

Plotted: 6/10/2020
JWG Location: G:\-18521 MEDWAY\DWG\8521 SITE.DWG

SITE DEVELOPMENT PLANS

HARMONY VILLAGE
MULTYFAMILY HOUSING DEVELOPMENT
218-220 MAIN STREET
(MAP 57, PARCEL 44)
MEDWAY, MASSACHUSETTS 02053

ZONING DISTRICT: AR-II
MULTIFAMILY HOUSING OVERLAY DISTRICT

REVISED SEPTEMBER 8, 2020


OWNER

Linda Resner & Elliot Edwards
218 Main Street
Medway, MA 02053

APPLICANT

HARMONY ESTATES, LLC
5 EXCHANGE STREET
MILFORD, MASSACHUSETTS 01757

CIVIL ENGINEERING, SURVEYING
& LANDSCAPE ARCHITECTURE



MERIDIAN
ASSOCIATES

69 MILK STREET, SUITE 208
WESTBOROUGH, MASSACHUSETTS 01581
TELEPHONE: (508) 871-7030

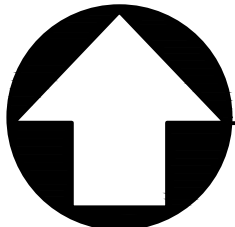
500 CUMMINGS CENTER, SUITE 5950
BEVERLY, MASSACHUSETTS 01915
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ARCHITECTURE

PACIFIC-VISIONS STUDIO LLC
38 Thompson Ave.
Bristol, RI
T - 774.633.1272



NORTH



LOCUS MAP
SCALE: 1" = 250'

DRAWING INDEX:

- C-1 COVER SHEET/LOCUS MAP
- C-2 EXISTING CONDITIONS PLAN
- C-3 LAYOUT AND MATERIALS PLAN
- C-4 GRADING, DRAINAGE & UTILITIES PLAN
- C-5 LANDSCAPE PLAN
- C-6 EROSION & SEDIMENT CONTROL PLAN
- C-7 SITE DETAILS
- C-8 SITE DETAILS

REQUESTED WAIVERS:

SITE PLAN RULES AND REGULATIONS:

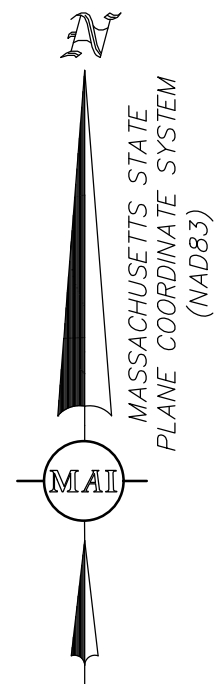
- SECTION 207-9 (PEDESTRIAN ACCESS AND SIDEWALKS) NO SIDEWALKS PROPOSED.
- SECTION 207-11.A.4 - (VERTICAL GRANITE CURBING AT ENTRANCE ROUNDINGS) CAPE COD BERM PROPOSED.
- SECTION 207-11.B.2 (VERTICAL GRANITE CURBING ALONG DRIVEWAY) CAPE CARD BERM PROPOSED.
- SECTION 207-11.B.3 (DRIVE AISLE TO BE 24 FEET WIDE) 20 FOOT WIDE DRIVE AISLE PROPOSED.

I HEREBY CERTIFY THAT NOTICE OF APPROVAL OF THIS PLAN BY THE MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD WAS RECEIVED AND RECORDED AT THIS OFFICE AND THAT NO NOTICE OF APPEAL WAS FILED IN 20 DAYS FOLLOWING SAID RECEIPT AND RECORDING.

TOWN CLERK MEDWAY, MA. DATE

APPROVED BY THE TOWN OF MEDWAY
PLANNING & ECONOMIC DEVELOPMENT BOARD

BOARD MEMBER DATE



FALES STREET

NOW OR FORMERLY
VICTOR W. JR. & ANN V. TERRANOVA
DEED BOOK 22298 PAGE 198
8 FALES STREET

NOW OR FORMERLY
JOHN WILLIAM PARLEE
& JAIME L. HODGES
DEED BOOK 32840 PAGE 4
5 FALES STREET

NOW OR FORMERLY
CATHY F. SUTTON & WILLIAM A. RITCHIE
DEED BOOK 8417 PAGE 2
216 MAIN STREET

**RECORD
AREA**
=52,993±S.F.
(1.22±ACRES)

NOW OR FORMERLY
RICHARD E. & HELEN M. FORCE
DEED BOOK 30978 PAGE 576
230 MAIN STREET

NOW OR FORMERLY
JENNIFER F. & JASON M. ROMAN
DEED BOOK 33718 PAGE 185
228 MAIN STREET

NOW OR FORMERLY
JOVONTE ALLEN SANTOS
& MYRIAM SANTOS
DEED BOOK 35427 PAGE 407
224 MAIN STREET

NOW OR FORMERLY
ROBERT E. & MARIAN L. LEONARD
DEED BOOK 3554 PAGE 451
222 MAIN STREET

X-CUT FOUND
INTERSECTION
STONE WALL

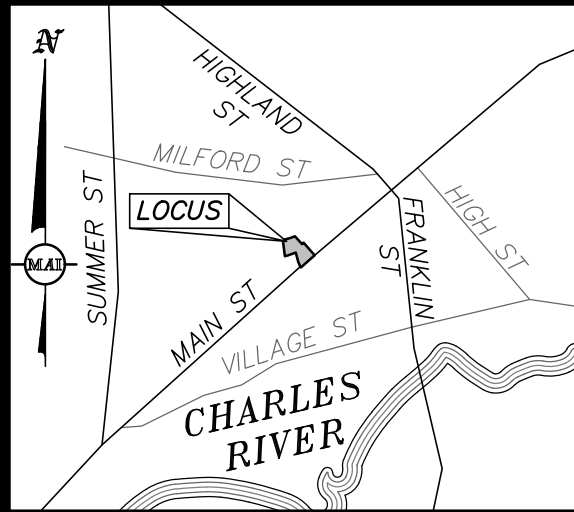
EXPOSED
ROCK
OUTCROP

NOW OR FORMERLY
DANIEL M. & CAMEL A. BRERON
DEED BOOK 1988 PAGE 177
214 MAIN STREET

TEMPORARY BENCHMARK CHART:

T.B.M.#	DESCRIPTION	ELEVATION
1	X-CUT HYDRANT FRONT CAP BOLT	229.17
2	CUT SPIKE IN UTILITY POLE 20/30, 1.0' A.G.	230.91

(SEE NOTE 6)



LOCUS MAP:
(1"=2000')

LEGEND:

234	ONE FOOT CONTOUR
235	FIVE FOOT CONTOUR
+234.5	SPOT ELEVATION
BITUMINOUS BERM	BITUMINOUS BERM
TREELINE	TREELINE
CHAINLINK FENCE	CHAINLINK FENCE
STONEWALL	STONEWALL
STONE RETAINING WALL	STONE RETAINING WALL
EXPOSED ROCK OUTCROP	EXPOSED ROCK OUTCROP
CONCRETE	CONCRETE
BRICK	BRICK
DECIDUOUS TREE	DECIDUOUS TREE
CONIFEROUS TREE	CONIFEROUS TREE
BOULDER	BOULDER
OHW	OVERHEAD WIRES
UTILITY POLE	UTILITY POLE WITH LIGHT
ELECTRIC METER	ELECTRIC METER
COMPILED DRAIN LINE	COMPILED DRAIN LINE
CATCH BASIN	CATCH BASIN
COMPILED WATER LINE	COMPILED WATER LINE
WATER GATE	WATER GATE
HYDRANT	HYDRANT
WATER SERVICE	WATER SERVICE
COMPILED SEWER LINE	COMPILED SEWER LINE
SEWER MANHOLE	SEWER MANHOLE
COMPILED GAS LINE	COMPILED GAS LINE
TERMINUS UNKNOWN	TERMINUS UNKNOWN
ABOVE GROUND	ABOVE GROUND
BITUMINOUS BERM	BITUMINOUS BERM
BULKHEAD	BULKHEAD
BIT. CONC.	BITUMINOUS CONCRETE
CS	CORRUGATED STEEL
EOP	EDGE OF PAVEMENT
GP	GRANITE POST
INV	INVERT
PVC	POLYVINYL CHLORIDE
(R)	RECORD
RWS	STONE RETAINING WALL
S.F.	SQUARE FEET
THRESH	THRESHOLD

NOTES:

- THE TOPOGRAPHY, SITE DETAIL & SURFACE IMPROVEMENTS DEPICTED HEREON WERE OBTAINED FROM AN INSTRUMENT SURVEY CONDUCTED ON THE GROUND BY MERIDIAN ASSOCIATES, INC. (MAI) ON JULY 11-16, 2019.
- THE SUBJECT PROPERTY IS LOCATED IN AGRICULTURAL RESIDENTIAL II (AR-II) ZONING DISTRICT AND THE MULTIFAMILY HOUSING OVERLAY DISTRICT (MHOD).
- THE SUBJECT PROPERTY IS DEPICTED AS LOT 44 ON TOWN OF MEDWAY ASSESSOR'S MAP 57.
- THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND ARE BASED UPON A PARTIAL FIELD SURVEY AND COMPILATION OF PLANS OF RECORD. MERIDIAN ASSOCIATES, INC. DOES NOT WARRANT OR GUARANTEE THE LOCATION OF ALL UTILITIES DEPICTED OR NOT DEPICTED. THE CONTRACTOR, PRIOR TO COMMENCEMENT OF CONSTRUCTION, SHALL VERIFY THE LOCATION OF ALL UTILITIES AND CONTACT DIG SAFE AT 811.
- THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT, VISIBLE USES OF THE LAND; HOWEVER, THIS DOES NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.
- THE ELEVATIONS DEPICTED HEREON WERE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88), AS DERIVED FROM GPS OBSERVATIONS.
- PROPERTY LINES DEPICTED HEREON ARE BASED ON COMPILED DEEDS AND PLANS OF RECORD. THIS PLAN IS NOT TO BE USED FOR THE RECONSTRUCTION OF BOUNDARY LINES OR FOR TITLE INSURANCE PURPOSES. ALL BOUNDARY LINES DEPICTED ARE APPROXIMATE ONLY. MAI DID NOT PERFORM A BOUNDARY RETRACEMENT SURVEY.
- THE SUBJECT PREMISES IS LOCATED IN FLOOD ZONE X (UNSHADED), AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FEMA FLOOD INSURANCE RATE MAP NUMBER 25021C0143E DATED JULY 17, 2012.

ALL UNDERGROUND UTILITY DATA REPRESENTS RECORD
INFORMATION RECOVERED THROUGH RESEARCH WITHOUT
SURFACE DEMARICATION NOR SUBSURFACE VERIFICATION

RECORD OWNER:

ELLIOTT F. EDWARDS
& LINDA S. RESNER
218 MAIN STREET
MEDWAY, MASSACHUSETTS 02053
- DEED BOOK 14714 PAGE 086

REFERENCES:

- PLAN BOOK 454 PLAN 118
DOCUMENTS ON RECORD AT
THE NORFOLK DISTRICT
REGISTRY OF DEEDS.

GRAPHIC SCALE
SCALE: 1"= 20'



218-220 MAIN STREET
RECORD CONDITIONS PLAN OF LAND
LOCATED IN
MEDWAY, MASSACHUSETTS
(NORFOLK COUNTY)
PREPARED FOR
NEW GENERATION CUSTOM HOMES

**MERIDIAN
ASSOCIATES**
500 CUMMINGS CENTER, SUITE 5950
BEVERLY, MASSACHUSETTS 01915
TELEPHONE: (978) 299-0447
WWW.MERIDIANASSOC.COM



DATE:
JULY 18, 2019

SCALE:
1"=20'

SHEET No.
C-2

PROJECT No.
8521

BK. #615, PG. #64
DWG. No. 8521_BASE.DWG

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LAYOUT & MATERIALS LEGEND:

BITUMINOUS CONCRETE CURB	BB
LIMIT OF WORK	---
SETBACK	---
MAILBOX	□□□□
LIGHT FIXTURE/POST	*
SILT FENCE/HAYBALE LINE	---

ZONING TABLE:

ZONE: AR-II, MULTIFAMILY HOUSING OVERLAY DISTRICT			
Density and Dimensional Controls	Required	Existing	Proposed
LOT SIZE	30,000 SF	52,993 SF	52,993 SF
FRONTAGE	150'	190.08'	190.08'
FRONT SETBACK	35'	23.6' *	23.6' *
SIDE SETBACK	15'	9.1' *	9.1' *
REAR SETBACK	15'	152'	17'
MAX. BUILDING HEIGHT	35'	30'	30'
MAX. LOT COVERAGE	30%	0.28	0.28
MAX. IMPERVIOUS AREA	40%	15%	39%
MULTIFAMILY UNITS (ALLOWED)	8	2	7 **
MIN. OPEN SPACE/YARD AREA	15%	N/A	33% ***
PARKING SPACES	1.5/UNIT	2/UNIT	3.6/UNIT****
		(4 TOTAL)	(25 TOTAL)

* PRE-EXISTING NONCONFORMING SETBACK
ALL PROPOSED UNITS MEET THE REQUIRED DIMENSIONAL SETBACKS

** TOTAL UNITS CONSISTS OF 5 PROPOSED UNITS AND 2 EXISTING HOUSES TO BE REHABILITATED (7 TOTAL)

*** PROPOSED OPEN SPACE / YARD AREA INCLUDES COMMON SPACE, DETENTION BASIN, FRONT YARD FOR EXISTING HOUSES, AND 800 SF REAR YARD FOR EACH PROPOSED UNIT

**** ACCOUNTS FOR 4 PARKING SPACES AT EACH NEW UNIT (2 IN DRIVEWAY, 2 IN GARAGE) FOR 25 PARKING SPACES TOTAL.

LAYOUT AND MATERIALS NOTES:

ALL WORK CONDUCTED WITHIN PUBLIC RIGHT-OF-WAYS SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF THE TOWN OF MEDWAY DEPARTMENT OF PUBLIC WORKS AND MASS HIGHWAY.

ALL ACCESSIBLE ROUTES, RAMPS AND PARKING SPACES TO COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (ADA) ACCESSIBILITY GUIDELINES AND THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD (AAB).

