

SITE DEVELOPMENT PLANS

HARMONY ESTATES MULTYFAMILY HOUSING DEVELOPMENT

218-220 MAIN STREET
(MAP 57, PARCEL 44)
MEDWAY, MASSACHUSETTS 02053

OWNER

Linda Resner & Elliot Edwards
218 Main Street
Medway, MA 02053

APPLICANT

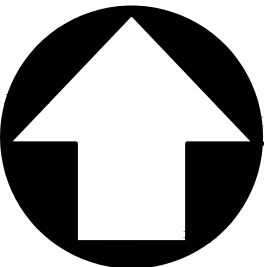
HARMONY ESTATES, LLC
5 EXCHANGE STREET
MILFORD, MASSACHUSETTS 01757

ZONING DISTRICT: AR-II
MULTIFAMILY HOUSING OVERLAY DISTRICT

JUNE 9, 2020



NORTH



LOCUS MAP

SCALE: 1" = 250'

DRAWING INDEX:

- C-1 COVER SHEET/LOCUS MAP
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CIVIL ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE

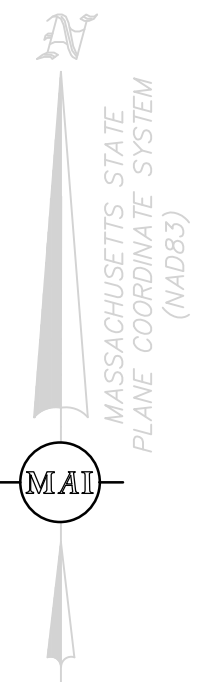


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FALES STREET

NOW OR FORMERLY
VICTOR W. JR. & ANN V. TERRANOVA
DEED BOOK 22289 PAGE 198
8 FALES STREET

NOW OR FORMERLY
JOHN WILLIAM PARLEE
& JAIME L. HODGES
DEED BOOK 32840 PAGE 4
5 FALES STREET

X-CUT FOUND
INTERSECTION
STONE WALL

LIMIT OF WORK
(TYP)

15' SIDE/REAR
SETBACK (TYP)

SNOW STORAGE
AREA

COMMON AREA
W/ GAZEBO

NOW OR FORMERLY
CATHY F. SUTTON & WILLIAM A. RITCHIE
DEED BOOK 8417 PAGE 2
216 MAIN STREET

PRIVACY FENCE
BETWEEN UNITS
(TYP)

EXPOSED
ROCK
OUTCROP

RECORD
AREA

PROPOSED
SINGLE FAMILY
UNIT (TYP)

EXISTING SHED
TO BE REMOVED

UNIT 2

INV = 234.0

SHED

UNIT 1

INV = 234.0

PROP.
LIGHTPOST
(TYP)

BB

R=10'

SNOW STORAGE
AREA

TP #3

DRILL HOLE
(POSITION HELD)

DRILL HOLE
(HELD)

DRILL HOLE
(POSITION HELD)

NOW OR FORMERLY
RICHARD E. & HELEN M. FORCE
DEED BOOK 30978 PAGE 576
230 MAIN STREET

NOW OR FORMERLY
JENNIFER F. & JASON M. ROMAN
DEED BOOK 33718 PAGE 185
228 MAIN STREET

NOW OR FORMERLY
JOYONTE ALLEN SANTOS
& MYRIAM SANTOS
DEED BOOK 35427 PAGE 407
224 MAIN STREET

NOW OR FORMERLY
ROBERT E. & MARIAN L. LEONARD
DEED BOOK 3554 PAGE 451
222 MAIN STREET

LIMIT OF WORK
(TYP)

STONE RET. WALL
TO BE REMOVED

EXISTING POND AND LINER
MATERIAL TO BE REMOVED

MAIN
MADE
POND

TP #1

TP #2

TP #3

TP #4

TP #5

TP #6

TP #7

TP #8

TP #9

TP #10

TP #11

TP #12

TP #13

TP #14

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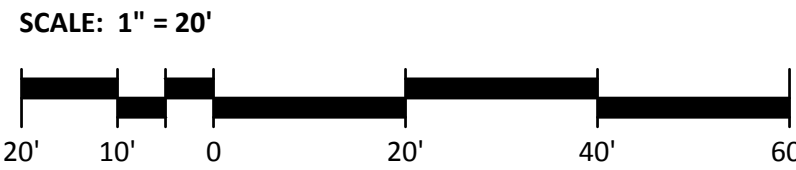
TP #274

TP #275

TP #276

TP #277

TP #278



PROPERTY LINE	_____	
DRAIN LINE	_____	D
GAS LINE	_____	G
ELECTRIC LINE	_____	E
WATER LINE	_____	W
SEWER LINE	_____	S
LIMIT OF WORK	_____	
PROPOSED CONTOUR	_____	230
GABION WALL		
PROPOSED SPOT ELEVATION		239.6
CATCHBASIN		
DRAIN MANHOLE		DMH
SEWER MANHOLE		SMH
LIGHT POST		
INVERT ELEVATION	INV	
RIM	RIM	
TYPICAL	TYP.	
VERIFY IN FIELD	VIF	
EXISTING	EXIST.	

UNLESS DIRECTED OTHERWISE, ALL EXISTING TURF OR VEGETATED AREAS WITHIN THE PROPOSED LIMITS OF WORK FOR EXCAVATION, GRADING, OR IMPROVEMENT SHALL BE CLEARED AND GRUBBED. WITHIN THE CLEARING AND GRUBBING AREA, REMOVE ALL TREES, SHRUBS AND ROOTS UNLESS DESIGNATED OTHERWISE. CLEARING SHALL INCLUDE THE FEELING, CUTTING AND DISPOSAL OF ALL TREES, SHRUBS, STUMPS AND VEGETATIVE DEBRIS PRODUCED THROUGH THE CLEARING OPERATIONS.

STONE USED FOR MACHING PLACING AND PILING SHALL BE REASONABLY WELL GRADED, HARD, DURABLE, ANGULAR IN SHAPE, RESISTANT TO WEATHERING AND FREE FROM ORGANIC MATERIAL. ROUNDED STONES OR Boulders ARE NOT ACCEPTABLE. THE MINIMUM WEIGHT OF THE STONE SHALL BE 155 POUNDS PER CUBIC FOOT. STONE SHALL BE PLACED IN CONFORMANCE WITH THE LINES, GRADES AND THICKNESSES SHOWN ON THE DRAWINGS.

STONE USED FOR MACHINE PLACED RIP-RAP SHALL BE REASONABLY WELL GRADED, HARD, DURABLE, ANGULAR IN SHAPE, RESISTANT TO WEATHERING AND FREE FROM ORGANIC MATERIAL. ROUNDED STONES OR BOULDERS ARE NOT ACCEPTABLE. THE MINIMUM WEIGHT OF THE STONE SHALL BE 155 POUNDS PER CUBIC FOOT. STONE SHALL BE PLACED IN CONFORMANCE WITH THE LINES, GRADES AND THICKNESSES SHOWN ON THE DRAWINGS.

AT ALL LOCATIONS WHERE EXISTING CURBING OR PAVEMENT ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING CURB OR PAVEMENT SHALL BE SAW CUT TO A CLEAN, SMOOTH EDGE. BLEND NEW PAVEMENT, CURBS AND EARTHWORK SMOOTHLY INTO EXISTING BY MATCHING LINES, GRADES AND JOINTS.

ALL RIP RAP STONE SHALL BE HAND CHINKED AND SHALL CONFORM TO MASSACHUSETTS HIGHWAY DEPARTMENT STANDARDS.

BLEND NEW EARTHWORK SMOOTHLY INTO EXISTING.

MANHOLES SHALL BE 48-INCH DIAMETER (UNLESS OTHERWISE SPECIFIED). CAST-IN-PLACE BASES SHALL BE USED WHERE MANHOLES ARE CONSTRUCTED OVER EXISTING PIPES.

FRAMES AND COVERS FOR DRAINAGE STRUCTURES AND SANITARY SEWER STRUCTURES SHALL PROVIDE A 24-INCH MINIMUM CLEAR OPENING AND SHALL BE LEBARON TYPE LK110 OR APPROVED EQUAL.

DRAINAGE STRUCTURE COVERS SHALL HAVE THE WORD "DRAIN" CENTERED ON THE COVER IN 3-INCH HIGH LETTERS. SANITARY SEWER STRUCTURE COVERS SHALL HAVE THE WORD "SEWER" CENTERED ON THE COVER IN 3-INCH HIGH LETTERS.

SINGLE CATCH BASIN FRAMES AND GRATES SHALL BE LEBARON TYPE LF 248-2 OR AS REQUIRED BY TOWN OF MEDWAY DPW.

DOUBLE CATCH BASIN FRAMES SHALL BE LABARON ONE-PIECE LV2448-1 FRAMES OR APPROVED EQUAL. FOR DOUBLE CATCH BASIN GRATES, USE TWO LEBARON TYPE LF 248-2 OR APPROVED EQUAL OR AS OTHERWISE REQUIRED BY MEDWAY DPW.

