



June 14, 2022

**Medway Planning & Economic Development Board
Meeting**

**Boundary Lane Definitive Subdivision
Plan Public Hearing**

- Public Hearing Notice dated May 16, 2022
- Definitive Subdivision Plan Application
- Definitive Subdivision Plan dated February 17, 2022 by Connorstone Engineering
- Development Impact Report dated April 1, 2022
- Requests for waivers from the *Subdivision Rules and Regulations*
- Abutter notification dated May 17, 2022
- Email dated May 23, 2022 from Marshall family in support of the proposed subdivision
- Tetra Tech review letter dated June 8, 2022

Board Members

Matthew J. Hayes, P.E., Chair
Robert Tucker, Vice Chair
Richard Di Iulio, Clerk
Jessica Chabot, Member
Sarah Raposa, A.I.C.P., Member
Thomas A. Gay, Associate
Member



Medway Town Hall
155 Village Street
Medway, MA 02053
Phone (508) 533-3291
Fax (508) 321-4987
Email: planningboard@townofmedway.org
www.townofmedway.org

TOWN OF MEDWAY
COMMONWEALTH OF MASSACHUSETTS
PLANNING AND ECONOMIC
DEVELOPMENT BOARD

May 16, 2022

RECEIVED TOWN CLERK
MAY 18 '22 AM 8:30

PUBLIC HEARING NOTICE
Boundary Lane Definitive Subdivision Plan
67R and 69 Summer Street

In accordance with the provisions of Chapter 41, Section 81A – 81GG, Massachusetts General Laws and the Planning and Economic Development Board's *Rules and Regulations for the Review and Approval of Land Subdivisions*, notice is given that the Planning & Economic Development Board will conduct a **public hearing on Tuesday, June 14, 2022 at 7:15 p.m. on the application of Zachary Lindsey et ux. of Medway, MA for approval of a definitive subdivision plan to create a 3 lot subdivision out of two properties located at 67R and 69 Summer Street. The hearing will take place in Sanford Hall at Medway Town Hall, 155 Village Street, Medway, MA. The meeting room is accessible via elevator for individuals with physical disabilities.**

The property owners are Linda Lindsey (69 Summer Street – 9.77 acres) and David & Renee Sistrand (67 Summer Street - 1.61 acres). The combined 11.38 acre site (*Medway Assessors Map 37, Parcels 033 and 036*) is located on the west side of Summer Street near the Summer Street/Highland Street intersection in the Agricultural Residential I zoning district.

The *Definitive Subdivision Plan of Boundary Lane* is dated August 20, 2021, last revised February 17, 2022, and was prepared by Connorstone Engineering, Inc. of Northborough, MA. The plan shows the reorganization of the subject properties into three residential lots, one lot with the existing house at 67 Summer Street, one lot with the existing house at 69 Summer Street, and a new lot for construction of a single family house. All properties will have frontage on an approximately 260' long, permanent private road to be known as Boundary Lane.

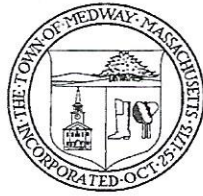
The application, plan and supporting documentation are available at the offices of the Medway Town Clerk and the Planning and Economic Development Board at Medway Town Hall, 155 Village Street and may be inspected during regular office hours. The documents have will also be posted at the Board's web page at: <https://www.townofmedway.org/planning-economic-development-board/pages/current-applications-pedb-0>

Interested persons or parties are invited to review the plan, attend the public hearing, and express their views. Written comments may be forwarded to the Board or emailed to: planningboard@townofmedway.org. Questions may be directed to the Planning and Economic Development office at 508-533-3291.

Matthew J. Hayes
Chairman

Legal ad to be published in the Milford Daily News on:

- Monday, May 31, 2022
- Tuesday, June 7, 2022



Planning & Economic Development Board - Town of Medway, MA
LAND SUBDIVISION – FORM C

Application for Approval of a Definitive Subdivision Plan

INSTRUCTIONS TO APPLICANT/OWNER

This Application is made pursuant to the Medway Subdivision Rules and Regulations. Please complete this entire Application. Submit three signed originals of the Application, three copies of the Definitive Plan, two copies of the Traffic Study (if applicable), two copies of the Development Impact Report, two copies of the stormwater report/drainage calculations, and the appropriate Definitive Subdivision Plan Filing Fee and the advance on the Plan Review to the Planning and Economic Development Board office.

The Town's Planning and Engineering Consultants will review the Application, plan and associated submittals. You or your duly authorized Agent/Official Representative is expected to attend the Board meetings at which your Application will be considered to answer any questions and/or submit such additional information as the Board may request.

Your absence at meetings may result in a delay of the Board's review and action on the Definitive Subdivision Plan.

_____, 20____

TO: The Planning & Economic Development Board of the Town of Medway, MA

The undersigned, being the Applicant as defined under Chapter 41, Section 81-L for approval of a Definitive Subdivision Plan, herewith submits this Definitive Subdivision Plan of property located in the Town of Medway and makes application to the Medway Planning & Economic Development Board for approval of such Definitive Subdivision Plan.

DEFINITIVE SUBDIVISION PLAN INFORMATION

Title of Plan: Boundary Lane

Prepared by: Vito Colonna, P.E.

Firm Name: Connorstone Engineering Inc.

Plan Date: August, 2021

A Preliminary Subdivision Plan X was _____ was not filed prior to this Definitive Plan.

If filed, the date of filing of the Preliminary Subdivision Plan was: April 22, 2021

Date when the Preliminary Subdivision Plan was reviewed by the Board: May 11, 2021

The Preliminary Subdivision Plan was:

X reviewed and discussed
____ approved as presented
____ approved with the following modifications/conditions: _____

_____ disapproved for the following reasons: _____

_____ no action taken

PROPERTY INFORMATION

Location Address: 67R & 69 Summer Street

The land shown on the plan is shown on Medway Assessor's Map 37 Parcel # 33 & 36

Total Acreage of Land to be Divided: 11.38

General Description of Property: Two - single family house lots with one existing dwelling on each lot served by a common driveway.

Medway Zoning District Classification: AR-1

Frontage Requirement: 180 feet Area Requirement: 44,000 sf

Scenic Road

Does any portion of this property have frontage on a Medway Scenic Road?
_____ Yes X No If yes, please name: _____

Wetlands

Is any portion of the site within a Wetland Resource Area?
X Yes _____ No

Groundwater Protection

Is any portion of the site within a Groundwater Protection Overlay District?
_____ Yes X No

Flood Plain/Wetland Protection District

Is any portion of the site within the Flood Plain/Wetland Protection Overlay District?
_____ Yes X No

The owner's title to the land that is the subject matter of this application is derived under deed from: SEE ATTACHMENT "A" to _____ dated _____ and recorded in Norfolk County Registry of Deeds, Book _____ Page _____ or Land Court Certificate of Title Number _____, Land Court Case Number _____, registered in the Norfolk County Land Registry District Volume _____, Page _____.

SUBDIVISION INFORMATION

Subdivision Name: Boundary Lane

This is a: X Residential Subdivision _____ Non-Residential Subdivision

The plan shows the division of land into 3 building lots numbered 1,2, and 3 and 1 parcels not intended for building thereon.

The plan shows the following **existing** ways that are being proposed as lot frontage:

Prop. Roadway (Boundary Lane) as frontage for lot(s) 1,2,3

_____ as frontage for lot(s) _____

The plan shows the following **proposed** new ways that are being proposed as lot frontage:

_____ as frontage for lot(s) _____
_____ as frontage for lot(s) _____

Total Length of Proposed New Roadway(s): 350 feet

Are the new roads proposed to be public or permanent private ways?

_____ Public X Permanent Private Way

Proposed Utilities:

X Town Water X Well (existing houses connected to public water,
X Town Sewer _____ Septic proposed house to have an on-site well)

APPLICANT INFORMATION

Applicant's Name: Zachary T. Lindsey et.ux

Applicant's Address: 69 Summer Street
Medway, MA 02053

Name of Primary Contact: Zachary T. Lindsey

Telephone: _____
Office: 774-217-0284 Cell: _____

Email address: Zlindsey.04@gmail.com

_____ Please check here if the Applicant is the equitable owner (purchaser on a purchase and sales agreement.)

PROPERTY OWNER INFORMATION (if not applicant)

Property Owner Name: <u>Linda Lindsey</u>	<u>David & Renee Sistrand</u>
<u>69 Summer Street, Medway, MA</u>	<u>67R Summer Street</u>
Address: <u>69 Summer Street, Medway, MA</u>	<u>Medway, MA 02053</u>
Primary Contact: <u>Zachary Lindsey</u>	
Telephone: _____	
Office: <u>774-217-0284</u>	
Email: <u>Zlindsey.04@gmail.com</u>	

CONSULTANT INFORMATION

ENGINEER: Connorstone Engineering, Inc.

Address: 10 Southwest Cutoff, Suite #7
Northborough, MA 01532

Primary Contact: Vito Colonna, P.E.

Telephone: _____
Office: 508-873-0972 Cell: _____

Email: vc@csei.net

SURVEYOR: Connorstone Engineering, Inc.

Address: 10 Southwest Cutoff
Northborough, MA 01532

Primary Contact: Varoujan Hagopian, PLS

Telephone: Office: 508-393-9727 Cell:

Email: VHH@csei.net

ATTORNEY: Kenney & Kenney

Address: 181 Village Street
Medway, MA 02053

Primary Contact: Stephen Kenney

Telephone: 508-533-6711 Fax:

Email: sjk@kenney-law.com

OFFICIAL REPRESENTATIVE INFORMATION

Name: Zachary T. Lindsey

Address: 69 Summer Street
Medway, MA 02053

Primary Contact: Zachary Lindsey

Telephone: 774-217-0284 Fax:

Email: Zlindsey.04@gmail.com

SIGNATURES

I hereby certify, under the pains and penalties of perjury, that the information contained in this application is true, accurate and complete to the best of my knowledge and belief. If applicable, I hereby authorize Zachary T. Lindsey to serve as my Agent/Official Representative to represent my interests before the Medway Planning & Economic Development Board with respect to this Definitive Subdivision Plan application.

I agree to abide by the Medway Rules and Regulations for the Review and Approval of Land Subdivisions and complete construction of the subdivision in accordance with the Rules and Regulations and the approved Definitive Subdivision Plan.

In submitting this application, I authorize members of the Planning & Economic Development Board, Town staff and agents, and members of the Design Review Committee and Open Space Committee to access the Site during the plan review process.

Signature of Property Owner

4/28/22
Date

Signature of Applicant (if other than Property Owner)

4/28/22
Date

Signature of Agent/Official Representative

4/28/22
Date

DEFINITIVE SUBDIVISION PLAN FEES

Filing Fee - \$2,500 plus \$2.50/linear foot of street centerline proposed

Advance on Plan Review Fee - \$2,500

Submit 2 separate checks each made payable to: Town of Medway

Fee Schedule Approved - 11-9-08

FOR PED OFFICE USE ONLY:

Date Form C and Definitive Subdivision Plan Recvd by Medway PED office: _____

Definitive Subdivision Plan Filing Fee Paid: Amount: _____ Check # _____

Advance on Plan Review Fee Paid: Amount: _____ Check # _____

Date Form C & Definitive Subdivision Plan
Received by Town Clerk

Date Form C & Definitive Subdivision Plan
Received by Board of Health

DEFINITIVE SUBDIVISION PLAN SUBMITTAL DOCUMENTS CHECKLIST

Town Clerk

- X One (1) signed original Definitive Subdivision Plan Application – Form C
- X One (1) copy of Definitive Subdivision Plan
- X One (1) copy of the Stormwater Management Report/Calculations
- One (1) copy of Traffic Study (*for subdivisions of 20 or more dwelling units*)
- X One (1) copy of Development Impact Report – Form F

Board of Health

- X One (1) signed original Definitive Subdivision Plan Application – Form C
- X One (1) copy of Definitive Subdivision Plan
- X One (1) copy of Soil Survey, Percolation and High Groundwater Tests prepared in accordance with Section 5.5.10 of the *Subdivision Rules and Regulations* (on plans)

Planning & Economic Development Board

- X One (1) signed original Definitive Subdivision Plan Application – Form C
(*Date Stamped by Town Clerk & Board of Health*)
- X Two (2) full size copies of Definitive Subdivision Plan prepared in accordance with Section 5.6 and 5.7 of the *Subdivision Rules and Regulations*
- X One (1) 11" x 17" size copy of the Definitive Subdivision Plan
- X Designer's Certificate – Form D
- X Certified Abutters List
- X Development Impact Report - Form F
- X Requests for Waivers of *Subdivision Rules and Regulations*. Use Form Q. One form per waiver request.
- X Two (2) copies of Stormwater Management Report/Calculations prepared in accordance with Section 5.5.9 of the *Subdivision Rules and Regulations*
- X Two (2) copies of the Long Term Operation and Maintenance Plan for drainage and stormwater management facilities.
- X Two (2) copies of Soil Survey, Percolation and High Groundwater Tests prepared in accordance with Section 5.5.10 of the *Subdivision Rules and Regulations* (shown on plans)
- N/A Two (2) copies of a Traffic Study (*for subdivisions with 20 or more dwelling units*) prepared in accordance with Section 5.5.12 of the *Subdivision Rules and Regulations*
- X Sight Distance Computations for all proposed new intersections
- ANRAD determination from Medway Conservation Commission (*if applicable*)
- X Proof of existing or pending ownership of all land within the proposed subdivision
- X PDF version of all application documents. (*Please email or provide a flash drive*)
- X Definitive Subdivision Plan Filing Fee (\$2,500 plus \$2.50/linear foot of street centerline proposed) – Payable to Town of Medway
- X Advance of Plan Review Fee (\$2,500) – Payable to Town of Medway

ATTACHMENT A – OWNER INFORMATION

69 Summer Street – Map 37, Lot 36

The owner's title to the land that is the subject matter of this application is derived under deed from: Linda Lindsey, Trustee of Rabbit Brook Realty Trust to Linda Lindsey dated September 20, 2006 and recorded in Norfolk County Registry of Deeds, Book 24557 Page 384.

and

67R Summer Street – Map 37, Lot 33

The owner's title to the land that is the subject matter of this application is derived under deed from: Linda Lindsey, Trustee of L&W Realty Trust to David & Renee Sistrand dated May 30, 1997 and recorded in Norfolk County Registry of Deeds, Book 11834 Page 245.

APPROVAL UNDER THE
SUBDIVISION CONTROL LAW,
IS REQUIRED.
MEDWAY PLANNING AND ECONOMIC
DEVELOPMENT BOARD

DATE: _____

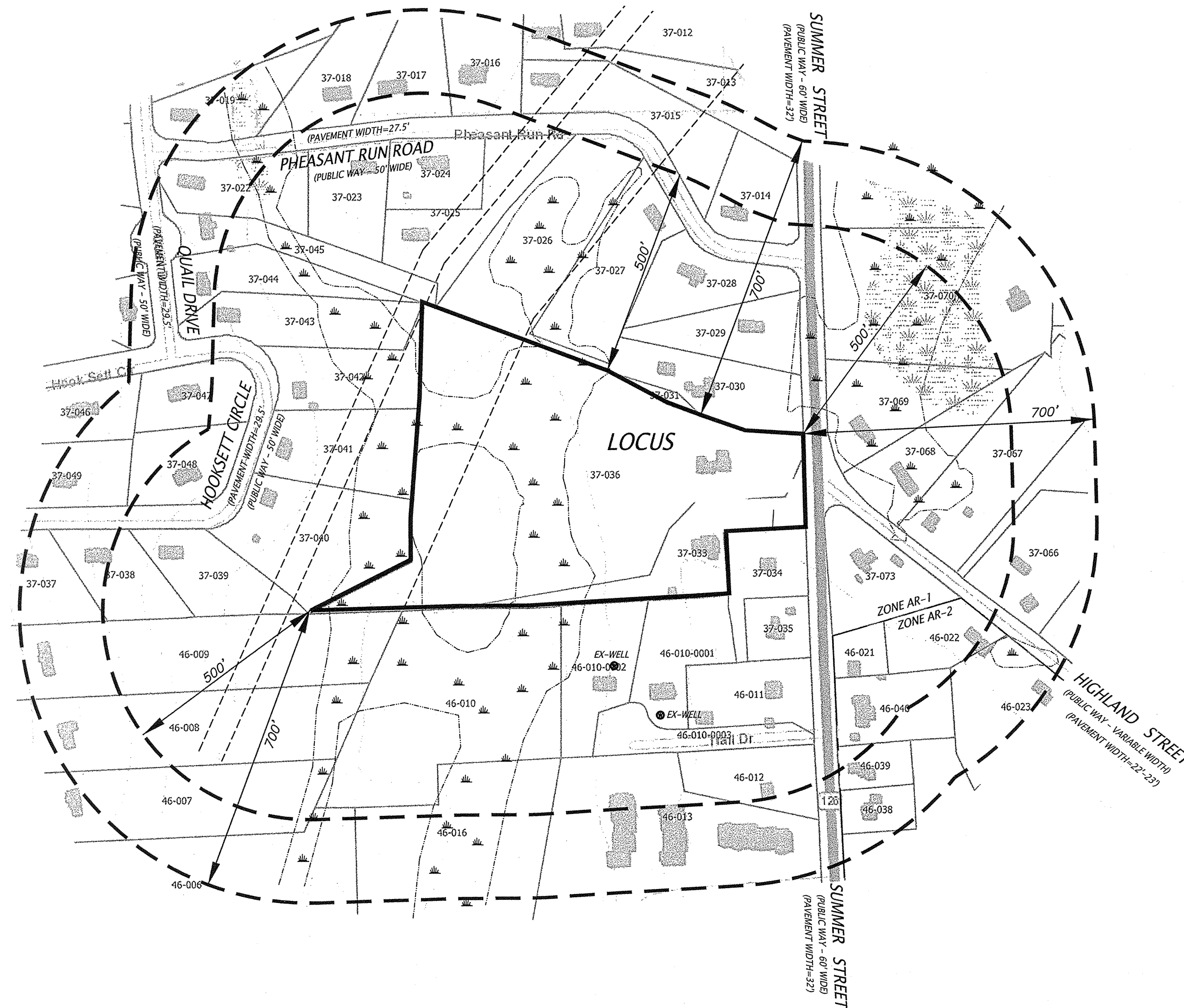
THIS PLAN IS SUBJECT TO A COVENANT
TO BE RECORDED HEREWITH.

