



December 14, 2021

**Medway Planning & Economic Development Board
Meeting**

Evergreen Village

UPDATED

Field Changes

- 11-22-21 email request from developer Maria Varrichione re: light posts
- Excerpts from the endorsed Evergreen site plan re: site lighting
- 12-9-21 email request from developer Maria Varrichione re: fieldstone wall in front yard
- Excerpt from the endorsed Evergreen site plan showing the location of the front yard fieldstone wall

Performance Security

Maria's 12-9-21 email also requests that the PEDB approve a performance security amount and authorize occupancy permits at the 12-14-21 PEDB mtg. Tetra Tech will be on-site Thursday and/or Friday to inspect and prepare a punch list, but it is not yet clear whether all the required minimum site improvements and associated documentation will be completed for the Board to release units for occupancy, authorize building permits, and enter into a performance security agreement on 12-14-21. I believe it IS do-able for the Board to establish a performance security amount at Tuesday's meeting and then enter into a performance security agreement with Maria at the January 11th meeting and also authorize occupancy permits for the first set of 3 units and further unit construction of the second triplex building.

- **Tetra Tech punch list and bond estimate dated 12-14-21**

Susan Affleck-Childs

From: Maria Varrichione <dreamhomesmv@gmail.com>
Sent: Monday, November 22, 2021 2:48 PM
To: Susan Affleck-Childs
Subject: Lighting change

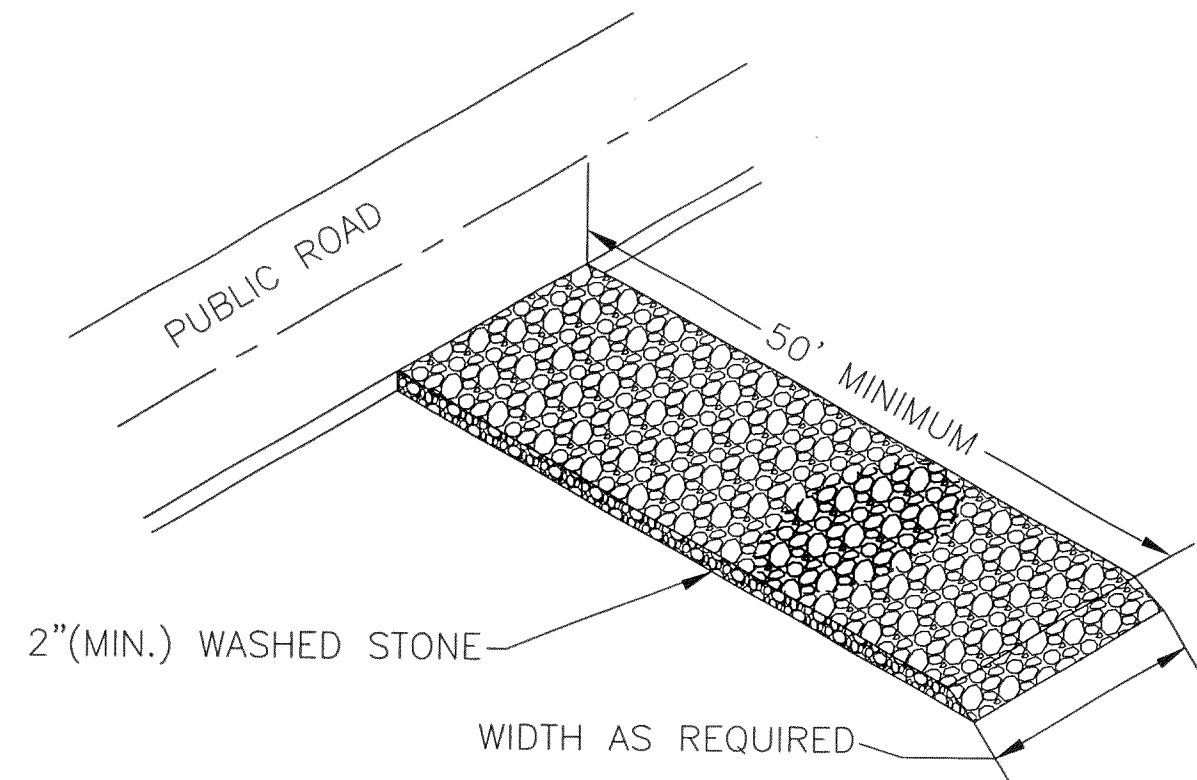
Suzy, After reviewing the light posts with the lighting expert at Fergusons, she indicated that the proposed post lights are for a commercial application and would be too bright given the lumens output. She indicated that type of light is typically seen on much taller posts for street lighting or parking lots. Given that there is a street pole light at entrance to subdivision and parking lights from abutting property as well as 2 lights over each garage door and the front door, any more lighting might be excessive.

The only other recommendation if the planning board wanted to keep the post lights would be to make them dark sky lights at the proposed location at the end of the walkway which is what is commonly used.

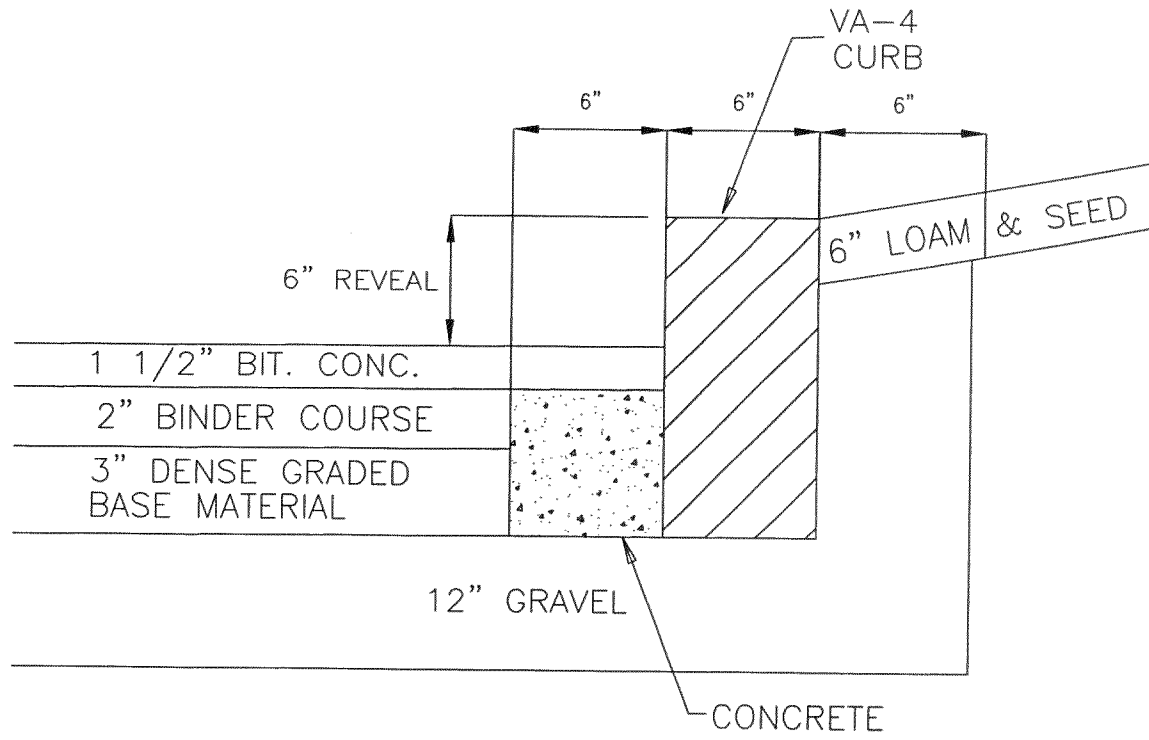
I would like to propose removing the light posts or at the very least modify them to residential post lights.

