

June 14, 2022 Medway Planning & Economic Development Board Meeting

Boundary Lane Definitive Subdivision Plan Public Hearing

- Public Hearing Notice dated May 16, 2022
- Definitive Subdivision Plan Application
- Definitive Subdivision Plan dated February 17, 2022
 by Connorstone Engineering
- Development Impact Report dated April 1, 202
- Requests for waivers from the Subdivision Rules and Regulations
- Abutter notification dated May 17, 2022
- Email dated May 23, 2022 from Marshall family in support of the proposed subdivision
- Tetra Tech review letter dated June 8, 2022

Board Members

Matthew J. Hayes, P.E., Chair Robert Tucker, Vice Chair Richard Di Iulio, Clerk Jessica Chabot, Member Sarah Raposa, A.I.C.P., Member Thomas A. Gay, Associate Member



TOWN OF MEDWAY COMMONWEALTH OF MASSACHUSETTS

PLANNING AND ECONOMIC DEVELOPMENT BOARD

May 16, 2022

155 Village Street
Medway, MA 02053
Phone (508) 533-3291
Fax (508) 321-4987
Email: planningboard
@townofmedway.org
www.townofmedway.org

Medway Town Hall

RECEIVED TOWN CLERI MAY 18 '22 AMS: 30

PUBLIC HEARING NOTICE

Boundary Lane Definitive Subdivision Plan 67R and 69 Summer Street

In accordance with the provisions of Chapter 41, Section 81A – 81GG, Massachusetts General Laws and the Planning and Economic Development Board's Rules and Regulations for the Review and Approval of Land Subdivisions, notice is given that the Planning & Economic Development Board will conduct a public hearing on Tuesday, June 14, 2022 at 7:15 p.m. on the application of Zachary Lindsey et ux. of Medway, MA for approval of a definitive subdivision plan to create a 3 lot subdivision out of two properties located at 67R and 69 Summer Street. The hearing will take place in Sanford Hall at Medway Town Hall, 155 Village Street, Medway, MA. The meeting room is accessible via elevator for individuals with physical disabilities.

The property owners are Linda Lindsey (69 Summer Street – 9.77 acres) and David & Renee Sistrand (67 Summer Street - 1.61 acres). The combined 11.38 acre site (Medway Assessors Map 37, Parcels 033 and 036) is located on the west side of Summer Street near the Summer Street/Highland Street intersection in the Agricultural Residential I zoning district.

The *Definitive Subdivision Plan of Boundary Lane* is dated August 20, 2021, last revised February 17, 2022, and was prepared by Connorstone Engineering, Inc. of Northborough, MA. The plan shows the reorganization of the subject properties into three residential lots, one lot with the existing house at 67 Summer Street, one lot with the existing house at 69 Summer Street, and a new lot for construction of a single family house. All properties will have frontage on an approximately 260' long, permanent private road to be known as Boundary Lane.

The application, plan and supporting documentation are available at the offices of the Medway Town Clerk and the Planning and Economic Development Board at Medway Town Hall, 155 Village Street and may be inspected during regular office hours. The documents have will also be posted at the Board's web page at: https://www.townofmedway.org/planning-economic-development-board/pages/current-applications-pedb-0

Interested persons or parties are invited to review the plan, attend the public hearing, and express their views. Written comments may be forwarded to the Board or emailed to: planningboard@townofmedway.org. Questions may be directed to the Planning and Economic Development office at 508-533-3291.

Matthew J. Hayes Chairman

Legal ad to be published in the Milford Daily News on:

- Monday, May 31, 2022
- Tuesday, June 7, 2022



Planning & Economic Development Board - Town of Medway, MA LAND SUBDIVISION - FORM C

Application for Approval of a Definitive Subdivision Plan

INSTRUCTIONS TO APPLICANT/OWNER

This Application is made pursuant to the Medway Subdivision Rules and Regulations. Please complete this entire Application. Submit three signed originals of the Application, three copies of the Definitive Plan, two copies of the Traffic Study (if applicable), two copies of the Development Impact Report, two copies of the stormwater report/drainage calculations, and the appropriate Definitive Subdivision Plan Filing Fee and the advance on the Plan Review to the Planning and Economic Development Board office.

The Town's Planning and Engineering Consultants will review the Application, plan and associated submittals. You or your duly authorized Agent/Official Representative is expected to attend the Board meetings at which your Application will be considered to answer any questions and/or submit such additional information as the Board may request.

Your absence at meetings may result in a delay of the Board's review and action on the Definitive Subdivision Plan.

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TO: The Planning & Economic Development Board of the Town of Medway, MA

The undersigned, being the Applicant as defined under Chapter 41, Section 81- L for approval of a Definitive Subdivision Plan, herewith submits this Definitive Subdivision Plan of property located in the Town of Medway and makes application to the Medway Planning & Economic Development Board for approval of such Definitive Subdivision Plan.

disapproved for the following reasons:
no action taken
PROPERTY INFORMATION
Location Address: 67R & 69 Summer Street
The land shown on the plan is shown on Medway Assessor's Map 37 Parcel # 33 & 36
Total Acreage of Land to be Divided: 11.38
General Description of Property: Two - single family house lots with one existing dwelling on each lot served by a common driveway.
Medway Zoning District Classification: AR-1
Frontage Requirement: 180 feet Area Requirement: 44,000 sf
Scenic Road Does any portion of this property have frontage on a Medway Scenic Road? Yes X No If yes, please name:
Wetlands Is any portion of the site within a Wetland Resource Area? _X_Yes No
Groundwater Protection Is any portion of the site within a Groundwater Protection Overlay District? YesX_No
Flood Plain/Wetland Protection District Is any portion of the site within the Flood Plain/Wetland Protection Overlay District? YesXNo
The owner's title to the land that is the subject matter of this application is derived under deed from: SEE ATTACHMENT "A" to
SUBDIVISION INFORMATION
Subdivision Name: Boundary Lane
This is a: X Residential Subdivision Non-Residential Subdivision
The plan shows the division of land into <u>3</u> building lots numbered <u>1,2,and 3</u> and <u>1</u> parcels not intended for building thereon.
The plan shows the following existing ways that are being proposed as lot frontage:
Prop. Roadway (Boundary Lane) as frontage for lot(s)1,2,3
as frontage for lot(s)

£ 4

The plan shows the N	ollowing <i>proposed</i> new ways that are be as frontage for lot(s)		
	as frontage for lot(s)		
Total Length of Propo	osed New Roadway(s): <u>350 feet</u>		
	oposed to be public or permanent private	ways?	
	Public X Permanent Private	Way	
Proposed Utilities:	Town Water X Well (existing houses connected to public X Town Sewer Septic proposed house to have an on-site		
	APPLICANT INFORMATION	NC	
Applicant's Name:	Zachary T. Lindsey et.ux		
Applicant's Address:	ddress: 69 Summer Street		
Medway, MA 02053			
Name of Primary Cor	ntact: Zachary T. Lindsey		
Telephone: 774	I-217-0284 Cell:		
Email address:	Zlindsey.04@gmail.com		
Please check here	if the Applicant is the equitable owner (purchaser	on a purchase and sales agreement.)	
F	PROPERTY OWNER INFORMATION	(if not applicant)	
Property Owner Nam	ne: Linda Lindsey,	David & Renee Sistrand	
		67R Summer Street	
Address:	69 Summer Street, Medway, MA	Medway, MA 02053	
Primary Contact:	Zachary Lindsey		
Telephone: Office:	774-217-0284		
Email:	Zlindsey.04@gmail.com		
	CONSULTANT INFORMAT	TON	
ENGINEER: C	onnorstone Engineering, Inc	S La Vision Reports. I Control of the Control of th	
	0 Southwest Cutoff, Suite #7		
	Northborough, MA 01532		
Primary Contact:	Vito Colonna, P.E.		
Telephone: Office: 50	8-873-0972 Cell:		
Email: vc@csei.	net		

SURVEYOR:
Address: 10 Southwest Cutoff
Northborough, MA 01532
Primary Contact: Varoujan Hagopian, PLS
Telephone: Office:508-393-9727
Email: VHH@csei.net
ATTORNEY: Kenney & Kenney
Address: 181 Village Street
Medway, MA 02053
Primary Contact: Stephen Kenney
Telephone: 508-533-6711 Fax:
Email: sjk@kenney-law.com
OFFICIAL REPRESENTATIVE INFORMATION
Name: Zachary T. Lindsey
Address: 69 Summer Street
Medway, MA 02053
Primary Contact: Zachary Lindsey
Telephone: Fax:
Email: Zlindsey.04@gmail.com
SIGNATURES
I hereby certify, under the pains and penalties of perjury, that the information contained in this application is true, accurate and complete to the best of my knowledge and belief. If applicable, I hereby authorize <u>Zachary T. Lindsey</u> to serve as my Agent/Official Representative to represent my interests before the Medway Planning & Economic Development Board with respect to this Definitive Subdivision Plan application.
I agree to abide by the Medway Rules and Regulations for the Review and Approval of Land Subdivisions and complete construction of the subdivision in accordance with the Rules and Regulations and the approved Definitive Subdivision Plan.
In submitting this application, I authorize members of the Planning & Economic Development Board, Town staff and agents, and members of the Design Review Committee and Open Space Committee to access the site during the plan review process.
A Signature of Property Owner Date
Signature of Property Owner / 1 Date 4/22/22
Signature of Applicant (if other than Property Owner) Date
Singleture of Agent/Official Penrocentative
Signature of Agent/Official Representative '/ Date

DEFINITIVE SUBDIVISION PLAN FEES

Filing Fee - \$2,500 plus \$2.50/linear foot of street centerline proposed

Advance on Plan Review Fee - \$2,500

Submit 2 separate checks each made payable to: Town of Medway

Fee Schedule Approved - 11-9-08

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FOR PED OFFICE USE ONLY:		
Date Form C and Definitive Subdivision Plan Recve	d by Medway PED offic	e:
Definitive Subdivision Plan Filing Fee Paid:	Amount:	Check #
Advance on Plan Review Fee Paid:	Amount:	Check #
Date Form C & Definitive Subdivision Plan Received by Town Clerk	Date Form C & Defini Received by Board of	

DEFINITIVE SUBDIVISON PLAN SUBMITTAL DOCUMENTS CHECKLIST

Town Clerk

- X One (1) signed original Definitive Subdivision Plan Application Form C
- X One (1) copy of Definitive Subdivision Plan
- X One (1) copy of the Stormwater Management Report/Calculations
- _____ One (1) copy of Traffic Study (for subdivisions of 20 or more dwelling units)
- X One (1) copy of Development Impact Report Form F

Board of Health

- X One (1) signed original Definitive Subdivision Plan Application Form C
- X One (1) copy of Definitive Subdivision Plan
- _X__ One (1) copy of Soil Survey, Percolation and High Groundwater Tests prepared in accordance with Section 5.5.10 of the Subdivision Rules and Regulations (on plans)

Planning & Economic Development Board

- X One (1) signed original Definitive Subdivision Plan Application Form C (Date Stamped by Town Clerk & Board of Health)
- X Two (2) full size copies of Definitive Subdivision Plan prepared in accordance with Section 5.6 and 5.7 of the Subdivision Rules and Regulations
- X One (1) 11" x 17" size copy of the Definitive Subdivision Plan
- X Designer's Certificate Form D
- X Certified Abutters List
- X Development Impact Report Form F
- X Requests for Waivers of Subdivision Rules and Regulations. Use Form Q. One form per waiver request.
- X Two (2) copies of Stormwater Management Report/Calculations prepared in accordance with Section 5.5.9 of the Subdivision Rules and Regulations
- X Two (2) copies of the Long Term Operation and Maintenance Plan for drainage and stormwater management facilities.
- X Two (2) copies of Soil Survey, Percolation and High Groundwater Tests prepared in accordance with Section 5.5.10 of the Subdivision Rules and Regulations (shown on plans)
- N/A Two (2) copies of a Traffic Study (for subdivisions with 20 or more dwelling units) prepared in accordance with Section 5.5.12 of the Subdivision Rules and Regulations
- X Sight Distance Computations for all proposed new intersections
 - ____ ANRAD determination from Medway Conservation Commission (if applicable)
- X Proof of existing or pending ownership of all land within the proposed subdivision
- X PDF version of all application documents. (Please email or provide a flash drive)
- X Definitive Subdivision Plan Filing Fee (\$2,500 plus \$2.50/linear foot of street centerline proposed) Payable to Town of Medway
- X Advance of Plan Review Fee (\$2,500) Payable to Town of Medway

ATTACHMENT A – OWNER INFORMATION

69 Summer Street – Map 37, Lot 36 The owner's title to the land that is the subject matter of this application is derived under deed from: Linda Lindsey, Trustee of Rabbit Brook Realty Trust to Linda Lindsey dated September 20, 2006 and recorded in Norfolk County Registry of Deeds Book 24557 Page 384.
and
≯
67R Summer Street – Map 37, Lot 33 The owner's title to the land that is the subject matter of this application is derived under deed from: Linda Lindsey, Trustee of L&W Realty Trust to David & Renee Sistrand dated May 30, 1997 and recorded in Norfolk County Registry of Deeds Book 11834 Page 245

APPROVAL UNDER THE SUBDIVISION CONTROL LAW, IS REQUIRED. MEDWAY PLANNING AND ECONOMIC DEVELOPMENT BOARD

THIS PLAN IS SUBJECT TO A COVENANT TO BE RECORDED HEREWITH.

THIS PLAN IS SUBJECT TO A CERTIFICATE OF ACTION WHICH SHALL BE RECORDED WITH THE PLAN AT THE NORFOLK COUNTY REGISTRY OF DEEDS.

LIST OF REQUESTED WAIVERS

water within the proposed roadway. Proposed Lot 2 containing the new house would be serviced by an on-site private well.

basins to the proposed private road and Lot 1. The 30 foot buffer would be maintained to both Summer Street and the

Section 7.7.4.d Waiver from the requirement to install an independent drainage house would be on Lot 2. This lot would discharge any foundation drainage the rear of the property away from the

Section 7.9.5.a Waiver to allow a minimum center line grade of one percent (1%) to reduce the required earthwork and more closely match

Section 7.9.5.c Waiver to allow a vertical curve within the leveling area (not fixed slope). All slopes would be below the maximum 2%

Section 7.10.1 & 2 Waiver from the requirement curbs and berms. The project has been proposed with low impact development (LID) grassed swales in place of traditional curbs and gutters.

Section 7.21 Waiver from installation of additional street lighting. The existing utility pole on Summer Street located 50 feet north of the proposed roadway includes a street light.



SHEET NUMBER	DRAWING TITLE
1-2	COVER SHEET
2-2	LAND PLAN
1–6	EXISTING CONDITIONS PLAN
2–6	CONSTRUCTION PLAN
3–6	ROADWAY PLAN & PROFILE
4-6	EROSION & SEDIMENT CONTROL PLAN
5-6	CONSTRUCTION DETAILS
6-6	STORM WATER POLLUTION PREVENTION PLAN

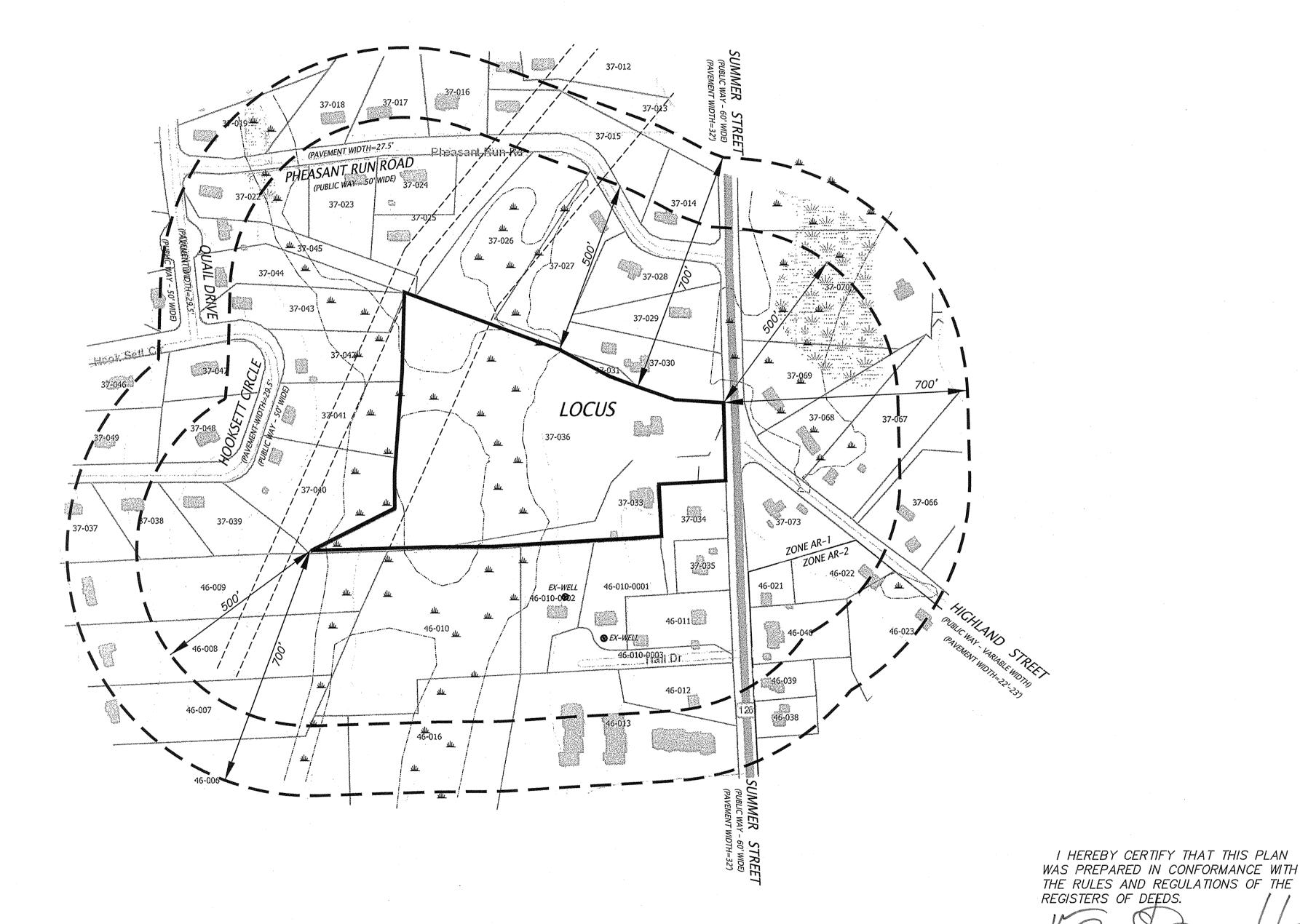
SITE AREA TABULATION:

TOTAL AREA OF LAND THAT IS BEING SUBDIVIDED = 491,855 S.F. (11.29 Acres) TOTAL NUMBER OF LOTS AND PARCELS = 3 LOTS, 1 PARCEL TOTAL AREA OF LOTS AND PARCELS = 470,693 S.F. (346,777 S.F. UPLAND, 123,916 S.F. WETLAND) TOTAL AREA DEDICATED FOR STREET PURPOSES =21,162 S.F. TOTAL AREA NOT INCLUDED FOR STREETS, LOTS OR PARCELS

DEDICATED FOR DRAINAGE, SEWER, OR UTILITY EASEMENTS = 0 S.F.

TOTAL AREA RESERVED FOR OPEN SPACE, PARKS, SCHOOLS AND OTHER PUBLIC USE = 0 S.F. SUMMARY: 470.693 S.F. + 21.162 S.F. + 0 + 0 = 491.855 S.F.

