

CUTLER PLACE

6 CUTLER STREET,
MEDWAY, MA 02053

OWNER/APPLICANT:

ANTHONY VARRICHIONE
249 VILLAGE STREET,
MEDWAY, MA 02053

ARCHITECT:

ALEX SIEKIERSKI , RA
33 LOVERING STREET
MEDWAY, MA 02053

LANDSCAPE DESIGN:

LAR GREENE, RLA WDA
DESIGN GROUP
42 JUNGLE ROAD,
LEOMINSTER, MA

SURVEY:

CHENEY ENGINEERING CO, INC.
53 MELLEN STREET
NEEDHAM MA. 02494

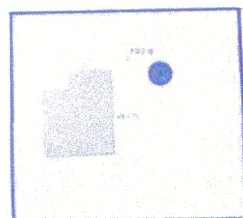
ENGINEER:

RON TIBERI P.E.
9 MASSACHUSETTS AVENUE,
NATICK, MA 01760

[Signature]

APPROVED BY MEDWAY PLANNING
AND ECONOMIC DEVELOPMENT BOARD

PLAN ENDORSEMENT DATE: March 8, 2022



ABUTTERS LOCUS MAP
1" = 200'

MULTIFAMILY HOUSING TABLE		
	REQUIRED	PROPOSED
LOT AREA	22500	30903
LOT FRONTAGE	50	189
UNIT DENSITY	5.7	5
AFFORDABLE UNITS	1	na
BLDG. HT.	40'	33'
OPEN SPACE	15%	33+%
PARKING SPACES	8	13

LOT 6
6 CUTLER STREET
ACCESSING ID - 49-51
ZONE - VR
DISTRICT

DATE ISSUED :
03/01/2022
DATE REVISED :
03/01/2022

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH
THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE
COMMONWEALTH OF MASSACHUSETTS.
03/01/2022
DATE
RONALD TIBERI P.E.

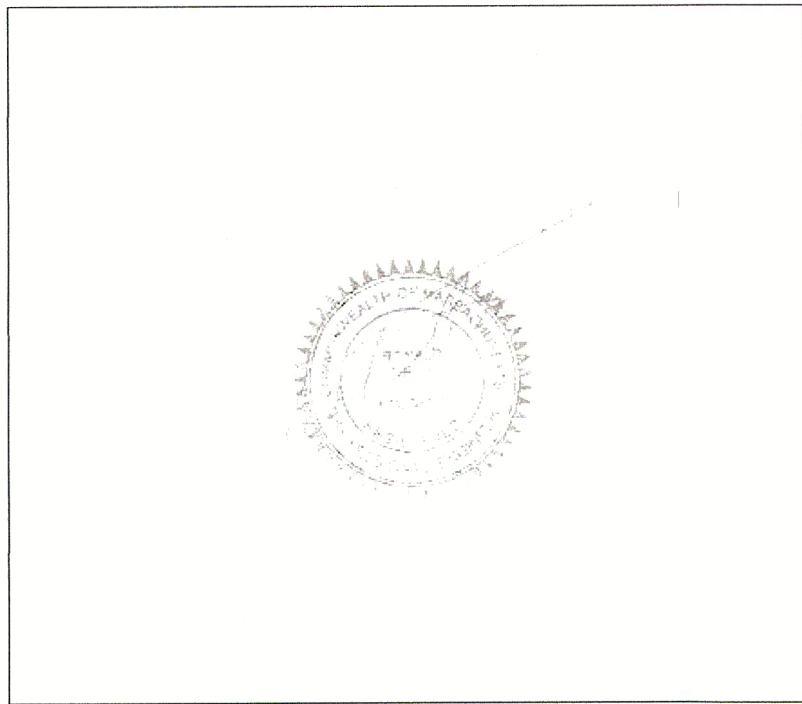
I, Stefany Ohannessian, Clerk
of the Town of Medway, received and recorded approval from the Planning
and Economic Development Board of this plan and its corresponding decision
on Feb. 2, 2022 and no appeal was
taken for twenty (20) days, thereafter.
03/01/2022
DATE
This project is subject to a performance security covenant to be recorded
herewith.

ZONING TABLE - VR DISTRICT

	REQUIRED	EXISTING	PROPOSED
LOT AREA	22500	30903	30903
LOT FRONTAGE	150	189.9	189.9
LOT WIDTH	NA	186	186+
FRONT SETBACK	20	61	61
SIDE SETBACK	10	22	22
REAR SETBACK	10	42	42
BLDG. HT.	35'	33'	38'
LOT COVERAGE (BUILDINGS)	30%	10%	15.5%
LOT COVERAGE (IMPERVIOUS)	40%	72%	33.0%
PARKING	1.5/UNIT	-	2.6/UNIT

PLAN INDEX

- T-1 COVER SHEET
- S-0 EXISTING CONDITIONS PLAN
- S-1 EXISTING CONDITIONS & WETLANDS PLAN
- S-2 PROPOSED SITE & UTILITY LAYOUT PLAN
- S-3 DRAINAGE & GRADING PLAN
- S-4 EROSION CONTROL & CONSTRUCTION PLAN
- S-5 DETAILS
- O-1 STORMWATER OPERATIONS AND MAINTENANCE PLAN
- O-2 STORMWATER OPERATIONS AND MAINTENANCE PLAN
- L-1 PROPOSED LANDSCAPE PLAN
- L-2 LIGHTING PLAN
- A001 CODES & REGULATIONS
- A042 EXISTING ELEVATIONS
- A110 BASEMENT PLAN
- A111 GROUND FLOOR PLAN
- A112 SECOND FLOOR PLAN
- A113 ROOF PLAN
- A200 EXTERIOR ELEVATIONS
- A201 EXTERIOR ELEVATIONS
- A910 3D VIEWS



APPROVED WAIVERS -

Section 204-3 Planning Board Submittals. K. An Order of Resource Area
Delineation depicting the approved wetland resources affecting the proposed project
from the Conservation Commission, or an Order of Conditions issued within the
past 3 years, or a Determination of Applicability with a finding from the
Conservation Commission that the proposed project is not within its jurisdiction.

Section 204-5 D. Site Plan Information Sheets. 10) Color Renderings of the project
and buildings shall be provided.

Section 207-9 B. Sidewalks - Five foot sidewalks shall be provided within parking
areas.

Section 207-11 B. 2 - Internal Site Circulation and Parking Lot Drive Aisles - The
perimeter of drive aisles shall be bounded with vertical granite curb.

Section 207-11 B. 3 - Internal Site Circulation and Parking Lot Drive Aisles - Two-way
drive aisles shall be twenty-four feet wide.

Section 207-12. G. Parking Spaces 3) b) Parking spaces shall not be located within
fifteen feet of the front, side and rear property lines

Section 207 - 16 Utilities. A. All electric, telephone, cable TV, and other utilities
shall be located underground.

Section 207-19 Landscaping. B. Buffers. 2. Perimeter landscaping shall be provided
around the entire site. Four season evergreen landscape buffers between the site and
adjoining properties are required, particularly to protect adjacent residential uses
to the greatest extent possible. Landscaped buffer areas shall be a minimum of
fifteen feet in depth and may be comprised of existing wetlands and native
vegetation supplemented by new landscape plantings. Vegetation in buffer areas
may also be augmented with earth berms of a reasonable height and high quality
and durable fencing using materials approximately wood.

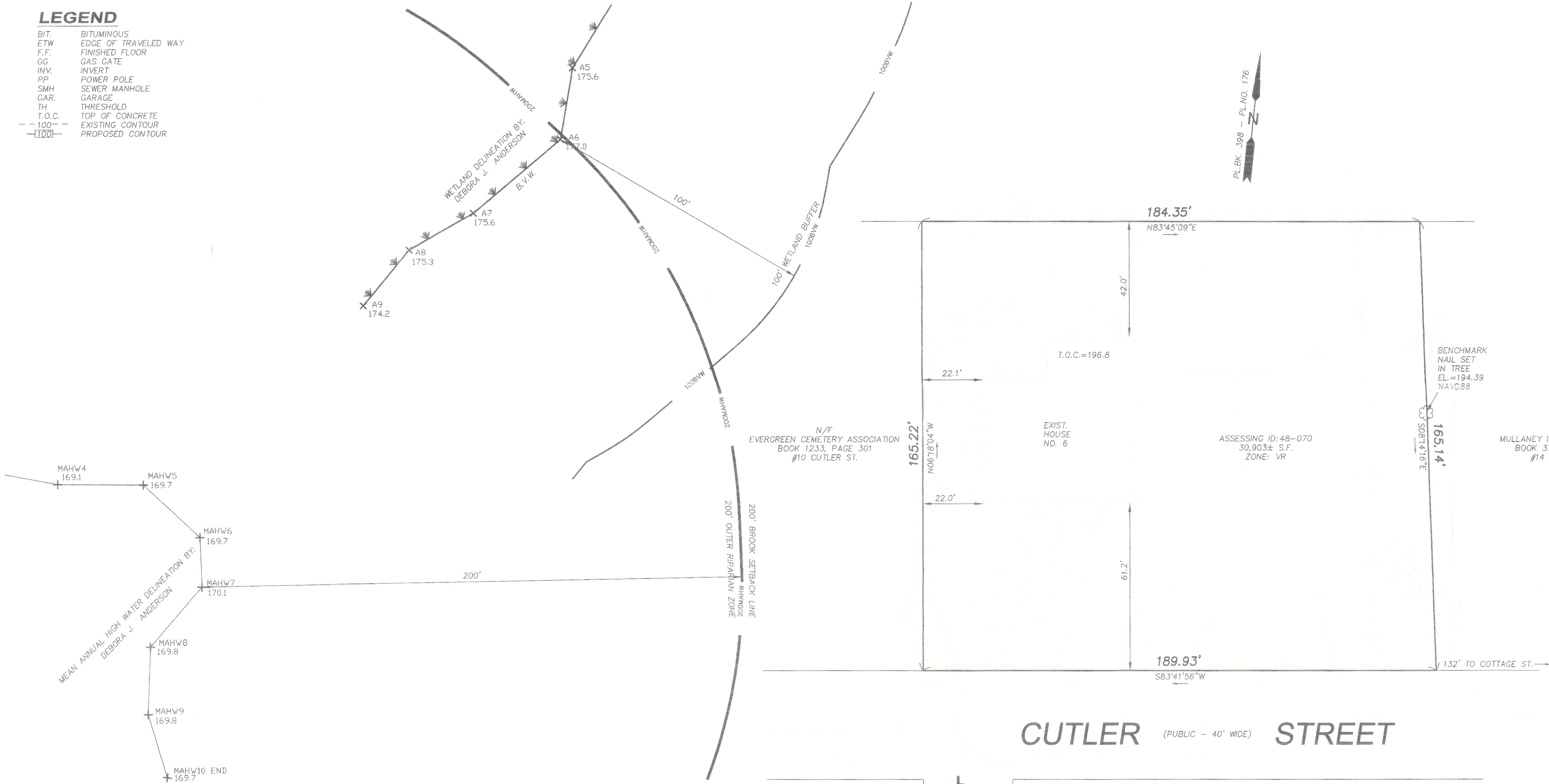
Section 207-19 Landscaping. C. Parking Areas. 1) Internal landscape planted
divisions (islands and peninsulas) shall be constructed within all parking areas
containing ten or more parking spaces to provide visual relief from expanses of
pavement and vehicles and provide shade. a) A minimum of ten percent of the total
internal parking area shall be provided as landscaped island areas, exclusive of
perimeter landscaping.

Section 207-19 K. Landscaping. K. Irrigation - On-site wells, cisterns to capture
rainfall, or private watering service is required to maintain landscaping
installations. The Town does not permit connection to the Town's water service for
landscape irrigation. Well locations shall be shown on the site plan and are subject
to approval of the Medway Board of Health.

FOR REGISTRY

LEGEND

BIT. BITUMINOUS
ETW. EDGE OF TRAVELED WAY
F.F. FINISHED FLOOR
GG. GAS GATE
INV. INVERT
PP. POWER POLE
SMH. SEWER MANHOLE
GAR. GARAGE
TH. THRESHOLD
T.O.C. TOP OF CONCRETE
-100- EXISTING CONTOUR
-100- PROPOSED CONTOUR



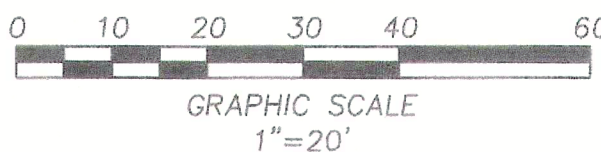
NOTES:

1. SUBJECT TO ANY STATEMENT OF FACT AN UP-TO -DATE ABSTRACT OF TITLE WOULD DISCLOSE.
2. SUBJECT TO ALL RIGHTS, EASEMENTS, COVENANTS OR RESTRICTIONS OF RECORD.
3. UNDERGROUND UTILITIES, STRUCTURES AND FACILITIES, IF ANY, HAVE BEEN SHOWN FROM SURFACE LOCATIONS AND MEASUREMENTS OBTAINED FROM A FIELD SURVEY AND RECORD LOCATIONS, THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHER UTILITIES WHICH THE EXISTENCE OF ARE NOT KNOWN, SIZE, TYPE AND LOCATION OF ALL UTILITIES AND STRUCTURES MUST BE VERIFIED BY PROPER AUTHORITIES PRIOR TO ANY AND ALL CONSTRUCTION. CALL TOLL FREE, DIG SAFE CALL CENTER AT 1-888-3444-7233 SEVENTY-TWO HOURS PRIOR TO ANY EXCAVATION.

[Signature]
[Signature]

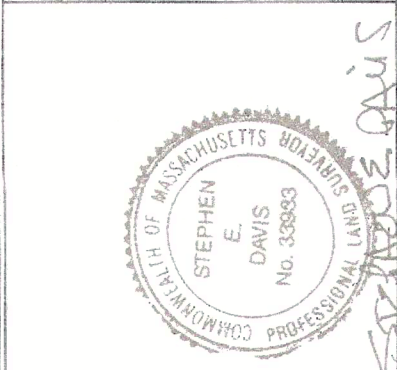
APPROVED BY MEDWAY PLANNING
AND ECONOMIC DEVELOPMENT BOARD

PLAN ENDORSEMENT DATE: 03/09/2022



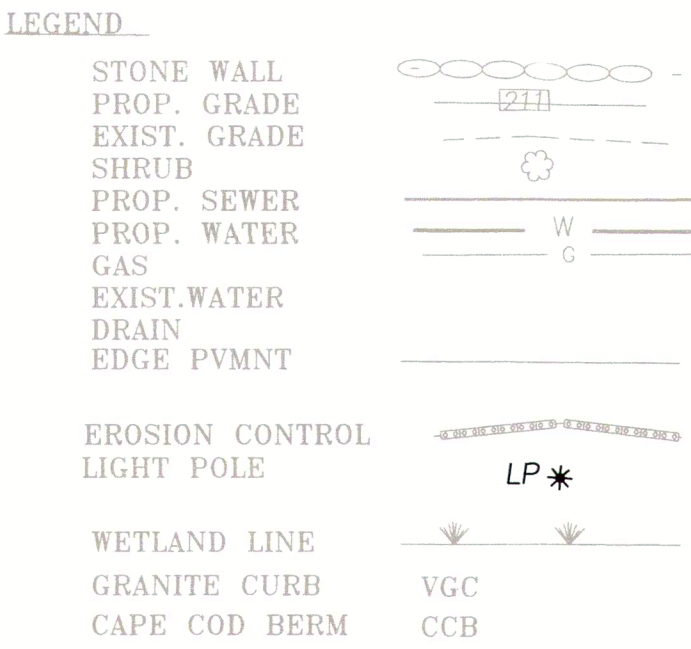
I CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL
FIELD SURVEY AND THE LATEST PLANS AND DEEDS
OF RECORD.

DATE:	7/22/2021	PROJECT #	6191
REV			
3.	3/1/22	TT	3-1-22 Comment Revisions



CHENEY
ENGINEERING CO., INC.
53 Mellen Street
Needham, MA 02494
TEL: 781-444-2188
admin@cheney-eng.com

EXISTING CONDITIONS PLAN
#6 CUTLER STREET
MEDWAY, MASSACHUSETTS
NORFOLK COUNTY
AS PREPARED FOR
RONALD TIBERI



GENERAL SITE NOTES

1. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORKSCOPE PRIOR TO THE INTIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS, RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.