THIS PLAN IS SUBJECT TO A CERTIFICATE
OF ACTION WHICH SHALL BE RECORDED
WITH THE PLAN AT THE NORFOLK COUNTY
REGISTRY OF DEEDS.

DEFINITIVE SUBDIVISION PLAN

"BOUNDARY LANE"

MEDWAY, MASSACHUSETTS



LIST OF REQUESTED WAIVERS

- Section 7.6.2.b.** Waiver to not require installation of an extension of Municipal water within the proposed roadway. Proposed Lot 2 containing the new house would be serviced by an on-site private well.
- Section 7.7.2.d.** Waiver to allow less than a 30 foot setback from drainage basins to the proposed private road and Lot 1. The 30 foot buffer would be maintained to both Summer Street and the northerly abutter.
- Section 7.7.4.d.** Waiver from the requirement to install an independent drainage system to collect foundation perimeter drains. The only new house would be on Lot 2. This lot would discharge any foundation drainage the rear of the property away from the roadway.
- Section 7.9.5.a.** Waiver to allow a minimum center line grade of one percent (1%) to reduce the required earthwork and more closely match the existing conditions.
- Section 7.9.5.c.** Waiver to allow a vertical curve within the leveling area (not fixed slope). All slopes would be below the maximum 2% threshold.
- Section 7.10.1 & 2** Waiver from the requirement curbs and berms. The project has been proposed with low impact development (LID) grassed swales in place of traditional curbs and gutters.
- Section 7.21** Waiver from installation of additional street lighting. The existing utility pole on Summer Street located 50 feet north of the proposed roadway includes a street light.

PLAN INDEX

SHEET NUMBER	DRAWING TITLE
1-2	COVER SHEET
2-2	LAND PLAN
1-6	EXISTING CONDITIONS PLAN
2-6	CONSTRUCTION PLAN
3-6	ROADWAY PLAN & PROFILE
4-6	EROSION & SEDIMENT CONTROL PLAN
5-6	CONSTRUCTION DETAILS
6-6	STORM WATER POLLUTION PREVENTION PLAN

SITE AREA TABULATION:

TOTAL AREA OF LAND THAT IS BEING SUBDIVIDED = 491,855 S.F. (11.29 Acres)
TOTAL NUMBER OF LOTS AND PARCELS = 3 LOTS, 1 PARCEL
TOTAL AREA OF LOTS AND PARCELS = 470,693 S.F. (346,777 S.F. UPLAND, 123,916 S.F. WETLAND)
TOTAL AREA DEDICATED FOR STREET PURPOSES = 21,162 S.F.
TOTAL AREA NOT INCLUDED FOR STREETS, LOTS OR PARCELS
DEDICATED FOR DRAINAGE, SEWER, OR UTILITY EASEMENTS = 0 S.F.
TOTAL AREA RESERVED FOR OPEN SPACE, PARKS, SCHOOLS AND OTHER PUBLIC USE = 0 S.F.
SUMMARY: 470,693 S.F. + 21,162 S.F. + 0 + 0 = 491,855 S.F.

GENERAL NOTES:

- OWNERS OF ADJOINING PROPERTIES ARE SHOWN ACCORDING TO CURRENT TOWN OF MEDWAY ASSESSORS RECORDS.
- THIS PLAN IS BASED ON AN ON-THE-GROUND SURVEY BY CONNORSTONE ENGINEERING INC. PERFORMED IN APRIL 2019.
- LEGAL STATUS OF EASEMENTS AND WAYS, NOT DETERMINED BY THIS SURVEY.

ADA / AAB REQUIREMENTS:

ALL IMPROVEMENTS, RAMPS, CURB CUTS, SIDEWALKS, AND DRIVEWAY CROSSINGS SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT REGULATIONS AND WITH ARCHITECTURAL ACCESS BOARD REGULATIONS (321 CMR S 1-47) IN FORCE AND EFFECTIVE AT THE TIME OF CONSTRUCTION.

ZONED: AR-1
AREA = 44,000 sf
FRONTAGE = 180 feet
SETBACKS: FRONT = 35 feet
SIDE = 15 feet
REAR = 15 feet

ASSESSOR MAP 37, LOTS 33 & 36

APPLICANT:

ZACHARY T. LINDSEY et ux.
69 SUMMER STREET
MEDWAY, MA

OWNERS:

LINDA LINDSEY
69 SUMMER STREET
MEDWAY, MA
DAVID & RENEE SISTRAND
67R SUMMER STREET
MEDWAY, MA

CONNORSTONE ENGINEERING INC.

CIVIL ENGINEERS AND LAND SURVEYORS
10 SOUTHWEST CUTOFF, SUITE 7
NORTHBOROUGH, MASSACHUSETTS 01532
PHONE: 508-393-9727 FAX: 508-393-5242

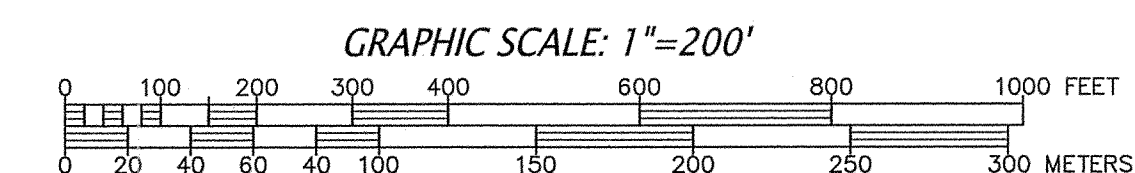
DEFINITIVE SUBDIVISION PLAN
COVER SHEET
BOUNDARY LANE
IN
MEDWAY, MASS.

I HEREBY CERTIFY THAT THIS PLAN
WAS PREPARED IN CONFORMANCE WITH
THE RULES AND REGULATIONS OF THE
REGISTERS OF DEEDS.

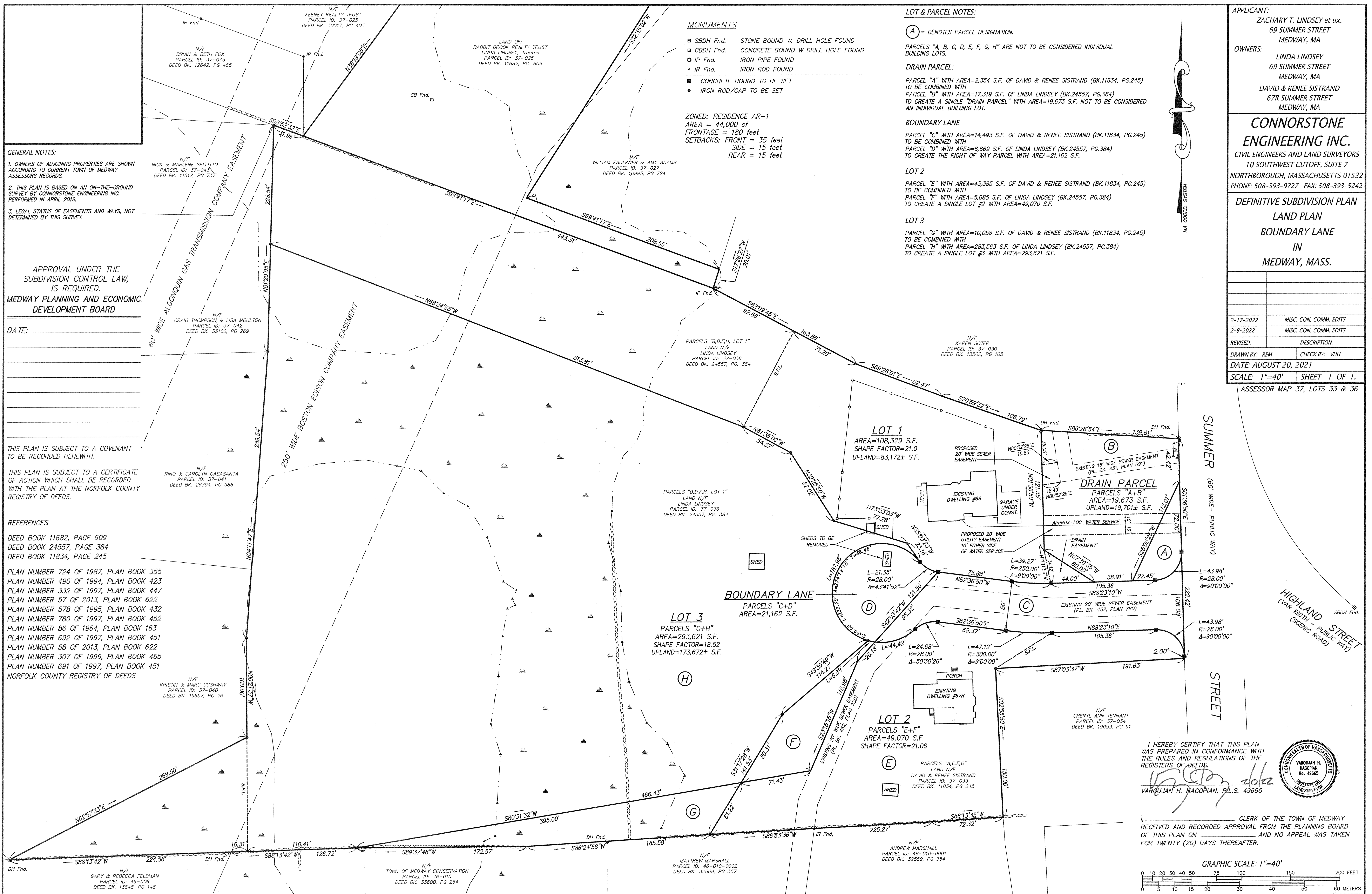
VAROJAN H. HAGOPIAN, P.L.S. 49665



I, _____ CLERK OF THE TOWN OF MEDWAY
RECEIVED AND RECORDED APPROVAL FROM THE PLANNING BOARD
OF THIS PLAN ON _____ AND NO APPEAL WAS TAKEN
FOR TWENTY (20) DAYS THEREAFTER.



REVISION:	DESCRIPTION:
2-17-2022	MISC. CON. COMM. EDITS
2-8-2022	MISC. CON. COMM. EDITS
DRAWN BY: REM	CHECK BY: VC
DATE: AUGUST 20, 2021	
SCALE: AS SHOWN	SHEET 1 OF 2



3. LEGAL STATUS OF EASEMENTS AND WAYS,
NOT DETERMINED BY THIS SURVEY.

DATE: _____

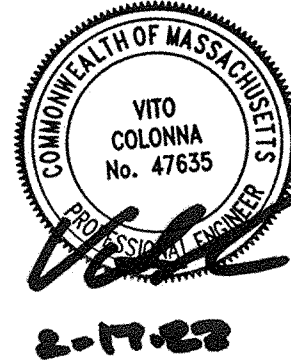
ZONED: RESIDENCE AR-1
AREA = 44,000 sf
FRONTAGE = 180 feet
SETBACKS: FRONT = 35 feet
 SIDE = 15 feet
 REAR = 15 feet

STORM WATER TEST PIT		
TP-1 6/11/21	EL.=254.1	
0-18"		FILL
18-60"	C1	FINE SAND
MOTTLES AT 13"		
WATER AT 32"		

	DRAIN MAN HOLE
	DRAINAGE LINE
	CATCH BASIN
	SEWER LINE
	SEWER MAN HOLE
	BITUMINOUS CURBING
	EDGE OF PAVEMENT
	GUARD RAIL
	APPROX. WATERLINE
	HYDRANT
	WATERGATE
	APPROX. GAS LINE
	GAS GATE

UTILITY POLE & GUY WIRE
CHAIN LINK FENCE
LIGHTPOST
HANDICAP SPACE
ELECTRIC TRANSFORMER
SIGN
VERTICAL BENCHMARK
DECIDUOUS TREE >8"
CONIFEROUS TREE >8"
TREELINE
SPOT GRADE
WETLAND LINE
TELEPHONE MAN HOLE

☐ SBDH Fnd. STONE BOUND W. DRILL HOLE FOUND
☐ SB Fnd. STONE BOUND FOUND
☒ IP Fnd. IRON PIPE FOUND



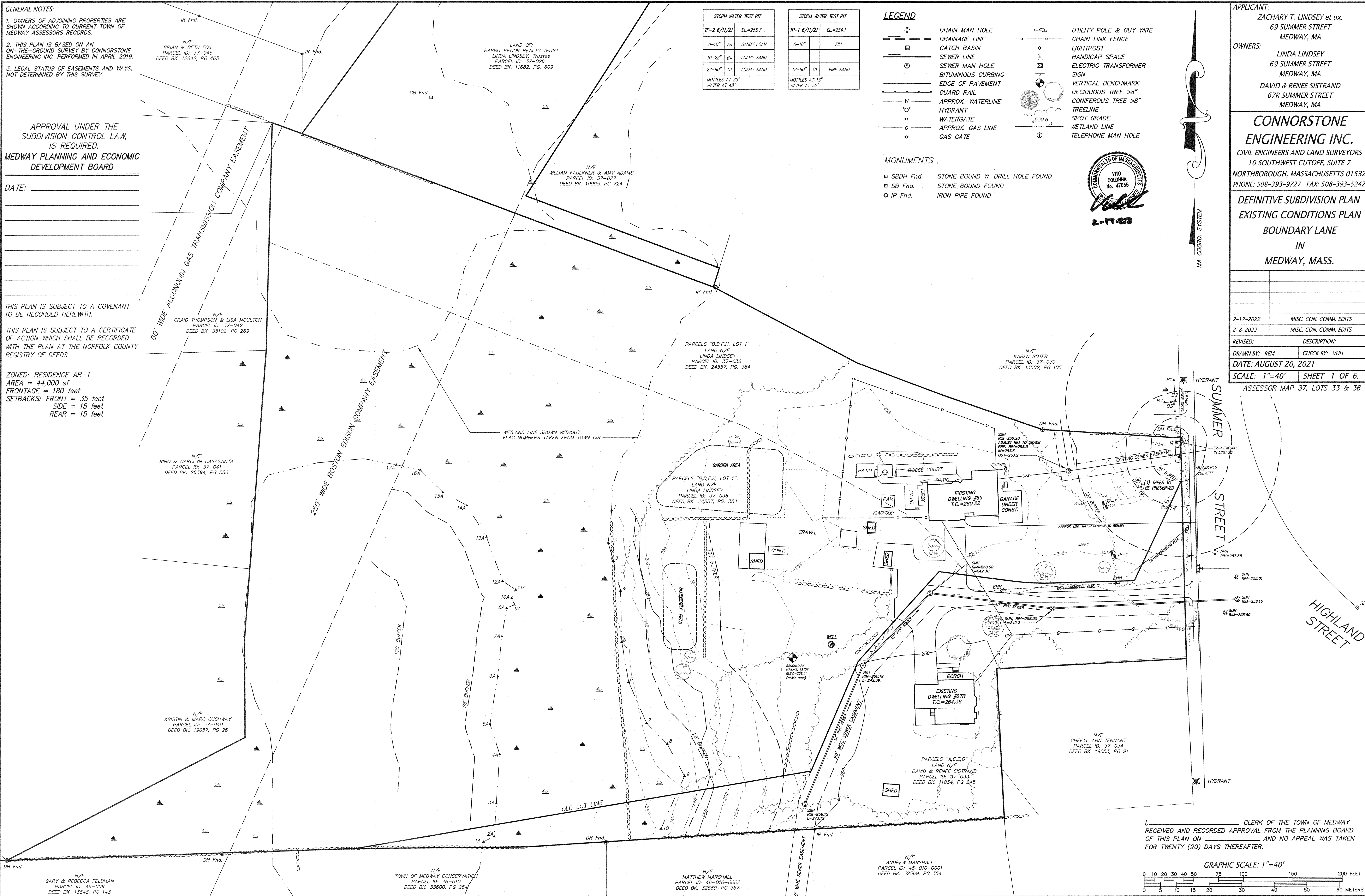
DAVID & RENEE SISTRAND
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NORTHBOROUGH, MASSACHUSETTS 01532
PHONE: 508-393-9727 FAX: 508-393-5242

DEFINITIVE SUBDIVISION PLAN
EXISTING CONDITIONS PLAN
BOUNDARY LANE
IN
MEDWAY, MASS.