THE FOLLOWING LAYOUT CRITERIA SHALL CONTROL UNLESS OTHERWISE NOTED ON THE PLAN:
DIMENSIONS FROM BUILDING ARE FROM FACE OF BUILDING.
DIMENSIONS ARE TO FACE OF CURB AT GUTTER LINE.
DIMENSIONS ARE TO THE CENTER OF PAVEMENT MARKINGS.
ALL TIES TO PROPERTY LINES ARE PERPENDICULAR TO THE PROPERTY LINE UNLESS OTHERWISE NOTED.

SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND ALL DETAIL CONTIGUOUS TO THE BUILDING INCLUDING ENTRANCES, DOORWAY PADS, STAIRS, ETC.

ALIGN WALKWAYS CENTERED ON BUILDING EXIT DOORS UNLESS OTHERWISE NOTED.

ALL LINES AND DIMENSIONS ARE PARALLEL OR PERPENDICULAR TO THE LINES FROM WHICH THEY ARE MEASURED UNLESS OTHERWISE INDICATED.

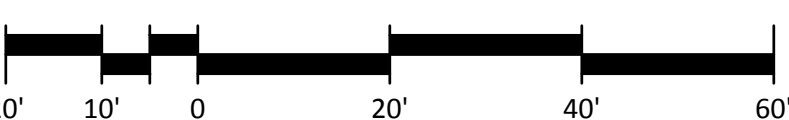
COORDINATE THE LOCATION OF ALL SITE LIGHT STANDARDS WITH IMPROVEMENTS SHOWN ON THESE DRAWINGS.

ALL BITUMINOUS CONCRETE PAVING SHALL COMPLY WITH THE MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, 1988 EDITION AS AMENDED. THE CONTRACTOR SHALL SUBMIT A JOB MIX FORMULA DEMONSTRATING COMPLIANCE WITH THESE SPECIFICATIONS. THE CONTRACTOR SHALL SUPPLY THE ENGINEER WITH A CERTIFICATE OF COMPLIANCE SUPPLIED BY THE PAVING CONTRACTOR.

BITUMINOUS CONCRETE PAVEMENT: CLASS 1, TYPE I-1 CONFORMING TO THE STANDARD SPECIFICATIONS, SECTIONS 420 AND 460, AND M3.11.03 FOR BINDER COURSE AND TOP COURSE JOB MIX FORMULAS.

NO SNOW IS TO BE PLACED WITHIN OR ON TOP OF DRAINAGE STRUCTURES.

SCALE: 1" = 20'



REVISIONS

NO.	DATE	DESCRIPTION	BY	CHKD.
1	9/8/20	PEDB REVIEW COMMENTS	DG	MEB

Layout & Materials Plan
Multifamily Development
218-220 MAIN STREET
MEDWAY, MA 02053
Prepared For:
Harmony Village LLC



MERIDIAN
ASSOCIATES

60 MILK STREET, SUITE 208, WESTBOROUGH, MA 01581 | 978.871.2020
500 CUMMINGS CENTER, SUITE 5950 BEVERLY, MA 01915 | 978.299.0447
www.MeridianAssoc.com

Date:

June 9, 2020
(See Revisions)

Scale:

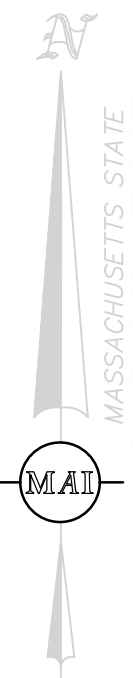
1"=20'

Project No.

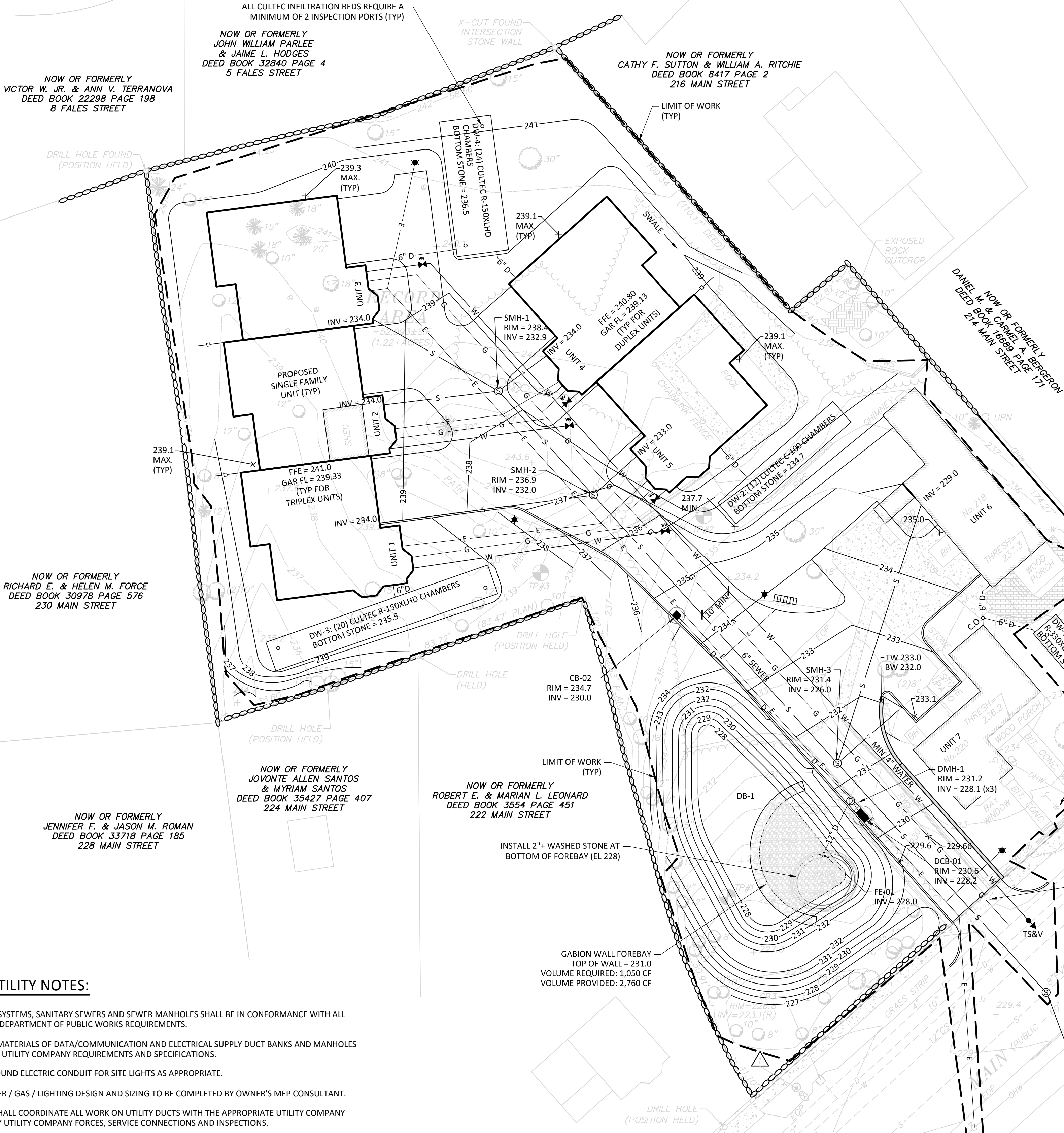
8521

Sheet No.

C-3
OF



FALES STREET



GENERAL UTILITY NOTES:

- TESTING OF WATER SYSTEMS, SANITARY SEWERS AND SEWER MANHOLES SHALL BE IN CONFORMANCE WITH ALL TOWN OF MEDWAY DEPARTMENT OF PUBLIC WORKS REQUIREMENTS.
- INSTALLATION AND MATERIALS OF DATA/COMMUNICATION AND ELECTRICAL SUPPLY DUCT BANKS AND MANHOLES SHALL CONFORM TO UTILITY COMPANY REQUIREMENTS AND SPECIFICATIONS.
- PROVIDE UNDERGROUND ELECTRIC CONDUIT FOR SITE LIGHTS AS APPROPRIATE.
- ALL ELECTRIC / WATER / GAS / LIGHTING DESIGN AND SIZING TO BE COMPLETED BY OWNER'S MEP CONSULTANT.
- THE CONTRACTOR SHALL COORDINATE ALL WORK ON UTILITY DUCTS WITH THE APPROPRIATE UTILITY COMPANY INCLUDING WORK BY UTILITY COMPANY FORCES, SERVICE CONNECTIONS AND INSPECTIONS.
- ALL UTILITY COVERS, GRATES, ETC. SHALL BE ADJUSTED TO BE FLUSH WITH THE PAVEMENT FINISH GRADE UNLESS OTHERWISE NOTED. RIM ELEVATIONS OF DRAINAGE STRUCTURES AND MANHOLES ARE APPROXIMATE.
- UNLESS OTHERWISE INDICATED, ABANDONED EXISTING UTILITY LINES SHALL BE CAPPED AND ABANDONED IN PLACE UNLESS THEY CONFLICT WITH PROPOSED IMPROVEMENTS. CAP REMAINING PORTIONS WHERE PARTIALLY REMOVED.
- SANITARY SEWER PIPE SHALL BE SDR 35 PVC.
- FIRE SERVICE WATER PIPE SHALL BE CLASS 52 CEMENT LINED DUCTILE IRON OR AS OTHERWISE REQUIRED BY THE MEDWAY DPW.
- DOMESTIC WATER PIPE SHALL BE TYPE K COPPER TUBING OR AS OTHERWISE REQUIRED BY THE MEDWAY DPW.
- PROPOSED TRIPLEX WILL NEED TO HAVE A SPRINKLER SYSTEM INSTALLED TO MEET BUILDING CODE REQUIREMENTS.
- CAP ALL PROPOSED UTILITY STUBS AS APPROPRIATE.

DRAINAGE & UTILITIES LEGEND:

PROPERTY LINE	---
DRAIN LINE	---
GAS LINE	---
ELECTRIC LINE	---
WATER LINE	---
SEWER LINE	---
LIMIT OF WORK	---
PROPOSED CONTOUR	---
GABION WALL	---
PROPOSED SPOT ELEVATION	---
CATCHBASIN	---
DRAIN MANHOLE	---
SEWER MANHOLE	---
LIGHT POST	---
INVERT ELEVATION	---
RIM	---
TYPICAL	---
VERIFY IN FIELD	---
EXISTING	---

GRADING NOTES:

UNLESS DIRECTED OTHERWISE, ALL EXISTING TURF OR VEGETATED AREAS WITHIN THE PROPOSED LIMITS OF WORK FOR EXCAVATION, GRADING, OR IMPROVEMENT SHALL BE CLEARED AND GRUBBED. WITHIN THE CLEARING AND GRUBBING AREA, REMOVE ALL TREES, SHRUBS AND ROOTS UNLESS DESIGNATED OTHERWISE. CLEARING SHALL INCLUDE THE FELLING, CUTTING AND OFF-SITE DISPOSAL OF ALL TREES, SHRUBS, STUMPS AND VEGETATIVE DEBRIS PRODUCED THROUGH THE CLEARING OPERATIONS.

STONE USED FOR MACHINE PLACED RIP-RAP SHALL BE REASONABLY WELL GRADED, HARD, DURABLE, ANGULAR IN SHAPE, RESISTANT TO WEATHERING AND FREE FROM ORGANIC MATERIAL. ROUNDED STONES OR BOULDERS ARE NOT ACCEPTABLE. THE MINIMUM WEIGHT OF THE STONE SHALL BE 155 POUNDS PER CUBIC FOOT. STONE SHALL BE PLACED IN CONFORMANCE WITH THE LINES, GRADES AND THICKNESSES SHOWN ON THE DRAWINGS.

AT ALL LOCATIONS WHERE EXISTING CURBING OR PAVEMENT ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING CURB OR PAVEMENT SHALL BE SAW CUT TO A CLEAN, SMOOTH EDGE. BLEND NEW PAVEMENT, CURBS AND EARTHWORK SMOOTHLY INTO EXISTING BY MATCHING LINES, GRADES AND JOINTS.

ALL RIP RAP STONE SHALL BE HAND CHINKED AND SHALL CONFORM TO MASSACHUSETTS HIGHWAY DEPARTMENT STANDARDS.

BLEND NEW EARTHWORK SMOOTHLY INTO EXISTING.

DRAINAGE NOTES:

MANHOLES SHALL BE 48-INCH DIAMETER (UNLESS OTHERWISE SPECIFIED). CAST-IN-PLACE BASES SHALL BE USED WHERE MANHOLES ARE CONSTRUCTED OVER EXISTING PIPES.

FRAMES AND COVERS FOR DRAINAGE STRUCTURES AND SANITARY SEWER STRUCTURES SHALL PROVIDE A 24-INCH MINIMUM CLEAR OPENING AND SHALL BE LABARON TYPE LK110 OR APPROVED EQUAL.

DRAINAGE STRUCTURE COVERS SHALL HAVE THE WORD "DRAIN" CENTERED ON THE COVER IN 3-INCH HIGH LETTERS. SANITARY SEWER STRUCTURE COVERS SHALL HAVE THE WORD "SEWER" CENTERED ON THE COVER IN 3-INCH HIGH LETTERS.

SINGLE CATCH BASIN FRAMES AND GRATES SHALL BE LABARON TYPE LF 248-2 OR AS REQUIRED BY TOWN OF MEDWAY DPW.

DOUBLE CATCH BASIN FRAMES SHALL BE LABARON ONE-PIECE LV2448-1 FRAMES OR APPROVED EQUAL. FOR DOUBLE CATCH BASIN GRATES, USE TWO LABARON TYPE LF 248-2 OR APPROVED EQUAL OR AS OTHERWISE REQUIRED BY MEDWAY DPW.

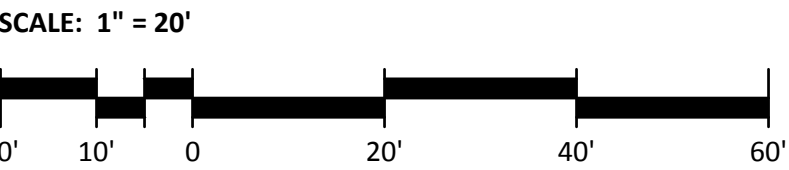
FRAMES, GRATES AND COVERS SHALL BE SET FIRM AND TRUE TO GRADE, ADJUST FOR GRADE WITH BRICK MASONRY.