--

Maria Varrichione
dreamhomesmv@gmail.com
Mobile- 508-561-6048
RE/MAX Executive Realty
Platinum Club, Hall of Fame
& Lifetime Achievement Award Recipient

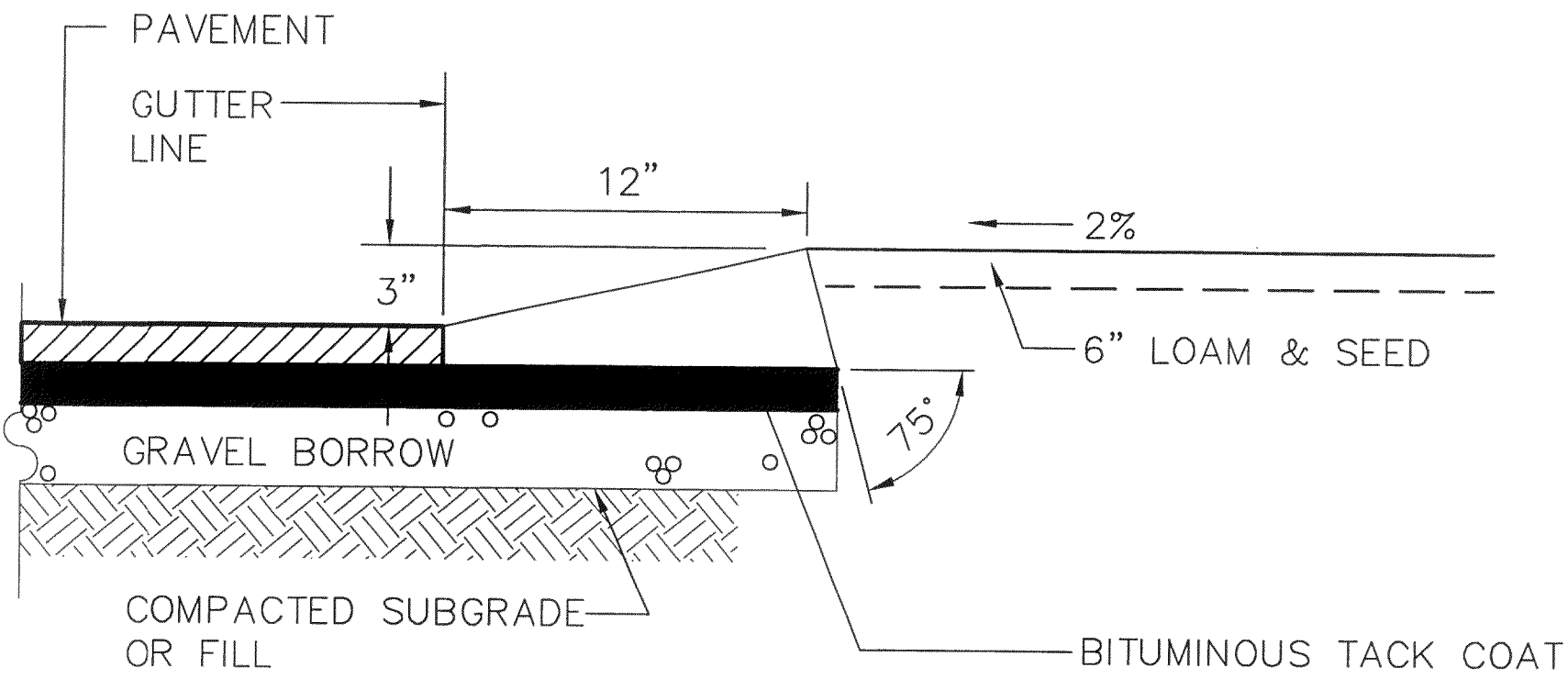


CONSTRUCTION ENTRANCE DETAIL
NOT TO SCALE

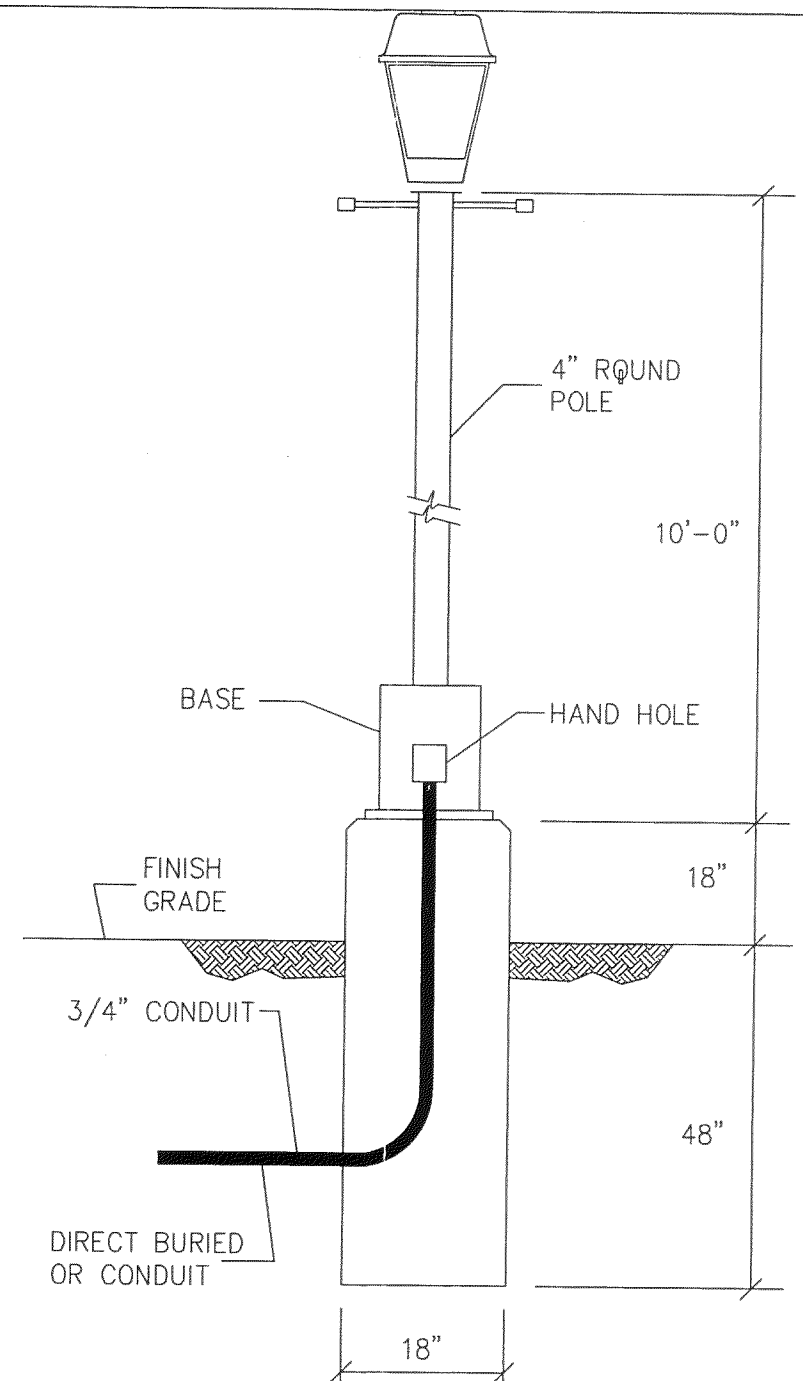


NOTE:
1. PLACE GRAVEL PRIOR TO SETTING OF EDGING.

