



June 14, 2022

**Medway Planning & Economic Development Board
Meeting**

**Medway Commons – BrightPath Child
Care Center – Minor Site Plan**

- Public Briefing Notice dated May 24, 2022
- Minor Site Plan Application dated May 20, 2022
- Email dated May 3, 2022 from Medway Building Commissioner Jack Mee with a determination that the planned scope of work constitutes a Minor Site Plan
- Project Narrative and Parking Information prepared by Charter Realty
- Site Plan dated May 19, 2022 by Tighe & Bond
- Stormwater memo dated March 19, 2022 from John Lorden, PE, Tighe & Bond
- Abutter notification dated May 25, 2022
- Susy Affleck-Childs' email dated May 31, 2022 to Town staff requesting review and comments
- Traffic Memorandum dated June 3, 2022 from Tighe & Bond
- Tetra Tech review letter dated June 9, 2022

Board Members

Matthew J. Hayes, P.E., Chair
Robert Tucker, Vice Chair
Richard Di Iulio, Clerk
Jessica Chabot, Member
Sarah Raposa, A.I.C.P., Member
Thomas A. Gay, Associate
Member



Medway Town Hall
155 Village Street
Medway, MA 02053
Phone (508) 533-3291
Fax (508) 321-4987
Email: planningboard@townofmedway.org
www.townofmedway.org

TOWN OF MEDWAY COMMONWEALTH OF MASSACHUSETTS

PLANNING AND ECONOMIC DEVELOPMENT BOARD

May 24, 2022

RECEIVED TOWN CLERK
MAY 24 '22 PM 2:46

NOTICE OF PUBLIC BRIEFING Charter Realty & Development Corporation Medway Commons, 67 Main Street Minor Site Plan – BrightPath Child Care Center

The Medway Planning and Economic Development Board will commence a public briefing on Tuesday, June 14, 2022 at 9:00 p.m. in Sanford Hall at Medway Town Hall, 155 Village Street to consider the application of Charter Realty and Development Corporation of Greenwich, MA for approval of a minor site plan for BrightPath Child Care Center to be located in Medway Commons at 67 Main Street.

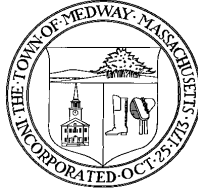
The applicant seeks minor site plan approval to modify a section of the existing parking lot in front of a portion of existing retail and restaurant spaces to accommodate construction of an approximately 14,200 sq. ft. outdoor play area for a new 12,700 sq. ft. childcare facility to be located within existing space at the southwestern end of the shopping center. Planned construction includes removal of pavement from 33 parking spaces, removal of an estimated 440 linear feet of curbing, removal of approximately 80 linear feet of driveway space, and removal of an estimated 2,040 sq. ft. of sidewalk, to be replaced with installation of various play area surface materials, fencing, landscaping, and play space equipment and amenities to be directly accessed from the childcare center.

The subject property (Map 41, Parcel 23) is owned by Hidden Acres Realty Trust of Medway, MA which holds a long-term lease with Charter Medway II, LLC of Greenwich, CT to own and operate Medway Commons which is located on the south side of Main ST (Route 109) in the Central Business zoning district.

The application documents are on file with the Medway Town Clerk and at the office of the Planning and Economic Development Board at Medway Town Hall, 155 Village Street and may be reviewed during regular business hours. The documents are also posted at the Board's web page at: <https://www.townofmedway.org/planning-economic-development-board/pages/current-applications-pedb-0> Interested persons are invited to review the application documents, attend the public briefing, and express their views at the designated time and place. Written comments may be forwarded to: planningboard@townofmedway.org. Questions should be directed to the Planning and Economic Development office at 508-533-3291.

Pursuant to Chapter 22 of the Acts of 2022, this hearing will be conducted in person and, as a courtesy, via remote means in accordance with applicable law. Please note that while an option for remote attendance and/or participation is being provided as a courtesy to the public and board members, the hearing will not be suspended or terminated if technological problems interrupt the virtual broadcast, unless required by law. Information for participating in the meeting via Zoom will be included on the agenda for Board's June 14, 2022 meeting which will be posted to the Town's master calendar of events at: <https://www.townofmedway.org/calendar/month/2022-06> and at the Board's web page at: <https://www.townofmedway.org/node/926/agenda/2022>

Matthew J. Hayes, P.E., Chair



Planning & Economic Development Board - Town of Medway, MA
SITE PLAN REVIEW

Application for Minor Site Plan Approval

INSTRUCTIONS TO APPLICANT/OWNER

This Application is made pursuant to the *Medway Zoning Bylaw* and the Board's *Rules and Regulations for the Submission and Review of Site Plans*

The Town's Planning and Engineering Consultants will review the Application and the proposed Site Plan and provide review letters to the Planning and Economic Development Board.

A copy of those review letters will be provided to you in advance of the meeting.

You and/or your duly authorized Agent/Official Representative are expected to attend the Board meetings at which your Application will be considered to answer any questions and/or submit such additional information as the Board may request.

Your absence at hearings may result in a delay in the Board's review of the site plan.

_____, 20____

APPLICANT INFORMATION

Applicant's Name: _____

Mailing Address: _____

Name of Primary Contact: _____

Telephone: _____
Office: _____ Cell: _____

Email address: _____

☐ Please check here if the Applicant is the equitable owner (*purchaser on a purchase and sales agreement.*)

MINOR SITE PLAN INFORMATION

Development Name: _____

Plan Title: _____

Plan Date: _____

Prepared by:
Name: _____

Firm: _____

Phone #: _____

Email: _____

PROPERTY INFORMATION

Location Address: _____

The land shown on the plan is shown on Medway Assessor's Map # _____ as Parcel # _____

Total Acreage of Land Area: _____

General Description of Property: _____

Medway Zoning District Classification: _____

Current Use of Property: _____

Length of Existing Frontage: _____ On what street? _____

Setbacks for Existing Structure (if applicable)

Front: _____ Side: _____

Back: _____ Side: _____

Scenic Road

Does any portion of this property have frontage on a Medway Scenic Road?

_____ Yes _____ No If yes, please name street: _____

Historic District

Is any portion of this property located within a Medway National Register Historic District?

_____ Yes - Rabbit Hill _____ Yes - Medway Village

Wetlands

Is any portion of the property within a Wetland Resource Area? _____ Yes _____ No

Groundwater Protection

Is any portion of the property within a Groundwater Protection District? _____ Yes _____ No

Flood Plain

Is any portion of the property within a Designated Flood Plain? _____ Yes _____ No

PROPOSED DEVELOPMENT PROJECT INFORMATION

Development Name: _____

Minor Site Plan Review applies to the following. Please check all that apply.

_____ a. New construction or any alteration, reconstruction, renovation, and/or change in use of any multi-family, commercial, industrial, institutional, or municipal building use which is not subject to Major Site Plan Review but which involves one or more of the following:

_____ i. the addition of 1,000 to 2,4999 sq. ft. of gross floor area; or

_____ ii. the addition of ten or more but less than twenty new parking spaces

- _____ b. The redesign, alteration, expansion or modification of an existing parking area involving the addition of ten or more but less than twenty new parking spaces
- _____ c. The redesign of the layout/configuration of an existing parking area of twenty to thirty-nine parking spaces
- _____ d. Any use or structure or expansion thereof exempt under Massachusetts G.L. c. 40A, § 3 only to the extent allowed by law.
- _____ e. Removal, disturbance, and/or alteration of 10,000 to 19,999 square feet of impervious surface.

SPECIAL PERMIT - Will this project also require a variance or special permit from the *Zoning Board of Appeals*?

_____ Yes _____ No

Explanation: _____

SPECIAL PERMIT – Will this project also require a special permit from the *Planning and Economic Development Board*?

_____ Yes _____ No

Explanation: _____

PROPERTY OWNER INFORMATION (if not applicant)

Property Owner's Name: _____

Mailing Address: _____

Primary Contact: _____

Telephone:

Office: _____ Cell: _____

Email address: _____

The owner's title to the land that is the subject matter of this application is derived under deed from: _____ to _____ dated _____ and recorded in Norfolk County Registry of Deeds, Book _____ Page _____ or Land Court Certificate of Title Number _____, Land Court Case Number _____, registered in the Norfolk County Land Registry District Volume _____, Page _____.

CONSULTANT INFORMATION

ENGINEER: _____

Mailing Address: _____

Primary Contact: _____

Telephone:

Office: _____ Cell: _____

Email address: _____

Registered P.E. License #: _____

SURVEYOR: _____

Mailing Address: _____

Primary Contact: _____

Telephone: _____

Office: _____ Cell: _____

Email Address: _____

Registered P.L.S. License #: _____

ARCHITECT: _____

Mailing Address: _____

Primary Contact: _____

Telephone: _____

Office: _____ Cell: _____

Email address: _____

Registered Architect License #: _____

LANDSCAPE ARCHITECT/DESIGNER: _____

Mailing Address: _____

Primary Contact: _____

Telephone: _____

Office: _____ Cell: _____

Email address: _____

Registered Landscape Architect License #: _____

ATTORNEY: _____

Mailing Address: _____

Primary Contact: _____

Telephone: _____

Office: _____ Cell: _____

Email address: _____

DESIGNATED REPRESENTATIVE INFORMATION

Name: _____

Address: _____

Telephone: _____
Office: _____ Cell: _____

Email address: _____

SIGNATURES

The undersigned, being the Applicant for approval of a Minor Site Plan Project, herewith submits this application and Site Plan to the Medway Planning and Economic Development Board for review and approval. I hereby certify, under the pains and penalties of perjury, that the information contained in this application is a true, complete and accurate representation of the facts regarding the property and proposed development under consideration.

If applicable, I hereby authorize _____ to serve as my Designated Representative to represent my interests before the Medway Planning & Economic Development Board with respect to this application.

In submitting this application, I authorize the Board, its consultants and agents, Town staff, and members of the Design Review Committee to access the site during the plan review process.

I understand that pursuant to MGL 53G, the Medway Planning and Economic Development Board may retain outside professional consultants to review this application and that I am responsible for the costs associated with such reviews.

I understand that the Planning and Economic Development Board, its agents, staff, consultants, and other Town staff and committees may request additional information which I am responsible for providing to assist them in reviewing the proposed development.



Signature of Property Owner

Date

Signature of Applicant (if other than Property Owner)

Date

Signature of Agent/Official Representative

Date

MINOR SITE PLAN FEES

Application/Filing Fee

\$350 plus \$.25/sq. ft. of gross floor area

(Gross floor area includes the existing building and proposed addition if any, and/or any proposed new building)

Advance on Plan Review Fee

\$500 deposit.

Submit 2 separate checks each made payable to: Town of Medway

MINOR SITE PLAN **APPLICATION CHECKLIST**

- _____ Minor Site Plan Application (2 signed originals – one for Town Clerk and one for Planning and Economic Development Board)
- _____ Three (3) full size (24" x 36") copies of the Site Plan prepared in accordance with Sections 204-4 and 204-5 of the *Medway Site Plan Rules and Regulations* – one for the Town Clerk and two for the Planning and Economic Development Board.
- _____ One (1) ledger size (11" x 17") copy of the Site Plan for the Planning and Economic Development Board
- _____ Electronic version of the Site Plan and ALL associated application documents. Provide disk or flash drive or email.
- _____ Certified Abutters List and labels from the Medway Assessor's office – for 300 feet around the subject property
- _____ One (1) copy of a *Project Description* as described in Section 204 - 3, 6) of the *Medway Site Plan Rules and Regulations*. This description should also include a narrative on how the proposed project meets the requirements of the *Medway Zoning Bylaw* for parking (Section 7.1.1) and outdoor lighting (Section 7.1.2)
- _____ Request for Waivers from the *Medway Site Plan Rules and Regulations*. Use Form Q.
- _____ Two (2) copies of a *Stormwater Drainage Evaluation*
- _____ Two (2) copies of a traffic study, depending on the size and scope of the proposed development project.
- _____ One (1) copy of all relevant approvals received to date from other Town boards/committees/departments
- _____ Proof of present or pending ownership of all land within the proposed development site.
- _____ Minor Site Plan Filing Fee – Payable to Town of Medway
- _____ Advance of Plan Review Fee – Payable to Town of Medway

From: [Jack Mee](#)
To: [Karen Johnson](#); [Susan Affleck-Childs](#); [Barbara Saint Andre](#)
Cc: [John Lorden](#)
Subject: RE: Medway Commons
Date: Tuesday, May 3, 2022 3:58:02 PM
Attachments: [image001.png](#)

[CAUTION - External Sender]

Karen,

I have reviewed your proposed plan and have determined that this will require a Minor Site Plan from the Planning and Economic Development Board. You can find these criteria in section 3.5 of the Medway Zoning Bylaw. You should also review section 10 of this same bylaw "Central Business District Development Standards.

