

# THE HAVEN A PRIVATE WAY DEFINITIVE SUBDIVISION PLAN

NOV. 4, 2003

LATEST REVISION: October 10, 2015

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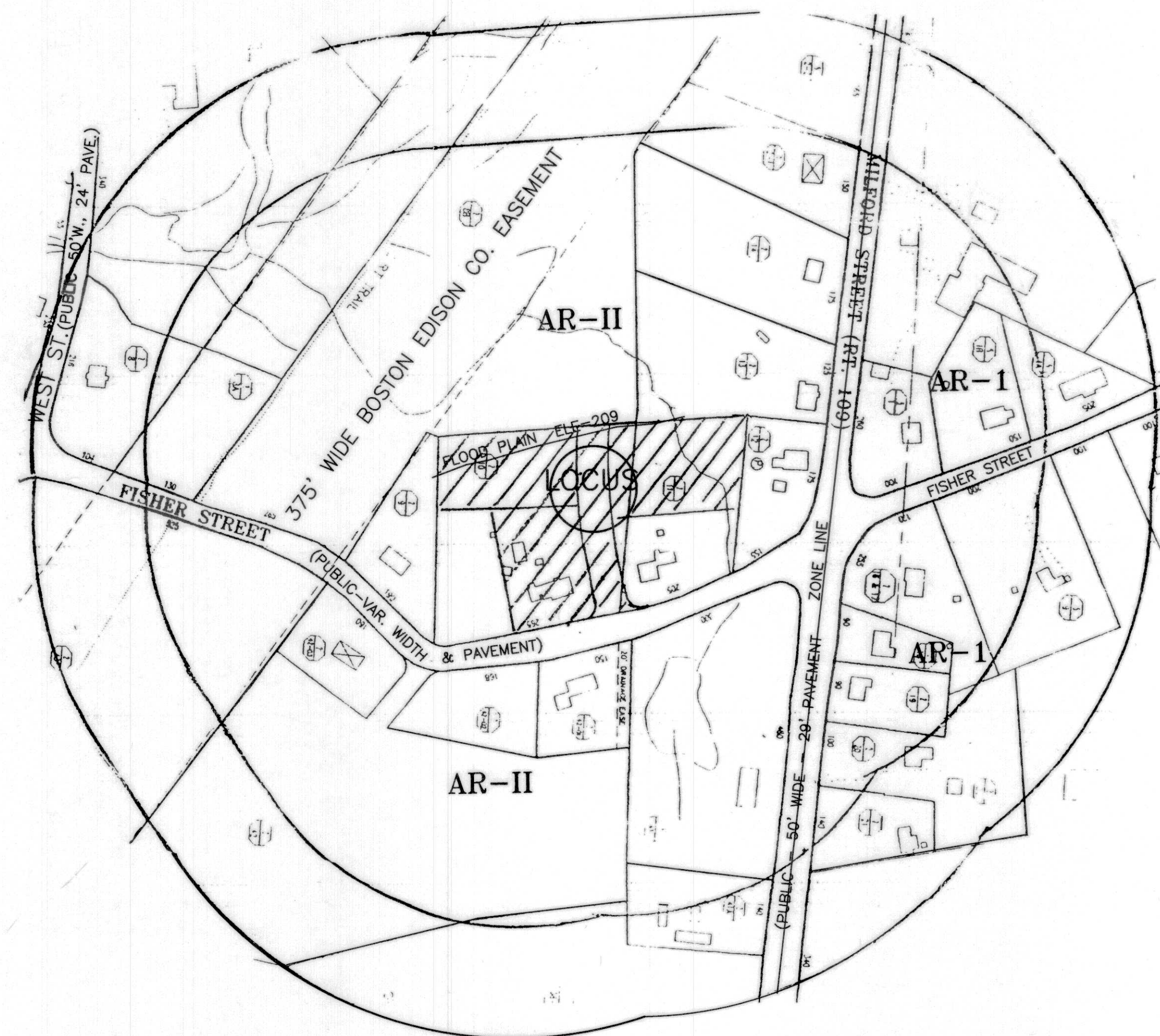
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## WAIVERS:

1. SECTION 5.6.3 - TO ALLOW USE OF NGVD 29 ELEVATION BASE IN LIEU OF NAVD 88.
2. SECTION 7.7.2.E - TO ALLOW REDUCED HOUSE FOOTPRINT SIZE IN DRAINAGE ANALYSIS AS NECESSARY.
3. SECTION 7.9.5 - TO ALLOW ROADWAY GRADE REDUCED TO 1% INSTEAD OF REQUIRED 2%.
4. SECTION 7.10.1 - TO ALLOW NO CURB OR BERM AT THE ROADWAY ENTRANCE AND THE CUL-DE-SAC ENTRANCE.
5. SECTION 7.10.2 - TO ALLOW NO CAPE COD BERM (EXCEPT WHERE NOTED) ALONG THE PERMANENT PRIVATE WAY.
6. SECTION 7.21 - TO ALLOW EXCLUSION OF STREET LIGHTING FROM PROPOSED DESIGN.

## NOTE:

REFERENCE IS MADE TO THE "DECLARATION OF PROTECTIVE COVENANTS & RESTRICTIONS AND PRIVATE ROADWAY MAINTENANCE AGREEMENT GOVERNING THE HAVEN" WHICH IS PART OF THE APPROVAL OF THIS SUBDIVISION.



SCALE: 1" = 200'

PREPARED BY:  
COLONIAL ENGINEERING  
11 AWL STREET  
MEDWAY, MA

MERRIKIN ENGINEERING, LLP  
CONSULTING ENGINEERS  
730 MAIN STREET, SUITE 2C  
MILLIS, MA 02054

PREPARED FOR:  
LOUIS J. CHESCHI, JR.  
9 HILLSIDE AVE.  
MILFORD, MA 01757

For Registry Use

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

*Paul J. Cheschi, Jr.*  
REGISTERED LAND SURVEYOR

I CERTIFY THAT THIS SURVEY AND PLAN CONFORMS TO THE ETHICAL, PROCEDURAL AND TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.

*Paul J. Cheschi, Jr.*  
REGISTERED LAND SURVEYOR

ZONING DISTRICT: AR DISTRICT II

ASSESSORS: PARCELS 45-039 & 45-041 AND PORTION OF 55-014

OWNER: LOUIS J. CHESCHI, JR.  
L & L REALTY TRUST  
9 HILLSIDE AVE.  
MILFORD, MA

APPLICANT: LOUIS J. CHESCHI, JR.  
L & L REALTY TRUST  
9 HILLSIDE AVE.  
MILFORD, MA

■ INDICATES BOUND TO BE SET

APPROVED AUGUST 25TH, 2015, WITH A CERTIFICATE OF ACTION, SUBJECT TO COVENANT CONDITIONS SET FORTH IN A COVENANT EXECUTED BY LOUIS J. CHESCHI, JR., TRUSTEE OF THE L & L REALTY TRUST, AND TO BE RECORDED HEREWITH.

I CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE PLANNING BOARD APPROVAL AND NO APPEAL HAS BEEN FILED IN THIS OFFICE.

DATE: *Nov 7 2016*

*Mary White*  
TOWN CLERK

DATE APPROVED: AUGUST 25, 2015

DATE ENDORSED: *11-8-2016*

*Paul J. Cheschi, Jr.*  
*Paul J. Cheschi, Jr.*  
REGISTERED LAND SURVEYOR

PLANNING BOARD - TOWN OF MEDWAY



	EXISTING	PROPOSED
CONTOUR	---	---
DRAIN PIPE	---	---
CATCH BASIN	□	□
DRAIN MANHOLE	○	DMH ○
DRAIN FES	△	FES △
SEWER PIPE	---	---
SEWER MANHOLE	○	SMH ○
SEWER CLEANOUT	o	CO o
WATER PIPE	---	---
GATE VALVE	⊗	GV ⊗
HYDRANT	⊗	HYD ⊗
WATER CAP	⊗	⊗
GAS PIPE	---	---
GAS CAP	⊗	⊗
ELEC, TEL, CBL	---	---
UP	⊗	UP ⊗
LP	⊗	LP ⊗

#### AREA CALCULATIONS:

1. TOTAL AREA	107,345 S.F.
2. NUMBER OF LOTS	3
3. TOTAL AREA OF LOTS	86,425 S.F.
4. TOTAL ROAD AREA	19,620 S.F.
5. TOTAL AREA, PARCEL A	1,300 S.F.
6. TOTAL OF LINES 2-5	107,345 S.F.

#### PLAN REFERENCES:

1. PLAN OF LAND IN MEDWAY, MA DATED NOV. 6, 2002 BY DESIMONE & ASSOCIATES.
2. PLAN OF LAND IN MEDWAY, MA DATED JULY 1, 2002 BY DESIMONE & ASSOCIATES.

#### PARCEL A NOTE:

1. PARCEL A TO BE DEEDED TO WILLIAM T. MASTERSON WHEN THE SUBDIVISION PLAN IS APPROVED AND RECORDED. AN ACCESS AND UTILITY EASEMENT SHALL ALSO BE GRANTED TO WILLIAM T. MATERSON OVER THE PERMANENT PRIVATE WAY.

#### NOTE:

REFERENCE IS MADE TO THE "DECLARATION OF PROTECTIVE COVENANTS & RESTRICTIONS AND PRIVATE ROADWAY MAINTENANCE AGREEMENT GOVERNING THE HAVEN" WHICH IS PART OF THE APPROVAL OF THIS SUBDIVISION.

#### ZONING TABLE

1. ZONING DISTRICT	AR DISTRICT II
2. AREA REQUIREMENT	22,500 S.F. (SINGLE FAMILY) 30,000 S.F. (2 FAMILY)
3. STREET FRONTAGE	150'
4. FRONT SETBACK	35' FROM STREET
5. SIDE SETBACK	15' FROM SIDE LOT LINE
6. REAR SETBACK	15' FROM REAR LOT LINE

#### OPERATION & MAINTENANCE PLAN:

IN ORDER TO MAXIMIZE THE CONTINUED EFFECTIVENESS OF THE STORMWATER MANAGEMENT BMPs PROPOSED FOR THIS PROJECT, THE FOLLOWING OPERATION AND MAINTENANCE PLAN IS PROPOSED. THE OWNER OF THE SITE SHALL BE RESPONSIBLE FOR FOLLOWING THE OPERATION AND MAINTENANCE PLAN AND PERFORMING THE WORK.

#### DEEP SUMP CATCH BASINS:

1. DEEP SUMP CATCH BASINS SHALL BE INSPECTED, AND ALL SEDIMENTS AND DEBRIS REMOVED, FOUR TIMES PER YEAR UNLESS THE OWNER CAN DETERMINE THROUGH RECORDED OBSERVATIONS THAT SEDIMENT ACCUMULATION DOES NOT WARRANT SUCH FREQUENT CLEANINGS. IF DEEP SUMP CATCH BASIN CLEANING OCCURS LESS THAN FOUR TIMES PER YEAR, CLEANING SHALL OCCUR WHEN TWO FEET OF SEDIMENTS HAVE ACCUMULATED IN THE SUMP AND AT LEAST ONCE PER YEAR.
2. ALL SEDIMENTS AND HYDROCARBONS SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS.

#### STORMWATER PIPES, INLETS AND OUTFALLS:

1. ALL STORMWATER INLETS AND OUTFALLS SHALL BE INSPECTED TWICE PER YEAR.
2. TRASH, LEAVES, DEBRIS AND SEDIMENT SHALL BE REMOVED FROM INLETS AND OUTFALLS AS NEEDED TO KEEP THEM FREE FLOWING.
3. IF INSPECTIONS INDICATE THAT STORMWATER PIPELINES HAVE BECOME PARTIALLY OBSTRUCTED WITH TRASH, LEAVES, DEBRIS OR SEDIMENT, THE PIPELINES SHALL BE CLEANED BY WATER JET TRUCK AND THE OBSTRUCTIONS REMOVED AND DISPOSED OF.

#### DOWNSTREAM DEFENDER™

1. DOWNSTREAM DEFENDER™ UNITS SHALL BE INSPECTED TWICE PER YEAR. SEDIMENTS AND FLOATING DEBRIS AND PETROLEUM PRODUCTS SHALL BE REMOVED WITH A VACUUM TRUCK WHEN EITHER THE SEDIMENT DEPTH REACHES 8 INCHES OR THE FLOATING DEPTH OF PETROLEUM PRODUCTS AND DEBRIS REACHES 3 INCHES. SEDIMENT AND FLOATING DEBRIS REMOVAL SHALL OCCUR AT LEAST ONCE PER YEAR UNLESS THE OWNER CAN DEMONSTRATE THAT SEDIMENT/FLOATING DEBRIS ACCUMULATION DOES NOT ACHIEVE THE THRESHOLDS NOTED ABOVE WITHIN A TYPICAL YEAR.
2. ALL SEDIMENTS AND HYDROCARBONS SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.

#### INFILTRATION TRENCH

1. PERFORM ALL PRETREATMENT BMP MAINTENANCE, STRUCTURAL AND NON-STRUCTURAL, AS REQUIRED HEREIN.
2. INSPECT BOTH THE INLET AND OUTLET MANHOLES TO THE INFILTRATION TRENCH AS WELL AS THE 8 INSPECTION PORTS AT LEAST TWICE PER YEAR APPROXIMATELY 2-4 DAYS AFTER A RAINFALL EVENT TO ENSURE THAT WATER IS NOT STILL IN THE TRENCH (AS IT SHOULD HAVE INFILTRATED INTO UNDERLYING SOILS BY THEN).
3. SHOULD THE INFILTRATION TRENCH ACCUMULATE SEDIMENTS AND FAIL TO INFILTRATE WATER SUFFICIENTLY, THE TRENCH SYSTEM SHALL BE EXCAVATED AND REPLACED IN ACCORDANCE WITH THE ORIGINAL DESIGN.

#### ROOF RUNOFF INFILTRATION SYSTEMS

1. EVERY LOT WITHIN THE ASSOCIATION IS REQUIRED TO HAVE AND MAINTAIN AN INDIVIDUAL ROOF RUNOFF SYSTEM ("ROOF SYSTEM").
2. ROOF SYSTEMS SHALL BE MAINTAINED IN GOOD WORKING ORDER AT ALL TIMES BY EACH LOT OWNER.
3. GUTTERS AND DOWNSPOUTS SHALL BE MAINTAINED IN GOOD WORKING ORDER AT ALL TIMES.
4. THE OPERATOR SHALL INSPECT THE ROOF SYSTEMS ONCE PER CALENDAR YEAR SHORTLY AFTER A SMALL RAINSTORM EVENT TO ENSURE PROPER OPERATION AND TO ENSURE THAT RUNOFF FROM THE ENTIRE ROOF AREA OF THE HOUSE IS DRAINING INTO THE ROOF SYSTEM.
5. ROOF SYSTEMS SHALL BE REPLACED/REPAIRED BY INDIVIDUAL LOT OWNERS AS NEEDED TO ENSURE THEIR CONTINUED OPERATION IN ACCORDANCE WITH THE SUBDIVISION PLAN AND STORMWATER REPORT.

#### GENERAL NOTES:

1. EXISTING CONDITIONS INFORMATION BY COLONIAL ENGINEERING.
2. PERIMETER SURVEY BY COLONIAL ENGINEERING.
3. WETLAND FLAGS BY MUNICIPAL ENGINEERING SERVICES, INC.
4. WETLAND FLAGS LOCATED BY COLONIAL ENGINEERING.
5. EXISTING UTILITY INFORMATION IS BASED ON BEST AVAILABLE RECORDS FROM THE TOWN OF MEDWAY AND OTHER SOURCES AND VISIBLE SURFACE FEATURES SUCH AS MANHOLES, CATCH BASINS, UTILITY POLES, HYDRANTS, VALVE BOXES, ETC. EXISTING UTILITY INFORMATION DEPICTED ON THESE PLANS ARE NOT WARRANTED TO BE CORRECT AND THE DEVELOPER SHALL BE RESPONSIBLE FOR FIELD VERIFYING ALL LOCATIONS PRIOR TO COMMENCEMENT OF WORK.
6. THE DEVELOPER SHALL RETAIN FEE INTEREST IN THE WORK WITHIN THE ROADWAY RIGHT-OF-WAY.
7. BOUNDARY MONUMENTS SHALL BE A STANDARD GRANITE OR REINFORCED CONCRETE MARKER OF NOT LESS THAN 3" IN LENGTH AND NOT LESS THAN 5" IN WIDTH AND BREADTH AND SHALL HAVE A 3/8" DRILL HOLE IN THE CENTER OF THE TOP SURFACE. IN ADDITION TO THE STANDARD PERMANENT ROADWAY MONUMENTS, EACH POINT WHERE THE LOT LINES INTERSECT THE STREET RIGHT OF WAY SHALL HAVE A 1" DIAMETER STEEL ROD 3' IN LENGTH INSTALLED WITH THE TOP FLUSH WITH THE FINAL GRADED SURFACE.