2. ALL WORK SHALL CONFORM TO LOCAL, COMMONWEALTH OF MASSACHUSETTS, AND OSHA STANDARDS AND GUIDELINES.

3. LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. ALL UTILITY SERVICE CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

4. ALL UTILITY LOCATIONS ARE APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE CONDUITS, PRODUCT PIPING, ETC. PRIOR TO COMMENCEMENT OF EXCAVATION OF ANY TYPE.

5. ALL EXCAVATED UNSUITABLE MATERIAL MUST BE TRANSPORTED TO AN APPROVED DISPOSAL LOCATION.

6. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY "DIG SAFE" (1-888-344-7233) 72 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE.

CONTRACTOR SHALL ALSO NOTIFY THE LOCAL DEPARTMENT OF PUBLIC WORKS TO MARK OUT THEIR UTILITIES.

7. THE LIMITS OF WORK SHALL BE CLEARLY MARKED IN THE FIELD PRIOR TO THE START OF CONSTRUCTION OR SITE CLEARING.

8. ALL CONCRETE AND BITUMINOUS PATCH AREAS TO MATCH EXISTING GRADES.

9. SOLID WASTE TO BE DISPOSED OF BY CONTRACTOR IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.

10. CONTRACTOR IS RESPONSIBLE FOR ALL EXCAVATION TO BE PERFORMED IN ACCORDANCE WITH CURRENT STANDARDS, AS WELL AS ADDITIONAL PROVISIONS TO ASSURE STABILITY OF CONTIGUOUS STRUCTURES.

11. IN CASE OF DISCREPANCIES BETWEEN PLANS, THE SITE PLAN WILL SUPERCEDE IN ALL CASES. NOTIFY ENGINEER OF RECORD OF ANY CONFLICTS.

DIG SAFE NOTE:

UTILITIES ARE PATTED FROM FIELD LOCATION AND ANY RECORD INFORMATION AVAILABLE, AND SHOULD BE CONSIDERED APPROXIMATE. OTHER UTILITIES MAY EXIST WHICH ARE NOT EVIDENT OR FOR WHICH RECORD INFORMATION WAS NOT AVAILABLE. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION 40 (AS AMENDED)) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING. ALSO, CALL "DIG-SAFE" AT 1(888)344-7233 1(888)DIG-SAFE.

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OR FOR THE ESTABLISHMENT OF ANY PROPOSED CONSTRUCTION
UNLESS SAID CONSTRUCTION IS SHOWN HEREON.

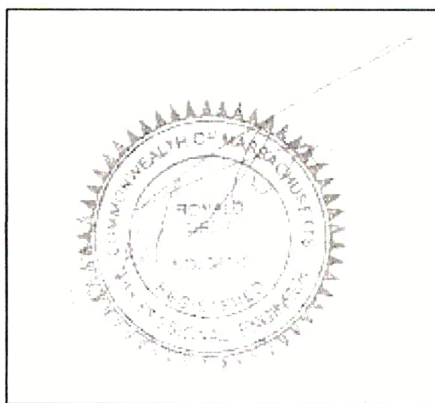
THIS PLAN WAS PREPARED FOR THE EXCLUSIVE USE AND PURPOSE OF THE PARTY STATED HEREON AND SHALL NOT BE USED BY ANY THIRD PARTY WITHOUT THE EXPRESSED WRITTEN PERMISSION OF RONALD TIBERI P.E.

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF TITLE.

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APPROVED BY MEDWAY PLANNING
AND ECONOMIC DEVELOPMENT BOARD

PLAN ENDORSEMENT DATE: 03/08/20



REVISIONS		
No.	DATE	DESCRIPTION
1.	12/23/21	PEER & TOWN REVIEW COMMENTS
2.	2/2/22	Decision Comment Revisions
3.	3/1/22	TT 3-1-22 Comment Revisions

WETLANDS &
EXISTING CONDITIONS PLAN
IN
MEDWAY, MASSACHUSETTS

CUTLER PLACE
6 CUTLER STREET

PREPARED FOR: CUTLER PLACE LLC
6 CUTLER STREET
MEDWAY MA 02053

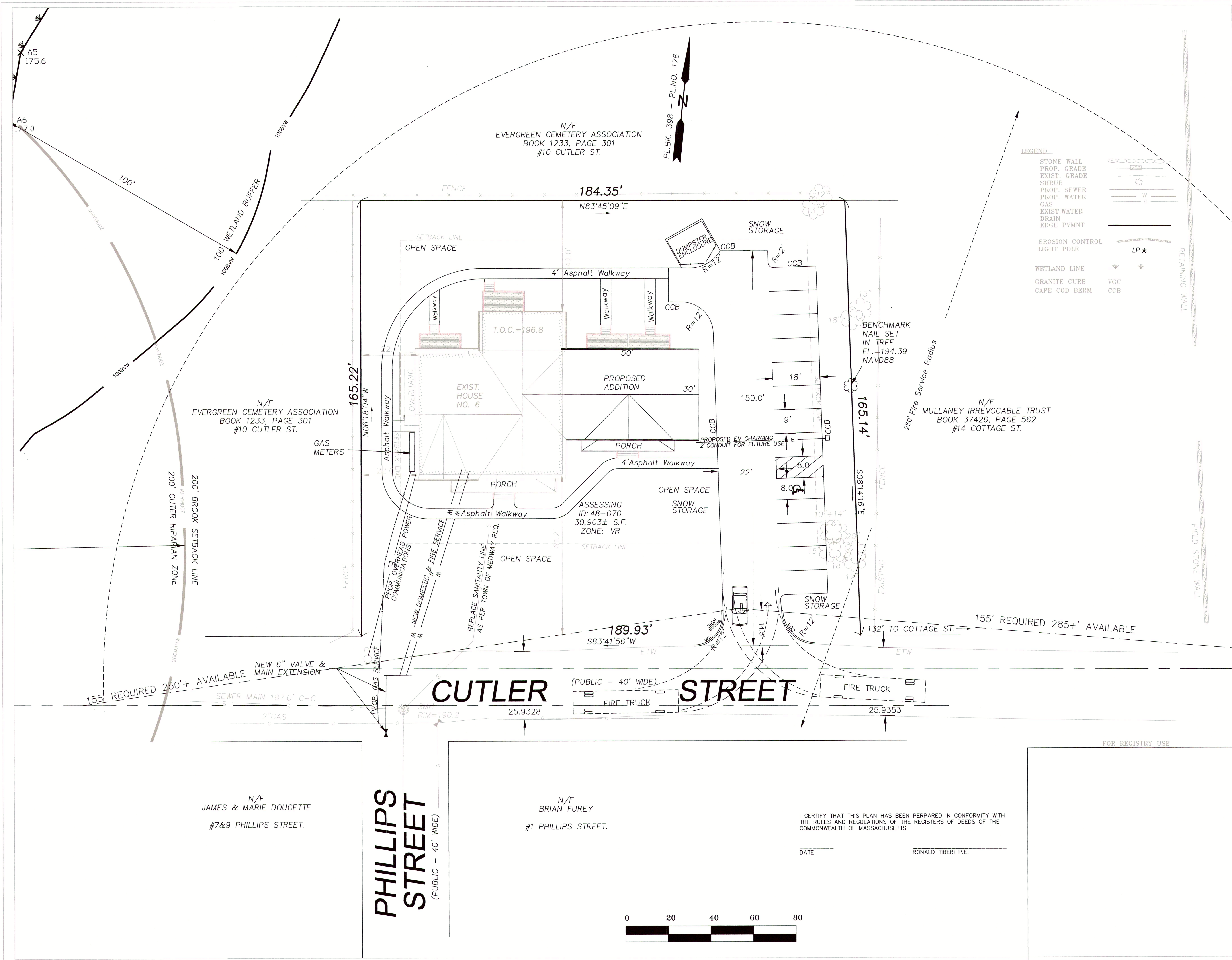
PREPARED By: **RONALD TIBERI P.E.**
9 MASSACHUSETTS AVE.
NATICK MA 01760

DRAWING SCALE: 1 inch = 20 feet

PROJECT NUMBER: 7155

DATE: NOV 1. 2021

S-1



- GENERAL SITE NOTES
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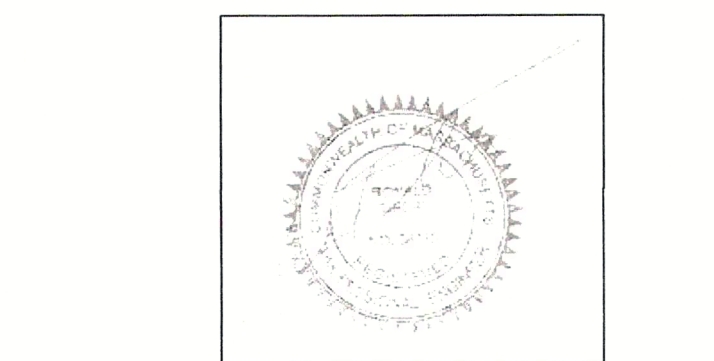
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APPROVED BY MEDWAY PLANNING AND ECONOMIC DEVELOPMENT BOARD

PLAN ENDORSEMENT DATE: 03/08/2022



REVISIONS		
No.	DATE	DESCRIPTION
1.	12/23/21	PEER & TOWN REVIEW COMMENTS
2.	2/2/22	Decision Comment Revisions
3.	3/1/22	TT- 3-1-22 Comment Revisions

PROPOSED SITE & UTILITY LAYOUT PLAN

IN
MEDWAY, MASSACHUSETTS

CUTLER PLACE 6 CUTLER STREET

PREPARED FOR:
CUTLER PLACE LLC
6 CUTLER STREET
MEDWAY MA 02053

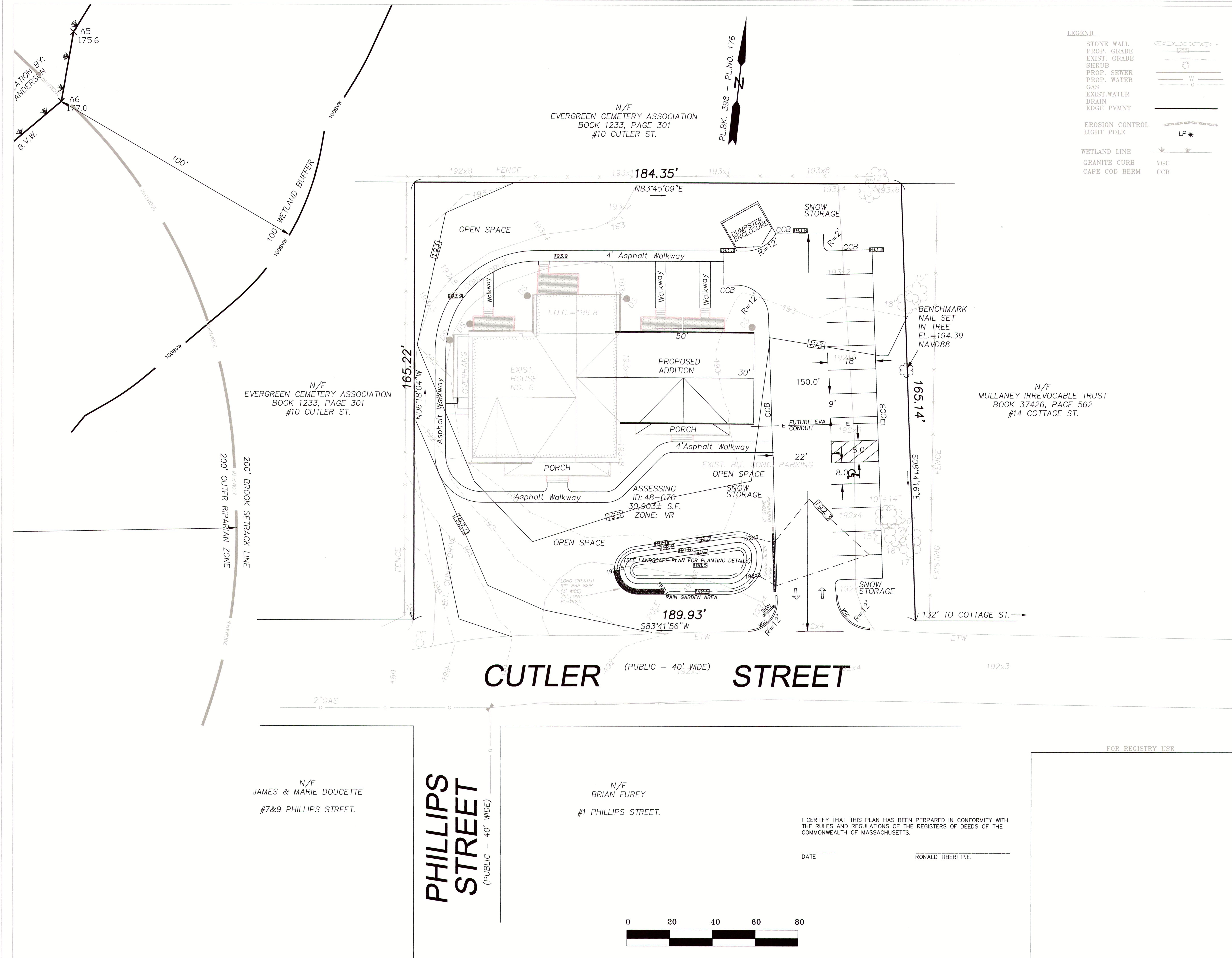
PREPARED By: RONALD TIBERI P.E.
9 MASSACHUSETTS AVE.
NATICK MA 01760

DRAWING SCALE: 1 inch = 20 feet

PROJECT NUMBER: 7155

DATE: NOV 1. 2021

S-

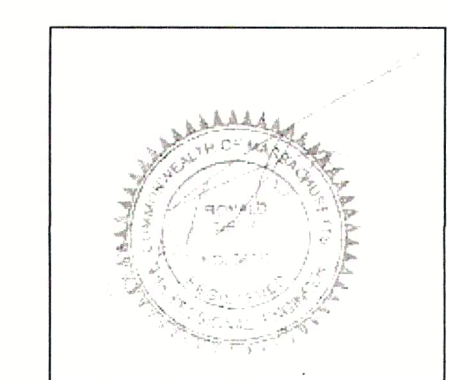


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[Signature]
Ronald Tiberi P.E.

APPROVED BY MEDWAY PLANNING AND ECONOMIC DEVELOPMENT BOARD

PLAN ENDORSEMENT DATE: 03/08/2022



REVISIONS		
No.	DATE	DESCRIPTION
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PROPOSED DRAINAGE & GRADING PLAN

IN
MEDWAY, MASSACHUSETTS

CUTLER PLACE
6 CUTLER STREET

PREPARED FOR:

CUTLER PLACE LLC
6 CUTLER STREET
MEDWAY MA 02053

PREPARED By:

RONALD TIBERI P.E.
9 MASSACHUSETTS AVE.
NATICK MA 01760

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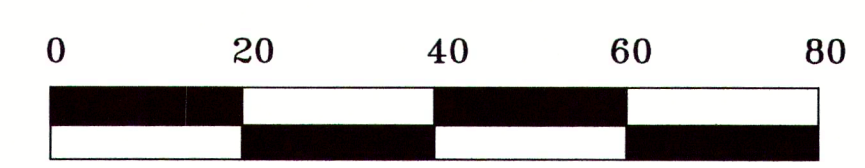
PROJECT NUMBER: 7155

DATE: NOV 1. 2021

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

DATE _____

RONALD TIBERI P.E.



×

Approximate Construction Sequence:

Install perimeter fencing and erosion control around perimeter of site.
Site clearance.
Build temporary construction entrance on east side of site.
Locate staging area at front of site.
Setup temporary services.
Install utilities
Install rain garden
Construct driveway & parking.
Completion of all siteworks/landscaping/hardscaping, etc.

