



**July 12, 2022, 2022**

**Medway Planning & Economic Development Board  
Meeting**

**Cassidy Field Site Plan Endorsement**

- Revised Cassidy Field Site Plan dated July 11, 2022 b  
Tetra Tech

NOTE – DPW has asked that the Board endorse the Cassidy Field site plan. The revised plan is attached. The 20-day appeal period expired June 20, 2022. I will secure a Certificate of No Appeal from the Town Clerk's office before the meeting.



Medway Department of Public Works  
Cassidy Fields Parking Improvements  
Winthrop Street, Medway, MA

100 Nickerson Road  
Marlborough, MA 01752  
Phone: (508) 786-2200 Fax: (508) 786-2201



www.tetrattech.com

PROJECT LOCATION: Winthrop Street, Medway, MA 02053

CLIENT INFORMATION: Medway Department of Public Works  
45B Holliston Street,  
Medway, MA 02053

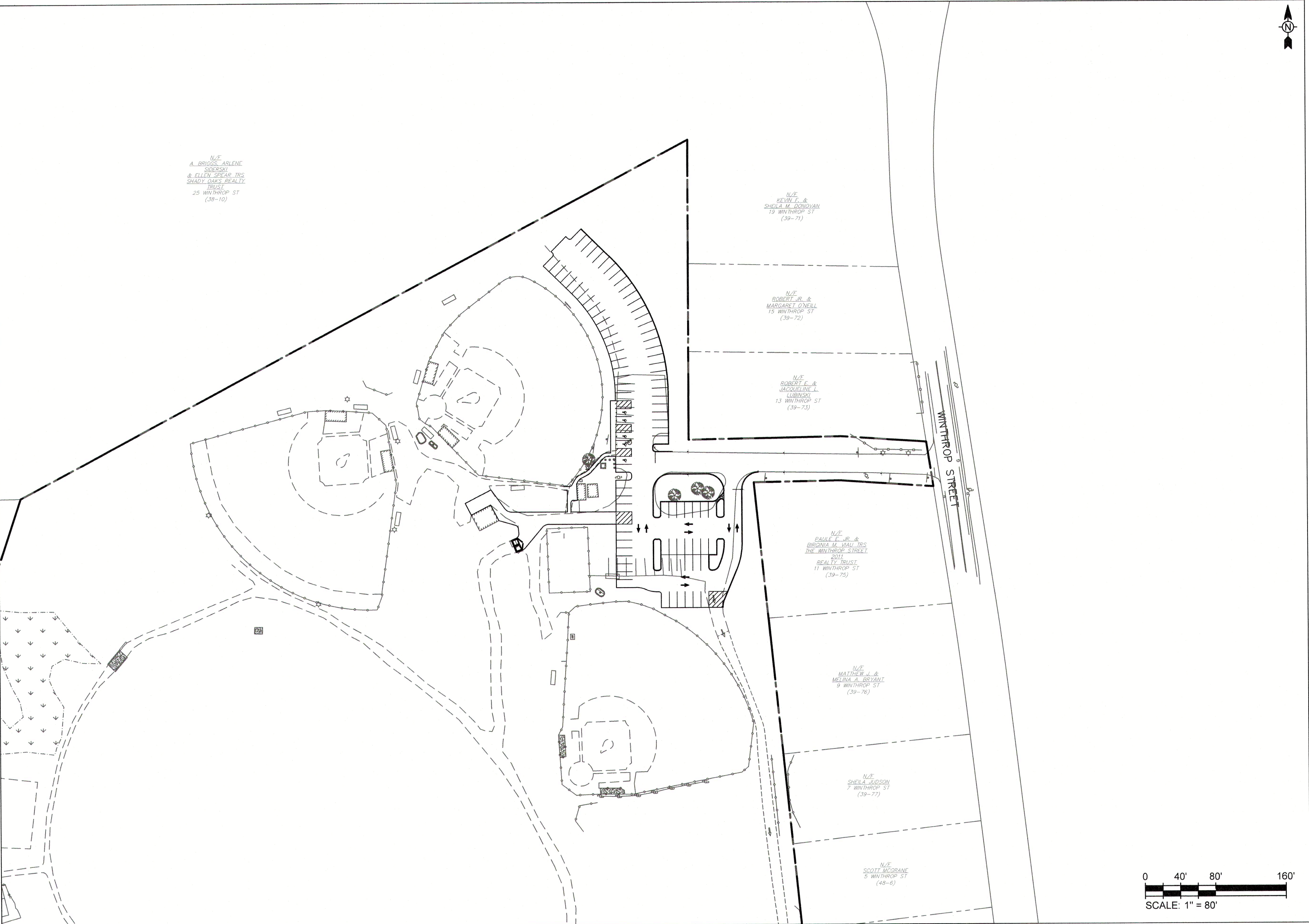
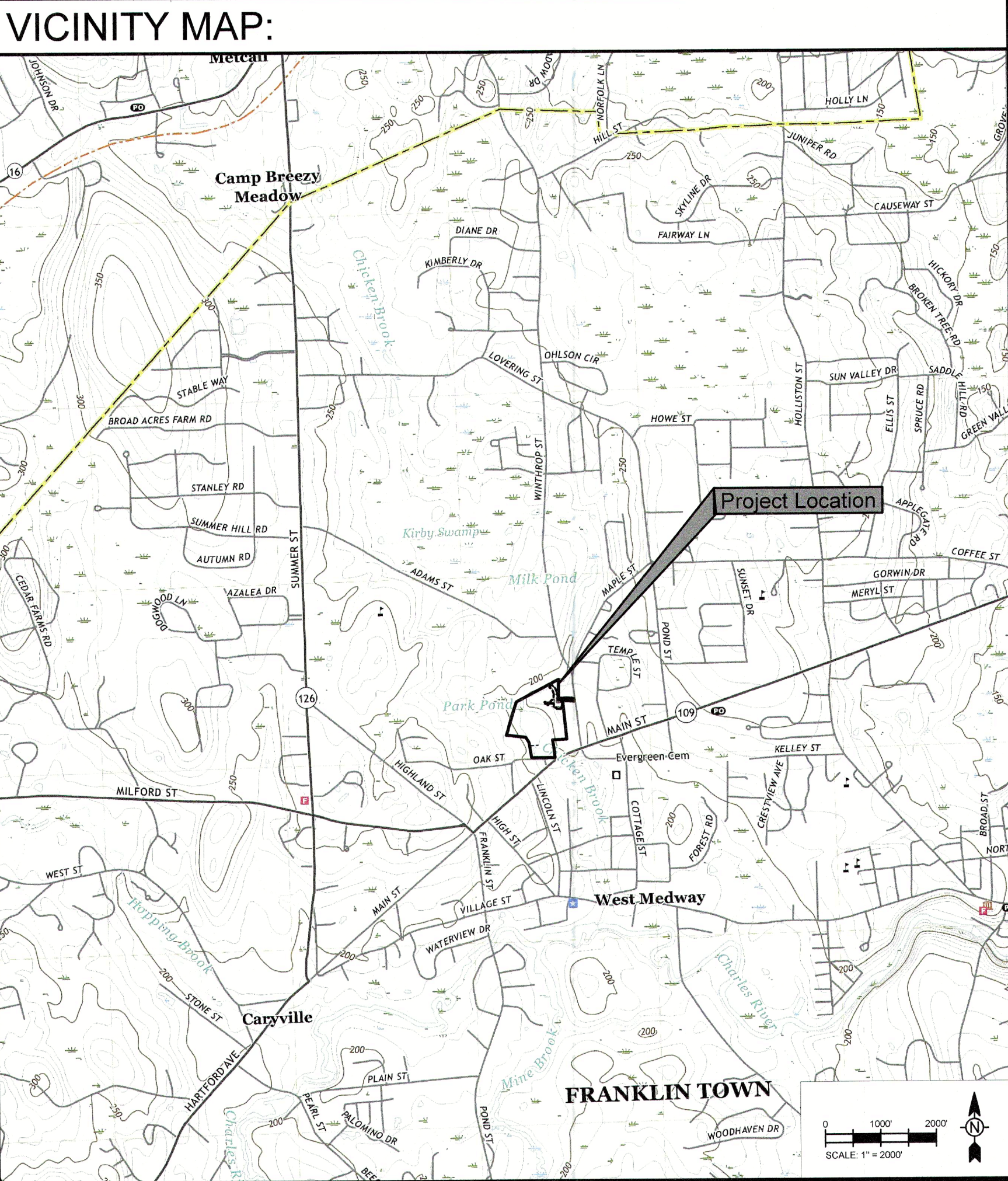
Tt PROJECT No.: 143-21583-21012

CLIENT PROJECT No.:

PROJECT DESCRIPTION / NOTES:  
Assessor's Map & Parcel number: 39-074; 39-078  
Zoning District: AR-1

ISSUED:  
APRIL 7, 2022: MINOR SITE PLAN  
JULY 11, 2022: REVISED PER PEDB COMMENTS

APPROVED WAIVERS:  
207-12.H.1: PERIMETER OF PARKING LOT BOUNDED BY CURB/BERM  
207-19.C.1: INTERMEDIARY LANDSCAPED ISLANDS



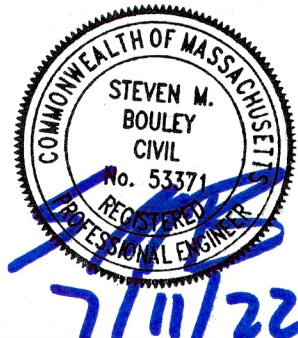
| ZONING SUMMARY TABLE    |                        |          |          |
|-------------------------|------------------------|----------|----------|
| ZONING DISTRICT: AR-1   |                        |          |          |
| DIMENSIONAL REGULATIONS | REQUIRED               | PROPOSED |          |
| MINIMUM LOT SIZE        | 44,000                 | 949,074  |          |
| MINIMUM FRONTAGE        | 180                    | 51       |          |
| MINIMUM SETBACKS        |                        |          |          |
| FRONT                   | 35                     | NA       |          |
| SIDE                    | 15                     | NA       |          |
| REAR                    | 15                     | NA       |          |
| MAXIMUM BUILDING HEIGHT | 35                     | NA       |          |
| COVER                   |                        |          |          |
| MAXIMUM LOT COVERAGE    | 25%                    | <25%     |          |
| MAXIMUM IMPERVIOUS      | 35%                    | <35%     |          |
| COVER                   |                        |          |          |
| MINIMUM OPEN SPACE      | NA                     | NA       |          |
| PARKING SUMMARY TABLE   |                        |          |          |
| SPACE TYPE              | TOWN REQUIREMENT       | REQUIRED | PROPOSED |
| STANDARD SPACES         | N/A                    | N/A      | 76       |
| ACCESSIBLE SPACES       | 1 / 25 STANDARD SPACES | 4        | 5        |
| ELECTRIC VEHICLE SPACES | 1 / 25 STANDARD SPACES | 4        | 12       |
| TOTAL SPACES            | N/A                    | N/A      | 93       |

| SHEET NO. | SHEET TITLE                             |
|-----------|-----------------------------------------|
| C-000     | COVER SHEET                             |
| C-001     | SITE CONTEXT SHEET                      |
| C-100     | EXISTING CONDITIONS AND DEMOLITION PLAN |
| C-101     | EROSION AND SEDIMENT CONTROL PLAN       |
| C-102     | LAYOUT AND MATERIALS PLAN               |
| C-103     | GRADING, DRAINAGE, AND UTILITIES PLAN   |
| C-201     | CONSTRUCTION DETAILS                    |
| C-202     | CONSTRUCTION DETAILS                    |
| C-203     | CONSTRUCTION DETAILS                    |
| L-100     | LANDSCAPE PLAN                          |
| EC-1      | EXISTING STAMPED SURVEY                 |