#### CONSTRUCTION NOTES:

1. THE DEVELOPER SHALL CONTACT DIGSAFE AT 1-800-322-4844 PRIOR TO ANY EXCAVATION ACTIVITIES.
2. THE DEVELOPER SHALL OBTAIN A STREET OPENING PERMIT PERMIT FROM THE TOWN OF MEDWAY, IF REQUIRED, PRIOR TO THE CONSTRUCTION OF THE STREET OPENING ON FISHER STREET.
3. THE DEVELOPER SHALL BE RESPONSIBLE FOR PROVIDING THE REQUIRED STREET NAME SIGNS AND STOP SIGNS IN ACCORDANCE WITH MEDWAY DPS STANDARD REQUIREMENTS.
4. DETAILS HAVE BEEN PROVIDED ON THE LAST SHEETS OF THIS PLAN SETS. MOST OF THE DETAILS INCLUDED THEREIN ARE INTENDED TO MATCH THE TOWN OF MEDWAY DEPARTMENT OF PUBLIC WORKS TYPICAL DETAILS FOR ROADWAY, DRAINAGE, WATER MAIN, AND SEWERAGE CONSTRUCTION. WHERE THE STANDARD DETAILS INCLUDED HEREIN DIFFER FROM THE TOWN OF MEDWAY'S STANDARD DETAILS, THE TOWN OF MEDWAY'S STANDARD DETAILS SHALL PREVAIL UNLESS OTHERWISE AGREED BY THE ENGINEERING DEPARTMENT.
5. WHERE SPECIFIED, CURBS SHALL BE BITUMINOUS CONCRETE MODIFIED CAPE COD BERMS IN CONFORMANCE WITH TOWN OF MEDWAY STANDARDS.
6. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE DESIGN OF ALL UNDERGROUND ELECTRICAL, TELEPHONE, AND CABLE DISTRIBUTION SYSTEMS WITHIN THE ROADWAY RIGHT-OF-WAY. DESIGN SHALL INCLUDE THE APPROPRIATE CONDUIT RUNS AND JUNCTION BOX LOCATIONS.
7. ELEVATION DATUM IS NGVD 1929.
8. DECIDUOUS STREET TREES SHALL BE PLANTED AS SHOWN ON THE PROFILE SHEET. STREET TREES SHALL BE LOCATED ON THE LOTS AT LEAST SIX FEET (6') FROM THE ROADWAY LAYOUT. AT LEAST THREE (3) TREES ARE TO BE LOCATED ON EACH LOT AT APPROX. 40' INTERVALS AND SHALL BE PLANTED NO MORE THAN 20' FROM THE RIGHT OF WAY LINE.
9. TREES SHALL BE AT LEAST 12' IN HEIGHT, 2.5" IN CALIPER MEASURED 4' ABOVE THE APPROVED GRADE AND SHALL BE PLANTED IN AT LEAST ONE CUBIC YARD OF TOPSOIL. TREES SHALL BE AN ALTERNATING MIX OF THE FOLLOWING SPECIES: SHADEMASTER; HONEY AND SKYLINE LOCUST; SUGAR MAPLE; WHITE, SCARLET, PIN AND NORTHERN RED OAK; BRADFORD AND ARISTOCRAT PEARS; LONDON PLANETREE; OR OTHER SPECIES APPROVED IN ADVANCE BY THE TREE WARDEN.
10. NATIVE PLANT SPECIES SHALL BE PLANTED WITHIN THE 100' WETLAND BUFFER ZONE, WHERE GRASS IS NOT PROPOSED.
11. THE CONTRACTOR MUST FIELD LOCATE ALL UTILITIES PRIOR TO BACKFILLING IN ORDER THAT UNDERGROUND UTILITIES MAY BE ACCURATELY REPRESENTED ON AS-BUILT PLANS.
12. NO DWELLING WILL BE CONSTRUCTED ON ANY LOT WITHOUT FIRST SECURING FROM THE BOARD OF HEALTH THE DISPOSAL WORKS CONSTRUCTION PERMIT REQUIRED BY TITLE V OF THE STATE ENVIRONMENTAL CODE.
13. SUBDIVISION CONSTRUCTION SHALL COMPLY WITH ADA/AAB HANDICAPPED ACCESSIBILITY STANDARDS.
14. PLUMBERS AND DRAIN LAYERS OF ESTABLISHED REPUTATION AND EXPERIENCE WILL BE LICENSED BY THE BOARD AS DRAIN LAYERS AUTHORIZED TO PERFORM WORK.
15. THE WATER INSTALLER SHALL COORDINATE WITH THE MEDWAY DEPARTMENT OF PUBLIC SERVICES PRIOR TO START OF WORK. TRENCHING UNDER EXISTING ASPHALT IN THE RIGHT-OF-WAY WILL REQUIRE CONTROLLED DENSITY FILL AS BACKFILL MATERIAL.

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Paul J. Desimone  
REGISTERED LAND SURVEYOR

I CERTIFY THAT THIS SURVEY AND PLAN CONFORMS TO THE ETHICAL, PROCEDURAL AND TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.

Paul J. Desimone  
REGISTERED LAND SURVEYOR

ZONING DISTRICT: AR DISTRICT II

ASSESSORS: PARCELS 45-039 & 45-041  
AND PORTION OF 55-014

OWNER: LOUIS J. CHESCHI, JR.  
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DATE: Nov 7, 2016  
Mary J. Sorbuto  
TOWN CLERK

DATE APPROVED: AUGUST 25, 2015

DATE ENDORSED: 11-8-2016

Paul J. Desimone  
Daniel J. Merrikin  
Daniel J. Merrikin

PLANNING BOARD - TOWN OF MEDWAY

**LEGEND**  
**THE HAVEN**  
**DEFINITIVE SUBDIVISION**  
**PLAN OF LAND IN**  
**MEDWAY, MA**  
**COLONIAL ENGINEERING, INC.**  
**11 AWL ST., MEDWAY, MA**  
**MERRIKIN ENGINEERING, LLP**  
**CONSULTING ENGINEERS**  
**730 MAIN STREET, SUITE 2C**  
**MILLIS, MA 02054**

DATE: NOV. 4, 2003

REVISION	DATE	BY
PLANNING BOARD COMMENTS	11/29/04	R.F.M.
PLANNING BOARD COMMENTS	12/23/04	R.F.M.
PLANNING BOARD COMMENTS	1/21/05	R.F.M.
PLANNING BOARD DECISION	10/7/05	R.F.M.
2015 RESUBMISSION	3/25/15	D.J.M.
REVISIONS PER TOWN COMMENTS	7/8/15	D.J.M.
WETLAND FLAGS TO SHEETS 5 & 6	7/23/15	D.J.M.
REVISIONS FOR ENDORSEMENT PER CERT.	10/9/15	D.J.M.



Scale 1" = 40 ft

560-01

SHEET 2 OF 10



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*Paul J. Desjardins*  
REGISTERED LAND SURVEYOR

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*Paul J. Desjardins*  
REGISTERED LAND SURVEYOR

ZONING DISTRICT: AR DISTRICT II

ASSESSORS: PARCELS 45-039 & 45-041 AND PORTION OF 55-014

OWNER: LOUIS J. CHESCHI, JR.  
L & L REALTY TRUST  
9 HILLSIDE AVE.  
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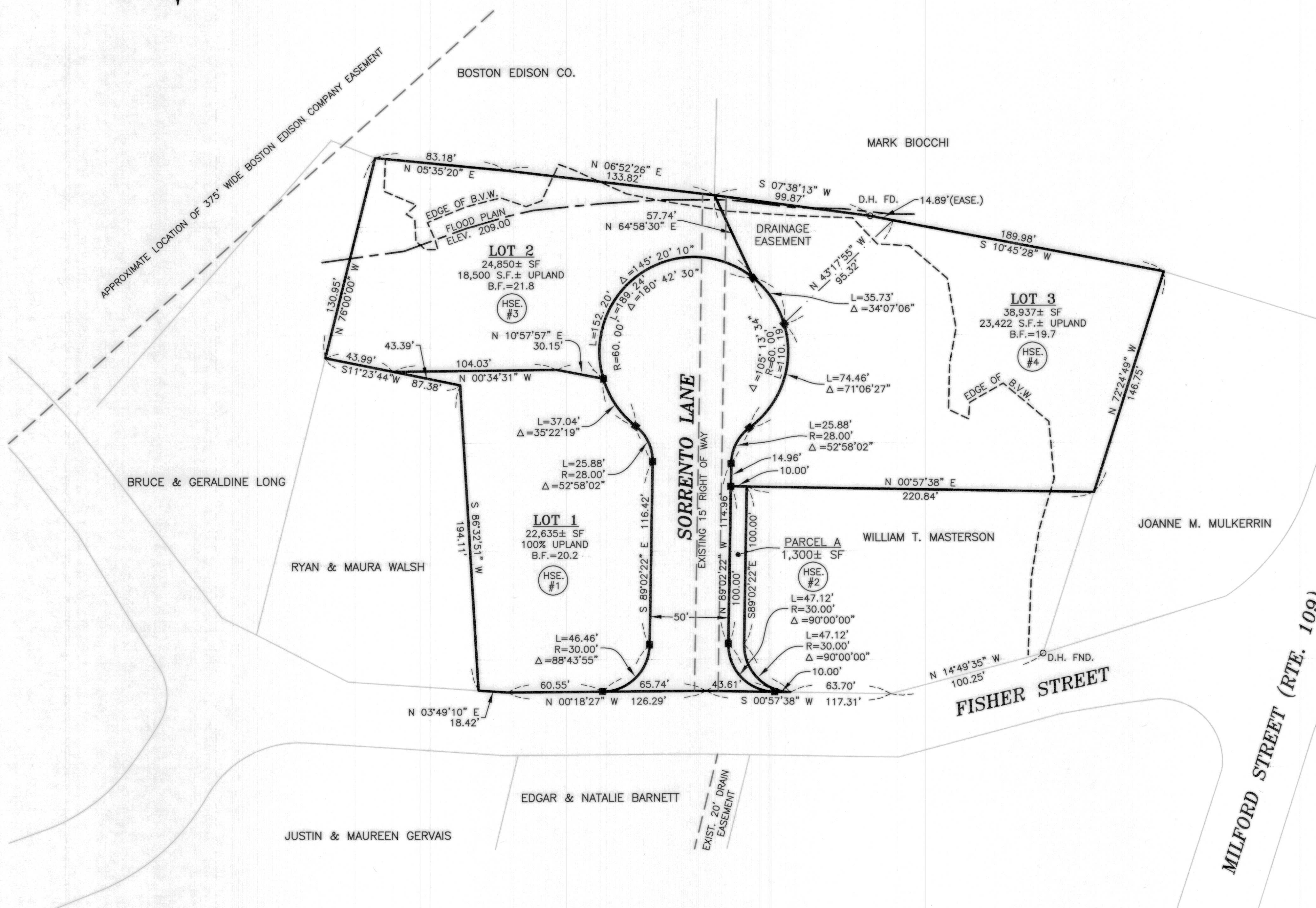
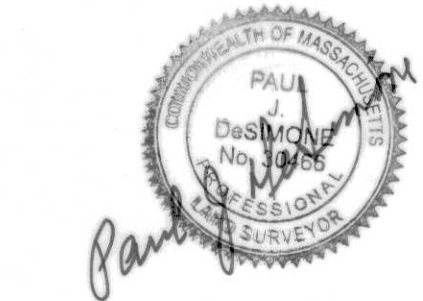
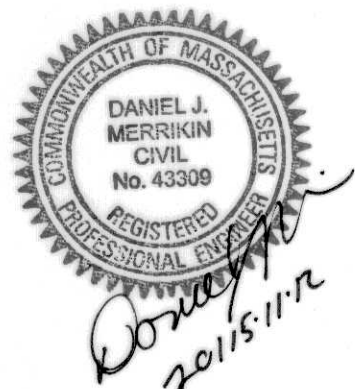
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DATE APPROVED: AUGUST 25, 2015

DATE ENFORCED: *11-8-2016*

*D. J. Merrigan*  
*William J. Distefano*

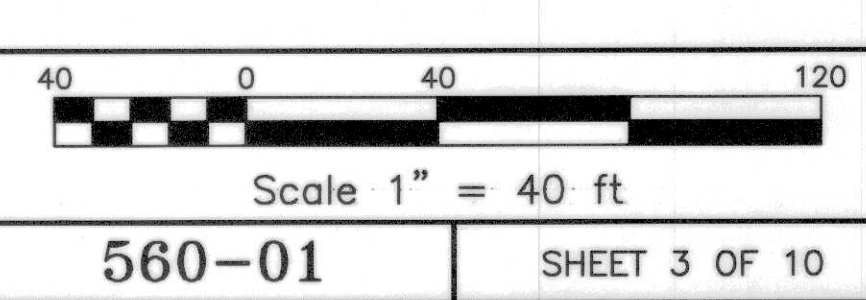
PLANNING BOARD - TOWN OF MEDWAY



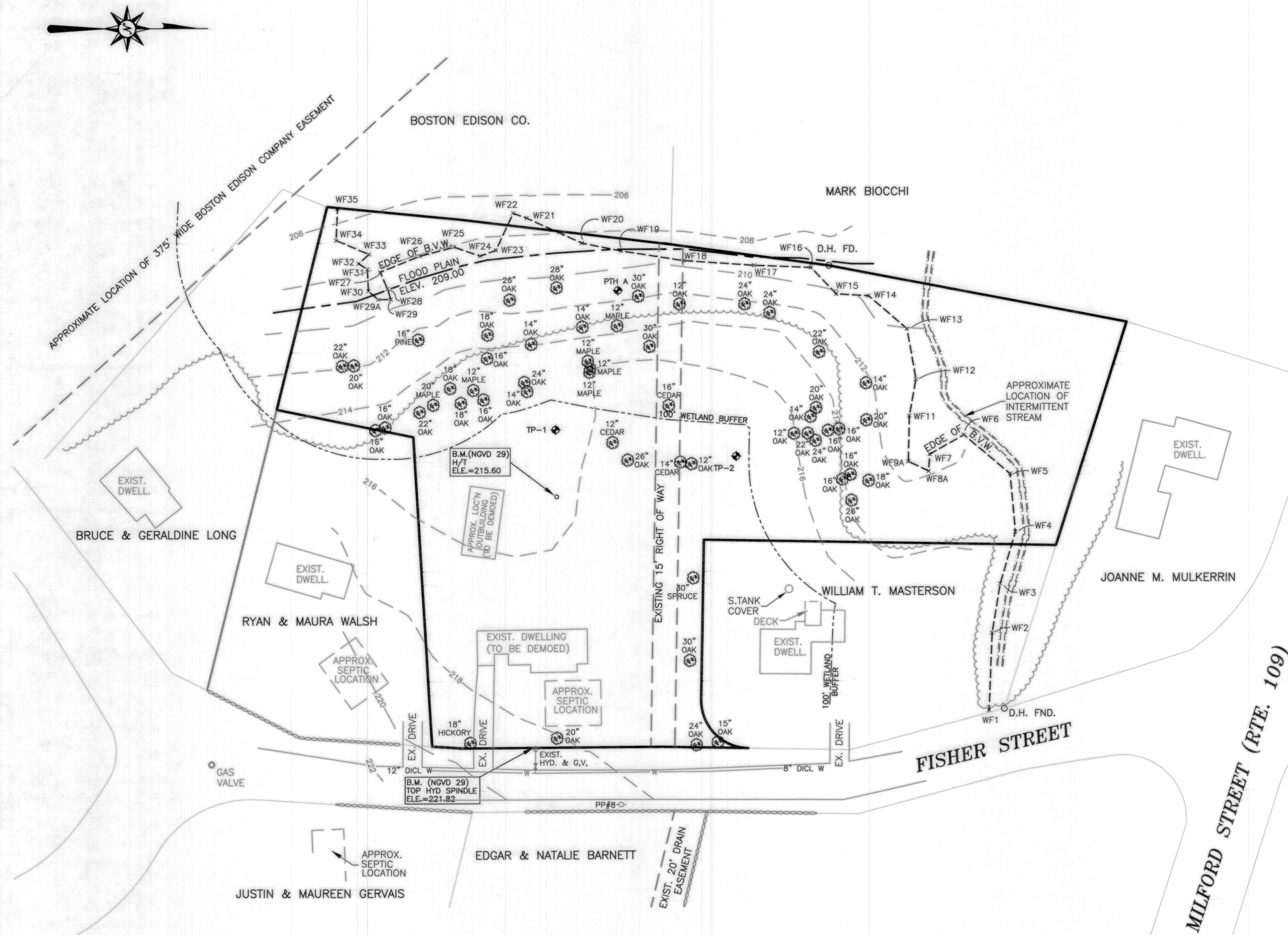
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  - NGVD29 DATUM



