

# Site Plans

Issued for	Permitting
Date Issued	01/19/2021
Latest Issue	04/26/2021

## Medway Station #65

12 and 34 West Street  
Medway, MA 02053



### Owner

Exelon West Medway LLC  
P.O. Box 340014  
Nashville, TN 37203

### Applicant

NSTAR Electric Company d/b/a Eversource Energy  
247 Station Drive  
Westwood, MA 02090

Sheet Index			Reference Drawings		
No.	Drawing Title	Latest Issue	No.	Drawing Title	Latest Issue
C-1	Site Context Sheet	April 26, 2021	1	Substation Easement Perimeter Plan by SMC	1/7/2021
C-2	Legend and General Notes	April 26, 2021	1	Existing Conditions and Topographic Survey by SMC	1/7/2021
C-3	Existing Conditions, Sediment & Erosion Control Plan	April 26, 2021	C7329M07	Exterior Elevations prepared by AZZ, Inc.	3/5/2015
C-4	Site Plan	April 26, 2021	C7329M08	Exterior Elevations - End Views prepared by AZZ, Inc.	3/5/2015
C-5	Grading & Drainage Plan	April 26, 2021	PH-001	Photometric Plan prepared by Eversource	3/3/2021
C-6	Site Details	April 26, 2021			
C-7	Mobile Transformer Plan	April 26, 2021			

Approved By:  
Town of Medway Planning and Economic  
Development Board

*[Signature]*  
*[Signature]*  
*[Signature]*

Decision Date: March 23, 2021

Endorsement Date: April 28, 2021

Deed Book, Page: 12521, 109

Assessor's Information: Map 66, Parcels 010 & 012

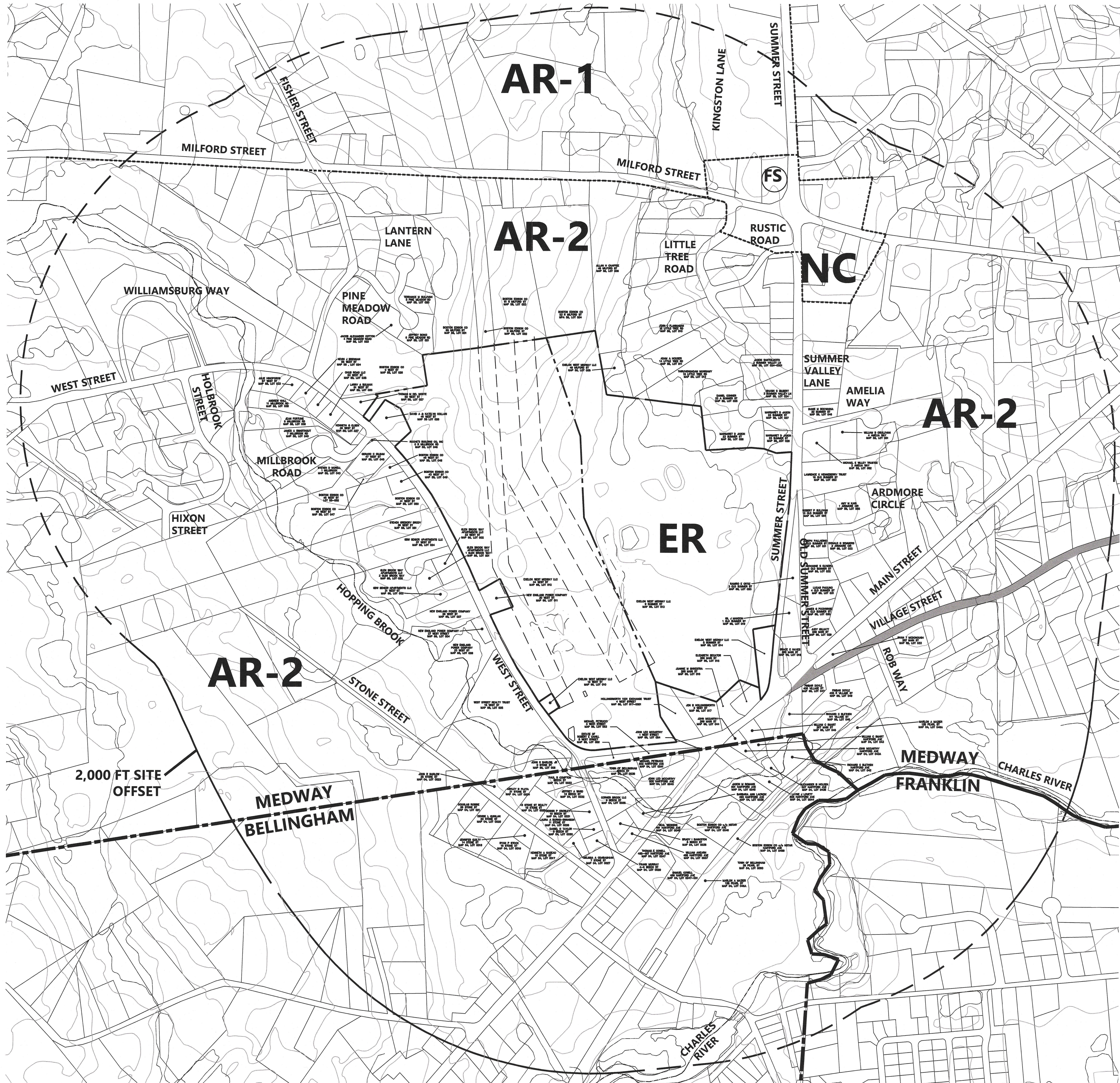
Zoning District: Energy Resources - ER

### Approved Waivers

- SECTION 207-9 PEDESTRIAN & BICYCLE ACCESS AND SIDEWALKS; SECTION 207-10 PAVING; SECTION 207-11 TRAFFIC AND VEHICULAR CIRCULATION; 207-12 PARKING; AND SECTION 207-13 LOADING AND UNLOADING
- SECTION 207-19 LANDSCAPING
- SECTION 207-4 ENERGY EFFICIENCY AND SUSTAINABILITY; SECTION 207-16 UTILITIES; AND SECTION 207-18 OUTDOOR LIGHTING



1 Cedar Street  
Suite 400  
Providence, RI 02903  
401.272.8100

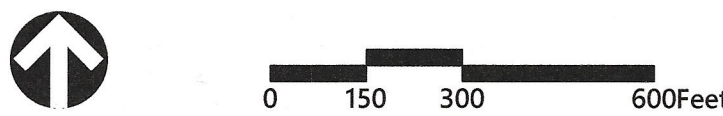


Legend & Abbreviations

	PROPERTY LINE
	300 FOOT RADIUS
	2,000 FOOT RADIUS
	EXISTING CONTOUR
	EASEMENT
	BORDERING VEGETATED WETLAND
	RIVER/STREAM/BROOK
	ZONING LINE
	TOWN LINE
	SCENIC ROAD
	ENERGY RESOURCES
	AGRICULTURAL RESIDENTIAL 1
	AGRICULTURAL RESIDENTIAL 2
	NEIGHBORHOOD COMMERCIAL
	FIRE STATION

GENERAL NOTES:

- THE FOLLOWING INFORMATION DEPICTED HEREIN WAS OBTAINED FROM THE OLIVER MA GIS ONLINE MAPPING TOOL:
  - RIVER CENTERLINE LOCATIONS
  - WETLAND LOCATIONS
  - EXISTING TOPOGRAPHY
  - ASSESSOR PARCELS
  - TOWN BOUNDARY LINES
- SCENIC ROAD INFORMATION WAS OBTAINED FROM THE TOWN OF MEDWAY PLANNING BOARD RULES AND REGULATIONS, CHAPTER 400 - SCENIC ROADS, ADOPTED JULY 16, 2002.
- ZONING BOUNDARIES AND DESCRIPTIONS WERE OBTAINED FROM THE TOWN OF MEDWAY ZONING MAP, LAST UPDATED JANUARY 2, 2020.
- LOT LINE DIMENSIONS AND TOPOGRAPHY AT 2-FOOT INTERVALS ARE NOT DEPICTED HEREIN DUE TO THE SCALE OF THE PLAN.
- MEDWAY ABUTTER INFORMATION DEPICTED HEREIN TAKEN FROM A CERTIFIED ABUTTER'S LIST PREPARED BY THE MEDWAY ASSESSOR'S OFFICE DATED NOVEMBER 17, 2020.
- BELLINGHAM ABUTTER INFORMATION DEPICTED HEREIN TAKEN FROM A CERTIFIED ABUTTER'S LIST PREPARED BY THE BELLINGHAM ASSESSOR'S OFFICE DATED NOVEMBER 19, 2020.



Medway Station #65

12 and 34 West Street  
Medway, MA 02053

No.	Revision	Date	Appvd.
1	Planning Board Comments	03/03/2021	RTL
2	Signature Block Update, Approved Waivers	04/26/2021	RTL

Designed by	RTL	Checked by	RLC
-------------	-----	------------	-----

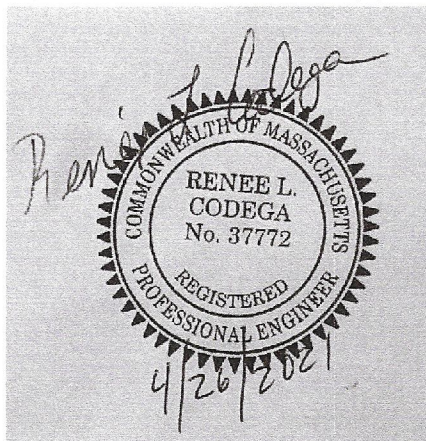
Issued for  
**Permitting**

Date  
January 19, 2021

Not Approved for Construction

Drawing Title  
**Site Context Sheet**

Drawing Number



C-1

Sheet  
1 of 7

Project Number  
73139.01

Decision Date: March 23, 2021

Endorsement Date: April 28, 2021

Approved By:  
Town of Medway Planning and Economic  
Development Board

*[Signature]*  
*[Signature]*  
*[Signature]*





Providence, RI 02903  
401.272.8100

Exist.	Prop.		Exist.	Prop.	
		PROPERTY LINE			CONCRETE
		PROJECT LIMIT LINE			HEAVY DUTY PAVEMENT
		RIGHT-OF-WAY/PROPERTY LINE			BUILDINGS
		EASEMENT			RIPRAP
		BUILDING SETBACK			CONSTRUCTION EXIT
		PARKING SETBACK			TOP OF CURB ELEVATION
		BASELINE			BOTTOM OF CURB ELEVATION
		CONSTRUCTION LAYOUT			SPOT ELEVATION
		ZONING LINE			TOP & BOTTOM OF WALL ELEVATION
		TOWN LINE			BORING LOCATION
		LIMIT OF DISTURBANCE			TEST PIT LOCATION
		WETLAND LINE WITH FLAG			MONITORING WELL
		FLOODPLAIN			UNDERDRAIN
		BORDERING LAND SUBJECT TO FLOODING			DRAIN
		WETLAND BUFFER ZONE			ROOF DRAIN
		NO DISTURB ZONE			SEWER
		200' RIVERFRONT AREA			FORCE MAIN
		GRAVEL ROAD			OVERHEAD WIRE
		EDGE OF PAVEMENT			WATER
		BITUMINOUS BERM			FIRE PROTECTION
		BITUMINOUS CURB			DOMESTIC WATER
		CONCRETE CURB			GAS
		CURB AND GUTTER			ELECTRIC
		EXTRUDED CONCRETE CURB			STEAM
		MONOLITHIC CONCRETE CURB			TELEPHONE
		PRECAST CONC. CURB			FIRE ALARM
		SLOPED GRAN. EDGING			CABLE TV
		VERT. GRAN. CURB			CATCH BASIN CONCENTRIC
		LIMIT OF CURB TYPE			CATCH BASIN ECCENTRIC
		SAWCUT			DOUBLE CATCH BASIN CONCENTRIC
		BUILDING			DOUBLE CATCH BASIN ECCENTRIC
		BUILDING ENTRANCE			GUTTER INLET
		LOADING DOCK			DRAIN MANHOLE CONCENTRIC
		BOLLARD			DRAIN MANHOLE ECCENTRIC
		DUMPSTER PAD			TRENCH DRAIN
		SIGN			PLUG OR CAP
		DOUBLE SIGN			CLEANOUT
		STEEL GUARDRAIL			FLARED END SECTION
		WOOD GUARDRAIL			HEADWALL
		PATH			SEWER MANHOLE CONCENTRIC
		TREE LINE			SEWER MANHOLE ECCENTRIC
		WIRE FENCE			CURB STOP & BOX
		FENCE			WATER VALVE & BOX
		STOCKADE FENCE			TAPPING SLEEVE, VALVE & BOX
		STONE WALL			SIAMESE CONNECTION
		RETAINING WALL			FIRE HYDRANT
		STREAM / POND / WATER COURSE			WATER METER
		DETENTION BASIN			POST INDICATOR VALVE
		HAY BALES			WATER WELL
		SILT FENCE			GAS GATE
		SILT SOCK / STRAW WATTLE			GAS METER
		MINOR CONTOUR			ELECTRIC MANHOLE
		MAJOR CONTOUR			ELECTRIC METER
		PARKING COUNT			LIGHT POLE
		COMPACT PARKING STALLS			TELEPHONE MANHOLE
		DOUBLE YELLOW LINE			TRANSFORMER PAD
		STOP LINE			UTILITY POLE