MEDWAY PLANNING AND ECONOMIC DEVELOPMENT BOARD

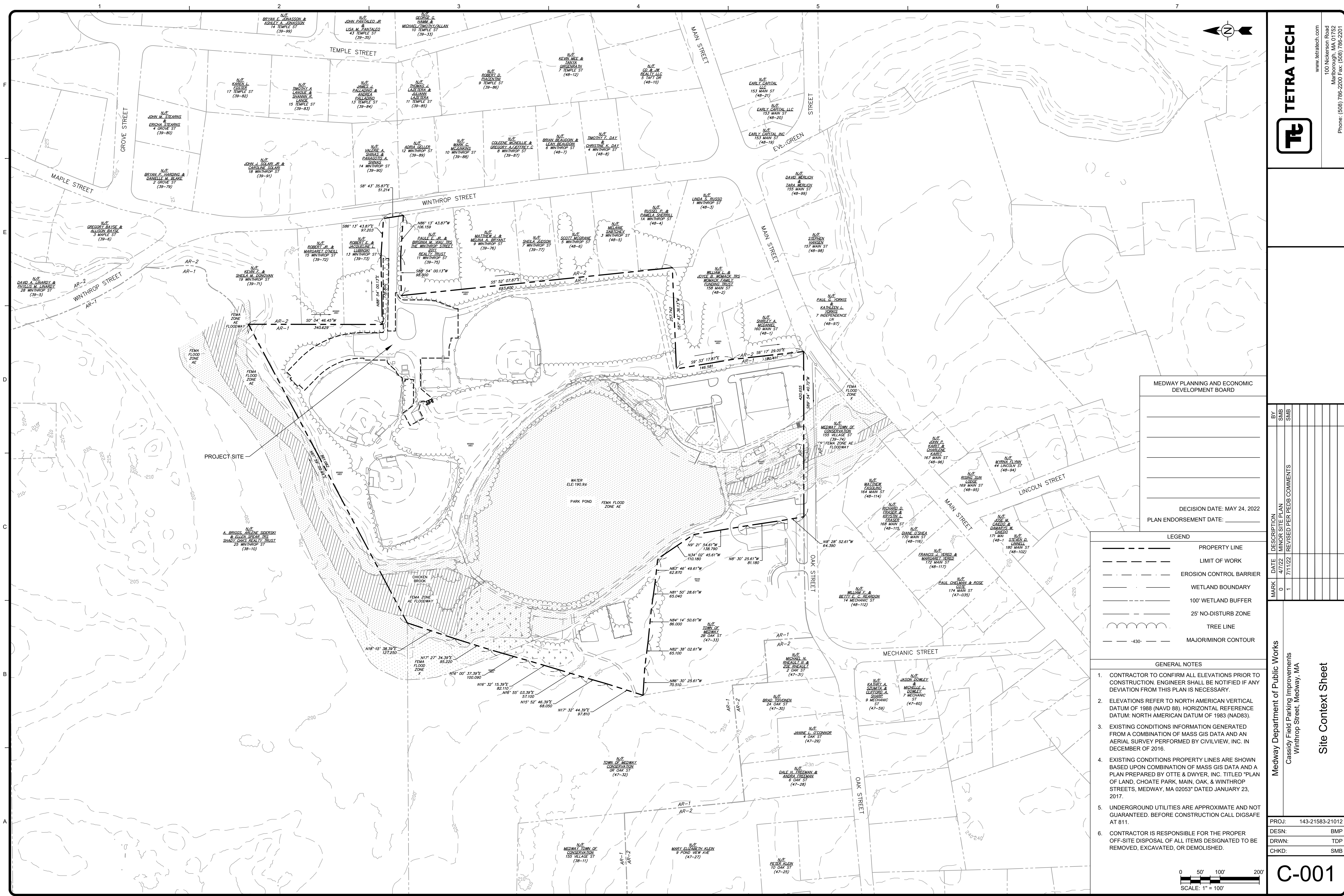
DECISION DATE: MAY 24, 2022

PLAN ENDORSEMENT DATE: \_\_\_\_\_





7/11/2022 2:02:54 PM - P:\21583\143-21583-21012 (DPW CASSIDY FIELD)\CADSHEET\FILES\MINOR SITE PLAN\C-001 CONTEXT SHEET.DWG - BOULEY, STEVEN

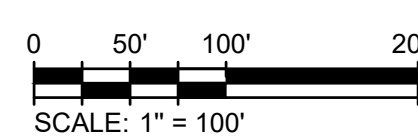


MEDWAY PLANNING AND ECONOMIC  
DEVELOPMENT BOARD

DECISION DATE: MAY 24, 2022  
PLAN ENDORSEMENT DATE: \_\_\_\_\_

| LEGEND |                         |  |  |
|--------|-------------------------|--|--|
| ---    | PROPERTY LINE           |  |  |
| ---    | LIMIT OF WORK           |  |  |
| ---    | EROSION CONTROL BARRIER |  |  |
| ---    | WETLAND BOUNDARY        |  |  |
| ---    | 100' WETLAND BUFFER     |  |  |
| ---    | 25' NO-DISTURB ZONE     |  |  |
| ---    | TREE LINE               |  |  |
| ---    | MAJOR/MINOR CONTOUR     |  |  |

- GENERAL NOTES
- CONTRACTOR TO CONFIRM ALL ELEVATIONS PRIOR TO CONSTRUCTION. ENGINEER SHALL BE NOTIFIED IF ANY DEVIATION FROM THIS PLAN IS NECESSARY.
  - ELEVATIONS REFER TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88). HORIZONTAL REFERENCE DATUM: NORTH AMERICAN DATUM OF 1983 (NAD83).
  - EXISTING CONDITIONS INFORMATION GENERATED FROM A COMBINATION OF MASS GIS DATA AND AN AERIAL SURVEY PERFORMED BY CIVILVIEW, INC. IN DECEMBER OF 2016.
  - EXISTING CONDITIONS PROPERTY LINES ARE SHOWN BASED UPON COMBINATION OF MASS GIS DATA AND A PLAN PREPARED BY OTTE & DWYER, INC. TITLED "PLAN OF LAND, CHOATE PARK, MAIN, OAK, & WINTHROP STREETS, MEDWAY, MA 02053" DATED JANUARY 23, 2017.
  - UNDERGROUND UTILITIES ARE APPROXIMATE AND NOT GUARANTEED. BEFORE CONSTRUCTION CALL DIGSAFE AT 811.
  - CONTRACTOR IS RESPONSIBLE FOR THE PROPER OFF-SITE DISPOSAL OF ALL ITEMS DESIGNATED TO BE REMOVED, EXCAVATED, OR DEMOLISHED.



www.tetrattech.com  
100 Nickerson Road  
Marlborough, MA 01752  
Phone: (508) 786-2200 Fax: (508) 786-2201

| BY          | SMB                       |
|-------------|---------------------------|
| DATE        | 4/7/22                    |
| DESCRIPTION | MINOR SITE PLAN           |
| MARK        | 0                         |
| DATE        | 7/11/22                   |
| DESCRIPTION | REVISED PER PEDB COMMENTS |
| MARK        | 1                         |

Medway Department of Public Works  
Cassidy Field Parking Improvements  
Winthrop Street, Medway, MA