FRAMES, GRATES AND COVERS SHALL BE SET FIRM AND TRUE TO GRADE, ADJUST FOR GRADE WITH BRICK MASONRY.

ALL ON-SITE DRAIN LINES SHALL BE SMOOTH INTERIOR WALLED CORRUGATED POLYETHYLENE PIPE UNLESS OTHERWISE NOTED.

FLARED END SECTIONS SHALL BE PIPE MANUFACTURER STANDARD CONSTRUCTED FROM THE SAME MATERIAL AS THE PIPE.

ROOF DRAIN PIPING CAN BE ADJUSTED / ALTERED FROM LAYOUT SHOWN TO TIE INTO THEIR RESPECTIVE CHAMBER SYSTEMS AS NEEDED. SEE DETAIL SHEET FOR UNIT TO SYSTEM REFERENCE (EXAMPLE: DW-2 IS FOR UNIT 5 ROOF)

REVISIONS					
NO.	DATE	DESCRIPTION	BY	CHKD.	



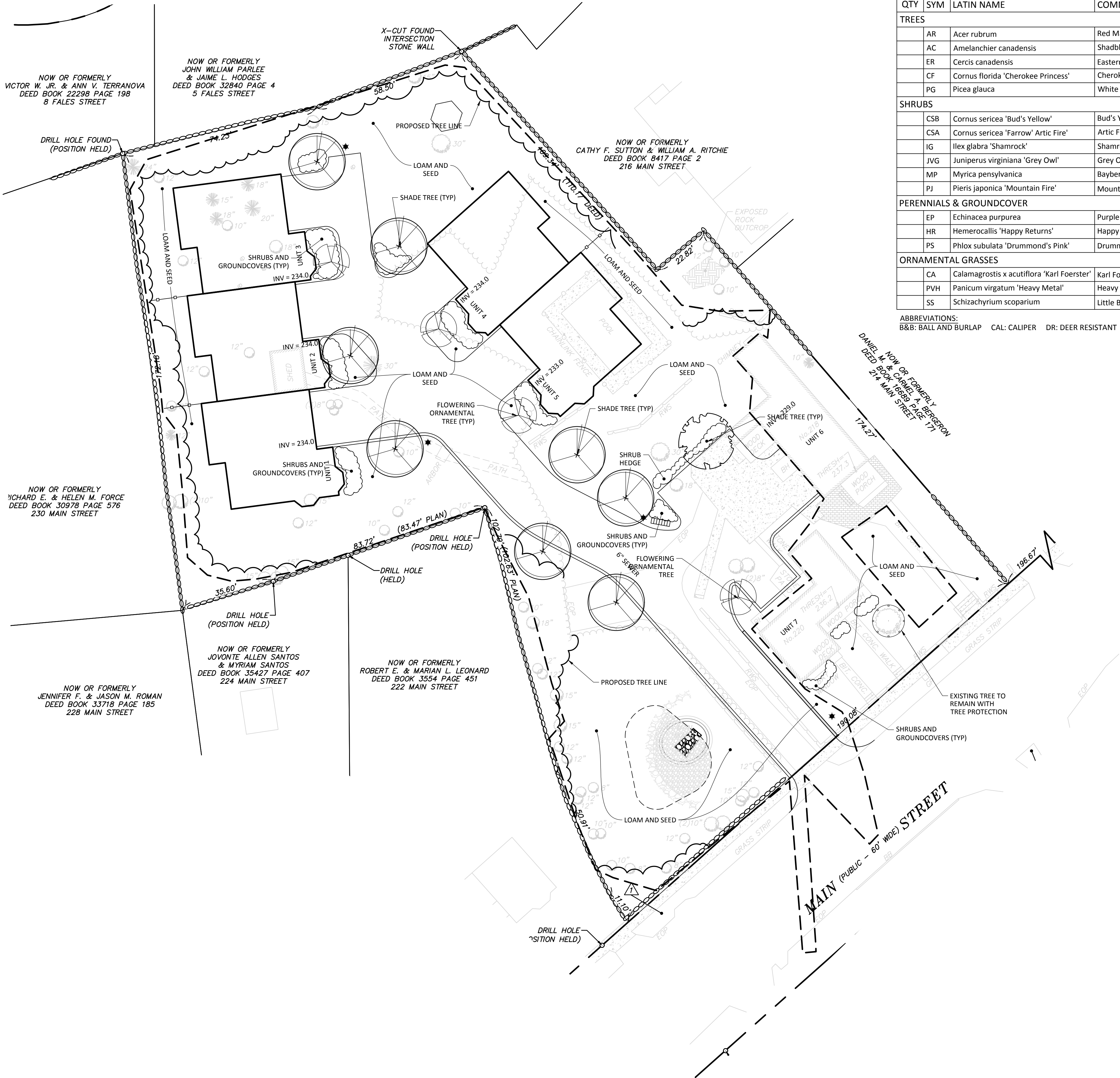
Multifamily Development

218-220 MAIN STREET
MEDWAY, MA 02053



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Date:	June 9, 2020
Scale:	1"=20'
Project No.	8521
Sheet No.	C-4 OF

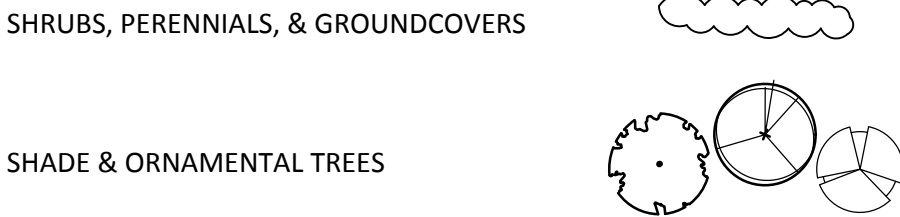


PLANT SCHEDULE

QTY	SYM	LATIN NAME	COMMON NAME	SIZE	NOTES
TREES					
AR		Acer rubrum	Red Maple	3"-3.5" Cal. B&B	DR DT N Red Fall Color March-April
AC		Amelanchier canadensis	Shadblow Serviceberry	6'-8' Ht. B&B	N ST White Birds Showy Edible Fruit Fall Color April-May
ER		Cercis canadensis	Eastern Redbud	8'-10' Ht. Clump B&B	DR N Pink Butterflies Showy Fall Color April
CF		Cornus florida 'Cherokee Princess'	Cherokee Princess Flowering Dogwood	3"-3.5" Cal. B&B	DR N White Birds/Butterflies April-May
PG		Picea glauca	White Spruce	7'-8' Ht. B&B	DR N Birds/Small Mammals Evergreen Winter Interest
SHRUBS					
CSB		Cornus sericea 'Bud's Yellow'	Bud's Yellow Redosier Dogwood	24"-30" Ht. #3 Pot 48" OC	DR N ST Yellow/White Birds/Butterflies Fall/Winter Interest May-June
CSA		Cornus sericea 'Farrow' Artic Fire'	Artic Fire Redosier Dogwood	24"-30" Ht. #3 Pot 36" OC	DT N ST White Birds/Butterflies Fall/Winter Interest May-June
IG		Ilex glabra 'Shamrock'	Shamrock inkberry	24"-30" Ht. B&B 36" OC	DR DT N ST Greenish-White Birds Evergreen May-June
JVG		Juniperus virginiana 'Grey Owl'	Grey Owl Eastern Red Cedar	18"-24" Ht. #3 Pot 36" OC	DR DT N Birds Showy Fruit Evergreen Winter Interest
MP		Myrica pensylvanica	Bayberry	36"-48" Ht. B&B 48" OC	DT N ST Birds Yellowish-green Winter Interest May
PJ		Pieris japonica 'Mountain Fire'	Mountain Fire Andromeda	24"-30" Ht. #3 Pot 48" OC	DR DT White Evergreen Winter Interest Heavy Shade April
PERENNIALS & GROUNDCOVER					
EP		Echinacea purpurea	Purple Coneflower	#1 Pot 18" OC	DR DT N ST Purple Birds/Butterflies June-August
HR		Heemerocallis 'Happy Returns'	Happy Returns Daylily	#1 Pot 12" OC	DR DT ST Yellow Butterflies Fragrant June-October
PS		Phlox subulata 'Drummond's Pink'	Drummond's Pink Phlox	#1 Pot 12" OC	DR DT N Pink Birds/Butterflies April-June
ORNAMENTAL GRASSES					
CA		Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	#2 Pot 18" OC	DR N ST Pinkish-Purple Birds Fall Color Winter Interest May-February
PVH		Panicum virgatum 'Heavy Metal'	Heavy Metal Switchgrass	#3 Pot 24" OC	DR DT N ST Pink-Tinged Winter Interest July-February
SS		Schizachyrium scoparium	Little Bluestem	#2 Pot 18" OC	DR DT N ST Bronze Winter Interest August-February

