



April 26, 2022
Medway Planning & Economic Development Board
Meeting

Eversource Substation #65 Site Plan
12 & 34 West Street
Proposed Field Changes

- Letter dated 4-21-22 from attorney Joshua Lee Smith of Bowditch & Dewey, LLP on behalf of Eversource Energy (with associated documents) requesting the Board's approval of a series of Field Changes pertaining to the previously approved Eversource minor site plan.
- Email dated 4-22-22 from Building Commissioner Jack Mee.

The information has been provided to Tetra Tech for review. I have asked Steve Bouley to be prepared to offer verbal review comments to you Tuesday night.

Eversource representatives will attend the meeting via Zoom to present their proposal and answer your questions.

April 21, 2022

BY E-MAIL:

Town of Medway Planning & Economic Development Board
Medway Town Hall
155 Village Street
Community Economic Development office, 2nd Floor
Medway, MA 02053
Attn: Susan E. Affleck-Childs, Planning & Economic Development Coordinator
Email: planningboard@townofmedway.org and sachilds@townofmedway.org

Re: NSTAR Electric Company d/b/a Eversource Energy – Request for Approval of Field Changes with Respect to Previously Approved Minor Site Plan for Electric Substation Improvement Project at 12 and 34 West Street, Medway, Massachusetts

Dear Ms. Affleck-Childs:

On March 23, 2021, the Town of Medway Planning & Economic Development Board (the “Board”) unanimously voted to approve a minor site plan review application submitted by NSTAR Electric Company d/b/a Eversource Energy in connection with its proposed construction and installation of an approximately 24’ x 42’ (1,008 square feet), 12’, 6” tall pre-fabricated switchgear building and associated foundation (the “New Switchgear Building”), excavation, underground conduit and cable trenching, removal of an existing brick storage building and other related site improvements (the “Project”) at Eversource’s existing 115/14kV electric substation known as Medway Station #65 (the “Substation”) located at 12 and 34 West Street, Medway, Massachusetts (the “Property”).

During construction, Eversource encountered some unanticipated conduits with active cables that obstruct Eversource’s ability to install the New Switchgear Building based on its current design. Therefore, Eversource has revised the layout design to rotate the New Switchgear Building approximately 180 degrees and shift the proposed manholes and associated underground concrete duct banks farther away from jurisdictional wetland areas and closer to the driveway, including one manhole and conduit to now be located within the driveway (the “Field Changes”).

Also as part of the Field Changes, Eversource is requesting to temporarily store some material in the approved laydown area. An approximately 700 square foot storage area surrounded by temporary fencing consistent in height with the existing security fencing

(i.e., 7 feet tall topped with 1 foot of barbed wire) needs to be installed in the laydown area for temporary storage of capacitor banks during the remainder of the construction period.

The presence of the above-described obstructions are unforeseen field conditions that necessitate these minor Field Changes, which are limited in nature. The size and height of the New Switchgear Building will remain the same, and will be in the same general location in compliance with minimum yard setbacks, and will be no closer to the front lot line as was previously approved. The proposed Field Changes will continue to be located a safe distance from adjoining streets and property lines. The New Switchgear Building is a utilitarian structure, and rotation of the building will not result in any negative visual impact whatsoever.

The kind, size, height and nature of the Field Changes will have no greater impacts on, and will not be detrimental to or adversely affect, adjoining properties or the neighborhood. The proposed Field Changes are consistent and compatible with the character, materials and scale of buildings, structures, equipment and site features throughout the Substation Property and the adjoining Exelon generation site and transmission line corridors and lines that currently run through the Substation Property and nearby properties.

Based on the foregoing, Eversource requests that the Board approve the Field Changes.

We hereby submit the following items for filing with the Board:

1. Copies of plans, including previously approved layout drawing, revised layout showing Field Changes and side-by-side comparison;
2. Copy of 2021 minor site plan review decision.
3. Copy of temporary fencing specs for capacitor bank storage

Please let me know if you should have any questions concerning the enclosed.

Kindly file this request with the Board, and schedule this request for the Board's regular meeting which is scheduled to occur on **April 26, 2022**.

Thank you for your assistance with this matter.

Yours truly,



Joshua Lee Smith

JLS:sf
Enclosures

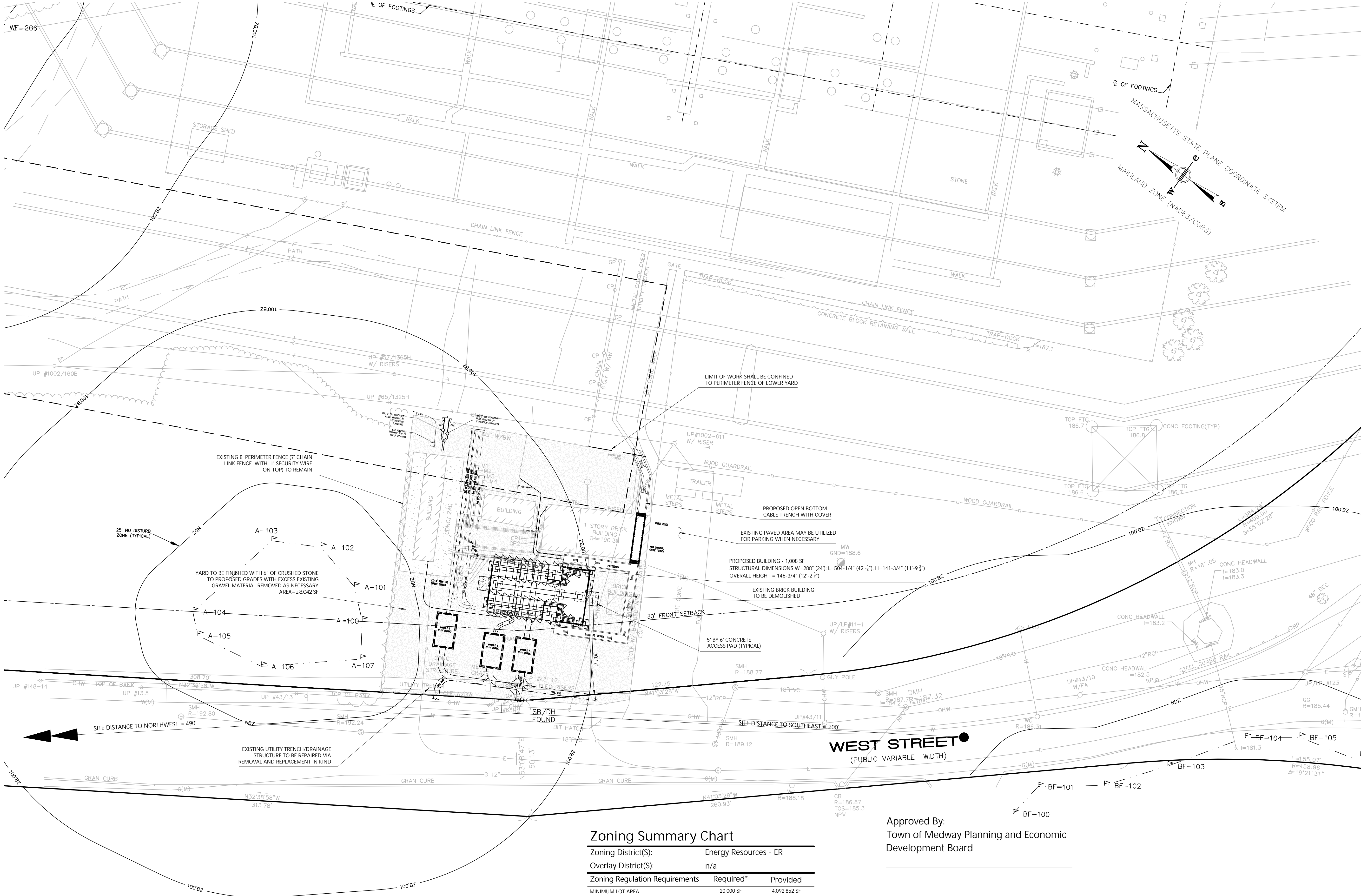
cc: Project Team (w/enclosures)



1 Cedar Street
Suite 400
Providence, RI 02903
401.272.8100



Key
SCALE: 1" = 1,000'



Zoning Summary Chart

Zoning District(S):	Energy Resources - ER	
Overlay District(S):	n/a	
Zoning Regulation Requirements	Required*	Provided
MINIMUM LOT AREA	20,000 SF	4,092,852 SF
FRONTAGE	150.0 Feet	2,619.08 Feet
FRONT YARD SETBACK	30 Feet	30.17 Feet
SIDE YARD SETBACK	20 Feet	+/- 647 Feet
REAR YARD SETBACK	30 Feet	+/- 637 Feet
MAXIMUM BUILDING HEIGHT	40 Feet	12 Feet, 2-3/4 Inches
MAXIMUM IMPERVIOUS	80.0 %	< 1.0 %
MINIMUM OPEN SPACE	20.0 %	> 95.0 %
MINIMUM REQUIRED PARKING SPACES	1 per 1,000 SF	None **

* Zoning regulation requirements as specified in the Town of Medway Zoning Bylaw, as amended November 18, 2019, and published January 6, 2020
** Facility is unmanned therefore no parking is proposed and/or required within the perimeter fence of the yard, which eliminates the need for additional impervious pavement. The paved area immediately southeast of the substation may be utilized for parking when necessary.

