

Medway Department of Public Works Cassidy Fields Parking Improvements Winthrop Street, Medway, MA

100 Nickerson Road
Marlborough, MA 01752
Phone: (508) 786-2200 Fax: (508) 786-2201



www.tetrattech.com

PROJECT LOCATION:

Winthrop Street,
Medway, MA 02053

CLIENT INFORMATION:

Medway Department of Public Works
45B Holliston Street,
Medway, MA 02053

Tt PROJECT No.:

143-21583-21012

CLIENT PROJECT No.:

PROJECT DESCRIPTION / NOTES:

Assessor's Map & Parcel number: 39-074; 39-078
Zoning District: AR-1

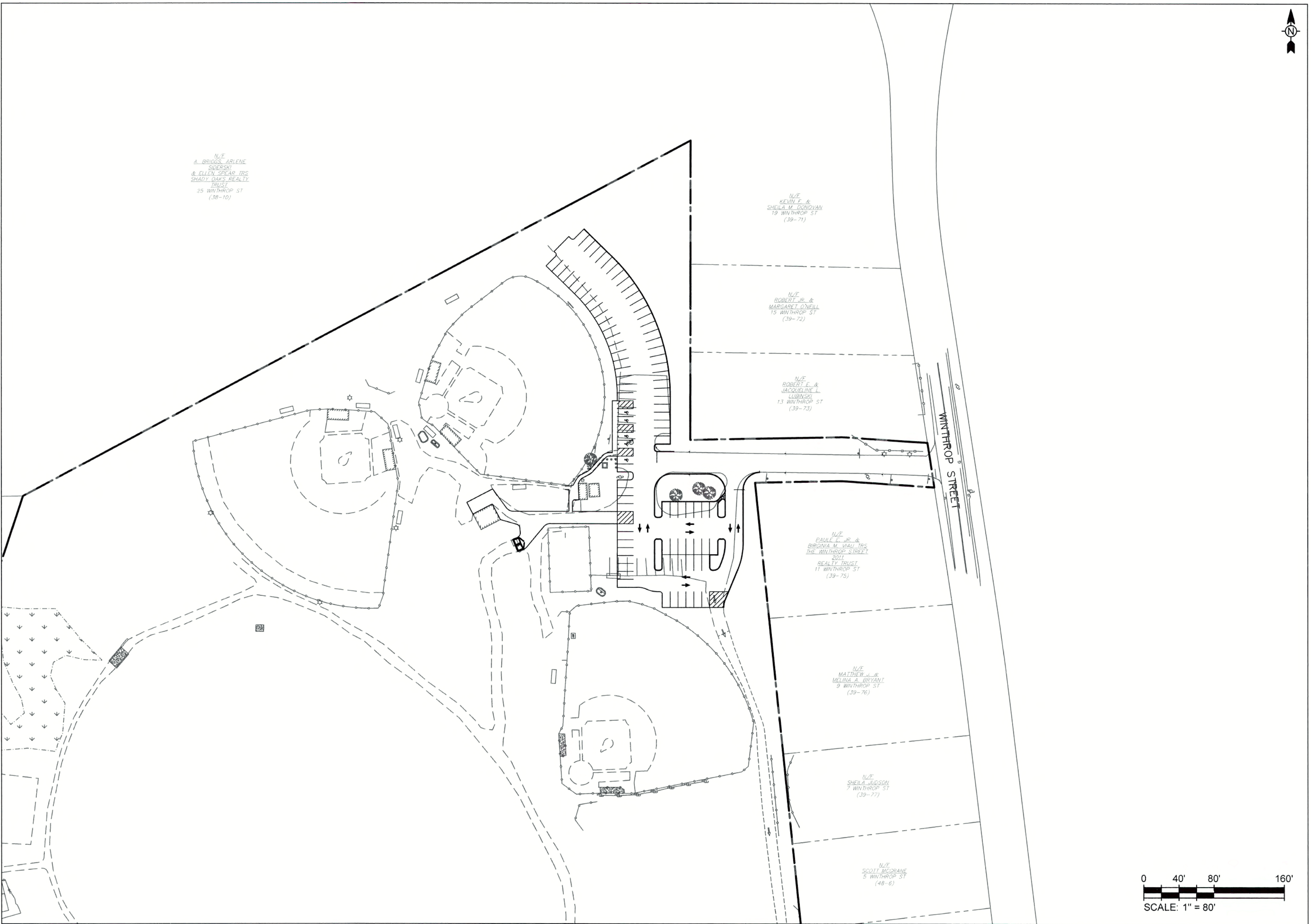
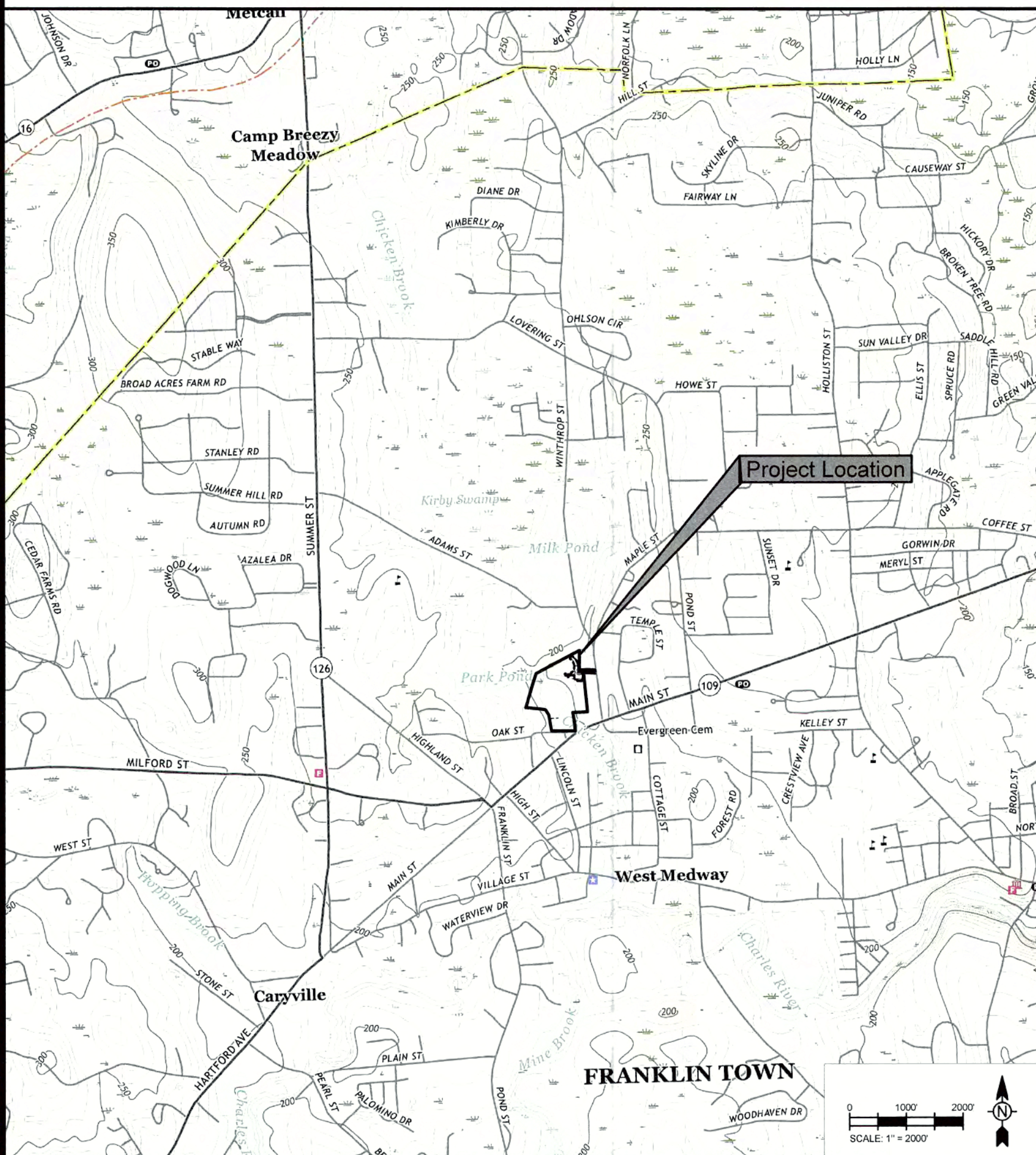
ISSUED:

APRIL 7, 2022: MINOR SITE PLAN
JULY 11, 2022: REVISED PER PEDB COMMENTS

APPROVED WAIVERS:

207-12.H.1: PERIMETER OF PARKING LOT BOUNDED BY CURB/BERM
207-19.C.1: INTERMEDIARY LANDSCAPED ISLANDS

VICINITY MAP:



ZONING SUMMARY TABLE			
ZONING DISTRICT: AR-1			
DIMENSIONAL REGULATIONS	REQUIRED	PROPOSED	
MINIMUM LOT SIZE	44,000	949,074	
MINIMUM FRONTAGE	180	51	
MINIMUM SETBACKS			
FRONT	35	NA	
SIDE	15	NA	
REAR	15	NA	
MAXIMUM BUILDING HEIGHT	35	NA	
COVERAGE			
MAXIMUM LOT COVERAGE	25%	<25%	
MAXIMUM IMPERVIOUS COVERAGE	35%	<35%	
MINIMUM OPEN SPACE	NA	NA	
PARKING SUMMARY TABLE			
SPACE TYPE	TOWN REQUIREMENT	REQUIRED	PROPOSED
STANDARD SPACES	N/A	N/A	76
ACCESSIBLE SPACES	1 / 25 STANDARD SPACES	4	5
ELECTRIC VEHICLE SPACES	1 / 25 STANDARD SPACES	4	12
TOTAL SPACES	N/A	N/A	93

SHEET NO.