VERTICAL GRANITE CURB DETAIL
NOT TO SCALE

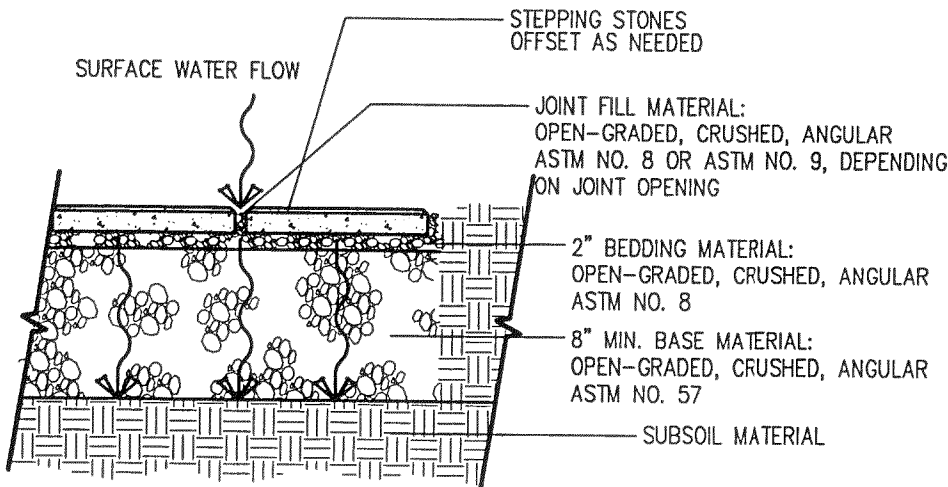


CAPE COD BERM DETAIL
NOT TO SCALE

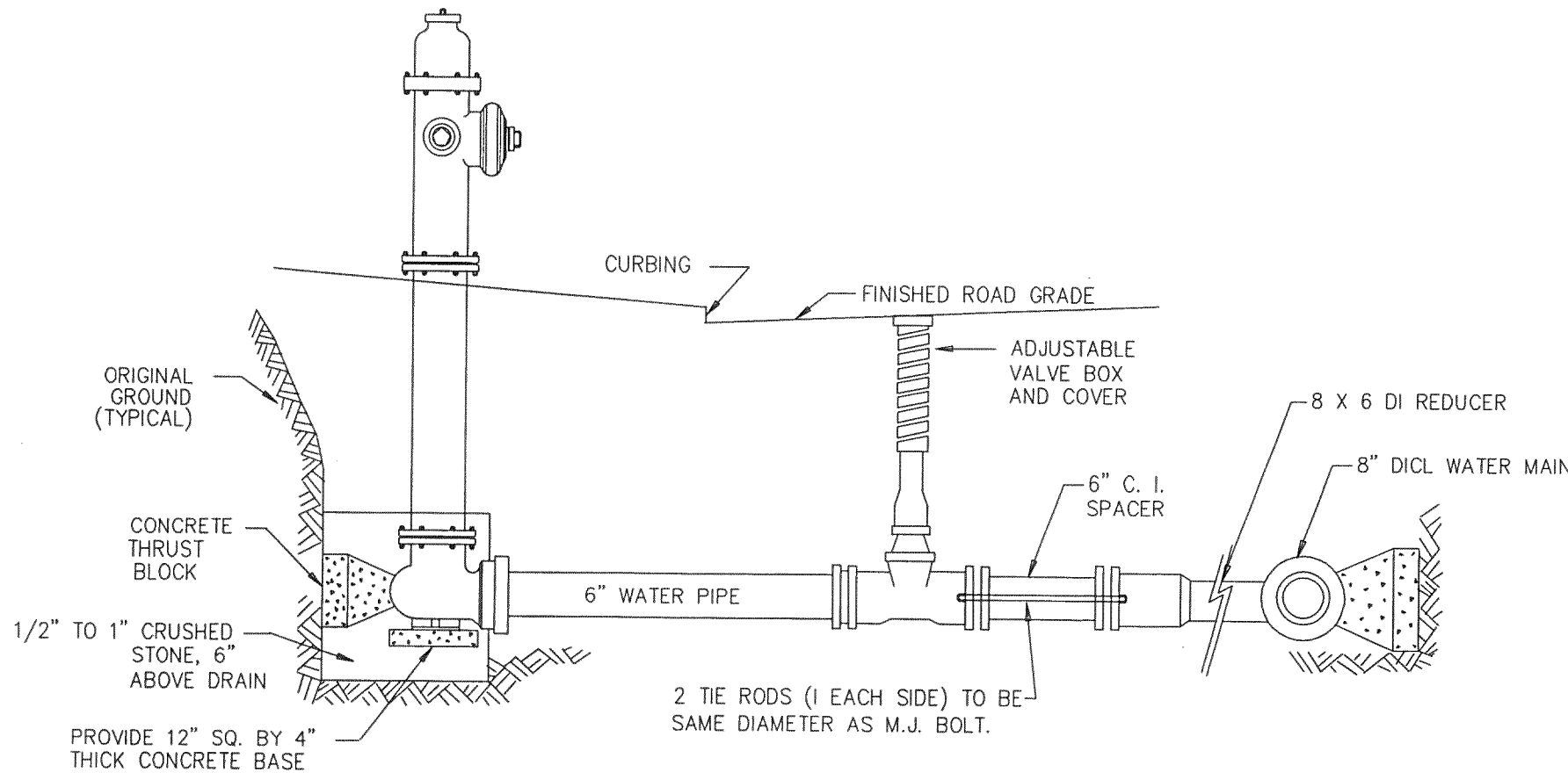


POLE LAMP (TYP)
N.T.S.

| TYPE | MOUNT | VOLT | LAMP | CATALOG # | MANUFACTURER |
|------|-------|------|------|-----------|--------------|
| II | POLE | 120 | 39W | 20LEDE10 | VALIANT |

