

EVERGREEN VILLAGE

22 EVERGREEN STREET
MEDWAY, MASSACHUSETTS

OWNER/APPLICANT:

SAMPSON POND LLC
P.O.BOX 5
MEDWAY, MA 02053

ARCHITECT:

DANIEL LEWIS AIA LLED AP
332 WHITNEY STREET
NORTHBOROUGH, MA 01532

LANDSCAPE DESIGN:

WDA DESIGN GROUP
31 EAST MAIN STREET
WESTBOROUGH MA 01581

SURVEY:

CHENEY ENGINEERING CO, INC.
53 MELLEEN STREET
NEEDHAM MA 02494

ENGINEER:

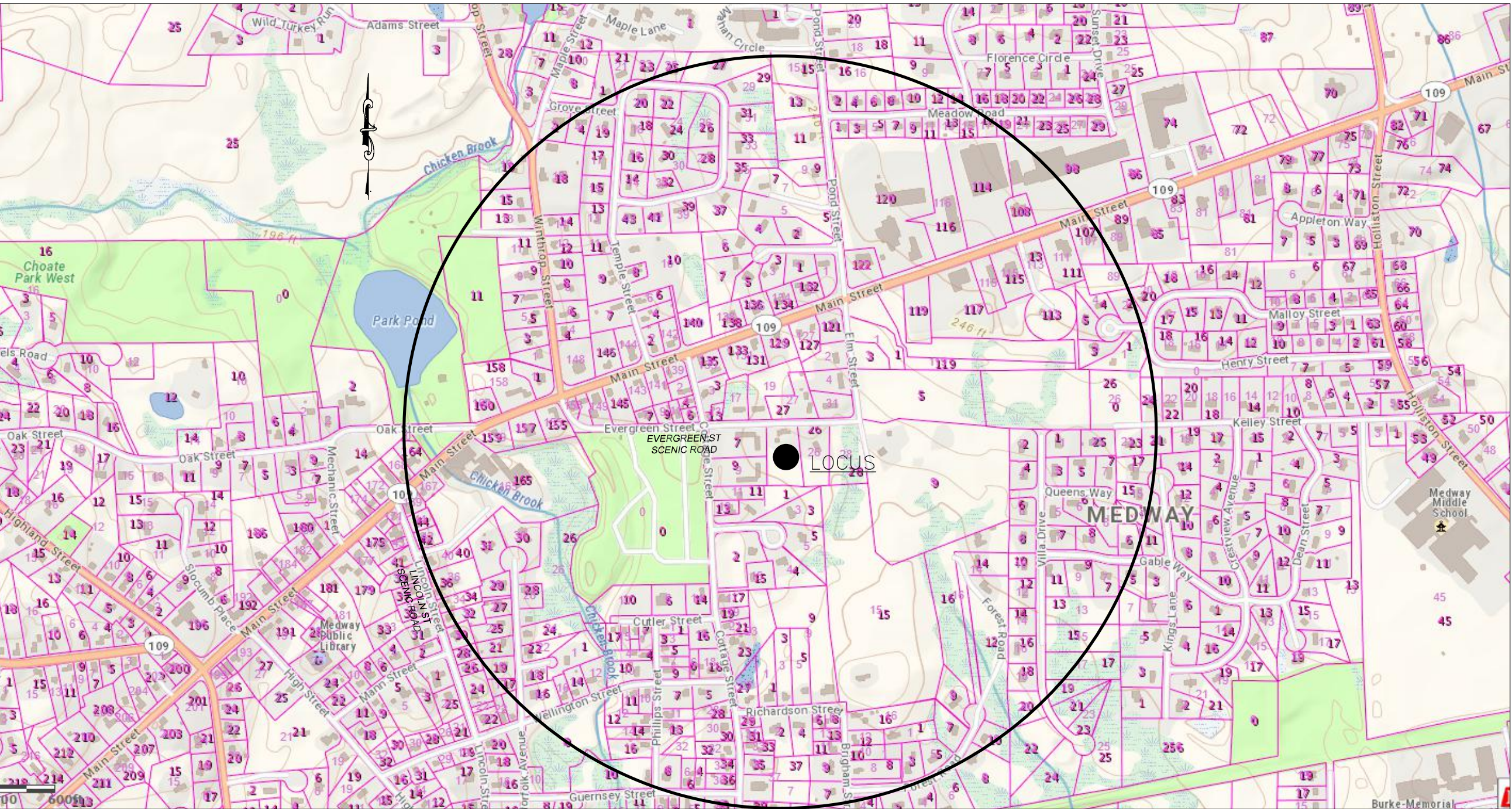
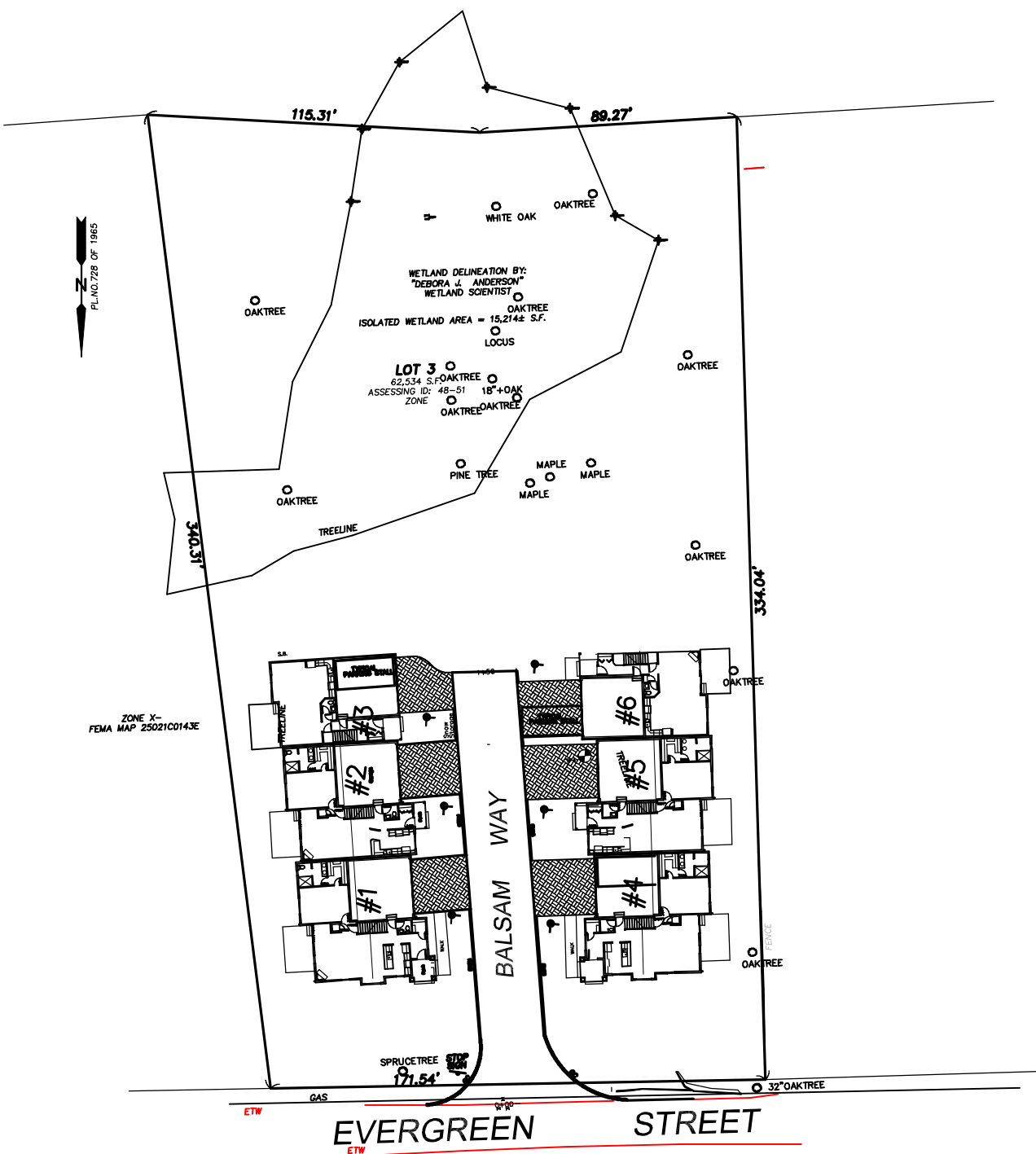
RONALD TIBERI P.E.
9 MASSACHUSETTS AVE.
NATICK MA 01760

APPROVED BY PLANNING BOARD

DATE: _____



ABUTTERS LOCUS MAP
1" = 200'



LOT 3
22 EVERGREEN STREET
ASSESSING ID: 48-51
ZONE: AR-2
DISTRICT

ZONING TABLE-AR-II RESIDENTIAL II DISTRICT

	REQUIRED	PROPOSED
LOT AREA	22500	62534
LOT FRONTAGE	150	171+
LOT WIDTH	NA	188+
FRONT SETBACK	35	35
SIDE SETBACK	15	15
REAR SETBACK	15	15
BLDG. HT.	40'	38'
LOT COVERAGE (BUILDINGS)	NA	16.5%
LOT COVERAGE (IMPERVIOUS)	NA	29.0%
PARKING	1.5/UNIT	2/UNIT

PLAN INDEX

TITLE SHEET / SITE CONTENT	T-1
EXISTING CONDITIONS	S-1
SITE LAYOUT	S-2
SITE GRADING	S-3
SITE DRAINAGE	S-4
SITE UTILITIES	S-5
SIGHT DISTANCE PLAN	S-6
VEHICLE ACCESS PLAN	S-7
DRAINAGE DETAILS	D-1
SITE DETAILS	D-2
SITE DETAILS	D-3
LANDSCAPING	L-1
LIGHTING	L-2
ARCHITECTURAL ELEVATIONS	A-1
ELEVATIONS	A-2
1ST FLOOR PLANS	A-3
2ND FLOOR PLANS	A-4
SURVEYORS PLAN	
EROSION CONTROL PLAN	E-1

AUOD - Waiver REQUESTED -

AUOD Section 6.2.2

Subsection 604-4L - The Prohibition of curb cuts.

Section 604-47 - Requirement for bicycle parking. Bicycle parking is anticipated to be within the unit garages.

Site Plan Regulations

Section 205-2.2.3 90 Degree Intersection of driveway to street requirement. Proposed at 90 degree to provide better site layout

Section 205-2.2.6 Sidewalk requirement. Proposed no side walk in keeping with neighborhood streets and rural appearance.

Section 205-4 B pervious paving requirement. certified soil evaluation were conducted as per industry norm.

Section 205-6 E Granite Curb requirement. Proposed curbing beyond driveway entrance is bituminous curbing.

Section 205-6 I Travel Lanes 24' wide, due to tight site conditions, travel lanes are reduced to 22', and parking located only driveways.

Section 205-9 Parking Shade trees- due to site constraints no off street parking areas are proposed.



MULTIFAMILY HOUSING TABLE

	REQUIRED	PROPOSED
LOT AREA	22500	62534
LOT FRONTAGE	50	171+
UNIT DENSITY	12	6
AFFORDABLE UNITS	1	1
BLDG. HT.	40'	38'
OPEN SPACE	15%	75%
PARKING SPACES	12	23

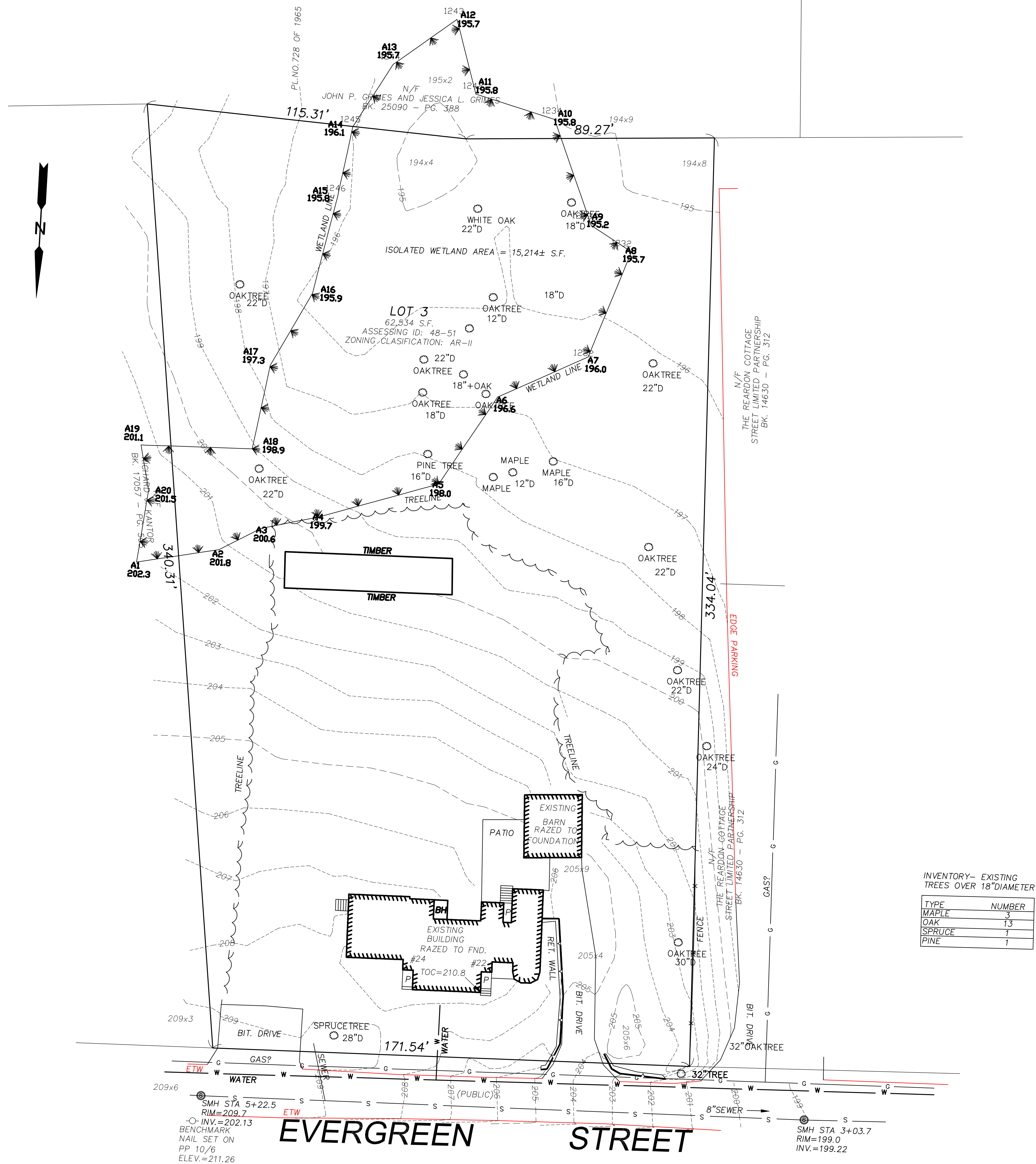
DATE ISSUED:

SEPT 5, 2019

DATE REVISED:

NOV 20, 2019

FEB. 6, 2020



- LEGEND**
- STONE WALL
 - PROP. GRADE
 - EXIST. GRADE
 - SHRUB
 - PROP. SEWER
 - PROP. WATER
 - GAS
 - EXIST. WATER
 - DRAIN
 - EDGE PVMNT
 - CULTEC UNIT
 - EROSION CONTROL
 - LIGHT POLE

FOR REGISTRY USE

- GENERAL SITE NOTES**
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT. WORKSCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS, RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.
 - ALL WORK SHALL CONFORM TO LOCAL, COMMONWEALTH OF MASSACHUSETTS, AND OSHA STANDARDS AND GUIDELINES.
 - LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. ALL UTILITY SERVICE CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
 - ALL UTILITY LOCATIONS ARE APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE CONDUITS, PRODUCT PIPING, ETC. PRIOR TO COMMENCEMENT OF EXCAVATION OF ANY TYPE.
 - ALL EXCAVATED UNSUITABLE MATERIAL MUST BE TRANSPORTED TO AN APPROVED DISPOSAL LOCATION.
 - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY "DIG SAFE" (1-888-344-7233) 72 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE. CONTRACTOR SHALL ALSO NOTIFY THE LOCAL DEPARTMENT OF PUBLIC WORKS TO MARK OUT THEIR UTILITIES.
 - THE LIMITS OF WORK SHALL BE CLEARLY MARKED IN THE FIELD PRIOR TO THE START OF CONSTRUCTION OR SITE CLEARING.
 - ALL CONCRETE AND BITUMINOUS PATCH AREAS TO MATCH EXISTING GRADES.
 - SOLID WASTE TO BE DISPOSED OF BY CONTRACTOR IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
 - CONTRACTOR IS RESPONSIBLE FOR ALL EXCAVATION TO BE PERFORMED IN ACCORDANCE WITH CURRENT STANDARDS, AS WELL AS ADDITIONAL PROVISIONS TO ASSURE STABILITY OF CONTIGUOUS STRUCTURES.
 - IN CASE OF DISCREPANCIES BETWEEN PLANS, THE SITE PLAN WILL SUPERCEDE IN ALL CASES. NOTIFY ENGINEER OF RECORD OF ANY CONFLICTS.

DIG SAFE NOTE:

UTILITIES ARE PLOTTED FROM FIELD LOCATION AND ANY RECORD INFORMATION AVAILABLE, AND SHOULD BE CONSIDERED APPROXIMATE. OTHER UTILITIES MAY EXIST WHICH ARE NOT EVIDENT OR FOR WHICH RECORD INFORMATION WAS NOT AVAILABLE. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING. ALSO, CALL "DIG-SAFE" AT 1(888)344-7233 (1(888)DIG-SAFE).

THE OFFSETS AS SHOWN ON THIS PLAN ARE NOT TO BE USED FOR THE ESTABLISHMENT OF PROPERTY LINES OR FOR THE ESTABLISHMENT OF ANY PROPOSED CONSTRUCTION UNLESS SAID CONSTRUCTION IS SHOWN HEREON.

THIS PLAN WAS PREPARED FOR THE EXCLUSIVE USE AND PURPOSE FOR THE PARTY STATED HEREON AND SHALL NOT BE USED BY ANY THIRD PARTY WITHOUT THE EXPRESSED WRITTEN PERMISSION OF RONALD TIBERI P.E.

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.



APPROVED BY PLANNING BOARD

DATE:

REVISIONS

No.	DATE	DESCRIPTION
1.	11-22-19	TREE DIA'S AND INVENTORY
3.	2-6-20	TOWN & PEER REVIEW COMMENTS

EXISTING CONDITIONS

PLAN
IN
MEDWAY, MASSACHUSETTS

EVERGREEN VILLAGE
22 EVERGREEN STREET

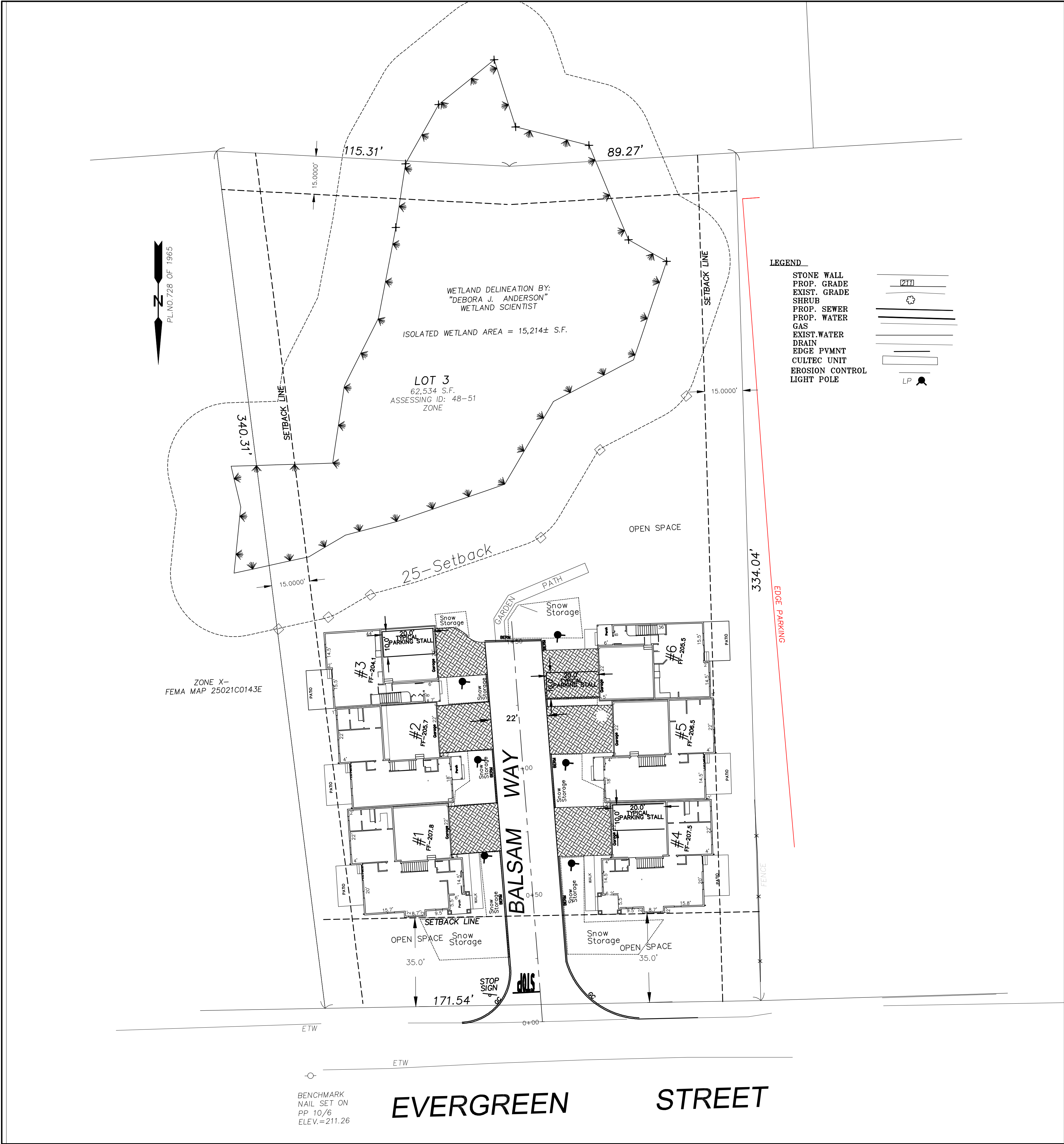
PREPARED FOR: SAMPSON POND LLC
P.O. Box 5
MEDWAY MA 02053

PREPARED By: RONALD TIBERI P.E.
9 MASSACHUSETTS AVE.
NATICK MA 01760

DRAWING SCALE: 1 inch = 20 feet

PROJECT NUMBER: 2616

DATE: MARCH 2, 2019



FOR REGISTRY USE

- GENERAL SITE NOTES
1. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORKSCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS, RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.
 2. ALL WORK SHALL CONFORM TO LOCAL, COMMONWEALTH OF MASSACHUSETTS, AND USHA STANDARDS AND GUIDELINES.
 3. LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. ALL UTILITY SERVICE CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
 4. ALL UTILITY LOCATIONS ARE APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE CONDUITS, PRODUCT PIPING, ETC. PRIOR TO COMMENCEMENT OF EXCAVATION OF ANY TYPE.
 5. ALL EXCAVATED UNSUITABLE MATERIAL MUST BE TRANSPORTED TO AN APPROVED DISPOSAL LOCATION.
 6. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY "DIG SAFE" (1-888-344-7233) 72 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE. CONTRACTOR SHALL ALSO NOTIFY THE LOCAL DEPARTMENT OF PUBLIC WORKS TO MARK OUT THEIR UTILITIES.
 7. THE LIMITS OF WORK SHALL BE CLEARLY MARKED IN THE FIELD PRIOR TO THE START OF CONSTRUCTION OR SITE CLEARING.
 8. ALL CONCRETE AND BITUMINOUS PATCH AREAS TO MATCH EXISTING GRADES.
 9. SOLID WASTE TO BE DISPOSED OF BY CONTRACTOR IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
 10. CONTRACTOR IS RESPONSIBLE FOR ALL EXCAVATION TO BE PERFORMED IN ACCORDANCE WITH CURRENT STANDARDS, AS WELL AS ADDITIONAL PROVISIONS TO ASSURE STABILITY OF CONTIGUOUS STRUCTURES.
 11. IN CASE OF DISCREPANCIES BETWEEN PLANS, THE SITE PLAN WILL SUPERSEDE IN ALL CASES. NOTIFY ENGINEER OF RECORD OF ANY CONFLICTS.