HOURS & DAYS as permitted by Medway Building Department

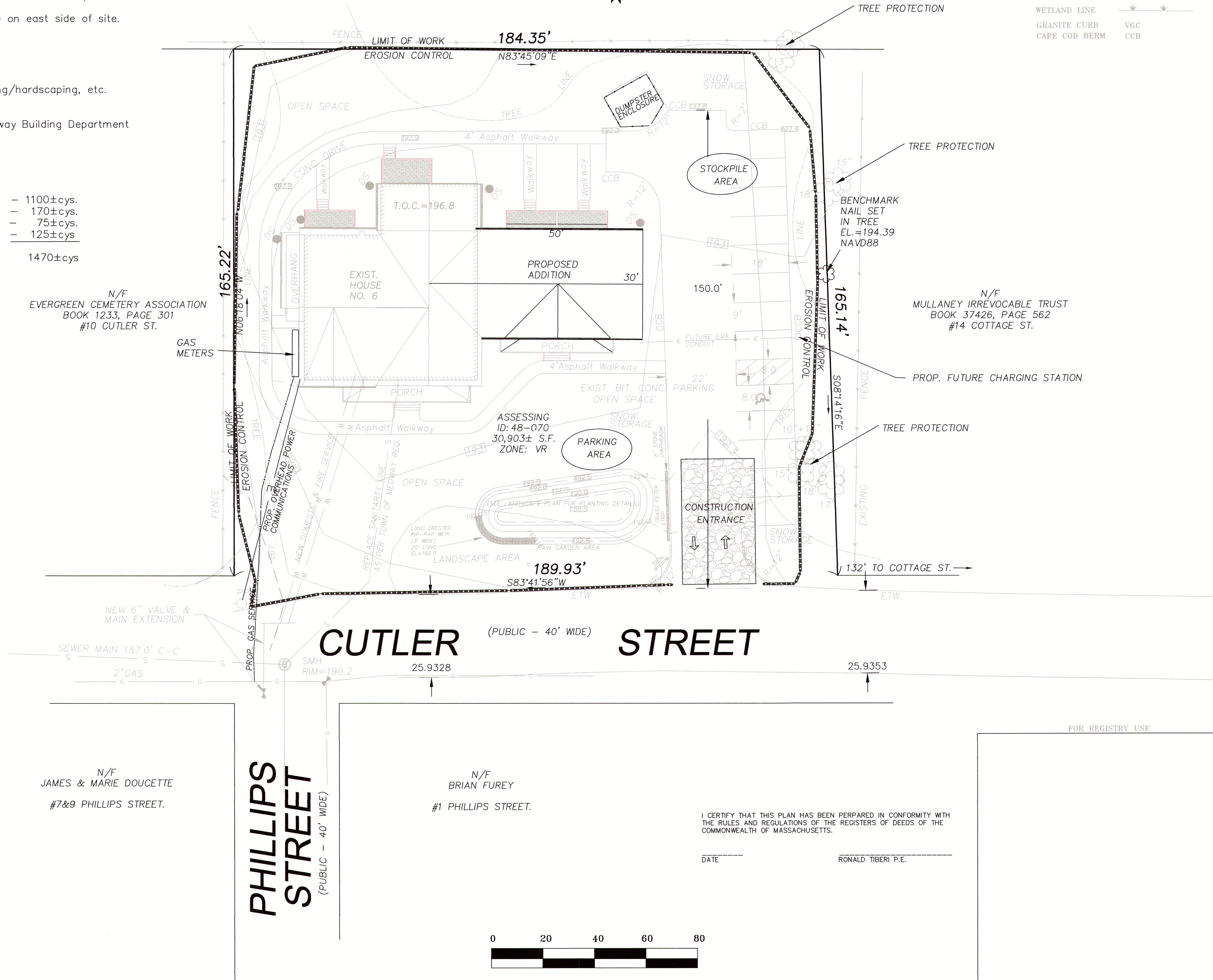
Anticipited earthwork volumes:

Clear & grub, subgrade prep.	- 1100±cys.
Slab Excavation	- 170±cys.
Utilities	- 75±cys.
Rain Garden	- 125±cys.
Total estimated Excavation	1470±cys

N/F
EVERGREEN CEMETERY ASSOCIATION
BOOK 1233, PAGE 301
#10 CUTLER ST.

N/F
EVERGREEN CEMETERY ASSOCIATION
BOOK 1233, PAGE 301
#10 CUTLER ST.

PL BK. 398 - PL NO. 176



LEGEND	
STONE WALL	
PROP. GRADE	
EXIST. GRADE	
SHRUB	
PROP. SEWER	
PROP. WATER	
GAS	
EXIST. WATER	
DRAIN	
EDGE PVMNT	
EROSION CONTROL	
LIGHT POLE	
WETLAND LINE	
GRANITE CURB	
CAPE COD BERM	

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 - ALL WORK SHALL CONFORM TO LOCAL, COMMONWEALTH OF MASSACHUSETTS, AND OSHA STANDARDS AND GUIDELINES.
 - LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. ALL UTILITY SERVICE CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
 - ALL UTILITY LOCATIONS ARE APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE CONDUITS, PRODUCT PIPING, ETC. PRIOR TO COMMENCEMENT OF EXCAVATION OF ANY TYPE.
 - ALL EXCAVATED UNSUITABLE MATERIAL MUST BE TRANSPORTED TO AN APPROVED DISPOSAL LOCATION.
 - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY "DIG SAFE" (1-888-344-7233) 72 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE. CONTRACTOR SHALL ALSO NOTIFY THE LOCAL DEPARTMENT OF PUBLIC WORKS TO MARK OUT THEIR UTILITIES.
 - THE LIMITS OF WORK SHALL BE CLEARLY MARKED IN THE FIELD PRIOR TO THE START OF CONSTRUCTION OR SITE CLEARING.
 - ALL CONCRETE AND BITUMINOUS PATCH AREAS TO MATCH EXISTING GRADES.
 - SOLID WASTE TO BE DISPOSED OF BY CONTRACTOR IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
 - CONTRACTOR IS RESPONSIBLE FOR ALL EXCAVATION TO BE PERFORMED IN ACCORDANCE WITH CURRENT STANDARDS, AS WELL AS ADDITIONAL PROVISIONS TO ASSURE STABILITY OF CONTIGUOUS STRUCTURES.
 - IN CASE OF DISCREPANCIES BETWEEN PLANS, THE SITE PLAN WILL SUPERCEDE IN ALL CASES. NOTIFY ENGINEER OF RECORD OF ANY CONFLICTS.

DIG SAFE NOTE:
UTILITIES ARE PLOTTED FROM FIELD LOCATION AND ANY RECORD INFORMATION AVAILABLE, AND SHOULD BE CONSIDERED APPROXIMATE. OTHER UTILITIES MAY EXIST WHICH ARE NOT EVIDENT OR FOR WHICH RECORD INFORMATION WAS NOT AVAILABLE. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING. ALSO, CALL "DIG-SAFE" AT 1(888)344-7233 1(888)DIG-SAFE.

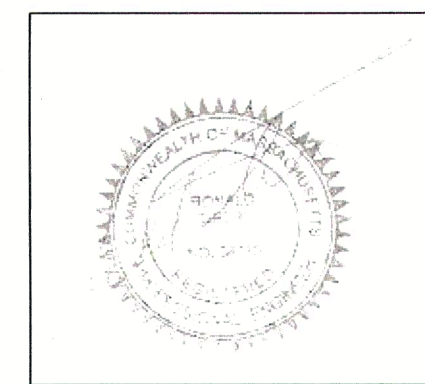
THE OFFSETS AS SHOWN ON THIS PLAN ARE NOT TO BE USED FOR THE ESTABLISHMENT OF PROPERTY LINES OR FOR THE ESTABLISHMENT OF ANY PROPOSED CONSTRUCTION UNLESS SAID CONSTRUCTION IS SHOWN HEREON.

THIS PLAN WAS PREPARED FOR THE EXCLUSIVE USE AND PURPOSE FOR THE PARTY STATED HEREON AND SHALL NOT BE USED BY ANY THIRD PARTY WITHOUT THE EXPRESSED WRITTEN PERMISSION OF RONALD TIBERI P.E.

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

APPROVED BY MEDWAY PLANNING AND ECONOMIC DEVELOPMENT BOARD

PLAN ENDORSEMENT DATE: 03/08/2021



REVISIONS		
No.	DATE	DESCRIPTION
1.	12/23/21	PEER & TOWN REVIEW COMMENTS
2.	2/2/22	Decision Comment Revisions
3.	3/1/22	TT 3-1-22 Comment Revisions

EROSION CONTROL & CONSTRUCTION PLAN IN MEDWAY, MASSACHUSETTS CUTLER PLACE 6 CUTLER STREET

PREPARED FOR:
**CUTLER PLACE LLC
6 CUTLER STREET
MEDWAY MA 02053**

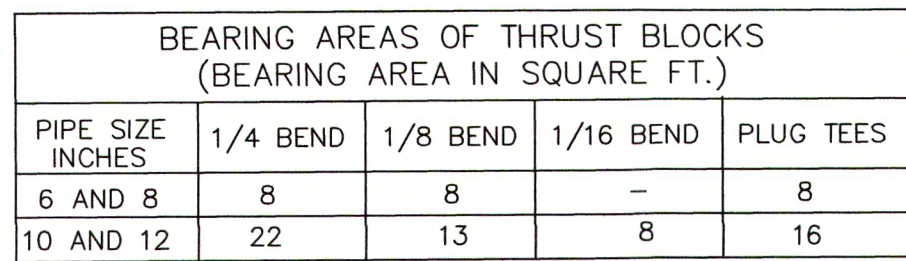
PREPARED By: **RONALD TIBERI P.E.
9 MASSACHUSETTS AVE.
NATICK MA 01760**

DRAWING SCALE: 1 inch = 20 feet

PROJECT NUMBER: 7155

DATE: NOV 1. 2021

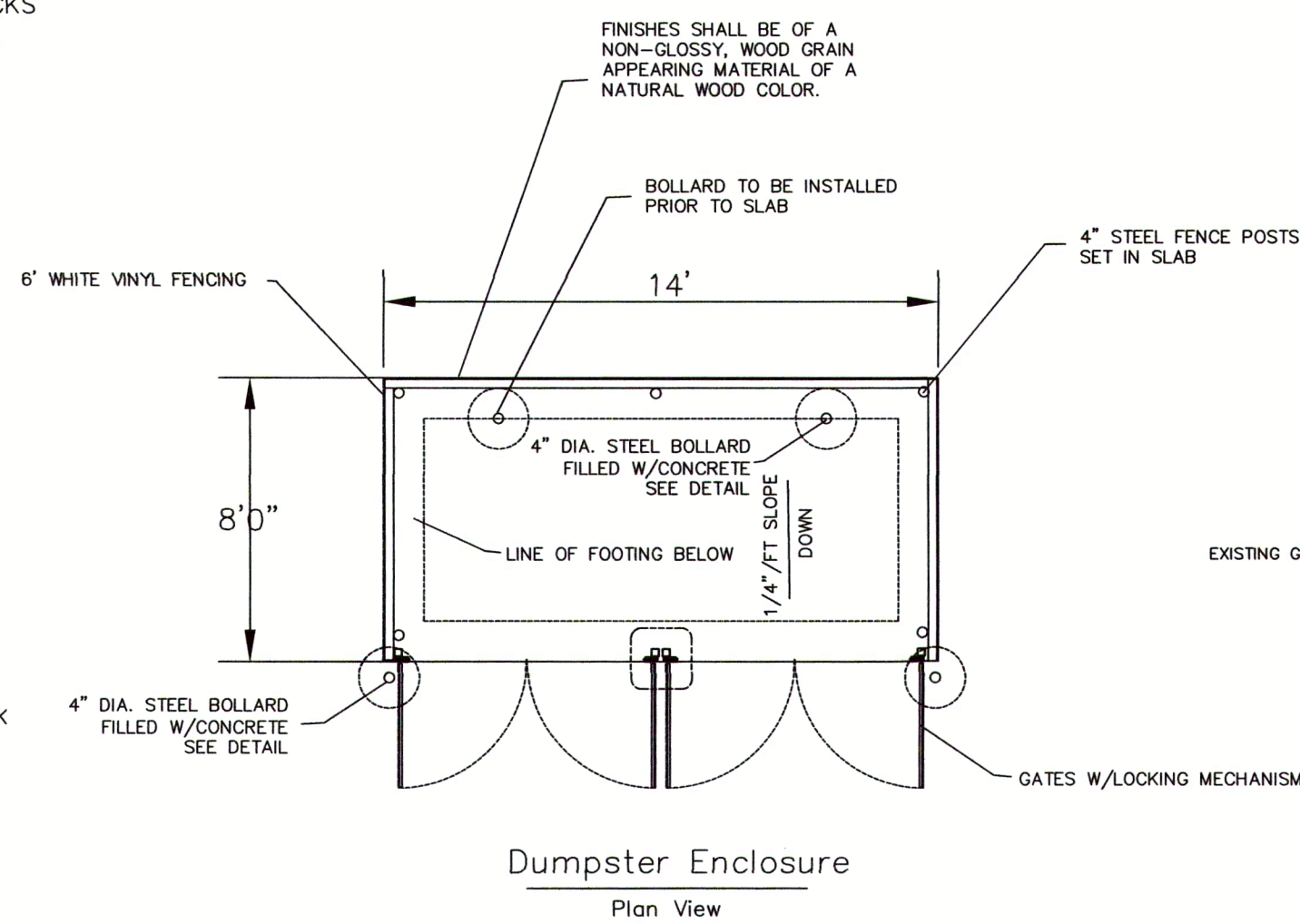
S-4



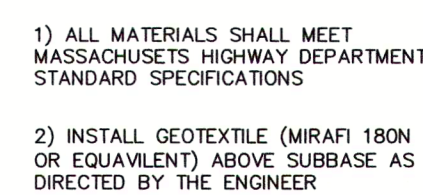
NOT TO SCALE



- NOTE:
1. ALL SERVICE CONNECTION FITTINGS SHALL BE BY THE MUELLER COMPANY.
 2. ALL WORK AND MATERIALS SHALL CONFORM TO STANDARDS AND SPECIFICATIONS OF THE TOWN OF MEDWAY'S DEPARTMENT OF PUBLIC WORKS.

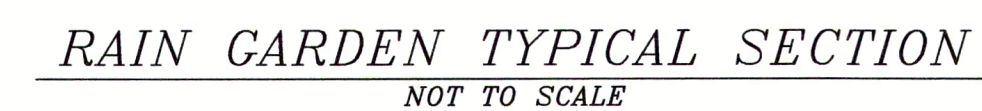


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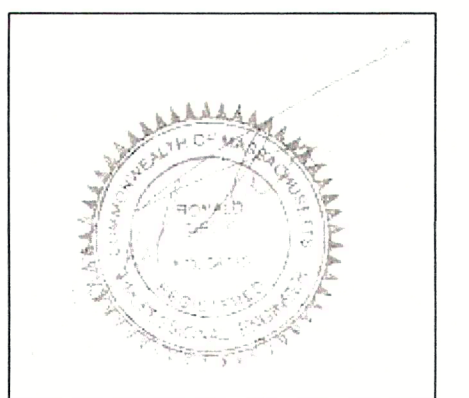
NOT TO SCALE

NOTE:
PLANTING BED SOIL MIX AND PLANT SPECIES TO BE AS SPECIFIED IN THE STRUCTURAL
BMP MASSACHUSETTS STORMWATER HAND BOOK CHAPTER 2 VOLUME 2 PAGES 23-35.



APPROVED BY MEDWAY PLANNING
AND ECONOMIC DEVELOPMENT BOARD

PLAN ENDORSEMENT DATE: 03/08/2022



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DETAILS

IN
MEDWAY, MASSACHUSETTS

CUTLER PLACE
6 CUTLER STREET

PREPARED FOR: CUTLER PLACE LLC
6 CUTLER STREET
MEDWAY MA 02053

PREPARED By: RONALD TIBERI P.E.
9 MASSACHUSETTS AVE.
NATICK MA 01760

DRAWING SCALE: 1 inch = 20 feet

PROJECT NUMBER: 7155

DATE: NOV 1. 2021

5-5

Stormwater Operations and Maintenance Plan

For
Cutler Place
6 Cutler Street
Medway, Massachusetts

Prepared for and Owned by:
Cutler Place LLC
6 Cutler Street
Medway MA 02053 or its successor in title (the "Owner")

Operation & Maintenance
Responsibility: Cutler Place LLC
6 Cutler Street
Medway MA 02053 or its successor in title (the "Owner")

Prepared By: Ronald Tiberi P.E.
9 Massachusetts Ave
Natick, MA 01760
508-361-5077

REV. December 26, 2021

Introduction

All measures both temporary and permanent taken shall be coordinated with all the approved documents for the project including but not limited to the Erosion Control Site Plan (sheet S-4), the Spill prevention plan, the approve Order of Conditions and the Town of Medway regulations.

Temporary Stormwater Measures

Temporary stormwater measures are the structural or non-structural practices employed to reduce or eliminate stormwater degradation and site erosion during construction. The placement, monitoring and successful operations of temporary measures shall be the Owners responsibility with authority assigned to the construction manager, general contractor or site contractor, as applicable.