Site Context Sheet

PROJ: 143-21583-21012  
DESN: BMP  
DRWN: TDP  
CHKD: SMB

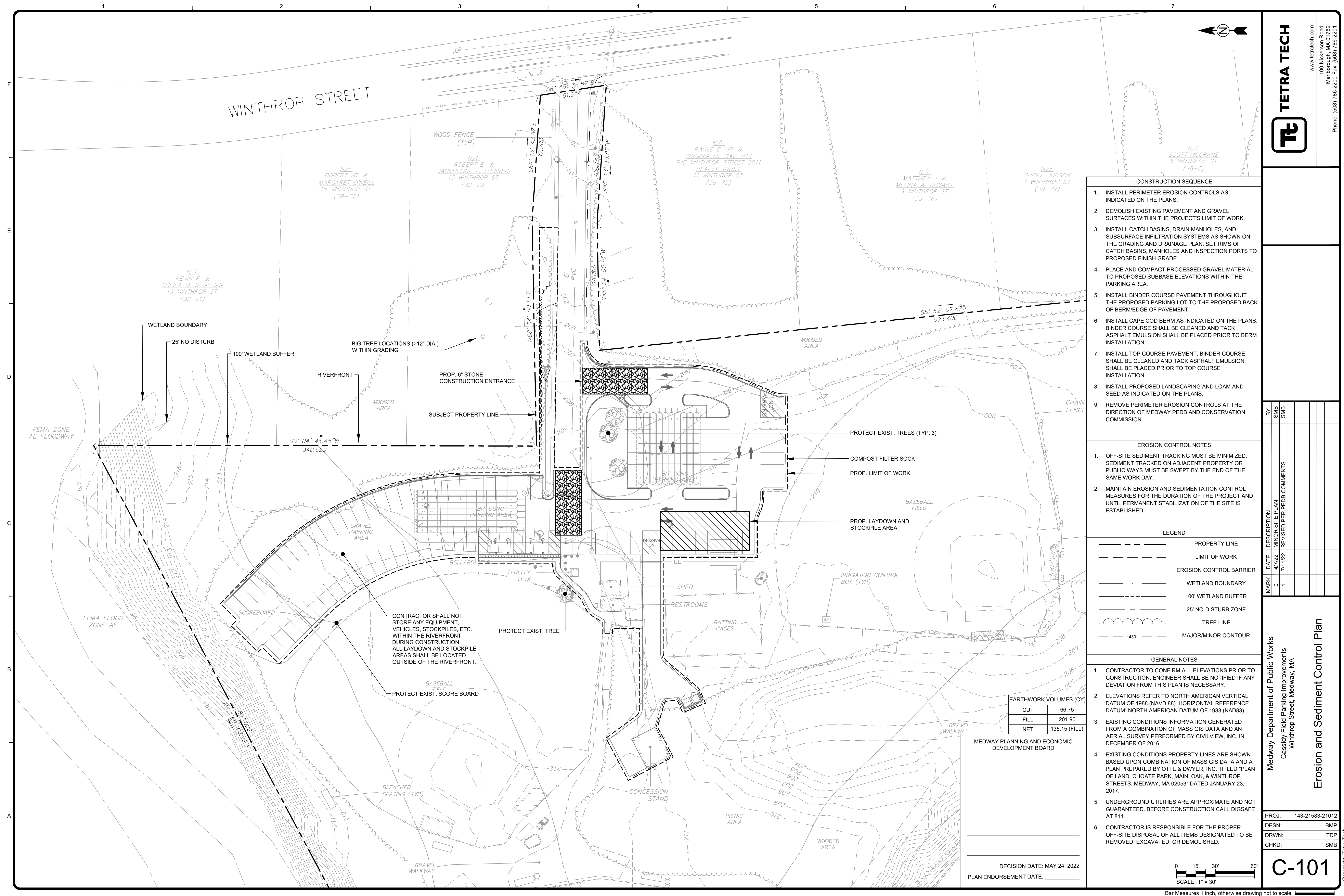
C-001

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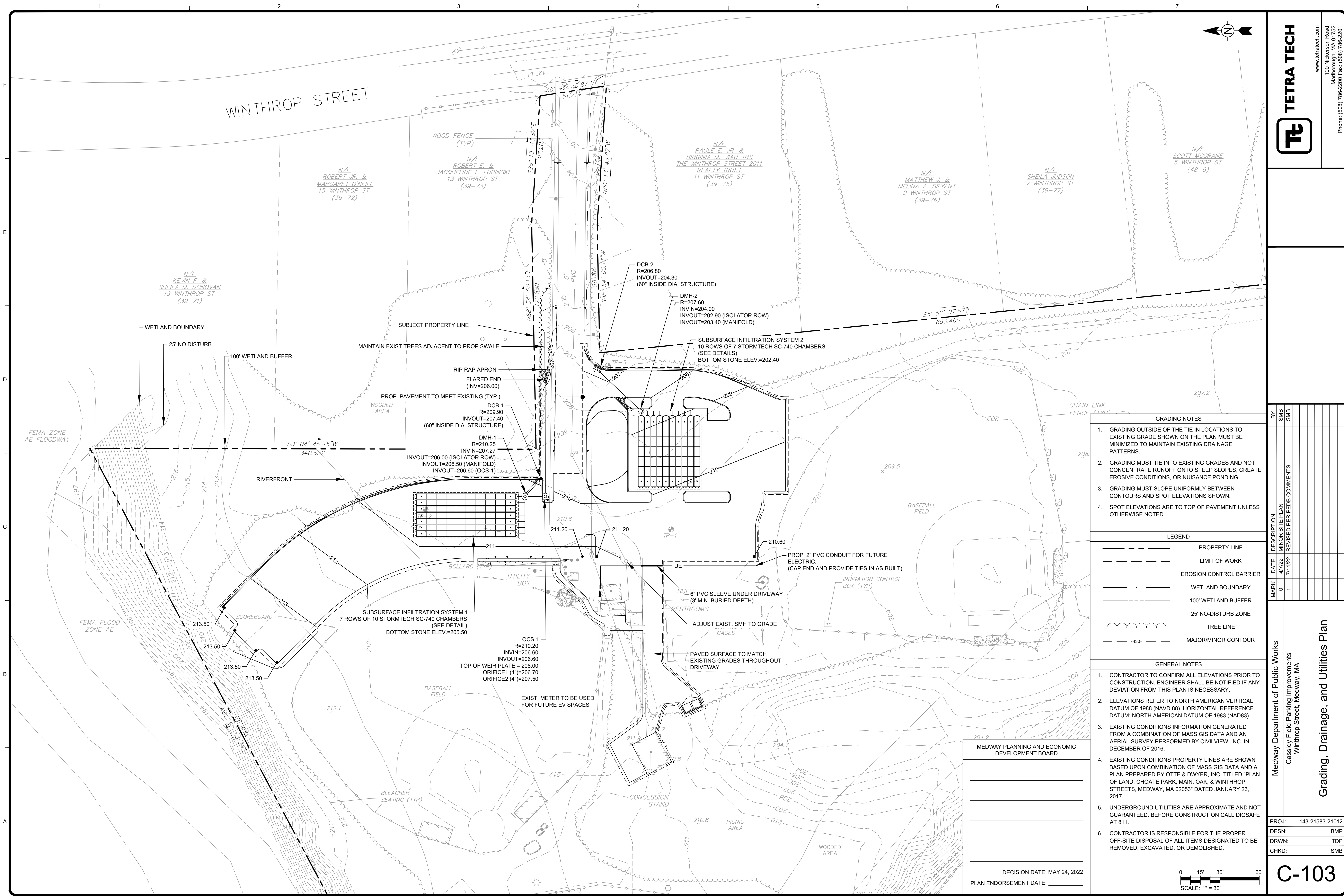








7/11/2022 3:20:54 PM - P:\21583\143-21583-21012 (DPW CASSIDY FIELD)\CAD\DWG\FILES\MINOR SITE PLAN\103 GRADING, DRAINAGE, UTILITIES.DWG - BOULEY, STEVEN



GRADING NOTES

- GRADING OUTSIDE OF THE TIE IN LOCATIONS TO EXISTING GRADE SHOWN ON THE PLAN MUST BE MINIMIZED TO MAINTAIN EXISTING DRAINAGE PATTERNS.
- GRADING MUST TIE INTO EXISTING GRADES AND NOT CONCENTRATE RUNOFF ONTO STEEP SLOPES, CREATE EROSION CONDITIONS, OR NUISANCE PONDING.
- GRADING MUST SLOPE UNIFORMLY BETWEEN CONTOURS AND SPOT ELEVATIONS SHOWN.
- SPOT ELEVATIONS ARE TO TOP OF PAVEMENT UNLESS OTHERWISE NOTED.

LEGEND

---

PROPERTY LINE

---

LIMIT OF WORK

---

EROSION CONTROL BARRIER

---

WETLAND BOUNDARY

---

100' WETLAND BUFFER

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25' NO-DISTURB ZONE

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TREE LINE

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MAJOR/MINOR CONTOUR

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PROJ: 143-21583-21012

DESN: BMP

DRWN: TDP

CHKD: SMB

DECISION DATE: MAY 24, 2022

PLAN ENDORSEMENT DATE: \_\_\_\_\_

0 15' 30' 60'

SCALE: 1" = 30'

Bar Measures 1 inch, otherwise drawing not to scale

BY: SMB

DATE: 4/7/22

MARK: 0

DESCRIPTION: MINOR SITE PLAN

REVIS: 7/11/22

COMMENTS: REVISED PER PEDB COMMENTS

Medway Department of Public Works

Cassidy Field Parking Improvements

Winthrop Street, Medway, MA

Grading, Drainage, and Utilities Plan

TETRA TECH

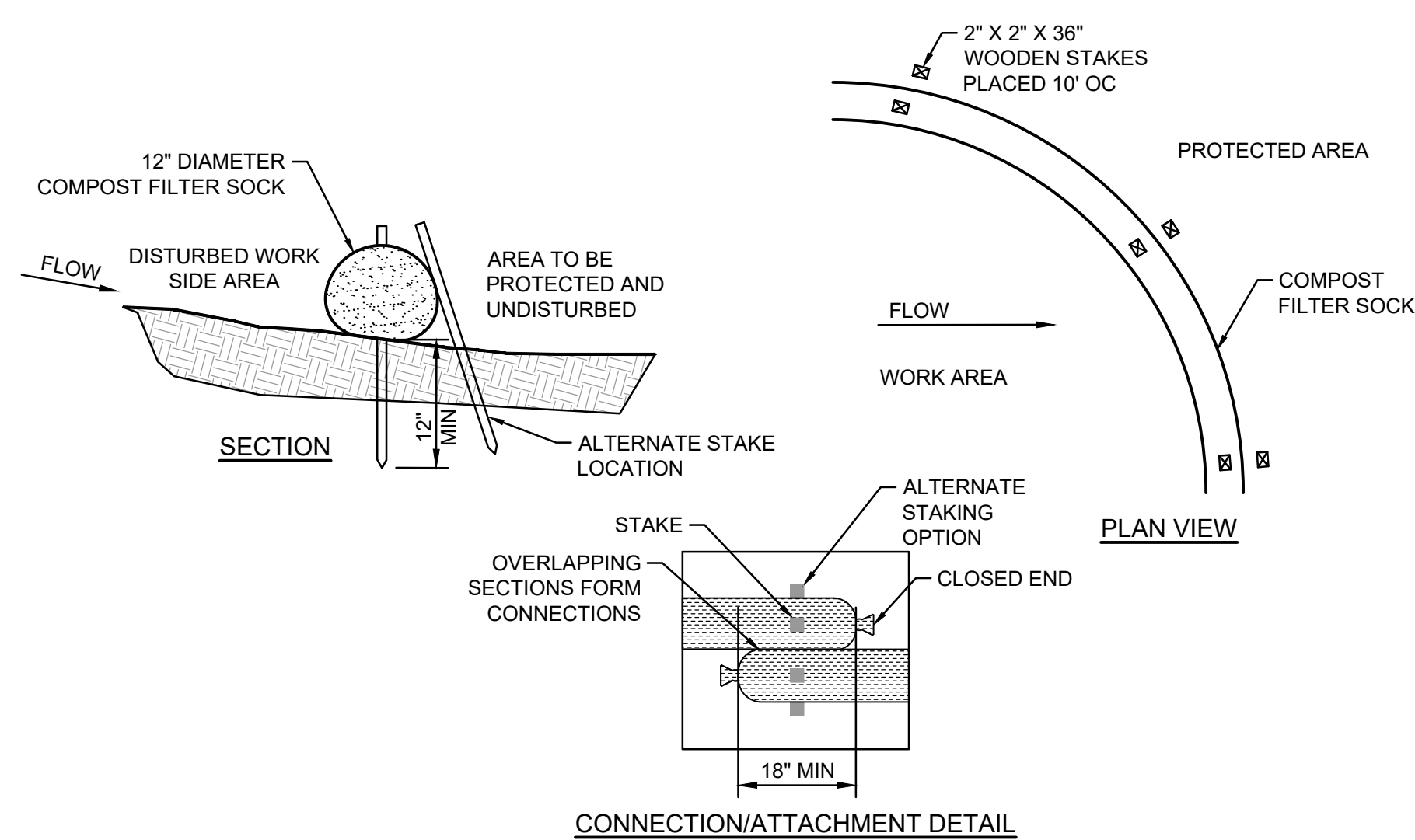
www.tetratech.com

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**NOTES:**

1. CONSTRUCTION SITE NOTICES MUST BE POSTED.
2. POSTING IS TO BE AT JOB SITE ENTRANCE WHERE IT WILL BE VISIBLE AND LEGIBLE FROM THE PUBLIC WAY.
3. POSTING IS REQUIRED FROM THE DAY CONSTRUCTION ACTIVITIES START UNTIL THE NOTICE OF TERMINATION (NOT) IS FILED.