C-000
C-001
C-100
C-101
C-102
C-103
C-201
C-202
C-203
L-100
EC-1

SHEET TITLE

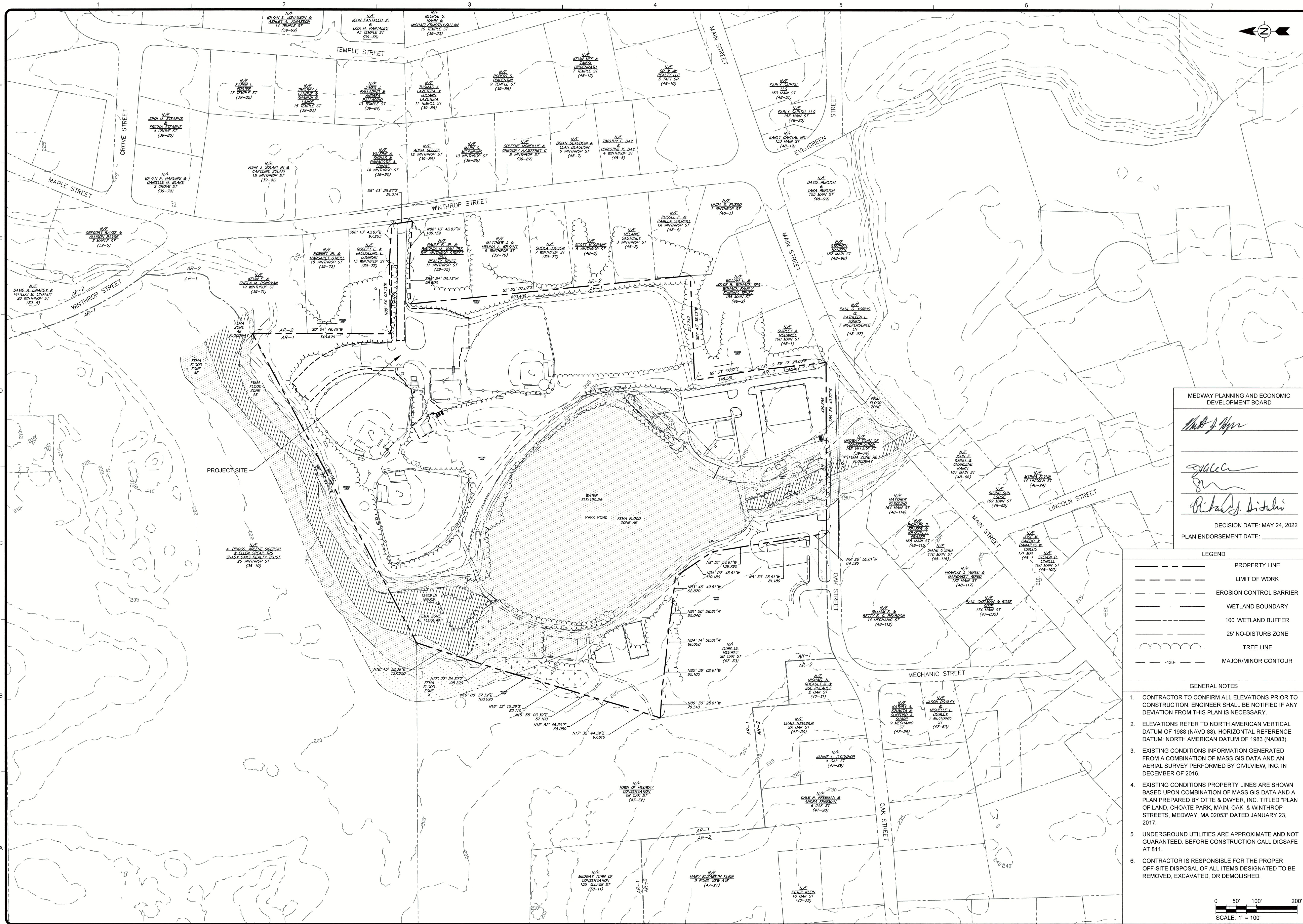
COVER SHEET
SITE CONTEXT SHEET
EXISTING CONDITIONS AND DEMOLITION PLAN
EROSION AND SEDIMENT CONTROL PLAN
LAYOUT AND MATERIALS PLAN
GRADING, DRAINAGE, AND UTILITIES PLAN
CONSTRUCTION DETAILS
CONSTRUCTION DETAILS
CONSTRUCTION DETAILS
LANDSCAPE PLAN
EXISTING STAMPED SURVEY

MEDWAY PLANNING AND ECONOMIC
DEVELOPMENT BOARD

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DECISION DATE: MAY 24, 2022
PLAN ENDORSEMENT DATE: _____





MEDWAY PLANNING AND ECONOMIC
DEVELOPMENT BOARD

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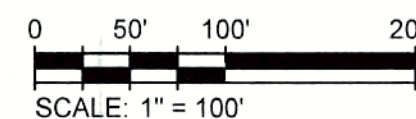
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LEGEND

- PROPERTY LINE
- LIMIT OF WORK
- EROSION CONTROL BARRIER
- WETLAND BOUNDARY
- 100' WETLAND BUFFER
- 25' NO-DISTURB ZONE
- TREE LINE
- MAJOR/MINOR CONTOUR

GENERAL NOTES

- CONTRACTOR TO CONFIRM ALL ELEVATIONS PRIOR TO CONSTRUCTION. ENGINEER SHALL BE NOTIFIED IF ANY DEVIATION FROM THIS PLAN IS NECESSARY.
- ELEVATIONS REFER TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88). HORIZONTAL REFERENCE DATUM: NORTH AMERICAN DATUM OF 1983 (NAD83).
- EXISTING CONDITIONS INFORMATION GENERATED FROM A COMBINATION OF MASS GIS DATA AND AN AERIAL SURVEY PERFORMED BY CIVILVIEW, INC. IN DECEMBER OF 2016.
- EXISTING CONDITIONS PROPERTY LINES ARE SHOWN BASED UPON COMBINATION OF MASS GIS DATA AND A PLAN PREPARED BY OTTE & DWYER, INC. TITLED "PLAN OF LAND, CHOATE PARK, MAIN, OAK, & WINTHROP STREETS, MEDWAY, MA 02053" DATED JANUARY 23, 2017.
- UNDERGROUND UTILITIES ARE APPROXIMATE AND NOT GUARANTEED. BEFORE CONSTRUCTION CALL DIGSAFE AT 811.
- CONTRACTOR IS RESPONSIBLE FOR THE PROPER OFF-SITE DISPOSAL OF ALL ITEMS DESIGNATED TO BE REMOVED, EXCAVATED, OR DEMOLISHED.