DEFINITIVE SUBDIVISION PLAN "BOUNDARY LANE" MEDWAY, MASSACHUSETTS



___ AND NO APPEAL WAS TAKEN

. CLERK OF THE TOWN OF MEDWAY RECEIVED AND RECORDED APPROVAL FROM THE PLANNING BOARD

VAROUJAN H. HAGOPIAN, P.L.S. 49665

OF THIS PLAN ON _____

FOR TWENTY (20) DAYS THEREAFTER. GRAPHIC SCALE: 1"=200'

GENERAL NOTES:

1. OWNERS OF ADJOINING PROPERTIES ARE SHOWN ACCORDING TO CURRENT TOWN OF MEDWAY ASSESSORS RECORDS.

2. THIS PLAN IS BASED ON AN ON—THE—GROUND SURVEY BY CONNORSTONE ENGINEERING INC. PERFORMED IN APRIL 2019.

3. LEGAL STATUS OF EASEMENTS AND WAYS, NOT DETERMINED BY THIS SURVEY.

ADA / AAB REOUIREMENTS:

ALL IMPROVEMENTS, RAMPS, CURB CUTS, SIDEWALKS, AND DRIVEWAY CROSSINGS SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT REGULATIONS AND WITH ARCHITECTURAL ACCESS BOARD REGULATIONS (521 CMR S 1-47) IN FORCE AND EFFECTIVE AT THE TIME OF

ZONED: AR-1 AREA = 44,000 sfFRONTAGE = 180 feet SETBACKS: FRONT = 35 feet SIDE = 15 feet REAR = 15 feet

ASSESSOR MAP 37, LOTS 33 & 36

APPLICANT:

ZACHARY T. LINDSEY et ux. 69 SUMMER STREET MEDWAY, MA

OWNERS:

LINDA LINDSEY 69 SUMMER STREET MEDWAY, MA

DAVID & RENEE SISTRAND 67R SUMMER STREET MEDWAY, MA

CONNORSTONE ENGINEERING INC.

CIVIL ENGINEERS AND LAND SURVEYORS 10 SOUTHWEST CUTOFF, SUITE 7 NORTHBOROUGH, MASSACHUSETTS 01532 PHONE: 508-393-9727 FAX: 508-393-5242

DEFINITIVE SUBDIVISION PLAN

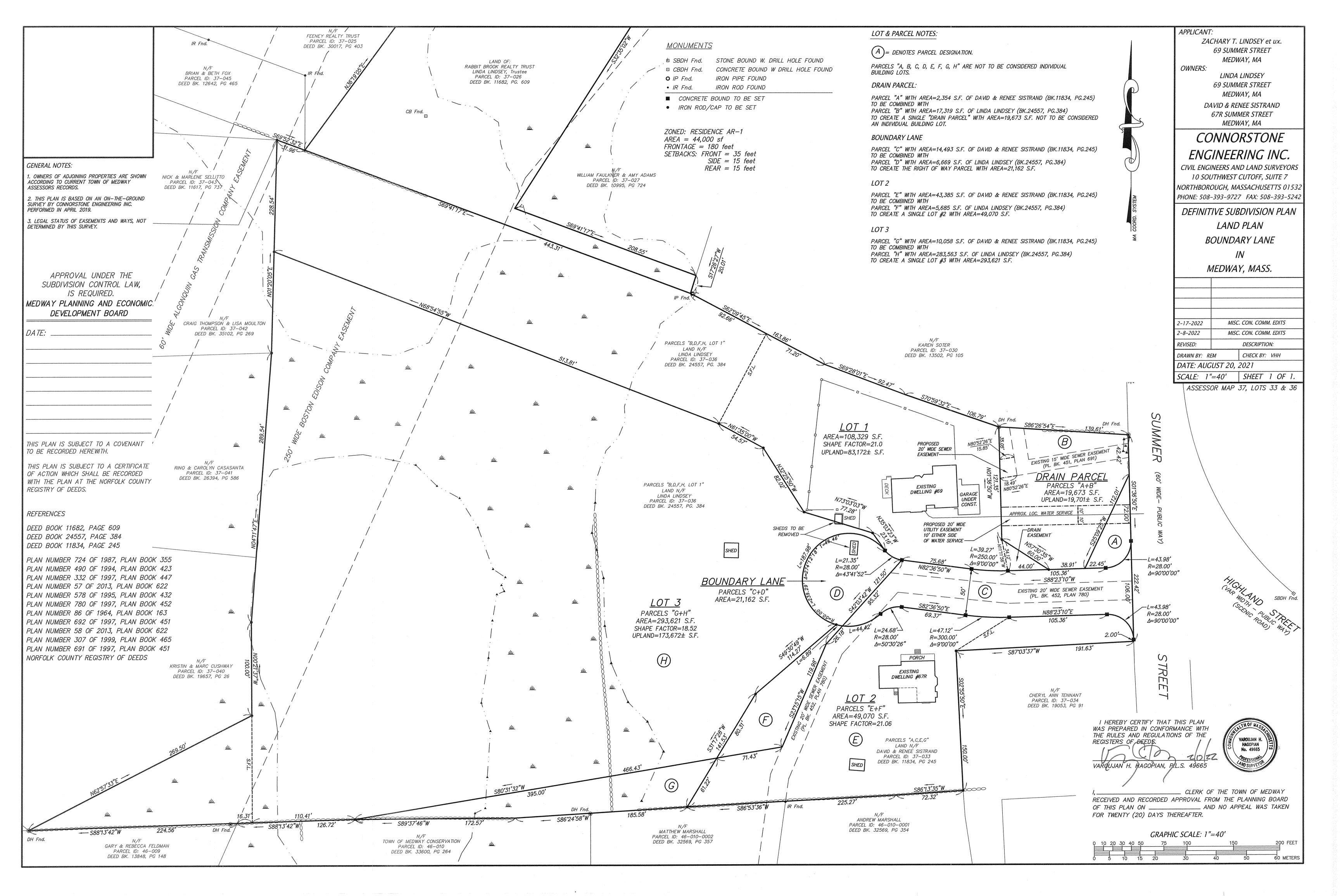
COVER SHEET

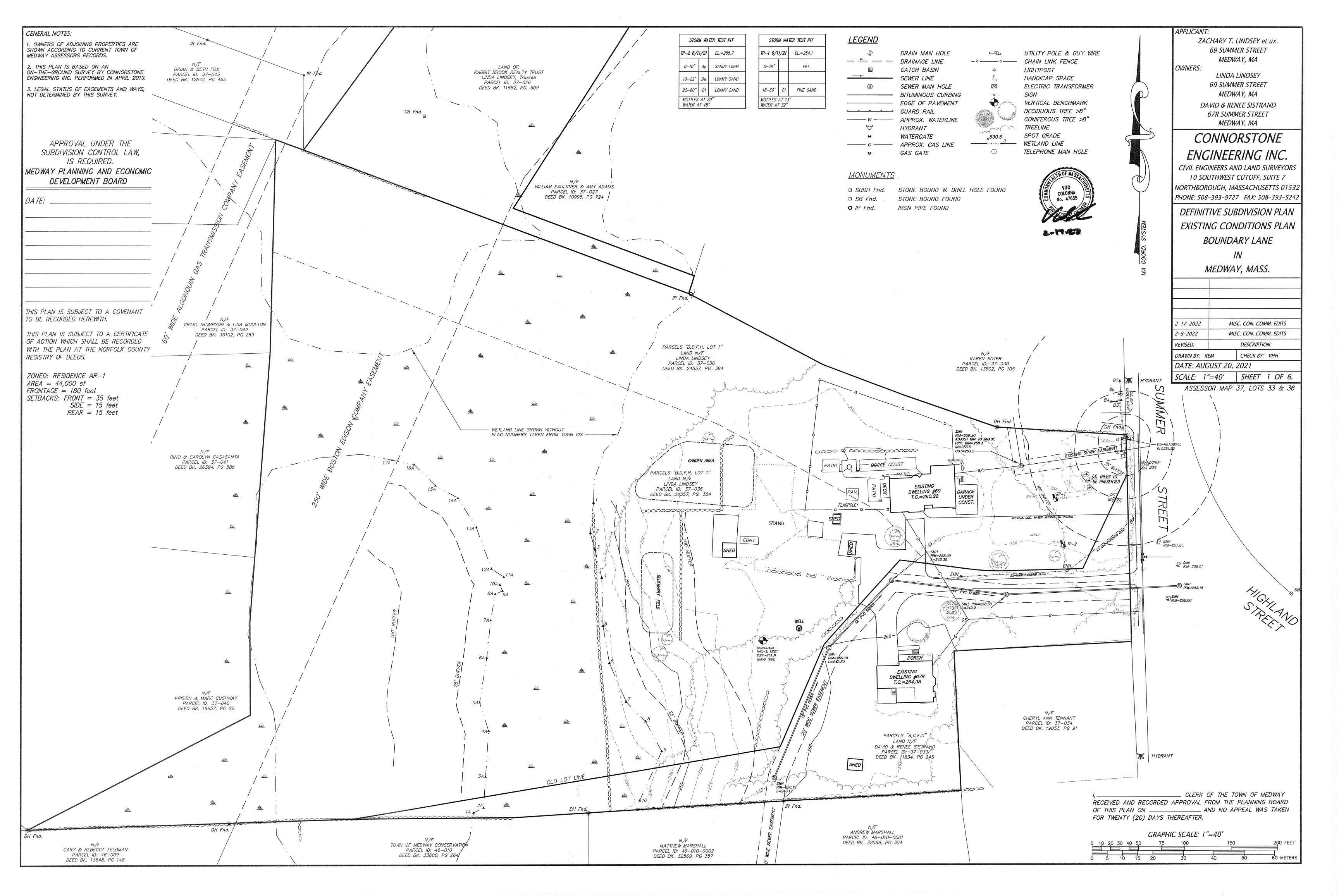
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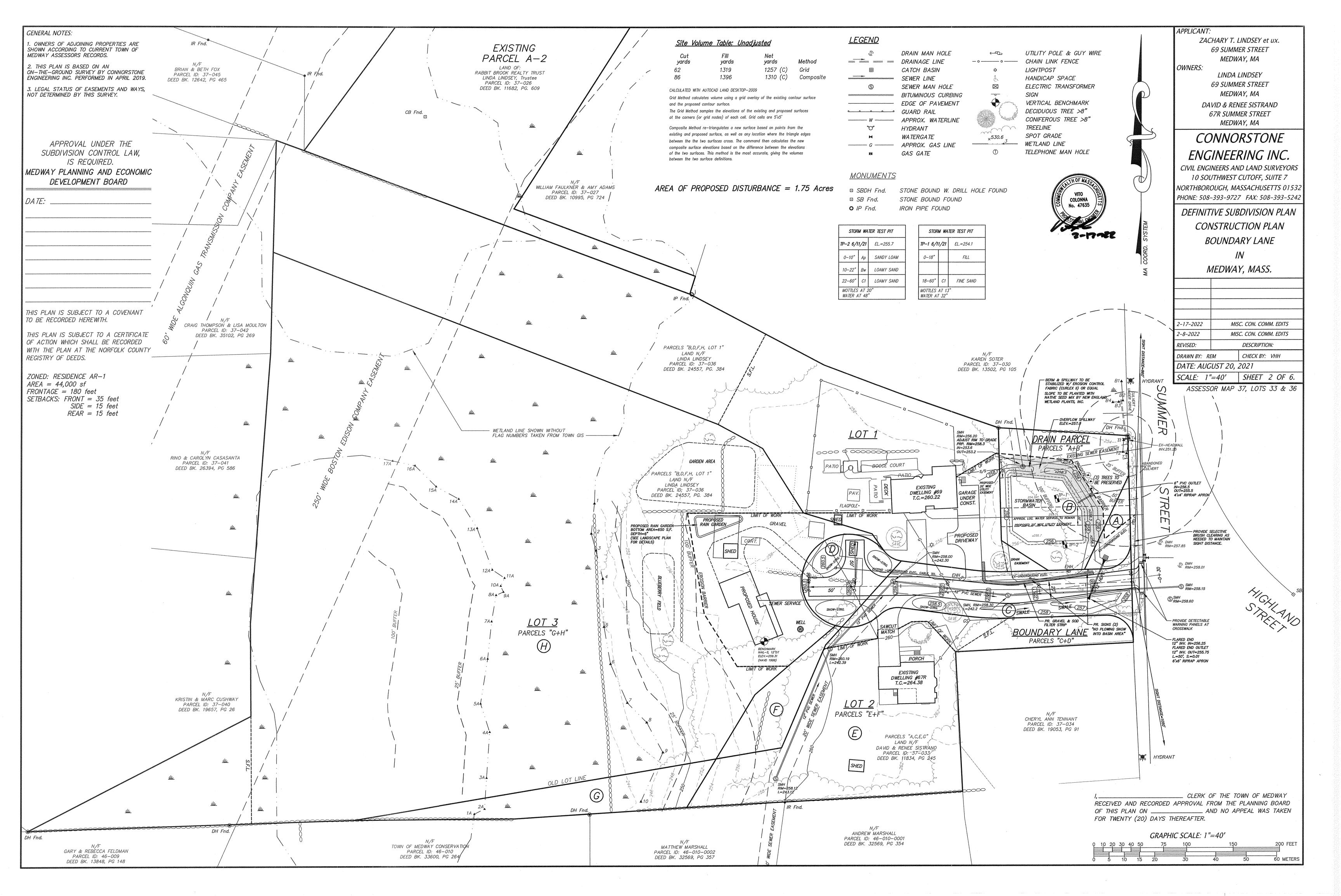
MEDWAY, MASS.

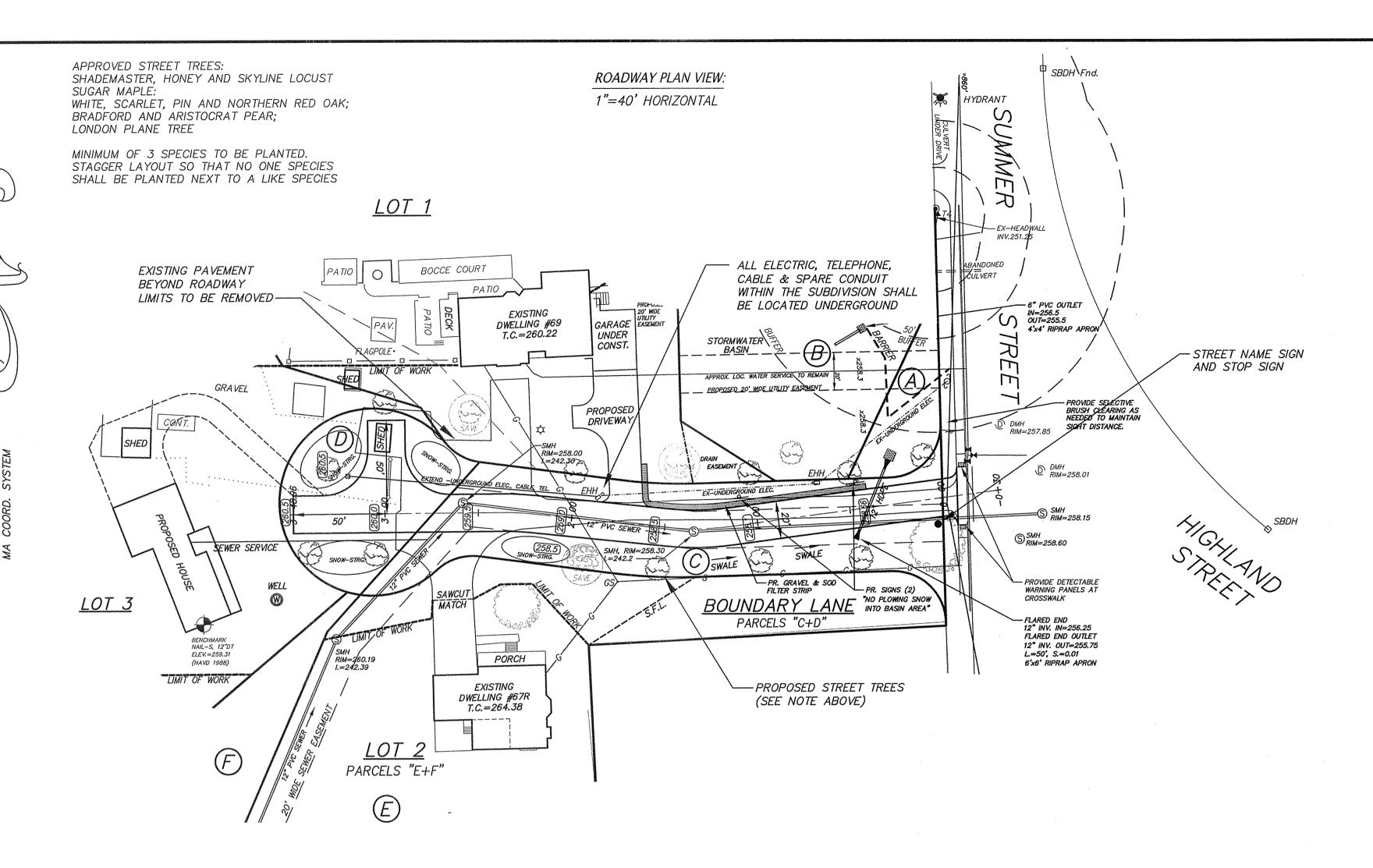
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2-8-2022	MISC. CON. COMM. EDITS	
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DATE: AUGUST 20, 2021		