Approved By:
Town of Medway Planning and Economic
Development Board

Decision Date: March 23, 2021

Endorsement Date: _____

- GENERAL NOTES:
- REFER TO ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR DIMENSIONAL, MATERIAL, AND INSTALLATION REQUIREMENTS FOR ALL PROPOSED ELECTRICAL EQUIPMENT INCLUDING BUT NOT LIMITED TO SWITCHGEAR BUILDING, FOUNDATIONS, CABLE TRAYS, DUCT BANKS, ELECTRICAL MANHOLES, AND DIRECT BURIED CABLES.
 - ELECTRICAL EQUIPMENT DEPICTED HEREIN IS FOR INFORMATIONAL PURPOSES ONLY.
 - SIZED AND TYPE OF CRUSHED STONE YARD MATERIAL SHALL BE PER EVERSOURCE SPECIFICATIONS.

Medway Station #65

12 and 34 West Street
Medway, MA 02053

No.	Revision	Date	Appr'd
1	Planning Board Comments	03/03/2021	RTL
2	Signature Block Update, Approved Waivers	04/26/2021	RTL
3	Revised Control Building, EMH, and Duct Bank Locations	04/20/2022	RTL

Designed by: _____
Checked by: _____
Issued for: _____
Date: January 19, 2021
Permitting

Not Approved for Construction

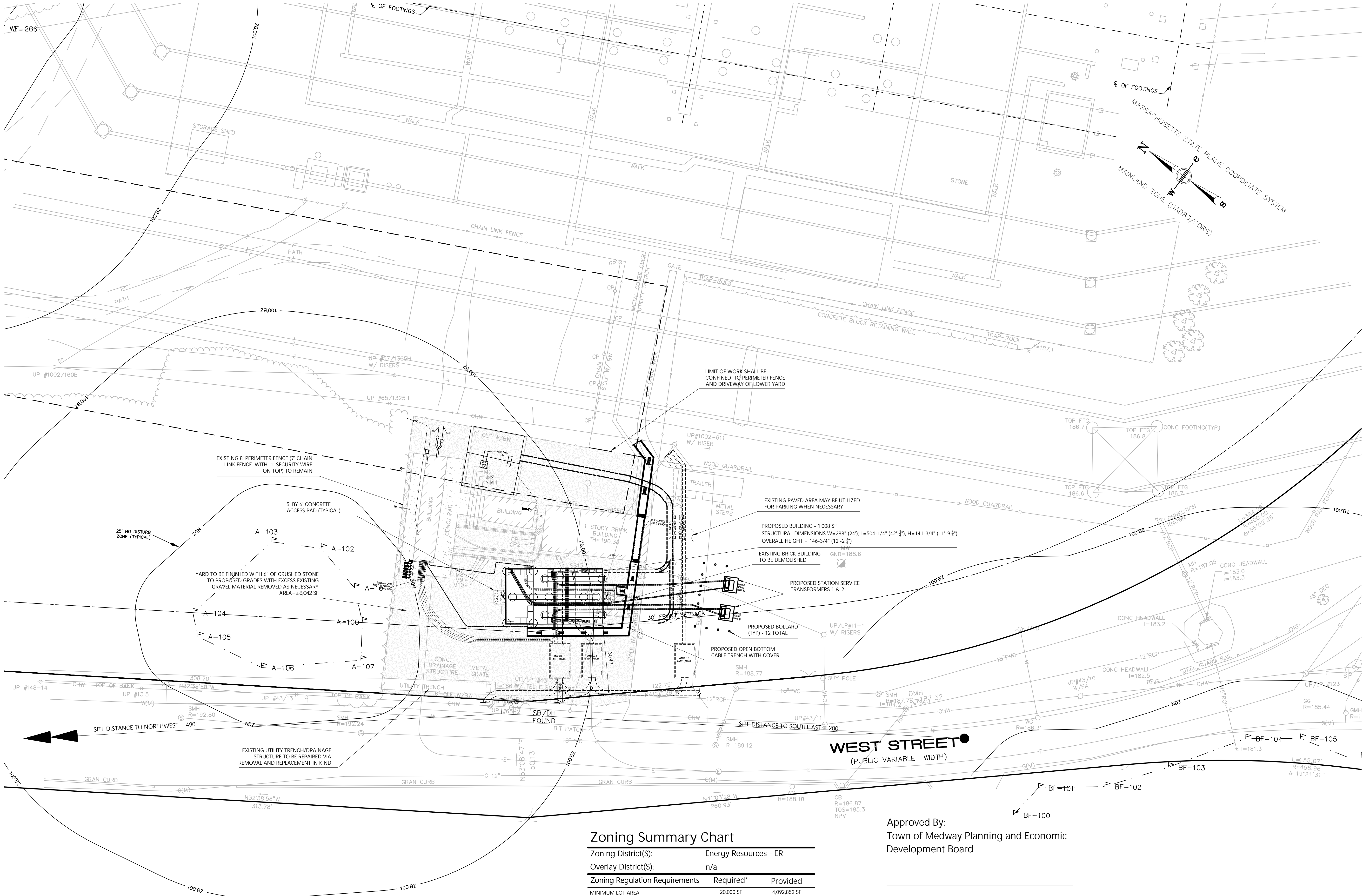
Drawing Title
**Layout and
Materials Plan**

Drawing Number

C-4

Sheet 4 of 7

Project Number
73139.01



Zoning Summary Chart		
Zoning District(S):	Energy Resources - ER	
Overlay District(S):	n/a	
Zoning Regulation Requirements	Required*	Provided
MINIMUM LOT AREA	20,000 SF	4,092,852 SF
FRONTAGE	150.0 Feet	2,619.08 Feet
FRONT YARD SETBACK	30 Feet	30.47 Feet
SIDE YARD SETBACK	20 Feet	+/- 64.7 Feet
REAR YARD SETBACK	30 Feet	+/- 63.7 Feet
MAXIMUM BUILDING HEIGHT	40 Feet	12 Feet, 2-3/4 Inches
MAXIMUM IMPERVIOUS	80.0 %	< 1.0 %
MINIMUM OPEN SPACE	20.0 %	> 95.0 %
MINIMUM REQUIRED PARKING SPACES	1 per 1,000 SF	None **

* Zoning regulation requirements as specified in the Town of Medway Zoning Bylaw, as amended November 18, 2019, and published January 6, 2020

** Facility is unmanned therefore no parking is proposed and/or required within the perimeter fence of the yard, which eliminates the need for additional impervious pavement. The paved area immediately southeast of the substation may be utilized for parking when necessary.

Approved By:
Town of Medway Planning and Economic
Development Board


Decision Date: March 23, 2021

Endorsement Date: _____



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1 Cedar Street
Suite 400
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Medway Station #65

12 and 34 West Street
Medway, MA 02053

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Designed by

Checked by

Issued for

Date

Permitting January 19, 2021

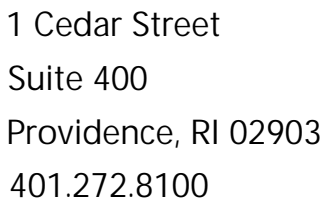
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Drawing Title
Layout and Materials Plan

Drawing Number
C-4

Sheet 4 of 7

Project Number
73139.01



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Designed by	Checked by	Compar
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Permitting

Not Approved for Construction

Layout and Materials Comparison Plan

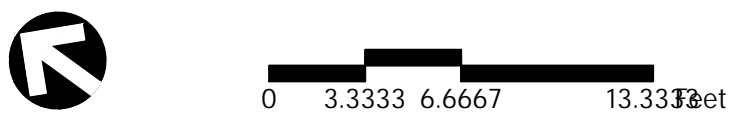
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1 Cedar Street
Suite 400
Providence, RI 02903
401.272.8100



Key
SCALE: 1" = 1,000'



Medway Station #65

12 and 34 West Street
Medway, MA 02053

No.	Revision	Date	Appvd.
1	Planning Board Comments	03/03/2021	RTL
2	Signature Block Update, Approved Waivers	04/26/2021	RTL
3	Revised Control Building, EHM, and Duct Bank Locations	04/20/2022	RTL