General	
ABAN	ABANDON
ACR	ACCESSIBLE CURB RAMP
ADJ	ADJUST
APPROX	APPROXIMATE
BIT	BITUMINOUS
BS	BOTTOM OF SLOPE
BWLL	BROKEN WHITE LANE LINE
CONC	CONCRETE
DYCL	DOUBLE YELLOW CENTER LINE
EL	ELEVATION
ELEV	ELEVATION
EX	EXISTING
FDN	FOUNDATION
FFE	FIRST FLOOR ELEVATION
GRAN	GRANITE
GTD	GRADE TO DRAIN
LA	LANDSCAPE AREA
LOD	LIMIT OF DISTURBANCE
MAX	MAXIMUM
MIN	MINIMUM
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
PERF	PERFORATED
PROP	PROPOSED
REM	REMOVE
RET	RETAIN
R&D	REMOVE AND DISPOSE
R&R	REMOVE AND RESET
SWEL	SOLID WHITE EDGE LINE
SWLL	SOLID WHITE LANE LINE
TS	TOP OF SLOPE
TYP	TYPICAL
Utility	
CB	CATCH BASIN
CMP	CORRUGATED METAL PIPE
CO	CLEANOUT
DCB	DOUBLE CATCH BASIN
DMH	DRAIN MANHOLE
CIP	CAST IRON PIPE
COND	CONDUIT
DIP	DUCTILE IRON PIPE
FES	FLARED END SECTION
FM	FORCE MAIN
F&G	FRAME AND GRATE
F&C	FRAME AND COVER
GI	GUTTER INLET
GT	GREASE TRAP
HDPE	HIGH DENSITY POLYETHYLENE PIPE
HH	HANDHOLE
HW	HEADWALL
HYD	HYDRANT
INV	INVERT ELEVATION
I=	INVERT ELEVATION
LP	LIGHT POLE
MES	METAL END SECTION
PIV	POST INDICATOR VALVE
PWW	PAVED WATER WAY
PVC	POLYVINYLCHLORIDE PIPE
RCP	REINFORCED CONCRETE PIPE
R=	RIM ELEVATION
RIM=	RIM ELEVATION
SMH	SEWER MANHOLE
TSV	TAPPING SLEEVE, VALVE AND BOX
UG	UNDERGROUND
UP	UTILITY POLE

[illegible]

Development Board

Frank B. Johnson  
Thomas. J. Jay

Endorsement Date: April 26, 2021



**C-2**

Sheet 2 of 7

Project Number  
**73139.01**

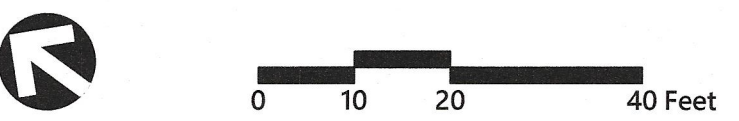




1 Cedar Street  
Suite 400  
Providence, RI 02903  
401.272.8100



**Key**  
Scale: 1" = 1,000'



## Medway Station #65

12 and 34 West Street  
Medway, MA 02053

No.	Revision	Date	Appvd.
1	Planning Board Comments	03/03/2021	RTL
2	Signature Block Update, Approved Waivers	04/26/2021	RTL

Designed by: **RTL** Checked by: **RLC**  
Issued for: **Permitting** Date: **January 19, 2021**

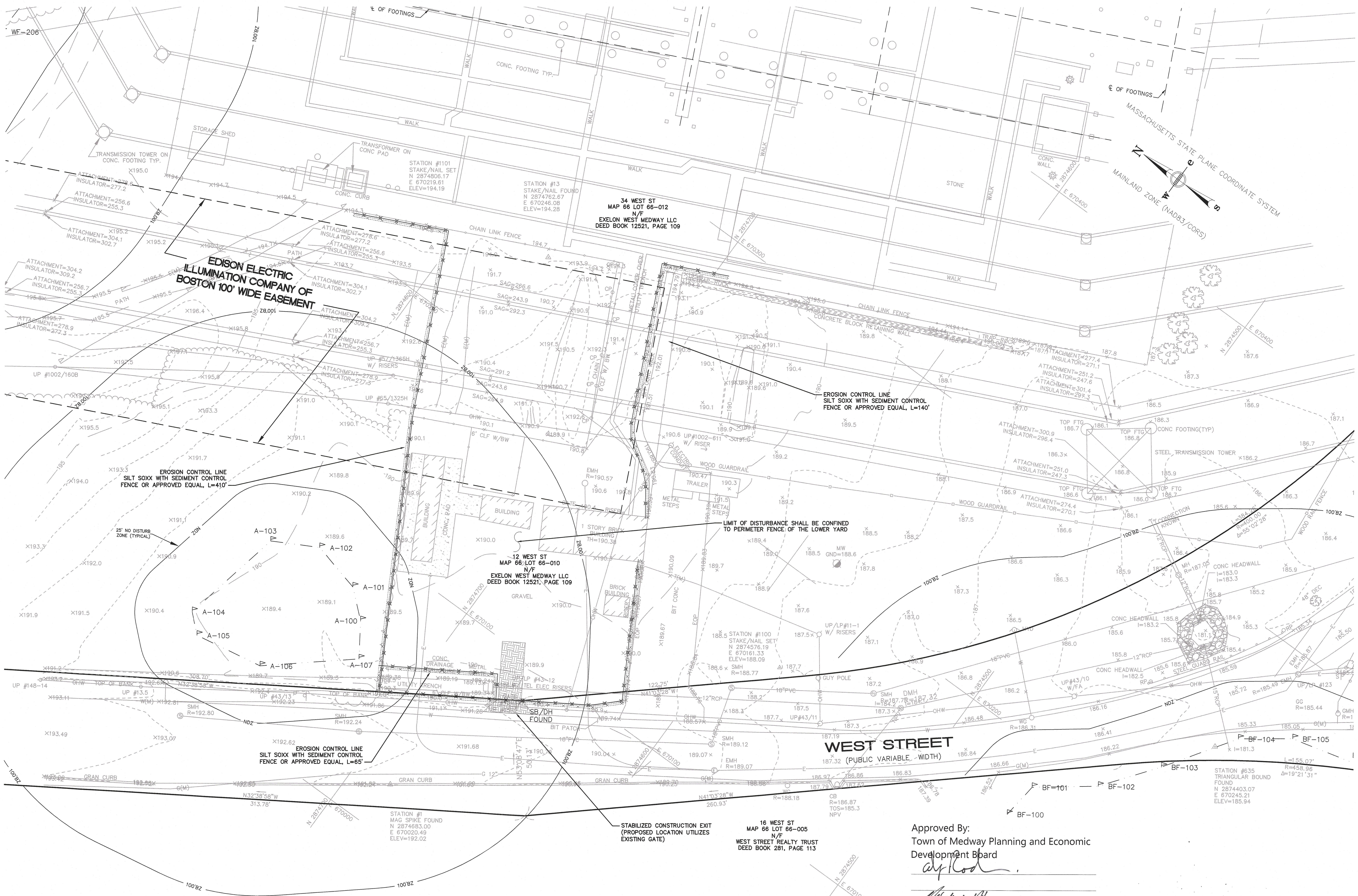
Not Approved for Construction  
Drawing Title: **Existing Conditions, Erosion & Sediment Control Plan**

Drawing Number

**C-3**

Sheet **3** of **7**

Project Number  
**73139.01**



Approved By:  
Town of Medway Planning and Economic  
Development Board

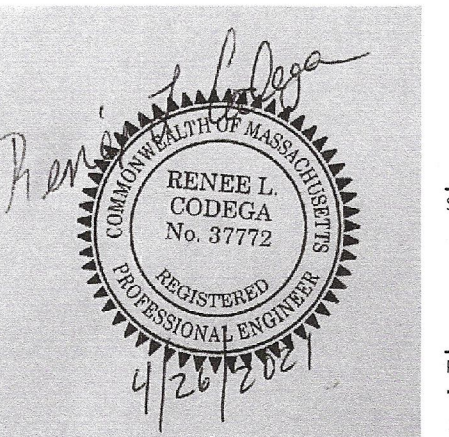
*[Signature]*  
*[Signature]*

Decision Date: March 23, 2021

Endorsement Date: *April 26, 2021*

### GENERAL NOTES:

1. REFER TO SUBSTATION EASEMENT PERIMETER PLAN PREPARED BY SMC, INC. LAST REVISED JANUARY 7, 2021 AND EXISTING CONDITIONS AND TOPOGRAPHIC SURVEY PLAN PREPARED BY SMC, INC. LAST REVISED JANUARY 7, 2021 FOR ALL EXISTING CONDITIONS, PROPERTY LINE, EASEMENT, AND ABUTTER INFORMATION AND SOURCE NOTES.







### Zoning Summary Chart

Zoning District(S):	Energy Resources - ER	
Overlay District(S):	n/a	
Zoning Regulation Requirements	Required*	Provided
MINIMUM LOT AREA	20,000 SF	4,092,852 SF
FRONTAGE	150.0 Feet	2,619.08 Feet
FRONT YARD SETBACK	30 Feet	30.17 Feet
SIDE YARD SETBACK	20 Feet	+/- 647 Feet
REAR YARD SETBACK	30 Feet	+/- 637 Feet
MAXIMUM BUILDING HEIGHT	40 Feet	12 Feet 2-3/4 Inches
MAXIMUM IMPERVIOUS	80.0 %	< 1.0 %
MINIMUM OPEN SPACE	20.0 %	> 95.0 %
MINIMUM REQUIRED PARKING SPACES	1 per 1,000 SF	None **

\* Zoning regulation requirements as specified in the Town of Medway Zoning Bylaw, as amended November 18, 2019, and published January 6, 2020.

\*\* Facility is unmaned therefore no parking is proposed and/or required within the permit fence of the yard, which eliminates the need for additional impervious pavement. The paved area immediately southeast of the substation may be utilized for parking when necessary.