DIG SAFE NOTE:
UTILITIES ARE PLOTTED FROM FIELD LOCATION AND ANY RECORD INFORMATION AVAILABLE, AND SHOULD BE CONSIDERED APPROXIMATE. OTHER UTILITIES MAY EXIST WHICH ARE NOT EVIDENT OR FOR WHICH RECORD INFORMATION WAS NOT AVAILABLE. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING. ALSO, CALL "DIG-SAFE" AT 1(888)344-7233 1(888)DIG-SAFE.

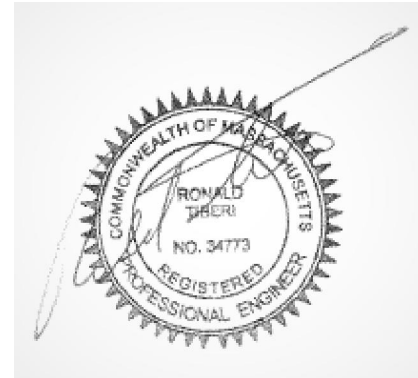


THE OFFSETS AS SHOWN ON THIS PLAN, ARE NOT TO BE USED FOR THE ESTABLISHMENT OF PROPERTY LINES OR FOR THE ESTABLISHMENT OF ANY PROPOSED CONSTRUCTION UNLESS SAID CONSTRUCTION IS SHOWN HEREON.

THIS PLAN WAS PREPARED FOR THE EXCLUSIVE USE AND PURPOSE FOR THE PARTY STATED HEREON AND SHALL NOT BE USED BY ANY THIRD PARTY WITHOUT THE EXPRESSED WRITTEN PERMISSION OF RONALD TIBERI P.E.

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

APPROVED BY PLANNING BOARD
DATE:



REVISIONS		
No.	DATE	DESCRIPTION
1.	11-24-19	TOWN COMMENTS
2.	12-3-19	TOWN COMMENTS
3.	2-6-20	TOWN & PEER REVIEW COMMENTS

PROPOSED
SITE LAYOUT PLAN
IN
MEDWAY, MASSACHUSETTS

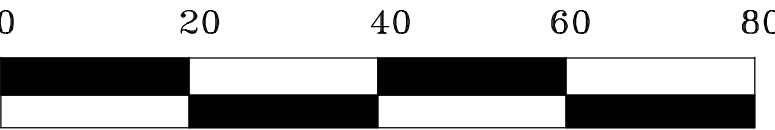
EVERGREEN VILLAGE
22 EVERGREEN STREET

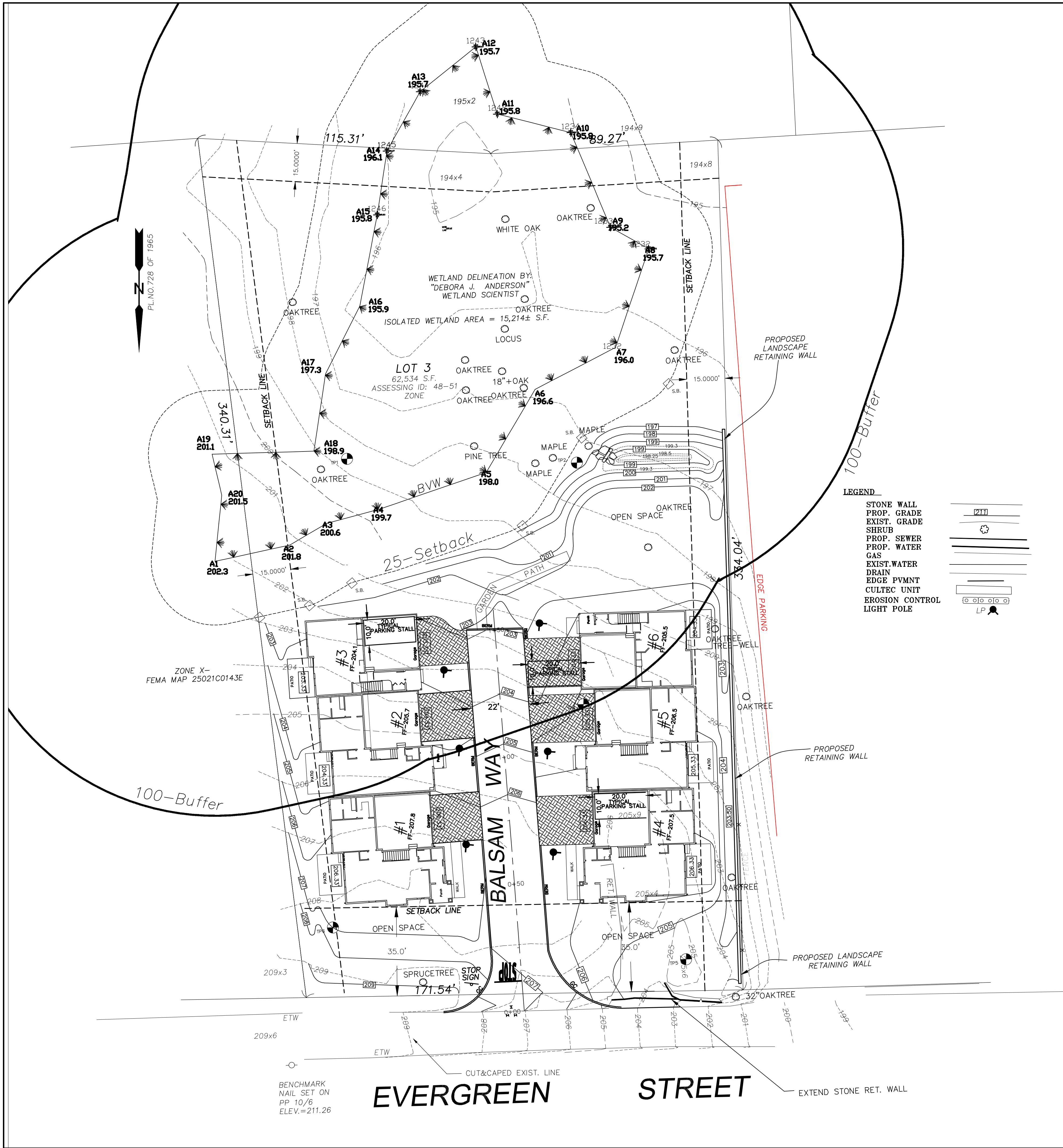
PREPARED FOR: SAMPSON POND LLC
P.O. Box 5
MEDWAY MA 02053

PREPARED By: RONALD TIBERI P.E.
9 MASSACHUSETTS AVE.
NATICK MA 01760

DRAWING SCALE: 1 inch = 20 feet
PROJECT NUMBER: 2616
DATE: SEPT 2.2019

SNOW STORAGE:
MAXIMUM AREA REQUIRING SNOW STORAGE REMOVAL IS 5680 SF
SNOW STORAGE BASE AREA IS APPROXIMATELY 2605 SF.





FOR REGISTRY USE

- GENERAL SITE NOTES
1. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT. WORKSCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS, RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS SET FORTH BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.
 2. ALL WORK SHALL CONFORM TO LOCAL, COMMONWEALTH OF MASSACHUSETTS, AND OSMA STANDARDS AND GUIDELINES.
 3. LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. ALL UTILITY SERVICE CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
 4. ALL UTILITY LOCATIONS ARE APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE CONDUITS, PRODUCT PIPING, ETC. PRIOR TO COMMENCEMENT OF EXCAVATION OF ANY TYPE.
 5. ALL EXCAVATED UNSUITABLE MATERIAL MUST BE TRANSPORTED TO AN APPROVED DISPOSAL LOCATION.
 6. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY "DIG SAFE" (1-888-344-7233) 72 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE. CONTRACTOR SHALL ALSO NOTIFY THE LOCAL DEPARTMENT OF PUBLIC WORKS TO MARK OUT THEIR UTILITIES.
 7. THE LIMITS OF WORK SHALL BE CLEARLY MARKED IN THE FIELD PRIOR TO THE START OF CONSTRUCTION OR SITE CLEARING.
 8. ALL CONCRETE AND BITUMINOUS PATCH AREAS TO MATCH EXISTING GRADES.
 9. SOLID WASTE TO BE DISPOSED OF BY CONTRACTOR IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
 10. CONTRACTOR IS RESPONSIBLE FOR ALL EXCAVATION TO BE PERFORMED IN ACCORDANCE WITH CURRENT STANDARDS, AS WELL AS ADDITIONAL PROVISIONS TO ASSURE STABILITY OF CONTIGUOUS STRUCTURES.
 11. IN CASE OF DISCREPANCIES BETWEEN PLANS, THE SITE PLAN WILL SUPERCEDE IN ALL CASES. NOTIFY ENGINEER OF RECORD OF ANY CONFLICTS.

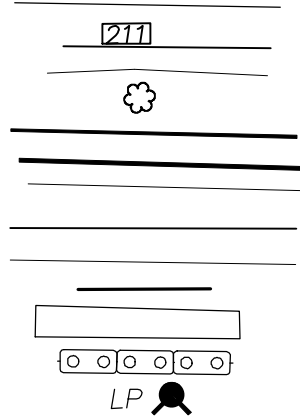
DIG SAFE NOTE:
UTILITIES ARE PLOTTED FROM FIELD LOCATION AND ANY RECORD INFORMATION AVAILABLE, AND SHOULD BE CONSIDERED APPROXIMATE. OTHER UTILITIES MAY EXIST WHICH ARE NOT EVIDENT OR FOR WHICH RECORD INFORMATION WAS NOT AVAILABLE. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING. ALSO, CALL "DIG-SAFE" AT 1(888)344-7233 1(888)DIG-SAFE.

THE OFFSETS AS SHOWN ON THIS PLAN ARE NOT TO BE USED FOR THE ESTABLISHMENT OF PROPERTY LINES OR FOR THE ESTABLISHMENT OF ANY PROPOSED CONSTRUCTION UNLESS SAID CONSTRUCTION IS SHOWN HEREON.

THIS PLAN WAS PREPARED FOR THE EXCLUSIVE USE AND PURPOSE FOR THE PARTY STATED HEREON AND SHALL NOT BE USED BY ANY THIRD PARTY WITHOUT THE EXPRESSED WRITTEN PERMISSION OF RONALD TIBERI P.E.

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

- LEGEND
- STONE WALL
 - PROP. GRADE
 - EXIST. GRADE
 - SHRUB
 - PROP. SEWER
 - PROP. WATER
 - GAS
 - EXIST. WATER
 - DRAIN
 - EDGE PVMNT
 - CULTEC UNIT
 - EROSION CONTROL
 - LIGHT POLE



APPROVED BY PLANNING BOARD
DATE: _____



REVISIONS		
No.	DATE	DESCRIPTION
1.	11-24-19	TOWN COMMENTS
2.	12-3-19	TOWN COMMENTS
3.	2-6-20	TOWN & PEER REVIEW COMMENTS

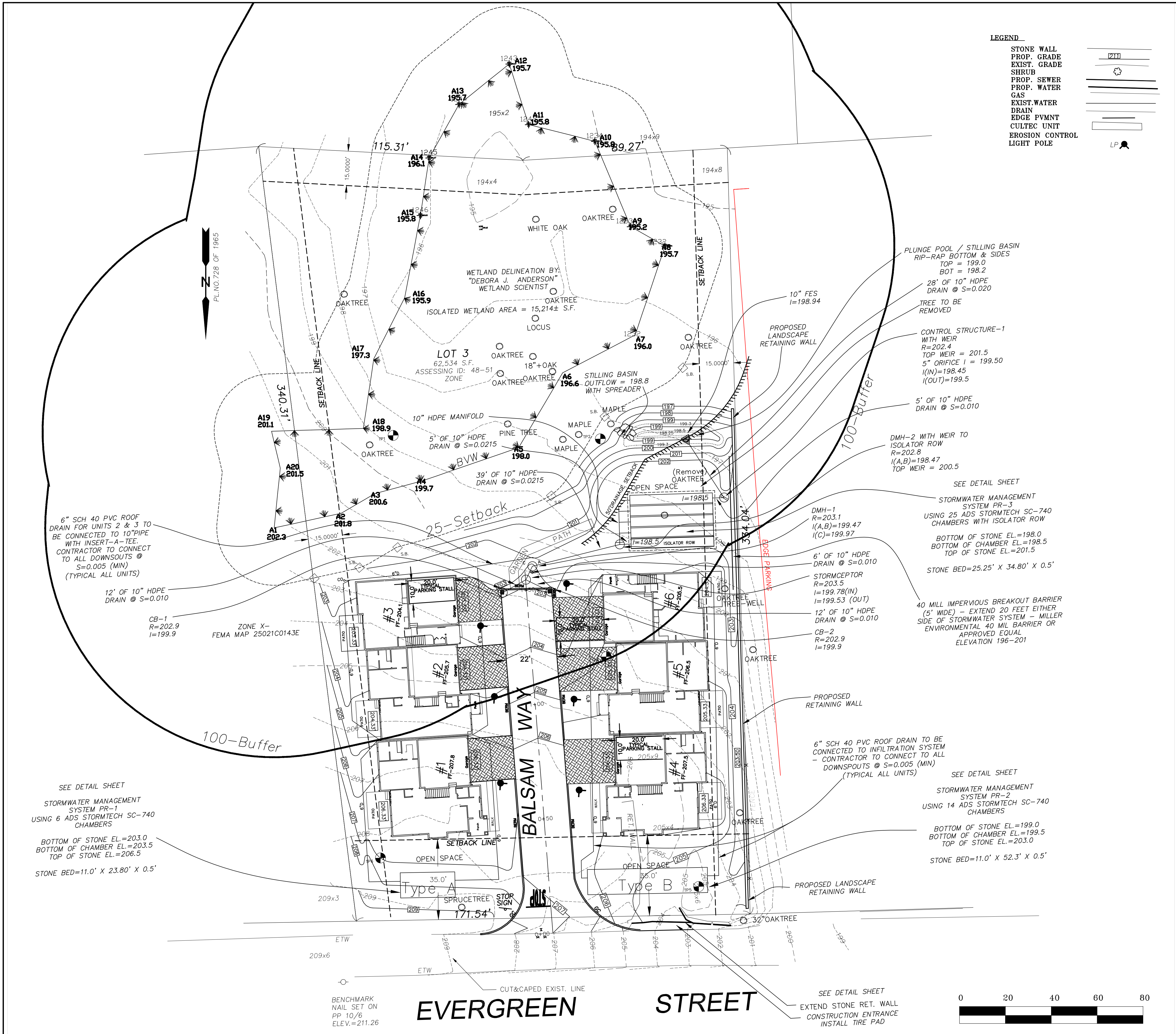
PROPOSED
SITE GRADING PLAN
IN
MEDWAY, MASSACHUSETTS

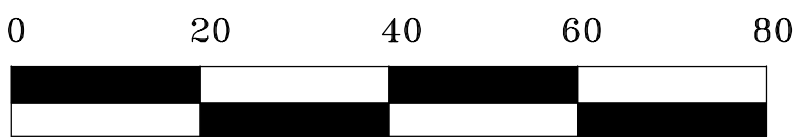
EVERGREEN VILLAGE
22 EVERGREEN STREET

PREPARED FOR: SAMPSON POND LLC
P.O. Box 5
MEDWAY MA 02053

PREPARED By: RONALD TIBERI P.E.
9 MASSACHUSETTS AVE.
NATICK MA 01760

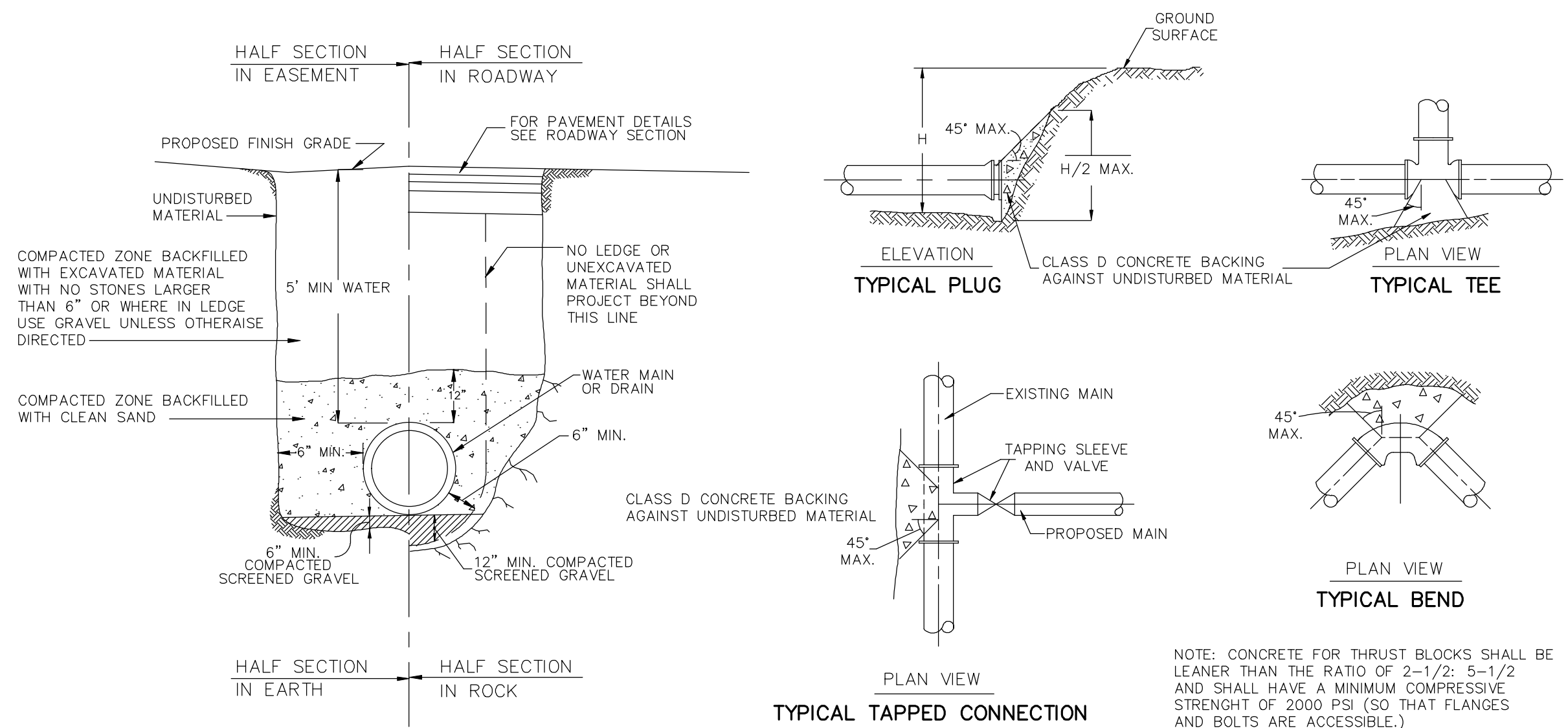
DRAWING SCALE: 1 inch = 20 feet
PROJECT NUMBER: 2616
DATE: SEPT 2, .2019





S-6





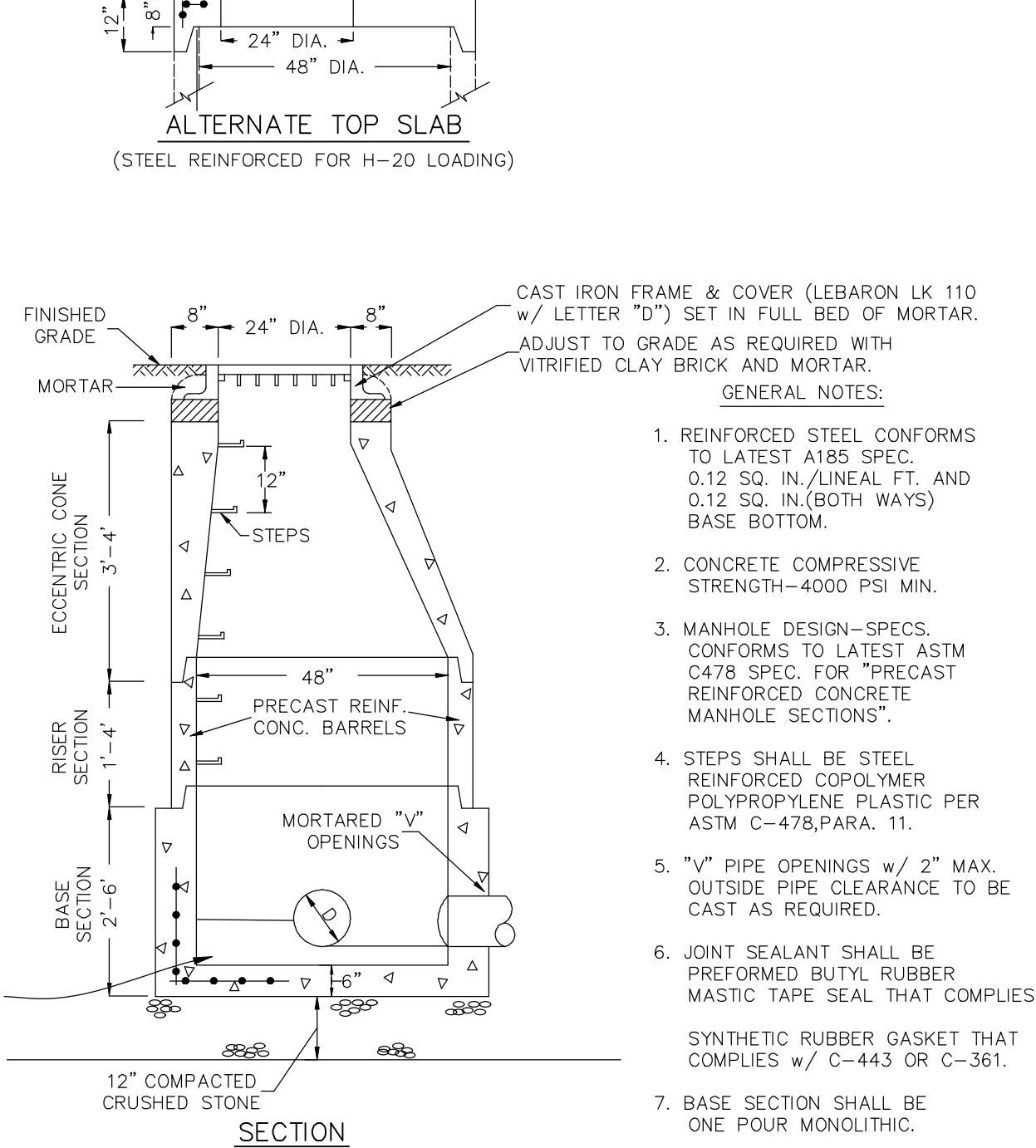
WATER MAIN TRENCH DETAILS

NOT TO SCALE

WATER MAIN THRUST BLOCK DETAILS

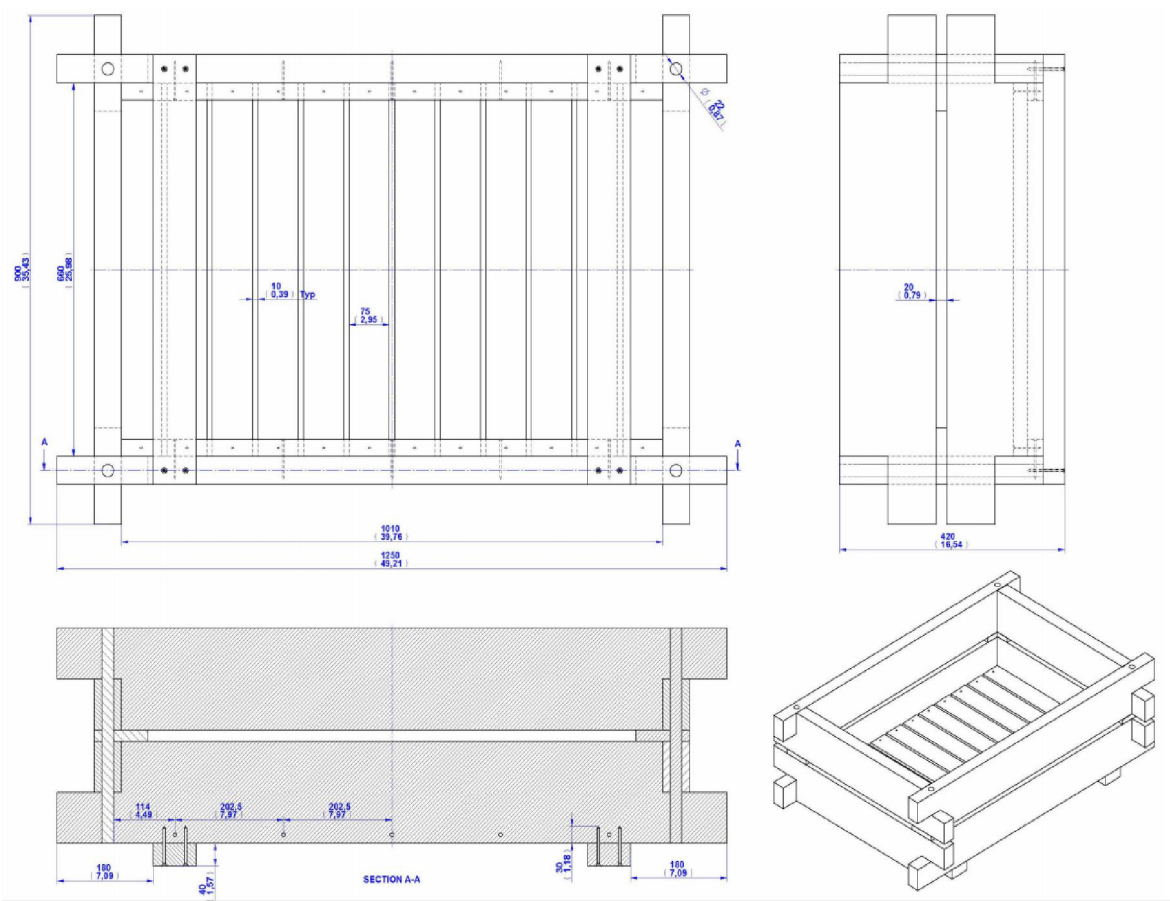
NOT TO SCALE

BEARING AREAS OF THRUST BLOCKS (BEARING AREA IN SQUARE FT.)				
PIPE SIZE INCHES	1/4 BEND	1/8 BEND	1/16 BEND	PLUG TEES
6 AND 8	8	8	—	8
10 AND 12	22	13	8	16