Designed by	Checked by
Issued for	Date
Permitting	January 19, 2021

Not Approved for Construction

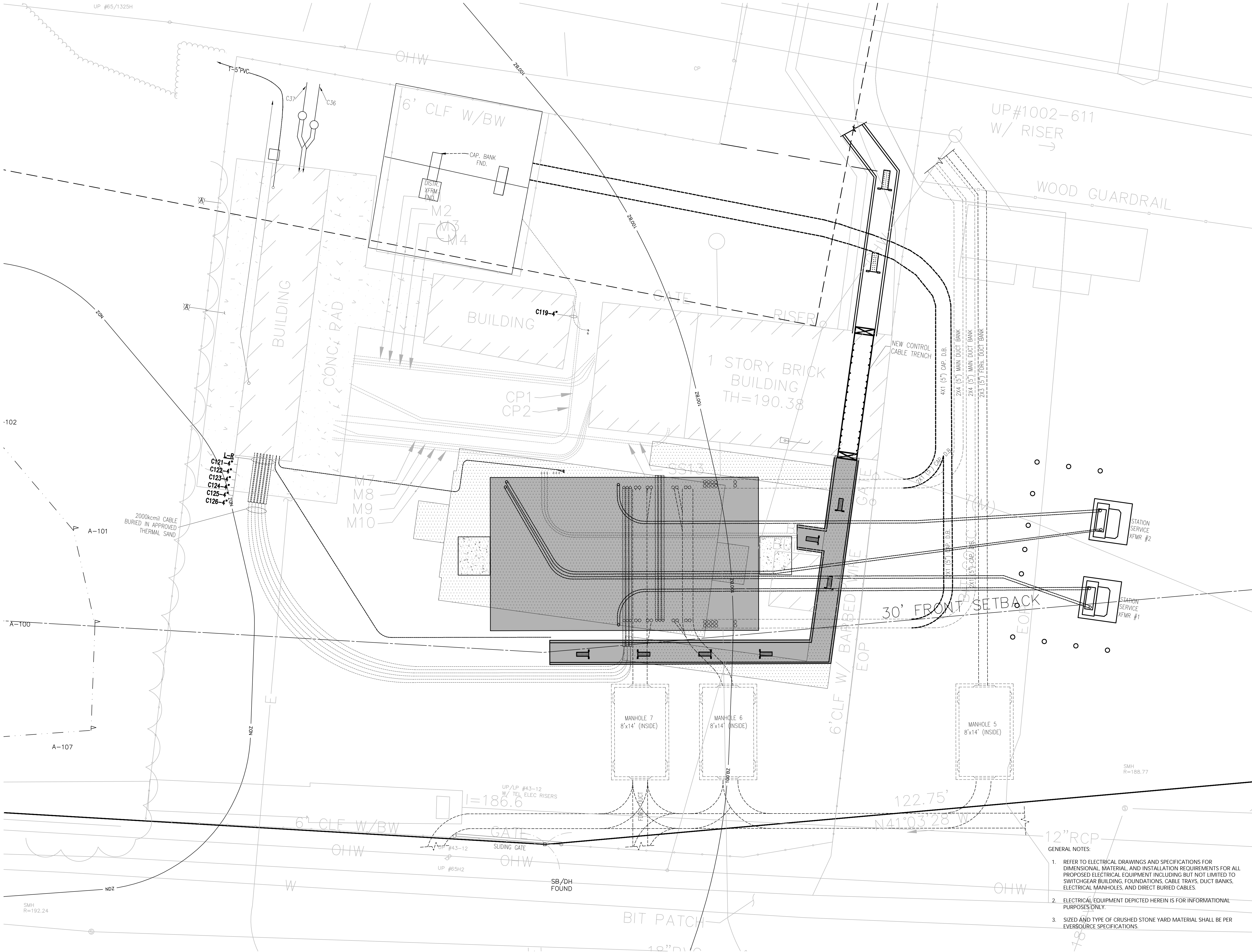
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Layout Overlay Plan

Drawing Number

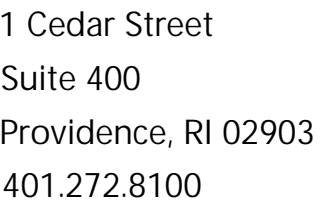
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Sheet of
4 7

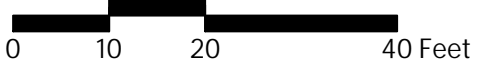
Project Number
73139.01



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Scale: 1" = 1,000'



12 and 34 West Street
Medway, MA 02053

No.	Revision	Date	Appvd
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2	Signature Block Update, Approved Waivers	04/26/2021	RTL
3	Revised Control Building, EMH, and Duct Bank Locations	04/20/2022	RTL

Designed by	RTL	Checked by	RLC
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Permitting

January 19, 2021

Not Approved for Construction

Drawing Title

Grading and Drainage Plan

Drawing Number

C-5

Sheet 5 of 7

Project Number

73139.01

Saved Tuesday, April 19, 2022 2:11:08 PM RLEWIS Plotted Wednesday, April 20, 2022 3:33:56 PM Richard Lewis



Approved By:
Town of Medway Planning and Economic
Development Board

Decision Date: March 23, 2021

Endorsement Date: _____



G. GREENE CONSTRUCTION COMPANY, INC.
BUILDER AND CONSTRUCTION MANAGER

Submittal

Job: #21-429
Owner: Eversource
Job Name: Sta.65 Medway -
Switchgear Replacement

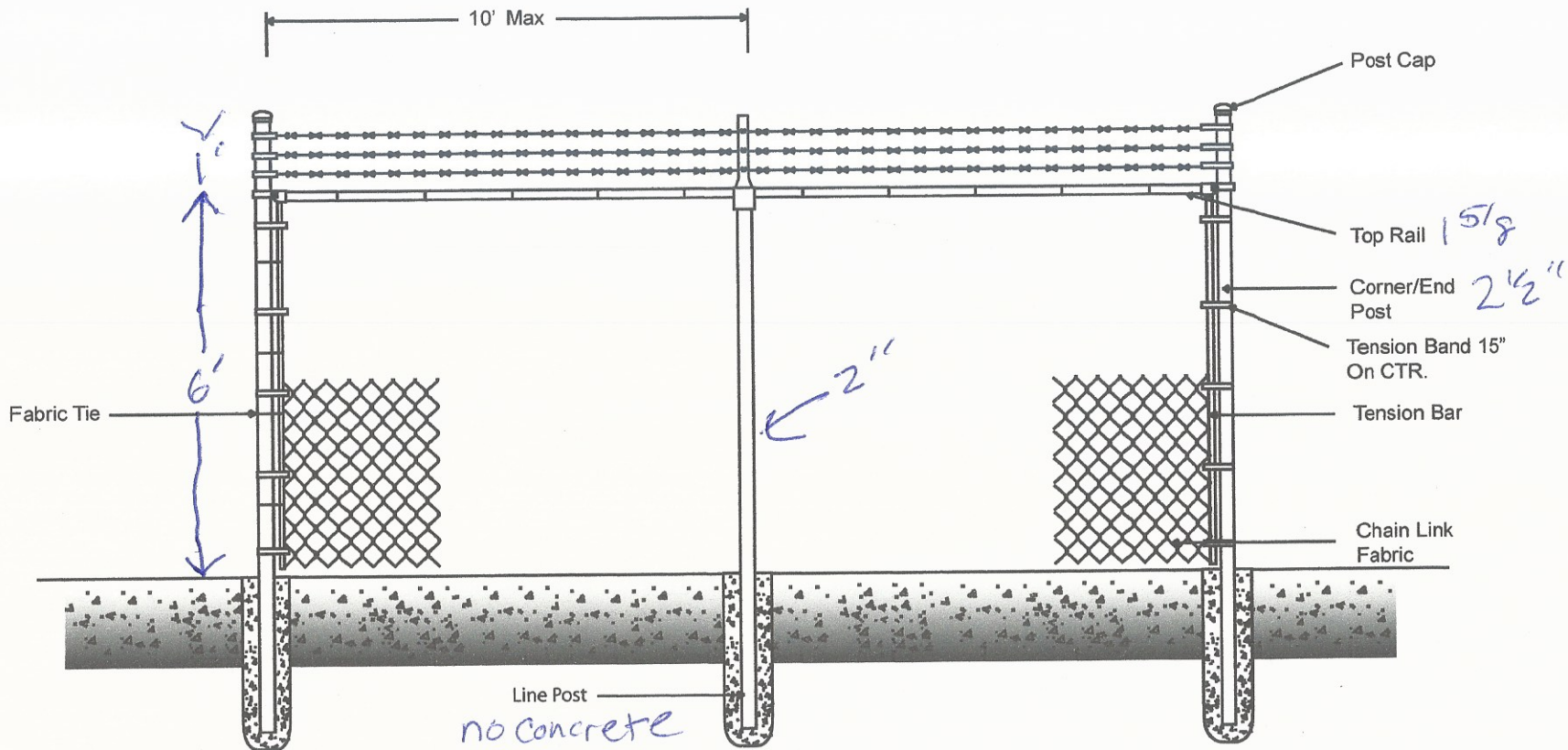
Spec Section No: 2-830
Submittal No: 005
Revision No: 0
Sent Date: 1/14/2022

For:
Approval
Spec Section Title:
2-830 Chain Link Fence
Submittal Title:
6' Chain Link Fence

Contractor:
G. Greene Construction, Inc.

Sent to:
Mohamad Tassabehji
Eversource
247 Station Ave.
Westwood, MA 02090

G. GREENE CONSTRUCTION CO. REVIEWED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS	
BY <u>Nick DeSisto</u>	DATE: <u>1/14/2022</u>
JOB <u>#21-429</u>	JOB NAME <u>Eversource Sta.65 Medway</u> <u>Switchgear Replacement</u>
REF #	SUBMISSION # <u>005</u>

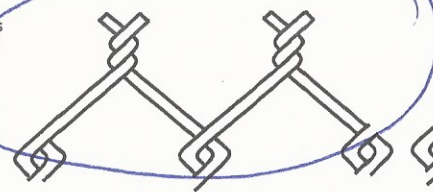


Fabric	Height	Mesh	Gage	Selva	Finish
Framework		O.D.	Wall	Wt. per ft.	Length
End/Corner Post					
Line Post					
Rails					
Gate Frame					
Gate Post					

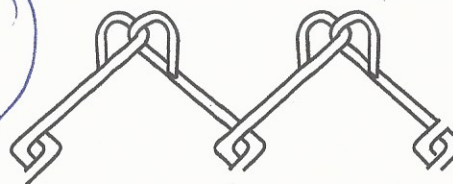
Notes

- Gate Fabric to match fence
- For welded frames omit truss rods
- For more information please see <http://www.spsfence.com>