Regards,
Jack Mee
Building Commissioner
Town of Medway
(508) 533-3253

From: Karen Johnson <karen@charterrealty.com>
Sent: Tuesday, May 3, 2022 2:01 PM
To: Jack Mee <jmee@townofmedway.org>; Susan Affleck-Childs <sachilds@townofmedway.org>; Barbara Saint Andre <bsaintandre@townofmedway.org>
Cc: John Lorden <JLorden@TigheBond.com>
Subject: Medway Commons

Please see attached letter requesting a determination on the permitting requirements for a site plan modification related to the construction of a play area.

I have spoken with Susy and Barbara and they suggested a summary letter of the proposal along with our concept plan and parking table.

Thanks

Karen

Karen Johnson, AICP
Charter Realty & Development Corp.
1666 Massachusetts Avenue, Suite 6A
Lexington, MA 02420
617 431-1091
karen@charterrealty.com

Charter Realty & Development Corp.
309 Greenwich Avenue
Greenwich, CT 06830
203.689.7000
www.charterrealty.com



Charter Medway II, LLC
c/o Charter Realty & Development Corp.
309 Greenwich Avenue
Greenwich, CT 06830

May 2, 2022

Jack Mee, Building Commissioner
Town of Medway
155 Village Street
Medway, MA 02053

RE: Request for Determination

Dear Mr. Mee:

We are excited about a potential new tenant for Medway Commons and am writing to confirm the permitting process with you. I reviewed our proposal with Susy Affleck-Childs on Friday, and she suggested I request a formal determination from you. The proposed use is for a day care/educational use which pursuant to MGL Section 40A-3, is exempt from any special permit as a child care facility, and referenced as such under Section 5.3.C. of the Town of Medway Zoning Regulations and in the Use Table for the CB Zoning District. Modifications to the parking lot in front of the space are required in order to accommodate an outdoor play area. See attached Concept Plan Medway Commons, dated May 2, 2022 prepared by Tighe & Bond which illustrates the limits of the play area. This requires the removal of 33 parking spaces however, the parking required per zoning is met (see parking table included).

We are in the process of finalizing the application materials and appreciate a determination at your earliest convenience.

Please call me if you have any questions at (617) 431 1091.

Sincerely,

CHARTER REALTY & DEVELOPMENT CORP.

A handwritten signature in blue ink, appearing to read "Karen Johnson", is written over the printed name.

Karen Johnson, AICP

Copy To: Susy Affleck-Childs
Barbara Saint Andre

Project Narrative BrightPath Child Care Center

Medway Commons

Charter Realty & Development Corp.

Medway Commons is an existing grocery-anchored shopping center with existing buildings, site infrastructure and mature landscaping constructed 18 years ago. This center has been meticulously maintained however, as retail trends have evolved, the tenant mix here must also evolve. There are several vacancies and even through our best efforts, have remained vacant for years. The opportunity to place BrightPath Child Care Center in much of this vacant space is essential for the next phase for Medway Commons. BrightPath will be a valued tenant bringing young families to Medway Commons and serving a critical community need for high quality child care. This use will not only provide a valuable service to Medway, it will also be essential to reinvigorating the center by increasing the frequency of trips. Post pandemic retailing is challenging at best and providing a mix of retail, service and community supported uses such as a child care facility is exactly the formula for success.

1) current and proposed uses –

Medway Commons is an existing grocery anchored shopping center with a variety of retail, restaurant and service uses. The BrightPath Child Care Center (“BrightPath”) will be located in space formerly occupied by Medway Yoga as well as other occupied and vacant spaces totaling 12,700 square feet. The child care center is state of the art and will offer a balance of child-led programming and an award-winning curriculum to suit the essential cognitive, social, and physical needs of children.

2) description of proposed site improvements including paving, stormwater management, landscaping, sidewalks, refuse storage and disposal facilities, site amenities, fencing, lighting, water and sewer service, open space, etc.

A portion of the existing parking area will be removed to accommodate an outdoor play space designed for the specific needs of toddlers and pre-school children. Fencing will be provided to section and contain these play areas.

3) description of proposed building construction, renovation, façade improvements, and/or demolition including the size of the proposed building(s) or additions;

Building size will not change. Will be installing some additional windows in the façade and relocating doors to satisfy needs of the use.

4) projected water and sewer demand

Average monthly demand in comparable center - 120 ccf

5) expected number of employees and/or occupants;

184 licenses student spaces - 35 staff

6) proposed hours of operation;

Expected 6 am- 6 pm M-F --- may change slightly due to customer demand

7) existing and proposed means of vehicular and pedestrian access and egress;

All students will be walked into main entrance of building by parent/guardian. Due to 2 hour drop-off and pick-up windows, do not expect more than 10-12 parent cars in lot at any time

8) number of parking spaces required and how this number was determined;

50 - 15 drop-off, 35 staff - experience with 25+ other centers

9) calculation of proposed lot coverage and impervious surface;

No change for existing center as pavement is being removed and replaced with artificial turf and wood chips with a compacted gravel base however this is considered more permeable than pavement.

10) timetable for project completion;

4 months from construction start

11) proposed on and off-site mitigation measures;

This is a proposal to re-tenant existing spaces within an existing shopping center that operated for the last 18 years without any issues. There are no proposed mitigation measures.

12) list of other required local, state and federal permits and the status of each;

Town Building and health permits and State licensure for the use. Final inspection follows CO

13) any other information the Applicant believes will assist the Board in reviewing and understanding the site plan application.

The proposed use is exempt pursuant to MGL 40a Section 3, however the use may also be considered educational/instructional facility, commercial which is a permitted use in the CB District.

Consistency with applicable provisions of Section 10

Below are relevant sections applying only to changes proposed as part of the activity proposes under Minor Site Plan Review.

D. Parking Requirements.

2. *Applicability. The parking requirements in Section 7.1.1 shall apply to the Central Business District with the following adjustments:*

- a. *Off-Street Parking Requirements. In the Central Business District (CB) the minimum number of off-street parking spaces required by use on Table 3 in Section 7.1.1.D. shall be interpreted to be both the minimum and the maximum amount of parking spaces required. A reduction of parking may be allowed by special permit under Section 7.1.1.J. Additional off-street parking spaces shall require a waiver from the PEDB and the applicant shall demonstrate sufficiently that additional parking is necessary.*

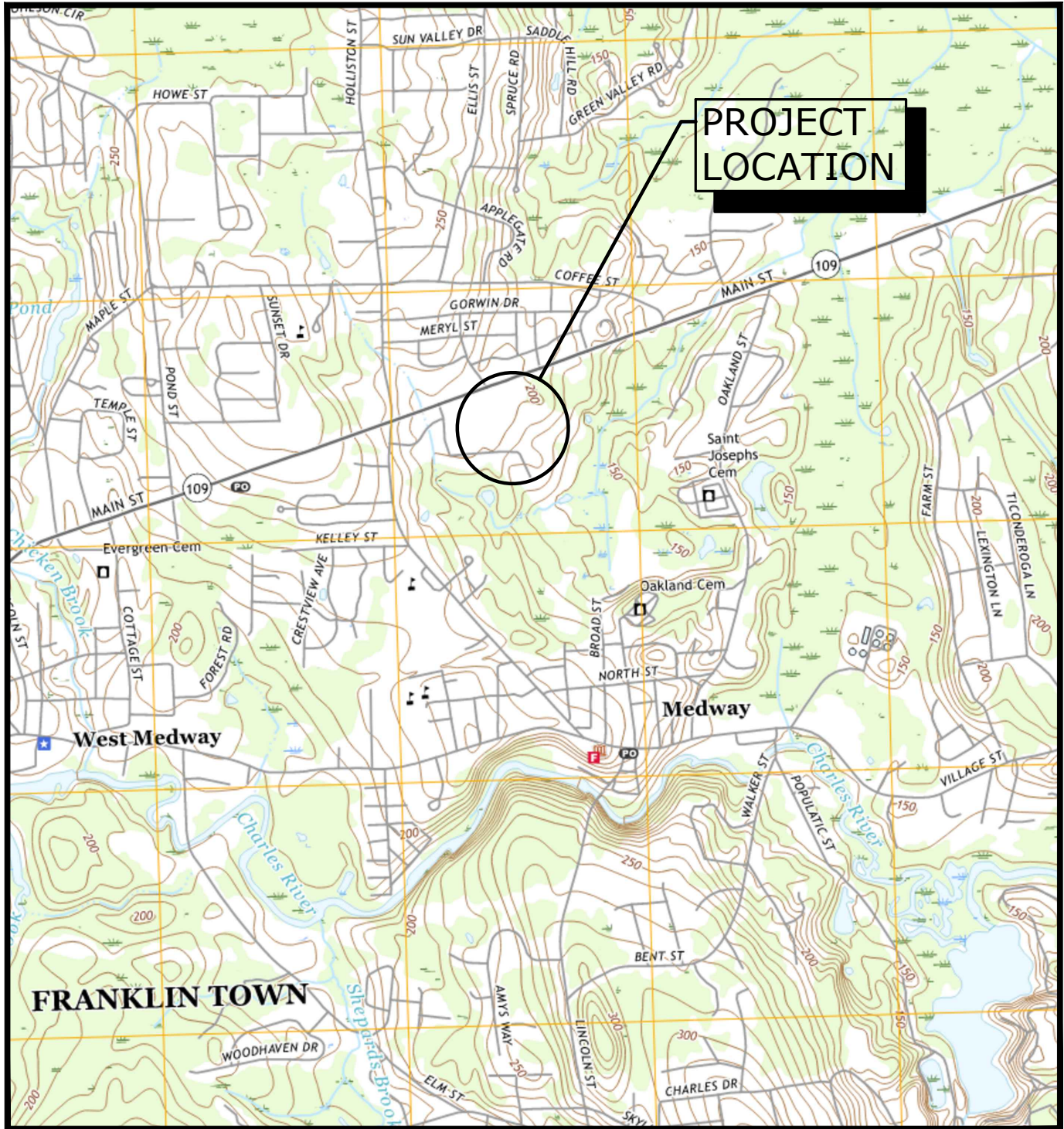
THE PROPOSED PLAN PROVIDES FOR TOTAL LOSS OF 33 PARKING SPACES AND 527 SPACES ARE PROVIDED; 517 PARKING SPACES ARE REQUIRED BY ZONING. AS NOTED IN THE PROJECT DESCRIPTION, THE SUBJECT PARCEL IS PART OF MEDWAY COMMONS, AN EXISTING SHOPPING CENTER WHICH IS SUBJECT TO A RECIPROCAL EASEMENT AGREEMENT ("REA") AMONG THE VARIOUS PARCELS. THE REA STIPULATES THAT A CERTAIN PARKING RATIO MUST BE MAINTAINED PER THE ORIGINAL CONCEPT PLAN. WE ARE ABLE TO MAINTAIN THIS RATIO WITH THE PROPOSED PARKING COUNT HOWEVER WE CANNOT FURTHER REDUCE PARKING.

