

Plotter: 9/27/2017 2:04 PM
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SITE PLAN REVIEW SUBMITTAL

O'BRIEN & SONS CORPORATE OFFICE

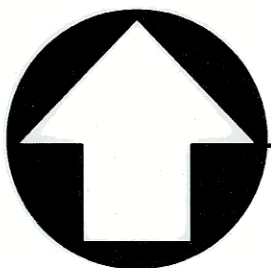
17 TROTTER DRIVE
(MAP 54, PARCEL 1)
MEDWAY, MASSACHUSETTS 02053

ZONING DISTRICT: INDUSTRIAL III
GROUNDWATER PROTECTION DISTRICT/ZONE II

MAY 23, 2017
REVISED SEPTEMBER 1, 2017



NORTH



LOCUS MAP

SCALE: 1" = 500'

OWNER

ANTHONY & MARGURITE MELE
203 MAIN STREET
MEDWAY, MASSACHUSETTS 02053

APPLICANT

BOTTLE CAP LOT, LLC
93 WEST STREET
MEDFIELD, MASSACHUSETTS 02052

CIVIL ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE



69 MILK STREET, SUITE 302
WESTBOROUGH, MASSACHUSETTS 01580
TELEPHONE: (508) 871-7030

500 CUMMINGS CENTER, SUITE 5950
BEVERLY, MASSACHUSETTS 01915
TELEPHONE: (978) 299-0447

ARCHITECTURE GIRILIA

Gorman Richardson Lewis Architects
239 South Street Hopkinton, MA 01748
T - 508.544.2600 F - 508.435.0072
www.griiarchitect.com

REGISTRY USE ONLY

I DECLARE, TO THE BEST OF MY PROFESSIONAL
KNOWLEDGE, INFORMATION, AND BELIEF, THAT
THIS PLAN WAS PREPARED IN ACCORDANCE
WITH THE RULES AND REGULATIONS OF THE
REGISTERS OF DEEDS.

Kevin E. Danahy 9/1/17



DRAWING INDEX:

- C-0 COVER SHEET/LOCUS MAP
- C-1 EXISTING CONDITIONS PLAN
- C-2 LAYOUT AND MATERIALS PLAN
- C-3 GRADING, DRAINAGE & UTILITIES PLAN
- C-4 LANDSCAPE PLAN
- C-5 CONSTRUCTION DETAILS
- C-6 CONSTRUCTION DETAILS
- C-7 CONSTRUCTION DETAILS
- C-8 CONSTRUCTION DETAILS
- A1.0 FIRST FLOOR PLAN
- A3.1 EXTERIOR ELEVATIONS
- L-1 LIGHTING PLAN

APPROVED WAIVERS:

SITE PLAN RULES AND REGULATIONS:

- SECTION 204-5 C.3. (EXISTING LANDSCAPE INVENTORY) TO NOT SHOW TREES BETWEEN 12" AND 18" (TREES 18" AND LARGER SHOWN).
- SECTION 205-6 G.3.a - PARKING STALL DESIGN SHALL BE 10'x20'. SITE COMPLIES WITH THE ZONING BY-LAW (7.1.1.E.3.a.) STATING 9'x18' AS THE REGULATION (9'x18' STANDARD).
- SECTION 205-6 G.3.b (WHEEL STOPS ABUTTING A WALKWAY) NOT PROVIDED, 7' WIDE SIDEWALK PROPOSED TO ACCOMMODATE VEHICLE OVERHANG.
- SECTION 205-6 G.4.a (PARKING PROHIBITED IN BUILDING ENTRANCE "AREA" AND LOADING DOCK "AREA") RELIEF REQUESTED.
- SECTION 205-6 G.4.b (NO PART OF ANY PARKING SHALL BE LOCATED WITHIN 15' OF A SIDE PROPERTY LINE.) 7.1' PROPOSED AT SOUTH PROPERTY LINE. ALDER STREET CUL-DE-SAC ALTERATION PROPOSED.
- SECTION 205-6 G.4.d (THE LAST PARKING STALL IN ANY DEAD END ROW SHALL BE 12' LONG X 20' WIDE TURNING AREA). PROVIDING 6'X24' AREA.
- SECTION 205-6 H. (PARKING AREA TO BE BOUNDED WITH VERTICAL GRANITE CURB) PRECAST CONCRETE CURB PROPOSED.

I HEREBY CERTIFY THAT NOTICE OF
APPROVAL OF THIS PLAN BY THE MEDWAY
PLANNING BOARD WAS RECEIVED AND
RECORDED AT THIS OFFICE AND THAT NO
NOTICE OF APPEAL WAS FILED IN 20 DAYS
FOLLOWING SAID RECEIPT AND RECORDING.

Maryann White 10/10/17
TOWN CLERK, MEDWAY, MA. DATE

APPROVED BY THE TOWN OF MEDWAY
PLANNING & ECONOMIC DEVELOPMENT BOARD

Robert J. Distulis

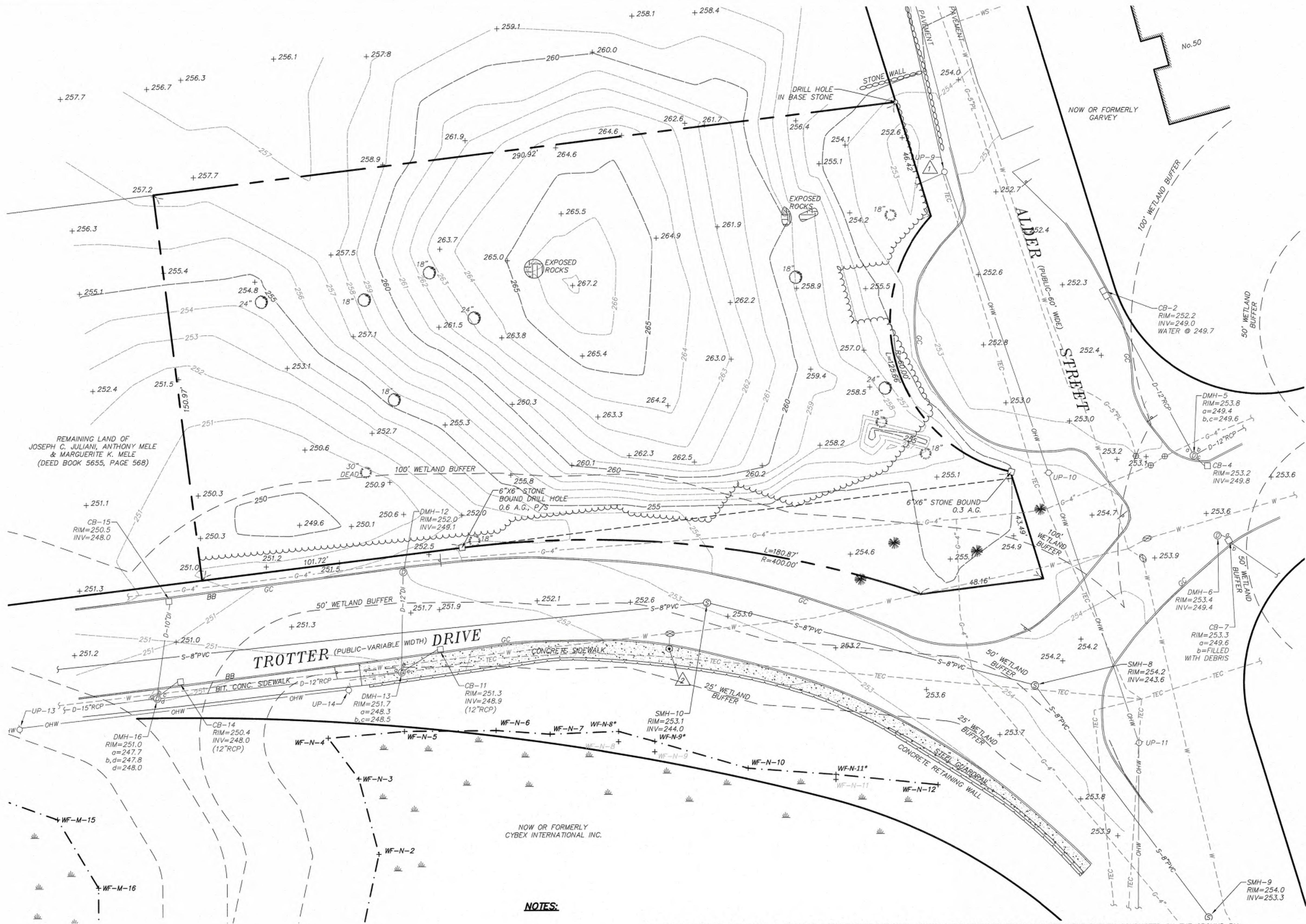
August 8, 2017

APPROVAL DATE

October 10, 2017

ENDORSEMENT DATE

Plotted: 9/27/2017 2:04 PM
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TEMPORARY BENCHMARK CHART:

T.B.M.#	DESCRIPTION	ELEVATION
1	CUT SPIKE IN UTILITY POLE 9, 1.0' A.G.	254.04
2	X-CUT FRONT CAP BOLT HYDRANT 2.0' A.G.	254.86

(SEE NOTE 7)

RECORD OWNER:

JOSEPH C. JULIANI, ANTHONY MELE & MARGUERITE K. MELE
198 VILLAGE STREET
MEDWAY, MASSACHUSETTS 02053
-DEED BOOK 5655, PAGE 568
-DEED BOOK 13323, PAGE 520

REFERENCES:

-PLAN BOOK 305, PLAN 822
-PLAN BOOK 304, PLAN 664
-PLAN BOOK 227, PLAN 843
-PLAN 1116 OF 1959
-PLAN BOOK 294, PLAN 9
-PLAN BOOK 263, PLAN 834
-PLAN BOOK 464, PLAN 180
-UNRECORDED PLAN BY COLONIAL ENGINEERING, INC. DATED FEBRUARY 7, 2017 PREPARED FOR ANTHONY & MARGUERITE MELE OBTAINED FROM THE TOWN OF MEDWAY PLANNING BOARD

LEGEND:

253	ONE FOOT CONTOUR
255	FIVE FOOT CONTOUR
+254.5	SPOT ELEVATION
---	BITUMINOUS BERM
---	GRANITE CURB
---	COMPILED TREELINE
18"	CONIFEROUS TREE W/ DIAMETER
24"	DECIDUOUS TREE W/ DIAMETER
---	COMPILED CONIFEROUS TREE
---	STEEL GUARDRAIL
---	STONE WALL
---	CONCRETE
---	EXPOSED ROCKS
---	SIGN
---	BORDERING VEGETATED WETLANDS
---	WETLAND FLAG
---	REVISED WETLAND FLAG LOCATION
---	LIMIT OF BUFFER ZONE
---	COMPILED GAS LINE
---	COMPILED GAS SERVICE LINE
---	GAS GATE
---	COMPILED COMMUNICATIONS LINE
---	OVERHEAD WIRES
---	UTILITY POLE
---	GUY WIRE
---	OBSERVED DRAIN LINE
---	DRAIN MANHOLE
---	CATCH BASIN
---	DOUBLE CATCH BASIN
---	COMPILED WATER LINE
---	COMPILED WATER SERVICE LINE
---	WATER GATE
---	HYDRANT
---	OBSERVED SEWER LINE
---	SEWER MANHOLE
---	TERMINUS UNKNOWN
---	STONE BOUND
---	DRILL HOLE
---	ABOVE GROUND
---	BITUMINOUS BERM
---	BITUMINOUS CONCRETE
---	DUCTILE IRON
---	GRANITE CURB
---	INVERT
---	PLUMB/SOLID
---	PLASTIC
---	POLYVINYL CHLORIDE
---	REINFORCED CONCRETE PIPE
---	S.F.
---	SQUARE FEET

NOTES:

- THE TOPOGRAPHY, SITE DETAIL & SURFACE IMPROVEMENTS DEPICTED HEREON WERE OBTAINED FROM AN INSTRUMENT SURVEY CONDUCTED ON THE GROUND BY MERIDIAN ASSOCIATES, INC. BETWEEN FEBRUARY 17 & 24, 2017.
- THE SUBJECT PREMISES IS LOCATED IN THE INDUSTRIAL III (I-III) ZONING DISTRICT AND THE GROUNDWATER PROTECTION DISTRICT.
- THE SUBJECT PREMISES IS DEPICTED AS A PORTION OF LOT 4 ON TOWN OF MEDWAY ASSESSOR'S MAP 54. LOT 1 DEPICTED HEREON WAS DERIVED FROM A PLAN OF LAND SUBMITTED TO THE TOWN OF MEDWAY PLANNING BOARD, REFERENCED ABOVE, ENDORSED ON FEBRUARY 28, 2017.
- THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND ARE BASED UPON A PARTIAL FIELD SURVEY AND COMPILATION OF PLANS OF RECORD. MERIDIAN ASSOCIATES, INC. DOES NOT WARRANT NOR GUARANTEE THE LOCATION OF ALL UTILITIES DEPICTED OR NOT DEPICTED. THE CONTRACTOR, PRIOR TO COMMENCEMENT OF CONSTRUCTION, SHALL VERIFY THE LOCATION OF ALL UTILITIES AND CONTACT DIG SAFE AT 1-888-344-7233.
- THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT, VISIBLE USES OF THE LAND; HOWEVER, THIS DOES NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.
- THE SUBJECT PREMISES IS LOCATED IN FLOOD ZONE X (UNSHADED). AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN; PER FEMA FLOOD INSURANCE RATE MAP NUMBER 25021C0138E DATED JULY 17, 2012.
- THE ELEVATIONS DEPICTED HEREON WERE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88), DERIVED FROM GPS OBSERVATIONS.
- PROPERTY LINES DEPICTED HEREON ARE BASED ON COMPILED DEEDS AND PLANS OF RECORD. THIS PLAN IS NOT TO BE USED FOR THE RECONSTRUCTION OF BOUNDARY LINES OR FOR TITLE INSURANCE PURPOSES. ALL BOUNDARY LINES DEPICTED ARE APPROXIMATE ONLY. MAI DID NOT PERFORM A BOUNDARY RETRACEMENT SURVEY.
- THE WETLAND FLAGS DEPICTED HEREON WERE DELINEATED BY MERIDIAN ASSOCIATES, INC. ON FEBRUARY 7, 2017.
- SPECIFIC TREES WITH A DIAMETER OF 18 INCHES OR GREATER ARE LOCATED ON THIS PLAN TO SATISFY THE EXISTING LANDSCAPE INVENTORY (SEE SECTION 204-5, C.3 IN THE MEDWAY SITE PLAN RULES & REGULATIONS) AS REQUESTED AND AGREED TO BY THE PLANNING AND ECONOMIC DEVELOPMENT BOARD.

I DECLARE, TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THAT THE PROPERTY LINES DEPICTED ARE THE LINES DIVIDING EXISTING OWNERSHIPS, AND THE LINES OF STREETS AND WAYS DEPICTED ARE THOSE OF PUBLIC OR PRIVATE STREETS AND WAYS ALREADY ESTABLISHED, AND THAT NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIPS OR FOR NEW STREETS AND WAYS ARE DEPICTED. (MASS. GEN. LAWS CHAP. 41, SECT. 81-X)



9.01.17

DATE

9.01.17

DATE

I DECLARE, TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

FOR MERIDIAN ASSOCIATES, INC.

FOR MERIDIAN ASSOCIATES, INC.

EXISTING CONDITIONS PLAN
O'BRIEN & SONS CORPORATE OFFICES
17 TROTTER DRIVE
MEDWAY, MASSACHUSETTS 02053

Prepared for:

BOTTLE CAP LOT, LLC
93 West Street
Medfield, Massachusetts 02052



500 CUMMINGS CENTER, SUITE 302
WESTFOOT, MASSACHUSETTS 01580
TELEPHONE: (508) 871-7000

Date:
MAY 23, 2017
(See Revisions)

Scale:

1"=20'

Project No.

8477

Sheet No.

C-1

ALL UNDERGROUND UTILITY DATA REPRESENTS RECORD INFORMATION RECOVERED THROUGH RESEARCH WITHOUT SURFACE DEMARCATION NOR SUBSURFACE VERIFICATION.