Twist or Barb Selva



Knuckle Selva



Last Revised: 10-02-06



STEPHENS
PIPE &
STEEL

Standard Chain Link Fencing

Standard ChainLink Fence W/Top Rail & Barb

Approved By/Date

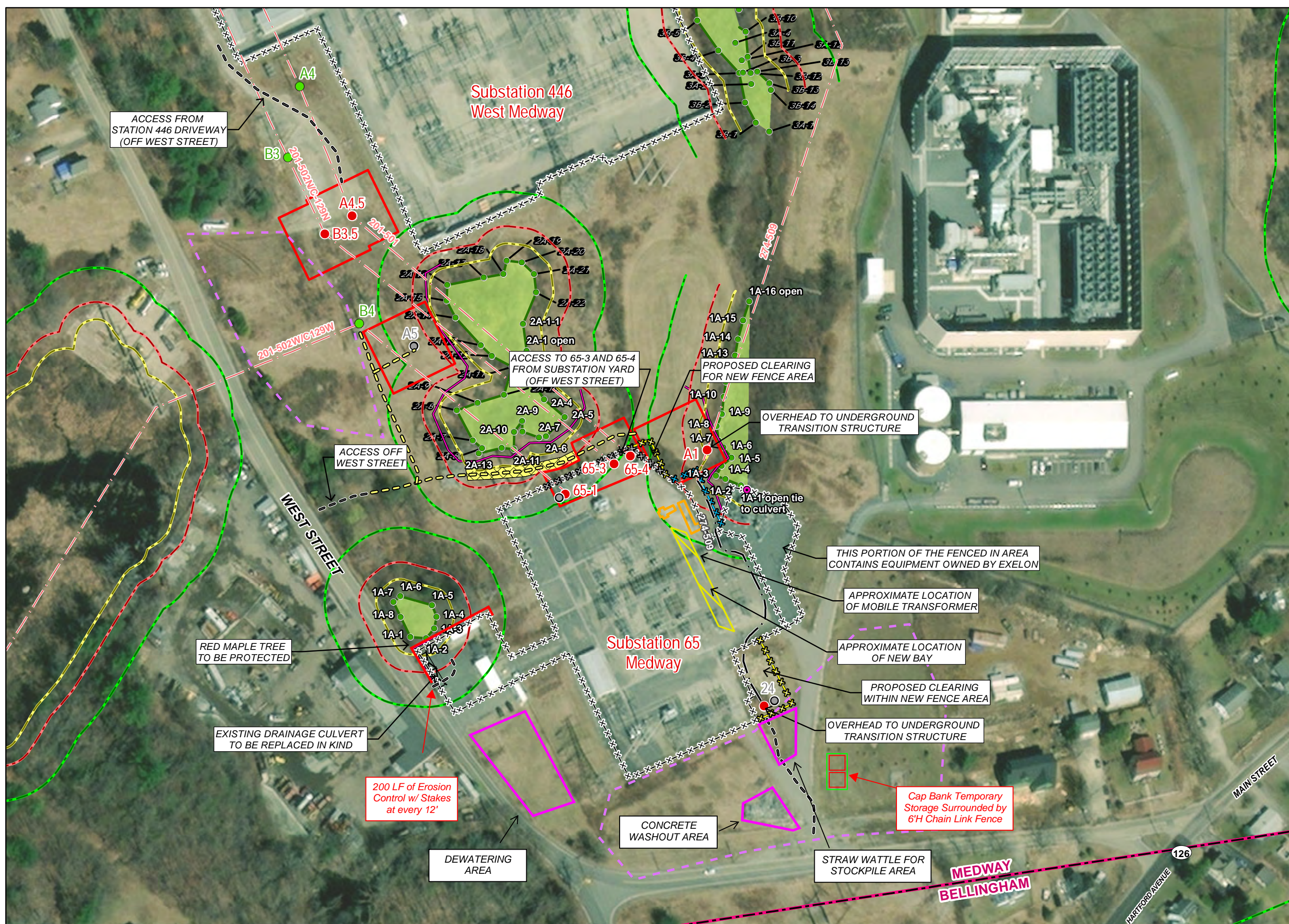
Revision NO.

Drawing NO.
























Drawn By: Joshua Stidham

Effective Date

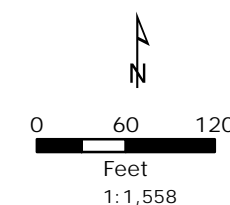
SPS-CL-10R2

FIGURE 1
SITE PLAN

LEGEND

-  Proposed Structure
-  Existing Structure to be Removed
-  Structure to be Reused
-  Culvert
-  Existing Access
-  Proposed Access
-  Existing Fence
-  Proposed Fence
-  Temporary Fence
-  Fence Temporarily Removed for Structure Construction Access
-  Overhead Eversource Line
-  Underground Eversource Line
-  25-Foot Buffer Zone
-  50-Foot Buffer Zone
-  100-Foot Buffer Zone
-  Wetland Boundary
-  Wetland Area
-  Work Pad
-  Approximate Location of New Bay
-  Mobile Transformer
-  Erosion Controls
-  Proposed Staging Area
-  Drain Pipe Replacement

LOCUS MAP



NOTES

1. Based on ESRI World Imagery Basemap (2018).

Line 201-502 Loop
Station 65
34 West Street
Medway, Massachusetts

April 6, 2021





RECEIVED TOWN CLERK
MAR 29 '21 PM 2:42

20 Day Appeal
April 19, 2021

TOWN OF MEDWAY
Planning & Economic Development Board
155 Village Street
Medway, Massachusetts 02053

Andy Rodenhiser, Chair
Robert K. Tucker, Vice-Chair
Thomas A. Gay, Clerk
Matthew J. Hayes, P.E.
Richard Di Iulio
Jessica Chabot, Associate Member

March 25, 2021

Minor Site Plan Decision
Eversource Energy – 12 & 34 West Street
Approved with Waivers and Conditions

Decision Date: March 23, 2021

Name/Address of Applicant: NSTAR Electric Company d/b/a Eversource Energy
One NSTAR Way, NE 250
Westwood, MA 02090

Name/Address of Property Owner: Exelon West Medway, LLC
10 South Dearborn Street, 49th Floor
Chicago, IL 60603

Project Location: 12 and 34 West Street

Assessors' Reference: 66-10 and 66-12

Zoning District: Energy Resource

Engineer: VHB
1 Cedar Street, Suite 400
Providence, RI 02903

Site Plan: Station #65 West Medway, 12 and 34 West Street, Medway, MA
Dated January 19, 2021, last revised March 3, 2021

I. PROJECT DESCRIPTION – Eversource proposes to construct and install an approximately 24' by 42' (1,008 sq. ft.), 12' 6" tall, pre-fabricated switchgear building and associated foundation, excavation, underground conduit and cable trenching; remove an existing brick storage building; and temporarily place an approximately 47' x 10' mobile transformer (12' 10" tall) and connected thereto, an approximately 25' x 10' tall mobile switch.

II. VOTE OF THE BOARD – After reviewing the application and information gathered during the public review process, the Medway Planning and Economic Development Board, on March 23, 2021, on a motion made by Richard Di Iulio and seconded by Robert Tucker, **voted by roll call, to APPROVE with WAIVERS and CONDITIONS** as specified herein, a site plan for the construction of the above described switchgear building and site improvements at 12 and 34 West Street as shown on *Station #65 West Medway, 12 and 34 West Street, Medway, MA* dated January 19, 2021, last revised March 3, 2021 to be further revised as specified herein.

The motion was approved by a vote of 5 in favor and none opposed.

Planning & Economic Development Board Member	Vote
Richard Di Iulio	YES
Matthew Hayes	YES
Thomas A. Gay	YES
Andy Rodenhiser	YES
Robert Tucker	YES

III. PROCEDURAL HISTORY

- A. January 22, 2021 - Site plan application and associated materials were filed with the Medway Planning & Economic Development Board and were provided to the Medway Town Clerk on January 25, 2021.
- B. February 4, 2021 - Site plan public briefing notice was filed with the Town Clerk and posted at the Town of Medway web site.
- C. February 5, 2021 – Site plan public review notice was mailed to abutters by first class mail.
- D. February 5, 2021 – Site plan information distributed to Town boards, committees and departments for review and comment.
- E. February 23, 2021 – Board commenced the site plan public briefing. The briefing was continued to March 23, 2021 when the Board's review of the project concluded and a decision was rendered.

IV. INDEX OF SITE PLAN DOCUMENTS

- A. The site plan application package for the proposed Eversource site improvements project included the following documents that were provided to the Board at the time the application was filed:
 - 1. Application for minor site plan approval dated January 21, 2021 with Project Narrative
 - 2. Certified abutters' list prepared by Medway Assessor's office.
 - 3. Submittal letter dated January 21, 2021 from Attorney Joshua Lee Smith of Bowditch & Dewey as the applicant's designated representative.

