March 8, 2022
Medway Planning & Economic Development Board Meeting

Newton Lane Street Acceptance Update

I have submitted a street acceptance article for Newton Lane to include on the warrant for the 5-9-22 Town Meeting. An as-built/street acceptance plan has been prepared by engineer David Faist (CMG) and land surveyor Dan O'Driscoll.

- Street Acceptance and As-Built Plan for Hartney Acres II Subdivision (Newton Lane) dated 1-29-22. This has been reviewed by Tetra Tech and comments provided. The plan is being revised and will be re-submitted.
- 9-22-21 Hartney Acres punch list prepared by Tetra Tech
- SAC email dated 3-2-22 to Paul Yorkis requesting a status report and providing an April 13th completion date.
- Email memo dated 3-4-22 from Paul Yorkis with a status on punch list completion.

Next steps:

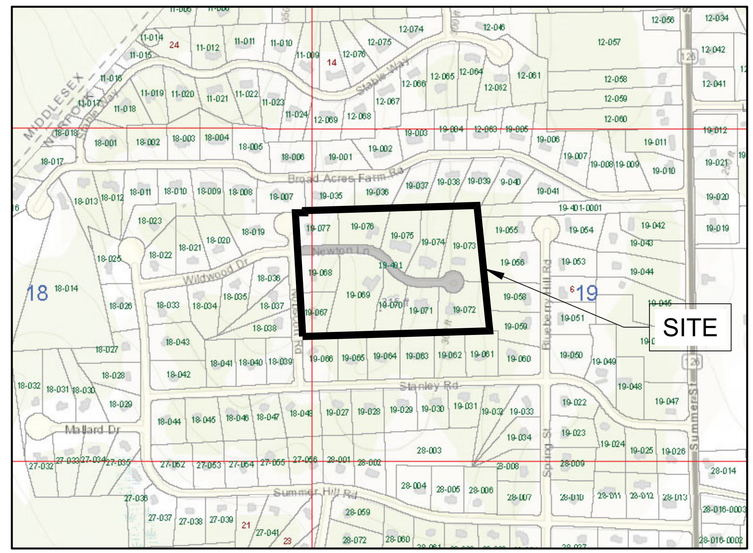
1. Select Board will vote 3-7-22 to begin the roadway layout process and ask the PEDB to provide its recommendation on "laying out" Newton Lane. We can schedule that for the 3-22-22 PEDB meeting.
2. Select Board holds a public hearing on the roadway layout, at either its 4-4 or 4-19 meeting.
3. PEDB reviews status of project completion at its 4-26-22 meeting and votes whether to recommend street acceptance.

STREET ACCEPTANCE & AS-BUILT PLAN
FOR HARTNEY ACRES II DEFINITIVE SUBDIVISION

RESERVED FOR REGISTRY USE

NEWTON LANE
MEDWAY, MA 02053

OWNER
HARTNEY REALTY TRUST P.O. BOX 1 MEDWAY, MA 02053
PREPARED FOR
PAUL YORKIS 159 MAIN STREET MEDWAY MA 02053



LOCUS MAP

APPROXIMATE SCALE: 1" = 400'

SHEET #	SHEET NAME
C-1.0	TITLE SHEET
C-2.0	STREET ACCEPTANCE PLAN
C-3.0	"NEWTON LANE" AS-BUILT PLAN

TOWN OF MEDWAY PLANNING
& ECONOMIC DEVELOPMENT BOARD

DATE - AS-BUILT PLAN APPROVAL

DATE - ROAD LAYOUT ACCEPTANCE APPROVAL

TOWN OF MEDWAY SELECTMAN

DATE - ROAD LAYOUT ACCEPTANCE APPROVED

1.) "I HEREBY CERTIFY THAT THIS PLAN SHOWS THE ACTUAL AS-BUILT LOCATIONS, PROFILES AND ELEVATIONS OF THE ROADWAYS, DRAINAGE FACILITIES AND UTILITIES, BASED UPON A FIELD SURVEY PERFORMED BETWEEN JUNE 14, 2011 & NOVEMBER 30, 2011."