Approved By:  
Town of Medway Planning and Economic  
Development Board

*[Signature]*  
*[Signature]*

Decision Date: March 23, 2021

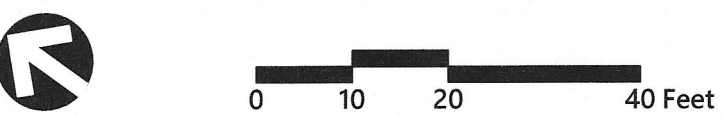
Endorsement Date: April 28, 2021

#### GENERAL NOTES:

- REFER TO ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR DIMENSIONAL MATERIAL, AND INSTALLATION REQUIREMENTS FOR ALL PROPOSED ELECTRICAL EQUIPMENT INCLUDING BUT NOT LIMITED TO SWITCHGEAR BUILDING, FOUNDATIONS, CABLE TRAYS, DUCT BANKS, ELECTRICAL MANHOLES, AND DIRECT BURIED CABLES.
- ELECTRICAL EQUIPMENT DEPICTED HEREIN IS FOR INFORMATIONAL PURPOSES ONLY.
- SIZED AND TYPE OF CRUSHED STONE YARD MATERIAL SHALL BE PER EVERSOURCE SPECIFICATIONS.



**Key**  
SCALE: 1" = 1,000'



### Medway Station #65

12 and 34 West Street  
Medway, MA 02053

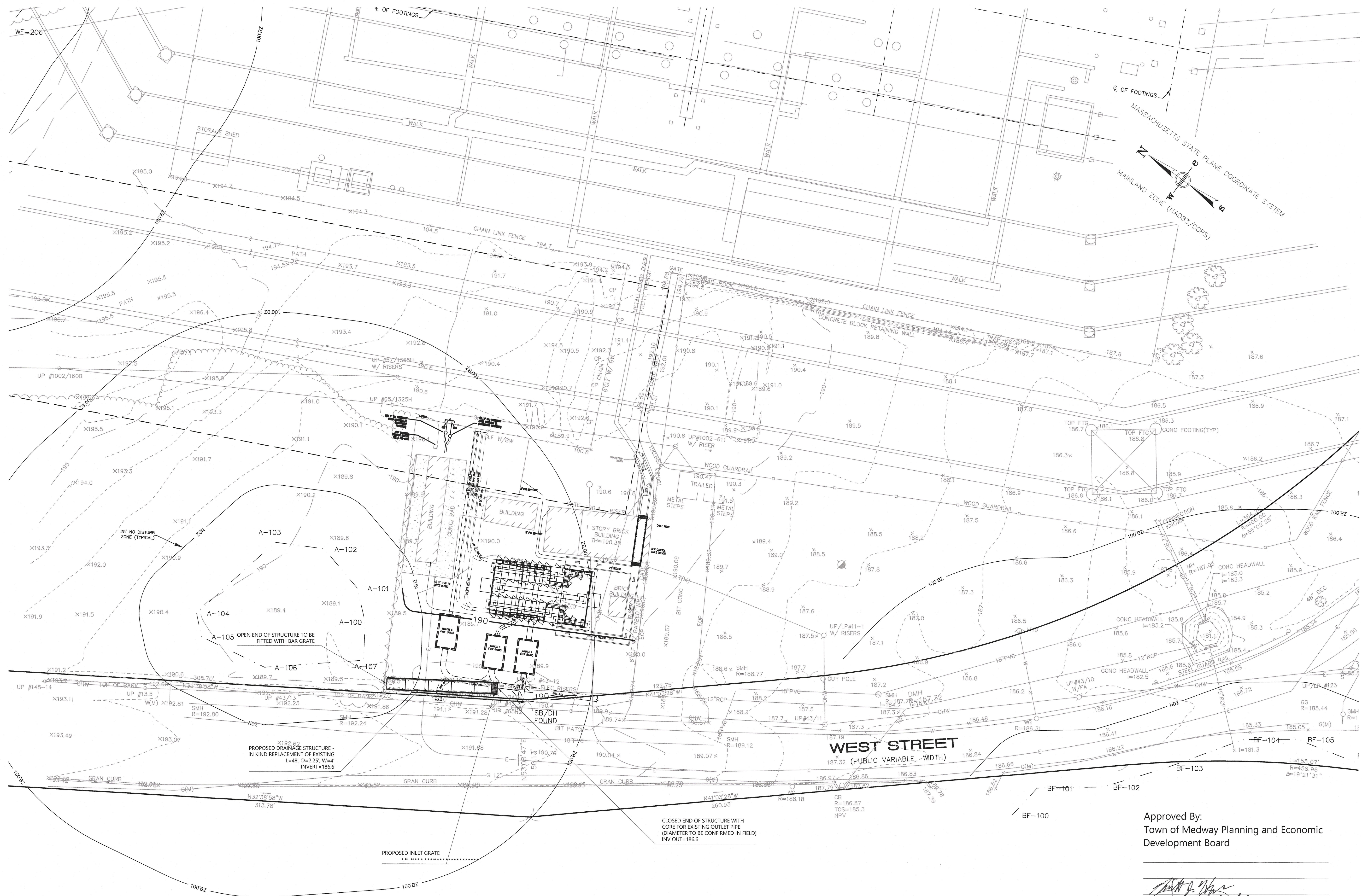
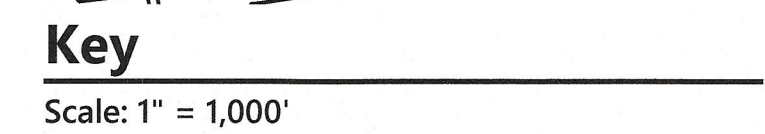
No.	Revision	Date	Appr'd.
1	Planning Board Comments	03/03/2021	RTL
2	Signature Block Update, Approved Waivers	04/26/2021	RTL

Designed by: \_\_\_\_\_  
Checked by: \_\_\_\_\_  
Issued for: \_\_\_\_\_  
Date: \_\_\_\_\_  
Permitting  
January 19, 2021

Not Approved for Construction

Layout and  
Materials Plan





## Medway Station #65

12 and 34 West Street  
Medway, MA 02053

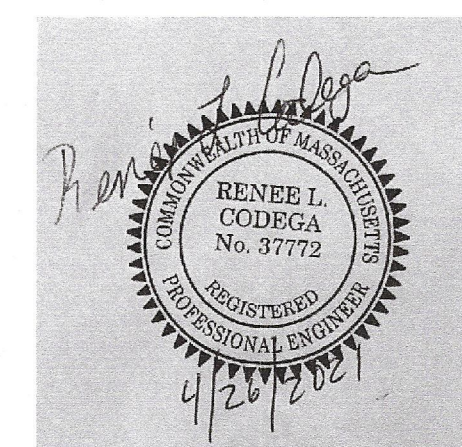
No.	Revision	Date	Appvd.
1	Planning Board Comments	03/03/2021	RTL
2	Signature Block Update, Approved Waivers	04/26/2021	RTL

Designed by	RTL	Checked by	RLC
Issued for		Date	

Permitting January 19, 2021

Not Approved for Construction

Grading and  
Drainage Plan



C-5

Sheet 5 of 7

Project Number  
**73139.01**

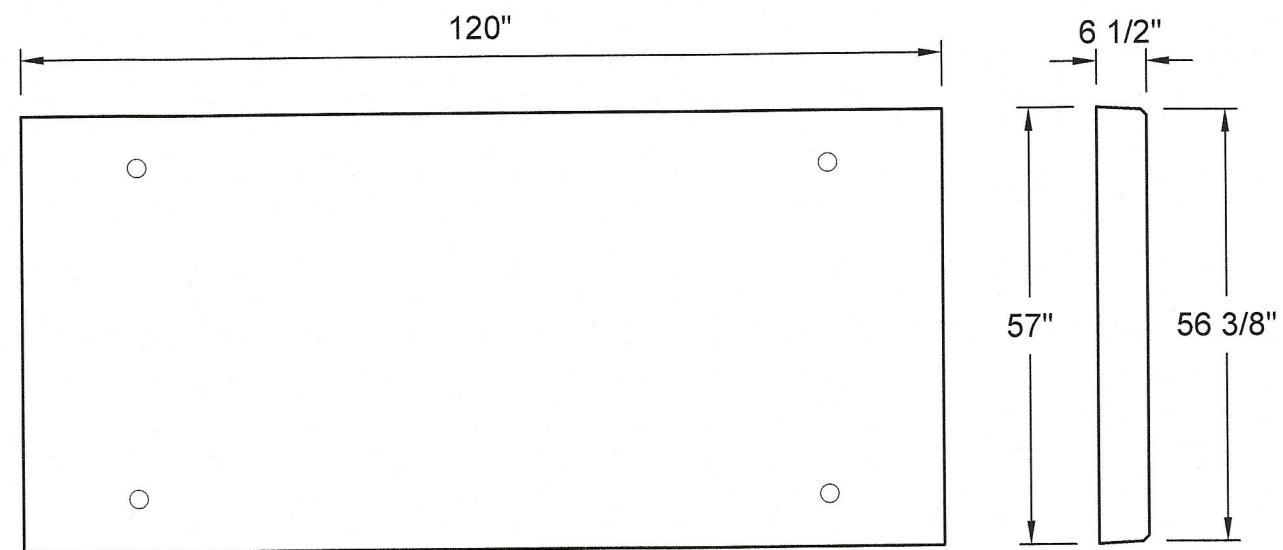
Approved By:  
Town of Medway Planning and Economic  
Development Board