NOW OR FORMERLY
NEW ENGLAND POWER COMPANY

REGISTRY USE ONLY

AGRICULTURAL-RESIDENTIAL II
INDUSTRIAL III

REMAINING LAND OF
JOSEPH C. JULIANI, ANTHONY MELE
& MARGUERITE K. MELE
(DEED BOOK 5655, PAGE 568)

TROTTER (PUBLIC-VARIABLE WIDTH) DRIVE

ALDER STREET
(PUBLIC-60' WIDE)

ZONING SUMMARY

ZONING DISTRICT: INDUSTRIAL III, GROUNDWATER PROTECTION DISTRICT		
BULK & DIMENSIONAL REQUIREMENTS	REQUIRED	PROVIDED
MINIMUM LOT AREA (S.F.)	40,000	47,757
MINIMUM LOT FRONTAGE (FT)	100	546
MINIMUM FRONT YARD (FT)	30	35
MINIMUM SIDE YARD (FT)	20	30
MINIMUM REAR YARD (FT)	30	N/A
MAXIMUM BUILDING HEIGHT (FT)	60	20
MAXIMUM LOT COVERAGE (%)	N/A	22
MAXIMUM IMPERVIOUS COVERAGE (%)	80	47
MINIMUM OPEN SPACE (%)	20	53

PARKING SUMMARY

BUILDING USES	BUSINESS/OFFICE/ RETAIL (1:1,300SF)	WAREHOUSE (1:2 SHIFT EMP. +1:1,000 S.F.)
PARKING REQUIRED	22*	0**
PARKING PROVIDED	22***	0

*6,600 SF OFFICE / 300 = 22 SPACES

**3,931 SF STORAGE = 0 SPACES (NO ADDED EMPLOYEES FOR STORAGE AREAS)

***21 STANDARD & 1 VAN ACCESSIBLE SPACE

LAYOUT AND MATERIALS NOTES:

ALL WORK CONDUCTED WITHIN PUBLIC RIGHT-OF-WAYS SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF THE TOWN OF MEDWAY DEPARTMENT OF PUBLIC WORKS AND MASS HIGHWAY.

ALL ACCESSIBLE ROUTES, RAMP AND PARKING SPACES TO COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (ADA) ACCESSIBILITY GUIDELINES AND THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD (AAB).

THE FOLLOWING LAYOUT CRITERIA SHALL CONTROL UNLESS OTHERWISE NOTED ON THE PLAN:
DIMENSIONS FROM BUILDING ARE FROM FACE OF BUILDING.
DIMENSIONS ARE TO FACE OF CURB AT GUTTER LINE.
DIMENSIONS ARE TO THE CENTER OF PAVEMENT MARKINGS.
ALL TIES TO PROPERTY LINES ARE PERPENDICULAR TO THE PROPERTY LINE UNLESS OTHERWISE NOTED.

SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND ALL DETAIL CONTIGUOUS TO THE BUILDING INCLUDING ENTRANCES, DOORWAY PADS, ETC.

ALIGN WALKWAYS CENTERED ON BUILDING EXIT DOORS UNLESS OTHERWISE NOTED.

ALL LINES AND DIMENSIONS ARE PARALLEL OR PERPENDICULAR TO THE LINES FROM WHICH THEY ARE MEASURED UNLESS OTHERWISE INDICATED.

COORDINATE THE LOCATION OF ALL SITE LIGHT STANDARDS WITH IMPROVEMENTS SHOWN ON THESE DRAWINGS.

CONTRACTOR SHALL REPORT SIGNIFICANT CONFLICTS TO THE OWNER OR HIS REPRESENTATIVE FOR RESOLUTION.

THE CONTRACTOR SHALL FURNISH AND SET ALL LINES AND GRADES REQUIRED AND PROTECT ALL PERMANENT BENCHMARKS OR MONUMENTS. DAMAGED MONUMENTS SHALL BE REPLACED BY A LICENSED SURVEYOR AT NO COST TO THE OWNER.

PAVEMENT MARKINGS SHALL CONFORM TO SECTION M7.01.05 OF THE COMMONWEALTH OF MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS "STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES".

ALL BITUMINOUS CONCRETE PAVING SHALL COMPLY WITH THE MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, 1998 EDITION AS AMENDED. THE CONTRACTOR SHALL SUBMIT A JOB MIX FORMULA DEMONSTRATING COMPLIANCE WITH THESE SPECIFICATIONS. THE CONTRACTOR SHALL SUPPLY THE ENGINEER WITH A CERTIFICATE OF COMPLIANCE SUPPLIED BY THE PAVING CONTRACTOR.

ALL CONCRETE WORK SHALL COMPLY WITH ACI301, "SPECIFICATION FOR STRUCTURAL CONCRETE," AND ACI 318R, UNLESS MODIFIED BY THE CONTRACT DOCUMENTS. COMPLY WITH CRSI'S "MANUAL OF STANDARD PRACTICE" FOR FABRICATING, PLACING, AND SUPPORTING REINFORCEMENT. COMPLY WITH ACI 306.1 FOR COLD WEATHER PROTECTION, AND FOLLOW RECOMMENDATIONS IN ACI 308R FOR HOT WEATHER PROTECTION DURING CURING. COMPLY WITH ACI 304 "GUIDE FOR MEASURING, MIXING, TRANSPORTING, AND PLACING CONCRETE."

BITUMINOUS CONCRETE PAVEMENT: CLASS I, TYPE I-1 CONFORMING TO THE STANDARD SPECIFICATIONS, SECTIONS 420 AND 460, AND M3.11.03 FOR BINDER COURSE AND TOP COURSE JOB MIX FORMULAS.

SAW-CUT EXISTING PAVEMENT WHERE NEW BITUMINOUS CONCRETE PAVEMENT IS TO COME IN CONTACT. PRIME COAT THE CUT EDGE PRIOR TO PLACEMENT.

FACE OF GUARDRAILS TO BE LOCATED TWO FEET SIX INCHES (2.5') FROM FACE OF CURB OR BACK OF WALK UNLESS OTHERWISE NOTED.

PAVEMENT REMOVAL WITHIN THE ALDER STREET CUL-DE-SAC-SUBJECT TO MEDWAY DEPT. OF PUBLIC SERVICES APPROVAL.

PROPOSED ROOF TO BE RUBBER TYPE EPDM, TPO OR APPROVED EQUAL.

PROPOSED CONDITIONS LEGEND

	PROPERTY LINE
	BUILDING
	RETAINING WALL
	EROSION CONTROL BARRIER
	LIMIT OF WORK
	ELEVATIONAL CONTOUR
	SPOT GRADE
	HIGH POINT/LOW POINT
	TOP/BOTTOM WALL
	DRAIN MANHOLE
	DRAINAGE LINE
	ROOF DRAINAGE LINE
	CATCH BASIN

	DCB
	OCS
	FE
	IB
	W
	WG
	PIV
	ETC
	T
	G
	GG
	GM
	S
	SMH

	CATCH BASIN
	OUTLET CONTROL STRUCTURE
	FLARED END SECTION
	RIP RAP APRON/IMPACT BASIN
	WATER LINE (1" IF NOT SPECIFIED)
	WATER GATE VALVE
	POST INDICATOR VALVE
	ELECTRIC, CABLE & TELEPHONE LINE
	ELECTRIC TRANSFORMER PAD LOCATION
	NATURAL GAS LINE
	GAS GATE
	GAS METER
	SEWER LINE (4" IF NOT SPECIFIED)
	SEWER MANHOLE

NOW OR FORMERLY
CYBEX INTERNATIONAL INC.

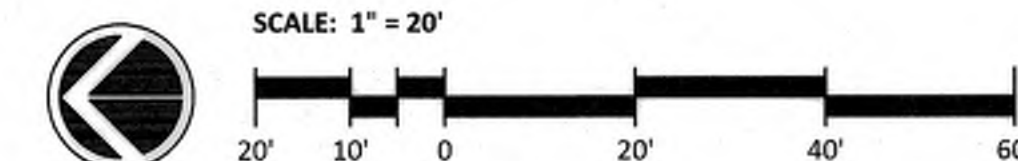
	SEWER CLEANOUT
	TRAFFIC CONTROL SIGN
	VERTICAL GRANITE CURB
	PRECAST CONCRETE CURB
	DUMPSTER PAD
	SNOW STORAGE AREA
	APPROXIMATE TREELINE

I DECLARE, TO THE BEST OF MY PROFESSIONAL
KNOWLEDGE, INFORMATION, AND BELIEF, THAT
THIS PLAN WAS PREPARED IN ACCORDANCE
WITH THE RULES AND REGULATIONS OF THE
REGISTERS OF DEEDS.

Kevin E. Danahy 9.21.17
FOR MERIDIAN ASSOCIATES, INC. DATE

I DECLARE, TO THE BEST OF MY PROFESSIONAL
KNOWLEDGE, INFORMATION, AND BELIEF, THAT
THE PROPERTY LINES DEPICTED ARE THE LINES DIVIDING
EXISTING OWNERSHIPS, AND THE LINES OF STREETS AND
WAYS DEPICTED ARE THOSE OF PUBLIC OR PRIVATE
STREETS AND WAYS ALREADY ESTABLISHED, AND THAT
NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIPS
OR FOR NEW STREETS AND WAYS ARE DEPICTED.
(MASS. GEN. LAWS CHAP. 41, SECT. 81-X)

Kevin E. Danahy 9.21.17
FOR MERIDIAN ASSOCIATES, INC. DATE



LAYOUT & MATERIALS PLAN
O'BRIEN & SONS CORPORATE OFFICES

17 TROTTER DRIVE
MEDWAY, MASSACHUSETTS 02053

Prepared for:
BOTTLE CAP LOT, LLC

93 West Street
Medfield, Massachusetts 02052



500 CUMMINGS CENTER, SUITE 900
WESTBOROUGH, MASSACHUSETTS 01580
TELEPHONE: (508) 871-7050

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C-2

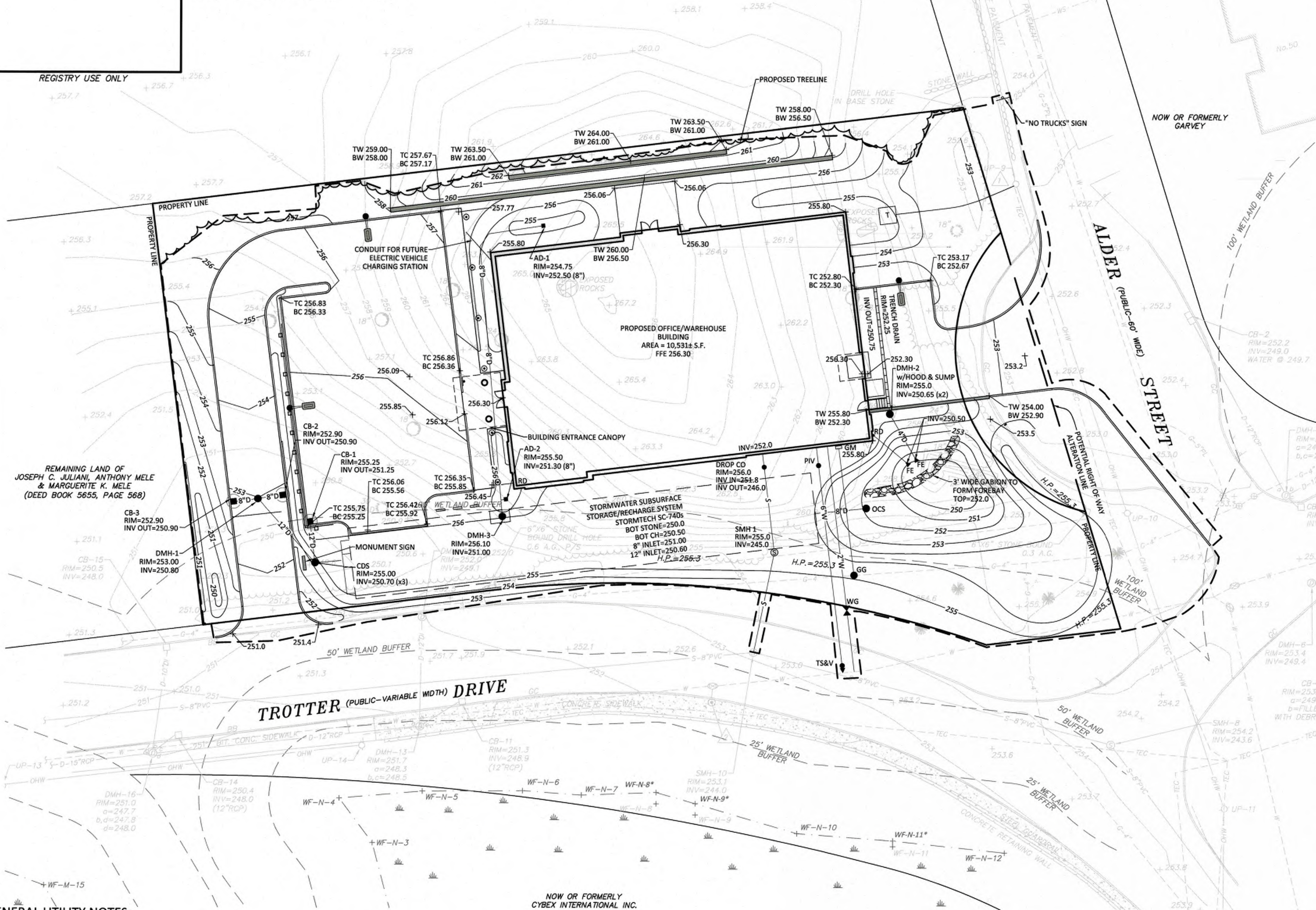
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FOR MERIDIAN ASSOCIATES, INC. DATE 09/10/17

NOW OR FORMERLY
NEW ENGLAND POWER COMPANY

REGISTRY USE ONLY



NOW OR FORMERLY
CYBEX INTERNATIONAL INC.

GENERAL UTILITY NOTES:

CONTRACTOR SHALL PROTECT ALL UNDERGROUND DRAINAGE, SEWER AND UTILITY FACILITIES FROM EXCESSIVE VEHICULAR LOADS DURING CONSTRUCTION. ANY DAMAGE TO THESE FACILITIES RESULTING FROM CONSTRUCTION LOADS WILL BE RESTORED TO ORIGINAL CONDITION AT NO COST TO THE OWNER.

THE CONTRACTOR SHALL OBTAIN INSTRUCTIONS AND FINAL CONSTRUCTION DETAILS FOR MECHANICAL PADS FROM THE UTILITY COMPANIES.

ALL EXISTING UTILITIES SHALL BE VERIFIED FOR SERVICE, SIZE, INVERT ELEVATIONS, LOCATION, ETC., PRIOR TO NEW CONNECTIONS TO OR RELOCATION OF SAME. NOTIFY THE OWNER AND ENGINEER IN WRITING OF ANY AND ALL DISCREPANCIES PRIOR TO COMMENCING ANY WORK. ALL EXISTING UTILITIES UNCOVERED OR DAMAGED DURING EXCAVATIONS AND CONSTRUCTION SHALL BE PLUGGED, CAPPED, RE-ROUTED OR RELOCATED AS DIRECTED BY THE OWNER SO AS NOT TO INTERRUPT THE OPERATION OF ANY OF THE EXISTING SYSTEMS.

TRENCH FOR PIPE SHALL BE EXCAVATED TO THE REQUIRED LINE AND GRADE AND OF SUFFICIENT WIDTH TO PERMIT THOROUGH TAMPING OF THE FILL MATERIAL UNDER THE HAUNCHES AND AROUND THE PIPE. SOFT OR UNSUITABLE MATERIAL ENCOUNTERED BELOW THE NORMAL BEDDING LINE OF THE PIPE SHALL BE REMOVED AS DIRECTED, REPLACED WITH CRUSHED STONE AND THOROUGHLY COMPACTED. THE BOTTOM OF THE TRENCH SHALL BE SHAPED TO CONFORM TO THE CURVATURE OF THE PIPE AND EXCAVATED FOR THE BELLS OF PIPES. THE TRENCH MAY BE RAISED OR LOWERED ONLY AS APPROVED BY THE ENGINEER. USE CONCRETE OR OTHER APPROVED SUPPORT UNDER EXISTING PIPES PASSING THROUGH THE TRENCH.