Medway Commons Required Parking by Tenant

Tenant	Area		Medway Parking		Employees
	gfa	seats	gsf	seat	
			1/300 sf	1/3 seats	
Retail A					
Shaw's	71,548		238		35.0
Retail B/C	27,750				
Utility Room	100				
Education/day care	12,700		42		10.0
Pizza	1,600	25		8.3	2.0
California Nails	1,500	13	5		5.0
Loyal Companion	5,850		20		4.0
Liquor World	6,000		20		3.0
Retail D	5,000				
Orange Theory	3,400		11		2.0
Starbuck's	1,500	25		8.3	2.0
Utility room	100				
Retail E	3,716				
Proposed Restaurant	2,216	25		8.3	6.0
Cost Cutters	1,500	6	5		5.0
Retail F					
CVS	13,123		44		8.0
			385	25.0	82.0
Total	121,137		492		
Allowable					
Total Parking per SBX modification			560		
Parking Provided per Child Care plan			527		
Reduction of 33 spaces					

MEDWAY COMMONS
67C MAIN STREET MEDWAY, MASSACHUSETTS
BRIGHTPATH CHILD CARE CENTER
PERMIT DRAWINGS
MAY 19, 2022

LIST OF DRAWINGS	
SHEET NO.	SHEET TITLE
	COVER
C-100	OVERALL SITE PLAN
C-101	DEMOLITION PLAN
C-102	SITE PLAN
C-103	GRADING, DRAINAGE, & EROSION CONTROL PLAN
C-104	LANDSCAPE PLAN
C-501	EROSION CONTROL NOTES & DETAILS
C-502	DETAILS
A.701	EXTERIOR ELEVATIONS: EXISTING
A.702	EXTERIOR ELEVATIONS: PROPOSED



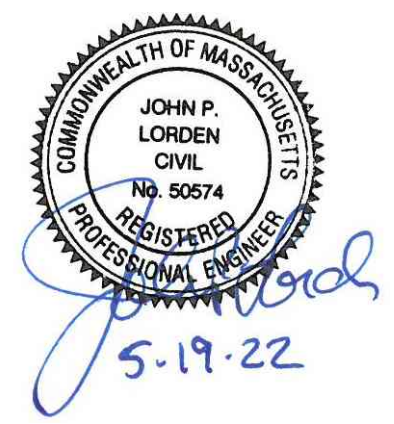
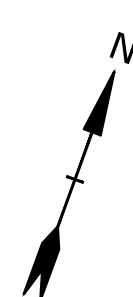
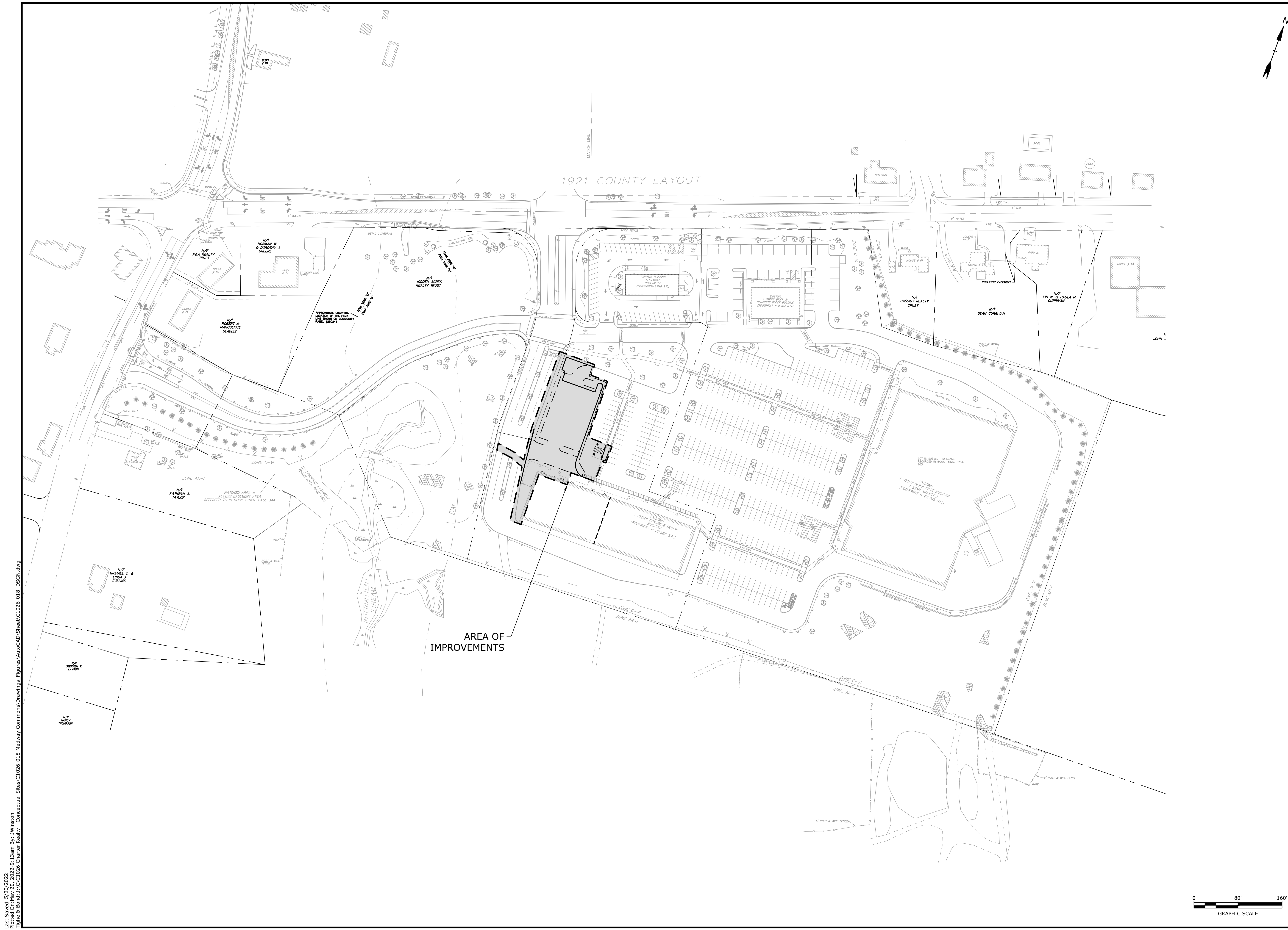
LOCATION MAP
SCALE: 1" = 2000'

PREPARED BY:
Tighe&Bond
Engineers | Environmental Specialists
177 Corporate Drive
Portsmouth, NH 03801
(603) 433-8818



PREPARED FOR:
Charter Realty & Development
1666 Massachusetts Ave - Suite 6A
Lexington, Massachusetts 02420

PREPARED WITH:
Helicon Design Group, Inc.
Architects
76 Summer Street, Suite 510
Boston, MA 02110



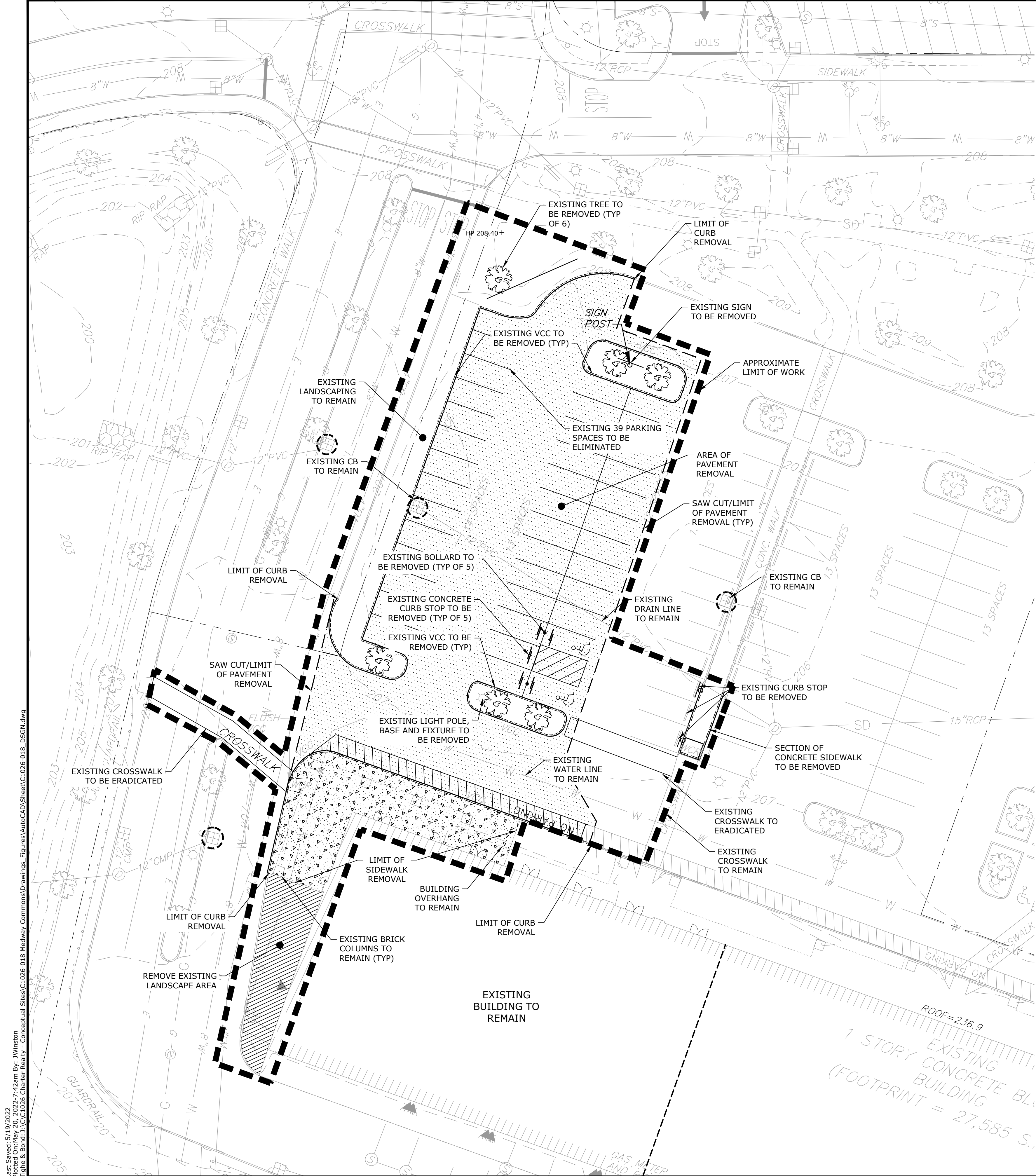
**BrightPath
Child Care
Center**
Medway Commons
67C Main Street
Medway,
Massachusetts

Charter Realty &
Development Corp.

MARK	DATE	DESCRIPTION
PROJECT NO:		C1026-018
DATE:		May 19, 2022
FILE:		C1026-018_DSGN.DWG
DRAWN BY:		JRW
CHECKED:		JPL
APPROVED:		BLM

OVERALL SITE PLAN	
SCALE:	AS SHOWN
C-100	

Last Saved: 5/20/2022
Plotted On: May 20, 2022 9:13am By: JWinston
Tighe & Bond\21\CL026-018 Medway Commons\Drawings\Figures\AutoCAD\Sheet\C1026-018_DSGN.dwg
Conceptual Sites\CL026-018 Medway Commons\Drawings\Figures\AutoCAD\Sheet\C1026-018_DSGN.dwg



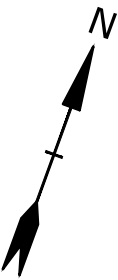
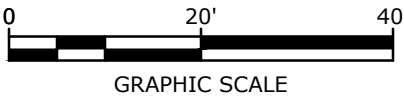
- DEMOLITION NOTES:**
1. THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR THE ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES, ANTICIPATE CONFLICTS, REPAIR EXISTING UTILITIES AND RELOCATE EXISTING UTILITIES REQUIRED TO COMPLETE THE WORK.
 2. THE CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES. CALL DIG SAFE AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION/CONSTRUCTION ACTIVITIES.
 3. ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS, ORDINANCES AND CODES.
 4. COORDINATE REMOVAL, RELOCATION, DISPOSAL OR SALVAGE OF UTILITIES WITH THE OWNER AND APPROPRIATE UTILITY COMPANY.
 5. ANY EXISTING WORK OR PROPERTY DAMAGED OR DISRUPTED BY CONSTRUCTION/ DEMOLITION ACTIVITIES SHALL BE REPLACED OR REPAIRED TO MATCH ORIGINAL EXISTING CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
 6. SAW CUT AND REMOVE PAVEMENT ONE (1) FOOT OFF PROPOSED EDGE OF PAVEMENT OR EXISTING CURB LINE IN ALL AREAS WHERE PAVEMENT TO BE REMOVED ABUTS EXISTING PAVEMENT OR CONCRETE TO REMAIN.
 7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH THE CONDITIONS OF ALL OF THE PERMIT APPROVALS.
 8. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ADDITIONAL PERMITS, NOTICES AND FEES NECESSARY TO COMPLETE THE WORK AND ARRANGE FOR AND PAY FOR NECESSARY INSPECTIONS AND APPROVALS FROM THE AUTHORITIES HAVING JURISDICTION.
 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AND OFF-SITE DISPOSAL OF MATERIALS REQUIRED TO COMPLETE THE WORK, EXCEPT FOR WORK NOTED TO BE COMPLETED BY OTHERS.
 10. PAVEMENT REMOVAL LIMITS ARE SHOWN FOR CONTRACTOR'S CONVENIENCE. ADDITIONAL PAVEMENT REMOVAL MAY BE REQUIRED DEPENDING ON THE CONTRACTOR'S OPERATION. CONTRACTOR TO VERIFY FULL LIMITS OF PAVEMENT REMOVAL PRIOR TO BID.
 11. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, CONCRETE PADS, UTILITIES AND PAVEMENT WITHIN THE WORK LIMITS SHOWN UNLESS SPECIFICALLY IDENTIFIED TO REMAIN. ITEMS TO BE REMOVED INCLUDE BUT ARE NOT LIMITED TO: CONCRETE, PAVEMENT, CURBS, LIGHTING, MANHOLES, CATCH BASINS, UNDER GROUND PIPING, POLES, STAIRS, SIGNS, FENCES, RAMPS, WALLS, TREES AND LANDSCAPING.
 12. REMOVE TREES AND BRUSH AS REQUIRED FOR COMPLETION OF WORK. CONTRACTOR SHALL GRUB AND REMOVE ALL STUMPS WITHIN LIMITS OF WORK AND DISPOSE OF OFF SITE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS.
 13. CONTRACTOR SHALL PROTECT ALL PROPERTY MONUMENTATION THROUGHOUT DEMOLITION AND CONSTRUCTION OPERATIONS. SHOULD ANY MONUMENTATION BE DISTURBED BY THE CONTRACTOR, THE CONTRACTOR SHALL EMPLOY A MASSACHUSETTS LICENSED SURVEYOR TO REPLACE DISTURBED MONUMENTS.
 14. PROVIDE INLET PROTECTION BARRIERS AT ALL CATCH BASINS/CURB INLETS WITHIN CONSTRUCTION LIMITS AS WELL AS CATCH BASINS/CURB INLETS THAT RECEIVE RUNOFF FROM CONSTRUCTION ACTIVITIES. INLET PROTECTION BARRIERS SHALL BE MAINTAINED FOR THE DURATION OF THE PROJECT. INLET PROTECTION BARRIERS SHALL BE "HIGH FLOW SILT SACK" BY ACF ENVIRONMENTAL OR EQUAL. INSPECT BARRIERS WEEKLY AND AFTER EACH RAIN EVENT OF 0.25 INCHES OR GREATER. CONTRACTOR SHALL COMPLETE A MAINTENANCE INSPECTION REPORT AFTER EACH INSPECTION. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT OR MORE OFTEN IF THE FABRIC BECOMES CLOGGED OR SEDIMENT HAS ACCUMULATED TO 1/3 THE DESIGN DEPTH OF THE BARRIER.
 15. THE CONTRACTOR SHALL PHASE DEMOLITION AND CONSTRUCTION AS REQUIRED TO PROVIDE CONTINUOUS SERVICE TO EXISTING BUSINESSES AND HOMES THROUGHOUT THE CONSTRUCTION PERIOD. EXISTING BUSINESS AND HOME SERVICES INCLUDE, BUT ARE NOT LIMITED TO ELECTRICAL, COMMUNICATION, FIRE PROTECTION, DOMESTIC WATER AND SEWER SERVICES. TEMPORARY SERVICES, IF REQUIRED, SHALL COMPLY WITH ALL FEDERAL, STATE, LOCAL AND UTILITY COMPANY STANDARDS. CONTRACTOR SHALL PROVIDE DETAILED CONSTRUCTION SCHEDULE TO OWNER PRIOR TO ANY DEMOLITION/CONSTRUCTION ACTIVITIES AND SHALL COORDINATE TEMPORARY SERVICES TO ABUTTERS WITH THE UTILITY COMPANY AND AFFECTED ABUTTER.
 16. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY CLEARING OR DEMOLITION ACTIVITIES.
 17. THE CONTRACTOR SHALL PAY ALL COSTS NECESSARY FOR TEMPORARY PARTITIONING, BARRICADING, FENCING, SECURITY AND SAFETY DEVICES REQUIRED FOR THE MAINTENANCE OF A CLEAN AND SAFE CONSTRUCTION SITE.