2.) "THE STREET (OR WAY THEREOF) AS LAID OUT AND THE BOUNDS HAVE BEEN SET AS SHOWN ON THE PLAN."

3.) "I CERTIFY THAT THIS PLAN IS PREPARED IN CONFORMANCE WITH THE "RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS."

DANIEL A. O'DRISCOLL, PLS DATE

DIG SAFE NOTE (1-888-344-7233):
CONTRACTOR REQUIRED TO NOTIFY "DIG SAFE" 72 HOURS PRIOR TO ANY ON-SITE EXCAVATION OR CONSTRUCTION AT 1-888-344-7233. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER AND SEWER DEPARTMENTS TO MARK OUT THEIR UTILITIES.

CIVIL ENGINEER:

CMG
67 HALL ROAD
STURBRIDGE, MA 01560
CONTACT: DAVID FAIST, P.E.
(774) 241 - 0901

SURVEYOR:

O'DRISCOLL LAND SURVEYING, INC.
46 COTTAGE STREET
MEDWAY, MA 02053
CONTACT: DANIEL O'DRISCOLL
(508) 533 - 3314

PRELIMINARY PLAN
NOT FOR CONSTRUCTION PURPOSES
1/19/2022

NOTES:

1. ORIGINAL PLANS ENTITLED, "HARTNEY ACRES II - DEFINITIVE SUBDIVISION PLAN IN MEDWAY MASSACHUSETTS", DATED NOVEMBER 29, 2004, REVISE DATE JANUARY 7, 2005, PREPARED BY O'DRISCOLL LAND SURVEYING CO. & FAIST ENGINEERING.
2. ORIGINAL PLAN APPROVAL DATE: DECEMBER 17, 2004
   ORIGINAL PLAN ENDORSEMENT DATE: FEBRUARY 8, 2005
   ORIGINAL COVENANT DATE: JANUARY 4, 2005
   RECORDING INFORMATION:
   PLAN BOOK 533, PLAN No. 67 OF 2005
3. ELEVATIONS REFER TO THE DATUM SHOWN ON PLAN No. 67 OF 2005.
4. UNDERGROUND ELECTRIC/ CABLE/ TELEPHONE UTILITY LINES/ CONDUIT LOCATIONS ARE APPROXIMATE AND BASED ON AS-BUILT UTILITY BOX LOCATIONS AND LIMITED PAVEMENT MARKINGS AT THE TIME OF THE SURVEY. (SEE DIG-SAFE NOTE)

OWNER:
HARTNEY REALTY TRUST

NO.	DATE	DESCRIPTION	BY	CK'D

REVISIONS

PROFESSIONAL SEAL

PROJECT: STREET ACCEPTANCE & AS-BUILT PLAN
HARTNEY ACRES II
NEWTON LANE
MEDWAY, MA 02053

PREPARED FOR: PAUL YORKIS
159 MAIN STREET
MEDWAY, MA 02053

ENGINEERING SERVICES
ENVIRONMENTAL SERVICES
67 Hall Road
Sturbridge, MA 01560
Phone: 774-241-0901
fax: 774-241-0906

CMG EST. 2002

O'DRISCOLL
LAND SURVEYING Inc.
LAND SURVEYING GPS MAPPING LAND CONSULTING
46 COTTAGE STREET MEDWAY, MASSACHUSETTS 02053 (508) 533-3314