PIPE SHALL BE LAID TRUE TO THE SPECIFIED LINES AND GRADES.

NO BACKFILLING OF ANY UTILITY SHALL TAKE PLACE UNTIL ALL NECESSARY INSPECTIONS AND TESTING HAS OCCURRED AND HAS BEEN APPROVED. A COPY OF ALL TEST RESULTS ARE TO BE SUPPLIED TO THE ENGINEER UPON RECEIPT.

THE CONTRACTOR SHALL ALTER THE MASONRY OF THE TOP SECTION OF ALL EXISTING DRAINAGE STRUCTURES AS NECESSARY FOR CHANGES IN GRADE, AND RESET ALL WATER AND DRAINAGE FRAMES, GRATES AND BOXES TO THE PROPOSED FINISH SURFACE GRADE.

TESTING OF SANITARY SEWERS AND SEWER MANHOLES SHALL BE IN CONFORMANCE WITH ALL TOWN OF MEDWAY DEPARTMENT OF PUBLIC WORKS REQUIREMENTS.

INSTALLATION AND MATERIALS OF DATA/COMMUNICATION AND ELECTRICAL SUPPLY DUCT BANKS AND MANHOLES SHALL CONFORM TO UTILITY COMPANY REQUIREMENTS AND SPECIFICATIONS.

PROVIDE UNDERGROUND ELECTRIC CONDUIT FOR SITE LIGHTS AS APPROPRIATE.

THE CONTRACTOR SHALL COORDINATE ALL WORK ON UTILITY DUCTS WITH THE APPROPRIATE UTILITY COMPANY INCLUDING WORK BY UTILITY COMPANY FORCES, SERVICE CONNECTIONS AND INSPECTIONS.

PRE-CAST CONCRETE STRUCTURES INCLUDING TANKS, BARREL SECTIONS, CATCHBASINS AND BASES SHALL CONFORM TO ASTM C478 AND AASHTO HS20-44. PLACEMENT SHALL BE IN ACCORDANCE WITH MANUFACTURER INSTRUCTIONS. ALL PRE-CAST STRUCTURES INCLUDING JOINTS, SEALS, OPENINGS, ETC. MUST BE WATERTIGHT. BITUMINOUS DAMP-PROOFING SHALL BE PROVIDED ON THE EXTERIOR WALLS OF ALL SANITARY SEWER AND WATER QUALITY INLET STRUCTURES.

UTILITY / MANHOLE INSTALLATIONS SHALL CONFORM TO UTILITY COMPANY REQUIREMENTS.

ANY WORK NOT MEETING THE APPROVED STANDARDS SHALL BE IMMEDIATELY REMOVED AND REPLACED AT THE FULL RESPONSIBILITY AND COST/EXPENSE OF THE CONTRACTOR.

THE CONTRACTOR SHALL MAKE APPLICATION FOR AND PAY ALL FEES FOR PERMITS REQUIRED TO CONSTRUCT THE PROJECT UTILITIES.

ALL UTILITY COVERS, GRATES, ETC. SHALL BE ADJUSTED TO BE FLUSH WITH THE PAVEMENT FINISH GRADE UNLESS OTHERWISE NOTED. RIM ELEVATIONS OF DRAINAGE STRUCTURES AND MANHOLES ARE APPROXIMATE.

INSULATE SANITARY PIPE WHERE INVERT DEPTH IS LESS THAN (4) FEET BELOW FINISHED GRADE.

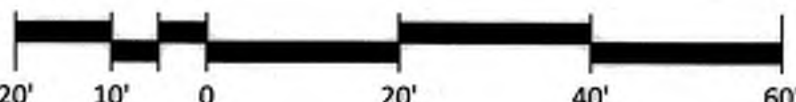
EXCAVATION REQUIRED WITHIN THE PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT NO COST TO THE OWNER.

UNLESS OTHERWISE INDICATED, ABANDONED EXISTING UTILITY LINES SHALL BE CAPPED AND ABANDONED IN PLACE UNLESS THEY CONFLICT WITH PROPOSED IMPROVEMENTS. CAP REMAINING PORTIONS WHERE PARTIALLY REMOVED.

CAP ALL PROPOSED UTILITY STUBS AS APPROPRIATE.



SCALE: 1" = 20'



LEGEND:

SEE SHEET C-3 FOR LEGEND

NOTE:

SITE IS LOCATED WITHIN A ZONE II/GROUNDWATER PROTECTION DISTRICT

GRADING NOTES:

THE CONTRACTOR SHALL VERIFY EXISTING GRADES IN THE FIELD AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE OWNER OR HIS REPRESENTATIVE.

EXCAVATION REQUIRED WITHIN THE PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT NO COST TO THE OWNER.

PITCH EVENLY BETWEEN SPOT GRADES. GRADE ALL AREAS TO DRAIN. ALL PAVED AREAS MUST PITCH TO DRAIN AT A MINIMUM OF 1/8" PER FOOT UNLESS OTHERWISE SPECIFIED. ANY DISCREPANCIES NOT ALLOWING THIS MINIMUM PITCH SHALL BE REPORTED TO THE OWNER OR HIS REPRESENTATIVE PRIOR TO CONTINUING WORK.

ALL SITEWORK SHALL CONFORM TO THE CONTRACT DOCUMENTS AND SHALL COMPLY WITH APPLICABLE CODES AND REGULATIONS, AND THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) PREPARED FOR THE PROJECT.

A GEOTECHNICAL ENGINEER MAY BE RETAINED BY THE OWNER TO OBSERVE PERFORMANCE OF WORK, FOR CONFORMANCE WITH THESE CONTRACT DOCUMENTS, IN CONNECTION WITH EXCAVATING, TRENCHING, FILLING, BACKFILLING AND GRADING, AND TO PERFORM ASSOCIATED FIELD TESTS.

DURING THE PROGRESS OF THE WORK, THE CONTRACTOR MAY BE REQUIRED TO EXCAVATE ADDITIONAL TEST PITS FOR THE PURPOSE OF LOCATING UNDERGROUND UTILITIES OR STRUCTURES AS AN AID IN ESTABLISHING THE PRECISE LOCATION OF NEW WORK. THIS WORK IS TO BE PERFORMED AT NO ADDITIONAL COST TO THE OWNER. TEST PITS SHALL BE BACKFILLED, AS SOON AS THE DESIRED INFORMATION HAS BEEN OBTAINED.

PROTECT STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS AND OTHER FACILITIES FROM DAMAGE CAUSED BY SETTLEMENT, LATERAL MOVEMENT, UNDERMINING, WASHOUT AND OTHER HAZARDS CREATED BY CONTRACTOR OPERATIONS.

UNLESS DIRECTED OTHERWISE, ALL EXISTING TURF OR VEGETATED AREAS WITHIN THE PROPOSED LIMITS OF WORK FOR EXCAVATION, GRADING, OR IMPROVEMENT SHALL BE CLEARED AND GRUBBED. WITHIN THE CLEARING AND GRUBBING AREA, REMOVE ALL TREES, SHRUBS AND ROOTS UNLESS DESIGNATED OTHERWISE. CLEARING SHALL INCLUDE THE FELLING, CUTTING AND OFF-SITE DISPOSAL OF ALL TREES, SHRUBS, STUMPS AND VEGETATIVE DEBRIS PRODUCED THROUGH THE CLEARING OPERATIONS.

FILL DEPRESSIONS CAUSED BY TEST PITS AND CLEARING AND GRUBBING OPERATIONS WITH SATISFACTORY SOIL MATERIAL UNLESS FURTHER EXCAVATION OR EARTHWORK IS INDICATED.

THE CONTRACTOR SHALL PREVENT SURFACE WATER AND SUBSURFACE OR GROUNDWATER FROM FLOWING INTO EXCAVATIONS OR EARTHWORK AREAS WHICH WOULD CAUSE FLOODING OF THE PROJECT SITE AND SURROUNDING AREA, OR SOFTENING OR LOOSENING OF THE SOIL AT EXCAVATION OR EARTHWORK SUB-GRADIES.

THE CONTRACTOR SHALL PROVIDE, INSTALL, OPERATE, MAINTAIN AND REMOVE ADEQUATE AND SATISFACTORY DEWATERING SYSTEMS AND DRAINAGE OF EXCAVATIONS TO PERMIT CONSTRUCTION TO PROCEED "IN THE DRY". THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR THE ADEQUACY OF THE METHODS, MATERIALS AND EQUIPMENT EMPLOYED. THE CONTRACTOR SHALL BEAR THE FULL COST OF PROVIDING ALL NECESSARY DEWATERING.

THE CONTRACTOR SHALL PROHIBIT SEEPAGE, GROUNDWATER FLOW OR SURFACE INFILTRATION AND RUNOFF FROM UNDERMINING OR OTHERWISE DAMAGING ADJACENT STRUCTURES AND UTILITIES.

THE CONTRACTOR SHALL COLLECT AND DISPOSE OF WATER FROM ALL SYSTEMS IN ACCORDANCE WITH THE SWPPP AND WITH FEDERAL, STATE AND LOCAL CODES, ORDINANCES AND REGULATIONS AND OBTAIN ALL NECESSARY PERMITS. ANY WATER PUMPED FROM EXCAVATIONS WILL BE CONVEYED BY HOSE TO AN UPLAND AREA AND DISCHARGED INTO HAYBALE CORRALS OR SEDIMENTATION BAGS.

PAVING, CONCRETE WORK AND BASE COURSE PREPARATION SHALL BE DONE ONLY AFTER EXCAVATION AND CONSTRUCTION WORK WHICH MIGHT INJURE THEM HAS BEEN COMPLETED. DAMAGE CAUSED DURING CONSTRUCTION SHALL BE REPAIRED BEFORE ACCEPTANCE.

PAVEMENT OR BASE MATERIALS SHALL NOT BE PLACED ON A MUDDY OR FROZEN SUBGRADE.

ESTABLISHMENT OF GRADES, GRADE CONTROL, AND CONFORMANCE TO REQUIRED GRADE TOLERANCES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

PROTECT GRADED, FINISHED OR PAVED AREAS FROM DAMAGE AND KEEP THEM FREE OF TRASH AND DEBRIS RESULTING FROM CONSTRUCTION OPERATIONS. REPAIR AND RE-ESTABLISH GRADES IN SETTLED, ERODED AND RUTTED AREAS.

PAVEMENT EXCAVATED DURING UTILITY CONSTRUCTION, WHETHER ON THE SITE OR ADJACENT PROPERTIES, SHALL BE RESTORED AND MATCHED WITH EXACTLY THE SAME MATERIALS AND TOLERANCES AS PRIOR TO DISRUPTION, AT NO ADDITIONAL COST TO THE OWNER, OR ADJACENT PROPERTY OWNERS.

LAWN OR PLANTING AREAS EXCAVATED DURING UTILITY INSTALLATION, WHETHER ON THE SITE OR ADJACENT PROPERTIES, SHALL BE RE-GRADED AND RESTORED AT NO ADDITIONAL COST TO THE OWNER, OR ADJACENT PROPERTY OWNERS.

THE CONTRACTOR SHALL REMOVE, AND LEGALLY DISPOSE OF, ALL EXCAVATED MATERIAL CLASSIFIED AS SURPLUS OR UNSATISFACTORY FROM THE SITE.

STONE USED FOR MACHINE PLACED RIP-RAP SHALL BE REASONABLY WELL GRADED, HARD, DURABLE, ANGULAR IN SHAPE, RESISTANT TO WEATHERING AND FREE FROM ORGANIC MATERIAL. ROUNDED STONES OR Boulders ARE NOT ACCEPTABLE. THE MINIMUM WEIGHT OF THE STONE SHALL BE 155 POUNDS PER CUBIC FOOT. STONE SHALL BE PLACED IN CONFORMANCE WITH THE LINES, GRADES AND THICKNESSES SHOWN ON THE DRAWINGS.

AT ALL LOCATIONS WHERE EXISTING CURBING OR PAVEMENT ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING CURB OR PAVEMENT SHALL BE SAW CUT TO A CLEAN, SMOOTH EDGE. BLEND NEW PAVEMENT, CURBS AND EARTHWORK SMOOTHLY INTO EXISTING BY MATCHING LINES, GRADES AND JOINTS.

ALL RIP RAP STONE SHALL BE HAND CHINKED AND SHALL CONFORM TO MASSACHUSETTS HIGHWAY DEPARTMENT STANDARDS.

BLEND NEW EARTHWORK SMOOTHLY INTO EXISTING.

DRAINAGE NOTES:

MANHOLES SHALL BE 48-INCH DIAMETER (UNLESS OTHERWISE SPECIFIED). CAST-IN-PLACE BASES SHALL BE USED WHERE MANHOLES ARE CONSTRUCTED OVER EXISTING PIPES.

FRAMES AND COVERS FOR DRAINAGE STRUCTURES AND SANITARY SEWER STRUCTURES SHALL PROVIDE A 24-INCH MINIMUM CLEAR OPENING AND SHALL BE LABARON TYPE LX110 OR APPROVED EQUAL.

DRAINAGE STRUCTURE COVERS SHALL HAVE THE WORD "DRAIN" CENTERED ON THE COVER IN 3-INCH HIGH LETTERS. SANITARY SEWER STRUCTURE COVERS SHALL HAVE THE WORD "SEWER" CENTERED ON THE COVER IN 3-INCH HIGH LETTERS.

SINGLE CATCH BASIN FRAMES AND GRATES SHALL BE LABARON TYPE LF 248-2 OR AS REQUIRED BY TOWN OF MEDWAY DPW.

DOUBLE CATCH BASIN FRAMES SHALL BE LABARON ONE-PIECE LV2448-1 FRAMES OR APPROVED EQUAL. FOR DOUBLE CATCH BASIN GRATES, USE TWO LABARON TYPE LF 248-2 OR APPROVED EQUAL.

FRAMES, GRATES AND COVERS SHALL BE SET FIRM AND TRUE TO GRADE, ADJUST FOR GRADE WITH BRICK MASONRY.

ALL ON-SITE DRAIN LINES SHALL BE SMOOTH INTERIOR WALLED CORRUGATED POLYETHYLENE PIPE UNLESS OTHERWISE NOTED.

FLARED END SECTIONS SHALL BE PIPE MANUFACTURER STANDARD CONSTRUCTED FROM THE SAME MATERIAL AS THE PIPE.

INSTALL PIPE AND FLARED ENDS IN STRICT ACCORDANCE WITH PIPE MANUFACTURER INSTRUCTIONS.

ALL DRAIN LINES SHOWN SHALL BE 12" DIAMETER UNLESS OTHERWISE NOTED.

REVISIONS

NO.	DATE	DESCRIPTION
1	6/8/17	WETLAND FLAGS
2	7/6/17	LAYOUT CHANGE / TOWN COMMENTS
3	7/17/17	RESPONSE TO COMMENTS
4	8/2/17	RESPONSE TO FINAL COMMENTS
5	9/1/17	FINAL CONDITIONS
MEB		
MEB		
MEB		
MEB		
BY		



GRADING, DRAINAGE & UTILITIES PLAN
O'BRIEN & SONS CORPORATE OFFICES

17 TROTTER DRIVE
MEDWAY, MASSACHUSETTS 02053

Prepared for:

BOTTLE CAP LOT, LLC
93 West Street

Medfield, Massachusetts 02052



60 MILL STREET, SUITE 200
WESTBOROUGH, MASSACHUSETTS 01580
TELEPHONE: (508) 871-7030

Date:
MAY 23, 2017
(See Revisions)

Scale:

1"=20'

Project No.

8477

Sheet No.