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BY	DATE	DESCRIPTION
SMB	4/7/22	MINOR SITE PLAN
SMB	7/11/22	REVISED PER PEDS COMMENTS

Medway Department of Public Works
Cassidy Field Parking Improvements
Winthrop Street, Medway, MA









Site Context Sheet

PROJ:	143-21583-21012
DESN:	BMP
DRWN:	TDP
CHKD:	SMB

C-001

- | EROSION CONTROL NOTES | |
|-----------------------|---|
| 1. | OFF-SITE SEDIMENT TRACKING MUST BE MINIMIZED. SEDIMENT TRACKED ON ADJACENT PROPERTY OR PUBLIC WAYS MUST BE SWEEPED BY THE END OF THE SAME WORK DAY. |
| 2. | MAINTAIN EROSION AND SEDIMENTATION CONTROL MEASURES FOR THE DURATION OF THE PROJECT AND UNTIL PERMANENT STABILIZATION OF THE SITE IS ESTABLISHED. |





LEGEND

	PROPERTY LINE
	LIMIT OF WORK
	EROSION CONTROL BARRIER
	WETLAND BOUNDARY
	100' WETLAND BUFFER
	25' NO-DISTURB ZONE
	TREE LINE
	MAJOR/MINOR CONTOUR

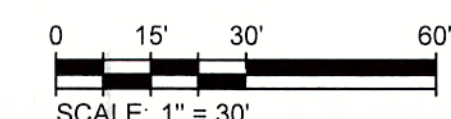
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EARTHWORK VOLUMES (C)	
CUT	66.75
FILL	201.90
NET	135.15 (FILL)

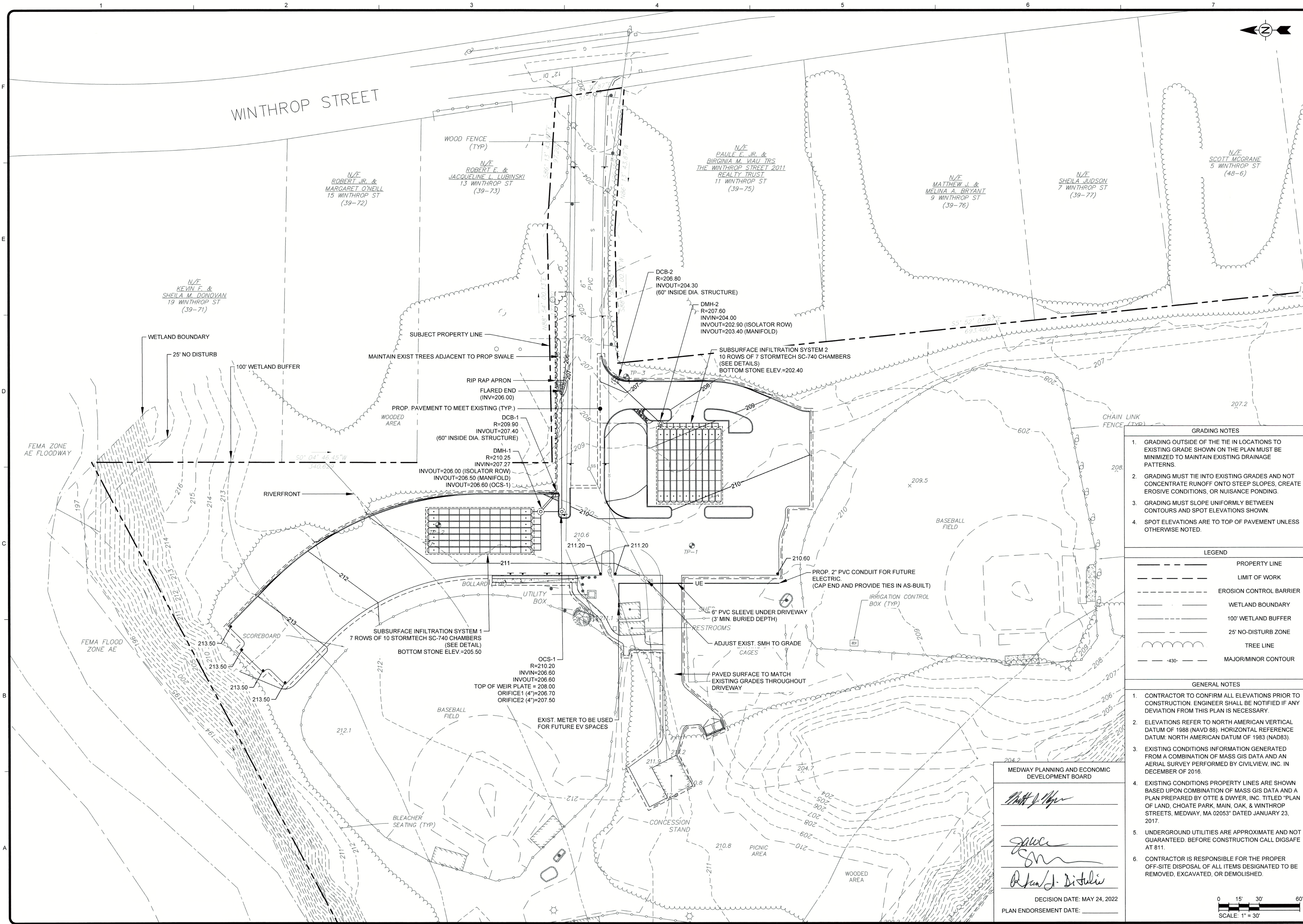
MEDWAY PLANNING AND ECONOMIC
DEVELOPMENT BOARD

DECISION DATE: MAY 24, 2022
PLAN ENDORSEMENT DATE:



7/11/2022 3:20:54 PM - P:\21583\143-21583-21012 (DPW CASSIDY FIELD)\CAD\SHEETFILES\MINOR SITE PLANS\103 GRADING, DRAINAGE, UTILITIES.DWG - BOULEY, STEVEN



- GRADING NOTES**
1. GRADING OUTSIDE OF THE TIE IN LOCATIONS TO EXISTING GRADE SHOWN ON THE PLAN MUST BE MINIMIZED TO MAINTAIN EXISTING DRAINAGE PATTERNS.
 2. GRADING MUST TIE INTO EXISTING GRADES AND NOT CONCENTRATE RUNOFF ONTO STEEP SLOPES, CREATE EROSION CONDITIONS, OR NUISANCE PONDING.
 3. GRADING MUST SLOPE UNIFORMLY BETWEEN CONTOURS AND SPOT ELEVATIONS SHOWN.
 4. SPOT ELEVATIONS ARE TO TOP OF PAVEMENT UNLESS OTHERWISE NOTED.

LEGEND

---	PROPERTY LINE
---	LIMIT OF WORK
---	EROSION CONTROL BARRIER
---	WETLAND BOUNDARY
---	100' WETLAND BUFFER
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MEDWAY PLANNING AND ECONOMIC DEVELOPMENT BOARD

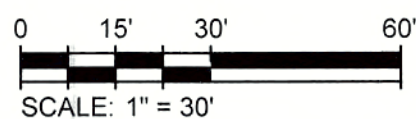
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TETRA TECH

Tt

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SMB	7/11/22	REVISED PER PEDS COMMENTS		

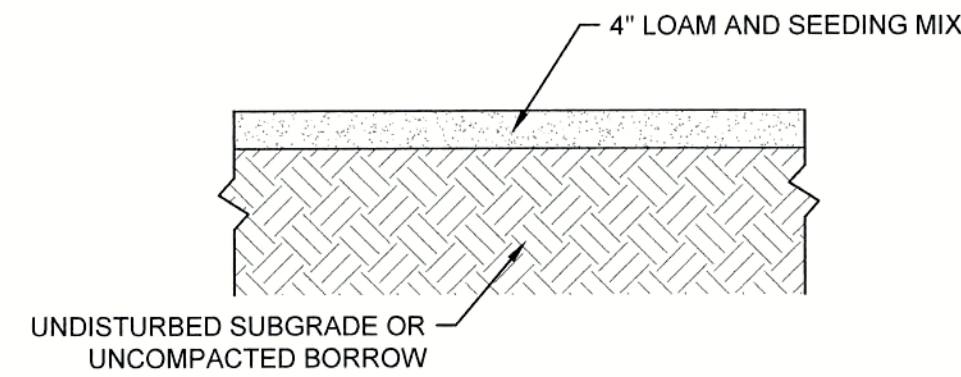
Medway Department of Public Works
Cassidy Field Parking Improvements
Winthrop Street, Medway, MA

Grading, Drainage, and Utilities Plan

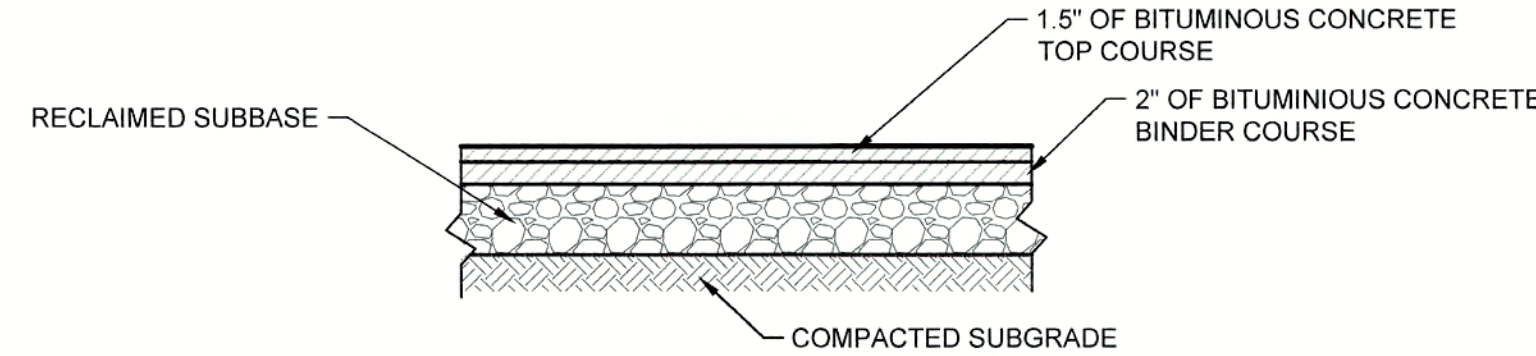
PROJ:	143-21583-21012
DESIGN:	BMP
DRWN:	TDP
CHKD:	SMB