Stewart Jay

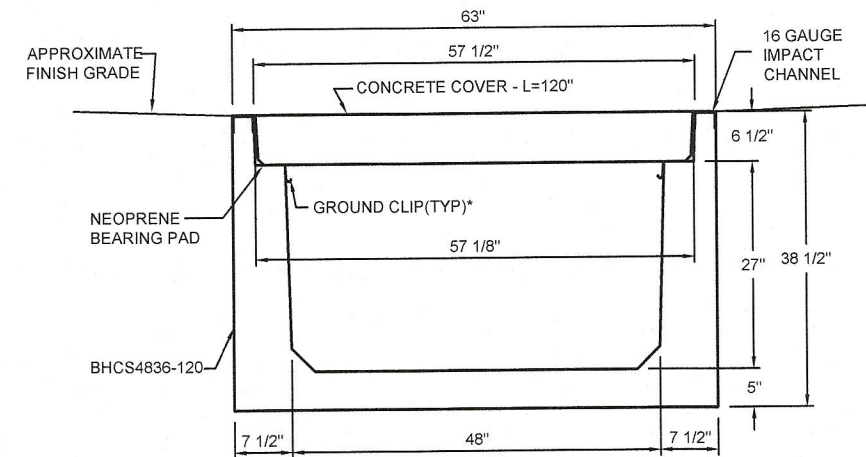
Decision Date: March 23, 2021

Endorsement Date: April 28, 2021





PRECAST CONCRETE COVER

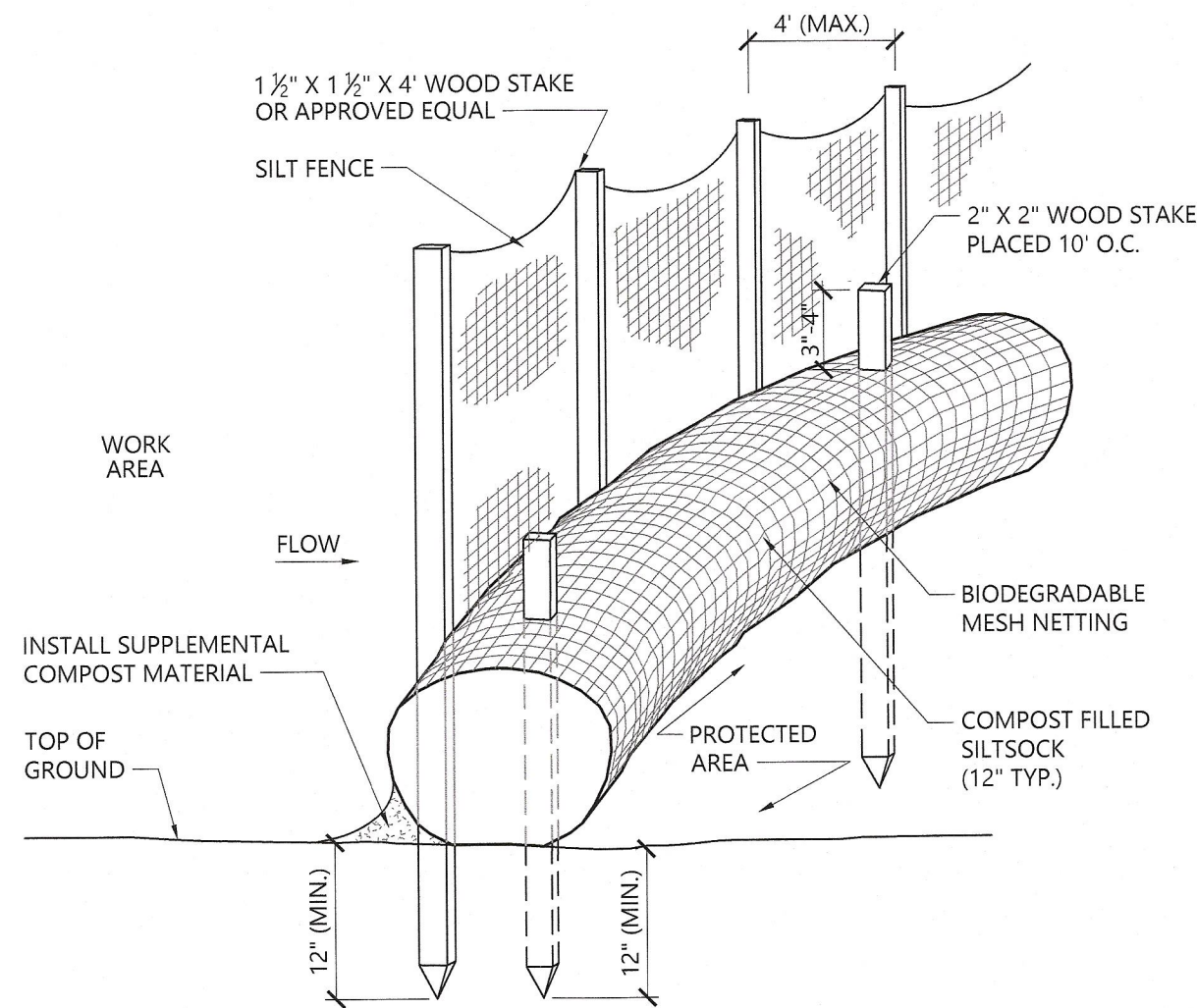


TYPICAL SECTION - 48"W X 27"D

Approved By:  
Town of Medway Planning and Economic  
Development Board  
*[Signature]*

Decision Date: March 23, 2021

Endorsement Date: \_\_\_\_\_

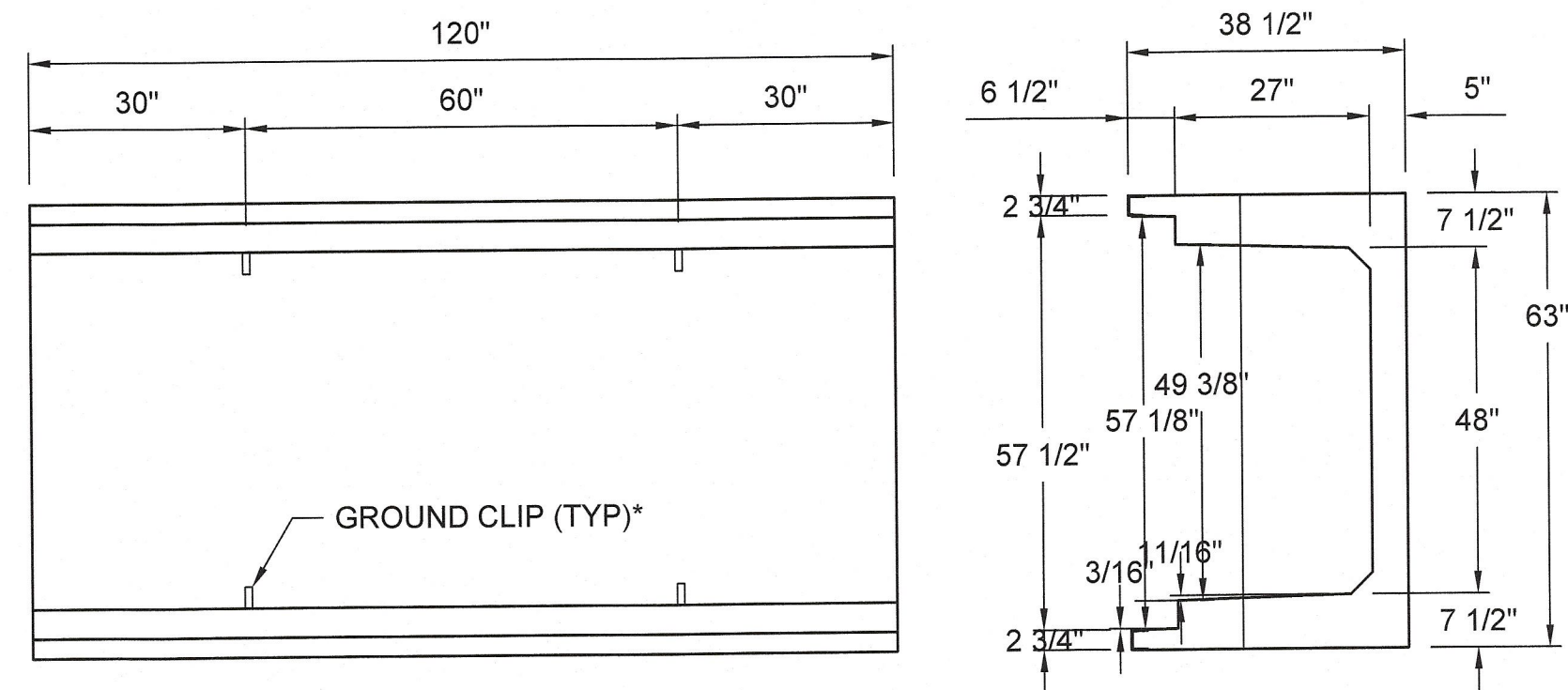


NOTES

- SILT SOCK SHALL BE FILTREXX SILT SOCK, OR APPROVED EQUAL.
- SILT SOCKS SHALL OVERLAP A MINIMUM OF 12 INCHES.
- SILT SOCK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS, AND REPAIR OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED.
- COMPOST MATERIAL SHALL BE DISPERSED ON SITE, AS DETERMINED BY THE ENGINEER.
- IF NON BIODEGRADABLE NETTING IS USED THE NETTING SHALL BE COLLECTED AND DISPOSED OF OFF SITE.