REFERENCE PLANS:

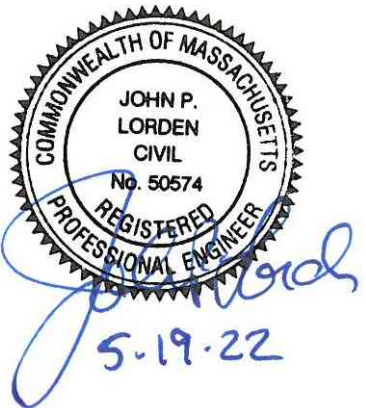
1. "SITE AS-BUILT PLAN MAIN AND HOLLISTON STREETS IN MEDWAY MA" PREPARED BY DAYLOR CONSULTING FROUP INC., DATED JULY 14, 2004.

LEGEND

TYP	TYPICAL
	LIMIT OF WORK
	PROPOSED SAW CUT LINE
	EXISTING PAVEMENT REMOVAL
	EXISTING CONCRETE TO BE REMOVED
	EXISTING LANDSCAPE AREA TO BE REMOVED



Tighe&Bond



**BrightPath
Child Care
Center**

Medway Commons
67C Main Street
Medway,
Massachusetts

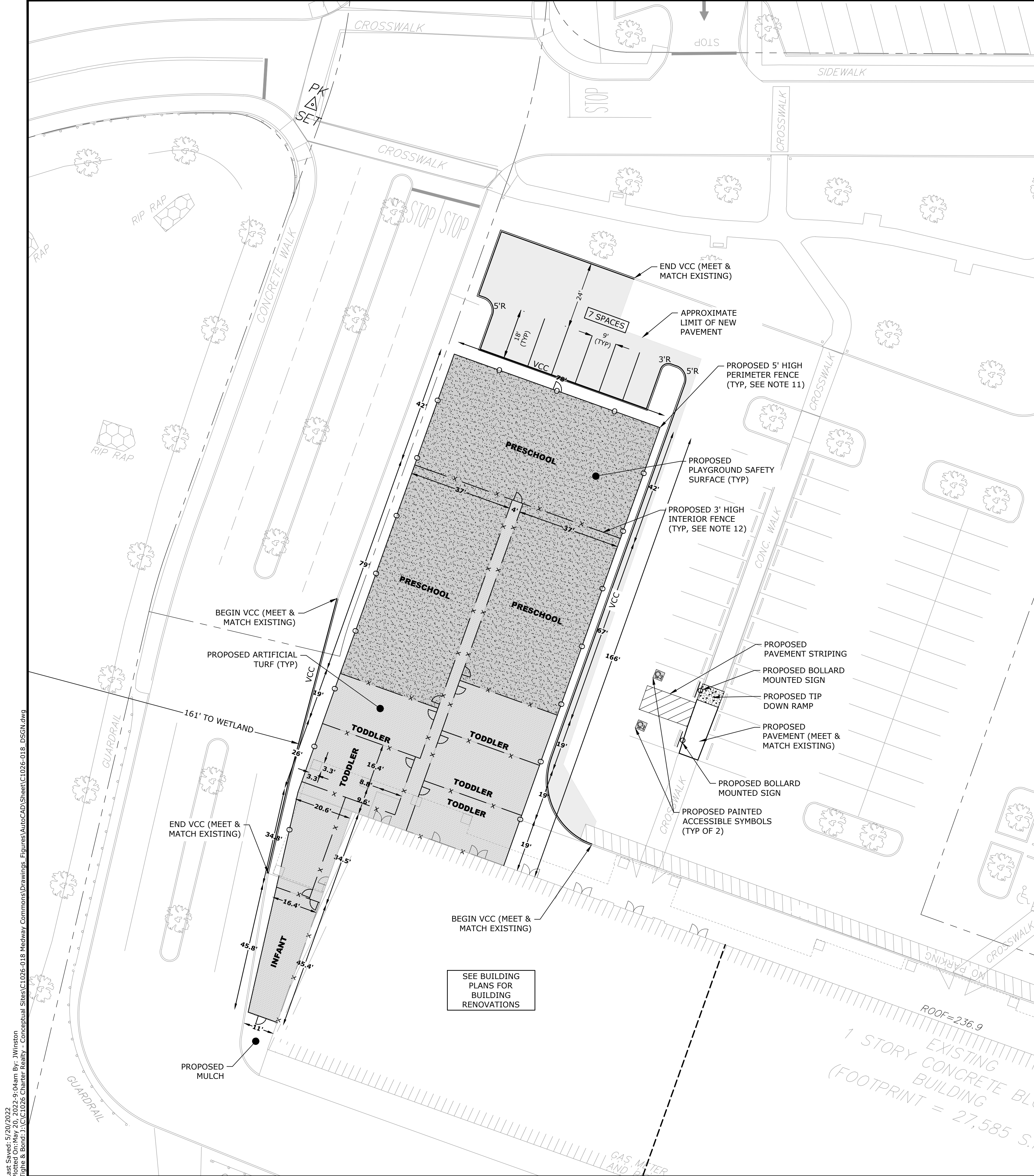
Charter Realty &
Development Corp.

MARK	DATE	DESCRIPTION
PROJECT NO:	C1026-018	
DATE:	May 19, 2022	
FILE:	C1026-018_DSGN.DWG	
DRAWN BY:	JRW	
CHECKED:	JPL	
APPROVED:	BLM	

DEMOLITION PLAN

SCALE: AS SHOWN

C-101



SITE NOTES:

- STRIPE PARKING AREAS AS SHOWN, INCLUDING PARKING SPACES, AND ADA SYMBOLS. PAINT SHALL BE FAST DRYING AND SHALL MEET THE REQUIREMENTS OF AASHTO M249. ALL TRAFFIC PAINT SHALL MEET THE REQUIREMENTS OF AASHTO M248 TYPE "F".
- ALL PAVEMENT MARKINGS AND SIGNS TO CONFORM TO "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", "STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS", AND THE AMERICANS WITH DISABILITIES ACT REQUIREMENTS, LATEST EDITIONS.
- SEE DETAILS FOR PARKING STALL MARKINGS, ADA SYMBOLS, SIGNS AND SIGN POSTS.
- THE CONTRACTOR SHALL EMPLOY A MASSACHUSETTS LICENSED LAND SURVEYOR TO DETERMINE ALL LINES AND GRADES.
- CLEAN AND COAT VERTICAL FACE OF EXISTING PAVEMENT AT SAW CUT LINE WITH RS-1 EMULSION IMMEDIATELY PRIOR TO PLACING NEW BITUMINOUS CONCRETE.
- ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE, AND LOCAL CODES & SPECIFICATIONS.
- CONTRACTOR TO SUBMIT AS-BUILT PLANS IN DIGITAL FORMAT (.DWG AND .PDF FILES) ON DISK TO THE OWNER AND ENGINEER UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A NEW HAMPSHIRE LICENSED LAND SURVEYOR.
- ALL WORK SHALL CONFORM TO THE TOWN OF MEDWAY DEPARTMENT OF PUBLIC WORKS, STANDARD SPECIFICATIONS AND WITH THE STATE OF MASSACHUSETTS DEPARTMENT OF TRANSPORTATION, "STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES", CURRENT EDITION.
- COORDINATE ALL WORK ADJACENT TO BUILDING WITH BUILDING CONTRACTOR.
- ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- PERIMETER FENCING SHALL BE ECHELON PLUS ORNAMENTAL ALUMINUM TUBULAR FENCE; STYLE = MAJESTIC; PANEL = 3-RAIL; COLOR = BLACK; HEIGHT = 5 FEET. PERIMETER FENCING LOCATIONS SHALL BE FIXED.
- INTERIOR FENCING SHALL BE JAMIESON FENCE SUPPLY VINYL CHAIN-LINK FABRIC - EXTRUDED; ITEM NO = 304036-BKKK; COLOR = BLACK; HEIGHT = 3 FEET. INTERIOR FENCING LOCATIONS MAY MOVE SLIGHTLY BASED ON SITE CONDITIONS AND TO FACILITATE FINAL PLAYGROUND ELEMENT PLACEMENT.