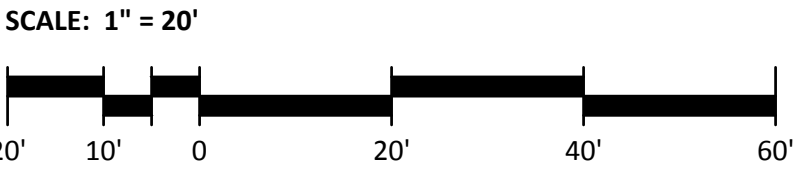
ABBREVIATIONS:
B&B: BALL AND BURLAP CAL: CALIPER DR: DEER RESISTANT DT: DROUGHT TOLERANT N: NATIVE OC: ON CENTER ST: SALT TOLERANT

PROPOSED LEGEND



LANDSCAPE NOTES

- ALL PLANT MATERIAL SHALL CONFORM TO THE MINIMUM GUIDELINES ESTABLISHED BY THE "AMERICAN STANDARD FOR NURSERY STOCK" PUBLISHED BY AmericanHort 2014 AND AS AMENDED.
- ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF FINAL ACCEPTANCE.
- VERIFY LOCATIONS OF ALL EXISTING UTILITY LINES PRIOR TO PLANTING AND REPORT ANY CONFLICTS TO THE OWNER OR OWNER'S REPRESENTATIVE.
- PROVIDE TREES, SHRUBS, AND GROUNDCOVERS AS SHOWN AND SPECIFIED. THE WORK INCLUDES: SOIL PREPARATION, INSTALLATION OF TREES, SHRUBS AND GROUNDCOVERS, PLANTING MIXES, MULCH AND PLANTING ACCESSORIES, WARRANTY, WATERING AND MAINTENANCE DURING CONSTRUCTION AND WARRANTY PERIODS.
- BALLED AND BURLAPPED PLANTS MAY BE PLANTED IN THE SPRING FROM APRIL 1ST UNTIL JUNE 15TH AND IN THE FALL FROM AUGUST 15TH TO NOVEMBER 1ST.
- PLANTING PLAN IS DIAGRAMMATIC IN NATURE. FINAL PLACEMENT OF PLANTS TO BE APPROVED BY THE LANDSCAPE ARCHITECT IN THE FIELD.
- ALL SHADE TREES ALONG SIDEWALKS SHALL HAVE A MINIMUM SIX (6) FOOT BRANCHING HEIGHT.
- PLANT MATERIALS DEPICTED IN ROWS SHALL CONTAIN MATCHING PLANT SPECIMENS SPACED EQUALLY ALONG INDICATED AREA.
- ALL PLANT MATERIALS AND LAWN AREAS TO BE MAINTAINED BY LANDSCAPE CONTRACTOR UNTIL FINAL WRITTEN ACCEPTANCE PROVIDED TO CONTRACTOR BY OWNER OR OWNER'S REPRESENTATIVE.
- ALL PLANT MATERIALS TO REMAIN ALIVE AND BE IN HEALTHY, VIGOROUS CONDITION AND SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF FINAL WRITTEN ACCEPTANCE FROM THE OWNER OR OWNER'S REPRESENTATIVE.
- ALL PLANT MATERIALS ARE INTENDED TO BE DROUGHT TOLERANT ONCE ESTABLISHED. NO IRRIGATION SYSTEM IS PROPOSED.
- LOAM AND SEED ALL DISTURBED AREAS UNLESS OTHERWISE INDICATED ON PLAN. LOAM WITH TOPSOIL SPREAD TO A MINIMUM DEPTH OF (6) SIX INCHES.
- SEED OR PROVIDE SOD FOR ALL TURFGRASS LAWN AREAS WITH A DROUGHT TOLERANT TURFGRASS SEED MIX (80% TALL FESCUE, 10% PERENNIAL RYEGRASS, 10% KENTUCKY BLUEGRASS).
- PERENNIALS, BULBS AND ANNUALS ARE TO BE PLANTED IN A WELL PREPARED BED WHICH SHALL INCLUDE PEAT AND SLOW RELEASE FERTILIZER. BEDS SHALL BE SKIMMED WITH ONE AND ONE-HALF (1-1/2) INCH TO TWO (2) INCH MULCH (INCLUDING GROUNDCOVERS).



REVISIONS

NO.	DATE	DESCRIPTION	BY	CHKD.

LANDSCAPE PLAN

Multifamily Development

218-220 MAIN STREET
MEDWAY, MA 02053

Prepared For:
Harmony Estates LLC

MERIDIAN ASSOCIATES

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June 9, 2020

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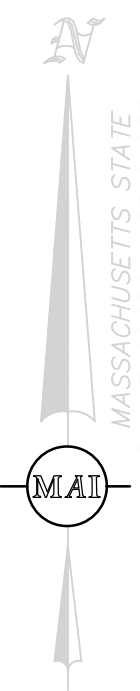
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8521

Sheet No.

C-5 OF



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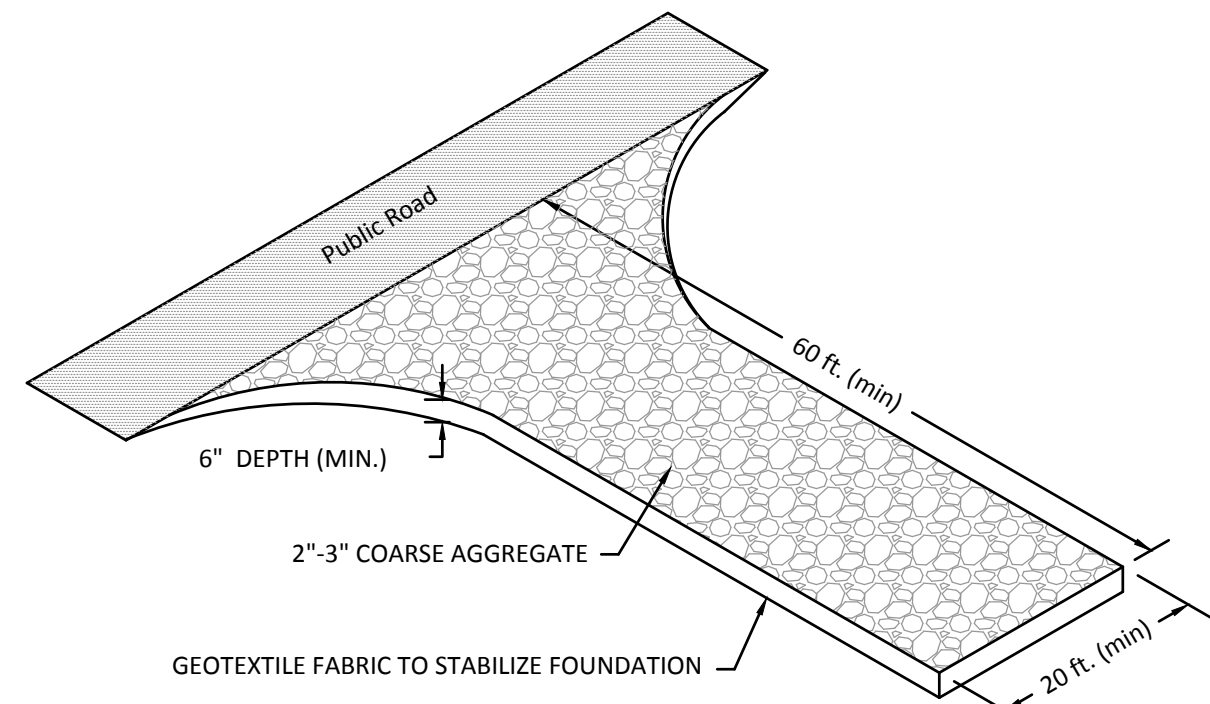
LIMIT OF WORK
(TYP)

TEMPORARY
STOCKPILE AREA

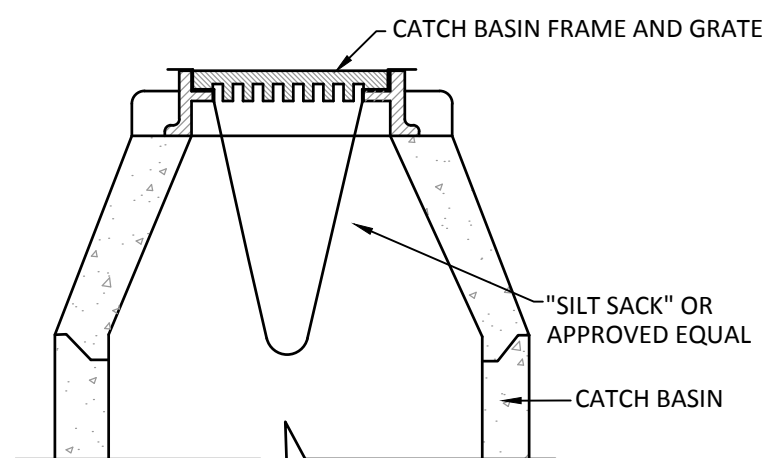
INV = 234.0
DW-4: (24) CULTEC R-150X1HD
CHAMBERS
BOTTOM STONE = 236.5

NOW OR FORMERLY
CATHY F. SUTTON & WILLIAM A. RITCHIE
DEED BOOK 8417 PAGE 2
216 MAIN STREET

EXPOSED
ROCK
OUTCROP



CONSTRUCTION ENTRANCE/EXIT PAD
(NOT TO SCALE)



- NOTES:
- TO BE INSTALLED IN ALL CATCH BASINS UNTIL COMPLETION OF CONSTRUCTION.
 - BOOT ADAPTER MAY BE TRIMMED TO SIZE.