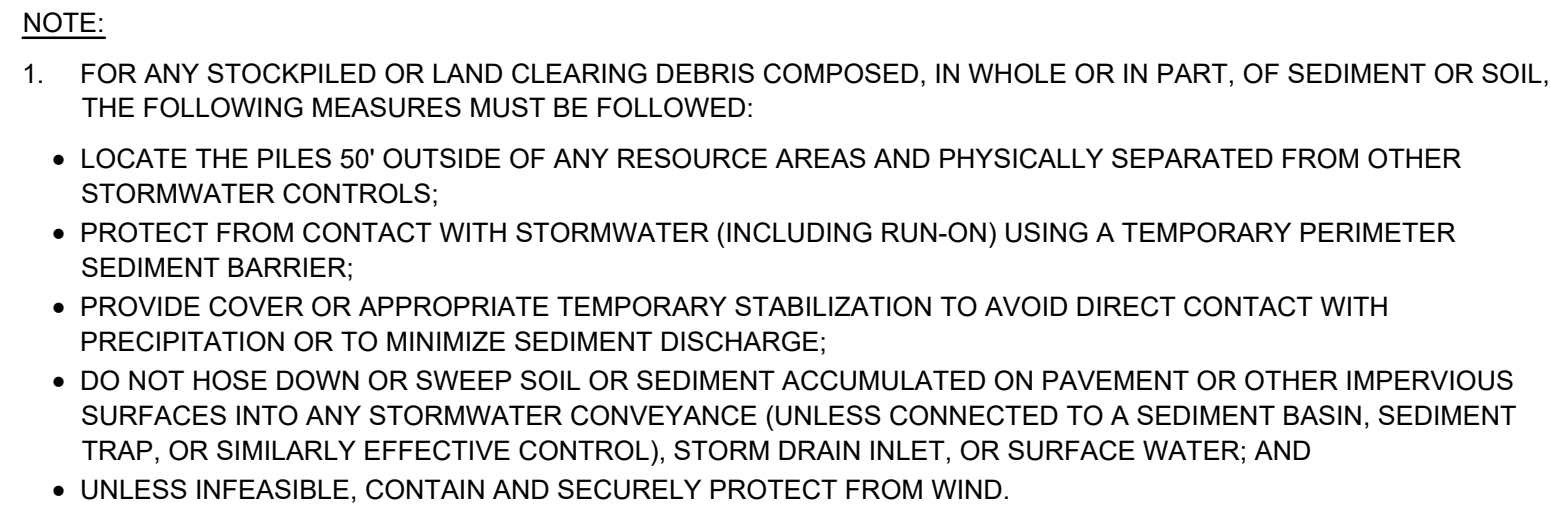
- PRACTICE: STABILIZED CONSTRUCTION EXIT POINTS.** IN ORDER TO MINIMIZE TRACK OUT FROM VEHICLES, STABILIZED CONSTRUCTION EXIT(S) MUST BE INSTALLED AT THE LOCATIONS WHERE VEHICLES WILL EXIT THE SITE. THE CONTRACTOR MUST RESTRICT VEHICLE USE TO THE PROPOSED DESIGN EXIT LOCATIONS. ADDITIONAL CONTROLS TO REMOVE SEDIMENT FROM TIRES MAY BE REQUIRED IF TRACKING OCCURS; SUCH METHODS MAY INCLUDE WHEEL WASH STATIONS, RUMBLE STRIPS OR RUMBLE PLATES. NO VISIBLE SIGNS OF SOIL TRACKING FROM VEHICLES SHOULD BE PRESENT ON PUBLIC ROADWAYS EXITING THE SITE.

INSTALLATION. THE STABILIZED CONSTRUCTION EXIT(S) WILL CONSIST OF AN 8 INCH LAYER OF THREE TO FIVE INCH (3"-5") STONE, PLACED OVER A LAYER OF GEOTEXTILE FABRIC (IN ORDER TO PROVIDE SEPARATION FROM THE UNDERLYING SOIL AND PREVENT THE STONE FROM BEING GROUND DOWN INTO THE SOIL). THE STABILIZED CONSTRUCTION EXIT MUST BE WIDE ENOUGH TO COVER THE ENTIRE WIDTH OF THE EXIT AND IT SHOULD BE FLARED WHERE IT MEETS THE ROADWAY TO ACCOMMODATE LONGER CONSTRUCTION VEHICLES. THE STABILIZED CONSTRUCTION EXIT MUST BE LONG ENOUGH TO ALLOW MUD AND SEDIMENT TO BECOME DISLODGED FROM VEHICLE TIRES, AND/OR A MINIMUM OF FIFTY FEET (50') IN LENGTH.

**MAINTENANCE:** DURING THE COURSE OF CONSTRUCTION THE STABILIZED CONSTRUCTION EXIT WILL BECOME FILLED WITH ACCUMULATED SEDIMENT AND/OR THE STONE WILL BECOME COMPACTED. THE CONTRACTOR MUST REPAIR THE EXIT AS NECESSARY BY REMOVING ACCUMULATED SEDIMENT, REPLACING THE STONE OR BACK-BLADING THE STONE TO REFRESH IT. IF TRACKING OF SEDIMENT OCCURS, THE CONTRACTOR MUST REMOVE DEPOSITED SEDIMENT BY COMPLYING WITH THE FOLLOWING REQUIREMENTS:

- WHERE TRACK-OUT OF SEDIMENT OCCURS FROM THE SITE ONTO OFF-SITE STREETS, SIDEWALKS, AND OTHER PAVED AREAS, DEPOSITS MUST BE SWEEPED, SHOVELED, OR VACUUMED TO REMOVE TRACK-OUT MATERIAL OR OTHER SEDIMENT DEPOSITS BY THE END OF THE SAME WORK DAY IN WHICH THE TRACK OUT IS DISCOVERED.
- HOSING OR SWEEPING TRACKED-OUT SEDIMENT INTO ANY STORMWATER CONVEYANCE, (UNLESS IT IS CONNECTED TO A SEDIMENT BASIN, SEDIMENT TRAP, OR SIMILARLY EFFECTIVE CONTROL), STORM DRAIN INLET, OR SURFACE WATER IS PROHIBITED.

NOT TO SCALE



NOT TO SCALE

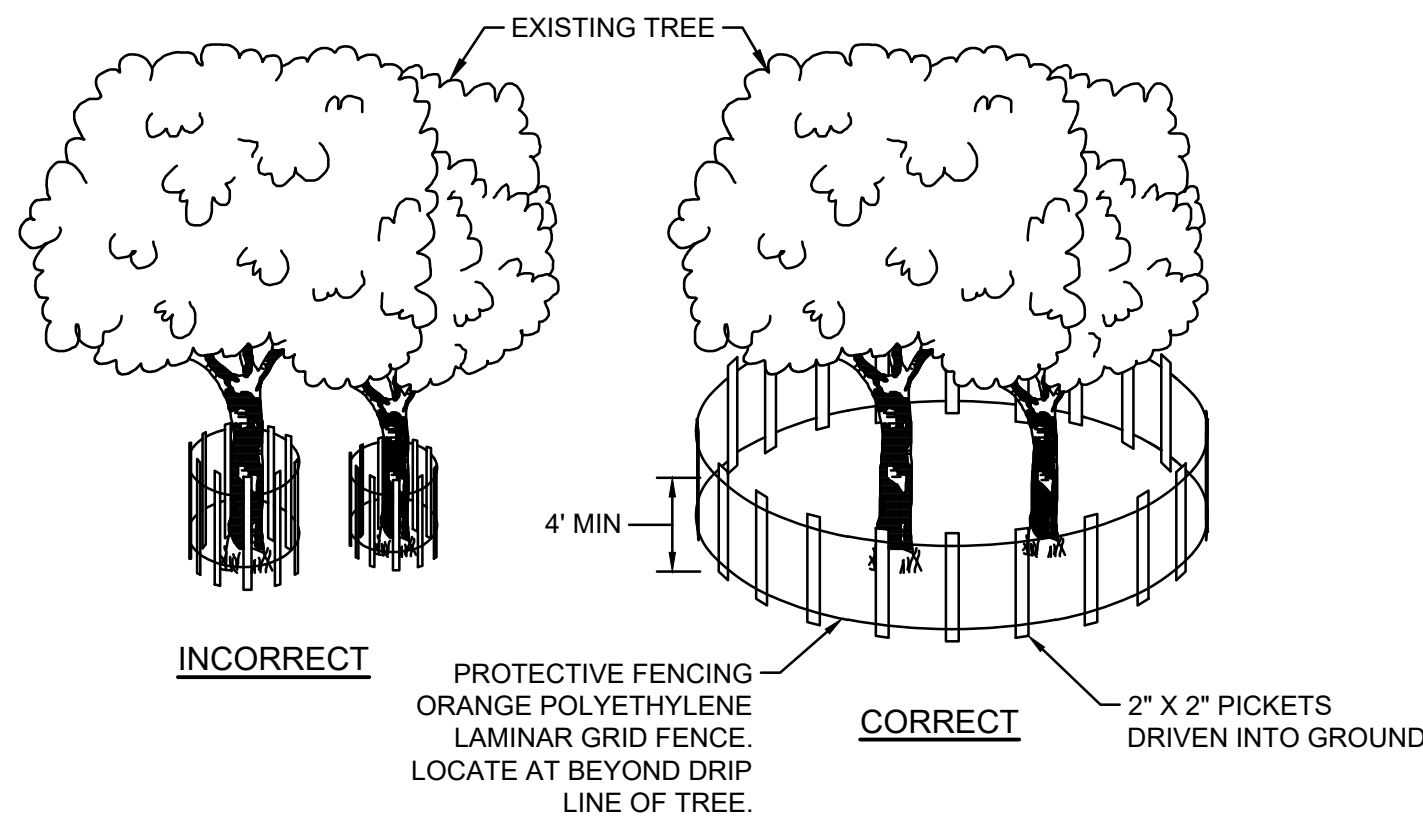
- NOTES:
1. PREFABRICATED COMPOST FILTER SOCK SHALL BE FILTREXX SOXX OR APPROVED EQUAL.
  2. MATERIAL FOR SOCKS SHALL CONSIST OF SANITIZED MATURE COMPOST, FREE OF VIABLE WEED SEEDS AND FOREIGN DEBRIS SUCH AS GLASS AND PLASTIC. COMPOST SHALL BE IN SHREDDED OR GRANULAR FORM AND FREE FROM HARD LUMPS. IN ADDITION, NO KILN-DRIED WOOD OR CONSTRUCTION DEBRIS SHALL BE ALLOWED. CONTRACTOR SHALL REFER TO MASSDOT SPECIFICATIONS M1.06.0 FOR MATERIAL SPECIFICATIONS.
  3. SOCK SHALL CONSIST OF JUTE MESH OR OTHER APPROVED BIODEGRADABLE MATERIAL.

**PRACTICE: COMPOST FILTER SOCK.** A COMPOST FILTER SOCK IS A TYPE OF CONTAINED COMPOST FILTER BERM CONSISTING OF A MESH TUBE FILLED WITH COMPOSTED MATERIAL THAT IS PLACED PERPENDICULAR TO SHEET-FLOW RUNOFF TO RETAIN SEDIMENT FROM DISTURBED AREAS. THE COMPOST FILTER SOCK ACTS AS A FILTER TO RETAIN SEDIMENT AND OTHER POLLUTANTS (E.G., SUSPENDED SOLIDS, NUTRIENTS) WHILE ALLOWING THE WATER TO FLOW THROUGH IT. COMPOST QUALITY MUST MEET AASHTO 2010 SPECIFICATIONS.