4. Site plan titled *Station #65 West Medway, 12 and 34 West Street, Medway, MA* dated January 19, 2021, prepared by VHB.
 5. Stormwater report titled “Stormwater Management Report, West Medway Station #65, Medway, MA” dated October 23, 2020, prepared by VHB.
 6. Deed documenting ownership of the subject property.
 7. Collection of photographs
 8. Collection of previous Town of Medway site plan decisions pertaining to the subject property.
 9. Requests for waivers of *Site Plan Rules and Regulations* dated January 21, 2021
- B. During the course of the review, a variety of other materials were submitted to the Board by the applicant and its representatives:
1. Slide presentation provided during the February 23, 2021 public briefing.
 2. Letter dated March 5, 2021 from attorney Joshua Lee Smith of Bowditch & Dewey in response to the plan review letter dated February 18, 2021 from Steve Bouley, P.E., of Tetra Tech, staff memorandum dated February 18, 2021 from Susan Affleck-Childs, and comments received during the February 23, 2021 public briefing.
 3. Revised site plan dated March 3, 2021 by VHB with a photometric plan
 4. Photographs of existing light fixtures
 5. Email dated March 16, 2021 from attorney Joshua Lee Smith of Bowditch & Dewey in response to the Board’s question about stormwater and the culvert replacement noted on the plan set.
- C. All documents and exhibits received during the public review process are contained in the Planning and Economic Development Board’s project file.
- V. TESTIMONY** - In addition to the site plan application materials as submitted and provided during the course of the Board’s review, the Board also received verbal and/or written testimony or comments from:
- Steve Bouley, P.E. of Tetra Tech, Inc., the Town’s Consulting Engineer – Site plan review letters dated February 18, 2021 and March 16, 2021 and commentary throughout the plan review process.
 - Attorney Joshua Lee Smith of Bowditch & Dewey as designated representative of the applicant.
 - Email communication dated February 11, 2021 from Medway Fire Chief Jeff Lynch
 - Stephanie Carlisle, Compliance Coordinator for the Medway Department of Public Works
 - Barbara Saint Andre, Medway Director of Community and Economic Development
 - Email communication dated March 18, 2021 from DPW Deputy Director Peter Pelletier regarding sidewalk plans for West Street
 - Sidewalk and curbing construction cost estimates dated March 23, 2021 prepared by Tetra Tech.

VI. FINDINGS – In making its findings and reaching the decision described herein, the Board was guided by the *Site Plan Rules and Regulations* and the *Medway Zoning Bylaw*. The Board also considered evidence and testimony presented at the public briefings and comments submitted by Town departments, boards and committees as well as the Board's peer review consultant and residents placed in the public record during the course of the review.

The Planning and Economic Development Board, at its meeting on March 23, 2021, on a motion made by Robert Tucker and seconded by Richard Di Iulio, voted by roll call to approve the following **FINDINGS** regarding the site plan application for Eversource Energy for proposed site improvements at 12 and 34 West Street. The motion was approved by a vote of 5 in favor and none opposed.

Site Plan Rules and Regulations Findings – The Planning and Economic Development Board shall consider the following criteria as set forth in the *Site Plan Rules and Regulations*, Section 204-8, F, unless specifically waived.

- 1) The proposed buildings, uses and site improvement are appropriately located on the development site in relation to the terrain and the location and scale of buildings and site features on abutting sites.

The addition of the new switchgear building and its associated infrastructure, and the temporary placement of the mobile transformer will not depart from the character, materials and scale of the existing buildings, structures, equipment, transmission lines and site features that currently exist throughout the Eversource sub-station property and the adjoining Exelon power generation site. The property has functioned as an electric substation for more than 95 years. The proposal is consistent with the Energy Resource zoning district uses.

- 2) The construction and/or renovation of buildings and site improvements and amenities are designed to reflect or be compatible with the *Medway Design Review Guidelines*.

The Town's Design Review Guidelines do not specifically address the types of improvements proposed by a public utility in the Energy Resource zone. The character of the proposed site improvements use is consistent with the overall purpose of the Energy Resource zoning district. The proposed switchgear building is completely utilitarian in nature and its sole purpose is to house and protect highly sensitive controls and equipment.

- 3) Building and site designs reflect the character, materials and scale of existing buildings in the vicinity as well as Master Plan goals for the area

The proposed improvements are consistent with the character, materials and scale of the electric utility buildings and equipment in the Energy Resource zoning district. Consistent with the Medway Master Plan, the project will encourage the most appropriate use of the land in the zoning district and will support, enhance and promote the health, welfare, safety, economic vitality and growth of the Town and surrounding communities by providing and updating necessary and critical electric infrastructure to ensure the availability of reliable electric service.

- 4) Reasonable use is made of building location, grading and landscaping and other site features to reduce the visible intrusion of structures, parking areas, and outside facilities for the storage, handling and disposal of sewage, refuse and other solid wastes resulting from the normal operation of the establishment(s) from public views or from adjacent residential properties.

The location of the proposed improvements will be set back from West Street beyond the zoning district's minimum setback requirements and will not be visible from any residential properties. As documented with photographs during the applicant's February 23, 2021 public briefing presentation, 41 West Street to the north is approximately 1,000 feet away and 3 West Street to the south is approximately 700 feet away. The combination of these distances plus the site's existing infrastructure and equipment serve to screen the adjacent residences from the proposed changes.

The proposed improvements are relatively minor in nature in relation to the overall site and the extensive existing public utility infrastructure. The majority of the public utility buildings and equipment on the Eversource and Exelon properties within the Energy Resource district have been visible from the adjoining streets for decades.

Landscaping in the immediate area between West Street and the switchgear building is not feasible and would compromise safety. The applicant has asked for a waiver from the standard landscaping requirement. A 14KV distribution line and associated poles run along the West Street frontage of the substation property within a right-of-way and along a narrow buffer area between the substation fence and the edge of pavement of West Street. Vegetative screening cannot be provided within the right-of-way as it would require the relocation of the substation fence farther away from the property line and the street and within the substation yard which contains underground conduits and lines. Further, the additional of landscaping screening in this area could obstruct visibility and create a potential line of sight hazard along West Street which bends around the corner near Beech Street.

During the summer of 2020, Eversource installed a robust landscaping plan at the southwesterly corner of the property near the intersection of West and Beech Streets as part of a previously approved site plan project. This provides some level of screening of the substation property.

The switchgear building will not house any employees and therefore will not generate demand for water supply, wastewater, or solid waste disposal services.

- 5) Private drives are properly designed and constructed to serve the intended use and provide an adequate level of service in relation to the traffic to be generated by the development.

No driveways are proposed.

- 6) Internal circulation, queuing and egress promote traffic safety, access via minor streets servicing residential areas is minimized, and traffic backing up into the public way is avoided.

The development site is accessed directly from West Street, a secondary arterial roadway connecting Route 126 and Main Street to Route 109 (Milford Street) and therefore there will be no impacts on minor residential streets. No new driveways or curb cuts are proposed, and the existing driveways will continue to allow for safe and efficient vehicular traffic flow to and from the property. The proposed project does not include any changes to the property's internal driveway and circulation arrangement. Station #65 and the new switchgear building will continue to function as an unmanned facility and the site will remain closed to the public. Thus, no regular traffic will be generated by the development except for occasional service vehicles for personnel to perform routine inspections, testing, and equipment maintenance. There will be no increase in traffic volumes nor will any traffic back out onto West Street. The Medway Police Department did not provide any review comments or recommendations on the proposed site plan improvements.

- 7) Convenient and adequate access for fire-fighting and emergency vehicles is provided to each structure and throughout the site.

The Medway Fire Department reviewed the site plan and application and responded that it did not have any review comments or recommendations to offer. Accordingly, it is not expected that the proposed work will impact the existing convenient and adequate access for the Town's fire-fighting and emergency vehicles.

- 8) Design and construction minimize, to the extent reasonably practical, the following environmental impacts:
- a) the volume of cut and fill;
 - b) the number of trees to be removed with particular care taken with mature trees and root systems;
 - c) the visual prominence of man-made elements not necessary for safety;
 - d) the removal of existing stone walls;
 - e) the impacts on waterways and environmental resource areas;
 - f) soil erosion and pollution; and
 - g) noise.

The project will entail removal of an estimated 2,833 cubic yards of earth material in connection with the installation of the switchgear building and related facilities. As the site is already highly developed for public utility purposes, no trees will be need to be removed to undertake the proposed work. There are no existing stone walls to be impacted. The proposed improvements pertain to enhanced safety, security and reliability of the utility equipment and infrastructure. Appropriate site and erosion and sedimentation controls will be implemented and maintained during excavation and grading work and the site will be stabilized thereafter.

- 9) Pedestrian ways, access driveways, loading areas and vehicular and bicycle parking facilities are properly designed for public convenience, accessibility, and safety of customers, employees and the general public.

As the site is closed to the public and is an unmanned facility, there is no need for pedestrian access to or within the property or to provide for bicycle access for

employees, customers and the general public. Adequate parking is already available for service personnel for maintenance, testing and inspections.

- 10) Design and construction, to the maximum extent feasible, preserve and incorporate the visual prominence of the site's natural and historic features (i.e. hills, water bodies, wetlands, trees, tree groves, wooded areas, rock outcrops, native plants, stone walls, wildlife habitats, and other areas of aesthetic or ecological interest).

There are no notable natural terrain features or scenic views or landscapes at the substation property which is already a highly developed site and has been for many years as a public utility. The property is not within an historic district and is not listed on any State or National registers for historic or cultural resources.

- 11) Lighting on the site complies with Section 7.1.2 of the Zoning Bylaw.

With the submittal of the revised site plan dated March 3, 2021, the applicant included a photometric plan for the six wall pack lights to be affixed to the new switchgear building. Based on the distance, height, downwards angle, and quantity of light emitted (approximately 3,500 lumens each) from the two light packs on the side of the switchgear building facing West Street, the light intensity as measured at the front lot line facing West Street will not exceed 0.01 foot candles. This is slightly in excess of the Zoning Bylaw requirement that no light shall trespass onto any street or abutting lot.