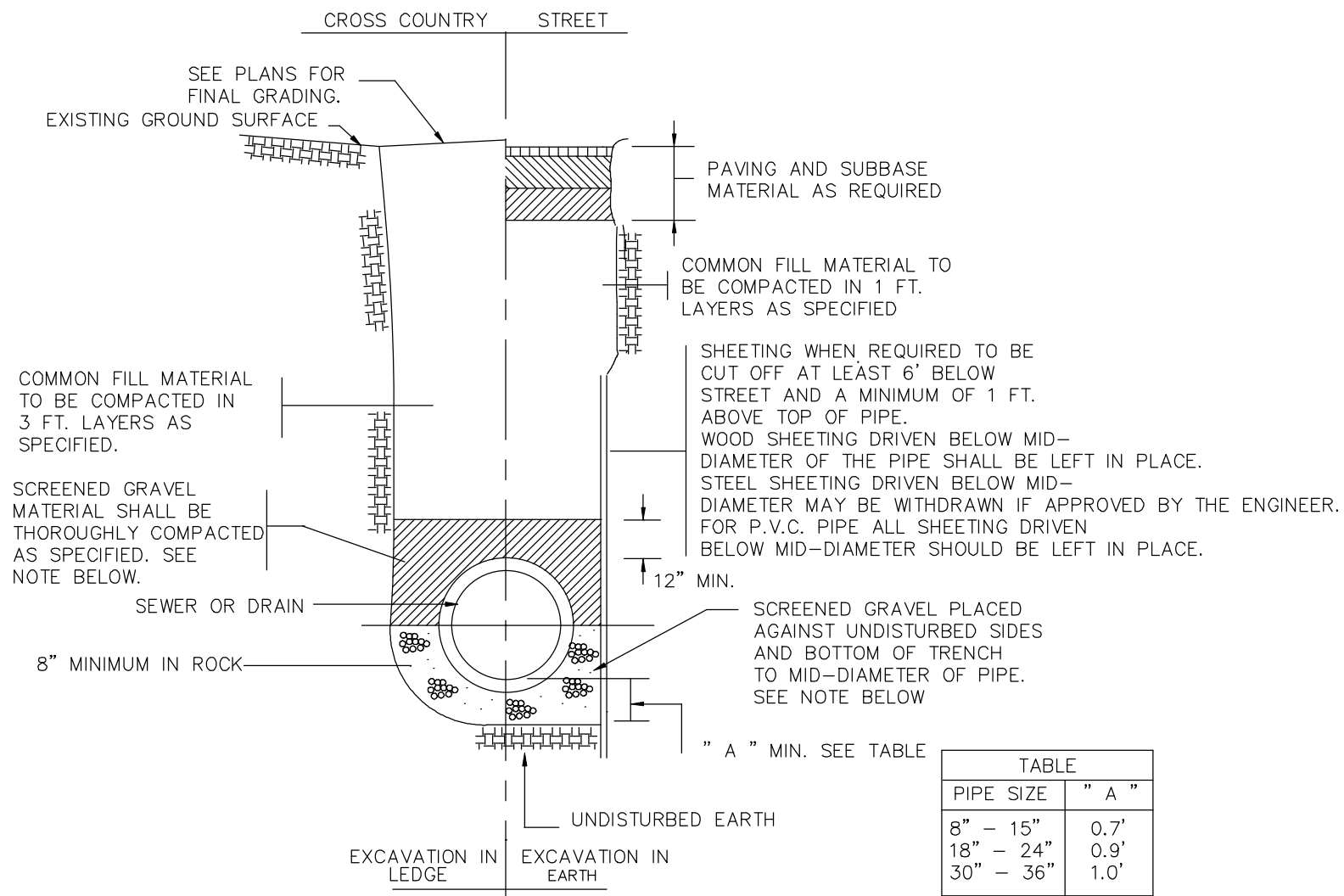


48" DIAMETER PRECAST DRAIN MANHOLE (DMH)
FOR PIPE DIAMETERS UP TO 24"

NOT TO SCALE



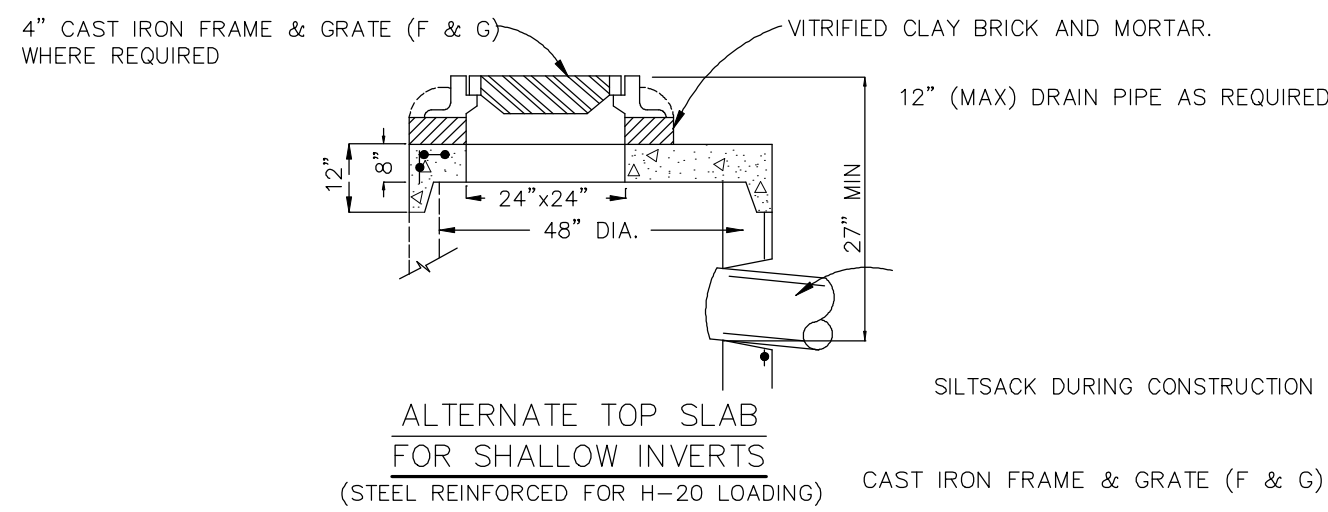
PLANTER BOX DETAIL



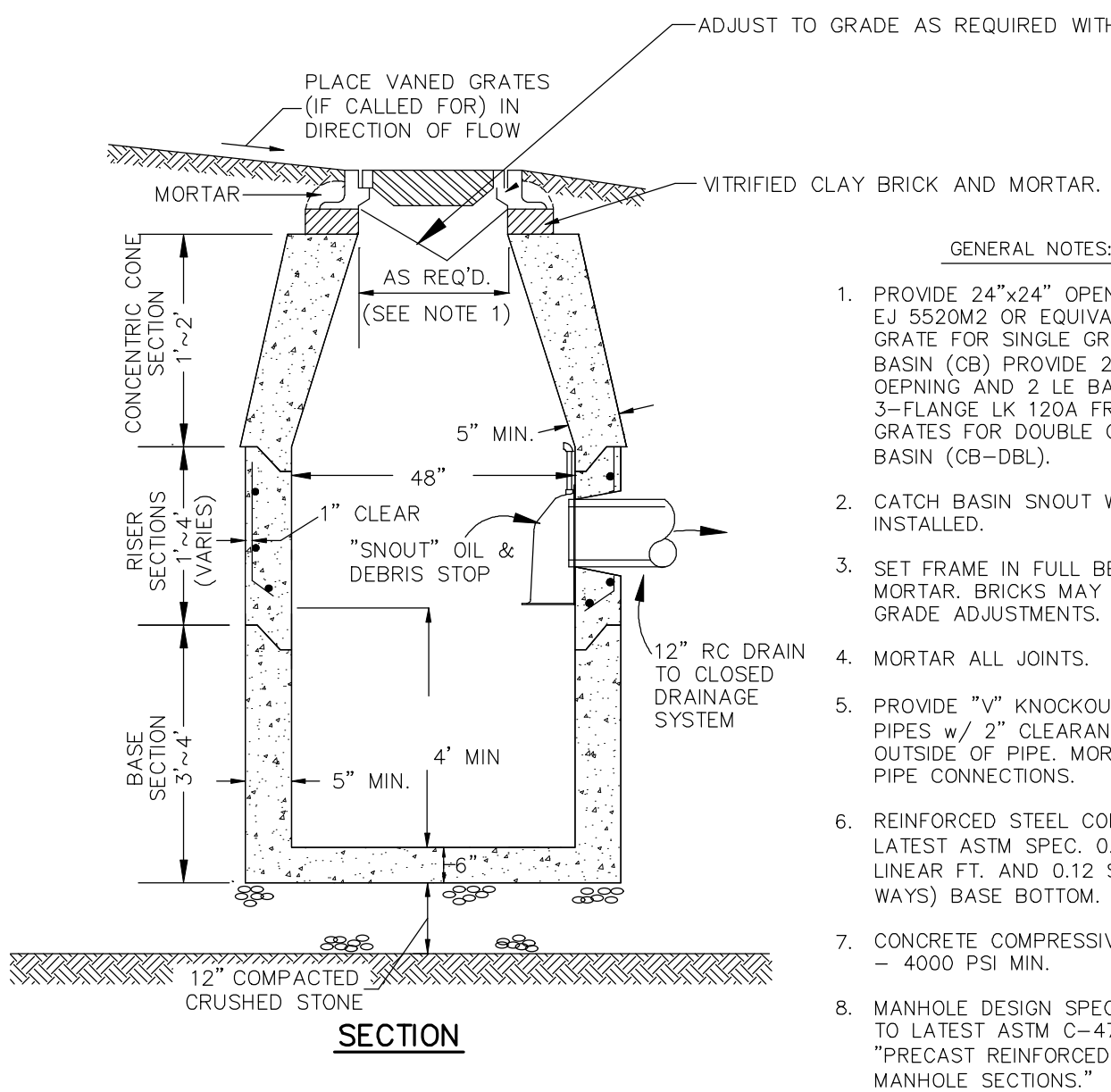
TYPICAL TRENCH DETAIL FOR SEWER & DRAIN

NOT TO SCALE

TABLE	
PIPE SIZE	" A "
8" - 15"	0.7'
18" - 24"	0.9'
30" - 36"	1.0'

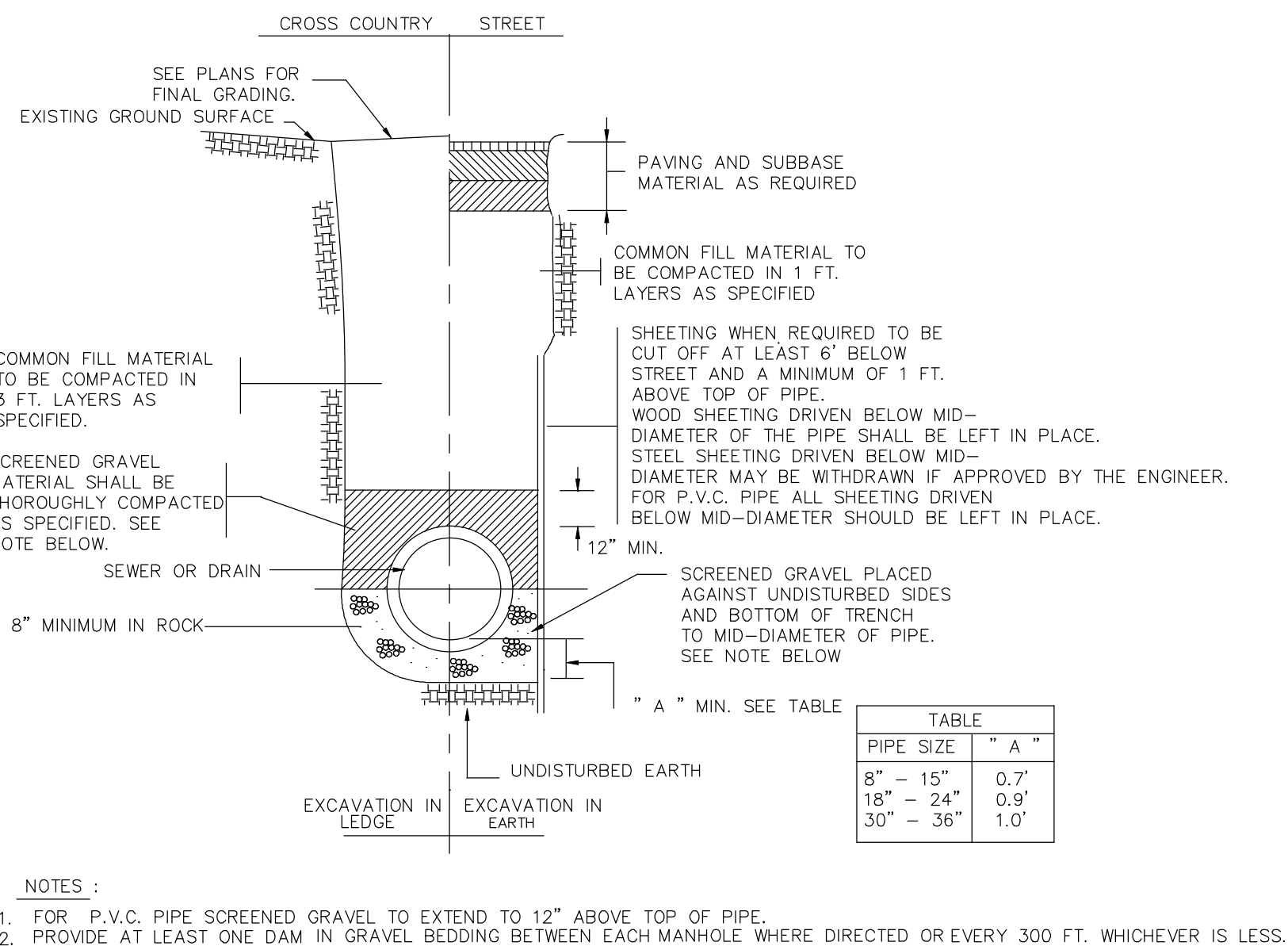


ALTERNATE TOP SLAB
FOR SHALLOW INVERTS
(STEEL REINFORCED FOR H-20 LOADING)



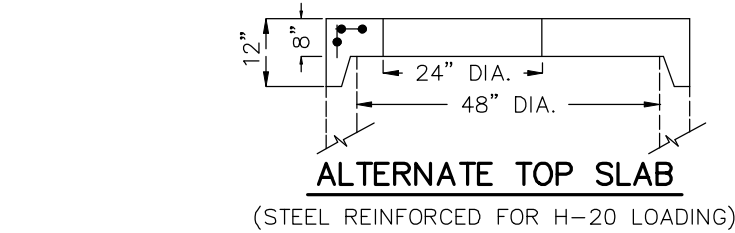
CATCH BASIN (CB) & DOUBLE GRATE CATCH BASIN (CB-DBL)

NOT TO SCALE

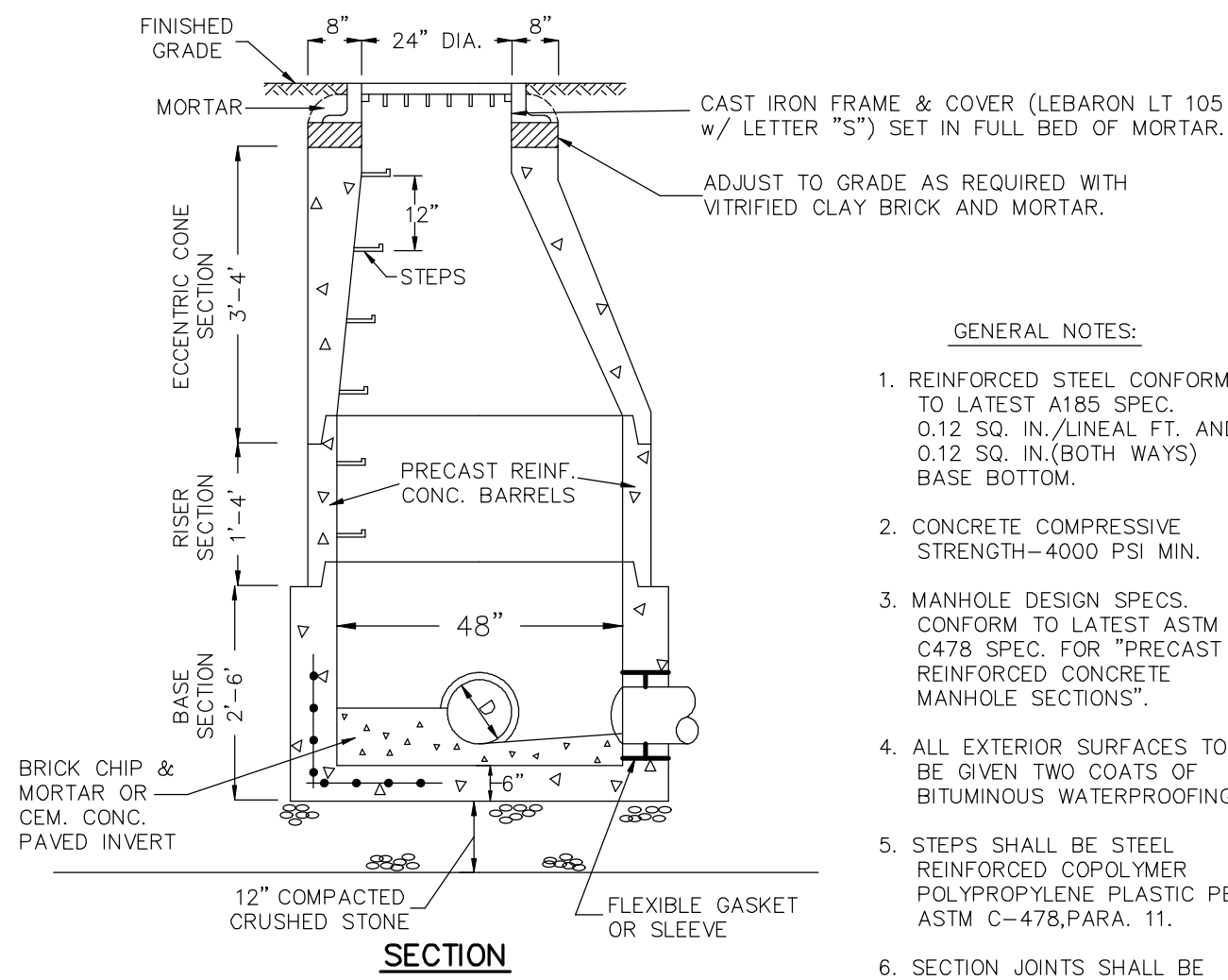


TYPICAL TRENCH DETAIL FOR SEWER & DRAIN

NOT TO SCALE



ALTERNATE TOP SLAB
(STEEL REINFORCED FOR H-20 LOADING)



SANITARY SEWER MANHOLE (SMH)

NOT TO SCALE

GENERAL SITE NOTES

- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT. WORKSCOPE PRIOR TO THE INITIATION OF CONSTRUCTION, SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS, RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.
 - ALL WORK SHALL CONFORM TO LOCAL, COMMONWEALTH OF MASSACHUSETTS, AND OSHA STANDARDS AND GUIDELINES.
 - LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. ALL UTILITY SERVICE CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
 - ALL UTILITY LOCATIONS ARE APPROXIMATE, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE CONDUITS, PRODUCT PIPING, ETC. PRIOR TO COMMENCEMENT OF EXCAVATION OF ANY TYPE.
 - ALL EXCAVATED UNSUITABLE MATERIAL MUST BE TRANSPORTED TO AN APPROVED DISPOSAL LOCATION.
 - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY "DIG SAFE" (1-888-344-7233) 72 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE. CONTRACTOR SHALL ALSO NOTIFY THE LOCAL DEPARTMENT OF PUBLIC WORKS TO MARK OUT THEIR UTILITIES.
 - THE LIMITS OF WORK SHALL BE CLEARLY MARKED IN THE FIELD PRIOR TO THE START OF CONSTRUCTION OR SITE CLEARING.
 - ALL CONCRETE AND BITUMINOUS PATCH AREAS TO MATCH EXISTING GRADES.
 - SOLID WASTE TO BE DISPOSED OF BY CONTRACTOR IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
 - CONTRACTOR IS RESPONSIBLE FOR ALL EXCAVATION TO BE PERFORMED IN ACCORDANCE WITH CURRENT STANDARDS, AS WELL AS ADDITIONAL PROVISIONS TO ASSURE STABILITY OF CONTIGUOUS STRUCTURES.
 - IN CASE OF DISCREPANCIES BETWEEN PLANS, THE SITE PLAN WILL SUPERSEDE IN ALL CASES. NOTIFY ENGINEER OF RECORD OF ANY CONFLICTS.
- DIG SAFE NOTE:**
UTILITIES ARE PLOTTED FROM FIELD LOCATION AND ANY RECORD INFORMATION AVAILABLE, AND SHOULD BE CONSIDERED APPROXIMATE. OTHER UTILITIES MAY EXIST WHICH ARE NOT EVIDENT OR FOR WHICH RECORD INFORMATION WAS NOT AVAILABLE. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING. ALSO, CALL "DIG-SAFE" AT 1(888)344-7233 1(888)DIG-SAFE.
- THE OFFSETS AS SHOWN ON THIS PLAN ARE NOT TO BE USED FOR THE ESTABLISHMENT OF PROPERTY LINES OR FOR THE ESTABLISHMENT OF ANY PROPOSED CONSTRUCTION UNLESS SAID CONSTRUCTION IS SHOWN HEREON.
- THIS PLAN WAS PREPARED FOR THE EXCLUSIVE USE AND PURPOSE FOR THE PARTY STATED HEREON AND SHALL NOT BE USED BY ANY THIRD PARTY WITHOUT THE EXPRESSED WRITTEN PERMISSION OF RONALD TIBERI P.E.
- CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.



APPROVED BY PLANNING BOARD

DATE: _____



REVISIONS

No.	DATE	DESCRIPTION
1.	11-24-19	TOWN COMMENTS
2.	12-3-19	TOWN COMMENTS
3.	2-6-20	TOWN & PEER REVIEW COMMENTS

DETAILS

IN
MEDWAY, MASSACHUSETTS

EVERGREEN VILLAGE
22 EVERGREEN STREET

PREPARED FOR: SAMPSON POND LLC
P.O. Box 5
MEDWAY MA 02053

PREPARED By: RONALD TIBERI P.E.
9 MASSACHUSETTS AVE.
NATICK MA 01760

DRAWING SCALE: 1 inch = 20 feet

PROJECT NUMBER: 2616

DATE: SEPT 2.2019

SOIL EVALUATIONS PERFORMED BY MASSACHUSETTS
CERTIFIED DEP SOIL EVALUATOR ON NOV. 23, 2018.