LEGEND

5'R	RADIUS
TYP	TYPICAL
VCC	VERTICAL CONCRETE CURB
	ACCESSIBLE PAVEMENT MARKING
	PROPOSED SIGN
	PROPOSED EDGE OF PAVEMENT/CURB
	PROPOSED PERIMETER FENCE (ORNAMENTAL ALUMINUM)
	PROPOSED INTERIOR FENCE (CHAIN-LINK)
	PROPOSED PLAYGROUND SAFETY SURFACE
	PROPOSED ARTIFICIAL TURF
	PROPOSED CONCRETE
	PROPOSED PAINTED ISLAND
	PROPOSED PAVEMENT

0 20' 40'

GRAPHIC SCALE

0 20' 40'

GRAPHIC SCALE

Tighe&Bond

Professional Engineer
No. 50874
5-19-22

BrightPath Child Care Center

Medway Commons
67C Main Street
Medway,
Massachusetts

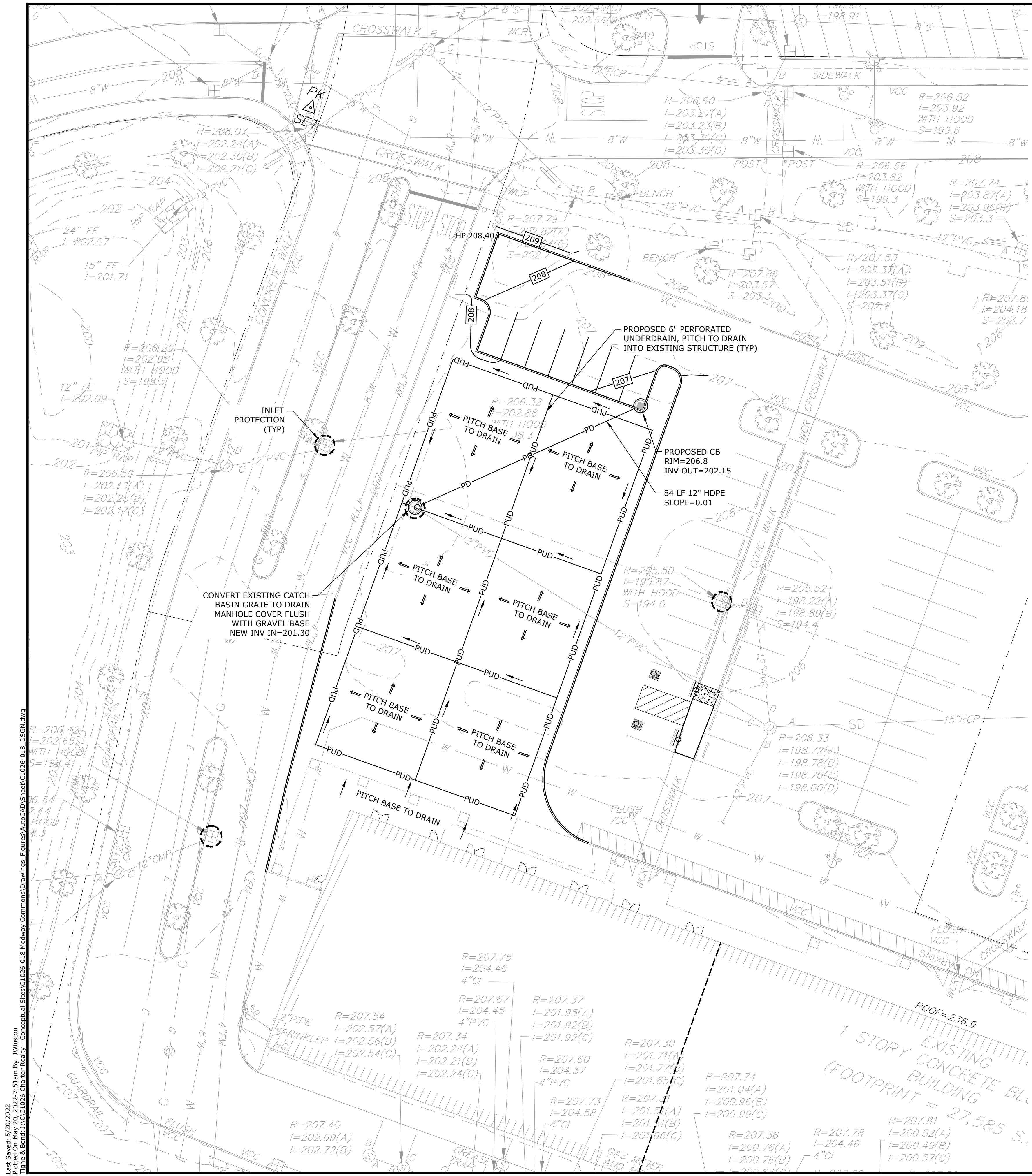
Charter Realty & Development Corp.

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FILE:	C1026-018_DSGN.DWG	
DRAWN BY:	JRW	
CHECKED:	JPL	
APPROVED:	BLM	

SITE PLAN

SCALE: AS SHOWN

C-102



GRADING AND DRAINAGE NOTES:

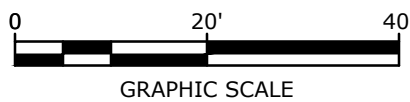
1. COMPACTION REQUIREMENTS:
BELOW PAVED OR CONCRETE AREAS 95%
TRENCH BEDDING MATERIAL AND SAND BLANKET BACKFILL 95%
BELOW LOAM AND SEED AREAS 90%
* ALL PERCENTAGES OF COMPACTION SHALL BE OF THE MAXIMUM DRY DENSITY AT THE OPTIMUM MOISTURE CONTENT AS DETERMINED AND CONTROLLED IN ACCORDANCE WITH ASTM D-1557, METHOD C FIELD DENSITY TESTS SHALL BE MADE IN ACCORDANCE WITH ASTM D-1556 OR ASTM-2922.
2. CONTRACTOR SHALL THOROUGHLY CLEAN ALL CATCH BASINS AND DRAIN LINES, WITHIN THE LIMIT OF WORK, OF SEDIMENT IMMEDIATELY UPON COMPLETION OF CONSTRUCTION.
3. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE AND LOCAL CODES.
4. ALL STORM DRAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE COMMONWEALTH OF MASSACHUSETTS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, LATEST EDITION.
5. ALL WORK SHALL CONFORM TO THE TOWN OF MEDWAY DEPARTMENT OF PUBLIC WORKS, STANDARD SPECIFICATIONS AND WITH THE STATE OF MASSACHUSETTS DEPARTMENT OF TRANSPORTATION, "STANDARD SPECIFICATIONS OF HIGHWAYS AND BRIDGES CONSTRUCTION", CURRENT EDITION.

EROSION CONTROL NOTES:

1. INSTALL EROSION CONTROL BARRIERS AS SHOWN AS FIRST ORDER OF WORK.
2. SEE GENERAL EROSION CONTROL NOTES ON "EROSION CONTROL NOTES & DETAILS SHEET".
3. PROVIDE INLET PROTECTION AROUND ALL EXISTING AND PROPOSED CATCH BASIN INLETS WITHIN THE WORK LIMITS AS WELL AS CATCH BASINS/CURB INLETS THAT RECEIVE RUNOFF FROM CONSTRUCTION ACTIVITIES. MAINTAIN FOR THE DURATION OF THE PROJECT.
4. INSPECT INLET PROTECTION AND PERIMETER EROSION CONTROL MEASURES DAILY AND AFTER EACH RAIN STORM OF 0.25 INCH OR GREATER. REPAIR/MODIFY PROTECTION AS NECESSARY TO MAXIMIZE EFFICIENCY OF FILTER. REPLACE ALL FILTERS WHEN SEDIMENT IS 1/3 THE FILTER HEIGHT.
5. PRIOR TO ANY WORK OR SOIL DISTURBANCE COMMENCING ON THE SUBJECT PROPERTY, INCLUDING MOVING OF EARTH, THE APPLICANT SHALL INSTALL ALL EROSION AND SILTATION MITIGATION AND CONTROL MEASURES AS REQUIRED BY STATE AND LOCAL PERMITS AND APPROVALS.
6. CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST AND WIND EROSION THROUGHOUT THE CONSTRUCTION PERIOD. DUST CONTROL MEASURES SHALL INCLUDE, BUT ARE NOT LIMITED TO, SPRINKLING WATER ON UNSTABLE SOILS SUBJECT TO ARID CONDITIONS.
7. THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL TEMPORARY EROSION CONTROL DEVICES UPON COMPLETION OF CONSTRUCTION.
8. ALL CATCH BASIN SUMPS AND PIPING SHALL BE THOROUGHLY CLEANED TO REMOVE ALL SEDIMENT AND DEBRIS AFTER THE PROJECT HAS BEEN COMPLETED.
9. TEMPORARY SOIL STOCKPILE SHALL BE SURROUNDED WITH PERIMETER CONTROLS AND SHALL BE STABILIZED BY TEMPORARY EROSION CONTROL SEEDING.
10. SAFETY FENCING SHALL BE PROVIDED AROUND STOCKPILES OVER 10 FT.

LEGEND

HP 208.40+	HIGH POINT ELEVATION
CB	CATCH BASIN
INV	INVERT
==>	GRADE PITCH DIRECTION
→	DRAIN DIRECTION
⊙	INLET PROTECTION
⊙	PROPOSED CATCH BASIN
—PUD—	PROPOSED UNDERDRAIN
—PD—	PROPOSED DRAIN LINE
207	PROPOSED CONTOUR



Tighe&Bond



**BrightPath
Child Care
Center**
Medway Commons
67C Main Street
Medway,
Massachusetts

Charter Realty &
Development Corp.

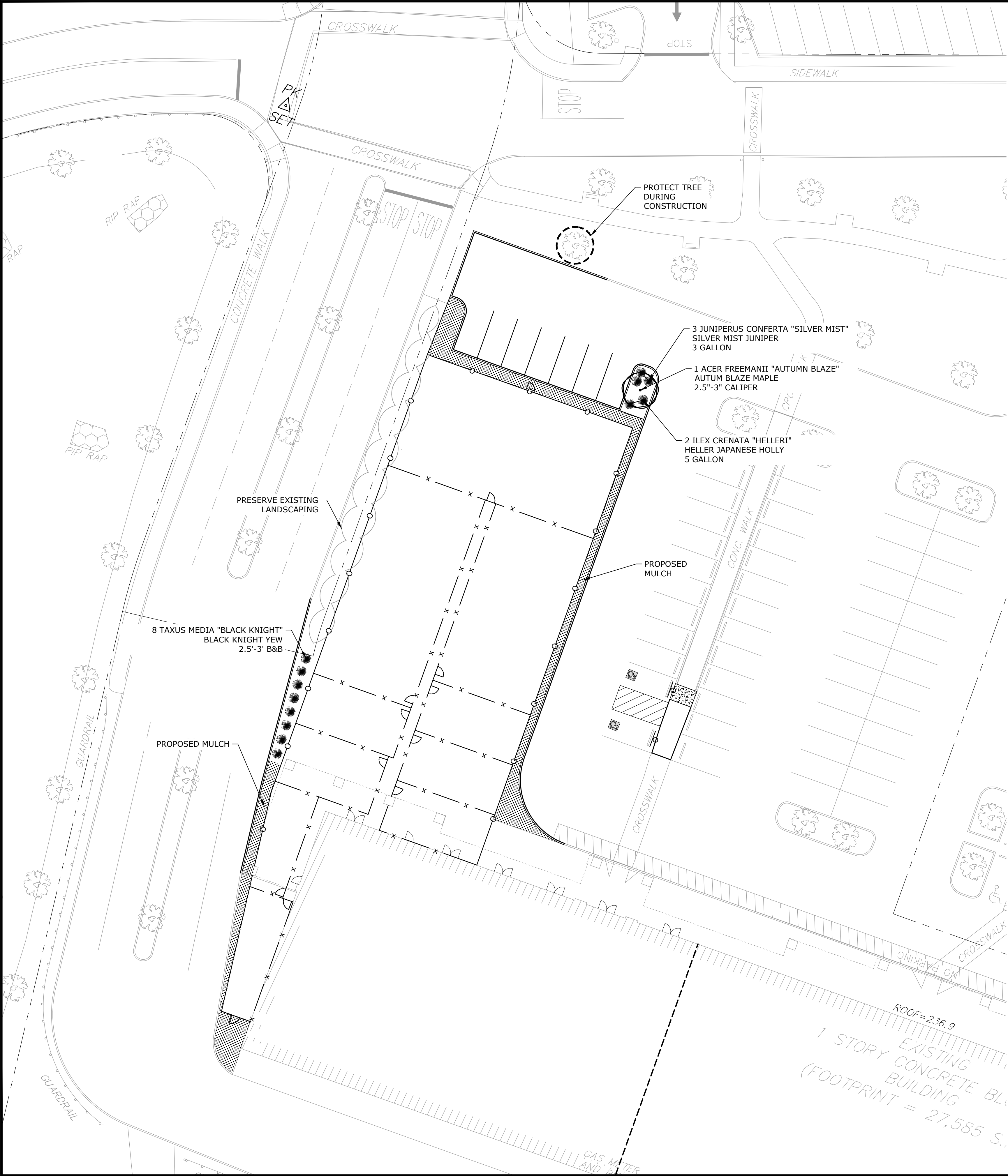
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DRAWN BY:	JRW	
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APPROVED:	BLM	

GRADING, DRAINAGE, AND
EROSION CONTROL PLAN

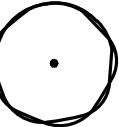


SCALE: AS SHOWN

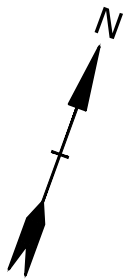
C-103

Last Saved: 5/20/2022
Plotted On: May 20, 2022 8:19am By: JWinston
Tighe & Bond Inc. C:\C1026-018 Medway Commons\Drawings Figures\AutoCAD\Sheet\C1026-018_DSGN.dwg