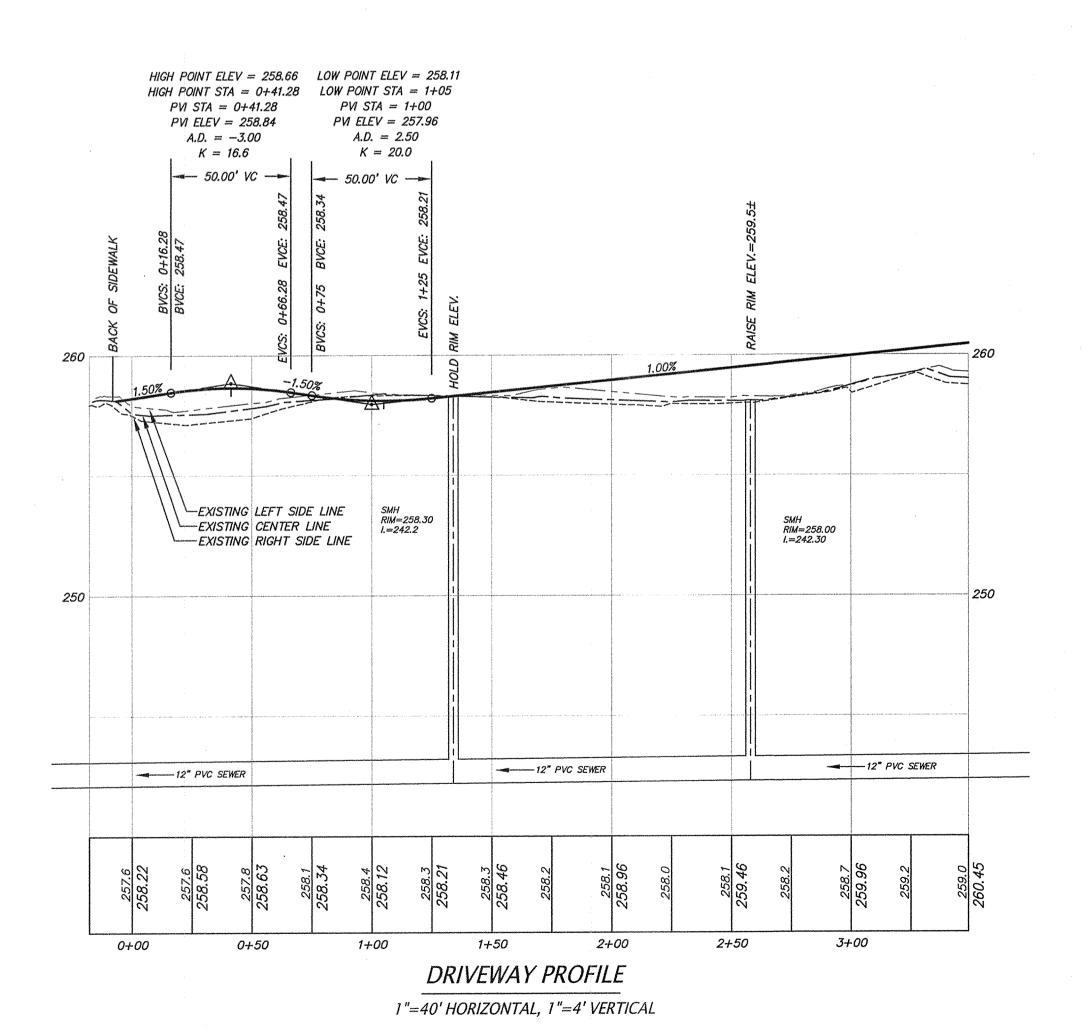
SCALE: AS SHOWN SHEET 1 OF 2

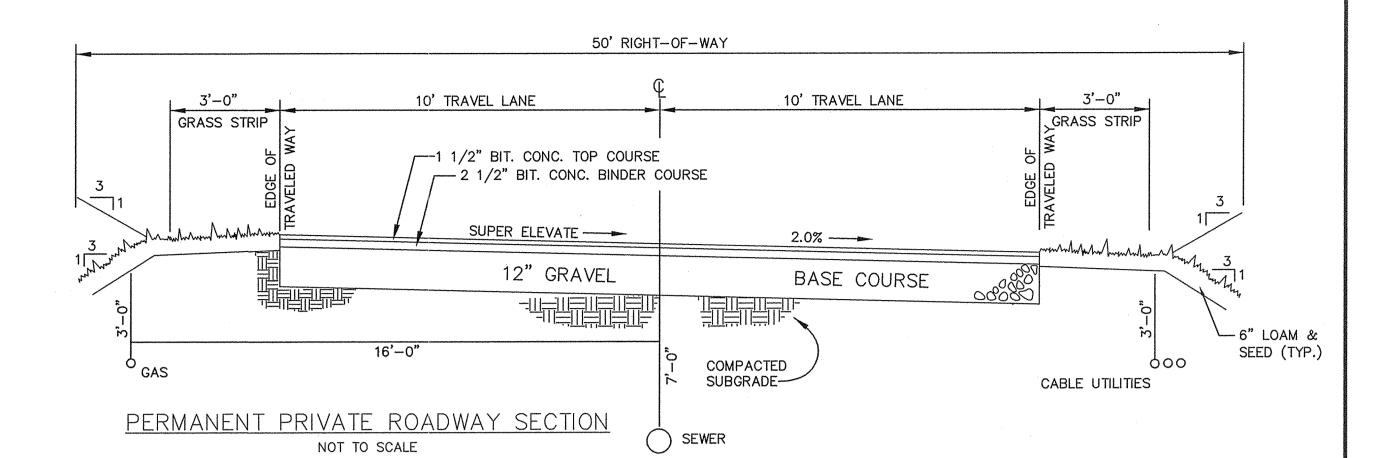












CONSTRUCTION NOTES:

1. EXISTING UTILITY LINES SHOWN ON THIS DRAWING ARE FROM AVAILABLE INFORMATION AND ARE APPROXIMATE LOCATIONS. THE ENGINEER DOES NOT GUARANTEE THEIR ACCURACY OR THAT ALL UTILITIES AND SUBSURFACE STRUCTURES ARE SHOWN. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION AND INVERT ELEVATIONS OF THE UTILITIES AND STRUCTURES, AS REQUIRED PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES WITH RECORD DATA SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY. THE CONTRACTOR SHALL CONTACT DIG SAFE: 1—800—344—7233 (72 HOURS BEFORE DIGGING), AND TOWN DPW FOR UTILITY LOCATIONS PRIOR TO EXCAVATION. TEST PITS SHALL BE UTILIZED FOR UTILITY CONNECTIONS.

2. ALL MATERIALS AND CONSTRUCTION PRACTICES SHALL BE IN CONFORMANCE WITH THE STANDARDS AND SPECIFICATIONS MEDWAY DEPARTMENT OF PUBLIC WORKS, OR THE LATEST EDITION OF THE MASSACHUSETTS HIGHWAY DEPARTMENT (MHD) CONSTRUCTION STANDARDS AND THE MHD "STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES", WHICHEVER IS MORE STRINGENT.

3. THE LAYOUT AND INSTALLATION OF ELECTRIC, GAS, TELEPHONE AND CATV UTILITY CONNECTIONS AND SERVICES SHALL IN ACCORDANCE WITH THE REQUIREMENTS OF THE RESPECTIVE UTILITY.

4. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE HIS WORK WITH THE APPROPRIATE HIGHWAY & UTILITY DEPARTMENTS. CONTRACTOR SHALL MAINTAIN ALL EXISTING AND NEWLY INSTALLED UTILITIES IN GOOD WORKING ORDER AND SHALL PROTECT THEM FROM DAMAGE AT ALL TIMES UNTIL THE WORK IS COMPLETED AND ACCEPTED.

5. WORK WITHIN THE HIGHWAY LAYOUT, IF APPLICABLE, SHALL CONFORM TO THE CONDITIONS OF THE PERMIT ISSUED BY THE MASSACHUSETTS HIGHWAY DEPARTMENT AND/OR LOCAL AUTHORITY AS APPROPRIATE.

6. THE CONTRACTOR SHALL UTILIZE ALL MEASURES AND MATERIALS NECESSARY TO ENSURE THE SAFETY OF ALL PERSONS AND PROPERTIES AT THE SITE DURING CONSTRUCTION. ALL EXCAVATIONS SHALL CONFORM TO CURRENT OSHA STANDARDS.

7. ALL SIGN SIZES AND MATERIAL SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC DEVICES" (MUTCD) AND THE OFFICE OF TRAFFIC OPERATIONS, FEDERAL HIGHWAY ADMINISTRATION, U.S. DEPARTMENT OF TRANSPORTATION.

COMPLY WITH THE AMERICANS WITH DISABILITIES ACT REGULATIONS AND WITH ARCHITECTURAL ACCESS BOARD REGULATIONS (521 CMR 1-47).

8. ALL RAMPS, CURB CUTS, SIDEWALKS, AND ACCESSIBLE SPACES SHALL

9. ALL EXCAVATION AND EARTHWORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE MASSACHUSETTS HIGHWAY DEPARTMENT (MHD) STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, SECTIONS 120, 140, 150, AND 170.

ADA / AAB REQUIREMENTS:

ALL IMPROVEMENTS, RAMPS, CURB CUTS, SIDEWALKS, AND DRIVEWAY CROSSINGS SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT REGULATIONS AND WITH ARCHITECTURAL ACCESS BOARD REGULATIONS (521 CMR S 1-47) IN FORCE AND EFFECTIVE AT THE TIME OF CONSTRUCTION.

ZONED: AR-1 AREA = 44,000 sf FRONTAGE = 180 feet SETBACKS: FRONT = 35 feet SIDE = 15 feet REAR = 15 feet

> APPROVAL UNDER THE SUBDIVISION CONTROL LAW, IS REQUIRED.

MEDWAY PLANNING AND ECONOMIC
DEVELOPMENT BOARD

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THIS PLAN IS SUBJECT TO A COVENANT TO BE RECORDED HEREWITH.

THIS PLAN IS SUBJECT TO A CERTIFICATE OF ACTION WHICH SHALL BE RECORDED WITH THE PLAN AT THE NORFOLK COUNTY REGISTRY OF DEEDS.

APPLICANT:

ZACHARY T. LINDSEY et ux. 69 SUMMER STREET MEDWAY, MA

OWNERS:

LINDA LINDSEY
69 SUMMER STREET
MEDWAY, MA
DAVID & RENEE SISTRAND
67R SUMMER STREET

CONNORSTONE ENGINEERING INC.

MEDWAY, MA

CIVIL ENGINEERS AND LAND SURVEYORS
10 SOUTHWEST CUTOFF, SUITE 7
NORTHBOROUGH, MASSACHUSETTS 01532
PHONE: 508-393-9727 FAX: 508-393-5242

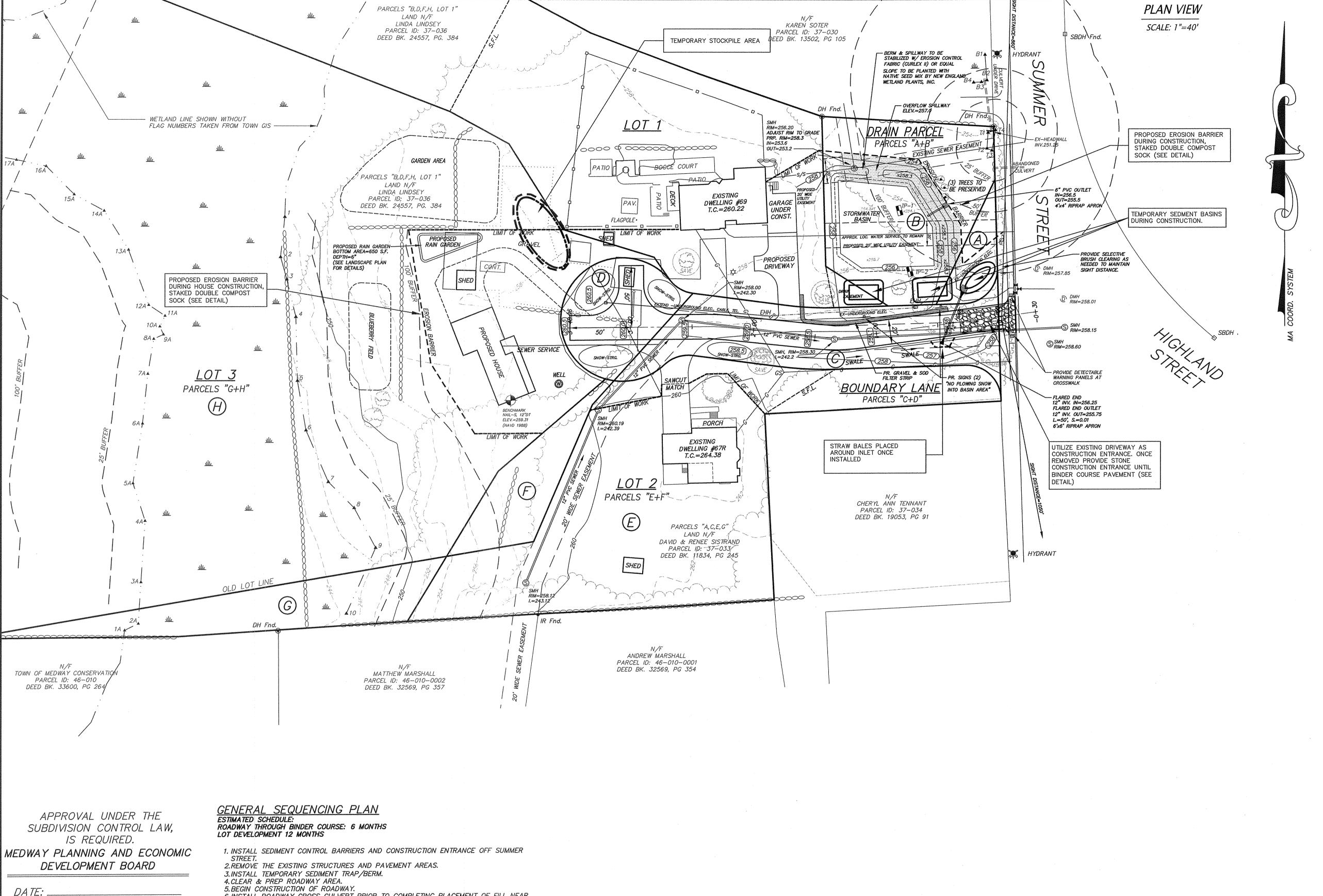
DEFINITIVE SUBDIVISION PLAN
ROADWAY PLAN & PROFILE
BOUNDARY LANE

IN MEDWAY, MASS.

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2-17-2022	MIS	C. CON. COMM. EDITS
2-8-2022	MISC. CON. COMM. EDITS	
REVISED:		DESCRIPTION:
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DATE: AU	GUST 20,	2021
SCALE: 1'	<i>'=40'</i>	SHEET 3 OF 6.



I,______ CLERK OF THE TOWN OF MEDWAY
RECEIVED AND RECORDED APPROVAL FROM THE PLANNING BOARD
OF THIS PLAN ON ______ AND NO APPEAL WAS TAKEN
FOR TWENTY (20) DAYS THEREAFTER.



EROSION AND SEDIMENTATION CONTROL NOTES:

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE ORDER OF CONDITIONS ISSUED BY THE TOWN OF MEDWAY CONSERVATION COMMISSION. AND THE PROJECT STORMWATER POLLUTION

2. PRIOR TO INITIATING CONSTRUCTION, ALL SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLANS AND DETAIL DRAWINGS.

3. THIS PLAN DEPICTS THE MINIMUM REQUIRED SEDIMENTATION AND EROSION CONTROLS. THE CONTRACTOR SHALL EMPLOY ADDITIONAL SEDIMENTATION AND EROSION CONTROL MEASURES AS NECESSITATED BY SITE CONDITIONS, OR AS DIRECTED BY THE OWNER, THE OWNER'S REPRESENTATIVE. OR THE CONSERVATION COMMISSION TO ENSURE PROTECTION OF ALL WETLAND RESOURCES AND CONTROL SEDIMENT TRANSPORT. IF SEDIMENTATION PLUMES OCCUR, THE CONTRACTOR SHALL STOP WORK AND INSTALL ADDITIONAL SEDIMENTATION CONTROL DEVICES IMMEDIATELY TO PREVENT FURTHER SEDIMENTATION.

4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL TEMPORARY AND PERMANENT SEDIMENTATION AND EROSION CONTROLS UNTIL WORK IS COMPLETE AND ALL AREAS HAVE BEEN PERMANENTLY STABILIZED. AT SUCH TIME THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL SEDIMENTATION AND EROSION CONTROL MEASURES.

5. THE CONTRACTOR SHALL INSPECT SEDIMENTATION AND EROSION CONTROLS ON A DAILY BASIS AND IMMEDIATELY AFTER EACH RAINFALL; REPAIRS SHALL BE MADE BY THE END OF THE WORKING DAY. ACCUMULATED SEDIMENT SHALL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR WHEN THE VOLUME REACHES 1/4 TO 1/2 THE HEIGHT OF COMPOST SOCK OR SEDIMENT TRAP. OR AS DIRECTED BY THE LOCAL AUTHORITY.

6. SOIL STOCKPILES SHALL BE STABILIZED TO PREVENT EROSION, AND A PERIMETER SEDIMENT CONTROL BARRIER SHALL BE INSTALLED. NO MATERIALS SUBJECT TO EROSION SHALL BE STOCKPILED OVERNIGHT WITHIN 100 FEET OF A WETLAND UNLESS COVERED.

7. TOPSOIL STOCKPILES AND DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR AT LEAST 7 DAYS WILL BE STABILIZED WITH A TEMPORARY SEED AND MULCH NO LATER THAN 7 DAYS FROM THE LAST CONSTRUCTION ACTIVITY IN THAT AREA. THE TEMPORARY SEED SHALL BE EROSION CONTROL MIX. DISTURBED PORTIONS OF THE SITE WHERE FINAL GRADE HAS BEEN MET AND CONSTRUCTION ACTIVITY CEASES SHALL BE STABILIZED WITH PERMANENT SEED NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY. THE PERMANENT SEED MIX CONSISTS OF BLUEGRASS, TALL FESCUE, AND ANNUAL RYE. PRIOR TO SEEDING, GROUND AGRICULTURAL LIMESTONE SHALL BE APPLIED AS REQUIRED SEEDING SHALL BE NUTRIENT ENRICHED HYDROSEED AND CELLULOSE OR OTHER DEGRADABLE FIBERS CAPABLE OF RETAINING MOISTURE. IF NOT DURING THE GROWING SEASON, THESE AREAS SHALL BE MULCHED WITH STRAW AND SECURED.

8. DEWATERING OPERATIONS, IF REQUIRED, SHALL DISCHARGE ONTO STABILIZED AREAS, AND ALL DISCHARGE WATER IS TO PASS THROUGH SEDIMENTATION CONTROL DEVICES TO PREVENT IMPACTS UPON WATER BODIES, BORDERING VEGETATED WETLANDS, DRAINAGE SYSTEMS AND ABUTTING PROPERTIES. AT A MINIMUM ALL DISCHARGES SHALL BE INTERCEPTED BY STRAWBALE CORRAL AND STRAWBALE CHECK DAMS SPACED 10' APART.

9. COMPOST SOCK AND SILT FENCE SHALL BE INSTALLED ALONG THE EDGE OF PROPOSED DEVELOPMENT OR AS INDICATED ON THE PLANS. ADDITIONAL BARRIERS SHALL BE LOCATED AS CONDITIONS WARRANT, AND IN SOME AREAS WEED FREE BALE/SILT FENCING STRUCTURES MAY HAVE TO BE DUPLICATED AT REGULAR INTERVALS UP GRADIENT OF WETLANDS.

10. STREET SWEEPING IN THE VICINITY OF THE PROJECT AREA SHALL BE PERFORMED AS NEEDED UNTIL THE PROJECT LIMITS HAVE BEEN STABILIZED. ALL SEDIMENT TRACKED ONTO PUBLIC RIGHT-OF-WAYS SHALL BE SWEPT AT THE END OF EACH WORKING DAY.

11. ALL EXISTING AND PROPOSED DRAINAGE SYSTEM INLETS, WHICH MAY RECEIVE STORMWATER FLOW FROM DISTURBED AREAS, SHALL BE PROVIDED WITH INLET PROTECTION (CATCH BASIN SILT SACKS). THE CONTRACTOR SHALL MAINTAIN THESE DEVICES PER THE MANUFACTURERS RECOMMENDATIONS UNTIL ALL WORK IS COMPLETED AND ALL AREAS HAVE BEEN ADEQUATELY STABILIZED.

12. DUST CONTROL MEASURES SHALL BE IMPLEMENTED AND MAINTAINED PROPERLY THROUGHOUT DRY WEATHER PERIODS UNTIL ALL DISTURBED AREAS HAVE BEEN PERMANENTLY STABILIZED. METHODS FOR DUST CONTROL SHALL INCLUDE WATER SPRINKLING AND/OR OTHER METHODS APPROVED BY THE ENGINEER.