ISSUE DATE: 11/24/2021
DRAWN BY: RL CHECKED BY: DTF
SCALE: 1" = 40'
PROJECT NO.: 2020-102

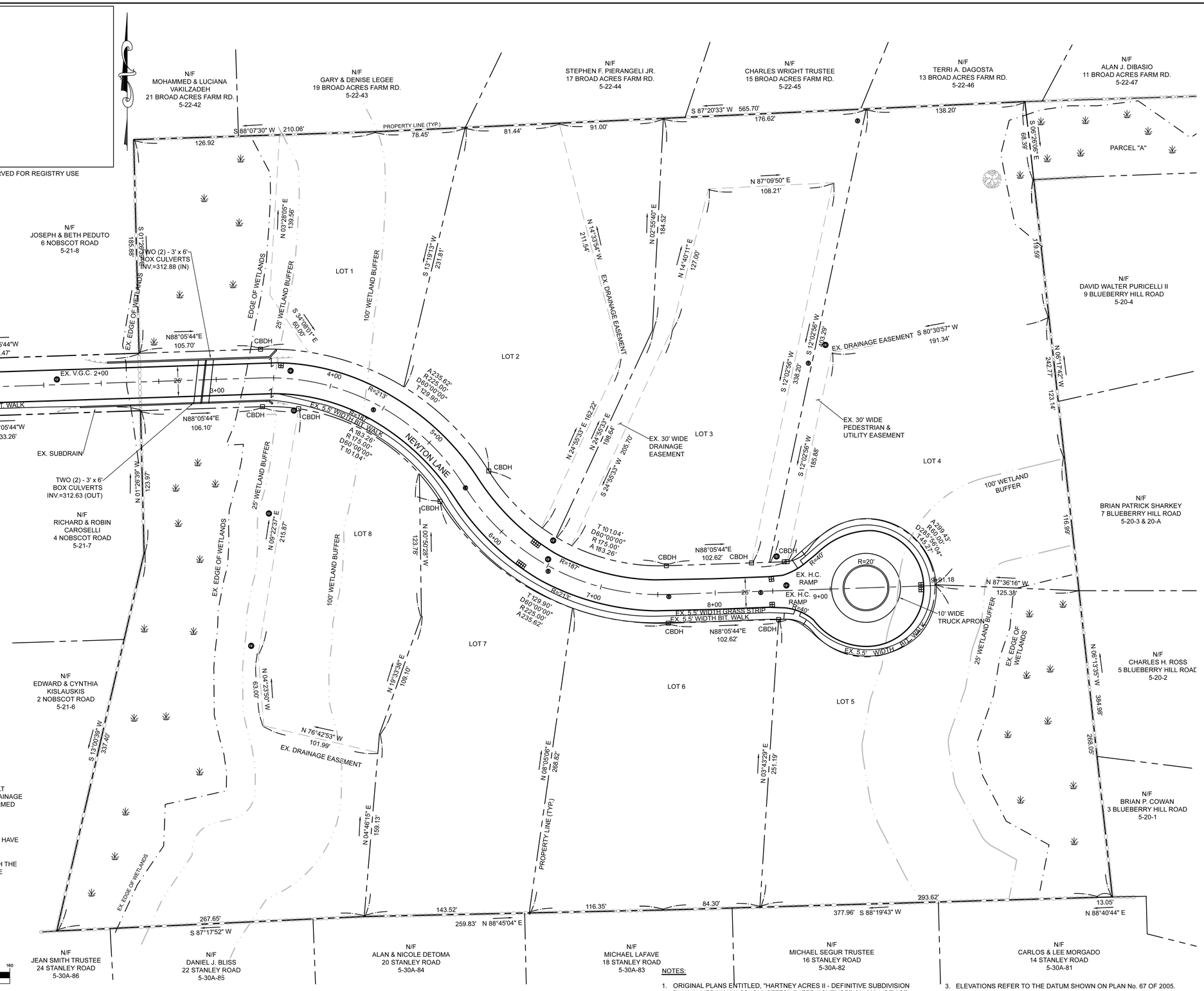
TITLE SHEET

C-1.0

LEGEND

- PROPERTY LINE
- ABUTTING PROPERTY LINE
- IRON PIPE
- MONUMENT
- UTILITY POLE
- FIRE HYDRANT
- WATER GATE (W.G.)
- GAS VALVE (G.G.)
- CATCH BASIN (CB)
- DRAINAGE MAINHOLE (DMH)
- SEWER MANHOLE (SMH)
- EDGE OF WETLANDS
- WETLAND SYMBOL
- WETLAND BUFFER

RESERVED FOR REGISTRY USE



TOWN OF MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD

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DATE - ROAD LAYOUT ACCEPTANCE APPROVAL

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DANIEL A. O'DRISCOLL, PLS DATE

GRAPHIC SCALE

40 0 20 40 80 160

(IN FEET)
1 inch = 40 ft.