FILTER BAG
(NOT TO SCALE)

EROSION CONTROL LEGEND:

BITUMINOUS CONCRETE CURB	
LIMIT OF WORK	
LIGHT FIXTURE	
SILT FENCE/HAYBALE LINE	
SILT SOCK	

EROSION CONTROL AND STABILIZATION PROGRAM

THE CONTRACTOR SHALL IMPLEMENT THE SWPPP FOR THE PROJECT INCLUDING INSTALLATION AND MAINTENANCE OF ALL CONTROL MEASURES OUTLINED IN THE STORMWATER POLLUTION PREVENTION PLAN INCLUDING EROSION CONTROL BARRIERS, ANTI-TRACKING PADS AND OTHER EROSION AND SEDIMENTATION CONTROLS, STORMWATER MANAGEMENT CONTROLS, SOLID WASTE CONTROLS AND SPILL PREVENTION CONTROLS.

THE LOCATION OF EROSION CONTROL BARRIERS AND SEDIMENTATION AND POLLUTION CONTROL SYSTEMS SHOWN ON DRAWINGS ARE INTENDED TO BE MINIMUM REQUIREMENTS AND A GUIDE FOR THE PLACEMENT OF THESE BARRIERS. OTHER MEASURES MAY BE WARRANTED BASED UPON EXPERIENCE AT THE SITE. WHEN NO SEDIMENTATION CONTROL SYSTEM IS SHOWN ON THE DRAWING, THE CONTRACTOR SHALL BE REQUIRED TO ESTABLISH A SYSTEM TO PREVENT SILTATION OR POLLUTION OF ADJACENT PROPERTY, WETLANDS OR BUFFER ZONES. THE SYSTEMS SHOWN SHALL NOT RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITY OF PLACING ADDITIONAL BARRIERS OR REPLACING BARRIERS AS REQUIRED BY SITE CONDITIONS. THE IMPLEMENTATION, MAINTENANCE, REPLACEMENT AND ADDITIONS TO THESE SYSTEMS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. AS CONSTRUCTION PROGRESSES AND SEASONAL CONDITIONS DICTATE, MORE SILTATION CONTROL FACILITIES MAY BE REQUIRED. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ADDRESS NEW CONDITIONS THAT MAY BE CREATED.

PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ON THE SITE, THE OWNER SHALL DESIGNATE AN EROSION CONTROL INSPECTOR TO SERVE DURING THE CONSTRUCTION PROCESS WITH RESPONSIBILITIES IN ACCORDANCE WITH THE SWPPP.

ALL SLOPES WITH SURFACE GRADES EQUAL TO OR STEEPER THAN 3:1 SHALL BE STABILIZED WITH JUTE MATTING.

REQUIRED SEDIMENTATION CONTROL FACILITIES MUST BE CONSTRUCTED, CLEARLY VISIBLE, AND IN OPERATION PRIOR TO CONSTRUCTION. UNLESS OTHERWISE NOTED, SUCH FACILITIES SHALL REPRESENT THE LIMIT OF WORK. NO CONSTRUCTION ACTIVITY IS TO OCCUR BEYOND THE LIMIT OF WORK AT ANY TIME DURING THE CONSTRUCTION PERIOD.

TEMPORARY DIVERSION DITCHES, PERMANENT DITCHES, CHANNELS, EMBANKMENTS AND ANY DENUDED SURFACE WHICH WILL BE EXPOSED FOR A PERIOD OF ONE MONTH OR MORE SHALL BE CONSIDERED CRITICAL STABILIZATION AREAS. THESE AREAS SHALL BE MULCHED WITH STRAW. MULCH SHALL BE SPREAD UNIFORMLY IN A CONTINUOUS BLANKET OF SUFFICIENT THICKNESS TO COMPLETELY HIDE THE SOIL FROM VIEW.

SEDIMENT CONTROL MEASURES SHALL BE PROVIDED AROUND ALL EXISTING AND PROPOSED DRAINAGE STRUCTURES AS DETAILED ON THE DRAWINGS OR AS REQUIRED TO PREVENT SEDIMENTATION.

HAYBALE CHECK DAMS ARE TO BE PROVIDED ON TWO HUNDRED (200) FOOT SPACING WITHIN ALL DRAINAGE SWALES AND DITCHES AND AT UPSTREAM SIDES OF ALL DRAINAGE INLETS.

HAYBALES, SILT FENCE OR OTHER SILTATION CONTROLS SHALL BE MAINTAINED IN A SATISFACTORY CONDITION UNTIL CONSTRUCTION IS COMPLETED AND THE POTENTIAL FOR ON-SITE EROSION HAS PASSED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL SILTATION CONTROLS. THE CONTRACTOR SHALL NOT REMOVE ANY SILTATION CONTROLS UNTIL AUTHORIZED (IN WRITING) BY THE OWNER OR HIS REPRESENTATIVE.

AT THE START OF SOIL DISTURBANCE, THERE SHALL BE AN ADEQUATE RESERVE OF SILT FENCE AND HAY BALES IN GOOD CONDITION, AND SUFFICIENT STAKES FOR STAKING THESE BALES.

DENUDED SLOPES SHALL NOT BE LEFT EXPOSED FOR EXCESSIVE PERIODS OF TIME SUCH AS THE INACTIVE WINTER SEASONS.

ALL DISTURBED SLOPES EITHER NEWLY CREATED OR EXPOSED PRIOR TO OCTOBER 15 SHALL BE SEEDED OR PROTECTED BY THAT DATE.

LOAMING AND SEEDING OR MULCHING OF NON-PAVEMENT AREAS SHALL TAKE PLACE AS SOON AS PRACTICABLE.

ALL STOCKPILE AREAS SHALL BE LOCATED WITHIN LIMIT OF WORK AND STABILIZED TO PREVENT EROSION. STABILIZED CONSTRUCTION ACCESS PADS SHALL BE INSTALLED AT THE CONSTRUCTION DRIVEWAY ONTO THE PUBLIC WAY TO PREVENT THE TRACKING OF SEDIMENT OFF-SITE.

EROSION CONTROL BARRIER SHALL BE INSTALLED AS INDICATED ON THE PLANS AND AS REQUESTED BY THE OWNER OR HIS REPRESENTATIVE TO ADDRESS FIELD CONDITIONS.

ALL POINTS OF CONSTRUCTION EGRESS AND INGRESS SHALL BE MAINTAINED TO PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADS.