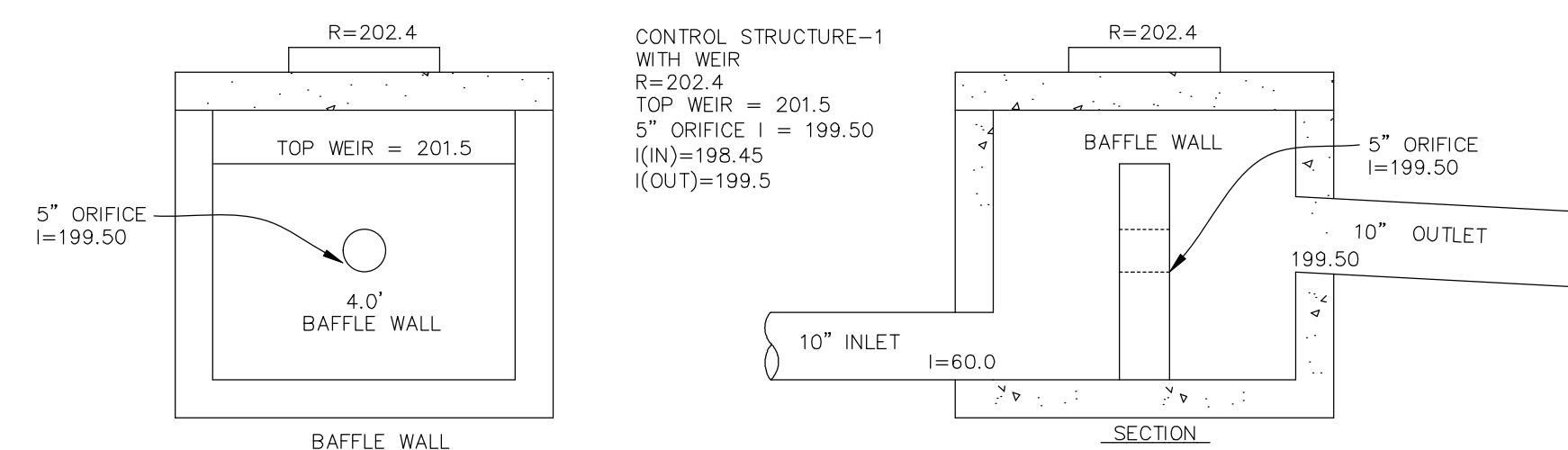
RECENT HEAVY RAIN, WET
CONDITIONS, SATURATED SOIL.

GREGORY A. BENAVICZ SF 2712



Notes

1. The Use Of Flexible Connection is Recommended at The Inlet and Outlet Where Applicable.
2. The Cover Should be Positioned Over The Inlet Drop Pipe and The Oil Port.
3. The Stormceptor System is protected by one or more of the following U.S. Patents: #4985148
#5498331, #5725760, #5753115, #5849181, #6068765, #6371690.

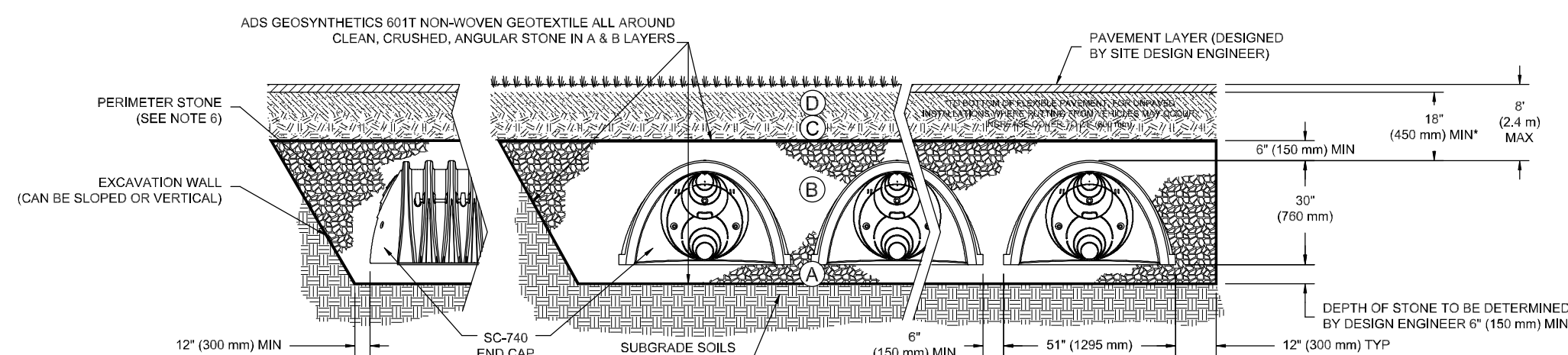


NOT TO SCALE

	MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER D STARTS FROM THE TOP OF THE C LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBGRADE MAY BE A PART OF THE C LAYER.	ANY SOIL/ROCK MATERIALS, NATIVE SOILS, OR PAVED ENGINEERS' PLANS. CHECK PLANS FOR PAVED SUBGRADE REQUIREMENTS.	N/A	PREPARE PRE SITE DESIGN ENGINEERS' PLANS, PAVED INSTALLATIONS MAY HAVE STRONGER MATERIAL AND PREPARATION REQUIREMENTS.
	INITIAL FILL: FILL MATERIAL FOR LAYER C STARTS FROM THE TOP OF THE EMBEDEDMENT STONE (B) LAYER TO 1' (300 mm) ABOVE THE EMBEDEDMENT STONE (B) LAYER. THE PAVEMENT SUBGRADE MAY BE A PART OF THE C LAYER.	GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, <35% FINES OR PROCESS-AGGREGATE. MOST PAVEMENT SUBGRADE MATERIALS CAN BE USED IN LAYER C OF THIS LAYER.	AASHTO M151 or M-2, A-2, A-3 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 8, 9, 10	BEGIN COMPACTIONS AFTER 1" (200 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN P (150 mm) MAX LIFT TO A MIN. 95% (90% FOR SUBGRADE) WELL-GRADED MATERIAL, 95% (90% RELATIVE TO THE FINEST FOR PROCESS-AGGREGATE MATERIALS). ROLLER GROSS DYNAMIC WEIGHT NOT TO EXCEED 12,000 LB (5,443 KG), VIBRACTION FORCE NOT TO EXCEED 20,000 LB (89 kN).
	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS WITH THE FOUNDATION STONE (A LAYER) TO THE C LAYER ABOVE.	CLEAN, CRUSHED, ANGULAR STONE, NOMINAL SIZE DISTRIBUTION BETWEEN 3/4" INCH (20 mm)	AASHTO M31 3, 357, 4, 467, 5, 56, 57	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBERS.	CLEAN, CRUSHED, ANGULAR STONE, NOMINAL SIZE DISTRIBUTION BETWEEN 3/4" INCH (20 mm)	3, 357, 4, 467, 5, 56, 57	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE."



PLEASE NOTE:

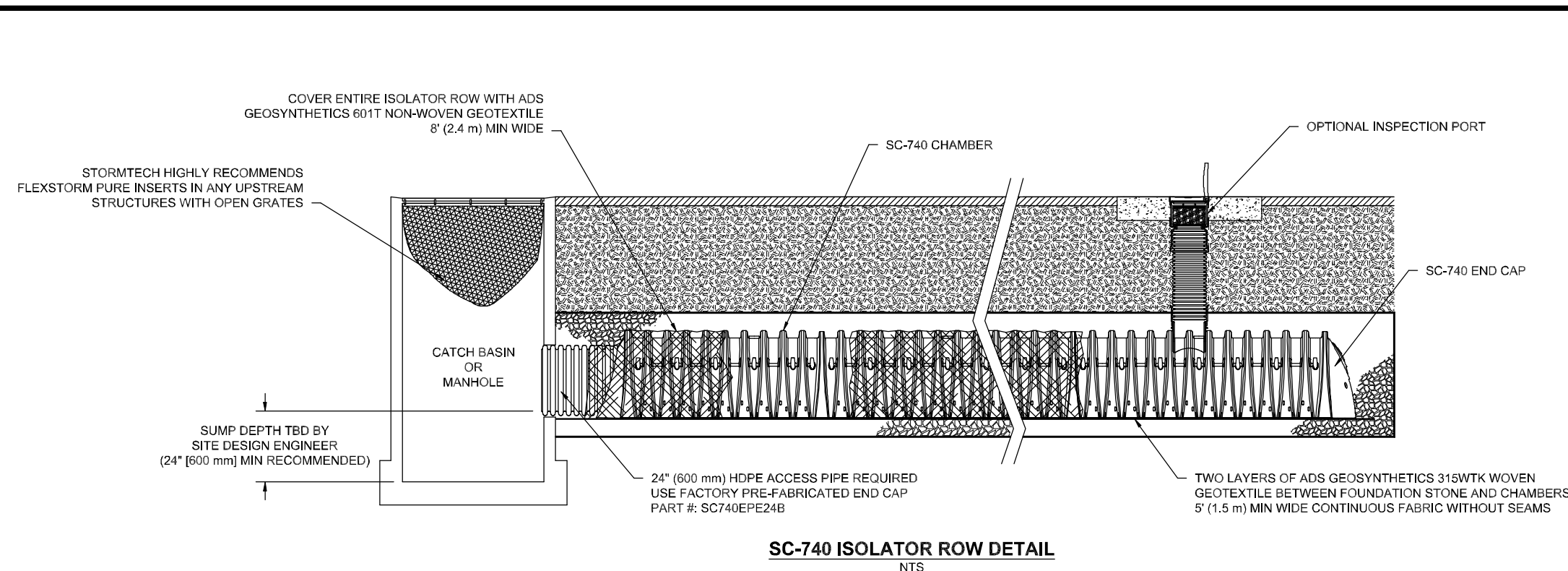
1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M33) STONE".
2. STORMTREC COMPACTOR REQUIREMENTS ARE MET FOR ALL LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 150 mm (6") LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
3. WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTREC FOR COMPACTION REQUIREMENTS.



1. SC-740 CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2418 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS" OR ASTM F2922 "STANDARD SPECIFICATION FOR POLYETHYLENE (PE) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".

3. SC-745 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2767 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
3. "ACCEPTABLE FILL MATERIALS" TABLE ABOVE PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS FOR FOUNDATION, EMBEDEMMENT, AND FILL MATERIALS.
4. THE "SITE DESIGN ENGINEER" REFERS TO THE ENGINEER RESPONSIBLE FOR THE DESIGN AND LAYOUT OF THE STORMWATER CHAMBERS FOR THIS PROJECT.
5. THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION SOIL WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
6. PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
- ONCE LAYER C IS PLACED, ANY SOLI/MATERIAL CAN BE PLACED IN LAYER D UP TO THE FINISHED GRADE. MOST VARIOUS SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL.

 ADVANCED DESIGN SERVICES, INC. 3400 TREHMAN BLVD HILLIARD, OH 43026 (614) 890-7337/473	 STORMWATER MANAGEMENT 10000 WOODBURN RD COLUMBUS, OH 43240	REV	DRAW	CHK	DESCRIPTION
STANDARD CROSS SECTION SC-740 DATE: 11/18/14 DRAWN: JLM PROJECT #: CHECKED: JLM					



STEP 1 INSPECT ISOLATOR ROW FOR SEDIMENT

A. INSPECTION PORTS (IF PRESENT)

1. REMOVE/OPEN UP ONLY CAST-IN-LINE DRAIN

2. REMOVE AND CLEAN FLEXFORM FILTER IF INSTALLED

A.2. USE A FLASHLIGHT AND STADIUM ROD, MEASURE DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG

A.3. LOWER A CAMERA INTO ISOLATOR TO VISUALLY INSPECT DEPTH OF SEDIMENT LEVELS (OPTIONAL)

A.4. IF SEDIMENT IS 0" OR ABOVE, 3" (90mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.

B. ISOLATOR ROWS

B.1. REMOVE COVER FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW


USE A FLASHLIGHT, INSPECT DOWN THE ISOLATOR ROW THROUGHT OUTLET PIPE

B.2. IMPROPS OR PILES OF CATCHES MAY BE USED TO AVOID A CONFIRMED SPACE ENTRY

B.3. FOLLOW OSHA REGULATIONS FOR CONFINED SPACE ENTRY IF ENTERING ANNULAR SPACE

B.4. SEDIMENT IS 0" OR ABOVE, 3" (90mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.

1. INSPECT EVERY 6 MONTHS DURING THE FIRST YEAR OF OPERATION. ADJUST THE INSPECTION INTERVAL BASED ON OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER ELEVATIONS.
2. CONDUCT JETTING AND VACTORING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.

 Stormtech <small>Stormtech LLC • 10000 Highway 100 • Suite 100 • Houston, TX 77036 • USA</small> <small>Stormtech is an Equal Opportunity Employer. Minorities and women are encouraged to apply.</small>	REV	DRAW	CHK	DESCRIPTION
<p>SC-740 ISOLATOR ROW DETAILS</p> <p>DATE: 11/18/14 DRAWN: JLM PROJECT #: 140001353/473</p> <p>CHECKED: JLM</p> <p>PROJECT #:</p>				

GENERAL SITE NOTES

1. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT AND TO NOTIFY THE OWNER IMMEDIATELY IN WRITING IF THE CONTRACTOR SHOULD FIND A CONFLICT WITH THE DOCUMENTS, RELATIVE TO THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING SHALL BE FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL LOCAL REGULATIONS AND CODES.
2. ALL WORK SHALL CONFORM TO LOCAL, COMMUNITY AND FEDERAL REQUIREMENTS, ORDINANCES, AND STANDARDS.
3. LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY BY LOCAL UTILITY COMPANIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL UTILITY SERVICE CONNECTION POINTS AND SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION OF THE CONNECTION IN THE FIELD PRIOR TO CONSTRUCTION.
4. ALL UTILITY LOCATIONS ARE APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE CUDNERS, PRODUCT PIPING, ETC. PRIOR TO CONSTRUCTION.
5. ALL EXCAVATED UNSUITABLE MATERIAL MUST BE TRANSPORTED TO AN APPROVED DISPOSAL LOCATION.
6. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY "DIE SAGE" (1-888-344-7235) 72 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCAL DEPARTMENT OF PUBLIC WORKS TO MARK OUT THEIR UTILITIES.
7. THE LIMITS OF WORK SHALL BE CLEARLY MARKED IN THE FIELD PRIOR TO THE START OF CONSTRUCTION OR SITE CLEARING.
8. ALL CONCRETE AND STIMINOUS PATCH AREAS TO MATCH EXISTING AREAS.
9. SOIL WASTE TO BE DISPOSED OF BY CONTRACTOR IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
10. CONTRACTOR IS RESPONSIBLE FOR ALL EXCAVATION TO BE PERFORMED TO BE PROTECTED BY SHIELDING AND BRACING. THE CONTRACTOR SHALL PROVIDE PROVISIONS TO ASSURE STABILITY OF CONTIGUOUS STRUCTURES.
11. IN CASE OF DISCREPANCIES BETWEEN PLANS, THE SITE PLAN WILL PREVAIL IN ALL CASES. NOTIFY ENGINEER OF RECORD IF ANY CONFLICTS.

UTILITIES ARE PLOTTED FROM FIELD LOCATION AND ANY RECORD INFORMATION AVAILABLE, AND SHOULD BE CONSIDERED APPROXIMATE. OTHER UTILITIES MAY EXIST WHICH ARE NOT EVIDENT OR FOR WHICH RECORD INFORMATION WAS NOT AVAILABLE. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING. ALSO, CALL "DIG-SAFE" AT 1(888)344-7233 01(888)DIG-SAFE.

THE OFFSETS AS SHOWN ON THIS PLAN ARE NOT
TO BE USED FOR THE ESTABLISHMENT OF PROPERTY LINES
OR FOR THE ESTABLISHMENT OF ANY PROPOSED CONSTRUCTION
UNLESS SAID CONSTRUCTION IS SHOWN HEREON.

THIS PLAN WAS PREPARED FOR THE EXCLUSIVE USE AND PURPOSES OF THE PARTY STATED HEREON AND SHALL NOT BE USED BY ANY THIRD PARTY WITHOUT THE EXPRESSED WRITTEN PERMISSION OF RONALD TIBERI P.E.

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS,
RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER
LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE
TITLE.

APPROVED BY PLANNING BOARD

DATE:



No.	DATE	DESCRIPTION
1.	11-24-19	TOWN COMMENTS
2.	12-3-19	TOWN COMMENTS
3.	2-6-20	TOWN & PEER REVIEW COMMENTS

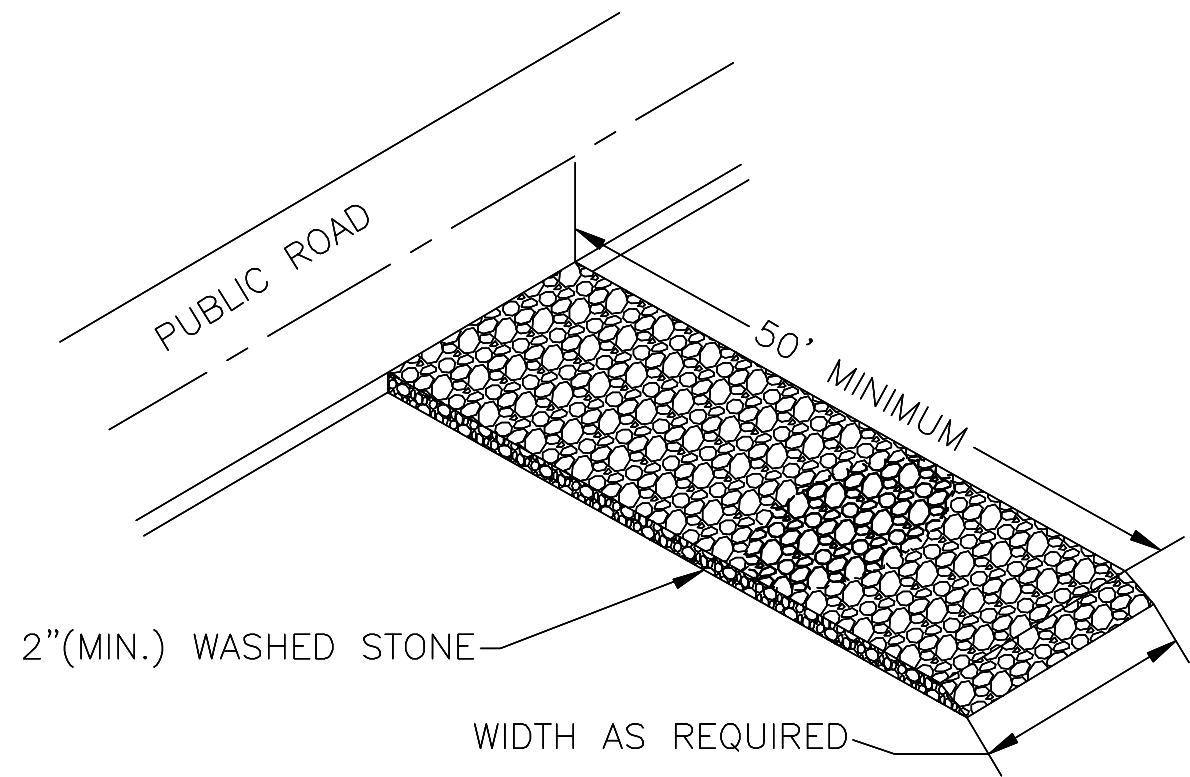
PREPARED FOR: SAMPSON POND LLC
P.O. Box 5
MEDWAY MA 02053

PREPARED By: RONALD TIBERI P.E.
9 MASSACHUSETTS AVE
NATICK MA 01760

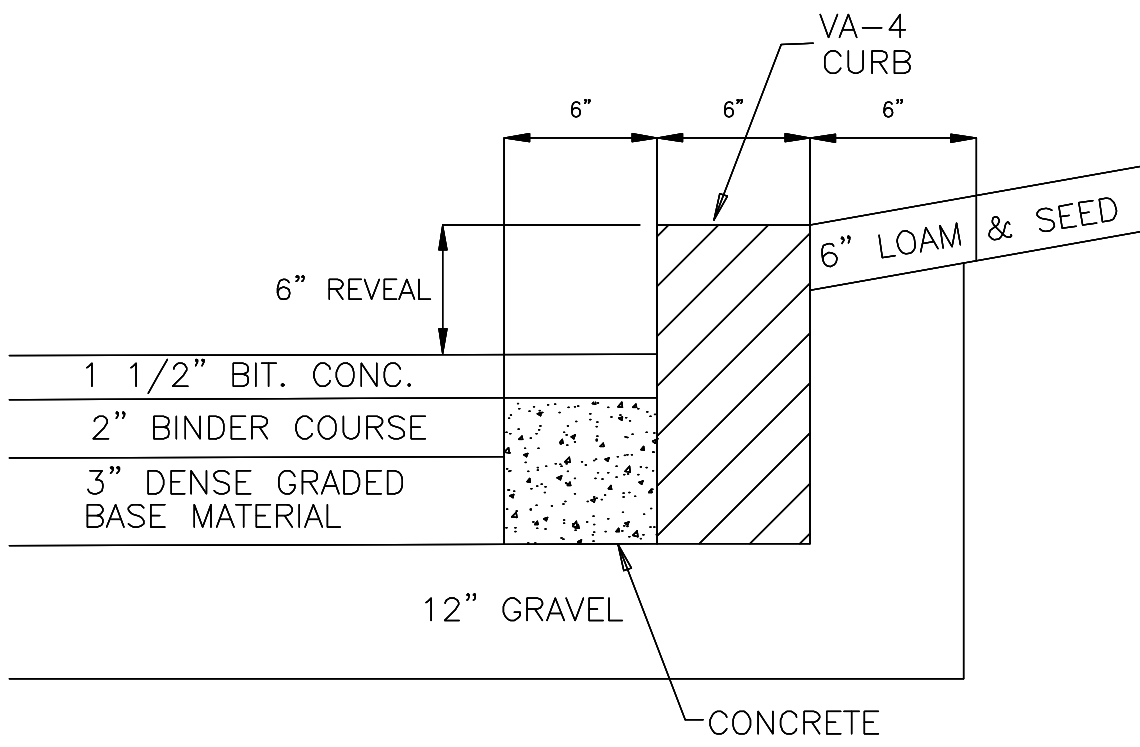
DRAWING SCALE: 1 inch = 20 feet

PROJECT NUMBER: 2616

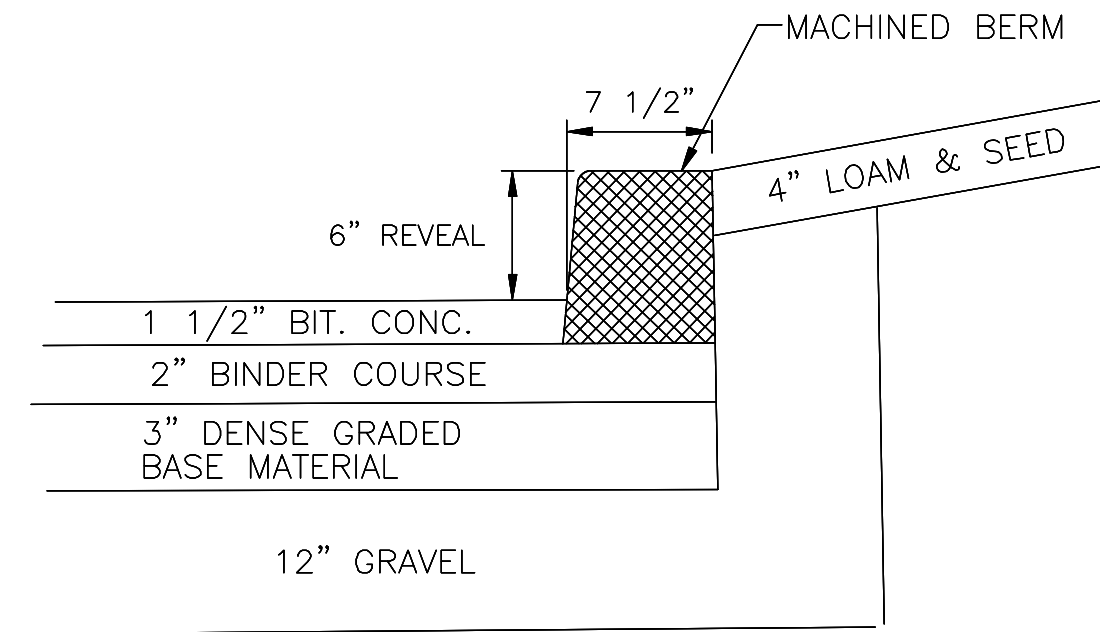
DATE: SEPT 2, 2019



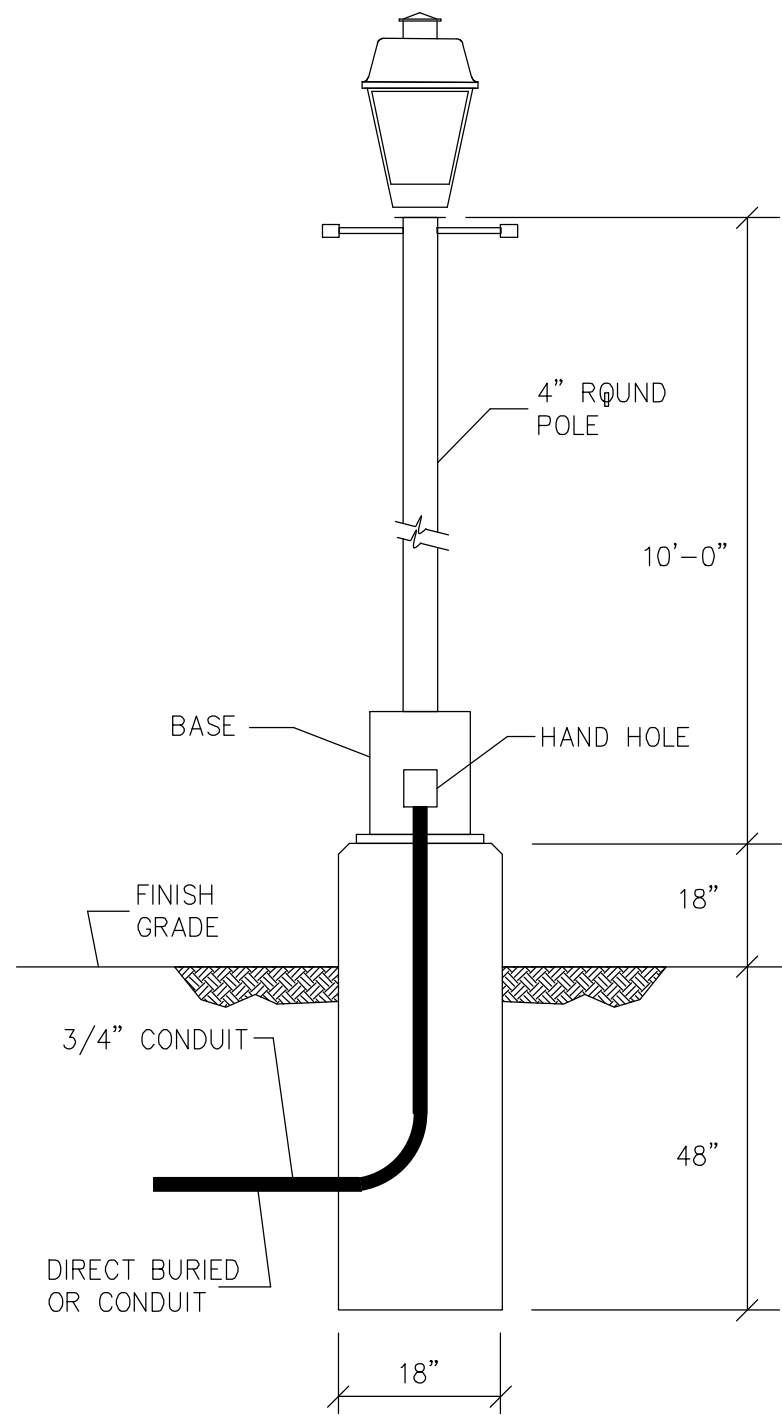
CONSTRUCTION ENTRANCE DETAIL
NOT TO SCALE