Siltsock / Silt Fence Barrier

N.T.S. Source: VHB LD\_658-A 1/16

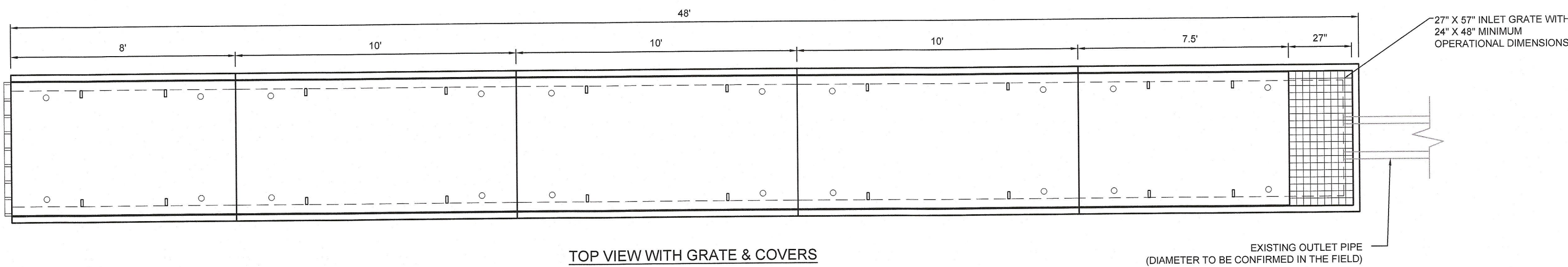


48"W X 27"D X 120"L TOP & SIDE VIEWS

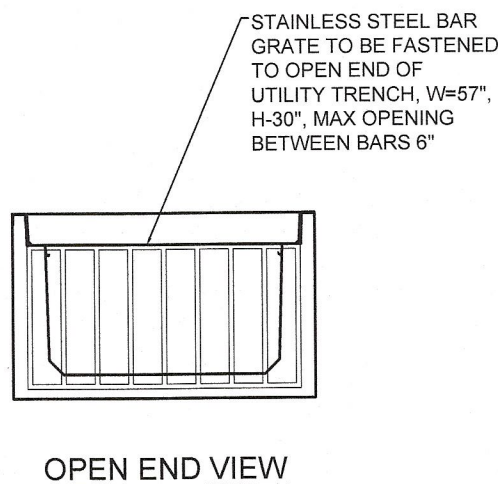
Utility Trench Section & Cover Detail

N.T.S. Source: VHB

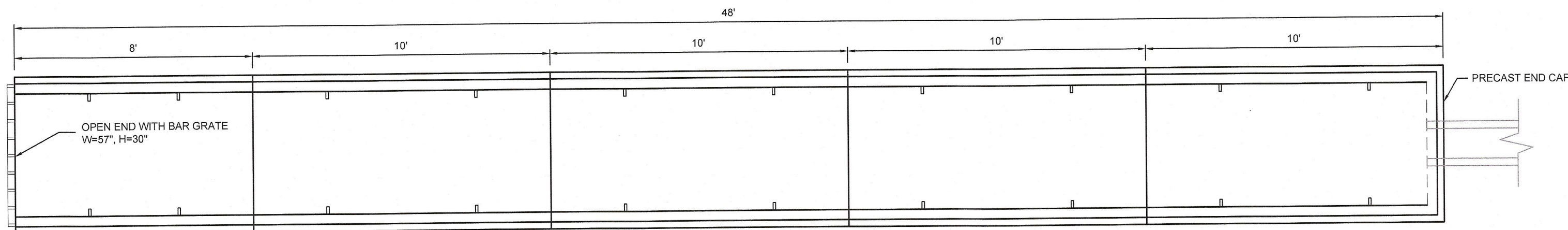
9/20



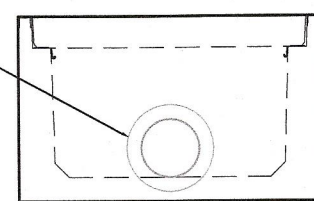
TOP VIEW WITH GRATE & COVERS



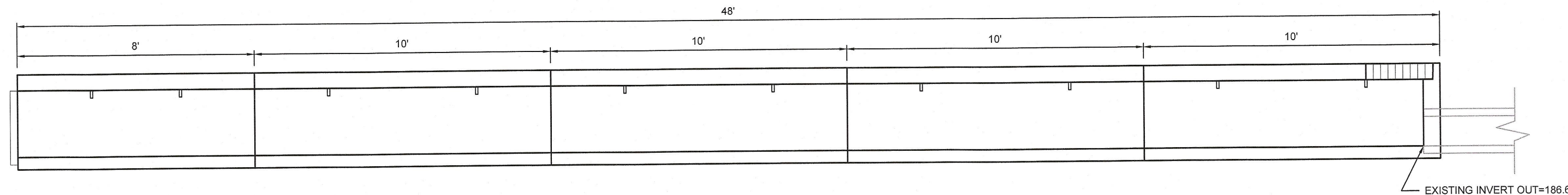
OPEN END VIEW



TOP VIEW



CLOSED END VIEW

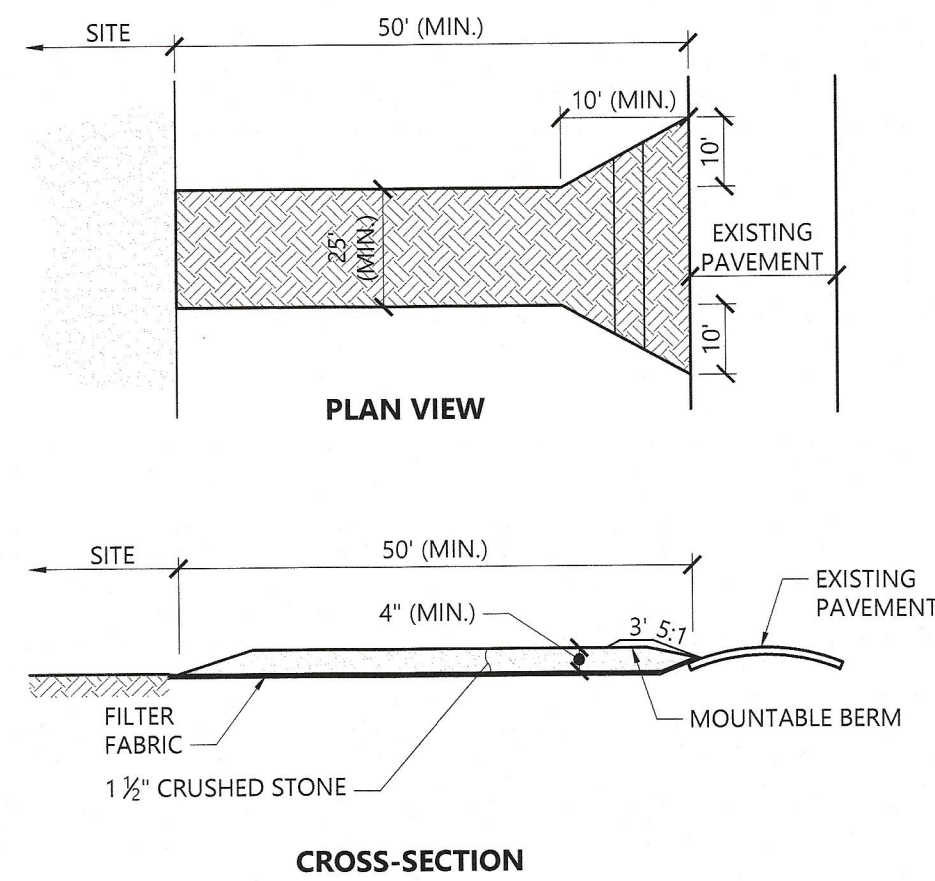


SIDE VIEW

Utility Trench Detail

N.T.S. Source: VHB

9/20



NOTES

- EXIT WIDTH SHALL BE A TWENTY-FIVE (25) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
- THE EXIT SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. BERM SHALL BE PERMITTED. PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AS NEEDED.
- STABILIZED CONSTRUCTION EXIT SHALL BE REMOVED PRIOR TO FINAL FINISH MATERIALS BEING INSTALLED.

Stabilized Construction Exit

N.T.S. Source: VHB REV LD\_682 1/16



Medway Station #65

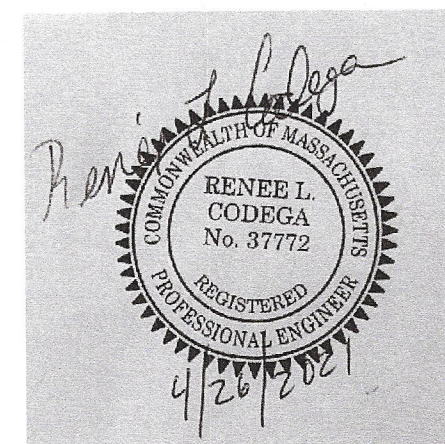
12 and 34 West Street  
Medway, MA 02053

No.	Revision	Date	Apprv.
1	Planning Board Comments	03/03/2021	RTL
2	Signature Block Update, Approved Waivers	04/26/2021	RTL

Designed by: RTL  
Checked by: RLC  
Issued for: Permitting  
Date: January 19, 2021

Not Approved for Construction

Site Details



C-6

Sheet 6 of 7

Project Number  
73139.01





**Medway Station #65**  
12 and 34 West Street  
Medway, MA 02053

at Kool:  
~~John~~ & Mrs  
 Thomas P. Jay

Decision Date: March 23, 2021

Endorsement Date: \_\_\_\_\_

795 KCMIL ACSR OR EQUIVALENT

5'-6"

(1) 2000 KCM EPR/Ø

COMM. OF HEALTH OF MASS. CERT. ST.  
 RENE E. L. CODEGA  
 No. 37772  
 REGISTERED  
 PROFESSIONAL ENGINEER  
 4/26/2021

Sheet 7 of 7

Project Number  
73139.01



MEDWAY ABUTTERS WITHIN 300 FEET				
MAP-LOT	ADDRESS	RECORD OWNER	DEED BOOK	PAGE
55-009	66 WEST ST	MAH REAL ESTATE LLC	35477	88
55-010	60 WEST ST	COLACE ANGELO	12314	240
55-011	0 FISHER ST	BOSTON EDISON CO	4376	37
55-012	66 R WEST ST	BOSTON EDISON CO	4273	120
55-013	9 FISHER ST	BOSTON EDISON CO	1786	417
55-015	11 FISHER ST	LONG GERALDINE C & BRUCE C TT	22728	358
55-020	5 PINE MEADOW RD	SULLIVAN TERRANCE M	34114	457
55-021	6 PINE MEADOW RD	BONCI JEFFREY	35842	142
55-022	4 PINE MEADOW RD	COTTON ALEXANDER JACOB	33215	346
55-023	2 PINE MEADOW RD	REED ALLISON	33048	574
55-024	8 FISHER ST	HAGEN TRUSTEE PATRICIA M	32755	228
55-026	0 WEST ST	BOSTON EDISON CO	4258	231
55-027	50 WEST ST	DEL MONTE THOMAS M	1227	133
55-028	46 WEST ST	DINKEL TRUSTEE MARIANNE P	1400	666
55-032	59 WEST ST	CENEDELLA PETER F.	8082	399
55-033	57 WEST ST	HINOPOROS JULIE	36439	246
55-034	55 WEST ST	BRENNAN KEVIN J	789	130
55-035	53 WEST ST	CAHILL RUTH E. (MILLER)	5284	130
55-036	51 WEST ST	BULMAN LARRY A	4954	512
55-037	49 WEST ST	OLSEN KENNETH G.	8717	729
55-038	11 MILLBROOK RD	VIALL ANDREW	34271	343
55-039	9 MILLBROOK RD	FORTUNE JEAN	22445	263
55-040	7 MILLBROOK RD	SWARTHOUT JAMES A.	10473	346
55-045	47 WEST ST	GILMAN GERARD C	8050	270
55-046	0 R MILLBROOK RD	ROCHE'S BUILDING CO., INC.	9710	366
55-048	45 WEST ST	BOSTON EDISON CO	4521	30
55-049	43 WEST ST	BOSTON EDISON CO	4429	705
55-050	41 WEST ST	BOSTON EDISON CO	4404	229
55-051	39 WEST ST	BERNARDO MEGHAN E	29684	215
56-001	65 MILFORD ST	BOSTON EDISON CO	4355	587
56-002	0 MILFORD ST	BOSTON EDISON CO	1391	423
56-003	61 R MILFORD ST	BOSTON EDISON CO	4355	587
56-004	53 R MILFORD ST	BOSTON EDISON CO	4355	587
56-005	49 MILFORD ST	EXELON WEST MEDWAY LLC	12521	109
56-006	49 MILFORD ST	CHAFFEE ALLAN H	10210	268
56-009	10 LITTLE TREE RD	MATHEW MANOJ V	32495	263
56-010	12 LITTLE TREE RD	FLANNAGAN JOHN J	27352	402
56-011	14 LITTLE TREE RD	HOUSER ADAM A	31597	210
56-012	16 LITTLE TREE RD	MUNISAMY THIRUVENGADAM	33100	403
56-024	3 SUMMER VALLEY LN	GILBERT SHAWN S	32484	72
56-025	23 A SUMMER ST	CONNOR DANIEL	32274	581
56-026	23 B SUMMER ST	JASON VICTOR E	11742	4
56-027	23 SUMMER ST	JASON MARGARET D & SUCCESSORS	23182	368
56-028	21 SUMMER ST	JASON KEVIN E	23122	500
56-052	2 AMELIA WAY	WILLEY MICHAEL E	23821	291
56-053	16 OLD SUMMER ST	HENNEBERRY LAWRENCE K TRST	21510	3
65-024	37 WEST ST	GBW SENIOR APARTMENTS LLC	36330	149
65-026	3 GLEN BROOK WAY	GLEN BROOK WAY APARTMENTS LLC	35437	61
65-027	29 WEST ST	NEW ENGLAND POWER COMPANY	4380	368
65-028	23 WEST ST	NEW ENGLAND POWER COMPANY	4454	689
66-001	1 GLEN BROOK WAY	GLEN BROOK WAY APARTMENTS LLC	35437	61
66-002	33 WEST ST	GLEN BROOK WAY APARTMENTS LLC	35270	532
66-003	31 WEST ST	GBW SENIOR APARTMENTS LLC	36269	207
66-004	27 WEST ST	NEW ENGLAND POWER COMPANY	3781	44
66-005	15 WEST ST	WEST STREET REALTY TRUST	281	113
66-006	0 STONE ST	BARLOW JR JOHN R	29412	289
66-010	12 WEST ST	EXELON WEST MEDWAY LLC	12521	109
66-011	30 WEST ST	NEW ENGLAND POWER COMPANY	4390	243
66-012	34 WEST ST	EXELON WEST MEDWAY LLC	12521	109
66-013	9 SUMMER ST	EXELON WEST MEDWAY LLC	12521	109
66-014	5 SUMMER ST	EXELON WEST MEDWAY LLC	35175	384
66-015	266 MAIN ST	SECATOR ELIZABETH	32871	450
66-016	268 MAIN ST	SHRESTHA JOANNE M	34822	506
66-017	2 WEST ST	HOLLINGSWORTH JON B	1348	301
66-017-0001	4 WEST ST	HOLLINGSWORTH 1031 EXCHANGE TRUST	1348	301
66-018	260 MAIN ST	LOPES MARIA E	16560	546
66-019	1 OLD SUMMER ST	MANZON GIL J	30179	435
66-020	3 OLD SUMMER ST	ORTIZ RAMIRO E	34261	62
66-044	269 MAIN ST	MCCARTHY JOHN	26018	400
66-045	267 MAIN ST	DESMARIS DANIEL R	8656	66
66-046	411 VILLAGE ST	BLETHEN RICHARD C	5489	297
66-052	5 WEST ST	CAHILL, ESTATE OF ROBERT E	2524	575
66-053	3 WEST ST	PETRUCCHI MICHAEL	33566	476