DATE: AUGUST 20, 2021

SCALE: 1"=40' SHEET 1 OF 6.
ASSESSOR MAP 37, LOTS 33 & 36



GENERAL NOTES:

- OWNERS OF ADJOINING PROPERTIES ARE SHOWN ACCORDING TO CURRENT TOWN OF MEDWAY ASSESSORS RECORDS.
- THIS PLAN IS BASED ON AN ON-THE-GROUND SURVEY BY CONNORSTONE ENGINEERING INC. PERFORMED IN APRIL 2019.
- LEGAL STATUS OF EASEMENTS AND WAYS, NOT DETERMINED BY THIS SURVEY.

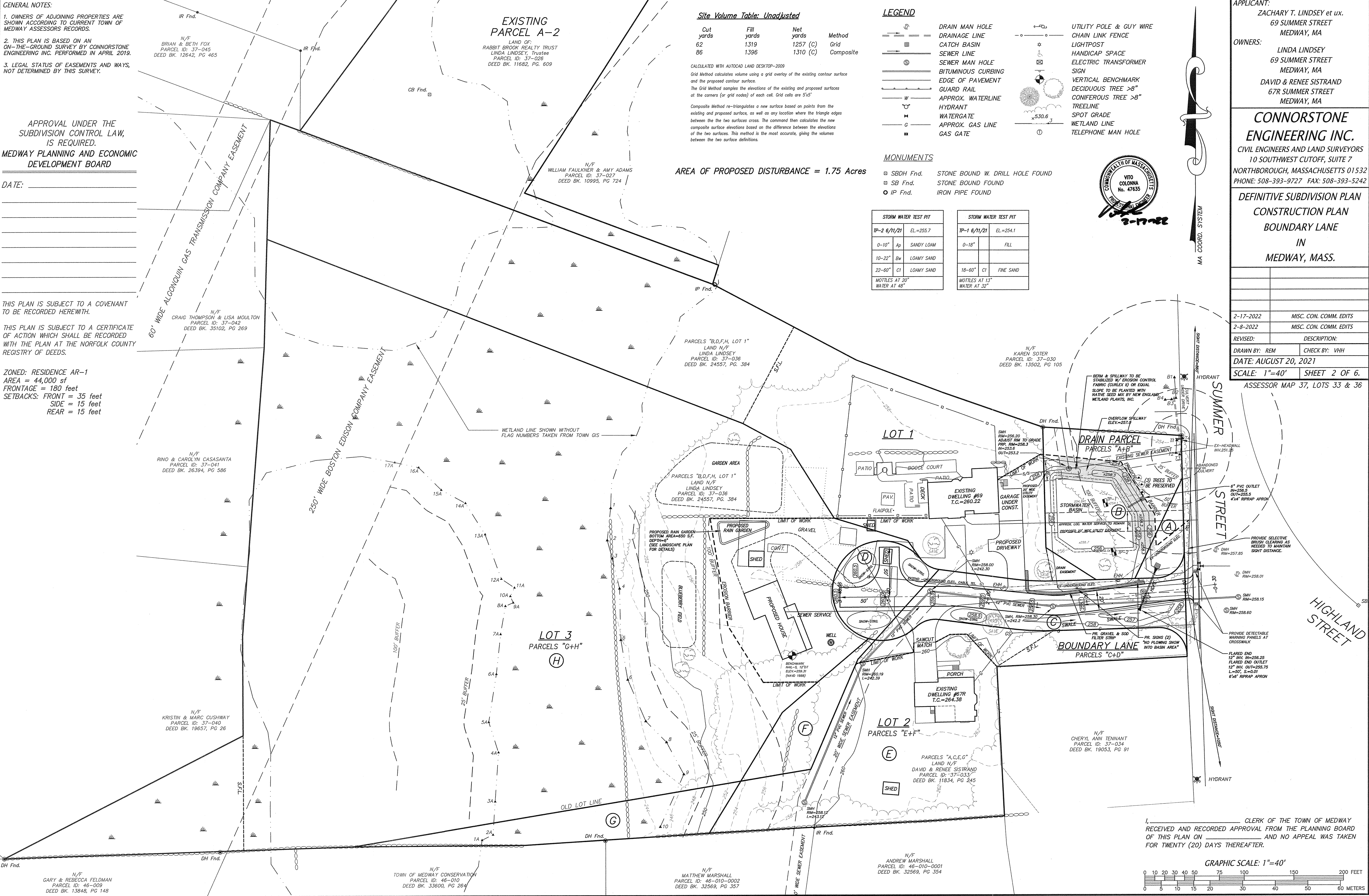
APPROVAL UNDER THE
SUBDIVISION CONTROL LAW,
IS REQUIRED.
MEDWAY PLANNING AND ECONOMIC
DEVELOPMENT BOARD

DATE: _____

THIS PLAN IS SUBJECT TO A COVENANT
TO BE RECORDED HEREWITH.

THIS PLAN IS SUBJECT TO A CERTIFICATE
OF ACTION WHICH SHALL BE RECORDED
WITH THE PLAN AT THE NORFOLK COUNTY
REGISTRY OF DEEDS.

ZONED: RESIDENCE AR-1
AREA = 44,000 sf
FRONTAGE = 180 feet
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APPLICANT:

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OWNERS:

LINDA LINDSEY
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MEDWAY, MA

DAVID & RENEE SISTRAND
67R SUMMER STREET
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**CONNORSTONE
ENGINEERING INC.**

CIVIL ENGINEERS AND LAND SURVEYORS
10 SOUTHWEST CUTOFF, SUITE 7
NORTHBOROUGH, MASSACHUSETTS 01532
PHONE: 508-393-9727 FAX: 508-393-5242

**DEFINITIVE SUBDIVISION PLAN
CONSTRUCTION PLAN
BOUNDARY LANE
IN
MEDWAY, MASS.**

2-17-2022 MISC. CON. COMM. EDITS
2-8-2022 MISC. CON. COMM. EDITS

REVISED: DESCRIPTION:

DRAWN BY: REM CHECK BY: VHH

DATE: AUGUST 20, 2021

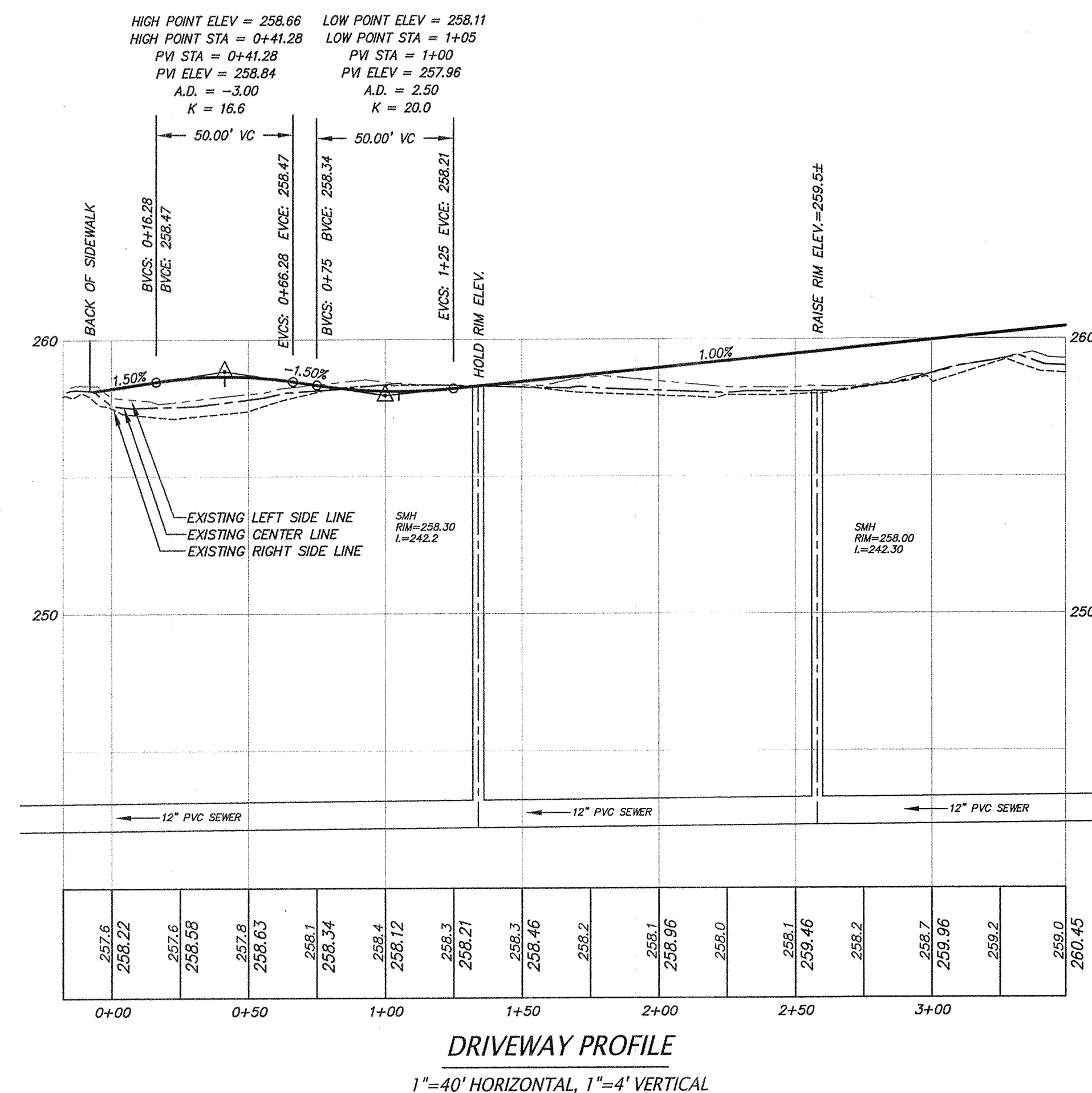
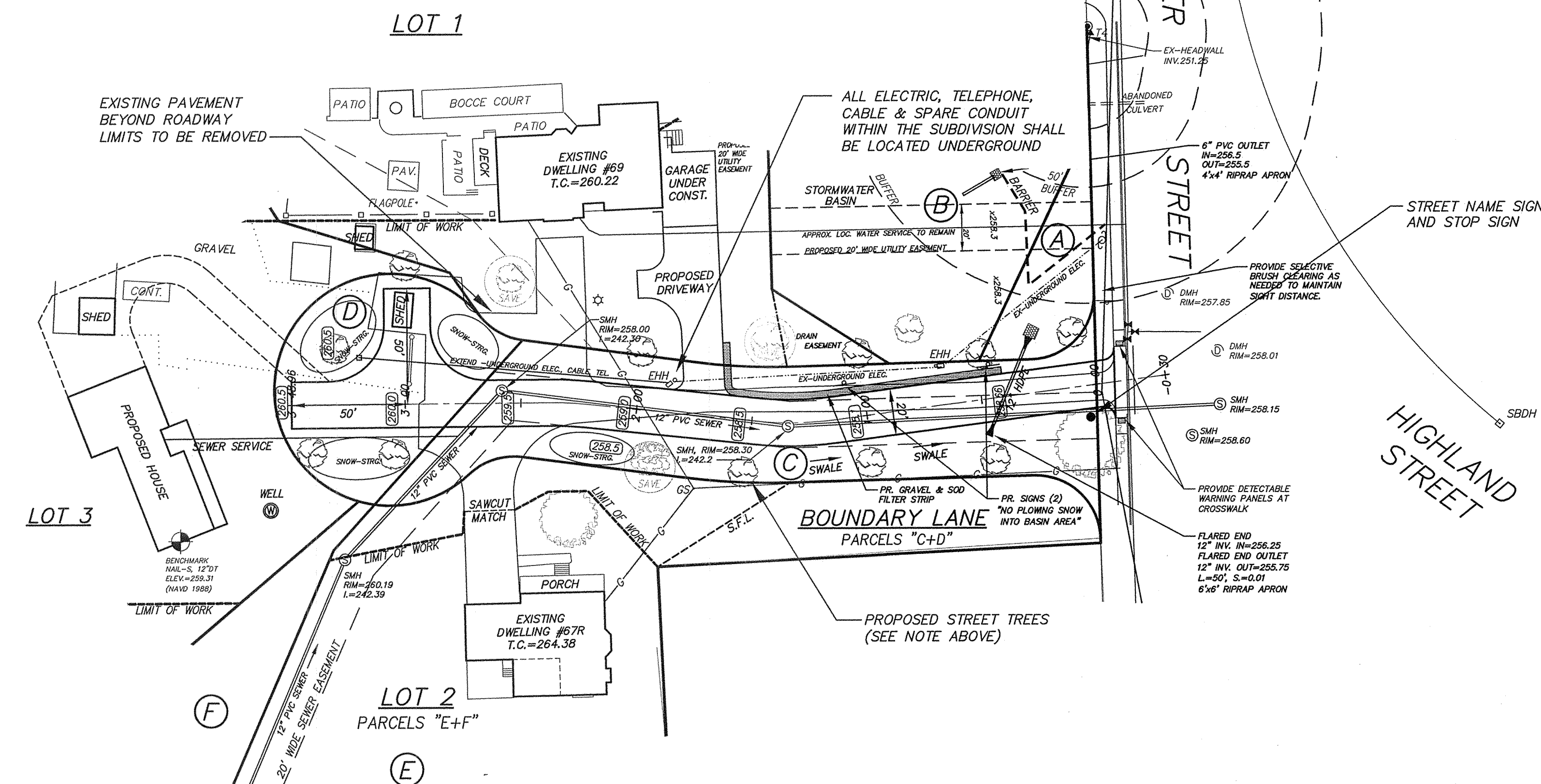
SCALE: 1"=40' SHEET 2 OF 6.

ASSESSOR MAP 37, LOTS 33 & 36

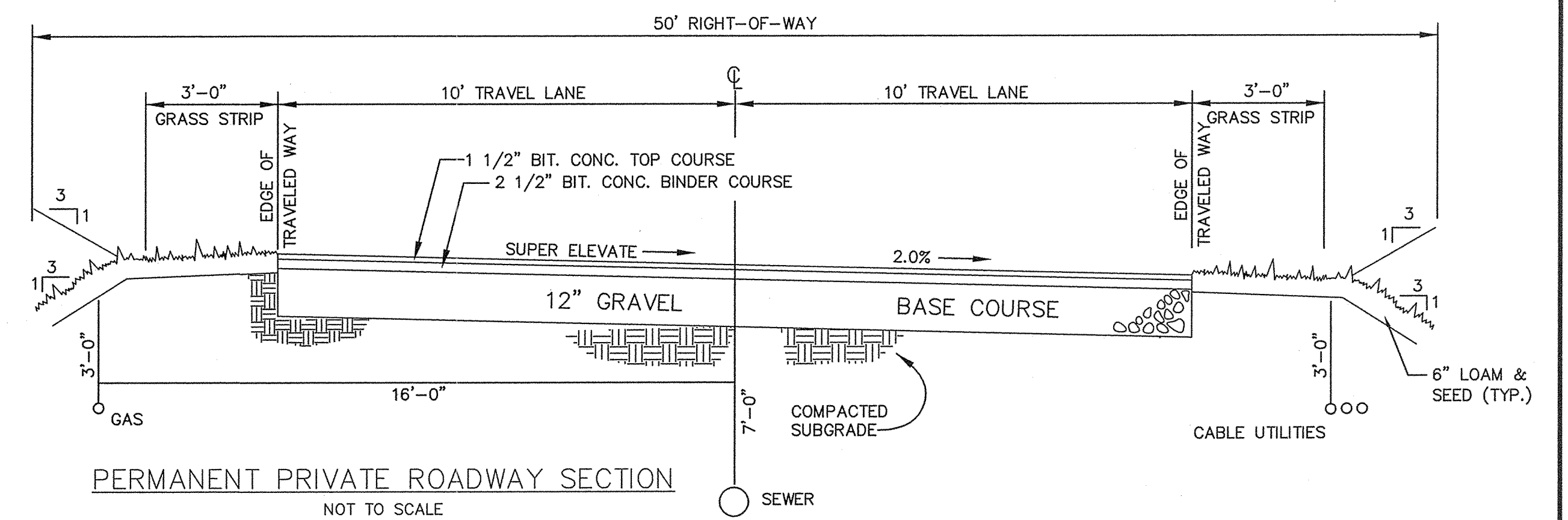
CLERK OF THE TOWN OF MEDWAY
RECEIVED AND RECORDED APPROVAL FROM THE PLANNING BOARD
OF THIS PLAN ON _____ AND NO APPEAL WAS TAKEN
FOR TWENTY (20) DAYS THEREAFTER.