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*Paul J. Delmonico*  
REGISTERED LAND SURVEYOR

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*Paul J. Delmonico*  
REGISTERED LAND SURVEYOR

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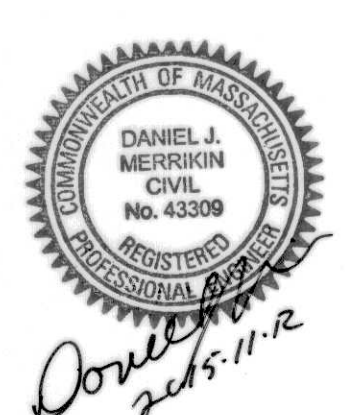
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DATE: *Nov 9, 2016*  
*Mayor White*  
TOWN CLERK

DATE APPROVED: AUGUST 25, 2015

DATE ENFORCED: *11-18-2016*  
*D. J. Merrikin*  
PLANNING BOARD - TOWN OF MEDWAY



**EXISTING CONDITIONS  
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DEFINITIVE SUBDIVISION  
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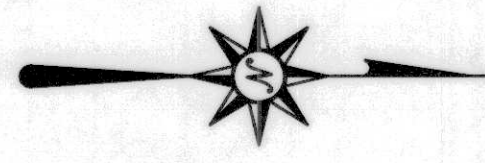
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**560-01**

SHEET 4 OF 10





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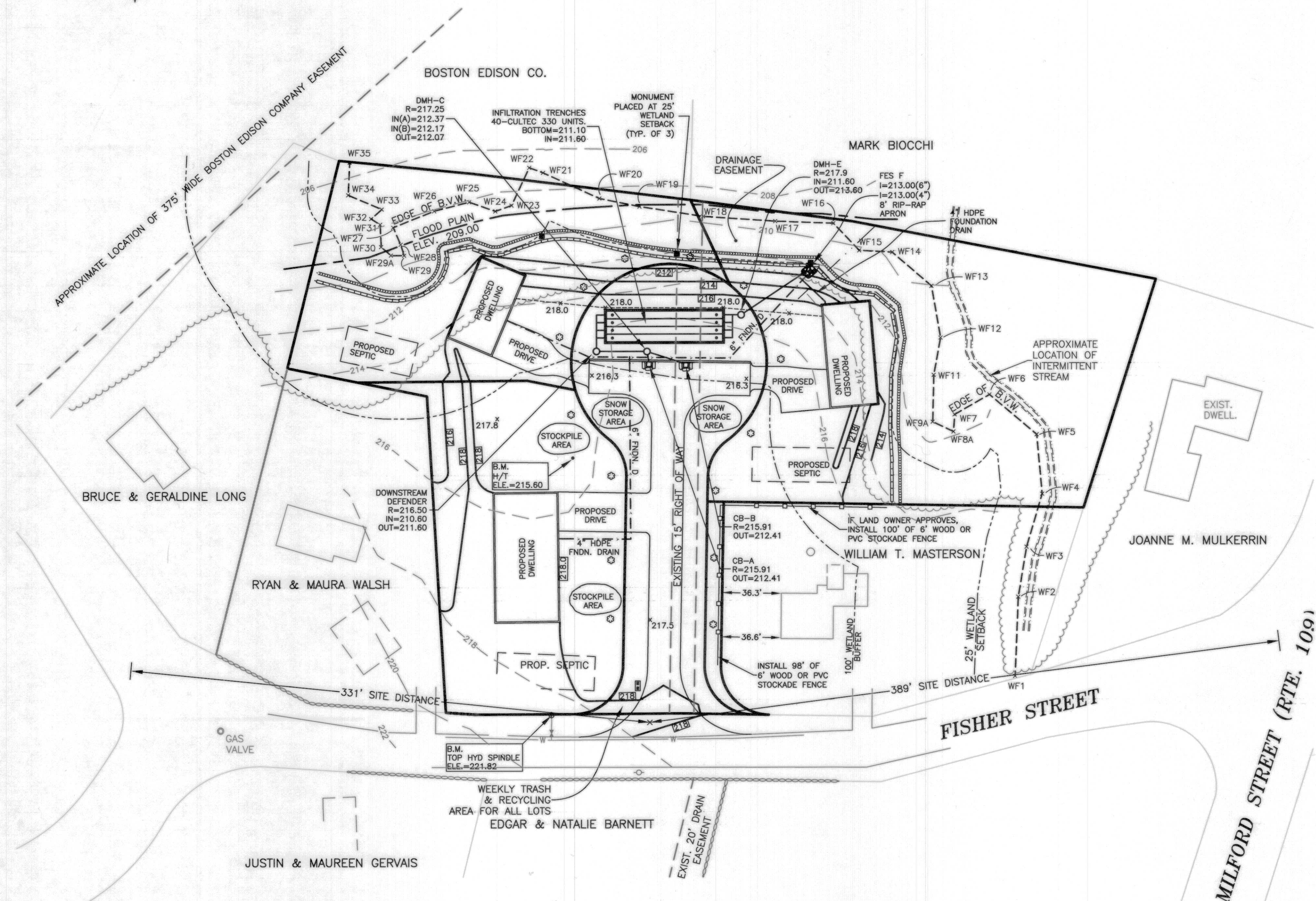
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2. REFER TO PROFILE SHEET FOR PROPOSED PLANTINGS IN CUL-DE-SAC LAYOUT.
3. CONTRACTOR SHALL COORDINATE WITH THE MEDWAY DPS PRIOR TO SIGNAGE INSTALLATION TO ENSURE CONFORMANCE WITH POST AND SIGN STYLE REQUIREMENTS.
4. SNOW SHALL BE STOCKPILED OUTSIDE THE BUFFER ZONE WHERE SHOWN. DO NOT STOCKPILE SNOW OVER STORMWATER SYSTEMS.
5. NGVD 29 DATUM

DRAINAGE NOTES

1. FOUNDATION DRAINS SHALL BE 6" HDPE, AND SHALL HAVE A SLOPE OF AT LEAST 1% AT ELEVATIONS SUITABLE TO DRAIN HOUSE FOUNDATION DRAINS.
2. ALL PIPING FROM CATCH BASINS TO DMH-C SHALL BE 12" RCP CLASS IV.
3. PIPING FROM DMH-C TO DOWNSTREAM DEFENDER SHALL BE 12" RCP CLASS IV.
4. PIPING FROM DOWNSTREAM DEFENDER TO INFILTRATION TRENCH SHALL BE 12" HDPE AT S=0.00.
5. PIPING FROM INFILTRATION TRENCH TO DMH-E SHALL BE 12" HDPE AT S=0.00.
6. PIPING FROM DMH-E TO HW-F SHALL BE 6" HDPE.
7. ASSUMED IMPERVIOUS AREA PER LOT (SUBJECT TO CHANGE ONCE INDIVIDUAL LOT DEVELOPMENT AND BUILDING CONSTRUCTION PLANS ARE PREPARED):  
7.1. LOT 1 - 4,200 SF  
7.2. LOT 2 - 3,600 SF  
7.3. LOT 3 - 3,600 SF

GRADING NOTES:

1. LIMIT OF CLEARING SHALL BE THE PROPOSED STRAWBALE LINE.
2. EQUIPMENT AND MATERIAL STOCKPILE AREAS SHALL BE LIMITED TO LOT 1, OUTSIDE THE 100' WETLAND BUFFER ZONE.



For Registry Use

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

*Paul J. Delmonico*  
REGISTERED LAND SURVEYOR

I CERTIFY THAT THIS SURVEY AND PLAN CONFORMS TO THE ETHICAL, PROCEDURAL AND TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.

*Paul J. Delmonico*  
REGISTERED LAND SURVEYOR

ZONING DISTRICT: AR DISTRICT II

ASSESSORS: PARCELS 45-039 & 45-041 AND PORTION OF 55-014

OWNER: LOUIS J. CHESCHI, JR.  
L & L REALTY TRUST  
9 HILLSIDE AVE.  
MILFORD, MA

APPLICANT: LOUIS J. CHESCHI, JR.  
L & L REALTY TRUST  
9 HILLSIDE AVE.  
MILFORD, MA

■ INDICATES BOUND TO BE SET

APPROVED AUGUST 25TH, 2015, WITH A CERTIFICATE OF ACTION, SUBJECT TO COVENANT CONDITIONS SET FORTH IN A COVENANT EXECUTED BY LOUIS J. CHESCHI, JR., TRUSTEE OF THE L & L REALTY TRUST, AND TO BE RECORDED HEREWITH.

I CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE PLANNING BOARD APPROVAL AND NO APPEAL HAS BEEN FILED IN THIS OFFICE.

DATE: *Nov 7 2015*  
*Mary White*  
TOWN CLERK

DATE APPROVED: AUGUST 25, 2015

DATE ENDORSED: *11-8-2015*

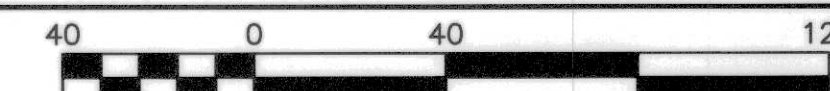
*Paul J. Delmonico*  
*Paul J. Delmonico*  
REGISTERED LAND SURVEYOR

PLANNING BOARD - TOWN OF MEDWAY

**GRADING SHEET  
THE HAVEN  
DEFINITIVE SUBDIVISION  
PLAN OF LAND IN  
MEDWAY, MA  
COLONIAL ENGINEERING, INC.  
11 AWL ST., MEDWAY, MA  
MERRIKIN ENGINEERING, LLP  
CONSULTING ENGINEERS  
730 MAIN STREET, SUITE 2C  
MILLIS, MA 02054**

DATE: NOV. 4, 2003

REVISION	DATE	BY
PLANNING BOARD COMMENTS	11/29/04	R.F.M.
PLANNING BOARD COMMENTS	12/23/04	R.F.M.
PLANNING BOARD COMMENTS	1/21/05	R.F.M.
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2015 RESUBMISSION	3/25/15	D.J.M.
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WETLAND FLAGS TO SHEETS 5 & 6	7/23/15	D.J.M.
REVISIONS FOR ENDORSEMENT PER CERT.	10/9/15	D.J.M.



Scale 1" = 40 ft

560-01

SHEET 5 OF 10



# NOTES:

1. REFERENCE IS MADE TO THE "DECLARATION OF PROTECTIVE COVENANTS & RESTRICTIONS AND PRIVATE ROADWAY MAINTENANCE AGREEMENT GOVERNING THE HAVEN" WHICH IS PART OF THE APPROVAL OF THIS SUBDIVISION.
2. LIMIT OF CLEARING SHALL BE THE PROPOSED STRAWBALE LINE.
3. NGVD29 DATUM

## EROSION CONTROL NOTES:

1. EROSION CONTROLS SHALL BE INSTALLED PRIOR TO ANY EARTHWORK ON THE SITE.
2. EROSION CONTROLS (INCLUDING SILT SACS) SHALL BE INSPECTED DAILY BY THE SITE CONTRACTOR AND MAINTAINED/REPLACED AS NEEDED.
3. SOIL STOCKPILES LEFT FOR MORE THAN ONE DAY SHALL BE SURROUNDED WITH SILT FENCE AND COVERED.
4. EXISTING AND NEWLY CONSTRUCTED STORMWATER SYSTEMS SHALL BE PROTECTED THROUGHOUT CONSTRUCTION. CATCH BASINS SHALL BE PROTECTED IN ACCORDANCE WITH THE DETAILS ON THIS PLAN. RUNOFF SHALL NOT BE ALLOWED TO PASS INTO THE STORMWATER INFILTRATION SYSTEM UNTIL THE PRETREATMENT DEVICES ARE CONSTRUCTED AND FULLY OPERATIONAL.

For Registry Use

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*Paul J. Delmonico*  
REGISTERED LAND SURVEYOR

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*Paul J. Delmonico*  
REGISTERED LAND SURVEYOR

ZONING DISTRICT: AR DISTRICT II

ASSESSORS: PARCELS 45-039 & 45-041 AND PORTION OF 55-014

OWNER: LOUIS J. CHESCHI, JR.  
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DATE: *Nov 7, 2016*  
*Maya White*  
TOWN CLERK

DATE APPROVED: AUGUST 25, 2015

DATE ENDORSED: *11-8-2016*

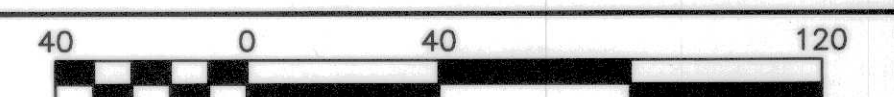
*Paul J. Delmonico*  
*Paul J. Delmonico*  
REGISTERED LAND SURVEYOR