C-3

C-4

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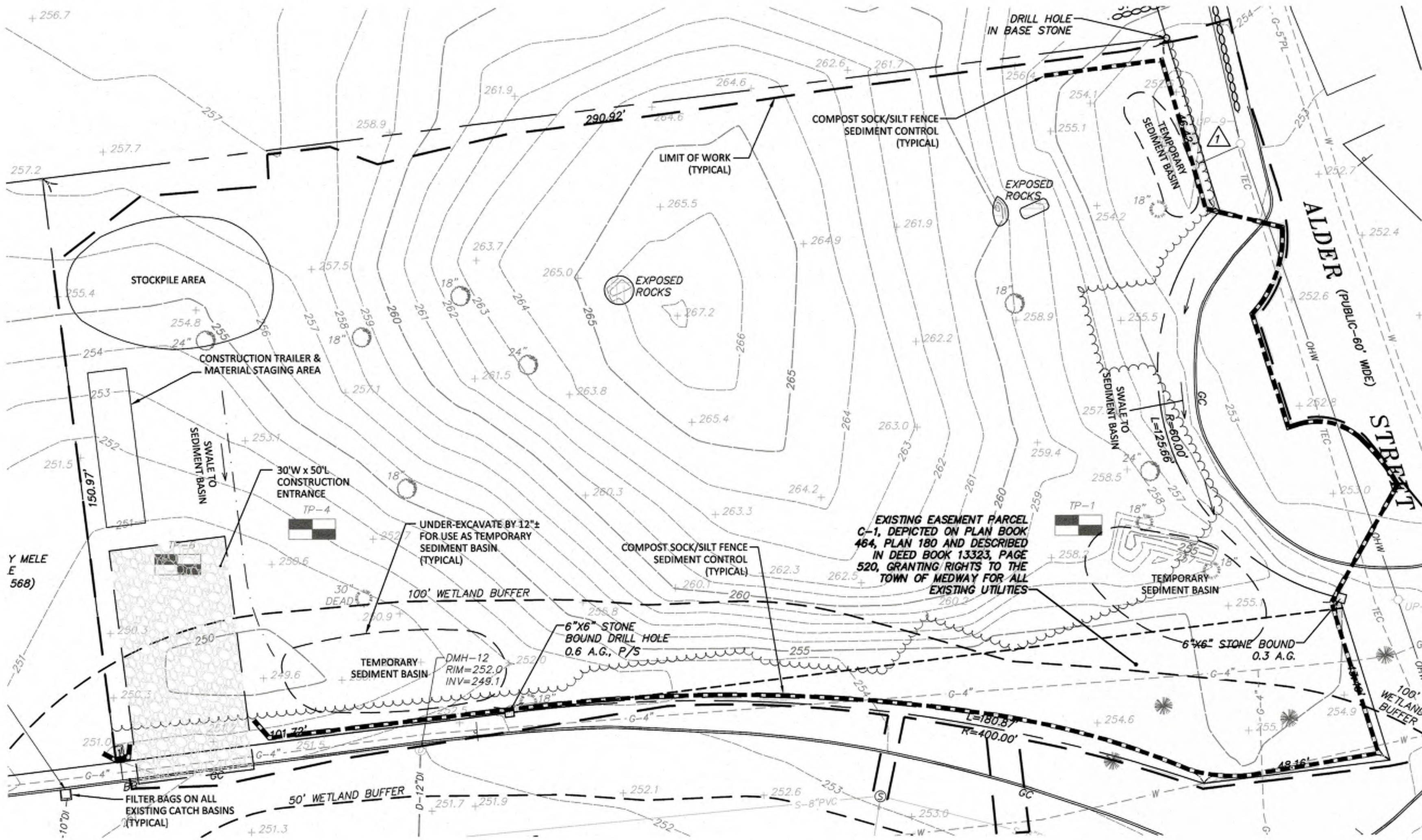
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I DECLARE, TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

FOR MERIDIAN ASSOCIATES, INC.

09/01/17
DATE

REGISTRY USE ONLY



PROPOSED CONDITIONS LEGEND

	PROPERTY LINE
	BUILDING
	RETAINING WALL
	EROSION CONTROL BARRIER
	LIMIT OF WORK

EROSION CONTROL AND STABILIZATION PROGRAM

THE CONTRACTOR SHALL IMPLEMENT THE SWPPP FOR THE PROJECT INCLUDING INSTALLATION AND MAINTENANCE OF ALL CONTROL MEASURES OUTLINED IN THE STORMWATER POLLUTION PREVENTION PLAN INCLUDING EROSION CONTROL BARRIERS, ANTI-TRACKING PADS AND OTHER EROSION AND SEDIMENTATION CONTROLS, STORMWATER MANAGEMENT CONTROLS, SOLID WASTE CONTROLS AND SPILL PREVENTION CONTROLS.

THE LOCATION OF EROSION CONTROL BARRIERS AND SEDIMENTATION AND POLLUTION CONTROL SYSTEMS SHOWN ON DRAWINGS ARE INTENDED TO BE MINIMUM REQUIREMENTS AND A GUIDE FOR THE PLACEMENT OF THESE BARRIERS. OTHER MEASURES MAY BE WARRANTED BASED UPON EXPERIENCE AT THE SITE. WHEN NO SEDIMENTATION CONTROL SYSTEM IS SHOWN ON THE DRAWING, THE CONTRACTOR SHALL BE REQUIRED TO ESTABLISH A SYSTEM TO PREVENT SILTATION OR POLLUTION OF ADJACENT PROPERTY, WETLANDS OR BUFFER ZONES. THE SYSTEMS SHOWN SHALL NOT RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITY OF PLACING ADDITIONAL BARRIERS OR REPLACING BARRIERS AS REQUIRED BY SITE CONDITIONS. THE IMPLEMENTATION, MAINTENANCE, REPLACEMENT AND ADDITIONS TO THESE SYSTEMS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. AS CONSTRUCTION PROGRESSES AND SEASONAL CONDITIONS DICTATE, MORE SILTATION CONTROL FACILITIES MAY BE REQUIRED. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ADDRESS NEW CONDITIONS THAT MAY BE CREATED.

PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ON THE SITE, THE OWNER SHALL DESIGNATE AN EROSION CONTROL INSPECTOR TO SERVE DURING THE CONSTRUCTION PROCESS WITH RESPONSIBILITIES IN ACCORDANCE WITH THE SWPPP.

ALL SLOPES WITH SURFACE GRADES EQUAL TO OR STEEPER THAN 3:1 SHALL BE STABILIZED WITH JUTE MATTING.

REQUIRED SEDIMENTATION CONTROL FACILITIES MUST BE CONSTRUCTED, CLEARLY VISIBLE, AND IN OPERATION PRIOR TO CONSTRUCTION. UNLESS OTHERWISE NOTED, SUCH FACILITIES SHALL REPRESENT THE LIMIT OF WORK. NO CONSTRUCTION ACTIVITY IS TO OCCUR BEYOND THE LIMIT OF WORK AT ANY TIME DURING THE CONSTRUCTION PERIOD.

TEMPORARY DIVERSION DITCHES, PERMANENT DITCHES, CHANNELS, EMBANKMENTS AND ANY DENUEDED SURFACE WHICH WILL BE EXPOSED FOR A PERIOD OF ONE MONTH OR MORE SHALL BE CONSIDERED CRITICAL STABILIZATION AREAS. THESE AREAS SHALL BE MULCHED WITH STRAW. MULCH SHALL BE SPREAD UNIFORMLY IN A CONTINUOUS BLANKET OF SUFFICIENT THICKNESS TO COMPLETELY HIDE THE SOIL FROM VIEW.

SEDIMENT CONTROL MEASURES SHALL BE PROVIDED AROUND ALL EXISTING AND PROPOSED DRAINAGE STRUCTURES AS DETAILED ON THE DRAWINGS OR AS REQUIRED TO PREVENT SEDIMENTATION.

HAYBALE CHECK DAMS ARE TO BE PROVIDED ON TWO HUNDRED (200) FOOT SPACING WITHIN ALL DRAINAGE SWALES AND DITCHES AND AT UPSTREAM SIDES OF ALL DRAINAGE INLETS.

HAYBALES, SILT FENCE OR OTHER SILTATION CONTROLS SHALL BE MAINTAINED IN A SATISFACTORY CONDITION UNTIL CONSTRUCTION IS COMPLETED AND THE POTENTIAL FOR ON-SITE EROSION HAS PASSED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL SILTATION CONTROLS. THE CONTRACTOR SHALL NOT REMOVE ANY SILTATION CONTROLS UNTIL AUTHORIZED (IN WRITING) BY THE OWNER OR HIS REPRESENTATIVE.

THE CONTRACTOR SHALL HAVE, AT THE START OF SOIL DISTURBANCE AN ADEQUATE RESERVE OF SILT FENCE AND HAY BALES IN GOOD CONDITION, AND SUFFICIENT STAKES FOR STAKING THESE BALES.

DENUDED SLOPES SHALL NOT BE LEFT EXPOSED FOR EXCESSIVE PERIODS OF TIME SUCH AS THE INACTIVE WINTER SEASONS.

LOAMING AND SEEDING OR MULCHING OF NON-PAVEMENT AREAS SHALL TAKE PLACE AS SOON AS PRACTICABLE.

ALL STOCKPILE AREAS SHALL BE LOCATED WITHIN LIMIT OF WORK AND STABILIZED TO PREVENT EROSION. STABILIZED CONSTRUCTION ACCESS PADS SHALL BE INSTALLED AT ALL CONSTRUCTION DRIVEWAYS ONTO THE PUBLIC WAYS TO PREVENT THE TRACKING OF SEDIMENT OFF-SITE.

ANY SEDIMENTATION OR EROSION DAMAGE CAUSED AS A RESULT OF THIS PROJECT TO ANY WETLAND RESOURCE AREAS OR IDENTIFIED WETLAND BUFFER ZONES BEYOND THE LIMIT OF WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR AND RESTORE AT NO COST TO THE OWNER. IF SEDIMENT REACHES THESE AREAS, THE OWNER SHALL BE CONTACTED IMMEDIATELY BY THE CONTRACTOR. A PLAN FOR ABATEMENT OF THE PROBLEM AND RESTORATION SHALL BE PREPARED BY THE CONTRACTOR AS SOON AS POSSIBLE.

EROSION CONTROL BARRIER SHALL BE INSTALLED AS INDICATED ON THE PLANS AND AS REQUESTED BY THE OWNER OR HIS REPRESENTATIVE TO ADDRESS FIELD CONDITIONS.

ALL POINTS OF CONSTRUCTION EGRESS AND INGRESS SHALL BE MAINTAINED TO PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADS.

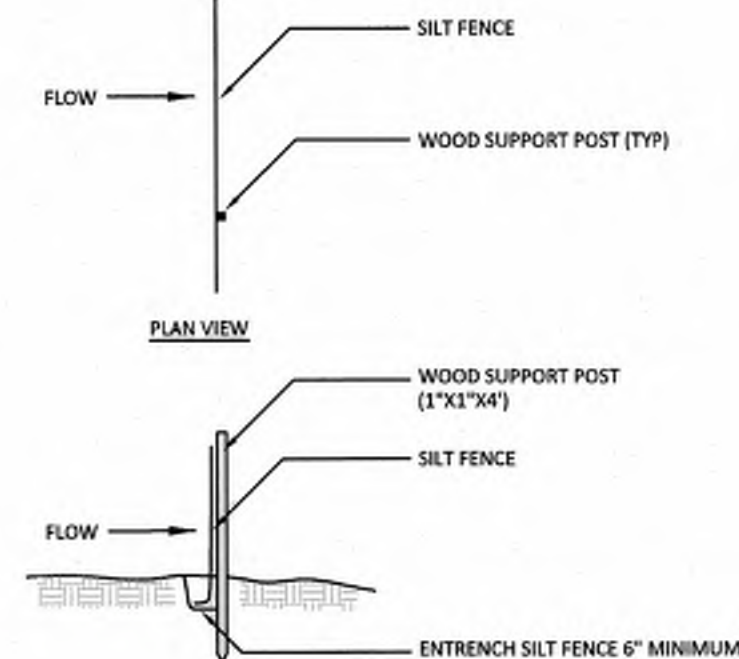
DEWATERING ACTIVITIES SHALL BE CONDUCTED SUCH THAT ANY WATER PUMPED FROM EXCAVATIONS WILL BE CONVEYED BY HOSE TO AN UPLAND AREA (MINIMUM 125 FEET FROM ANY WETLAND RESOURCE AREA) AND DISCHARGED INTO HAY BALES CORALS OR SEDIMENTATION BAGS.

ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE ORDER OF CONDITIONS DEP FILE #1(TBD) ISSUED FOR THE PROJECT. EROSION CONTROL BARRIER SHALL BE INSTALLED ALONG EDGE OF PROPOSED DEVELOPMENT AS SHOWN ON THE PLAN PRIOR TO THE COMMENCEMENT OF CONSTRUCTION OPERATIONS.

SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED ON A DAILY BASIS AND AFTER EACH STORM EVENT OF 0.5 INCH OR GREATER DURING CONSTRUCTION TO INSURE THAT CHANNELS, DITCHES AND PIPES ARE CLEAR OF DEBRIS AND THAT THE EROSION BARRIERS ARE INTACT.

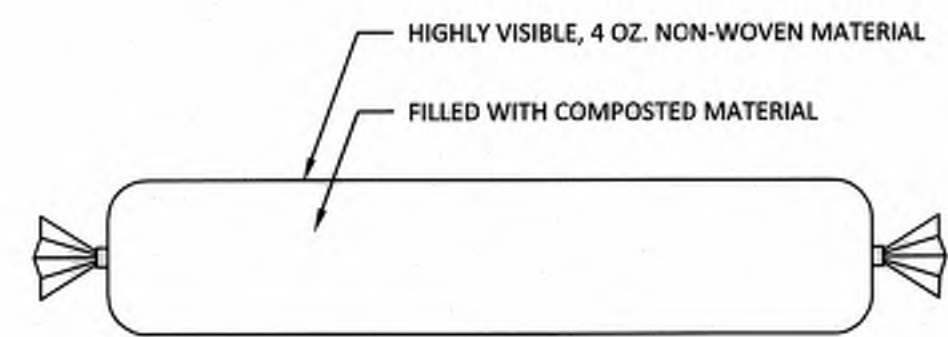
SANITARY WASTES GENERATED DURING CONSTRUCTION WILL BE DISPOSED OFFSITE BY AN APPROVED LICENSED WASTE HAULER.

CONSTRUCTION SITE WASTE MATERIALS WILL BE PROPERLY STORED ON SITE AND DISPOSED OFFSITE AT A LOCATION IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.



NOTE: WOOD SUPPORT POST TO BE DRIVEN 18" MIN. INTO GRADE. MAX. SPACING BETWEEN SUPPORT POSTS TO BE 6'.

