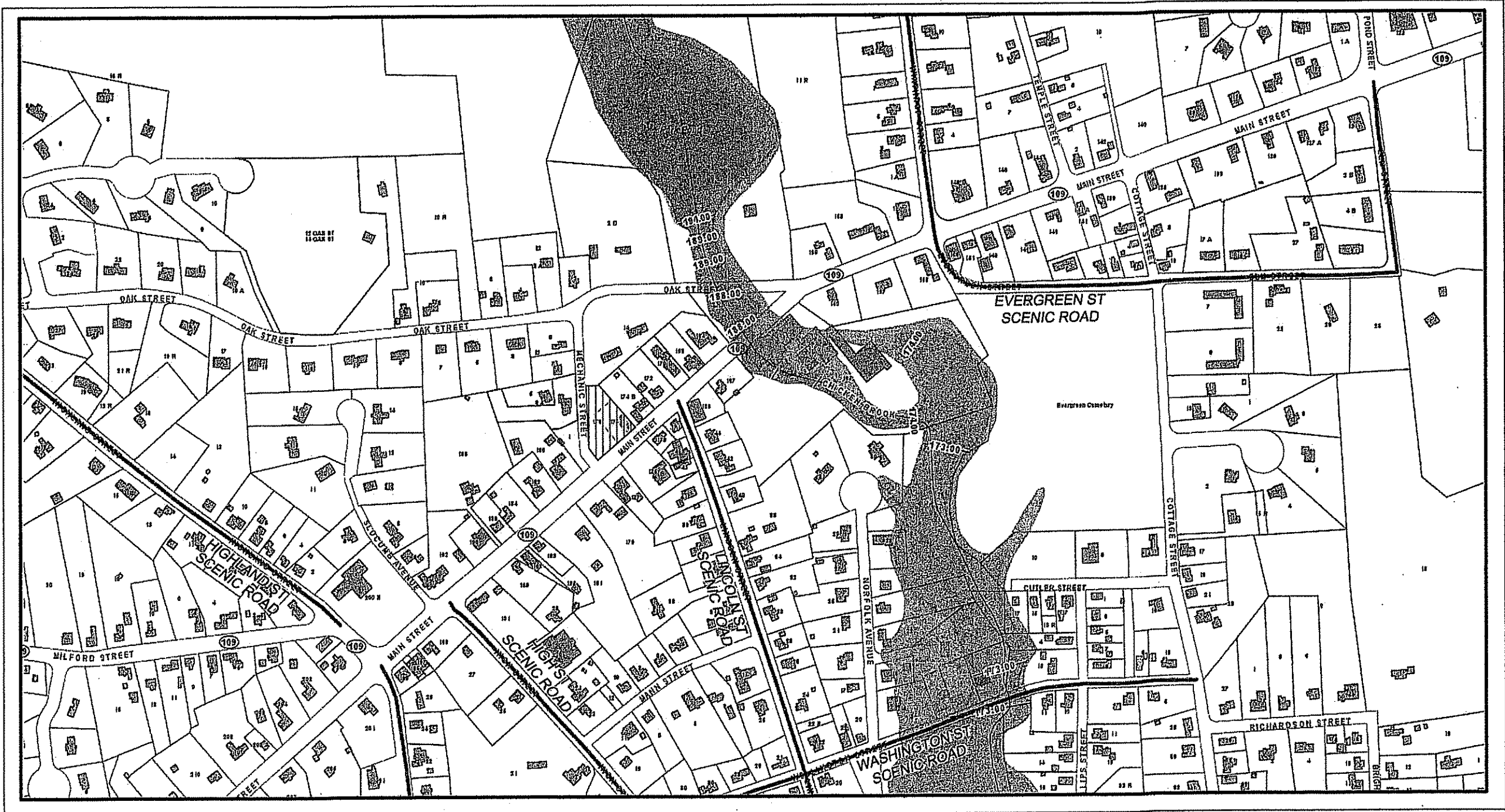
APPLICANT/DEVELOPER:
176 MEDWAY LLC
57 DRAPER ROAD
DOVER MA 02030

ARCHITECT:
SFG STUDIOS
278 ELM STREET
SUITE 226
SOMERVILLE MA 02144

LANDSCAPE DESIGN:
HAMMER+WALSH DESIGN INC.
281 SUMMER STREET
BOSTON MA 02210

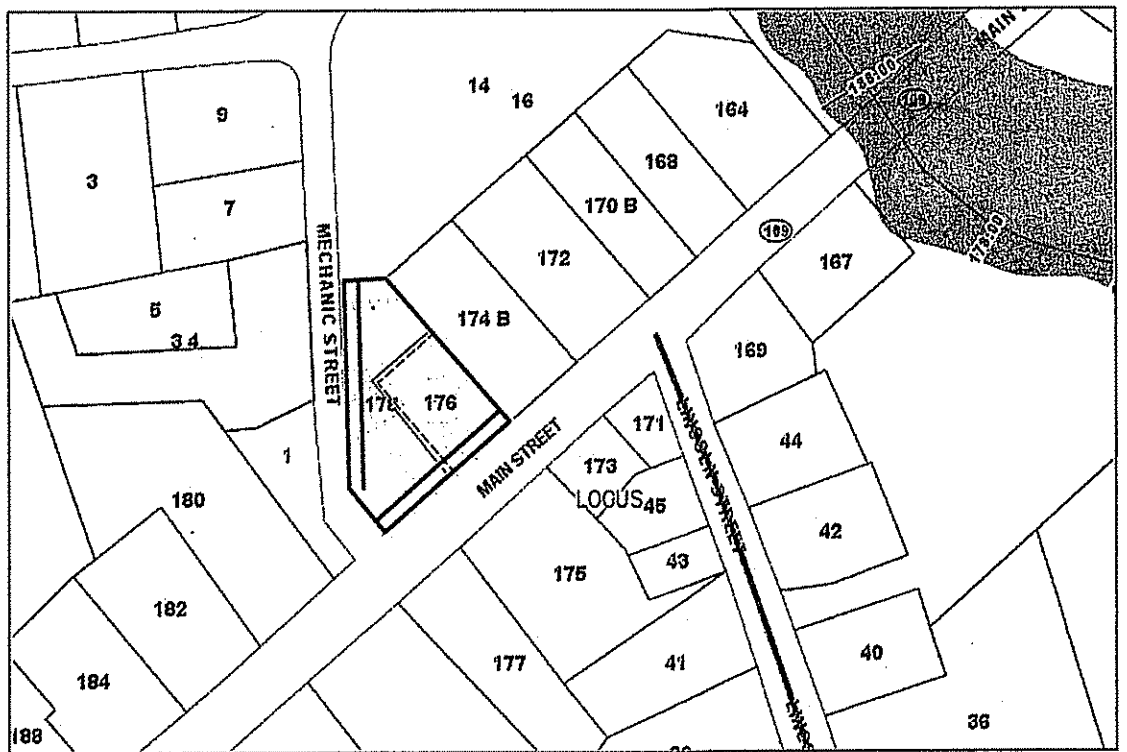
SURVEY:
CHENEY ENGINEERING CO, INC.
53 MELLEEN STREET
NEEDHAM MA 02494

ENGINEER:
RONALD TIBERI P.E.
9 MASSACHUSETTS AVE.
NATICK MA 01760



LOCUS MAP
1" = 400'

PARCELS ONE & TWO
176 & 178 MAIN STREET
ASSESSING ID: 47 - 34 & 36
ZONE: VILLAGE RESIDENTIAL
DISTRICT
0.6+ ACRES



ABUTTERS LOCUS MAP
1" = 200'

MULTIFAMILY HOUSING TABLE

	REQUIRED	PROPOSED
LOT AREA	22500	26136
LOT FRONTAGE	50	274+
UNIT DENSITY	8	8
AFFORDABLE UNITS	1	1
BLDG. HT.	40'	33'
OPEN SPACE	15%	24%
PARKING SPACES	16	16

PLAN INDEX

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COLOR RENDERING	A 3.3

Waivers APPROVED -

AUOD, Section 5.6.2

Section 504-48 - Requirement for bicycle parking.
Bicycle parking is anticipated to be within the unit
garages.

Site Plan Regulations

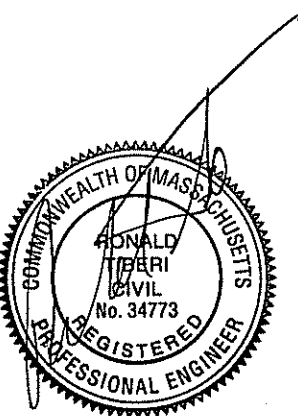
Section 204-5 C (3) Existing landscape
inventory. Existing landscaping not inventoried.

Section 205-3 C (1) Requirement for 2% grade for
25' at entrance. The existing curb cut at mechanic
street is constrained by the existing grades and
therefore is requested as a One Way entrance only

Section 205-6 H Granite Curbing requirement.
Proposed curbing is concrete and drainage is
predicated as sheet flow to vegetated trench in
parking area without curbing

Section 205-6 I Travel Lanes 24' wide, due to tight
site conditions, travel lanes are reduced to 20', and
parking located only on one side on the travel
lane.

Section 205-9 Parking Shade trees- due to site
constraints and drainage swale at parking areas
Shade trees will not fit.



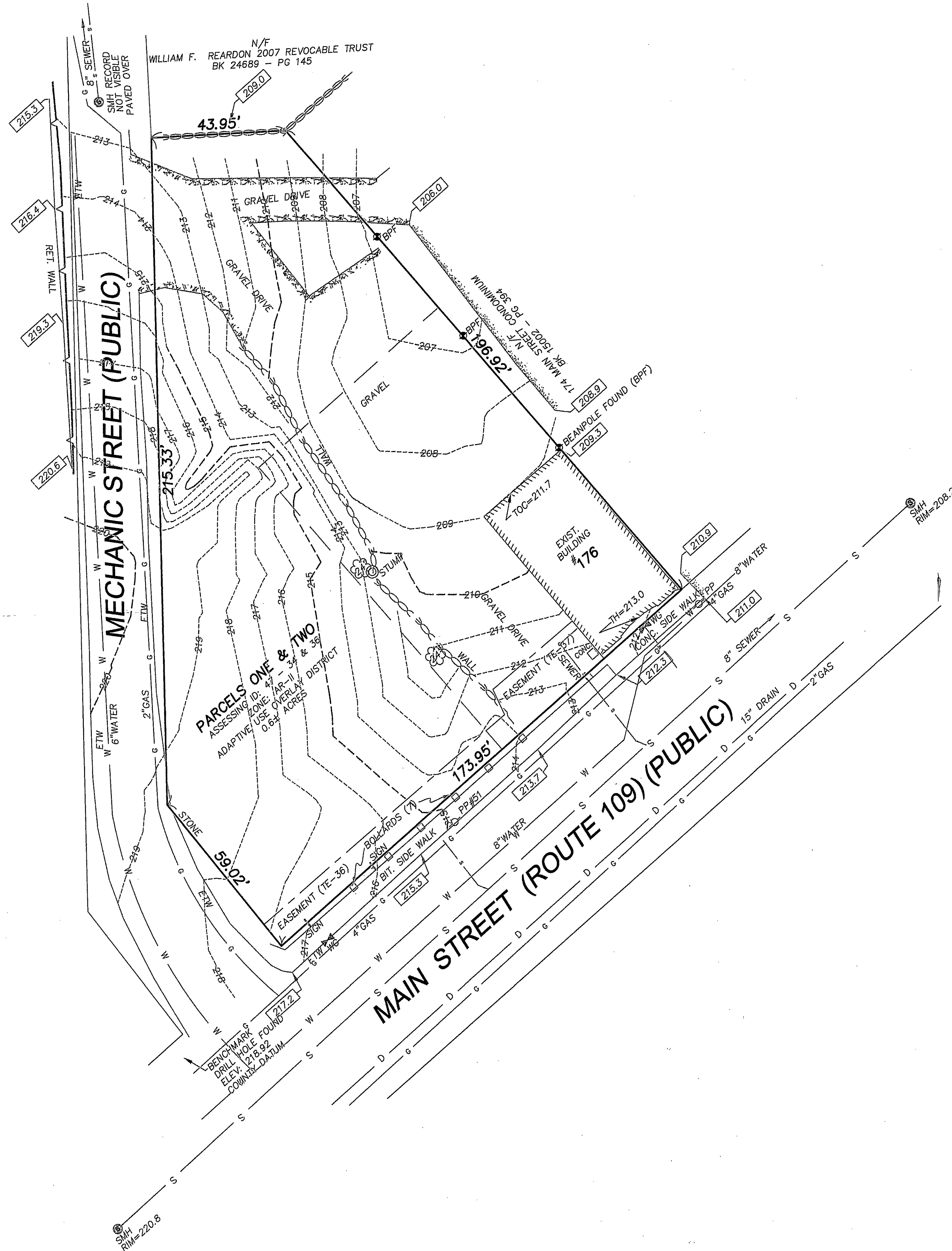
DATE ISSUED:
December 18, 2016

DATE REVISED:
JANUARY 23, 2017
MARCH 7, 2017
MARCH 31, 2017

LEGEND

BIT. BITUMINOUS
ETW EDGE OF TRAVELED WAY
F.F. FINISHED FLOOR
GG GAS GATE
INV. INVERT
PP POWER POLE
SMH SEWER MANHOLE
GAR. GARAGE
TH THRESHOLD
T.O.C. TOP OF CONCRETE
-100- EXISTING CONTOUR