PLANNING BOARD - TOWN OF MEDWAY

**EROSION CONTROL  
THE HAVEN  
DEFINITIVE SUBDIVISION  
PLAN OF LAND IN  
MEDWAY, MA  
COLONIAL ENGINEERING, INC.  
11 AWL ST., MEDWAY, MA  
MERRIKIN ENGINEERING, LLP  
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730 MAIN STREET, SUITE 2C  
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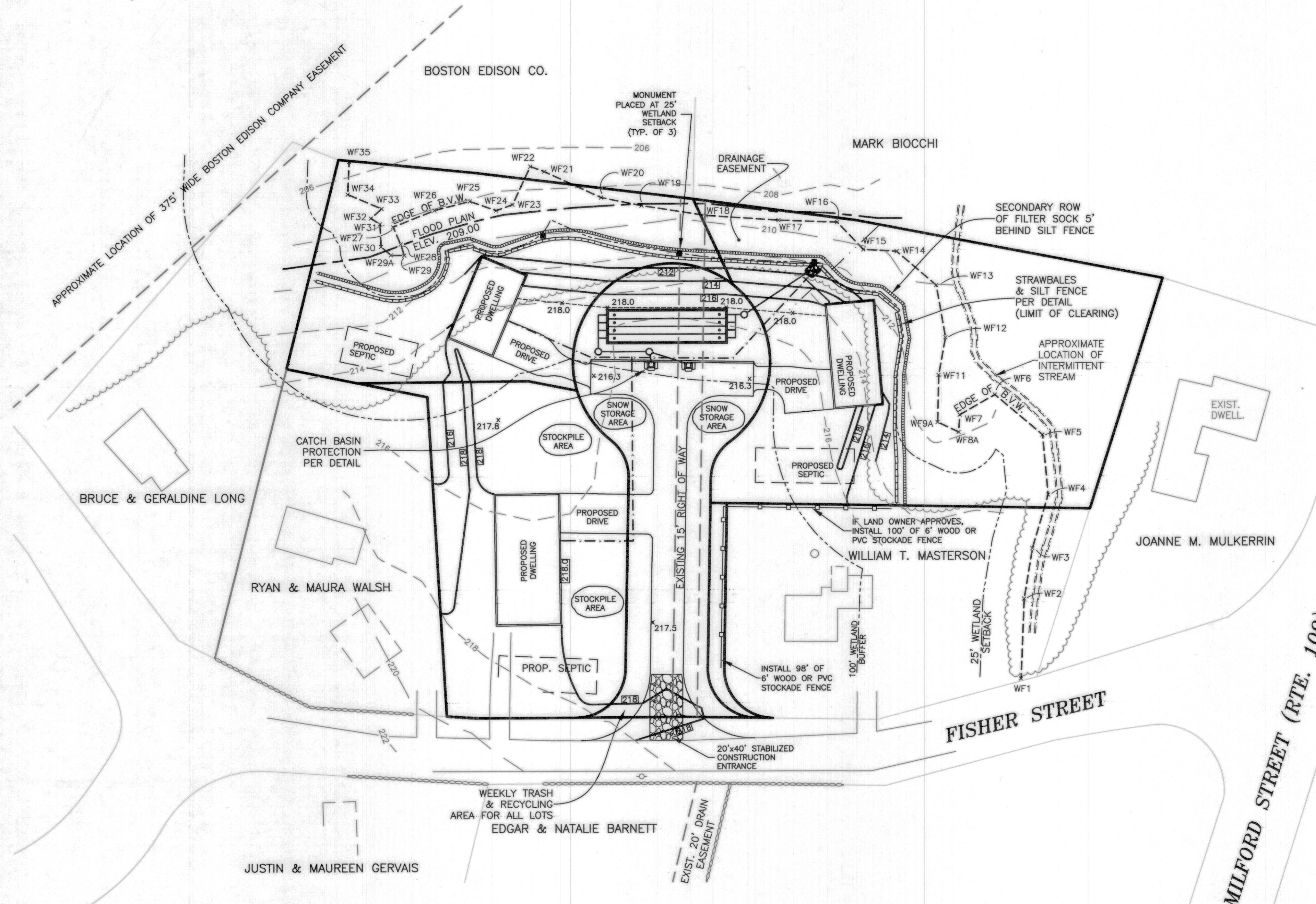
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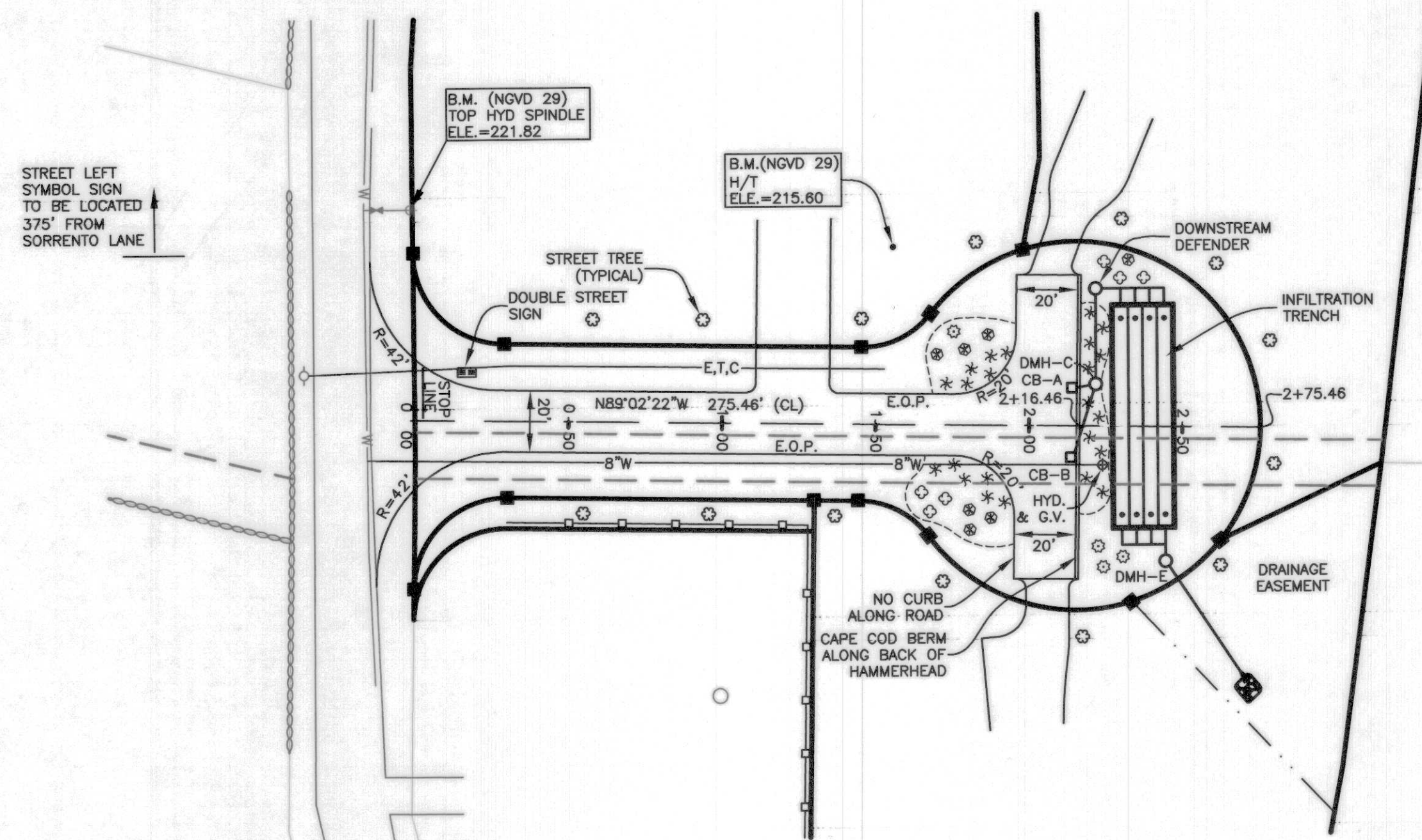
Scale 1" = 40 ft

560-01

SHEET 6 OF 10



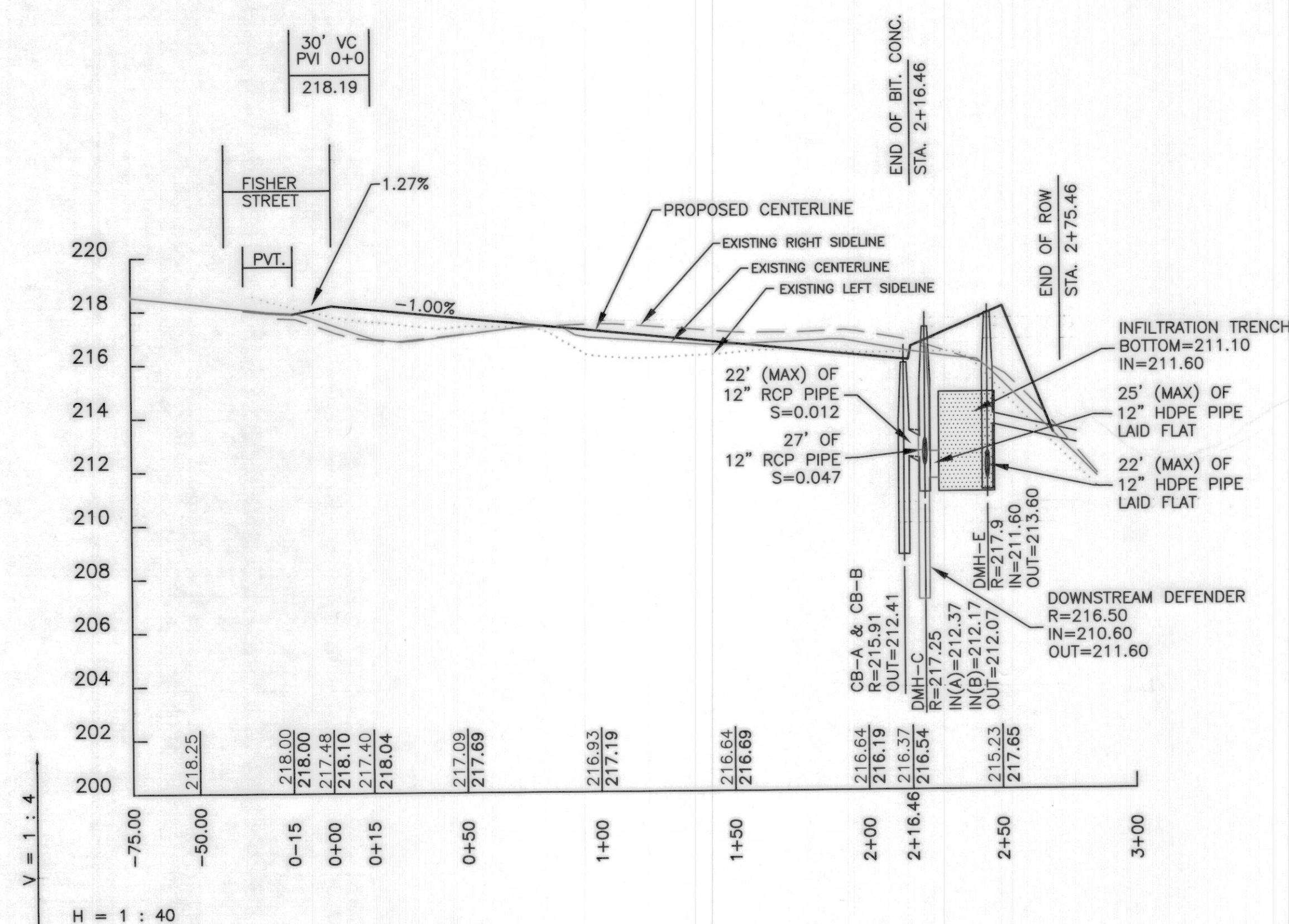




**SORRENTO LANE — PLAN VIEW**  
SCALE" 1" = 40'

**NOTE:**

1. CONTRACTOR SHALL INSTALL ONE (1) ADDITIONAL 4-INCH CONDUIT IN THE SAME TRENCH AS TELEPHONE, ELECTRIC AND CABLE CONDUIT FOR FUTURE USE BY TOWN OF MEDWAY.



**SORRENTO LANE — PROFILE**  
SCALE: 1" = 40' HORIZ.  
1" = 4' VERT.

**LANDSCAPING LEGEND:**

- LITTLE PRINCESS SPIREA, 18"-24"
- \* SOLOMON'S SEAL (POLYGONATUM PUBESCENS) 1 GAL.
- ⊗ PJM RHODODENDRON, 18"-24"
- ⊗ BLUE MAID HOLLY (ILEX M. BLUE MAID) 2.5-3.5'

**PLANTING NOTE:**

SHRUBS SHALL BE INSTALLED IN AT LEAST THE SAME QUANTITIES AS SHOWN. SHRUB SPECIES SUBSTITUTION IS ALLOWED, DEPENDING ON NURSERY AVAILABILITY.

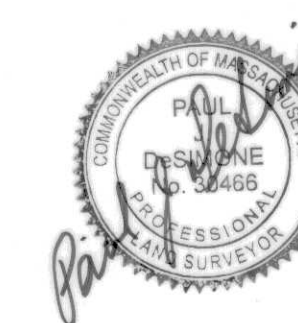
**STREET TREES:**

STREET TREES SHALL MEET THE REQUIREMENTS OF THE SUBDIVISION REGULATIONS AND SHALL BE A MINIMUM OF 12' IN HEIGHT AND 2.5" CALIPER AT TIME OF INSTALLATION. SPECIES SHALL BE A COMBINATION OF AT LEAST THREE OF THE SPECIES PERMITTED IN THE SUBDIVISION REGULATIONS.

**NOTE:**

REFERENCE IS MADE TO THE "DECLARATION OF PROTECTIVE COVENANTS & RESTRICTIONS AND PRIVATE ROADWAY MAINTENANCE AGREEMENT GOVERNING THE HAVEN" WHICH IS PART OF THE APPROVAL OF THIS SUBDIVISION.

For Registry Use



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*Paul J. Cheschi*  
REGISTERED LAND SURVEYOR

I CERTIFY THAT THIS SURVEY AND PLAN CONFORMS TO THE ETHICAL, PROCEDURAL AND TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.

*Paul J. Cheschi*  
REGISTERED LAND SURVEYOR

ZONING DISTRICT: AR DISTRICT II

ASSESSORS: PARCELS 45-039 & 45-041 AND PORTION OF 55-014

OWNER: LOUIS J. CHESCHI, JR.  
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DATE: *Nov 7 2015*  
*Mary White*  
TOWN CLERK

DATE APPROVED: AUGUST 25, 2015

DATE ENDORSED: *11-8-2015*



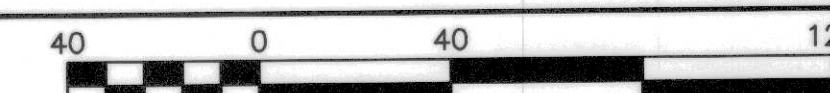
*Daniel J. Merrikin*  
REGISTERED PROFESSIONAL ENGINEER

PLANNING BOARD — TOWN OF MEDWAY

**PROFILE  
THE HAVEN  
DEFINITIVE SUBDIVISION  
PLAN OF LAND IN  
MEDWAY, MA  
COLONIAL ENGINEERING, INC.  
11 AWL ST., MEDWAY, MA  
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730 MAIN STREET, SUITE 2C  
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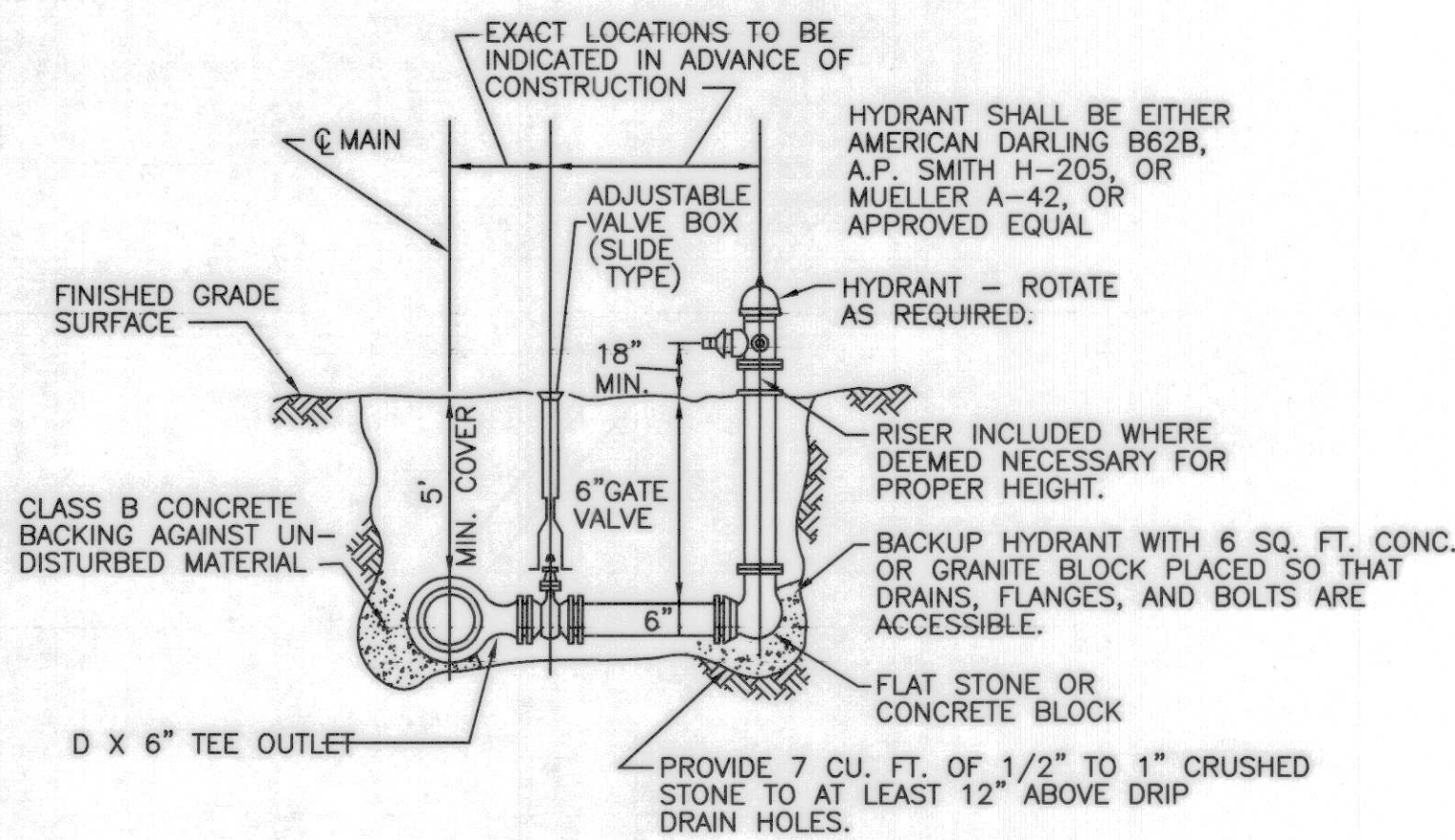