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PRELIMINARY PLAN

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PREPARED FOR: PAUL YORKIS
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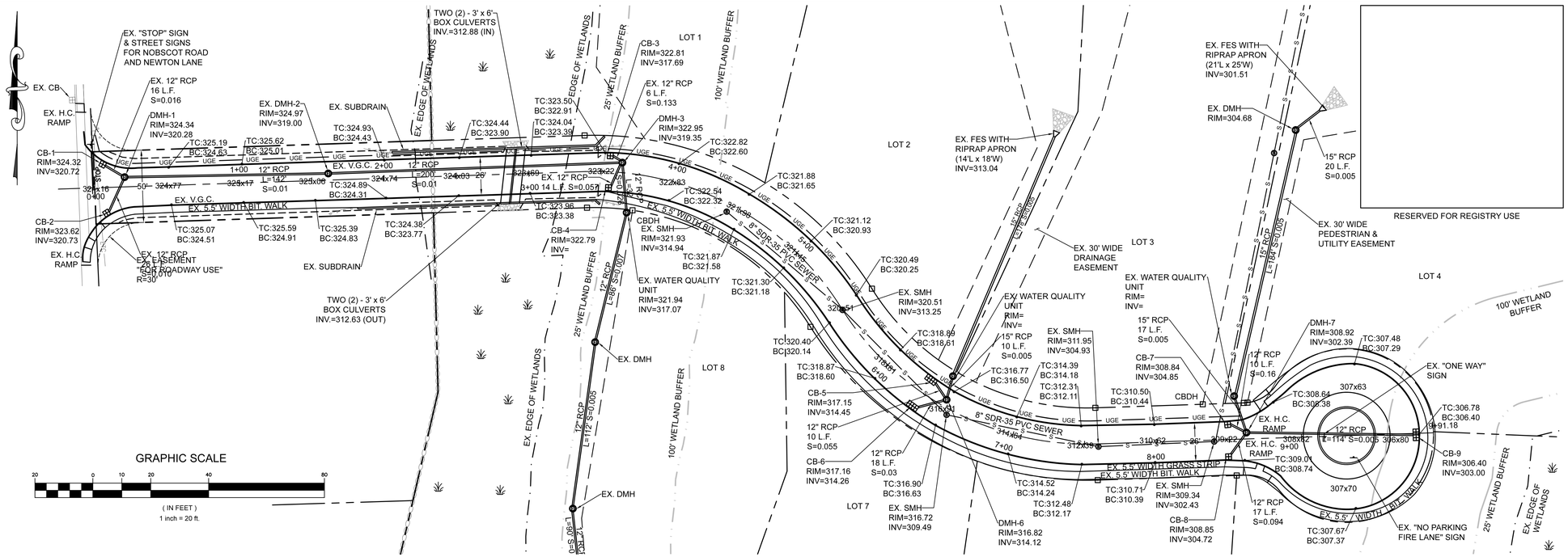
ISSUE DATE: 11/24/2021
DRAWN BY: RL CHECKED BY: DTF
SCALE: 1" = 40'
PROJECT NO.: 2020-102