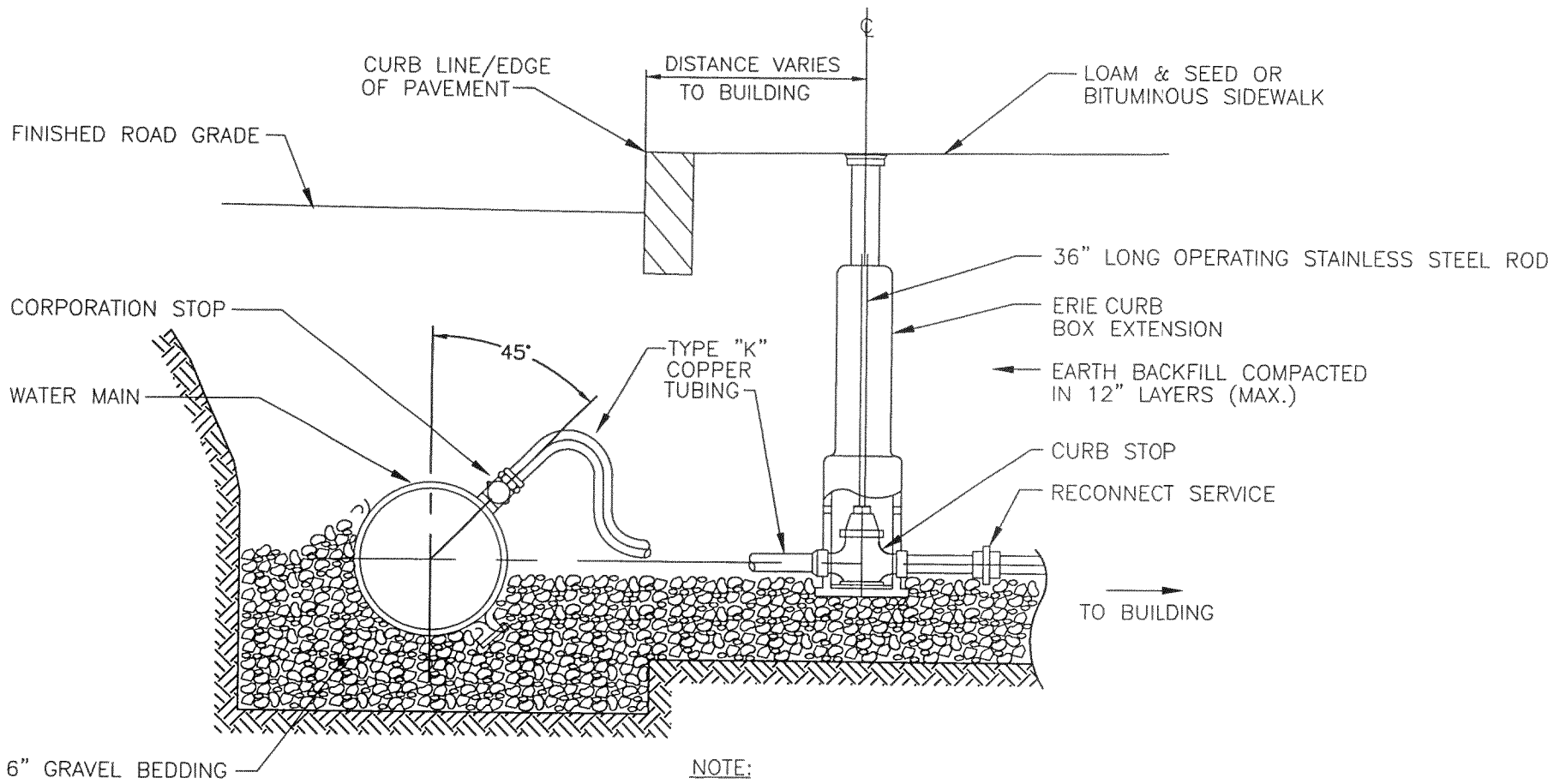


GARDEN PATH DETAIL
NOT TO SCALE



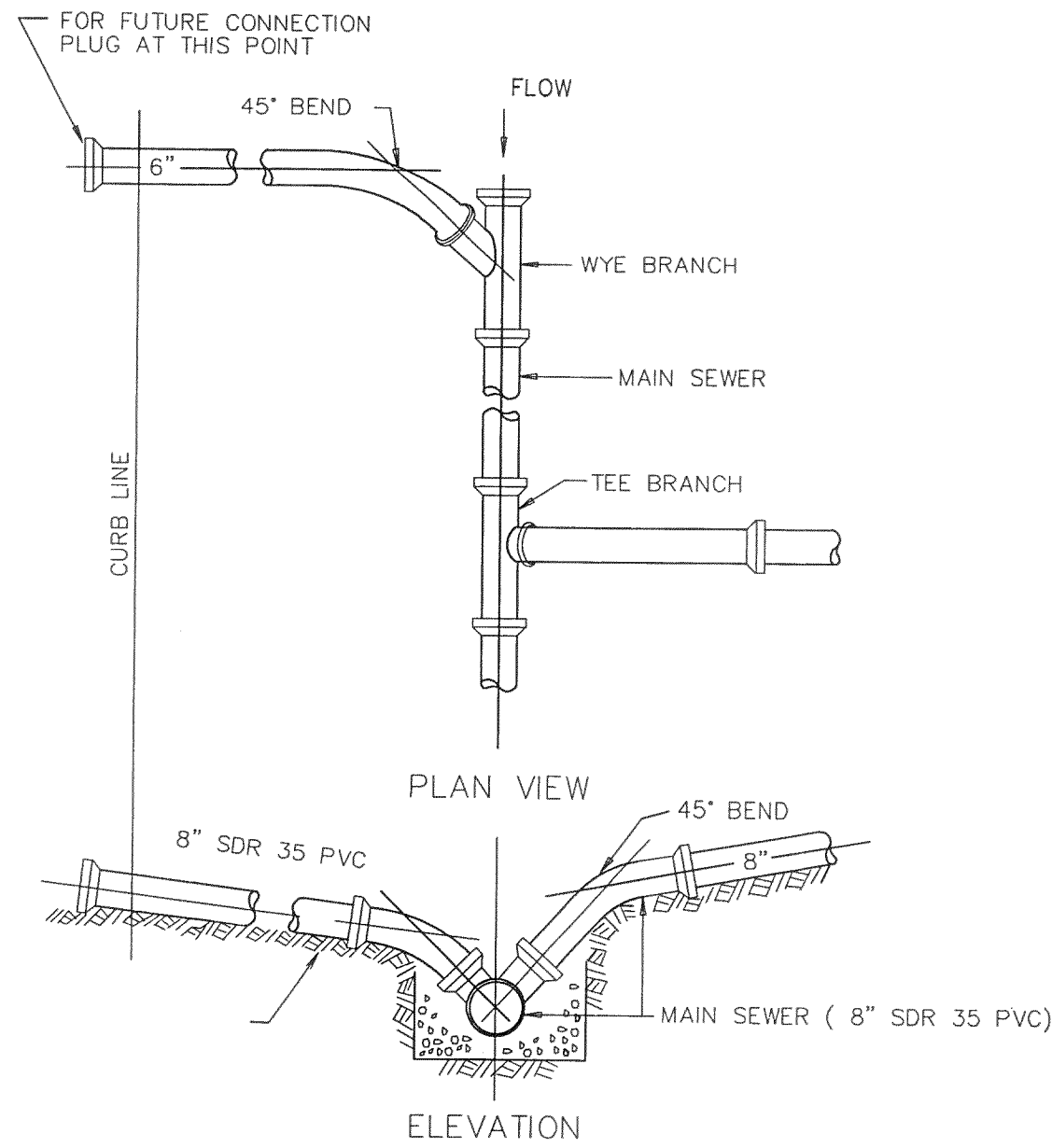
TYPICAL HYDRANT INSTALLATION
(NOT TO SCALE)

NOTES:
1. ONLY MUELLER, AMERICAN-DARLING B-62-B OR U.S. PIPE METROPOLITAN HYDRANTS CAN BE USED.
2. ALL WATER LINES WILL HAVE MEGA LUG OR EQUAL RESTRAINTS ON ALL UNRESTRAINED JOINTS.
3. TIE RODS TO BE USED IN PLACE OF TRUST BLOCK BLOCKS IN FILL AREAS OR WHERE EXISTING SOIL LACKS SUFFICIENT BEARING STRENGTH.



TYPICAL HOUSE SERVICE CONNECTION
(NOT TO SCALE)

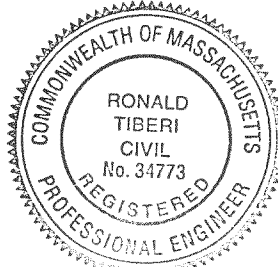
NOTE:
1. ALL SERVICE CONNECTION FITTINGS SHALL BE BY THE MUELLER COMPANY.
2. ALL WORK AND MATERIALS SHALL CONFORM TO STANDARDS AND SPECIFICATIONS OF THE TOWN OF MEDWAY'S DEPARTMENT OF PUBLIC WORKS.



SEWER SERVICE CONNECTION DETAIL
NOT TO SCALE

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.
DATE: 9/28/20
RONALD TIBERI P.E.

FOR REGISTRY USE



| REVISIONS | | |
|-----------|------|-------------|
| No. | DATE | DESCRIPTION |
| | | |
| | | |

SITE DETAILS

EVERGREEN VILLAGE 22 EVERGREEN STREET

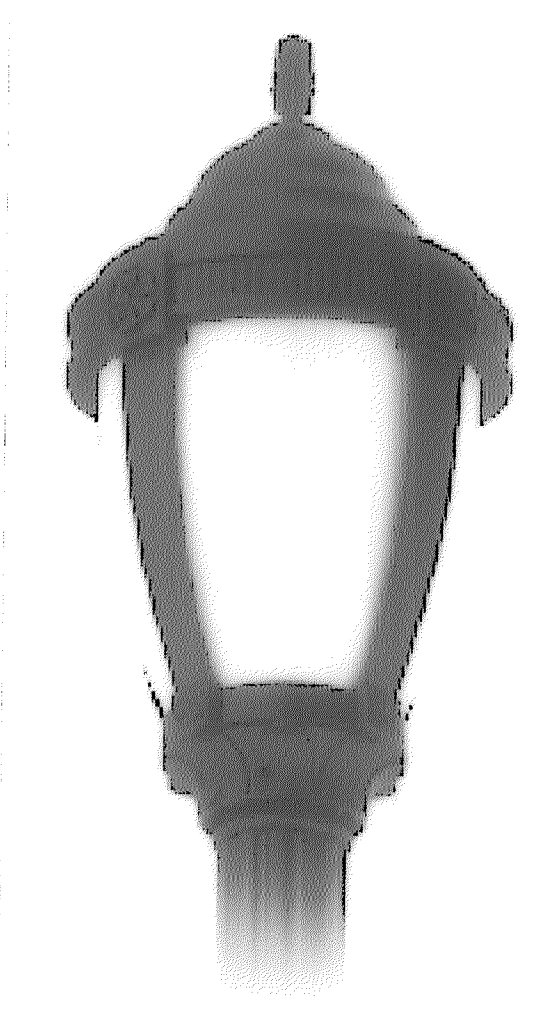
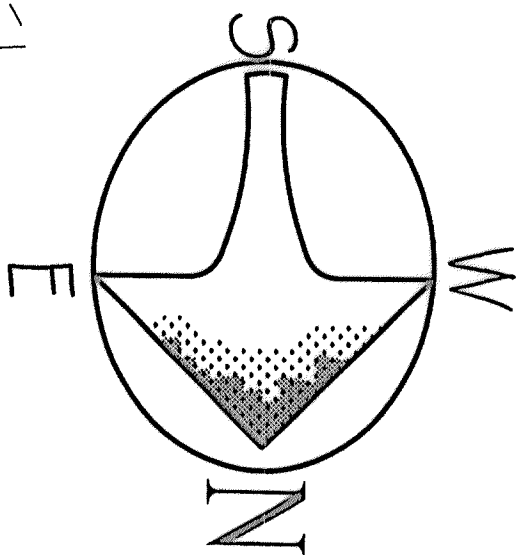
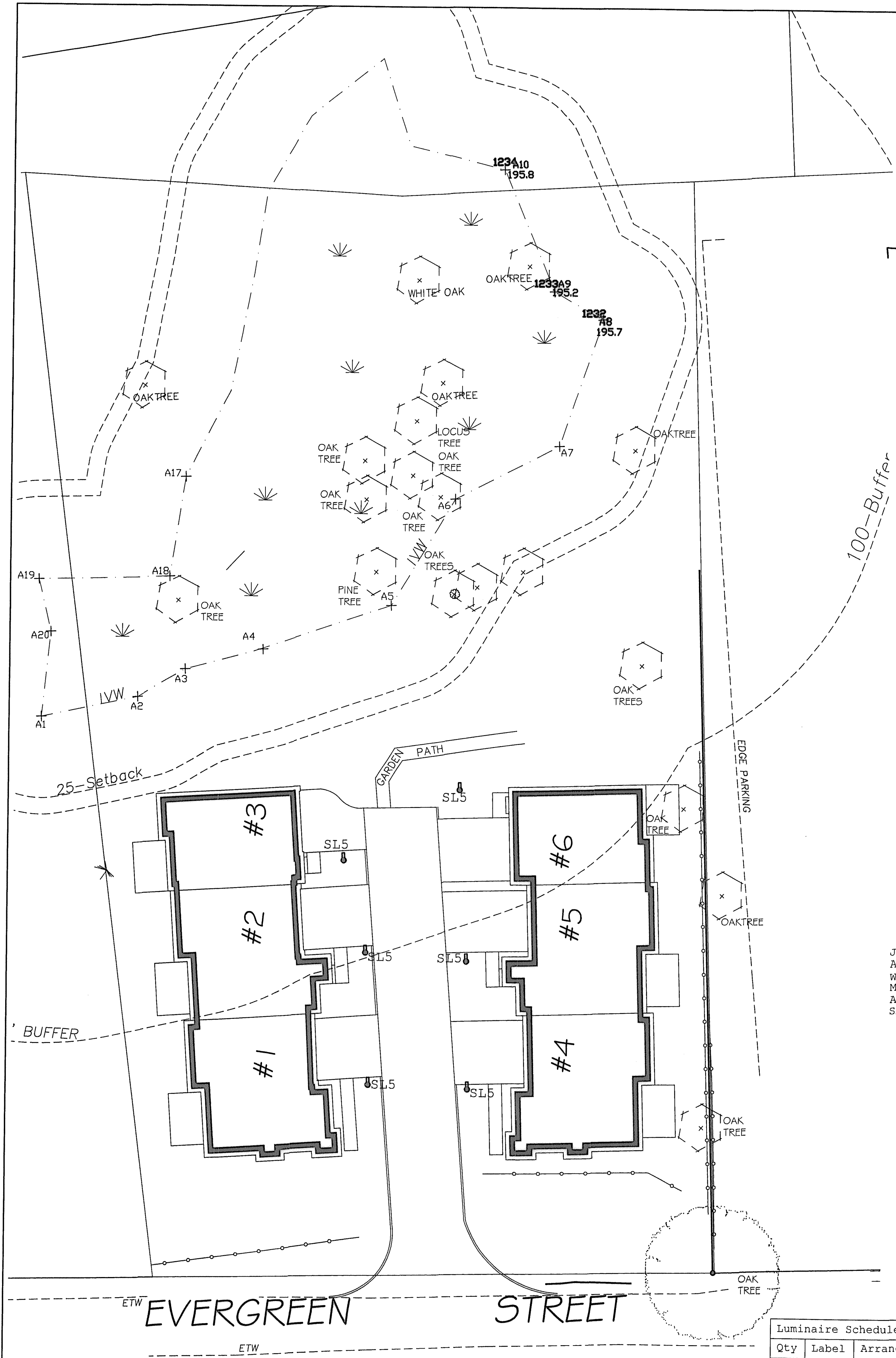
PREPARED FOR: SAMPSON POND LLC
P.O. Box 5
MEDWAY MA 02053