**INSTALLATION:** ONCE THE FILTER SOCK IS FILLED AND PUT IN PLACE, IT SHOULD BE ANCHORED TO THE SLOPE BY STAKES THROUGH THE CENTER OR OUTER EDGE OF THE SOCK AT REGULAR INTERVALS; ALTERNATIVELY, STAKES CAN BE PLACED ON THE DOWNSTREAM SIDE OF THE SOCK. THE ENDS OF THE FILTER SOCK SHOULD BE DIRECTED UPSLOPE, TO PREVENT STORMWATER FROM RUNNING AROUND THE END OF THE TUBE. THERE SHOULD BE NO GAPS BETWEEN SEGMENTS AND THE SOCK ENDS MUST OVERLAP A MINIMUM OF 6 INCHES.

**MAINTENANCE:** SOCKS MUST BE INSPECTED FOR SEDIMENT ACCUMULATION. IF THERE IS EXCESSIVE PONDING BEHIND THE FILTER SOCK OR ACCUMULATED SEDIMENT REACHES THE TOP OF THE SOCK, AN ADDITIONAL SOCK SHOULD BE ADDED ON TOP OR IN FRONT OF THE EXISTING FILTER SOCK IN THESE AREAS. AN ADEQUATE RESERVE OF SOCKS MUST BE KEPT ON SITE AT ALL TIMES FOR EMERGENCY AND/OR ROUTINE REPLACEMENT. SOCKS SHALL BE REMOVED ONLY AFTER EXPOSED SOILS IN THE CONTRIBUTING DRAINAGE AREA ACHIEVE FINAL STABILIZATION. SEDIMENT ACCUMULATION MUST BE REMOVED ONCE IT HAS REACHED ½ OF THE EXPOSED HEIGHT OF THE SOCK.

NOT TO SCALE



- NOTES: LINE OF TREE.

  1. TREE PROTECTION BARRIERS MUST BE PLACED AROUND TREES TO BE RETAINED WITHIN AN AREA WHERE LAND ALTERATION AND CONSTRUCTION ACTIVITIES WILL OCCUR.
  2. TREE PROTECTION BARRIER MUST REMAIN IN PLACE UNTIL GRADING AND CONSTRUCTION ACTIVITY IS COMPLETE OR UNTIL COMMENCEMENT OF FINISH GRADING AND SODDING.
  3. BARRIERS SHALL BE PLACED AROUND TREES AT THE DRIPLINE EXCEPT WHERE LAND ALTERATION OR CONSTRUCTION ACTIVITIES ARE APPROVED WITHIN THE DRIPLINE.
  4. THE DRIPLINE OF A TREE IS THE IMAGINARY VERTICAL LINE THAT EXTENDS DOWNWARD FROM THE OUTERMOST TIPS OF THE TREE'S BRANCHES TO THE GROUND.
  5. AREAS SURROUNDED BY THE TREE PROTECTION BARRIERS SHALL BE PROTECTED FROM VEGETATION REMOVAL, PLACEMENT OF SOIL, DEBRIS, SOLVENTS, CONSTRUCTION MATERIAL, MACHINERY OR OTHER EQUIPMENT OF ANY KIND.
  6. ALL TREE ROOTS WITHIN AREA TO BE GRADED AND ORIGINATING FROM A PROTECTED TREE SHALL BE SEVERED CLEANLY AT THE LIMITS OF THE PROTECTED AREA.
  7. ALL TREE PRUNING AND TRIMMING ON ANY TREE TO BE RETAINED SHALL BE PERFORMED BY AN ARBORIST CERTIFIED BY THE AMERICAN SOCIETY OF ARBORICULTURE (ASA).
  8. 2'x2' TREE PROTECTION SIGNS SPACED A MINIMUM OF ONE SIGN EVERY 300' SHALL CONTAIN THE WORDING "TREE PROTECTION ZONE - KEEP OUT".

NOT TO SCALE

## SEEDING

| SEEDING RATES   |               |          |                                        |
|-----------------|---------------|----------|----------------------------------------|
| SPECIES         | LBS/1000 S.F. | LBS/ACRE | RECOMMENDED SEEDING DATES              |
| ANNUAL RYEGRASS | 1             | 40       | APRIL 1 TO JUNE 1<br>AUG 1 TO SEPT 15  |
| FOXTAIL MILLET  | 0.7           | 30       | MAY 1 TO JUNE 30                       |
| OATS            | 2             | 80       | APRIL 1 TO JULY 1<br>AUG 15 TO SEPT 15 |
| WINTER RYE      | 3             | 120      | AUG 15 TO OCT 15                       |

## MULCHING

**MULCH APPLICATION RATES:**  
HAY OR STRAW MULCH SHALL BE AIR-DRIED, FREE OF UNDESIRABLE SEEDS AND COARSE MATERIALS. APPLICATION RATE SHOULD BE 2 BALES (70-90 LBS) PER 1,000 SQUARE FEET OR 1.5 TONS PER ACRE. NO BARE SPOTS SHOWING AND SHALL ONLY BE APPLIED TO SLOPES 3:1 OR FLATTER. ANCHORING METHODS INCLUDING NETTING WITH JUTE, WOOD FIBER OR PLASTIC; OR STAKING SHALL BE USED TO HOLD MULCH IN PLACE AND DOWN THE SLOPE SO CREEKS ARE PARALLEL TO THE CONTOURS. FOR OVERWINTER APPLICATION, THE RATE SHALL BE 150 LBS PER 1,000 SQUARE FEET OR 3 TONS/ACRE. MULCH SHALL NOT BE SPREAD ON TOP OF SNOW; SNOW MUST BE REMOVED DOWN TO A ONE-INCH DEPTH OR LESS PRIOR TO APPLICATION.

**PRACTICE MULCHING:** MULCHING IS AN EROSION CONTROL PRACTICE THAT INVOLVES USING MATERIALS SUCH AS STRAW MULCH DERIVED FROM WHEAT, RICE OR BARLEY OR WOOD MULCH CONSISTING OF SHREDDED OR CHIPPED WOOD, BARK OR COMPOST. MULCHING IS HIGHLY EFFECTIVE, AND WHEN APPLIED CORRECTLY PROVIDES A LEVEL OF PROTECTION COMPARABLE TO DENSE VEGETATIVE COVER. MULCH IS ALSO VERY BENEFICIAL FOR RECENTLY PLANTED AREAS HOLDING SEEDS, FERTILIZERS, AND TOPSOIL IN PLACE, RETAINING MOISTURE, AND INSULATING PLANT ROOTS AGAINST EXTREME TEMPERATURES.

INSTALLATION: MULCH MUST BE APPLIED UNIFORMLY TO THE SOIL AND PROPERLY ANCHORED (USING STUDDER ROLLERS, TACKIFIERS OR AN ANCHORING TOOL). MULCH SHOULD NOT BE APPLIED ON SLOPES STEEPER THAN 3:1 AND SHOULD NOT BE USED IN AREAS OF CONCENTRATED FLOWS. AREA SHOULD BE ROUGHENED OR TRACKED PRIOR TO APPLICATION. AVOID APPLYING MULCH DURING OR IMMEDIATELY BEFORE RAINFALL. THERE SHOULD BE NO BARE SPOTS SHOWING EXPOSED SOILS.

\*\* HYDRAULICALLY APPLIED MULCHES SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.

**MAINTENANCE:** MULCH SHALL BE REAPPLIED TO ANY BARE SPOTS. MAINTAIN AN UNBROKEN GROUND COVER AND REPAIR ANY DAMAGED GROUND COVER AND RE-MULCH EXPOSED AREAS. INSPECT AFTER EACH RAINFALL EVENT TO MAKE SURE THE MULCH IS NOT DISLODGED OR CAUSING EROSION.