Section 7.1.2.G of the Zoning Bylaw allows the Board, when performing site plan review, to grant minor relief from the lighting requirements when that relief is in the public interest and will not have a substantially detrimental effect on abutting properties. Eversource has asked for relief from the requirement included in Section 7.1.2.E.2 of the Zoning Bylaw for full shielding of lamps rated at more than 2,000 lumens and all other lighting requirements under Section 7.1.2 to the extent that the proposed lighting does not comply. The switchgear building is an unmanned facility. The proposed light packs will be manually controlled and generally turned off except during those rare circumstances when testing, emergencies, inspections, maintenance and/or repairs must occur during nighttime hours. West Street is already illuminated by an existing street light located in front of where the new switchgear building will be constructed. The wall pack lighting is compatible with the existing lighting on the Eversource and nearby properties and is needed for security and safety purposes. The Board has determined that relief is appropriate under these circumstances.

- 12) The proposed limit of work area is reasonable and protects sensitive environmental and/or cultural resources on the site and on adjacent parcels. The project as designed will not cause substantial or irrevocable damage to the environment, which damage could be avoided or ameliorated through an alternative development plan or mitigation measures.

The proposed limit of work area is very small due to the limited scale of the project. The site is under the jurisdiction of the Conservation Commission due to adjacent wetland resources and is currently under review for issuance of an Order of Conditions. The property is not located in a floodplain.

- 13) The project's impact on abutting residential neighborhoods has been adequately mitigated. Adjacent and neighboring properties are protected from nuisance and harmful effects caused by noise, traffic, noxious or harmful fumes, and the glare of headlights and other light sources generated by uses on the development site.

The Eversource substation operations will continue to produce low levels of noise which is not expected to be noticeable at any nearby residential properties due to the distance between the sound sources and the residential uses. Lighting impact is addressed in criteria #11. As an unmanned facility, the proposed scope of work will not generate any net increase in traffic to the site.

- 14) The project is compatible with the existing and potential future development of the surrounding area and with the character of adjacent residential neighborhoods.

The proposed scope of work is minor in nature within the context of the long-standing energy generation and transmission uses by Eversource and Exelon in the Energy Resource zoning district. The adjacent residential uses are a considerable distance away as noted in the response to criteria #4.

- 15) Off-street loading facilities and methods for unloading vehicles, goods, products, materials and equipment incidental to the normal operation of the establishment(s) to be located on the site are conveniently and safely provided while the visual intrusion thereof is appropriately screened from public view.

The proposed project does not involve any changes that would impact the site's off-street loading facilities and methods associated with the normal operation of the public utility.

- 16) The project complies with the requirements of Section 26.8 of Medway General Bylaws, ARTICLE XXVI, Stormwater Management and Land Disturbance; the Massachusetts DEP Stormwater Management Standards, and EPA's National Pollution Discharge Elimination System (NPDES) requirements.

The applicant has provided a stormwater management report that fully describes the existing and proposed stormwater drainage system at Station #65. Tetra Tech has indicated that the proposed work meets the Mass DEP Stormwater Management Standards. The limited project scope does not trigger a requirement for a Medway Land Disturbance Permit nor a NPDES permit from the U.S. Environmental Protection Agency. However, the Medway DPW has advised that the applicant will need to secure an MS4 Connection and Discharge Permit for the work to upgrade a culvert connection from the subject property to the Town's stormwater system.

- 17) The effects and the impacts of the proposed use of land or structures on vehicular and pedestrian traffic, municipal services and utilities, roadways, parking, drainage, environmental quality, water resources, and the community's character, amenities and appearance have been identified and evaluated and reasonable conditions, limits, safeguards and mitigation measures are established pursuant to s. 204-8 G of these Rules and Regulations.

As a result of the public review process including consultant and staff reviews, the applicant's submittal of a revised site plan to address those review comments and

Board's comments from the February 23, 2021 briefing, and with the decision conditions included herein, this criterion has been fulfilled.

VII. WAIVERS FROM SITE PLAN RULES AND REGULATIONS – At its March 23, 2021 meeting, the Planning and Economic Development Board, on a motion made by Richard Di Iulio and seconded by Matthew Hayes, voted by roll call, to approve waiver requests from the following provisions of the *Rules and Regulations for the Submission and Approval of Site Plans, as amended October 8, 2019*. The Planning and Economic Development Board's action and reasons for acting on each waiver request are listed below. All waivers are subject to the *Special and General Conditions of Approval*, which follow this section.

The motion was approved by a vote of 5 in favor and none opposed.

1. Section 207-4 Energy Efficiency and Sustainability.

The Applicant has requested a waiver from these regulations pertaining to the positioning of the switchgear building on the site. This section of the Site Plan Rules and Regulations does not readily apply to a high voltage, unmanned electric substation building. The proposed building is small, just over 1,000 sq. ft. in area and will not have any windows. The Board's consulting engineer has indicated that the proposed project has minimal impact on the existing developed site and they do not oppose the waiver request. The Board approves this waiver request as being consistent with the purpose and intent of the Site Plan Rules and Regulations which will have no significant detriment to the achievement of any of the purposes of Site Plan Review and Approval.

2. Section 207-9 Pedestrian and Bicycle Access and Sidewalks.

The Applicant has requested a waiver from these regulations. The site is not open to pedestrians, bicyclists, nor the general public. The planned switchgear building is an unmanned facility to be accessed only by authorized personnel for maintenance and testing. Accordingly, there is no need for the standard sidewalk and pedestrian accessibility requirements within and internal to the subject site. The Board's consulting engineer does not oppose the waiver request as deterring pedestrians from the site is in the best interest of public safety. The Board approves this waiver request as being consistent with the purpose and intent of the Site Plan Rules and Regulations which will have no significant detriment to the achievement of any of the purposes of Site Plan Review and Approval.

3. Section 207-10 Paving

The Applicant has requested a waiver from these regulations. No new driveways or curb cuts are proposed within the development area to which the paving standards would apply. The Fire Department offered "No Comments" on the site plan as circulated. The Board approves this waiver request as being consistent with the purpose and intent of the Site Plan Rules and Regulations which will have no significant detriment to the achievement of any of the purposes of Site Plan Review and Approval.

4. Section 207-11 Traffic and Vehicular Circulation

The Applicant has requested a waiver from these regulations. They report that the project will not create any line of sight hazards nor will any traffic back out onto West Street. No new curb cuts or driveways are proposed. The Board approves

this waiver request as being consistent with the purpose and intent of the Site Plan Rules and Regulations which will have no significant detriment to the achievement of any of the purposes of Site Plan Review and Approval.

5. **Section 207-12 Parking**

*The Applicant has requested a waiver from these regulations. The switchgear building will be an unmanned facility. There is no need for any additional parking as there will be no employees. Parking for inspection and maintenance personnel will be readily available in the existing paved driveway adjacent to the site. **The Board approves this waiver request as being consistent with the purpose and intent of the Site Plan Rules and Regulations which will have no significant detriment to the achievement of any of the purposes of Site Plan Review and Approval.***

6. **Section 207-13 Loading and Unloading**

*The Applicant has requested a waiver from these regulations. The project does not include construction of any new off-site loading and unloading areas and the associated maneuvering areas. The Applicant has indicated that an existing paved access road (driveway) adjacent to the development site to the south will be used for parking during construction and for inspection personnel once the project is completed. The Board's Consulting Engineer is not opposed to this waiver request. **The Board approves this waiver request as being consistent with the purpose and intent of the Site Plan Rules and Regulations which will have no significant detriment to the achievement of any of the purposes of Site Plan Review and Approval.***

7. **Section 207-16 Utilities**

*The Applicant has requested a waiver from these regulations which require electric lines and equipment to be located underground. Presently, electrical utilities associated with the project are located both above and below ground. Due to the nature of the site as a public utility, this is a situation where some level of above-ground wiring is warranted. **The Board approves this waiver request as being consistent with the purpose and intent of the Site Plan Rules and Regulations which will have no significant detriment to the achievement of any of the purposes of Site Plan Review and Approval.***

8. **Section 207-18 Outdoor Lighting**

The Applicant has requested a waiver from these regulations which require that outdoor lighting comply with Section 7.1.2 Outdoor Lighting of the Zoning Bylaw. The applicant has supplied a substantially compliant photometric plan, however the wall pack lamps rated at more than 2,000 lumens are not fully shielded. The wall pack lights also do not comply with the Medway Design Review Guidelines. Section 7.1.2.G of the Zoning Bylaw authorizes the Board, when performing site plan review, to grant minor relief from the lighting requirements when that relief is in the public interest and will not have a substantially detrimental effect on abutting properties. The Applicant has indicated that the light packs will be manually operated and used only occasionally when testing, emergencies, inspections and maintenance must occur during nighttime hours. The Design Review Guidelines do not include provisions for the type of lighting needed for a public utility. The light spill onto West Street is minimal and West Street in front

of the development site is already highly illuminated by an existing street light at this location. The Board approves this waiver request as being consistent with the purpose and intent of the Site Plan Rules and Regulations which will have no significant detriment to the achievement of any of the purposes of Site Plan Review and Approval.

9. **Section 207-19 Landscaping**

The Applicant has requested a waiver from these regulations. A landscaping plan has not been provided for that portion of the development site which abuts West Street, approximately 110 linear feet. The Applicant has described the existing site conditions as being not conducive to landscaping and has indicated it would not be safe if landscaping was installed. Further, adding landscaping in this area would necessitate relocation of the substation fence and would block the station's sliding gate. The addition of landscaping screening could also obstruct visibility and create a line of sight hazard. During the summer of 2020, as part of another Eversource site plan project, an extensive and attractive landscaping scheme was approved and installed along the corner of West and Beach Streets, southeast of the subject site. This has visually enhanced the site and provided partially screening. The Board approves this waiver request as being consistent with the purpose and intent of the Site Plan Rules and Regulations which will have no significant detriment to the achievement of any of the purposes of Site Plan Review and Approval.