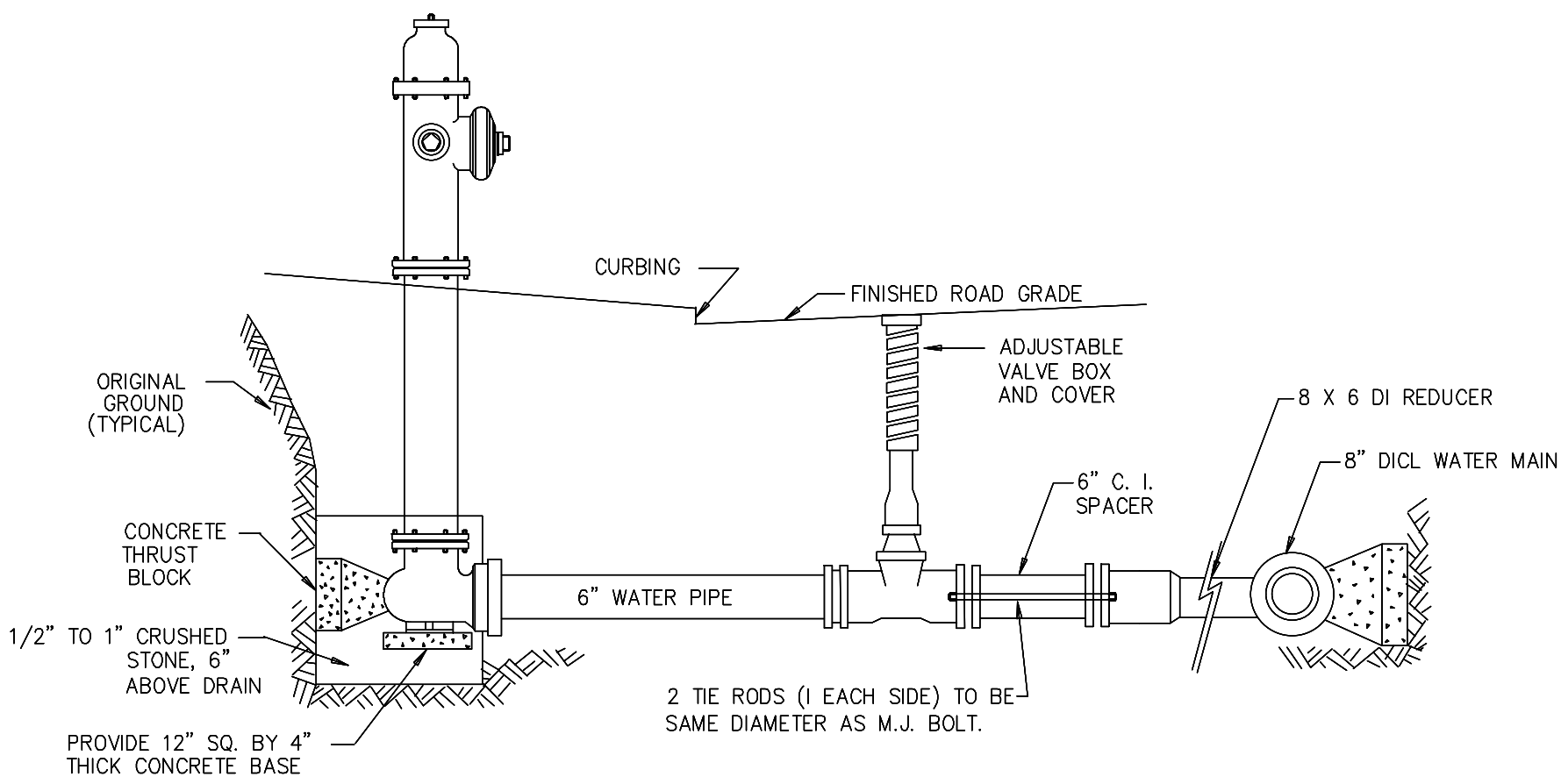
VERTICAL GRANITE CURB DETAIL
NOT TO SCALE



BITUMINOUS MACHINED BERM
NOT TO SCALE

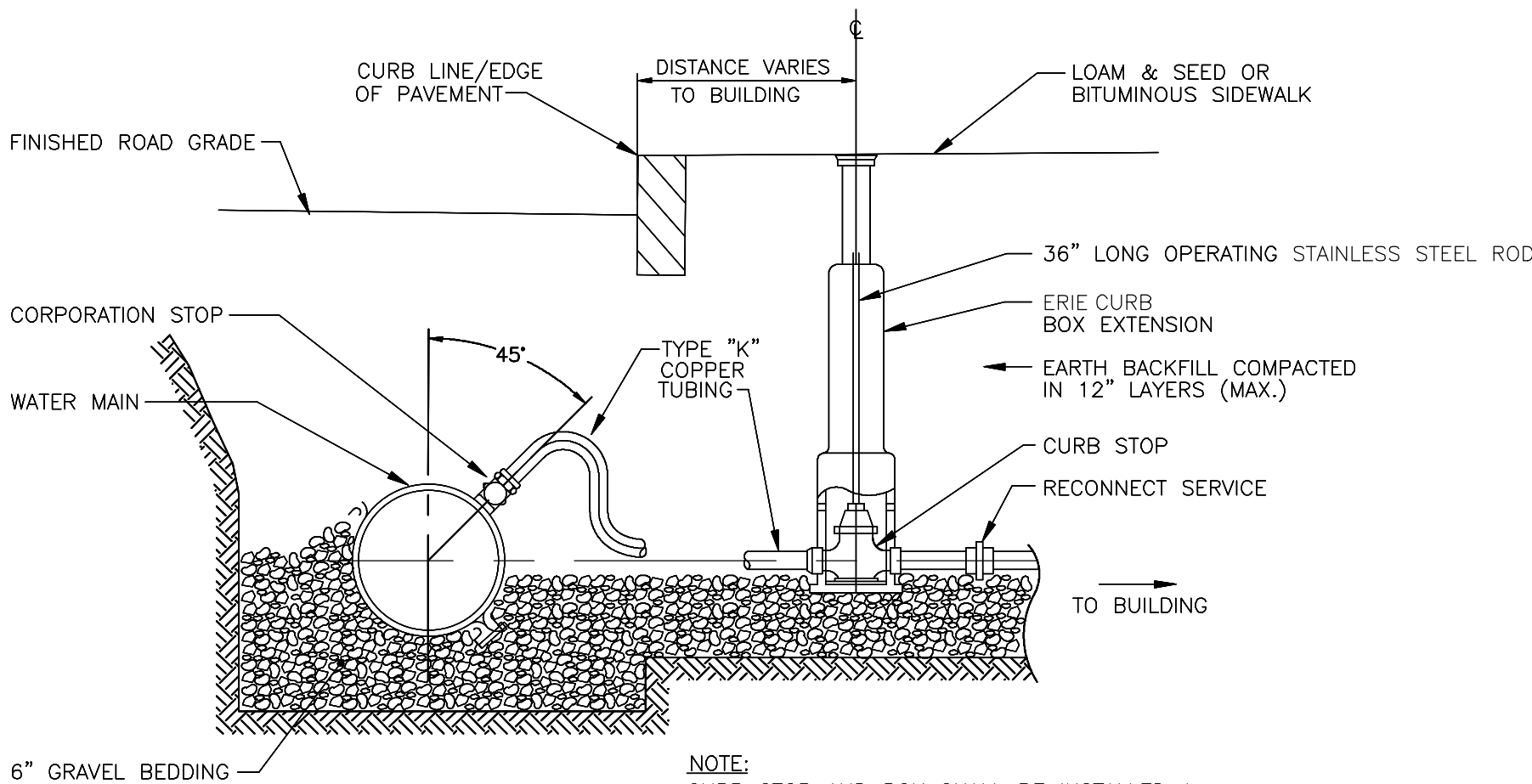


N.T.S.					
TYPE	MOUNT	VOLT	LAMP	CATALOG #	MANUFACTURER
II	POLE	120	39W	20LEDE10	VALIANT



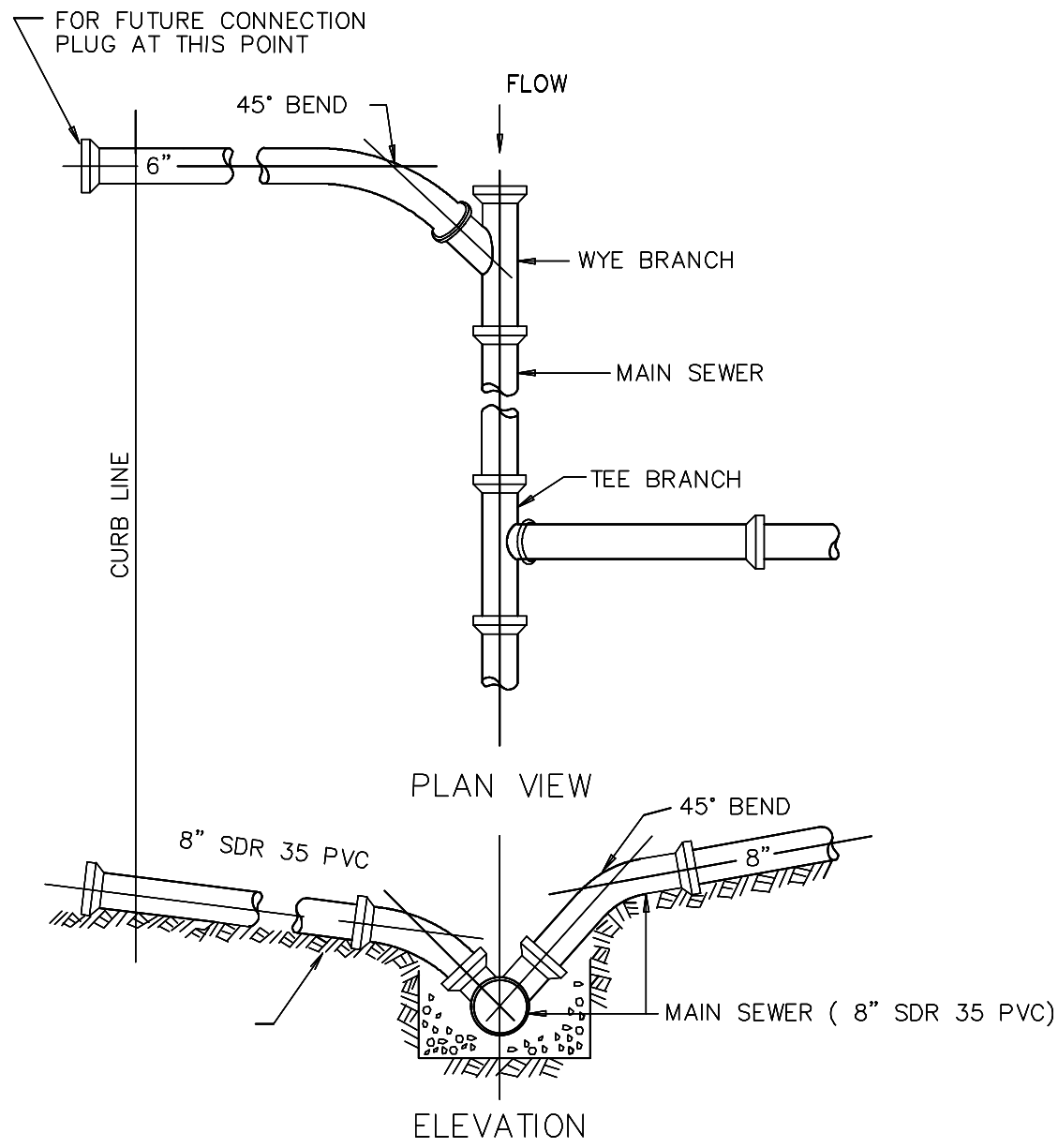
TYPICAL HYDRANT INSTALLATION
(NOT TO SCALE)

- NOTES:
1. ONLY MUELLER, AMERICAN-DARLING B-62-B OR U.S. PIPE METROPOLITAN HYDRANTS CAN BE USED.
 2. ALL WATER LINES WILL HAVE MEGA LUG OR EQUAL RESTRAINTS ON ALL UNRESTRAINED JOINTS.
 3. TIE RODS TO BE USED IN PLACE OF TRUST BLOCK BLOCKS IN FILL AREAS OR WHERE EXISTING SOIL LACKS SUFFICIENT BEARING STRENGTH.



TYPICAL HOUSE SERVICE CONNECTION
(NOT TO SCALE)

- NOTE:
1. ALL SERVICE CONNECTION FITTINGS SHALL BE BY THE MUELLER COMPANY.
 2. ALL WORK AND MATERIALS SHALL CONFORM TO STANDARDS AND SPECIFICATIONS OF THE TOWN OF MEDWAY'S DEPARTMENT OF PUBLIC WORKS.



SEWER SERVICE CONNECTION DETAIL
NOT TO SCALE



REVISIONS		
No.	DATE	DESCRIPTION

SITE DETAILS

**EVERGREEN VILLAGE
22 EVERGREEN STREET**

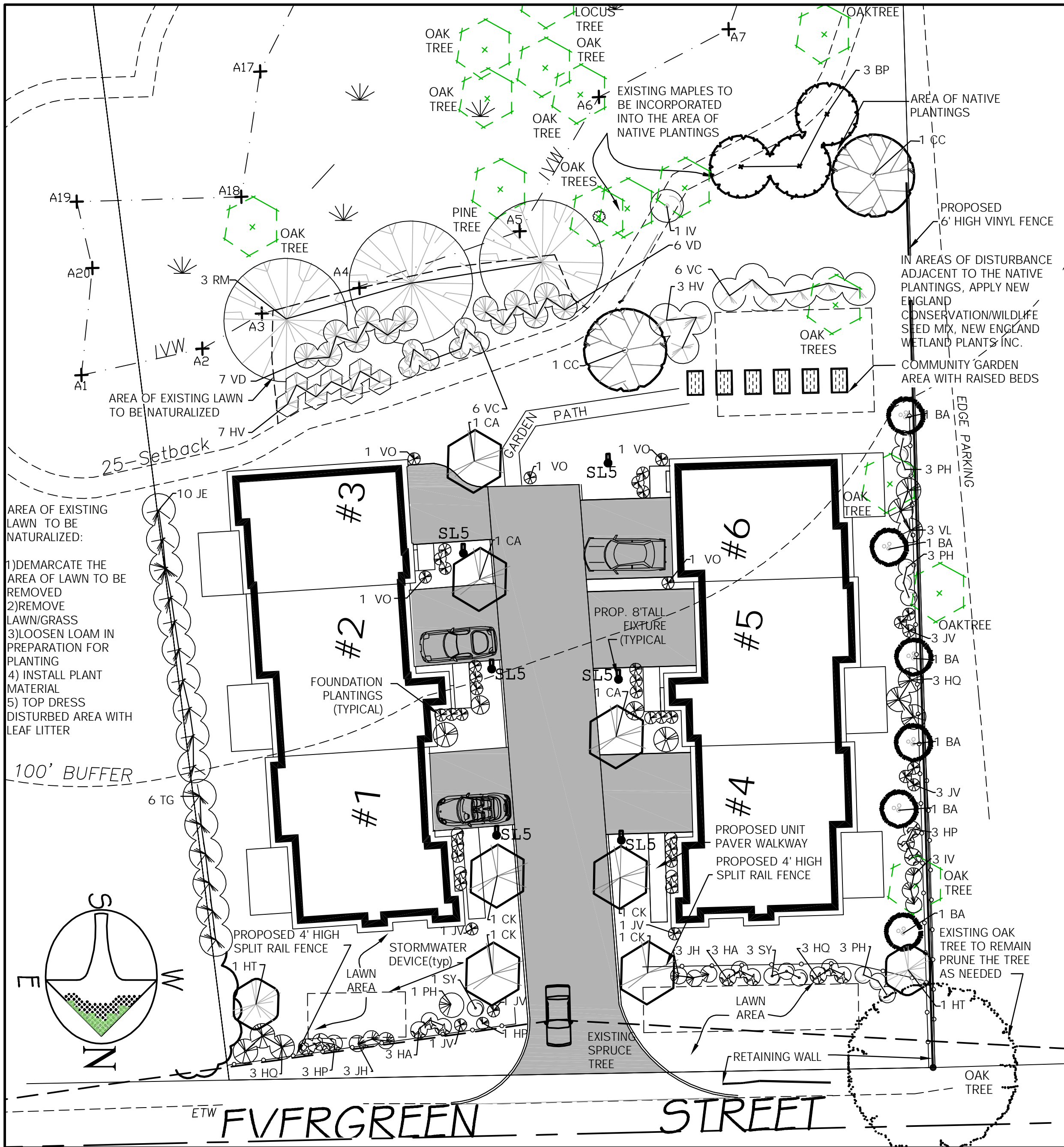
PREPARED FOR: **SAMPSON POND LLC**
P.O. Box 5
MEDWAY MA 02053