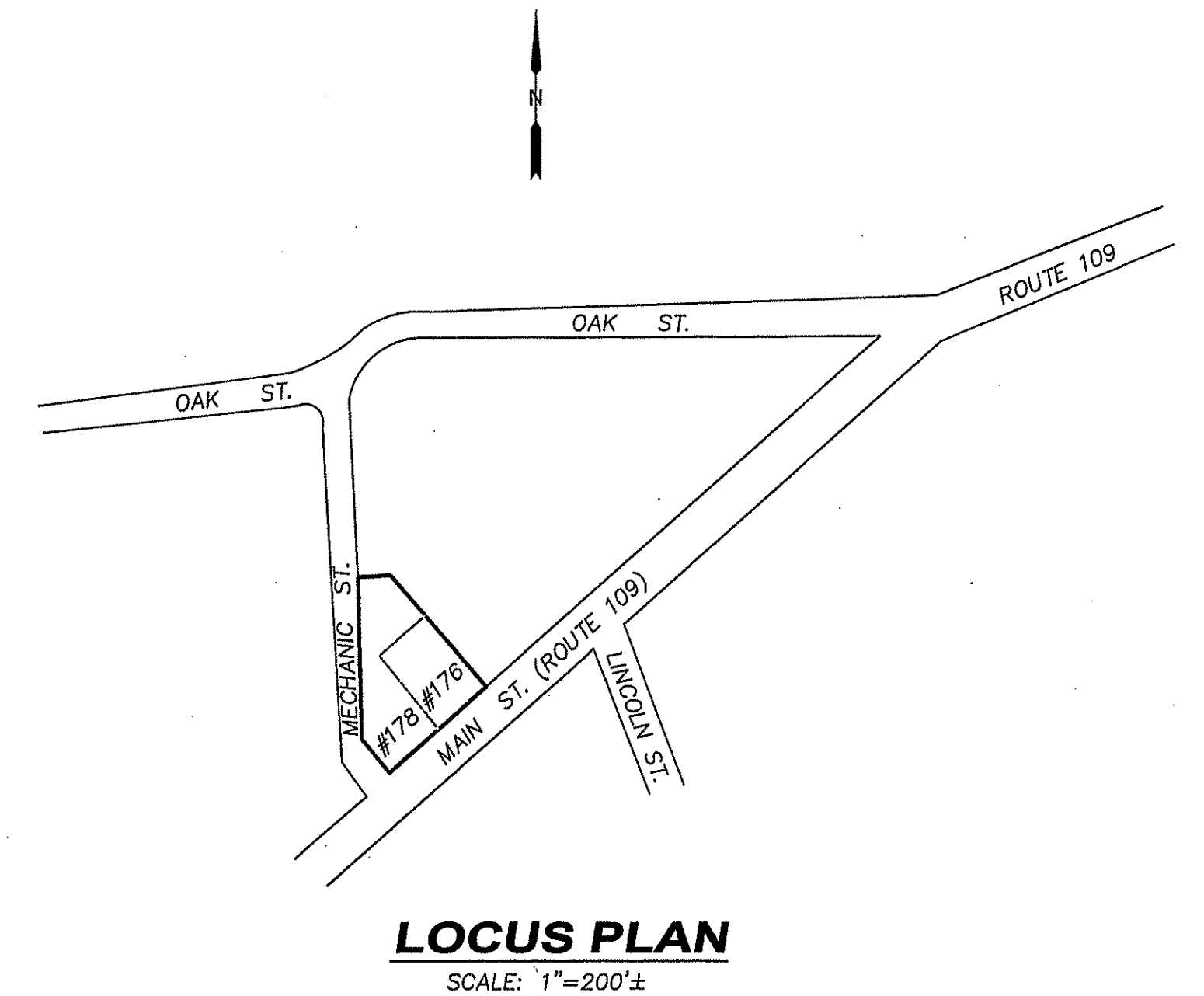
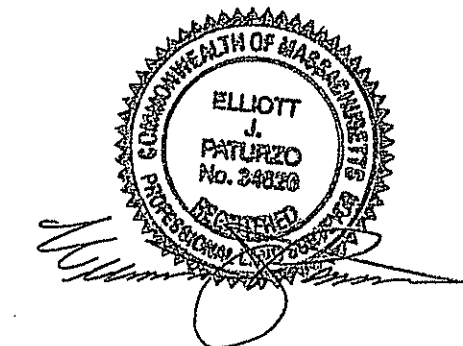
PLBK 598 - PLNO. 57



NOTES:

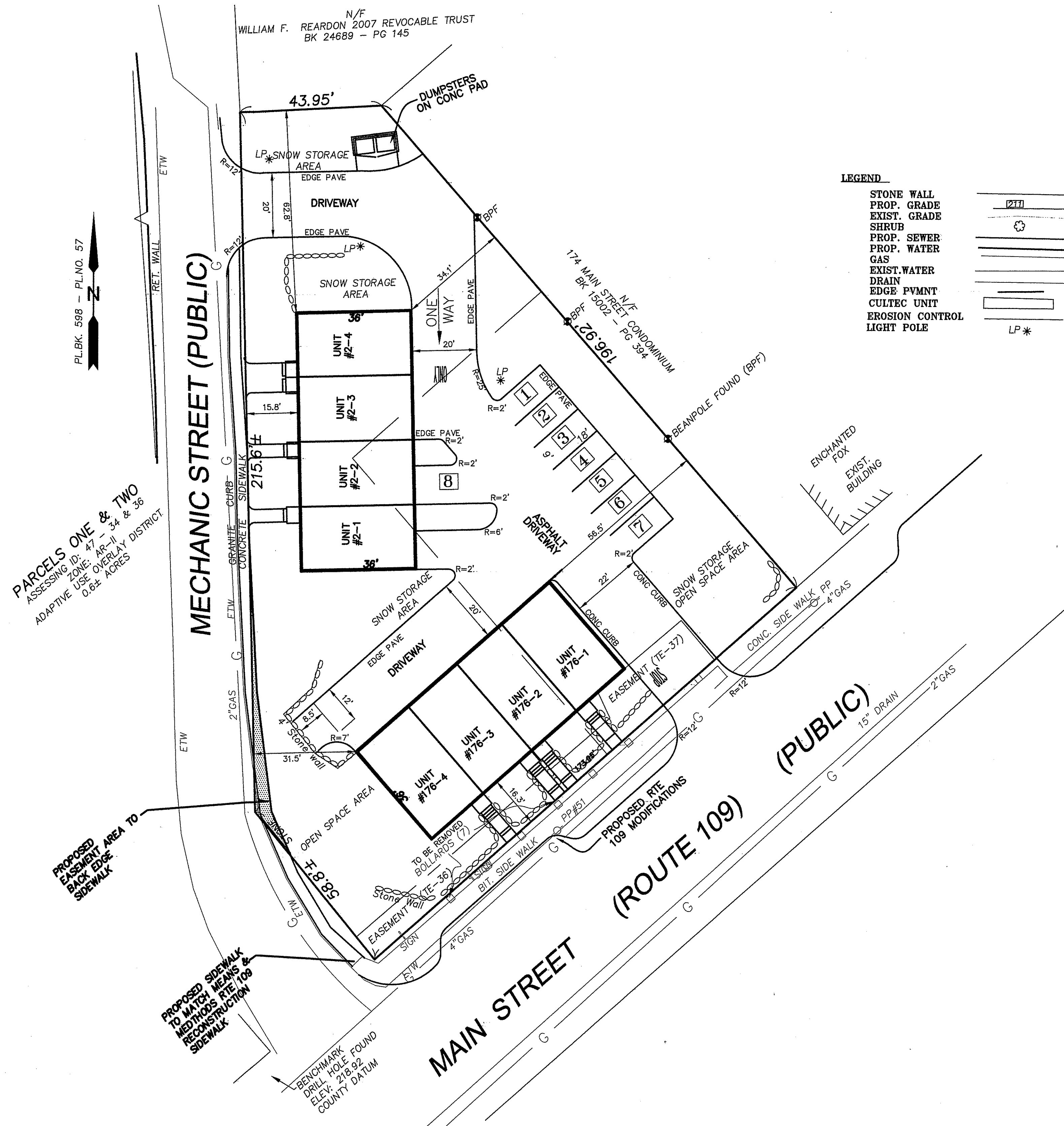
1. SUBJECT TO ANY STATEMENT OF FACT AN UP-TO -DATE ABSTRACT OF TITLE WOULD DISCLOSE.
2. SUBJECT TO ALL RIGHTS, EASEMENTS, COVENANTS OR RESTRICTIONS OF RECORD.
3. UNDERGROUND UTILITIES, STRUCTURES AND FACILITIES, IF ANY, HAVE BEEN SHOWN FROM SURFACE LOCATIONS AND MEASUREMENTS OBTAINED FROM A FIELD SURVEY AND RECORD LOCATIONS, THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHER UTILITIES WHICH THE EXISTENCE OF ARE NOT KNOWN, SIZE, TYPE AND LOCATION OF ALL UTILITIES AND STRUCTURES MUST BE VERIFIED BY PROPER AUTHORITIES PRIOR TO ANY AND ALL CONSTRUCTION. CALL TOLL FREE, DIG SAFE CALL CENTER AT 1-888-3444-7233 SEVENTY-TWO HOURS PRIOR TO ANY EXCAVATION.

I CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY BY: "CHENEY ENGINEERING CO., INC" AND THE LATEST PLANS AND DEEDS OF RECORD.



Handwritten signatures and stamps:
APPROVED BY PLANNING BOARD
DATE: 4-25-2017

REVISIONS		
No.	DATE	DESCRIPTION
1.	2/1/2017	TOWN COMMENTS
EXISTING CONDITIONS		
SITE PLAN		
IN		
MEDWAY, MASSACHUSETTS		
176 MAIN STREET		
PREPARED FOR:	176 MAIN STREET LLC 12 HAVEN STREET DOVER MA	
DRAWING SCALE: 1 inch = 20 feet		
PROJECT NUMBER: 2316		
DATE: DECEMBER 18, 2016		
S-1		



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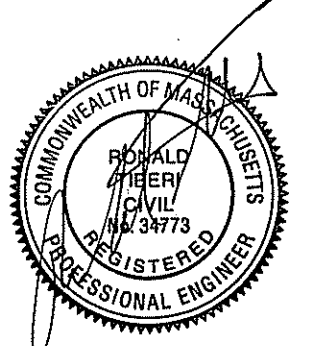
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Roddy Rod
Ronald Tiberi
Ronald Tiberi
Ronald Tiberi

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2.	3-7-2017	REVIEW COMMENTS 2-18-17

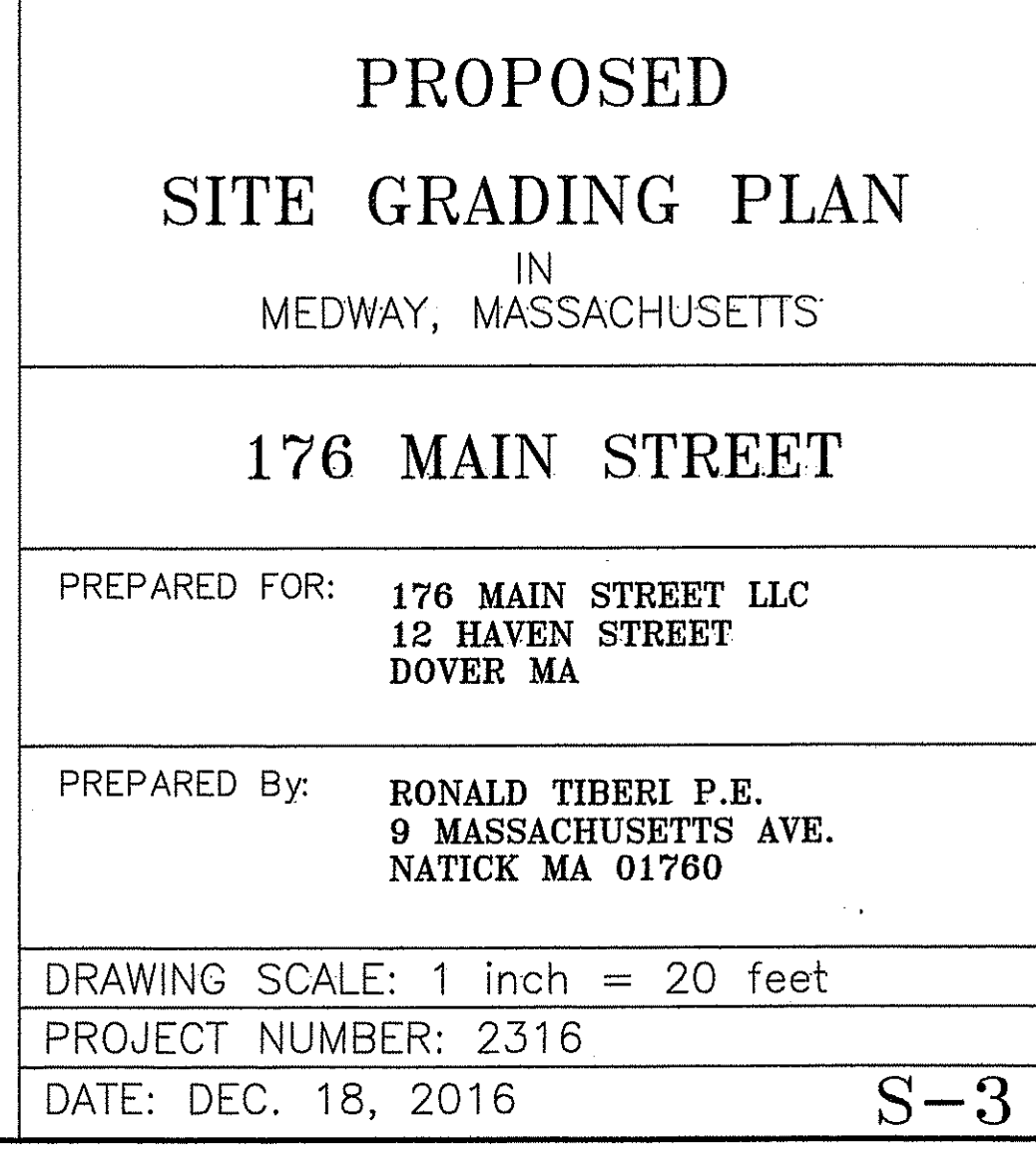
PROPOSED SITE LAYOUT PLAN IN MEDWAY, MASSACHUSETTS