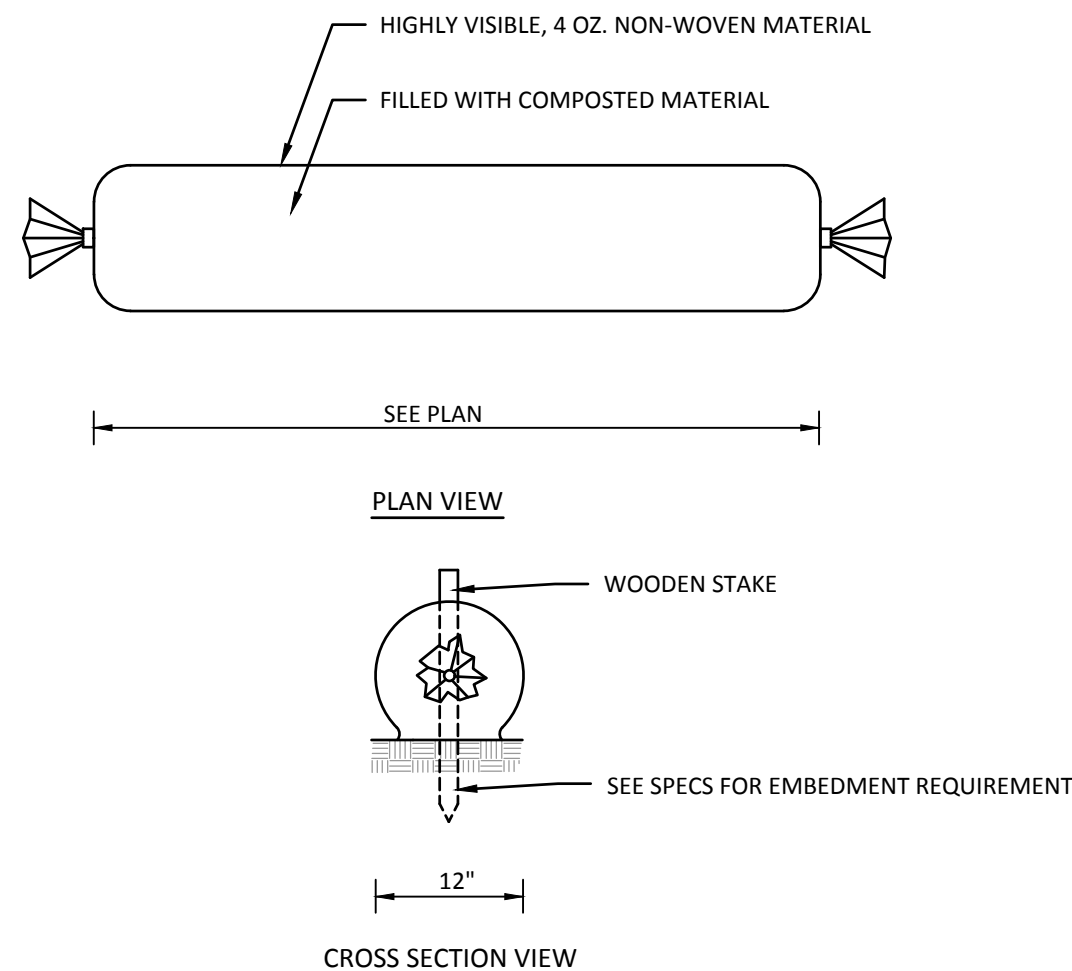
DEWATERING ACTIVITIES SHALL BE CONDUCTED SUCH THAT ANY WATER PUMPED FROM EXCAVATIONS WILL BE CONVEYED BY HOSE TO AN UPLAND AREA (MINIMUM 125 FEET FROM ANY WETLAND RESOURCE AREA) AND DISCHARGED INTO HAY BALES CORRALS OR SEDIMENTATION BAGS.

EROSION CONTROL BARRIER SHALL BE INSTALLED ALONG EDGE OF PROPOSED DEVELOPMENT AS SHOWN ON THE PLAN PRIOR TO THE COMMENCEMENT OF CONSTRUCTION OPERATIONS.

SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED ON A DAILY BASIS AND AFTER EACH STORM EVENT OF 0.5 INCH OR GREATER DURING CONSTRUCTION TO INSURE THAT CHANNELS, DITCHES AND PIPES ARE CLEAR OF DEBRIS AND THAT THE EROSION BARRIERS ARE INTACT.

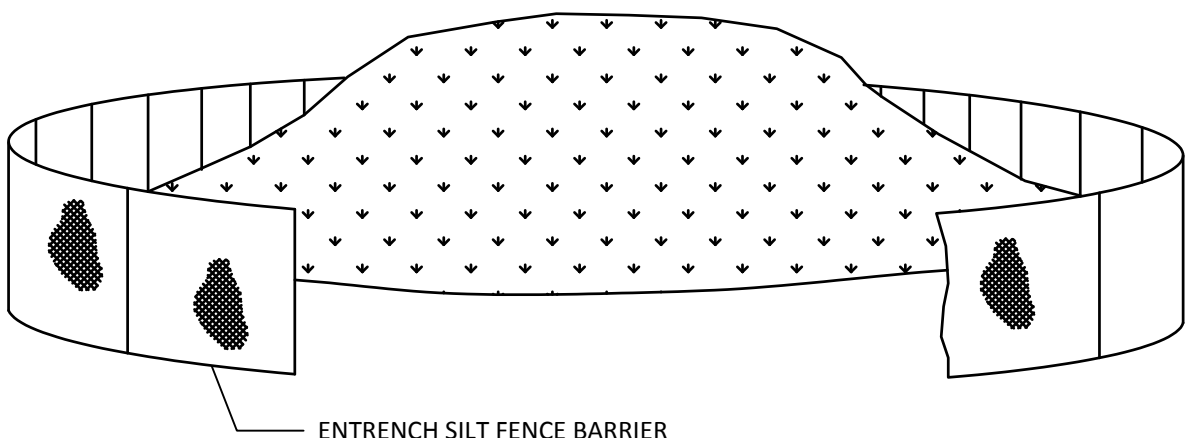
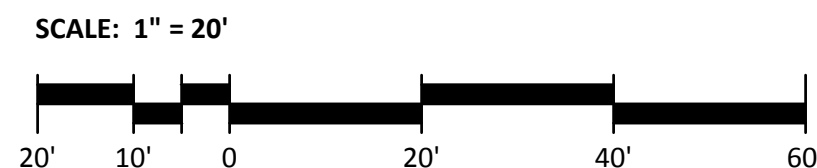
SANITARY WASTES GENERATED DURING CONSTRUCTION WILL BE DISPOSED OFFSITE BY AN APPROVED LICENSED WASTE HAULER.

CONSTRUCTION SITE WASTE MATERIALS WILL BE PROPERLY STORED ON SITE AND DISPOSED OFFSITE AT A LOCATION IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.



NOTE:
THE FILTER SOCK SHALL BE STAKED ON ENDS AND THROUGH THE CENTER AT 10 FT INTERVALS. PROVIDE UPSLOPE RETURNS AT ENDS.

COMPOST FILTER SOCK - SEDIMENT CONTROL
(NOT TO SCALE)



- NOTES:
- LOCATE STOCKPILE IN A DRY AND STABLE AREA OUTSIDE OF 100' WETLAND BUFFER ZONE.
 - STABILIZE STOCKPILE WITH ANNUAL RYEGRASS, MULCH OR EROSION CONTROL BLANKETS.

SOIL STOCKPILE
(NOT TO SCALE)

REVISIONS



Erosion & Sediment Control Plan

Multifamily Development

218-220 MAIN STREET

MEDWAY, MA 02053

Prepared For:

Harmony Estates LLC



Date:

June 9, 2020

Scale:

1"=20'

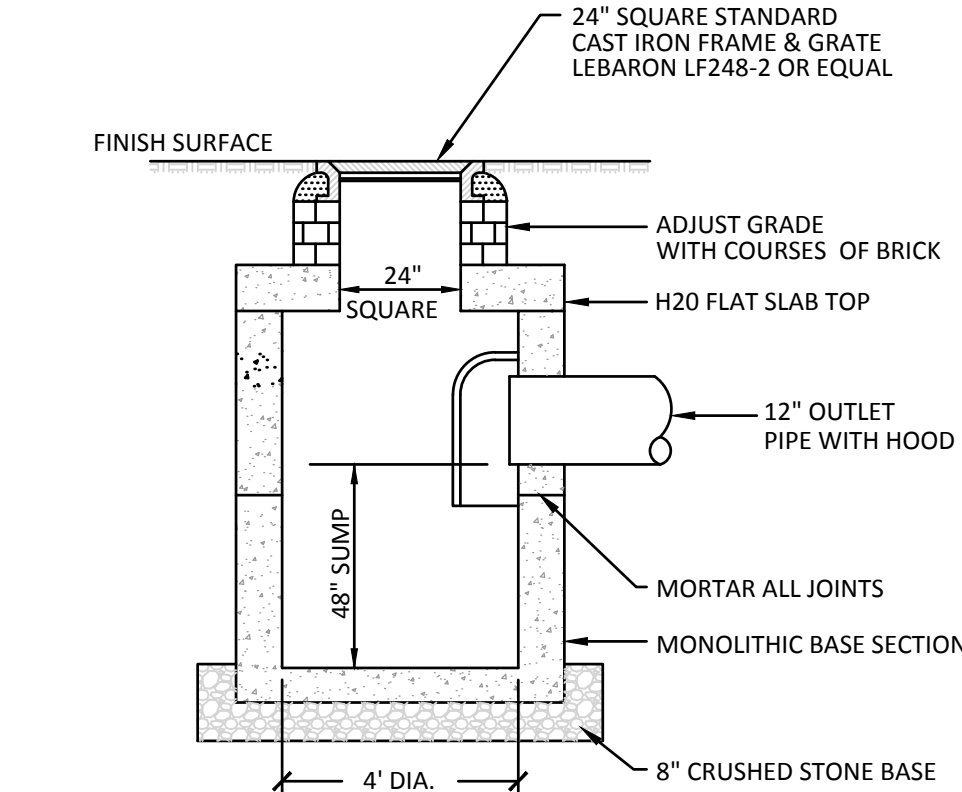
Project No.

8521

Sheet No.