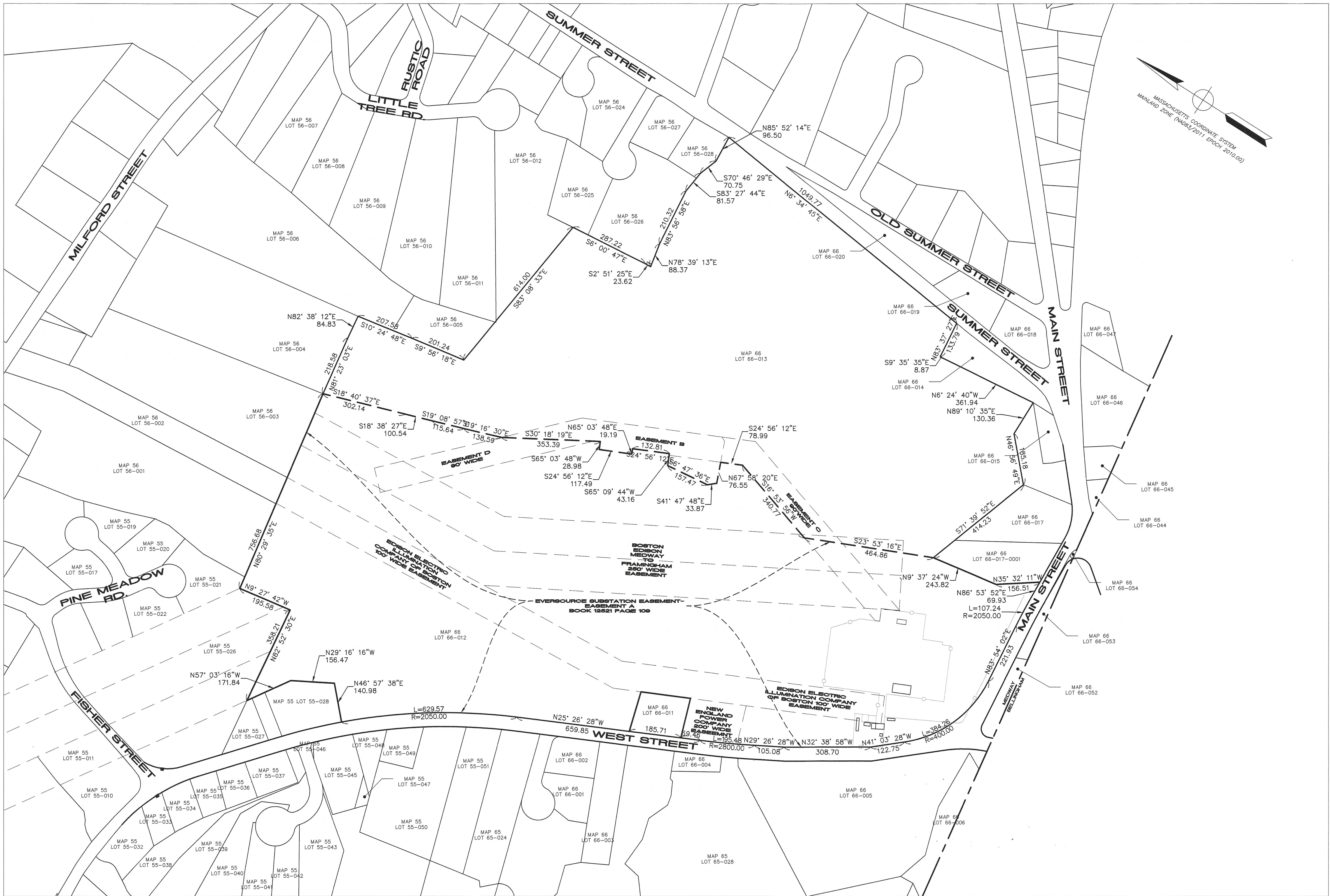
#### RECORD OWNER

EXELON WEST MEDWAY LLC, 34 WEST STREET, 5 SUMMER STREET  
AND 9 SUMMER STREET

325 WOOD ROAD  
SUITE 109  
BRAintree MA 02184  
(781)380-7766  
FAX (781)380-7757

**SMC** SURVEYING AND MAPPING CONSULTANTS

SMC PROJECT NO. 2000142.00

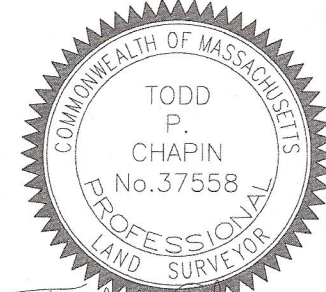


#### REFERENCES

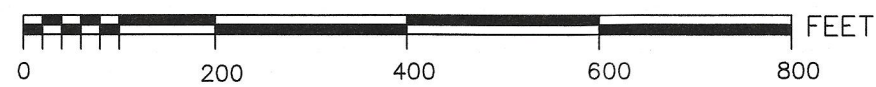
- PLAN SHOWING THE RELOCATION AND WIDENING OF WEST STREET, MEDWAY DATED JULY 2, 1929 SCALE 1"=40'
- PLAN SHOWING THE RELOCATION AND WIDENING OF WEST STREET, MEDWAY DATED SEPTEMBER 28, 1937 SCALE 1"=40'
- CONVEYANCING PLAN OF LAND SUMMER STREET MEDWAY, MA. PREPARED BY BEALS AND THOMAS, INC. DATED MAY 11, 1998
- ALTA/ACSM LAND TITLE SURVEY SUMMER STREET MEDWAY, MA. PREPARED BY BEALS AND THOMAS, INC. DATED JULY 21, 1996
- EXISTING CONDITIONS SURVEY STATION 65 WEST MEDWAY, MA PREPARED BY SMC DATED SEPTEMBER 8, 2011
- EXISTING CONDITIONS SURVEY STATION 65 WEST MEDWAY, MA PREPARED BY SMC DATED OCTOBER 24, 2017

#### NOTES

- COORDINATES, IN U.S. SURVEY FEET, ARE REFERENCED TO THE NORTH AMERICAN DATUM OF 1983, AS DETERMINED USING THE KeyNetGPS VIRTUAL REFERENCE SYSTEM (VRS).
- FOR ABUTTERS INFORMATION, SEE TABLE "MEDWAY ASSESSORS."



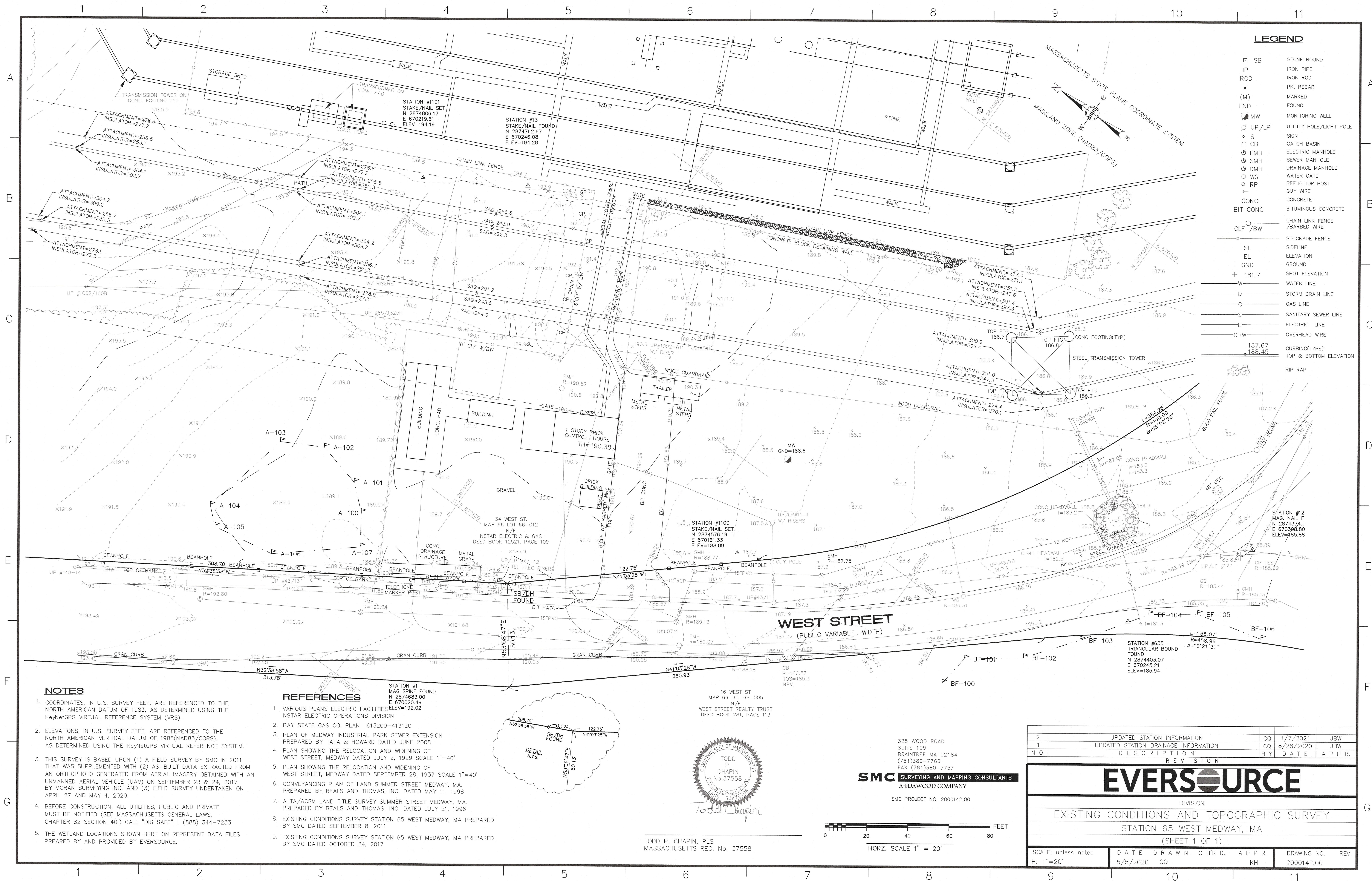
TODD P. CHAPIN, PLS  
MASSACHUSETTS REG. NO. 37558