MINIMUM OF 3 SPECIES TO BE PLANTED.
STAGGER LAYOUT SO THAT NO ONE SPECIES
SHALL BE PLANTED NEXT TO A LIKE SPECIES

ROADWAY PLAN VIEW.
1"=40' HORIZONTAL



1"=40' HORIZONTAL, 1"=4' VERTICAL



CONSTRUCTION NOTES:

1. EXISTING UTILITY LINES SHOWN ON THIS DRAWING ARE FROM AVAILABLE INFORMATION AND ARE APPROXIMATE LOCATIONS. THE ENGINEER DOES NOT GUARANTEE THEIR ACCURACY OR THAT ALL UTILITIES AND SUBSURFACE STRUCTURES ARE SHOWN. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION AND INVERT ELEVATION OF ALL UTILITIES AND SUBSTRUCTURES PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES WITH RECORD DATA SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY. THE CONTRACTOR SHALL CONTACT DIG SAFE - 1-800-344-7233 (72 HOURS BEFORE DIGGING), AND TOWN DPW FOR UTILITY LOCATIONS PRIOR TO EXCAVATION. TEST PITS SHALL BE UTILIZED FOR UTILITY CONNECTIONS.
2. ALL MATERIALS AND CONSTRUCTION PRACTICES SHALL BE IN CONFORMANCE WITH THE STANDARDS AND SPECIFICATIONS MEDWAY DEPARTMENT OF PUBLIC WORKS, LATEST EDITION OF THE MASSACHUSETTS HIGHWAY DEPARTMENT (MHD) CONSTRUCTION STANDARDS AND THE MHD STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES; WHICHEVER IS MORE STRINGENT.
3. THE LAYOUT AND INSTALLATION OF ELECTRIC, GAS, TELEPHONE AND CATV UTILITY CONNECTIONS AND SERVICES SHALL IN ACCORDANCE WITH THE REQUIREMENTS OF THE RESPECTIVE UTILITY.
4. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE HIS WORK WITH THE APPROPRIATE HIGHWAY & UTILITY DEPARTMENTS. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING AND NEWLY INSTALLED UTILITIES IN GOOD WORKING ORDER AND SHALL PROTECT THEM FROM DAMAGE AT ALL TIMES UNTIL THE WORK IS COMPLETED AND ACCEPTED.
5. WORK WITHIN THE HIGHWAY LAYOUT, IF APPLICABLE, SHALL CONFORM TO THE CONDITIONS OF THE PERMIT ISSUED BY THE MASSACHUSETTS HIGHWAY DEPARTMENT AND/OR LOCAL AUTHORITY AS APPROPRIATE.
6. THE CONTRACTOR SHALL UTILIZE ALL MEASURES AND MATERIALS NECESSARY TO ENSURE THE SAFETY OF ALL PERSONS AND PROPERTIES AT THE SITE DURING CONSTRUCTION. ALL EXCAVATIONS SHALL CONFORM TO CURRENT OSHA STANDARDS.
7. ALL SIGN SIGNS AND MATERIAL SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC DEVICES" (MUTCD) AND THE OFFICE OF TRAFFIC OPERATIONS, FEDERAL HIGHWAY ADMINISTRATION, U.S. DEPARTMENT OF TRANSPORTATION.
8. ALL RAMPS, CURB CUTS, SIDEWALKS, AND ACCESSIBLE SPACES SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT REGULATIONS AND WITH ARCHITECTURAL ACCESS BOARD REGULATIONS (521 CMR 1A-47).
9. ALL EXCAVATION AND EARTHWORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE MASSACHUSETTS HIGHWAY DEPARTMENT (MHD) STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, SECTIONS 120, 140, 150, AND 170.

ADA / AAB REQUIREMENTS:

ALL IMPROVEMENTS, RAMPS, CURB CUTS, SIDEWALKS, AND DRIVEWAY CROSSINGS SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT REGULATIONS AND WITH ARCHITECTURAL ACCESS BOARD REGULATIONS (521 CMR S 1-47) IN FORCE AND EFFECTIVE AT THE TIME OF CONSTRUCTION.

ZONED: AR-1
AREA = 44,000 sf
FRONTAGE = 180 feet
SETBACKS: FRONT = 35 feet
 SIDE = 15 feet
 REAR = 15 feet

APPROVAL UNDER THE
SUBDIVISION CONTROL LAW,
IS REQUIRED.
MEDWAY PLANNING AND ECONOMIC
DEVELOPMENT BOARD

DATE: _____

THIS PLAN IS SUBJECT TO A COVENANT
TO BE RECORDED HEREWITH.

THIS PLAN IS SUBJECT TO A CERTIFICATE
OF ACTION WHICH SHALL BE RECORDED
WITH THE PLAN AT THE NORFOLK COUNTY
REGISTRY OF DEEDS.

APPLICANT:
ZACHARY T. LINDSEY et ux.
69 SUMMER STREET
MEDWAY, MA

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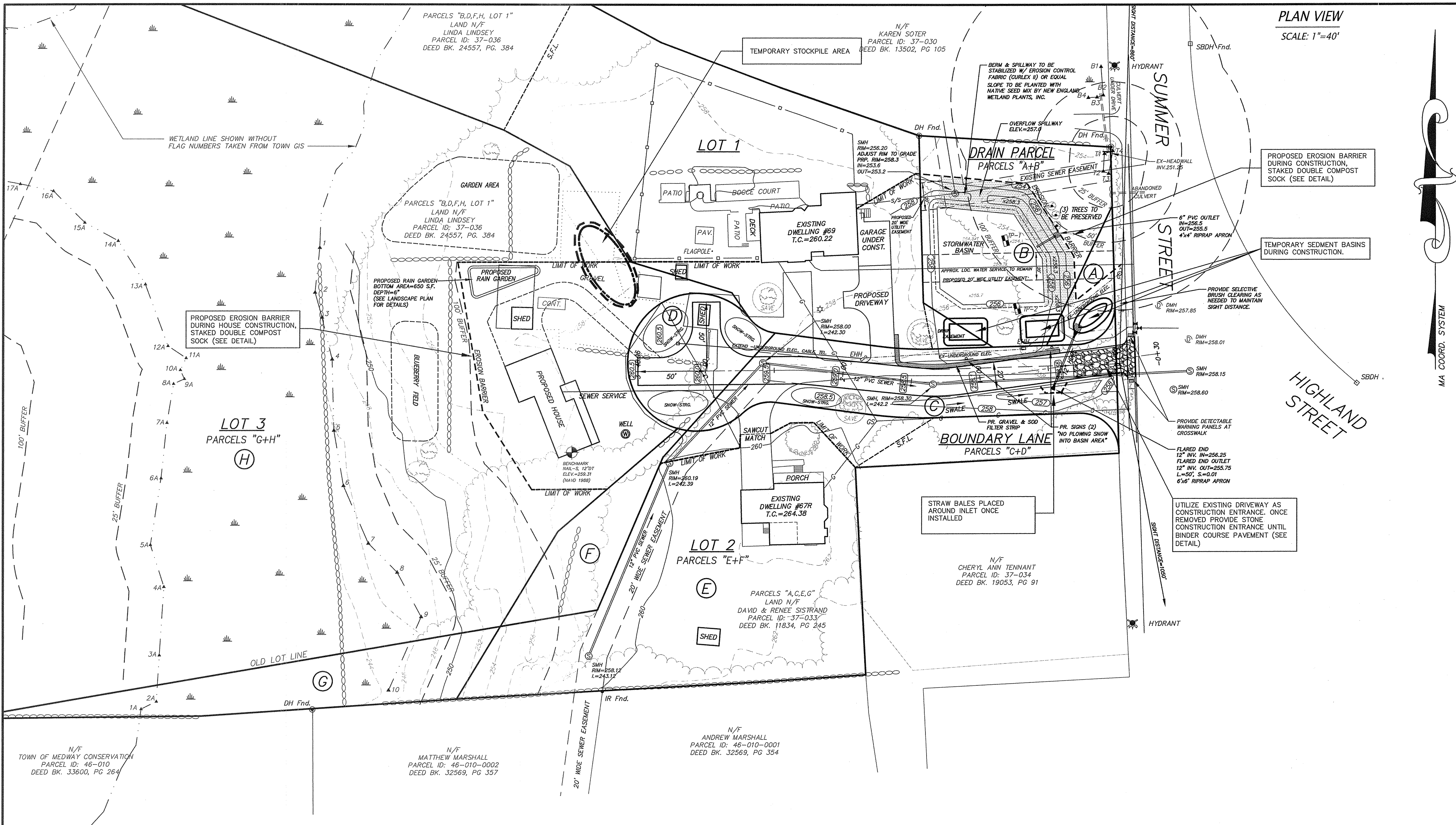
**CONNORSTONE
ENGINEERING INC.**

CIVIL ENGINEERS AND LAND SURVEYORS
10 SOUTHWEST CUTOFF, SUITE 7
NORTHBOROUGH, MASSACHUSETTS 01532
PHONE: 508-393-9727 FAX: 508-393-5242

*DEFINITIVE SUBDIVISION PLAN
ROADWAY PLAN & PROFILE
BOUNDARY LANE
IN
MEDWAY, MASS.*

2-17-2022	MISC. CON. COMM. EDITS
2-8-2022	MISC. CON. COMM. EDITS
REVISED:	DESCRIPTION:
DRAWN BY: REM	CHECK BY: VC
DATE: AUGUST 20, 2021	
SCALE: 1"=40'	SHEET 3 OF 6.

I, _____ CLERK OF THE TOWN OF MEDWAY
RECEIVED AND RECORDED APPROVAL FROM THE PLANNING BOARD
OF THIS PLAN ON _____ AND NO APPEAL WAS TAKEN
FOR TWENTY (20) DAYS THEREAFTER.



PLAN VIEW

SCALE: 1"=40'

EROSION AND SEDIMENTATION CONTROL NOTES:

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE ORDER OF CONDITIONS ISSUED BY THE TOWN OF MEDWAY CONSERVATION COMMISSION, AND THE PROJECT STORMWATER POLLUTION PREVENTION PLAN.
2. PRIOR TO INITIATING CONSTRUCTION, ALL SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLANS AND DETAIL DRAWINGS.
3. THIS PLAN DEPICTS THE MINIMUM REQUIRED SEDIMENTATION AND EROSION CONTROLS. THE CONTRACTOR SHALL EMPLOY ADDITIONAL SEDIMENTATION AND EROSION CONTROL MEASURES AS NECESSITATED BY SITE CONDITIONS, OR AS DIRECTED BY THE OWNER, THE OWNER'S REPRESENTATIVE, OR THE CONSERVATION COMMISSION TO ENSURE PROTECTION OF ALL WETLAND RESOURCES AND CONTROL SEDIMENT TRANSPORT. IF SEDIMENTATION PLUMES OCCUR, THE CONTRACTOR SHALL STOP WORK AND INSTALL ADDITIONAL SEDIMENTATION CONTROL DEVICES IMMEDIATELY TO PREVENT FURTHER SEDIMENTATION.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL TEMPORARY AND PERMANENT SEDIMENTATION AND EROSION CONTROLS UNTIL WORK IS COMPLETE AND ALL AREAS HAVE BEEN PERMANENTLY STABILIZED. AT SUCH TIME THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL SEDIMENTATION AND EROSION CONTROL MEASURES.
5. THE CONTRACTOR SHALL INSPECT SEDIMENTATION AND EROSION CONTROLS ON A DAILY BASIS AND IMMEDIATELY AFTER EACH RAINFALL. REPAIRS SHALL BE MADE BY THE END OF THE WORKING DAY. ACCUMULATED SEDIMENT SHALL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR WHEN THE VOLUME REACHES 1/4 TO 1/2 THE HEIGHT OF COMPOST SOCK OR SEDIMENT TRAP, OR AS DIRECTED BY THE LOCAL AUTHORITY.
6. SOIL STOCKPILES SHALL BE STABILIZED TO PREVENT EROSION, AND A PERIMETER SEDIMENT CONTROL BARRIER SHALL BE INSTALLED. NO MATERIALS SUBJECT TO EROSION SHALL BE STOCKPILED OVERNIGHT WITHIN 100 FEET OF A WETLAND UNLESS COVERED.
7. TOPSOIL, STOCKPILES AND DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR AT LEAST 7 DAYS WILL BE STABILIZED WITH A TEMPORARY SEED AND MULCH NO LATER THAN 7 DAYS FROM THE LAST CONSTRUCTION ACTIVITY IN THAT AREA. THE TEMPORARY SEED SHALL BE EROSION CONTROL MIX. DISTURBED PORTIONS OF THE SITE WHERE FINAL GRADE HAS BEEN MET AND CONSTRUCTION ACTIVITY CEASES SHALL BE STABILIZED WITH PERMANENT SEED NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY. THE PERMANENT SEED MIX CONSISTS OF BLUEGRASS, TALL FESCUE, AND ANNUAL RYE. PRIOR TO SEEDING, GROUND AGRICULTURAL LIMESTONE SHALL BE APPLIED AS REQUIRED. SEEDING SHALL BE NUTRIENT ENRICHED HYDROSEED AND CELLULOSE OR OTHER DEGRADABLE FIBERS CAPABLE OF RETAINING MOISTURE. IF NOT DURING THE GROWING SEASON, THESE AREAS SHALL BE MULCHED WITH STRAW AND SECURED.
8. DEWATERING OPERATIONS, IF REQUIRED, SHALL DISCHARGE ONTO STABILIZED AREAS, AND ALL DISCHARGE WATER IS TO PASS THROUGH SEDIMENTATION CONTROL DEVICES TO PREVENT IMPACTS UPON WATER BODIES, BORDERING VEGETATED WETLANDS, DRAINAGE SYSTEMS AND ADJUTING PROPERTIES. AT A MINIMUM ALL DISCHARGES SHALL BE INTERCEPTED BY STRAWBALE CORRAL AND STRAWBALE CHECK DAMS SPACED 10' APART.
9. COMPOST SOCK AND SILT FENCE SHALL BE INSTALLED ALONG THE EDGE OF PROPOSED DEVELOPMENT OR AS INDICATED ON THE PLANS. ADDITIONAL BARRIERS SHALL BE LOCATED AS CONDITIONS WARRANT, AND IN SOME AREAS WEED FREE BALE/SILT FENCING STRUCTURES MAY HAVE TO BE DUPLICATED AT REGULAR INTERVALS UP GRADIENT OF WETLANDS.
10. STREET SWEEPING IN THE VICINITY OF THE PROJECT AREA SHALL BE PERFORMED AS NEEDED UNTIL THE PROJECT LIMITS HAVE BEEN STABILIZED. ALL SEDIMENT TRACKED ONTO PUBLIC RIGHT-OF-WAYS SHALL BE SWEEPED AT THE END OF EACH WORKING DAY.
11. ALL EXISTING AND PROPOSED DRAINAGE SYSTEM INLETS, WHICH MAY RECEIVE STORMWATER FLOW FROM DISTURBED AREAS, SHALL BE PROVIDED WITH INLET PROTECTION (CATCH BASIN SILT SACKS). THE CONTRACTOR SHALL MAINTAIN THESE DEVICES PER THE MANUFACTURERS RECOMMENDATIONS UNTIL ALL WORK IS COMPLETED AND ALL AREAS HAVE BEEN ADEQUATELY STABILIZED.
12. DUST CONTROL MEASURES SHALL BE IMPLEMENTED AND MAINTAINED PROPERLY THROUGHOUT DRY WEATHER PERIODS UNTIL ALL DISTURBED AREAS HAVE BEEN PERMANENTLY STABILIZED. METHODS FOR DUST CONTROL SHALL INCLUDE WATER SPRINKLING AND/OR OTHER METHODS APPROVED BY THE ENGINEER.
13. ALL VEHICLES SHALL ENTER AND EXIT THE SIT VIA THE STABILIZED CONSTRUCTION ENTRANCE CONSISTING OF 2" TO 3" INCH CRUSHED STONE TO A DEPTH OF 6" FOR A MINIMUM OF THE FIRST 50 FEET FROM EXISTING PAVED STREETS. EXTEND THE PAD BEYOND 50 FEET AS NECESSARY BASED UPON FIELD CONDITIONS. IF THE SITE CONDITIONS ARE SUCH THAT THE GRAVEL PAD DOES NOT REMOVE THE MAJORITY OF THE MUD AND DEBRIS, THEN THE TIRES SHALL BE WASHED BEFORE ANY VEHICLES ENTER ADJACENT ROADWAYS. ALL WATER USED FOR TIRE WASHING SHALL BE COLLECTED AND TREATED PRIOR TO ENTERING THE DRAINAGE SYSTEM. THE CONTRACTOR SHALL INSPECT THE CONSTRUCTION ENTRANCE DAILY AND AFTER HEAVY USE.
14. EQUIPMENT NOT IN USE SHALL NOT BE PARKED WITHIN WETLANDS OR BUFFER AREAS.

APPROVAL UNDER THE
SUBDIVISION CONTROL LAW,
IS REQUIRED.
MEDWAY PLANNING AND ECONOMIC
DEVELOPMENT BOARD

DATE: _____

THIS PLAN IS SUBJECT TO A COVENANT
TO BE RECORDED HEREWITH.

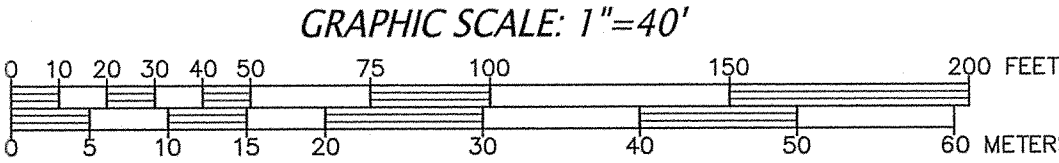
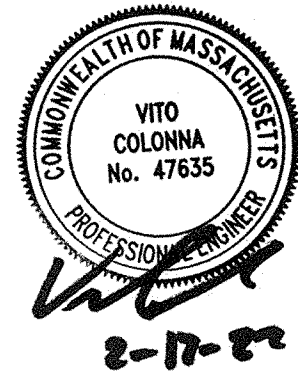
THIS PLAN IS SUBJECT TO A CERTIFICATE
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WITH THE PLAN AT THE NORFOLK COUNTY
REGISTRY OF DEEDS.