Scale 1" = 40 ft

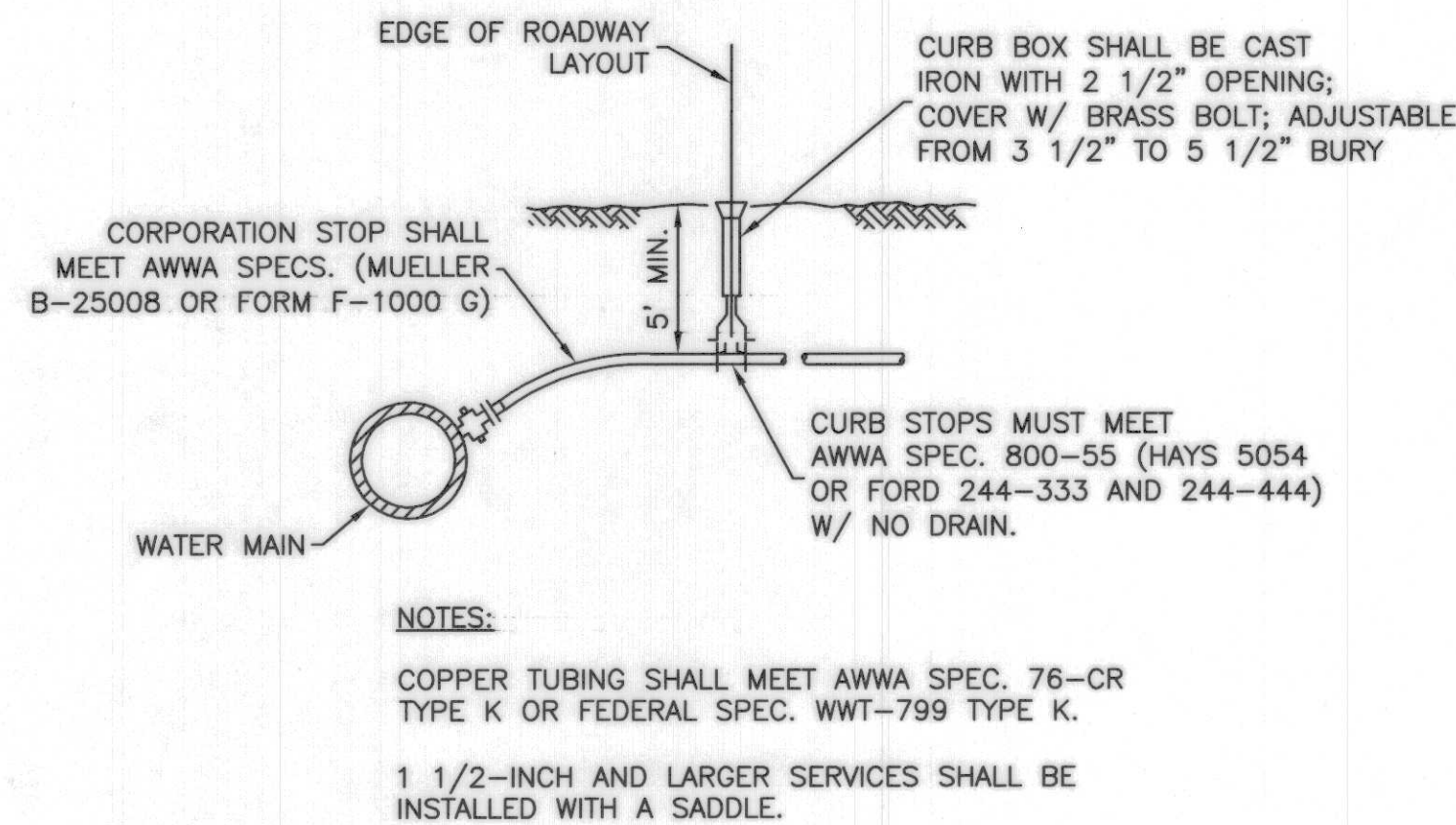
560-01

SHEET 7 OF 10

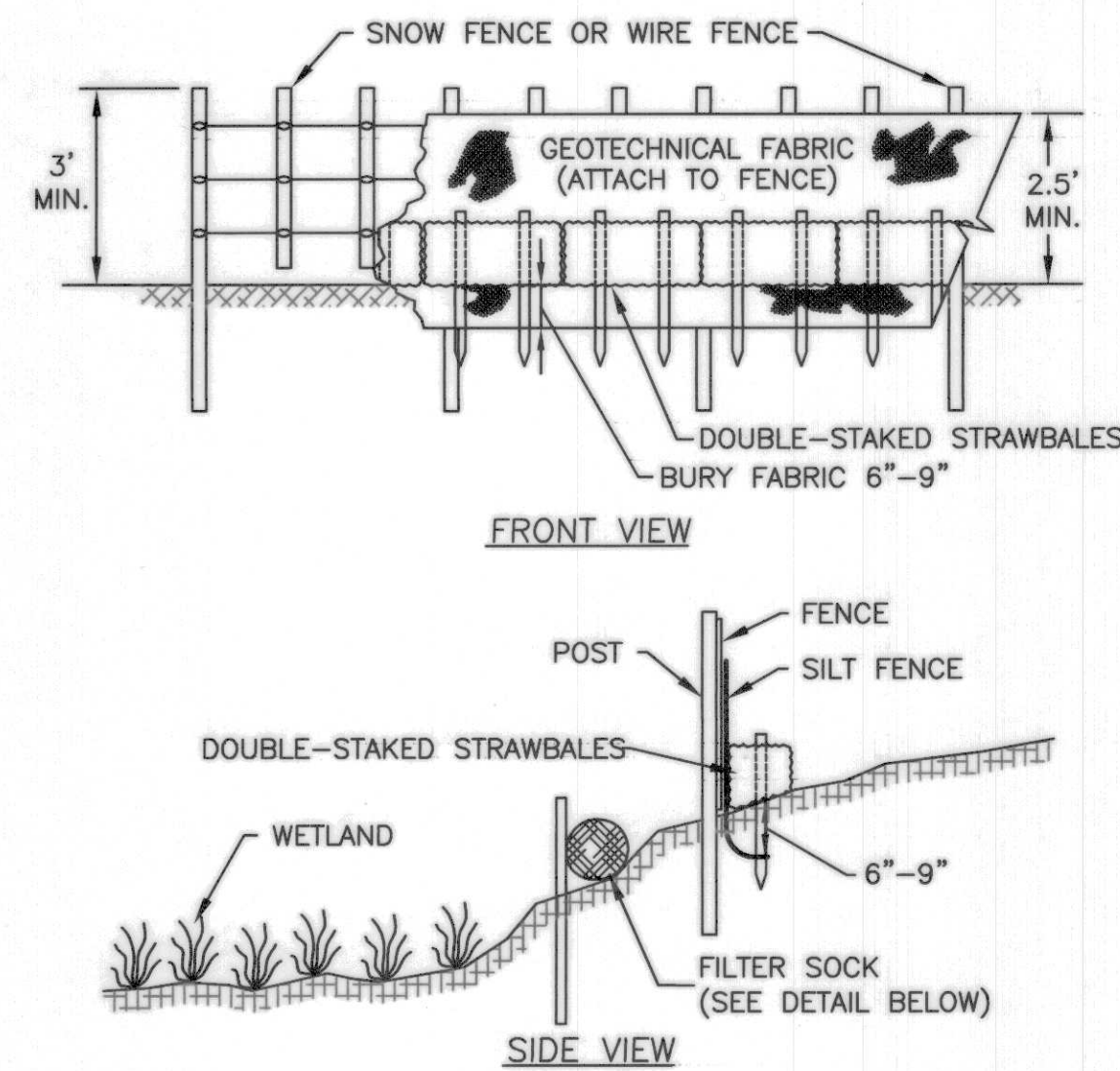




**TYPICAL HYDRANT ASSEMBLY DETAIL**  
NOT TO SCALE

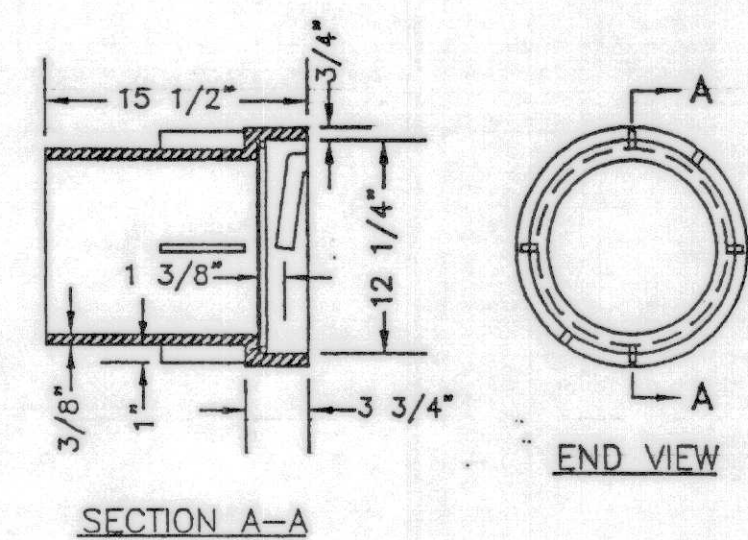


**TYPICAL SERVICE CONNECTION**  
NOT TO SCALE

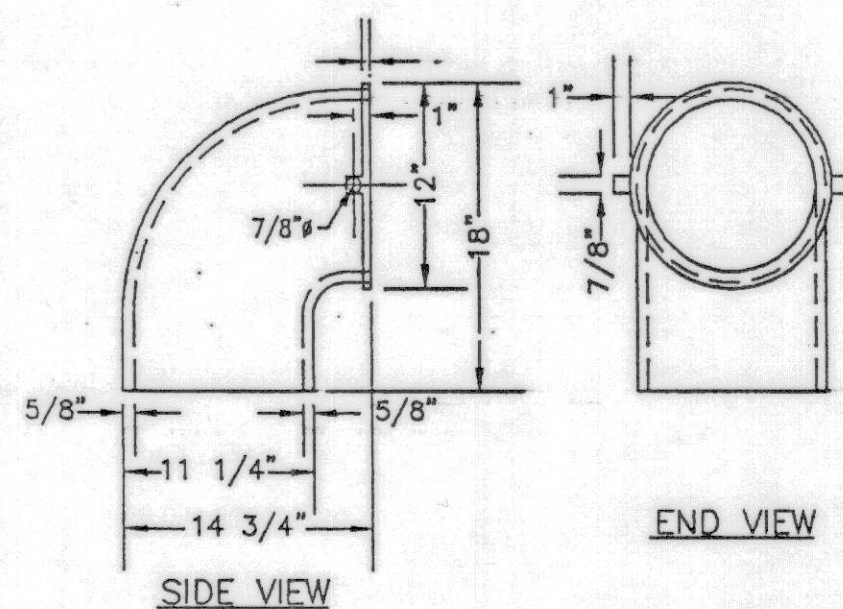


NOTE: FILTER SOCK TO BE CONSTRUCTED OF A NON-BIODEGRADABLE SOCK SHELL FILLED WITH FILTER MEDIA (BIODEGRADABLE OR OTHERWISE). FILTER SOCKS CAN BE FILLED ON-SITE OR PRE-FILLED. IF PRE-FILLED, JOINTS SHALL BE OVERLAPPED BY AT LEAST TWO FEET.