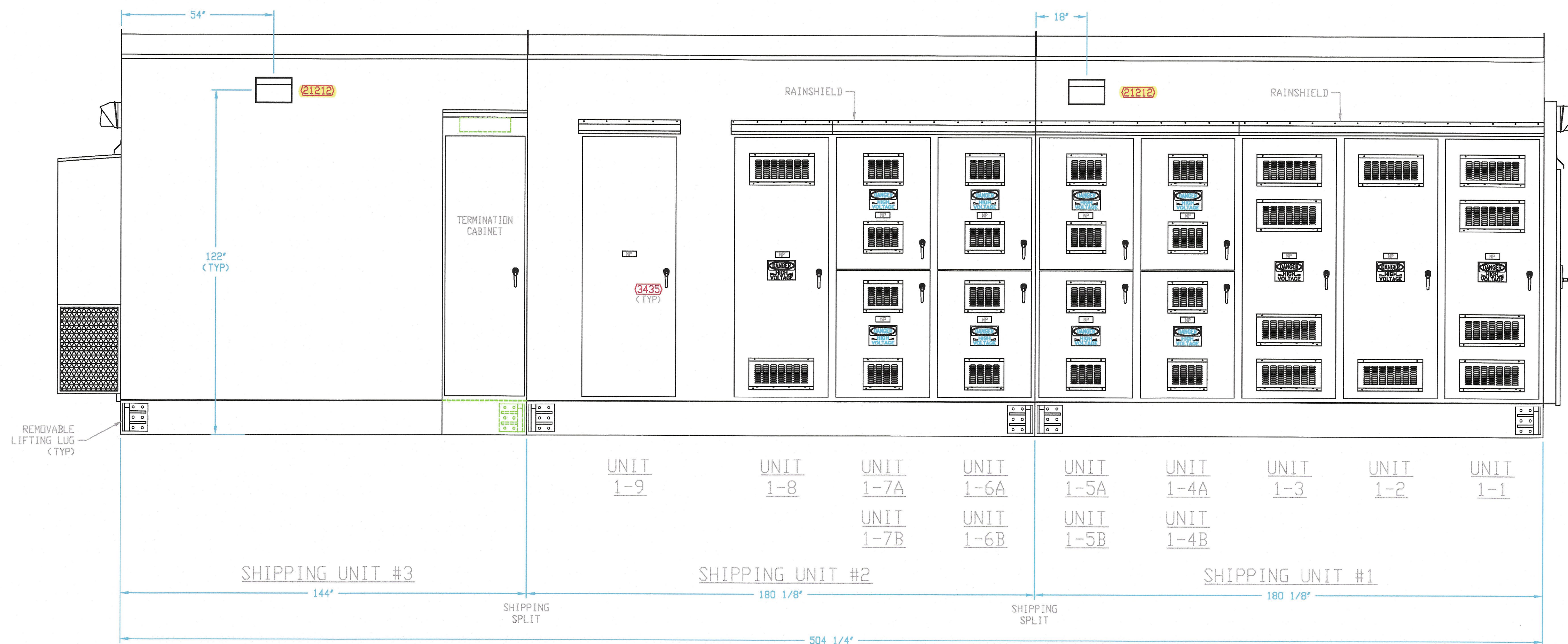
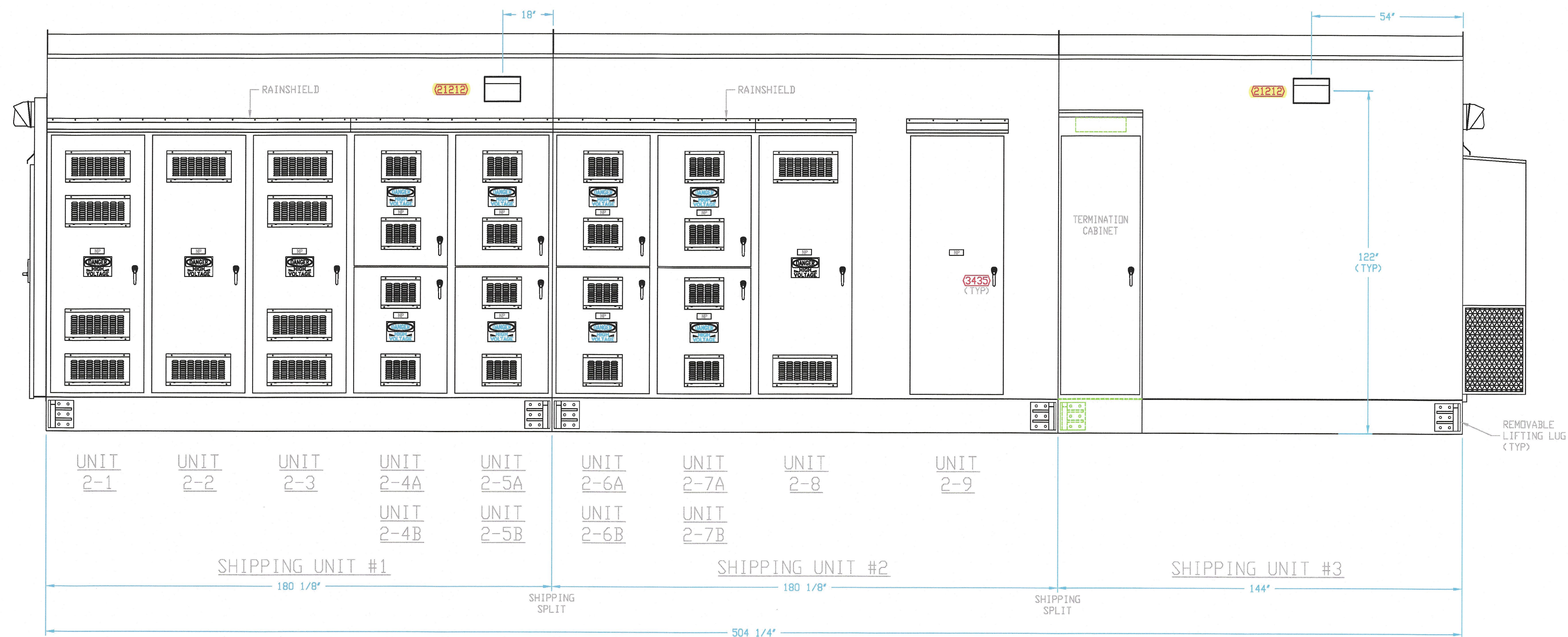
HORZ. SCALE 1" = 200'

1	ADDITION OF ASSESSORS INFORMATION					CQ	1/7/2021	JBW	
N O.	DESCRIPTION					BY	DATE	APPR.	
REVISION									
EVERSOURCE									
DIVISION									
SUBSTATION EASEMENT PERIMETER PLAN									
STATION 65 WEST MEDWAY, MA									
(SHEET 1 OF 1)									
SCALE: unless noted		DATE		DRAWN		CHK'D.		APPR.	
H: 1"=200'		10/12/2020		CQ		JW		DRAWING NO. 2000142.00	
								REV.	



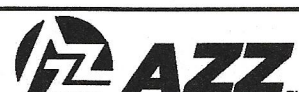




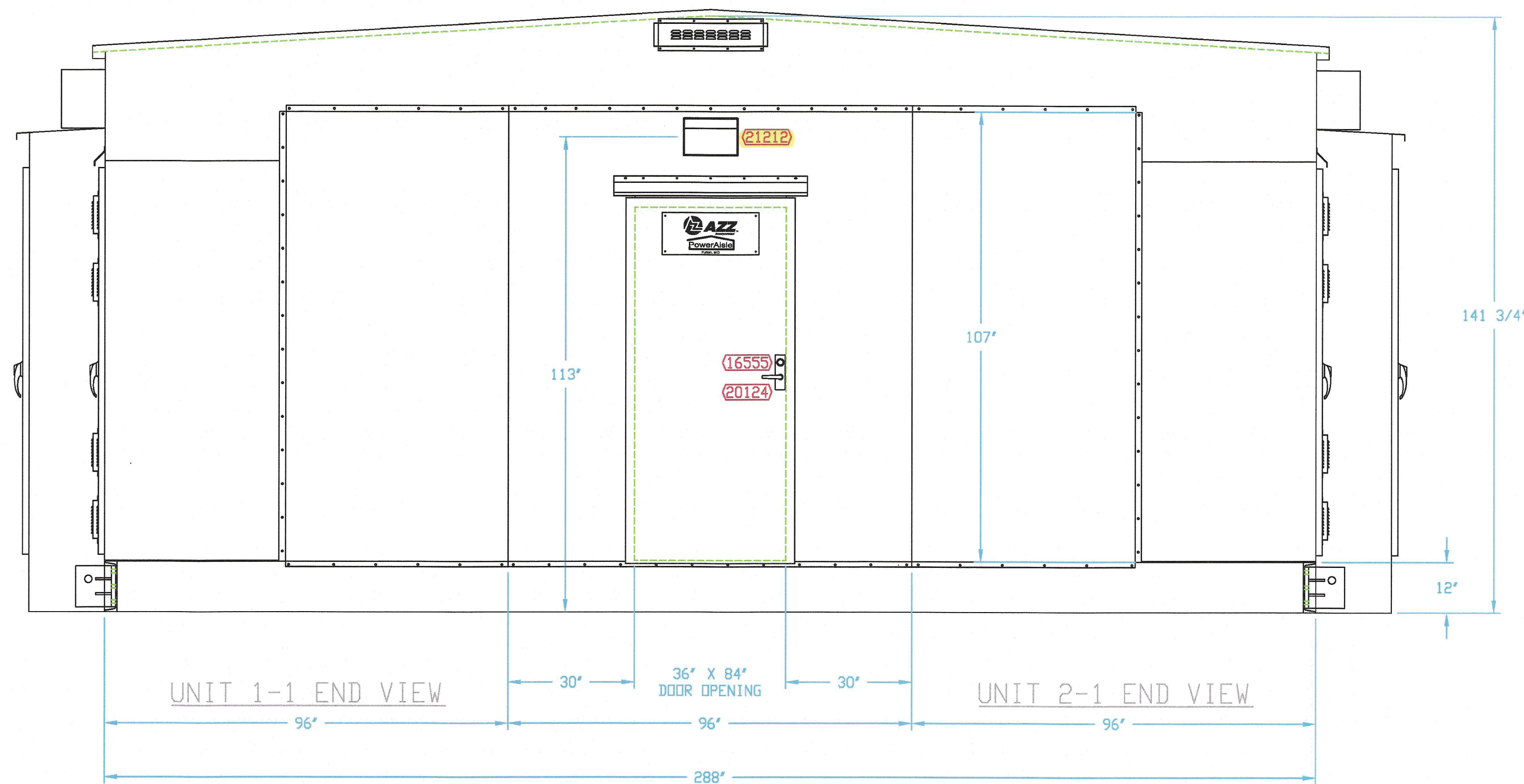


**NOTE:**

1.   -INDICATES BILL OF MATERIAL ITEM NUMBER.

REVISION LETTER	DATE	REVISIONS	IFTR	APPRY'D		SWITCHGEAR SYSTEMS 7911 Old U.S. Highway 54 Fulton, MO 65251 573.642.6811				
A	04/24/15	REVISED PER D & L	NBH	VC		CUSTOMER NSTAR EAST EAGLE SUBSTATION NO. 131, BOSTON, MA 15kV, 50KA, 3000A METAL-CLAD CUSTOMER P. D. NO. 65752	DRAWING TITLE EXTERIOR ELEVATIONS			
B	01/13/16	REVISED PER CHANGE TO STATION 131	NBH	VC						
C	02/05/18	REVISED PER CUSTOMER CHANGES	VC	VC						
D	03/08/18	REVISED PER D & L	JB	VC						
E	04/03/18	REVISED EXTERIOR LIGHTS	VC	VC						
DRAWING STATUS					DRAWN R. Lewis			CHK'D B. Blackburn	DATE 3/5/2015	DRAWING NO. C7329M07
Final As-Built 2/19/2019					APPRY'D W. Colby			SCALE 1/2" = 1'		