The temporary stormwater measures are as follows:

- oStabilized Construction Entrance
- oCrushed Stone Check Dams
- oStaked Erosion Control Barriers
- oSilt Sack
- oMaterial Stockpiles with Containment Barrier and/or Mulch Covering
- oTemporary Stormwater Settling Basins
- oConcrete Washout basins

Please also refer to the project specific BMP reference documents contained in the project stormwater report, permit documents and SWPPP.

Permanent Stormwater Measures

Permanent stormwater measures are the structural or non-structural practices employed to reduce or eliminate stormwater degradation and site erosion following completion of construction, site stabilization and property occupancy. The placement, monitoring and successful operations of temporary measures shall be the Property Manager's responsibility. A third party stormwater agent may be contracted by the property manager for certain operation and maintenance responsibilities. All such contractual arrangements will be added to the final Stormwater Operations and Maintenance Plan with business registrations, certifications and insurances as applicable.

The proposed stormwater measures are as follows:

schedule)

- oBituminous Pavement with Curbing (Access Drives and Parking) (30-yr replacement

- oRain Garden & Vegetation Filter Strips and Landscape Plantings (Lawns and Gardens) (service and replacement on an-on-going basis)

Please also refer to the project specific BMP reference documents contained in the project stormwater report, permit documents and SWPPP.

Material and Equipment Storage

Material and equipment storage will vary according to the project phase. During construction, all material and equipment will be stored in an organized staging area. In addition, the operations and maintenance of the temporary storage area will be as described in the SWPPP. Additionally, the project SWPPP addresses typical temporary operations such as material stabilization techniques, equipment fueling, debris collection, storage and disposal. In general, the Owner is responsible with typical assignment and agency granted to the construction manager, general contractor or site contractor for all temporary material and equipment storage, in accordance with usual and customary construction means and methods. At no time will equipment maintenance or long-term fuel storage be permitted on site. All equipment maintenance will be performed off site. Re-fuelers are permitted on site, but must operate within the temporary storage area.

Preventative landscaping and grounds control

Permanent Seeding & Lawn care

Permanent Seeding should be done immediately afterthe final design grades are achieved. Native species of grass should be used to establish perennial vegetative cover on disturbed areas. The revegetation should be completed early enough in the fall so that a good cover is established before cold weather inhibits growth until the spring. A good cover typically represents vegetation covering 75 percent or more of the ground surface. Permanent Seeding Seedbed Preparation In infertile or coarse-textured subsoil, it is recommended to spread topsoil over the finished slope at a minimum 2 to 6-inch depth and roll it to provide a firm seedbed. The topsoil must have a sandy loam to silt loam texture with 15% to 20% organic content. If construction fill operations have left soil exposed with a loose, rough, or irregular surface, smooth with blade and roll. (Naturalization area to be done by hand) a) Loosen the soil to a depth of 3-5 inches with suitable agricultural or construction equipment. b) Areas not to receive topsoil shall be treated to firm the seedbed after incorporation of the lime and fertilizer so that it is depressed no more than 1/2 - 1 inch beneath foot traffic. Areas to receive topsoil shall not be firmed until after topsoil, lime and fertilizer is applied and incorporated, at which time it shall be treated to firm the seedbed as described above.

Permanent Seeding Grass Selection/Application

- a) Select an appropriate cool or warm season grass based on site conditions and seeding date. Apply the seed uniformly by hydroseeding, broadcasting, or by hand. Uniform seed distribution is essential. On steep slopes, hydroseeding may be the most effective seeding method. Surface roughening is particularly important when preparing slopes for hydroseeding. (naturalization areas to be done by hand)
- b) Lime and fertilize.
- c) Mulch the seedings with straw applied at the rate of 1/2 tons per acre. Anchor the mulch with erosion control netting or fabric on sloping areas. Amoco supergrow or equivalent should be utilized.

Permanent Seeding Inspection/Maintenance

- a) Frequently inspect seeded areas for failure and make necessary repairs and reseed immediately. Conduct or follow-up survey after one year and replace failed grasses where necessary.
- b) If vegetative cover is inadequate to prevent rill erosion, overseed and fertilize in accordance with soil test results. Fertilizer application shall be as-needed based on the results of the latest soils test, plant health, rooting characteristics, growth rate desired, and season. Fertilizer with typical assignment and agency granted to the construction manager, general contractor or site contractor for all temporary material and equipment storage, in accordance with usual and customary construction means and methods.
- c) If a stand has less than 40% cover, reevaluate choice of grass seed and quantities of lime and fertilizer. Re-establish the stand following seedbed preparation and seeding recommendations, omitting lime and fertilizer in the absence of soil test results. If the season prevents re-sowing, mulch or jute netting is an effective temporary cover.
- d) Seeded areas should be fertilized during the second growing season. Lime and fertilize thereafter at periodic intervals, as needed.

Fertilizers/Detergents:


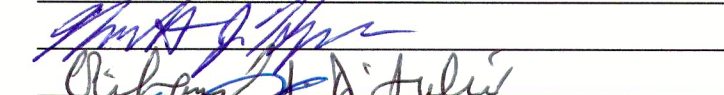
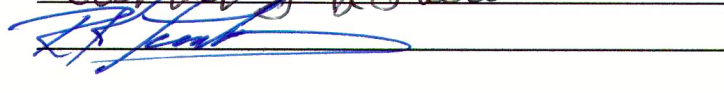
Fertilizers and detergents contain nutrients such as phosphorous and nitrogen which can contribute to water pollution. The following practices should be utilized to reduce the risks of using fertilizer/detergent products.

- 1) Limit the application of fertilizers to the minimum area and the minimum recommended amounts.
- 2) Reduce the exposure of nutrients to storm water runoff by working the fertilizer deep into the soil (depth of 4 to 6 inches) instead of letting it remain on the surface.
- 3) Apply fertilizer more frequently, but at lower application rates.
- 4) Hydro-seeding where lime and fertilizers are applied to the ground surface in one application should be limited where possible.
- 5) Limit the use of detergents onsite; wash water containing detergents should not be discharged in the storm water system.
- 6) Apply fertilizer and use detergents only in the recommended manner and only in recommended amounts.

Snow Operations Management

The proper management of snow and snow melt, in terms of snow removal and storage, use of deicing compounds, and other practices will prevent or minimize the major runoff and pollutant loading impacts. The following practices should be employed to avoid pollution impacts from snow.

- 1) Use of De-icing Compounds
- a) The Town of Medway may agree to the use of certain chemicals for de-icing. Alternative de-icing compounds such as calcium chloride (CaCl2) and calcium magnesium acetate (CMA) are possibilities.
- b) Use a sand only for deicing road treatment.
- c) There are no stockpiles of salt and sand stored or proposed on this site for de-icing.
- 2) Snow Removal and Storage: Place plowed snow in designated pervious areas where it can slowly infiltrate. This can be accomplished at the edge of the parking area surface. Snow will not be plowed into piles which block or obstruct stormwater management facilities.
- 3) Blow snow from paved areas to grass or pervious areas.
- 4) Utilize pavement sweeping and catch basin cleaning as a minimum bi-annual in the early spring (after winter storms),and mid-fall (after the leaf drop). The disposal of street sweepings shall comply with DEP/BWP Final Policy #94-092. The preceding does not cover sweepings known to be contaminated by spills, and such sweepings should be collected separately and kept segregated.

APPROVED BY MEDWAY PLANNING
AND ECONOMIC DEVELOPMENT BOARD

PLAN ENDORSEMENT DATE: 03/08/2021

I CERTIFY THAT THIS PLAN HAS BEEN PERPARED IN CONFORMITY WITH
THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE
COMMONWEALTH OF MASSACHUSETTS.

DATE _____ RONALD TIBERI P.E. _____

FOR REGISTRY USE

STORMWATER OPERATIONS
AND MAINTENCE PLAN

CUTLER PLACE
6 CUTLER STREET

PREPARED FOR:
CUTLER PLACE LLC
6 CUTLER STREET
MEDWAY MA 02053

PREPARED By: RONALD TIBERI P.E.
9 MASSACHUSETTS AVE.
NATICK MA 01760

DRAWING SCALE: 1 inch = 20 feet

PROJECT NUMBER: 7155

DATE: FEB 2-2-22

Stormwater Systems

The temporary stormwater systems are documented within the project SWPPP. The Owner is responsible with typical authority granted to the construction manager, general contractor or site contractor.

The permanent stormwater systems are designed to enhance recharge to groundwater on a sitewide basis. In general, all the clean roof runoff will be collected, stored and infiltrated through underground chamber systems designed to replicate the naturally-occurring site-wide recharge characteristics of the locus. The associated site access and parking areas are conventional bituminous pavement with edging to direct surface flow into deep sump catch basins with outlet hoods. There are hydrodynamic structural units to collect and treat surface flows prior to recharge in underground storage systems. Collectively, the stormwater design will meet or exceed local, state and federal standards as designed when operated, monitored and maintained properly. Please also refer to the project specific BMP reference documents contained in the stormwater report, permit documents and SWPPP.

Stormwater Operations and Maintenance

The combined stormwater systems operations and maintenance can be performed by the Cutler Place LLC property manager or their assigned agent. Nonetheless, due to proprietary product knowledge, training and specialty maintenance equipment required, it is recommended that the property manager secure and maintain a long term third party contract with an industry specific trained and licensed professional capable of operating, inspecting and maintaining rain garden systems.

The following activities should be carried out on an on-going basis to maintain good site operations:

Site Maintenance: The site and all components are to be kept in a neat, orderly and clean fashion. Routine upkeep shall be performed by either the Owner

Property Management Staff and/or their assignees. Typical site maintenance activities shall include responsible construction practices, careful employment of temporary erosion control methods, street sweeping, landscape management and grounds maintenance.

Trash Disposal: The applicant shall petition for curbside pickup. Otherwise all common household waste materials shall be collected and stored in securely fastened metal dumpsters within secured enclosures and maintained on site by a refuse collection vendor. The dumpster will be emptied regularly, and not be over-filled.

All residents and property management personnel will be instructed on proper onsite waste disposal practices. In addition to on-site signage, all residents will receive specific onsite disposal services, including recycling if applicable within their lease agreement documentation.

Spill Control & Containment: Good housekeeping and spill control practices will minimize stormwater contamination from petroleum products, paints and cleaning products. All resident vehicles will be routinely monitored for leaks. Written notices will be distributed as required by property management staff. Habitual offenders will be removed from the site with parking privileges revokes, if necessary. Emergency spill kits will be available on site to be operated and deployed by trained property management staff.s representatives, No hazardous or dangerous material or chemical storage will be permitted on premises in any quantity by either property management representatives, tenants or residents. Only common,

over-the-counter household cleaning products within acceptable consumable legal limits will be permitted on site. Any and all such consumable products may be routinely disposed of within the onsite refuse receptacles, in accordance with state and federal laws.

Management, Training and Certification

The Owner is responsible to ensure that their assigned construction manager, general contractor or site contractor utilizes qualified and competent personnel who have been trained and are certified in the site specific temporary stormwater systems management. All temporary stormwater systems training and certifications must be documented to remain on file or within the SWPPP documentation.

The Cutler Place permanent stormwater systems are to be monitored, operated and maintained by trained individuals, certified in stormwater management practices. Either the property management staff may become trained and certified or utilize a professional contractor with the appropriate training and certifications capable of responsibly ensuring stormwater systems operations and maintenance compliance.

Both the Owner and property manager shall maintain responsible and current records of all stormwater management training and certifications, as are required and performed within the SWPPP. Please also refer to the project BMP reference documents and sample report forms contained in the stormwater report, permit documents and SWPPP.

Observation/Corrective Logs

The Owner is responsible to ensure their assigned construction manager, general contractor or site contractor routinely completes stormwater observation logs in compliance with the SWPPP.

The Property Manager and/or their stormwater consultant(s) are responsible to complete stormwater observation logs in compliance with state and local stormwater compliance regulations, in addition to the suggested manufacturer specifications. Please also refer to the project specific sample report forms contained in the project stormwater report, permit documents and SWPPP as required.

When required and as necessary, corrective action shall be prepared and logged. The purpose and intent of corrective actions logged are to document a stormwater occurrence that required additional, amended or revised stormwater measures than the approved or permitted devices in operation. Both temporary and permanent stormwater measures may require corrective action. The documentation and corrective action reporting shall be the Owners or Property Managers responsibility. Please also refer to the sample report forms contained in the project stormwater report, permit documents and SWPPP as required.

BMPs

Both temporary and permanent BMP inspection, operation and maintenance is critical to the health and success of stormwater system sustainability. Usual and customary BMP literature is included in the project stormwater report permit documents and SWPPP. However these representative BMPs shall be considered the minimum requirement, providing practical stormwater operation and maintenance guidance. Additional BMPs may be required, depending on actual site conditions to augment or replace current BMPs The use, replacement or amendment of onsite BMPs, whether temporary or permanent will be determined by either the local or state stormwater official or the project engineer of record.

Operation

Once the infiltration facilities have been constructed and the site has been permanently stabilized and put into action, the operation of the drainage works will be routine. Storm water runoff is directed into the catch basin grates, to the Stormceptor drain manhole, and to the infiltration galley systems. The galley systems have been designed to retain the flow and volume of runoff for the 2-year through 100-year storm event.

Maintenance

The storm water drainage system complies with the Best Management Practices (BMP) standards of the Massachusetts Department of Environmental Protection, as described in Storm Water Management Policy. In order to keep the drainage system operating under those standards, maintenance of the various components is required by the facilities operator, facility owner, or his service contractor. These items include but not limited to the following:

A) Annual pavement sweeping before April 30th.

B) Minimum bi-annual cleaning of the Rain Garden at the end of foliage and snow removal seasons, and approved disposal of the recovered materials.

C) Bi-annual inspection of the drainage works may require remedial action. Any extensive damage repair for weather and non-weather related activities should be made immediately. Chronological Records of the repairs shall be kept in a file on-site. Records shall be kept for a period of at least 7-years.

D) Record keeping of the maintenance, checking and monitoring of the system shall be maintained by the owner. Service contractors shall provide the owner with receipt showing a clear description of their site visit; and, findings shall be clearly and legibly printed and dated on the receipt.

E) A copy of the service contractors manifest record shall be provided to the owner and/or operator of the system.

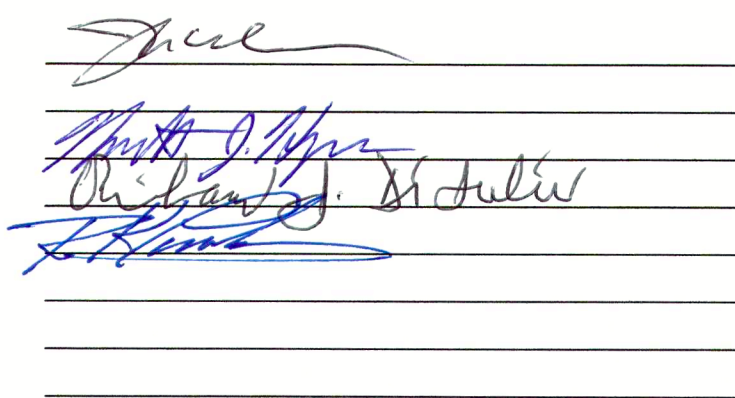
DETAILED BMP REQUIREMENTS

Stormwater Infiltration/Rain Garden:

- 1.Stormwater basins shall be inspected at least twice per year to insure proper operation (during a storm event).
- 2.Inspections shall include ensuring that inlet, outlet, and splash pad rip-rap aprons are in good condition and that the interior Wall systems are in good condition. Deficiencies shall be remedied immediately.
- 3.Inspections shall include an observation of the accumulation of sediment in the basin. Pretreatment BMPs are intended to capture and contain coarse sediments. Should indication of significant accumulation of sediments appropriate measures shall be taken.
- 4.Inspections shall include ensuring that outlet structures are unobstructed and free-flowing per the Site Plan design specifications.
- 5.Inspections shall include ensuring that all berms are fully stabilized, structurally sound and not eroded. Deficiencies shall be remedied immediately.
- 6.Stormwater basins should be mowed and all clippings and debris removed at least twice per year. Debris shall be removed at more frequent intervals if warranted by extreme weather events. If wetland vegetation grows at the bottom of the stormwater basin, it shall only be mowed once Per year at the beginning of the winter season.
- 7.Sediment should be removed at least once every 5 years or when 2-inches of sediment accumulates anywhere in the basin and disposed of off-site in accordance with all applicable local, state, and federal regulations. Two sedimentation markers shall be installed in the basin by a Registered Land Surveyors with a clear marking of the 2-inch accumulation line. It is recommended that stone bounds be installed with chiseled marks indicating the limit of accumulation, although other similarly permanent marking methods may be utilized.