**SILT FENCE & STRAWBALES DETAIL**  
NOT TO SCALE

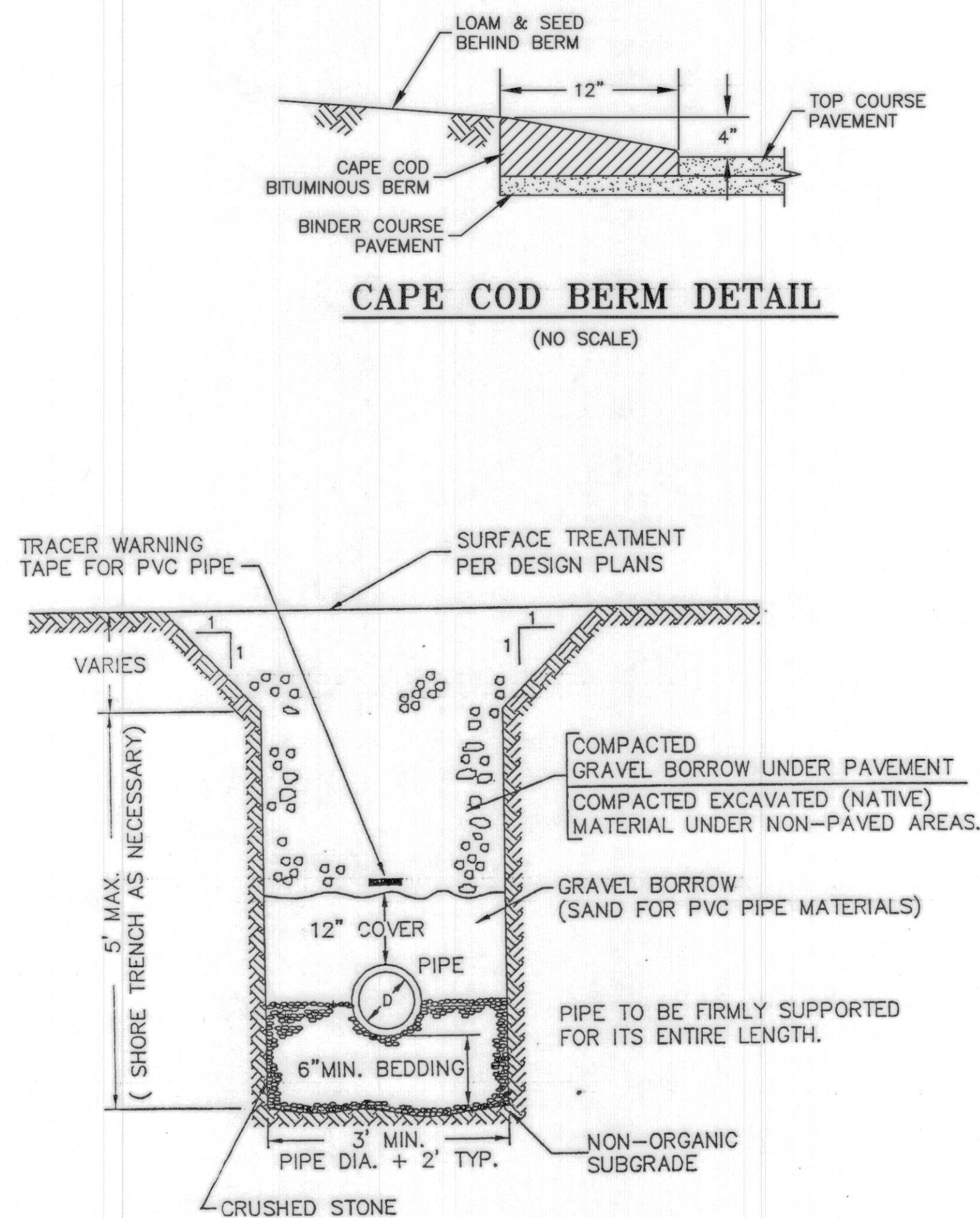


**COLLAR**

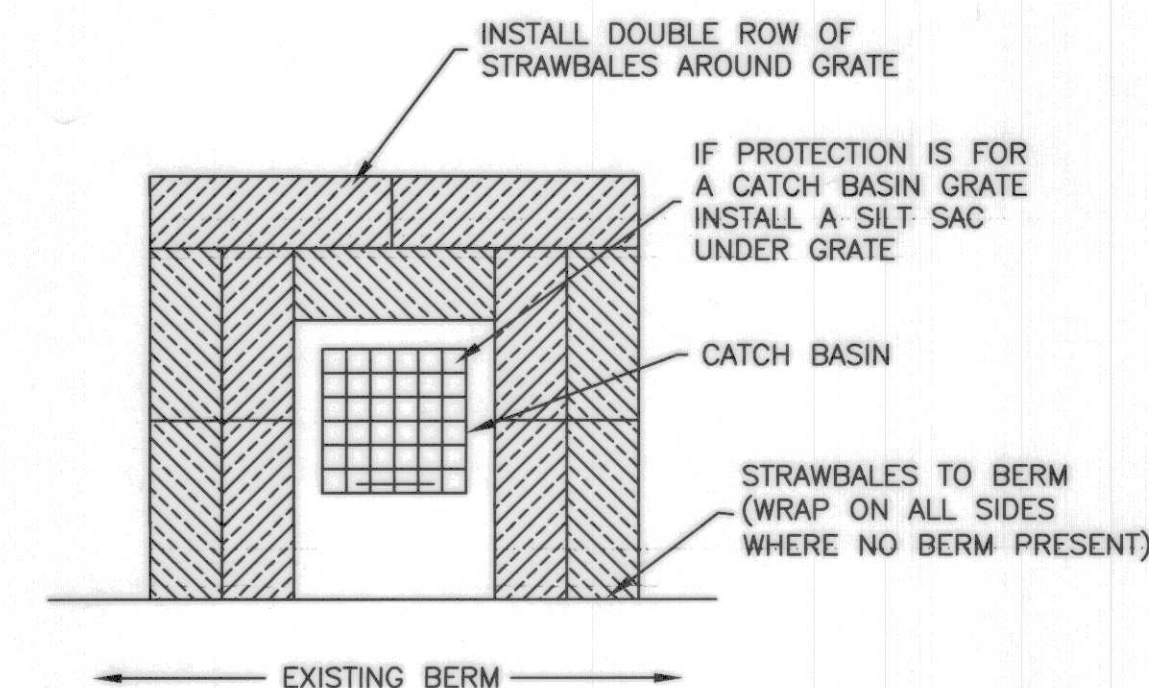


**ELBOW**

**OIL & GREASE TRAP DETAIL (typ.)**  
E.L. LEBARON OR EQUAL  
NOT TO SCALE



**UTILITY TRENCH DETAIL (typ.)**  
NOT TO SCALE



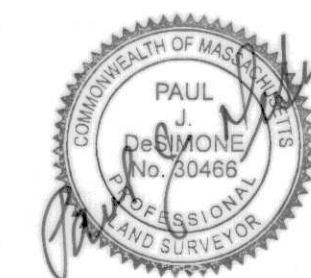
**CATCH BASIN PROTECTION DETAIL**  
NOT TO SCALE

NOTE:

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I CERTIFY THAT THIS SURVEY AND PLAN CONFORMS TO THE ETHICAL, PROCEDURAL AND TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.

ZONING DISTRICT: AR DISTRICT II  
ASSESSORS: PARCELS 45-039 & 45-041 AND PORTION OF 55-014

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MILFORD, MA

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DATE: *Nov 7 2016*  
TOWN CLERK

DATE APPROVED: AUGUST 25, 2015

DATE ENDORSED: *11/28-2016*

*Paul J. Delmonico*  
REGISTERED LAND SURVEYOR

PLANNING BOARD - TOWN OF MEDWAY

**DETAILS  
THE HAVEN  
DEFINITIVE SUBDIVISION  
PLAN OF LAND IN  
MEDWAY, MA  
COLONIAL ENGINEERING, INC.  
11 AWL ST., MEDWAY, MA  
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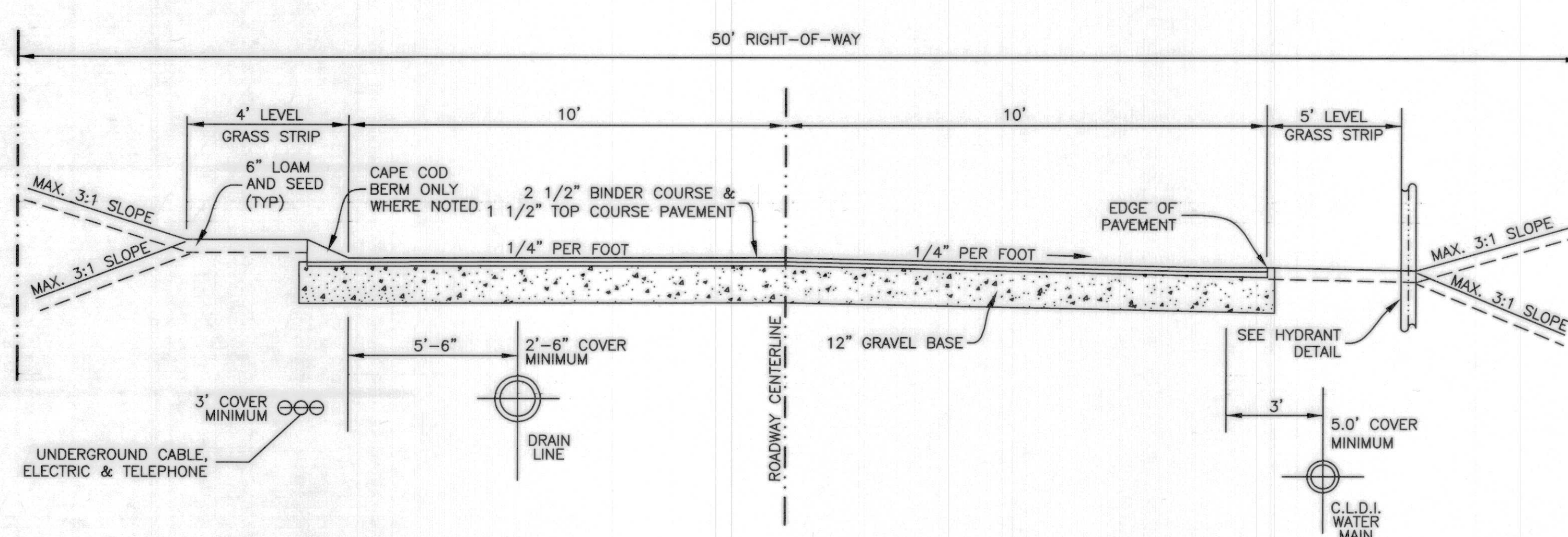


Not to Scale

560-01

SHEET 8 OF 10

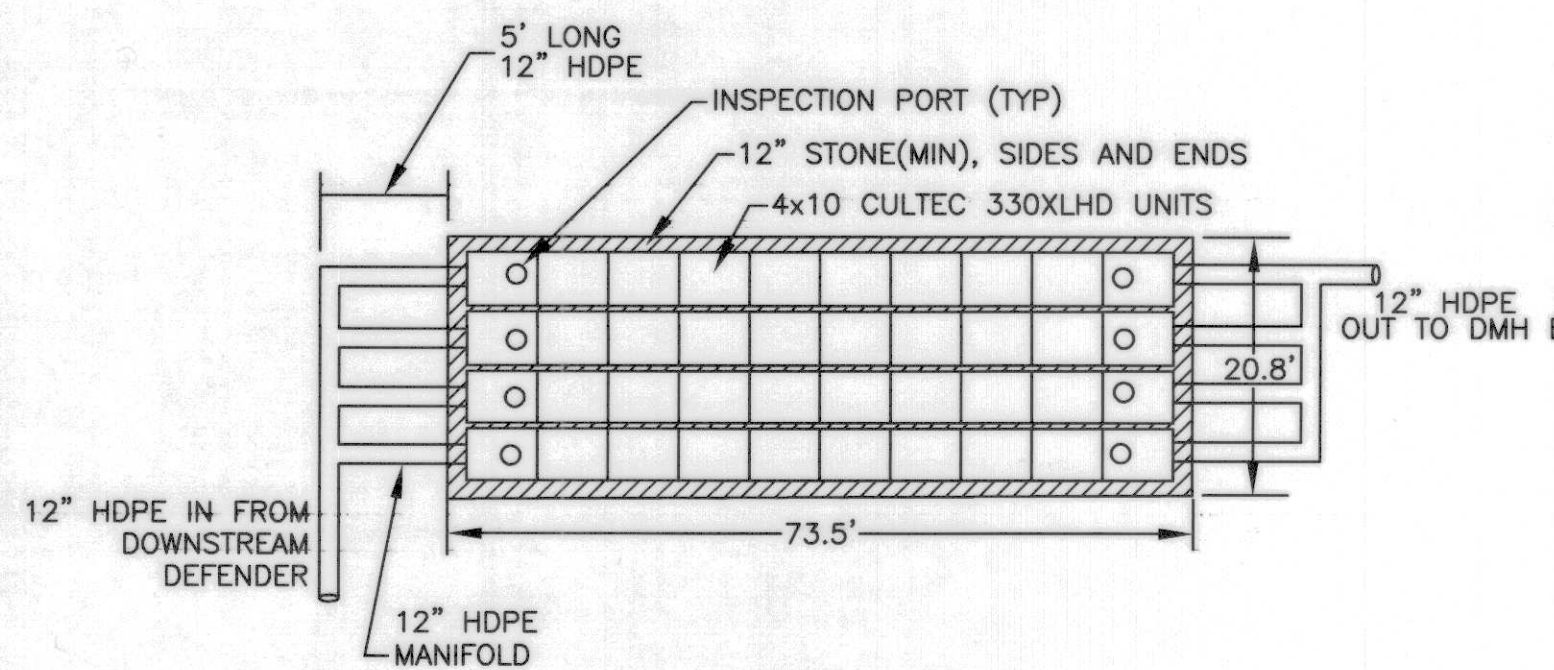




NOTE:  
1. UTILITY LOCATIONS WILL VARY ACCORDING TO LAYOUT. THIS DETAIL PRESENTS STANDARD DEPTHS AND SEPARATIONS.  
2. SIDESLOPE SPECIFICATIONS ARE TYPICAL AND WILL VARY IF OTHERWISE NOTED ON THESE PLANS.

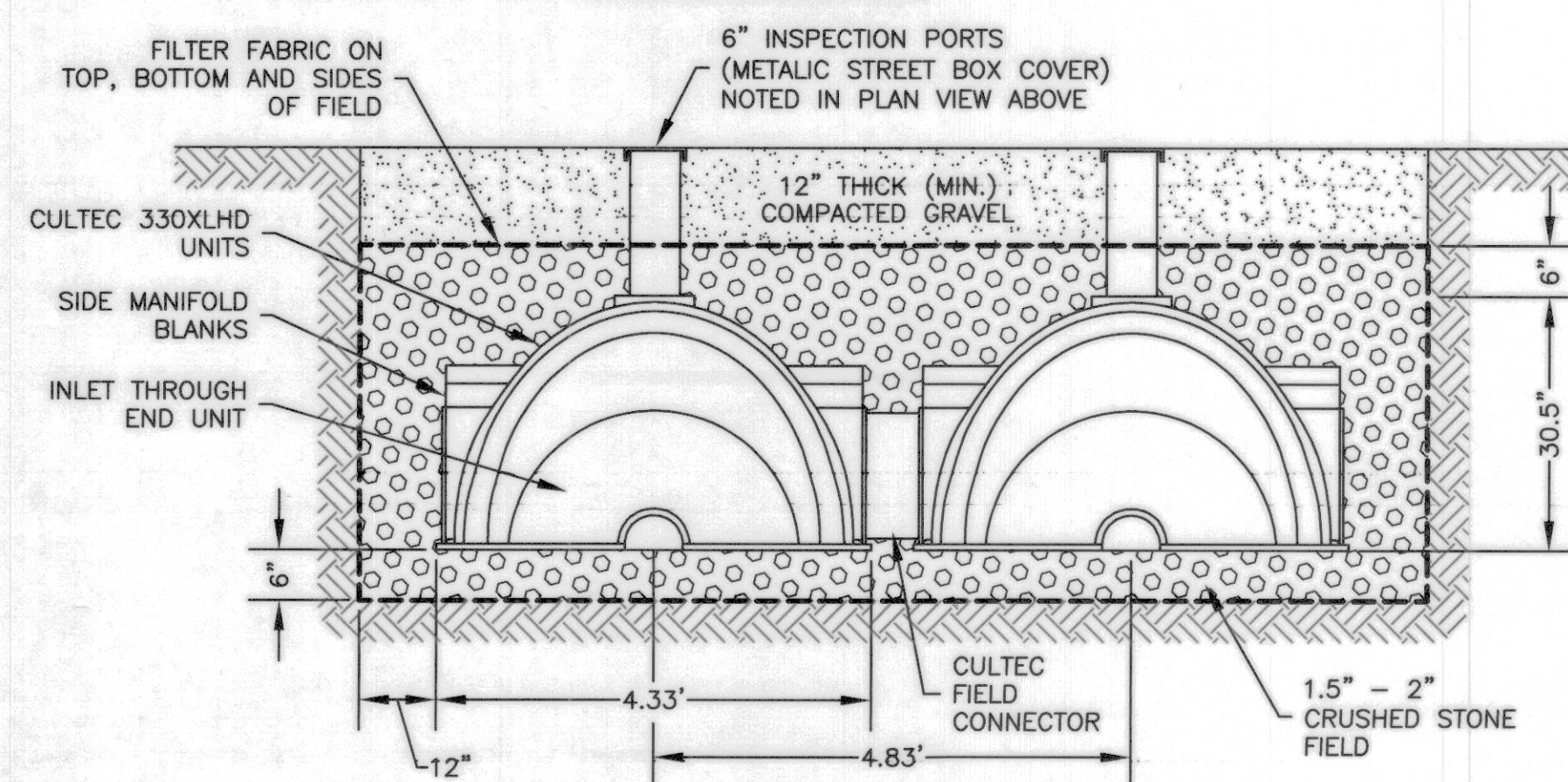
### ROADWAY CROSS SECTION ( PRIVATE WAY)

NOT TO SCALE



### INFILTRATION TRENCH - PLAN VIEW

NOT TO SCALE



### SECTION THROUGH TYPICAL LEACHING FIELD

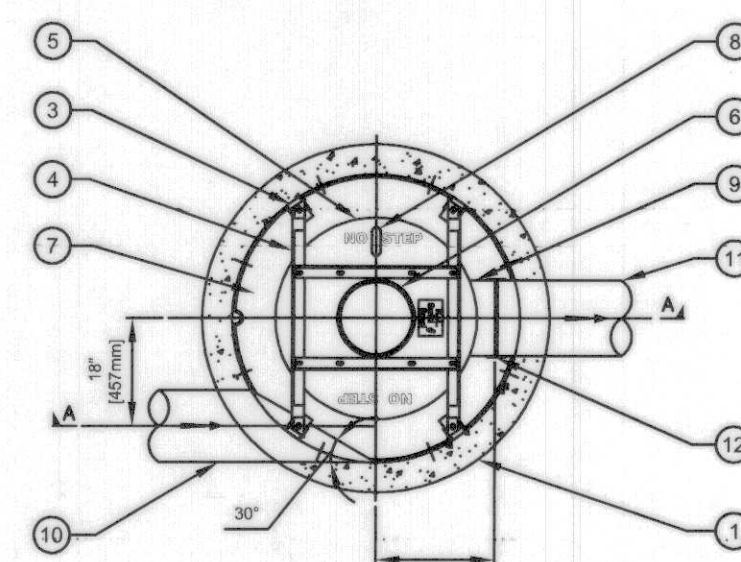
NOTES:

- INFILTRATION TRENCH UNITS TO BE RECHARGER 330XLHD AS MANUFACTURED BY CULTEC, INC., 878 FEDERAL ROAD, BROOKFIELD, CT 06804, OR APPROVED EQUAL. APPROVED EQUALS MUST CONTAIN AT LEAST THE SAME TOTAL SYSTEM STORAGE VOLUME AND BOTTOM AREA.
- INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS.
- TWO-TRENCH SYSTEM CROSS-SECTION SHOWN. MULTIPLE TRENCHES WOULD USE THE SAME EXTERIOR STONE THICKNESS AND INTERIOR CHAMBER SEPARATION VALUES.
- INFILTRATION TRENCH UNITS SHALL BE ABLE TO WITHSTAND H-20 LOADINGS.