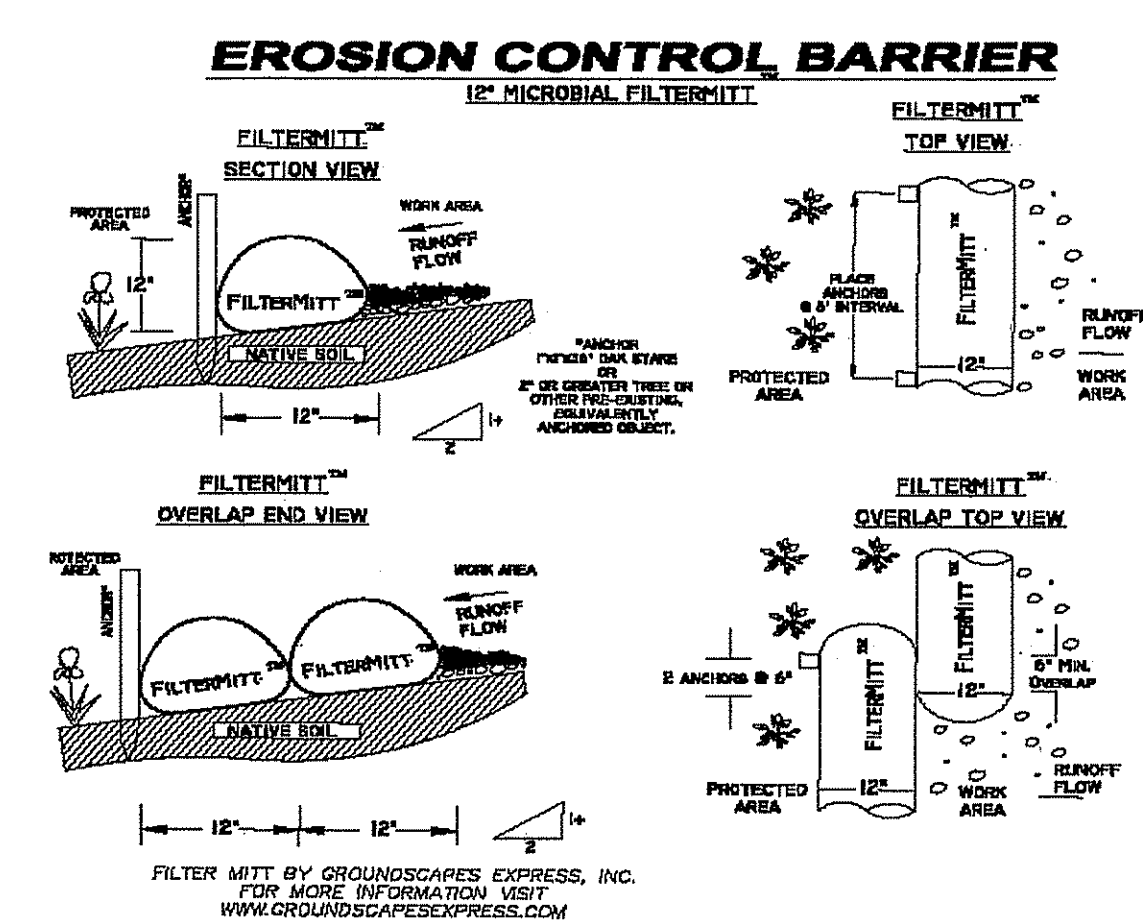
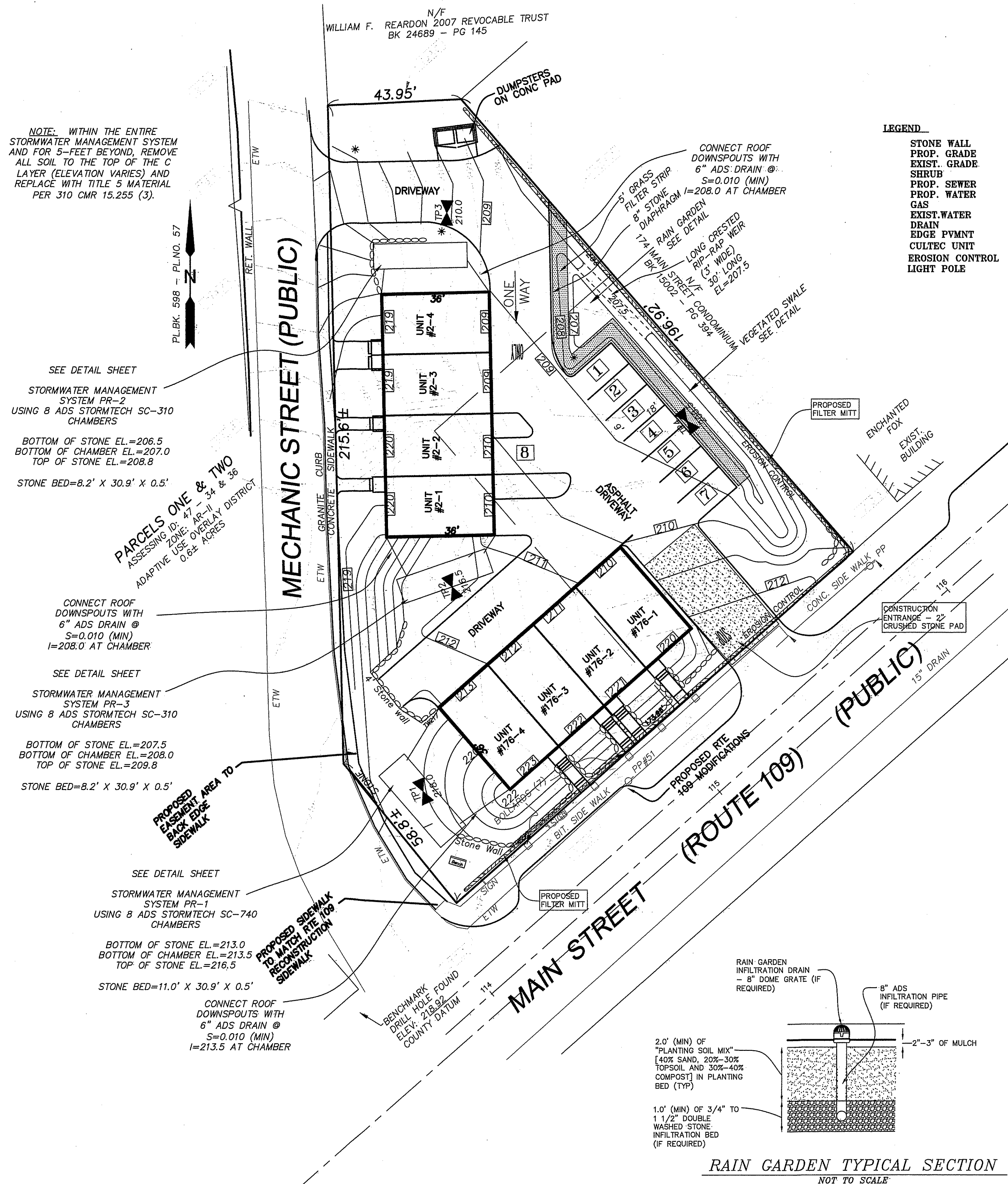
176 MAIN STREET

PREPARED FOR: **176 MAIN STREET LLC**
12 HAVEN STREET
DOVER MA

PREPARED By: **RONALD TIBERI P.E.**
9 MASSACHUSETTS AVE.
NATICK MA 01760

DRAWING SCALE: 1 inch = 20 feet
PROJECT NUMBER: 2316
DATE: DEC. 18, 2016





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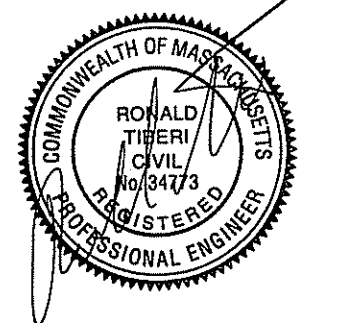
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[Signatures]

APPROVED BY PLANNING BOARD

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2.	3-7-2017	REVIEW COMMENTS 2-18-17

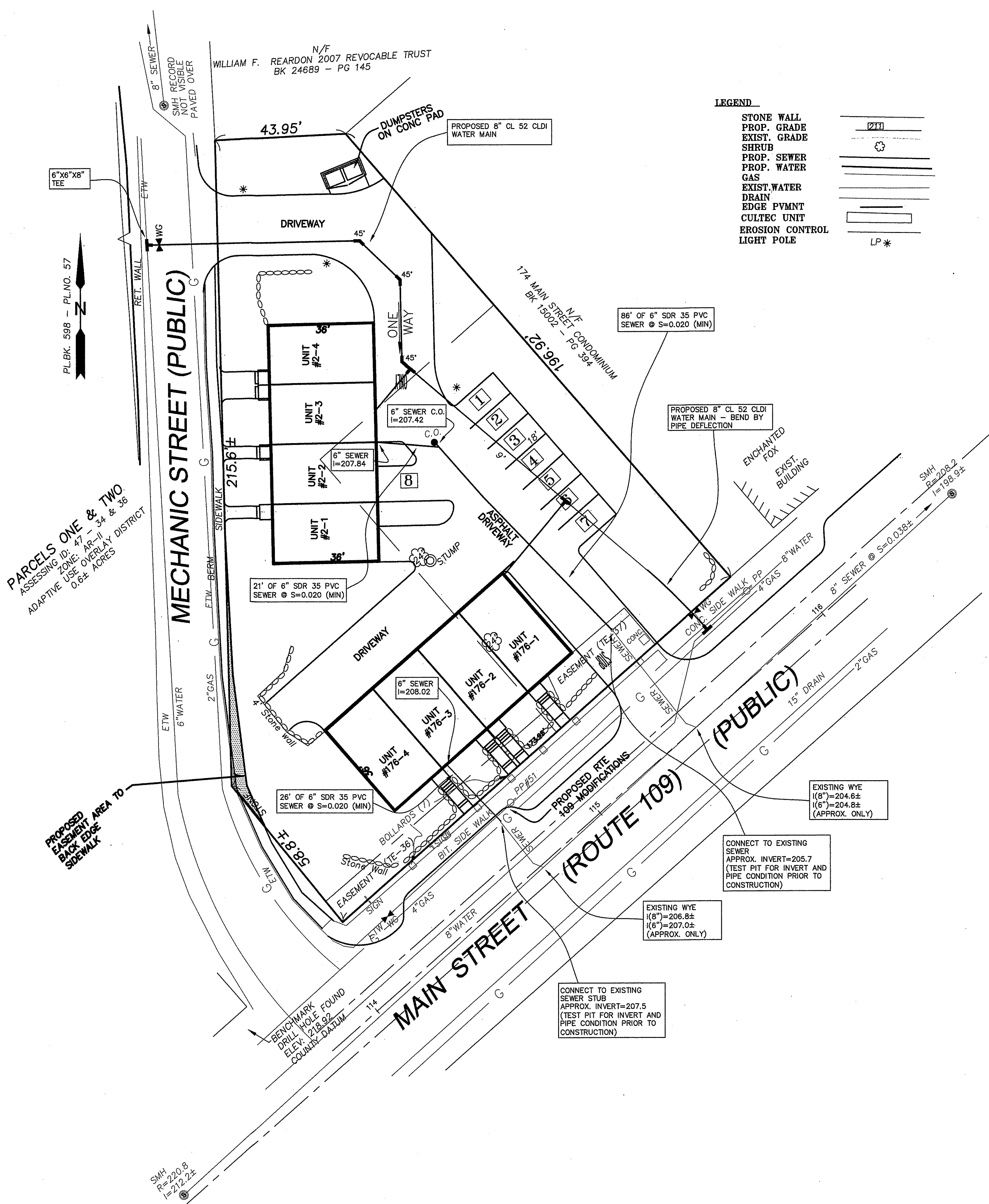
PROPOSED SITE DRAINAGE & EROSION PLAN IN MEDWAY, MASSACHUSETTS

176 MAIN STREET

PREPARED FOR: 176 MAIN STREET LLC
12 HAVEN STREET
DOVER MA

PREPARED BY: RONALD TIBERI P.E.
9 MASSACHUSETTS AVE.
NATICK MA 01760

DRAWING SCALE: 1 inch = 20 feet
PROJECT NUMBER: 2316
DATE: DEC. 18, 2016



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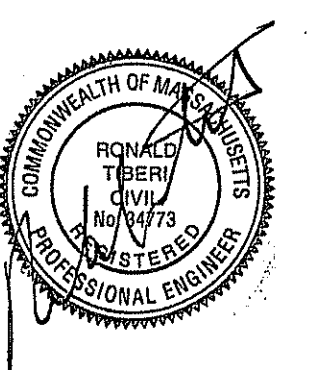
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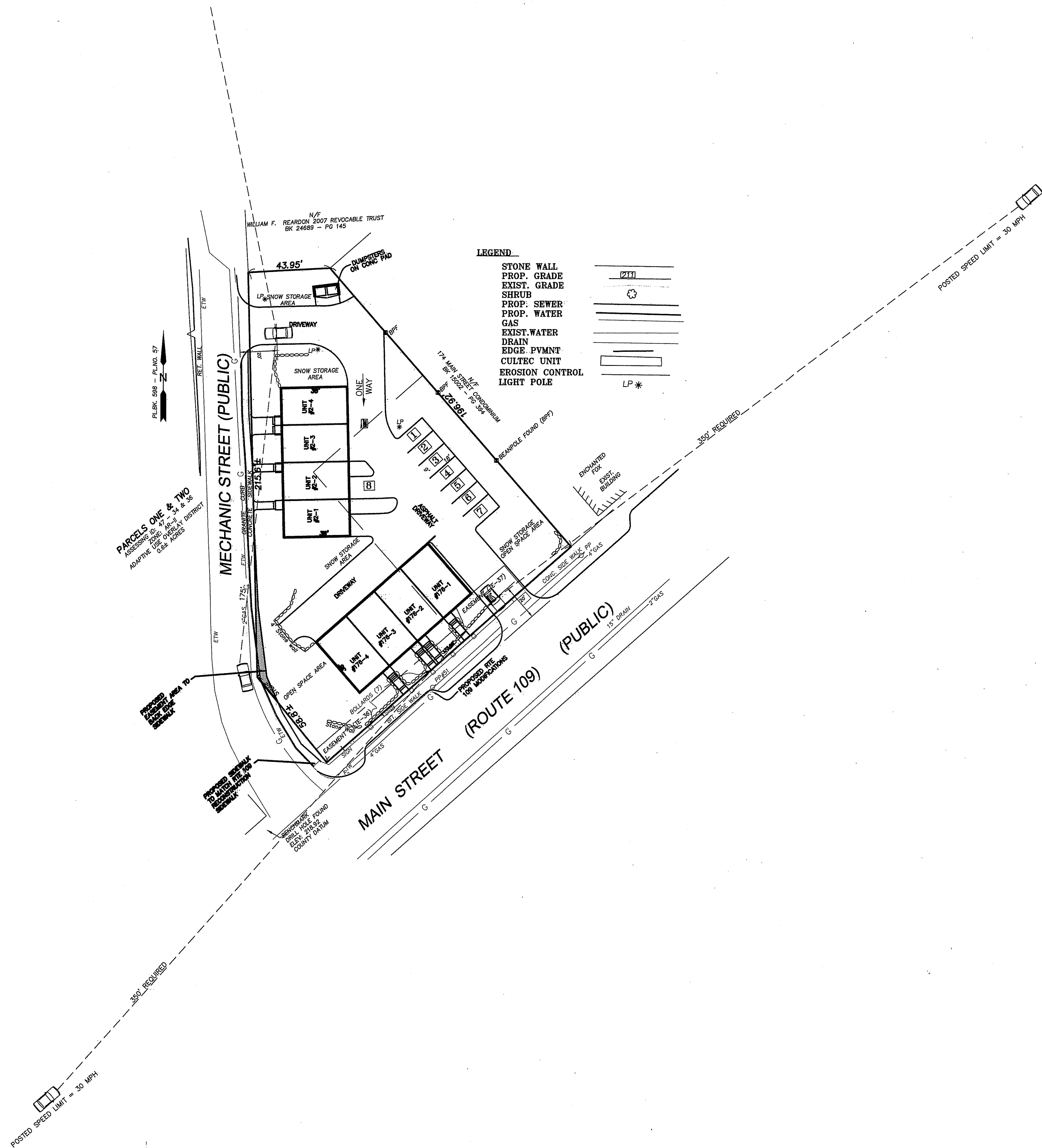
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PROPOSED SITE UTILITIES IN MEDWAY, MASSACHUSETTS	
176 MAIN STREET	
PREPARED FOR:	176 MAIN STREET LLC 12 HAVEN STREET DOVER MA
PREPARED By:	RONALD TIBERI P.E. 9 MASSACHUSETTS AVE. NATICK MA 01760
DRAWING SCALE: 1 inch = 20 feet	
PROJECT NUMBER: 2316	
DATE: DEC. 18, 2016	S-5



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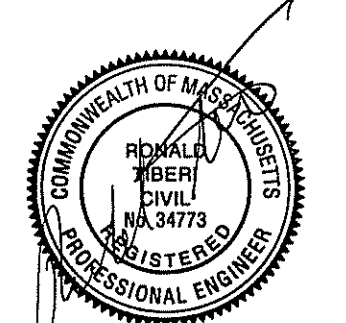
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176 MAIN STREET

PREPARED FOR: 176 MAIN STREET LLC
12 HAVEN STREET
DOVER MA

PREPARED By: RONALD TIBERI P.E.
9 MASSACHUSETTS AVE.
NATICK MA 01760

DRAWING SCALE: 1 inch = 30 feet

PROJECT NUMBER: 2316

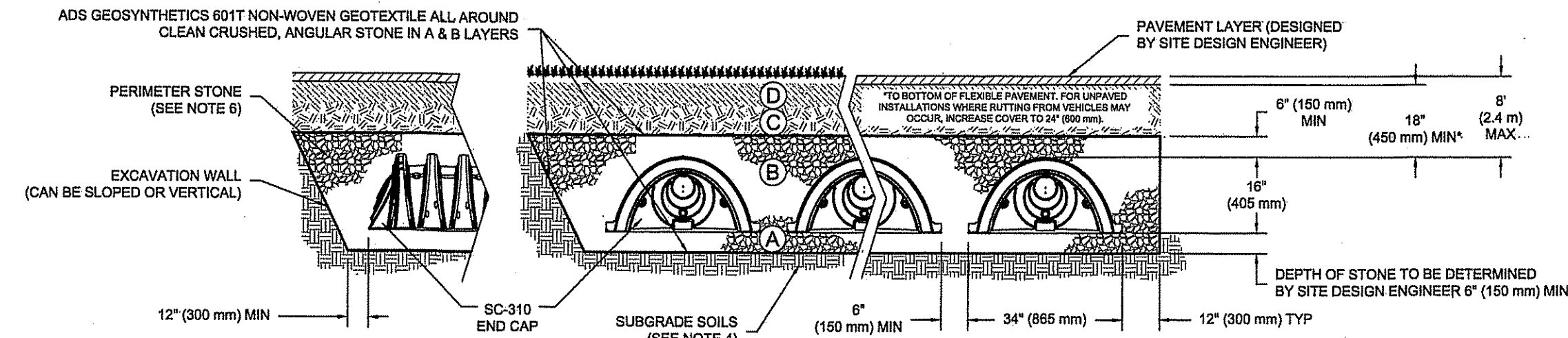
DATE: DEC. 18, 2016



ACCEPTABLE FILL MATERIALS: STORMTECH SC-310 CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE (B LAYER) TO 18" (450 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	AASHTO M145 ¹ A-1, A-2-4, A-3 OR AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 12" (300 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 6" (150 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 lbs (53 kN). DYNAMIC FORCE NOT TO EXCEED 20,000 lbs (89 kN).
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE (A LAYER) TO THE 'C' LAYER ABOVE.	AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. ¹