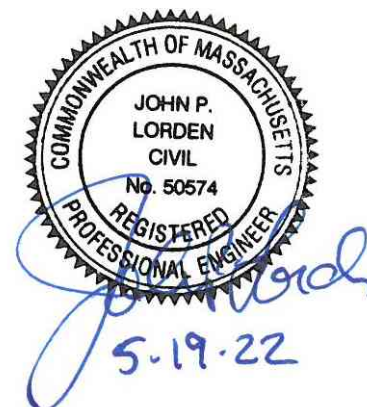


- LANDSCAPE NOTES:**
1. THE CONTRACTOR SHALL FURNISH AND PLANT ALL PLANTS IN QUANTITIES AS SHOWN ON THIS PLAN. NO SUBSTITUTIONS WILL BE PERMITTED UNLESS APPROVED BY OWNER. ALL PLANTS SHALL BE NURSERY GROWN.
 2. ALL PLANTS SHALL BE NURSERY GROWN AND PLANTS AND WORKMANSHIP SHALL CONFORM TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS, INCLUDING BUT NOT LIMITED TO SIZE, HEALTH, SHAPE, ETC., AND SHALL BE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO ARRIVAL ON-SITE AND AFTER PLANTING.
 3. PLANT STOCK SHALL BE GROWN WITHIN THE HARDINESS ZONES 4 THRU 7 ESTABLISHED BY THE PLANT HARDINESS ZONE MAP, MISCELLANEOUS PUBLICATIONS NO. 814, AGRICULTURAL RESEARCH SERVICE, UNITED STATES DEPARTMENT AGRICULTURE, LATEST REVISION.
 4. PLANT MATERIAL SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS TO THE ORIGINAL PLANTING GRADE PRIOR TO DIGGING.
 5. THE NUMBER OF EACH INDIVIDUAL PLANT TYPE AND SIZE PROVIDED IN THE PLANT LIST OR ON THE PLAN IS FOR THE CONTRACTOR'S CONVENIENCE ONLY. IF A DISCREPANCY EXISTS BETWEEN THE NUMBER OF PLANTS ON THE LABEL AND THE NUMBER OF SYMBOLS SHOWN ON THE DRAWINGS, THE GREATER NUMBER SHALL APPLY.
 6. NO SUBSTITUTION OF PLANT MATERIALS WILL BE ALLOWED WITHOUT THE PRIOR WRITTEN APPROVAL OF THE OWNER'S REPRESENTATIVE.
 7. THE CONTRACTOR SHALL LOCATE, VERIFY AND MARK ALL EXISTING AND NEWLY INSTALLED UNDERGROUND UTILITIES PRIOR TO ANY LAWN WORK OR PLANTING. ANY CONFLICTS WHICH MIGHT OCCUR BETWEEN PLANTING AND UTILITIES SHALL IMMEDIATELY BE REPORTED TO THE OWNER SO THAT ALTERNATE PLANTING LOCATIONS CAN BE DETERMINED.
 8. ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED, SHALL RECEIVE 6" OF LOAM AND SEED. NO FILL SHALL BE PLACED IN ANY WETLAND AREA.
 9. THREE INCHES (3") OF BARK MULCH IS TO BE USED AROUND THE TREE AND SHRUB PLANTING AS SPECIFIED IN THE DETAILS. WHERE BARK MULCH IS TO BE USED IN A CURBED ISLAND THE BARK MULCH SHALL MEET THE TOP INSIDE EDGE OF THE CURB. ALL OTHER AREAS SHALL RECEIVE 6" INCHES OF LOAM AND SEED.
 10. LANDSCAPING SHALL BE LOCATED WITHIN 150 FT OF EXTERIOR HOSE ATTACHMENT OR SHALL BE PROVIDED WITH AN IRRIGATION SYSTEM.
 11. SEE PLANTING DETAILS AND SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
 12. TREE STAKES SHALL REMAIN IN PLACE FOR NO LESS THAN 6 MONTHS AND NO MORE THAN 1 YEAR.
 13. PLANTING SHALL BE COMPLETED FROM APRIL 15TH THROUGH OCTOBER 1ST. NO PLANTING DURING JULY AND AUGUST UNLESS SPECIAL PROVISIONS ARE MADE FOR DROUGHT.
 14. PARKING AREA PLANTED ISLANDS TO HAVE MINIMUM OF 1'-0" TOPSOIL PLACED TO WITHIN 3 INCHES OF THE TOP OF CURB ELEVATION. REMOVE ALL CONSTRUCTION DEBRIS BEFORE PLACING TOPSOIL.
 15. TREES SHALL BE PRUNED IN ACCORDANCE WITH THE LATEST EDITION OF ANSI A300 'TREES, SHRUBS AND OTHER WOOD PLANT MAINTENANCE STANDARD PRACTICES.
 16. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24 HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL BE WATERED WEEKLY, OR MORE OFTEN, IF NECESSARY DURING THE FIRST GROWING SEASON. LANDSCAPE CONTRACTOR SHALL COORDINATE WATERING SCHEDULE WITH OWNER DURING THE ONE (1) YEAR GUARANTEE PERIOD.
 17. EXISTING TREES AND SHRUBS SHOWN ON THE PLAN ARE TO REMAIN UNDISTURBED. ALL EXISTING TREES AND SHRUBS SHOWN TO REMAIN ARE TO BE PROTECTED WITH A 4-FOOT SNOW FENCE PLACED AT THE DRIP LINE OF THE BRANCHES OR AT 8 FEET MINIMUM FROM THE TREE TRUNK. ANY EXISTING TREE OR SHRUB SHOWN TO REMAIN, WHICH IS REMOVED DURING CONSTRUCTION, SHALL BE REPLACED BY A TREE OF COMPARABLE SIZE AND SPECIES TREE OR SHRUB.
 18. THE CONTRACTOR SHALL GUARANTEE ALL PLANTINGS TO BE IN GOOD HEALTHY, FLOURISHING AND ACCEPTABLE CONDITION FOR A PERIOD OF ONE (1) YEAR BEGINNING AT THE DATE OF ACCEPTANCE OF SUBSTANTIAL COMPLETION. ALL GRASSES, TREES AND SHRUBS THAT, IN THE OPINION OF THE LANDSCAPE ARCHITECT, SHOW LESS THAN 80% HEALTHY GROWTH AT THE END OF ONE YEAR PERIOD SHALL BE REPLACED BY THE CONTRACTOR.
 19. UPON EXPIRATION OF THE CONTRACTOR'S ONE YEAR GUARANTEE PERIOD, THE OWNER SHALL BE RESPONSIBLE FOR LANDSCAPE MAINTENANCE INCLUDING WATERING DURING PERIODS OF DROUGHT.
 20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL PLANTING AND LAWNS AGAINST DAMAGE FROM ONGOING CONSTRUCTION. THIS PROTECTION SHALL BEGIN AT THE TIME THE PLANT IS INSTALLED AND CONTINUE UNTIL THE FORMAL ACCEPTANCE OF ALL THE PLANTINGS.
 21. PRE-PURCHASE PLANT MATERIAL AND ARRANGE FOR DELIVERY TO MEET PROJECT SCHEDULE AS REQUIRED IT MAY BE NECESSARY TO PRE-DIG CERTAIN SPECIES WELL IN ADVANCE OF ACTUAL PLANTING DATES.

LEGEND	
B & B	BALLED AND BURLAPPED EVERGREEN SHRUB
	DECIDUOUS TREE
	PROPOSED MULCH
	EXISTING LANDSCAPING



Tighe&Bond



**BrightPath
Child Care
Center**
Medway Commons
67C Main Street
Medway,
Massachusetts

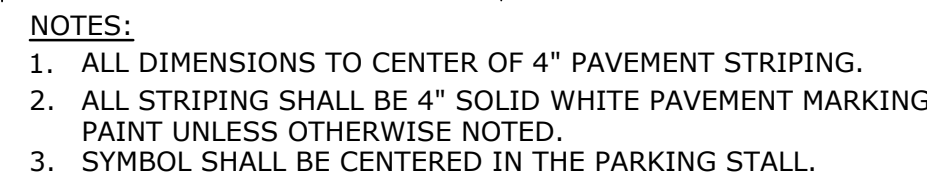
Charter Realty &
Development Corp.

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PROJECT NO:	C1026-018	
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DRAWN BY:	JRW	
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APPROVED:	BLM	