GENERAL SEQUENCING PLAN
ESTIMATED SCHEDULE
ROADWAY THROUGH BINDER COURSE: 6 MONTHS
LOT DEVELOPMENT 12 MONTHS

1. INSTALL SEDIMENT CONTROL BARRIERS AND CONSTRUCTION ENTRANCE OFF SUMMER STREET.
2. REMOVE THE EXISTING STRUCTURES AND PAVEMENT AREAS.
3. INSTALL TEMPORARY SEDIMENT TRAP/BERM.
4. CLEAR & PREP ROADWAY AREA.
5. BEGIN CONSTRUCTION OF ROADWAY.
6. INSTALL ROADWAY CROSS CULVERT PRIOR TO COMPLETING PLACEMENT OF FILL NEAR STATION 0+25 TO PREVENT PONDING ON ADJUTING LAND AND BLOCKAGE OF DRAINAGE FLOW PATHS.
7. INSTALL UTILITIES.
8. INSTALL DRAIN CULVERT.
9. INSTALL GRAVEL BASE AND BINDER COURSE PAVEMENT.
10. BEGIN LOT DEVELOPMENT.
11. PERFORM FINAL LANDSCAPING AND STABILIZATION.
12. CLEAN & FINAL INSTALLATION OF STORM WATER BASIN.
13. ADJUST STRUCTURES TO GRADE, AND PLACE FINAL TOP COURSE PAVEMENT.
14. REMOVE THE REMAINING SILTATION DEVICES AS THE AREA BECOMES STABLE.

THE ABOVE SEQUENCING MAY BE SUBJECT TO CHANGE DUE TO FIELD CONDITIONS AND CONTRACTOR'S MEANS AND METHODS. A FINAL SEQUENCING PLANE SHALL BE SUBMITTED TO THE ENGINEER AND TOWN FOR REVIEW AND APPROVAL PRIOR TO THE START OF CONSTRUCTION.

I, _____ CLERK OF THE TOWN OF MEDWAY
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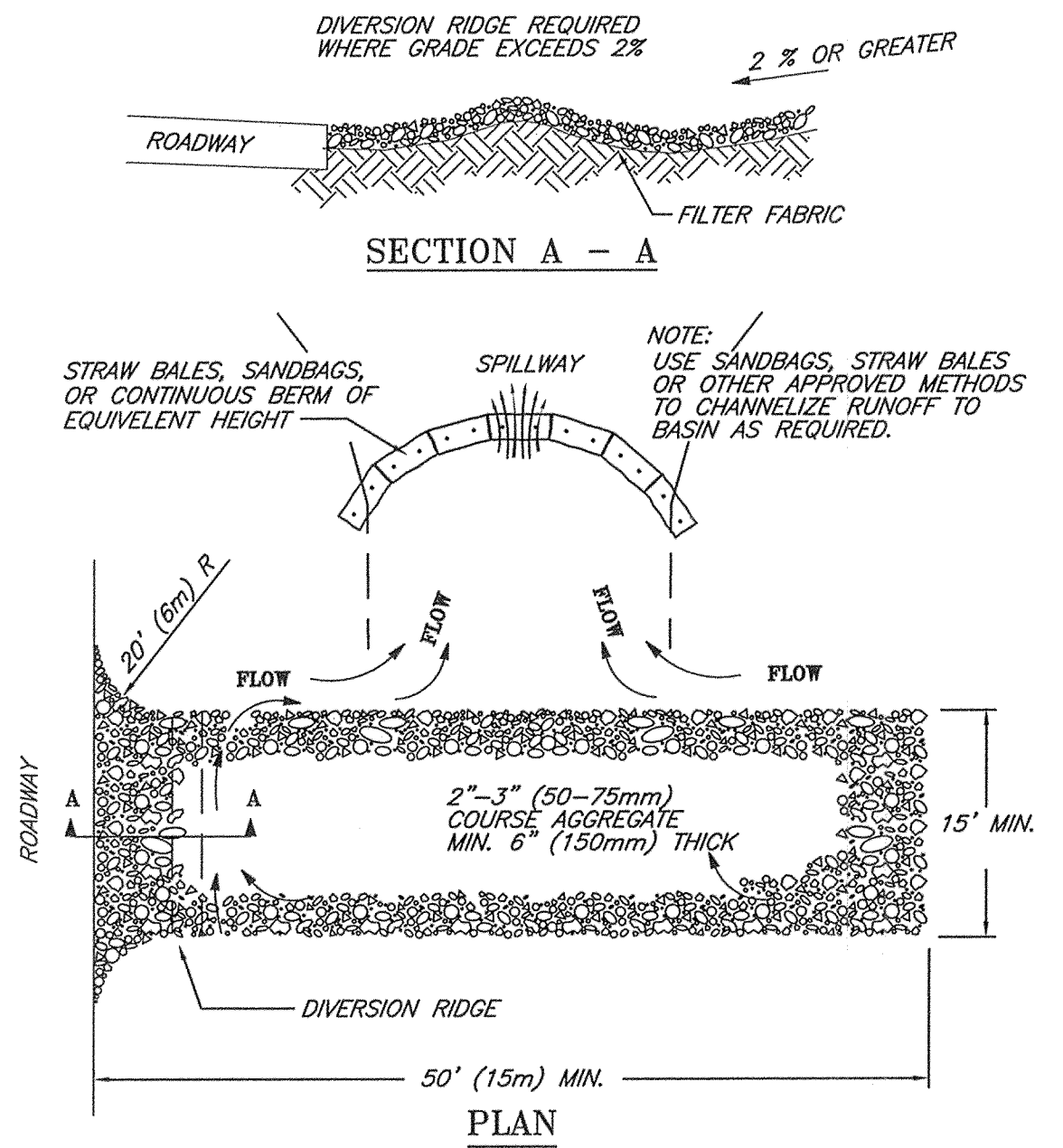


APPLICANT:
ZACHARY T. LINDSEY et ux.
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MEDWAY, MA
OWNERS:
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69 SUMMER STREET
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DAVID & RENEE SISTRAND
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CIVIL ENGINEERS AND LAND SURVEYORS
10 SOUTHWEST CUTOFF, SUITE 7
NORTHBOROUGH, MASSACHUSETTS 01532
PHONE: 508-393-9727 FAX: 508-393-5242

DEFINITIVE SUBDIVISION PLAN
EROSION & SEDIMENT
CONTROL PLAN
BOUNDARY LANE
MEDWAY, MASS.

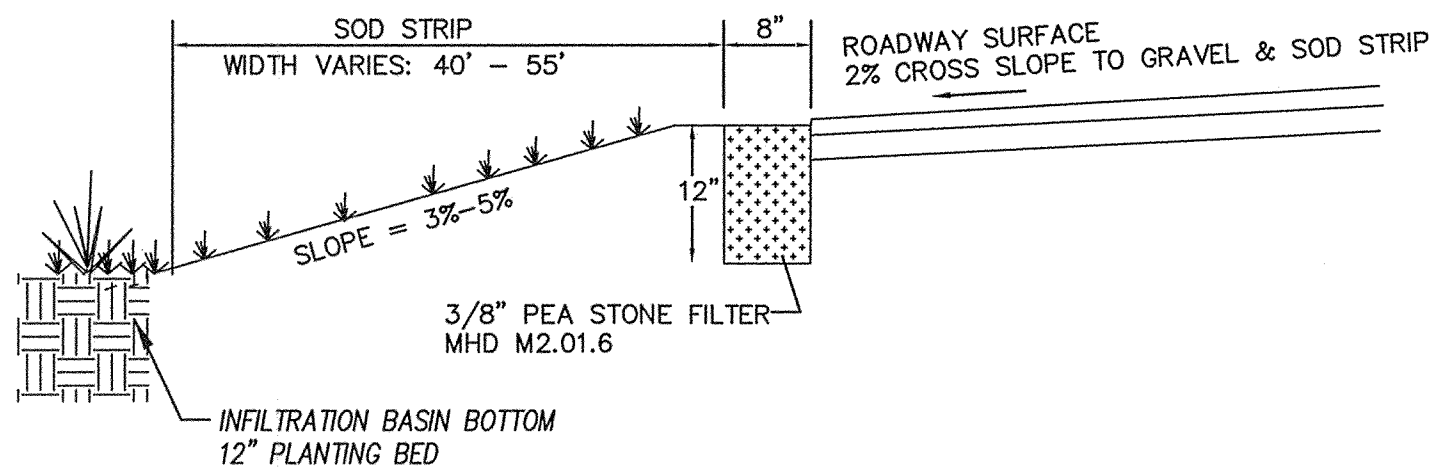
2-17-2022	MISC. CON. COMM. EDITS
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REVISED:	DESCRIPTION:
DRAWN BY: REM	CHECK BY: VC
DATE: AUGUST 20, 2021	
SCALE: 1"=60'	SHEET 4 OF 6.



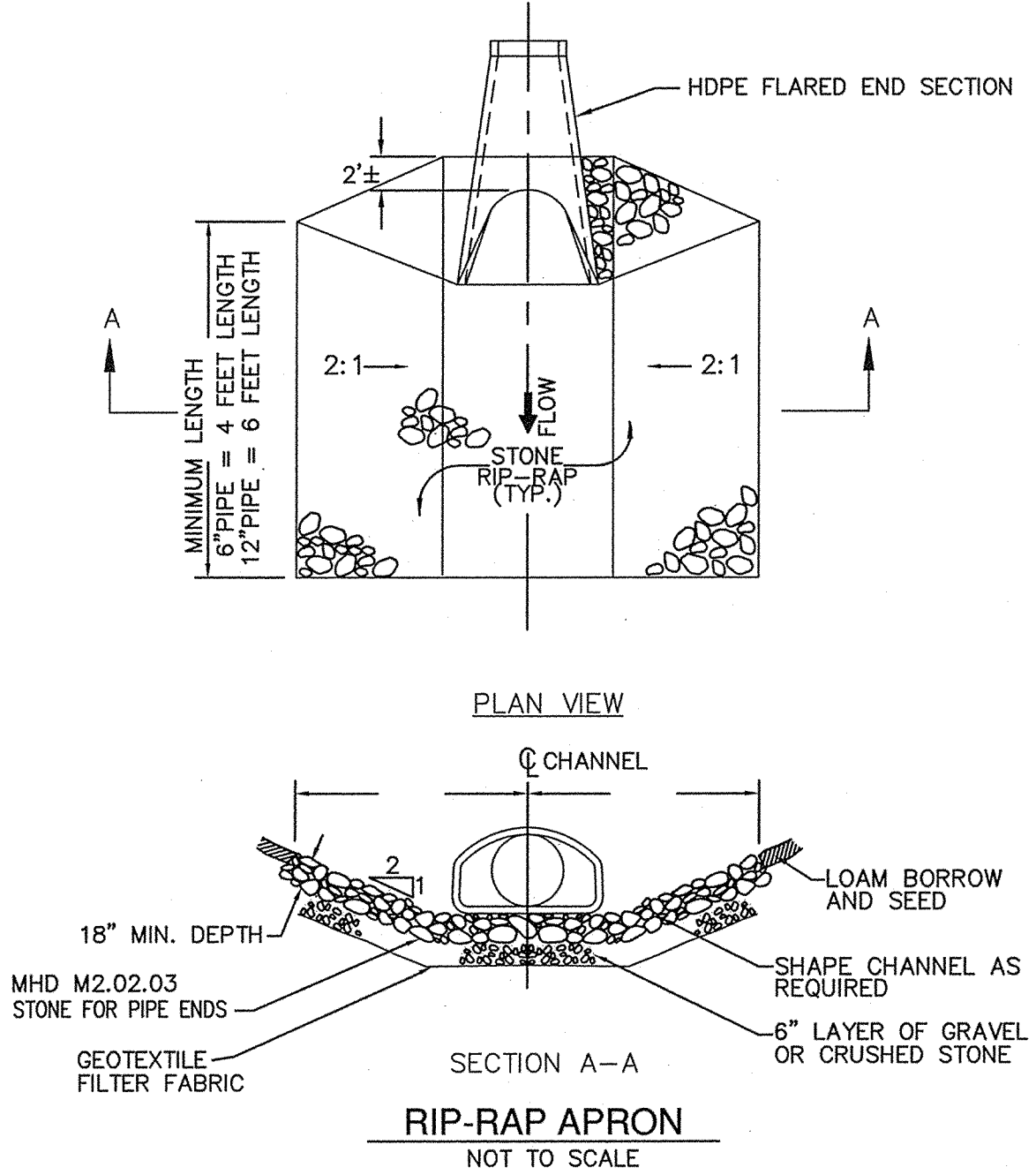
NOTES:
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANTOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT

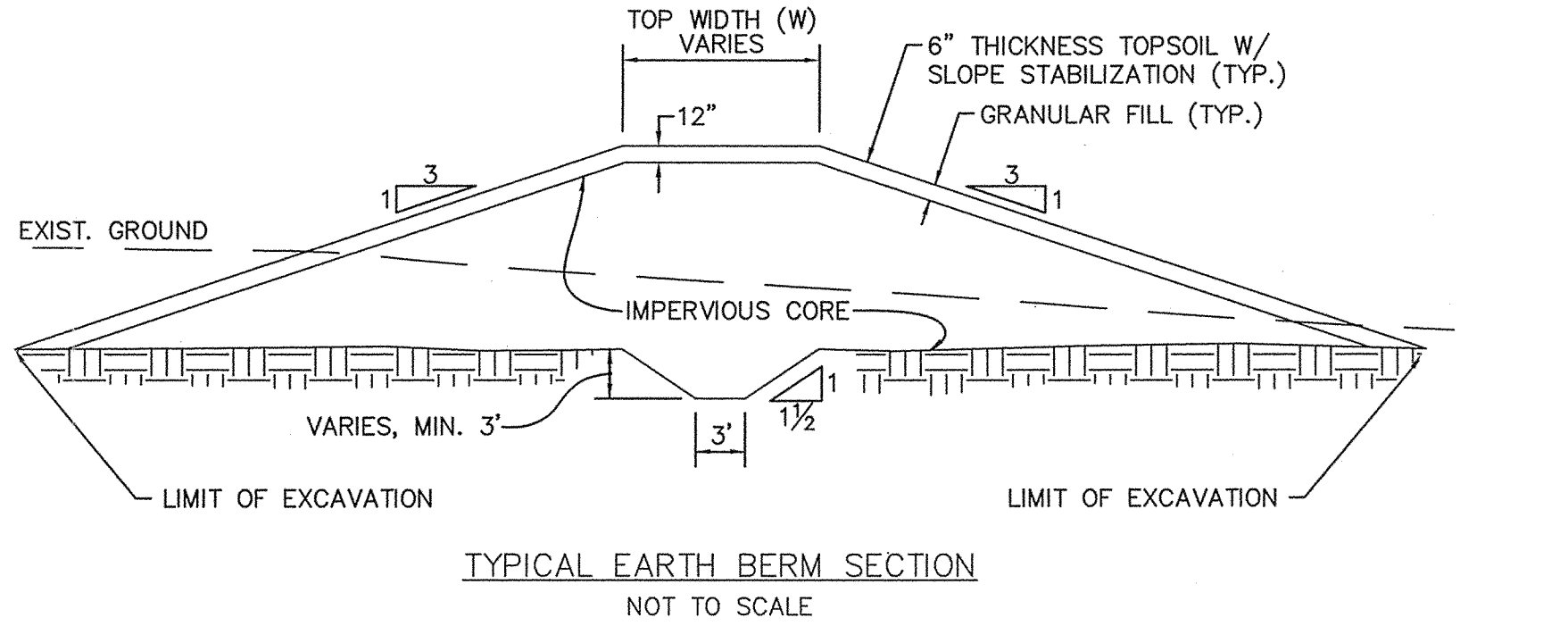
© 1994 JOHN MCGILLAH



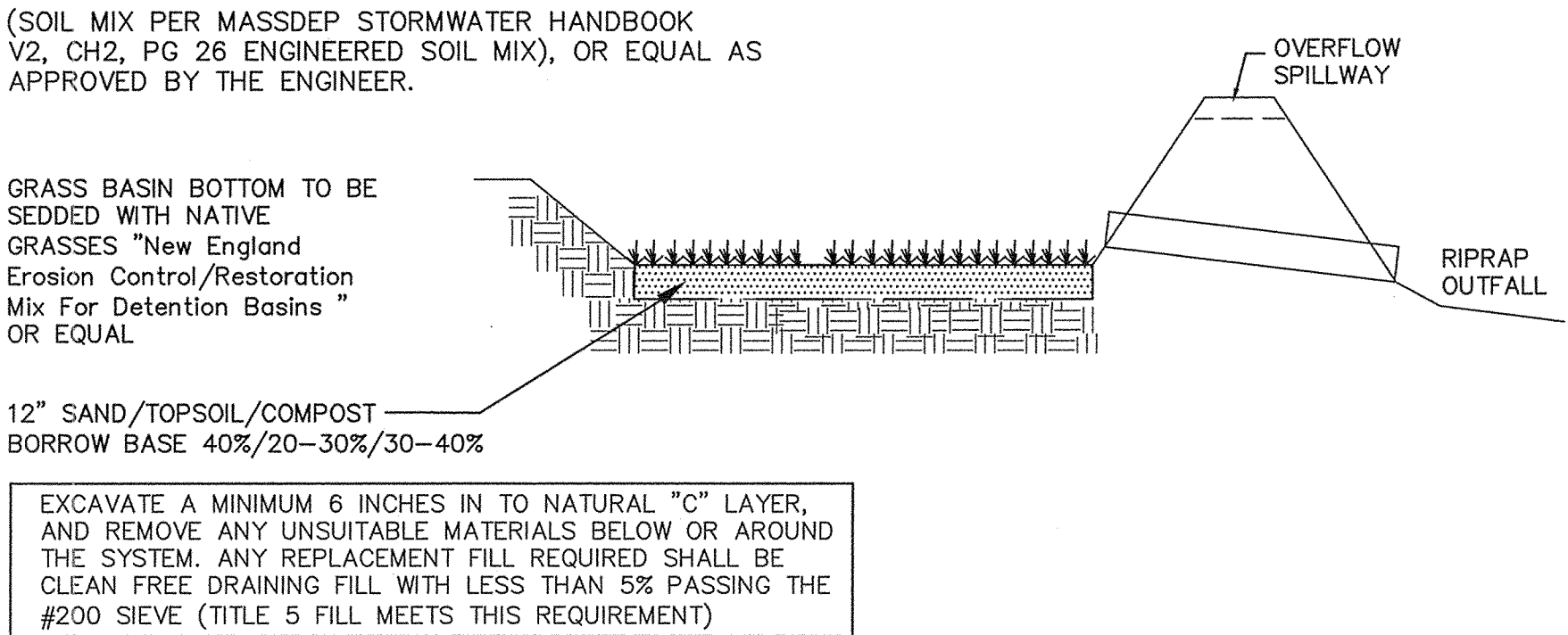
GRAVEL & SOD FILTER STRIP
NOT TO SCALE



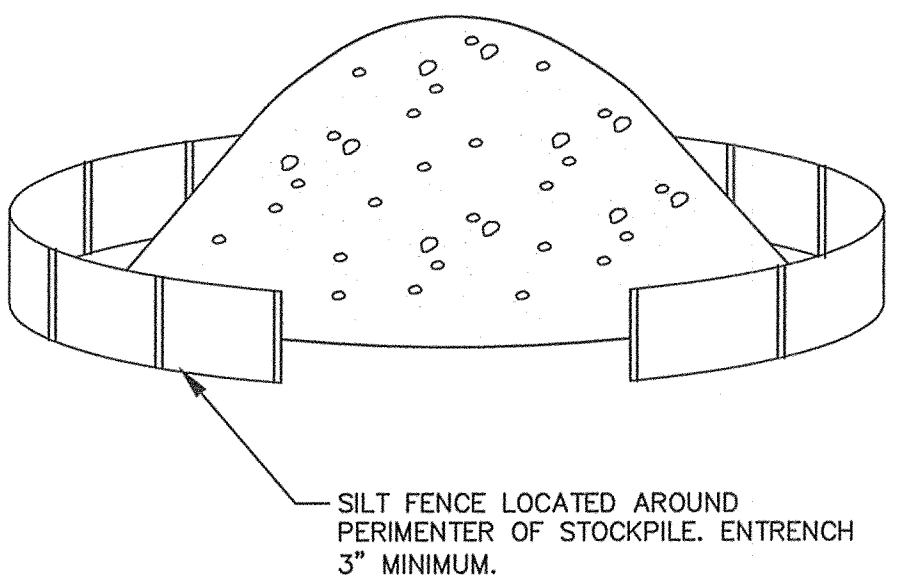
RIP-RAP APRON
NOT TO SCALE



TYPICAL EARTH BERM SECTION
NOT TO SCALE

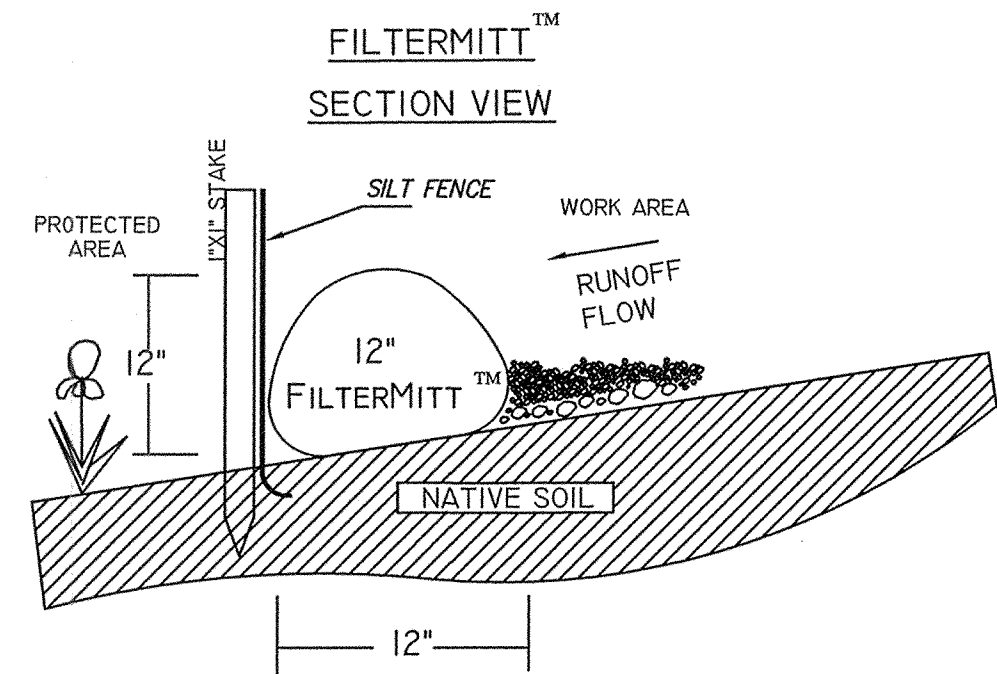


TYPICAL INFILTRATION BASIN SECTION
NOT TO SCALE

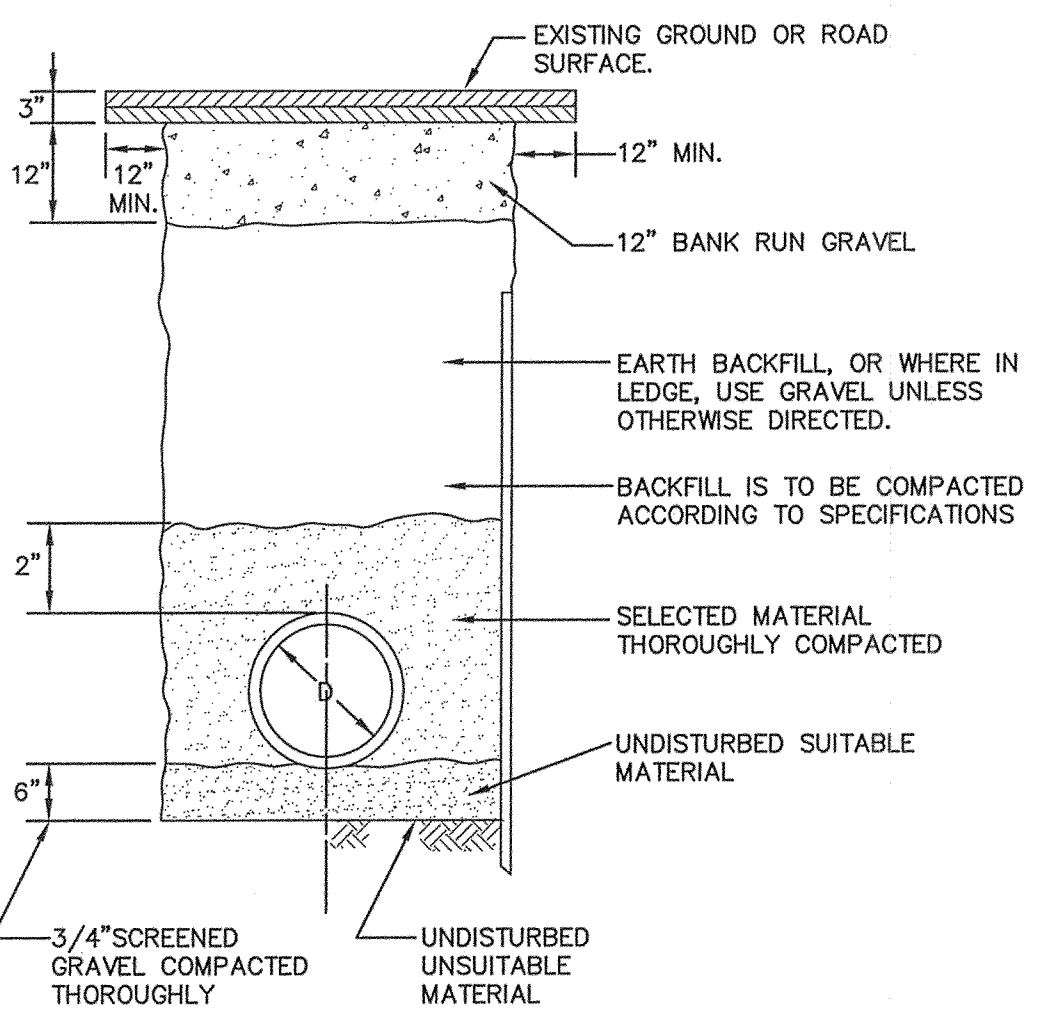


NOTES:
1. NO MATERIALS SUBJECT TO EROSION SHALL BE STOCKPILED OVERNIGHT WITHIN 100 FEET OF A WETLAND UNLESS COVERED.
2. STOCKPILES SHALL BE LOCATED ON DRY STABLE AREAS.
3. STOCKPILES TO REMAIN FOR GREATER THAN SEVEN DAYS SHALL BE STABILIZED WITH A TEMPORARY SEED MIXTURE.

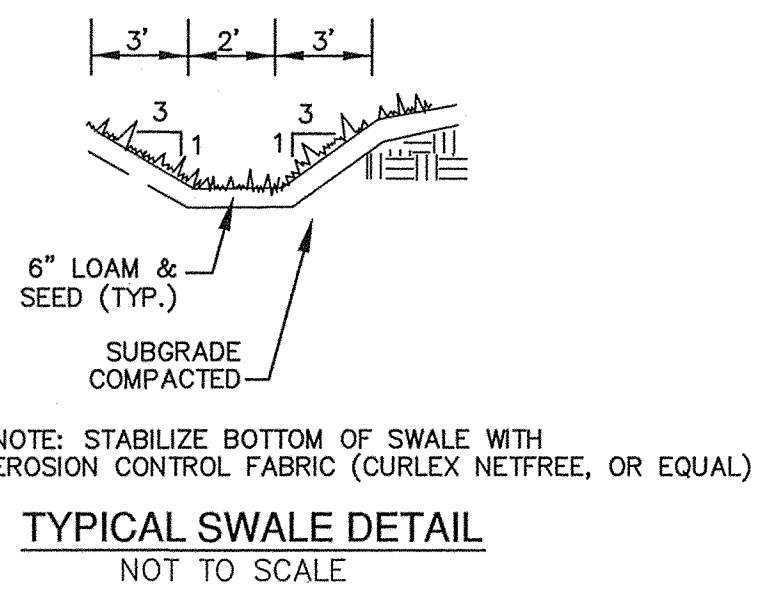
SOIL STOCKPILE DETAIL
NOT TO SCALE



**SEDIMENT BARRIER DETAIL
(COMPOST FILTER SOCK WITH SILT FENCE)**
NOT TO SCALE



TYPICAL DRAIN TRENCH DETAILS
NOT TO SCALE



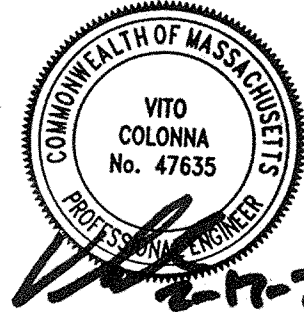
TYPICAL SWALE DETAIL
NOT TO SCALE

I, _____ CLERK OF THE TOWN OF MEDWAY
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**MEDWAY PLANNING AND ECONOMIC
DEVELOPMENT BOARD**

DATE: _____

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THIS PLAN IS SUBJECT TO A CERTIFICATE
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REGISTRY OF DEEDS.



OWNERS:
LINDA LINDSEY
69 SUMMER STREET
MEDWAY, MA
RABBIT BROOK REALTY TRUST
69 SUMMER STREET
MEDWAY, MA
DAVID & RENEE SISTRAND
67R SUMMER STREET
MEDWAY, MA

**CONNORSTONE
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CIVIL ENGINEERS AND LAND SURVEYORS
10 SOUTHWEST CUTOFF, SUITE 7
NORTHBOROUGH, MASSACHUSETTS 01532
PHONE: 508-393-9727 FAX: 508-393-5242

**DEFINITIVE PLAN
CONSTRUCTION DETAILS**
OF
BOUNDARY LANE
IN
MEDWAY, MA

2/17/2022	MISC. CON. COMM. EDITS
2/8/2022	MISC. CON. COMM. EDITS
REVISED:	DESCRIPTION:
DRAWN BY: RM	CHECK BY: VC
DATE: AUGUST 20, 2021	
SCALE: NONE	SHEET 5 OF 6.

LAND SUBDIVISION - FORM F

Development Impact Report (DIR) PLANNING BOARD – Town of Medway, MA

OVERVIEW

The DIR is intended to serve as a guide to the applicant in formulating their development proposal, as well as a guide to the Planning Board in evaluating the proposed Subdivision Plan in the context of existing conditions and the Town's planning efforts. The DIR should be prepared as early in the design process as possible, even if certain aspects are unknown at that time.

The DIR seeks to raise the broad range of issues generally association with a subdivision development plan in a form and in language that is understandable to the layperson. The DIR shall identify and assess development impacts that could possibly be avoided or mitigated if recognized early in the development process. Other portions of the DIR request information that will help the Town plan ahead to provide adequate services in the future.

The DIR shall be filed with an application for approval of a Preliminary and a Definitive Subdivision Plan. It shall clearly and methodically assess the relationship of the proposed development to the natural, physical, and social environment of the surrounding area. In preparing the DIR, a systematic interdisciplinary approach shall be utilized to include professionals in the natural and social sciences and environmental design arts.

April 1, 2021

Date

1. Name of Proposed Subdivision: Boundary Lane
2. Location: 67R & 69 Summer Street
3. Name of Applicant (s): Zachary T. Lindsey et. ux
4. Brief Description of the Proposed Project: _____

3 Lot residential subdivision

Includes one (1) new house lot and two (2) existing house lots

5. Name of Individual Preparing this DIR Vito Colonna / Connorstone Engineering

Address: 10 Southwest Cutoff, Northborough, MA Phone: 508-393-9727

Professional Credentials: Professional Engineer MA #47635

SITE DESCRIPTION6. Total Site Acreage: 11.3

Approximate Acreage	At Present	After Completion
Meadow/brushland (<i>non-agricultural</i>)	0	0
Forested	4.6	4.4
Agricultural (<i>includes orchards, croplands, pasture</i>)	0.3	0.3
Wetlands	2.9	2.9
Water Surface Area	0	0
Flood Plain	0	0
Unvegetated (<i>rock, earth or fill</i>)	0	0
Roads, buildings and other impervious surfaces	0.7	0.7
Other (<i>indicate type</i>) - LAWN	2.8	3.0
TOTAL	11.3	11.3

7. Present permitted and actual land use by percentage of the site.

Uses	Percentage
Industrial	
Commercial	
Residential	32%
Forest	65%
Agricultural	3%
Other (specify)	

8. List the zoning districts in which the site is located and indicate the percentage of the site in each district. *NOTE – Be sure to include overlay zoning districts.*

Zoning District	Percentage
AR-1	100%

9. Predominant soil type(s) on the site: "Woodbridge"**Soil Drainage***(Use the U.S. Soil Conservation Service's definition)*

Soil Type	% of Site
Well drained	
Moderately well drained	60%
Poorly drained	40%

10. Are there any bedrock outcroppings on the site? ☐ Yes ☒ No

If yes, specify: _____

11. Approximate percentage of proposed site with slopes between:

<i>Slope</i>	<i>% of Site</i>
0 – 10%	93%
10 – 15%	6%
Greater than 15%	1%

12. In which of the Groundwater Protection Districts is the site located?

Zone(s) N/A

Proximity to a public well: 11,000 +/- feet

13. Does the project site contain any species of plant or animal life that is identified as rare or endangered? (*Consult the Massachusetts Heritage Program and the Medway Conservation Commission for information.*) ☐ Yes ☒ No

If yes, specify: _____

14. Are there any unusual site features such as trees larger than 30 inches, bogs, kettle ponds, eskers, drumlins, quarries, distinctive rock formations or granite bridges?