## TEMPORARY STABILIZATION MULCHING & SEEDING

MEDWAY PLANNING AND ECONOMIC  
DEVELOPMENT BOARD

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DECISION DATE: MAY 24, 2022

PLAN ENDORSEMENT DATE: \_\_\_\_\_



100 Nickerson Road  
Marlborough, MA 01752  
Phone: (508) 786-2200 Fax: (508) 786-2201  
www.tetrattech.com

| MARK | DATE    | DESCRIPTION               | BY  |
|------|---------|---------------------------|-----|
| 0    | 4/7/22  | MINOR SITE PLAN           | SMB |
| 1    | 7/11/22 | REVISED PER PEDB COMMENTS | SMB |
|      |         |                           |     |
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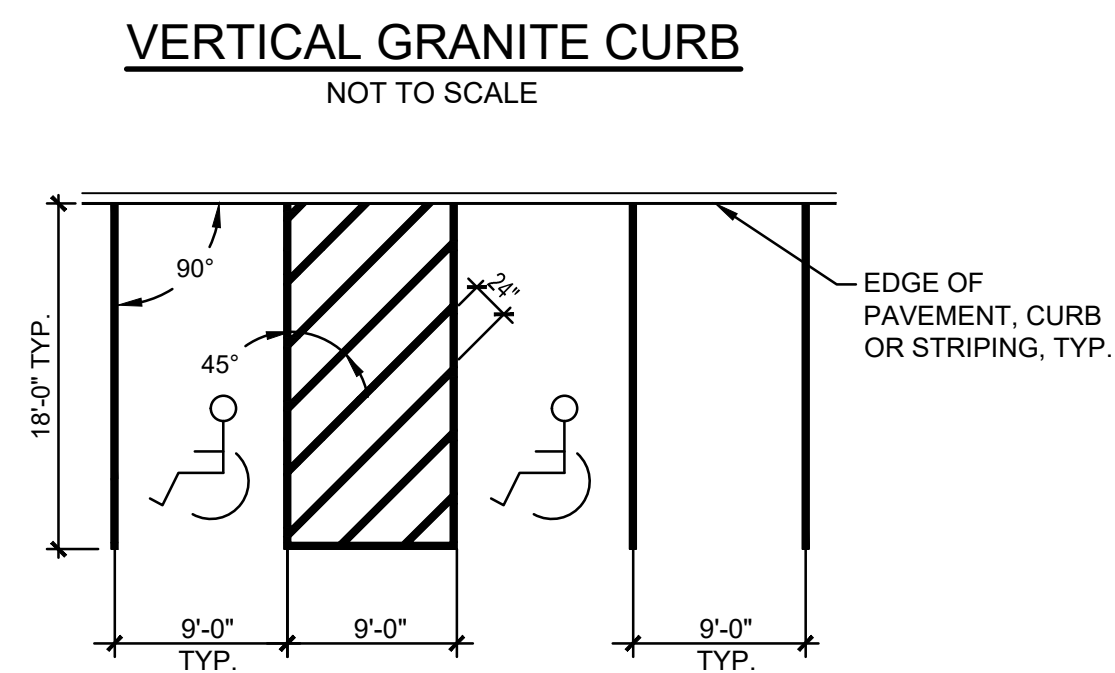
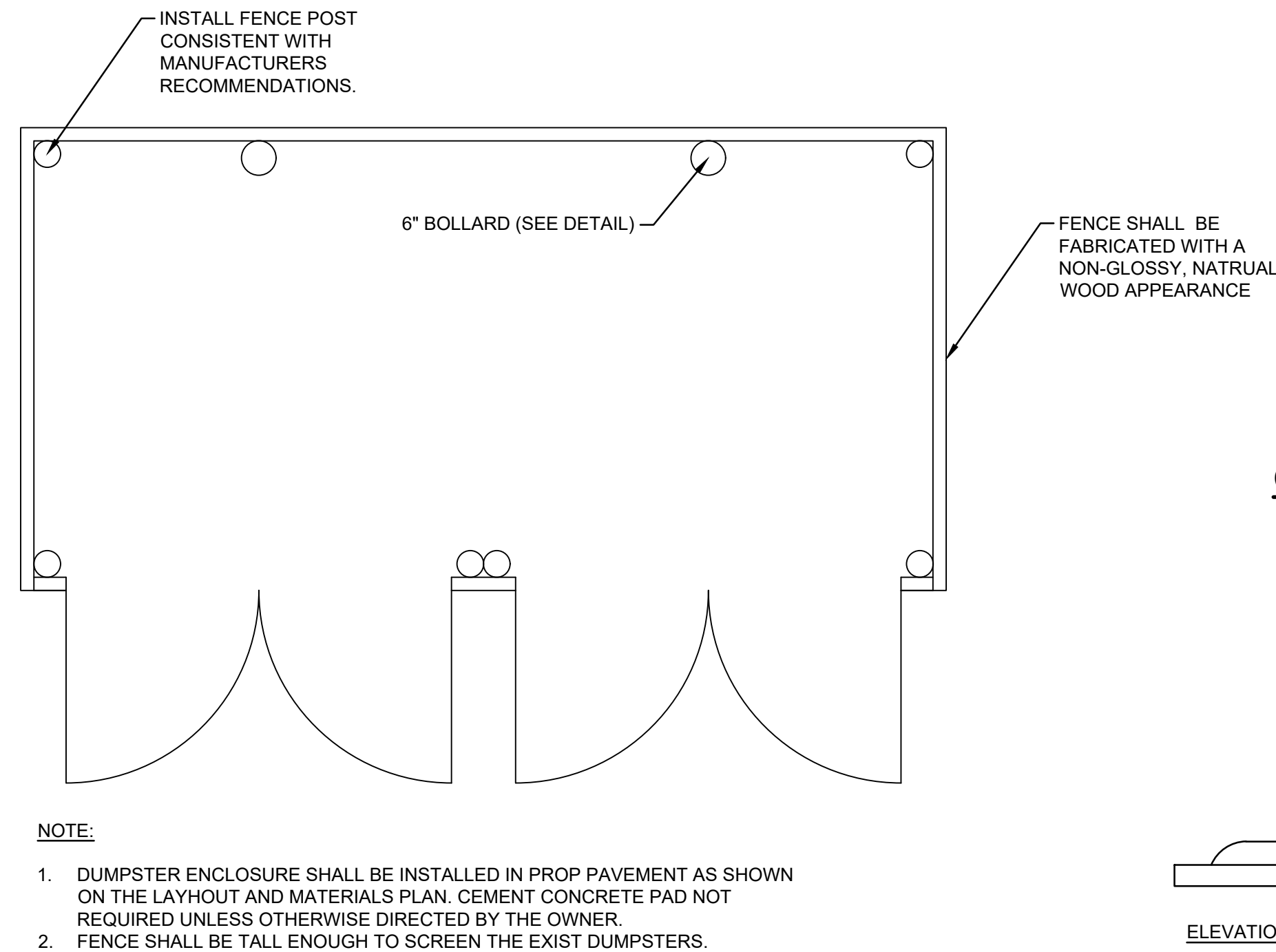
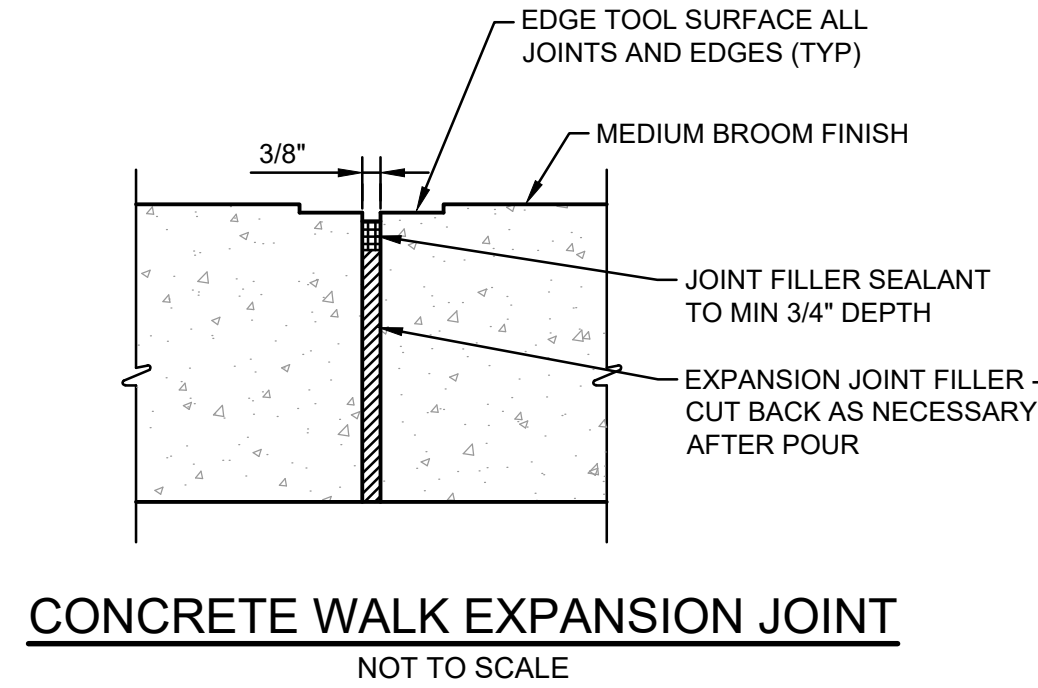
Medway Department of Public Works  
Cassidy Field Parking Improvements  
Winthrop Street, Medway, MA

## Construction Details

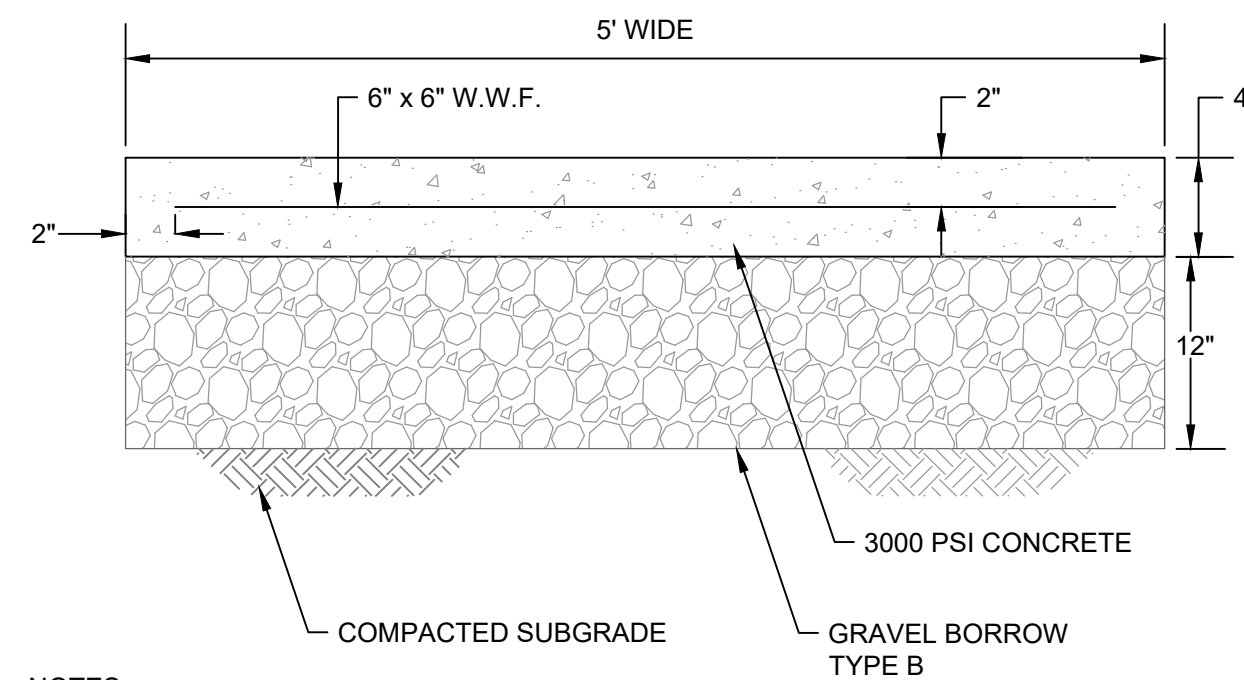
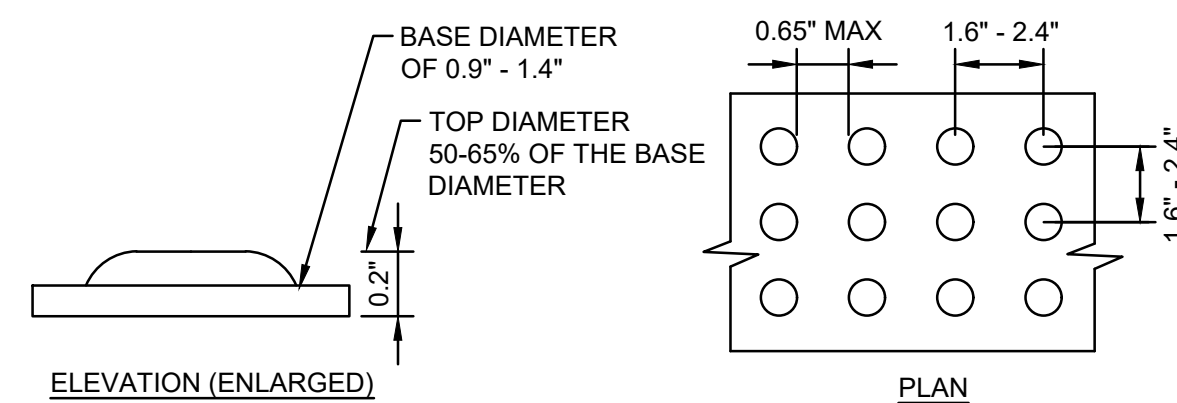
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| DESN: | BMP             |
| DRWN: | BMP             |
| CHKD: | SMB             |