SILT FENCE BARRIER (SFB)
NOT TO SCALE



SEE PLAN

PLAN VIEW

WOODEN STAKE

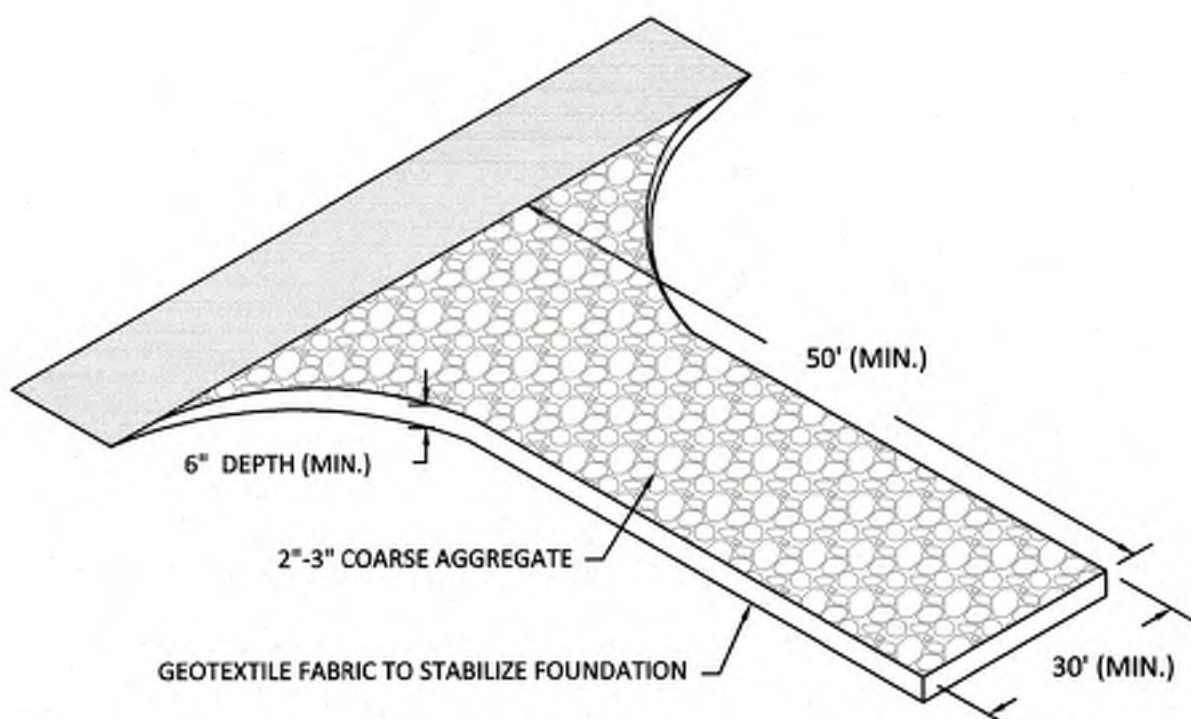
SEE SPECS FOR EMBEDMENT REQUIREMENTS

12"

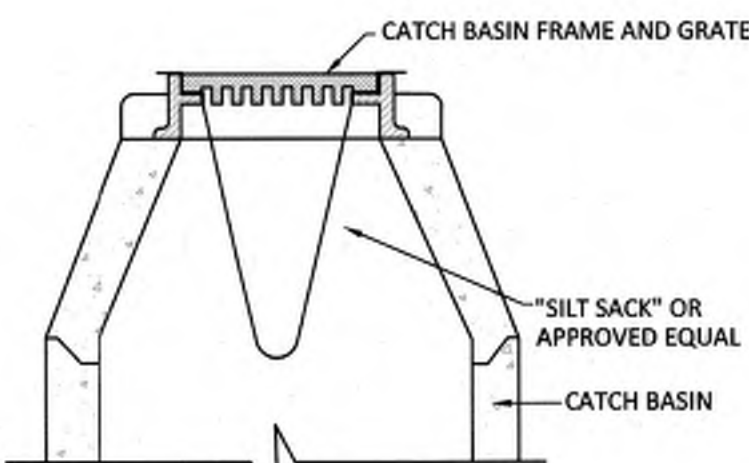
CROSS SECTION VIEW

NOTE:
THE FILTER SOCK SHALL BE STAKED ON ENDS AND THROUGH THE CENTER AT 10 FT INTERVALS. PROVIDE UPSLOPE RETURNS AT ENDS.

COMPOST FILTER SOCK - SEDIMENT CONTROL
(NOT TO SCALE)

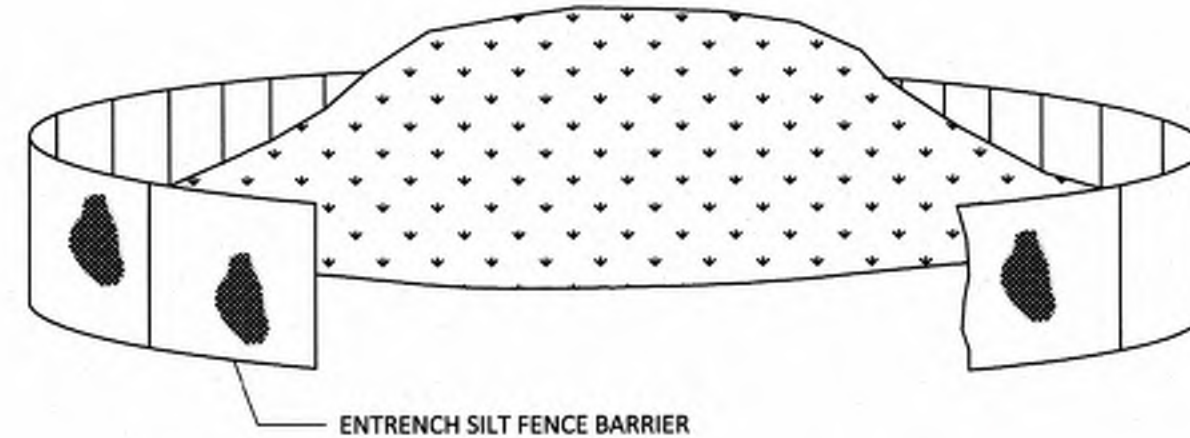


CONSTRUCTION ENTRANCE/EXIT PAD
(NOT TO SCALE)



NOTES:
1. TO BE INSTALLED IN ALL CATCH BASINS UNTIL COMPLETION OF CONSTRUCTION.
2. BOOT ADAPTER MAY BE TRIMMED TO SIZE.

FILTER BAG
(NOT TO SCALE)



NOTES:
LOCATE STOCKPILE IN A DRY AND STABLE AREA OUTSIDE OF 100' WETLAND BUFFER ZONE.
STABILIZE STOCKPILE WITH ANNUAL RYEGRASS, MULCH OR EROSION CONTROL BLANKETS.

SOIL STOCKPILE
(NOT TO SCALE)

REVISIONS

NO.	DATE	DESCRIPTION
1	6/8/17	WETLAND FLAGS
2	7/16/17	LAYOUT CHANGE / TOWN COMMENTS
3	7/17/17	RESPONSE TO COMMENTS
4	8/2/17	RESPONSE TO FINAL COMMENTS
5	9/1/17	FINAL CONDITIONS



SOIL EROSION AND SEDIMENTATION CONTROL PLAN & DETAILS

O'BRIEN & SONS CORPORATE OFFICES

17 TROTTER DRIVE

MEDWAY, MASSACHUSETTS 02053

Prepared for:

BOTTLE CAP LOT, LLC

93 West Street

Medfield, Massachusetts 02052



500 CUMMINGS CENTER, SUITE 500
WESTROB, MASSACHUSETTS 02090
TELEPHONE: (608) 871-7030

Date:
MAY 23, 2017
(See Revisions)

Scale:

1"=20'

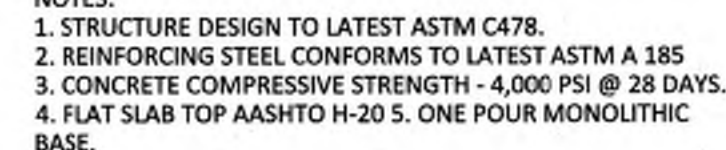
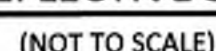
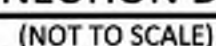
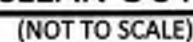
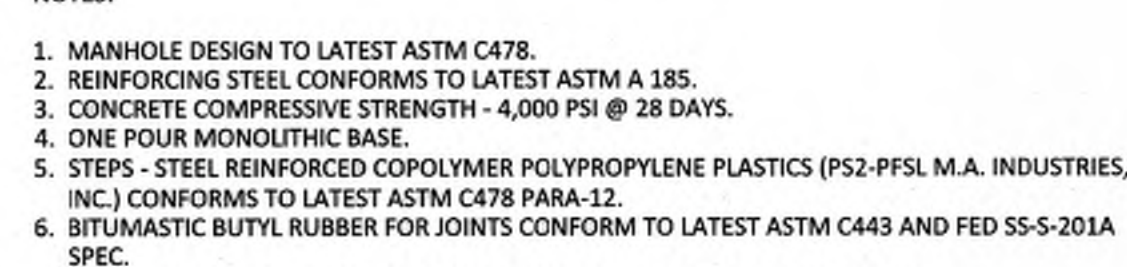
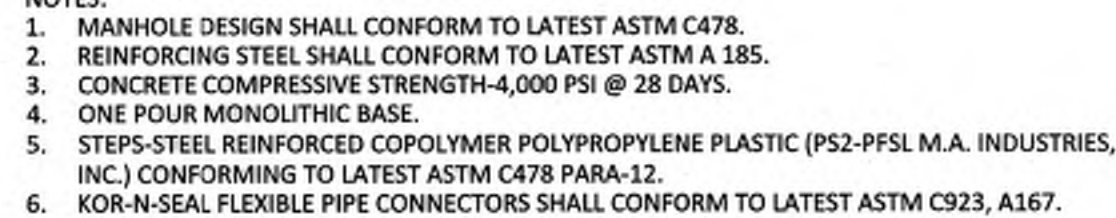
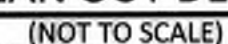
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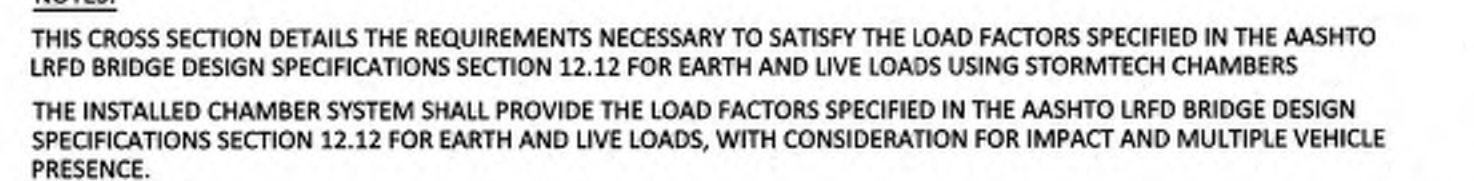
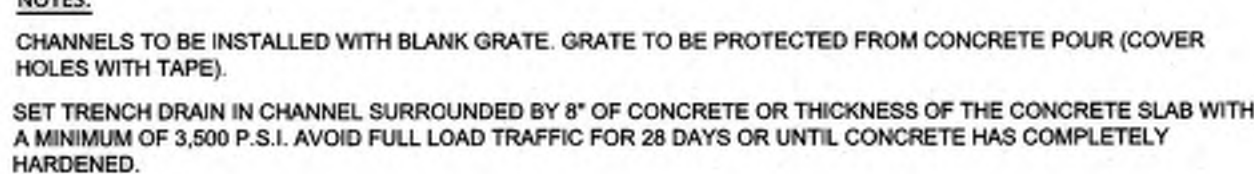
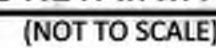
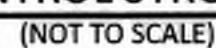
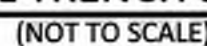
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MSZ 09/01/17
FOR MERIDIAN ASSOCIATES, INC. DATE



(NOT TO SCALE)



WKS 09/01/17
FOR MERIDIAN ASSOCIATES, INC. DATE

A cross-sectional diagram of a sidewalk curb and detectable warning panel. The diagram shows a central rectangular area with a stippled pattern, labeled "DETECTABLE WARNING PANEL". This panel is flanked by sloped areas labeled "CEMENT CONCRETE WALKWAY (WIDTH PER PLAN)". The top surface of the walkway is labeled "1% MIN. 2% MAX." with a downward arrow. The vertical face of the curb is labeled "12:1 MAX." with a downward arrow. The top edge of the curb is labeled "FLUSH CURB 1/2\" IP MAX." with a downward arrow. The bottom of the curb is labeled "12:1 MAX." with a downward arrow. The base of the curb is labeled "48\" MIN." with a horizontal arrow. The base of the walkway is labeled "48\" MIN." with a horizontal arrow. The base of the detectable warning panel is labeled "48\" MIN." with a horizontal arrow. The bottom of the curb is labeled "TRANSITION CURB SLOPE CONCRETE TO MATCH" with a downward arrow.

[illegible]

Diagram illustrating the cross-section of a curb and gutter installation. The diagram shows the following components and dimensions:

- PRECAST CONCRETE CURB**: The main vertical structure.
- 3/4" CHAMFER**: The top edge of the curb.
- CEMENT CONCRETE**: The material placed against the curb, meeting the requirements of Section M4 of the MHD Standard Specifications.
- COMPACTED AGGREGATE BASE**: The layer below the cement concrete.
- COMPACTED SUBGRADE**: The base layer below the aggregate.
- PROF. FULL DEPTH ROADWAY PAVEMENT, REFER TO TYPICAL SECTION**: The pavement layer on the right side of the curb.

Dimensions shown in the diagram:

- Curb width: 6"
- Curb height: 18"
- Aggregate base thickness: 6"
- Curb base width: 7"
- Distance from curb face to centerline: 6"

A cross-sectional diagram of a curb and gutter assembly. The diagram shows a vertical curb on the left, a gutter channel in the center, and a sloped area on the right. The curb is labeled 'FINISHED GRADE MATERIAL AS SPECIFIED' and 'GRANITE CURB (MHD TYPE VB4) WITH 6" REVEAL'. The gutter channel is labeled 'BITUMINOUS CONCRETE PAVEMENT'. The sloped area is labeled 'CEMENT CONCRETE SET FLUSH WITH BASE COURSE OF ASPHALT'. Below the gutter channel, the layers are labeled 'COMPACTED AGGREGATE BASE' and 'COMPACTED SUBGRADE'. Dimensions are indicated: a vertical dimension of 18" for the curb height, a vertical dimension of 6" for the gutter depth, and three horizontal dimensions of 6" each for the curb width, gutter width, and sloped area width.

18"

6"

6" 6" 6"

FINISHED GRADE MATERIAL AS SPECIFIED

GRANITE CURB (MHD TYPE VB4) WITH 6" REVEAL

BITUMINOUS CONCRETE PAVEMENT

CEMENT CONCRETE SET FLUSH WITH BASE COURSE OF ASPHALT

COMPACTED AGGREGATE BASE

COMPACTED SUBGRADE

The diagram illustrates the specifications for a handicap parking sign and its corresponding pavement marking. On the left, a vertical signpost is shown with a rectangular sign and a smaller rectangular plate below it. The sign features a wheelchair symbol and text. The plate also contains text. To the right of the sign, dimensions for the sign itself are given. Below the sign, a dimension for the plate is provided. On the far left, a vertical dimension indicates the height of the signpost. To the right of the signpost, a dimension for the plate is given. On the right side of the diagram, a large wheelchair symbol is shown with various dimensions. Below this symbol, a dimension for the pavement marking is provided. At the bottom right, a note states that all handicap parking and signage shall be in conformance with the rules and regulations of the Architectural Access Board, and that sign(s) shall be located so they cannot be obscured by a vehicle parked in the space.

HANDICAP PARKING

SPECIAL PLATE REQUIRED UNAUTHORIZED VEHICLES MAY BE REMOVED AT THE OWNER'S EXPENSE

VAN ACCESSIBLE

12"x18" ALUMINUM SIGN, BLUE BACKGROUND WITH WHITE LETTERING

6"x12" ALUMINUM SIGN WHERE APPLICABLE

8" MAXIMUM 5" MINIMUM

27"

5"

6"

2"

6"

18"

9"

5"

26"

PAVEMENT MARKING

NOTE:
ALL HANDICAP PARKING AND SIGNAGE SHALL BE IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE ARCHITECTURAL ACCESS BOARD. SIGN(S) SHALL BE LOCATED SO THEY CANNOT BE OBSCURED BY A VEHICLE PARKED IN THE SPACE.

Diagram illustrating the construction of a pre-molded expansion joint with a strip-off cap to form a sealant joint. The diagram shows a cross-section of the joint assembly, including the concrete slab, the expansion joint, and the sealant joint.

- 1/2" WIDE TOOLED OR SAWCUT SCORE, 1/3 TO 1/4 OF SLAB THICKNESS
- JOINT SEALANT TO MINIMUM 1/2" DEPTH
- EDGE TOOL SURFACE
- WELDED WIRE FABRIC
- #4 SMOOTH STEEL DOWEL 2' ON-CENTER (TYP)
- 12" EXPANSION SLEEVE WITH WAXED TUBE TO PREVENT BONDING
- PRE-MOLDED EXPANSION JOINT WITH STRIP-OFF CAP TO FORM SEALANT JOINT. REMOVE AFTER POUR.