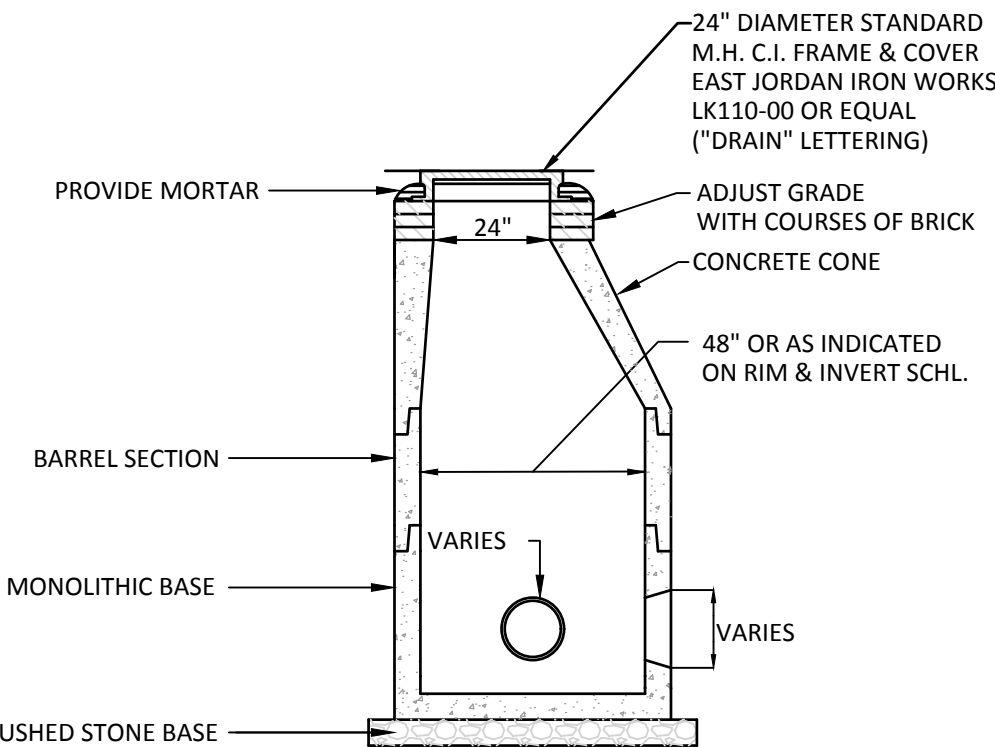
C-6
OF

Plotted: 6/11/2020 6:39 PM
Saved Path: G:\18521 MEDWAY\DWG\B521_DET.DWG



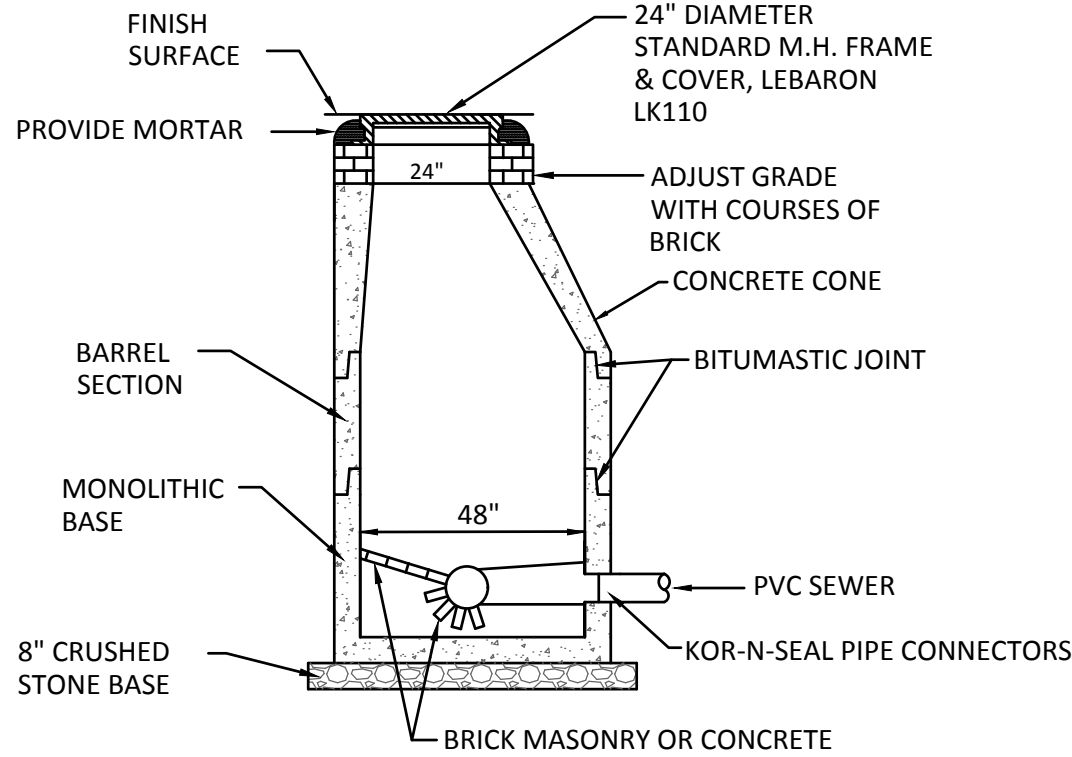
- NOTES:
1. STRUCTURE DESIGN TO LATEST ASTM C478.
 2. REINFORCING STEEL CONFORMS TO LATEST ASTM A 185.
 3. CONCRETE COMPRESSIVE STRENGTH - 4,000 PSI @ 28 DAYS.
 4. FLAT SLAB TOP AASHTO H-20.5. ONE POUR MONOLITHIC BASE.

PRECAST CONCRETE CATCH BASIN W/ TRAP
(NOT TO SCALE)



- NOTES:
1. MANHOLE DESIGN TO LATEST ASTM C478.
 2. REINFORCING STEEL CONFORMS TO LATEST ASTM A 185.
 3. CONCRETE COMPRESSIVE STRENGTH - 4,000 PSI @ 28 DAYS.
 4. ONE POUR MONOLITHIC BASE.
 5. STEPS - STEEL REINFORCED COPOLYMER POLYPROPYLENE PLASTICS (PS2-PFSL M.A. INDUSTRIES, INC.) CONFORMS TO LATEST ASTM C478 PARA-12.
 6. BITUMASTIC BUTYL RUBBER FOR JOINTS CONFORM TO LATEST ASTM C443 AND FED SS-S-201A SPEC.

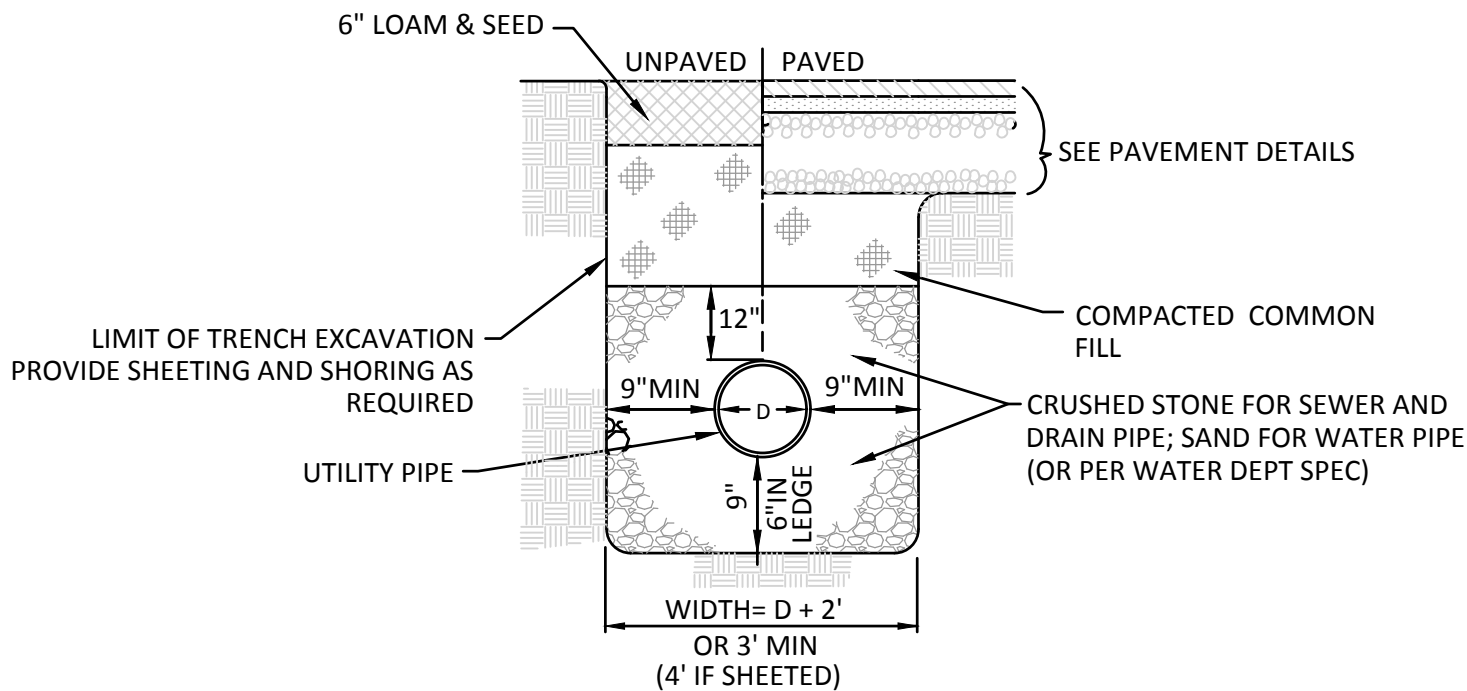
PRECAST CONCRETE DRAIN MANHOLE
(NOT TO SCALE)