C-103

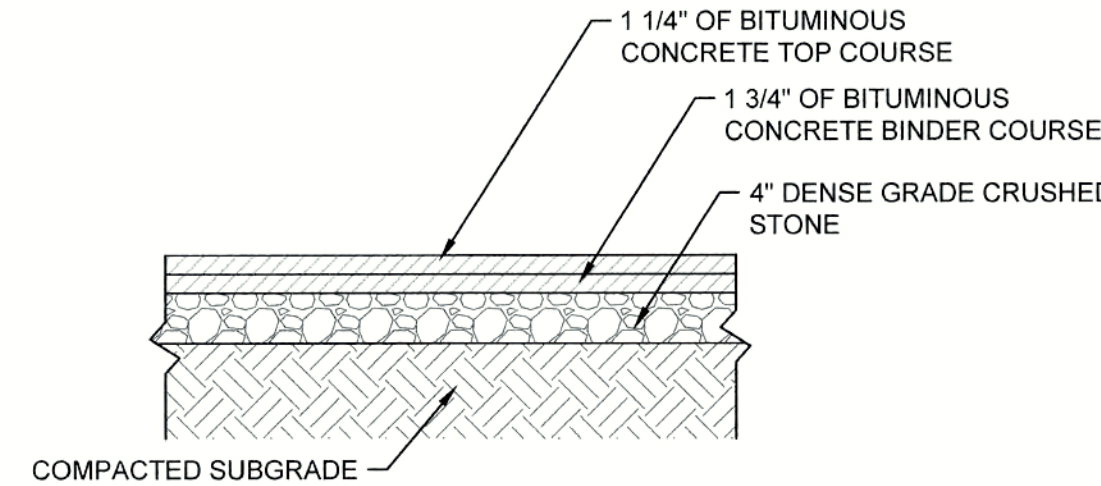
7/11/2022 4:27:19 PM - P:\1583143-21583-21012 (DPW CASSIDY FIELD)\CAD\SHEETFILES\MINOR SITE PLAN\C-201 CONSTRUCTION DETAILS.DWG - BOULEY, STEVEN



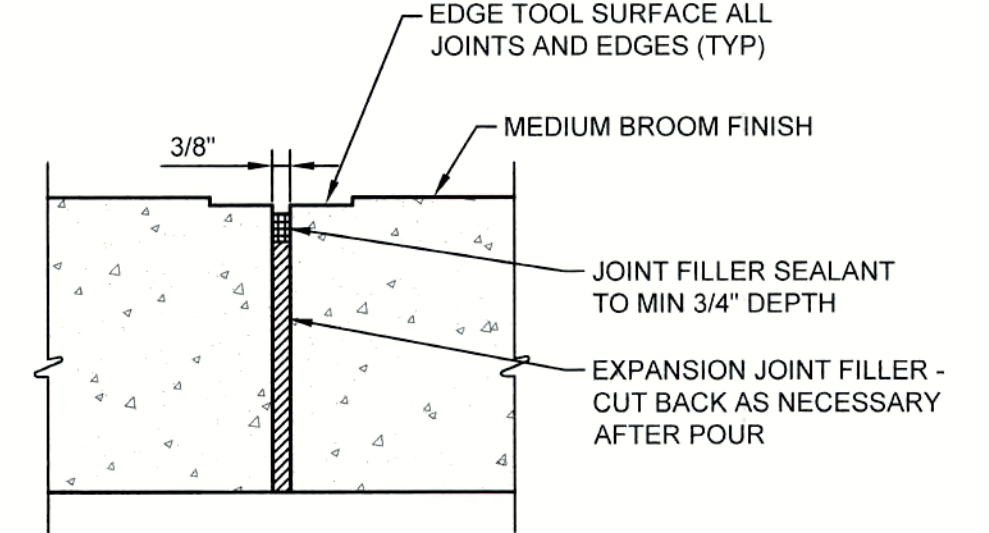
LOAM AND SEED
NOT TO SCALE



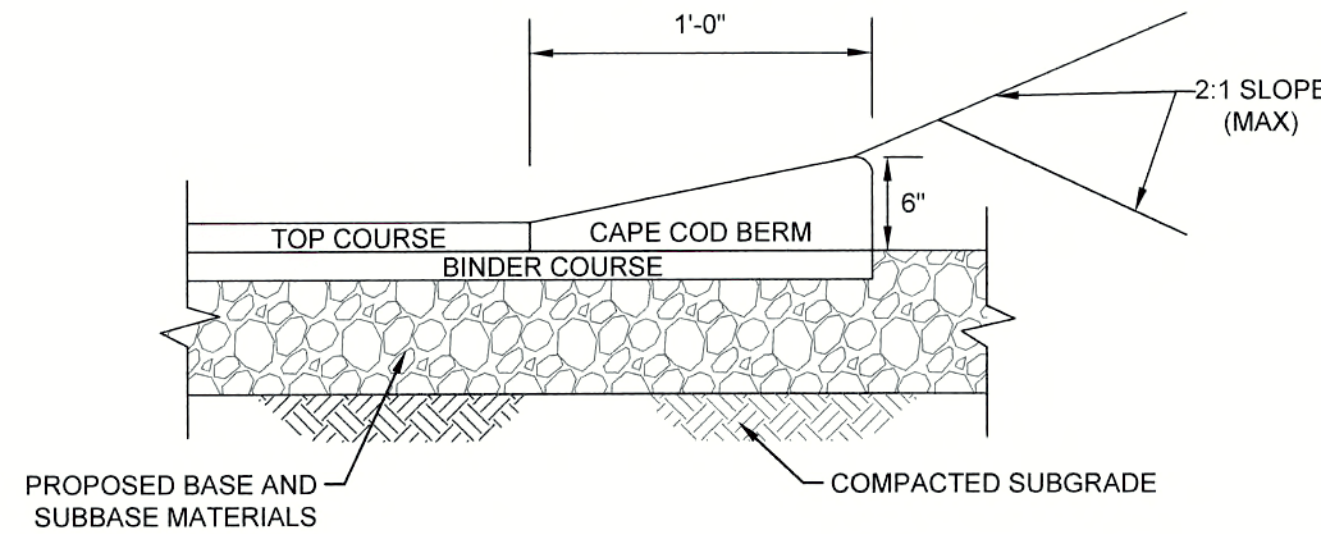
BITUMINOUS CONCRETE PAVEMENT SECTION
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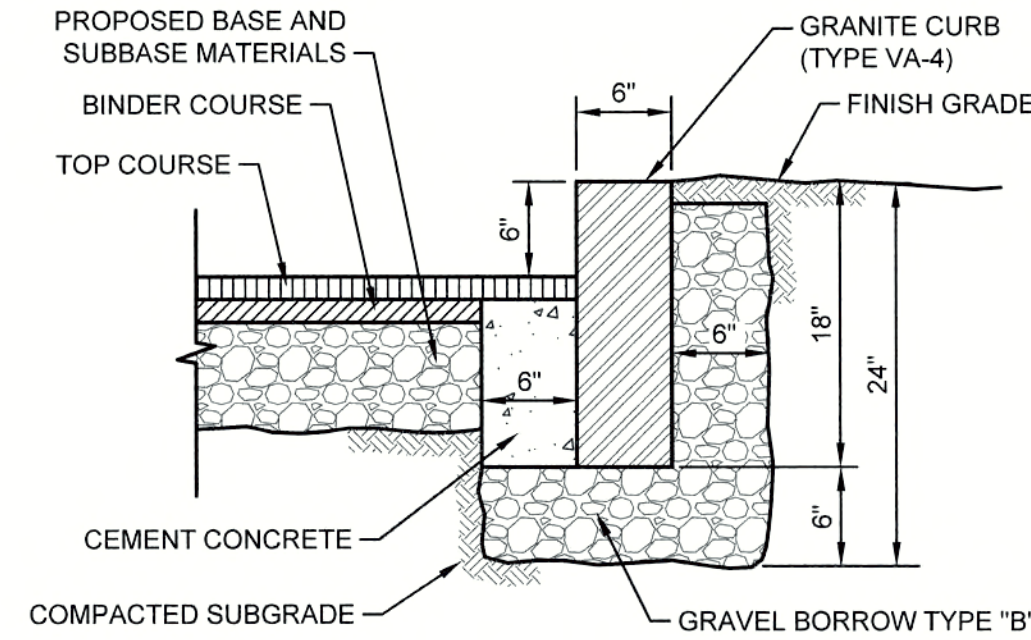
BITUMINOUS CONCRETE WALKWAY
NOT TO SCALE