ALL ON-SITE DRAIN LINES SHALL BE SMOOTH INTERIOR WALLED CORRUGATED POLYETHYLENE PIPE UNLESS OTHERWISE NOTED.

FLARED END SECTIONS SHALL BE PIPE MANUFACTURER STANDARD CONSTRUCTED FROM THE SAME MATERIAL AS THE PIPE.

ALL DRAIN LINES SHOWN SHALL BE 12" DIAMETER UNLESS OTHERWISE NOTED.

ROOF DRAIN PIPING CAN BE ADJUSTED / ALTERED FROM LAYOUT SHOWN TO TIE INTO THEIR RESPECTIVE CHAMBER SYSTEMS AS NEEDED. SEE DETAIL SHEET FOR UNIT TO SYSTEM REFERENCE (EXAMPLE: DW-2 IS FOR UNIT 5 ROOF)



REVISIONS	NO.	DATE	DESCRIPTION
	1	9/8/20	PEDB REVIEW COMMENTS
			BY
			CHKD.

Grading, Drainage & Utilities Plan

Multifamily Development

218-220 MAIN STREET
MEDWAY, MA 02053

Prepared For:
Harmony Village LLC

MERIDIAN ASSOCIATES

66 MILK STREET, SUITE 208, WESTBOROUGH, MA 01581 | 978.871.2020
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Scale:
1"=20'

Project No.
8521

Sheet No.
C-4
OF



B&B: BALL AND BURLAP CAL: CALIPER DR: DEER RESISTANT DT: DROUGHT TOLERANT N: NATIVE OC: ON CENTER ST: SALT TOLERANT

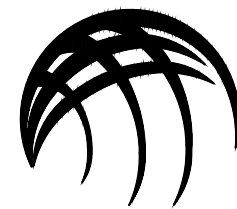
1. ALL PLANT MATERIAL SHALL CONFORM TO THE MINIMUM GUIDELINES ESTABLISHED BY THE "AMERICAN STANDARD FOR NURSERY STOCK" PUBLISHED BY AmericanHort 2014 AND AS AMENDED.
2. ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF FINAL ACCEPTANCE.
3. VERIFY LOCATIONS OF ALL EXISTING UTILITY LINES PRIOR TO PLANTING AND REPORT ANY CONFLICTS TO THE OWNER OR OWNER'S REPRESENTATIVE.
4. PROVIDE TREES, SHRUBS, AND GROUNDCOVERS AS SHOWN AND SPECIFIED. THE WORK INCLUDES: SOIL PREPARATION, INSTALLATION OF TREES, SHRUBS AND GROUNDCOVERS, PLANTING MIXES, MULCH AND PLANTING ACCESSORIES, WARRANTY, WATERING AND MAINTENANCE DURING CONSTRUCTION AND WARRANTY PERIODS.
5. BALLED AND BURLAPPED PLANTS MAY BE PLANTED IN THE SPRING FROM APRIL 1ST UNTIL JUNE 15TH AND IN THE FALL FROM AUGUST 15TH TO NOVEMBER 1ST.
6. PLANTING PLAN IS DIAGRAMMATIC IN NATURE. FINAL PLACEMENT OF PLANTS TO BE APPROVED BY THE LANDSCAPE ARCHITECT IN THE FIELD.
7. ALL SHADE TREES ALONG SIDEWALKS SHALL HAVE A MINIMUM SIX (6) FOOT BRANCHING HEIGHT.
8. PLANT MATERIALS DEPICTED IN ROWS SHALL CONTAIN MATCHING PLANT SPECIMENS SPACED EQUALLY ALONG INDICATED AREA.
9. ALL PLANT MATERIALS AND LAWN AREAS TO BE MAINTAINED BY LANDSCAPE CONTRACTOR UNTIL FINAL WRITTEN ACCEPTANCE PROVIDED TO CONTRACTOR BY OWNER OR OWNER'S REPRESENTATIVE.
10. ALL PLANT MATERIALS TO REMAIN ALIVE AND BE IN HEALTHY, VIGOROUS CONDITION AND SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF FINAL WRITTEN ACCEPTANCE FROM THE OWNER OR OWNER'S REPRESENTATIVE.
11. ALL PLANT MATERIALS ARE INTENDED TO BE DROUGHT TOLERANT ONCE ESTABLISHED. NO IRRIGATION SYSTEM IS PROPOSED.
12. LOAM AND SEED ALL DISTURBED AREAS UNLESS OTHERWISE INDICATED ON PLAN. LOAM WITH TOPSOIL SPREAD TO A MINIMUM DEPTH OF (6) SIX INCHES.
13. SEED OR PROVIDE SOD FOR ALL TURFGRASS LAWN AREAS WITH A DROUGHT TOLERANT TURFGRASS SEED MIX (80% TALL FESCUE, 10% PERENNIAL RYEGRASS, 10% KENTUCKY BLUEGRASS).
14. PERENNIALS, BULBS AND ANNUALS ARE TO BE PLANTED IN A WELL PREPARED BED WHICH SHALL INCLUDE PEAT AND SLOW RELEASE FERTILIZER. BEDS SHALL BE SKIMMED WITH ONE AND ONE-HALF (1-1/2) INCH TO TWO (2) INCH MULCH (INCLUDING GROUNDCOVERS).

Multifamily Development

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MEDWAY, MA 02053

Prepared For:

Harmony Village LLC



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(See Revisions)

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ALL CULTIC INFILTRATION BEDS REQUIRE A
MINIMUM OF 2 INSPECTION PORTS (TYP)

NOW OR FORMERLY
RICHARD E. & HELEN M. FORCE
DEED BOOK 30979 PAGE 576
230 MAIN STREET

NOW OR FORMERLY
JENNIFER F. & JASON M. ROMAN
DEED BOOK 33718 PAGE 185
228 MAIN STREET

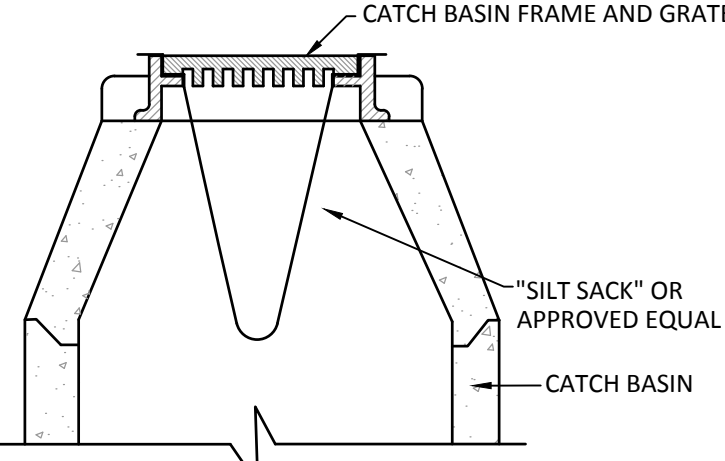
NOW OR FORMERLY
JOVONTE ALLEN SANTOS
& MYRIAM SANTOS
DEED BOOK 35427 PAGE 407
224 MAIN STREET

NOW OR FORMERLY
ROBERT E. & MARIAN L. LEONARD
DEED BOOK 3554 PAGE 451
222 MAIN STREET

NOW OR FORMERLY
CATHY F. SUTTON & WILLIAM A. RITCHIE
DEED BOOK 8417 PAGE 2
216 MAIN STREET

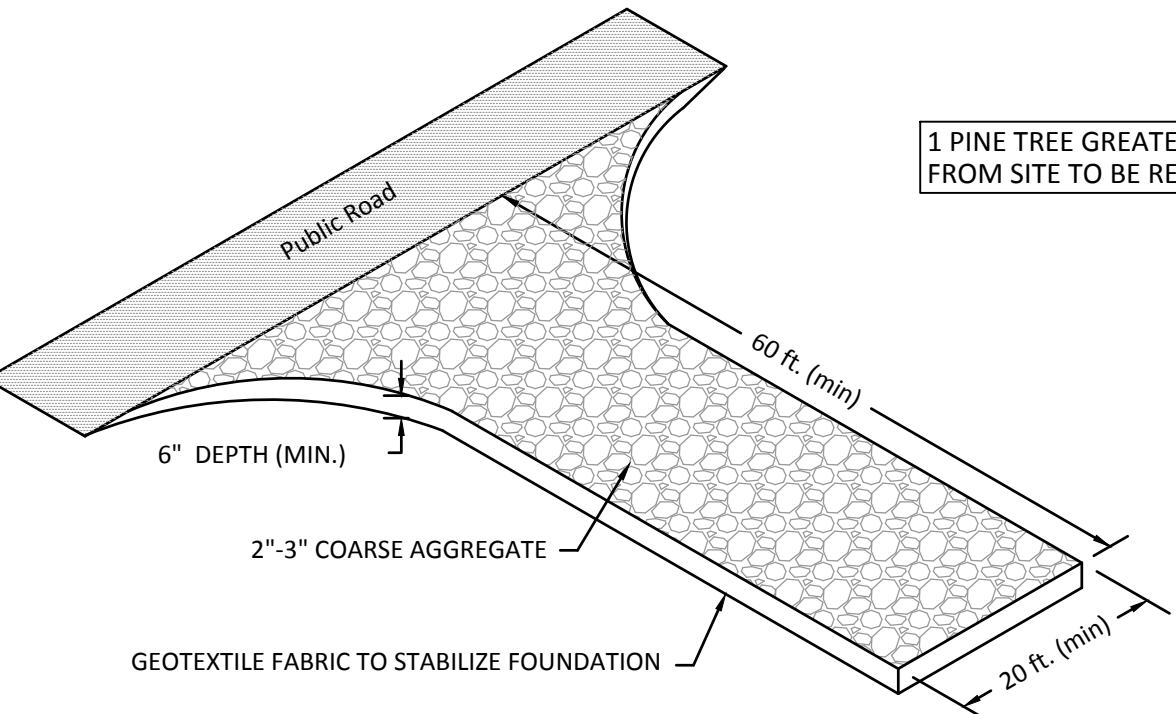
NOW OR FORMERLY
DANIEL M. & CAROL A. BERGERON
DEED BOOK 6899 PAGE 177
214 MAIN STREET

CONSTRUCTION ENTRANCE/EXIT PAD
(NOT TO SCALE)



- NOTES:
- TO BE INSTALLED IN ALL CATCH BASINS UNTIL COMPLETION OF CONSTRUCTION.
 - BOOT ADAPTER MAY BE TRIMMED TO SIZE.

FILTER BAG
(NOT TO SCALE)



EROSION CONTROL LEGEND:

- BITUMINOUS CONCRETE CURB
- LIMIT OF WORK
- LIGHT FIXTURE
- SILT FENCE/HAYBALE LINE
- SILT SOCK

EROSION CONTROL AND STABILIZATION PROGRAM

THE CONTRACTOR SHALL IMPLEMENT THE SWPPP FOR THE PROJECT INCLUDING INSTALLATION AND MAINTENANCE OF ALL CONTROL MEASURES OUTLINED IN THE STORMWATER POLLUTION PREVENTION PLAN INCLUDING EROSION CONTROL BARRIERS, ANTI-TRACKING PADS AND OTHER EROSION AND SEDIMENTATION CONTROLS, STORMWATER MANAGEMENT CONTROLS, SOLID WASTE CONTROLS AND SPILL PREVENTION CONTROLS.

THE LOCATION OF EROSION CONTROL BARRIERS AND SEDIMENTATION AND POLLUTION CONTROL SYSTEMS SHOWN ON DRAWINGS ARE INTENDED TO BE MINIMUM REQUIREMENTS AND A GUIDE FOR THE PLACEMENT OF THESE BARRIERS. OTHER MEASURES MAY BE REQUIRED BASED UPON EXPERIENCE AT THE SITE. WHEN NO SEDIMENTATION CONTROL SYSTEM IS SHOWN ON THE DRAWING, THE CONTRACTOR SHALL BE REQUIRED TO ESTABLISH A SYSTEM TO PREVENT SILTATION OR POLLUTION OF ADJACENT PROPERTY, WETLANDS OR BUFFER ZONES. THE SYSTEMS SHOWN SHALL NOT RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITY OF PLACING ADDITIONAL BARRIERS OR REPLACING BARRIERS AS REQUIRED BY SITE CONDITIONS. THE IMPLEMENTATION, MAINTENANCE, REPLACEMENT AND ADDITIONS TO THESE SYSTEMS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. AS CONSTRUCTION PROGRESSES AND SEASONAL CONDITIONS DICTATE, MORE SILTATION CONTROL FACILITIES MAY BE REQUIRED. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ADDRESS NEW CONDITIONS THAT MAY BE CREATED.

PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ON THE SITE, THE OWNER SHALL DESIGNATE AN EROSION CONTROL INSPECTOR TO SERVE DURING THE CONSTRUCTION PROCESS WITH RESPONSIBILITIES IN ACCORDANCE WITH THE SWPPP.

ALL SLOPES WITH SURFACE GRADES EQUAL TO OR STEEPER THAN 3:1 SHALL BE STABILIZED WITH JUTE MATTING.

REQUIRED SEDIMENTATION CONTROL FACILITIES MUST BE CONSTRUCTED, CLEARLY VISIBLE, AND IN OPERATION PRIOR TO CONSTRUCTION. UNLESS OTHERWISE NOTED, SUCH FACILITIES SHALL REPRESENT THE LIMIT OF WORK. NO CONSTRUCTION ACTIVITY IS TO OCCUR BEYOND THE LIMIT OF WORK AT ANY TIME DURING THE CONSTRUCTION PERIOD.

TEMPORARY DIVERSION DITCHES, PERMANENT DITCHES, CHANNELS, EMBANKMENTS AND ANY DENUDED SURFACE WHICH WILL BE EXPOSED FOR A PERIOD OF ONE MONTH OR MORE SHALL BE CONSIDERED CRITICAL STABILIZATION AREAS. THESE AREAS SHALL BE MULCHED WITH STRAW. MULCH SHALL BE SPREAD UNIFORMLY IN A CONTINUOUS BLANKET OF SUFFICIENT THICKNESS TO COMPLETELY HIDE THE SOIL FROM VIEW.

SEDIMENT CONTROL MEASURES SHALL BE PROVIDED AROUND ALL EXISTING AND PROPOSED DRAINAGE STRUCTURES AS DETAILED ON THE DRAWINGS OR AS REQUIRED TO PREVENT SEDIMENTATION.