13. ALL VEHICLES SHALL ENTER AND EXIT THE SIT VIA THE STABILIZED CONSTRUCTION ENTRANCE CONSISTING OF 2" TO 3" INCH CRUSHED STONE TO A DEPTH OF 6" FOR A MINIMUM OF THE FIRST 50 FEET FROM EXISTING PAVED STREETS. EXTEND THE PAD BEYOND 50 FEET AS NECESSARY BASED UPON FIELD CONDITIONS. IF THE SITE CONDITIONS ARE SUCH THAT THE GRAVEL PAD DOES NOT REMOVE THE MAJORITY OF THE MUD AND DEBRIS, THEN THE TIRES SHALL BE WASHED BEFORE ANY VEHICLES ENTER ADJACENT ROADWAYS. ALL WATER USED FOR TIRE WASHING SHALL BE COLLECTED AND TREATED PRIOR TO ENTERING THE DRAINAGE SYSTEM. THE CONTRACTOR SHALL INSPECT THE CONSTRUCTION ENTRANCE DAILY AND AFTER HEAVY USE.

14. EQUIPMENT NOT IN USE SHALL NOT BE PARKED WITHIN WETLANDS OR BUFFER AREAS.

APPLICANT:

ZACHARY T. LINDSEY et ux. 69 SUMMER STREET MEDWAY, MA

OWNERS: LINDA LINDSEY 69 SUMMER STREET MEDWAY, MA

> DAVID & RENEE SISTRAND 67R SUMMER STREET MEDWAY, MA

CONNORSTONE ENGINEERING INC

CIVIL ENGINEERS AND LAND SURVEYORS 10 SOUTHWEST CUTOFF, SUITE 7 NORTHBOROUGH, MASSACHUSETTS 01532

PHONE: 508-393-9727 FAX: 508-393-5242

DEFINITIVE SUBDIVISION PLAN **EROSION & SEDIMENT** CONTROL PLAN **BOUNDARY LANE** MEDWAY, MASS.



GRAPHIC SCALE: 1"=40'

MISC. CON. COMM. EDITS 2-17-2022 2-8-2022 MISC. CON. COMM. EDITS DESCRIPTION: REVISED: DRAWN BY: REM CHECK BY: VC DATE: AUGUST 20, 2021 SHEET 4 OF 6. SCALE: 1"=60'

6.INSTALL ROADWAY CROSS CULVERT PRIOR TO COMPLETING PLACEMENT OF FILL NEAR STATION 0+25 TO PREVENT PONDING ON ABUTTING LAND AND BLOCKAGE OF DRAINAGE

FLOW PATHS. 7. INSTALL UTILITIES.

CONSTRUCTION.

8. INSTALL DRAIN CULVERT.

9.INSTALL GRAVEL BASE AND BINDER COURSE PAVEMENT.

10. BEGIN LOT DEVELOPMENT.

11. PERFORM FINAL LANDSCAPING AND STABILIZATION.

12. CLEAN & FINAL INSTALLATION OF STORM WATER BASIN. 13. ADJUST STRUCTURES TO GRADE, AND PLACE FINAL TOP COURSE PAVEMENT.

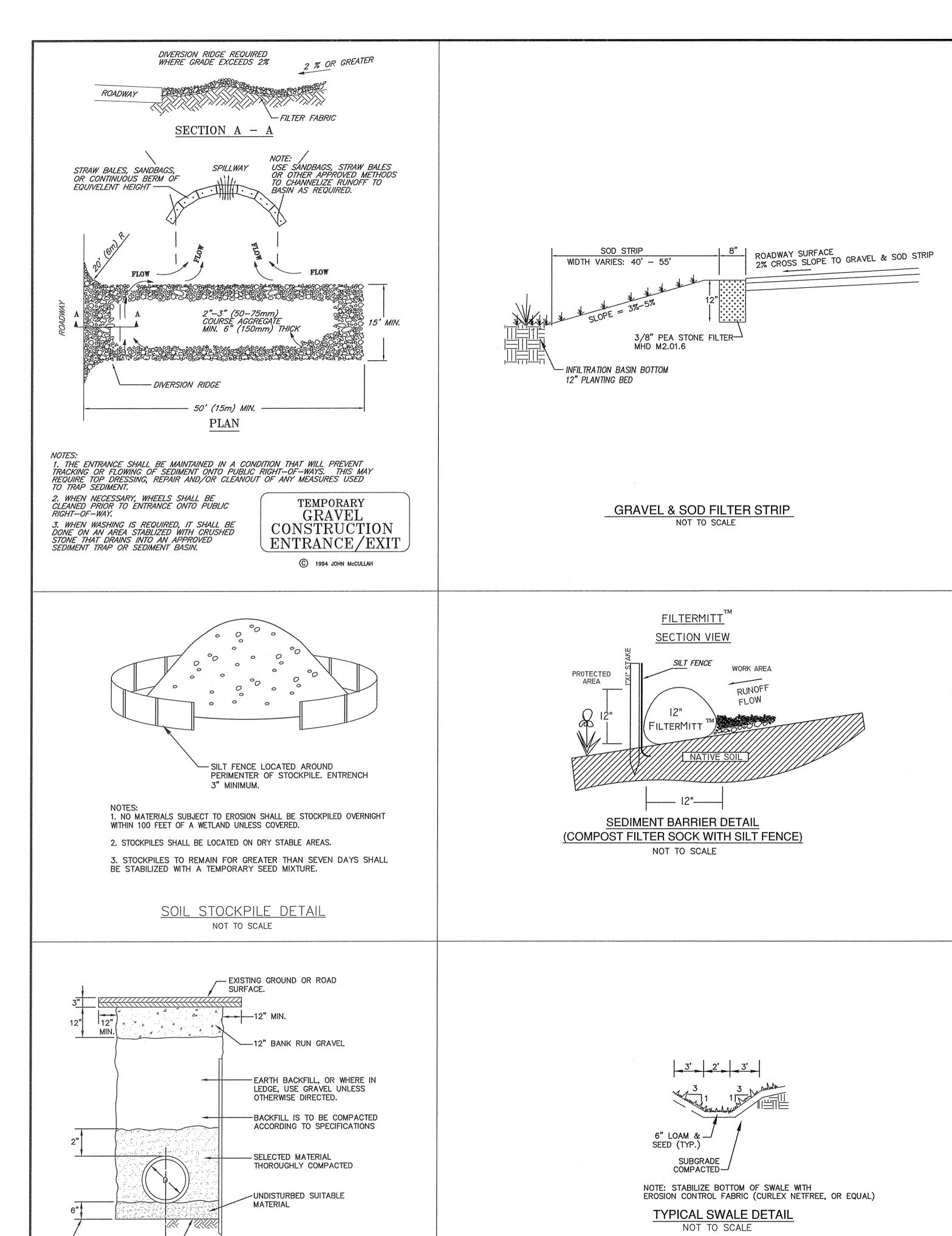
THE ABOVE SEQUENCING MAY BE SUBJECT TO CHANGE DUE TO FIELD CONDITIONS AND CONTRACTOR'S MEANS AND METHODS. A FINAL SEQUENCING PLANE SHALL BE SUBMITTED TO THE ENGINEER AND TOWN FOR REVIEW AND APPROVAL PRIOR TO THE START OF

14. REMOVE THE REMAINING SILTATION DEVICES AS THE AREA BECOMES STABLE.

THIS PLAN IS SUBJECT TO A COVENANT TO BE RECORDED HEREWITH.

THIS PLAN IS SUBJECT TO A CERTIFICATE OF ACTION WHICH SHALL BE RECORDED WITH THE PLAN AT THE NORFOLK COUNTY REGISTRY OF DEEDS.

__ CLERK OF THE TOWN OF MEDWAY RECEIVED AND RECORDED APPROVAL FROM THE PLANNING BOARD OF THIS PLAN ON ______ AND NO APPEAL WAS TAKEN FOR TWENTY (20) DAYS THEREAFTER.



— UNDISTURBED UNSUITABLE

MATERIAL

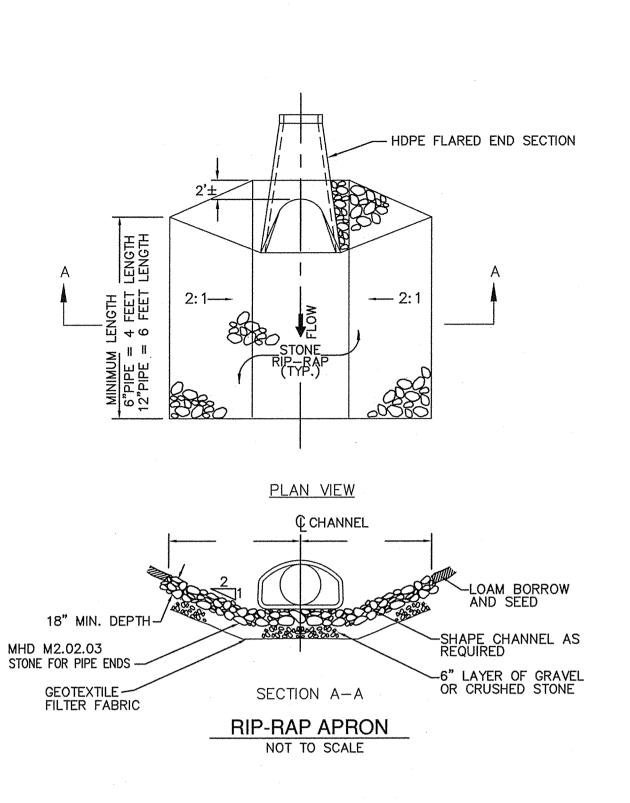
NOT TO SCALE

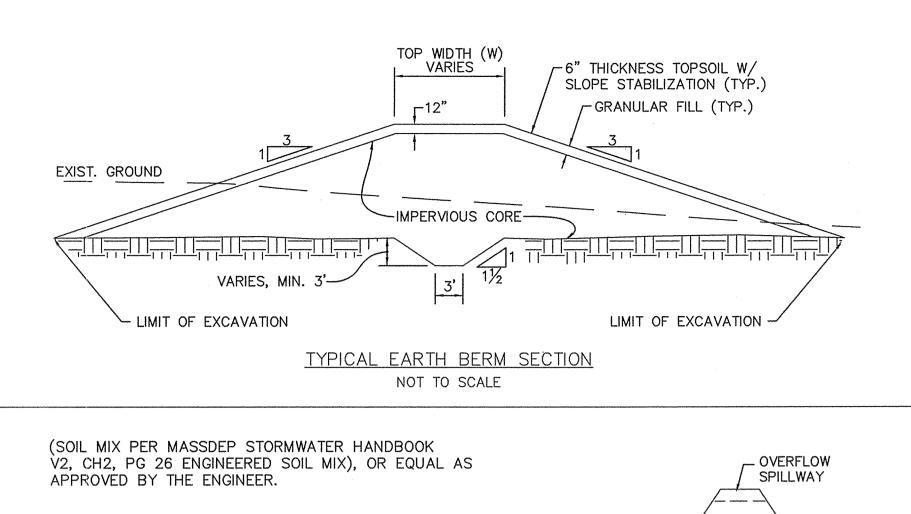
TYPICAL DRAIN TRENCH DETAILS

-3/4"SCREENED

THOROUGHLY

GRAVEL COMPACTED





GRASS BASIN BOTTOM TO BE SEDDED WITH NATIVE GRASSES "New England 444444444 44444444444 Erosion Control/Restoration OUTFALL Mix For Detention Basins ' 12" SAND/TOPSOIL/COMPOST -BORROW BASE 40%/20-30%/30-40% EXCAVATE A MINIMUM 6 INCHES IN TO NATURAL "C" LAYER, AND REMOVE ANY UNSUITABLE MATERIALS BELOW OR AROUND THE SYSTEM. ANY REPLACEMENT FILL REQUIRED SHALL BE CLEAN FREE DRAINING FILL WITH LESS THAN 5% PASSING THE #200 SIEVE (TITLE 5 FILL MEETS THIS REQUIREMENT)

TYPICAL INFILTRATION BASIN SECTION

NOT TO SCALE

OR EQUAL

CLERK OF THE TOWN OF MEDWAY

RECEIVED AND RECORDED APPROVAL FROM THE PLANNING BOARD

OF THIS PLAN ON ______ AND NO APPEAL WAS TAKEN

FOR TWENTY (20) DAYS THEREAFTER.



OWNERS:

LINDA LINDSEY 69 SUMMER STREET MEDWAY, MA

RABBIT BROOK REALTY TRUST 69 SUMMER STREET MEDWAY, MA

DAVID & RENEE SISTRAND 67R SUMMER STREET MEDWAY, MA

CONNORSTONE ENGINEERING INC.

CIVIL ENGINEERS AND LAND SURVEYORS 10 SOUTHWEST CUTOFF, SUITE 7 NORTHBOROUGH, MASSACHUSETTS 01532 PHONE: 508-393-9727 FAX: 508-393-5242

DEFINITIVE PLAN CONSTRUCTION DETAILS

BOUNDARY LANE

MEDWAY, MA

MISC. CON. COMM. EDITS

MISC. CON. COMM. EDITS

SHEET 5 OF 6.

DESCRIPTION:

CHECK BY: VC

2/17/2022 2/8/2022 REVISED: DRAWN BY: RM

SCALE: NONE

DATE: AUGUST 20, 2021

DEVELOPMENT BOARD DATE: _____

APPROVAL UNDER THE

SUBDIVISION CONTROL LAW,

IS REQUIRED.

MEDWAY PLANNING AND ECONOMIC

THIS PLAN IS SUBJECT TO A COVENANT TO BE RECORDED HEREWITH.

THIS PLAN IS SUBJECT TO A CERTIFICATE OF ACTION WHICH SHALL BE RECORDED WITH THE PLAN AT THE NORFOLK COUNTY REGISTRY OF DEEDS.

STORMWATER POLLUTION PREVENTION PLAN FOR

BOUNDARY LANE SUMMER ST. MEDWAY, MA

THIS STORMWATER POLLUTION PREVENTION PAN HAS BEEN PREPARED IN ACCORDANCE WITH THE MA DEPARTMENT OF ENVIRONMENTAL PROTECTION STORMWATER STANDARDS AND NPDES GENERAL CONSTRUCTION PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES. ALL WORK SHALL BE IN ACCORDANCE WITH THE ORDER OF CONDITIONS ISSUED BY THE LOCAL CONSERVATION COMMISSION.

1.1 PROJECT INFORMATION

PROJECT NAME AND LOCATION: BOUNDARY LANE SUBDIVISION 69 SUMMER STREET, MEDWAY, MA

ACCOMPANYING DOCUMENTS: PLANS TITLED "DEFINITIVE SUBDIVISION PLAN, BOUNDARY LANE SUBDIVISION, MEDWAY, MA" PREPARED BY CONNORSTONE ENGINEERING, ARE TO BE CONSIDERED A PART OF THIS DOCUMENT.

NDPES TRACKING NUMBER: _MAR__

LATITUDE/LONGITUDE: LAT: 42.15050 / LONG: 71.44400

PROJECT DESCRIPTION: THREE (3) LOT RESIDENTIAL SUBDIVISION

START: FALL 2021 / COMPLETION: SPRING 2023 ESTIMATED DATES:

NAME OF RECEIVING WATERS: CHICKEN BROOK & HOPPING BROOK

ESTIMATED AREA OF DISTURBANCE: 1.5 ACRES

THE EXISTING SITE CONSISTS OF A 11.3 ACRE PARCEL AT 69-67R SUMMER STREET AND IS SHOWN ON ASSESSOR'S MAP 37 AS PARCELS 36 AND 33. THE LOT IS CURRENTLY DEVELOPED WITH TWO SINGLE FAMILY HOUSES LOCATED OFF A COMMON DRIVEWAY FROM SUMMER STREET. THE CURRENT ZONING MAP SHOWS THE SITE IS WITHIN THE AR-1 DISTRICT, WHICH REQUIRES A MINIMUM LOT AREA OF 44,000 SQUARE FEET AND 180 FEET OF FRONTAGE. GENERALLY THE EASTERN HALF OF THE SITE IS FULLY DEVELOPED WITH THE TWO RESIDENTIAL HOUSES AND AGRICULTURAL USES. THE CURRENT CONDITIONS INCLUDE 27,840 SQUARE FEET OF IMPERVIOUS AREAS (PAVEMENT, ROOF AREAS, AND/OR COMPACTED GRAVEL SURFACES). THE WESTERN HALF OF THE SITE CONSISTS OF WOODED AREAS, WETLANDS, AND A POWER COMPANY EASEMENT (OVERHEAD WIRES).

THE NATURAL RESOURCE CONSERVATION SERVICE HAS MAPPED THE SOILS WITHIN THE DEVELOPMENT AREA AS "WOODBRIDGE FINE SANDY LOAM," WHICH ARE TYPICALLY MODERATELY WELL DRAINED SOILS WITH GROUNDWATER AT 18 TO 30 INCHES BELOW GRADE. TEST PITS WERE PERFORMED BY CONNORSTONE ENGINEERING, INC. TO DETERMINE CONFIRM THE SOIL CLASSIFICATION AND DEPTH TO GROUNDWATER FOR DESIGN OF THE STORMWATER MANAGEMENT BASIN. THE TEST PITS WITHIN THE BASIN SHOWED LOAMY SAND TO FINE SAND MATERIAL WITH A SHALLOW GROUNDWATER ELEVATION. THERE ARE ALSO MINOR AREAS ON-SITE MAPPED AS "RIDGEBURY FINE SANDY LOAM." THESE SOILS ARE ASSOCIATED WITH WETLAND AREAS, AND CORRELATE TO THE DELINEATED WETLANDS ON-SITE.

RUNOFF FROM THE PROJECT AREA FLOWS IN TWO FLOW PATTERNS. EITHER TO THE REAR WETLAND OR TO THE FRONT CORNER WETLAND. THE SUBCATCHMENT AREAS ARE APPROXIMATELY SPLIT DOWN THE CENTRAL PORTION OF THE DEVELOPED AREA. THERE ARE CURRENTLY NO STORMWATER CONTROLS ON-SITE AND ALL FLOW IS VIA OVERLAND RUNOFF

.3 PROPOSED DEVELOPMENT / NATURE OF CONSTRUCTION ACTIVITIES

THE PROPOSED PROJECT PROVIDES FOR A THREE (3) LOT RESIDENTIAL SUBDIVISION. THE TWO EXISTING HOUSES ARE TO REMAIN AND ONE NEW HOUSE LOT HAS BEEN PROPOSED. ALL LOTS ARE GREATÉR THAN THE MINIMUM 44,000 SQ. FT. LOT AREA AND MINIMUM 180 FEET OF FRONTAGE. THE PROJECT WILL INCLUDE CONSTRUCTION OF A 350 FOOT LONG CUL-DE-SAC ROADWAY TO PROVIDE THE REQUIRED ACCESS AND LOT FRONTAGE. THE PROPOSED ROADWAY WOULD BE CONSTRUCTED IN THE SAME LOCATION AS THE EXISTING PAVED COMMON DRIVEWAY. THE PAVEMENT WOULD BE WIDENED FROM 12 FEET TO THE REQUIRED 20 FEET WIDE FOR FIRE ACCESS. THE ROAD PROFILE HAS PROVIDED RELATIVELY FLAT GRADES WITH AN UP/DOWN SLOPE OF 1% TO 1.5% THROUGH THE ROAD. A "TEE" TYPE TURNAROUND HAS ALSO BEEN PROVIDED AT THE END OF THE ROADWAY FOR EMERGENCY AND DELIVERY VEHICLE MANEUVERING. THE PROPOSED PROJECT WOULD RESULT IN 27,485 SQUARE FEET OF IMPERVIOUS AREA, WHICH WOULD RESULT IN A SLIGHT REDUCTION IN IMPERVIOUS AREAS WHEN COMPARED TO THE EXISTING CONDITIONS.