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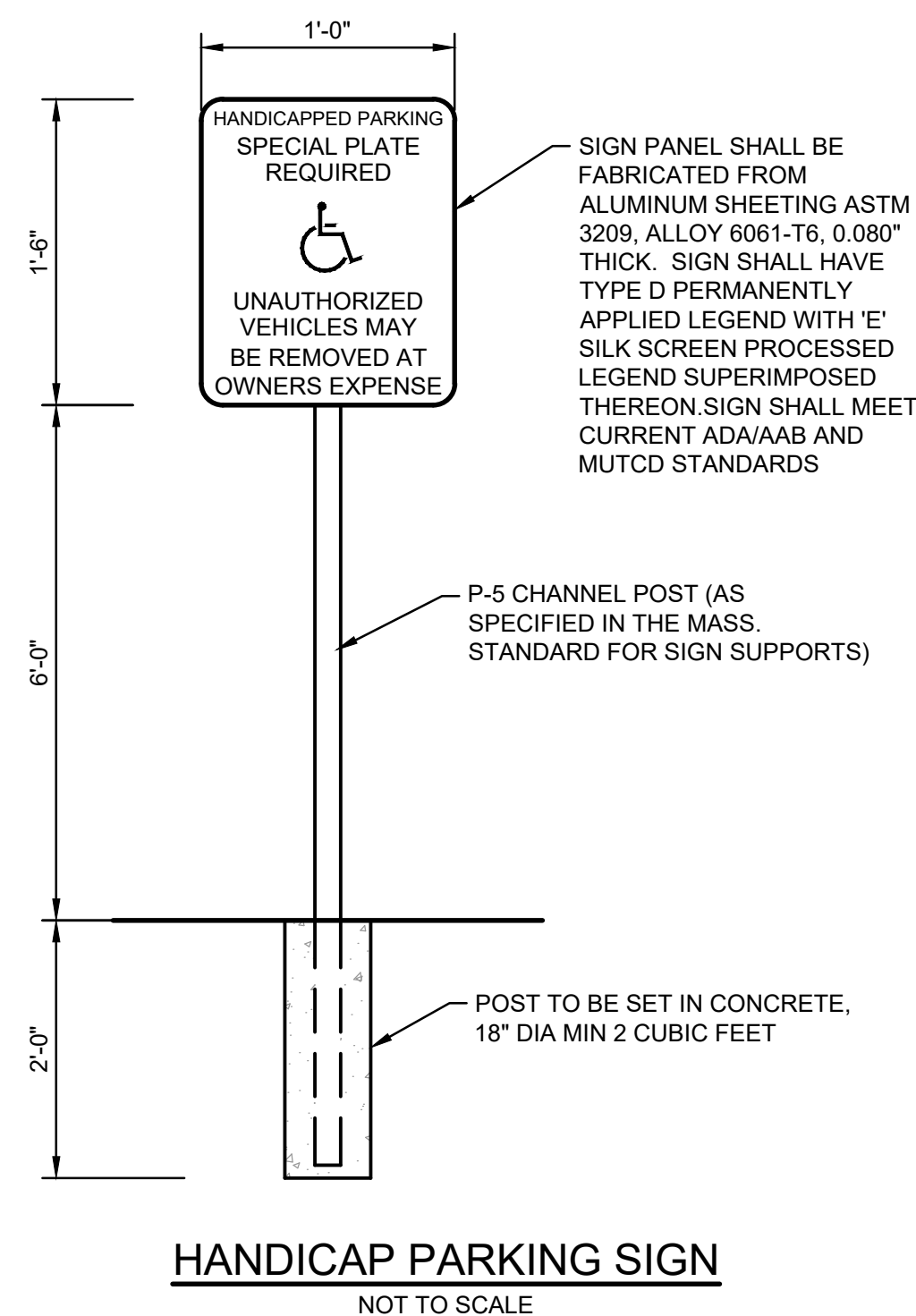


NOTES:  
1. LINE WIDTHS SHALL BE 4" UNLESS OTHERWISE INDICATED.



**NOTES:**

1. CONSTRUCTION JOINTS ARE TO BE AT 5' INTERVALS.
2. EXPANSION JOINTS TO BE INSTALLED AT 30' INTERVALS. INSTALL EXPANSION JOINTS AT LOCATIONS WHERE CONCRETE MEETS PAVEMENT, STEPS, WALLS, OR CURB.



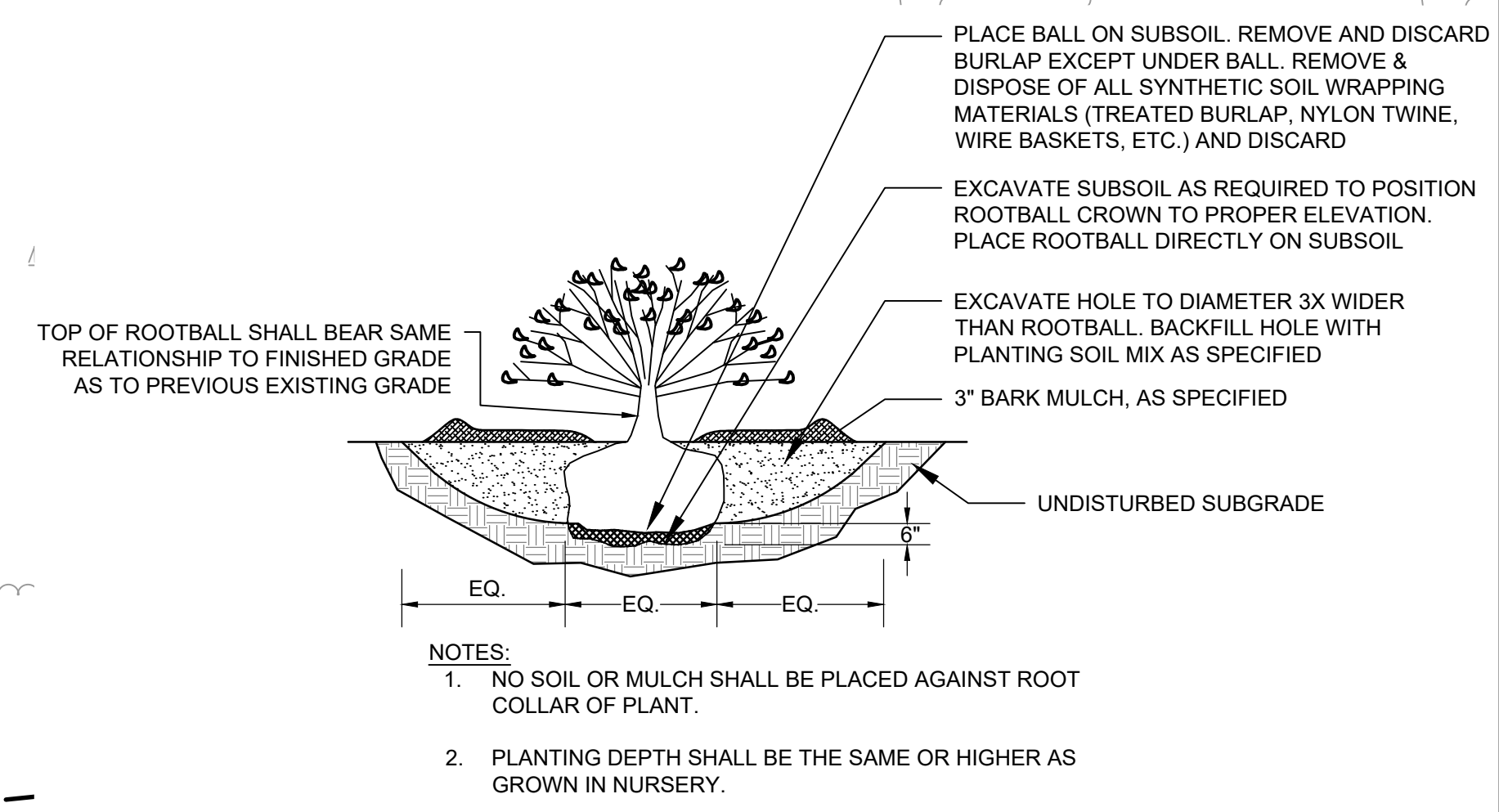
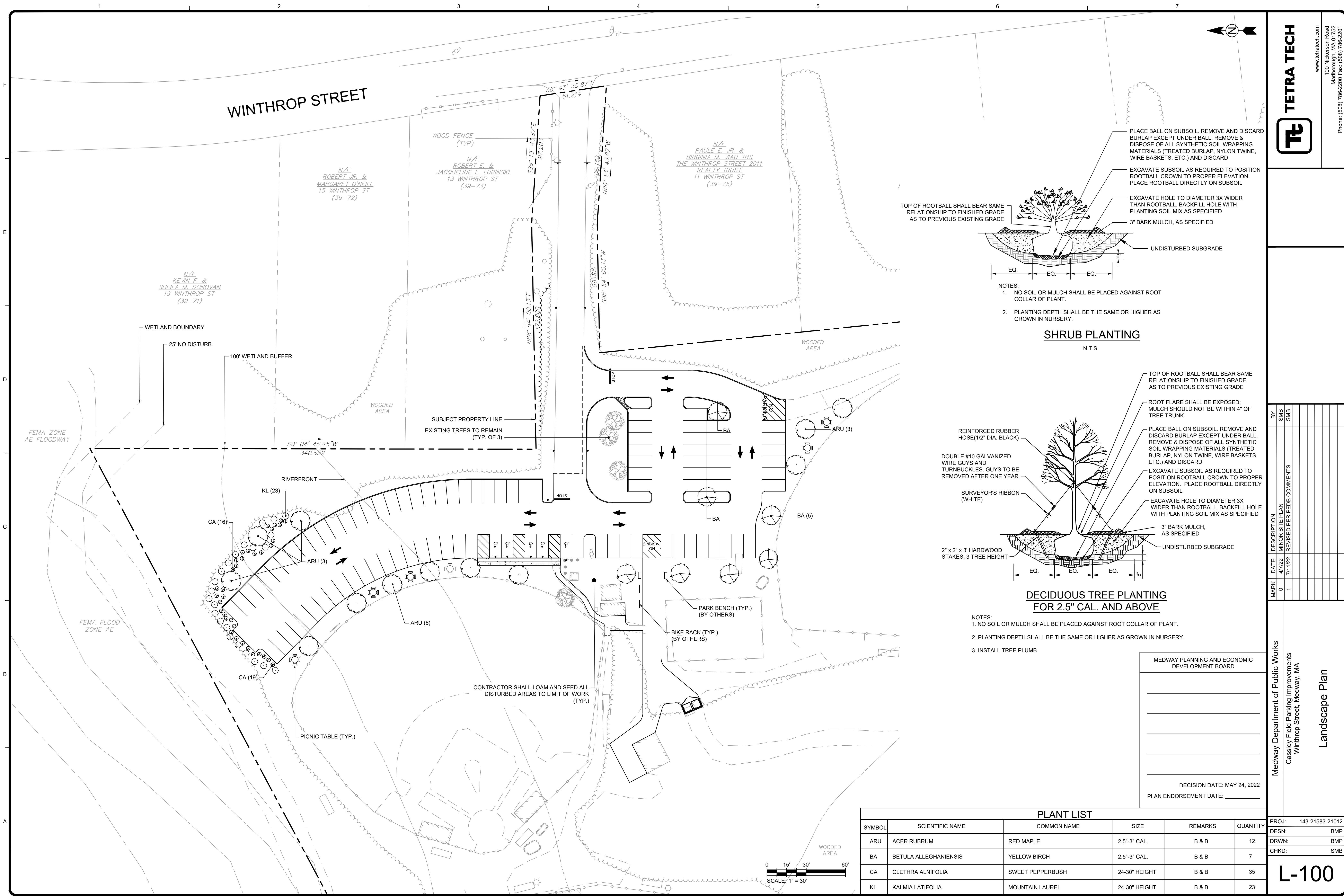
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| <b>MEDWAY PLANNING AND ECONOMIC DEVELOPMENT BOARD</b> |  |
|                                                       |  |
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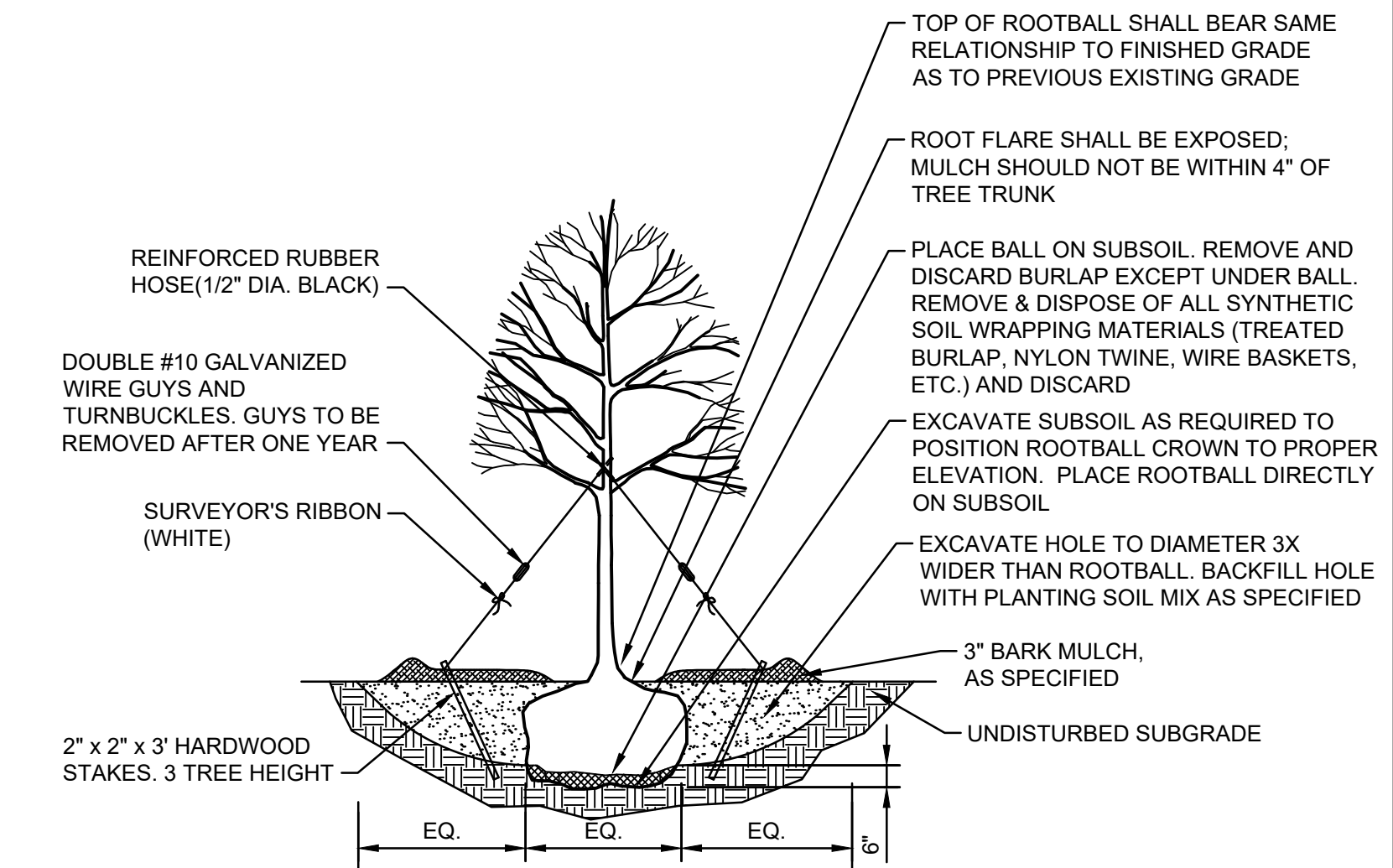