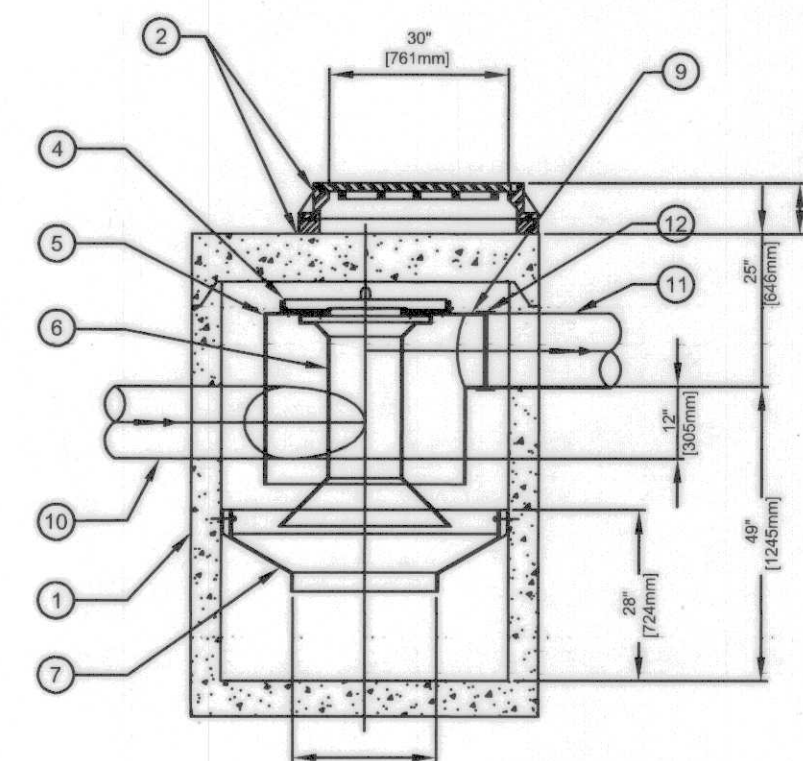
### INFILTRATION TRENCH/FIELD DETAIL

NOT TO SCALE

ITEM	SIZE	DESCRIPTION
1	48 in. 1219 mm	L.D. CONCRETE MANHOLE
2	30 in. 761 mm	MANHOLE LID, FRAME & COVER
3		LEDGER ANGLE (TYP.)
4		SUPPORT FRAME
5		DIP PLATE
6		CENTER SHAFT & CONE
7		BENCHING SKIRT
8		FLOATABLES LID W/ VENT
9	12 in. 305 mm	OVERFLOW PIPE STUB
10	12 in. 305 mm	TANGENTIAL INLET PIPE (BY OTHERS)
11	12 in. 305 mm	OVERFLOW PIPE (BY OTHERS)
12		PIPE COUPLING (BY OTHERS)



### PLAN VIEW



### SECTION A-A

### DOWNSTREAM DEFENDER (4' DIA. MODEL)

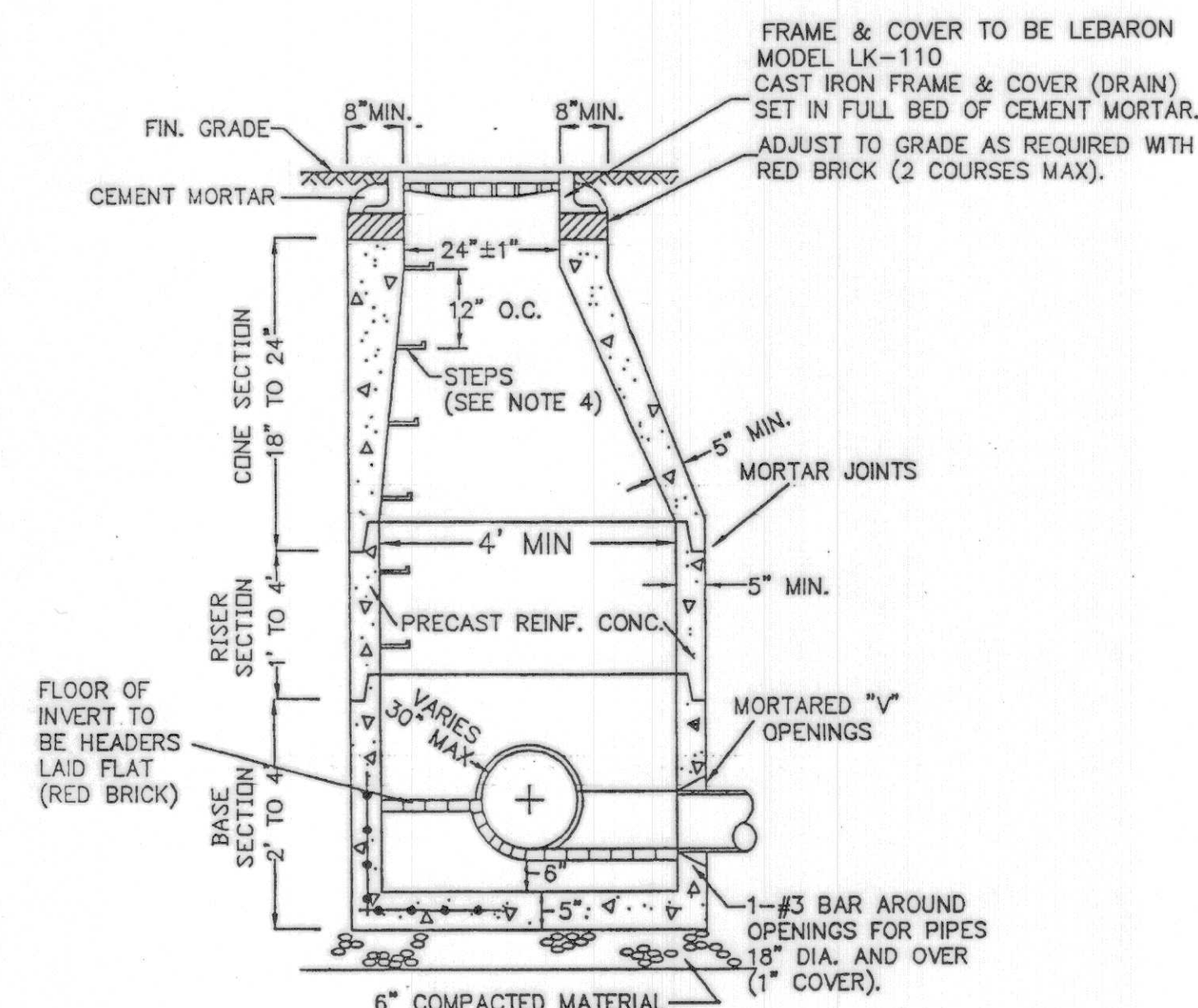
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- GENERAL NOTES:
- REINFORCED STEEL CONFORMS TO LATEST A185 SPEC. 0.12 SQ. IN./LINEAL FT. AND 0.12 SQ. IN.(BOTH WAYS) BASE BOTTOM. LEBARON LK110
  - CONCRETE COMPRESSIVE STRENGTH-4000 PSI MIN.
  - MANHOLE DESIGN-SPECS. CONFORMS TO LATEST ASTM C478 SPEC. FOR "PRECAST REINFORCED CONCRETE MANHOLE SECTIONS".

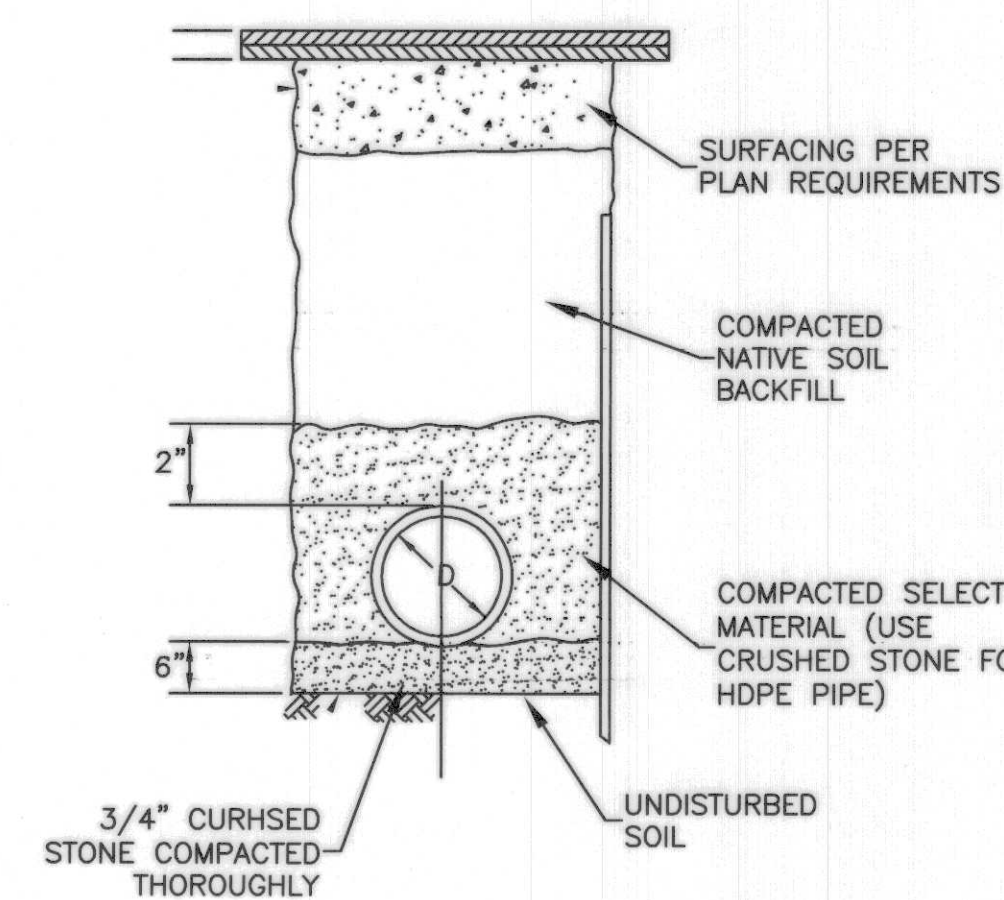
- STEPS SHALL BE SAFETY TYPE CAST IN PLACE, MADE OF ALUMINUM ALLOY 6061, T-6 SPACED 12" O.C.
- "V" PIPE OPENINGS W/ 2" MAX. OUTSIDE PIPE CLEARANCE TO BE CAST AS REQUIRED.
- MORTAR ALL JOINTS
- FOR DESCRIPTIONS, MATERIALS AND CONSTRUCTION METHODS, SEE MEDWAY PLANNING BOARD SPECIFICATIONS.



### SECTION

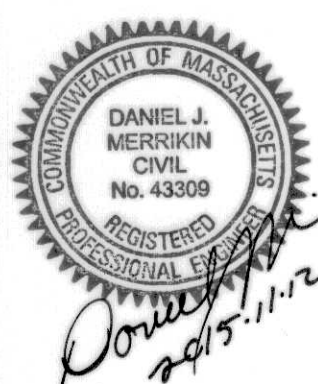
### PRECAST DRAIN MANHOLE DETAIL (typ.)

NOT TO SCALE



### TYPICAL DRAIN TRENCH

NOT TO SCALE



For Registry Use

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Paul J. Merrikin  
REGISTERED LAND SURVEYOR

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Paul J. Merrikin  
REGISTERED LAND SURVEYOR

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DATE: Nov 7 2016  
MAY 2016  
TOWN CLERK

DATE APPROVED: AUGUST 25, 2015

DATE ENDORSED: 11-8-2016

Daniel J. Merrikin  
REGISTERED LAND SURVEYOR  
No. 43309

PLANNING BOARD - TOWN OF MEDWAY

**LEGEND**  
**THE HAVEN**  
**DEFINITIVE SUBDIVISION**  
**PLAN OF LAND IN**  
**MEDWAY, MA**  
**COLONIAL ENGINEERING, INC.**  
**11 AWL ST., MEDWAY, MA**

**MERRIKIN ENGINEERING, LLP**  
**CONSULTING ENGINEERS**  
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**MILLIS, MA 02054**

DATE: NOV. 4, 2003

REVISION	DATE	BY
PLANNING BOARD COMMENTS	11/29/04	R.F.M.
PLANNING BOARD COMMENTS	12/23/04	R.F.M.
PLANNING BOARD COMMENTS	1/21/05	R.F.M.
PLANNING BOARD DECISION	10/7/05	R.F.M.
2015 RESUBMISSION	3/25/15	D.J.M.
REVISIONS PER TOWN COMMENTS	7/8/15	D.J.M.
WETLAND FLAGS TO SHEETS 5 & 6	7/23/15	D.J.M.
REVISIONS FOR ENDORSEMENT PER CERT.	10/9/15	D.J.M.