HAYBALE CHECK DAMS ARE TO BE PROVIDED ON TWO HUNDRED (200) FOOT SPACING WITHIN ALL DRAINAGE SWALES AND DITCHES AND AT UPSTREAM SIDES OF ALL DRAINAGE INLETS.

HAYBALES, SILT FENCE OR OTHER SILTATION CONTROLS SHALL BE MAINTAINED IN A SATISFACTORY CONDITION UNTIL CONSTRUCTION IS COMPLETED AND THE POTENTIAL FOR ON-SITE EROSION HAS PASSED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL SILTATION CONTROLS. THE CONTRACTOR SHALL NOT REMOVE ANY SILTATION CONTROLS UNTIL AUTHORIZED (IN WRITING) BY THE OWNER OR HIS REPRESENTATIVE.

AT THE START OF SOIL DISTURBANCE, THERE SHALL BE AN ADEQUATE RESERVE OF SILT FENCE AND HAY BALES IN GOOD CONDITION, AND SUFFICIENT STAKES FOR STAKING THESE BALES.

DENUDED SLOPES SHALL NOT BE LEFT EXPOSED FOR EXCESSIVE PERIODS OF TIME SUCH AS THE INACTIVE WINTER SEASONS.

ALL DISTURBED SLOPES EITHER NEWLY CREATED OR EXPOSED PRIOR TO OCTOBER 15 SHALL BE SEEDED OR PROTECTED BY THAT DATE.

LOAMING AND SEEDING OR MULCHING OF NON-PAVEMENT AREAS SHALL TAKE PLACE AS SOON AS PRACTICABLE.

ALL STOCKPILE AREAS SHALL BE LOCATED WITHIN LIMIT OF WORK AND STABILIZED TO PREVENT EROSION. STABILIZED CONSTRUCTION ACCESS PADS SHALL BE INSTALLED AT THE CONSTRUCTION DRIVEWAY ONTO THE PUBLIC WAY TO PREVENT THE TRACKING OF SEDIMENT OFF-SITE.

EROSION CONTROL BARRIER SHALL BE INSTALLED AS INDICATED ON THE PLANS AND AS REQUESTED BY THE OWNER OR HIS REPRESENTATIVE TO ADDRESS FIELD CONDITIONS.

ALL POINTS OF CONSTRUCTION EGRESS AND INGRESS SHALL BE MAINTAINED TO PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADS.

DEWATERING ACTIVITIES SHALL BE CONDUCTED SUCH THAT ANY WATER PUMPED FROM EXCAVATIONS WILL BE CONVEYED BY HOSE TO AN UPLAND AREA (MINIMUM 125 FEET FROM ANY WETLAND RESOURCE AREA) AND DISCHARGED INTO HAY BALES CORRALS OR SEDIMENTATION BAGS.

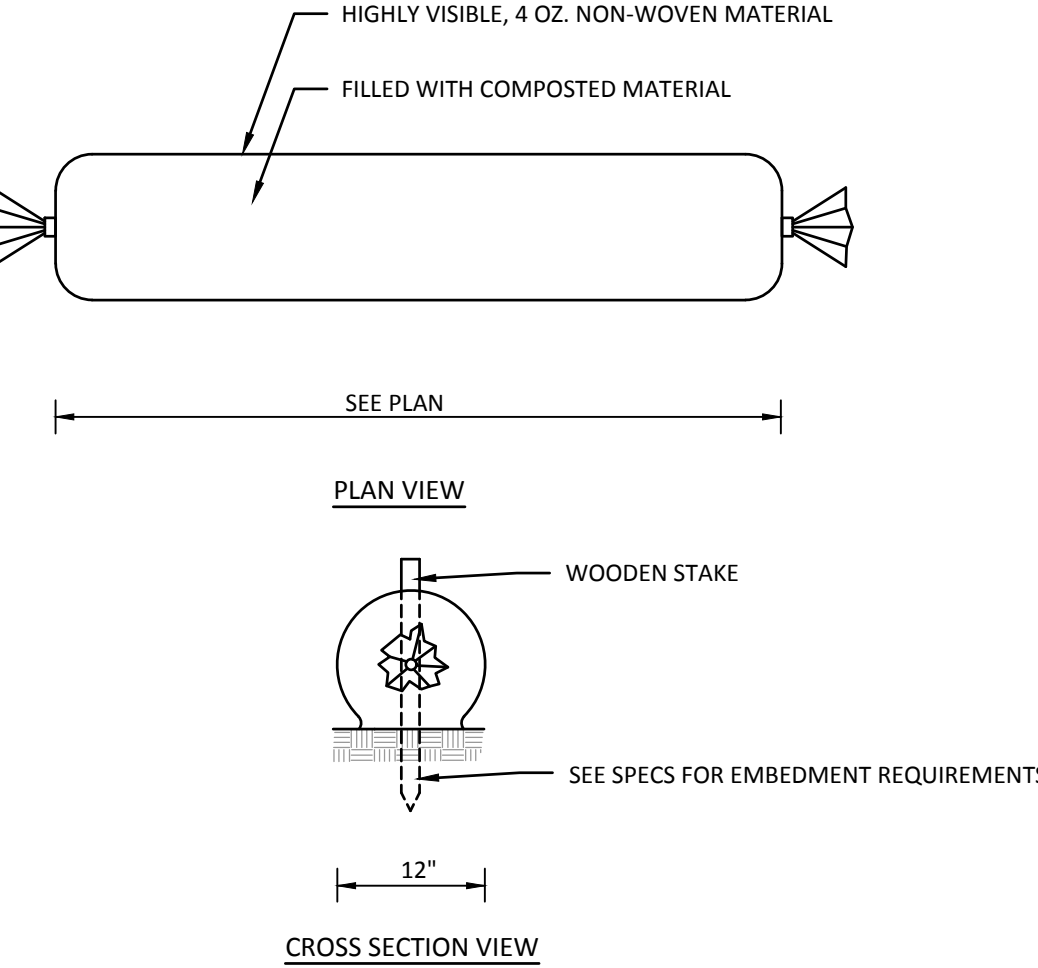
EROSION CONTROL BARRIER SHALL BE INSTALLED ALONG EDGE OF PROPOSED DEVELOPMENT AS SHOWN ON THE PLAN PRIOR TO THE COMMENCEMENT OF CONSTRUCTION OPERATIONS.

SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED ON A DAILY BASIS AND AFTER EACH STORM EVENT OF 0.5 INCH OR GREATER DURING CONSTRUCTION TO INSURE THAT CHANNELS, DITCHES AND PIPES ARE CLEAR OF DEBRIS AND THAT THE EROSION BARRIERS ARE INTACT.

SANITARY WASTES GENERATED DURING CONSTRUCTION WILL BE DISPOSED OFFSITE BY AN APPROVED LICENSED WASTE HAULER.

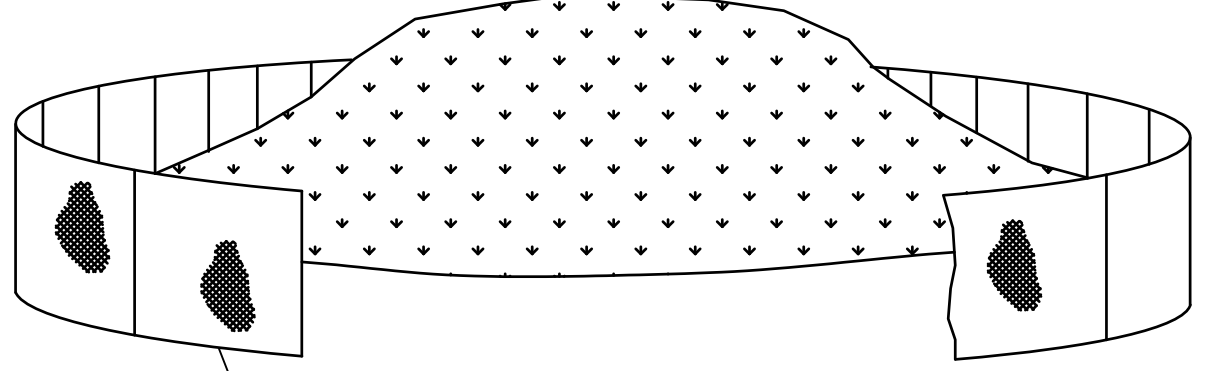
CONSTRUCTION SITE WASTE MATERIALS WILL BE PROPERLY STORED ON SITE AND DISPOSED OFFSITE AT A LOCATION IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.

THE PROJECT WILL REQUIRE APPROXIMATELY 1,200 CY OF EARTH MATERIAL TO BE REMOVED FROM THE SITE.



NOTE:
THE FILTER SOCK SHALL BE STAKED ON ENDS AND THROUGH THE CENTER AT 10 FT INTERVALS. PROVIDE UPSLOPE RETURNS AT ENDS.

COMPOST FILTER SOCK - SEDIMENT CONTROL
SCALE: 1" = 20'
(NOT TO SCALE)



- NOTES:
- LOCATE STOCKPILE IN A DRY AND STABLE AREA OUTSIDE OF 100' WETLAND BUFFER ZONE.
 - STABILIZE STOCKPILE WITH ANNUAL RYEGRASS, MULCH OR EROSION CONTROL BLANKETS.

SOIL STOCKPILE
(NOT TO SCALE)

REVISIONS	NO.	DATE	DESCRIPTION
	1	9/8/20	

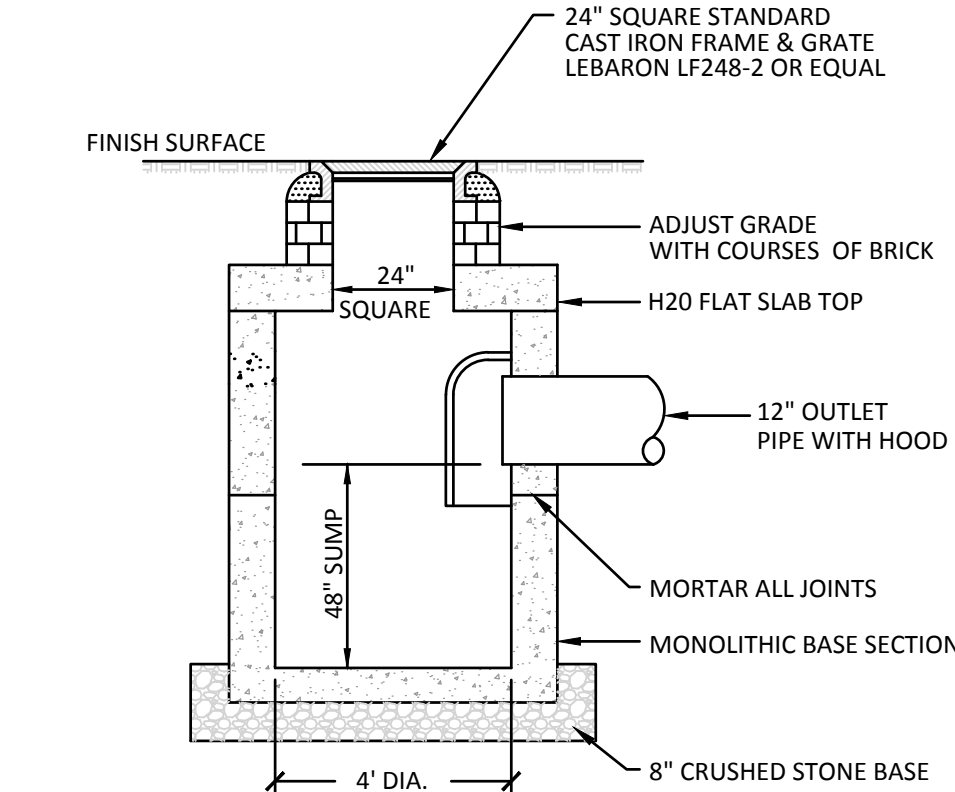
Erosion & Sediment Control Plan
Multifamily Development
218-220 MAIN STREET
MEDWAY, MA 02053
Prepared For:
Harmony Village LLC



60 MILK STREET, SUITE 208, WESTBOROUGH, MA 01581 | 978.871.2020
500 CUMMINGS CENTER, SUITE 550, BEVERLY, MA 01915 | 978.399.0447
www.MeridianAssoc.com

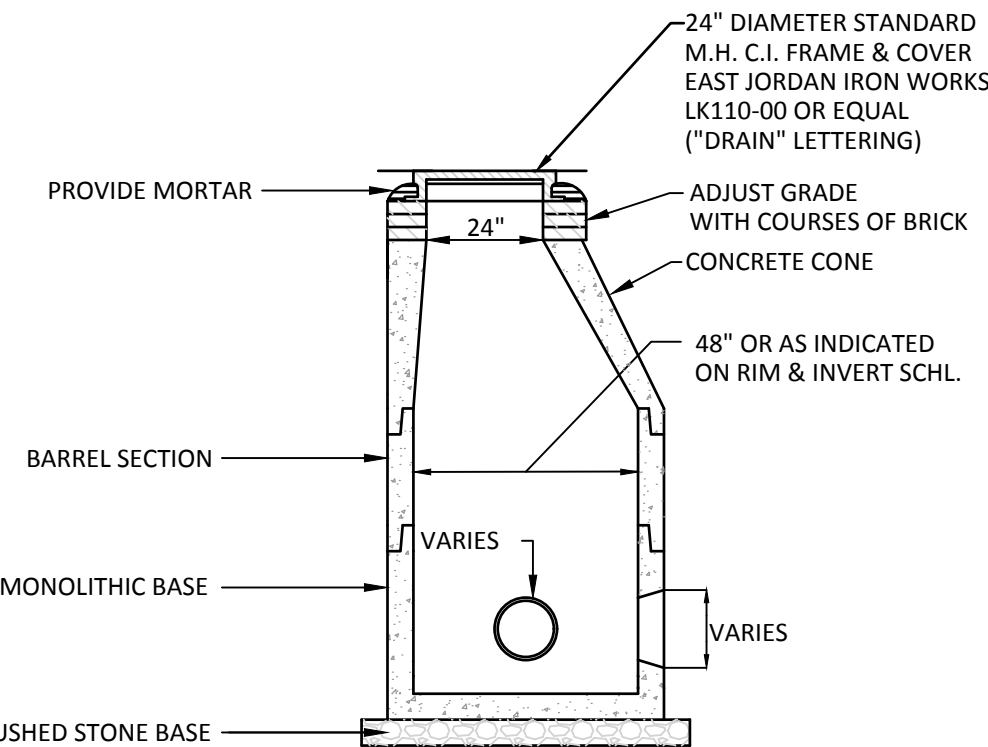
Date:
June 9, 2020
(See Revisions)
Scale:
1"=20'
Project No.
8521
Sheet No.
C-6
OF