CONCRETE WALK EXPANSION JOINT
NOT TO SCALE



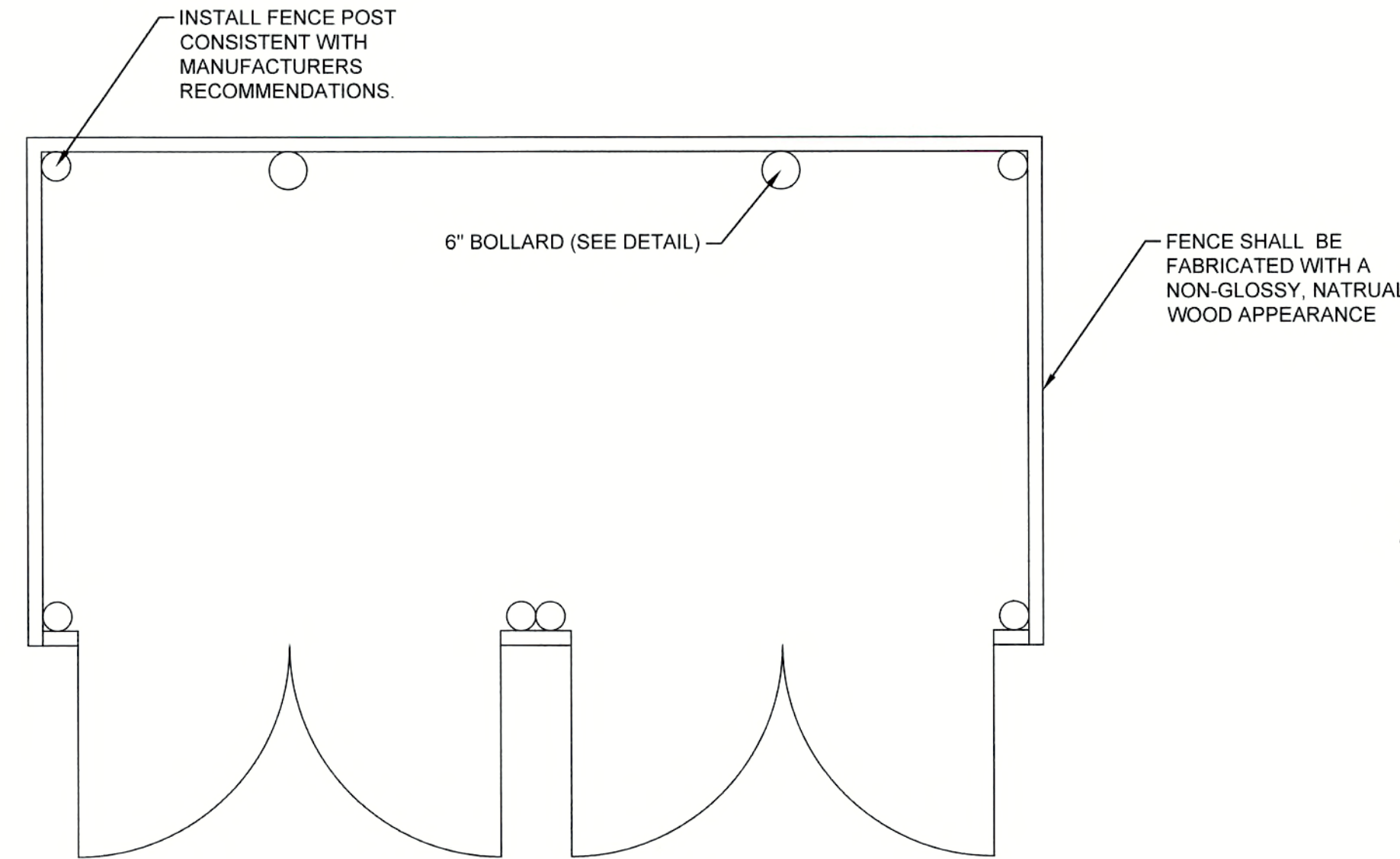
CAPE COD BERM
NOT TO SCALE



NOTE:

CEMENT CONCRETE BACKING TO BE PROVIDED AT ALL JOINTS AND AT CURB MID SECTION FOR SPANS GREATER THAN 3 FEET. CONCRETE BACKING TO BE PLACED FROM BASE TO WITHIN 9 INCHES OF GRADE AND SPAN 1 FOOT AT JOINTS AND 1.5 FEET AT MID SECTION.

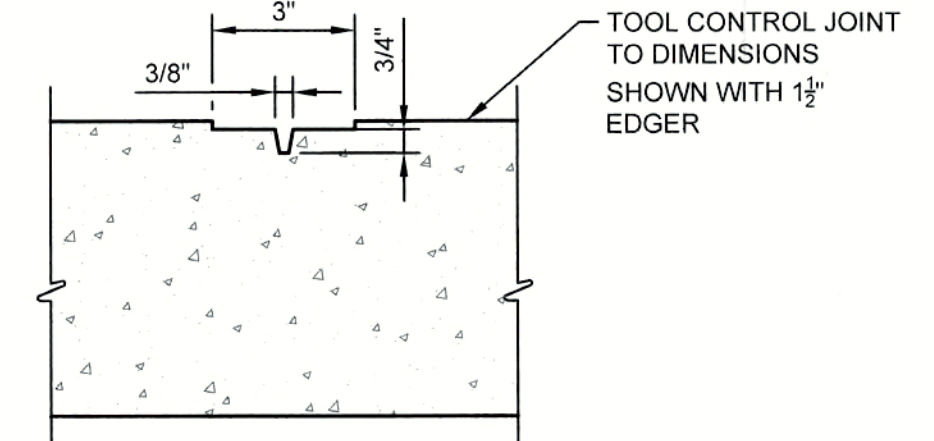
VERTICAL GRANITE CURB
NOT TO SCALE



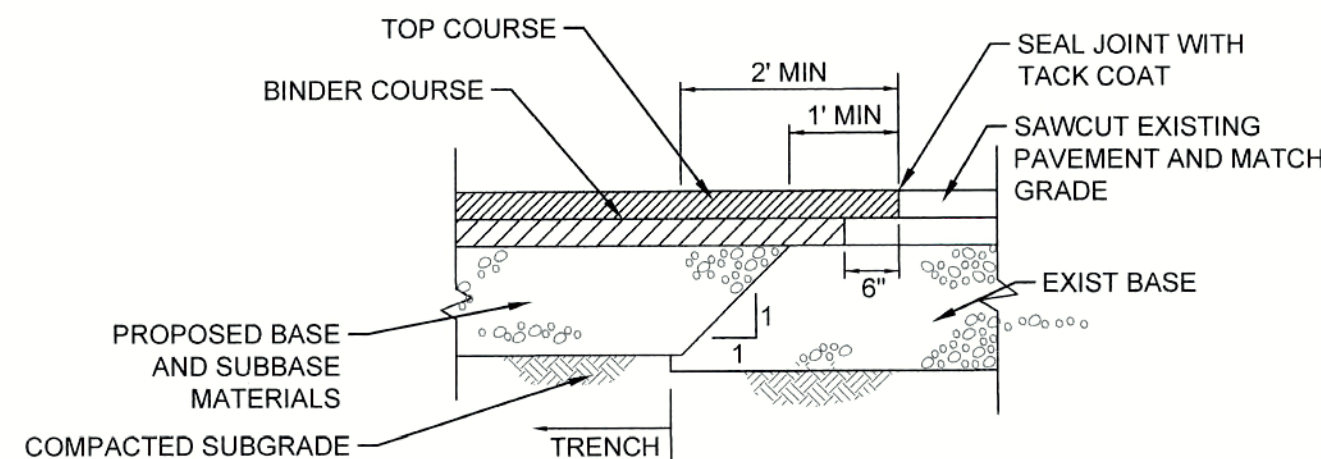
NOTE:

- DUMPSTER ENCLOSURE SHALL BE INSTALLED IN PROP PAVEMENT AS SHOWN ON THE LAYOUT AND MATERIALS PLAN. CEMENT CONCRETE PAD NOT REQUIRED UNLESS OTHERWISE DIRECTED BY THE OWNER
- FENCE SHALL BE TALL ENOUGH TO SCREEN THE EXIST DUMPSTERS.