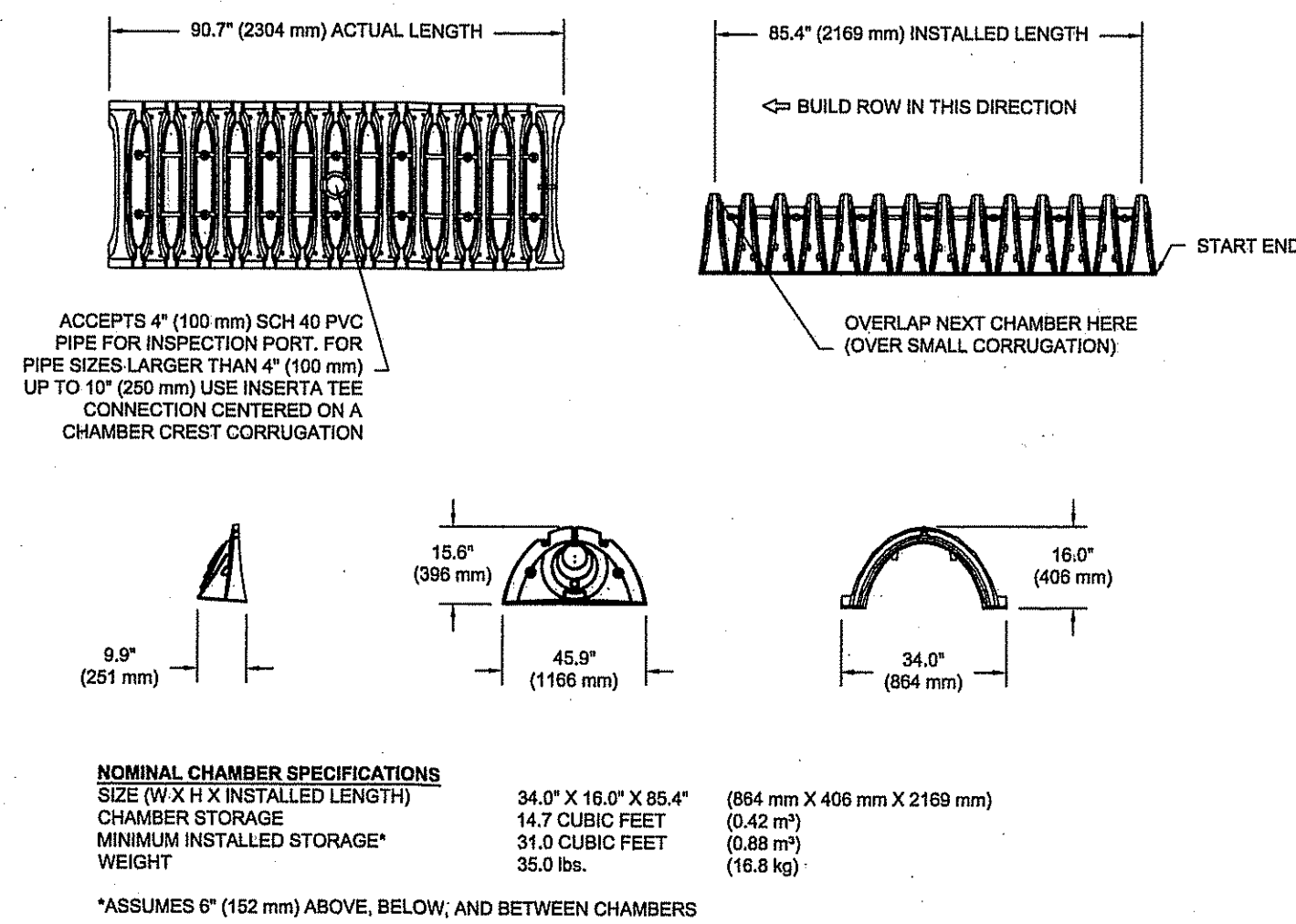
- PLEASE NOTE:
- THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
 - STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTIONED IN 6" (150 mm) (MAX) LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
 - WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.



NOTES:

- SC-310 CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2418 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS", OR ASTM F2822 "STANDARD SPECIFICATION FOR POLYETHYLENE (PE) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- SC-310 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- "ACCEPTABLE FILL MATERIALS" TABLE ABOVE PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS FOR FOUNDATION, EMBEDMENT, AND FILL MATERIALS.
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
- PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
- ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.

SC-310 TECHNICAL SPECIFICATION



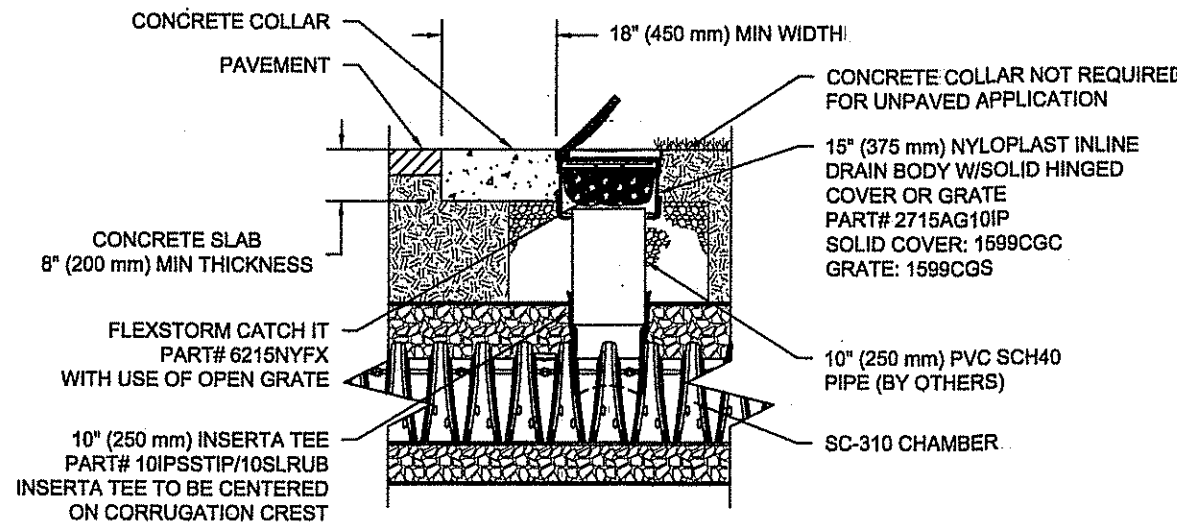
STUBS AT BOTTOM OF END CAP FOR PART NUMBERS ENDING WITH "B"
STUBS AT TOP OF END CAP FOR PART NUMBERS ENDING WITH "T"

PART #	STUB	A	B	C
SC310EP08T / SC310EP08TPC	6" (150 mm)	9.6" (244 mm)	5.8" (147 mm)	0.5" (13 mm)
SC310EP08B / SC310EP08BPC	6" (150 mm)	11.9" (302 mm)	—	0.8" (18 mm)
SC310EP08T / SC310EP08TPC	8" (200 mm)	11.9" (302 mm)	—	0.8" (18 mm)
SC310EP08B / SC310EP08BPC	8" (200 mm)	12.7" (323 mm)	—	0.7" (18 mm)
SC310EP10T / SC310EP10TPC	10" (250 mm)	12.7" (323 mm)	—	0.7" (18 mm)
SC310EP10B / SC310EP10BPC	10" (250 mm)	13.5" (343 mm)	—	0.9" (23 mm)
SC310EP12B	12" (300 mm)	—	—	—

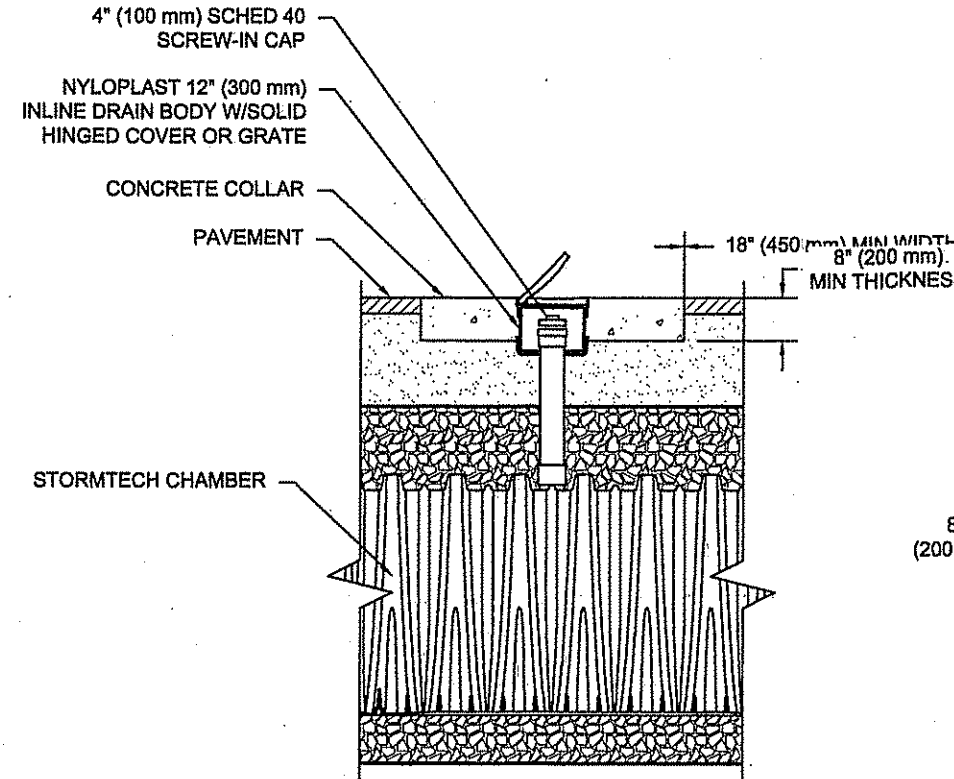
ALL STUBS, EXCEPT FOR THE SC310EP12B ARE PLACED AT BOTTOM OF END CAP SUCH THAT THE OUTSIDE DIAMETER OF THE STUB IS FLUSH WITH THE BOTTOM OF THE END CAP. FOR ADDITIONAL INFORMATION CONTACT STORMTECH AT 1-888-892-2694.

* FOR THE SC310EP12B THE 12" (300 mm) STUB LIES BELOW THE BOTTOM OF THE END CAP APPROXIMATELY 0.25" (6 mm). BACKFILL MATERIAL SHOULD BE REMOVED FROM BELOW THE N-12 STUB SO THAT THE FITTING SITS LEVEL.

NOTE: ALL DIMENSIONS ARE NOMINAL.

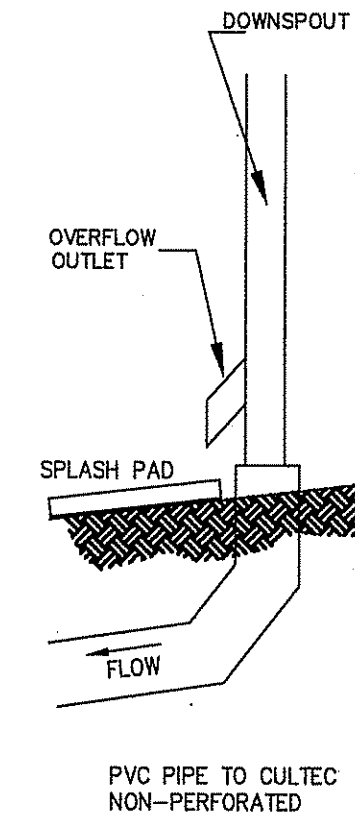


SC-310 10" INSPECTION PORT DETAIL
NTS

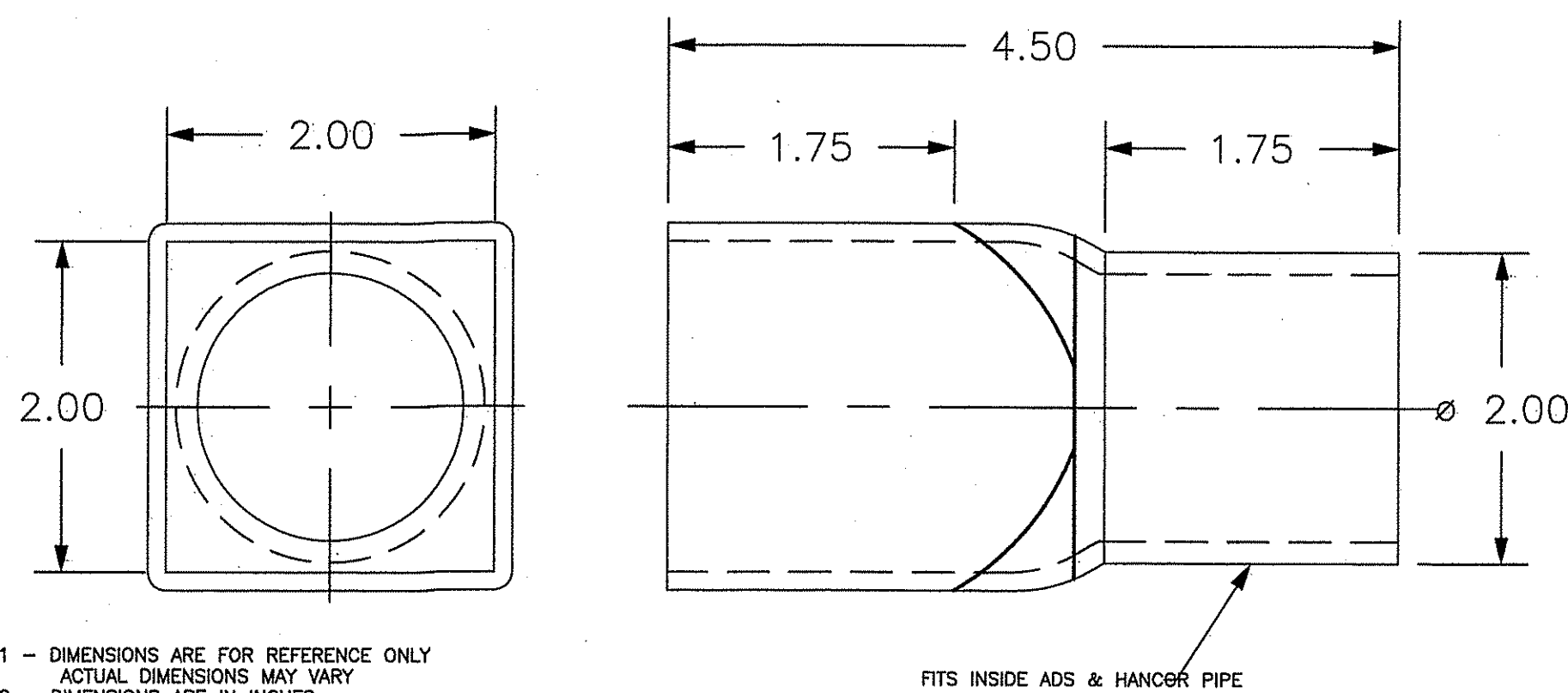


- NOTES:
- INSPECTION PORTS MAY BE CONNECTED THROUGH ANY CHAMBER CORRUGATION VALLEY.
 - ALL SCHEDULE 40 FITTINGS TO BE SOLVENT CEMENTED.