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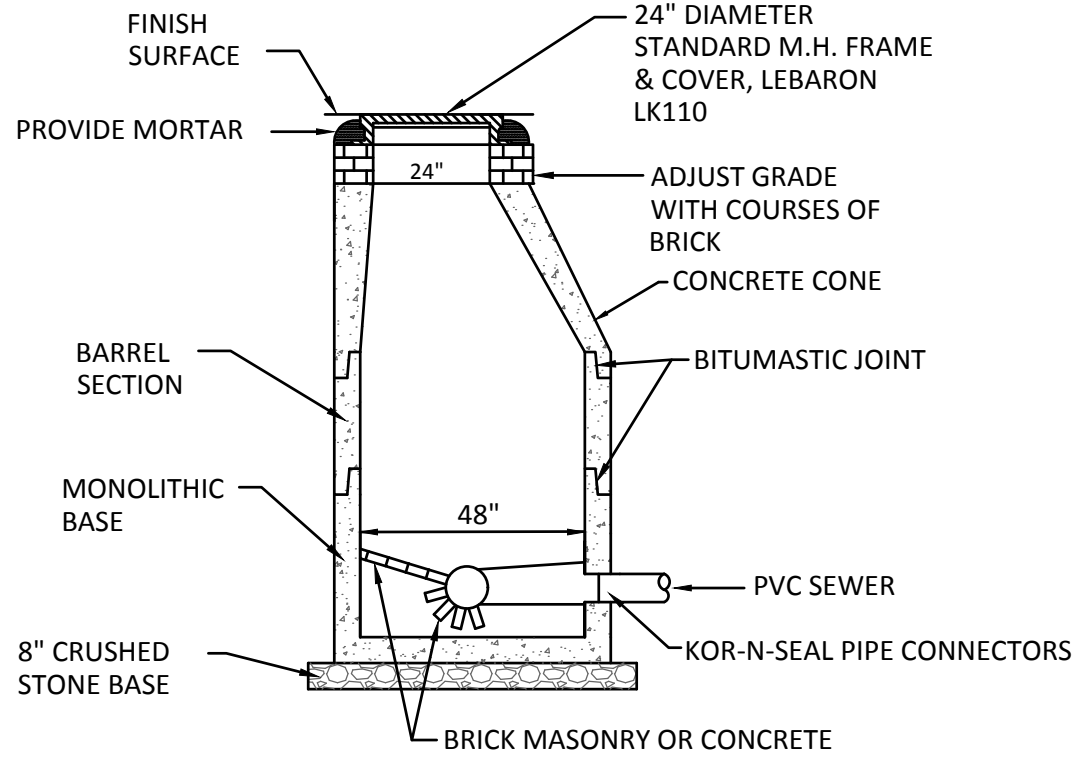
- NOTES:
1. STRUCTURE DESIGN TO LATEST ASTM C478.
 2. REINFORCING STEEL CONFORMS TO LATEST ASTM A 185.
 3. CONCRETE COMPRESSIVE STRENGTH - 4,000 PSI @ 28 DAYS.
 4. FLAT SLAB TOP AASHTO H-20.5. ONE POUR MONOLITHIC BASE.

PRECAST CONCRETE CATCH BASIN W/ TRAP
(NOT TO SCALE)



- NOTES:
1. MANHOLE DESIGN TO LATEST ASTM C478.
 2. REINFORCING STEEL CONFORMS TO LATEST ASTM A 185.
 3. CONCRETE COMPRESSIVE STRENGTH - 4,000 PSI @ 28 DAYS.
 4. ONE POUR MONOLITHIC BASE.
 5. STEPS - STEEL REINFORCED COPOLYMER POLYPROPYLENE PLASTICS (PS2-PFSL M.A. INDUSTRIES, INC.) CONFORMS TO LATEST ASTM C478 PARA-12.
 6. BITUMASTIC BUTYL RUBBER FOR JOINTS CONFORM TO LATEST ASTM C443 AND FED SS-S-201A SPEC.

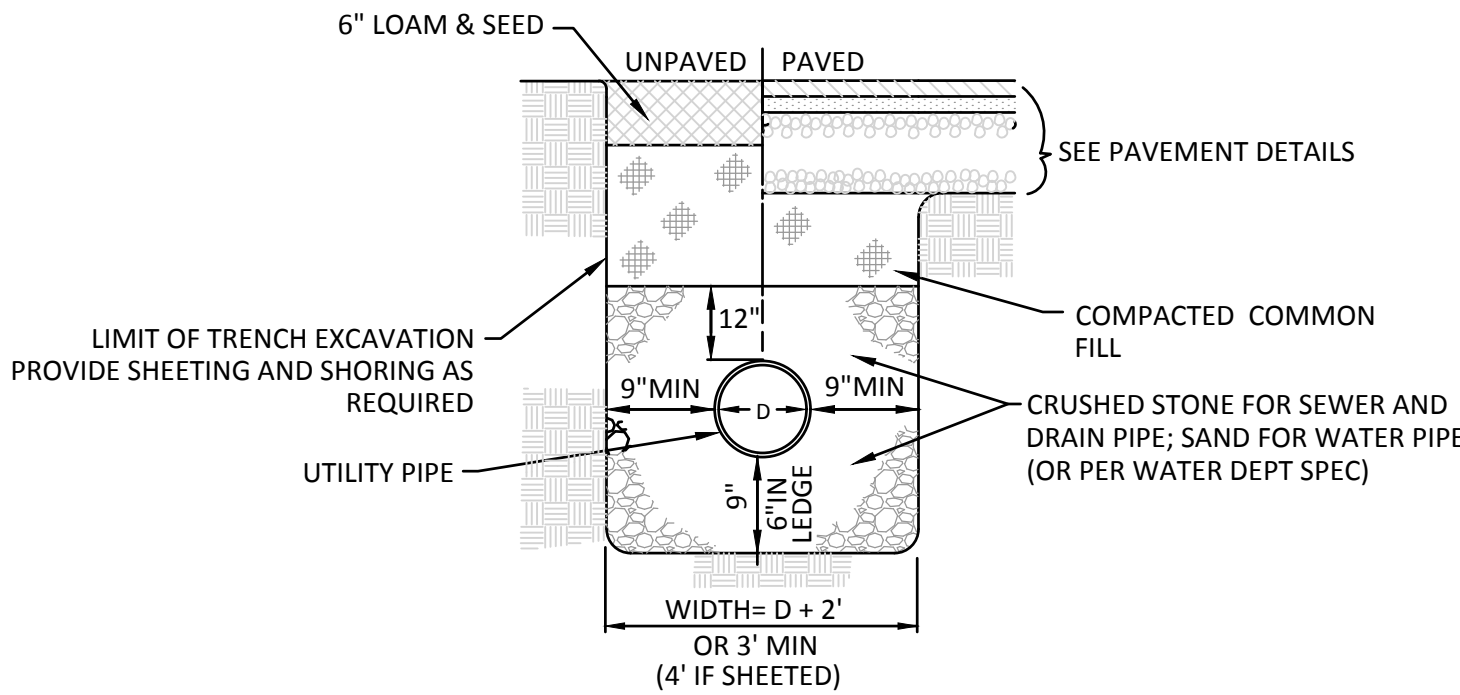
PRECAST CONCRETE DRAIN MANHOLE
(NOT TO SCALE)



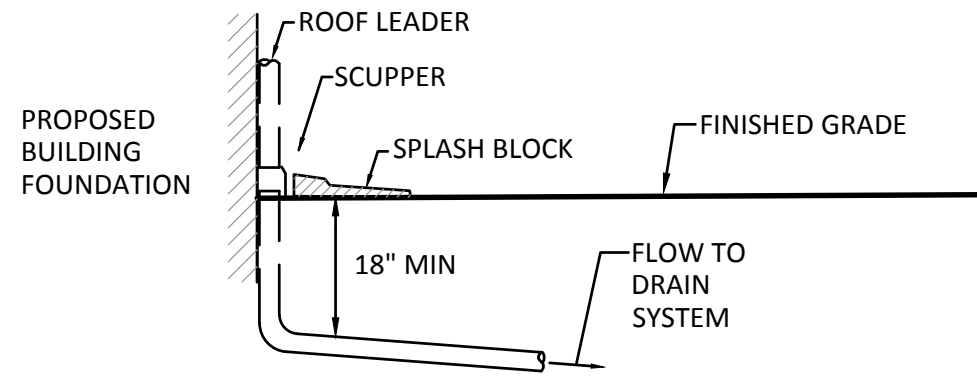
- NOTES:
1. MANHOLE DESIGN SHALL CONFORM TO LATEST ASTM C478.
 2. REINFORCING STEEL SHALL CONFORM TO LATEST ASTM A 185.
 3. CONCRETE COMPRESSIVE STRENGTH-4,000 PSI @ 28 DAYS.
 4. ONE POUR MONOLITHIC BASE.
 5. STEPS-STEEL REINFORCED COPOLYMER POLYPROPYLENE PLASTIC (PS2-PFSL M.A. INDUSTRIES, INC.) CONFORMING TO LATEST ASTM C478 PARA-12.
 6. KOR-N-SEAL FLEXIBLE PIPE CONNECTORS SHALL CONFORM TO LATEST ASTM C923, A167.

SEWER MANHOLE DETAIL (SMH)
(NOT TO SCALE)

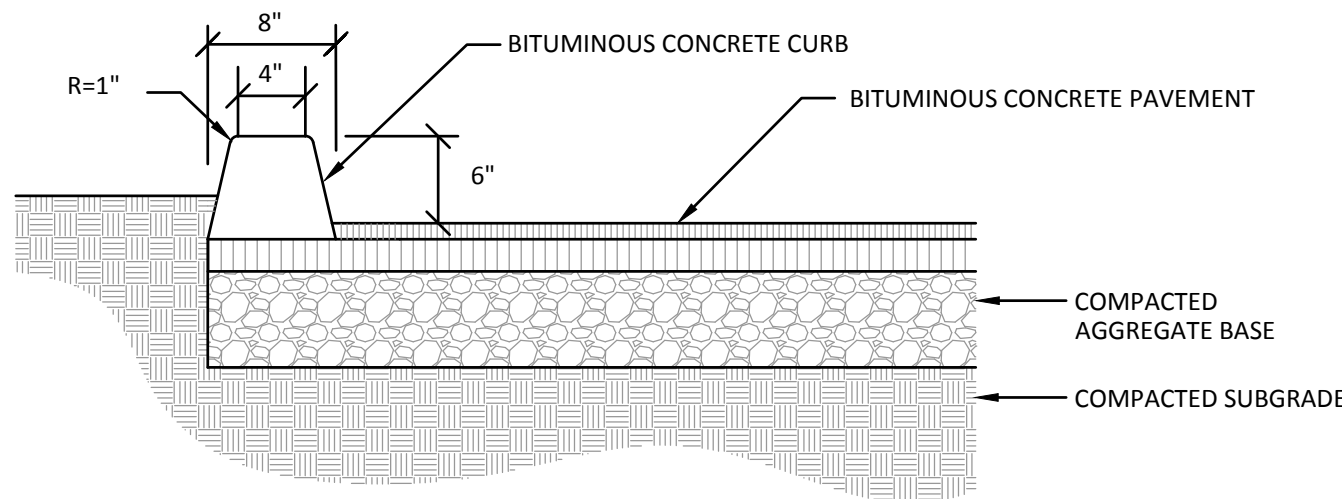
TRENCH WIDTH (W)		
D DIAMETER OF PIPE	W UNSHEETED	W SHEETED
TO 12"	3'	4'
14" TO 24"	4'	5'
30" TO 36"	5'	6'



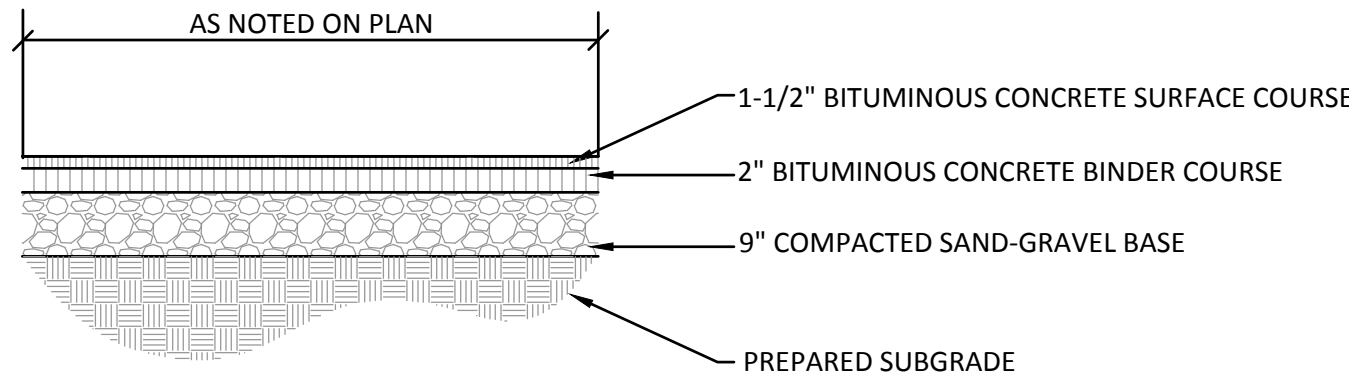
TYPICAL TRENCH SECTION
(NOT TO SCALE)