PREPARED By: **RONALD TIBERI P.E.**
9 MASSACHUSETTS AVE.
NATICK MA 01760

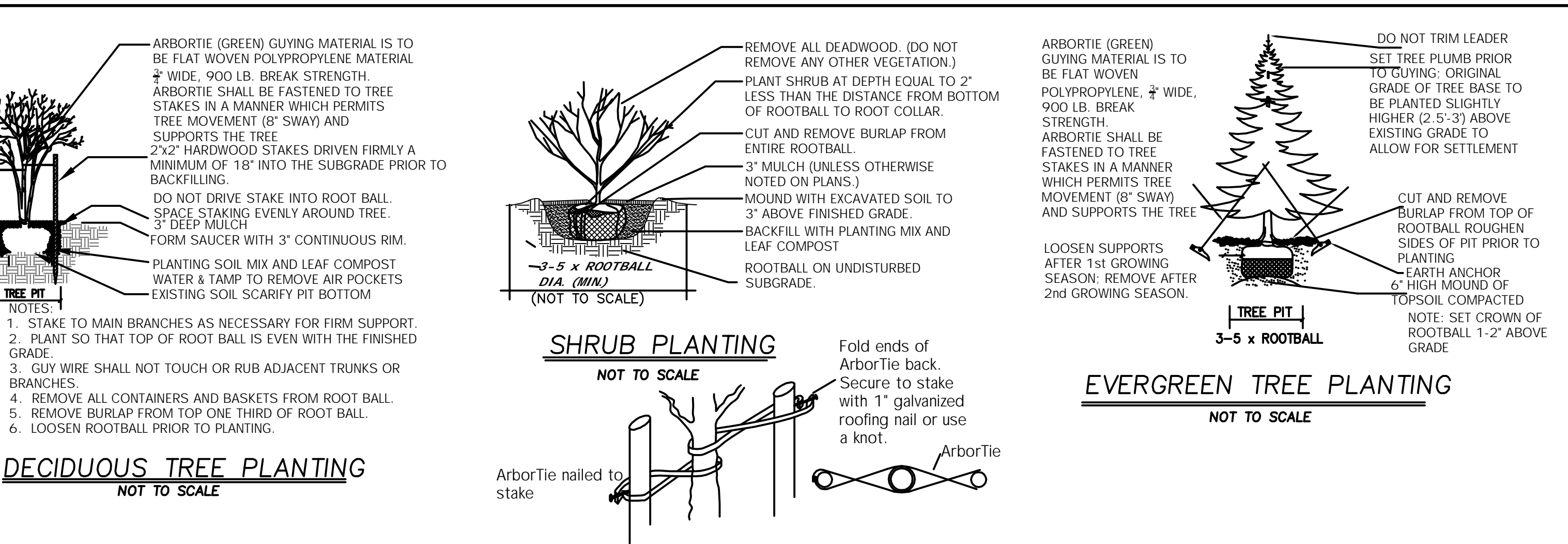
DRAWING SCALE: 1 inch = 20 feet

PROJECT NUMBER: 2616

DATE: NOV.2019



LANDSCAPING NOTES					
1.	NOTIFY DIG-SAFE AT 1-888-DIG-SAFE AND LOCAL AUTHORITIES PRIOR TO ANY TYPE OF SITE PREPARATION OR CONSTRUCTION.				
2.	THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIAL AND MULCH IN SUFFICIENT QUANTITIES TO COMPLETE PLANTING AS SHOWN ON THE DRAWINGS.				
3.	DRAWING QUANTITIES TAKE PRECEDENCE OVER PLANT LIST QUANTITIES.				
4.	ALL PLANT MATERIAL SHALL CONFORM TO THE GUIDELINES SET FORTH BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.				
5.	ALL TREES AND SHRUBS SHALL BE PLANTED WITH THE "BEST FACE" SHOWING. ALL PLANTS SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN, UNLESS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT.				
6.	ALL CONTAINER GROWN TREES SHALL BE HEALTHY, VIGOROUS, WELL ROOTED AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE GROWING. THEY SHALL HAVE TOPS OF GOOD QUALITY, NO APPARENT INJURY AND BE IN A HEALTHY GROWING CONDITION. A CONTAINER GROWN PLANT SHALL HAVE A WELL ESTABLISHED ROOT SYSTEM REACHING THE SIDES OF THE CONTAINER TO MAINTAIN A FIRM BALL.				
7.	THE QUALITY OF ALL TREES & SHRUBS IS TO BE NORMAL FOR THE SPECIES. ALL PLANTS ARE TO HAVE DEVELOPED ROOT SYSTEMS, TO BE FREE OF INSECTS AND DISEASES AS WELL AS MECHANICAL INJURIES, AND IN ALL RESPECTS BE SUITABLE FOR PLANTINGS.				
8.	ALL CONIFERS SHALL HAVE DORMANT BUDS AND SECONDARY NEEDLES.				
9.	WHERE SPECIFIED, CALIPER SIZE IS TO BE THE OVERRIDING FACTOR IN TREE SELECTION. CALIPER SIZE SHALL BE MEASURED 12" ABOVE THE ROOTBALL.				
10.	PLANT SUBSTITUTIONS ARE NOT ALLOWED UNLESS APPROVED BY THE PROJECT LANDSCAPE ARCHITECT.				
11.	ALL DISTURBED AREAS NOT SHOWN OTHERWISE SHALL BE LOAMED AND SEEDED AND BLENDED INTO EXISTING GRADE AND CONDITIONS.				
12.	PRIOR TO INSTALLING ANY PLANT MATERIAL, THE CONTRACTOR SHALL SUBMIT A LOAM SOIL SAMPLE FOR A ROUTINE, ORGANIC, SALTS, AND NITRATE SOIL TEST. UPON THE RESULTS OF THIS TEST, THE SITE CONTRACTOR SHALL AMEND THE LOAM AS RECOMMENDED. SEND THE SOIL SAMPLE TO THE UNIVERSITY OF MASSACHUSETTS SOIL AND PLANT TISSUE TESTING LABORATORY, WEST EXPERIMENT STATION, 682 NORTH PLEASANT ST., UNIVERSITY OF MASSACHUSETTS, AMHERST, MA 01003.				
13.	LAWN SEED MIX SHALL BE THE PREVIOUS YEARS CROP: 35% JEFFERSON KENTUCKY BLUEGRASS, 35% CARMEN CHEWING FESCUE AND 30% STALLION PERENNIAL RYEGRASS, OR APPROVED EQUAL PLANT AT A RATE OF 1 LB. PER 150 SQUARE FEET.				
14.	SLOPE SEED MIX SHALL BE THE PREVIOUS YEARS CROP. PLANT AT A RATE OF 1 LB. PER 150. SQUARE FEET. SEED MIX SHALL BE STALLION PERENNIAL RYE 10%, CREEPING RED FESCUE 50%, ANNUAL RYE GRASS 15%, JEFFERSON KENTUCKY BLUE GRASS 10%, RED TOP CLOVER 5%, AND LADINO CLOVER 5%, OR APPROVED EQUAL PLANT AT A RATE OF 1 LB. PER 150SF.				
15.	LAWN SEED AREAS SHALL BE NOT BE DEEMED ACCEPTABLE UNTIL IN EXCESS OF 90% OF EACH AREA, INDEPENDENTLY, IS GERMINATED, GROWING AND DISPLAYING HEALTHY, UNIFORM GROWTH AND HAS BEEN CUT TWICE. THE SITE CONTRACTOR IS RESPONSIBLE FOR APPLYING AT A MINIMUM 1" OF WATER A WEEK UNTIL THE SEEDED AREAS HAVE BEEN ACCEPTED. THE WATERING SHALL OCCUR IN SMALL DOSES. THE SITE CONTRACTOR IS RESPONSIBLE FOR REMOVING ANY WEEDS (CRAB GRASS) WITHIN THE SEEDED AREAS UNTIL THE SEEDED AREAS HAVE BEEN ACCEPTED.				
16.	THE HYDRO SEED SLURRY SHALL BE A WOOD BASED BONDED FIBER MATRIX. THE APPLICATION RATE SHALL BE 2,500-3,000LB. PER ACRE SPRAYED IN A LEAST TWO DIRECTIONS. DO NOT APPLY HYDRO SEED SLURRY IF RAIN IS EXPECTED WITHIN 12 HOURS, AND WHEN TEMPERATURES ARE BELOW 50 DEGREES.				
17.	PRIOR TO PLANTING, THE LANDSCAPER SHALL REVIEW AND COORDINATE WITH THE SITE UTILITY PLAN AND GRADING PLAN.				
18.	THE ROOTS OF NEWLY PLANTED TREES AND SHRUBS MUST BE KEPT STEADILY MOIST, AS THE DEVELOPING ROOTS ESTABLISH IN THE NEW SOIL. AT PLANTING, WATER THOROUGHLY TO SOAK THE ROOTS AND TO SETTLE THE NEW SOIL AROUND THE ROOT BALL. THE AMOUNT OF SUPPLEMENTAL WATER NEEDED EACH WEEK DURING THE FIRST GROWING SEASON AFTER PLANTING DEPENDS ON RECENT RAINFALL, TEMPERATURE, AND WIND. IF LESS THAN ONE INCH OF RAIN HAS FALLEN OVER THE PAST FIVE TO SEVEN DAYS, THE NEW PLANTINGS MUST BE WATERED. LAWNS, TREES, AND SHRUBS WATERING SHALL OCCUR AT A MINIMUM OF TWO (2) TIMES A DAY FOR THE FIRST TWO (2) MONTHS; ONCE IN THE EARLY MORNING AND THEN THE OTHER IN THE LATE AFTERNOON. IN GENERAL TEN GALLONS OF WATER APPLIED TWICE A WEEK WILL WET A 20"-24" ROOT BALL AND PROVIDE THE EQUIVALENT OF ONE INCH OF RAIN FALL. NEW LAWNS SHALL BE WATERED SO THAT IT RECEIVES AT A MINIMUM ONE INCH (1") OF WATER EVERY WEEK.				
19.	WITHIN THE LANDSCAPE BEDS ADJACENT TO THE BUILDING FOUNDATIONS, NO (HEMLOCK, PINE, SPRUCE, OR CEDAR) MULCH OR OTHER COMBUSTIBLE LANDSCAPE MATERIALS SHALL BE INSTALLED WITHIN 18" OF THE FOUNDATION.				
20.	ALL LANDSCAPE BEDS SHALL RECEIVE THREE-INCHES OF BARK MULCH.				
21.	LANDSCAPE AREAS SHALL BE DEEP TILLED TO A DEPTH OF TWELVE INCHES TO FACILITATE DEEP WATER PENETRATION.				
22.	THE QUANTITIES OF THE FOUNDATION PLANTINGS ARE NOT LISTED WITHIN THE PLANTING SCHEDULE. FOUNDATION PLANTINGS FOR UNITS OUTSIDE THE 100' BUFFER AND WITHIN THE 100' BUFFER SHALL BE FROM THE RECOMMENDED LISTS BELOW.				
PLANT SCHEDULE -					
RECOMMENDED FOUNDATION PLANTINGS FOR BUILDING UNITS OUTSIDE THE 100' WETLAND BUFFER					
'Buzzy Midnight' Butterfly Bush	<i>Buddleia davidii</i> 'Buzzy Midnight'	36" HT.	B&B		
'Blue Chip' Butterfly Bush	<i>Buddleia davidii</i> 'Blue Chip'	36" HT.	B&B		
'Dark Knight' Bluebeard	<i>Caryopteris x clandonensis</i> 'Dark Knight'	36" HT.	B&B		
'Golden Mops' Hinoki Cypress	<i>Chamaecyparis obtusa</i> 'Golden Mops'	36" HT.	B&B		
'Pearl Glam' Calliopsis	<i>Calliopsis sp.</i> 'Pearl Glam'	36" HT.	B&B		
'Tiger Halo' Dogwood	<i>Cornus alba</i> 'Tiger Halo'	36" HT.	B&B		
'Gold Splash' Eucalyptus	<i>Eucalyptus fortunei</i> 'Gold Splash'	36" HT.	B&B		
'Lady Stanley' Rose of Sharon	<i>Hibiscus syriacus</i> 'Lady Stanley'	36" HT.	B&B		
'Little Quick Fire' Hydrangea	<i>Hydrangea paniculata</i> 'Little quick fire'	36" HT.	B&B		
'LimeLight' Hydrangea	<i>Hydrangea paniculata</i> 'LimeLight'	36" HT.	B&B		
'Sky Pencil' Holly	<i>Ilex crenata</i> 'Sky Pencil'	36" HT.	B&B		
'Blushing Knock out' Rose	<i>Rosa sp.</i> 'Blushing Knock Out'	36" HT.	B&B		
'Little Princess' Spirea	<i>Spiraea japonica</i> 'Little Princess'	36" HT.	B&B		
'Blue Muffin' Viburnum	<i>Viburnum dentatum</i> 'Blue Muffin'	36" HT.	B&B		
'Shasta' Viburnum	<i>Viburnum plicatum tomentosum</i> 'Shasta'	36" HT.	B&B		
'Hamel' Fountain Grass	<i>Pennisetum alopecuroides</i> 'Hamel'	#3 Pot	C.G.		



Front Elevation - not to scale

Planting Schedule			
Qty	Key	Common Name	Botanical Name
TREES			
6	BA	Balsam Fir	<i>Abies balsamea</i>
3	BP	Grey Birch	<i>Betula populifolia</i>
3	CA	Pagoda Dogwood	<i>Cornus alternifolia</i>
2	CC	Hornbeam	<i>Carpinus caroliniana</i>
4	CK	'Cherokee Brave' Dogwood	<i>Cornus florida</i> 'Cherokee Brave'
2	HT	'Tardiva' Hydrangea	<i>Hydrangea paniculata</i> 'Tardiva'
3	RM	Red Maple	<i>Acer rubrum</i>
6	TG	'Green Giant' Arborvitae	<i>Thuja x plicata</i> 'Green Giant'
SHRUBS			
9	HQ	Oakleaf Hydrangea	<i>Hydrangea quercifolia</i>
10	HV	Common Witchhazel	<i>Hamamelis virginiana</i>
4	IV	Winterberry	<i>Ilex verticillata</i>
7	HP	Golden Cup St. John's Wort	<i>Hypericum Hicote</i>
10	JE	Eastern Red Cedar	<i>Juniperus virginiana</i>
6	JH	Creeping Juniper	<i>Juniperus horizontalis</i>
7	JV	'Taylor' Red Cedar	<i>Juniperus virginiana</i> 'Taylor'
10	PH	'Summerwine' Purple Ninebark	<i>Physocarpus opulifolius</i> 'Summerwine'
4	SY	'Bloomerang' Lilac	<i>Syringa x Bloomerang</i>
12	VC	Highbush Blueberry	<i>Vaccinium corymbosum</i>
13	VD	Arrowwood Viburnum	<i>Viburnum dentatum</i>
3	VL	Chicago Lustre' Viburnum	<i>Viburnum dentatum</i> 'Chicago Lustre'
5	VO	Highbush cranberry	<i>Viburnum opulus</i>
PERENNIALS			
6	HA	'Aureola' Hakone Grass	<i>Hakonechloa macra</i> 'Aureola'

GENERAL SITE NOTES

1. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT. WORKSCOPE PRIOR TO THE BEGINNING OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS, RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO ADVISE THE PROJECT ENGINEER SHALL BE CONSIDERED ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.

2. ALL WORK SHALL CONFORM TO LOCAL, COMMONWEALTH OF MASSACHUSETTS, AND OSHA STANDARDS AND GUIDELINES.

3. LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. ALL UTILITY SERVICE CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

4. ALL UTILITY LOCATIONS ARE APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE CONDUITS, PRODUCT PIPING, ETC. PRIOR TO COMMENCEMENT OF EXCAVATION OF ANY TYPE.

5. ALL EXCAVATED UNSUITABLE MATERIAL MUST BE TRANSPORTED TO AN APPROVED DISPOSAL LOCATION.

6. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY "DIG SAFE" (1-888-344-7233) 72 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE. CONTRACTOR SHALL ALSO NOTIFY THE LOCAL DEPARTMENT OF PUBLIC WORKS TO MARK OUT THEIR UTILITIES.

7. THE LIMITS OF WORK SHALL BE CLEARLY MARKED IN THE FIELD PRIOR TO THE START OF CONSTRUCTION OR SITE CLEARING.

8. ALL CONCRETE AND BITUMINOUS PATCH AREAS TO MATCH EXISTING GRADES.

9. SOLID WASTE TO BE DISPOSED OF BY CONTRACTOR IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.

10. CONTRACTOR IS RESPONSIBLE FOR ALL EXCAVATION TO BE PERFORMED IN ACCORDANCE WITH CURRENT STANDARDS, AS WELL AS ADDITIONAL PROVISIONS TO ASSURE STABILITY OF CONTIGUOUS STRUCTURES.

11. IN CASE OF DISCREPANCIES BETWEEN PLANS, THE SITE PLAN WILL SUPERSEDE IN ALL CASES. NOTIFY ENGINEER OF RECORD OF ANY CONFLICTS.

DIG SAFE NOTE:

UTILITIES ARE PLOTTED FROM FIELD LOCATION AND ANY RECORD INFORMATION AVAILABLE, AND SHOULD BE CONSIDERED APPROXIMATE. OTHER UTILITIES MAY EXIST WHICH ARE NOT EVIDENT OR FOR WHICH RECORD INFORMATION WAS NOT AVAILABLE. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING. ALSO, CALL "DIG-SAFE" AT 1(888)344-7233 1(888)DIG-SAFE.

THE OFFSETS AS SHOWN ON THIS PLAN ARE NOT TO BE USED FOR THE ESTABLISHMENT OF PROPERTY LINES OR FOR THE ESTABLISHMENT OF ANY PROPOSED CONSTRUCTION UNLESS SAID CONSTRUCTION IS SHOWN HEREON.

THIS PLAN WAS PREPARED FOR THE EXCLUSIVE USE AND PURPOSE FOR THE PARTY STATED HEREON AND SHALL NOT BE USED BY ANY THIRD PARTY WITHOUT THE EXPRESSED WRITTEN PERMISSION OF RONALD TIBERI P.E.

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

REVISIONS

No.	DATE	DESCRIPTION
1.	09/02/19	Town comments
2.	11/04/19	Town comments
3.	11/25/19	Plan edits
4.	12/31/19	Town comments
5.	01/21/20	Town comments

PROPOSED SITE

LANDSCAPE PLAN

IN

MEDWAY, MASSACHUSETTS

EVERGREEN VILLAGE

22 EVERGREEN STREET

PREPARED FOR:

SAMPSON POND LLC
P.O. Box 5
MEDWAY MA 02053

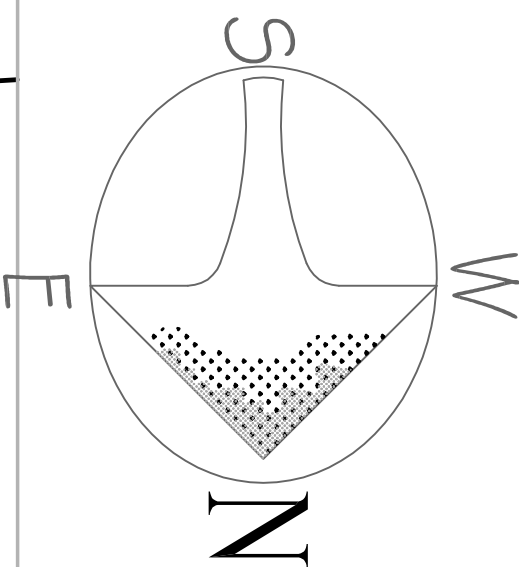
PREPARED By:

WDA DESIGN GROUP
31 EAST MAIN STREET
WESTBOROUGH, MA 01581

DRAWING SCALE: 1 inch = 20 feet

PROJECT NUMBER: 2616

DATE: SEPTEMBER 2.2019



Luminaire Schedule							
Qty	Label	Arrangement	Lumens	Input Watts	LLF	BUG Rating	Description
6	SL5	SINGLE	2885	37.74	0.850	B2-U3-G2	HADCO TX132-G2-B-S-L-CAGE-FINIAL-FASTENER-FINISH-5-PHOTO-NA3 / MOUNTED TO 8FT POLE

Calculation Summary						
Label	Grid Height	Avg	Max	Min	Avg/Min	Max/Min
CalcPts_1	0	0.16	1.8	0.0	N.A.	N.A.
DRIVE LANE		0.89	1.8	0.1	8.90	18.00

GENERAL SITE NOTES

1. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORKSCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS, RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE OF THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.

2. ALL WORK SHALL CONFORM TO LOCAL, COMMONWEALTH OF MASSACHUSETTS, AND OSHA STANDARDS AND GUIDELINES.

APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. ALL UTILITY SERVICE CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

4. ALL UTILITY LOCATIONS ARE APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE CONDUITS, PRODUCT PIPING, ETC. PRIOR TO COMMENCEMENT OF EXCAVATION OF ANY TYPE.

5. ALL EXCAVATED UNSUITABLE MATERIAL MUST BE TRANSPORTED TO AN APPROVED DISPOSAL LOCATION.

6. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY DIG SAFE (1-888-344-7233) 72 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE. CONTRACTOR SHALL ALSO NOTIFY THE LOCAL DEPARTMENT OF PUBLIC WORKS TO MARK OUT THEIR UTILITIES.

7. THE LIMITS OF WORK SHALL BE CLEARLY MARKED IN THE FIELD PRIOR TO THE START OF CONSTRUCTION OR SITE CLEARING.

8. ALL CONCRETE AND BITUMINOUS PATCH AREAS TO MATCH EXISTING GRADES.

9. SOLID WASTE TO BE DISPOSED OF BY CONTRACTOR IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.

10. CONTRACTOR IS RESPONSIBLE FOR ALL EXCAVATION TO BE PERFORMED IN ACCORDANCE WITH CURRENT STANDARDS, AS WELL AS ADDITIONAL PROVISIONS TO ASSURE STABILITY OF CONTIGUOUS STRUCTURES.

11. IN CASE OF DISCREPANCIES BETWEEN PLANS, THE SITE PLAN WILL SUPERCEDE IN ALL CASES. NOTIFY ENGINEER OF RECORD OF ANY CONFLICTS.

DIG SAFE NOTE:

UTILITIES ARE POTTED FROM FIELD LOCATION AND ANY RECORD INFORMATION AVAILABLE, AND SHOULD BE CONSIDERED APPROXIMATE. OTHER UTILITIES MAY EXIST WHICH ARE NOT EVIDENT OR FOR WHICH RECORD INFORMATION WAS NOT AVAILABLE. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION 40 (AS AMENDED)) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING. ALSO, CALL "DIG-SAFE" AT 1(888)344-7233 1(888)DIG-SAFE.



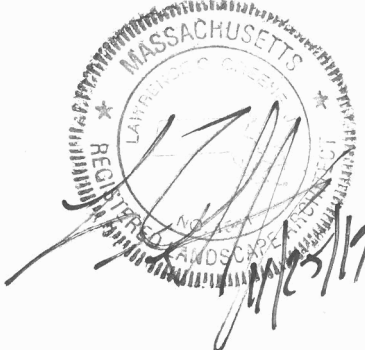
THE OFFSETS AS SHOWN ON THIS PLAN ARE NOT
TO BE USED FOR THE ESTABLISHMENT OF PROPERTY LINES
OR FOR THE ESTABLISHMENT OF ANY PROPOSED CONSTRUCTION
UNLESS SAID CONSTRUCTION IS SHOWN HEREON.

THIS PLAN WAS PREPARED FOR THE EXCLUSIVE USE AND PURPOSE OF THE PARTY STATED HEREON AND SHALL NOT BE USED BY ANY THIRD PARTY WITHOUT THE EXPRESSED WRITTEN PERMISSION OF RONALD TIBERI P.E.

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS,
RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER
LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF
TITLE.

APPROVED BY PLANNING BOARD

DATE: _____



REVISIONS

No.	DATE	DESCRIPTION
1.	09/02/19	Town comments
2.	11/04/19	Town comments
3.	11/25/19	Plan edits

PROPOSED SITE LIGHTING PLAN IN MEDWAY, MASSACHUSETTS

EVERGREEN VILLAGE
22 EVERGREEN STREET

PREPARED FOR: SAMPSON POND LLC
P.O. Box 5
MEDWAY MA 02053

PREPARED By: WDA DESIGN GROUP
31 EAST MAIN STREET
WESTBOROUGH, MA 01581

DRAWING SCALE: 1 inch = 20 feet

PROJECT NUMBER: 2616

DATE: MARCH 14.2019



Prelim. Elev.-View From Evergreen St. - Unit 1
Scale: 3/16" = 1'-0"



Preliminary Front Elevation - Units 1, 2 and 3
Scale: 3/16" = 1'-0"

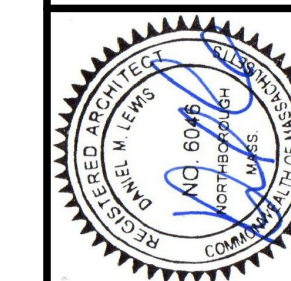


Preliminary Rear Elevation - Unit 3
Scale: 3/16" = 1'-0"



Preliminary Left Side Elevation - Units 3, 2 and 1
Scale: 3/16" = 1'-0"

DANIEL LEWIS, AIA
ARCHITECT
332 Whitney Street
Northborough, MA 01532
(508) 612-8771
daniel@charter.net www.daniellevsarhitect.com
©2019



Preliminary Exterior Elevations	
Job Number	Date
1816	October 28, 2019
Drawn By	Revised
DML	Nov. 25, 2019

Proposed Condominiums
22 Evergreen Street
Medway, MA 02053
For Sampson Pond LLC, Medway, MA



Preliminary Left Side Elevation - Unit 4, 5 and 6

Scale: 3/16" = 1'-0"



Prelim. Elev.-View From Evergreen St. - Unit 6

Scale: 3/16" = 1'-0"



Preliminary Right Side Elevation - Units 6, 5 and 4

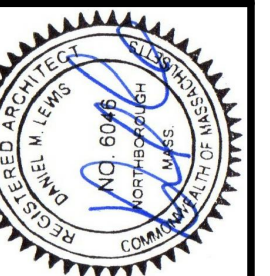
Scale: 3/16" = 1'-0"



Preliminary Rear Elevation - Unit 4

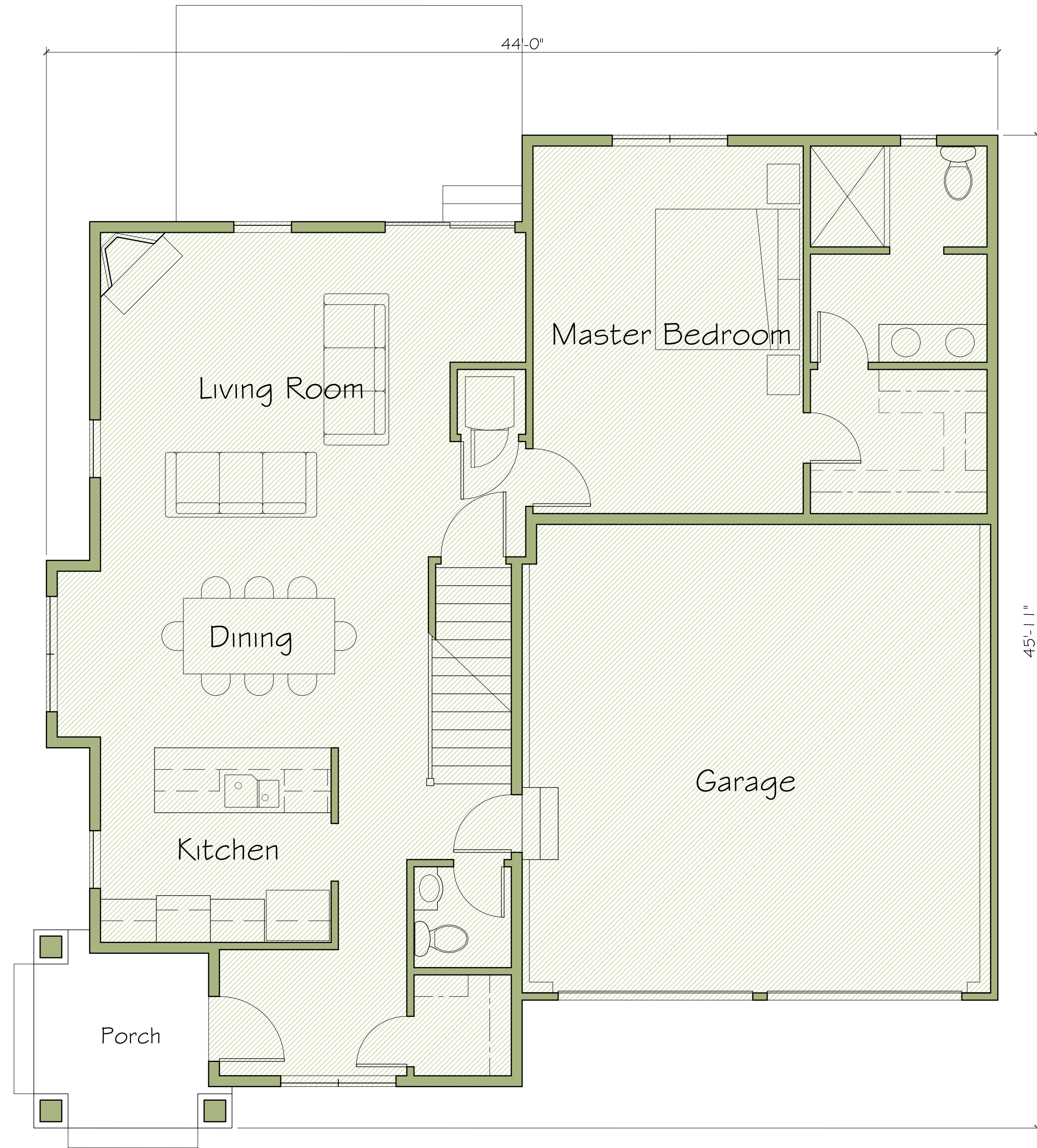
Scale: 3/16" = 1'-0"