CONNECTION DETAIL
NTS

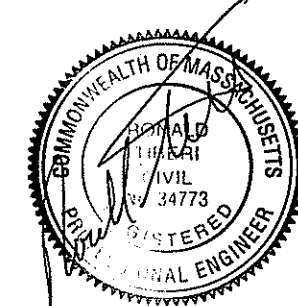


DOWNSPOUT
NOT TO SCALE



- 1 - DIMENSIONS ARE FOR REFERENCE ONLY
ACTUAL DIMENSIONS MAY VARY
2 - DIMENSIONS ARE IN INCHES

APPROVED BY PLANNING BOARD
DATE: 4-25-2017



DRAINAGE DETAILS IN MEDWAY, MASSACHUSETTS

176 MAIN STREET

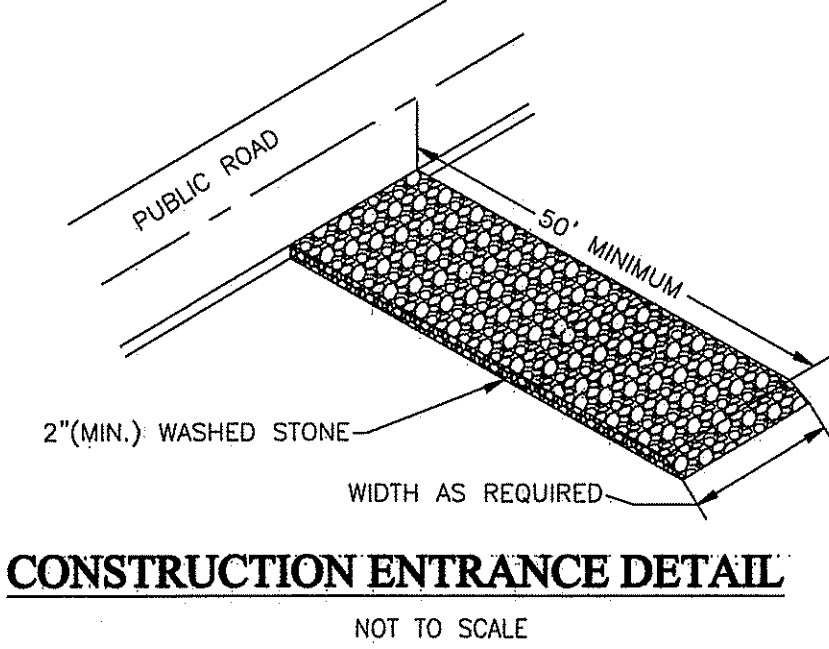
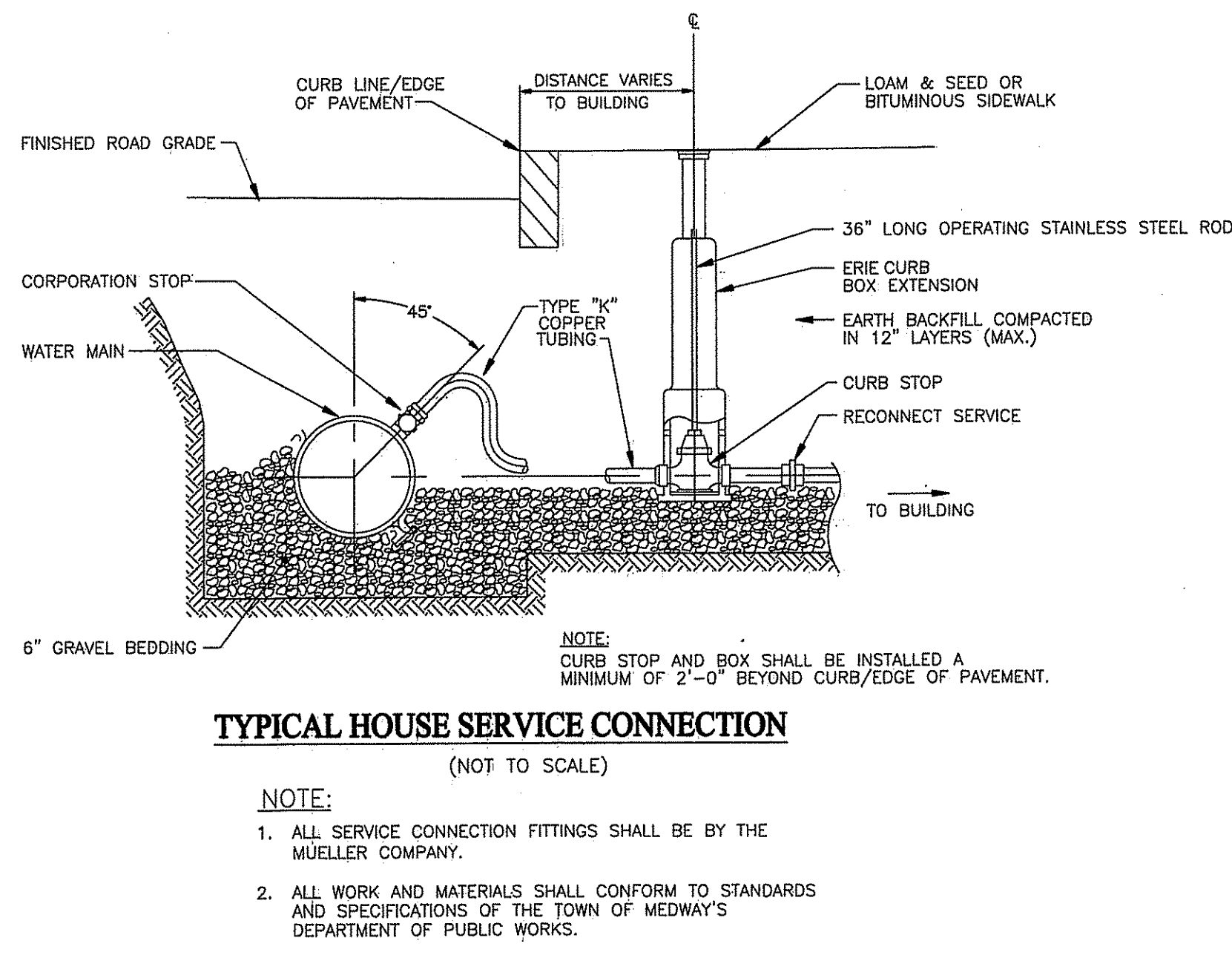
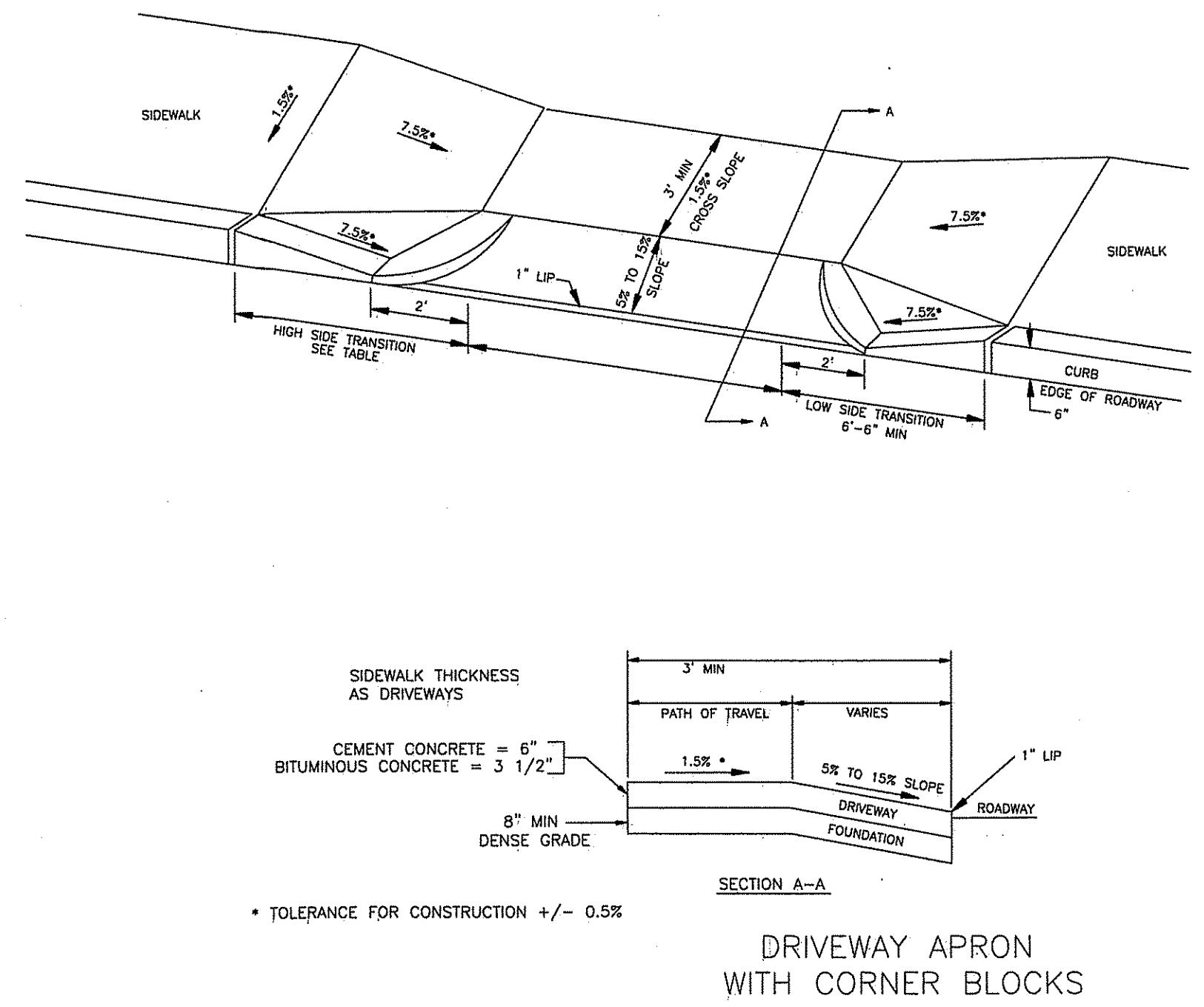
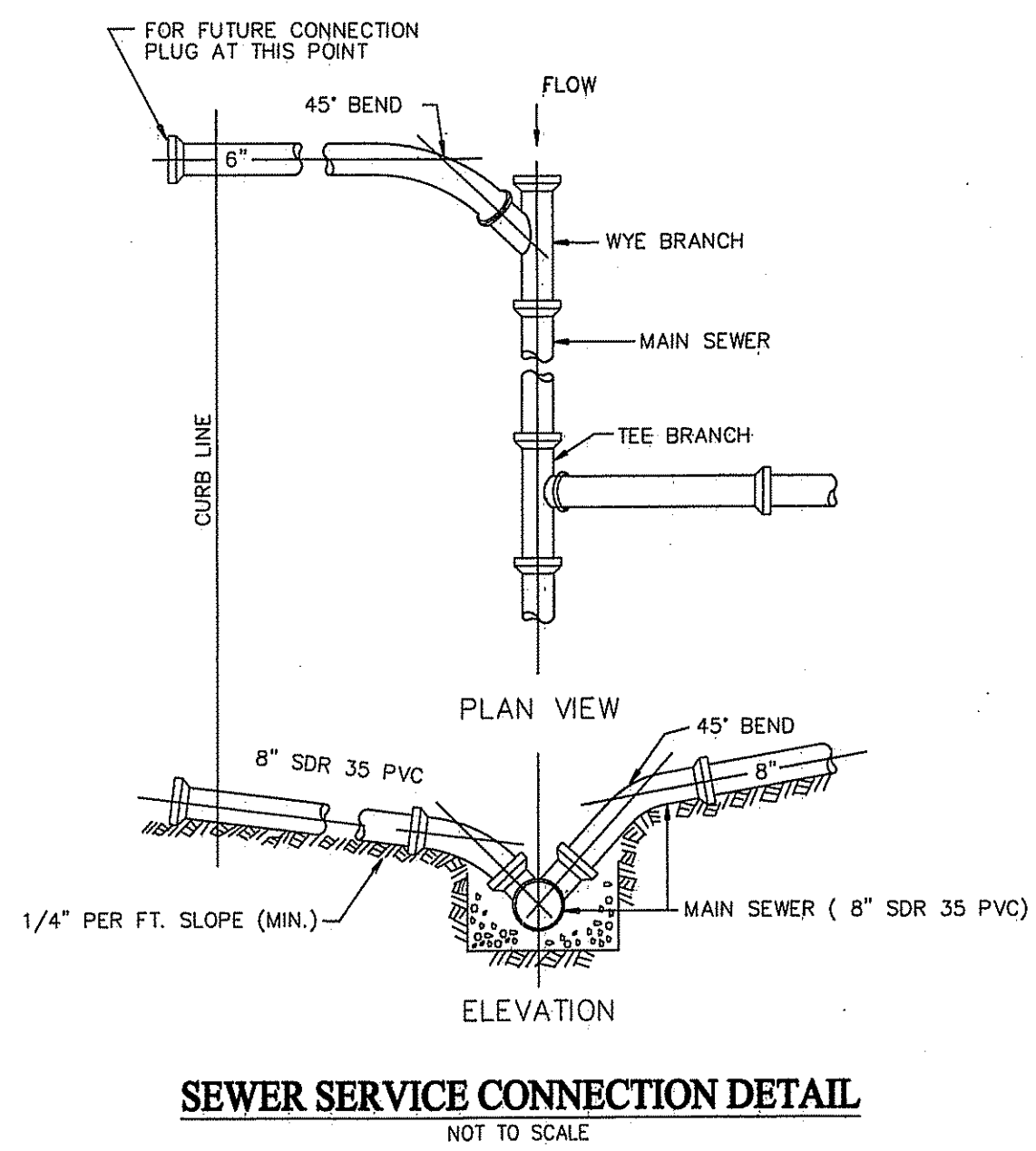
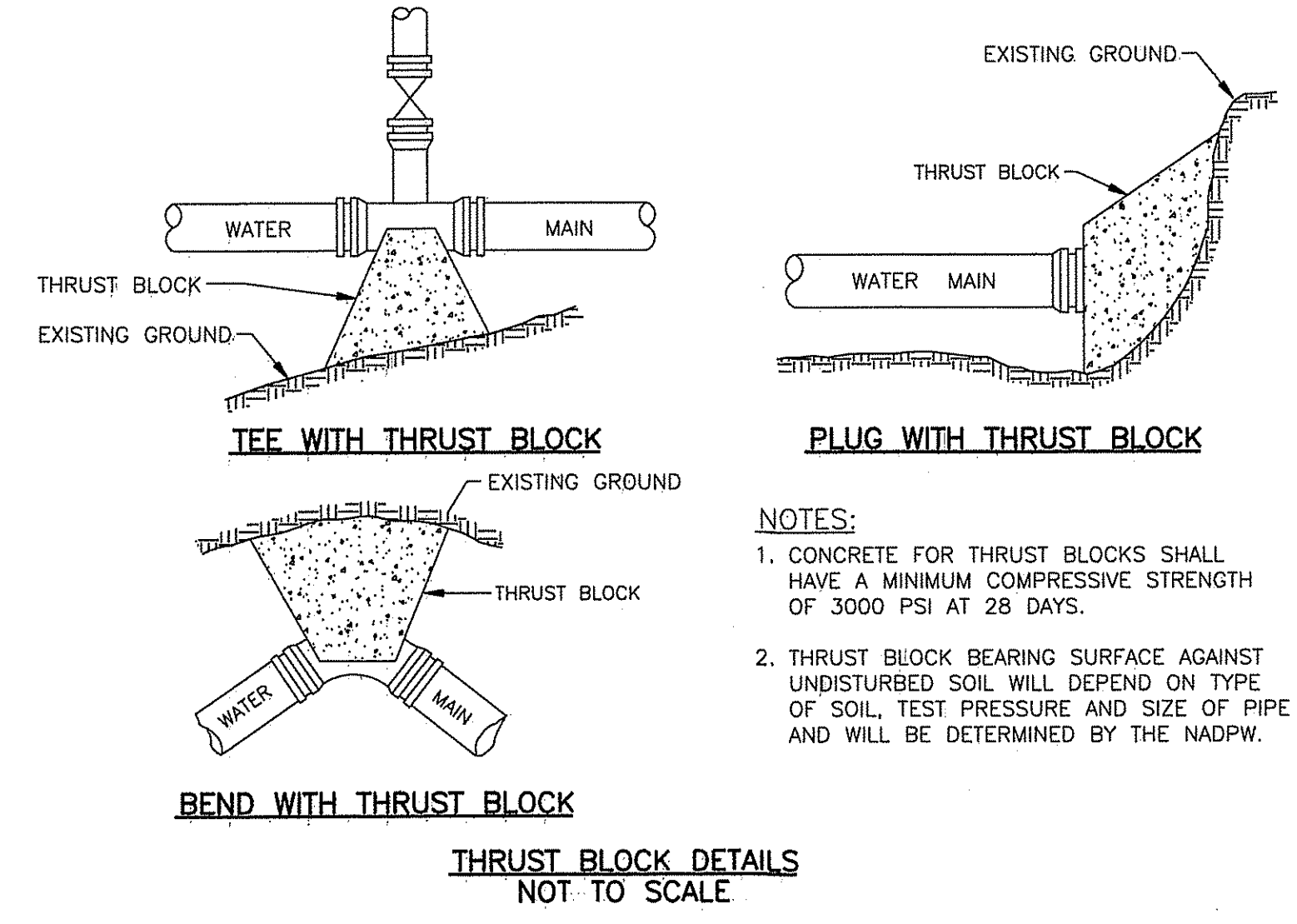
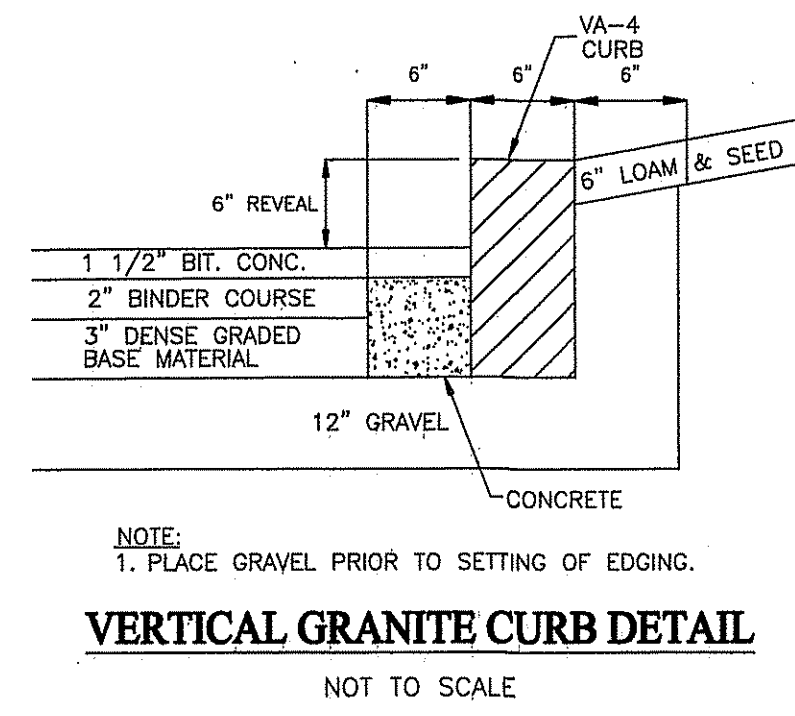
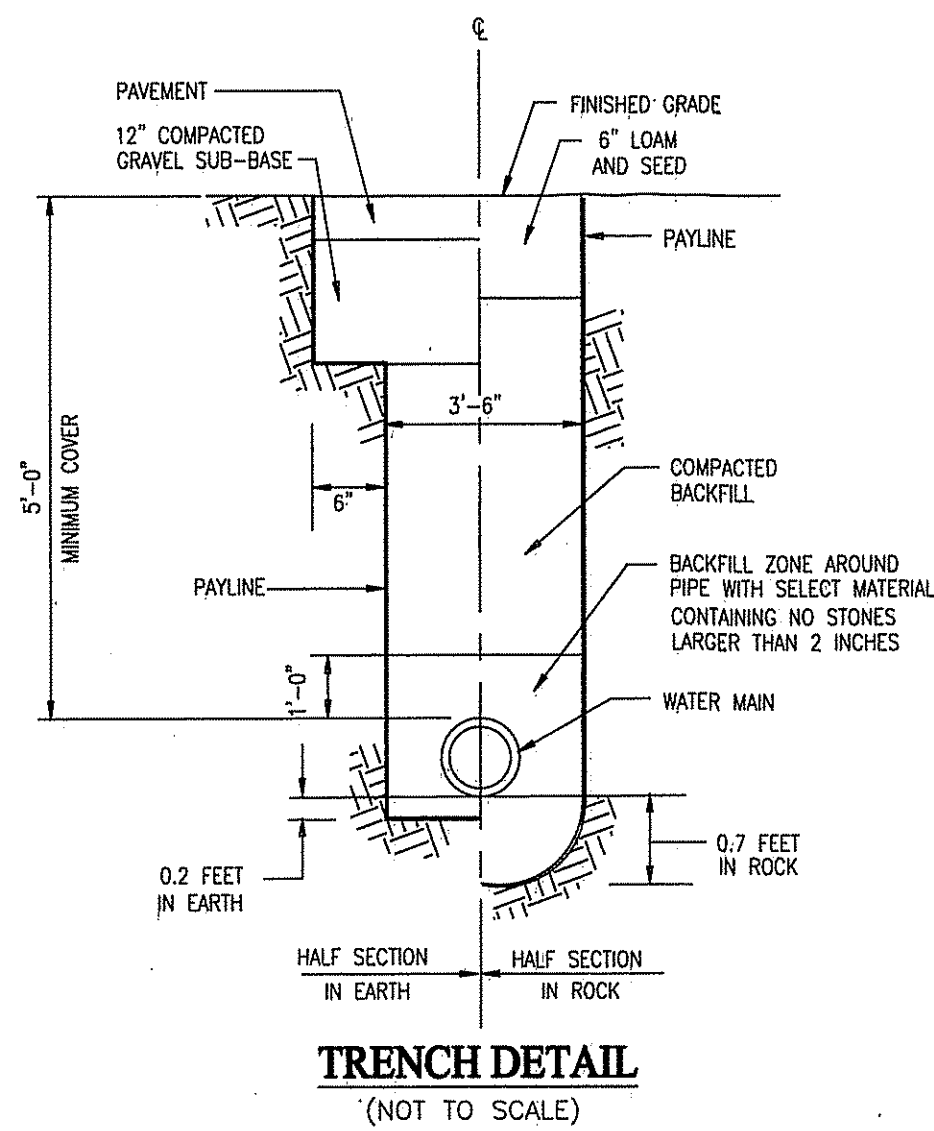
PREPARED FOR: 176 MAIN STREET LLC
12 HAVEN STREET
DOVER MA