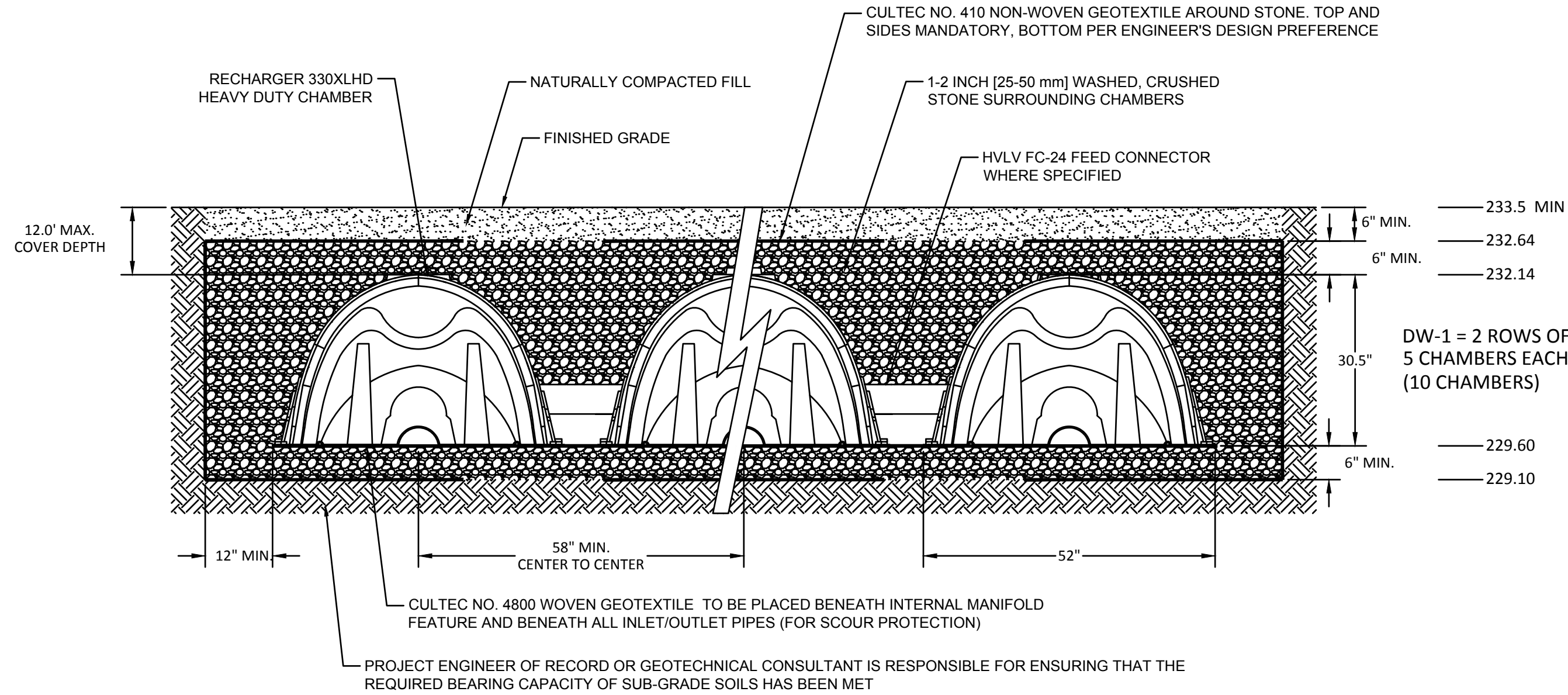
ROOF DOWNSPOUT CONNECTION
(NOT TO SCALE)



BITUMINOUS CONCRETE CURB
NOT TO SCALE

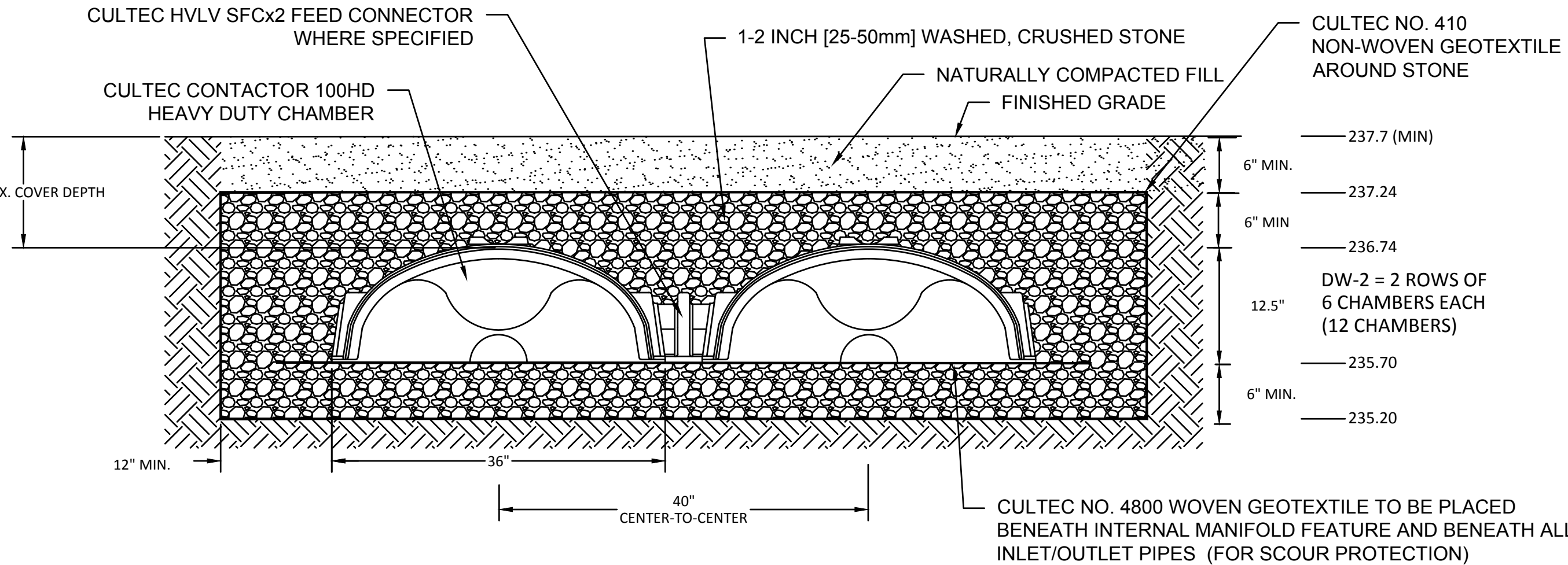


BITUMINOUS CONCRETE PAVEMENT SECTION
(NOT TO SCALE)



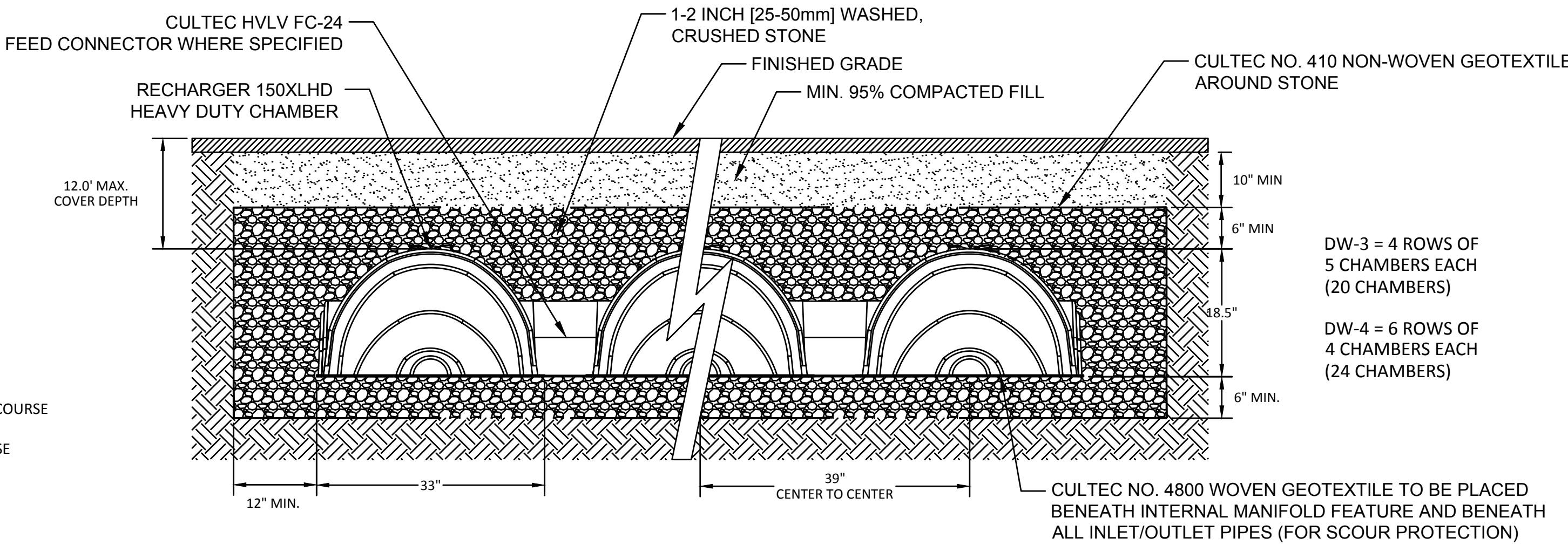
CULTEC RECHARGER 330XLHD INFILTRATION CHAMBERS (DW-1)
(NOT TO SCALE)

NOTE:
DW-1 IS TO CAPTURE ROOF RUNOFF
FROM EXISTING HOUSES 218 & 220
(UNITS 6 & 7).



CULTEC 100HD INFILTRATION CHAMBERS (DW-2)
(NOT TO SCALE)

NOTE:
DW-2 IS TO CAPTURE ROOF RUNOFF FROM UNIT 5.



CULTEC 150XLHD INFILTRATION CHAMBERS (DW-3, DW-4)
(NOT TO SCALE)

DW-3 AND DW-4 ELEVATION SCHEDULE					
SYSTEM	BOTTOM OF STONE	BOTTOM OF CHAMBER	TOP OF CHAMBER	TOP OF STONE	MIN. GROUND SURFACE
DW-3	235.5	236.0	237.54	238.04	239.0
DW-4	236.5	237.0	238.5	239.0	240.0

NOTE:
DW-3 IS TO CAPTURE ROOF RUNOFF FROM UNITS 1 & 2.
DW-4 IS TO CAPTURE ROOF RUNOFF FROM UNITS 3 & 4

REVISIONS

NO.	DATE	DESCRIPTION	BY	CHKD.

SITE DETAILS

Multifamily Development

218-220 MAIN STREET

MEDWAY, MA 02053

Prepared For:

Harmony Estates LLC



69 WILK STREET, SUITE 508, WESTBOROUGH, MA 01581 | 508.871.7030
500 CUMMINGS CENTER, SUITE 590, BEVERLY, MA 01915 | 978.999.0447
www.MeridianAssoc.com

Date:
June 9, 2020

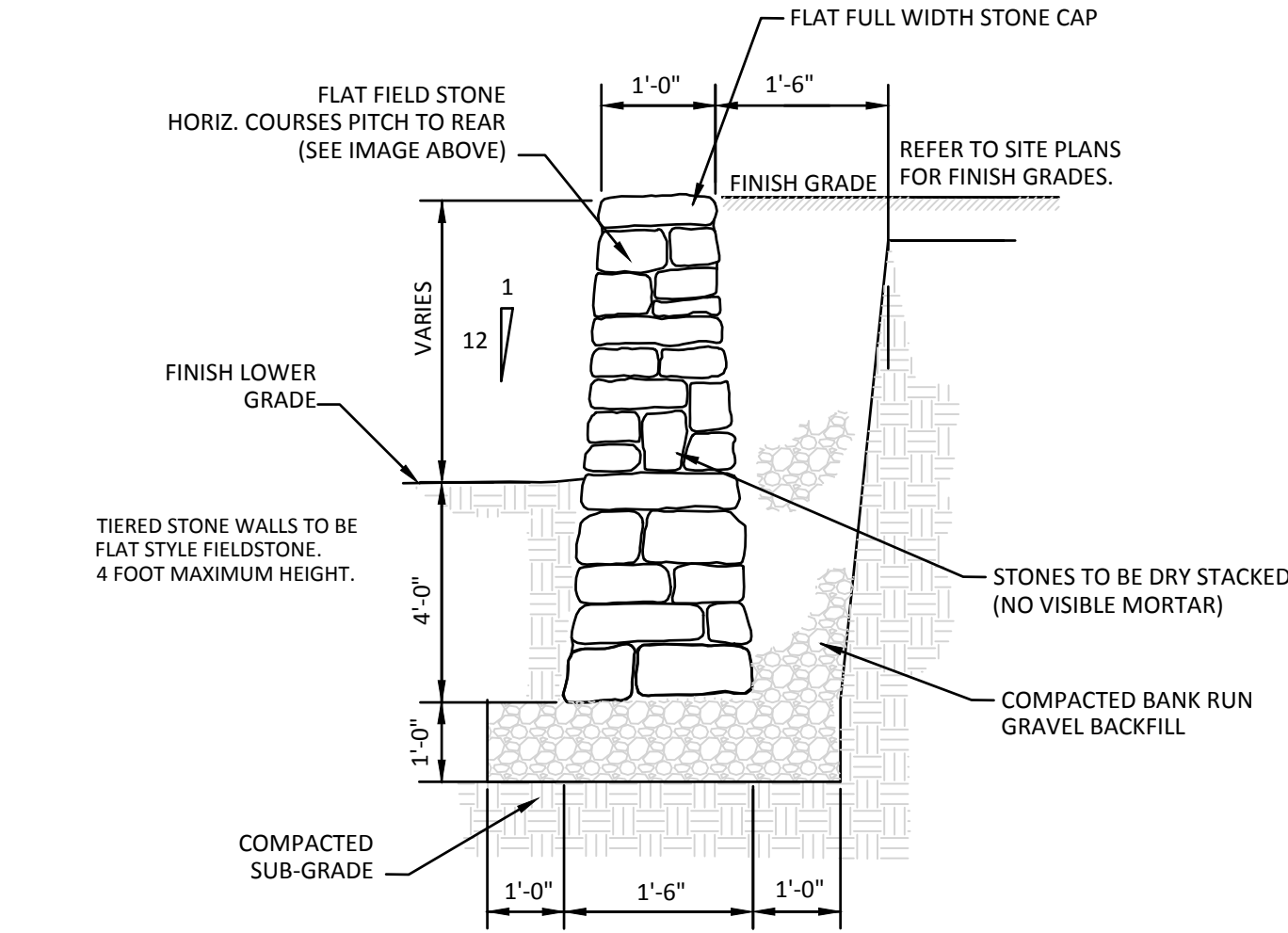
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Project No.
8521