PREPARED By: RONALD TIBERI P.E.
9 MASSACHUSETTS AVE.
NATICK MA 01760

DRAWING SCALE: 1 inch = 20 feet

PROJECT NUMBER: 2616

DATE: NOV.2019



PROPOSED STREET LIGHT

JOB NAME: EVERGREEN VILLAGE
APEX LIGHTING SOLUTIONS
WORKPLANE/CALC PLANE: AT FINISH GRADE
MOUNTING HEIGHT: SEE LUMINAIRE SCHEDULE
APPS: LRE
SALES: SS

| Luminaire Schedule | | | | | | | |
|--------------------|-------|-------------|--------|-------------|-------|------------|--|
| Qty | Label | Arrangement | Lumens | Input Watts | LLF | BUG Rating | Description |
| 6 | SL5 | SINGLE | 2885 | 37.74 | 0.850 | B2-U3-G2 | HADCO TX132-G2-B-S-L-CAGE-FINIAL-FASTENER-FINISH-5-PHOTO-NA3 / MOUNTED TO 8FT POLE |

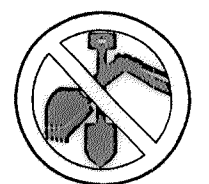
| Calculation Summary | | | | | | | |
|---------------------|-------------|------|-----|-----|---------|---------|--|
| Label | Grid Height | Avg | Max | Min | Avg/Min | Max/Min | |
| CalcPts_1 | 0 | 0.16 | 1.8 | 0.0 | N.A. | N.A. | |
| DRIVE LANE | | 0.89 | 1.8 | 0.1 | 8.90 | 18.00 | |

DIG SAFE NOTE:
UTILITIES ARE PLOTTED FROM FIELD LOCATION AND ANY RECORD INFORMATION AVAILABLE, AND SHOULD BE CONSIDERED APPROXIMATE. OTHER UTILITIES MAY EXIST WHICH ARE NOT EVIDENT OR FOR WHICH RECORD INFORMATION WAS NOT AVAILABLE. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING. ALSO, CALL "DIG-SAFE" AT 1(888)344-7233 {1(888)DIG-SAFE}.

THE OFFSETS AS SHOWN ON THIS PLAN ARE NOT TO BE USED FOR THE ESTABLISHMENT OF PROPERTY LINES OR FOR THE ESTABLISHMENT OF ANY PROPOSED CONSTRUCTION UNLESS SAID CONSTRUCTION IS SHOWN HEREON.

THIS PLAN WAS PREPARED FOR THE EXCLUSIVE USE AND PURPOSE FOR THE PARTY STATED HEREON AND SHALL NOT BE USED BY ANY THIRD PARTY WITHOUT THE EXPRESSED WRITTEN PERMISSION OF RONALD TIBERI P.E.

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.



I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS

Lawrence Greene
LAWRENCE GREENE, P.L.A.#1561
04/23/20
DATE



dyh
dyh
8-11-2020

APPROVED BY PLANNING BOARD
DATE: April 7, 2020

| REVISIONS | | |
|-----------|----------|---------------|
| No. | DATE | DESCRIPTION |
| 1. | 09/02/19 | Town comments |
| 2. | 11/04/19 | Town comments |
| 3. | 11/25/19 | Plan edits |
| 4. | 04/03/20 | Plan edits |

PROPOSED SITE
LIGHTING PLAN
IN
MEDWAY, MASSACHUSETTS

EVERGREEN VILLAGE
22 EVERGREEN STREET

PREPARED FOR:
SAMPSON POND LLC
P.O. Box 5
MEDWAY MA 02053

PREPARED By:
McCARTY ENGINEERING
42 JUNGLE ROAD
LEOMINSTER, MA 01453

DRAWING SCALE: 1 inch = 20 feet

PROJECT NUMBER: 2616

DATE: MARCH 14, 2019

Vxvdq#Diiohfn0Fklogv

| | |
|----------|--|
| Iurp= | P duld#dulfkqrh# gndp krp hvp yC jp dlfrrp A |
| Vhqw= | Z hgqhvgd /hfhnp ehuf/5354# 35#SP |
| Wr= | Erxdn /whyhq#/xvdq#Diiohfn0Fklogv |
| Vxemhfw= | Sxqfkdw |

Hello, Wanted to let you know that things are moving right along at Phase 1 Evergreen. Pavement has been completed, and the gutters, downspouts and drainage should be done between tomorrow and Friday afternoon. Patios and walk ways will all be getting started Monday and should only be 2-3 days to complete. I most likely will need to have you do a punchlist as late as possible but... so that I am still able to have the bond hearing on the 14th. I have folks wanting to get in by the end of month but I can not get occupancy permits without the bond being posted and as you know, unfortunately the PEDB only holds one meeting in December. I have a check I will drop off by Friday for the sidewalk fund as well.

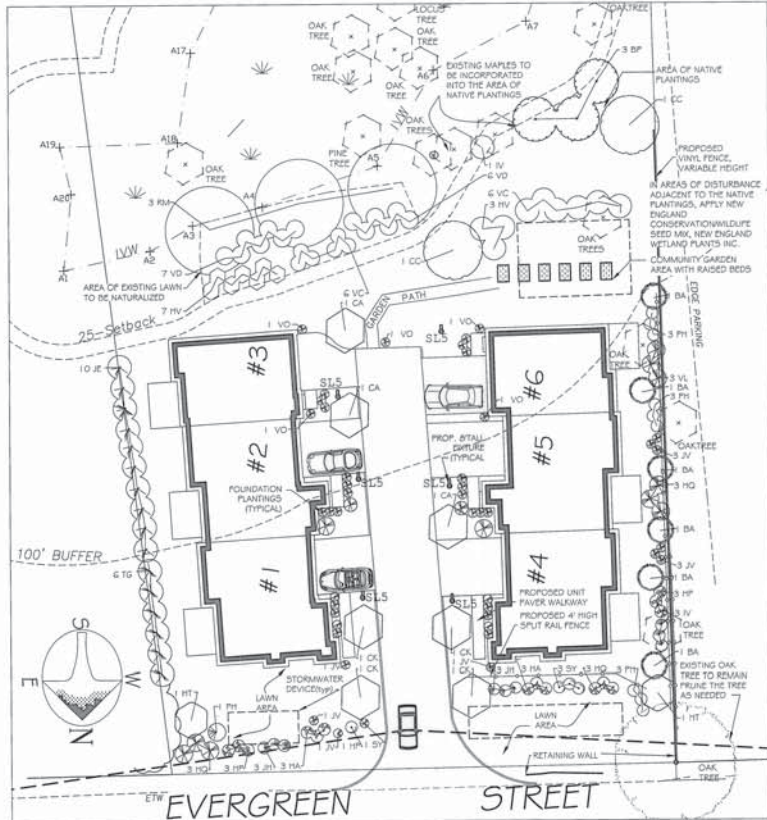
Also, not sure who I need to discuss the front stone wall with. Now that the grade has been reduced (per Officer Watson's request for sight line visibility) there really isn't as long an area where we can do much of a wall. We can start by the tree where the old wall is but then it tapers down pretty quickly to an area that is almost flat to the street right about where the transformer box is. I would like to review this with the right person before having the wall built. If we bring fill back in, it defeats the purpose of reducing the grade. Please advise.