PREPARED By: RONALD TIBERI P.E.
9 MASSACHUSETTS AVE.
NATICK MA 01760

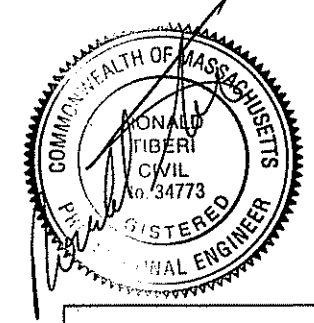
DRAWING SCALE: 1 inch = 20 feet

PROJECT NUMBER: 2316

DATE: DEC. 18, 2016



[Signature]
[Signature]
 APPROVED BY PLANNING BOARD
 DATE: 4-25-2017

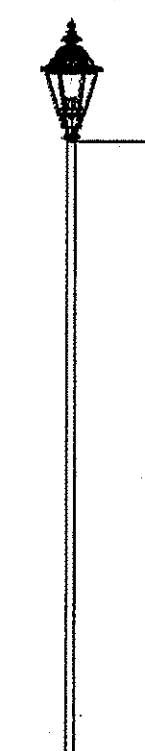
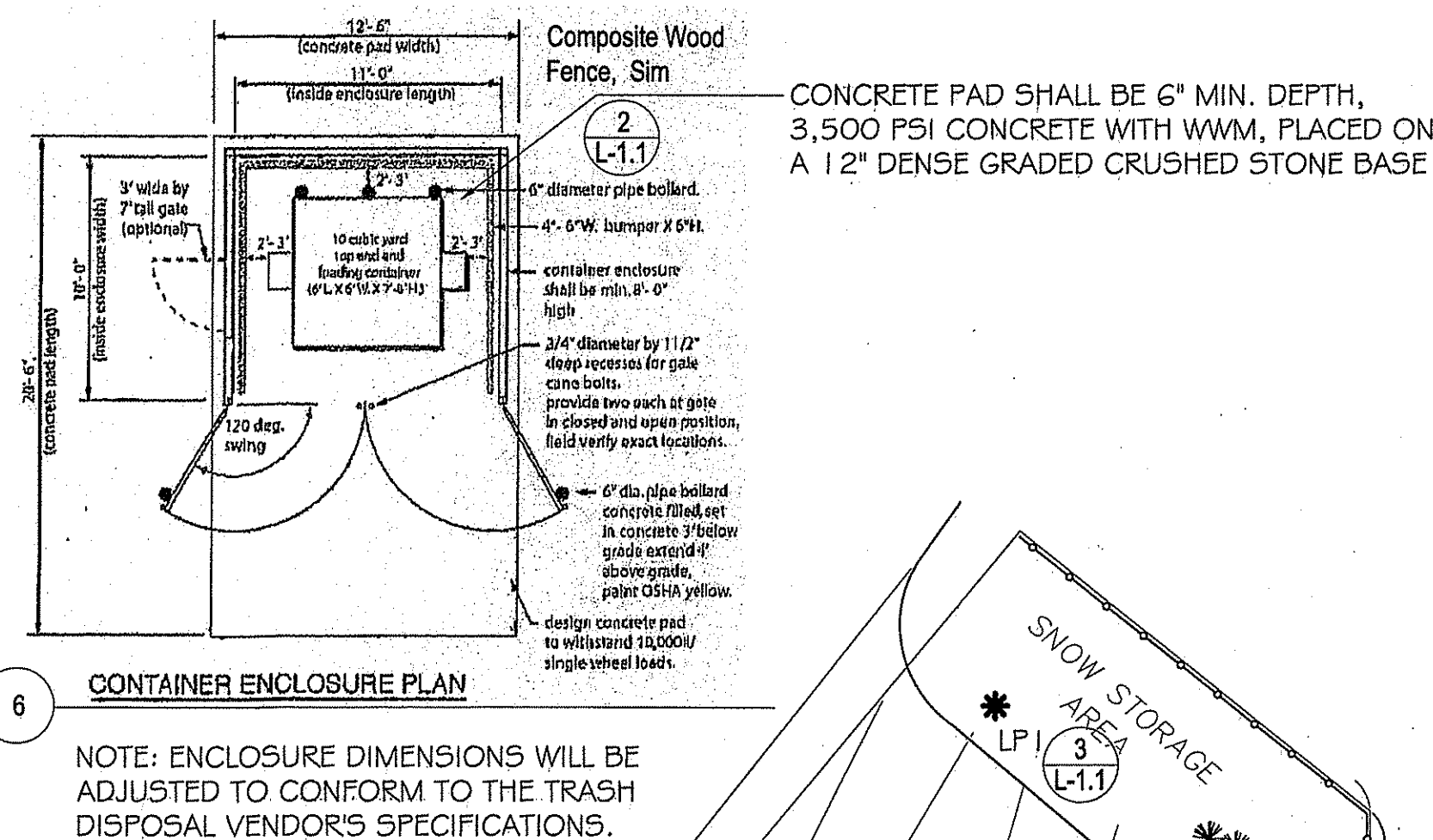


REVISIONS		
No.	DATE	DESCRIPTION
1.	1-23-2017	PER REVIEW LETTER 1-9-2017
2.	3-7-2017	REVIEW LETTER 12-28-17

SITE DETAILS IN MEDWAY, MASSACHUSETTS	
176 MAIN STREET	
PREPARED FOR:	176 MAIN STREET LLC 12 HAVEN STREET DOVER MA
PREPARED By:	RONALD TIBERI P.E. 9 MASSACHUSETTS AVE. NATICK MA 01760
DRAWING SCALE: 1 inch = 20 feet	
PROJECT NUMBER: 2316	
DATE: DEC. 18, 2016	D-2

LIGHTING NOTES:

1. AFTERMARKET LIGHT SHIELDS WILL BE ADDED TO SELECTED LUMINAIRES TO REDUCE LIGHT SPILLAGE LEVELS TO COMPLY WITH THE *MEDWAY ZONING BYLAW*.
2. ALL LIGHT FIXTURES WILL BE PROVIDED WITH LED LAMPS.



PERMIT

Hammer Walsh Design Inc.
Landscape Architecture + Master Planning + Urban Design
281 Summer Street, 6th Floor, Boston, MA 02210-1539
(617) 439-0125 www.hammerwalsh.com

CLIENT:

176 MAIN STREET LLC
12 Haven Street
Dover, MA

NOTES:

NOTES:

[Handwritten signatures]


With J. W.

Burford J. Distuli

Dan Ryan

4-25-2017

STAMP



A circular seal of the Massachusetts Department of Transportation, Division of Highway Planning and Construction. The outer ring contains the text "MASSACHUSETTS DEPARTMENT OF TRANSPORTATION" at the top and "DIVISION OF HIGHWAY PLANNING AND CONSTRUCTION" at the bottom. Inside the ring, it says "SEAL OF THE COMMONWEALTH OF MASSACHUSETTS" and "NO. 1000". A handwritten signature is scrawled across the center of the seal.