DANIEL LEWIS, AIA
ARCHITECT
332 Whitney Street
Northborough, MA 01532
(508) 612-8771
daniel@danlewisarchitect.com
©2019



Preliminary Exterior Elevations	
Job Number 1816	Date October 28, 2019
Drawn By DML	Revised Nov. 25, 2019

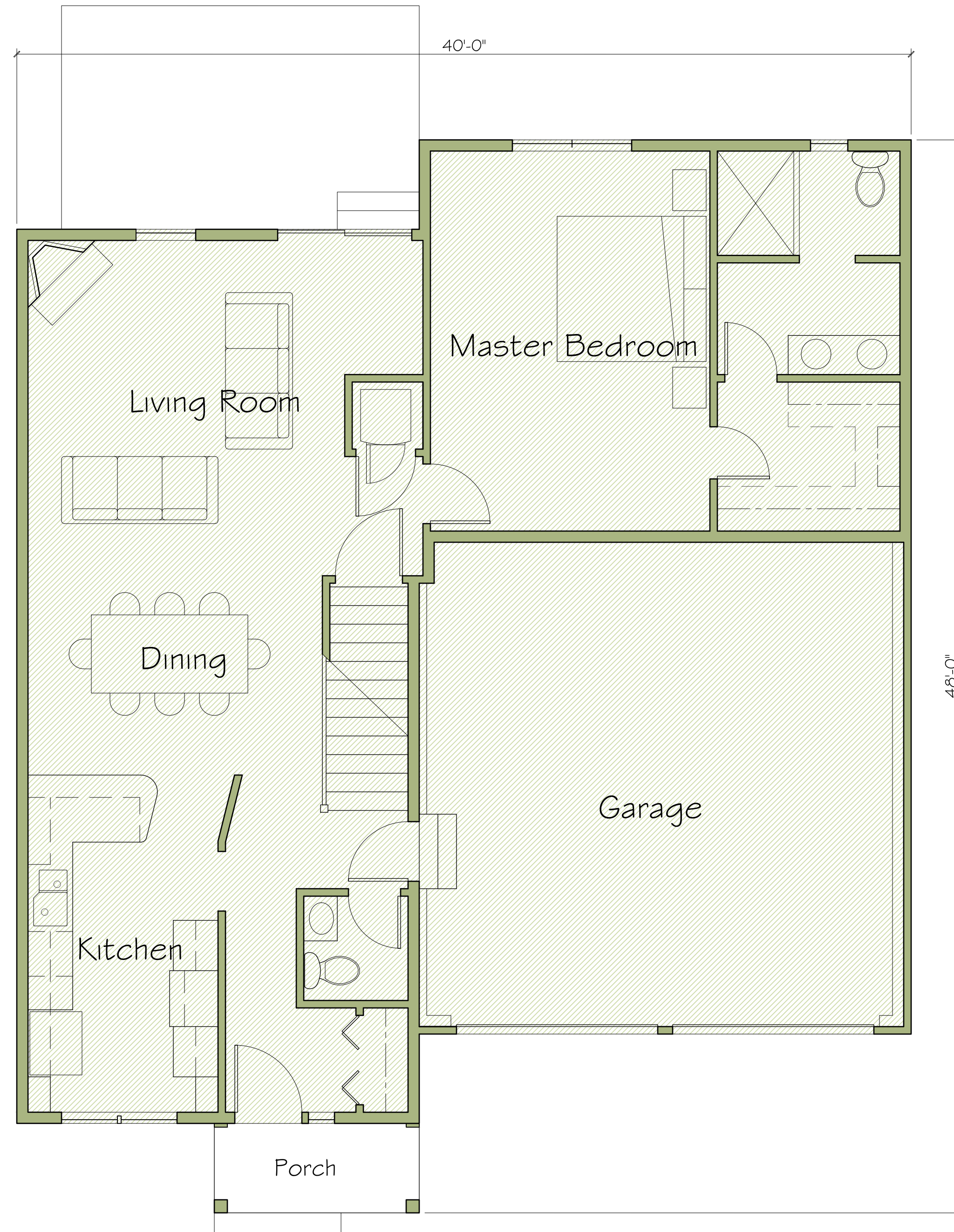
Proposed Condominiums
22 Evergreen Street
Medway, MA 02053
For Sampson Pond LLC, Medway, MA



Preliminary First Floor Plan - Unit Type C

Scale: 1/4" = 1'-0"

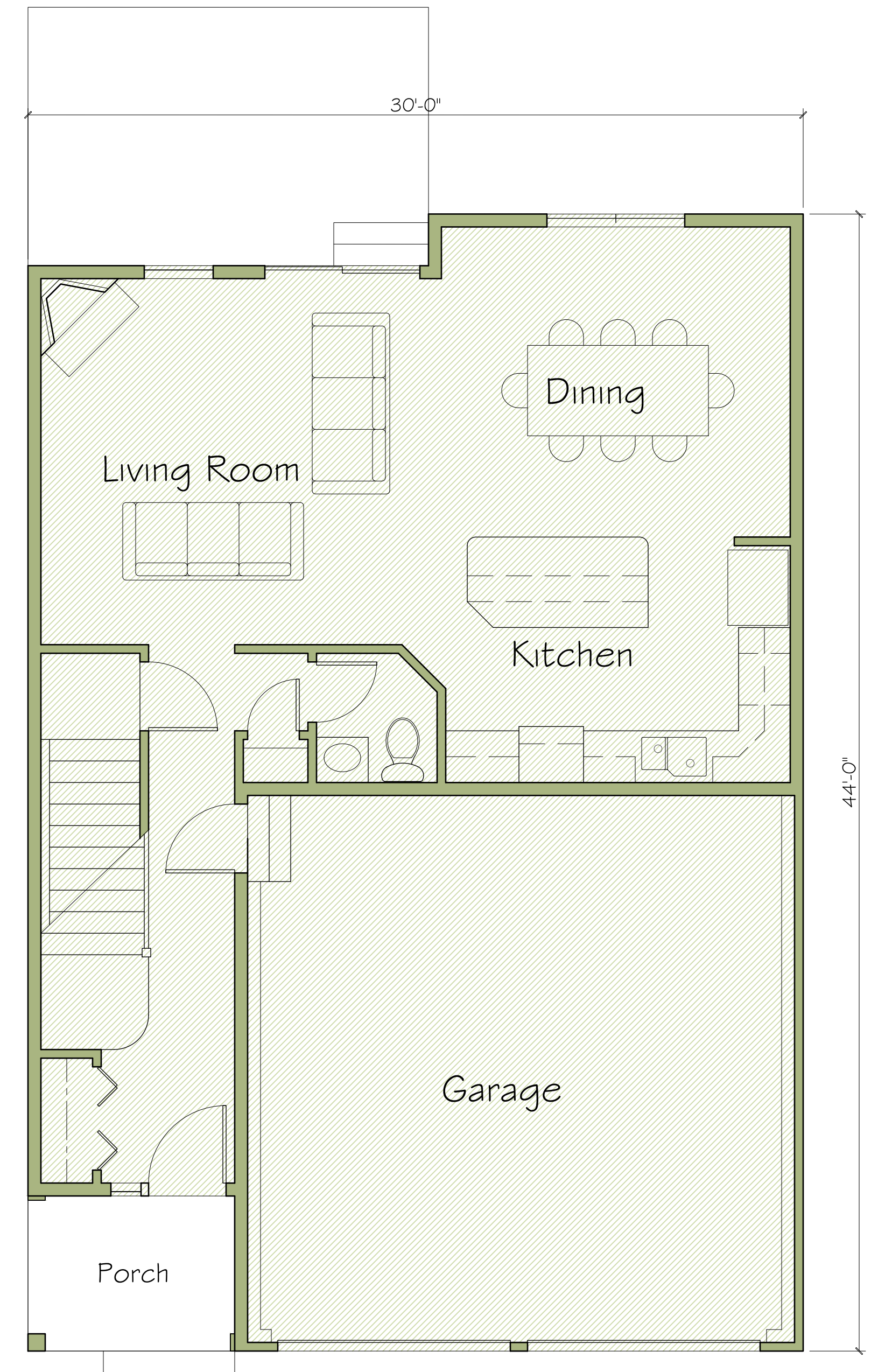
1170 SF



Preliminary First Floor Plan - Unit Type B

Scale: 1/4" = 1'-0"

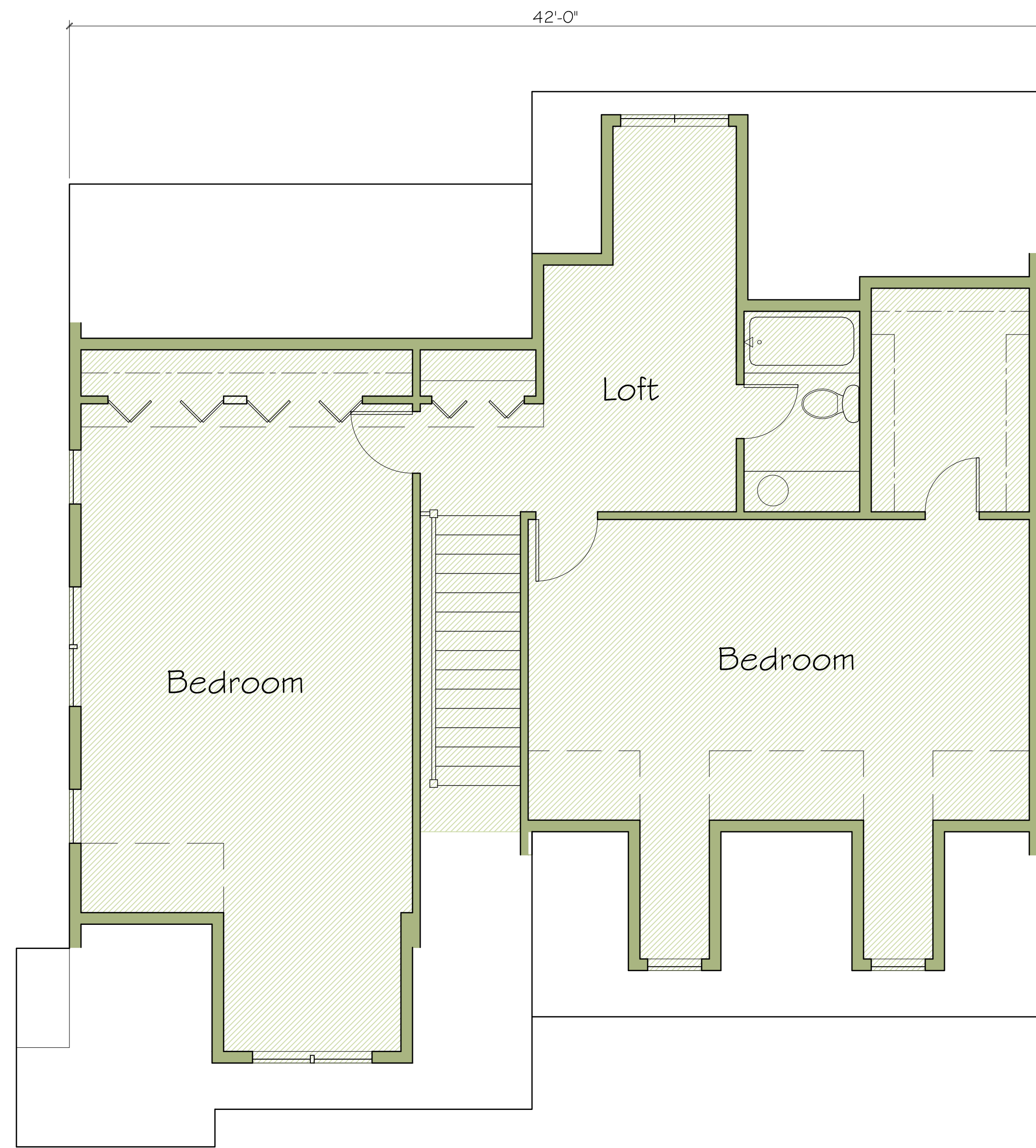
1106 SF



Preliminary First Floor Plan - Unit Type A

Scale: 1/4" = 1'-0"

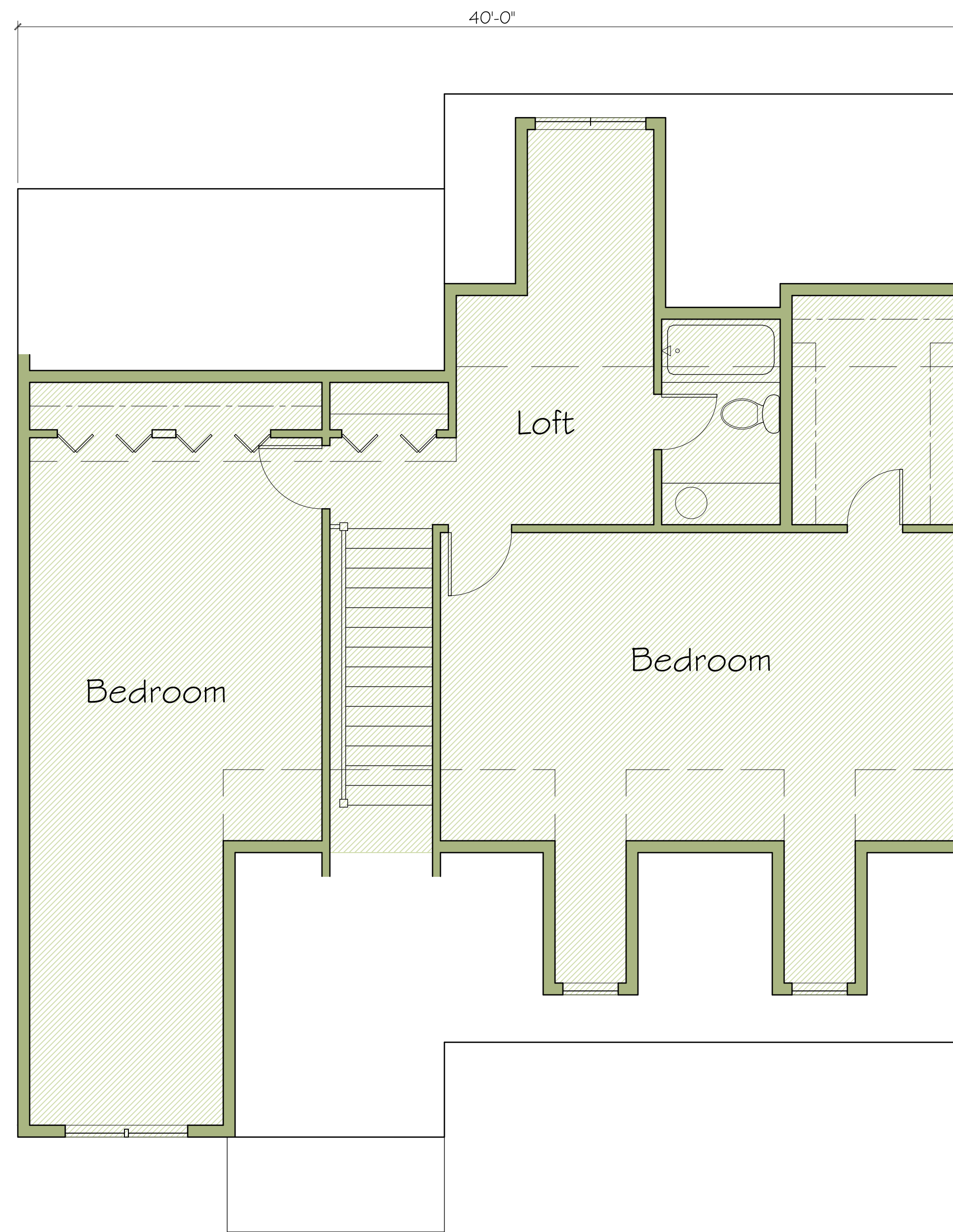
766 SF



Preliminary Second Floor Plan - Unit Type C

Scale: 1/4" = 1'-0"

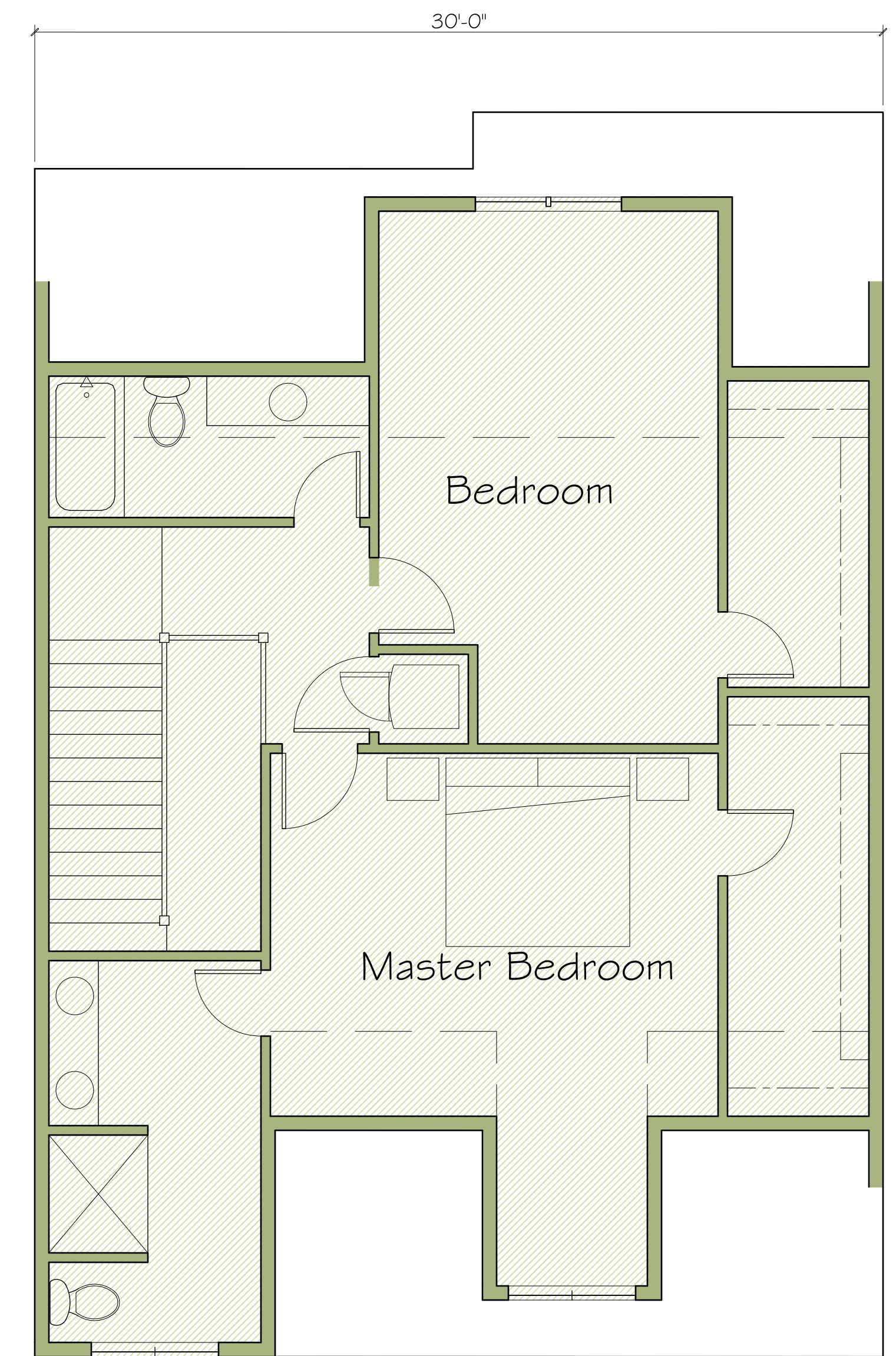
approx. 1123 SF



Preliminary Second Floor Plan - Unit Type B

Scale: 1/4" = 1'-0"

approx. 1068 SF



Preliminary Second Floor Plan - Unit Type A

Scale: 1/4" = 1'-0"

approx. 955 SF

Proposed Condominiums

22 Evergreen Street
Medway, MA 02053

For Sampson Pond LLC, Medway, MA

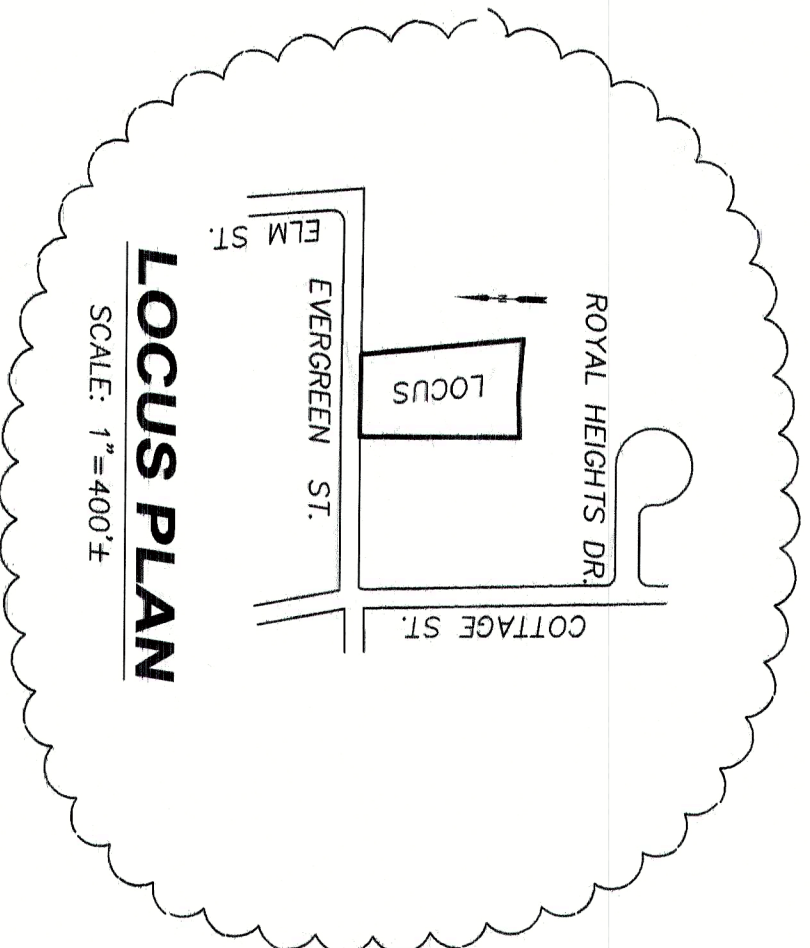
Preliminary Second Floor Plans

Job Number 1816	Date March 8, 2019
Drawn By DML	Revised Nov. 25, 2019

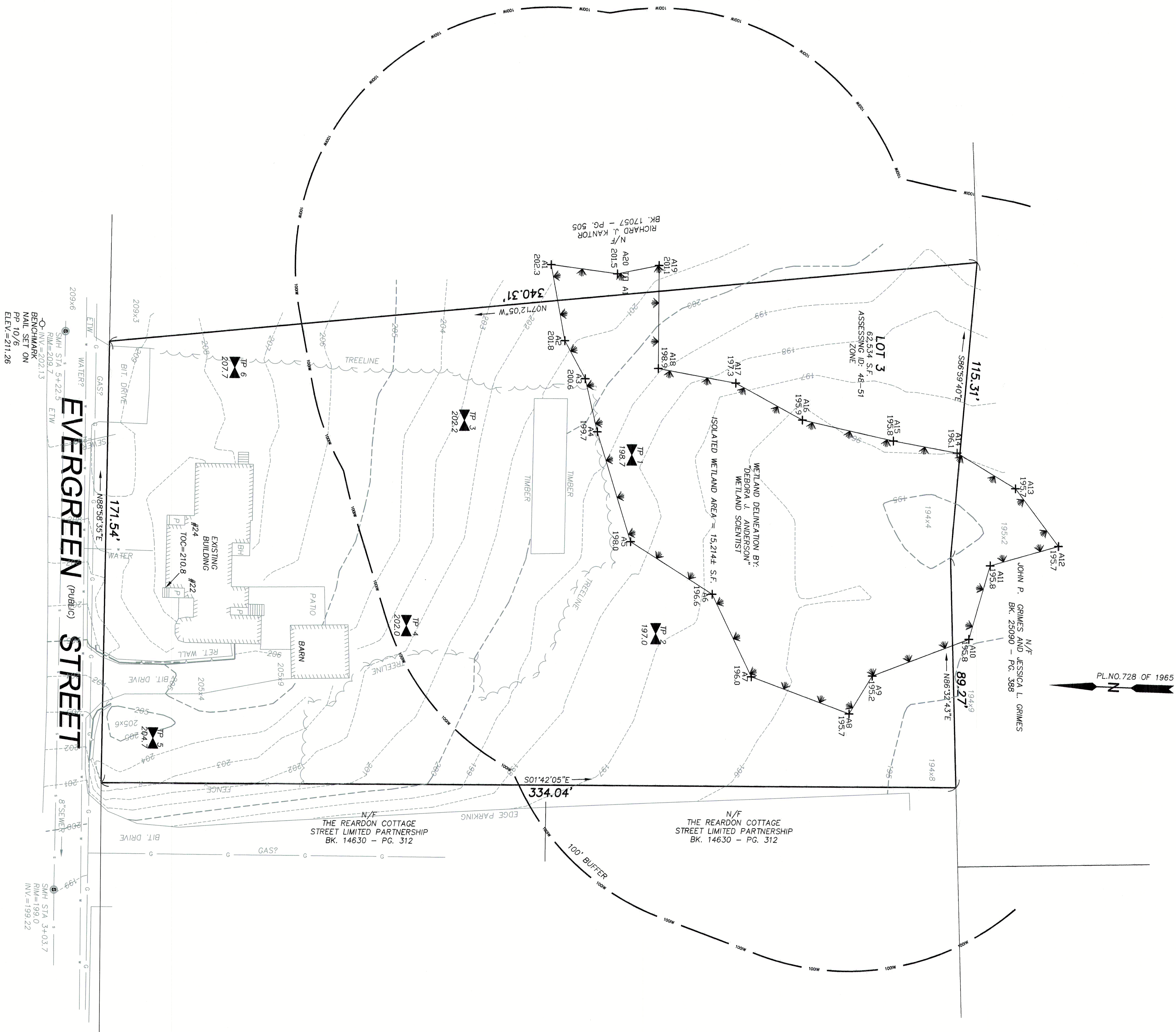


DANIEL LEWIS, AIA
ARCHITECT
332 Whitney Street
Northborough, MA 01532
(508) 612-8771
danlewis@charter.net www.danlewisarchitect.com
©2019