VIII. CONDITIONS The *Special and General Conditions* included in this Decision shall assure that the Board's approval of this site plan is consistent with the *Site Plan Rules and Regulations*, that the comments of various Town boards and public officials have been adequately addressed, and that concerns of abutters and other town residents which were aired during the public review process have been carefully considered

SPECIFIC CONDITIONS OF APPROVAL

- A. **Plan Endorsement** - Within sixty (60) days after the Board has filed its *Decision* with the Town Clerk, the Eversource site plan entitled *Station #65 West Medway, 12 and 34 West Street, Medway, MA* dated January 19, 2021, last revised March 3, 2021 shall be further revised to reflect all Conditions and required plan revisions, including those specified as follows, and submitted to the Planning and Economic Development Board to review for compliance with the Board's *Decision*. (*Said plan is hereinafter referred to as the Plan*). The Permittee shall provide a set of the revised Plan in its final form to the Board for its signature/endorsement. All plan sheets shall be bound together in a complete set.
- B. **Plan Revisions** – Prior to plan endorsement, the following plan revisions shall be made to the March 3, 2021 plan set.
1. The cover sheet shall be revised to specify the Approved Waivers from the *Site Plan Rules and Regulations*.
 2. The signature area on all plan sheets shall be revised to include Decision Date: March 23, 2021 and Plan Endorsement Date: _____.
 3. Any plan revisions that may be required pursuant to an MS4CD permit issued by the Medway Department of Public Works.

- C. **Sidewalk Mitigation** – In lieu of constructing sidewalks and installing curbing along 110 linear feet of the West Street frontage of the development site, the Applicant will make a contribution to the Medway Sidewalk Fund in the amount of \$11,193 as calculated by Tetra Tech, the Board's consulting engineer in its estimate dated March 23, 2021. The funds shall be provided before the Building Department certifies building permit completion for the switchgear building.
- D. **Stormwater Management** – The Applicant has filed an MS4CD permit application with the Medway DPW pertaining to replacement of the existing concrete culvert and continued connection to the Town's stormwater system. As part of that permitting process, the DPW may require the Applicant to undertake additional stormwater best management practices. If such measures result in minor revisions to the site plan, those changes may be incorporated into the final site plan for Board endorsement pursuant to Specific Condition B. 3. herein. If the DPW MS4CD permit requires more substantive stormwater management measures, the provisions of s. 208-4, Modification of Approved Site Plans and Decisions, C. Minor Site Plan Projects of the *Site Plan Rules and Regulations* shall apply. Any such needed plan revisions for stormwater will not prevent the Applicant from proceeding with construction of the switchgear building.
- E. **Mobile Transformer and Mobile Switch** – The site plan shows a location where the Mobile Transformer and Mobile Switch will be positioned. It is understood that Mobile Transformer and Mobile Switch may be repositioned as site circumstances require while the new transformer and associated equipment is installed. The Mobile Transformer and Mobile Switch will be removed from the site within four years after the Board endorses the site plan.
- F. **Testing of Excavate Material** – The Applicant has represented that the project will entail removal of an estimated 2,833 cubic yards of earth material in connection with the installation of the switchgear building and related facilities. Such removal shall be supervised by a Licensed Site Professional (LSP) in accordance with MA DEP regulations and include appropriate testing. Test results of the removed material shall be provided to the Board.

GENERAL CONDITIONS OF APPROVAL

- A. **Fees** - Prior to site plan endorsement by the Planning and Economic Development Board, the Applicant shall pay:
 - 1. the balance of any outstanding plan review fees owed to the Town for review of the site plan by the Town's engineering, planning or other consultants; and
 - 2. any construction inspection fee that may be required by the Planning and Economic Development Board; and
 - 3. any other outstanding expenses or obligations due the Town of Medway pertaining to this property, including real estate and personal property taxes and business licenses.

The Applicant's failure to pay these fees in their entirety shall be reason for the Planning and Economic Development Board to withhold plan endorsement.
- B. **Other Permits** – This permit does not relieve the applicant from its responsibility to obtain, pay and comply with all other required federal, state and Town permits. The

contractor for the applicant or assigns shall obtain, pay and comply with all other required Town permits.

C. ***Restrictions on Construction Activities*** – During construction, all local, state and federal laws shall be followed regarding noise, vibration, dust and blocking of town roads. The applicant and its contractors shall at all times use all reasonable means to minimize inconvenience to abutters and residents in the general area. The following specific restrictions on construction activity shall apply.

1. *Construction Time* - Construction work at the site and the operation of construction equipment including truck/vehicular and machine start-up and movement shall commence no earlier than 7 a.m. and shall cease no later than 6 p.m. Monday – Saturday. No construction shall take place on Sundays or on federal and/or state legal holidays without the advance approval of the Inspector of Buildings.
2. The applicant shall take all measures necessary to ensure that no excessive dust leaves the premises during construction including use of water spray to wet down dusty surfaces.
3. There shall be no tracking of construction materials onto any public way. Daily sweeping of roadways adjacent to the site shall be done to ensure that any loose gravel/dirt is removed from the roadways and does not create hazardous or deleterious conditions for vehicles, pedestrians or abutting residents. In the event construction debris is carried onto a public way, the Applicant shall be responsible for all clean-up of the roadway which shall occur as soon as possible and in any event within twelve (12) hours of its occurrence.
4. The Applicant is responsible for having the contractor clean-up the construction site and the adjacent properties onto which construction debris may fall on a daily basis. All waste products, refuse, debris, and construction materials shall be contained and deposited post construction at an appropriate off-site facility.
5. All erosion and siltation control measures shall be installed by the Applicant prior to the start of construction and observed by the Planning and Economic Development Board's consulting engineer and maintained in good repair throughout the construction period.
6. *Construction Traffic/Parking* – During construction, adequate provisions shall be made on-site for the parking, storing, and stacking of construction materials and vehicles. All parking for construction vehicles and construction related traffic shall be maintained on site. No parking of construction and construction related vehicles shall take place on adjacent public or private ways or interfere with the safe movement of persons and vehicles on adjacent properties or roadways.

D. ***Construction Oversight***

1. Construction Account
 - a) Prior to plan endorsement, the applicant shall establish a construction account with the Planning and Economic Development Board. The funds may be used at the Board's discretion to retain professional outside consultants to inspect the site plan work during construction/installation, until the site work is completed and

determined to be satisfactory, review as-built plans, and advise the Board as it prepares to issue a *Certificate of Site Plan Completion*).

- b) Prior to plan endorsement, the Applicant shall fund the account in an amount to be determined by the Planning and Economic Development Board based on an estimate provided by the Town's Consulting Engineer.
 - c) Any funds remaining in the applicant's construction inspection account after the *Certificate of Site Plan Completion* is issued shall be returned to the applicant.
2. Pre-Construction Meeting – At least seven days prior to the commencement of any site preparation or construction, the Permittee and the site general contractor shall meet with the Board's Consulting Engineer, the Planning and Economic Development Coordinator, the Building Commissioner, Department of Public Works personnel, the Conservation Agent, and other Town staff or Permittee's representatives as may be determined. The Permittee shall request such conference by contacting the Planning and Economic Development office. At or before the pre-construction meeting, the Permittee shall provide the following information:
 - a) A construction management plan as specified in Section 204-3 H of the *Site Plan Rules and Regulations*
 - b) List of contacts and contact information for contractors, on site construction manager, and those responsible for compliance with this permit.
 3. Planning and Economic Development Board members, its staff, consultants or other designated Town agents and staff shall have the right to inspect the site at any time, for compliance with the endorsed site plan and the provisions of this Decision.
 4. The Permittee shall retain its own professional engineer licensed in the Commonwealth of Massachusetts to conduct progress inspections of the construction of the approved site plan improvements. Inspections shall occur at least on a monthly basis. The engineer shall prepare a written report of each inspection and provide a copy to the Planning and Economic Development Board within 5 days of inspection.

E. On-Site Field Changes

1. During construction, the Permittee may be authorized to make limited, minor, on-site field changes to the approved plan based on unforeseen site or job conditions, situations, or emergencies necessitated by field conditions or due to practical considerations. These field changes shall not alter items which may affect the site's compliance with this decision and the *Bylaw* nor conflict with a specific condition of the decision. Field changes shall not substantially alter the intent, layout or design of the endorsed site plan.
2. Prior to undertaking such field changes, the Permittee and/or contractor shall discuss the possible field changes with the Town's consulting engineer and submit a letter and drawings to the Planning and Economic Development Coordinator and the Building Commissioner describing the proposed changes and what conditions, situations, or emergencies necessitate such changes. In accordance with Section 3.5.2.C of the *Bylaw*, the Building Commissioner may determine that the field change is insubstantial, authorize the change, and so notify the Board. Otherwise, the Board

shall review the proposed field change at a public meeting and determine whether the proposed field change is reasonable and acceptable based on the unforeseen conditions, situations, or emergencies and whether other options are feasible or more suitable. The Board will provide a written authorization of field change. Any approved field change shall be reflected in the as-built plan to be provided at project completion.