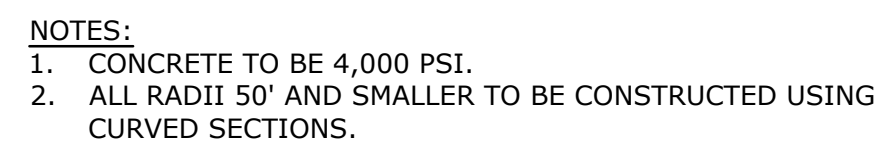
LANDSCAPE PLAN

SCALE: AS SHOWN

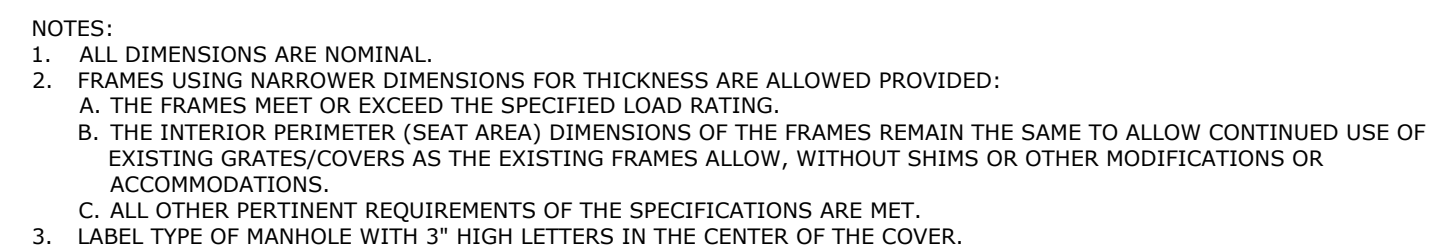
C-104



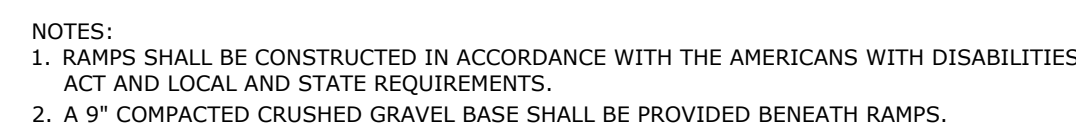
PARKING STALL
NO SCALE



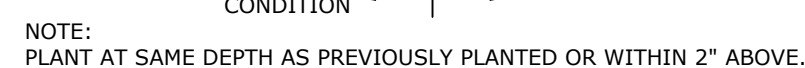
VERTICAL CONCRETE CURB
NO SCALE



DRAIN MANHOLE FRAME & COVER
NO SCALE



TIP DOWN RAMP
NO SCALE



DECIDUOUS TREE PLANTING
NO SCALE



ARTIFICIAL TURF
NO SCALE



PLAYGROUND SAFETY SURFACE
NO SCALE



C-502



project



contractor

structural

MEP

issue / revisions

MARK	DATE	DESCRIPTION
------	------	-------------

stamp

phase

SCHEMATIC DESIGN

north

sheet title

DRAWN / CHECKED

sheet number

Abstract

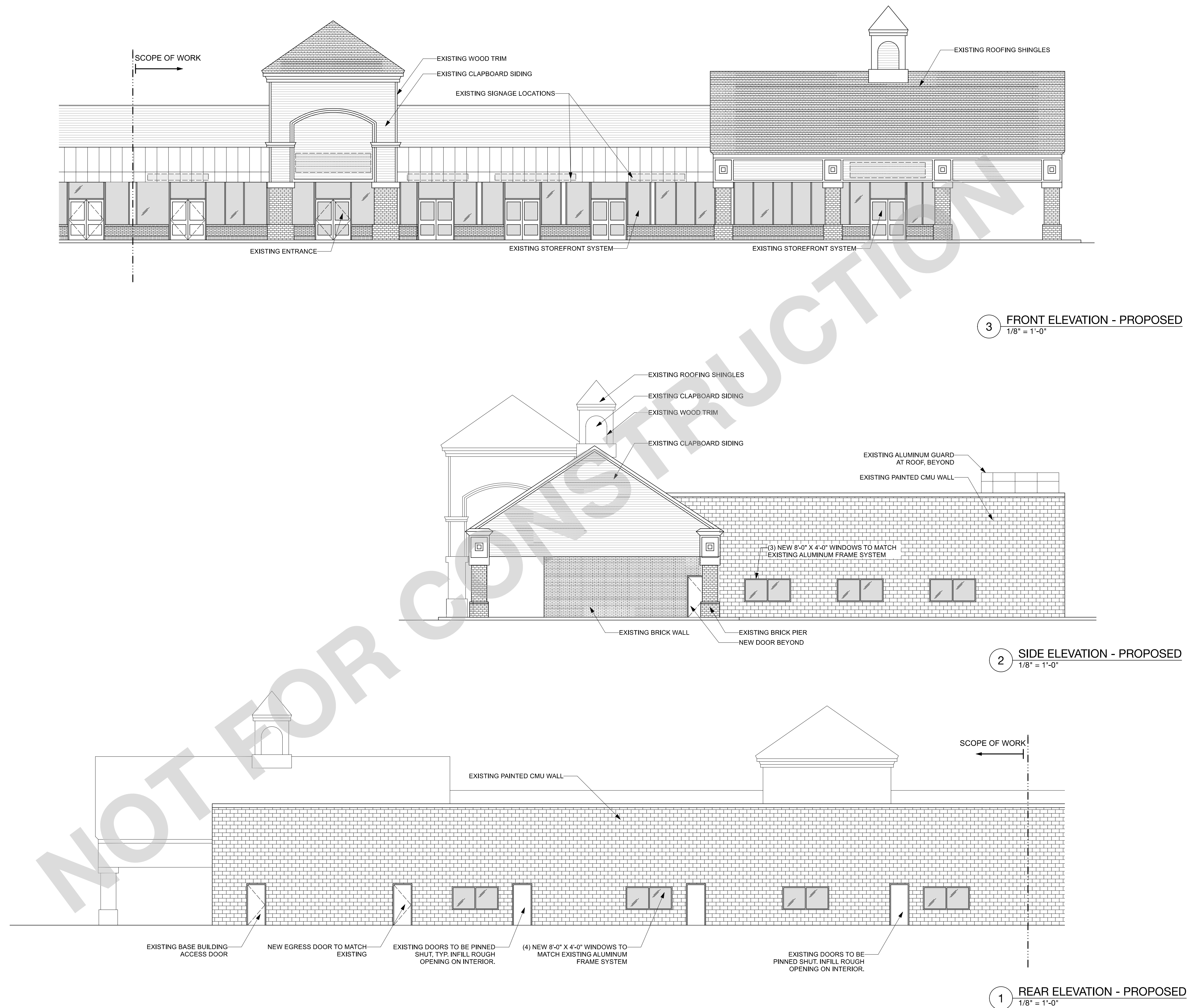
A.701

scale

AS NOTED

ACKNOWLEDGMENTS





Medway Commons – Stormwater Summary Memo

TO: Karen Johnson, Charter Realty & Development Corp.
FROM: John Lorden, PE, Tighe & Bond
DATE: March 19, 2022

Tighe & Bond is submitting this memorandum to summarize the proposed stormwater management impacts to the Medway Commons project located in Medway, Massachusetts. The project includes BrightPath Child Care Center occupying space in an existing shopping center.

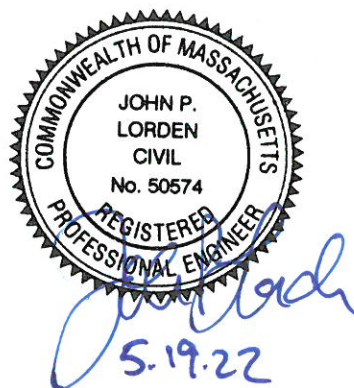
Site related impacts include the removal of 33 parking spaces to accommodate an outdoor play space on a combination of artificial turf and wood chips. A series of perforated underdrains will collect the stormwater from the outdoor play space and direct the stormwater to the existing closed stormwater system.

As part of the project the only change to the existing closed drainage system is to route the proposed underdrains below the outdoor play area to an existing catchbasin that will be converted to a drain manhole under the proposed wood chips. No new stormwater connections or outfall discharges are proposed.

The post-development peak discharge rates will not be greater than the pre-development peak discharge rates. The stormwater through the outdoor play area will take much longer to route through the surface material, into the underdrains, and into the closed drainage system in comparison to direct runoff from the pavement entering the same closed drainage system.

The proposed project will not have any negative impact on the existing stormwater drainage system.

J:\C\1026 Charter Realty - Conceptual Sites\C1026-018 Medway Commons\Reports\Drainage\20220519_Medway_Stormwater Memo.docx



Board Members

Matthew J. Hayes, P.E., Chair
Robert Tucker, Vice Chair
Richard Di Iulio, Clerk
Jessica Chabot, Member
Sarah Raposa, A.I.C.P., Member
Thomas A. Gay, Associate
Member



Medway Town Hall
155 Village Street
Medway, MA 02053
Phone (508) 533-3291
Fax (508) 321-4987
Email: planningboard@townofmedway.org
www.townofmedway.org

TOWN OF MEDWAY

COMMONWEALTH OF MASSACHUSETTS

PLANNING AND ECONOMIC DEVELOPMENT BOARD

May 25, 2022

ABUTTER NOTIFICATION OF PUBLIC BRIEFING

**Charter Realty & Development Corporation
Medway Commons, 67 Main Street
Minor Site Plan – BrightPath Child Care Center**

The Medway Planning and Economic Development Board will commence a public briefing on Tuesday, June 14, 2022 at 9:00 p.m. in Sanford Hall at Medway Town Hall, 155 Village Street to consider the application of Charter Realty and Development Corporation of Greenwich, MA for approval of a minor site plan for BrightPath Child Care Center to be located in Medway Commons at 67 Main Street.

The applicant seeks minor site plan approval to modify a section of the existing parking lot in front of a portion of existing retail and restaurant spaces to accommodate construction of an approximately 14,200 sq. ft. outdoor play area for a new 12,700 sq. ft. childcare facility to be located within existing space at the southwestern end of the shopping center. Planned construction includes removal of pavement from 33 parking spaces, removal of an estimated 440 linear feet of curbing, removal of approximately 80 linear feet of driveway space, and removal of an estimated 2,040 sq. ft. of sidewalk, to be replaced with installation of various play area surface materials, fencing, landscaping, and play space equipment and amenities to be directly accessed from the childcare center.

The subject property (Map 41, Parcel 23) is owned by Hidden Acres Realty Trust of Medway, MA which holds a long-term lease with Charter Medway II, LLC of Greenwich, CT to own and operate Medway Commons which is located on the south side of Main ST (Route 109) in the Central Business zoning district.

You are receiving this notice as you are the record owner of property located within 300' of the subject site. Please note that this is the only written notification you will receive about the public briefing for this project.

The application documents are on file with the Medway Town Clerk and at the office of the Planning and Economic Development Board at Medway Town Hall, 155 Village Street and may be reviewed during regular business hours. The documents are also posted at the Board's web page at: <https://www.townofmedway.org/planning-economic-development-board/pages/current-applications-pedb-0> Interested persons are invited to review the application documents, attend the public briefing, and express their views at the designated time and place. Written comments may be forwarded to: planningboard@townofmedway.org. Questions should be directed to the Planning and Economic Development office at 508-533-3291.

OVER 

Pursuant to Chapter 22 of the Acts of 2022, this hearing will be conducted in person and, as a courtesy, via remote means in accordance with applicable law. Please note that while an option for remote attendance and/or participation is being provided as a courtesy to the public and board members, the hearing will not be suspended or terminated if technological problems interrupt the virtual broadcast, unless required by law. Information for participating in the meeting via Zoom will be included on the agenda for Board's June 14, 2022 meeting which will be posted to the Town's master calendar of events at: <https://www.townofmedway.org/calendar/month/2022-06> and at the Board's web page at: <https://www.townofmedway.org/node/926/agenda/2022>

Matthew J. Hayes, P.E., Chair

Susan Affleck-Childs

From: Susan Affleck-Childs
Sent: Tuesday, May 31, 2022 3:18 PM
To: Michael Boynton; Mike Fasolino; Donna Greenwood; Bridget Graziano; Joanne Russo; Beth Hallal; Jack Mee; Jeff Lynch; jwatson@medwaypolice.com; Peter Pelletier; Sean Harrington; Stephanie Carlisle; Barbara Saint Andre
Subject: New Permit Applications - NeoOrganics, 4 Marc Road (marijuana cultivation) modification and Medway Commons BrightPath Child Care Center site plan

Hi,

The Planning and Economic Development Board has received permit applications for the above two noted projects and will begin its review at its June 14th meeting.

Project information is available at:

<https://www.townofmedway.org/planning-economic-development-board/pages/medway-commons-brightpath-child-care-center>

<https://www.townofmedway.org/planning-economic-development-board/pages/neo-organics-4-marc-road-special-permit-and-site-plan-0>

Please review the noted projects and provide any comments to me by June 8th for inclusion in the board packet for the June 14th meeting. We particularly need Police and Fire review of the Medway Commons BrightPath Child Care Center site plan as it includes changes in traffic patterns.

Thanks for your help.

Susy

Susan E. Affleck-Childs
Planning and Economic Development Coordinator
Town of Medway
155 Village Street
Medway, MA 02053
508-533-3291



C1026-018
June 3, 2022

Karen Johnson, AICP
Charter Realty & Development
1666 Massachusetts Ave – Suite 6a
Lexington, Massachusetts 02420

Re: **Traffic Memorandum
BrightPath Child Care Center
Medway Commons – 67 Main Street, Medway, MA**

Dear Karen:

Tighe & Bond has prepared a traffic memorandum to review the potential impact of the proposed BrightPath Child Care Center within the existing Medway Commons shopping center in Medway, MA. Medway Commons currently includes Shaw's grocery store as well as a mix of retail, restaurant, and service uses. The project will replace approximately 12,700 square feet (SF) of existing retail space within the shopping center. Trip generation estimates for the shopping center were estimated under both existing and proposed conditions to determine potential impacts the day care center may have on the surrounding roadway network.

Trip Generation

Trips generated by the existing and proposed shopping center were estimated using the Institute of Transportation Engineers (ITE) Trip Generation, 11th Edition, 2021. Land-Use Code (LUC) 821 – Shopping Center (40-150k) with Supermarket was used to estimate the trips generated by the existing and proposed developments. Table 1 provides a detailed summary of the trip generation that is summarized in the following paragraphs.

As shown in Table 1, the existing shopping plaza is estimated to generate approximately 428 trips (265 entering, 163 exiting) during the weekday morning peak hour, 1,094 trips (525 entering, 569 exiting) during the weekday afternoon peak hour, and 1,122 trips (572 entering, 550 exiting) during the Saturday midday peak hour.

The proposed child care center will replace approximately 12,700 SF of existing retail space within the shopping center. Land-use Code 565 – Day Care Center was utilized to estimate the trip generation for the proposed child care center. The ITE data estimates the 12,700 SF child care center will generate 140 trips (74 entering, 66 exiting) during the weekday morning peak hour and 141 trips (66 entering, 75 exiting) during the weekday afternoon peak hour. There are no proposed trips estimated for the Saturday midday peak period because the facility will not be open. The proposed trip generation represents a net increase of approximately 95 trips (46 entering, 49 exiting) during the weekday morning peak hour, 26 trips (11 entering, 15 exiting) during the weekday afternoon peak hour, and a decrease of 118 trips (60 entering, 58 exiting) during the Saturday midday peak hour.

Traffic Operations

The previously completed *Transportation Impact Assessment* for the Proposed Medical Office Building located at 86 Holliston Street, dated April 2022 and prepared by Vanasse & Associates Inc., was reviewed to determine existing traffic operations and to determine any operational impacts as a result of the proposed child care facility. Based on the analyses results, the intersection of Route 109 (Main Street) at the Medway Commons Driveway experiences

overall Level of Service (LOS) B under 2022 Existing, 2029 No-Build, and 2029 Build conditions during the weekday morning and weekday afternoon peak hours. In addition, the "critical" movements entering and exiting Medway Commons were reviewed in detail to determine any impacts the proposed child care center may have. The Route 109 westbound left and eastbound right movements experience LOS A during under all scenarios during both the weekday morning and weekday afternoon peak hours. The Medway Commons driveway northbound shared left/ through movement and right movement experience acceptable LOS D and LOS C under each scenario during the weekday morning and weekday afternoon peak hours, respectively. Queues are accommodated within available storage under each scenario during the weekday morning and afternoon peak hours. It is important to note that LOS D operations are generally characterized as acceptable with vehicular delays between 35 and 55 seconds per vehicle. Delays experienced on all movements under each scenario during the weekday morning and afternoon peak hours are all below 40 seconds per vehicle, well below the 55 second threshold.

While the site is expected to increase overall traffic during the weekday morning and weekday afternoon peak hours, the largest increase in trips (95 trips during the weekday morning peak hour) is estimated to occur when Medway Commons site traffic is low as a result of low activity at the shopping center during this time period (7:00 AM to 9:00 AM) as most businesses in the plaza are not yet open. The intersection of Route 109 at Medway Commons is expected to continue to operate at acceptable levels with the increased traffic during the weekday morning peak hour. The 26 additional trips estimated during the weekday afternoon peak hour are not expected to significantly increase vehicular delay at the intersection. Lastly, because the shopping center is estimated to generate less traffic during the Saturday midday period under the proposed condition as previously mentioned, traffic operations are expected to improve during this time period.