THE PROPOSED STORMWATER MANAGEMENT SYSTEM HAS BEEN DESIGNED TO CONTROL BOTH THE PEAK RATE AND VOLUME OF RUNOFF TO MATCH THE PRE-EXISTING CONDITIONS THROUGH THE 100 YEAR STORM EVENT. RAINFALL INTENSITIES WERE BASED UPON THE MOST CURRENT NOAA ATLAS 14 DATA. THE STORMWATER MANAGEMENT SYSTEM INCLUDES A SURFACE COLLECTION SYSTEM VIA LID TECHNIQUES OF OVERLAND FLOW OVER GRASSED SURFACES. RUNOFF WOULD THEN BE DIRECTED TO A SHALLOW STORMWATER BASIN WITH A BERM HEIGHT OF TWO (2) FEET. THIS BASIN WILL PROVIDE FOR RECHARGE TO GROUNDWATER, TREATMENT TO 80% TSS, AND CONTROL OF OFF-SITE FLOWS.

1.4 CONSTRUCTION SITE ESTIMATES TOTAL PARCEL AREA 11.3 ACRES

TOTAL LAND DISTURBANCE: 1.5 ACRES IMPERVIOUS AREA BEFORE CONSTRUCTION: 0.6 ACRES IMPERVIOUS AREA AFTER CONSTRUCTION: 0.6 ACRES

1.5 SENSITIVE AREAS / WETLAND RESOURCES

A WETLAND SYSTEM INCLUDING BORDERING VEGETATED WETLANDS AND INTERMITTENT STREAM IS LOCATED TO THE REAR OF THE SITE. THIS SYSTEM FLOWS GENERALLY FROM NORTH TO SOUTH TOWARD THE UNDEVELOPED WOODED LAND ABUTTING TO THE SOUTH OF THE PROJECT. THERE IS ALSO A SMALLER WETLAND AREA THAT HAS BEEN DELINEATED IN THE NORTHEAST CORNER OF THE SITE. THIS AREA CONNECTS VIA A CULVERT UNDER THE ABUTTING DRIVEWAY TO A WETLAND ALONG SUMMER STREET.

REQUIRING A TMDL.'

STORMWATER GENERALLY FLOWS IN TWO DIRECTIONS. THE AREA THAT FLOWS TO THE NORTHEAST ULTIMATELY CONNECTS TO CHICKEN BROOK APPROXIMATELY 4.000 FEET FROM THE SITE). THE AREA THAT FLOWS TO THE WEST ULTIMATELY CONNECTS TO HOPPING BROOK. BOTH OF THESE WATER BODIES ARE NOT CLASSIFIED UNDER THE MA SURFACE WATER QUALITY STANDARDS 314 CMR 4. BASED UPON THE MASSACHUSETTS YEAR 2016 INTEGRATED LIST OF WATERS THIS SURFACE WATER IS AN IMPAIRED WATER DUE TO E. COLI, AND IS LISTED AS A CATEGORY 5 WATER, 'WATERS

1.7 ENDANGERED SPECIES CERTIFICATION

THE PROPOSED PROJECT IS NOT LOCATED IN AN ESTIMATED OR PRIORITY HABITAT OF RARE WILDLIFE AS INDICATED ON THE 2017 ESTIMATED HABITAT MAP OF STATE-LISTED RARE WETLAND WILDLIFE PUBLISHED BY THE NATURAL HERITAGE AND ENDANGERED SPECIES PROGRAM (NHESP)

1.8 POTENTIAL SOURCES OF POLLUTION

- POTENTIAL SOURCES OF SEDIMENT TO STORMWATER RUNOFF: CLEARING AND GRUBBING OPERATIONS
- GRADING AND SITE EXCAVATION OPERATIONS VEHICLE TRACKING
- TOPSOIL STRIPPING AND STOCKPILING LANDSCAPING OPERATIONS
- POTENTIAL POLLUTANTS AND SOURCES, OTHER THAN SEDIMENT, TO STORMWATER RUNOFF:
- COMBINED STAGING AREA—SMALL FUELING ACTIVITIES, MINOR EQUIPMENT MAINTENANCE, SANITARY FACILITIES, AND HAZARDOUS WASTE STORAGE.
- MATERIALS STORAGE AREA—GENERAL BUILDING MATERIALS, SOLVENTS, ADHESIVES, PAVING MATERIALS, PAINTS, AGGREGATES, TRASH, ETC. · CONSTRUCTION ACTIVITY--PAVING, CURB/GUTTER INSTALLATION, CONCRETE POURING/MORTAR/STUCCO, BUILDING CONSTRUCTION, AND CONCRETE WASHOUT AREA.

1.9 REQUIREMENT TO POST A NOTICE OF YOUR PERMIT COVERAGE.

THE OPERATOR MUST POST A SIGN OR OTHER NOTICE CONSPICUOUSLY AT A SAFE, PUBLICLY ACCESSIBLE LOCATION IN CLOSE PROXIMITY TO THE PROJECT SITE. AT A MINIMUM, THE NOTICE MUST INCLUDE THE NPDES PERMIT TRACKING NUMBER AND A CONTACT NAME AND PHONE NUMBER FOR OBTAINING ADDITIONAL PROJECT INFORMATION. THE NOTICE MUST BE LOCATED SO THAT IT IS VISIBLE FROM THE PUBLIC ROAD THAT IS NEAREST TO THE ACTIVE PART OF THE CONSTRUCTION SITE, AND IT MUST USE A FONT LARGE ENOUGH TO BE READILY VIEWED FROM A PUBLIC RIGHT-OF-WAY.

1.10 SUBCONTRACTORS: EACH SUBCONTRACTOR ENGAGED IN ACTIVITIES AT THE CONSTRUCTION SITE THAT COULD IMPACT STORMWATER MUST BE IDENTIFIED AND SIGN THE SUBCONTRACTOR CERTIFICATIONS/AGREEMENT (ATTACHED).

2.1 GENERAL CONSTRUCTION SEQUENCING OF MAJOR ACTIVITIES

ESTIMATED SCHEDULE: 18-24 MONTHS

1. INSTALL SEDIMENT CONTROL BARRIERS AND CONSTRUCTION ENTRANCE OFF SUMMER STREET.

2. REMOVE THE EXISTING STRUCTURES AND PAVEMENT AREAS. 3.INSTALL TEMPORARY SEDIMENT BASINS (IF REQUIRED)

4.CLEAR. STUMP & GRUB ROADWAY AREA'S. 5.BEGIN CONSTRUCTION OF ROADWAY.

6.INSTALL ROADWAY CROSS CULVERT PRIOR TO COMPLETING PLACEMENT OF FILL NEAR STATION 0+50 TO PREVENT PONDING ON ABUTTING LAND AND BLOCKAGE OF DRAINAGE FLOW PATHS.

7. INSTALL UTILITIES. 8.INSTALL GRAVEL BASE AND BINDER COURSE PAVEMENT.

9.BEGIN LOT DEVELOPMENT. 10. PERFORM FINAL LANDSCAPING AND STABILIZATION

11. CLEAN AND SEDIMENT AND FINAL INSTALLATION OF THE STORMWATER BASIN. 12. PLACE FINAL TOP COURSE PAVEMENT.

13. REMOVE THE REMAINING SILTATION DEVISES AS THE AREA BECOMES STABLE.

2.2 EROSION AND SEDIMENT CONTROLS GENERAL CONDITIONS - PRIOR TO INITIATING CONSTRUCTION, ALL SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLANS AND DETAIL DRAWINGS. THIS PLAN DEPICTS THE MINIMUM REQUIRED SEDIMENTATION AND EROSION CONTROLS. THE CONTRACTOR SHALL EMPLOY ADDITIONAL SEDIMENTATION AND EROSION CONTROL MEASURES AS NECESSITATED BY SITE CONDITIONS, OR AS DIRECTED BY THE OWNER, THE OWNER'S REPRESENTATIVE. OR THE CONSERVATION COMMISSION TO ENSURE PROTECTION OF ALL WETLAND RESOURCES AND CONTROL SEDIMENT TRANSPORT. IF SEDIMENTATION PLUMES OCCUR, THE CONTRACTOR SHALL STOP WORK AND INSTALL ADDITIONAL SEDIMENTATION CONTROL DEVICES IMMEDIATELY TO PREVENT FURTHER SEDIMENTATION.

TEMPORARY STABILIZATION - TOPSOIL STOCKPILES AND DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR AT LEAST 14 DAYS WILL BE STABILIZED WITH A TEMPORARY SEED AND MULCH NO LATER THAN 14 DAYS FROM THE LAST CONSTRUCTION ACTIVITY IN THAT AREA. THE TEMPORARY SEED SHALL BE EROSION CONTROL MIX. SEEDING SHALL BE NUTRIENT ENRICHED HYDROSEED WITH TACKIFER AND CELLULOSE OR OTHER DEGRADABLE FIBERS CAPABLE OF RETAINING MOISTURE

PERMANENT STABILIZATION - DISTURBED PORTION OF THE SITE WHERE CONSTRUCTION ACTIVITY CEASES SHALL BE STABILIZED WITH PERMANENT SEED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY. THE PERMANENT SEED MIX CONSISTS OF TALL FESCUE, AND ANNUAL RYE. PRIOR TO SEEDING, GROUND AGRICULTURAL LIMESTONE SHALL BE APPLIED. SEEDING SHALL BE NUTRIENT ENRICHED HYDROSEED WITH TACKIFERS AND CELLULOSE OR OTHER DEGRADABLE FIBERS CAPARIE OF RETAINING MOISTURE

EROSION BARRIER (PERIMETER CONTROLS) - EROSION BARRIERS SHALL CONSIST OF COMPOST FILTER SOCKS. PRIOR TO THE COMMENCEMENT OF WORK, FILTER SOCKS SHALL BE INSTALLED ALONG THE EDGE OF PROPOSED DEVELOPMENT, AND AS INDICATED ON THE PLANS. ADDITIONAL EROSION BARRIERS SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE OWNER, HIS REPRESENTATIVES, OR THE LOCAL AUTHORITY.

TRACK OUT CONTROLS / CONSTRUCTION ENTRANCE — A STABILIZED STONE APRON CONSTRUCTION ENTRANCE SHALL BE AT ALL CONSTRUCTION ENTRANCES TO HELP PREVENT VEHICLE TRACKING OF SEDIMENTS. ALL VEHICLES SHALL ENTER AND EXIT THE SIT VIA THE STABILIZED CONSTRUCTION ENTRANCE. THE CONTRACTOR SHALL INSPECT THE CONSTRUCTION ENTRANCE DAILY AND AFTER HEAVY USE. IF MUD AND SOIL CLOGS THE VOIDS IN THE CRUSHED STONE REDUCING THE EFFECTIVENESS. THE PAD SHALL BE TOP DRESSED WITH NEW, CLEAN STONE. IF THE PAD BECOMES COMPLETELY CLOGGED, REPLACEMENT OF THE ENTIRE PAD MAY BE NECESSARY. DUMP IRUCKS HAULING MATERIAL FROM THE CONSTRUCTION SITE WILL BE COVERED WITH A TARPAULIN.

TRACK OUT CONTROLS / STREET SWEEPING - STREET SWEEPING IN THE VICINITY OF THE PROJECT AREA SHALL BE PERFORMED AS NEEDED UNTIL THE PROJECT LIMITS HAVE BEEN STABILIZED. ALL SEDIMENT TRACKED OUTSIDE THE LIMIT OF WORK SHALL BE SWEPT AT THE END OF EACH WORKING DAY.

INLET PROTECTION - ALL EXISTING AND PROPOSED DRAINAGE SYSTEM INLETS, WHICH MAY RECEIVE STORMWATER FLOW FROM DISTURBED AREAS, SHALL BE PROVIDED WITH INLET PROTECTION (CATCH BASIN INSERTS). THE CONTRACTOR SHALL MAINTAIN THESE DEVICES UNTIL ALL WORK IS COMPLETED AND ALL AREAS HAVE BEEN

TEMPORARY SEDIMENT TRAPS- SEDIMENT TRAPS AND/OR BASINS SHALL BE CONSTRUCTED AS NECESSITATED BY FIELD CONDITIONS. THE MINIMUM VOLUME SHALL BE 1800 CUBIC FEET OF STORAGE FOR EACH ACRE OF DRAINAGE AREA. SEDIMENT TRAPS/BASINS SHOULD BE READILY ACCESSIBLE FOR MAINTENANCE AND SEDIMENT REMOVAL, AND SHOULD REMAIN IN OPERATION AND BE PROPERLY MAINTAINED UNTIL THE SITE AREA IS PERMANENTLY STABILIZED BY VEGETATION AND/OR WHEN PERMANENT STRUCTURES ARE IN PLACE. REMOVE BASIN AFTER DRAINAGE AREA HAS BEEN PERMANENTLY STABILIZED, INSPECTED, AND APPROVED. BEFORE REMOVING DAM, DRAIN WATER AND REMOVE SEDIMENT; PLACE WASTE MATERIAL IN DESIGNATED DISPOSAL AREAS. SMOOTH SITE TO BLEND WITH SURROUNDING AREA AND

DUST CONTROL - DUST CONTROL MEASURES SHALL BE IMPLEMENTED AND MAINTAINED PROPERLY THROUGHOUT DRY WEATHER PERIODS UNTIL ALL DISTURBED AREAS HAVE BEEN PERMANENTLY STABILIZED. METHODS FOR DUST CONTROL SHALL INCLUDE WATER SPRINKLING AND/OR OTHER METHODS APPROVED BY THE ENGINEER.

SOIL STOCKPILES - SOIL STOCKPILES SHALL BE STABILIZED TO PREVENT EROSION ALONG WITH PERIMETER SEDIMENTATION CONTROLS. NO MATERIALS SUBJECT TO EROSION SHALL BE STOCKPILED OVERNIGHT WITHIN 100 FEET OF A WETLAND UNLESS COVERED.

DEWATERING OPERATIONS - DEWATERING OPERATIONS, IF REQUIRED, SHALL DISCHARGE ONTO STABILIZED AREAS. ALL DISCHARGE WATER IS TO PASS THROUGH SEDIMENTATION CONTROL DEVICES TO PREVENT IMPACTS UPON WATER BODIES, BORDERING VEGETATED WETLANDS, DRAINAGE SYSTEMS AND ABUTTING PROPERTIES. NO DISCHARGES FROM DEWATERING OPERATIONS SHALL BE DISCHARGED DIRECTLY TO THE DRAINAGE SYSTEM.

SNOW REMOVAL — SNOW SHALL BE PLOWED TO THE SHOULDER OF THE ROADWAY. ANY EXCESS OF THAT WHICH CAN BE STORED ON—SITE SHALL BE REMOVED. SNOW SHALL NOT BE PLOWED INTO THE CONSTRUCTED WETLAND OR INTO THE 20-FOOT BUFFER ZONE TO ANY WETLAND AREA. ALL CATCH BASINS SHALL BE UNCOVERED AND FUNCTIONAL IMMEDIATELY AFTER SNOW PLOWING. ANY SNOW PILES SHALL BE PLACED SO THAT IT WILL NOT INTERFERE WITH RUNOFF FLOW.

TOPSOIL - TOPSOIL SHALL BE STRIPPED AND STOCKPILED ON-SITE FOR REUSE, UNLESS OTHERWISE NOTED ON THE PLANS (PER STOCKPILE REQUIREMENTS). MATERIALS SHALL BE RE-USED ON-SITE TO THE MAXIMUM EXTENT PRACTICAL. ANY EXCESS SHALL BE PROPERLY EXPORTED OFF-SITE. MINIMIZE SOIL COMPACTION - WITHIN THE LIMITS OF THE INFILTRATION GALLEY, THE USE OF HEAVY EQUIPMENT SHALL BE LIMITED TO THE MAXIMUM EXTENT PRACTICAL.

VFHICLE WASHING - VEHICLE AND EQUIPMENT WASHING, OTHER THAN HOSE DOWN WITH CLEAN WATER, SHALL NOT BE ALLOWED. ALL WASH DOWN WATER SHALL BE DIRECTED TO A SEDIMENT CONTROL DEVICE (NOT DIRECTLY TO ANY STORMWATER DRAINAGE SYSTEM OR WETLAND).

- APPLY AT A RATE AND IN AMOUNTS CONSISTENT WITH MANUFACTURER'S SPECIFICATIONS, • APPLY DURING THE GROWING SEASON, AND PREFERABLY TIMED TO COINCIDE AS CLOSELY AS POSSIBLE TO THE PERIOD OF MAXIMUM VEGETATION UPTAKE AND
- AVOID APPLYING BEFORE HEAVY RAINS THAT COULD CAUSE EXCESS NUTRIENTS TO BE DISCHARGED; NEVER APPLY TO FROZEN GROUND:
- NEVER APPLY TO STORMWATER CONVEYANCE CHANNELS WITH FLOWING WATER; AND • FOLLOW ALL OTHER FEDERAL, STATE, TRIBAL, AND LOCAL REQUIREMENTS REGARDING FERTILIZER APPLICATION.

WASHING OF APPLICATORS AND CONTAINERS USED FOR PAINT, CONCRETE, OR OTHER MATERIALS. - DIRECT ALL WASH WATER INTO A LEAK-PROOF CONTAINER OR LEAK-PROOF PIT. THE CONTAINER OR PIT MUST BE DESIGNED SO THAT NO OVERFLOWS CAN OCCUR DUE TO INADEQUATE SIZING OR PRECIPITATION HANDLE WASHOUT OR CLEANOUT WASTES AS FOLLOWS: DO NOT DUMP LIQUID WASTES IN STORM SEWERS; DISPOSE OF LIQUID WASTES IN ACCORDANCE WITH APPLICABLE REGULATIONS; AND. REMOVE AND DISPOSE OF HARDENED CONCRETE WASTE CONSISTENT WITH YOUR HANDLING OF OTHER CONSTRUCTION WASTES. LOCATE ANY WASHOUT OR CLEANOUT ACTIVITIES AS FAR AWAY AS POSSIBLE FROM SURFACE WATERS AND STORMWATER INLETS OR CONVEYANCES, AND, TO THE EXTENT PRACTICABLE, DESIGNATE AREAS TO BE USED FOR THESE ACTIVITIES AND CONDUCT SUCH ACTIVITIES ONLY IN THESE AREAS.

THE RESPONSIBLE PARTY SHALL BE RESPONSIBLE FOR MAINTAINING ALL TEMPORARY AND PERMANENT SEDIMENTATION AND EROSION CONTROLS UNTIL WORK IS COMPLETE AND ALL AREAS HAVE BEEN PERMANENTLY STABILIZED. AT SUCH TIME ALL SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE REMOVED. THESE ARE THE INSPECTION AND MAINTENANCE PRACTICES THAT WILL BE USED TO MAINTAIN EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION.

• ALL CONTROL MEASURES WILL BE INSPECTED AT LEAST ONCE EACH WEEK. ALL EROSION COMPONENTS SHALL BE INSPECTED WITHIN 24 HOURS FOLLOWING ANY PRECIPITATION EVENT OF 0.25 INCHES. • DEPTH OF PRECIPITATION EVENTS SHALL BE BASED UPON NCDC REPORTING.