PROJECT:

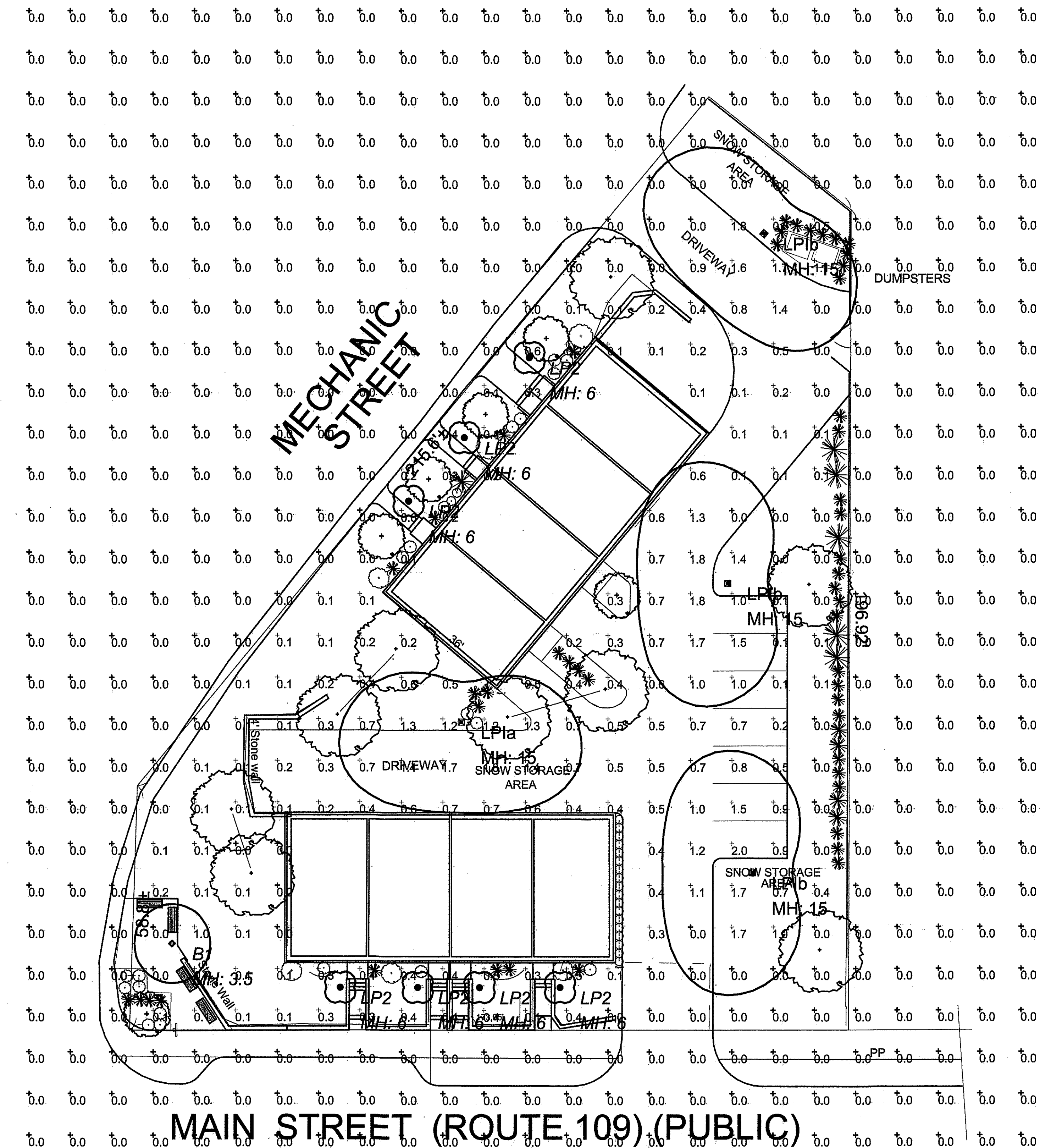
176 MAIN STREET
MEDWAY, MA

TITLE:

LANDSCAPE
PLAN

DATE: 4/10/17	DRAWING NO.: L-1.1
DRAWN BY: NRH	
CHECKED BY: DMW	
SCALE: 1" = 10'-0"	

L-1.1



Outdoor Luminaire Schedule						
Symbol	Qty	Label	Description	Lum. Lumens	LLF	Filename
	1	LP1a	6130LED-4ARC45T2-MDL03-SV2	5522	0.700	6130LED-4ARC45T2-MDL03-SV2.IES
	3	LP1b	6130LED-4ARC45T2-MDL03-SV2 HHS	5522	0.700	6130LED-4ARC45T2-MDL03-SV2.IES
	7	LP2	25 W JJ	1633	0.250	Vox11gc.ies
	1	B1	3901 MH 70W	1588	0.900	3901LB-70MH.IES

Luminaire Location Summary						
LumNo	Label	X	Y	Z	Orient	Tilt
1	LP1b	64.75	108	15	228.976	0
2	LP2	8	78.25	6	0	0
3	LP2	-7.75	59	6	0	0
4	LP2	-21.25	43.75	6	0	0
5	LP1b	56	24	15	181.87	0
6	LP1a	-8.5	-9.25	15	288.21	0
7	LP1b	62	-45.5	15	180	0
8	B1	-78.445	-62.48	3.5	0	0
9	LP2	-37.75	-73	6	0	0
10	LP2	-19.046	-73	6	0	0
11	LP2	-4.083	-73	6	0	0
12	LP2	15.411	-73	6	0	0

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts_1	Illuminance	Fc	0.14	2.0	0.0	N.A.	N.A.

PHOTOMETRIC DATA PROVIDED BY:

OMNI-LITE, INC.
263 WINN STREET BURLINGTON, MA 01803
PH # 781-272-2300, FAX # 781-272-0759 www.omnilight.com

NOTE:
LIGHT SHIELDS SHALL BE INSTALLED TO COMPLY
WITH LIGHT SPILLAGE LEVELS OF THE MEDWAY ZONING BYLAW

GENERAL SITE NOTES

- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORKSCOPE PRIOR TO THE INVIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS, RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DERIVED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.
- ALL WORK SHALL CONFORM TO LOCAL, COMMONWEALTH OF MASSACHUSETTS, AND OSHA STANDARDS AND GUIDELINES.
- LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. ALL UTILITY SERVICE CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- ALL UTILITY LOCATIONS ARE APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE CONDUITS, PRODUCT PIPING, ETC. PRIOR TO COMMENCEMENT OF EXCAVATION OF ANY TYPE.
- ALL EXCAVATED UNSUITABLE MATERIAL MUST BE TRANSPORTED TO AN APPROVED DISPOSAL LOCATION.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY "DIG SAFE" (1-888-344-7233) 72 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE. CONTRACTOR SHALL ALSO NOTIFY THE LOCAL DEPARTMENT OF PUBLIC WORKS TO MARK OUT THEIR UTILITIES.
- THE LIMITS OF WORK SHALL BE CLEARLY MARKED IN THE FIELD PRIOR TO THE START OF CONSTRUCTION OR SITE CLEARING.
- ALL CONCRETE AND BITUMINOUS PATCH AREAS TO MATCH EXISTING GRADES.
- SOLID WASTE TO BE DISPOSED OF BY CONTRACTOR IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
- CONTRACTOR IS RESPONSIBLE FOR ALL EXCAVATION TO BE PERFORMED IN ACCORDANCE WITH CURRENT STANDARDS, AS WELL AS ADDITIONAL PROVISIONS TO ASSURE STABILITY OF CONTIGUOUS STRUCTURES.
- IN CASE OF DISCREPANCIES BETWEEN PLANS, THE SITE PLAN WILL SUPERSEDE IN ALL CASES. NOTIFY ENGINEER OF RECORD OF ANY CONFLICTS.

DIG SAFE NOTICE:

UTILITIES ARE PLOTTED FROM FIELD LOCATION AND ANY RECORD INFORMATION AVAILABLE, AND SHOULD BE CONSIDERED APPROXIMATE. OTHER UTILITIES MAY EXIST WHICH ARE NOT EVIDENT OR FOR WHICH RECORD INFORMATION WAS NOT AVAILABLE. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING. ALSO, CALL "DIG-SAFE" AT 1(888)344-7233 (1(888)DIG-SAFE).

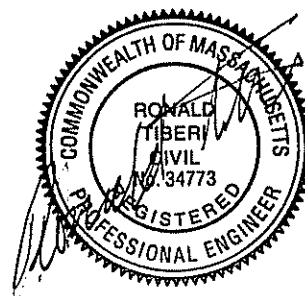
THE OFFSETS AS SHOWN ON THIS PLAN ARE NOT TO BE USED FOR THE ESTABLISHMENT OF PROPERTY LINES OR FOR THE ESTABLISHMENT OF ANY PROPOSED CONSTRUCTION UNLESS SAID CONSTRUCTION IS SHOWN HEREON.

THIS PLAN WAS PREPARED FOR THE EXCLUSIVE USE AND PURPOSE FOR THE PARTY STATED HEREON AND SHALL NOT BE USED BY ANY THIRD PARTY WITHOUT THE EXPRESSED WRITTEN PERMISSION OF RONALD TIBERI P.E.

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

[Signature]
[Signature]
[Signature]

APPROVED BY PLANNING BOARD
DATE: 4-25-2017



REVISIONS		
No.	DATE	DESCRIPTION
1.	1-23-2017	PER REVIEW LETTER 1-9-2017
2.	3-7-2017	PER REVIEW LETTER 2-23-2017
3.	3-31-2017	NOTE PER CONDITIONAL APPROVAL

PROPOSED
LIGHTING PLAN
IN
MEDWAY, MASSACHUSETTS

176 MAIN STREET

PREPARED FOR: 176 MAIN STREET LLC
12 HAVEN STREET
DOVER MA

PREPARED BY: RONALD TIBERI P.E.
9 MASSACHUSETTS AVE.
NATICK MA 01760

DRAWING SCALE: 1 inch = 30 feet

PROJECT NUMBER: 2316

DATE: DEC. 18, 2016

SFGstudios

Architectural Design Services
278 Elm Street, Suite 226
Somerville, MA 02144
781.956.9773 cell
SFGstudios@msn.com

City of Medway
Planning Board
Anthony J. Disanti
APPROVED BY PLANNING BOARD
DATE: 4-25-2017

PROJECT
Medway Green
176 Main Street
Medway, Massachusetts

OWNER
176 Main St, LLC
12 Haven Street
Dover, Massachusetts

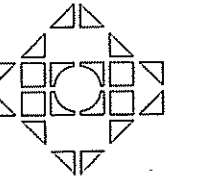
Building Code Information

Occupancy / Use : RESIDENTIAL USE GROUP R-3: TOWNHOUSES
Climate: 5a
Ground Snow Live Load (Pg) : 40
Basic Wind Speed (V): 100

All alterations, repairs and construction methods are to comply with:
International Residential Code 2009 (IRC) with MA Amendments (780 CMR 51.00)
International Fire Code 2009 (IFC)
International Mechanical Code 2009 (IMC)
International Fuel & Gas Code 2009 (IFGC)
International Electrical Code 2009 (IEC)
International Energy Efficiency Code 2012 (IEEC)



ARCHITECTURAL DESIGN SERVICES
278 Elm Street, Suite 226
Somerville, MA 02144
'781.956.9773 cell
SFGstudios@msn.com



DESIGNERS • PLANNERS • ILLUSTRATORS

MEDWAY GREEN
NEW TOWNHOMES
176 MAIN STREET
MEDWAY, MA
BASEMENT FLOOR PLAN

REVISIONS	
1.	10/17/16 2 4-UNIT STRUCTURES
2.	01/09/17 DRC SUBMIT II
3.	01/23/17 DRC APPROVED W/ REVISIONS
4.	
5.	

OWNER

176 Main LLC
12 Haven Street
Dover, MA

DRAWN BY
SFG

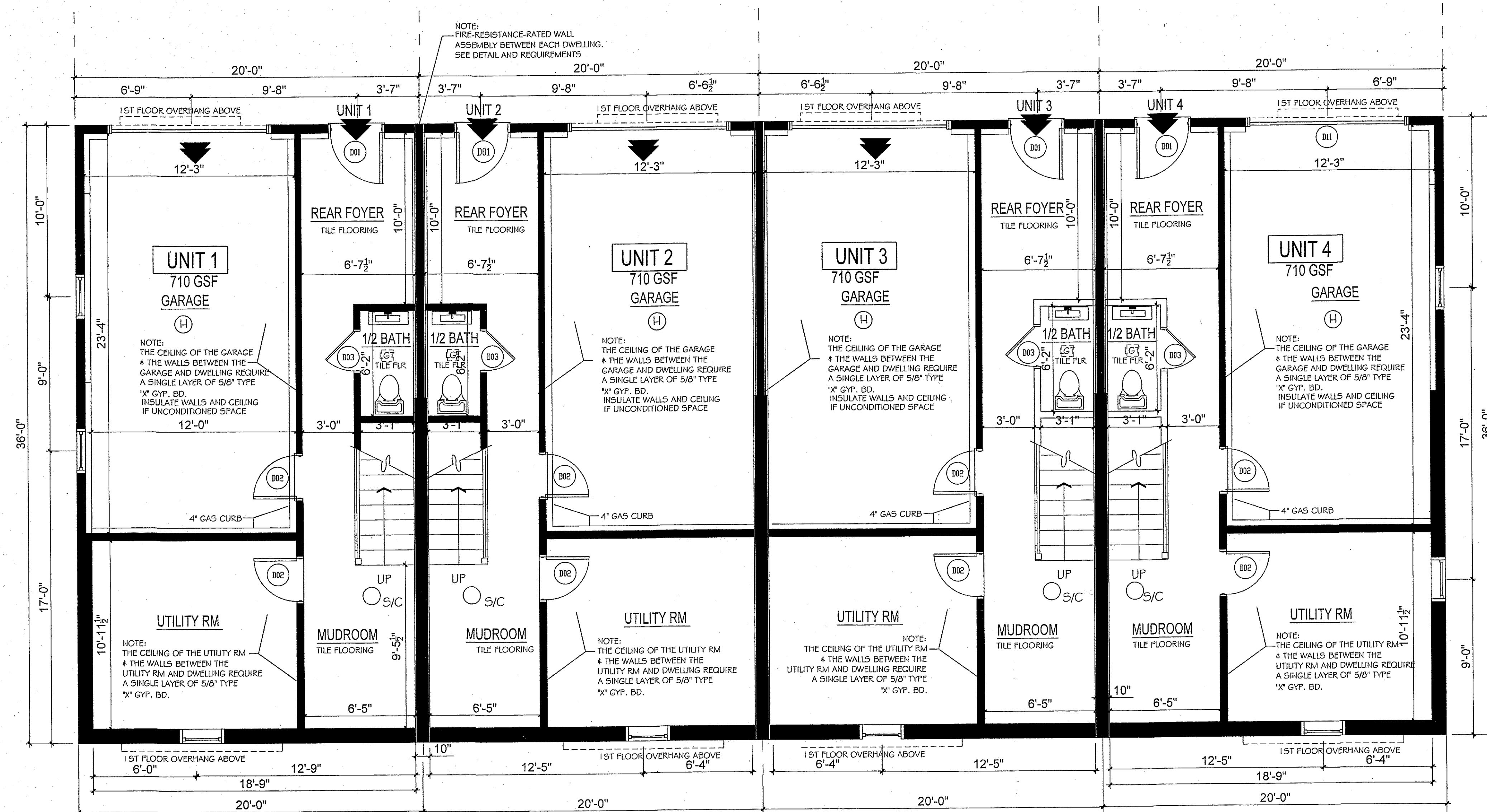
DATE 07/02/2016

PROJECT
No.



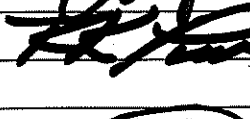
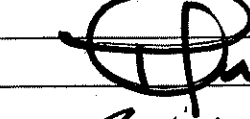
SCALE

$1/4" = 1'-0"$

DRAWING
No. A 1.0

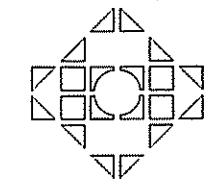


BASEMENT FLOOR PLAN





 APPROVED BY PLANNING BOARD
 DATE: 4-25-2017



Anthony D. DiManno



DESIGNERS • PLANNERS • ILLUSTRATORS

MEDWAY GREEN
NEW TOWNHOMES
 176 MAIN STREET
 MEDWAY, MA
FIRST FLOOR PLAN

REVISIONS	
1.	10/17/16 2-4-UNIT STRUCTURES
2.	01/09/17 DRC SUBMIT II
3.	01/23/17 DRC APPROVED W/ REVISIONS
4.	
5.	