DUMPSTER ENCLOSURE
NOT TO SCALE



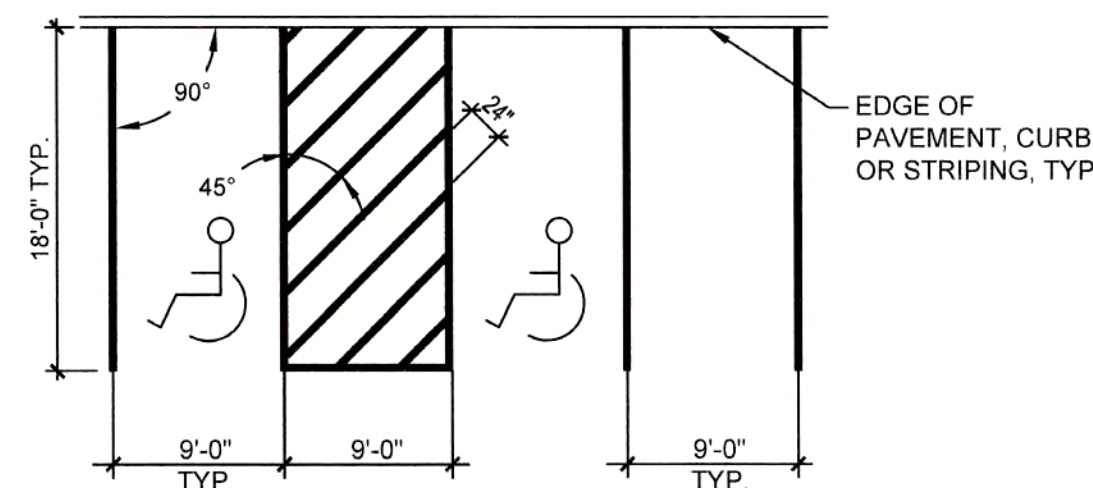
CONCRETE WALK CONTROL JOINT
NOT TO SCALE



NOTES:

- SAWCUTS MUST BE MADE PRIOR TO ANY TRENCH EXCAVATION.
- SUBGRADE PREPARATION MUST BE IN ACCORDANCE WITH GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.

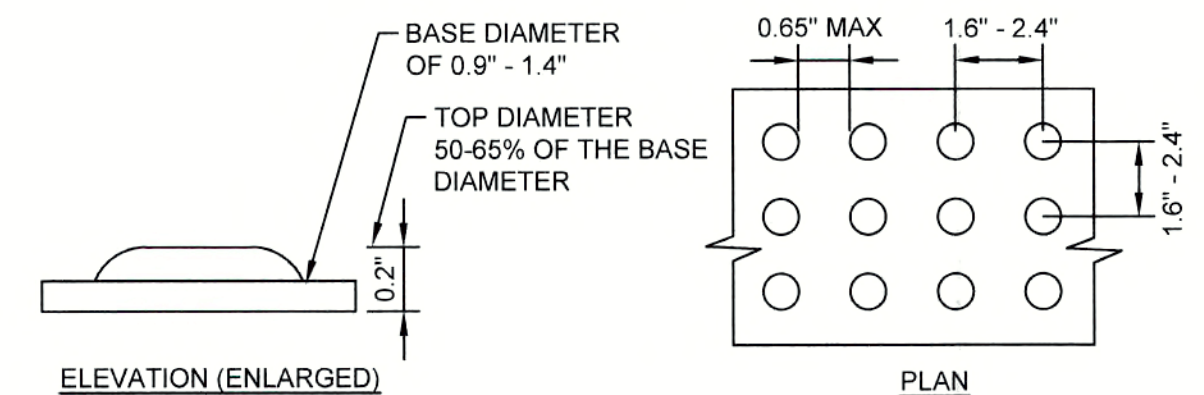
**PERMANENT BITUMINOUS CONCRETE
MATCHING TO EXISTING**
NOT TO SCALE



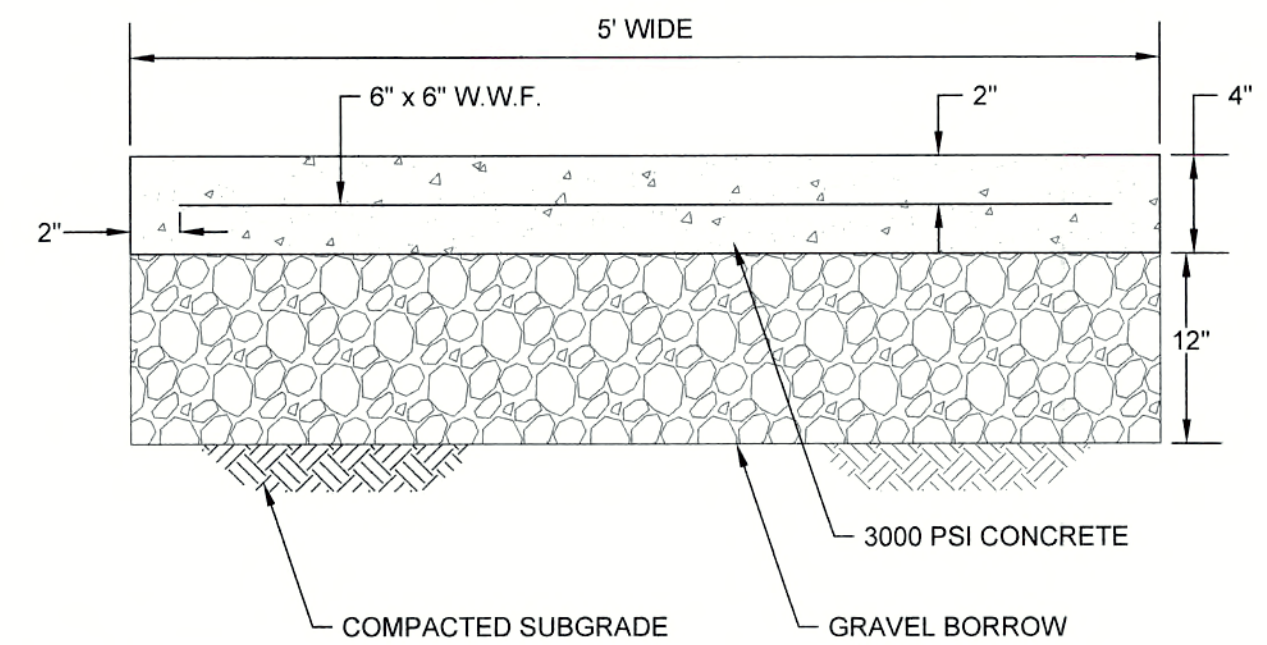
NOTES:

- LINE WIDTHS SHALL BE 4" UNLESS OTHERWISE INDICATED.