STREET ACCEPTANCE PLAN

C-2.0

LEGEND

PROPERTY LINE	
ABUTTING PROPERTY LINE	
IRON PIPE	
MONUMENT	
UTILITY POLE	
FIRE HYDRANT	
WATER GATE	W.G.
WATER LINE	W
GAS VALVE	G.G.
GAS LINE	G
CATCH BASIN (CB)	
DRAINAGE MAINHOLE	
DRAINAGE LINE	
SEWER MANHOLE (SMH)	
SEWER LINE	S
OVERHEAD ELECTRIC	OHW
UNDERGROUND ELECTRIC	UGE
FENCE	
EDGE OF WETLANDS	
WETLAND SYMBOL	
WETLAND BUFFER	
TC	TOP OF CURB
BC	BOTTOM OF CURB
FES	FLARED END SECTION
RCP	REINFORCED CONCRETE PIPE
L.F.	LINEAR FEET



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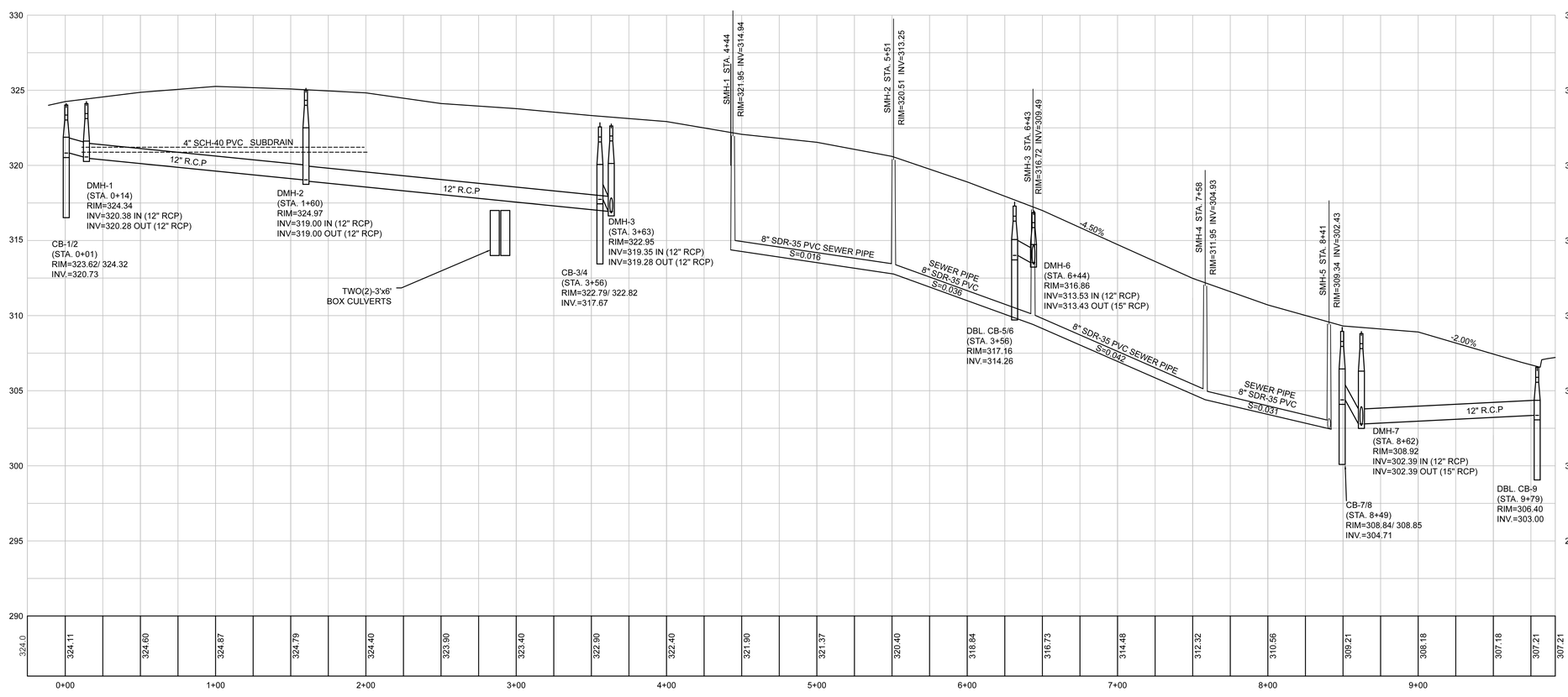
DANIEL A. O'DRISCOLL, PLS — DATE