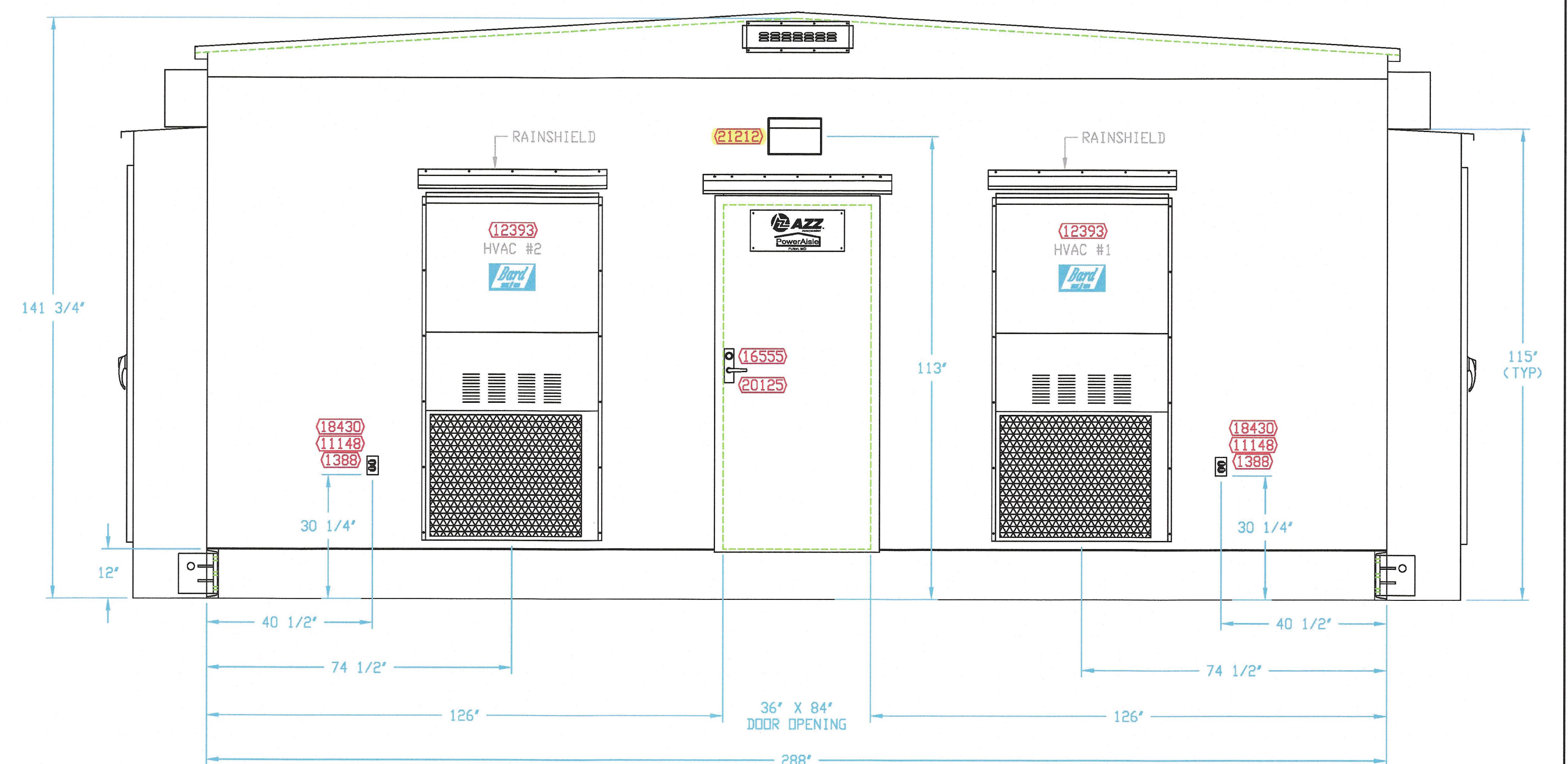





END ELEVATION  
SWITCHGEAR END VIEW

NOTE:

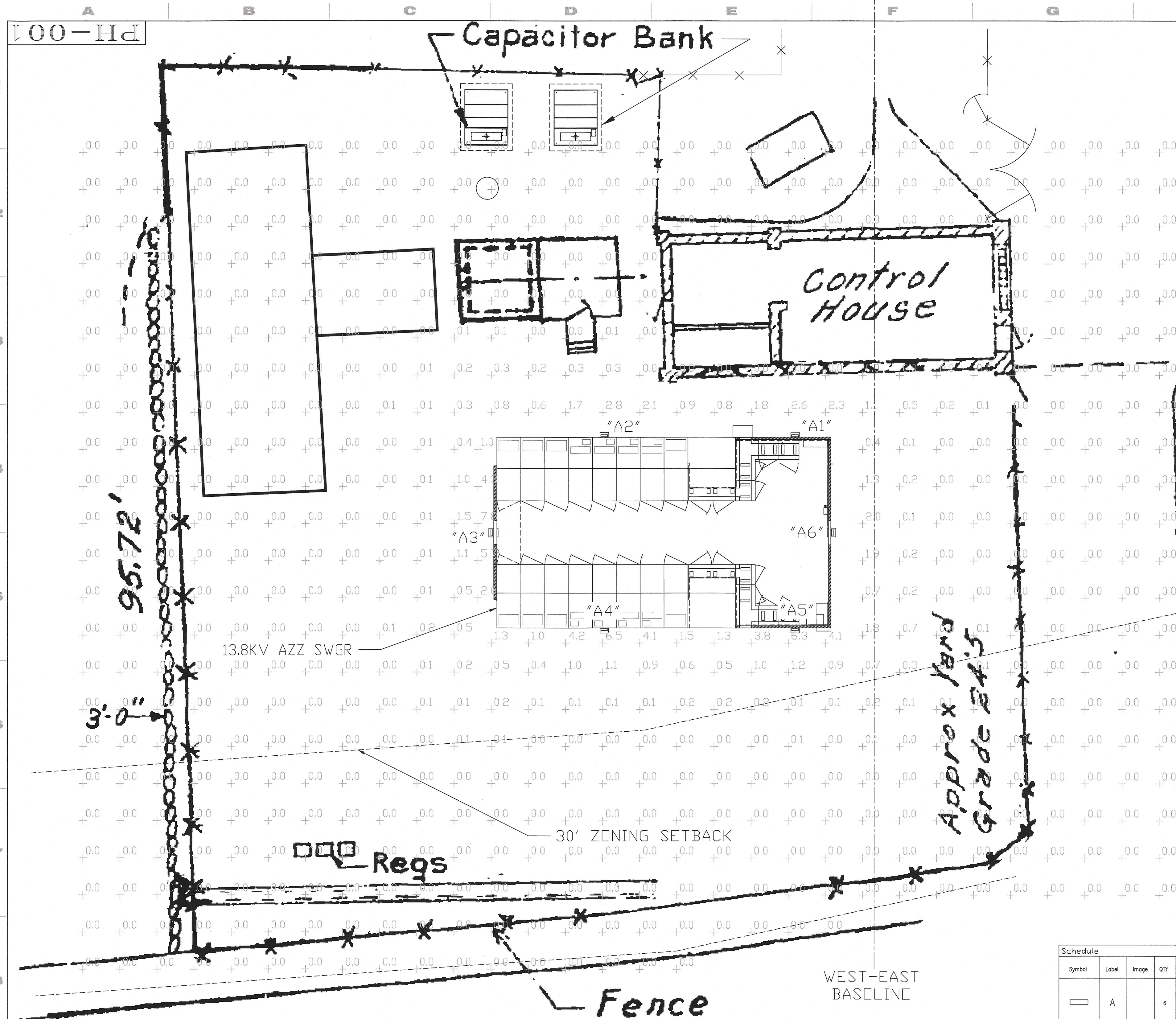
1. 18430 -INDICATES BILL OF MATERIAL ITEM NUMBER.



END ELEVATION  
WORK AREA END VIEW

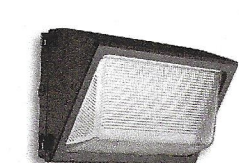
REVISION LETTER	DATE	REVISIONS	BY	APPR'D	 <b>SWITCHGEAR SYSTEMS</b> 7911 Old U.S. Highway 54 Fulton, MO 65251 573.642.8511
A	04/13/15	REVISED PER D & L	NDH	VC	
B	01/13/16	REVISED PER CHANGE TO STATION 131	NDH	VC	
C	02/05/18	REVISED PER ENGINEERING	VC	VC	
D	03/08/18	REVISED PER D & L	BB	VC	
E	04/03/18	REVISED EXTERIOR LIGHTS	VC	VC	
F	12/04/18	REVISED PER ENGINEERING	RLC	VC	
DRAWING TITLE					CUSTOMER  NSTAR EAST EAGLE SUBSTATION NO. 131, BOSTON, MA 15kV, 50kA, 3000A METAL-CLAD CUSTOMER P.O. NO. 65752
DRAWING STATUS					EXTERIOR ELEVATIONS - END VIEWS
Final As-Built 2/18/2019					
DRAWN R. Lewis		CHK'D B. Blackburn		DATE 3/5/2015	DRAWING NO. C7329M08
APPR'D W. Cahay		SCALES 3/4" = 1'			





THIS PROJECT INVOLVES WORK ON EQUIPMENT THAT IS OPERATING AT VOLTAGES BETWEEN 345 KVA, 288V/120 VAC AND 125 VDC. REMAIN AWARE OF MINIMUM APPROACH DISTANCES TO THESE VOLTAGES AND ISOLATE ACCORDINGLY.

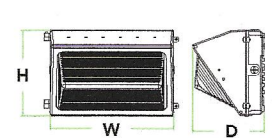
Nominal voltage in kilovolts	Distance: Phase to ground
0.05 to 1.0	Avoid contact
1.1 to 15.0	2'-1" (0.64m)
15.1 to 36.0	2'-4" (0.72m)
36.1 to 46.0	2'-7" (0.77m)
46.1 to 72.5	3'-0" (0.90m)
72.6 to 121	3'-2" (0.95m)
121 to 145	3'-7" (1.09m)
145 to 169	4'-0" (1.22m)
169 to 242	5'-3" (1.59m)
242 to 362	8'-6" (2.59m)
362 to 550	11'-3" (3.42m)
550 to 800	14'-11" (4.53m)



TWIR1 LED Wall Luminaire

Specifications

Width:	12-1/2" (317mm)
Height:	2" (51mm)
Depth:	7-1/2" (191mm)
Weight:	11.95 lbs (5.42kg)



**Introduction**  
The popular TWIR1 luminaire is now available with long-lasting, energy-efficient LED technology. Featuring a classic design, the TWIR1 LED offers a traditional appearance and is powered by advanced LEDs.  
The TWIR1 LED luminaire is powerful yet energy efficient, capable of replacing up to a 320W metal halide luminaire while saving up to 80% in energy costs. Offering an expected service life of more than 20 years, the TWIR1 LED eliminates frequent lamp and ballast replacements associated with traditional technologies.

Ordering Information

Item	Quantity	Part Number	Notes
TWIR1 LED	1	288V/120V	
TWIR1 LED	2	288V/120V	

**NOTES:**  
1. Standard color temperature (CCT) shown is 5000K. CCT is optional.  
2. TWIR1 LED luminaire is designed for use in wet locations.  
3. TWIR1 LED luminaire is designed for use in wet locations.  
4. TWIR1 LED luminaire is designed for use in wet locations.  
5. TWIR1 LED luminaire is designed for use in wet locations.  
6. TWIR1 LED luminaire is designed for use in wet locations.  
7. TWIR1 LED luminaire is designed for use in wet locations.  
8. TWIR1 LED luminaire is designed for use in wet locations.  
9. TWIR1 LED luminaire is designed for use in wet locations.  
10. TWIR1 LED luminaire is designed for use in wet locations.

- NOTES:**
1. CALCULATION POINTS ARE BASED ON MAINTAINED FOOTCANDLE (FC) LEVELS AFTER A LIGHT LOSS FACTOR (LLF) IS APPLIED TO FIXTURES. REFER TO SCHEDULE FOR LLF AND LUMEN INFORMATION.
  2. REFERENCE AZZ VENDOR INFORMATION FOR INSTALLED FIXTURE LOCATIONS AND HEIGHTS.
  3. CALCULATION POINTS TAKEN AT GRADE.
  4. FIXTURE HEIGHT ON BUILDING IS 12" MEASURED FROM THE CENTER OF THE FIXTURE TO FINISHED GRADE.

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	0.1 fc	6.3 fc	0.0 fc	N/A	N/A

Schedule

Symbol	Label	Image	QTY	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens per Lamp	Lumen Multiplier	LLF	Wattage	Efficiency	Distribution
□	A		6	Lithonia Lighting	TWIR1 LED 2 50K MVOLT	SIZE 1 LED WALL MOUNTED FIXTURE	LED	1	TWIR1_LED_2_50K_MVOLT.ies	3555	1	1	38.7	100%	TYPE IV, VERT SHORT, BUS RATING: B1 - U3 - G3



PHOTOMETRIC PLAN  
LOAD CENTER UNITS

65 STATION WEST MEDWAY

SDCs PENDING 20-030A

PROJECT NO: 20-030A  
DATE: 03/21/2021  
REV: 1  
DESCRIPTION: ELECTRICAL ENGINEERING & DESIGN  
DRAWN: MB/TRC  
CHECKED: DRG/TRC  
APPROVED: DRG/TRC

STATION DESIGN CHANGE NO: 20-043A  
TITLE OF CHANGE: SWITCHGEAR - ELECTRICAL ENGINEERING & DESIGN  
(BASE) DWG. No. PH-001  
(BASE) DWG. Rev. No. 7  
ISSUED FOR PERMITTING - SWITCHGEAR