A cross-sectional diagram of a pavement structure. It shows four distinct layers. The top layer is a thin, dark line representing the surface. Below it is a slightly thicker, dark layer. The third layer is a much thicker layer filled with small circles representing aggregate. The bottom layer is a hatched area representing the subgrade. Labels with leader lines point to each layer from the right side.

- 1-1/2" ASPHALT SURFACE COURSE
- 2" ASPHALT BINDER COURSE
- 12" AGGREGATE BASE
- COMPACTED SUBGRADE

A cross-sectional diagram of a pavement structure. It consists of four distinct layers stacked vertically. The top layer is a thin, dark grey band. The second layer is a slightly thicker, dark grey band. The third layer is a thick, light grey band with a coarse, pebbly texture. The bottom layer is a thick, light grey band with a fine, grid-like texture. Arrows point from text labels on the right to each of these four layers.

- 1 1/2" ASPHALT SURFACE COURSE
- 2" ASPHALT BINDER COURSE
- 9" AGGREGATE BASE
- PREPARED SUBGRADE

2 CU. TO FIXTURE

WATERPROOF FUSE HOLDERS

STUB CONDUITS UP 6" ABOVE BASE, AND INSTALL INSULATED GROUNDING BUSHING. COORD. W/POLE MANUFACTURER

6"

24" MIN.

72" MIN.

24" Ø

INSTALL ENGRAVED PLASTIC LAMINATE NAMEPLATE WITH 1/2" HIGH LETTERS, WITH PANEL DESIGNATION AND CIRCUIT NUMBER

HANDHOLE W/TAMPERPROOF SCREWS PRESSURE TYPE GROUND LUG

#10 CU. GROUND WIRE

BASE

1" CHAMFER (TYP.)

FINISHED GRADE

SCH. 40 PVC CONDUITS (TYPICAL FOR 2)

ANCHOR BOLTS-4 FURNISHED WITH BOLT TEMPLATE BY POLE MANUFACTURER.

SCHEDULE 40 PVC CONDUIT 1 1/2" MINIMUM

PVC ADAPTER

HORIZONTAL #4 AT 12" OC (TYPICAL)

VERTICAL REINFORCING RODS 8-#5 (TYPICAL)

NOTE:
1. COORDINATE BOLT PATTERNS FOR MOUNTING OF IDENTIFIED POLE.
2. REFER TO ELECTRICAL ENGINEERING DETAILS FOR CONDUIT.

Diagram illustrating the cross-section of a wood post-and-rail fence assembly, showing the connection between a 6"x8" pressure-treated wood post and a 4"x8" pressure-treated wood rail.

Key components and dimensions shown:

- Four bolts at splice:** Indicated by arrows pointing to the bolts securing the post and rail.
- Two 5/8" x 14" galvanized bolts:** Indicated by arrows pointing to the bolts securing the post.
- Posts 8' O.C.:** On-center spacing between the posts.
- 12" Rail Height:** Dimension indicating the height of the rail above the post.
- 6"x8" Pressure Treated Wood Post:** The vertical support post.
- 4"x8" Pressure Treated Wood Rail:** The horizontal rail.
- Finished Grade:** The ground level, indicated by a dashed line.
- Dimensions:**
 - Post height: 30"
 - Post diameter: 6"
 - Post section above rail: 18"
 - Post section below rail: 18"

REVISIONS			
	5	9/1/17	FINAL CONDITIONS
	4	8/2/17	RESPONSE TO FINAL COMMENTS
	3	7/17/17	RESPONSE TO COMMENTS
	2	7/6/17	LAYOUT CHANGE / TOWN COMMENTS
	1	6/8/17	WETLAND FLAGS
NO.	DATE	DESCRIPTION	
		BY	CHKD.



DETAILS SHEET 3

O'BRIEN & SONS CORPORATE OFFICES
17 TROTTER DRIVE
MEDWAY, MASSACHUSETTS 02053

Prepared for:

BOTTLE CAP LOT, LLC
93 West Street
Medfield, Massachusetts 02052



69 MILK STREET, SUITE 302
WESTBOROUGH, MASSACHUSETTS 01580
TELEPHONE: (508) 871-7030

500 CUMMINGS CENTER, SUITE 5950
BEVERLY, MASSACHUSETTS 01915
TELEPHONE: (978) 299-0447

Date:
MAY 23, 2017
(See Revisions)

Scale:

 $1'' = 20'$

Project No.

8477

Sheet No.

C-7

Plotted: 9/27/2017 2:05 PM
C:\18477 MEDWAY.DWG(8477 DET.DWG)

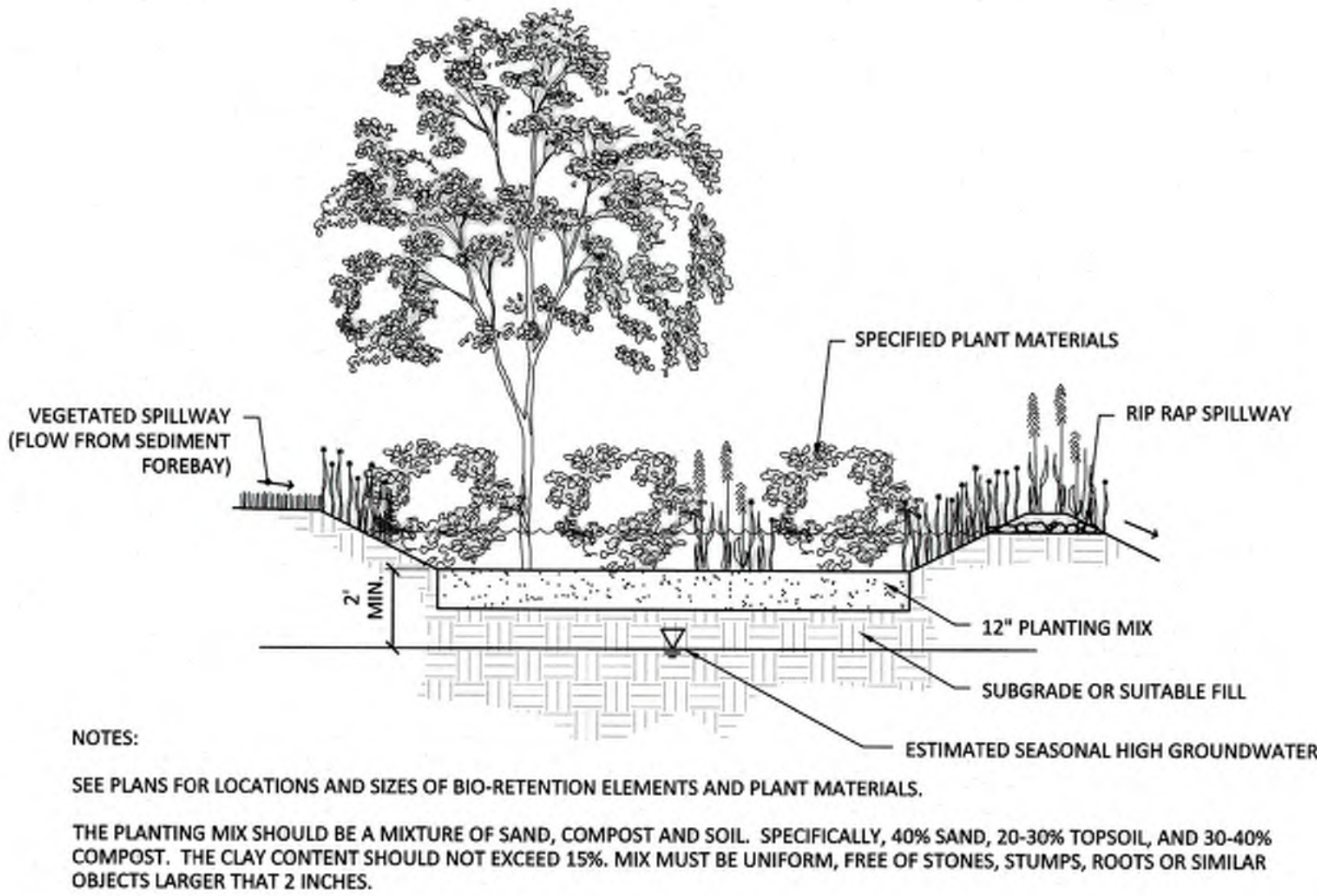
REGISTRY USE ONLY
I DECLARE, TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.
FOR MERIDIAN ASSOCIATES, INC. DATE

DU MOR, INC.
15 INDUSTRIAL CIRCLE, P.O. BOX 142
MIFFLINTOWN, PA 17059-0142
TOLL FREE: 1-800-598-4018
PHONE: (717) 436-2106
FAX: (717) 436-9839
www.dumor.com

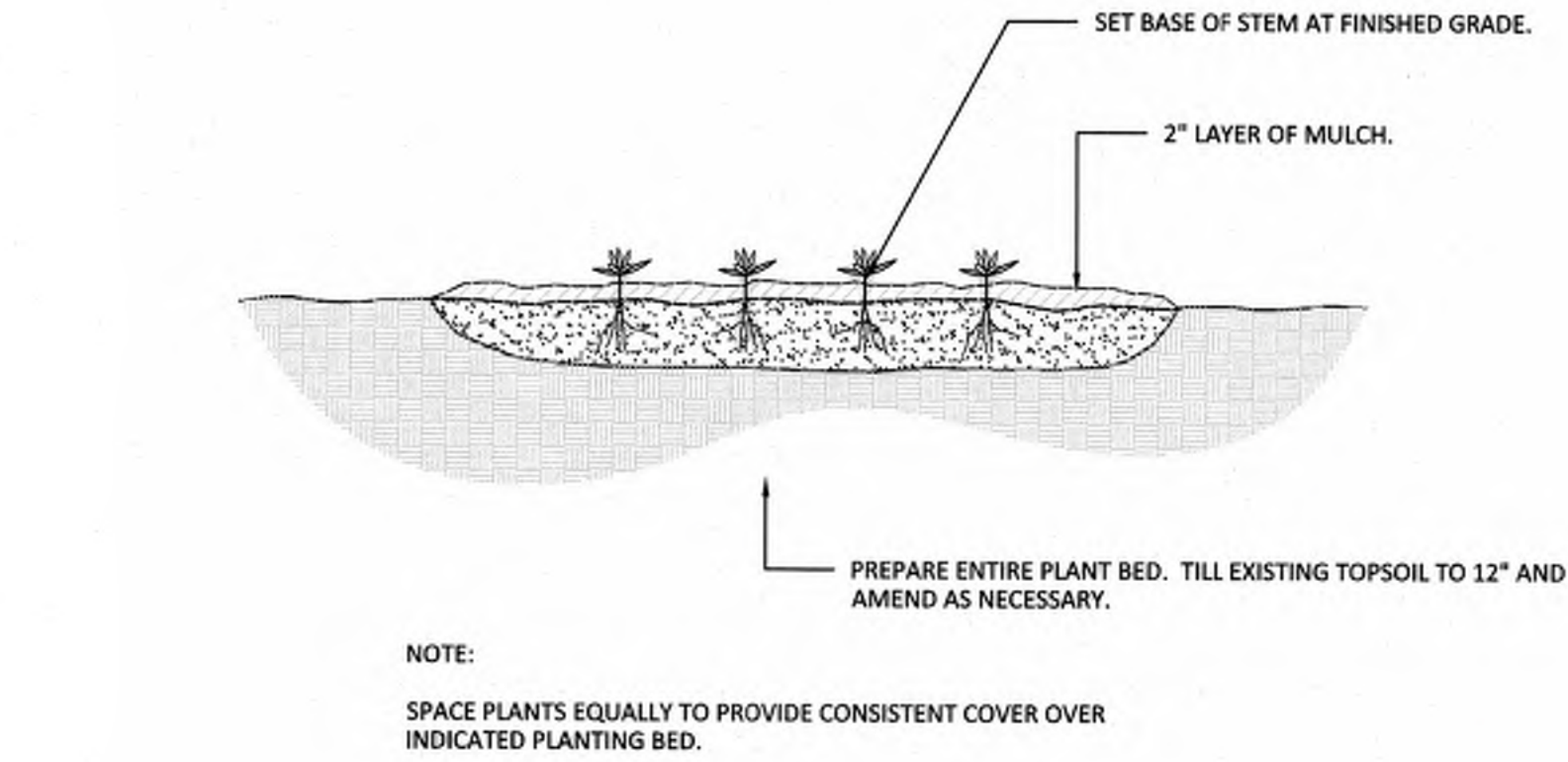
MODEL NO.	OPENINGS	DIM "A"
188-05	5	41 1/4" LG.
188-07	7	57 1/4" LG.
188-09	9	73 1/4" LG.
188-11	11	89 1/4" LG.
188-13	13	105 1/4" LG.
188-15	15	121 1/4" LG.

NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
2. DO NOT SCALE DRAWINGS.
3. ALL STL. MEMBERS COATED W/ ZINC RICH EPOXY THEN FINISHED W/ POLYESTER POWDER COATING
4. 1/2" X 3/4" EXPANSION ANCHOR BOLTS PROVIDED
5. CONTRACTOR'S NOTE: FOR PRODUCT AND PURCHASING INFORMATION VISIT www.CADdetails.com/info
REFERENCE NUMBER 017-465.