Underground Infiltration Field:

- 1.Perform all pretreatment BMP maintenance, structural and non-structural, as required herein.
- 2.Inspect the infiltration field at least twice per year, approximately 2-4 days after a rainfall event to ensure that water is not still in the field (as it should have infiltrated into underlying soils by then). Should the infiltration field fail to infiltrate water sufficiently, the field system shall be excavated and replaced in accordance with the original design.
3. Basins should be mowed and all clippings and debris removed at least twice per year. Evasive shrubs or plants shall be removed to mitigate root intrusion. Observation ports shall be kept clear and accessible.



APPROVED BY MEDWAY PLANNING AND ECONOMIC DEVELOPMENT BOARD

PLAN ENDORSEMENT DATE: 03/08/2021

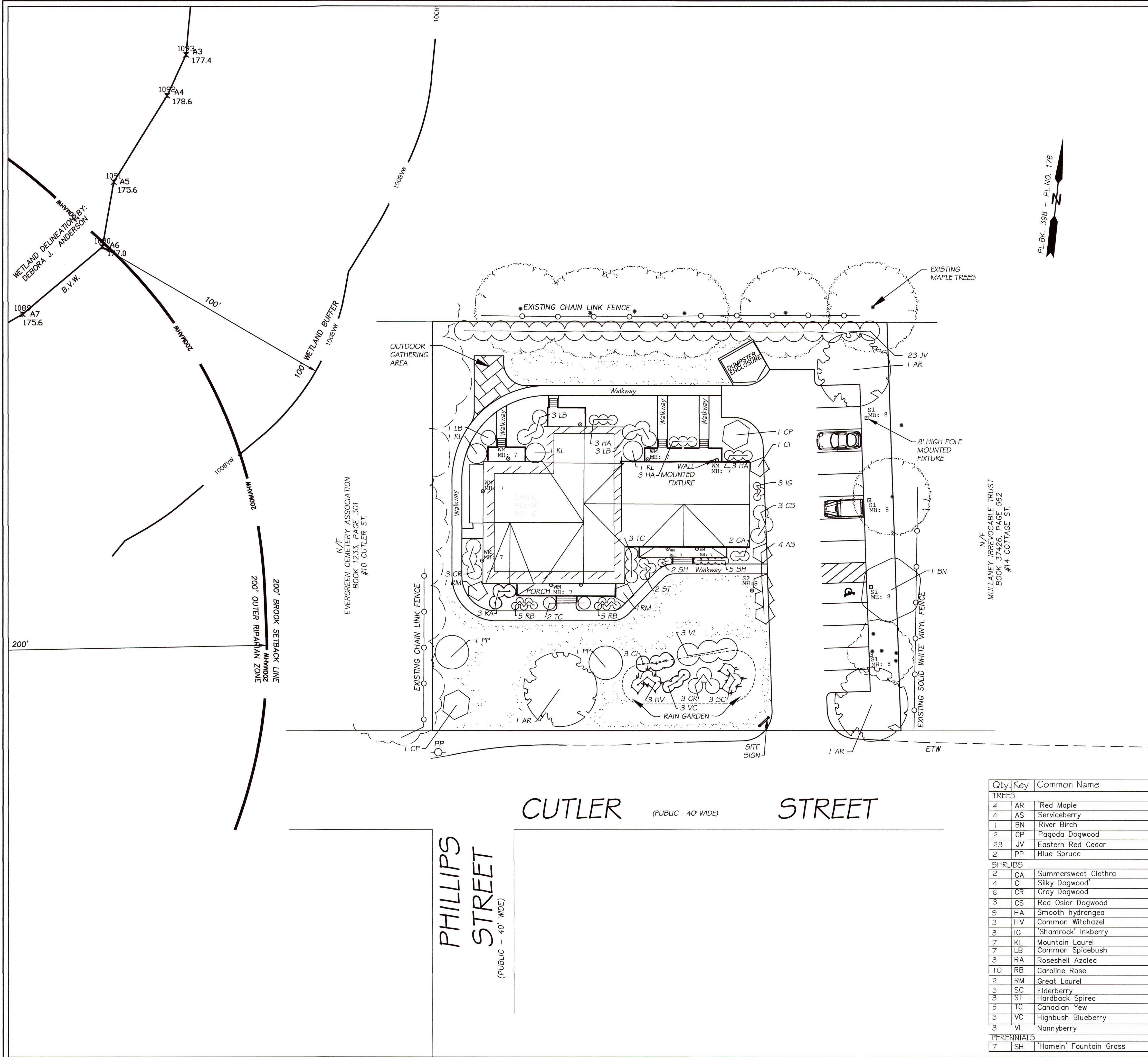
I CERTIFY THAT THIS PLAN HAS BEEN PERPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

DATE Ronald Tiberi P.E.

FOR REGISTRY USE

REVISIONS		
No.	DATE	DESCRIPTION
3.	3/1/22	TT 3-1-22 Comment Revisions

STORMWATER OPERATIONS AND MAINTENCE PLAN	
CUTLER PLACE 6 CUTLER STREET	
PREPARED FOR:	CUTLER PLACE LLC 6 CUTLER STREET MEDWAY MA 02053
PREPARED By:	RONALD TIBERI P.E. 9 MASSACHUSETTS AVE. NATICK MA 01760
DRAWING SCALE: 1 inch = 20 feet	
PROJECT NUMBER: 7155	
DATE: FEB 2-2-22	



REMOVE ALL DEADWOOD. (DO NOT REMOVE ANY OTHER VEGETATION.)

PLANT SHRUB AT DEPTH EQUAL TO 2" LESS THAN THE DISTANCE FROM BOTTOM OF ROOTBALL TO ROOT COLLAR.

CUT AND REMOVE BURLAP FROM ENTIRE ROOTBALL.

3" MULCH (UNLESS OTHERWISE NOTED ON PLANS.)

MOUND WITH EXCAVATED SOIL TO 3" ABOVE FINISHED GRADE.

BACKFILL WITH PLANTING MIX AND LEAF COMPOST

ROOTBALL ON UNDISTURBED SUBGRADE.

(NOT TO SCALE)

SHRUB PLANTING

Fold ends of ArborTie back. Secure to stake with 1" galvanized roofing nail or use a knot.

ArborTie nailed to stake

ARBORTIE (GREEN) GUYING MATERIAL IS TO BE FLAT WOVEN POLYPROPYLENE, 3/8" WIDE, 900 LB. BREAK STRENGTH. ARBORTIE SHALL BE FASTENED TO TREE STAKES IN A MANNER WHICH PERMITS TREE MOVEMENT (8" SWAY) AND SUPPORTS THE TREE

LOOSEN SUPPORTS AFTER 1st GROWING SEASON; REMOVE AFTER 2nd GROWING SEASON.

DO NOT TRIM LEADER

SET TREE PLUMB PRIOR TO GUYING; ORIGINAL GRADE OF TREE BASE TO BE PLANTED SLIGHTLY HIGHER (2.5'-3') ABOVE EXISTING GRADE TO ALLOW FOR SETTLEMENT

CUT AND REMOVE BURLAP FROM TOP OF ROOTBALL ROUGHEN SIDES OF PIT PRIOR TO PLANTING

EARTH ANCHOR

6" HIGH MOUND OF TOPSOIL COMPACTED

NOTE: SET CROWN OF ROOTBALL 1-2" ABOVE GRADE

EVERGREEN TREE PLANTING

(NOT TO SCALE)

ARBORTIE (GREEN) GUYING MATERIAL IS TO BE FLAT WOVEN POLYPROPYLENE MATERIAL 3/8" WIDE, 900 LB. BREAK STRENGTH. ARBORTIE SHALL BE FASTENED TO TREE STAKES IN A MANNER WHICH PERMITS TREE MOVEMENT (8" SWAY) AND SUPPORTS THE TREE

2x2" HARDWOOD STAKES DRIVEN FIRMLY A MINIMUM OF 18" INTO THE SUBGRADE PRIOR TO BACKFILLING.

DO NOT DRIVE STAKE INTO ROOT BALL

SPACE STAKING EVENLY AROUND TREE.

3" DEEP MULCH

FORM SAUCER WITH 3" CONTINUOUS RIM.

PLANTING SOIL MIX AND LEAF COMPOST

WATER & TAMM TO REMOVE AIR POCKETS

EXISTING SOIL SCARIFY PIT BOTTOM

TREE PIT

NOTES:

1. STAKE TO MAIN BRANCHES AS NECESSARY FOR FIRM SUPPORT.
2. PLANT SO THAT TOP OF ROOT BALL IS EVEN WITH THE FINISHED GRADE.
3. GUY WIRE SHALL NOT TOUCH OR RUB ADJACENT TRUNKS OR BRANCHES.
4. REMOVE ALL CONTAINERS AND BASKETS FROM ROOT BALL.
5. REMOVE BURLAP FROM TOP ONE THIRD OF ROOT BALL.
6. LOOSEN ROOTBALL PRIOR TO PLANTING.

DECIDUOUS TREE PLANTING

(NOT TO SCALE)

Qty\Key	Common Name	Botanical Name	Size	Remarks
TREES				
4 AR	Red Maple	<i>Acer rubrum</i>	3" Cal.	B&B
4 AS	Serviceberry	<i>Amelanchier canadensis</i>	8" Ht.	B&B (Singlestem)
1 BN	River Birch	<i>Betula nigra</i>	12" Ht.	B&B (Multi-stem)
2 CP	Pagoda Dogwood	<i>Cornus alternifolia</i>	3" Cal.	B&B
23 JV	Eastern Red Cedar	<i>Juniperus virginiana</i>	8" Ht.	B&B
2 PP	Blue Spruce	<i>Picea pungens</i>	8" Ht.	B&B
SHRUBS				
2 CA	Summersweet Clethra	<i>Clethra alnifolia</i>	#7 Pot	Container Grown
4 CI	Silky Dogwood	<i>Cornus amomum</i>	36" Ht.	B&B
6 CR	Gray Dogwood	<i>Cornus racemosa</i>	36" Ht.	B&B
3 CS	Red Osier Dogwood	<i>Cornus sericea</i>	36" Ht.	B&B
9 HA	Smooth hydrangea	<i>Hydrangea arborescens</i>	36" Ht.	B&B
3 HV	Common Witchazel	<i>Hamamelis virginiana</i>	36" Ht.	B&B
3 IG	'Shamrock' inkberry	<i>Ilex glabra 'Shamrock'</i>	36" Ht.	B&B
7 KL	Mountain Laurel	<i>Kalmia latifolia</i>	48" Ht.	B&B
7 LB	Common Spicebush	<i>Lindera benzoin</i>	36" Ht.	B&B
3 RA	Roseshell Azalea	<i>Rhododendron roseum</i>	36" Ht.	B&B
10 RB	Caroline Rose	<i>Rosa carolina</i>	36" Ht.	B&B
2 RM	Great Laurel	<i>Rhododendron maximum</i>	36" Ht.	B&B
3 SC	Elderberry	<i>Sambucus canadensis</i>	36" Ht.	B&B
3 ST	Hardback Spirea	<i>Spiraea tomentosa</i>	18" Ht.	B&B
5 TC	Canadian Yew	<i>Taxus canadensis</i>	36" Ht.	B&B
3 VC	Highbush Blueberry	<i>Vaccinium corymbosum</i>	36" Ht.	B&B
3 VL	Nannyberry	<i>Viburnum lentago</i>	36" Ht.	B&B
PERENNIALS				
7 SH	'Hameln' Fountain Grass	<i>Pennisetum alopecuroides 'Hameln'</i>	#3 Pot	Container Grown

LANDSCAPING NOTES

1. NOTIFY DIG-SAFE AT 1-888-DIG-SAFE AND LOCAL AUTHORITIES PRIOR TO ANY TYPE OF SITE PREPARATION OR CONSTRUCTION.
2. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIAL AND MULCH IN SUFFICIENT QUANTITIES TO COMPLETE PLANTING AS SHOWN ON THE DRAWINGS.
3. DRAWING QUANTITIES TAKE PRECEDENCE OVER PLANT LIST QUANTITIES.
4. ALL PLANT MATERIAL SHALL CONFORM TO THE GUIDELINES SET FORTH BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
5. ALL TREES AND SHRUBS SHALL BE PLANTED WITH THE 'BEST FACE' SHOWING. ALL PLANTS SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN, UNLESS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT.
6. ALL CONTAINER GROWN STOCK SHALL BE HEALTHY, VIGOROUS, WELL ROOTED AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE GROWING. THEY SHALL HAVE TOPS OF GOOD QUALITY, NO APPARENT INJURY AND BE IN A HEALTHY GROWING CONDITION. A CONTAINER GROWN PLANT SHALL HAVE A WELL ESTABLISHED ROOT SYSTEM REACHING THE SIDES OF THE CONTAINER TO MAINTAIN A FIRM BALL.
7. THE QUALITY OF ALL TREES & SHRUBS IS TO BE NORMAL FOR THE SPECIES. ALL PLANTS ARE TO HAVE DEVELOPED ROOT SYSTEMS, TO BE FREE OF INSECTS AND DISEASES AS WELL AS MECHANICAL INJURIES, AND IN ALL RESPECTS BE SUITABLE FOR PLANTINGS.
8. ALL CONIFERS SHALL HAVE DORMANT BUDS AND SECONDARY NEEDLES.
9. WHERE SPECIFIED, CALIPER SIZE IS TO BE THE OVERRIDING FACTOR IN TREE SELECTION. CALIPER SIZE SHALL BE MEASURED 12" ABOVE THE ROOTBALL.
10. PLANT SUBSTITUTIONS ARE NOT ALLOWED UNLESS APPROVED BY THE PROJECT LANDSCAPE ARCHITECT.
11. ALL DISTURBED AREAS NOT SHOWN OTHERWISE SHALL BE LOAMED AND SEEDED AND BLENDED INTO EXISTING GRADE AND CONDITIONS.
12. PRIOR TO INSTALLING ANY PLANT MATERIAL, THE CONTRACTOR SHALL SUBMIT A LOAM SOIL SAMPLE FOR A ROUTINE, ORGANIC, SALTS, AND NITRATE SOIL TEST. UPON THE RESULTS OF THIS TEST, THE SITE CONTRACTOR SHALL AMEND THE LOAM AS RECOMMENDED. SEND THE SOIL SAMPLE TO THE UNIVERSITY OF MASSACHUSETTS SOIL AND PLANT TISSUE TESTING LABORATORY, WEST EXPERIMENT STATION, 682 NORTH PLEASANT ST., UNIVERSITY OF MASSACHUSETTS, AMHERST, MA 01003.
13. LAWN SEED MIX SHALL BE THE PREVIOUS YEARS CROP: 35% JEFFERSON KENTUCKY BLUEGRASS, 35% CARMEN CHEWING FESCUE AND 30% STALLION PERENNIAL RYEGRASS, OR APPROVED EQUAL, PLANT AT A RATE OF 1 LB. PER 150 SQUARE FEET.
14. LAWN SEED AREAS SHALL BE NOT BE DEEMED ACCEPTABLE UNTIL IN EXCESS OF 90% OF EACH AREA, INDEPENDENTLY, IS GERMINATED, GROWING AND DISPLAYING HEALTHY, UNIFORM GROWTH AND HAS BEEN CUT TWICE. THE SITE CONTRACTOR IS RESPONSIBLE FOR APPLYING AT A MINIMUM 1" OF WATER A WEEK UNTIL THE SEED AREAS HAVE BEEN ACCEPTED. THE WATERING SHALL OCCUR IN SMALL DOSES. THE SITE CONTRACTOR IS RESPONSIBLE FOR REMOVING ANY WEEDS (CRAB GRASS) WITHIN THE SEED AREAS UNTIL THE SEED AREAS HAVE BEEN ACCEPTED.
15. THE HYDRO SEED SLURRY SHALL BE A WOOD BASED BONDED FIBER MATRIX. THE APPLICATION RATE SHALL BE 2,500-3,000LB. PER ACRE SPRAYED IN A LEAST TWO DIRECTIONS. DO NOT APPLY HYDRO SEED SLURRY IF RAIN IS EXPECTED WITHIN 12 HOURS, AND WHEN TEMPERATURES ARE BELOW 50 DEGREES.
16. PRIOR TO PLANTING, THE LANDSCAPER SHALL REVIEW AND COORDINATE WITH THE SITE UTILITY PLAN AND GRADING PLAN.
17. THE ROOTS OF NEWLY PLANTED TREES AND SHRUBS MUST BE KEPT STEADILY MOIST, AS THE DEVELOPING ROOTS ESTABLISH IN THE NEW SOIL. AT PLANTING, WATER THOROUGHLY TO SOAK THE ROOTS AND TO SETTLE THE NEW SOIL AROUND THE ROOT BALL. THE AMOUNT OF SUPPLEMENTAL WATER NEEDED EACH WEEK DURING THE FIRST GROWING SEASON AFTER PLANTING DEPENDS ON RECENT RAINFALL, TEMPERATURE, AND WIND. IF LESS THAN ONE-INCH OF RAIN HAS FALLEN OVER THE PAST FIVE TO SEVEN DAYS, THE NEW PLANTINGS MUST BE WATERED. LAWN, TREES, AND SHRUBS WATERING SHALL OCCUR AT A MINIMUM OF TWO (2) TIMES A DAY FOR THE FIRST TWO (2) MONTHS; ONCE IN THE EARLY MORNING AND THEN THE OTHER IN THE LATE AFTERNOON. IN GENERAL TEN GALLONS OF WATER APPLIED TWICE A WEEK WILL WET A 20'-24" ROOT BALL AND PROVIDE THE EQUIVALENT OF ONE INCH OF RAIN FALL. NEW LAWNS SHALL BE WATERED SO THAT IT RECEIVES AT A MINIMUM ONE INCH (1") OF WATER EVERY WEEK.
18. WITHIN THE LANDSCAPE BEDS ADJACENT TO THE BUILDING FOUNDATIONS, NO HEMLOCK, PINE, SPRUCE, OR CEDAR MULCH OR OTHER COMBUSTIBLE LANDSCAPE MATERIALS SHALL BE INSTALLED WITHIN 18" OF THE FOUNDATION.
19. ALL LANDSCAPE BEDS SHALL RECEIVE THREE-INCHES OF BARK MULCH.
20. LANDSCAPE AREAS SHALL BE DEEP TILLED TO A DEPTH OF TWELVE INCHES TO FACILITATE DEEP WATER PENETRATION.
21. ALL TREE AND VEGETATION REMOVAL SHALL BE IN COORDINATION WITH THE PROJECT LANDSCAPE ARCHITECT.