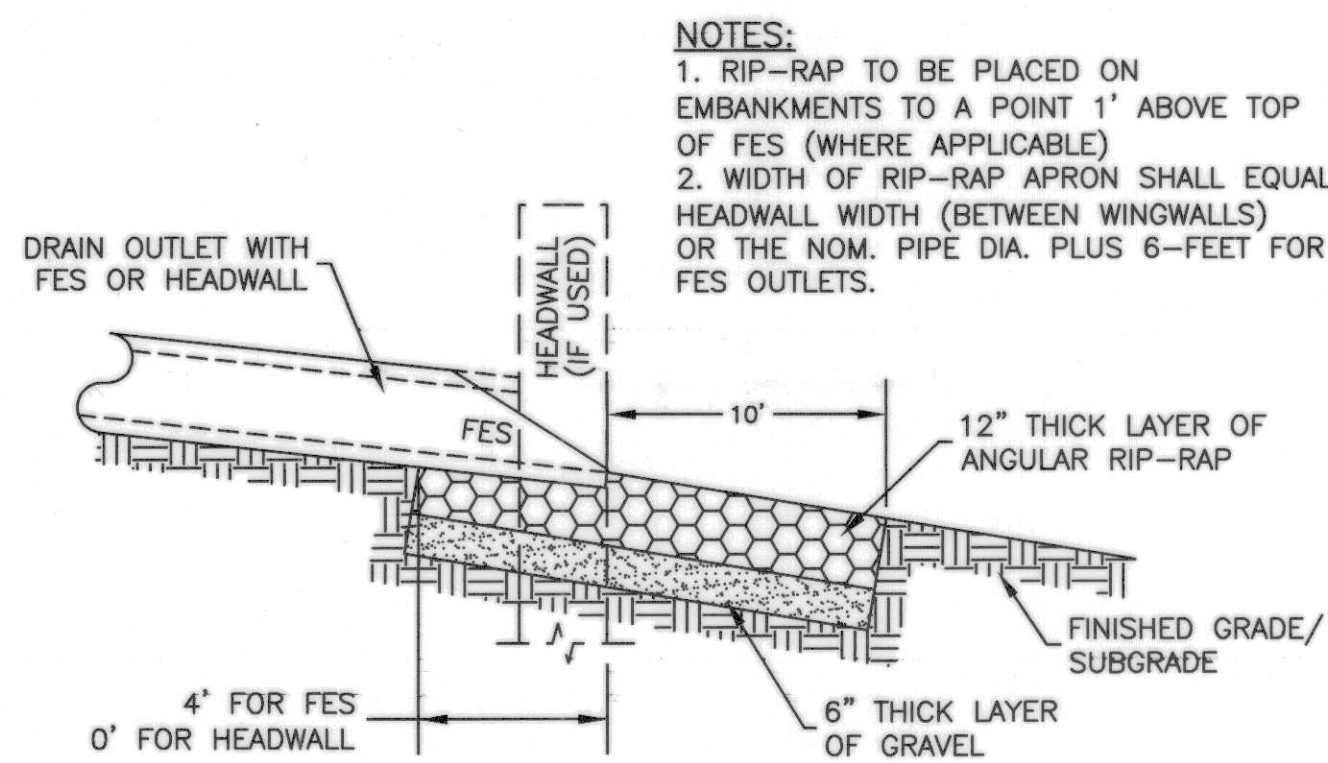


Not to Scale

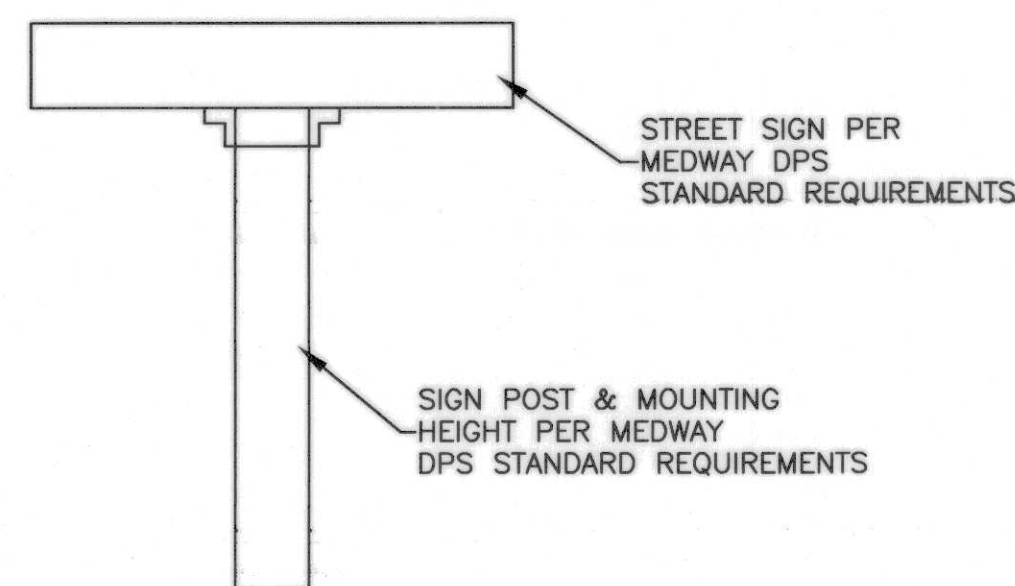
560-01

SHEET 9 OF 10

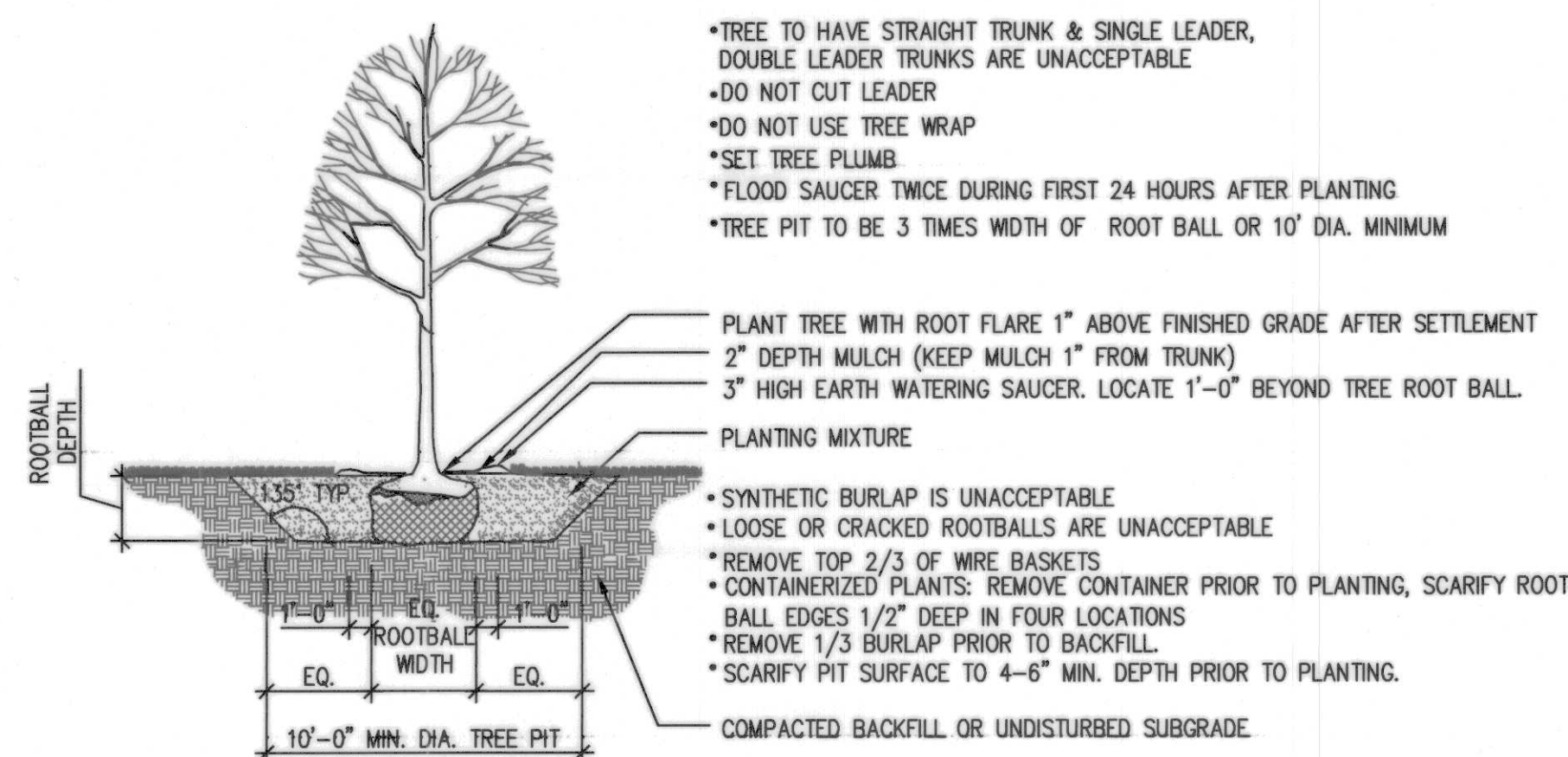




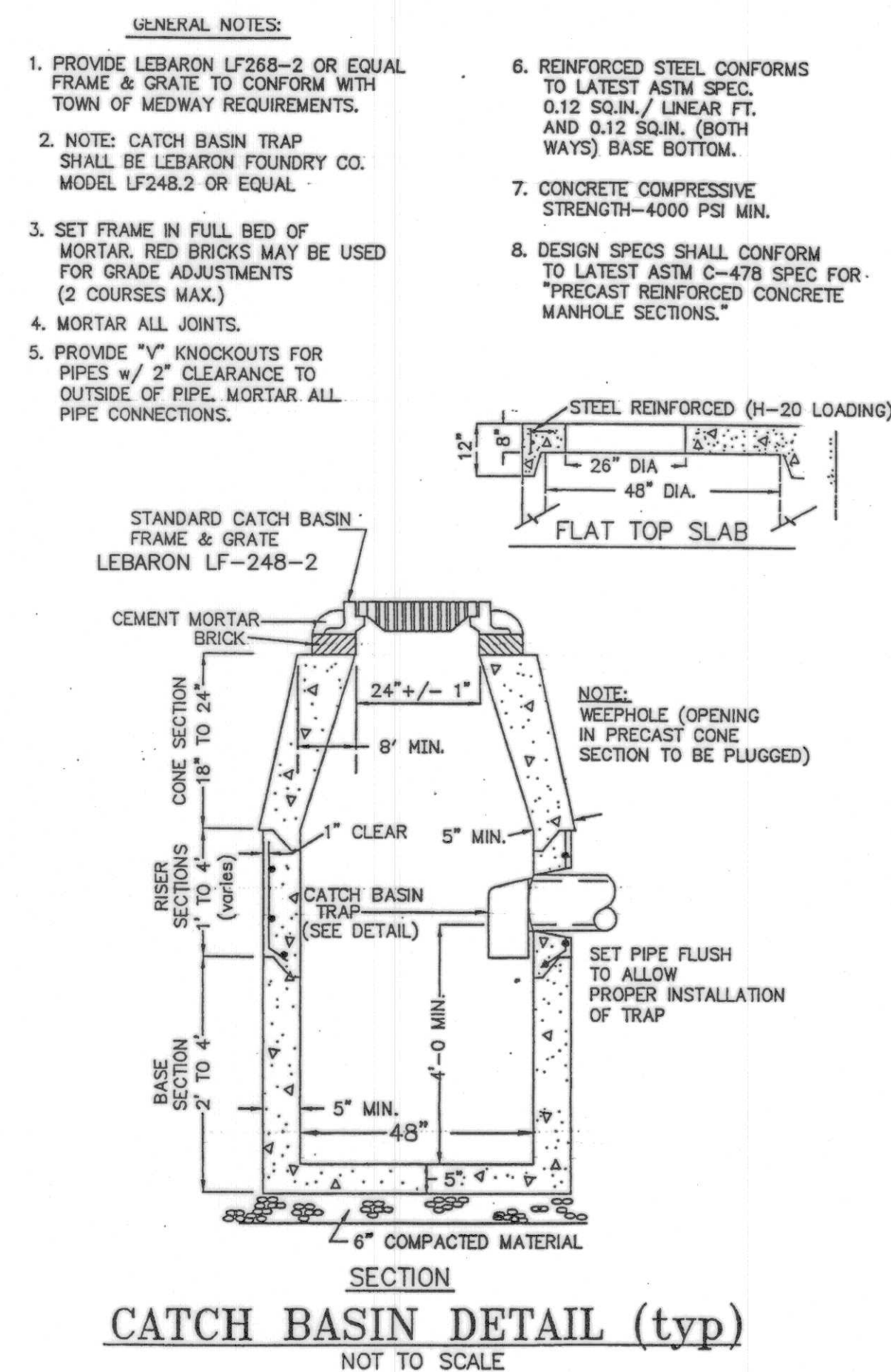
**TYPICAL RIP-RAP APRON DETAIL**  
NOT TO SCALE



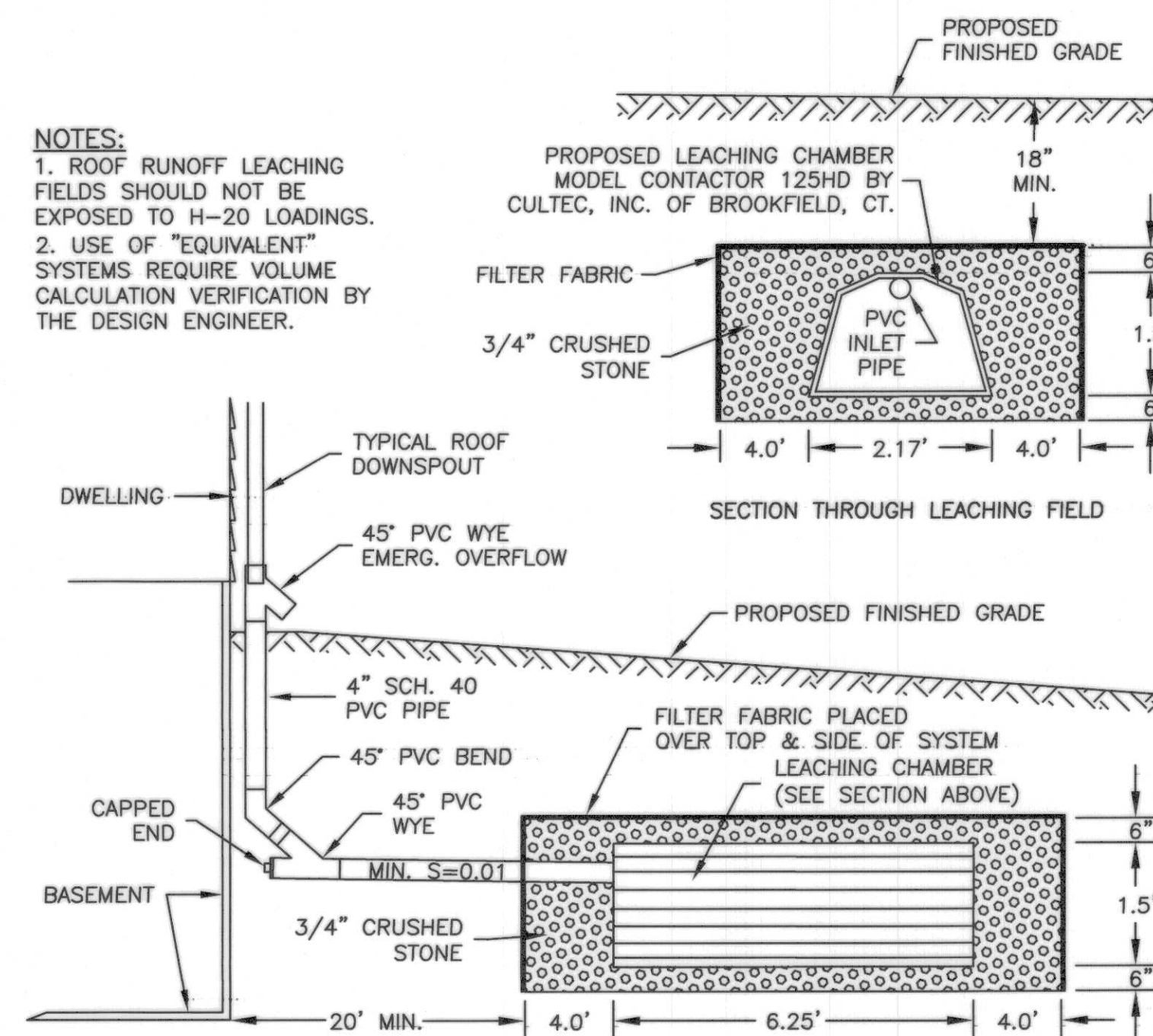
**STANDARD STREET SIGN DETAIL**  
(NO SCALE)



**DECIDUOUS TREE PLANTING**  
NOT TO SCALE



**CATCH BASIN DETAIL (typ)**  
NOT TO SCALE



- DESIGN NOTES:**
1. EACH HOUSE WITHIN THE SUBDIVISION SHALL HAVE ONE ROOF RUNOFF LEACHING FIELD.
  2. THIS ROOF RUNOFF LEACHING SYSTEM WAS DESIGNED TO CAPTURE 1-INCH OF RUNOFF FROM A 2,500 SF ROOF.
  3. THE COMPLETED ROOF RUNOFF COLLECTION SYSTEM MUST COLLECT RUNOFF FROM THE ENTIRE PROPOSED ROOF AREA.

**ROOF RUNOFF LEACHING FIELD**  
NOT TO SCALE

**NOTE:**

REFERENCE IS MADE TO THE "DECLARATION OF PROTECTIVE COVENANTS & RESTRICTIONS AND PRIVATE ROADWAY MAINTENANCE AGREEMENT GOVERNING THE HAVEN" WHICH IS PART OF THE APPROVAL OF THIS SUBDIVISION.

DATE: NOV. 4, 2003

REVISION	DATE	BY
PLANNING BOARD COMMENTS	11/29/04	R.F.M.
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For Registry Use

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

*Paul J. Delmonico*  
REGISTERED LAND SURVEYOR

I CERTIFY THAT THIS SURVEY AND PLAN CONFORMS TO THE ETHICAL, PROCEDURAL AND TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.

*Paul J. Delmonico*  
REGISTERED LAND SURVEYOR

ZONING DISTRICT: AR DISTRICT II

ASSESSORS: PARCELS 45-039 & 45-041 AND PORTION OF 55-014

OWNER: LOUIS J. CHESCHI, JR.  
L & L REALTY TRUST  
9 HILLSIDE AVE.  
MILFORD, MA

APPLICANT: LOUIS J. CHESCHI, JR.  
L & L REALTY TRUST  
9 HILLSIDE AVE.  
MILFORD, MA

■ INDICATES BOUND TO BE SET

APPROVED AUGUST 25TH, 2015, WITH A CERTIFICATE OF ACTION, SUBJECT TO COVENANT CONDITIONS SET FORTH IN A COVENANT EXECUTED BY LOUIS J. CHESCHI, JR., TRUSTEE OF THE L & L REALTY TRUST, AND TO BE RECORDED HERewith.

I CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE PLANNING BOARD APPROVAL AND NO APPEAL HAS BEEN FILED IN THIS OFFICE.

DATE: *August 25, 2015*  
TOWN CLERK

DATE APPROVED: AUGUST 25, 2015

DATE ENDORSED: *10/8-2016*

*Paul J. Delmonico*  
*Paul J. Delmonico*

PLANNING BOARD - TOWN OF MEDWAY

**DETAILS**  
**THE HAVEN**  
**DEFINITIVE SUBDIVISION**  
**PLAN OF LAND IN**  
**MEDWAY, MA**  
**COLONIAL ENGINEERING, INC.**  
**11 AWL ST., MEDWAY, MA**  
**MERRIKIN ENGINEERING, LLP**  
**CONSULTING ENGINEERS**  
**730 MAIN STREET, SUITE 2C**  
**MILLIS, MA 02054**



NOT TO SCALE

560-01

SHEET 10 OF 10