☐ Yes ☒ No

If yes, specify: _____

15. Are there any established foot paths running through the site or railroad right of ways? ☐ Yes ☒ No

If yes, please specify: _____

16. Is the site presently used by the community as an open space or recreation area? ☐ Yes ☒ No

If yes, please specify: _____

17. Does the site include scenic views or will the proposed development cause any scenic vistas to be obstructed from view? ☐ Yes ☒ No

If yes, please specify: _____

18. Are there wetlands, lakes, pond, streams or rivers within or contiguous to the site? ☒ Yes ☐ No

If yes, please specify: Wetlands located on-site

19. Is there any farmland or forest land on the site protected under Chapter 61A or 61B of the Massachusetts General Laws? ☐ Yes ☒ No

If yes, please specify: _____

20. Has the site ever been used for the disposal of hazardous waste? Has a 21E study been conducted for the site? ☐ Yes ☒ No

If yes, please specify: _____

21. Will the proposed activity require use and/or storage of hazardous materials, or generation of hazardous waste? ☐ Yes ☒ No

If yes, please specify: _____

22. Does the project location contain any buildings or sites of historic or archaeological significance? (Consult with the Medway Historical Commission) ☐ Yes ☒ No

If yes, please describe: _____

23. Is the project contiguous to or does it contain a building located in a national register historic district? ☐ Yes ☒ No

If yes, please describe: _____

CIRCULATION

24. What is the expected average weekday traffic and peak hour volumes to be generated by the proposed subdivision?

Average weekday traffic	29
Average peak hour volumes – morning	3
Average peak hour volumes - evening	3

25. Existing street(s) providing access to the proposed subdivision:

Please specify: Summer Street

26. Existing intersection(s) within 1000 feet of any access to the proposed development. Please specify intersection names: Highland Street

27. Location of existing sidewalks within 1000 feet of the proposed site: _____

Sidewalks on Summer Street

28. Location of proposed sidewalks and their connection to existing sidewalks:

None

29. Are there parcels of undeveloped land adjacent to the proposed site:

 Yes X No

Will access to these undeveloped parcels be provided from the proposed subdivision?

 Yes No

If yes, please describe: _____

If no, please explain why: _____

UTILITIES AND MUNICIPAL SERVICES

30. What is the total number of dwelling units proposed? 3

31. What is the total number of bedrooms in the proposed subdivision? 12

32. Stormwater Management

A. Describe the nature, location and surface water body receiving current surface water of the site: _____

(1.) On-site wetland and unnamed stream along rear of site, which flows to the south ultimately tributary to Hopping Brook. (2) Culvert in the front (north east) corner of the site, which flows north to wetland on the east side of Summer Street. These wetlands are ultimately tributary to Chicken Brook.

- B. Describe the how the proposed stormwater management system will operate and how the existing stormwater patterns will be altered: _____

On-site stormwater collection, detention, and treatment system including a surface detention basin.
Discharges shall match the peak rate, volume, and pattern of runoff when compared to the existing conditions.

- C. Will a NPDS Permit be required? _____ Yes _____ ☒ No

33. Please estimate the response time of the Fire Department to this site:
(Please consult with the Fire Department): _____ 5 to 7 minutes

34. Schools

- A. Projected number of new school age children: _____ 3

- B. Distance to nearest elementary school: _____ 2.5 Mile

MEASURES TO MITIGATE IMPACTS - Please attach a brief description of the measures that haven been taken during subdivision design and will be taken during subdivision construction for each of the following:

- 35. Maximize stormwater infiltration and groundwater recharge
- 36. Prevent surface and groundwater contamination
- 37. Reduce detrimental impacts to water quality
- 38. Maintain slope stability and prevent erosion
- 39. Conserve energy
- 40. Preserve wetlands
- 41. Preserve wildlife habitats, outstanding ecological or botanical features
- 42. Protect scenic views
- 43. Retain natural landscape features
- 44. Design street layouts to facilitate southern orientation of houses
- 45. Use curvilinear street patterns
- 46. Promote pedestrian and bicycle access and safety
- 47. Reduce the number of mature trees to be removed
- 48. Provide green belt/buffer areas
- 49. Preserve historically important structures and features on the site
- 50. Retain natural valley flood storage areas
- 51. Minimize the extent of waterways altered or relocated
- 52. Reduce the volume of cut and fill
- 53. Minimize the visual prominence of man-made elements even if necessary for safety or orientation
- 54. Minimize municipal maintenance frequency and costs
- 55. Reduce building site frontages or driveway egresses onto primary or secondary streets

In describing each of the above, please use layman's terms where possible while still being accurate and comprehensive. Where appropriate, please use graphic illustrations. Identify data sources, reference materials and methodology used to determine all conclusions.

MEASURES TO MITIGATE IMPACTS

35. *Maximum stormwater infiltration and groundwater recharge.*

Proposed private road has been directed to a stormwater management basin system sized and designed in accordance with DEP Stormwater Standards. The system will maximize infiltration to match the existing recharge conditions.

36. *Prevent surface and groundwater water contamination.*

Stormwater drainage from the roadway will be collected in Low Impact Development (LID) techniques including vegetated swales for pretreatment and directed to a Stormwater Basin for recharge and treatment. The system will be designed to remove a minimum 80% of the TSS, and will be designed in full compliance with the Massachusetts Stormwater Handbook and Stormwater Standards to ensure protection to water quality.

37. *Reduce detrimental impacts to water quality.*

As noted above, the stormwater system will be designed to remove a minimum 80% of the TSS, and will be designed in full compliance with the Massachusetts Stormwater Handbook and Stormwater Standards to ensure protection to water quality.

38. *Maintain Slope Stability and Prevent Erosion*

Proposed vegetated slopes will be limited to 2 horizontal to 1 vertical, which will be dressed with minimum 6 inches of loam and seeded. Any slope greater than 3 horizontal to 1 vertical will be seeded with hydroseed methods including a tackifier. The existing topography is relatively flat with little need to create large cut or fill slopes requiring special slope protection. Construction period erosion control would be implements and provided in the final definitive subdivision plans.

39. *Conserve Energy*

The proposed development and new home would be new construction meeting the current building codes for energy conservation.

40. *Preserve wetlands*

No wetlands or undisturbed areas within 25 feet of any wetland will be altered as part of the project, and sedimentation and erosion controls will be implemented during construction to mitigate potential temporary impacts.

41. *Preserve wildlife habitats, outstanding ecological or biological features*

The wetland areas onsite and the 25 foot buffer zone will not be altered by the proposed work, which will provide habitat for wildlife in the area. There are no mapped areas of estimated or priority habitats within the project limits.

42. *Protect scenic views*

The proposed project would not block or obstruct any existing scenic views or vistas. The existing frontage along Summer Street is currently developed with a single family home.

43. *Retain natural landscape features*

Existing vegetation will be preserved to the extent feasible, and all vegetation within 25 feet of the wetland will also be preserved.

44. *Design street layouts to facilitate southern orientation of houses.*

The proposed street layout options are limited due to the existing homes, and the street generally runs over the existing common driveway in an east west direction. The proposed home would have sun exposure.

45. *Use curvilinear street patterns*

The proposed street layout options are limited due to the currently existing homes, and the street generally runs over the existing common driveway to limit further land disturbance.

46. *Promote pedestrian and bicycle access and safety*

The size and scope of the subdivision with the addition of one house would not increase the pedestrian and bicycle safety. The existing sidewalk along Summer Street would be maintained and proper access provided across the entrance.

47. *Reduce the number of mature trees to be removed*

Mature trees would be preserved to the maximum extent feasible. Tree preservation would be reviewed in greater detail during the definitive design phase.

48. Provide green belt/buffer areas

A large buffer area would be provided to the rear of the proposed house with the on-site wetlands and power line easement. The other two homes are existing and well established.

49. Preserve historically important structures and features on the site

Not applicable, there are no known historic features on the subject site.

50. Retain natural valley flood storage areas

Not applicable, there are no valley flood storage areas on the subject site.

51. Minimize the extent of waterways altered or relocated

The proposed work will not require any filling of wetlands or waterways.

52. Reduce the volume of cut and fill

The amount of cut and fill has been reduced to the extent feasible. The proposed roadway does not require any large cuts or fills and closely follows the existing grade.

53. Minimize the visual prominence of man-made elements even if necessary for safety or orientation

The majority of the development including the one new home would be located to the rear portion of the lot reducing the visual impact from Summer Street.

54. Minimize municipal maintenance frequency and costs

The proposed project would have minimal effect on municipal services. There would be a net increase in one single family house, and the roadway would remain in private ownership. All future maintenance of the roadway would be the responsibility of the homeowners association.

55. Reduce building site frontages or driveway egresses onto primary or secondary streets

The existing conditions include common driveway access to Summer Street. This location would be utilized as the private road entrance. No new lot frontage on Summer Street would be created, and the three lots would have frontage on the proposed roadway.

LIST OF REQUESTED WAIVERS

- Section 7.6.2.b Waiver to not require installation of an extension of Municipal water within the proposed roadway. Proposed Lot 2 containing the new house would be serviced by an on-site private well.
- Section 7.7.2.p Waiver to allow less than a 30 foot setback from drainage basins to the proposed private road and Lot 1. The 30 foot buffer would be maintained to both Summer Street and the northerly abutter.
- Section 7.7.4.d Waiver from the requirement to install an independent drainage system to collect foundation perimeter drains. The only new house would be on Lot 2. This lot would discharge any foundation drainage the rear of the property away from the roadway.
- Section 7.9.5.a Waiver to allow a minimum center line grade of one percent (1%) to reduce the required earthwork and more closely match the existing conditions.
- Section 7.9.5.c Waiver to allow a vertical curve within the leveling area (not fixed slope). All slopes would be below the maximum 2% threshold.
- Section 7.10.1 & 2 Waiver from the requirement curbs and berms. The project has been proposed with low impact development (LID) grassed swales in place of traditional curbs and gutters.
- Section 7.21 Waiver from installation of additional street lighting. The existing utility pole on Summer Street located 50 feet north of the proposed roadway includes a street light.

Medway Planning and Economic Development Board
Request for Waiver from Subdivision Rules and Regulations
Complete 1 form for each waiver request

Project Name:	Boundary Lane
Property Location:	67-69 Summer Street
Type of Project/Permit:	Definitive Subdivision Plan
<i>Identify the number and title of the relevant Section of the Subdivision Plan Rules and Regulations from which a waiver is sought.</i>	Section 7.6.2.b Utilities: Water Facilities
<i>Summarize the text of the relevant Section of the Rules and Regulations from which a waiver is requested.</i>	Waiver from the requirement to provide Municipal Water facilities within the roadway
<i>What aspect of the Regulation do you propose be waived?</i>	Requirement to provide Municipal Water within roadway.
<i>What do you propose instead?</i>	Private well for the one new house.
<i>Explain/justify the waiver request. Why is the waiver needed? Describe the extenuating circumstances that necessitate the waiver request.</i>	The two existing houses are currently serviced by municipal water from Summer Street, and an existing well is located on Lot 2.
<i>What is the estimated value/cost savings to the applicant if the waiver is granted?</i>	\$42,000.
<i>How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?</i>	Reduced work and disturbance within Summer Street. Maintaining equivalent level of fire protection without the need for additional infrastructure.
<i>What is the impact on the development if this waiver is denied?</i>	Increased cost, disturbance and work in Summer Street and future maintenance cost
<i>What are the design alternatives to granting this waiver?</i>	Providing municipal water main within the roadway.
<i>Why is granting this waiver in the Town's best interest?</i>	Maintaining equivalent level of service without the need for additional infrastructure and future maintenance.
<i>If this waiver is granted, what is the estimated cost savings and/or cost avoidance to the Town?</i>	Future maintenance cost.
<i>What mitigation measures do you propose to offset not complying with this particular Rule/Regulation?</i>	Provide a private well for the new house.
<i>What is the estimated value of the proposed mitigation measures?</i>	\$14,000.
<i>Other Information?</i>	
Waiver Request Prepared By:	Connorstone Engineering Inc.
Date:	8-17-2021
Questions?? - Please contact the Medway PED office at 508-533-3291.	
<i>Updated 10-23-18</i>	

Medway Planning and Economic Development Board
Request for Waiver from Subdivision Rules and Regulations

Complete 1 form for each waiver request

Project Name:	Boundary Lane
Property Location:	67-69 Summer Street
Type of Project/Permit:	Definitive Subdivision Plan
Identify the number and title of the relevant Section of the Subdivision Plan Rules and Regulations from which a waiver is sought.	Section 7.7.2.p Stormwater Management : Procedure
Summarize the text of the relevant Section of the Rules and Regulations from which a waiver is requested.	Waiver to allow less than a 30 foot setback from drainage basin to the interior lot line of Lot 1 and the private way
What aspect of the Regulation do you propose be waived?	The requirement to provide 30 foot setback.
What do you propose instead?	Allow the edge of basin to be within 30 feet of Lot 1.
Explain/justify the waiver request. Why is the waiver needed? Describe the extenuating circumstances that necessitate the waiver request.	The proposed basin has been designed to fit with the existing topography, preserve trees along the roadway and blend into the abutting grades.
What is the estimated value/cost savings to the applicant if the waiver is granted?	\$0
How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	Waiver would allow an "LID" Low Impact Development drainage system that fits with the existing topography and site conditions.
What is the impact on the development if this waiver is denied?	Increased basin depth embankment heights, reduced groundwater recharge, removal of 2 existing street trees.
What are the design alternatives to granting this waiver?	Re-design basin with a lower bottom elevation closer to groundwater and increase berm height.
Why is granting this waiver in the Town's best interest?	More aesthetically pleasing, increased recharge, and the design provides a 30' setback to abutters and Summer St.
If this waiver is granted, what is the estimated cost savings and/or cost avoidance to the Town?	\$0
What mitigation measures do you propose to offset not complying with this particular Rule/Regulation?	Low Impact Development (LID) drainage system .
What is the estimated value of the proposed mitigation measures?	\$0
Other Information?	
Waiver Request Prepared By:	Connorstone Engineering Inc.
Date:	8-17-2021
Questions?? - Please contact the Medway PED office at 508-533-3291.	
<i>Updated 10-23-18</i>	

Medway Planning and Economic Development Board
Request for Waiver from Subdivision Rules and Regulations

Complete 1 form for each waiver request

Project Name:	Boundary Lane
Property Location:	67-69 Summer Street
Type of Project/Permit:	Definitive Subdivision Plan
<i>Identify the number and title of the relevant Section of the Subdivision Plan Rules and Regulations from which a waiver is sought.</i>	Section 7.7.4.d Stormwater Management : Construction
<i>Summarize the text of the relevant Section of the Rules and Regulations from which a waiver is requested.</i>	Waiver from the requirement to install independant drain system in road for foundation perimeter drains
<i>What aspect of the Regulation do you propose be waived?</i>	The requirement to provide foundation drain in road.
<i>What do you propose instead?</i>	Proposed foundation drain to daylight at rear of new house.
<i>Explain/justify the waiver request. Why is the waiver needed? Describe the extenuating circumstances that necessitate the waiver request.</i>	The proposed house (lot 2) would be located downgradient of the roadway and has sufficient elevation to route a foundation drain to the rear of the lot (not toward abutting properties)
<i>What is the estimated value/cost savings to the applicant if the waiver is granted?</i>	\$12,000
<i>How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?</i>	Waiver would allow a foundation drain for the new house while not requiring additional roadway infrastructure.
<i>What is the impact on the development if this waiver is denied?</i>	Installation of unnecessary infrastructure.
<i>What are the design alternatives to granting this waiver?</i>	Install independent drain within the roadway.
<i>Why is granting this waiver in the Town's best interest?</i>	Reduction in unused infrastructure within the roadway.
<i>If this waiver is granted, what is the estimated cost savings and/or cost avoidance to the Town?</i>	\$0
<i>What mitigation measures do you propose to offset not complying with this particular Rule/Regulation?</i>	
<i>What is the estimated value of the proposed mitigation measures?</i>	\$0
<i>Other Information?</i>	
Waiver Request Prepared By:	Connorstone Engineering Inc.
Date:	8-17-2021
Questions?? - Please contact the Medway PED office at 508-533-3291.	
<i>Updated 10-23-18</i>	

Medway Planning and Economic Development Board
Request for Waiver from Subdivision Rules and Regulations
Complete 1 form for each waiver request

Project Name:	Boundary Lane
Property Location:	67-69 Summer Street
Type of Project/Permit:	Definitive Subdivision Plan
Identify the number and title of the relevant Section of the Subdivision Plan Rules and Regulations from which a waiver is sought.	Section 7.9.5.a Streets and Roadways: Grade.
Summarize the text of the relevant Section of the Rules and Regulations from which a waiver is requested.	Waiver to allow a reduced centerline grade.
What aspect of the Regulation do you propose be waived?	The requirement to provide 2% grade.
What do you propose instead?	1% grade.
Explain/justify the waiver request. Why is the waiver needed? Describe the extenuating circumstances that necessitate the waiver request.	Minimize fill needed for road and impact on existing house driveways.
What is the estimated value/cost savings to the applicant if the waiver is granted?	\$16,500 .
How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	Waiver would allow a lower roadway to match the existing condition on the site and save impact on existing house driveways.
What is the impact on the development if this waiver is denied?	Roadway would be higher relative to existing landscape and houses..
What are the design alternatives to granting this waiver?	Provide a raised roadway and driveways.
Why is granting this waiver in the Town's best interest?	Preserves look and feel of existing landscape.
If this waiver is granted, what is the estimated cost savings and/or cost avoidance to the Town?	\$16,500 cost passed on to customers.
What mitigation measures do you propose to offset not complying with this particular Rule/Regulation?	Preserve existing landscape .
What is the estimated value of the proposed mitigation measures?	\$16,500.
Other Information?	
Waiver Request Prepared By:	Connorstone Engineering Inc.
Date:	8-17-2021
Questions?? - Please contact the Medway PED office at 508-533-3291.	
<i>Updated 10-23-18</i>	