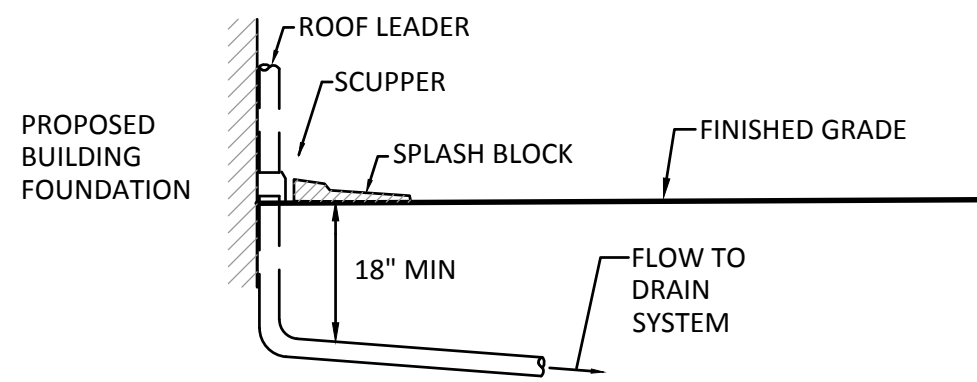
- NOTES:
1. MANHOLE DESIGN SHALL CONFORM TO LATEST ASTM C478.
 2. REINFORCING STEEL SHALL CONFORM TO LATEST ASTM A 185.
 3. CONCRETE COMPRESSIVE STRENGTH-4,000 PSI @ 28 DAYS.
 4. ONE POUR MONOLITHIC BASE.
 5. STEPS-STEEL REINFORCED COPOLYMER POLYPROPYLENE PLASTIC (PS2-PFSL M.A. INDUSTRIES, INC.) CONFORMING TO LATEST ASTM C478 PARA-12.
 6. KOR-N-SEAL FLEXIBLE PIPE CONNECTORS SHALL CONFORM TO LATEST ASTM C923, A167.

SEWER MANHOLE DETAIL (SMH)
(NOT TO SCALE)

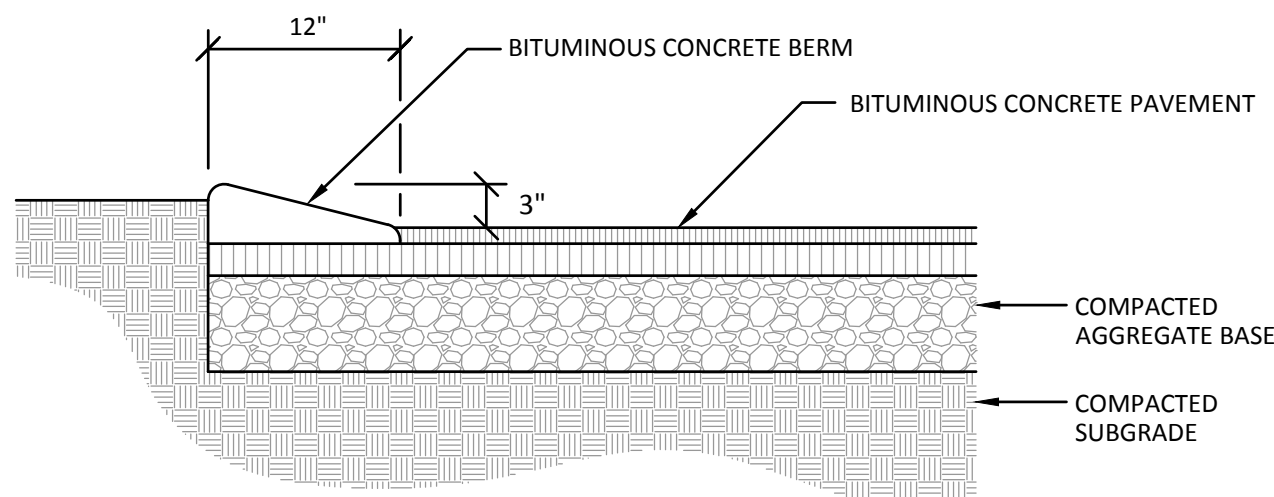
TRENCH WIDTH (W)		
D	W	W
DIAMETER OF PIPE	UNSHEETED	SHEETED
TO 12"	3'	4'
14" TO 24"	4'	5'
30" TO 36"	5'	6'



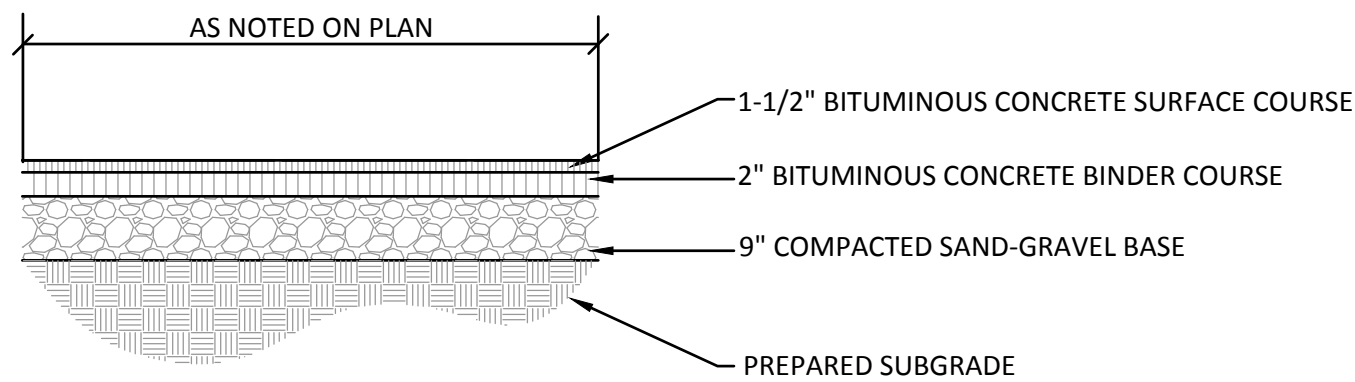
TYPICAL TRENCH SECTION
(NOT TO SCALE)



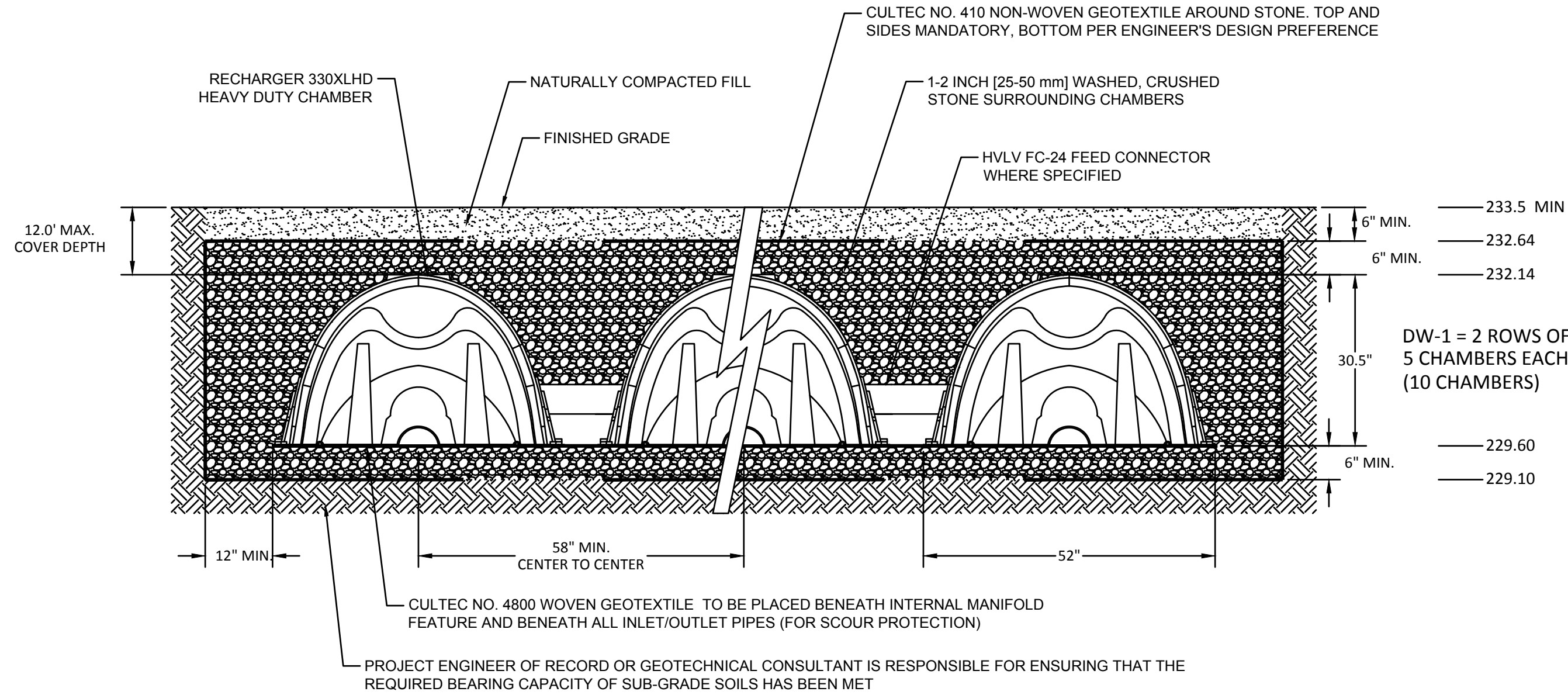
ROOF DOWNSPOUT CONNECTION
(NOT TO SCALE)