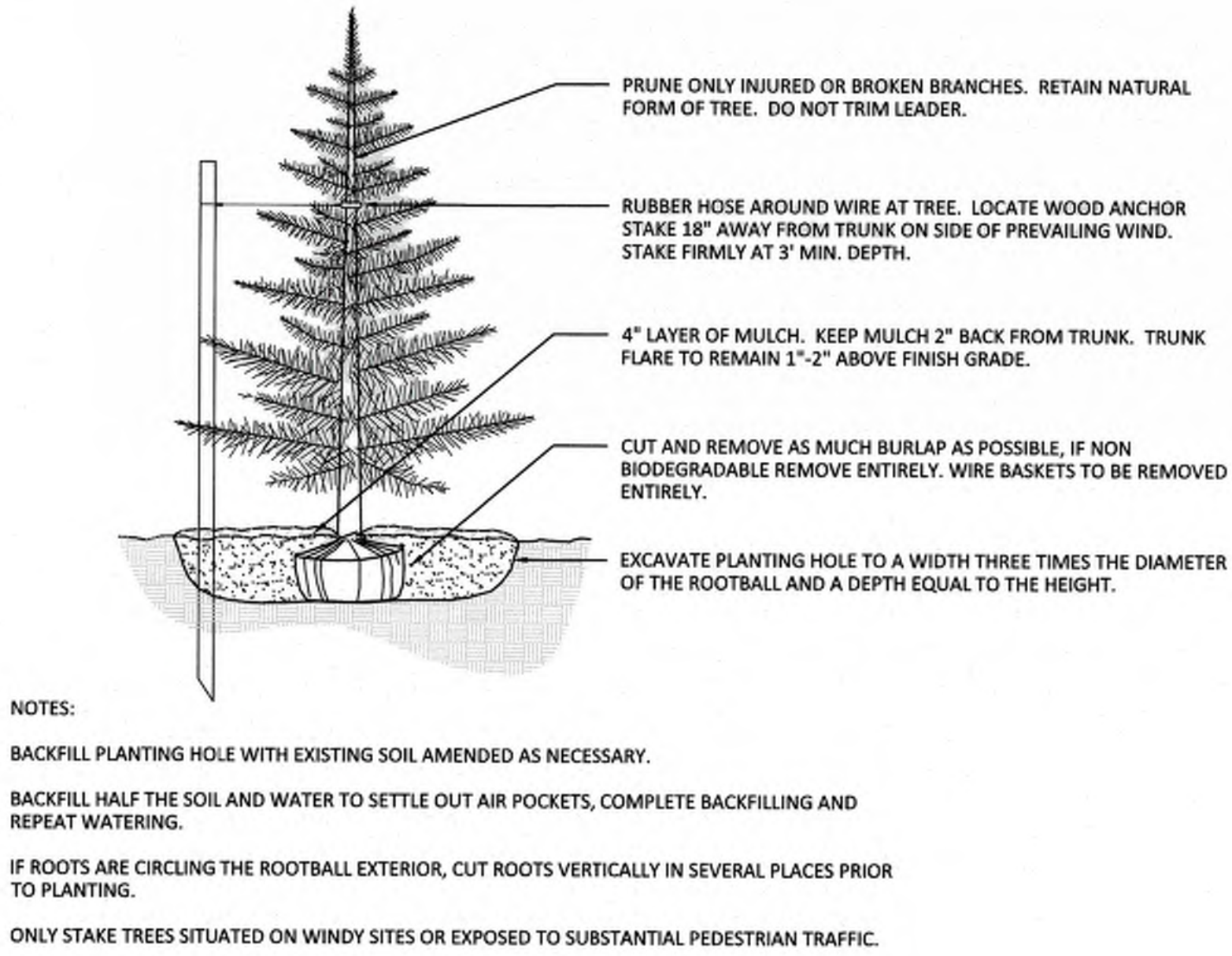
BIKE RACK DETAIL
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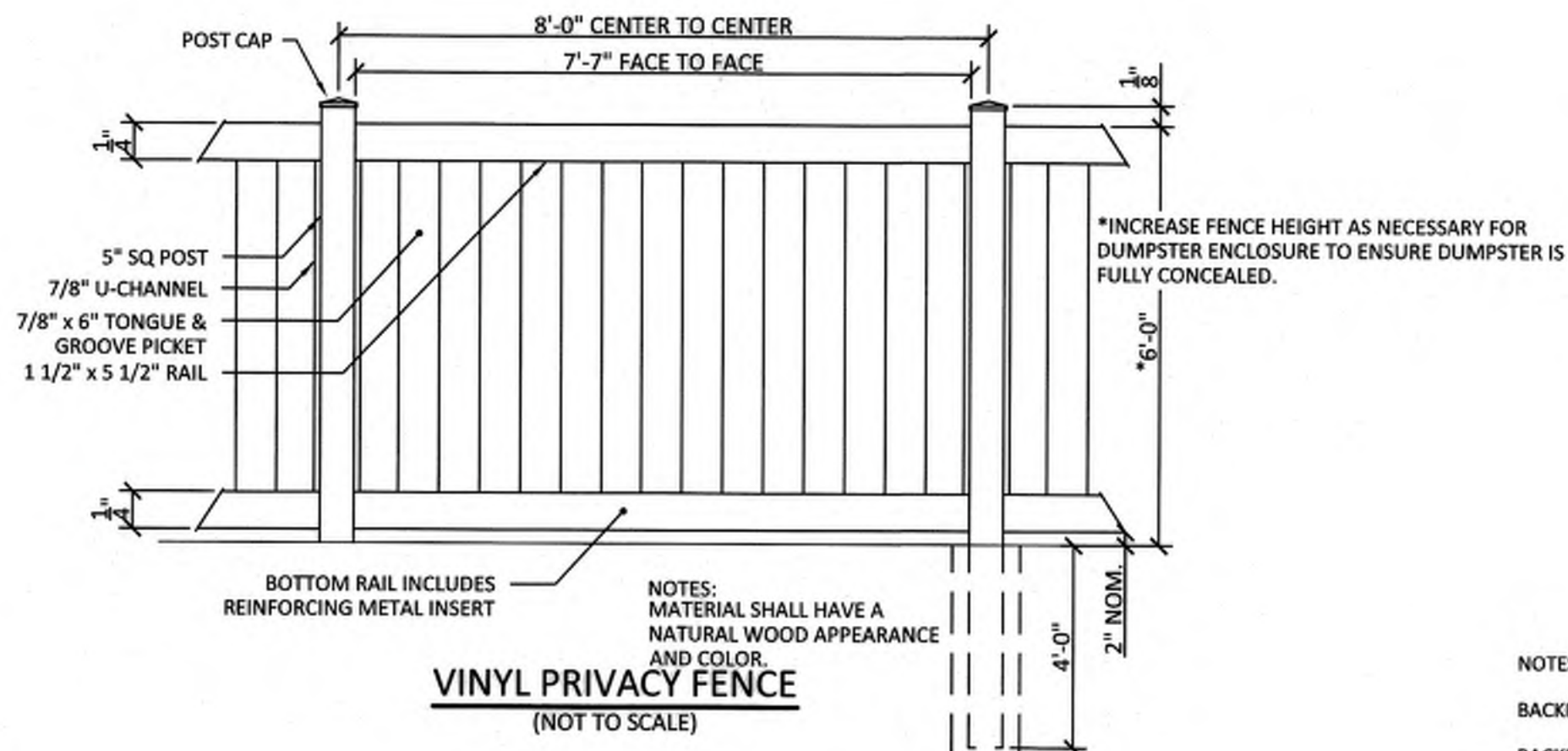
SCHEMATIC OF BIO-RETENTION BASIN
(NOT TO SCALE)



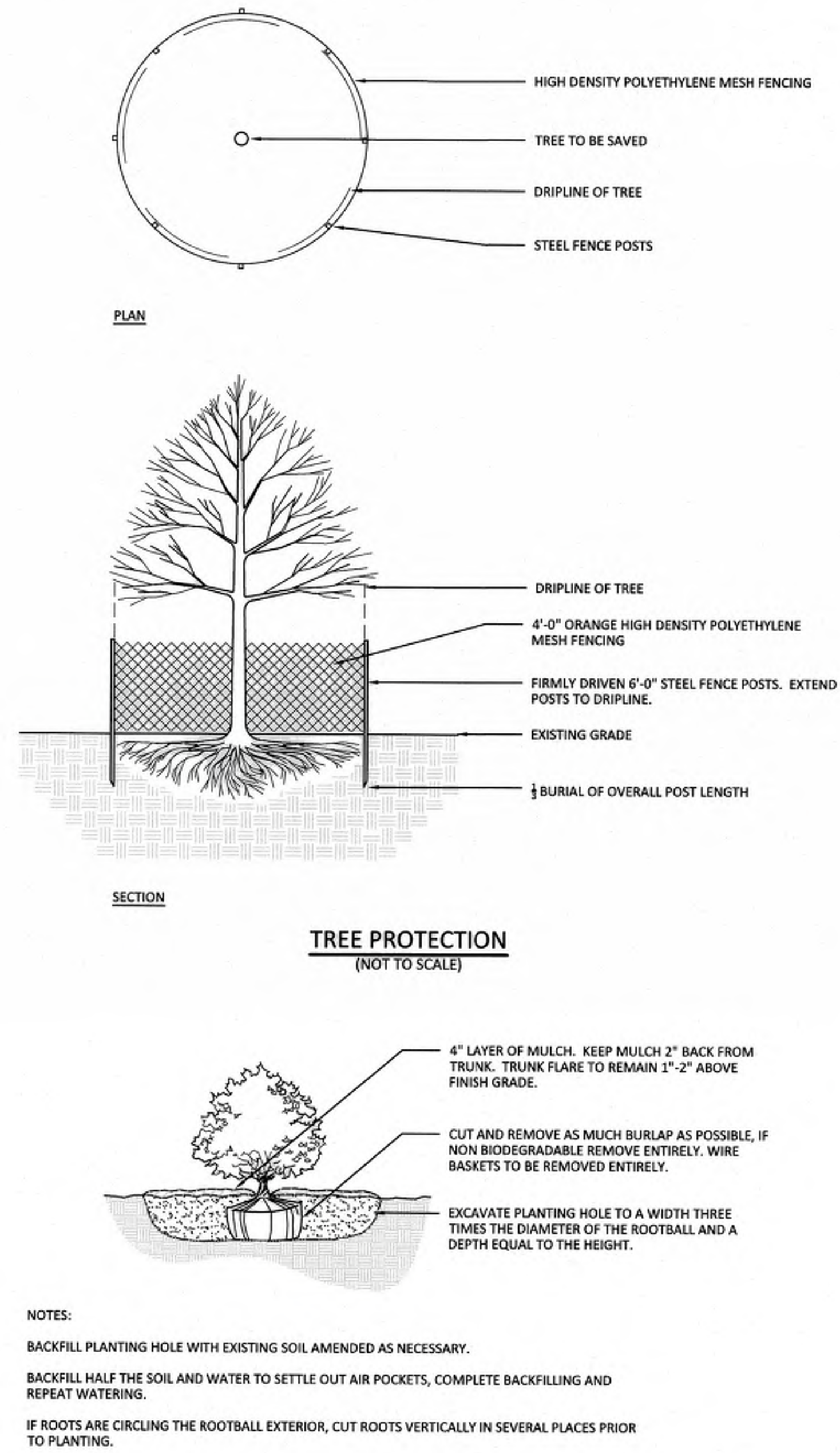
GROUNDCOVER PLANTING
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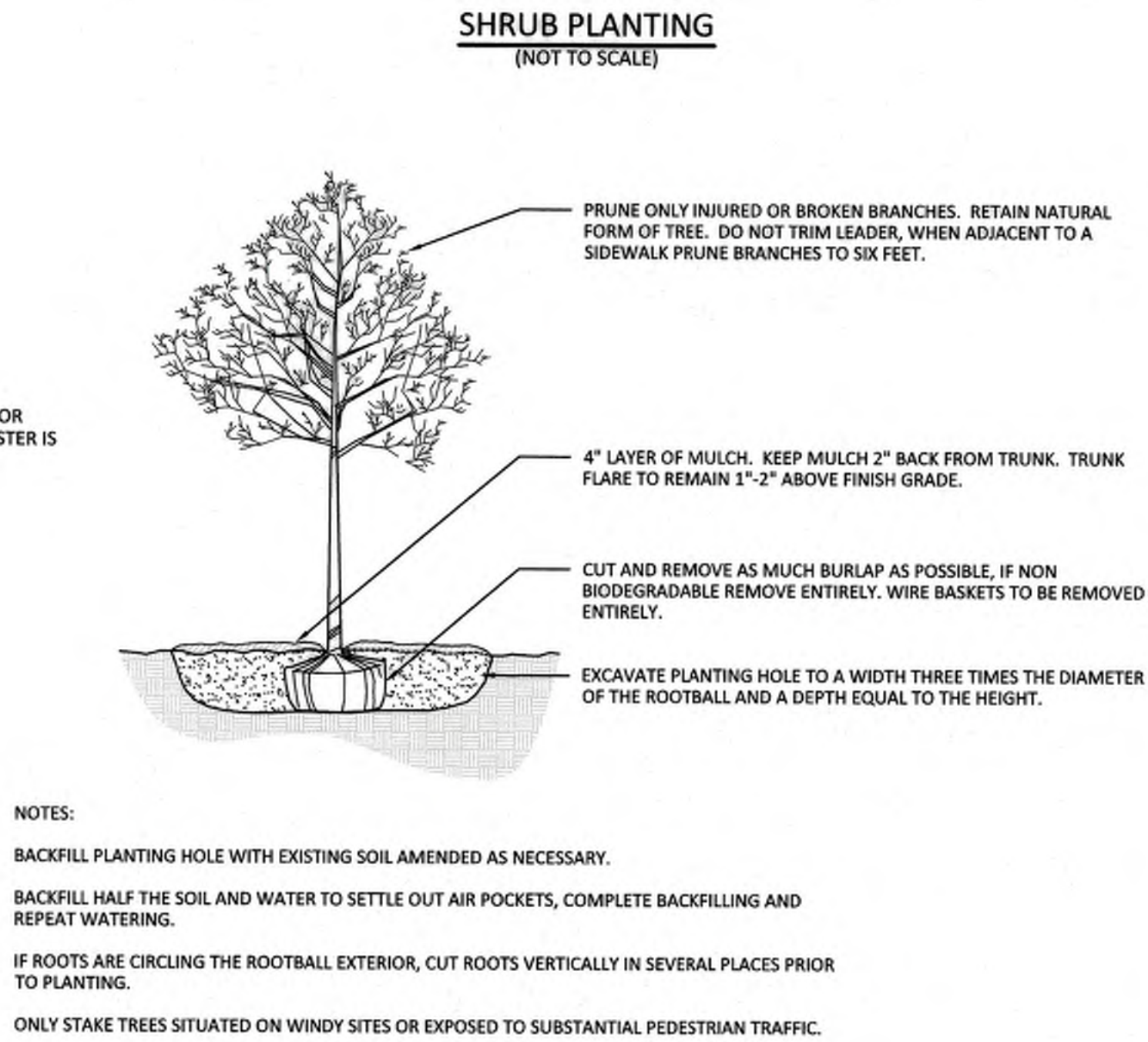
EVERGREEN TREE PLANTING
(NOT TO SCALE)



VINYL PRIVACY FENCE
(NOT TO SCALE)



TREE PROTECTION
(NOT TO SCALE)



SHRUB PLANTING
(NOT TO SCALE)

TREE PLANTING
(NOT TO SCALE)

REVISIONS		NO.		DATE		DESCRIPTION	
DG	MEB	5	9/1/17			FINAL CONDITIONS	
DG	MEB	4	8/2/17			RESPONSE TO FINAL COMMENTS	
DG	MEB	3	7/17/17			RESPONSE TO COMMENTS	
RB	MEB	2	7/16/17			LAYOUT CHANGE / TOWN COMMENTS	
RB	MEB	1	6/8/17			WETLAND FLAGS	

DETAILS SHEET 4
O'BRIEN & SONS CORPORATE OFFICES
17 TROTTER DRIVE
MEDWAY, MASSACHUSETTS 02053
Prepared for:
BOTTLE CAP LOT, LLC
93 West Street
Medfield, Massachusetts 02052

MERIDIAN ASSOCIATES
60 MILK STREET, SUITE 302
WESTBOROUGH, MASSACHUSETTS 01580
TELEPHONE: (508) 871-7000
500 CLIMAX CENTER, SUITE 990
BEVERLY, MASSACHUSETTS 01915
TELEPHONE: (978) 299-0447

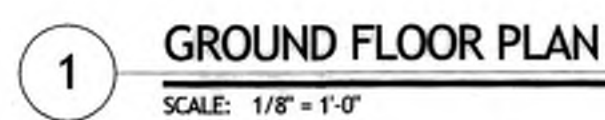
Date:
MAY 23, 2017
(See Revisions)
Scale:
1"=20'
Project No.
8477
Sheet No.
C-8




WFB 09/01/17
FOR MERIDIAN ASSOCIATES, INC. DATE

- 1.) ALL NEW WALL PARTITIONS ARE TYPE 2 UNLESS OTHERWISE NOTED.
- 2.) REFER TO A10.1 SHEETS FOR WALL FINISHES.
- 3.) INSTALL WOOD BLOCKING IN NEW WALLS AS REQUIRED FOR WALL MOUNTING EQUIPMENT AND MILLWORK.