FOR REGISTRY USE ONLY



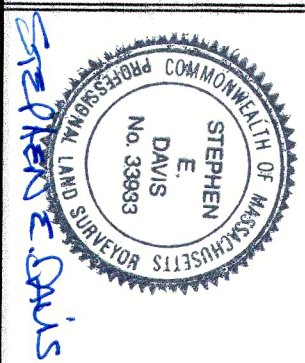
- NOTES:
- SUBJECT TO ANY STATEMENT OF FACT AN UP-TO-DATE ABSTRACT OF TITLE WOULD DISCLOSE.
 - SUBJECT TO ALL RIGHTS, EASEMENTS, COVENANTS OR RESTRICTIONS OF RECORD.
 - UNDERGROUND UTILITIES, STRUCTURES AND FACILITIES, IF ANY, HAVE BEEN SHOWN FROM SURFACE LOCATIONS AND RECORD. NO STATEMENTS OBTAINED FROM A FIELD SURVEY AND RECORD LOCATIONS HEREON. LOCATIONS OF UTILITIES ARE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHER UTILITIES EXISTENCE OF ARE NOT KNOWN, SIZE, TYPE AND LOCATION OF ALL UTILITIES AND STRUCTURES MUST BE VERIFIED BY PROPER AUTHORITIES PRIOR TO ANY AND ALL CONSTRUCTION. CALL TOLL FREE, DIG SAFE CALL CENTER AT 1-888-3444-7233 SEVENTY-TWO HOURS PRIOR TO ANY EXCAVATION.
 - ELEVATIONS ARE BASED ON RECORD SEWER DRAWING FOR EVERGREEN STREET.



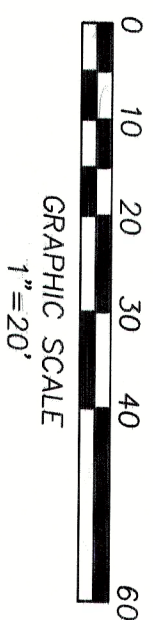
PROPERTY OWNER:
DAVID SHEA, III AND CYNTHIA A. SHEA
BK. 8482 - PG. 89

EXISTING CONDITIONS PLAN
#22 EVERGREEN STREET
MEDWAY, MASSACHUSETTS
NORFOLK COUNTY
AS PREPARED FOR
SAMPSON POND LLC

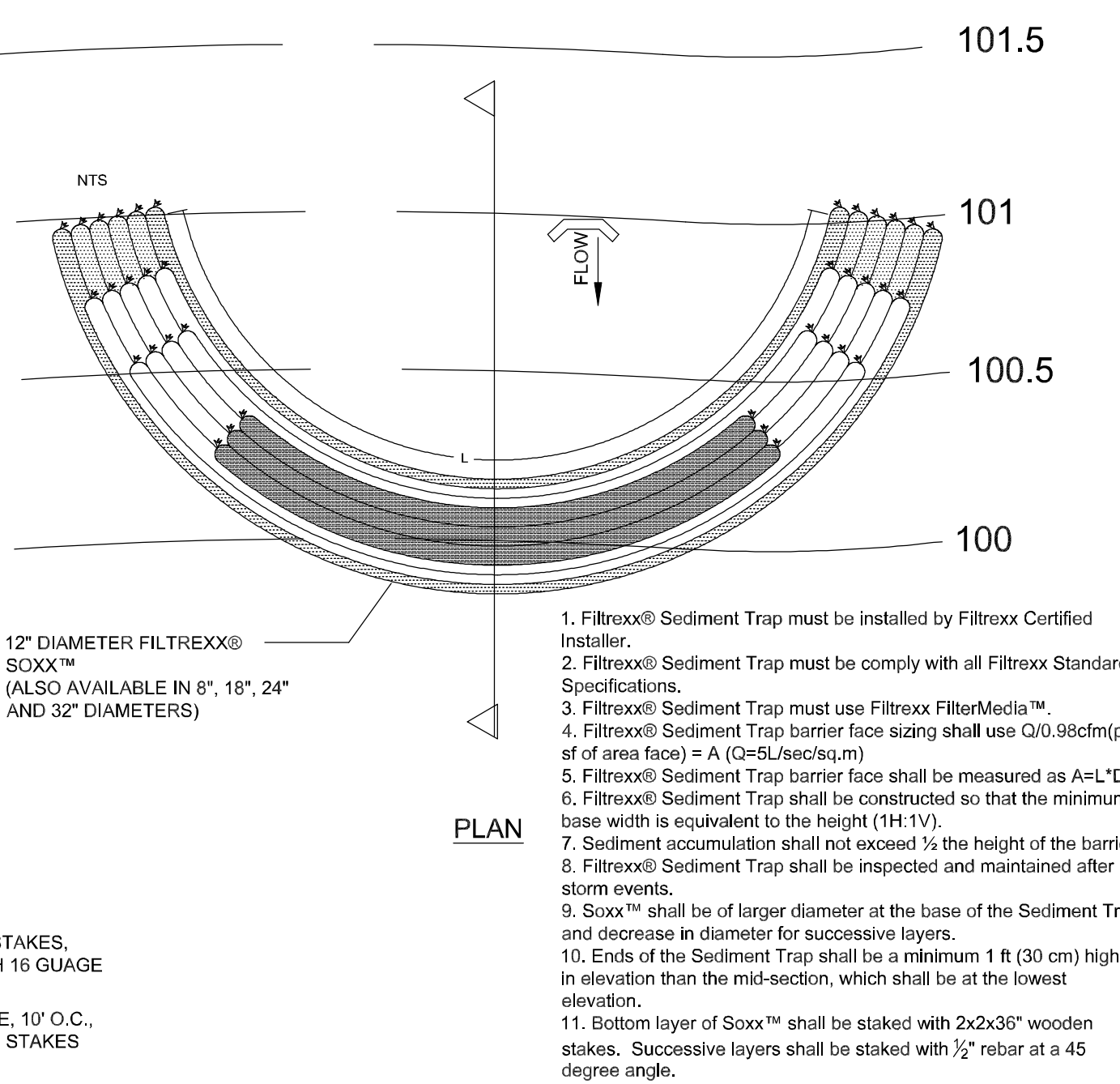
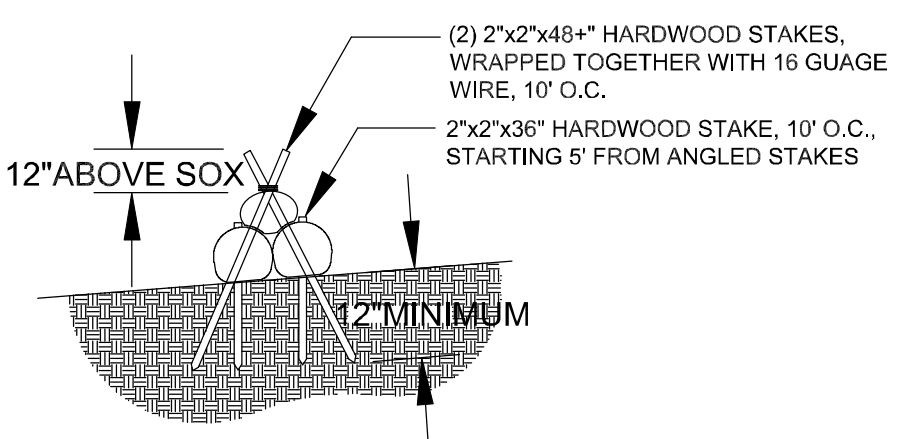
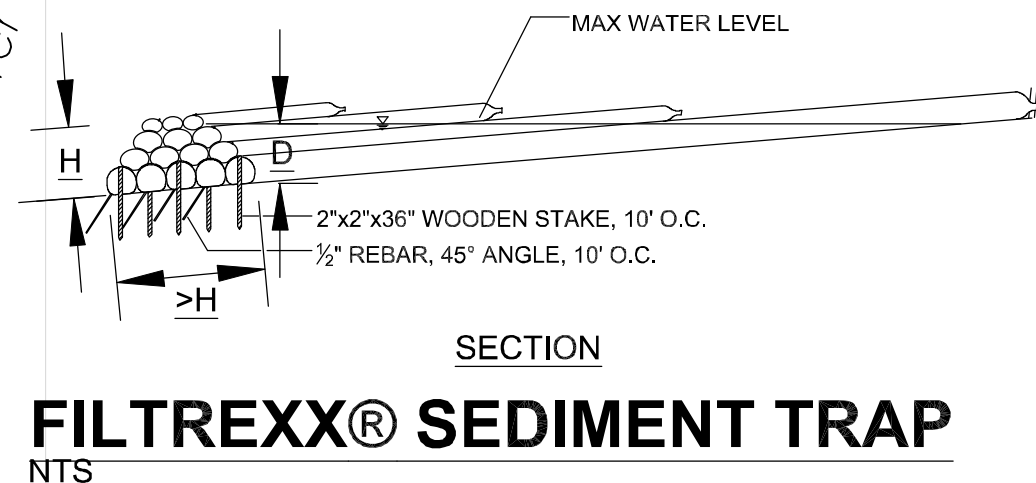
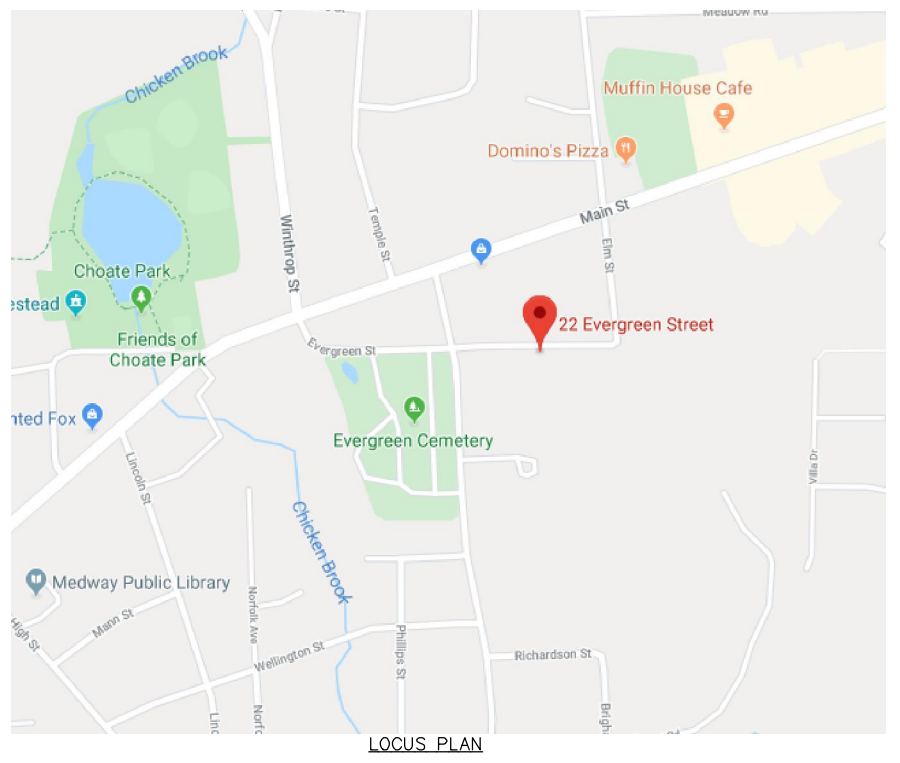
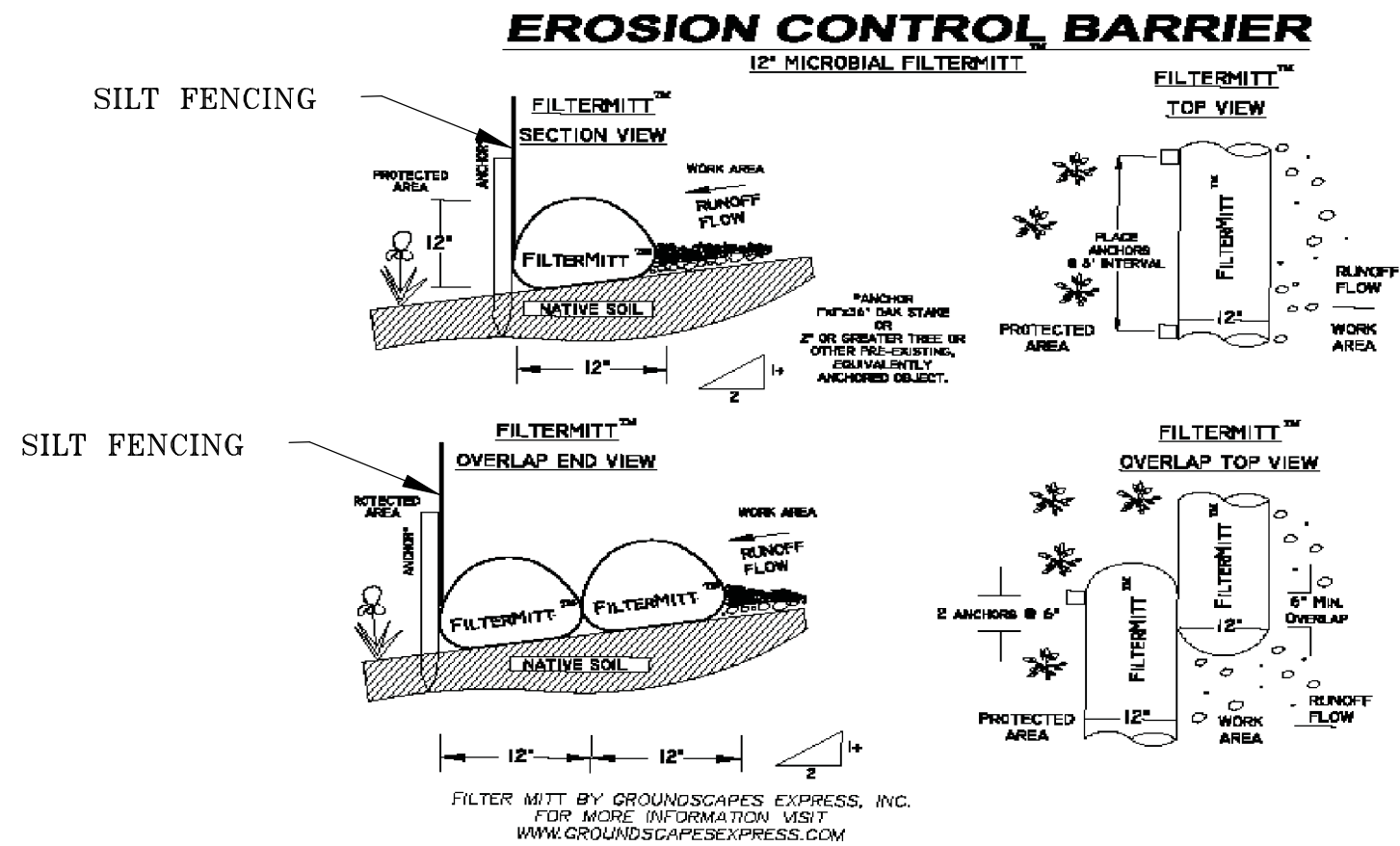
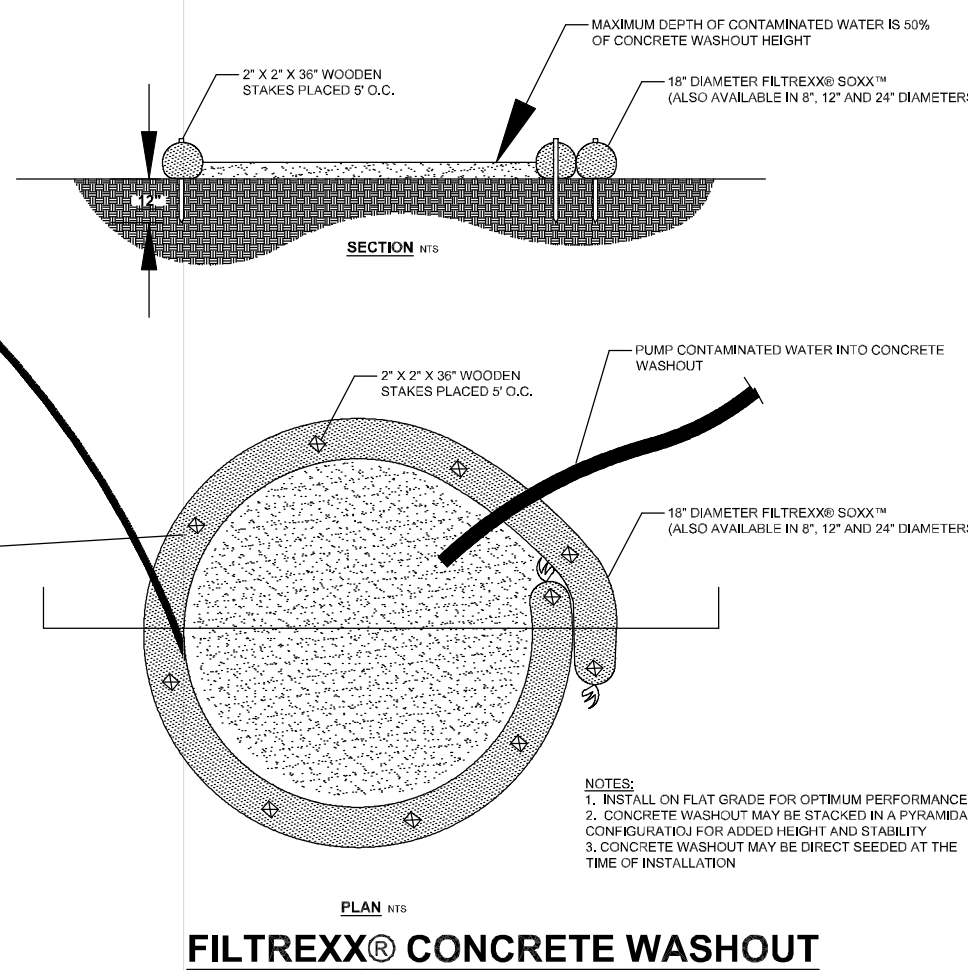
CHENEY
ENGINEERING CO., INC.
53 MELEN STREET
NEEDHAM, MA 02464
TEL. 781-444-2188



REV.	DATE	PROJECT #
6/12/19	7/19/2018	6098



I CERTIFY THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTRY OF DEEDS.
ALSO CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY PERFORMED ON 6/20/18, 7/5/18, 6/7/19 AND THE LATEST PLANS AND DEEDS OF RECORD.



SITE NOTES

1. AREA OF DISTURBANCE IS 35365 SF
2. EARTHWORK QUANTITIES
- | | | |
|---------------------------|---|----------|
| CUTS--FOOTINGS FOUNDATION | = | 711 CYS |
| FILLS--(GRADING) | = | 1280 CYS |
| NET FILL | = | 540 CYS |
3. ALL FILL SHALL MEET TOWN OF MEDWAY STANDARDS FROM A CERTIFIED SOURCE AS REQUIRED.
4. CONTRACTOR SHALL BE FAMILIAR WITH ALL STORM WATER OPERATION & MAINTENANCE, POND AND SPILL PREVENTION REQUIREMENTS.
5. CONTRACTOR SHALL BE FAMILIAR WITH ALL CONSERVATION COMMISSION NOTICE OF INTENT CONDITIONS AND PLANNING BOARD APPROVAL REQUIREMENTS.

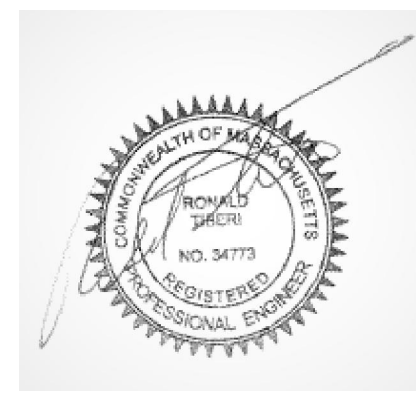
Approximate Construction Sequence:

1. Install Erosion Controls throughout & Catch Basin Protection site wide – 1Wk
2. Clear & Grub site wide – 1Wk
3. Rough Grade site wide, create drainage migration paths Phase 1– 2Wk
4. Install Foundations Phase 1 – 3Wk
5. Backfill foundation and landscape wall Phase 1 – 1Wk
6. Install drainage & utilities Phase 1 – 3Wks
7. Complete access road to binder Phase 1 – 2Wks
8. Rough grade & conduct lawn naturalization area Phase 2 – 1Wk
9. Install & Backfill foundation Phase 2 – 3Wks
10. Install Drainage & utilities Phase 2– 2Wks
11. Complete finish driveway and access road, curbing and walks site wide – 1Wk
12. Fine grading and Landscaping site wide– 3Wks
13. Remove Erosion Control Measures site wide – 1Wk

APPROVED BY PLANNING BOARD

DATE: _____

REVISIONS		
No.	DATE	DESCRIPTION
1.	11-24-19	TOWN COMMENTS
2.	12-3-19	TOWN COMMENTS
3.	2-6-20	TOWN & PEER REVIEW COMMENTS



FOR REGISTRY USE

EROSION CONTROL
SITE PLAN
IN
MEDWAY, MASSACHUSETTS

EVERGREEN VILLAGE
22 EVERGREEN STREET

PREPARED FOR: SAMPSON POND LLC
P.O. Box 5
MEDWAY MA 02053
(508) 561-6048

PREPARED By: RONALD TIBERI P.E.
9 MASSACHUSETTS AVE.
NATICK MA 01760

DRAWING SCALE: 1 inch = 20 feet

PROJECT NUMBER: 2616

DATE: JAN 2 2019 E-1