BITUMINOUS CONCRETE BERM
NOT TO SCALE

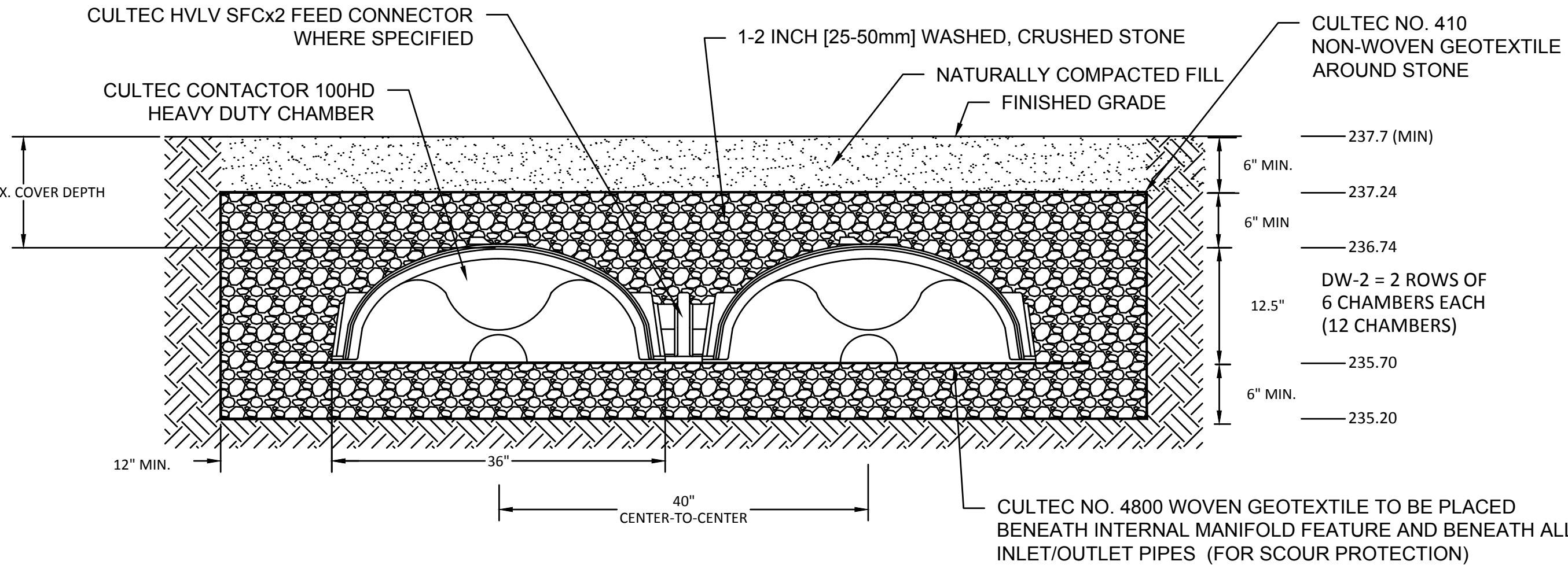


BITUMINOUS CONCRETE PAVEMENT SECTION
(NOT TO SCALE)



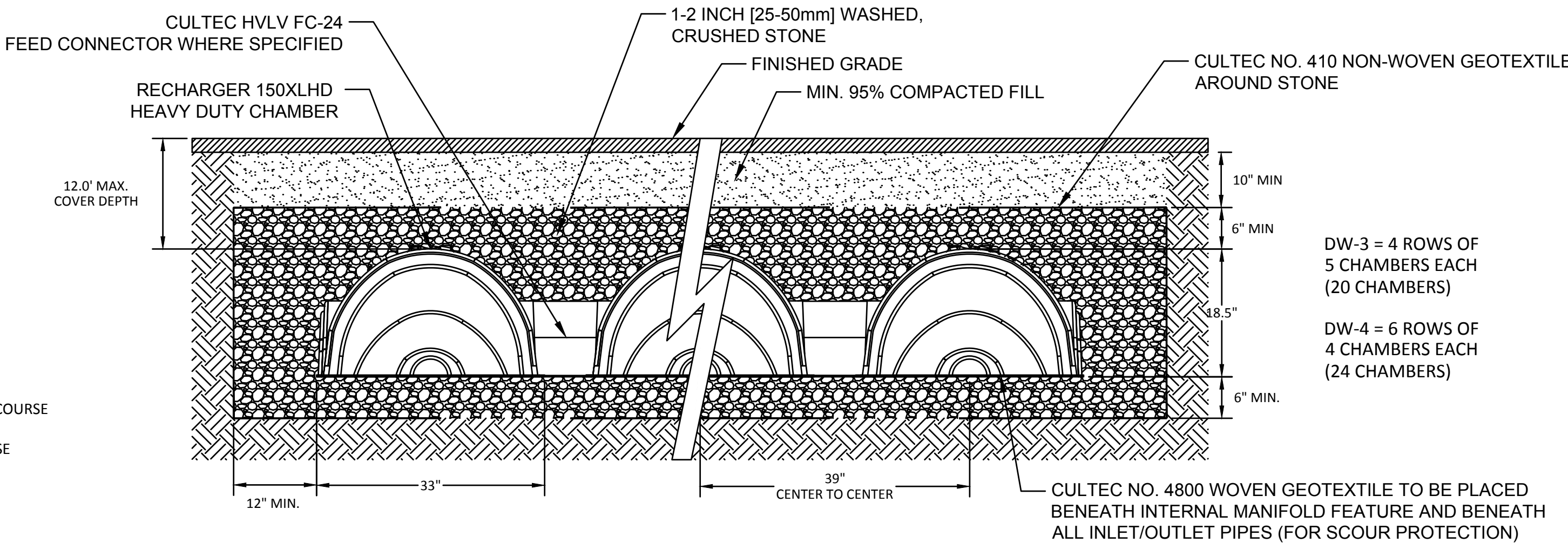
CULTEC RECHARGER 330XLHD INFILTRATION CHAMBERS (DW-1)
(NOT TO SCALE)

NOTE:
DW-1 IS TO CAPTURE ROOF RUNOFF
FROM EXISTING HOUSES 218 & 220
(UNITS 6 & 7).



CULTEC 100HD INFILTRATION CHAMBERS (DW-2)
(NOT TO SCALE)

NOTE:
DW-2 IS TO CAPTURE ROOF RUNOFF FROM UNIT 5.



CULTEC 150XLHD INFILTRATION CHAMBERS (DW-3, DW-4)
(NOT TO SCALE)

NOTE:
DW-3 IS TO CAPTURE ROOF RUNOFF FROM UNITS 1 & 2.
DW-4 IS TO CAPTURE ROOF RUNOFF FROM UNITS 3 & 4

DW-3 AND DW-4 ELEVATION SCHEDULE					
SYSTEM	BOTTOM OF STONE	BOTTOM OF CHAMBER	TOP OF CHAMBER	TOP OF STONE	MIN. GROUND SURFACE
DW-3	235.5	236.0	237.54	238.04	239.0
DW-4	236.5	237.0	238.5	239.0	240.0

REVISIONS

NO.	DATE	DESCRIPTION	BY	CHKD.



SITE DETAILS
Multifamily Development
218-220 MAIN STREET
MEDWAY, MA 02053
Prepared For:
Harmony Estates LLC



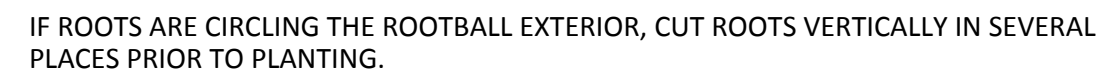
Date:
June 9, 2020

Scale:
N.T.S

Project No.
8521

Sheet No.
C-7

7 OF 8



Sheet No. C-8
8 OF