Gorman Richardson Lewis Architects
239 South Street Hopkinton, MA 01748
T - 508.544.2600 F - 508.435.0072
www.grlarchitects.com

A1.0



	NEW DOOR
	NEW WALL
	NEW/RELOCATED FIRE EXTINGUISHER/F.E. CABINET
	LIMIT OF FLOOR FINISH
N.I.C.	NOT IN CONTRACT

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Date:	SEPTEMBER, 2017
Proj. No.:	2016068.01
Scale:	1/8" = 1'-0"
Drawn By:	JCB
Checked By:	SR

PROPOSED FIRST FLOOR PLAN

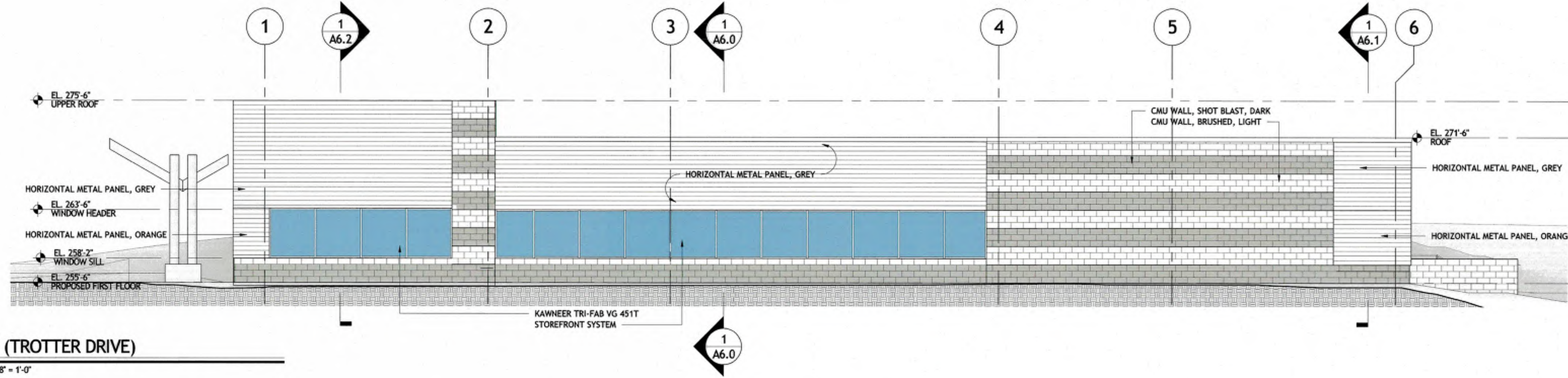
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9/5/2017 1:18:17 PM C:\Revit Local\6068 - O'BRIEN & SONS_Jblattenberger@griarchitects.com.rvt

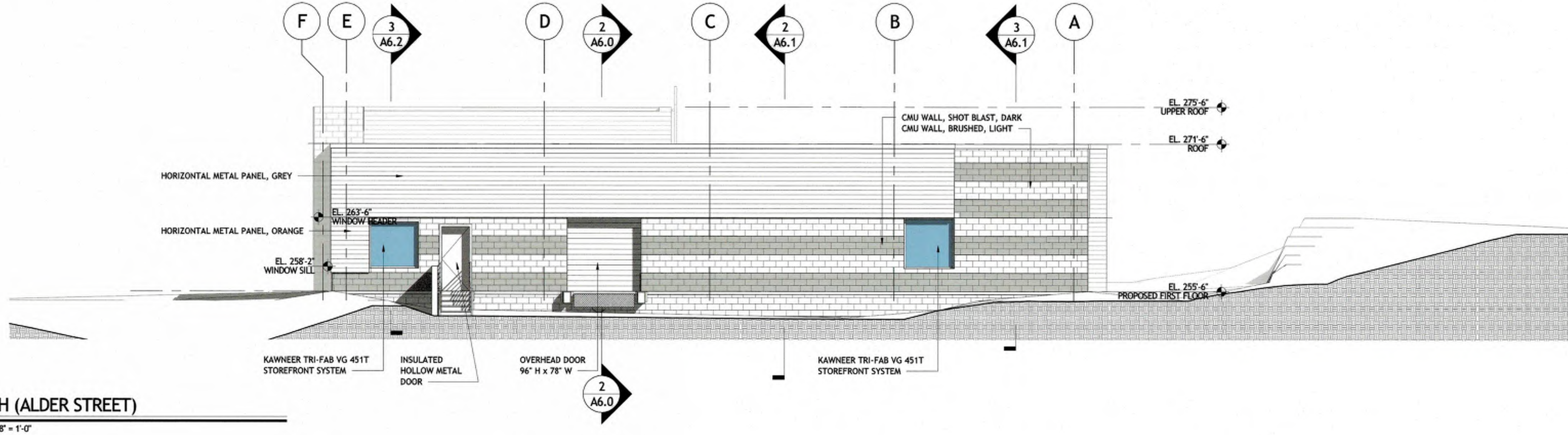
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FOR MERIDIAN ASSOCIATES, INC. DATE 09/01/17

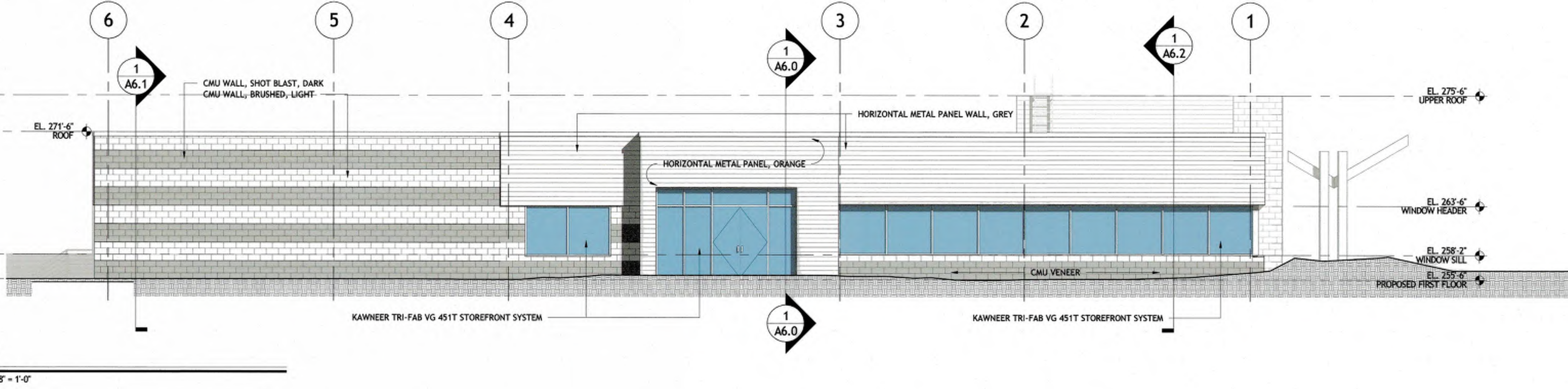
4 WEST (TROTTER DRIVE)
SCALE: 1/8" = 1'-0"



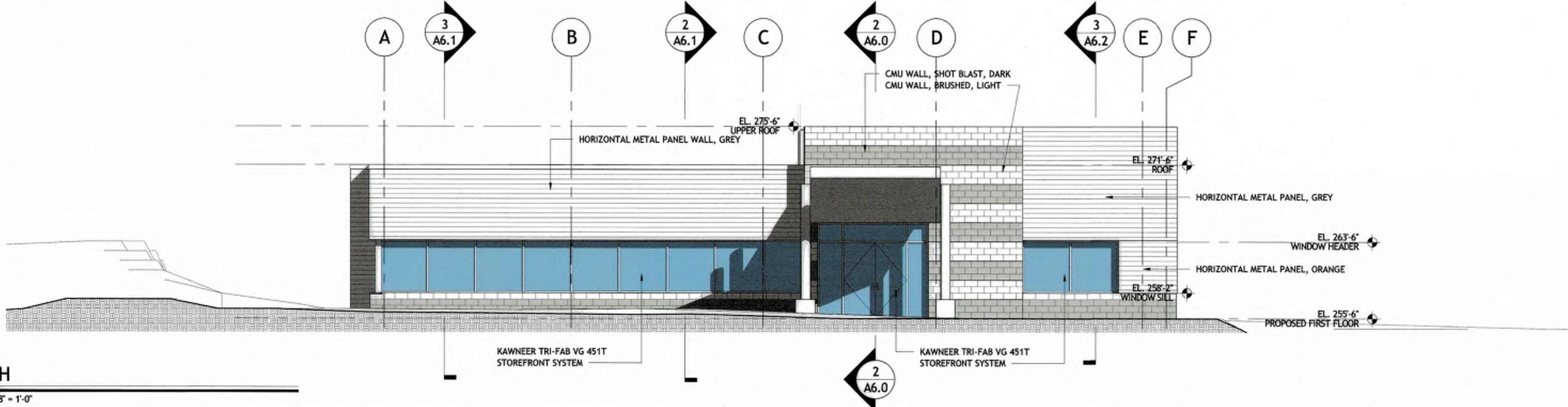
3 SOUTH (ALDER STREET)
SCALE: 1/8" = 1'-0"



2 EAST
SCALE: 1/8" = 1'-0"



1 NORTH
SCALE: 1/8" = 1'-0"



O'BRIEN & SONS
CORPORATE
OFFICE
LOT 1, TROTTER DRIVE,
MEDWAY, MA 02053

O'BRIEN & SONS

93 WEST STREET
MEDFIELD, MA 02052

G|R|L|A

Gorman Richardson Lewis Architects
239 South Street Hopkinton, MA 01748
T - 508.544.2600 F - 508.435.0072
www.griarchitects.com

PROJECT

CLIENT

FRM

KEY PLAN

REVISIONS

REVISIONS

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SEAL / ORIENTATION

DATA

SHEET

No.	Description	Date

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Date: SEPTEMBER, 2017
Proj. No.: 2016068.01
Scale: 1/8" = 1'-0"
Drawn By: JCB
Checked By: SR

EXTERIOR
ELEVATIONS

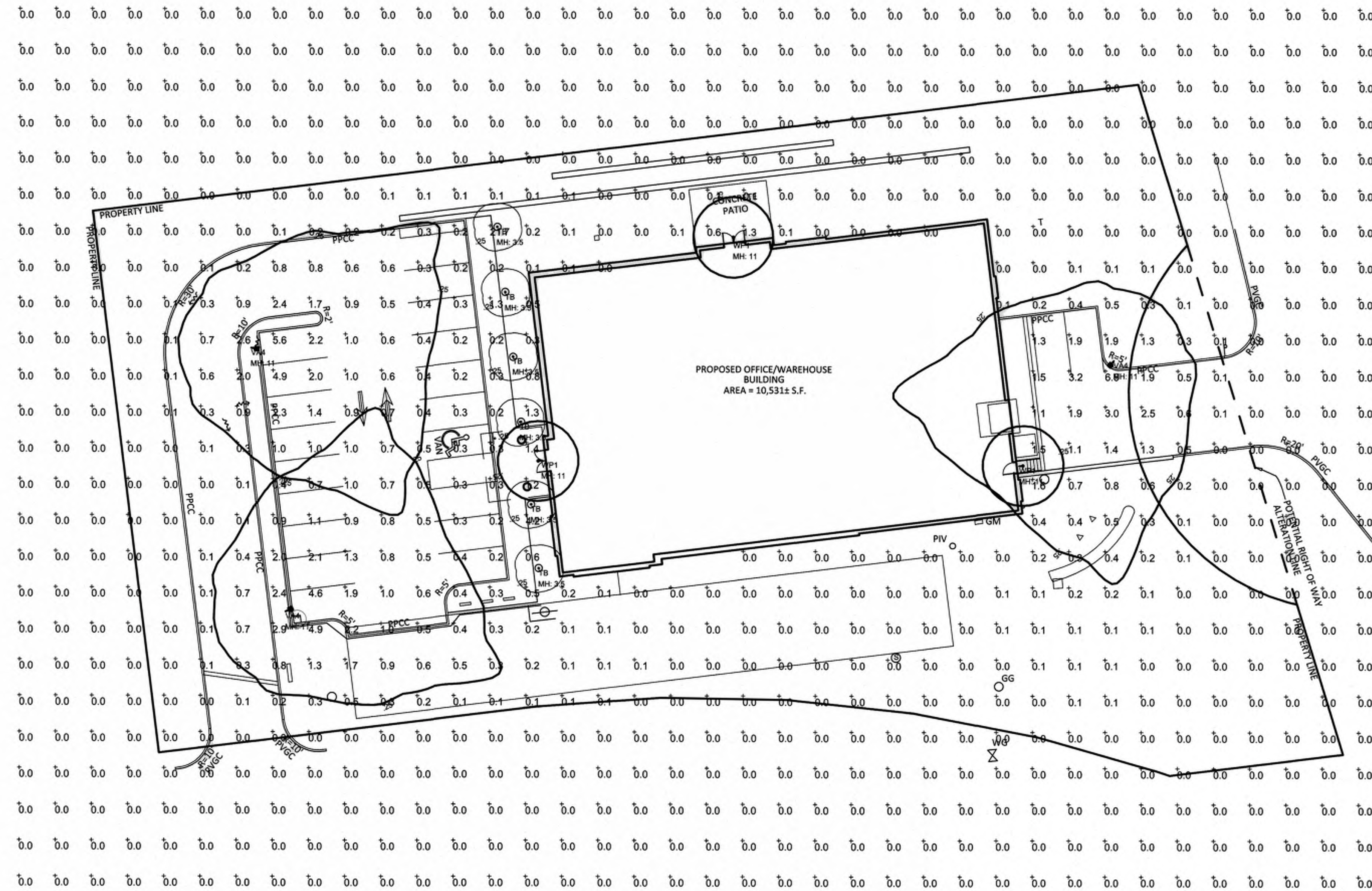
A3.1

2016068.01 - O'BRIEN & SONS CORPORATE OFFICE PERMIT SET - SEPTEMBER, 2017

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WITH THE RULES AND REGULATIONS OF THE
REGISTERS OF DEEDS.

WFB 09/01/17
FOR MERIDIAN ASSOCIATES, INC. DATE

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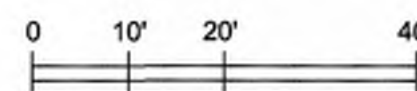


CalcPts_1

Outdoor Luminaire Schedule							
Symbol	Qty	Label	Description	Arm	Lum. Lumens	LLF	Filename
WP1	3	WP1	22 380	1	465	0.800	22380.ies
TB	5	TB	7000BTUR8304240CHUNVS	0	1995	0.800	102171228CHI-074 GB 7000
VA4	3	VA4	VA1-L83-730-T4-F-S-xxxx-xxxx-xxxx	1.5	6773	0.800	VA1-L83-730-T4-F-S-xxxx-x

Luminaire Location Summary						
LumNo	Label	X	Y	Z	Orient	Tilt
1	VA4	-10398.375	10231.375	11	24.997	10
2	TB	-10328.375	10243.25	3.5	7	0
3	TB	-10330.5	10281	3.5	7	0
4	WP1	-10195.625	10271.75	11	4.434	0
5	WP1	-10327.625	10273.125	11	186.116	0
6	TB	-10333.625	10283.75	3.5	7	0
7	VA4	-10169.625	10300.875	11	229.635	10
8	TB	-10335.625	10301.875	3.5	7	0
9	VA4	-10408	10304.25	11	352.626	10
10	TB	-10337.75	10319.625	3.5	7	0
11	WP1	-10274.75	10334	11	92.553	0
12	TB	-10340	10337.75	3.5	7	0

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts_1	Illuminance	Fc	0.22	21.7	0.0	N/A	N/A



OMNI-LITE, INC.
263 WINN STREET BURLINGTON, MA 01803
PH # 781-272-2300, FAX # 781-272-0759 www.omnilight.com

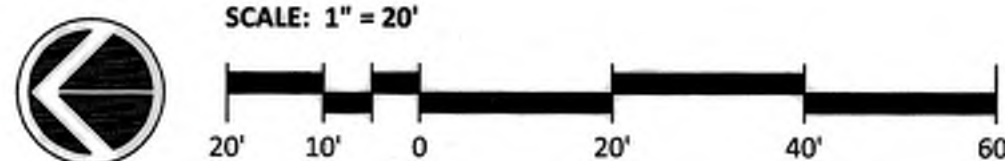
PROJECT:
17 Trotter Dr., Medway, MA

CLIENT:
O'Brien

SCALE: 1"=20' FILE: omni obrien bldg 01.adm

DATE: 09/05/2017 SALES PERSON:
Taylor Hachey

THE VALUES REPRESENTED ARE AN APPROXIMATION GENERATED FROM DATA SUPPLIED BY LAMP MFG. AND TESTING LABS.



REVISIONS			
NO.	DATE	DESCRIPTION	BY
2	9/5/17	FINAL CONDITIONS	MEB
1	7/17/17	RESPONSE TO COMMENTS	RB

O'BRIEN & SONS CORPORATE OFFICES
17 TROTTER DRIVE
MEDWAY, MASSACHUSETTS 02053
Prepared for:
BOTTLE CAP LOT, LLC
93 West Street
Medfield, Massachusetts 02052

OMNI-LITE, INC.
263 WINN STREET BURLINGTON, MA 01803
PH # 781-272-2300, FAX # 781-272-0759
www.omnilight.com

Date:
JULY 17, 2017
(See Revisions)
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1"=20'
Project No.
Sheet No.
L-1