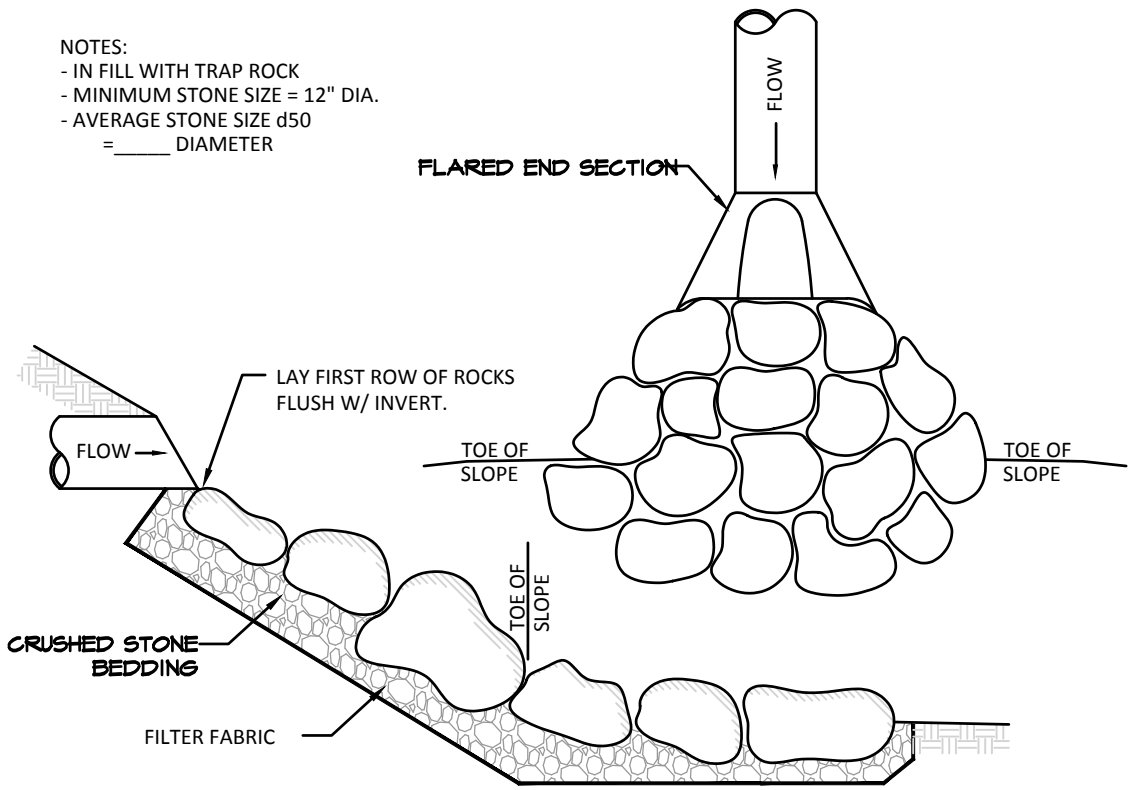
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C-7

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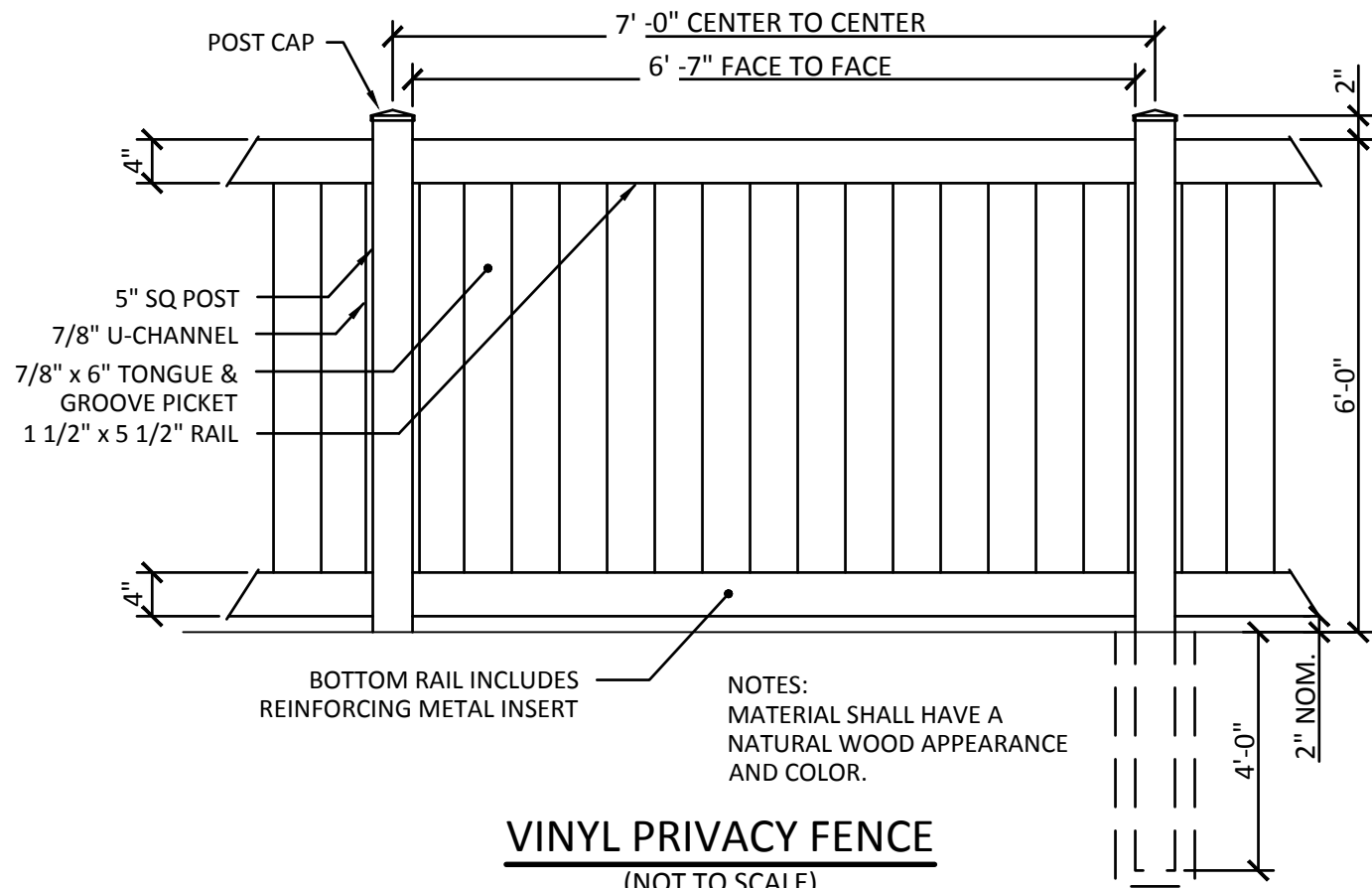
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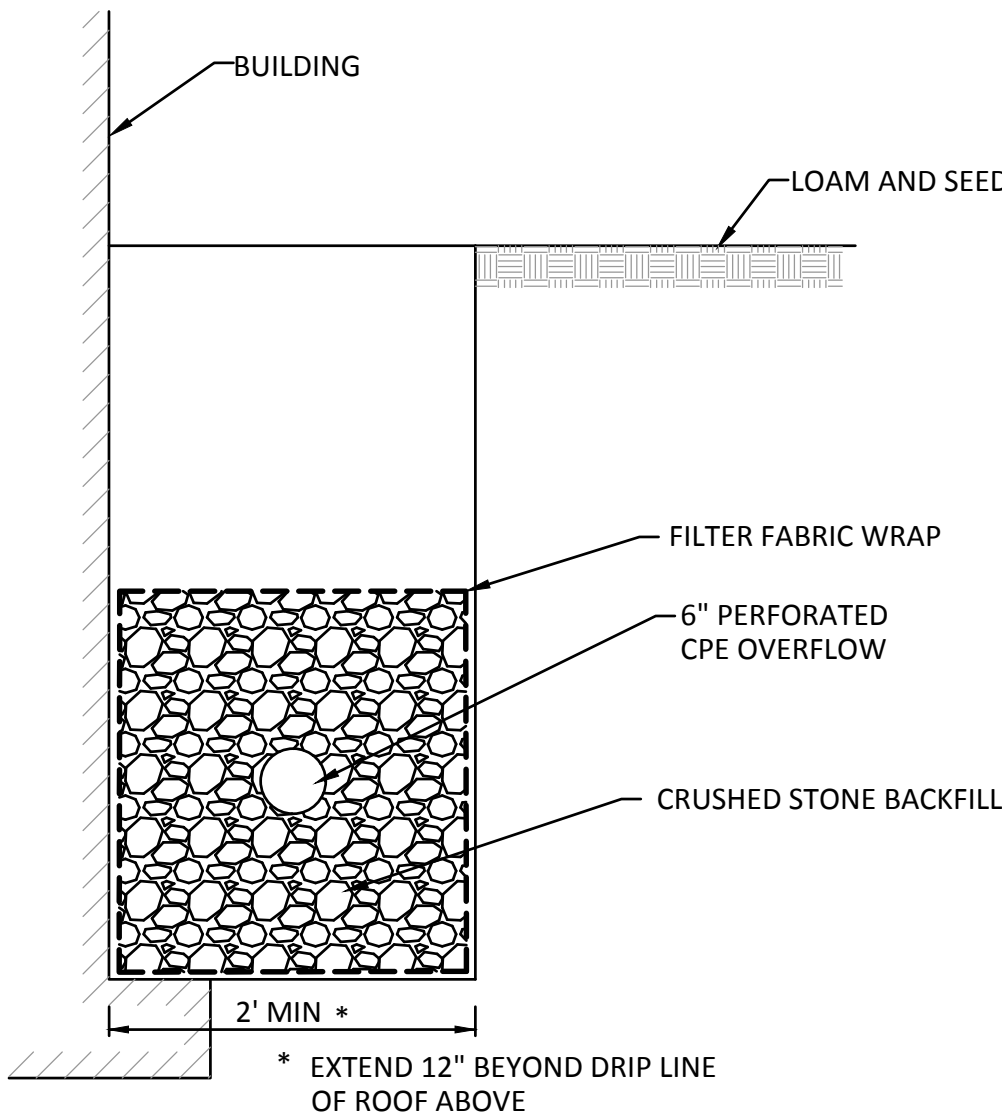
STONE RETAINING WALL
(NOT TO SCALE)



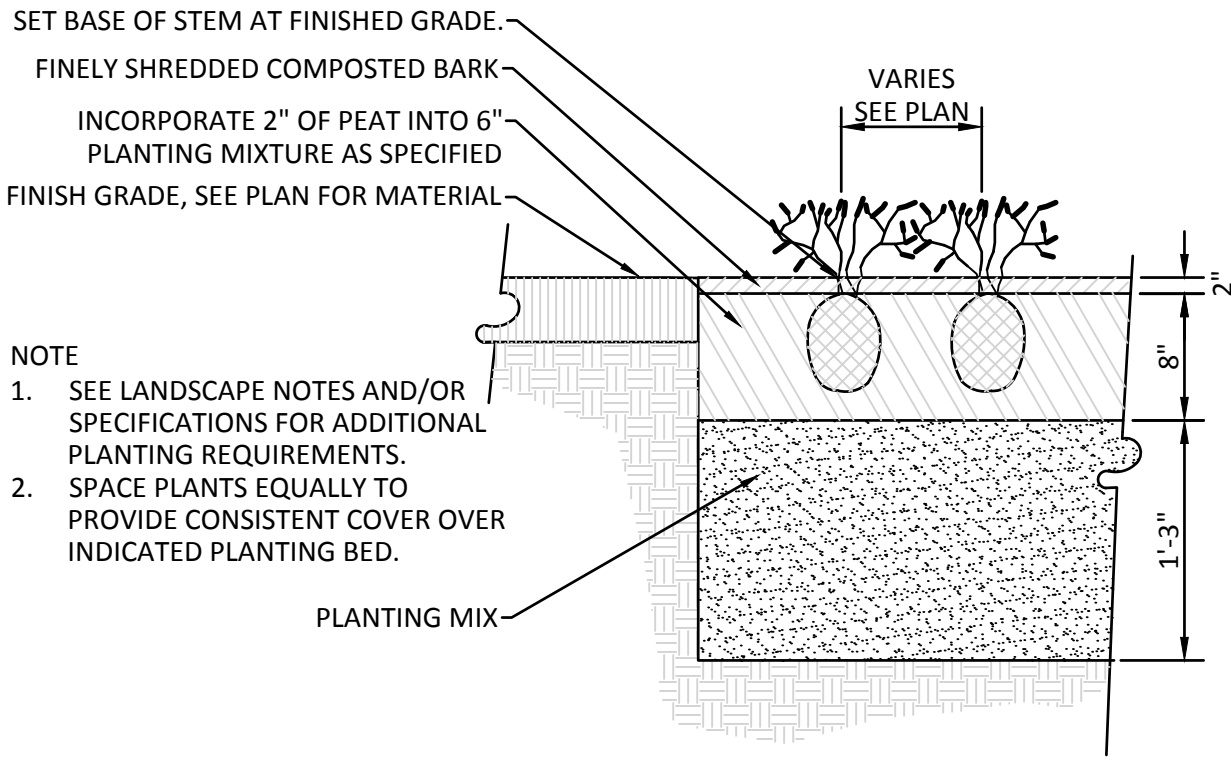
RIP-RAP APRON
NOT TO SCALE



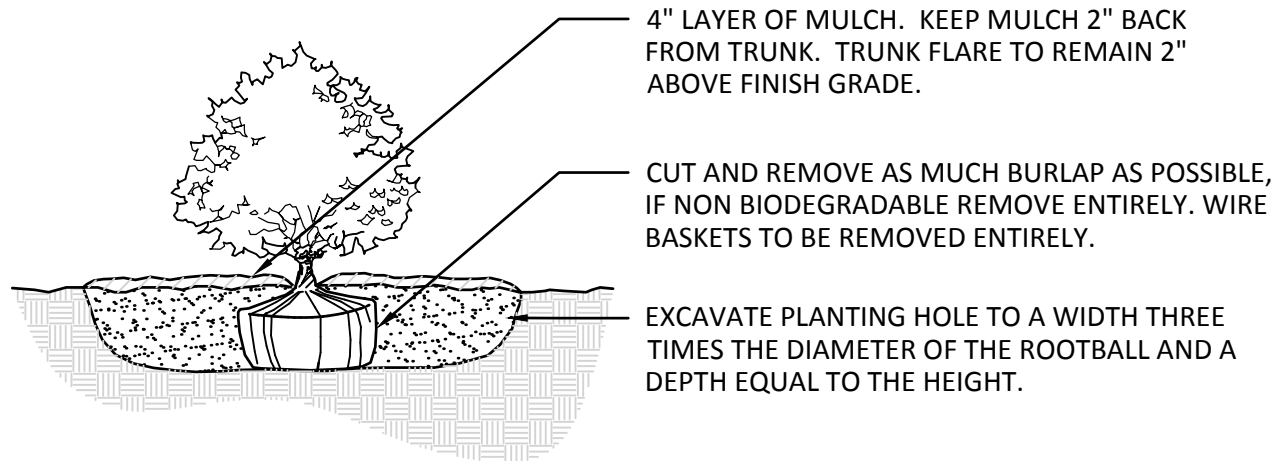
VINYL PRIVACY FENCE
(NOT TO SCALE)