--

Maria Varrichione
dreamhomesmv@gmail.com
Mobile- 508-561-6048
RE/MAX Executive Realty
Platinum Club, Hall of Fame
& Lifetime Achievement Award Recipient



Virus-free. www.avg.com



LANDSCAPING NOTES

1. NOTIFY THE STATE AT 1-888-DIG-SAFE AND LOCAL AUTHORITIES PRIOR TO ANY TYPE OF SITE PREPARATION OR CONSTRUCTION.
2. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIAL AND MAINTAIN SUFFICIENT QUANTITIES TO COMPLETE PLANTINGS AS SHOWN ON THE DRAWINGS.
3. DRAWING QUANTITIES TAKE PRECEDENCE OVER PLANT LIST QUANTITIES.
4. ALL PLANT MATERIAL SHALL CONFORM TO THE GUIDELINES SET FORTH BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
5. ALL TREES AND SHRUBS SHALL BE PLANTED WITH THE "BEST FACE" SHOWING. ALL PLANTS SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN, UNLESS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT.
6. ALL CONTAINER GROWN STOCK SHALL BE HEALTHY, VIGOROUS, WELL ROOTED AND ESTABLISHED IN THE CONTAINER. IN WINTER THEY ARE GROWN IN A PROTECTIVE COVER OF GOOD QUALITY. NO APPARENT INJURY AND BE IN A HEALTHY GROWING CONDITION. A CONTAINER GROWN PLANT SHALL HAVE A WELL ESTABLISHED ROOT SYSTEM REACHING THE SIDES OF THE CONTAINER TO MAINTAIN A FIRM BALL. THE QUALITY OF ALL TREES & SHRUBS IS TO BE NORMAL FOR THE SPECIES. ALL PLANTS ARE TO HAVE DEVELOPED ROOT SYSTEMS, TO BE FREE OF INSECTS AND DISEASES AS WELL AS MECHANICAL INJURIES, AND ALL PLANTS ARE TO BE SUITABLE FOR PLANTINGS.
7. ALL CONIFERS SHALL HAVE DORMANT BUDS AND SECONDARY NEEDLES.
8. WHERE SPECIFIED, CALIPER SIZE IS TO BE THE OVERSIZING FACTOR IN TREE SELECTION. CALIPER SIZE SHALL BE MEASURED 1.2" ABOVE THE ROOTBALL.
9. PLANT SUBSTITUTIONS ARE NOT ALLOWED UNLESS APPROVED BY THE PROJECT LANDSCAPE ARCHITECT.
10. ALL DISTURBED AREAS NOT SHOWN OTHERWISE SHALL BE LOADED AND SEEDED AND BLENDED INTO EXISTING GRADE AND CONDITIONS.
11. PRIOR TO INSTALLING ANY PLANT MATERIAL, THE CONTRACTOR SHALL SUBMIT A LDM SOIL SAMPLE FOR A ROUTINE, ORGANIC, SALTS, AND NITRATE SOIL TEST. UPON THE RESULTS OF THIS TEST, THE SITE CONTRACTOR SHALL AMEND THE LOAM AS RECOMMENDED. SEND THE SOIL SAMPLE TO THE UNIVERSITY OF MASSACHUSETTS SOIL AND PLANT TISSUE TESTING LABORATORY, WEST EXPERIMENT STATION, 685 NORTH FREETOWN ST., UNIVERSITY OF MASSACHUSETTS, AMHERST, MA 01003.
12. LAWN SEED MIX SHALL BE THE PREVIOUS YEARS CROP: 35% JEFFERSON KENTUCKY BLUEGRASS, 35% CARMEN CRIMSON FESCUE AND 30% STALLION PERENNIAL WHEATGRASS, OR APPROVED EQUAL, PLANT AT A RATE OF 1 LB. PER 150 SQUARE FEET.
13. SLOPE SEED MIX SHALL BE THE PREVIOUS YEARS CROP: PLANT AT A RATE OF 1 LB. PER 150 SQUARE FEET. SEED MIX SHALL BE STALLION PERENNIAL WHEATGRASS 10%, CREEPING RED FESCUE 50%, ANNUAL RYE GRASS 15%, JEFFERSON KENTUCKY BLUEGRASS 10%, RED TOP CLOVER 5%, AND LADINO CLOVER 5%, OR APPROVED EQUAL, PLANT AT A RATE OF 1 LB. PER 150 SQUARE FEET.
14. LAWN SEED AREAS SHALL NOT BE DEEMED ACCEPTABLE UNTIL IN EXCESS OF 90% OF EACH AREA, INDEPENDENTLY, IS GERMINATED, GROWING AND DISPLAYING HEALTHY, UNIFORM GROWTH AND HAS BEEN CUT TWICE. THE SITE CONTRACTOR IS RESPONSIBLE FOR APPLYING AT A MINIMUM 1" OF WATER A WEEK UNTIL THE SEEDS HAVE BEEN ACCEPTED. THE WATERING SHALL OCCUR IN SMALL DOSES. THE SITE CONTRACTOR IS RESPONSIBLE FOR REMOVING ANY WEEDS (CRAB GRASS) WITHIN THE SEEDS AREAS UNTIL THE SEEDS AREAS HAVE BEEN ACCEPTED.
15. THE HYDRO SEED SURFILL SHALL BE A WOOD BASED BONDED FIBER MATRIX. THE APPLICATION RATE SHALL BE 2.500-3.000 LB. PER ACRE SPREAD IN AT LEAST TWO DIRECTIONS. DO NOT APPLY HYDRO SEED SURFILL IF RAIN IS EXPECTED WITHIN 12 HOURS, AND WHEN TEMPERATURES ARE BELOW 50 DEGREES.
16. PRIOR TO PLANTING, THE LANDSCAPE SHALL REVIEW AND COORDINATE WITH THE SITE UTILITY PLAN AND GRADING PLAN.
17. THE ROOTS OF NEWLY PLANTED TREES AND SHRUBS MUST BE KEPT STEADILY MOIST, AS THE DEVELOPING ROOTS ESTABLISH IN THE NEW SOIL. AT PLANTING, WATER THOROUGHLY TO SOAK THE ROOTS AND TO SETTLE THE NEW SOIL AROUND THE ROOT BALL. THE AMOUNT OF SUPPLEMENTAL WATER NEEDED EACH WEEK DURING THE FIRST GROWING SEASON AFTER PLANTING DEPENDS ON RECENT RAINFALL, TEMPERATURE, AND WIND. IF LESS THAN ONE INCH OF RAIN HAS FALLEN OVER THE PAST FIVE TO SEVEN DAYS, THE NEW PLANTINGS MUST BE WATERED. LAWN, TREES, AND SHRUBS WATERING SHALL OCCUR AT A MINIMUM OF TWO (2) TIMES A DAY FOR THE FIRST TWO (2) MONTHS, ONCE IN THE EARLY MORNING AND THEN THE OTHER IN THE LATE AFTERNOON. IN GENERAL TEN GALLONS OF WATER APPLIED TWICE A WEEK WILL MET A 20-24" DEEP ROOT BALL AND PROVIDE THE EQUIVALENT OF ONE INCH OF RAIN FALL. NEW LAWN SHALL BE WATERED SO THAT IT RECEIVES AT A MINIMUM ONE INCH (1") OF WATER EVERY WEEK.
18. WITHIN THE LANDSCAPE BEDS ADJACENT TO THE BUILDING FOUNDATIONS, NO PHELOX, PINE, SPURLOCK, OR CEDAR MULCH OR OTHER COMBUSTIBLE LANDSCAPE MATERIALS SHALL BE INSTALLED WITHIN 1' OF THE FOUNDATION.
19. ALL LANDSCAPE BEDS SHALL RECEIVE THREE-INCHES OF DARK MULCH.
20. LANDSCAPE AREAS SHALL BE DEEP FILLED TO A DEPTH OF TWELVE INCHES TO FACILITATE DEEP WATER PENETRATION.
21. THE QUANTITIES OF THE FOUNDATION PLANTINGS ARE NOT LISTED WITHIN THE PLANTING SCHEDULE. FOUNDATION PLANTINGS FOR UNITS OUTSIDE THE 100' BUFFER AND WITHIN THE 100' BUFFER SHALL BE FROM THE RECOMMENDED LISTS BELOW.