Conclusion

Based on the trip generation estimates, the additional site-generated traffic by the proposed child care center is not expected to significantly increase traffic over previous levels and is not expected to significantly impact traffic operations. Additional traffic analyses are not recommended at this time.

Sincerely,

TIGHE & BOND, INC.


John Lorden, PE
Project Manager II


Matthew Stoutz, PE, PTOE, RSP1
Project Engineer

Enclosures: Site-Generated Traffic Summary (Table 1)

\\tighebond.com\data\Data\Projects\C\C1026 Charter Realty - Conceptual Sites\C1026-018 Medway Commons\Reports\Traffic\2022-06-03 Medway Commons Traffic Memo.docx

TABLE 1

Site-Generated Traffic Summary

Existing - 121,137 SF Shopping Plaza (40-150k) with Supermarket			
Peak Hour Period	Enter	Exit	Total
Weekday Morning	265	163	428
Weekday Afternoon	525	569	1,094
Saturday Midday	572	550	1,122
Weekday	5,723	5,723	11,446
Proposed - 12,700 SF Day Care Center			
Peak Hour Period	Enter	Exit	Total
Weekday Morning	74	66	140
Weekday Afternoon	66	75	141
Saturday Midday	0	0	0
Weekday	303	302	605
Existing - 108,437 SF Shopping Plaza (40-150k) with Supermarket			
Peak Hour Period	Enter	Exit	Total
Weekday Morning	237	146	383
Weekday Afternoon	470	509	979
Saturday Midday	512	492	1,004
Weekday	5,123	5,123	10,246
Proposed Total Trips			
Peak Hour Period	Enter	Exit	Total
Weekday Morning	311	212	523
Weekday Afternoon	536	584	1,120
Saturday Midday	512	492	1,004
Weekday	5,426	5,425	10,851
Net Vehicular Trips			
Peak Hour Period	Enter	Exit	Total
Weekday Morning	46	49	95
Weekday Afternoon	11	15	26
Saturday Midday	-60	-58	-118
Weekday	-297	-298	-595

Source: Institute of Transportation Engineers, Trip Generation, 11th Edition, 2021
Land Use - 821 Shopping Plaza (40-150k) with Supermarket
Land Use - 565 Day Care Center



June 9, 2022

Ms. Susan E. Affleck-Childs
Medway Planning and Economic Development Coordinator
Medway Town Hall
155 Village Street
Medway, MA 02053

**Re: Bright Path Child Care Center
Minor Site Plan Review
67C Main Street
Medway, Massachusetts**

Dear Ms. Affleck-Childs:

Tetra Tech (TT) has performed a review of the proposed Site Plan for the above-mentioned Project at the request of the Town of Medway Planning and Economic Development Board (PEDB). The proposed Project is located at 67C Main Street in Medway, Massachusetts. The Project consists of a renovation of existing spaces within the Medway Commons shopping center totaling 12,700 square feet. The Project also includes removal of existing parking areas to accommodate outdoor play space with safety wood fiber surfaces, artificial turf, and associated perimeter fencing.

TT is in receipt of the following materials:

- A plan (Plans) set titled "Medway Commons, 67C Main Street Medway, Massachusetts, BrightPath Child Care Center" dated May 19, 2021, prepared by Tighe & Bond, Inc. (TBI).
- A storm water memorandum (Stormwater Memo) titled "Medway Commons – Stormwater Summary Memo" dated March 19, 2022, prepared by TBI.
- An Application for Minor Site Plan Approval, dated May 20, 2022, prepared by Charter Realty and Development Corp.
- A traffic memorandum (Memo) titled "Traffic Memorandum, BrightPath Child Care Center, Medway Commons – 67 Main Street, Medway, MA" dated June 3, 2022, prepared by TBI.

The Plans and accompanying materials were reviewed for conformance with the following regulatory documents:

- Town of Medway Planning & Economic Development Board Rules and Regulations, Chapter 200 – Site Plans, Rules & Regulations for Submission, Review and Approval of Site Plans. (Amended October 8, 2019)

The Project was also reviewed for good engineering practice and overall site plan efficiency. Review of the Project for zoning related matters is being conducted by Town personnel and is excluded from this review.

SITE PLAN REVIEW

Site Plan Rules and Regulations (Chapter 200)

1. Applicant shall confirm all existing and proposed elevations refer to the North American Vertical Datum of 1988 (NAVD88). (Ch. 200 §204-4.C)
2. The Applicant shall provide a space on the Plans, including the cover sheet, for the Board's signature block, including Decision and plan endorsement dates, and the Town Clerk's no appeal certification. (Ch. 200 §204-4.E)

3. A Stormwater Drainage Evaluation report has not been provided. However, the provided Stormwater Memo describes the changes proposed on-site and the drainage impacts associated with the proposed Project. (Ch. 200 §205-3.D)
4. The Applicant shall provide bearings and distances of property lot lines, as well as display any applicable easements, for the existing lot shown on the Overall Site Plan (C-100). (Ch. 200 §205-5.C)
5. A table displaying the Project's compliance with parking space requirements is provided in the Applicant's Minor Site Plan Application Package. However, the table should be provided on the Plans as well. (Ch. 200 §205-5.E.12)
6. The proposed addition of outdoor play space will close an ingress/egress point for the Medway Commons Development. We recommend the Applicant coordinate with the Medway Fire Department to confirm sufficient emergency access is maintained once the proposed plan is implemented. (Ch. 200 §207-11.A.17)
7. Hot mix asphalt (HMA) surfacing shall be a minimum depth of three and one-half inches in parking areas. The proposed HMA thickness is 3 inches (2" binder, 1" top). (Ch. 200 §207-12.E)
8. The Applicant has not proposed any electric vehicle charging stations for the Project. (Ch. 200 §207-12.I)
9. A Lighting Plan has not been provided. The Applicant shall confirm if existing lighting at the site is sufficient to allow safe travel during hours of operation in periods of the year with less sunlight (i.e. drop-off/pick-up time during fall/winter months). (Ch. 200 §207-18)

General Site Plan Comments

10. We recommend a guardrail, bollards or similar crash protection along the west side length of the outdoor play area and the adjacent driveway. Heavy equipment traffic is common along the driveway and protection of the outdoor play areas shall be paramount.
11. The Applicant is proposing to remove the existing crosswalk on the west side of the building. We recommend the sidewalk section to the north of the crosswalk also be removed to limit pedestrian traffic to a dead-end sidewalk with no formal crossing. This will also reduce impervious coverage at the site.
12. It appears proposed grading (207 contour) is outside of the limits of the proposed paving. We recommend the Applicant repave the entire area north of the proposed playgrounds (continue the sawcut on the eastern side of the playground north to the existing curb) to reduce any issues with matching existing conditions in that area while also reducing the length of joints. This will also provide a cleaner aesthetic to the Project by limiting jogs in new vs. old pavement.
13. The Applicant should provide a smooth curb transition with a radius and tangent points to tie in the proposed curb to existing where the existing driveway is being removed on the west side of the playground areas.
14. We recommend a mountable curb and wide gate access to allow heavy equipment access to the playground areas in the event they require maintenance.
15. The Applicant should provide detail on the demolition plan for location of construction fencing and other means to protect the general public during construction at the site.
16. A portion of the existing firelane along the front of the existing building is proposed to be removed and should be shown as repaved/restriped on the Plan.
17. The Applicant shall confirm on the plan the method of crosswalk striping removal. Grinding of pavement markings is preferred.

TRAFFIC REVIEW

Trip Generation

18. The traffic memo included a trip generation analysis including estimates for the existing shopping plaza use (full occupancy of the plaza without the proposed daycare center use) and the proposed shopping plaza building program (including full occupancy of the plaza retail uses to remain plus the proposed daycare

center). The trip generation estimates were based on industry-standard trip rates published by the Institute of Transportation Engineers (ITE) in Trip Generation Manual, 11th Edition for Land Use Code 821 (Shopping Plaza 40-150k with Supermarket) and Land Use Code 565 (Day Care Center). This methodology is reasonable for the existing and proposed uses.

19. The trip generation analysis included the weekday morning, weekday evening and Saturday midday peak hours. The time periods chosen for analysis are appropriate for the existing retail and proposed daycare center space at the site.
20. The Town of Medway Site Plan Rules and Regulations require a detailed traffic impact assessment for Projects with frontage or proposed access on a public way, construction of twenty or more additional parking spaces and trip generation of an additional one hundred trips to or from the site on an adjacent roadway during a peak hour based on the most recent edition of the Institute of Traffic Engineers publication Trip Generation. The Project is expected to reduce the plaza's parking supply by 33 spaces and the traffic memo indicates that the net increase in peak hour trips due to the Project is 95 peak hour trips or less. Furthermore, the Project is anticipated to result in a net reduction in trips during the Saturday midday peak hour relative to the existing building program. Therefore, a detailed traffic impact assessment is not warranted based on the Site Plan Rules and Regulations parking and trip generation criteria.
21. The traffic memo did not reduce the estimated vehicle trip generation for the existing and proposed building program as a result of area public transportation services. Regularly scheduled public transportation is not provided in the immediate vicinity of the site, with the closest Greater Attleboro-Taunton Regional Transit Authority (GATRA) bus stop located more than 10 minutes away. Therefore, TT agrees with the trip generation methodology used in the traffic memo.

Traffic Operations

22. The traffic memo did not include a capacity analysis of the plaza driveways. However, the traffic memo provided a qualitative assessment of the signalized Route 109/Medway Commons driveway intersection which operates at overall level of service (LOS) D or better operations during the peak hours under existing conditions and future year conditions (without the daycare Project) based on the recent traffic impact assessment prepared for the 86 Holliston Street Project. The traffic memo concludes that the Route 109/Medway Commons signalized intersection is expected to have ample capacity to support the estimated additional trips associated with the proposed daycare Project. TT generally agrees with this assessment.

Parking

23. Per the parking summary provided in the Minor Site Plan package, the total proposed parking supply of 527 spaces exceeds the Town requirement of 517 spaces for the plaza. Therefore, preparation of a parking analysis is not warranted for the Project. However, please see prior comments regarding parking in the Site Plan Review section.

General Traffic Comments

24. We recommend a standard-sized sidewalk be provided along the east side of the outdoor play area to connect the northerly parking spaces adjacent to the daycare center to the facility's main indoor doorway.
25. We recommend an island be added to the southerly portion of the parking aisle immediately adjacent to the east side of the daycare outdoor play area to provide a pedestrian refuge area and shorten the crosswalk distance to the main indoor doorway.
26. Although not discussed in the traffic memo, Vanasse and Associates, Inc. (VAI) completed a Road Safety Audit (RSA) for the Route 109/Medway Commons/Walgreens driveway intersection (Dated April 2022) as part of the nearby multifamily residential development Project to be located at 39 Main Street in Medway. The April 2022 RSA identified numerous potential short-term and long-term improvements to enhance safety at the Route 109/Medway Commons/Walgreens driveway intersection. Given that this intersection serves as the access to the Project site, we recommend the Applicant work with the Town to identify which, if any, of the safety improvements identified in the April 2022 should be implemented as part of the proposed daycare facility Project.

27. We recommend installing pedestrian crossing warning signage at the internal midblock crosswalk located at the northerly end of the parking aisle immediately east of the proposed daycare outdoor play area to increase visibility of the additional vehicle activity in this part of the parking lot due to the proposed daycare use.
28. We recommend the Applicant provide AutoTurn analyses to ensure that the largest emergency vehicle can adequately circulate through the modified portion of the parking lot. The emergency circulation should be reviewed with the Medway Fire Department.

STORMWATER REVIEW

General Stormwater Comments

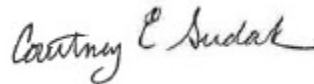
29. TT reviewed the Memo provided by TBI. The Memo summarizes the proposed stormwater management impacts due to the removal of parking spaces and the addition of the outdoor play area. The existing impervious surfaces are proposed to be supplemented with permeable surfaces such as wood fiber and artificial turf. Perimeter underdrains (located under the permeable surfaces) surrounded by crushed stone are proposed to collect stormwater from the play area and discharge to the existing catch basin on the west side of the playground. The catch basin is proposed to remain but will be converted to a manhole (replace grate with cover) and buried under the permeable playground material. It does not appear the proposed development will cause adverse impacts to the existing infrastructure at the Medway Commons site.

These comments are offered as guides for use during the Town's review and additional comments may be generated during the course of review. The Applicant shall be advised that any absence of comment shall not relieve them of the responsibility to comply with all applicable local, state and federal regulations for the Project. If you have any questions or comments, please feel free to contact us at (508) 786-2200.

Very truly yours,



Steven M. Bouley, PE (Site Review)
Project Manager



Courtney E. Sudak, PE (Traffic Review)
Project Manager

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