- MAINTENANCE PRACTICES: • ALL MEASURES WILL BE MAINTAINED IN GOOD WORKING ORDER; IF A REPAIR IS NECESSARY, IT WILL BE INITIATED WITHIN 24 HOURS OF REPORT OF ANY
- DEFICIENCIES. • BUILT UP SEDIMENT SHALL BE REMOVED FROM THE SILT FENCE WHEN IT REACHES A DEPTH EQUAL TO ONE-THIRD THE HEIGHT OF THE FENCE. • THE SEDIMENT TRAPS SHALL BE INSPECTED FOR DEPTH OF SEDIMENT, AND BUILT UP SEDIMENT WILL BE REMOVED WHEN IT REACHED 25 PERCENT OF THE DESIGN CAPACITY OR AT THE END OF THE JOB. CHECK EMBANKMENT FOR: SETTLEMENT, SEEPAGE, OR SLUMPING ALONG THE TOE OR AROUND PIPE. LOOK FOR SIGNS OF
- PIPING. REPAIR IMMEDIATELY. REMOVE TRASH AND OTHER DEBRIS FROM PRINCIPAL SPILLWAY, EMERGENCY SPILLWAY, AND POOL AREA. CLEAN OR REPLACE GRAVEL WHEN SEDIMENT POOL DOES NOT DRAIN PROPERLY.
- ANY DIVERSION DIKES WILL BE INSPECTED FOR BREACHES AND PROMPTLY REPAIRED. • TEMPORARY AND PERMANENT SEEDING AND PLANTING WILL BE INSPECTED FOR BARE SPOTS, WASHOUTS AND HEALTHY GROWTH. • CONTRACTOR TO MAINTAIN A SUPPLY OF EROSION CONTROL DEVISES ON SITE AT ALL TIMES TO REPAIR ANY BROKEN OR DAMAGED MATERIALS.
- STREET SWEEPING SHALL BE PERFORMED THROUGHOUT CONSTRUCTION AS REQUIRED. ANY SEDIMENT TRACKED ONTO PUBLIC WAYS SHALL BE SWEPT BY THE END • CATCH BASINS AND STORMCEPTORS SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND CLEANED WHENEVER SEDIMENT REACHES 12-INCHES IN CATCH BASINS

AND 8-INCHES IN STORMCEPTORS. THE SITE SUPERINTENDENT, WILL SELECT THREE INDIVIDUALS WHO WILL BE RESPONSIBLE FOR INSPECTIONS, MAINTENANCE AND REPAIR ACTIVITIES, AND FILLING OUT THE INSPECTION AND MAINTENANCE REPORTS. PERSONNEL SELECTED FOR INSPECTION AND MAINTENANCE RESPONSIBILITIES SHALL BE A "QUALIFIED PERSONNEL" AS DEFINED IN SECTION 4. D OF THE GCP. STAFF SHALL BE TRAINED IN ALL INSPECTION AND MAINTENANCE PRACTICES FOR KEEPING THE EROSION AND SEDIMENT CONTROLS USED

ONSITE IN GOOD WORKING ORDER. AN INSPECTION REPORT WILL BE MADE AFTER EACH INSPECTION. COPIES OF THE REPORTS SHALL BE MAINTAINED ON SITE. AT A MINIMUM, THE INSPECTION REPORT

- THE INSPECTION DATE;
- NAMES, TITLES, AND QUALIFICATIONS OF PERSONNEL MAKING THE INSPECTION: • WEATHER INFORMATION FOR THE PERIOD SINCE THE LAST INSPECTION INCLUDING ESTIMATE OF THE BEGINNING AND DURATION OF EACH STORM EVENT, APPROXIMATE AMOUNT OF RAINFALL FOR EACH STORM EVENT (IN INCHES), AND WHETHER ANY DISCHARGES OCCURRED;
- LOCATION(S) OF DISCHARGES OF SEDIMENT OR OTHER POLLUTANTS FROM THE SITE;
- LOCATION(S) OF BMPS THAT NEED TO BE MAINTAINED; • LOCATION(S) OF BMPS THAT FAILED TO OPERATE AS DESIGNED OR PROVED INADEQUATE FOR A PARTICULAR LOCATION;
- LOCATION(S) WHERE ADDITIONAL BMPS ARE NEEDED THAT DID NOT EXIST AT THE TIME OF INSPECTION; AND

• CORRECTIVE ACTION REQUIRED INCLUDING IMPLEMENTATION DATES.

THE INSPECTION REPORT MUST BE SIGNED IN ACCORDANCE WITH APPENDIX G, SECTION 11 OF THE GCP.

- 2.5 STAFF AND TRAINING REQUIREMENTS. PRIOR TO THE COMMENCEMENT OF EARTH-DISTURBING ACTIVITIES OR POLLUTANT-GENERATING ACTIVITIES. WHICHEVER OCCURS FIRST, YOU MUST ENSURE THAT THE FOLLOWING PERSONNEL UNDERSTAND THE REQUIREMENTS OF THIS PERMIT AND THEIR SPECIFIC RESPONSIBILITIES WITH RESPECT TO THOSE REQUIREMENTS: • PERSONNEL WHO ARE RESPONSIBLE FOR THE DESIGN, INSTALLATION, MAINTENANCE, AND/OR REPAIR OF STORMWATER CONTROLS (INCLUDING POLLUTION PREVENTION
- PERSONNEL RESPONSIBLE FOR THE APPLICATION AND STORAGE OF TREATMENT CHEMICALS (IF APPLICABLE):
- PERSONNEL WHO ARE RESPONSIBLE FOR CONDUCTING INSPECTIONS AS REQUIRED IN PART 4.1.1; AND • PERSONNEL WHO ARE RESPONSIBLE FOR TAKING CORRECTIVE ACTIONS.

NOTES: (1) IF THE PERSON REQUIRING TRAINING IS A NEW EMPLOYEE, WHO STARTS AFTER YOU COMMENCE EARTH—DISTURBING OR POLLUTANT—GENERATING ACTIVITIES, YOU MUST ENSURE THAT THIS PERSON HAS THE PROPER UNDERSTANDING AS REQUIRED ABOVE PRIOR TO ASSUMING PARTICULAR RESPONSIBILITIES RELATED TO COMPLIANCE WITH THIS PERMIT. (2) FOR EMERGENCY-RELATED CONSTRUCTION ACTIVITIES, THE REQUIREMENT TO TRAIN PERSONNEL PRIOR TO COMMENCEMENT OF EARTH-DISTURBING ACTIVITIES DOES NOT APPLY, HOWEVER, SUCH PERSONNEL MUST HAVE THE REQUIRED TRAINING PRIOR TO NOI SUBMISSION.

THE OPERATOR IS RESPONSIBLE FOR ENSURING THAT ALL ACTIVITIES ON THE SITE COMPLY WITH THE REQUIREMENTS OF THE PERMIT. THE OPERATOR IS NOT REQUIRED TO PROVIDE OR DOCUMENT FORMAL TRAINING FOR SUBCONTRACTORS OR OTHER OUTSIDE SERVICE PROVIDERS, BUT YOU MUST ENSURE THAT SUCH PERSONNEL UNDERSTAND ANY REQUIREMENTS OF THE PERMIT THAT MAY BE AFFECTED BY THE WORK THEY ARE SUBCONTRACTED TO PERFORM. AT A MINIMUM, PERSONNEL MUST BE TRAINED TO UNDERSTAND THE FOLLOWING IF RELATED TO THE SCOPE OF THEIR JOB DUTIES (E.G., ONLY PERSONNEL RESPONSIBLE FOR CONDUCTING INSPECTIONS

- NEED TO UNDERSTAND HOW TO CONDUCT INSPECTIONS): • THE LOCATION OF ALL STORMWATER CONTROLS ON THE SITE REQUIRED BY THIS PERMIT, AND HOW THEY ARE TO BE MAINTAINED;
- THE PROPER PROCEDURES TO FOLLOW WITH RESPECT TO THE PERMIT'S POLLUTION PREVENTION REQUIREMENTS; AND WHEN AND HOW TO CONDUCT INSPECTIONS, RECORD APPLICABLE FINDINGS, AND TAKE CORRECTIVE ACTIONS.

3.1 STORAGE, HANDLING, AND WASTE DISPOSAL

BUILDING PRODUCTS - SHALL BE COVERED OR STORED INSIDE TO PREVENT ANY DISCHARGE OF POLLUTANTS. COMPLY WITH ALL APPLICATION, DISPOSAL, AND REGISTRATION REQUIREMENTS

PESTICIDES, HERBICIDES, INSECTICIDES AND FERTILIZERS - SHALL BE COVERED OR STORED INSIDE TO PREVENT ANY DISCHARGE OF POLLUTANTS. COMPLY WITH ALL APPLICATION, DISPOSAL, AND REGISTRATION REQUIREMENTS.

DIESEL FUEL, OIL, HYDRAULIC FLUIDS, OTHER PETROLEUM PRODUCTS, AND OTHER CHEMICALS— STORE CHEMICALS IN

WATER-TIGHT CONTAINERS, AND PROVIDE EITHER (1) COVER (E.G., PLASTIC SHEETING OR TEMPORARY ROOFS) TO PREVENT THESE CONTAINERS FROM COMING INTO CONTACT WITH RAINWATER, OR (2) A SIMILARLY EFFECTIVE MEANS DESIGNED TO PREVENT THE DISCHARGE OF POLLUTANTS FROM THESE AREAS (E.G., SPILL KITS), OR PROVIDE SECONDARY CONTAINMENT (E.G., SPILL BERMS, DECKS, SPILL CONTAINMENT PALLETS), CLEAN UP SPILLS IMMEDIATELY, USING DRY CLEAN-UP METHODS WHERE POSSIBLE, AND DISPOSE OF USED MATERIALS PROPERLY. DO NOT CLEAN SURFACES OR SPILLS BY HOSING THE AREA DOWN. ELIMINATE THE SOURCE OF THE SPILL TO PREVENT A DISCHARGE OR A CONTINUATION OF AN ONGOING DISCHARGE

HAZARDOUS WASTE - SEPARATE HAZARDOUS OR TOXIC WASTE FROM CONSTRUCTION AND DOMESTIC WASTE. STORE WASTE IN SEALED CONTAINERS, WHICH ARE CONSTRUCTED OF SUITABLE MATERIALS TO PREVENT LEAKAGE AND CORROSION, AND WHICH ARE LABELED IN ACCORDANCE WITH APPLICABLE RESOURCE CONSERVATION AND RECOVERY ACT (RCRA) REQUIREMENTS AND ALL OTHER APPLICABLE FEDERAL, STATE, TRIBAL, OR LOCAL REQUIREMENTS; III. STORE ALL CONTAINERS THAT WILL BE STORED OUTSIDE WITHIN APPROPRIATELYSIZED SECONDARY CONTAINMENT (E.G., SPILL BERMS, DECKS, SPILL CONTAINMENT PALLETS) TO PREVENT SPILLS FROM BEING DISCHARGED, OR PROVIDE A SIMILARLY EFFECTIVE MEANS DESIGNED TO PREVENT THE DISCHARGE OF POLLUTANTS FROM THESE AREAS (E.G., STORING CHEMICALS IN COVERED AREA OR HAVING A SPILL KIT AVAILABLE ON SITE);

DISPOSE OF HAZARDOUS OR TOXIC WASTE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED METHOD OF DISPOSAL AND IN COMPLIANCE WITH FEDERAL, STATE, TRIBAL, AND LOCAL REQUIREMENTS. SITE PERSONNEL WILL BE INSTRUCTED IN THESE PRACTICE AND THE INDIVIDUAL WHO MANAGES THE DAY TO DAY SITE OPERATIONS, WILL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED.

CLEAN UP SPILLS IMMEDIATELY, USING DRY CLEAN-UP METHODS WHERE POSSIBLE, AND DISPOSE OF USED MATERIALS PROPERLY. DO NOT CLEAN SURFACES OR SPILLS

BY HOSING THE AREA DOWN. ELIMINATE THE SOURCE OF THE SPILL TO PREVENT A DISCHARGE OR A FURTHERANCE OF AN ONGOING DISCHARGE SANITARY WASTE - ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF ONCE PER WEEK BY THE SANITARY PUMPING COMPANY, LICENSED BY THE COMMONWEALTH OF MASSACHUSETTS AND AS REQUIRED BY THE LOCAL REGULATION. POSITION UNITS IN A SECURE LOCATION WHERE THEY CANNOT

WASTE MATERIALS - ALL WASTE MATERIALS WILL BE COLLECTED AND STORED IN A SECURELY LIDDED METAL DUMPSTER RENTED FROM A LICENSED WASTER MANAGEMENT COMPANY. THE DUMPSTER WILL MEET ALL LOCAL AND STATE SOLID WASTER MANAGEMENT REGULATIONS. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE WILL BE DEPOSITED IN THE DUMPSTER. THE DUMPSTER WILL BE EMPTIED AT LEAST TWICE PER MONTH OR MORE OFTEN IF NECESSARY, AND THE WASTE WILL BE HAULED TO THE WASTE MANAGEMENT COMPANY, ON WORK DAYS, CLEAN UP AND DISPOSE OF WASTE IN DESIGNATED WASTE CONTAINERS, CLEAN UP IMMEDIATELY IF CONTAINERS OVERFLOW. NO CONSTRUCTION WASTE MATERIALS WILL BE BURIED ONSITE. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL. NOTICES STATING THESE PRACTICES WILL BE POSTED IN THE OFFICE TRAILER. THE INDIVIDUAL MANAGING THE DAY-TO-DAY SITE OPERATIONS WILL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED.

3.2 BUILDING MATERIAL INVENTORY FOR POLLUTION PREVENTION PLAN

- THE MATERIALS OR SUBSTANCES LISTED BELOW ARE EXPECTED TO BE PRESENT ONSITE DURING CONSTRUCTION:
- PETROLEUM BASED PRODUCTS INCLUDING ASPHALT CONCRETE/EMULSIONS, FUEL(S), OIL, ETC.

- PAINTS (ENAMEL, LATEX AND OIL BASED STAINS)
- METAL STUDS AND PRODUCTS
- ROOFING SHINGLES GYPSUM AND PLASTER

STONE PRODUCTS

CONSTRUCTION EQUIPMENT AND MAINTENANCE MATERIALS WILL BE STORED AT THE COMBINED STAGING AREA AND MATERIALS STORAGE AREAS. A WATERTIGHT CONTAINER WILL BE USED TO STORE HAND TOOLS, SMALL PARTS, AND OTHER CONSTRUCTION MATERIALS.

3.3 SPILL PREVENTION MATERIAL MANAGEMENT PRACTICES THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES TO STORMWATER RUNOFF.

GOOD HOUSEKEEPING — THE FOLLOWING GOOD HOUSEKEEPING PRACTICES WILL BE FOLLOWED ONSITE DURING THE CONSTRUCTION PROJECT.

- AN EFFORT WILL BE MADE TO STORE ONLY ENOUGH PRODUCTS TO DO THE JOB. • ALL MATERIALS STORED ONSITE WILL BE STORED IN A NEAT, ORDERLY MANNER IN THIS APPROPRIATE CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER
- PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS AND WITH THE ORIGINAL MANUFACTURERS' LABEL.
- SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURES. • WHENEVER POSSIBLE, ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSING OF THE CONTAINER.
- MANUFACTURERS' RECOMMENDATION FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED. • THE SITE SUPERINTENDENT WILL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS. • HAZARDOUS PROCEDURES - IN ACCORDANCE WITH INDUSTRY STANDARDS AND APPLICABLE REGULATIONS
- PRODUCT SPECIFIC PRACTICES THE FOLLOWING PRODUCT SPECIFIC PRACTICES WILL BE FOLLOWED ONSITE: PETROLEUM PRODUCTS - TRANSPORT AND DELIVERY OF FUEL IN APPROVED CONTAINERS ONLY.

PAINTS - IN ACCORDANCE WITH LABELING SPILL CONTROL PRACTICES - ANY SPILLS OF HAZARDOUS MATERIALS SHALL BE CONTAINED AND CLEANED UP IMMEDIATELY. IF APPROPRIATE, THE MASSACHUSETTS DEPARTMENT OF ENVIRONMENTAL PROTECTION (DEP) SHALL BE NOTIFIED. THERE SHALL, AT ALL TIMES WHEN WORK IS UNDERWAY ON—SITE, BE AN INDIVIDUAL

- IN THE EVENT THAT HAZARDOUS MATERIAL, GASOLINE OR OTHER PETROLEUM IS RELEASED, THE FOLLOWING PROCEDURE SHOULD BE FOLLOWED:
- 1. IMMEDIATELY CONTACT THE FOLLOWING AGENCIES:

FERTILIZERS - IN ACCORDANCE WITH LABELING

MEDWAY FIRE DEPARTMENT (508) 533-3211 MASSDEP EMERGENCY RESPONSE (888) 304-1133

PRESENT WHO IS TRAINED IN PROPER SPILL CONTROL PRACTICES.

2. PROVIDE SUPPORT TO AGENCIES LISTED ABOVE, WHICH MAY INCLUDE CONTACTING AN OUTSIDE CONTRACTOR TO PROVIDE CLEAN—UP OR CONTACTING A LICENSED SITE PROFESSIONAL (LSP) TO LEAD THE CLEAN-UP.

WHERE A RELEASE CONTAINING A HAZARDOUS SUBSTANCE OR OIL IN AN AMOUNT EQUAL TO OR IN EXCESS OF A REPORTABLE QUANTITY ESTABLISHED UNDER EITHER 40 CFR PART 110, 40 CFR PART 117 OR 40 CFR PART 302, OCCURS DURING A 24-HOUR PERIOD:

O PROVIDE NOTICE TO THE NATIONAL RESPONSE CENTER (NRC) (800-424-8802; IN THE WASHINGTON, DC, METROPOLITAN AREA CALL 202-267-2675) IN ACCORDANCE WITH THE REQUIREMENTS OF 40 CFR PART 110, 40 CFR PART 117 AND 40 CFR PART 302 AS SOON AS SITE STAFF HAVE KNOWLEDGE OF THE

O WITHIN 7 CALENDAR DAYS OF KNOWLEDGE OF THE RELEASE, PROVIDE A DESCRIPTION OF THE RELEASE. THE CIRCUMSTANCES LEADING TO THE RELEASE. AND THE DATE OF THE RELEASE. YOU MUST ALSO IMPLEMENT MEASURES TO PREVENT THE REOCCURRENCE OF SUCH RELEASES AND TO RESPOND TO SUCH RELEASES.

VEHICLE FUELING AND MAINTENANCE - ALL MAJOR EQUIPMENT/VEHICLE FUELING AND MAINTENANCE WILL BE PERFORMED OFF-SITE. WHEN VEHICLE FUELING MUST OCCUR ON-SITE, THE FUELING ACTIVITY WILL OCCUR IN THE STAGING AREA OUTSIDE THE BUFFER ZONE OR RESOURCE AREA. ONLY MINOR EQUIPMENT MAINTENANCE WILL OCCUR ON-SITE, ALL EQUIPMENT FLUIDS GENERATED FROM MAINTENANCE ACTIVITIES WILL BE DISPOSED OF INTO DESIGNATED DRUMS STORED ON SPILL PALLETS IN ACCORDANCE WITH PART 3.1 OF THE GCP. ABSORBENT, SPILL-CLEANUP MATERIALS AND SPILL KITS WILL BE AVAILABLE AT THE COMBINED STAGING AND MATERIALS STORAGE AREA. DRIP PANS WILL BE PLACED UNDER ALL EQUIPMENT RECEIVING MAINTENANCE AND VEHICLES AND EQUIPMENT PARKED OVERNIGHT.