PARKING STALL STRIPING
NOT TO SCALE



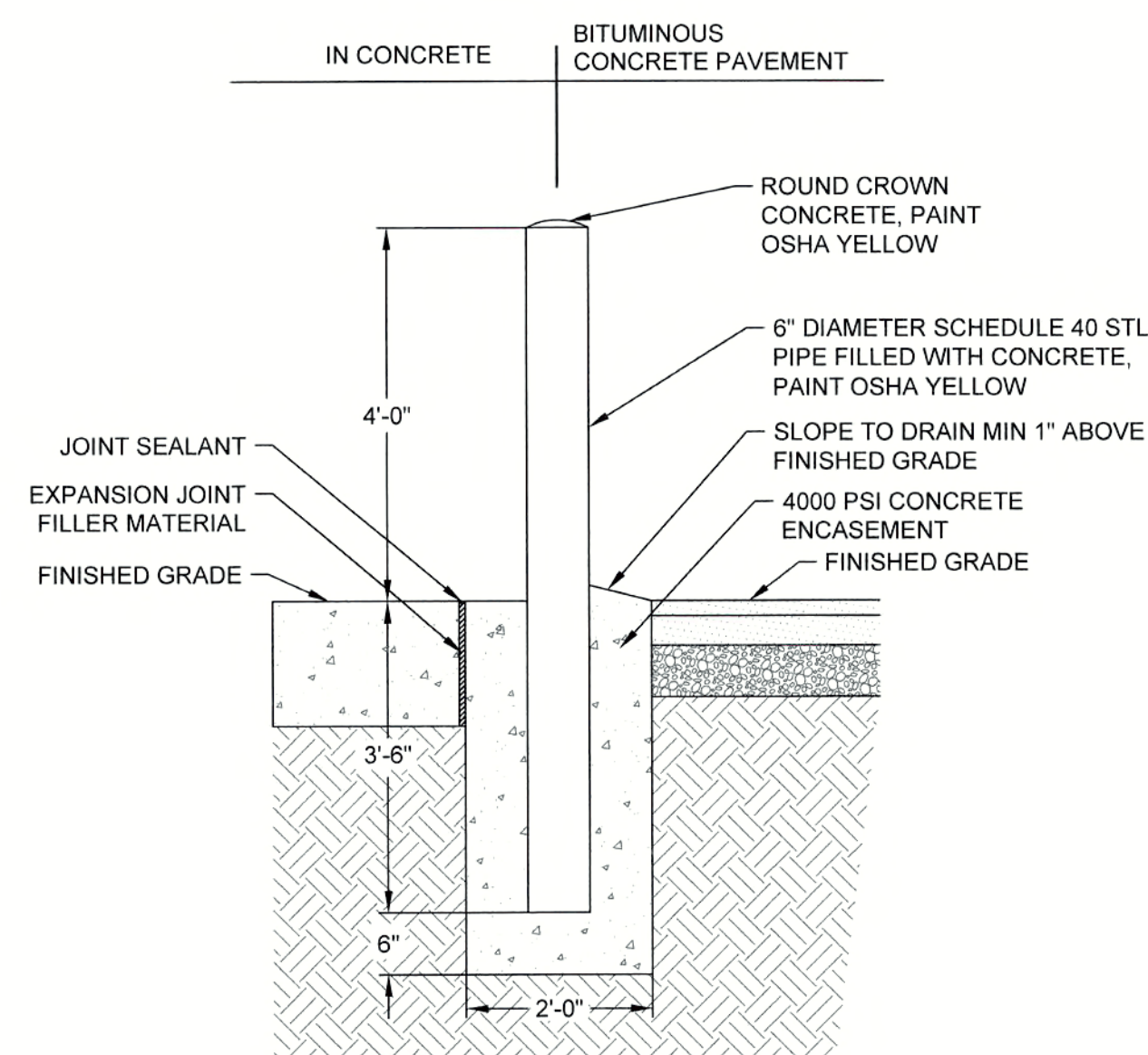
DETECTABLE WARNING STRIP
NOT TO SCALE



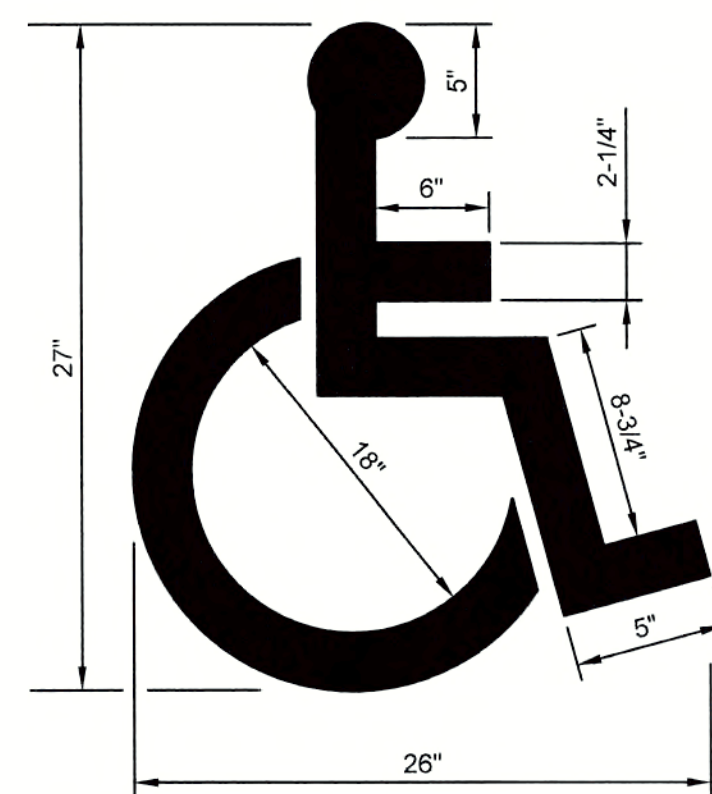
NOTES:

- CONSTRUCTION JOINTS ARE TO BE AT 5' INTERVALS.
- EXPANSION JOINTS TO BE INSTALLED AT 30' INTERVALS. INSTALL EXPANSION JOINTS AT LOCATIONS WHERE CONCRETE MEETS PAVEMENT, STEPS, WALLS, OR CURB.

CEMENT CONCRETE WALKWAY
NOT TO SCALE



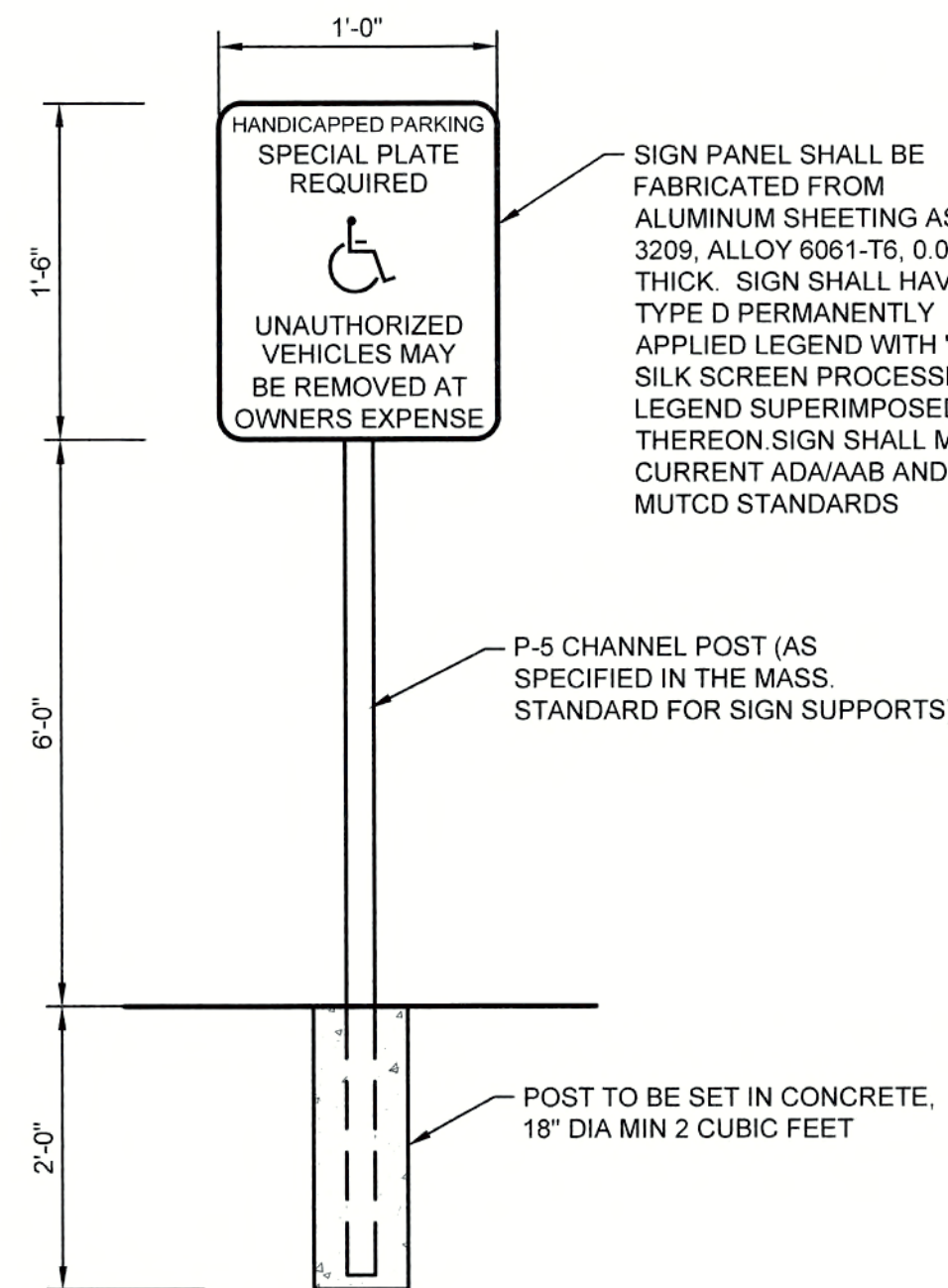
BOLLARD
NOT TO SCALE



NOTE:

WHITE PAVEMENT MARKING

ACCESSIBLE PARKING PAVEMENT MARKING
NOT TO SCALE



HANDICAP PARKING SIGN
NOT TO SCALE

MEDWAY PLANNING AND ECONOMIC DEVELOPMENT BOARD	
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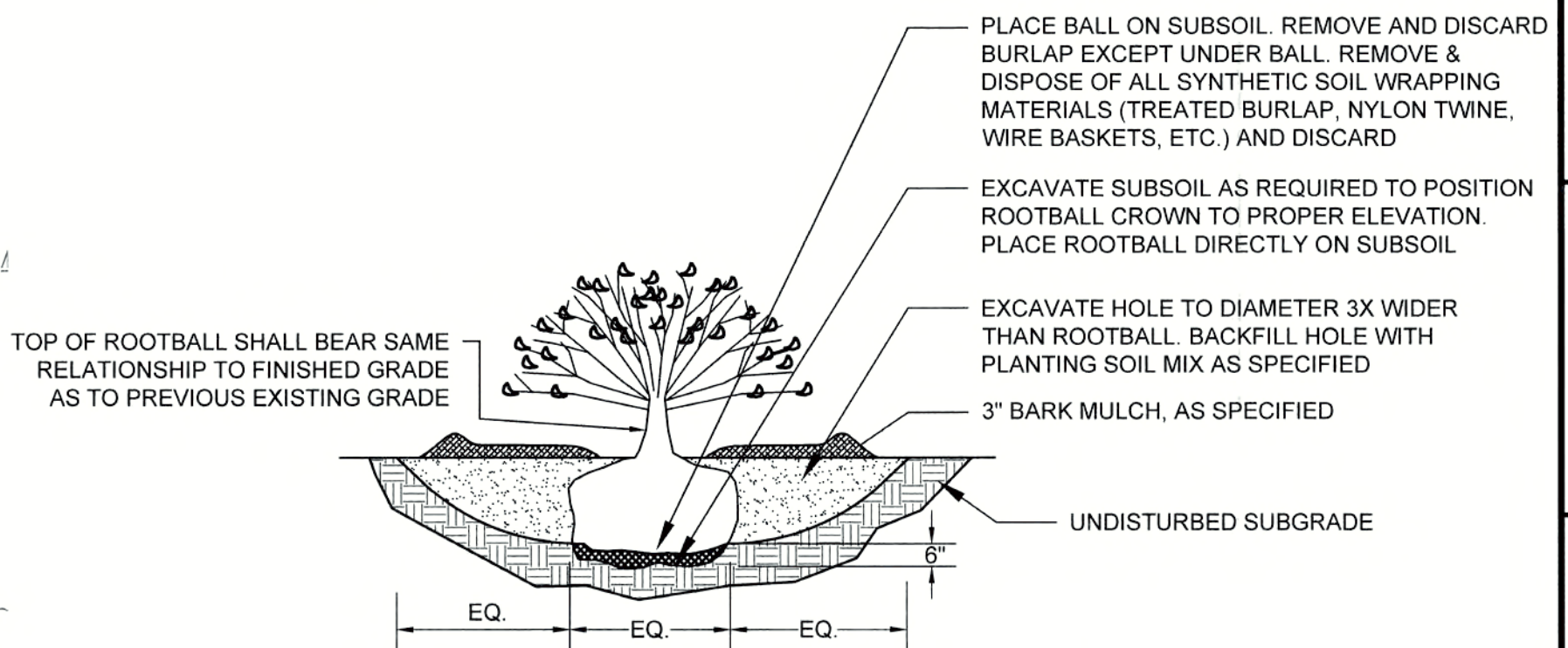
Construction Details

PROJ: 143-21583-21012
DES: BMP
DRWN: BMP
CHKD: SMB

C-202

Copyright: Tetra Tech

<p>Medway Department of Public Works</p> <p>Cassidy Field Parking Improvements Winthrop Street, Medway, MA</p> <p>Construction Details</p>		<p>MARK</p> <p>0</p> <p>1</p> <p></p> <p></p> <p></p> <p></p> <p></p> <p></p> <p></p>	<p>DATE</p> <p>4/7/22</p> <p>7/11/22</p> <p></p> <p></p> <p></p> <p></p> <p></p> <p></p> <p></p>	<p>DESCRIPTION</p> <p>MINOR SITE PLAN</p> <p>REVISED PER PEDS COMMENTS</p> <p></p> <p></p> <p></p> <p></p> <p></p> <p></p> <p></p>	<p>BY</p> <p>SMB</p> <p>SMB</p> <p></p> <p></p> <p></p> <p></p> <p></p> <p></p>
<p>PROJ: 143-21583-21012</p> <p>DES: BMP</p> <p>DRWN: BMP</p> <p>CHKD: SMB</p>		<p>www.tetratech.com</p> <p>100 Nickerson Road Marlborough, MA 01752 Phone: (508) 786-2200 Fax: (508) 786-2201</p>			

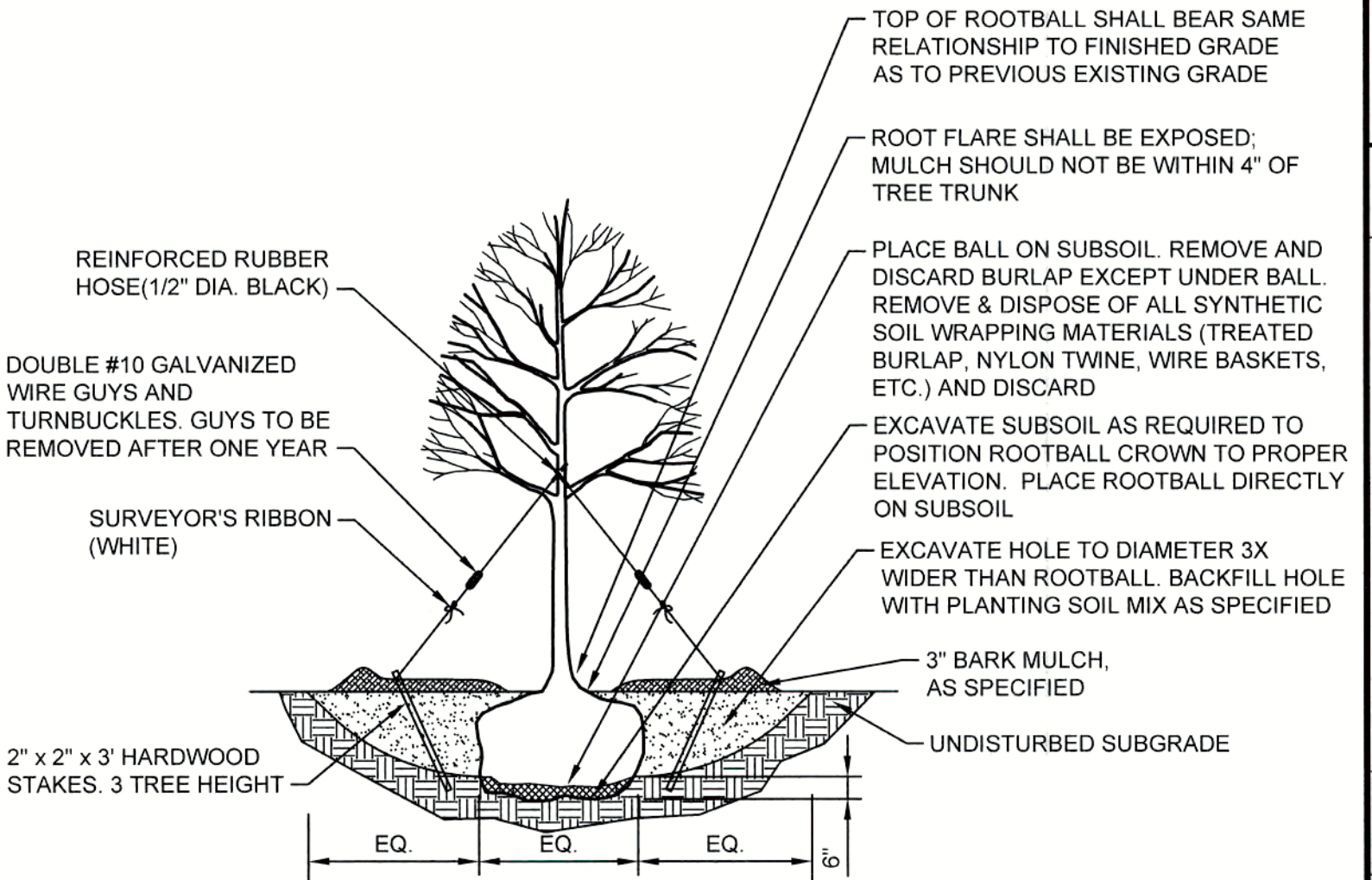


NOTES:

1. NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT.
2. PLANTING DEPTH SHALL BE THE SAME OR HIGHER AS GROWN IN NURSERY.

SHRUB PLANTING

N.T.S



DECIDUOUS TREE PLANTING FOR 2.5" CAL. AND ABOVE

- NOTES:
1. NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT.
 2. PLANTING DEPTH SHALL BE THE SAME OR HIGHER AS GROWN IN NURSERY.
 3. INSTALL TREE PLUMB.

MIDWAY PLANNING AND ECONOMIC
DEVELOPMENT BOARD

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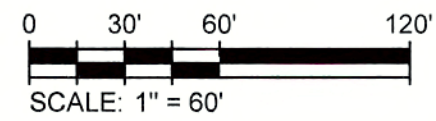
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PLANT LIST					
SYMBOL	SCIENTIFIC NAME	COMMON NAME	SIZE	REMARKS	QUANTITY
ARU	ACER RUBRUM	RED MAPLE	2.5'-3" CAL.	B & B	12
BA	BETULA ALLEGHANIENSIS	YELLOW BIRCH	2.5'-3" CAL.	B & B	7
CA	CLETHRA ALNIFOLIA	SWEET PEPPERBUSH	24-30" HEIGHT	B & B	35
KL	KALMIA LATIFOLIA	MOUNTAIN LAUREL	24-30" HEIGHT	B & B	23

Bar Measures 1 inch, otherwise drawing not to scale



MEDWAY PLANNING AND ECONOMIC
DEVELOPMENT BOARD

Mark J. Wynn

John

Anthony J. DiJulio

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