Medway Planning and Economic Development Board
Request for Waiver from Subdivision Rules and Regulations
 Complete 1 form for each waiver request

Project Name:	Boundary Lane
Property Location:	67-69 Summer Street
Type of Project/Permit:	Definitive Subdivision Plan
Identify the number and title of the relevant Section of the Subdivision Plan Rules and Regulations from which a waiver is sought.	Section 7.9.5.c Streets and Roadways: Grade.
Summarize the text of the relevant Section of the Rules and Regulations from which a waiver is requested.	Waiver to allow a vertical curve within 100 feet of an intersection.
What aspect of the Regulation do you propose be waived?	The requirement to provide a fixed grade.
What do you propose instead?	Allow a vertical curve (not fixed grade)
Explain/justify the waiver request. Why is the waiver needed? Describe the extenuating circumstances that necessitate the waiver request.	Minimize fill needed for road and better match the existing topography and drainage patterns.
What is the estimated value/cost savings to the applicant if the waiver is granted?	\$3,000.
How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	Waiver would allow the roadway to match the existing topography, and still maintain a maximum grade of 2% or less.
What is the impact on the development if this waiver is denied?	Roadway would be higher relative to existing landscape and houses.
What are the design alternatives to granting this waiver?	Provide a fixed grade and increase the height of the roadway.
Why is granting this waiver in the Town's best interest?	Preserves look and feel of existing landscape.
If this waiver is granted, what is the estimated cost savings and/or cost avoidance to the Town?	\$0
What mitigation measures do you propose to offset not complying with this particular Rule/Regulation?	Preserve existing landscape reduce earthwork.
What is the estimated value of the proposed mitigation measures?	\$0.
Other Information?	
Waiver Request Prepared By:	Connorstone Engineering Inc.
Date:	8-17-2021
Questions?? - Please contact the Medway PED office at 508-533-3291.	
<i>Updated 10-23-18</i>	

Medway Planning and Economic Development Board
Request for Waiver from Subdivision Rules and Regulations
 Complete 1 form for each waiver request

Project Name:	Boundary Lane
Property Location:	67-69 Summer Street
Type of Project/Permit:	Definitive Subdivision Plan
<i>Identify the number and title of the relevant Section of the Subdivision Plan Rules and Regulations from which a waiver is sought.</i>	Section 7.10.1&2 Curbs and Berms
<i>Summarize the text of the relevant Section of the Rules and Regulations from which a waiver is requested.</i>	Waiver from the requirement for curbs and berms.
<i>What aspect of the Regulation do you propose be waived?</i>	The requirement to provide curbs and berms.
<i>What do you propose instead?</i>	Grass swales and waterways.
<i>Explain/justify the waiver request. Why is the waiver needed? Describe the extenuating circumstances that necessitate the waiver request.</i>	Eliminate need for closed drainage system and provide Low Impact Development (LID) drainage
<i>What is the estimated value/cost savings to the applicant if the waiver is granted?</i>	\$9,400.
<i>How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?</i>	Waiver would allow an LID drainage design which is less expensive and provides superior water quality treatment.
<i>What is the impact on the development if this waiver is denied?</i>	Roadway would have curbs, berms and closed drainage.
<i>What are the design alternatives to granting this waiver?</i>	Provide curbs berms and closed drainage system.
<i>Why is granting this waiver in the Town's best interest?</i>	Preserves look and feel of existing landscape and enhances water quality.
<i>If this waiver is granted, what is the estimated cost savings and/or cost avoidance to the Town?</i>	\$0
<i>What mitigation measures do you propose to offset not complying with this particular Rule/Regulation?</i>	Preserve existing landscape and provide water quality swales .
<i>What is the estimated value of the proposed mitigation measures?</i>	\$0.
<i>Other Information?</i>	
Waiver Request Prepared By:	Connorstone Engineering Inc.
Date:	8-17-2021
Questions?? - Please contact the Medway PED office at 508-533-3291.	
<i>Updated 10-23-18</i>	

Medway Planning and Economic Development Board
Request for Waiver from Subdivision Rules and Regulations
Complete 1 form for each waiver request

Project Name:	Boundary Lane
Property Location:	67-69 Summer Street
Type of Project/Permit:	Definitive Subdivision Plan
<i>Identify the number and title of the relevant Section of the Subdivision Plan Rules and Regulations from which a waiver is sought.</i>	Section 7.21 Street Lighting
<i>Summarize the text of the relevant Section of the Rules and Regulations from which a waiver is requested.</i>	Waiver from the requirement for street lighting.
<i>What aspect of the Regulation do you propose be waived?</i>	The requirement to provide street lighting.
<i>What do you propose instead?</i>	Retain existing street light on Summer Street
<i>Explain/justify the waiver request. Why is the waiver needed? Describe the extenuating circumstances that necessitate the waiver request.</i>	The proposed road is a private driveway and full street lighting is not necessary or desired. There is an existing street light on Summer Street 50 feet away.
<i>What is the estimated value/cost savings to the applicant if the waiver is granted?</i>	\$30,000.
<i>How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?</i>	Waiver would allow an existing level of lighting at the intersection and along the private drive. Additional lighting is considered to be detrimental to the environment.
<i>What is the impact on the development if this waiver is denied?</i>	Roadway would have street lights and increased illumination.
<i>What are the design alternatives to granting this waiver?</i>	Retain existing level of lighting.
<i>Why is granting this waiver in the Town's best interest?</i>	Preserves look and feel of existing landscape and reduces energy consumption.
<i>If this waiver is granted, what is the estimated cost savings and/or cost avoidance to the Town?</i>	\$0
<i>What mitigation measures do you propose to offset not complying with this particular Rule/Regulation?</i>	Preserve existing levels of lighting.
<i>What is the estimated value of the proposed mitigation measures?</i>	\$0
<i>Other Information?</i>	
Waiver Request Prepared By:	Connorstone Engineering Inc.
Date:	8-17-2021
Questions?? - Please contact the Medway PED office at 508-533-3291.	
<i>Updated 10-23-18</i>	

Board Members

Matthew J. Hayes, P.E., Chair
Robert Tucker, Vice Chair
Richard Di Iulio, Clerk
Jessica Chabot, Member
Sarah Raposa, A.I.C.P., Member
Thomas A. Gay, Associate
Member



Medway Town Hall
155 Village Street
Medway, MA 02053
Phone (508) 533-3291
Fax (508) 321-4987
Email: planningboard@townofmedway.org
www.townofmedway.org

TOWN OF MEDWAY COMMONWEALTH OF MASSACHUSETTS PLANNING AND ECONOMIC DEVELOPMENT BOARD

May 16, 2022

ABUTTER NOTICE of PUBLIC HEARING **Boundary Lane Definitive Subdivision Plan** **67R and 69 Summer Street**

In accordance with the provisions of Chapter 41, Section 81A – 81GG, Massachusetts General Laws and the Planning and Economic Development Board's *Rules and Regulations for the Review and Approval of Land Subdivisions*, notice is given that the Planning & Economic Development Board will conduct a ***public hearing on Tuesday, June 14, 2022 at 7:15 p.m. on the application of Zachary Lindsey et ux. of Medway, MA for approval of a definitive subdivision plan to create a 3 lot subdivision from two properties located at 67R and 69 Summer Street. The hearing will take place in Sanford Hall at Medway Town Hall, 155 Village Street, Medway, MA. The meeting room is accessible via elevator for individuals with physical disabilities.***

The property owners are Linda Lindsey (69 Summer Street – 9.77 acres) and David & Renee Sistrand (67 Summer Street - 1.61 acres). The combined 11.38 acre site (*Medway Assessors Map 37, Parcels 033 and 036*) is located on the west side of Summer Street near the Summer Street/Highland Street intersection in the Agricultural Residential I zoning district.

The *Definitive Subdivision Plan of Boundary Lane* is dated August 20, 2021, last revised February 17, 2022 and was prepared by Connorstone Engineering, Inc. of Northborough, MA. The plan shows the reorganization of the subject properties into three residential lots, one lot with the existing house at 67 Summer Street, one lot with the existing house at 69 Summer Street, and a new lot for construction of a single family house. All properties will have frontage on an approximately 260' long, permanent private road to be known as Boundary Lane.

You are receiving this notice as you are the record owner of property located within 300' of the subject site or you are a party in interest. This is the only written notice you will receive about the public hearing.

OVER 

The application, subdivision plan and supporting documentation are available at the offices of the Medway Town Clerk and the Planning and Economic Development Board at Medway Town Hall, 155 Village Street and may be inspected during regular office hours. The documents will also be posted at the Board's web page at: <https://www.townofmedway.org/planning-economic-development-board/pages/current-applications-pedb-0>

Interested persons or parties are invited to review the plan, attend the public hearing, and express their views. Written comments may be forwarded to the Board or emailed to: planningboard@townofmedway.org. Questions may be directed to the Planning and Economic Development office at 508-533-3291.

Matthew J. Hayes
Chairman

Legal ad to be published in the Milford Daily News on:

- Monday, May 31, 2022
- Tuesday, June 7, 2022

Susan Affleck-Childs

From: Courtney Murray Marshall, M.Ed. <8cmurray@gmail.com>
Sent: Monday, May 23, 2022 8:02 PM
To: Planning Board
Subject: [External] Abutter to 67R & 69 Summer Street

Medway Planning and Economic Development Board

We are fortunate enough to be abutters to the Lindsey and Sistrand Families. As lifelong members of the Medway community, we would like to support Zachary Lindsey and the 67R & 69 Summer Street project. Having gone through the same process to build Trail Drive, we understand how important it is to support current Medway community members that are trying to stay and develop their family's land. We look forward to the development of the former "Brown Family Farm" land on Summer Street.

Thank you,

Courtney L Murray Marshall, M.Ed. and Andy J Marshall (2 Trail Drive, Medway, MA)

Matthew W Marshall (3 Trail Drive, Medway, MA)

Wayne E Marshall and Sheila A Marshall (65 Summer Street, Medway, MA)



June 8, 2022

Ms. Susan E. Affleck-Childs
Medway Planning and Economic Development Coordinator
Medway Town Hall
155 Village Street
Medway, MA 02053

**Re: 67R-69 Summer Street (Boundary Lane)
Definitive Subdivision Review (Permanent Private Way)
Medway, Massachusetts**

Dear Ms. Affleck-Childs:

Tetra Tech (TT) has performed a review of the proposed Site Plan for the above-mentioned Project at the request of the Town of Medway Planning and Economic Development Board (PEDB). The proposed Project is located at 67R-69 Summer Street in Medway, MA. Proposed Project includes the development of a 3-lot residential subdivision, appurtenant roadway, utilities, and stormwater drain infrastructure.

TT is in receipt of the following materials:

- A plan set (Plans) titled "Definitive Subdivision Plan, 'Boundary Lane' in Medway, Massachusetts", dated August 20, 2021, revised February 17, 2022, prepared by Connorstone Engineering, Inc (CEI).
- An Application for Approval of a Definitive Subdivision Plan, dated April 28, 2022.

The Plans and accompanying materials were reviewed for conformance with the following regulatory documents:

- Town of Medway Planning & Economic Development Board Rules and Regulations, Chapter 100 – Land Subdivision, Rules and Regulations for the Review and Approval of Land Subdivisions. (Adopted April 26, 2005)

The Project was also reviewed for good engineering practice and overall plan efficiency. Review of the Project for zoning related matters is being conducted by Town personnel and is excluded from this review.

DEFINITIVE SUBDIVISION REVIEW

Land Subdivision Rules and Regulations (Chapter 100)

1. The Applicant has not supplied the required ANRAD determination from the Medway Conservation Commission (Conservation). (Ch. 100 §5.5.14)
2. A Certified List of Abutters within seven hundred feet (700') of the boundaries of the land shown in the subdivision has not been provided. In the application package, it appears that the Certified List of Abutters was forwarded to PEDB by the Assessor's Office on 4/15/2022. (Ch. 100 §5.7.5)
3. The Applicant shall confirm whether the sewer from existing dwelling #67R ties into the 12" PVC sewer on-site or if the dwelling has its own septic system. Means of sewer disposal/treatment for the existing dwelling shall be displayed on the Existing Conditions Plan. (Ch. 100 §5.7.9)
4. Location of the minimum lines of building setback (front, side and rear yard depths) as required by the Zoning By-Law is not shown on the Plans. The calculation of the lot shape factor shall also be provided for each lot. (Ch. 100 §5.7.14)
5. Existing topographic data shall extend at least 20 feet beyond the Project's property boundaries. (Ch. 100 §5.7.21)

6. Provisions for street lighting have not been proposed. (Ch. 100 §5.7.28)
7. The Project meets the threshold of the Town of Medway Article XXVI - Stormwater Management and Land Disturbance Bylaw and will be required to address items listed in the Subdivision Regulations under the Bylaw. It should be noted that the Project was reviewed for compliance with this Bylaw during the Applicant's permitting process with the Medway Conservation Commission. (Ch. 100 §7.3.1)
8. Water mains, with hydrants, valves, and other fittings, shall be proposed on-site to provide adequate water supply for domestic and fire protection uses. A waiver has been requested from this Regulation. (Ch. 100 §7.6.2.b)
9. The Applicant is proposing one well to supply water for the dwellings on Lot 2 and Lot 3. The Applicant shall confirm, through testing that the well can support both dwellings. We anticipate this will be closely monitored during the Applicant's expected permitting process with the Medway Board of Health. (Ch. 100 §7.6.2.c)
10. Sewer services shall be constructed and installed within the subdivision as necessary to provide all lots therein adequate municipal sewer service. Existing dwelling #67R does not appear to have a proposed sewer connection to the municipal sewer service. Refer to Comment #3 for confirmation of existing sewer treatment for dwelling #67R. (Ch. 100 §7.6.2.d)
11. The proposed dwelling at Lot 2 does not appear to have a gas service connection. Gas mains shall be installed if gas connection is available. (Ch. 100 §7.6.2.f)
12. The Applicant has not proposed a spare conduit for the proposed electric/tel/data installation. (Ch. 100 §7.6.2.h)
13. Proposed Stormwater Basin is located within 30 feet from its parcel line. A waiver has been requested from this Regulation (Ch. 100 §7.7.2.p)
14. An independent drainage system to collect and discharge subsurface runoff from the foundation perimeter drains has not been provided for all dwellings along Boundary Lane. A waiver has been requested from this regulation. (Ch. 100 §7.7.4.d)
15. The Applicant has not supplied curb radii at roadway intersection with Highland Street. (Ch. 100 §7.9.2.d)
16. The centerline grade of the roadway is less than two percent along its length. A waiver has been requested from this regulation. (Ch. 100 §7.9.5.a)
17. A level slope area is required for the first 100-feet of roadway. The proposed roadway changes grade within the first 100-feet. A waiver has been requested from this Regulation. (Ch. 100 §7.9.5.c)
18. The Applicant shall confirm with the Fire Chief that the proposed turnaround at the end of Boundary Lane is adequate for emergency vehicles. Turnarounds shall be designed as a cul-de-sac turnaround or a hammerhead (T-shaped) turnaround. (Ch. 100 §7.9.6.e)
19. Vertical granite curbing shall be installed at the intersection of the development roadway and Summer Street. A waiver has been requested from this Regulation. (Ch. 100 §7.10.1)
20. Curbing shall be provided for the full length of all streets along each side of the roadway. The proposed roadway for the Project is superelevated and utilizes country drainage to convey stormwater to the proposed Stormwater Basin. A waiver has been requested from this regulation (Ch. 100 §7.10.2)
21. The Applicant has not proposed street lighting and should coordinate with Medway Public Safety Officer to determine if they are required. A waiver has been requested from this Regulation. (Ch. 100 §7.21)

General Comments

22. TT recommends test pitting be performed to locate the existing water service to Lot 1 as it enters the limits of the proposed Stormwater Basin to ensure the service will not be damaged during clearing, grubbing, and excavation activities.

23. The Applicant shall coordinate with the PEDB and Medway Public Safety Officer to determine if a painted "STOP" and stop line are required at the intersection of the development roadway and Summer Street.
24. Provide a sewer service connection detail, electric/tel/data trench detail, reinforced concrete bound detail and sign installation detail on the Plans.

These comments are offered as guides for use during the Town's review and additional comments may be generated during the course of review. The applicant shall be advised that any absence of comment shall not relieve him/her of the responsibility to comply with all applicable local, state and federal regulations for the Project. If you have any questions or comments, please feel free to contact us at (508) 786-2200.

Very truly yours,



Steven M. Bouley, P.E.
Project Manager



Bradley M. Picard, E.I.T.
Civil Engineer

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