PROFILE:

HORIZONTAL SCALE: 1"=40'
VERTICAL SCALE: 1"=4'

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PROJECT NO.: 2020-102

NEWTON LANE
AS-BUILT PLAN

C-3.0

TETRA TECH

MEMO

To:	Susan Affleck-Childs – Medway Planning and Economic Development Board (PEDB) Coordinator
Cc:	Peter Pelletier – Medway DPW Director Paul Yorkis – Applicant Representation
From:	Steven M. Bouley, PE – Tetra Tech SB
Date:	June 17, 2016 (revised September 22, 2021)
Subject:	Hartney Acres Punch List

On April 11, 2016 at the request of the Medway Planning and Economic Development Board (PEDB), Steven Bouley of Tetra Tech Inc. (TT), Dave Faist of McClure Engineering, Inc (MEI) and Dan O'Driscoll of O'Driscoll Land Surveying Co. (OLS) met at the Hartney Acres Subdivision location, Newton Lane, and performed a punch list inspection of the development. The inspection was conducted against the plans set (Plans) titled "Hartney Acres II, Definitive Subdivision Plan in Medway, Massachusetts" dated November 29, 2004 and revised May 3, 2005 Sheets 4, 6 and 7.

On September 21, 2021 at the request of the Medway Planning and Economic Development Board (PEDB), Steven M. Bouley, PE of Tetra Tech Inc. (TT), Paul Yorkis of Patriot Real Estate, Inc. (PRE), Sean Harrington, Jack Tucker and Nolan Lynch of Medway DPW met at the Hartney Acres Subdivision location, Newton Lane, and performed a punch list inspection of the development. The inspection was conducted against the plans set (Plans) titled "Hartney Acres II, Definitive Subdivision Plan in Medway, Massachusetts" dated November 29, 2004 and revised May 3, 2005 Sheets 4, 6 and 7.

The following is a list of items and issues that should be repaired or resolved:

Administrative

1. As-Built/Street Acceptance Plans of the development should be submitted for review.

Roadway

2. It is recommended the applicant crack seal areas of damaged asphalt along Newton Lane. (See Photo #1)
3. Cement concrete bounds were not located during the site walk. Bounds should be set as shown on the Plans.
4. Damaged granite curb/curb inlet was observed adjacent to the intersection of Newton Lane and Nobscott Road. It is recommended damaged sections of curb be replaced. (See Photo #2)

Drainage

5. It is recommended the applicant clean the drainage system. Cleaning includes removing sediment and debris from catch basin structures, pipe and detention facilities.
6. Detention Ponds should be maintained to remove saplings and shrubs from the limits of the basin. Settled area adjacent to Detention Pond #2 should be repaired and reseeded. (See Photo #3 - #4)
7. Hoods should be installed in catch basins.

Infrastructure Northeast
Marlborough Technology Park, 100 Nickerson Road, Marlborough, MA 01752
Tel 508.786.2200 Fax 508.786.2201 tetratech.com

8. It appears two non-approved pipes are discharging to Detention Pond #3 presumably from the home located on Lot 3. One discharge appears to be originating from a nearby pool filter. The other appears to be a sub-drain or alike with flexible corrugated pipe. The discharge pipes must be disconnected and removed from the limit of the pond, pond repaired and reseeded and property owner notified regarding intended use of the detention ponds and illicit discharges. (See Photo #5 - #6)

Additional Items

The following is a list of additional items resulting from the site inspection conducted on September 21, 2021.