[Signatures]

APPROVED BY MEDWAY PLANNING AND ECONOMIC DEVELOPMENT BOARD

PLAN ENDORSEMENT DATE: 03/08/2022

[Seal]

REVISIONS		
No.	DATE	DESCRIPTION
1.	12/22/21	TOWN COMMENTS
2.	02/02/22	DECISION COMMENT REVISIONS
3.	3/1/22	TT 3-1-22 Comment Revisions

PROPOSED LANDSCAPE PLAN

IN
MEDWAY, MASSACHUSETTS

6 CUTLER STREET

PREPARED FOR:

**CUTLER PLACE LLC
6 CUTLER STREET
MEDWAY MA 02053**

PREPARED By:

**RONALD TIBERI P.E.
9 MASSACHUSETTS AVE.
NATICK MA 01760**

DRAWING SCALE: 1 inch = 20 feet

PROJECT NUMBER: 2155

DATE: NOVEMBER 1, 2021

L-1



Summary	
	Wall Ht.

Luminaire Schedule					
Symbol	Label	Lum. Lumens	Lum. Watts	LLF	Description
	WM2	1327	18	0.900	XTOR18-Y
	S2	1800	18	0.900	CAL-S-T5-16L-35-30K
	WM	1800	18	0.900	CAL-S-T5-16L-35-30K
	S1	1584	18	0.900	CAL-S-T4-16L-35-30K-HSS

Calculation Summary				
Label	Units	Avg	Max	Min
SITE_Planar	Fc	0.00	0.0	0.0
SITE_Planar_1	Fc	0.38	9.2	0.0

Floor Construction	0 (1 Hour Dwelling Unit Separation)	-
Roof Construction	0	-
Existing shafts < 4 stories (IEBC 803.2.1 Exception 5)	0	0
New shafts < 4 stories (IBC 713.4)	1	¾
Dwelling unit separation walls and floor/ceiling assemblies (IBC 708.3 & 711.2.4.3)	1	¾

Exterior Wall Openings: The fire separation distance in this location is greater than 10 feet around the full perimeter of the building and therefore exterior walls do not require a fire rating and openings are not limited (IBC 705.8.1 Exception 2 & Table 602).

New Interior Finishes:

Walls & Ceilings (IBC Table 803.11)

Use Group:	R-2
Rooms & Enclosed Spaces	Class C

Means of Egress: Each unit only requires a single means of egress since the occupant load of each unit does not exceed 20 people, the common path of travel does not exceed 125 feet, and the building will be protected with an NFPA 13R sprinkler system (IBC 1006.2.1 Exception 1). Emergency escape and rescue openings must be provided in accordance with IBC Section 1030.

Fire Protection Systems: Sprinkler System –NFPA 13R (780 CMR Table 903.2 Note a) Fire Alarm System (780 CMR 903.4.2) Single- and Multiple-station smoke alarms (IBC 907.2.9.2) Carbon monoxide detection (IBC 915 & 527 CMR) Fire extinguishers (527 CMR 1, Table 13.6.2(a) & IBC 906.1)

Energy Code: The alterations (new elements) shall conform to the energy requirements of the IECC as they relate to new construction only (IEBC 908.1). The Stretch Energy Code does not apply to existing buildings (780 CMR Appendix AA101.2).

Accessibility: Since there are less than 20 units, none of the units are required to comply with the requirements for Group 2 adaptable units in the Massachusetts Architectural Access Board's Regulations (521 CMR 9.4). Units in the existing building are not required to comply with Group 1 requirements (521 CMR 9.2.2) and the units in the new addition are also not required to comply with Group 1 requirements since they are townhouse style units (521 CMR 9.6). The only common areas are located in the existing building and are not required to be accessible since they are less than 12 total units (521 CMR 10.1).

PRELIMINARY CODE SUMMARY

6 Cutler Street
Medway, Massachusetts

October 12, 2021

Code Type	Applicable Code (Model Code Basis)
Building	780 CMR: Massachusetts State Building Code, 9 th Edition Amended 2015 International Building Code (IBC) Amended 2015 International Existing Building Code (IEBC)
Fire Prevention	527 CMR: Massachusetts Fire Prevention Regulations Amended 2015 NFPA 1
Accessibility	521 CMR: Massachusetts Architectural Access Board Regulations
Electrical	527 CMR 12.00: Massachusetts Electrical Code Amended 2020 National Electrical Code
Mechanical	2015 International Mechanical Code (IMC)
Plumbing	248 CMR: Massachusetts Plumbing Code
Energy Conservation	2018 International Energy Conservation Code (IECC)

IEBC Compliance Method: Work Area Method

IEBC Level of Work: Level 3 Alteration & Addition
Work Area > 50% of Building Area (IEBC Section 505)

Occupancy Classification: Existing: Use Group A-3 (American Legion Hall)

Proposed: Use Group R-2 (Multi-Family Residential)

Construction Type: Type VB (unprotected, combustible)

Fire Resistance Ratings:

Building Element	Fire Resistance Rating (Hrs)	Opening Protectives (Hrs)
Primary Structural Frame	0	-
Exterior Bearing Walls	0	-
Interior Bearing Walls	0	-

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[Handwritten signatures]

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PLAN ENDORSEMENT 03/06/2021

For Zoning

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contractor

stamp



revision	revision description	date
1	PEDB R1	02/02/2021
3	TT Comment Revisions	03/01/2021

project title
CUTLER PLACE

6 CUTLER STREET, MEDWAY, MA 02053

client
ANTHONY VARRICHIONE
249 VILLAGE STREET, MEDWAY, MA 02053

Alex Siekierski, RA
Architectural Consultant

location
33 Lovering Street
Medway, MA 02053
t: +1 (617) 894-0664
e: siekierski.alex@gmail.com

drawing title

CODES & REGULATIONS

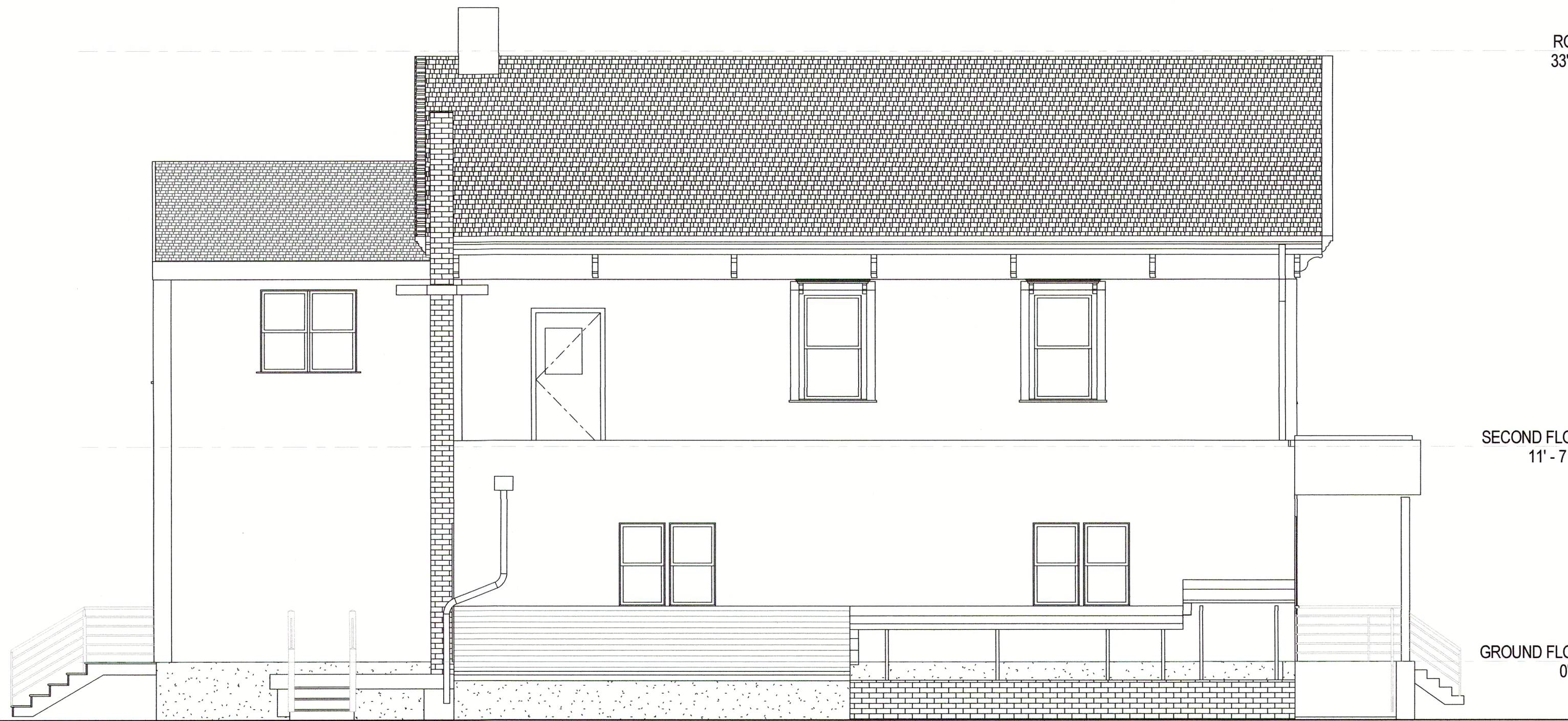
project number 21.013	drawing scale 12" = 1'-0"	approver Approver
drawing number A001	revision	1



① EXISTING EAST ELEVATION
3/16" = 1'-0"



② EXISTING NORTH ELEVATION
3/16" = 1'-0"



④ EXISTING WEST ELEVATION
3/16" = 1'-0"



③ EXISTING SOUTH ELEVATION
3/16" = 1'-0"

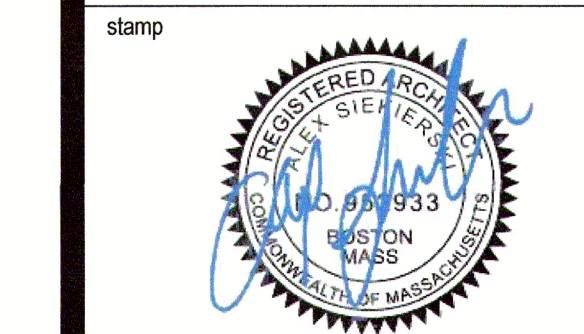
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revision	revision description	date
1	PEDB R1	02/02/2022
3	TT Comment Revisions	03/01/2022

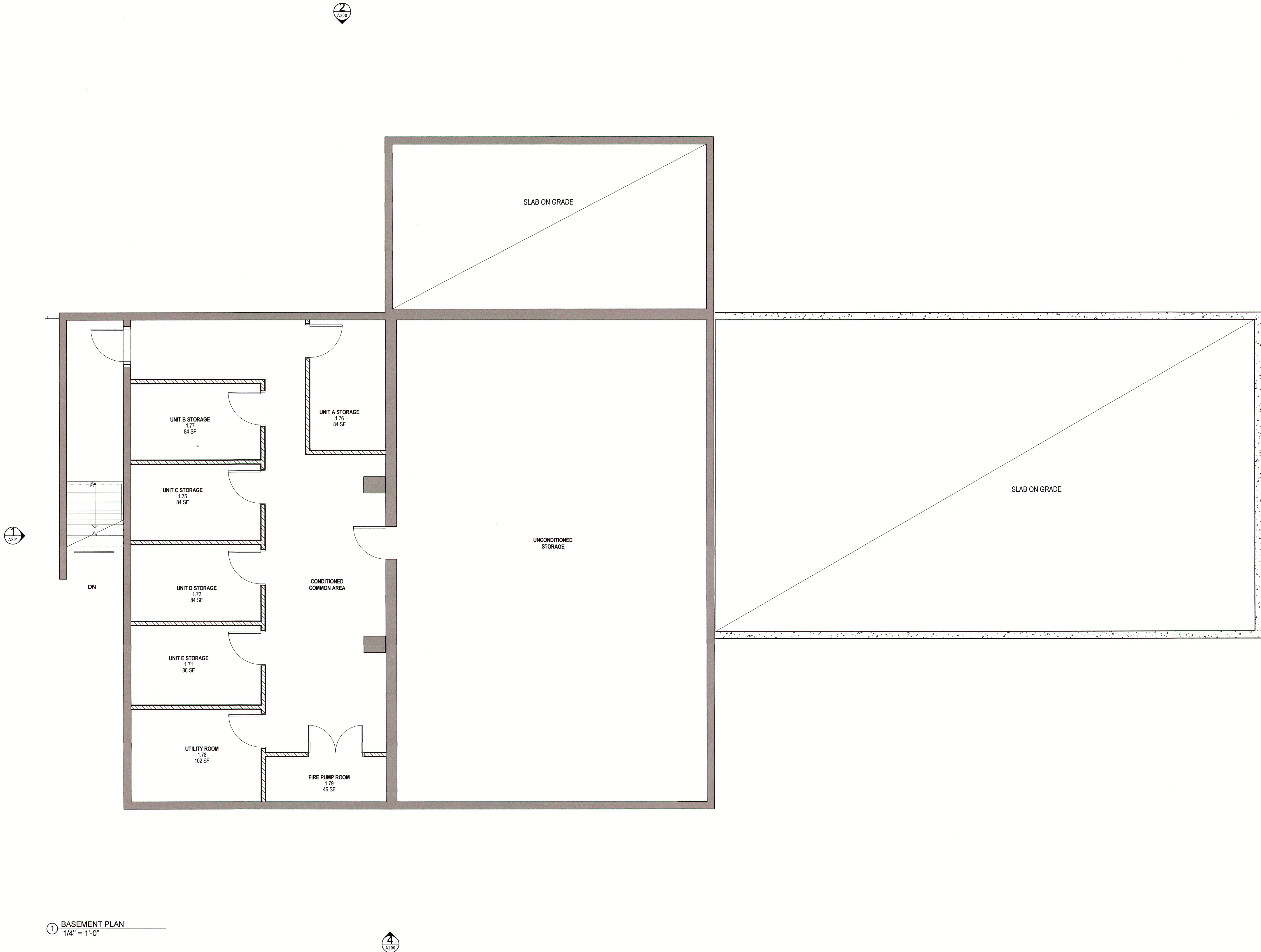
project title
CUTLER PLACE
6 CUTLER STREET, MEDWAY, MA 02053
client
ANTHONY VARRICHIONE
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drawing title