FOUNDATION DRAIN
(NOT TO SCALE)

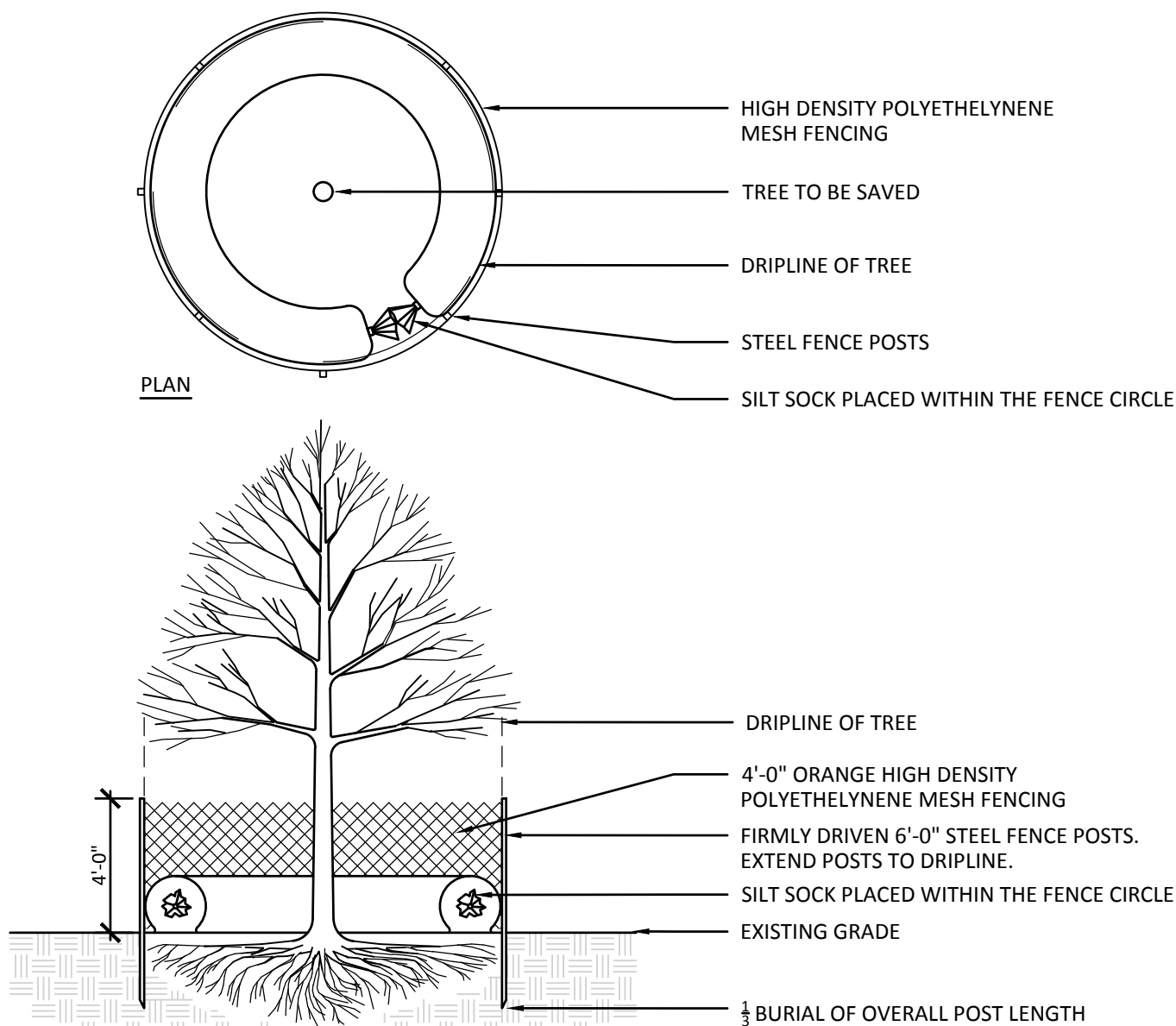


GROUNDCOVER / ANNUAL / PERENNIAL PLANTING
NOT TO SCALE

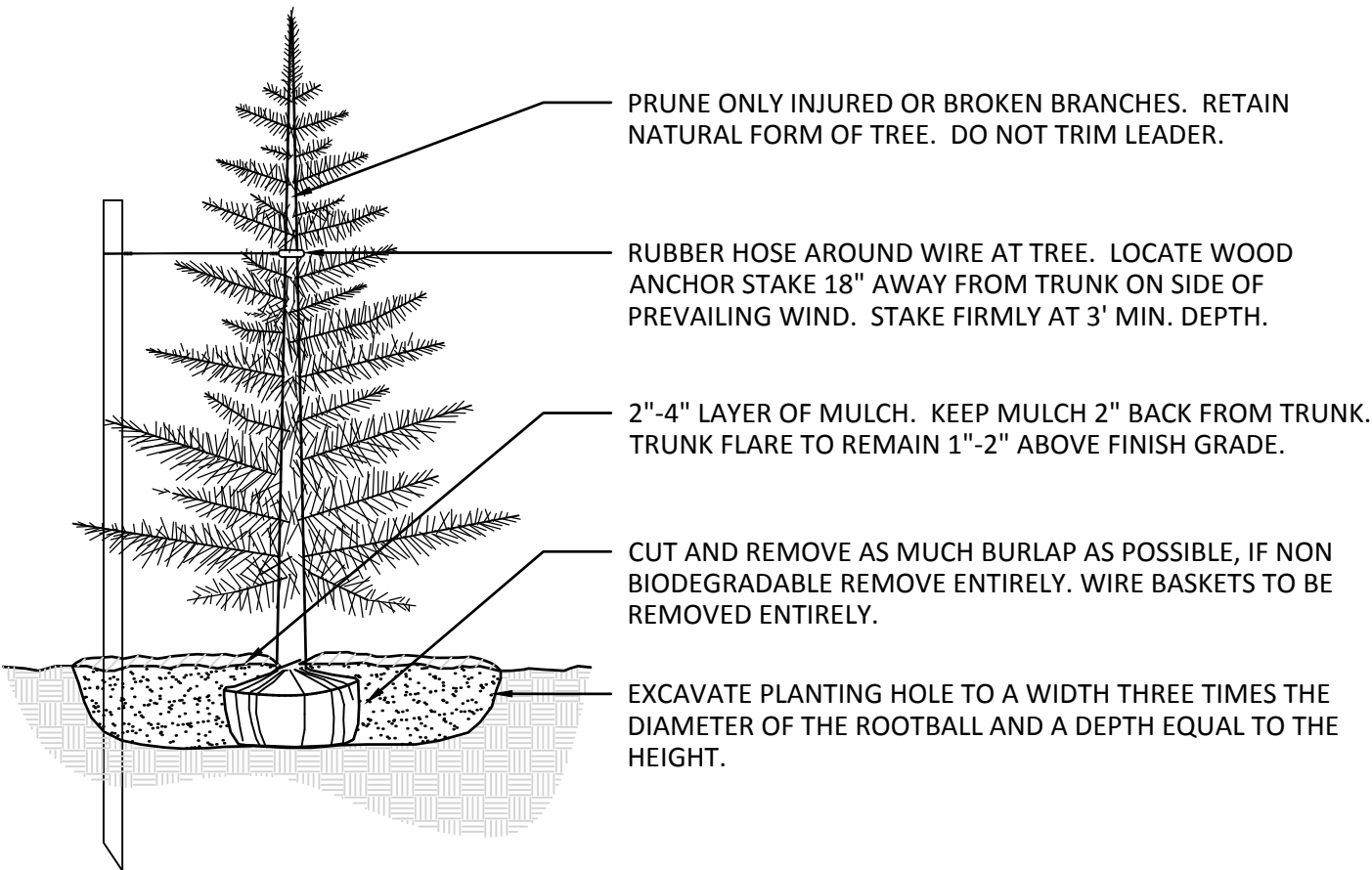


NOTES:
BACKFILL PLANTING HOLE WITH EXISTING SOIL AMENDED AS NECESSARY.
BACKFILL HALF THE SOIL AND WATER TO SETTLE OUT AIR POCKETS, COMPLETE BACKFILLING AND REPEAT WATERING.
IF ROOTS ARE CIRCLING THE ROOTBALL EXTERIOR, CUT ROOTS VERTICALLY IN SEVERAL PLACES PRIOR TO PLANTING.

SHRUB PLANTING
NOT TO SCALE

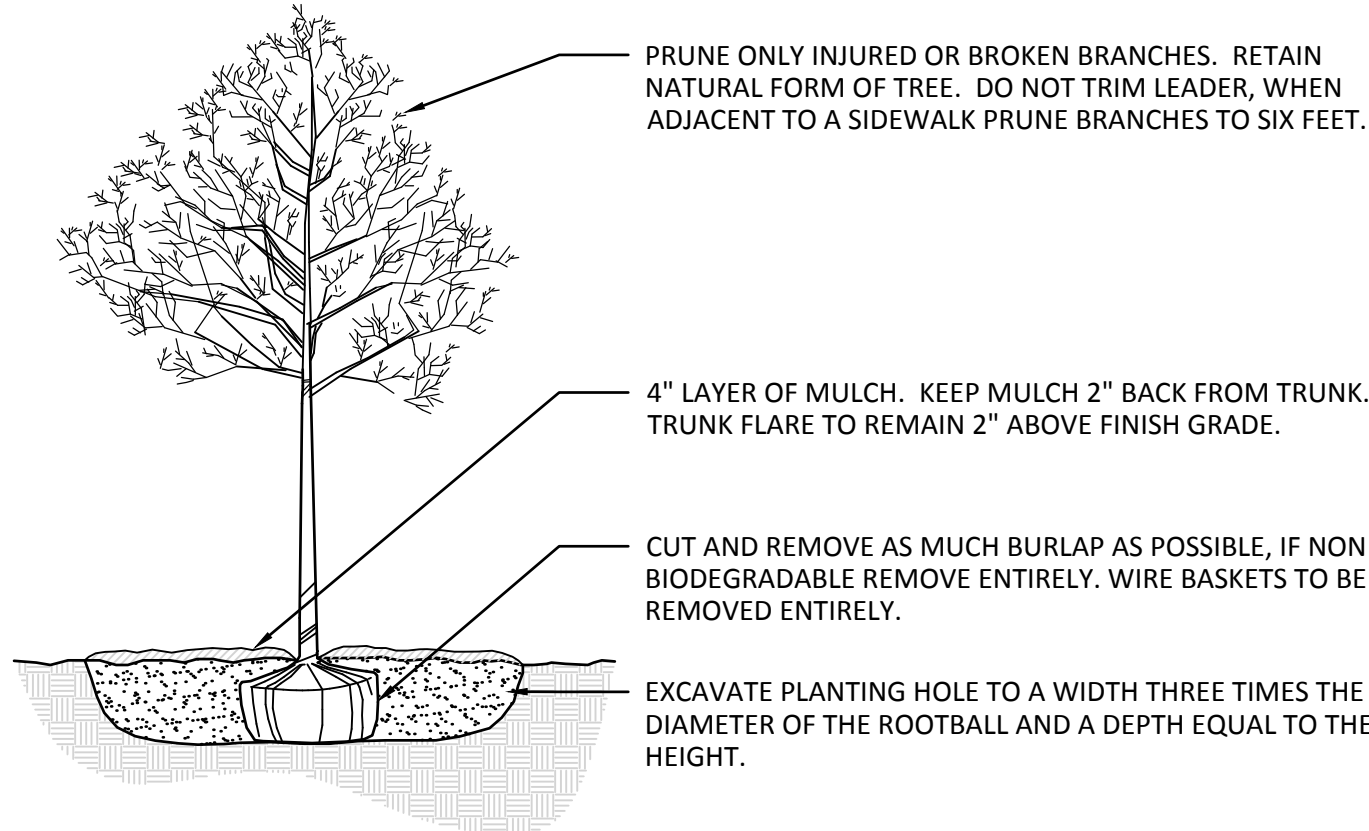


TREE PROTECTION
NOT TO SCALE



NOTES:
BACKFILL PLANTING HOLE WITH EXISTING SOIL AMENDED AS NECESSARY.
BACKFILL HALF THE SOIL AND WATER TO SETTLE OUT AIR POCKETS, COMPLETE BACKFILLING AND REPEAT WATERING.
IF ROOTS ARE CIRCLING THE ROOTBALL EXTERIOR, CUT ROOTS VERTICALLY IN SEVERAL PLACES PRIOR TO PLANTING.
ONLY STAKE TREES SITUATED ON WINDY SITES OR EXPOSED TO SUBSTANTIAL PEDESTRIAN TRAFFIC.

EVERGREEN TREE PLANTING
NOT TO SCALE



NOTES:
BACKFILL PLANTING HOLE WITH EXISTING SOIL AMENDED AS NECESSARY.
BACKFILL HALF THE SOIL AND WATER TO SETTLE OUT AIR POCKETS, COMPLETE BACKFILLING AND REPEAT WATERING.
IF ROOTS ARE CIRCLING THE ROOTBALL EXTERIOR, CUT ROOTS VERTICALLY IN SEVERAL PLACES PRIOR TO PLANTING.
ONLY STAKE TREES SITUATED ON WINDY SITES OR EXPOSED TO SUBSTANTIAL PEDESTRIAN TRAFFIC.

TREE PLANTING
NOT TO SCALE

REVISIONS

SITE DETAILS
Multifamily Development
218-220 MAIN STREET
MEDWAY, MA 02053
Prepared For:
Harmony Estates LLC



Date:
June 9, 2020
Scale:
N.T.S
Project No.
8521
Sheet No.
C-8
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