- IT IS EXPECTED THAT THE FOLLOWING NON—STORM WATER DISCHARGE WILL OCCUR FROM THE SITE DURING THE CONSTRUCTION PERIOD: • PAVEMENT WASH WATERS (WHERE NO SPILLS OR LEAKS OF TOXIC OR HAZARDOUS MATERIAL HAVE OCCURRED).
- DISCHARGES FROM FIRE FIGHTING ACTIVITIES HYDRANT AND WATER LINE FLUSHING
- LANDSCAPE IRRIGATION VEHICLE WASH
- WATER FOR DUST CONTROL FOUNDATION / FOOTING DRAINS CONSTRUCTION DEWATERING WATER

4.0 RECORD KEEPING / UPDATING OF DOCUMENTATION

THIS DOCUMENT IS INTENDED AS A LIVING DOCUMENT TO BE CONTINUOUSLY REVISED AND UPDATED BASED ON CHANGING SITE CONDITIONS AND THE PROGRESSION OF CONSTRUCTION. THE SWPPP SHALL BE CONTINUOUSLY REVISED TO INDICATE THE CONDITION AND LOCATION OF THE VARIOUS BEST MANAGEMENT PRACTICES COPIES OF THE GCP. SIGNED AND CERTIFIED NOI, AND EPA NOTIFICATION OF RECEIPT MUST BE INCLUDED IN THE SWPPP. THIS SWPPP PLAN, THE APPROVED DRAWINGS MADE PART OF THIS DOCUMENT, INSPECTION REPORTS (MADE AT LEAST WEEKLY), AND REQUIRED LOGS SHALL BE MAINTAINED ON SITE AT ALL TIMES. INSPECTION

- REPORTS SHALL BE RETAINED WITH THE SWPPP FOR AT LEAST THREE YEARS. THE FOLLOWING INSPECTION REPORTS AND LOGS SHALL BE MAINTAINED:
- INSPECTION REPORTS
- CORRECTIVE ACTION LOG • SWPPP AMENDMENT LOG • GRADING AND STABILIZATION ACTIVITIES LOG

APPROVAL UNDER THE SUBDIVISION CONTROL LAW, IS REQUIRED.

MEDWAY PLANNING AND ECONOMIC DEVELOPMENT BOARD

THIS PLAN IS SUBJECT TO A COVENANT TO BE RECORDED HEREWITH.

THIS PLAN IS SUBJECT TO A CERTIFICATE OF ACTION WHICH SHALL BE RECORDED WITH THE PLAN AT THE NORFOLK COUNTY REGISTRY OF DEEDS.



OWNERS:

LINDA LINDSEY 69 SUMMER STREET MEDWAY, MA

RABBIT BROOK REALTY TRUST 69 SUMMER STREET MEDWAY, MA

DAVID & RENEE SISTRAND 67R SUMMER STREET MEDWAY, MA

CONNORSTONE ENGINEERING INC

CIVIL ENGINEERS AND LAND SURVEYORS 10 SOUTHWEST CUTOFF, SUITE 7 NORTHBOROUGH, MASSACHUSETTS 01532 PHONE: 508-393-9727 FAX: 508-393-5242

DEFINITIVE PLAN STORMWATER POLLUTION PREVENTION PLAN **BOUNDARY LANE**

MEDWAY, MA

2/17/2022 MISC. CON. COMM. EDITS MISC. CON. COMM. EDITS 2/8/2022 REVISED: DESCRIPTION: DRAWN BY: RM CHECK BY: VC DATE: AUGUST 20, 2021

SCALE: NONE

SHEET 6 OF 6.

CLERK OF THE TOWN OF MEDWAY RECEIVED AND RECORDED APPROVAL FROM THE PLANNING BOARD OF THIS PLAN ON ______ AND NO APPEAL WAS TAKEN FOR TWENTY (20) DAYS THEREAFTER.

LAND SUBDIVISION - FORM F

Development Impact Report (DIR) PLANNING BOARD - Town of Medway, MA

OVERVIEW

The DIR is intended to serve as a guide to the applicant in formulating their development proposal, as well as a guide to the Planning Board in evaluating the proposed Subdivision Plan in the context of existing conditions and the Town's planning efforts. The DIR should be prepared as early in the design process as possible, even if certain aspects are unknown at that time.

The DIR seeks to raise the broad range of issues generally association with a subdivision development plan in a form and in language that is understandable to the layperson. The DIR shall identify and assess development impacts that could possibly be avoided or mitigated if recognized early in the development process. Other portions of the DIR request information that will help the Town plan ahead to provide adequate services in the future.

The DIR shall be filed with an application for approval of a Preliminary and a Definitive Subdivision Plan. It shall clearly and methodically assess the relationship of the proposed development to the natural, physical, and social environment of the surrounding area. In preparing the DIR, a systematic interdisciplinary approach shall be utilized to include professionals in the natural and social

sciences and environmental design arts.

		April 1, 2021
		Date
1.	Name of Proposed Subdivision: Boundary Lane)
2.	Location: 67R & 69 Summer Street	
3.	Name of Applicant (s): Zachary T. Lindsey et.	ux
4.	Brief Description of the Proposed Project:	
-	3 Lot residential subdivision	
	Includes one (1) new house lot and two (2	2) existing house lots
5.	Name of Individual Preparing this DIR _Vito Colonna	a / Connorstone Engineering
Addre	ess: 10 Southwest Cutoff, Northborough, MA Photos	ne:508-393-9727
Profes	ssional Credentials: Professional Engineer MA #47	'635

SITE DESCRIPTION

6. Total Site Acreage: 11.3

Approximate Acreage	At Present	After Completion
Meadow/brushland (non-agricultural)	0	0
Forested	4.6	4.4
Agricultural (includes orchards, croplands, pasture)	0.3	0.3
Wetlands	2.9	2.9
Water Surface Area	0	0
Flood Plain	0	0
Unvegetated (rock, earth or fill)	0	0
Roads, buildings and other impervious surfaces	0.7	0.7
Other (indicate type) - LAWN	2.8	3.0
TOTAL	11.3	11.3

7. Present permitted and actual land use by percentage of the site.

Uses	Percentage
Industrial	
Commercial	
Residential	32%
Forest	65%
Agricultural	3%
Other (specify)	

8. List the zoning districts in which the site is located and indicate the percentage of the site in each district. NOTE – Be sure to include overlay zoning districts.

100%
10070
_

9. Predominant soil type(s) on the site: _______________

Soil Drainage

(Use the U.S. Soil Conservation Service's definition)

Soil Type	% of Site	
Well drained		
Moderately well drained	60%	
Poorly drained	40%	

	Approximate percentage of propose	Approximate percentage of proposed site with slopes between:			
	Slope	% of Site			
	0 – 10%	93%			
	10 – 15%	6%			
	Greater than 15%	1%			
12.	In which of the Groundwater Protect	tion Districts is the site located?			
	Zone(s) N/A P	roximity to a public well: 11,000 +/-	feet		
13. as ra <i>Cons</i>	Does the project site contain any spre or endangered? (Consult the Mass ervation Commission for information.)	achusetts Heritage Program and the	identifi he Med		
If yes	, specify:				
14. kettle	Are there any unusual site features ponds, eskers, drumlins, quarries, di				
	_YesX No				
If yes	, specify:				
15. ways	Are there any established foot paths? YesXN		d right		
If yes	, please specify:				
		nmunity as an onen space or recre	eation		
16. area?	Is the site presently used by the con YesX_N				

F-3 18. Are there wetlands, lakes, pond, streams or rivers within or contiguous to the site? No			
If yes, please specify: Wetlands located on-site			
*			
19. Is there any farmland or forest land on the site p 61B of the Massachusetts General Laws? If yes, please specify:	Yes <u>X</u> No		
20. Has the site ever been used for the disposal of I study been conducted for the site?	nazardous waste? Has a 21E YesX No		
If yes, please specify:			
21. Will the proposed activity require use and/or sto generation of hazardous waste?	rage of hazardous materials, or YesX No		
If yes, please specify:			
22. Does the project location contain any buildings of archaeological significance? (Consult with the Medway			
If yes, please describe:			
23. Is the project contiguous to or does it contain a building located in a national register historic district? Yes No			
If yes, please describe:			
CIRCULATION			
24. What is the expected average weekday traffic argenerated by the proposed subdivision?	nd peak hour volumes to be		
Average weekday traffic	29		
Average peak hour volumes – morning	3		

3

Average peak hour volumes - evening

F-4 25.	Exist	ing street(s) providing access to the proposed subdivision:	
Pleas	se spe	cify:Summer Street	
26.	Exist	ing intersection(s) within 1000 feet of any access to the proposed nt. Please specify intersection names: Highland Street	
27.	Loca	tion of existing sidewalks within 1000 feet of the proposed site:	
28.	Loca	tion of proposed sidewalks and their connection to existing sidewalks:	
		None	
29.	Are t	here parcels of undeveloped land adjacent to the proposed site:	
		YesXNo	
	Will a	access to these undeveloped parcels be provided from the proposed ivision?	
		YesNo	
	If yes	s, please describe:	
	If no,	please explain why:	
UTIL	ITIES	S AND MUNICIPAL SERVICES	
30.	What	is the total number of dwelling units proposed?	
31.	What is the total number of bedrooms in the proposed subdivision?		
32.	Stormwater Management		
	A.	Describe the nature, location and surface water body receiving current surface water of the site:	
		(1.) On-site wetland and unnamed stream along rear of site, which flows to the south ultimately	
		tributary to Hopping Brook. (2) Culvert in the front (north east) corner of the site, which flows north	
		to wetland on the east side of Summer Street. These wetlands are ultimately tributary to Chicken	
F-5		Brook.	

	В.	operate and how the existing stormwater patterns will be altered:
		On-site stormwater collection, detention, and treatment system including a surface detention basin. Discharges shall match the peak rate, volume, and pattern of runoff when compared to the existing conditions.
	C.	Will a NPDS Permit be required? Yes X No
33.		e estimate the response time of the Fire Department to this site: consult with the Fire Department): 5 to 7 minutes
34.	Schoo	ls ·
	Α.	Projected number of new school age children:3
	B.	Distance to nearest elementary school: 2.5 Mile
measu	ires tha	S TO MITIGATE IMPACTS - Please attach a brief description of the it haven been taken during subdivision design and will be taken during onstruction for each of the following:
35. 36. 37. 38. 39. 40. 41. 42. 43. 44. 45. 46. 47. 48. 49. 50. 51. 52. 53.	Pre Rec Ma Cor Pre Pro Ret Des Pro Pre Ret Min Rec Min Rec	ximize stormwater infiltration and groundwater recharge went surface and groundwater contamination duce detrimental impacts to water quality intain slope stability and prevent erosion aserve energy serve wetlands serve wildlife habitats, outstanding ecological or botanical features tect scenic views ain natural landscape features sign street layouts to facilitate southern orientation of houses curvilinear street patterns mote pedestrian and bicycle access and safety duce the number of mature trees to be removed vide green belt/buffer areas serve historically important structures and features on the site ain natural valley flood storage areas imize the extent of waterways altered or relocated duce the volume of cut and fill imize the visual prominence of man-made elements even if necessary for ety or orientation imize municipal maintenance frequency and costs duce building site frontages or driveway egresses onto primary or
	sec	ondary streets

In describing each of the above, please use layman's terms where possible while still being accurate and comprehensive. Where appropriate, please use graphic illustrations. Identify data sources, reference materials and methodology used to determine all conclusions.

MEASURES TO MITIGATE IMPACTS

35. Maximum stormwater infiltration and groundwater recharge.

Proposed private road has been directed to a stormwater management basin system sized and designed in accordance with DEP Stormwater Standards. The system will maximize infiltration to match the existing recharge conditions.

36. Prevent surface and groundwater water contamination.

Stormwater drainage from the roadway will be collected in Low Impact Development (LID) techniques including vegetated swales for pretreatment and directed to a Stormwater Basin for recharge and treatment. The system will be designed to remove a minimum 80% of the TSS, and will be designed in full compliance with the Massachusetts Stormwater Handbook and Stormwater Standards to ensure protection to water quality.

37. Reduce detrimental impacts to water quality.

As noted above, the stormwater system will be designed to remove a minimum 80% of the TSS, and will be designed in full compliance with the Massachusetts Stormwater Handbook and Stormwater Standards to ensure protection to water quality.

38. Maintain Slope Stability and Prevent Erosion

Proposed vegetated slopes will be limited to 2 horizontal to 1 vertical, which will be dressed with minimum 6 inches of loam and seeded. Any slope greater than 3 horizontal to 1 vertical will be seeded with hydroseed methods including a tackifier. The existing topography is relatively flat with little need to create large cut or fill slopes requiring special slope protection. Construction period erosion control would be implements and provided in the final definitive subdivision plans.

39. Conserve Energy

The proposed development and new home would be new construction meeting the current building codes for energy conservation.

40. Preserve wetlands

No wetlands or undisturbed areas within 25 feet of any wetland will be altered as part of the project, and sedimentation and erosion controls will be implemented during construction to mitigate potential temporary impacts.

41. Preserve wildlife habitats, outstanding ecological or biological features

The wetland areas onsite and the 25 foot buffer zone will not be altered by the proposed work, which will provide habitat for wildlife in the area. There are no mapped areas of estimated or priority habitats within the project limits.

42. Protect scenic views

The proposed project would not block or obstruct and existing scenic views or vistas. The existing frontage along Summer Street is currently developed with a single family home.

43. Retain natural landscape features

Existing vegetation will be preserved to the extent feasible, and all vegetation within 25 feet of the wetland will also be preserved.

44. Design street layouts to facilitate southern orientation of houses.

The proposed street layout options are limited due the existing homes, and the street generally runs over the existing common driveway in an east west direction. The proposed home would have sun exposure.

45. Use curvilinear street patterns

The proposed street layout options are limited due the currently existing homes, and the street generally runs over the existing common driveway to limit further land disturbance.

46. Promote pedestrian and bicycle access and safety

The size and scope of the subdivision with the addition of one house would not increase the pedestrian and bicycle safety. The existing sidewalk along Summer Street would be maintained and proper access provided across the entrance.

47. Reduce the number of mature trees to be removed

Mature trees would be preserved to the maximum extent feasible. Tree preservation would be reviewed in greater detail during the definitive design phase.

48. Provide green belt/buffer areas

A large buffer area would be provided to the rear of the proposed house with the on-site wetlands and power line easement. The other two homes are existing and well established.

49. Preserve historically important structures and features on the site

Not applicable, there are no know historic features on the subject site.

50. Retain natural valley flood storage areas

Not applicable, there are no valley flood storage areas on the subject site.

51. Minimize the extent of waterways altered or relocated

The proposed work will not require any filling of wetlands or waterways.

52. Reduce the volume of cut and fill

The amount of cut and fill has been reduced to the extent feasible. The proposed roadway does not require and large cuts or fills and closely follows the existing grade.

53. Minimize the visual prominence of man-made elements even if necessary for safety or orientation

The majority of the development including the one new home would be located to the rear portion of the lot reducing the visual impact from Summer Street.

54. Minimize municipal maintenance frequency and costs

The proposed project would have minimal effect on municipal services. There would be a net increase in one single family house, and the roadway would remain in private ownership. All future maintenance of the roadway would be the responsibility of the homeowners association.

55. Reduce building site frontages or driveway egresses onto primary or secondary streets

The existing conditions include common driveway access to Summer Street. This location would be utilized as the private road entrance. No new lot frontage on Summer Street would be created, and the three lots would have frontage on the proposed roadway.

LIST OF REQUESTED WAIVERS

Section 7.6.2.b	Waiver to not require installation of an extension of Municipal water within the proposed roadway. Proposed Lot 2 containing the new house would be serviced by an on-site private well.
Section 7.7.2.p	Waiver to allow less than a 30 foot setback from drainage basins to the proposed private road and Lot 1. The 30 foot buffer would be maintained to both Summer Street and the northerly abutter.
Section 7.7.4.d	Waiver from the requirement to install an independent drainage system to collect foundation perimeter drains. The only new house would be on Lot 2. This lot would discharge any foundation drainage the rear of the property away from the roadway.
Section 7.9.5.a	Waiver to allow a minimum center line grade of one percent (1%) to reduce the required earthwork and more closely match the existing conditions.
Section 7.9.5.c	Waiver to allow a vertical curve within the leveling area (not fixed slope). All slopes would be below the maximum 2% threshold.
Section 7.10.1 & 2	Waiver from the requirement curbs and berms. The project has been proposed with low impact development (LID) grassed swales in place of traditional curbs and gutters.
Section 7.21	Waiver from installation of additional street lighting. The existing utility pole on Summer Street located 50 feet north of the proposed roadway includes a street light.

Project Name:	Boundary Lane
Property Location:	67-69 Summer Street
Type of Project/Permit:	Definitive Subdivision Plan
Identify the number and title of the relevant Section of the Subdivision Plan Rules and Regulations from which a waiver is sought.	Section 7.6.2.b Utilities: Water Facilities
Summarize the text of the relevant Section of the Rules and Regulations from which a waiver is requested.	Waiver from the requirement to provide Municipal Water facilities within the roadway
What aspect of the Regulation do you propose be waived?	Requirement to provide Municipal Water within roadway.
What do you propose instead?	Private well for the one new house.
Explain/justify the waiver request. Why is the waiver needed? Describe the extenuating circumstances that necessitate the waiver request.	The two existing houses are currently serviced by municipal water from Summer Street, and an existing well is located on Lot 2.
What is the estimated value/cost savings to the applicant if the waiver is granted?	\$42,000.
How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	Reduced work and disturbance within Summer Street. Maintaining equivalent level of fire protection without the need for additional infrastructure.
What is the impact on the development if this waiver is denied?	Increased cost, disturbance and work in Summer Street and future maintenance cost
What are the design alternatives to granting this waiver?	Providing municipal water main within the roadway.
Why is granting this waiver in the Town's best interest?	Maintaining equivalent level of service without the need for additional infrastructure and future maintenance.
If this waiver is granted, what is the estimated cost savings and/or cost avoidance to the Town?	Future maintenance cost.
What mitigation measures do you propose to offset not complying with this particular Rule/Regulation?	Provide a private well for the new house.
What is the estimated value of the proposed mitigation measures?	\$14,000.
Other Information?	
Naiver Request Prepared By:	Connorstone Engineering Inc.
	3.11.3

Updated 10-23-18

Medway Planning and Economic Development Board Request for Waiver from Subdivision Rules and Regulations

Complete 1 form for each waiver request

Project Name:	Boundary Lane
Property Location:	67-69 Summer Street
Type of Project/Permit:	Definitive Subdivision Plan
Identify the number and title of the relevant Section of the Subdivision Plan Rules and Regulations from which a waiver is sought.	Section 7.7.2.p Stormwater Management : Procedure
Summarize the text of the relevant Section of the Rules and Regulations from which a waiver is requested.	Waiver to allow less than a 30 foot setback from drainage basin to the interior lot line of Lot 1 and the private way
What aspect of the Regulation do you propose be waived?	The requirement to provide 30 foot setback.
What do you propose instead?	Allow the edge of basin to be within 30 feet of Lot 1.
Explain/justify the waiver request. Why is the waiver needed? Describe the extenuating circumstances that necessitate the waiver request.	The proposed basin has been designed to fit with the existing topography, preserve trees along the roadway and blend into the abutting grades.
What is the estimated value/cost savings to the applicant if the waiver is granted?	\$0
How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	Waiver would allow an "LID" Low Impact Development drainage system that fits with the existing topography and site conditions.
What is the impact on the development if this waiver is denied?	Increased basin depth embankment heights, reduced groundwater recharge, removal of 2 existing street trees.
What are the design alternatives to granting this waiver?	Re-design basin with a lower bottom elevation closer to groundwater and increase berm height.
Why is granting this waiver in the Town's best interest?	More ascetically pleasing, increased recharge, and the design provides a 30' setback to abutters and Summer St.
f this waiver is granted, what is the estimated cost savings and/or cost avoidance to the Town?	\$0
What mitigation measures do you propose to offset not complying with his particular Rule/Regulation?	Low Impact Development (LID) drainage system .
What is the estimated value of the proposed mitigation measures?	\$0
Other Information?	
Vaiver Request Prepared By:	Connorstone Engineering Inc.
	3 3 3