EXISTING ELEVATIONS

project number 21.013	drawing scale 3/16" = 1'-0"	appro Appro
drawing number A042	revision 1	



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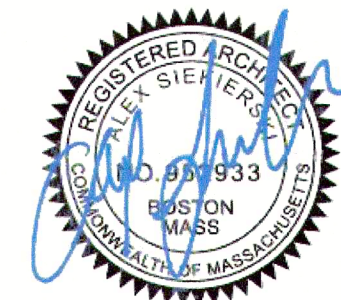
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1	PEDB R1	02/02/2022
3	TT Comment Revisions	03/01/2022

project title
CUTLER PLACE

6 CUTLER STREET, MEDWAY, MA
02053

client
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drawing title

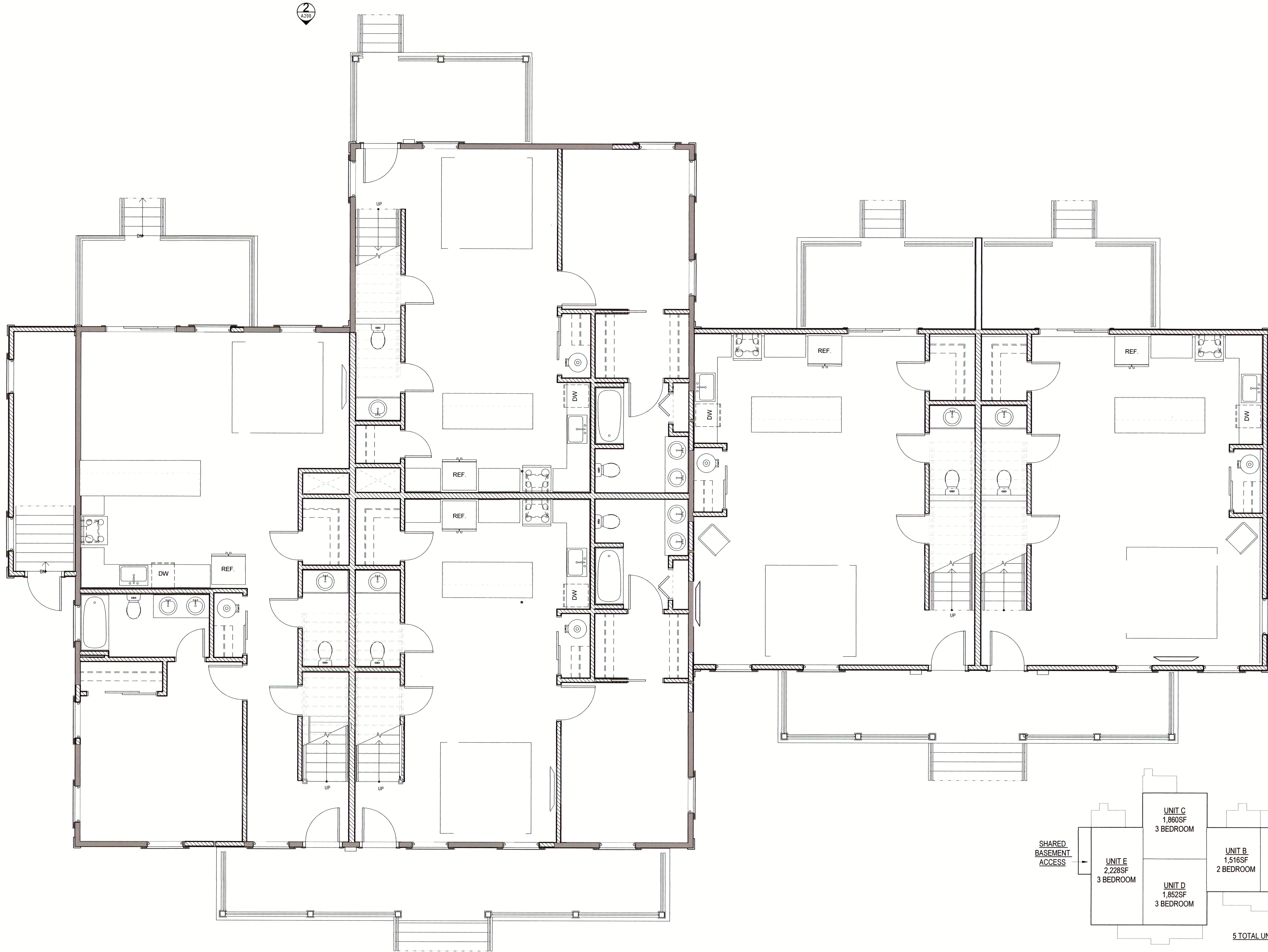
BASEMENT PLAN

project number 21.013 drawing scale 1/4" = 1'-0" approver AS

drawing number A110 revision 1

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1 FIRST FLOOR PLAN
1/4" = 1'-0"



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PLAN ENDORSEMENT 03/08/20

For Zoni

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revision	revision description	
1	PEDB R1	02
3	TT Comment Revisions	03

project title
CUTLER PLACE

6 CUTLER STREET, MEDWAY, MA
02053

client
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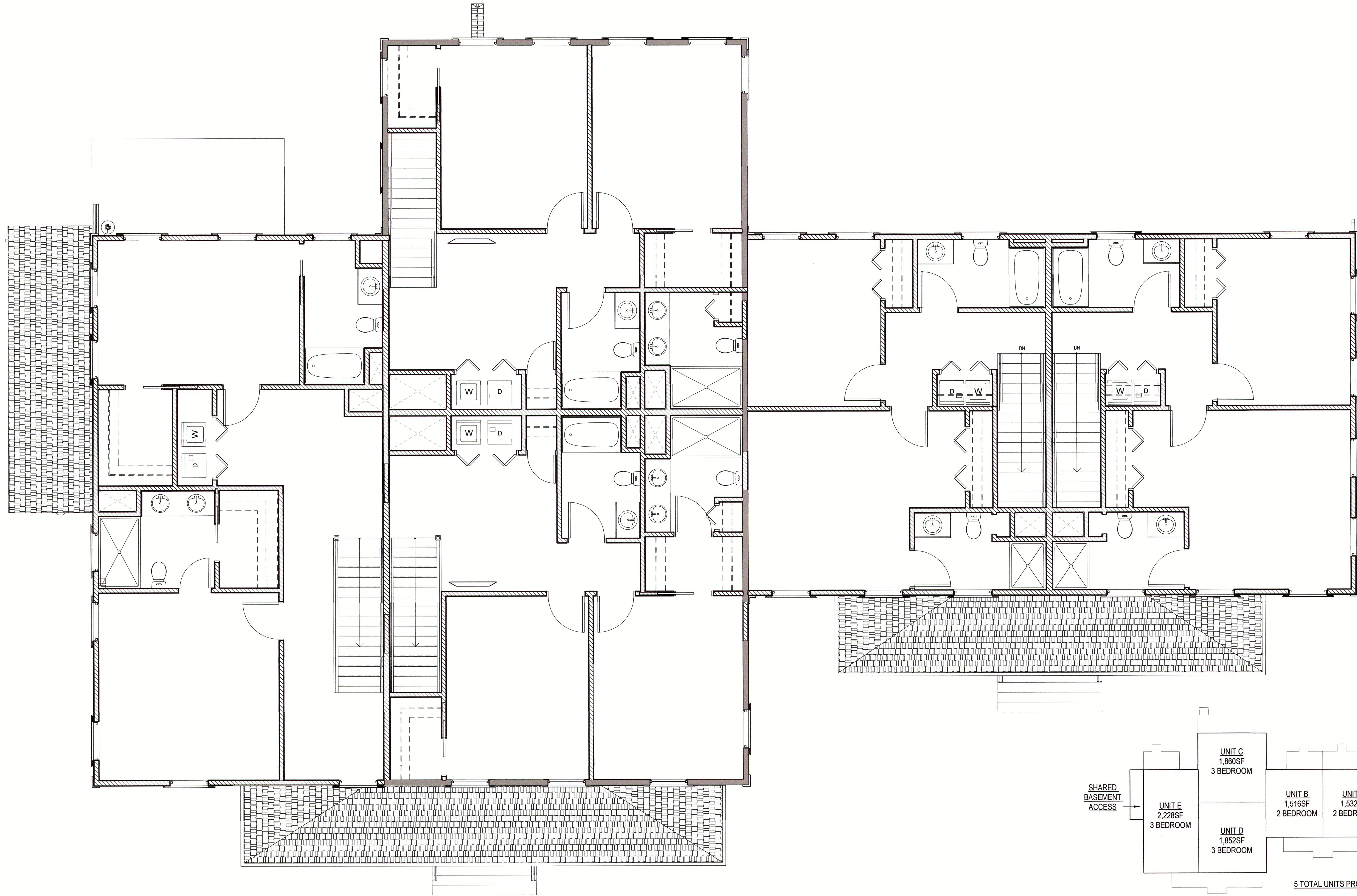
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GROUND FLOOR PLA

project number	drawing scale
21.013	As indicated A

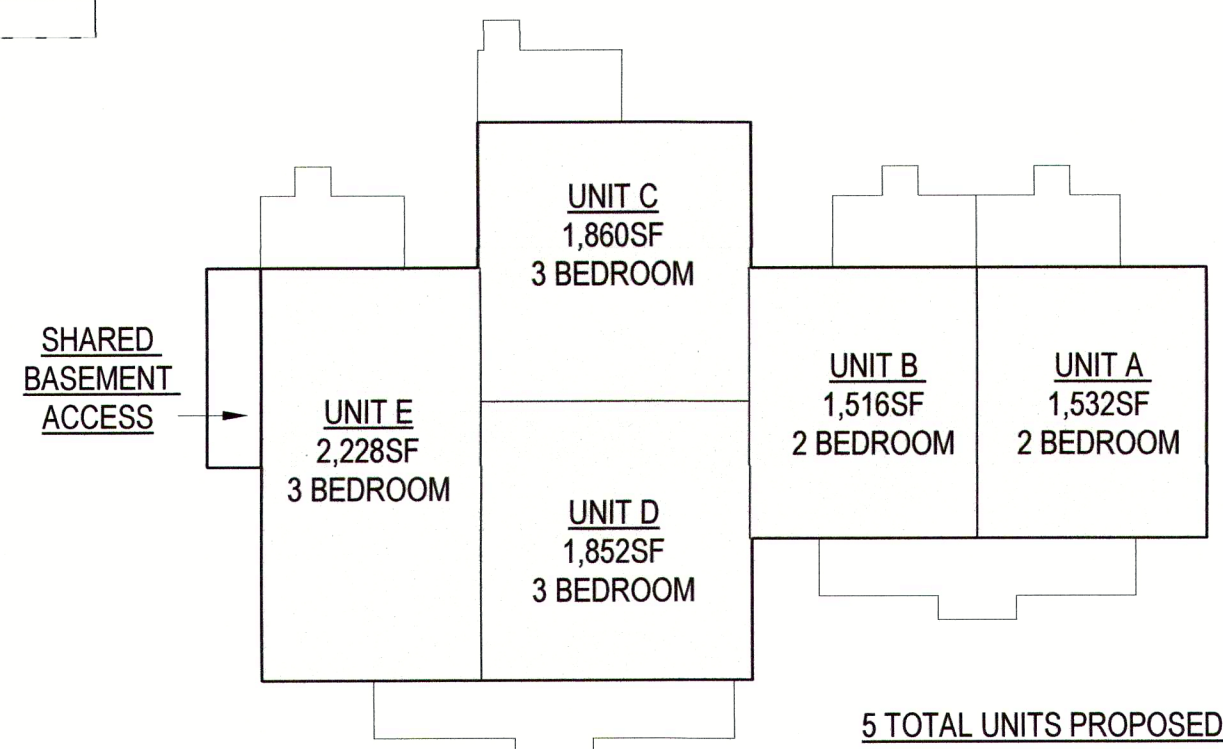
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1 SECOND FLOOR PLAN
1/4" = 1'-0"

2 UNIT KEYPLAN
3/64" = 1'-0"



5 TOTAL UNITS PROPOSED

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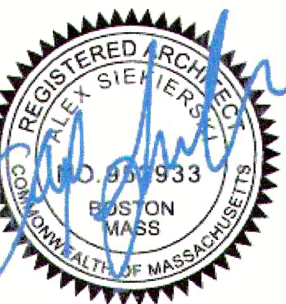
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For Zoning

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revision	revision description	date
1	PEDB R1	02/02/20
3	TT Comment Revisions	03/01/20

project title

CUTLER PLACE

6 CUTLER STREET, MEDWAY, MA
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client

ANTHONY VARRICHIONE

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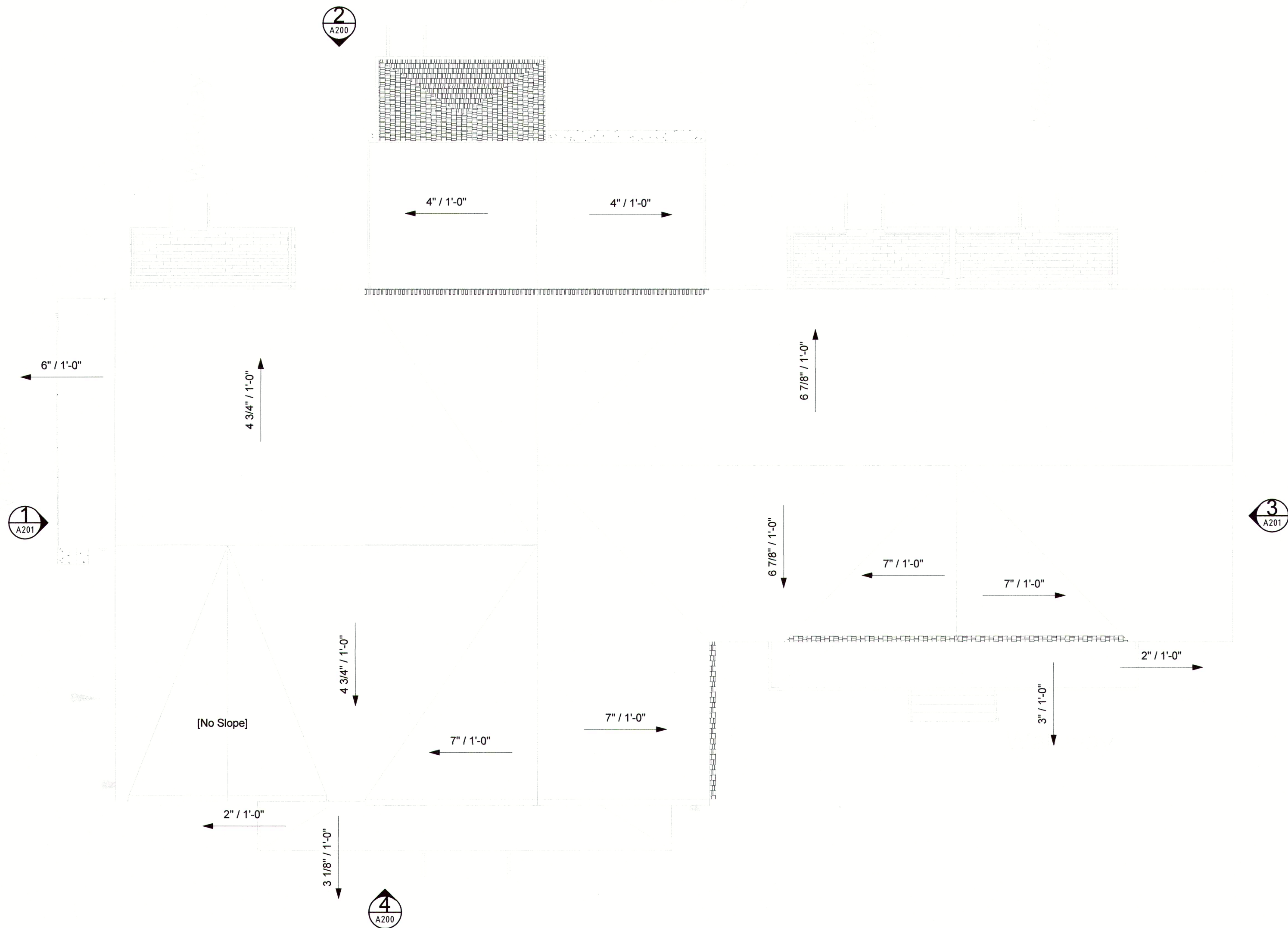
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drawing title