GENERAL SITE NOTES

1. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORKSCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS, RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.
2. ALL WORK SHALL CONFORM TO LOCAL, COMMONWEALTH OF MASSACHUSETTS, AND OSHA STANDARDS AND GUIDELINES.
3. LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. ALL UTILITY SERVICE CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
4. ALL UTILITY LOCATIONS ARE APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE CONDUITS, PRODUCT PIPING, ETC. PRIOR TO COMMENCEMENT OF EXCAVATION OF ANY TYPE.
5. ALL EXCAVATED UNSUITABLE MATERIAL MUST BE TRANSPORTED TO AN APPROVED DISPOSAL LOCATION.
6. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY "DIG SAFE" (1-888-344-7233) 72 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE. CONTRACTOR SHALL ALSO NOTIFY THE LOCAL DEPARTMENT OF PUBLIC WORKS TO MARK OUT THEIR UTILITIES.
7. THE LIMITS OF WORK SHALL BE CLEARLY MARKED IN THE FIELD PRIOR TO THE START OF CONSTRUCTION OR SITE CLEARING.
8. ALL CONCRETE AND BITUMINOUS PATCH AREAS TO MATCH EXISTING GRADE.
9. SOLID WASTE TO BE DISPOSED OF BY CONTRACTOR IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
10. CONTRACTOR IS RESPONSIBLE FOR ALL EXCAVATION TO BE PERFORMED IN ACCORDANCE WITH CURRENT STANDARDS, AS WELL AS ADDITIONAL PROVISIONS TO ASSURE STABILITY OF CONTIGUOUS STRUCTURES.
11. IN CASE OF DISCREPANCIES BETWEEN PLANS, THE SITE PLAN WILL SUPERCEDE IN ALL CASES. NOTIFY ENGINEER OF RECORD OF ANY CONFLICTS.

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

Lawrence Greene, P.L.A.#1581

04/23/20
DATE



APPROVED BY PLANNING BOARD
DATE: April 7, 2020

APPROVED BY PLANNING BOARD
DATE: April 7, 2020



EVERGREEN TREE PLANTING

NOT TO SCALE

Planting Schedule

| Qty | Key | Common Name | Botanical Name | Size | Remarks |
|-------------------|-----|----------------------------|--|------------------------|-----------------|
| 1 | BA | Balsam Fir | <i>Abies balsamea</i> | 8' Hl. B&B | |
| 3 | BP | Gray Birch | <i>Betula populifolia</i> | 8' Hl. B&B-Multi-stem | |
| 3 | CA | Pagoda Dogwood | <i>Cornus alternifolia</i> | 3' Cal. B&B | |
| 1 | CC | Hamamelis | <i>Hamamelis virginica</i> | 3' Cal. B&B | |
| 4 | CK | Cherokee Brave Dogwood | <i>Cornus florida 'Cherokee Brave'</i> | 3' Cal. B&B | |
| 3 | HT | Tartan Hydrangeas | <i>Hydrangea paniculata 'Tartan'</i> | 15' Hl. B&B | Container Grown |
| 3 | RM | Red Maple | <i>Acer rubrum</i> | 3' Cal. B&B | |
| 6 | TD | Tom Green Giant Arborvitae | <i>Thuja x plicata 'Green Giant'</i> | 6' Hl. B&B | |
| SHRUBS | | | | | |
| 9 | IV | Golden Hydrangeas | <i>Hydrangea serrulata</i> | 24" Hl. B&B | |
| 10 | IV | Common Wintergreen | <i>Monotropa virginiana</i> | 24" Hl. B&B | |
| 4 | IV | Winterberry | <i>Ilex verticillata</i> | 24" Hl. B&B | |
| 7 | HP | Golden Cup St. John's Wort | <i>Hypericum adpressum</i> | 24" Hl. B&B | |
| 10 | IV | Tom Green Giant | <i>Thuja x plicata 'Green Giant'</i> | 24" Hl. B&B | |
| 6 | JT | Creeper Juniper | <i>Juniperus horizontalis</i> | 24" Hl. B&B | |
| 4 | JV | Taylor Red Cedar | <i>Juniperus virginiana 'Taylor'</i> | 24" Hl. B&B | |
| 10 | IV | Common Wintergreen | <i>Monotropa virginiana</i> | 24" Hl. B&B | |
| 4 | JV | Blooming Lilac | <i>Syringa x 'Blossoming Lilac'</i> | 24" Hl. B&B | |
| 12 | VO | Highbush Blueberry | <i>Vaccinium corymbosum</i> | 24" Hl. B&B | |
| 3 | VO | Highbush Blueberry | <i>Vaccinium corymbosum</i> | 24" Hl. B&B | |
| 3 | VI | Common Wintergreen | <i>Monotropa virginiana</i> | 24" Hl. B&B | |
| 3 | VO | Highbush Blueberry | <i>Vaccinium corymbosum</i> | 24" Hl. B&B | |
| PERENNIALS | | | | | |
| 6 | THA | Aureo Hakone Grass | <i>Hakonechloa macro 'Aureo'</i> | #3 Pot Container Grown | |

DECIDUOUS TREE PLANTING

NOT TO SCALE

DIG SAFE NOTE:

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CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, OR OTHER RECORDS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

PROPOSED SITE

LANDSCAPE PLAN

IN MEDWAY, MASSACHUSETTS

EVERGREEN VILLAGE 22 EVERGREEN STREET

PREPARED FOR: SAMPSON POND LLC
P.O. Box 5
MEDWAY MA 02053

PREPARED BY: McCARTY ENGINEERING
42 JUNGLE ROAD
LEOMINSTER, MA 01453

DRAWING SCALE: 1 inch = 20 feet
PROJECT NUMBER: 2616
DATE: SEPTEMBER 2, 2019

L-1

PLANT SCHEDULE - RECOMMENDED FOUNDATION PLANTINGS FOR BUILDING UNITS OUTSIDE THE 100' WETLAND BUFFER

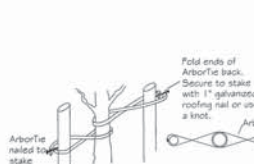
| | | |
|------------------------------|---|-------------|
| Buzz Midnight Butterfly Bush | <i>Buddleia davidii 'Buzz Midnight'</i> | 36" Hl. B&B |
| Blue Chip Butterfly Bush | <i>Buddleia davidii 'Blue Chip'</i> | 36" Hl. B&B |
| Dark Knight Blueberry | <i>Corydalis x clematis 'Dark Knight'</i> | 36" Hl. B&B |
| Golden Moss Hipsal Cypress | <i>Chamaecyparis abietis 'Golden Moss'</i> | 36" Hl. B&B |
| Heavenly Blue Hydrangeas | <i>Hydrangea paniculata 'Heavenly Blue'</i> | 36" Hl. B&B |
| Golden Spine Euonymus | <i>Euonymus fortunei 'Golden Spine'</i> | 36" Hl. B&B |
| Lady Stanley Rose of Sharon | <i>Hibiscus syriacus 'Lady Stanley'</i> | 36" Hl. B&B |
| Little Quick Fire Hydrangeas | <i>Hydrangea paniculata 'Little Quick Fire'</i> | 36" Hl. B&B |
| Limelight Hydrangeas | <i>Hydrangea paniculata 'Limelight'</i> | 36" Hl. B&B |
| Sky Pencil Holly | <i>Ilex crenata 'Sky Pencil'</i> | 36" Hl. B&B |
| Burning Broom Out Reed | <i>Baccharis viridula 'Burning Broom Out'</i> | 36" Hl. B&B |
| Blue Prince Spruce | <i>Scirpa japonica 'Blue Prince'</i> | 36" Hl. B&B |
| Blue Muffin Viburnum | <i>Viburnum dentatum 'Blue Muffin'</i> | 36" Hl. B&B |
| Shasta Viburnum | <i>Viburnum plicatum tomentosum 'Shasta'</i> | 36" Hl. B&B |

PLANT SCHEDULE - RECOMMENDED FOUNDATION PLANTINGS FOR BUILDING UNITS WITHIN THE 100' WETLAND BUFFER

| | | |
|----------------------|--|-------------|
| Shadow service berry | <i>Amelanchier canadensis 'Shadow service berry'</i> | 36" Hl. B&B |
| Sweet pepperbush | <i>Guthriea anifolia</i> | 36" Hl. B&B |
| Sweet fern | <i>Comptonia perfoliata</i> | 36" Hl. B&B |
| Gray Dogwood | <i>Cornus racemosa</i> | 36" Hl. B&B |
| River Birch Dogwood | <i>Cornus sericea</i> | 36" Hl. B&B |
| Silky Dogwood | <i>Cornus amomum</i> | 36" Hl. B&B |
| Forthright | <i>Forthright</i> | 36" Hl. B&B |
| Mountain aster | <i>Aster barbatula</i> | 36" Hl. B&B |
| Bacch plum | <i>Prunus maritima</i> | 36" Hl. B&B |
| Rosebay Rhododendron | <i>Rhododendron maximum</i> | 36" Hl. B&B |
| Camellia yew | <i>Yew canadensis</i> | 36" Hl. B&B |
| Maple leaf viburnum | <i>Viburnum acerifolia</i> | 36" Hl. B&B |


SHRUB PLANTING

NOT TO SCALE



To: Susan Affleck-Childs – Medway Planning and Economic Development Board (PEDB) Coordinator

Cc: Peter Pelletier – Medway DPW Director
Bridget Graziano – Medway Conservation Agent
Maria Varrichione – Applicant

From: Steven M. Bouley, P.E. 
Bradley M. Picard, E.I.T.