7/11/2022 4:34:16 PM - P:\21583\143-21583-21012 (DPW CASSIDY FIELD)\CADISHEET\FILES\MINOR SITE PLAN\100 LANDSCAPE DWG - BOULEY, STEVEN



**SHRUB PLANTING**  
N.T.S.



**DECIDUOUS TREE PLANTING  
FOR 2.5" CAL. AND ABOVE**

| PLANT LIST |                       |                  |               |         |          |
|------------|-----------------------|------------------|---------------|---------|----------|
| SYMBOL     | SCIENTIFIC NAME       | COMMON NAME      | SIZE          | REMARKS | QUANTITY |
| ARU        | ACER RUBRUM           | RED MAPLE        | 2.5"-3" CAL.  | B & B   | 12       |
| BA         | BETULA ALLEGHANIENSIS | YELLOW BIRCH     | 2.5"-3" CAL.  | B & B   | 7        |
| CA         | CLETHRA ALNIFOLIA     | SWEET PEPPERBUSH | 24-30" HEIGHT | B & B   | 35       |
| KL         | KALMIA LATIFOLIA      | MOUNTAIN LAUREL  | 24-30" HEIGHT | B & B   | 23       |

TETRA TECH

www.tetrattech.com  
100 Nickerson Road  
Marlborough, MA 01752  
Phone: (508) 786-2200 Fax: (508) 786-2201

| BY  | DATE    | DESCRIPTION               | MARK |
|-----|---------|---------------------------|------|
| SMB | 4/7/22  | MINOR SITE PLAN           | 0    |
| SMB | 7/11/22 | REVISED PER PEDB COMMENTS | 1    |

Medway Department of Public Works  
Cassidy Field Parking Improvements  
Winthrop Street, Medway, MA

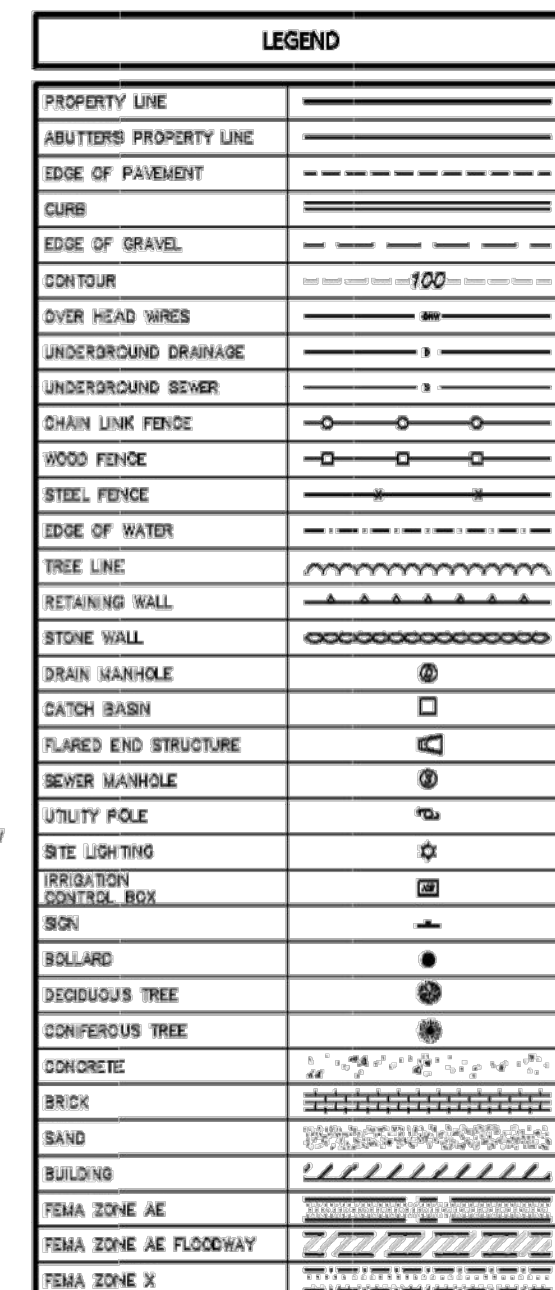
Landscape Plan

PROJ: 143-21583-21012  
DESN: BMP  
DRWN: BMP  
CHKD: SMB

L-100

Copyright: Tetra Tech





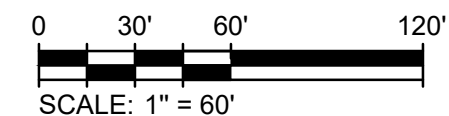
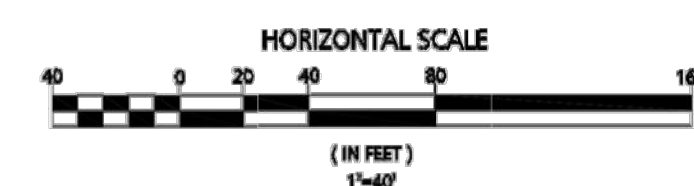
- NOTES:
1. EXISTING CONDITIONS INFORMATION GENERATED FROM AN AERIAL SURVEY PERFORMED BY CIVILIAN, INC. IN DECEMBER OF 2016.
  2. PLANE BEARINGS ARE BASED UPON THE MASSACHUSETTS STATE PLANE COORDINATE SYSTEM (MAAD83), MAINLAND ZONE PER GPS OBSERVATIONS.
  3. ELEVATIONS ARE BASED UPON THE NORTH AMERICAN VERTICAL DATUM (NAVD83) PER GPS OBSERVATIONS.
  4. SUBJECT PARCEL IS NOT LOCATED WITHIN A DESIGNATED FLOOD HAZARD PER FEMA FLOOD INSURANCE RATE MAP 2502010434E DATED JULY 17, 2012.
- PROXY LINES ARE SHOWN BASED UPON A PLAN PREPARED BY OTTS & DYWER, INC. TILED PLAN OF LAND, SHADT, PARK, MAIN, C&D & WINDHOPR STREETS, MIDWAY, MA 02053, JANUARY 25, 2012.

|                                                                                |             |
|--------------------------------------------------------------------------------|-------------|
| DATE                                                                           | DESCRIPTION |
| REVIEWS                                                                        |             |
| CLIENT:                                                                        |             |
| CBA LANDSCAPE<br>ARCHITECTS, LLC<br>24 THORNDIKE STREET<br>CAMBRIDGE, MA 02141 |             |
| PROJECT:                                                                       |             |
| CHOATE PARK<br>MIDWAY, MA 02053                                                |             |
| DATE ISSUED: JULY 12, 2017                                                     |             |
| PROJECT #: 16-09001                                                            |             |
| PREPARED BY: AKG                                                               |             |



|                |                             |
|----------------|-----------------------------|
| DRAWING TITLE: | EXISTING<br>CONDITIONS PLAN |
| DRAWING #:     |                             |

EC-1



MEDWAY PLANNING AND ECONOMIC  
DEVELOPMENT BOARD

DECISION DATE: MAY 24, 2022  
PLAN ENDORSEMENT DATE: \_\_\_\_\_

Medway Department of Public Works  
Cassidy Field Parking Improvements  
Winthrop Street, Medway, MA

|       |                 |
|-------|-----------------|
| PROJ: | 143-21583-21012 |
| DESN: | BMP             |
| DRWN: | BMP             |
| CHKD: | SMB             |

EC-1