SECOND FLOOR PLAN

project number	drawing scale	approval
21.013	As indicated	Approved
drawing number	revision	date
A112	1	



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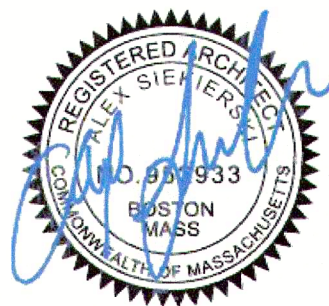
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revision	revision description	date
1	PEDB R1	02/02/2022
3	TT Comment Revisions	03/01/2022

project title
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6 CUTLER STREET, MEDWAY, MA
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drawing title
ROOF PLAN

project number	drawing scale	approver
21.013	1/8" = 1'-0"	Approver
drawing number	revision	

A113 1



② PROPOSED NORTH ELEVATION
3/16" = 1'-0"



④ PROPOSED SOUTH ELEVATION
3/16" = 1'-0"

ROOF
33' - 0"

SECOND FLOOR
11' - 7 3/8"

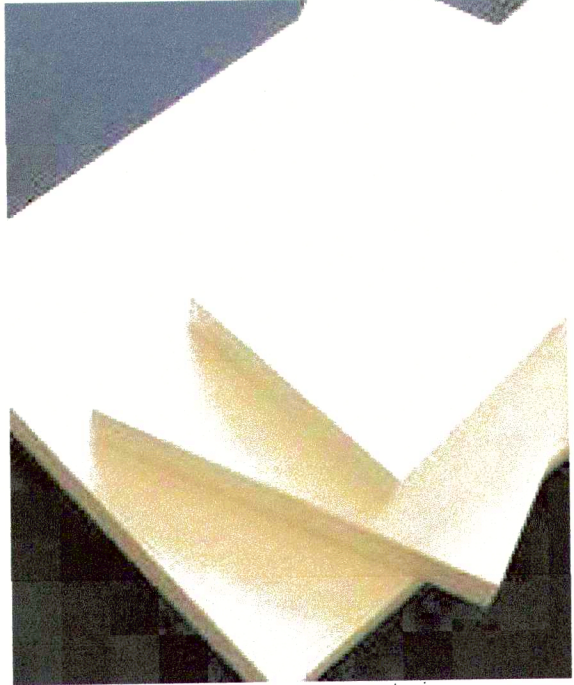
GROUND FLOOR
0' - 0"

GRADE
-3' - 6"

EXTERIOR MATERIALS



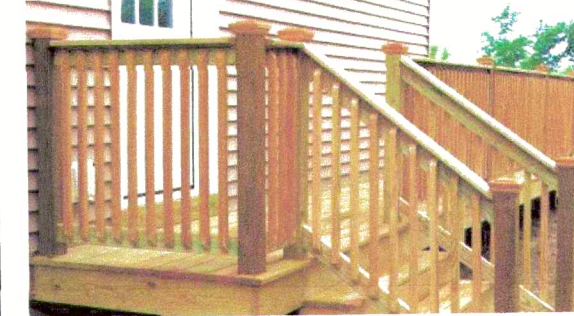
WM & S1 SITE & BUILDING LIGHTING



PVC TRIM (WHITE)



COMPOSITE SIDING CEDAR IMPRESSION (WHITE)



PRESSURE TREATED DECKING & RAILINGS

EXTERIOR INSPIRATION

the intent of the development is to mimic the architectural features of the 1882 school house and have the new addition to the building look as though it were always there



circa 1882 Pleasantville School - (American Legion Hall)



Medway School Class

EXTERIOR MAILBOX



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ECONOMIC DEVELOPMENT BOARD

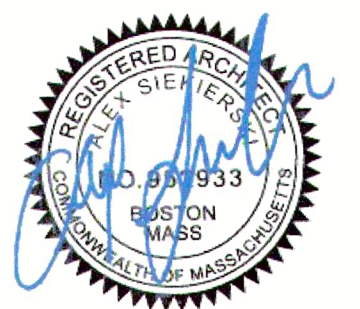
PLAN ENDORSEMENT 03/08/20

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3	TT Comment Revisions	03

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drawing title

EXTERIOR ELEVATION

project number 21.013 drawing scale As indicated

drawing number
A200



③ PROPOSED EAST ELEVATION
3/16" = 1'-0"

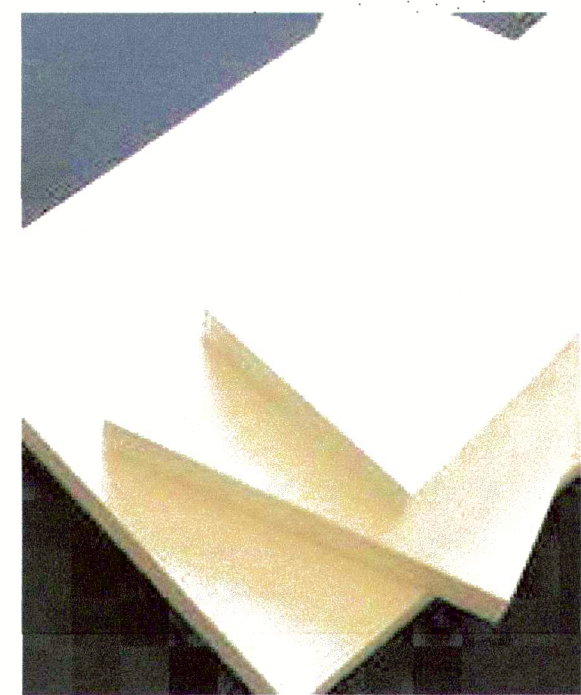


① PROPOSED WEST ELEVATION
3/16" = 1'-0"

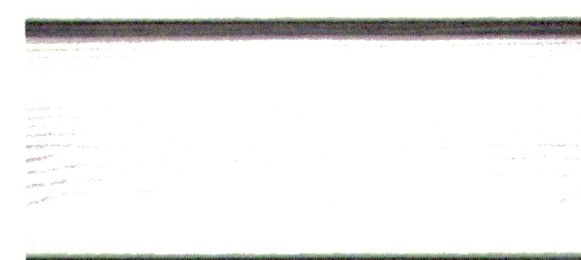
EXTERIOR MATERIALS



WM & S1 SITE & BUILDING LIGHTING



PVC TRIM (WHITE)



COMPOSITE SIDING CEDAR IMPRESSION (WHITE)



PRESSURE TREATED DECKING & RAILINGS

EXTERIOR INSPIRATION

the intent of the development is to mimic the architectural features of the 1882 school house and have the new addition to the building look as though it were always there



circa 1882 Pleasant School (American Legion Hall)



Medway School Class

EXTERIOR MAILBOX



[Signature]

APPROVED BY MEDWAY PLANNING AND
ECONOMIC DEVELOPMENT BOARD

PLAN ENDORSEMENT 03/08/2022

For Zoning

WARNING:
The Design Professional, all drawings and written material herein constitute the original and unpublished work of the architect, and the same may not be duplicated, used, or disclosed without the written consent of the architect. Contractors to use architectural drawings for set-out. Contractors to check and verify all dimensions on site prior to construction/fabrication. Figure Dimensions take precedence over scaled dimensions. Any discrepancies should be immediately referred to the Architect. The project manager shall be notified in writing of any discrepancies prior to proceeding with the work. The scale of drawings may change when copied or traced. All work to comply with I.B.C. Regulations and relevant American Standards. © 2021 - all rights reserved

contractor

stamp



revision	revision description	date
1	PEDB R1	02/02/2022
3	TT Comment Revisions	03/01/2022

project title

CUTLER PLACE

6 CUTLER STREET, MEDWAY, MA
02053

client

ANTHONY VARRICHIONE

249 VILLAGE STREET, MEDWAY, MA
02053

Alex Siekierski, RA
Architectural Consultant

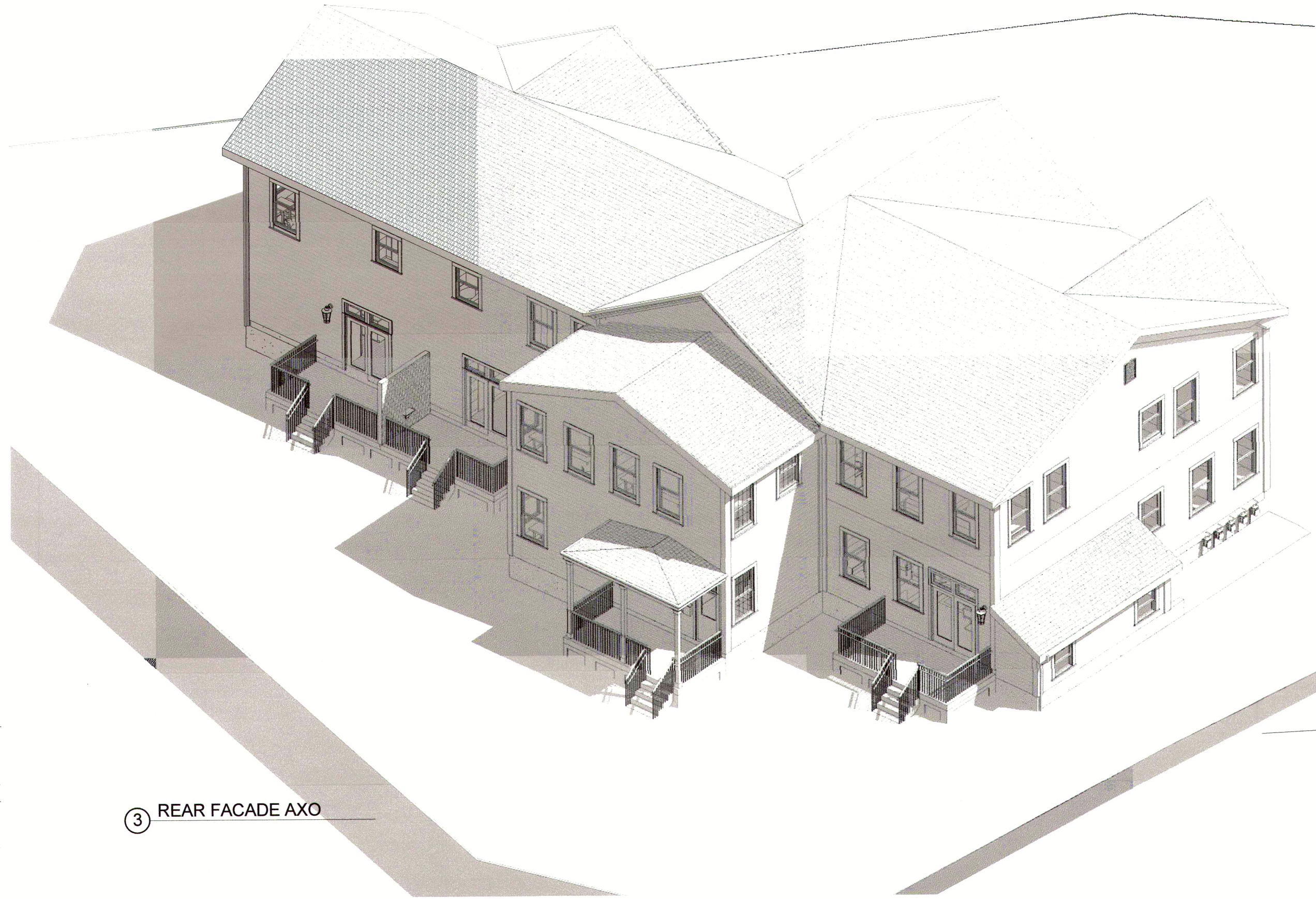
location

33 Lovering Street
Medway, MA 02053
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drawing title

EXTERIOR ELEVATIONS

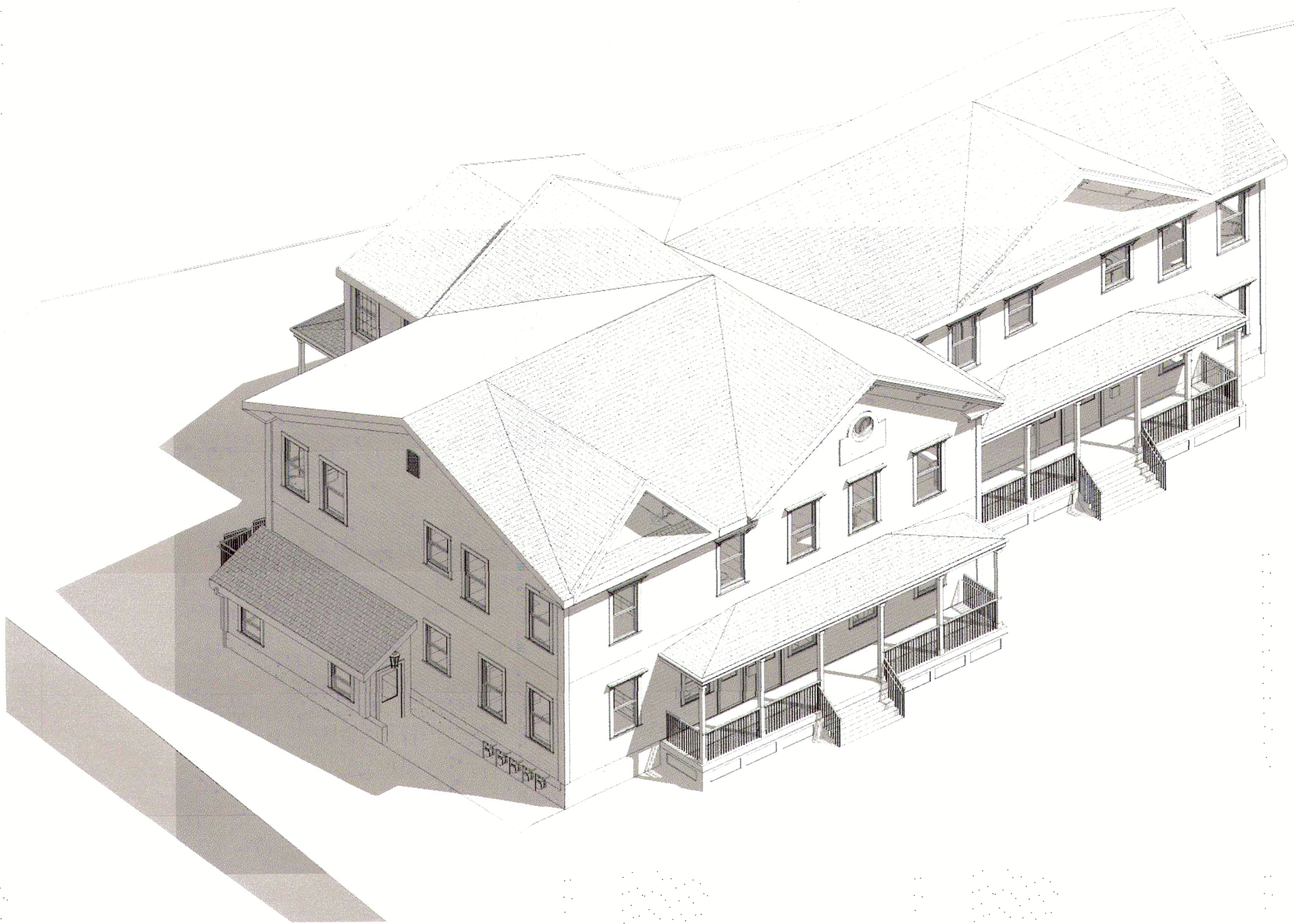
project number	drawing scale	approver
21.013	As indicated	Approval
drawing number	revision	
A201	1	



3 REAR FACADE AXO



1 FRONT PERSPECTIVE 1



4 FRONT FACADE AXO



2 FRONT PERSPECTIVE 2

[Signature]
03/08/2022

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ECONOMIC DEVELOPMENT BOARD

PLAN ENDORSEMENT 03/08/2022

For Zoning

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contractor

stamp



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1	PEDB R1	02/02/2022
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CUTLER PLACE

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drawing title

3D VIEWS

project number	drawing scale	approver
21.013		Approver

drawing number	revision
A910	1