Updated 10-23-18

Medway Planning and Economic Development Board Request for Waiver from Subdivision Rules and Regulations

Complete 1 form for each waiver request

Project Name:	Boundary Lane
Property Location:	67-69 Summer Street
Type of Project/Permit:	Definitive Subdivision Plan
Identify the number and title of the relevant Section of the Subdivision Plan Rules and Regulations from which a waiver is sought.	Section 7.7.4.d Stormwater Management : Construction
Summarize the text of the relevant Section of the Rules and Regulations from which a waiver is requested.	Waiver from the requirement to install independent drain system in road for foundation perimiter drains
What aspect of the Regulation do you propose be waived?	The requirement to provide foundation drain in road.
What do you propose instead?	Proposed foundation drain to daylight at rear of new house.
Explain/justify the waiver request. Why is the waiver needed? Describe the extenuating circumstances that necessitate the waiver request.	The proposed house (lot 2) would be located downgradient of the roadway and has sufficient elevation to route a foundation drain to the rear of the lot (not toward abutting properties)
What is the estimated value/cost savings to the applicant if the waiver is granted?	\$12,000
How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	Waiver would allow a foundation drain for the new house while not requiring additional roadway infrastructure.
What is the impact on the development if this waiver is denied?	Installation of unnecessary infrastructure.
What are the design alternatives to granting this waiver?	Install independent drain within the roadway.
Why is granting this waiver in the Town's best interest?	Reduction in unused infrastructure within the roadway.
If this waiver is granted, what is the estimated cost savings and/or cost avoidance to the Town?	\$0
What mitigation measures do you propose to offset not complying with this particular Rule/Regulation?	
What is the estimated value of the proposed mitigation measures?	\$0
Other Information?	
Waiver Request Prepared By:	Connorstone Engineering Inc.
Date:	8-17-2021
Questions?? - Pleas	se contact the Medway PED office at 508-533-3291.
	Updated 10-23-1

Project Name:	Boundary Lane	
Property Location:	67-69 Summer Street	
Type of Project/Permit:	Definitive Subdivision Plan	
Identify the number and title of the relevant Section of the Subdivision Plan Rules and Regulations from which a waiver is sought.	Section 7.9.5.a Streets and Roadways: Grade.	
Summarize the text of the relevant Section of the Rules and Regulations from which a waiver is requested.	Waiver to allow a reduced centerline grade.	
What aspect of the Regulation do you propose be waived?	The requirement to provide 2% grade.	
What do you propose instead?	1% grade. →	
Explain/justify the waiver request. Why is the waiver needed? Describe the extenuating circumstances that necessitate the waiver request.	Minimize fill needed for road and impact on existing house driveways.	
What is the estimated value/cost savings to the applicant if the waiver is granted?	\$16,500 .	
How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	Waiver would allow a lower roadway to match the existing condition on the site and save impact on existing house driveways.	
What is the impact on the development if this waiver is denied?	Roadway would be higher relative to existing landscape and houses	
What are the design alternatives to granting this waiver?	Provide a raised roadway and driveways.	
Why is granting this waiver in the Town's best interest?	Preserves look and feel of existing landscape.	
If this waiver is granted, what is the estimated cost savings and/or cost avoidance to the Town?	\$16,500 cost passed on to customers.	
What mitigation measures do you propose to offset not complying with this particular Rule/Regulation?	Preserve existing landscape .	
What is the estimated value of the proposed mitigation measures?	\$16,500.	
Other Information?		
Vaiver Request Prepared By:	Connorstone Engineering Inc.	
Date:	8-17-2021	

Updated 10-23-18

Project Name:	Boundary Lane
Property Location:	67-69 Summer Street
Type of Project/Permit:	Definitive Subdivision Plan
Identify the number and title of the relevant Section of the Subdivision Plan Rules and Regulations from which a waiver is sought.	Section 7.9.5.c Streets and Roadways: Grade.
Summarize the text of the relevant Section of the Rules and Regulations from which a waiver is requested.	Waiver to allow a vertical curve within 100 feet of an intersection.
What aspect of the Regulation do you propose be waived?	The requirement to provide a fixed grade.
What do you propose instead?	Allow a vertical cutve (not fixed grade)
Explain/justify the waiver request. Why is the waiver needed? Describe the extenuating circumstances that necessitate the waiver request.	Minimize fill needed for road and better match the existing topography and drainage patterns.
What is the estimated value/cost savings to the applicant if the waiver is granted?	\$3,000.
How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	Waiver would allow the roadway to match the existing topography, and still maintain a maximum grade of 2% or less.
What is the impact on the development if this waiver is denied?	Roadway would be higher relative to existing landscape and houses.
What are the design alternatives to granting this waiver?	Provide a fixed grade and increase the height of the roadway.
Why is granting this waiver in the Town's best interest?	Preserves look and feel of existing landscape.
If this waiver is granted, what is the estimated cost savings and/or cost avoidance to the Town?	\$0
What mitigation measures do you propose to offset not complying with this particular Rule/Regulation?	Preserve existing landscape reduce earthwork.
What is the estimated value of the proposed mitigation measures?	\$0.
Other Information?	
Waiver Request Prepared By:	Connorstone Engineering Inc.
Date:	8-17-2021
Questions?? - Please	contact the Medway PED office at 508-533-3291.
	Updated 10-23-18

Project Name:	Boundary Lane
Property Location:	67-69 Summer Street
Type of Project/Permit:	Definitive Subdivision Plan
Identify the number and title of the relevant Section of the Subdivision Plan Rules and Regulations from which a waiver is sought.	Section 7.10.1&2 Curbs and Berms
Summarize the text of the relevant Section of the Rules and Regulations from which a waiver is requested.	Waiver from the requirement for curbs and berms.
What aspect of the Regulation do you propose be waived?	The requirement to provide curbs and berms.
What do you propose instead?	Grass swales and waterways.
Explain/justify the waiver request. Why is the waiver needed? Describe the extenuating circumstances that necessitate the waiver request.	Eliminate need for closed drainage system and provide Low Impact Development (LID) drainage
What is the estimated value/cost savings to the applicant if the waiver is granted?	\$9,400.
How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	Waiver would allow an LID drainage design which is less expensive and provides superior water quality treatment.
What is the impact on the development if this waiver is denied?	Roadway would have curbs, berms and closed drainage.
What are the design alternatives to granting this waiver?	Provide curbs berms and closed drainage system.
Why is granting this waiver in the Town's best interest?	Preserves look and feel of existing landscape and enhances water quality.
If this waiver is granted, what is the estimated cost savings and/or cost avoidance to the Town?	\$0
What mitigation measures do you propose to offset not complying with this particular Rule/Regulation?	Preserve existing landscape and provide water quality swales.
What is the estimated value of the proposed mitigation measures?	\$0.
Other Information?	
Vaiver Request Prepared By:	Connorstone Engineering Inc.
Date:	8-17-2021

Updated 10-23-18

Project Name:	Boundary Lane
Property Location:	67-69 Summer Street
Type of Project/Permit:	Definitive Subdivision Plan
Identify the number and title of the relevant Section of the Subdivision Plan Rules and Regulations from which a waiver is sought.	Section 7.21 Street Lighting
Summarize the text of the relevant Section of the Rules and Regulations from which a waiver is requested.	Waiver from the requirement for street lighting.
What aspect of the Regulation do you propose be waived?	The requirement to provide street lighting.
What do you propose instead?	Retain existing street light on Summer Street
Explain/justify the waiver request. Why is the waiver needed? Describe the extenuating circumstances that necessitate the waiver request.	The proposed road is a private driveway and full street lighting is not necessary or desired. There is an existing street light on Summer Street 50 feet away.
What is the estimated value/cost savings to the applicant if the waiver is granted?	\$30,000.
How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	Waiver would allow an existing level of lighting at the intersection and along the private drive. Additional lighting is considered to be detrimental to the environment.
What is the impact on the development if this waiver is denied?	Roadway would have street lights and increased illumination.
What are the design alternatives to granting this waiver?	Retain existing level of lighting.
Why is granting this waiver in the Town's best interest?	Preserves look and feel of existing landscape and reduces energy consumption.
If this waiver is granted, what is the estimated cost savings and/or cost avoidance to the Town?	\$0
What mitigation measures do you propose to offset not complying with this particular Rule/Regulation?	Preserve existing levels of lighting.
What is the estimated value of the proposed mitigation measures?	\$0
Other Information?	
Waiver Request Prepared By:	Connorstone Engineering Inc.
Date:	8-17-2021
Questions?? - Please	e contact the Medway PED office at 508-533-3291.
	Updated 10-23-18

Board Members

Matthew J. Hayes, P.E., Chair Robert Tucker, Vice Chair Richard Di Iulio, Clerk Jessica Chabot, Member Sarah Raposa, A.I.C.P., Member Thomas A. Gay, Associate Member



TOWN OF MEDWAY COMMONWEALTH OF MASSACHUSETTS

PLANNING AND ECONOMIC DEVELOPMENT BOARD

May 16, 2022

Medway Town Hall 155 Village Street Medway, MA 02053 Phone (508) 533-3291 Fax (508) 321-4987 Email: planningboard @townofmedway.org www.townofmedway.org

ABUTTER NOTICE of PUBLIC HEARING

Boundary Lane Definitive Subdivision Plan 67R and 69 Summer Street

In accordance with the provisions of Chapter 41, Section 81A – 81GG, Massachusetts General Laws and the Planning and Economic Development Board's Rules and Regulations for the Review and Approval of Land Subdivisions, notice is given that the Planning & Economic Development Board will conduct a public hearing on Tuesday, June 14, 2022 at 7:15 p.m. on the application of Zachary Lindsey et ux. of Medway, MA for approval of a definitive subdivision plan to create a 3 lot subdivision from two properties located at 67R and 69 Summer Street. The hearing will take place in Sanford Hall at Medway Town Hall, 155 Village Street, Medway, MA. The meeting room is accessible via elevator for individuals with physical disabilities.

The property owners are Linda Lindsey (69 Summer Street – 9.77 acres) and David & Renee Sistrand (67 Summer Street - 1.61 acres). The combined 11.38 acre site (*Medway Assessors Map 37, Parcels 033 and 036*) is located on the west side of Summer Street near the Summer Street/Highland Street intersection in the Agricultural Residential I zoning district.

The *Definitive Subdivision Plan of Boundary Lane* is dated August 20, 2021, last revised February 17, 2022 and was prepared by Connorstone Engineering, Inc. of Northborough, MA. The plan shows the reorganization of the subject properties into three residential lots, one lot with the existing house at 67 Summer Street, one lot with the existing house at 69 Summer Street, and a new lot for construction of a single family house. All properties will have frontage on an approximately 260' long, permanent private road to be known as Boundary Lane.

You are receiving this notice as you are the record owner of property located within 300' of the subject site or you are a party in interest. This is the only written notice you will receive about the public hearing.



The application, subdivision plan and supporting documentation are available at the offices of the Medway Town Clerk and the Planning and Economic Development Board at Medway Town Hall, 155 Village Street and may be inspected during regular office hours. The documents will also be posted at the Board's web page at: https://www.townofmedway.org/planning-economic-development-board/pages/current-applications-pedb-0

Interested persons or parties are invited to review the plan, attend the public hearing, and express their views. Written comments may be forwarded to the Board or emailed to: planningboard@townofmedway.org. Questions may be directed to the Planning and Economic Development office at 508-533-3291.

Matthew J. Hayes Chairman

Legal ad to be published in the Milford Daily News on:

- Monday, May 31, 2022
- Tuesday, June 7, 2022

Susan Affleck-Childs

From: Courtney Murray Marshall, M.Ed. <8cmurray@gmail.com>

Sent: Monday, May 23, 2022 8:02 PM

To: Planning Board

Subject: [External] Abutter to 67R & 69 Summer Street

Medway Planning and Economic Development Board

We are fortunate enough to be abutters to the Lindsey and Sistrand Families. As lifelong members of the Medway community, we would like to support Zachary Lindsey and the 67R & 69 Summer Street project. Having gone through the same process to build Trail Drive, we understand how important it is to support current Medway community members that are trying to stay and develop their family's land. We look forward to the development of the former "Brown Family Farm" land on Summer Street.

Thank you,

Courtney L Murray Marshall, M.Ed. and Andy J Marshall (2 Trail Drive, Medway, MA)

Matthew W Marshall (3 Trail Drive, Medway, MA)

Wayne E Marshall and Sheila A Marshall (65 Summer Street, Medway, MA)



June 8, 2022

Ms. Susan E. Affleck-Childs Medway Planning and Economic Development Coordinator Medway Town Hall 155 Village Street Medway, MA 02053

Re: 67R-69 Summer Street (Boundary Lane)
Definitive Subdivision Review (Permanent Private Way)
Medway, Massachusetts

Dear Ms. Affleck-Childs:

Tetra Tech (TT) has performed a review of the proposed Site Plan for the above-mentioned Project at the request of the Town of Medway Planning and Economic Development Board (PEDB). The proposed Project is located at 67R-69 Summer Street in Medway, MA. Proposed Project includes the development of a 3-lot residential subdivision, appurtenant roadway, utilities, and stormwater drain infrastructure.

TT is in receipt of the following materials:

- A plan set (Plans) titled "Definitive Subdivision Plan, 'Boundary Lane' in Medway, Massachusetts", dated August 20, 2021, revised February 17, 2022, prepared by Connorstone Engineering, Inc (CEI).
- An Application for Approval of a Definitive Subdivision Plan, dated April 28, 2022.

The Plans and accompanying materials were reviewed for conformance with the following regulatory documents:

 Town of Medway Planning & Economic Development Board Rules and Regulations, Chapter 100 – Land Subdivision, Rules and Regulations for the Review and Approval of Land Subdivisions. (Adopted April 26, 2005)

The Project was also reviewed for good engineering practice and overall plan efficiency. Review of the Project for zoning related matters is being conducted by Town personnel and is excluded from this review.

DEFINITIVE SUBDIVISION REVIEW

Land Subdivision Rules and Regulations (Chapter 100)

- 1. The Applicant has not supplied the required ANRAD determination from the Medway Conservation Commission (Conservation). (Ch. 100 §5.5.14)
- 2. A Certified List of Abutters within seven hundred feet (700') of the boundaries of the land shown in the subdivision has not been provided. In the application package, it appears that the Certified List of Abutters was forwarded to PEDB by the Assessor's Office on 4/15/2022. (Ch. 100 §5.7.5)
- 3. The Applicant shall confirm whether the sewer from existing dwelling #67R ties into the 12" PVC sewer onsite or if the dwelling has its own septic system. Means of sewer disposal/treatment for the existing dwelling shall be displayed on the Existing Conditions Plan. (Ch. 100 §5.7.9)
- 4. Location of the minimum lines of building setback (front, side and rear yard depths) as required by the Zoning By-Law is not shown on the Plans. The calculation of the lot shape factor shall also be provided for each lot. (Ch. 100 §5.7.14)
- 5. Existing topographic data shall extend at least 20 feet beyond the Project's property boundaries. (Ch. 100 §5.7.21)

- 6. Provisions for street lighting have not been proposed. (Ch. 100 §5.7.28)
- 7. The Project meets the threshold of the Town of Medway Article XXVI Stormwater Management and Land Disturbance Bylaw and will be required to address items listed in the Subdivision Regulations under the Bylaw. It should be noted that the Project was reviewed for compliance with this Bylaw during the Applicant's permitting process with the Medway Conservation Commission. (Ch. 100 §7.3.1)
- 8. Water mains, with hydrants, valves, and other fittings, shall be proposed on-site to provide adequate water supply for domestic and fire protection uses. A waiver has been requested from this Regulation. (Ch. 100 §7.6.2.b)
- 9. The Applicant is proposing one well to supply water for the dwellings on Lot 2 and Lot 3. The Applicant shall confirm, through testing that the well can support both dwellings. We anticipate this will be closely monitored during the Applicant's expected permitting process with the Medway Board of Health. (Ch. 100 §7.6.2.c)
- 10. Sewer services shall be constructed and installed within the subdivision as necessary to provide all lots therein adequate municipal sewer service. Existing dwelling #67R does not appear to have a proposed sewer connection to the municipal sewer service. Refer to Comment #3 for confirmation of existing sewer treatment for dwelling #67R. (Ch. 100 §7.6.2.d)
- 11. The proposed dwelling at Lot 2 does not appear to have a gas service connection. Gas mains shall be installed if gas connection is available. (Ch. 100 §7.6.2.f)
- 12. The Applicant has not proposed a spare conduit for the proposed electric/tel/data installation. (Ch. 100 §7.6.2.h)
- 13. Proposed Stormwater Basin is located within 30 feet from its parcel line. A waiver has been requested from this Regulation (Ch. 100 §7.7.2.p)
- 14. An independent drainage system to collect and discharge subsurface runoff from the foundation perimeter drains has not been provided for all dwellings along Boundary Lane. A waiver has been requested from this regulation. (Ch. 100 §7.7.4.d)
- 15. The Applicant has not supplied curb radii at roadway intersection with Highland Street. (Ch. 100 §7.9.2.d)
- 16. The centerline grade of the roadway is less than two percent along its length. A waiver has been requested from this regulation. (Ch. 100 §7.9.5.a)
- 17. A level slope area is required for the first 100-feet of roadway. The proposed roadway changes grade within the first 100-feet. A waiver has been requested from this Regulation. (Ch. 100 §7.9.5.c)
- 18. The Applicant shall confirm with the Fire Chief that the proposed turnaround at the end of Boundary Lane is adequate for emergency vehicles. Turnarounds shall be designed as a cul-de-sac turnaround or a hammerhead (T-shaped) turnaround. (Ch. 100 §7.9.6.e)
- 19. Vertical granite curbing shall be installed at the intersection of the development roadway and Summer Street. A waiver has been requested from this Regulation. (Ch. 100 §7.10.1)
- 20. Curbing shall be provided for the full length of all streets along each side of the roadway. The proposed roadway for the Project is superelevated and utilizes country drainage to convey stormwater to the proposed Stormwater Basin. A waiver has been requested from this regulation (Ch. 100 §7.10.2)
- 21. The Applicant has not proposed street lighting and should coordinate with Medway Public Safety Officer to determine if they are required. A waiver has been requested from this Regulation. (Ch. 100 §7.21)

General Comments

22. TT recommends test pitting be performed to locate the existing water service to Lot 1 as it enters the limits of the proposed Stormwater Basin to ensure the service will not be damaged during clearing, grubbing, and excavation activities.

- 23. The Applicant shall coordinate with the PEDB and Medway Public Safety Officer to determine if a painted "STOP" and stop line are required at the intersection of the development roadway and Summer Street.
- 24. Provide a sewer service connection detail, electric/tel/data trench detail, reinforced concrete bound detail and sign installation detail on the Plans.

These comments are offered as guides for use during the Town's review and additional comments may be generated during the course of review. The applicant shall be advised that any absence of comment shall not relieve him/her of the responsibility to comply with all applicable local, state and federal regulations for the Project. If you have any questions or comments, please feel free to contact us at (508) 786-2200.

Very truly yours,

Steven M. Bouley, P.E.

teven Houley

Project Manager

Bradley M. Picard, E.I.T.

Budly Freder

Civil Engineer

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