OWNER
 176 Main LLC
 12 Haven Street
 Dover, MA

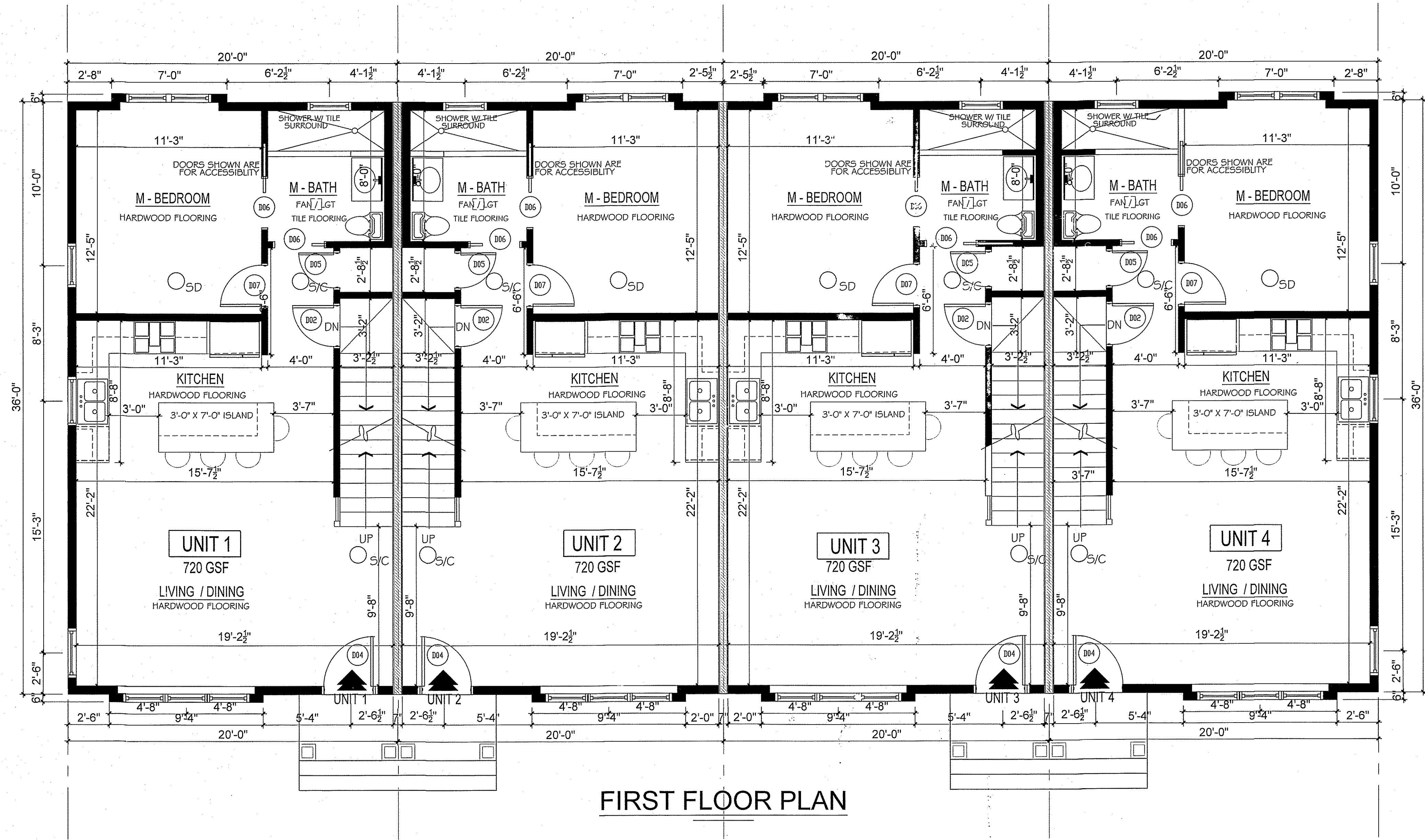
DRAWN BY
SFG

DATE **07/02/2016**

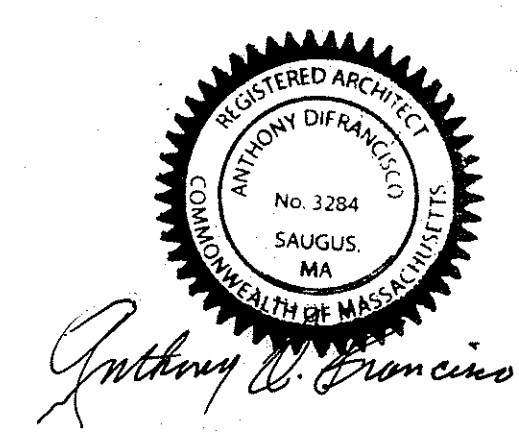
PROJECT
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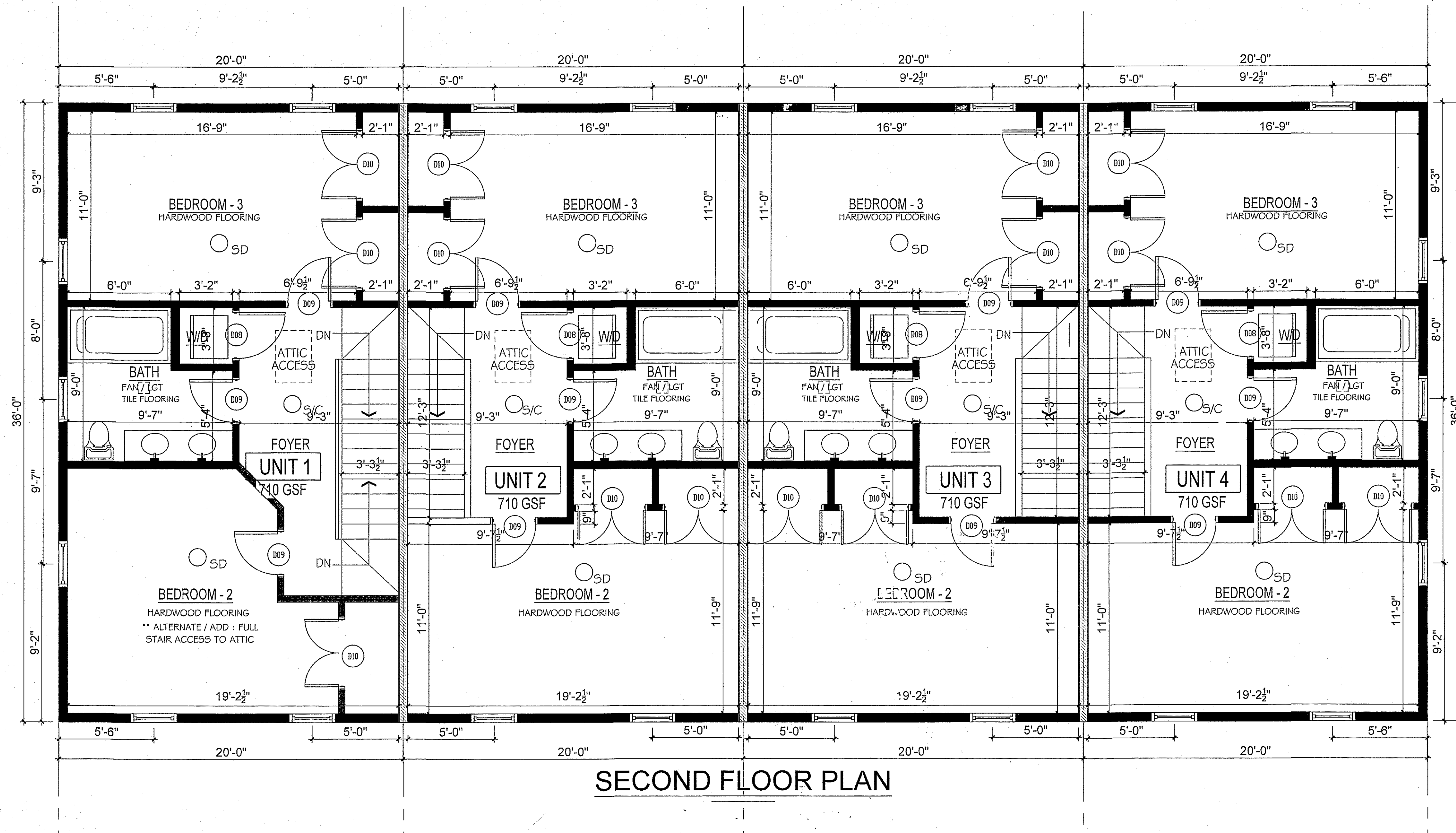
SCALE
 1/4" = 1'-0"

DRAWING
 No.
A 1.1



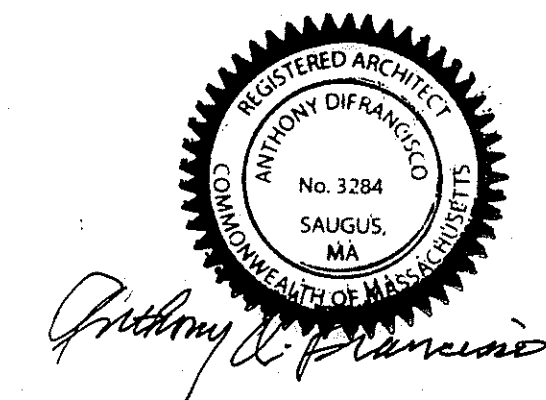
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 APPROVED BY PLANNING BOARD
 DATE: **4-25-2017**



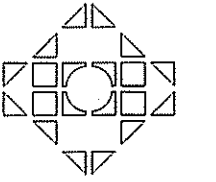


SECOND FLOOR PLAN

APPROVED BY PLANNING BOARD
DATE: 4-25-2017



SFGstudios
ARCHITECTURAL DESIGN SERVICES
278 Elm Street, Suite 226
Somerville, MA 02144
781.956.9773 cell
SFGstudios@msn.com



DESIGNERS • PLANNERS • ILLUSTRATORS

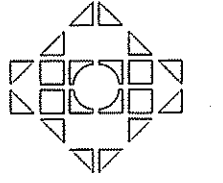
MEDWAY GREEN
NEW TOWNHOMES
176 MAIN STREET
MEDWAY, MA
SECOND FLOOR PLAN

REVISIONS	
1.	10/17/16 2 4-UNIT STRUCTURES
2.	01/09/17 DRC SUBMIT II
3.	01/23/17 DRC APPROVED W/ REVISIONS
4.	
5.	

OWNER
176 Main LLC
12 Haven Street
Dover, MA

DRAWN BY
SFG
DATE 07/02/2016
PROJECT
No.
SCALE
1/4" = 1'-0"
DRAWING
No.
A 1.2

SFGstudios
 ARCHITECTURAL DESIGN SERVICES
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DESIGNERS • PLANNERS • ILLUSTRATORS

MEDWAY GREEN
NEW TOWNHOMES
 176 MAIN STREET
 MEDWAY, MA
ELEVATIONS I

REVISIONS		1-4 UNIT STRUCTURES
1.	10/17/16	2-4 UNIT STRUCTURES
2.	01/09/17	DRC SUBMIT II
3.	01/23/17	DRC APPROVED W/ REVISIONS
4.		
5.		

OWNER
 176 Main LLC
 12 Haven Street
 Dover, MA

DRAWN BY
SFG

DATE **07/02/2016**

PROJECT
 No.

SCALE
3/16" = 1'-0"

DRAWING
 No.
A 2.0



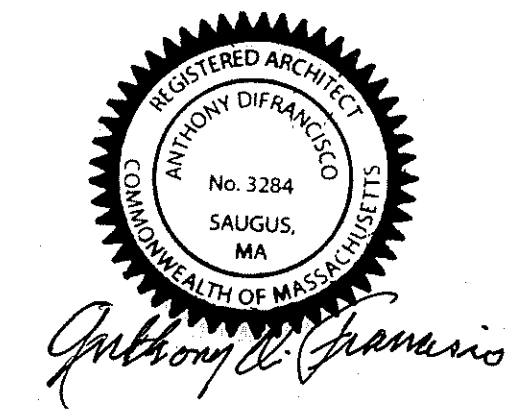
Proposed Front (West) Elevation - Mechanic Street
Units 1 - 4



Proposed Front (Southeast) Elevation - Main Street Rt 109
Units 5 - 8

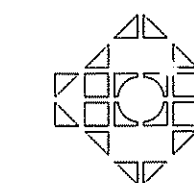
ROOF
 30 YR ARCHITECTURAL SHINGLES
 5/8" CDX ROOF SHEATHING
 ICE & WATER BARRIER
 2X12 ROOF RAFTERS
 AT 16" O.C., TYPICAL

EXTERIOR WALL
 2X6 STUDS @ 16" O.C.
 R-21 INSULATION VALUE REQ'D
 1/2" BLUEBOARD & PLASTER
 1/2" CDX WALL SHEATHING & PAPER
 HARDI PLANK LAP SIDING & TRIM
 SIDING COLORS ON EACH SET OF 4:
 COUNTRYLANE RED
 EVENING BLUE
 ARCTIC WHITE
 AGED PEWTER



APPROVED BY PLANNING BOARD
 DATE: **4-25-2017**

04/03/2017 DRC APPROVED - MYLAR FOR RECORDING



DESIGNERS • PLANNERS • ILLUSTRATORS

**MEDWAY GREEN
NEW TOWNHOMES**
176 MAIN STREET
MEDWAY, MA
ELEVATIONS II

REVISIONS		2 4-UNIT STRUCTURES
1.	10/17/16	DRC SUBMIT II
2.	01/05/17	DRC APPROVED W/ REVISIONS
3.	01/23/17	
4.		
5.		

OWNER

176 Main LLC
12 Haven Street
Dover, MA

DRAWN BY
SFG

DATE **07/02/2016**

PROJECT
No.

SCALE
3/32" = 1'-0"

DRAWING
No.
A 2.1

REAR ENTRIES
9'-0" X 8'-0" O.H.D. WITH 2'-8" X 7'-0" STU/GLOSS ENTRY DOOR
COPPER OR SHINGLED ROOF OVERHANG WITH
STRUCTURAL BRACKETS, INSTALL AS PER
MANUF SPECS, BY OWNER

**Rear Elevation - East
Units 1 - 4**

ROOF
30 YR ARCHITECTURAL SHINGLES
5/8" CDX ROOF SHEATHING
ICE & WATER BARRIER
2X12 ROOF RAFTERS
AT 16" O.C., TYPICAL

EXTERIOR WALL
2X6 STUDS @ 16" OC.
R-21 INSULATION VALUE REQ'D
1/2" BLUEBOARD & PLASTER
1/2" CDX WALL SHEATHING & PAPER
HARDI PLANK LAP SIDING & TRIM
SIDING COLORS ON EACH SET OF 4:
COUNTRYLANE RED
EVENING BLUE
ARCTIC WHITE
AGED PEWTER

Side Elevation - North

Side Elevation - South

04/02/2017 DRC APPROVED - MYLAR FOR RECORDING

Anthony DiFranco
Robert J. DiFranco
Robert J. DiFranco
APPROVED BY PLANNING BOARD
DATE: **4-25-2017**