F. ***Modification of Plan and/or Decision***

1. This site plan approval is subject to all subsequent conditions that may be imposed by other Town departments, boards, agencies or commissions. Any changes to the site plan that may be required by the decisions of other Town boards, agencies or commissions shall be submitted to the Planning and Economic Development Board for review as site plan modifications.
2. Any work that deviates from the approved site plan or this Decision shall be a violation of the *Medway Zoning Bylaw*, unless the Applicant requests approval of a plan modification pursuant to Section 3.5.2.A.3.c. and such approval is provided in writing by the Planning and Economic Development Board.
3. Whenever additional reviews by the Planning and Economic Development Board, its staff or consultants are necessary due to proposed site plan modifications, the Applicant shall be billed and be responsible for all supplemental costs including filing fees, plan review fees and all costs associated with another public review process including legal notice and abutter notification. If the proposed revisions affect only specific limited aspects of the site, the Planning and Economic Development Board may reduce the scope of the required review and waive part of the filing and review fees.

G. ***Compliance with Plan and Decision***

1. The Applicant shall construct all improvements in compliance with the approved and endorsed site plan and this Decision any modifications thereto.
2. The Planning and Economic Development Board or its agent(s) shall use all legal options available to it, including referring any violation to the Building Commissioner/Zoning Enforcement Officer for appropriate enforcement action, to ensure compliance with the foregoing Conditions of Approval.
3. The Conditions of Approval are enforceable under Section 3.1. F. of the *Medway Zoning Bylaw* (non-criminal disposition) and violations or non-compliance are subject to the appropriate fine.

H. ***Performance Security***

1. No building permit completion certification by the Building Department shall be granted until the Planning and Economic Development Board has issued ***Certificate of Site Plan Completion*** OR suitable security/performance guarantee has been provided to the Town of Medway, to the Planning and Economic Development Board's satisfaction, to cover the cost of all remaining work.
2. If performance security is needed, the applicant shall propose a form of performance security which shall be of a source and in a form acceptable to the Planning and Economic Development Board, the Treasurer/Collector and Town Counsel. The Board requires that the performance guarantee be accompanied by an agreement

which shall define the obligations of the developer and the performance guarantee company including:

- a) the date by which the developer shall complete construction
 - b) a statement that the agreement does not expire until released in full by the Planning and Economic Development Board
 - c) procedures for collection upon default.
3. The amount of the performance guarantee shall be equal to 100% of the amount that would be required for the Town of Medway to complete construction of the site infrastructure including installation of stormwater management facilities, utilities, services, parking, pedestrian facilities and all site amenities as specified in the Site Plan that remain unfinished at the time the performance guarantee estimate is prepared if the developer failed to do so.
 4. The security amount shall be approved by the Planning and Economic Development Board based on an estimate provided by the Town's Consulting Engineer based on the latest weighted average bid prices issued by the Mass Highway Department. The estimate shall reflect the cost for the Town to complete the work as a public works project which may necessitate additional engineering, inspection, legal and administrative services, staff time and public bidding procedures. The estimate shall also include the cost to maintain the infrastructure in the event the developer fails to adequately perform such and the cost for the development of as-built plans. In determining the amount, the Board shall be guided by the following formula in setting the sum: estimate of the Town's Consulting Engineer of the cost to complete the work plus a thirty percent contingency.
 5. Final release of performance security is contingent on project completion.

I. ***Project Completion***

1. Site plan approval shall lapse after one (1) year of the grant thereof if substantial use has not commenced except for good cause. Approved site plans shall be completed by the applicant or its assignees within two (2) years of the date of plan endorsement. Upon receipt of a written request by the applicant filed at least thirty (30) days prior to the date of expiration, the Planning and Economic Development Board may grant an extension for good cause. The request shall state the reasons for the extension and also the length of time requested. If no request for extension is filed and approved, the site plan approval shall lapse and may be reestablished only after a new filing, public review process and decision.
2. Prior to issuance of a final occupancy permit, the Applicant shall secure a ***Certificate of Site Plan Completion*** from the Planning and Economic Development Board and provide the ***Certificate*** to the Inspector of Buildings. The ***Certificate*** serves as the Planning and Economic Development Board's confirmation that the completed work conforms to the approved site plan and any conditions and modifications thereto, including the construction of any required on and off-site improvements. The ***Certificate*** also serves to release any security/performance guarantee that has been provided to the Town of Medway. To secure a ***Certificate of Site Plan Completion***, the applicant shall:

- a) provide the Planning and Economic Development Board with written certification from a Professional Engineer registered in the Commonwealth of Massachusetts that all building and site work has been completed in strict compliance with the approved and endorsed site plan, and any modifications thereto; and
 - b) submit an electronic version of an As-Built Plan, prepared by a registered Professional Land Surveyor or Engineer registered in the Commonwealth of Massachusetts, to the Planning and Economic Development Board for its review and approval. The As-Built Plan shall show actual as-built locations and conditions of all buildings and site work shown on the original site plan and any modifications thereto. The final As-Built Plan shall also be provided to the Town in CAD/GIS file format per MASS GIS specifications.
- J. **Construction Standards** - All construction shall be completed in full compliance with all applicable local, state and federal laws, including but not limited to the Americans with Disabilities Act and the regulations of the Massachusetts Architectural Access Board for handicap accessibility.
- K. **Conflicts** – If there is a conflict between the site plan and the Decision’s Conditions of Approval, the Decision shall rule. If there is a conflict between this Decision and/or site plan and the Medway Zoning Bylaw, the Bylaw shall apply.

IX. APPEAL

The Board and the Applicant have complied with all statutory requirements for the issuance of this Decision on the terms set forth herein. A copy of this Decision will be filed with the Medway Town Clerk and mailed to the Permittee, and notice will be mailed to all parties in interest as provided in G.L. c. 40A §15.

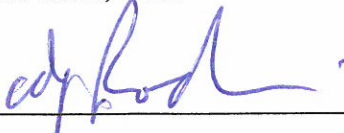
Any person aggrieved by the Site Plan Decision of the Board may appeal to the appropriate court pursuant to Massachusetts General Laws, Chapter 40A, §17, which shall be filed within twenty days after the filing of this decision in the office of the Medway Town Clerk.

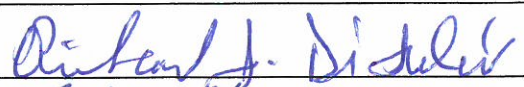
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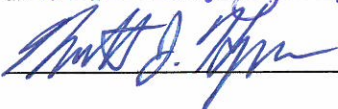
Medway Planning and Economic Development Board
SITE PLAN DECISION
Eversource Energy, 12 & 34 West Street

Approved with Waivers and Conditions by the Medway Planning & Economic Development Board: March 23, 2021

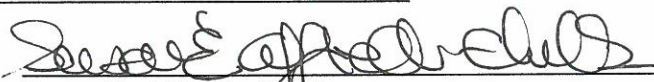
AYE:







ATTEST:


Susan E. Affleck-Childs
Planning & Economic Development Coordinator

March 25, 2021
Date

COPIES TO: Michael Boynton, Town Administrator
David D'Amico, DPS Director
Michael Fasolino, Deputy Fire Chief
Bridget Graziano, Conservation Agent
Donna Greenwood, Assessor
Beth Hallal, Health Agent
Jeff Lynch, Fire Chief
Jack Mee, Building Commissioner
Joanne Russo, Treasurer/Collector
Barbara Saint Andre, Director of Community and Economic Development
Jeff Watson, Police Department Safety Officer
Joshua Lee Smith, Bowditch & Dewey, LLP
Steven Bouley, Tetra Tech

Susan Affleck-Childs

From: Jack Mee
Sent: Friday, April 22, 2022 7:39 AM
To: Susan Affleck-Childs
Subject: RE: Request for approval of field changes for Eversource Substation #65 project in Medway

Susy,

I do not have any concerns with these proposed modifications. The modifications appear to be needed and they comply with our zoning requirements.

Regards,
Jack

From: Susan Affleck-Childs <sachilds@townofmedway.org>
Sent: Thursday, April 21, 2022 4:03 PM
To: Jack Mee <jmee@townofmedway.org>
Subject: FW: Request for approval of field changes for Eversource Substation #65 project in Medway

Hi Jack,

FYI.

I have placed this on the agenda for the 4-26-22 PEDB meeting.

Please advise if you have any concerns regarding the proposed field changes.

Thanks.

Susy

From: Blandino, Jared M [<mailto:jared.blandino@eversource.com>]
Sent: Thursday, April 21, 2022 3:18 PM
To: Susan Affleck-Childs <sachilds@townofmedway.org>
Cc: Joshua Lee Smith <JSMITH@bowditch.com>; Tassabehji, Mohamad <mohamad.tassabehji@eversource.com>; McGilligan, Eamon G <eamon.mcgilligan@eversource.com>; Schlomy, Keren <keren.schlomy@eversource.com>
Subject: Request for approval of field changes for Eversource Substation #65 project in Medway

Good Afternoon Susy,

Hope you are having a good week! I am sending along the request for approval of field changes regarding the Eversource substation #65 project in Medway. Per our recent discussion, please see the attachment for the Planning Board that includes several items for the recommended field change requests. Included in the attachment are an overview/narrative of those changes, copies of plans, including previously approved layout drawing, revised layout showing Field Changes and side-by-side comparison, copy of temporary fencing specs for capacitor bank storage; and the copy of 2021 minor site plan review decision.

Please let our team know if you have any questions and we look forward to working with you and the board on these requests.

Thank you,

Jared

Jared M. Blandino

Community Relations & Economic Development Specialist

EVERSOURCE

247 Station Drive, Westwood, MA 02090 – Walpole AWC

Jared.Blandino@eversource.com | www.eversource.com

Office: (508) 660-5205 | **Cell:** (617) 835-8836

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