9. The asphalt around many of the manhole structures throughout the limit of the roadway is showing signs of damage. The areas of damage shall be cleanly sawcut, removed and asphalt replaced full depth around the structures. All structures were marked in the field during the site visit.
10. Several areas of pavement repair are required within the limits of the roadway. Two areas of wide cracks have surfaced since the previous inspection, one at the intersection of Newton Lane and Nobscott Road and one at the western side of the cul-de-sac. A minimum 24-inch full-depth repair is required at each crack to ensure subbase can be properly compacted prior to patching. Additionally, a section of asphalt on the western side of the cul-de-sac is beginning to show signs of failure. The area shall be cleanly sawcut and asphalt removed, subbase repaired and properly compacted, and asphalt replaced. These areas were marked in the field during the site visit.
11. Several of the catch basins adjacent to the cul-de-sac require brick repair under the castings. Area around the catch basins shall be cleanly sawcut and asphalt, castings and brick removed and reinstalled. The structures were marked in the field during the site visit.
12. In addition to cleaning the structures mentioned in Item 5, Stormceptor water quality units shall also be cleaned.

These comments are offered as guides for use during the Town's review. If you have any questions or comments, please feel free to contact us at (508) 786-2200.

P:\21583\143-21583-21015 (PEDB HARTNEY ACRES)\CONSTRUCTION\PUNCH LIST\MEMO_HARTNEY ACRES PUNCH LIST_2021-09-22.DOC

Photograph 1

Newton Lane Crack Sealing

Photograph 2

Damaged Granite Curb

Photograph 3

Overgrown Detention Pond

Photograph 4

Overgrown Detention Pond

Photograph 5

Unapproved Pipes
Discharging to Pond #3

Photograph 6

Unapproved Pipes
Discharging to Pond #3

Susan Affleck-Childs

From: Susan Affleck-Childs
Sent: Wednesday, March 2, 2022 9:21 AM
To: Paul Yorkis
Cc: Barbara Saint Andre; Steve Bouley ; Peter Pelletier; Bridget Graziano
Subject: Hartney Acres - Newton Lane street acceptance

Hi,

We are starting the roadway layout process for Newton Lane with the Select Board so to prepare for the May 9th town meeting.

We need from you a status report on completing the various items from the Tetra Tech and Town punch lists and any other required completion items specified in the Board's Hartney Acres decision. All items need to be completed by April 13th. Also, please advise as to the status of your Certificate of Compliance from the Conservation Commission; I understand there are some outstanding matters there as well.

Please advise at your earliest convenience. Thanks.

Best regards,

Susan E. Affleck-Childs
Planning and Economic Development Coordinator
Town of Medway
155 Village Street
Medway, MA 02053
508-533-3291

Susan Affleck-Childs

From: Paul Yorkis <pgyorkis@gmail.com>
Sent: Friday, March 4, 2022 11:51 AM
To: Susan Affleck-Childs
Subject: Hartney Acres

Hello.

1. A contractor has been hired to clean the detention ponds per the guidance from the consultant engineer.

2. A contractor has been hired to do the paving work per guidance from the consultant engineer.

3. A contractor has been hired to clean the catch basins, etc.

4. You have been in communication with David Faist regarding the plans and the adjustments to the plans.

5. The work associated with the wetlands replication area has been completed according to to wetlands consultant. Individual emails have been forward to you.

5. Please provide me with a sample deed that needs to be provided for the parcel acceptance.

Please let me know if you there is a need for any additional information.

Paul G. Yorkis, C2EX, SRES, CRS
Patriot Real Estate, Inc.
Cell 508-509-7860
Pgyorkis@gmail.com
2022 National Association of REALTORS Housing Opportunity Committee Chair
2022 Member National Association of REALTORS Board of Directors
2021 Massachusetts Association of REALTORS Private Property Awardee
2020 REALTORS Commercial Alliance of Massachusetts President
2020 REALTORS Commercial Alliance of Massachusetts REALTOR of the Year
2017 Massachusetts Association of REALTORS President
2011 Massachusetts Association of REALTORS, REALTOR of the Year
Member HUD Housing Counseling Federal Advisory Committee
Trustee, Massachusetts Association of REALTORS Charitable Foundation