Date: December 14, 2021

Subject: Evergreen Village Bond List

On December 9, 2021 at the request of the Medway PEDB, Tetra Tech (TT) conducted a punch list inspection of the Evergreen Village Project located at 22 Evergreen Street in Medway, MA. A Bond List and Estimate were generated of outstanding items which have not yet been completed, are deficient in quality or outstanding administrative items which remain to be submitted.

The inspection was conducted using the following documents:

- A plan (Plans) set titled "Evergreen Village, 22 Evergreen Street, Medway, Massachusetts", dated September 5, 2019, revised April 6, 2020, prepared by Ronald Tiberi, P.E.
- A Major Site Plan Decision (Decision) titled "Multi-Family Housing Special Permit and Major Site Plan Decision, Evergreen Village – 22 Evergreen Street" dated April 7, 2020.

Outstanding Minimum Infrastructure Items (Pursuant to Section VIII.N.a-g of the Project's Decision)

These items are not included in the bond estimate as they must be completed prior to implementation of bonding for the Project and subsequent authorization of an occupancy permit for units in the first triplex building (Units 4, 5, and 6).

1. Drainage system is not complete on-site. Outstanding drainage system components include the two catch basins at the end of Balsam Way (CB-1 and CB-2), all the drainage infrastructure and at-grade drainage components downstream of CB-1 and CB-2, and Stormwater Management System PR-1 with appurtenant roof drains. Catch basin grates shall be set to binder course elevation once installed. Gutters and downspouts with overflow devices at Units 4, 5, and 6 have not been installed.
2. Install regulatory signs as specified on the approved Plans.
3. Install stop line pavement markings on binder course.
4. Provide as-built information for the Drainage System for review. Can be provided in draft form to confirm critical elevations are consistent with the approved Plans. Full as-builts will be required at the completion of the Project.
5. Confirm with Medway DPW that provisions for fire prevention and protection have been installed and functional for Units 4, 5, and 6.

Items to be Completed

6. Install proposed curbing and edging along Balsam Way.
7. Finalize electrical conduit and wiring.
8. Adjust all drain and utility castings to finish elevation.
9. Install top course for Balsam Way and driveways.
10. Install privacy fence at the retaining wall behind Units 4, 5, and 6.
11. Install mail kiosk and mailbox enclosure.
12. Install landscaping, screening and loam and seed.
13. Install garden path at the end of Balsam Way.
14. Install proposed retaining wall between Stormwater Management System PR-2 and Evergreen Street. Due to Medway Safety Officer's concerns about sight line visibility, grades have been reduced in this area. The proposed

Infrastructure Northeast

Marlborough Technology Park, 100 Nickerson Road, Marlborough, MA 01752

Tel 508.786.2200 Fax 508.786.2201 tetratech.com

retaining wall would serve little purpose, other than for aesthetics, as current grades appear to gradually transition to Evergreen Street. The Applicant should coordinate with PEDB and Medway Design Review Committee (DRC) to determine if the proposed retaining wall should be constructed.

15. Install remaining signage and stop lines (top course).

Inspection/Maintenance

16. Provide snow plowing throughout the paved area of the Project. Assume one (1) year of plowing.
17. Perform street sweeping in the Spring and Fall. Assume one (1) year of street sweeping.
18. Clean stormwater infrastructure within the paved area. Assume one (1) cleaning of all catch basins and water quality units per year for one (1) year.
19. Clean infiltration system isolator row downstream of catch basins and water quality units. Assume one (1) cleaning for one (1) year.
20. Perform erosion control maintenance. Assume two (2) new silt sacks for each catch basin per year for one (1) year.
21. Remove erosion controls within limit of work as directed by Medway Conservation Commission.

Administrative

22. Provide documentation from the engineer of record that the subsurface infiltration basins have been constructed according to the endorsed Plans and whether they are functioning properly.
23. Provide as-built plans of the Project.

Regulatory Administrative (Other Boards/Commissions)

24. Install conservation markers. (Conservation Commission)

These comments are offered as guides for use during the Town's review. In addition to this list, we recommend the Applicant conduct their own evaluation of the site to ensure all items included on the approved documents are completed to the satisfaction of the engineer of record for the Project. If you have any questions or comments, please feel free to contact us at (508) 786-2200.

P:\21583\143-21583-20001 (PEDB EVERGREEN VILLAGE)\CONSTRUCTION\PUNCH LIST\BOND LIST_01_EVERGREEN VILLAGE_2021-12-14.DOC

**TETRA TECH**

**Bond Estimate
Evergreen Village
Medway, Massachusetts
December 14, 2021**

Marlborough Technology Park
100 Nickerson Road
Marlborough, MA 01752
Tel 508.786.2200 Fax 508.786.2201

| ITEM NO. | DESCRIPTION | QUANTITY | UNIT | UNIT COST ¹ | ENGINEERS ESTIMATE |
|----------|---|----------|------|------------------------|--------------------|
| 001 | Mobilization (3% of Const. Cost) | 1 | LS | \$2,800.00 | \$2,800 |
| 002 | Granite Curb Type VA4 - Curved | 65 | FT | \$50.00 | \$3,250 |
| 003 | Granite Curb Type VA4 - Straight | 150 | FT | \$60.00 | \$9,000 |
| 004 | Adjust Drain Castings | 2 | EA | \$440.00 | \$880 |
| 005 | Adjust Water Gate Box | 1 | EA | \$250.00 | \$250 |
| 006 | Top Course | 30 | TON | \$120.00 | \$3,600 |
| 007 | Privacy Fence | 145 | FT | \$45.00 | \$6,525 |
| 008 | Garden Path | 1 | LS | \$2,500.00 | \$2,500 |
| 009 | Landscaping | 1 | LS | \$20,000.00 | \$20,000 |
| 010 | Electrical Conduit and Wiring | 1 | LS | \$10,000.00 | \$10,000 |
| 011 | Loam Borrow | 300 | CY | \$57.00 | \$17,100 |
| 012 | Seeding | 900 | SY | \$2.00 | \$1,800 |
| 013 | Jute Mesh for Stabilization | 100 | SY | \$6.00 | \$600 |
| 014 | Signage | 2 | EA | \$125.00 | \$250 |
| 015 | Striping | 1 | LS | \$1,000.00 | \$1,000 |
| 016 | Conservation Bounds | 6 | EA | \$600.00 | \$3,600 |
| 017 | Snow Plowing ² | 1 | LS | \$500.00 | \$500 |
| 018 | Street Sweeping ² | 1 | LS | \$500.00 | \$500 |
| 019 | Clean Catch Basins/WQ Units ² | 3 | EA | \$250.00 | \$750 |
| 020 | Maintain Infiltration System ² | 1 | LS | \$1,000.00 | \$1,000 |
| 021 | Maintain Silt Sacks ² | 4 | EA | \$150.00 | \$600 |
| 022 | Remove Erosion Controls | 1 | LS | \$2,500.00 | \$2,500 |
| 023 | Legal/Engineering Services | 1 | LS | \$6,000.00 | \$6,000 |
| 024 | As-Builts | 150 | LF | \$5.00 | \$750 |

| | |
|------------------------|------------------|
| Subtotal | \$95,755 |
| 25% Contingency | \$23,939 |
| Total | <u>\$119,694</u> |

Notes:

¹Unit prices are taken from the latest information provided on the MassDOT website. They utilize the MassDOT weighted bid prices (Combined - All Districts) for the time period 8/2020 - 8/2021.

²This item will remain in the estimate until the Project is entirely complete and occupancy is granted to all units.