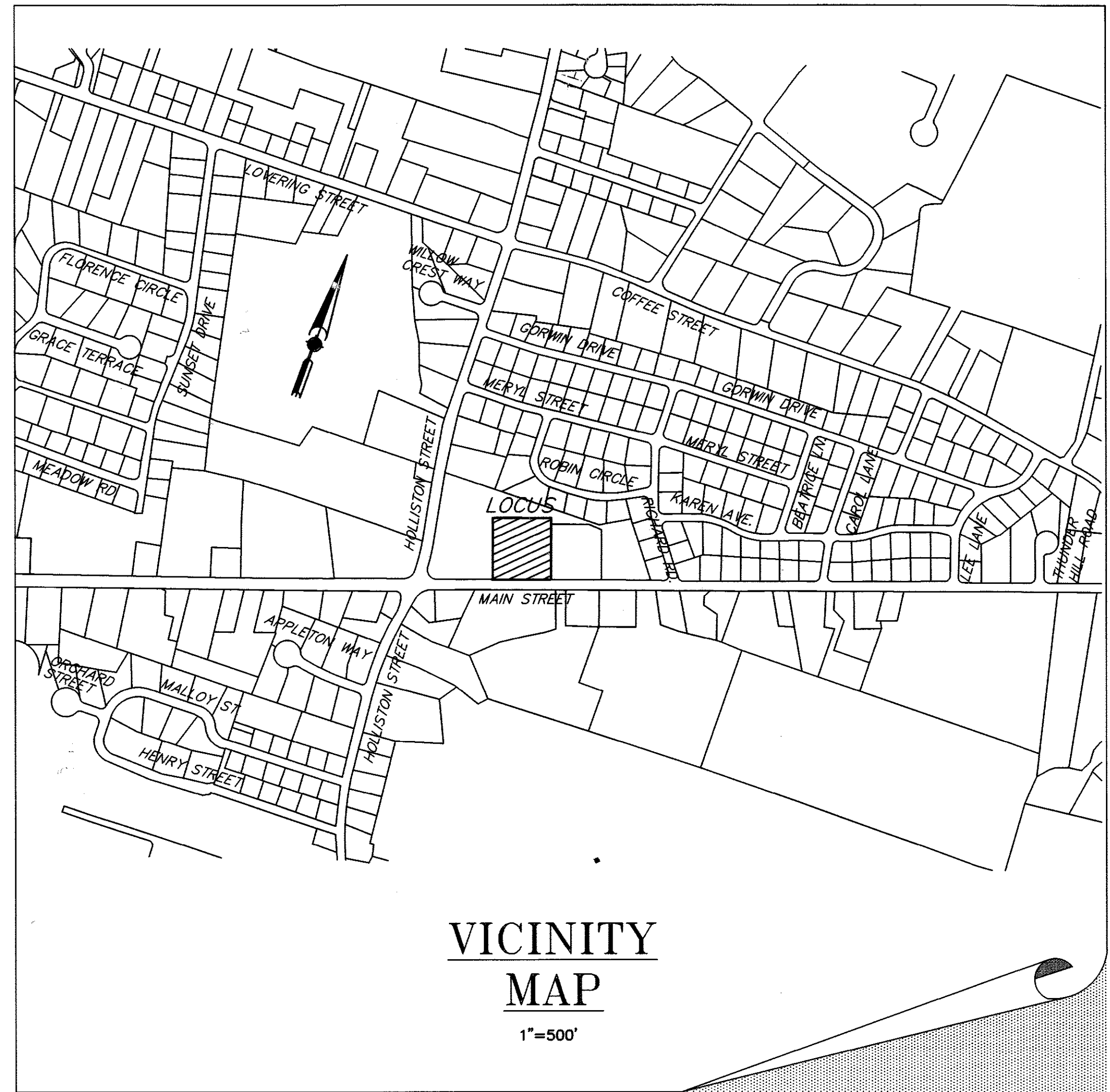


SITE PLAN
86 HOLLISTON STREET
MEDWAY
MASSACHUSETTS
FINAL REVISION: OCTOBER 25, 2022

INDEX

1. COVER SHEET
 2. ABUTTER SHEET
 3. EXISTING CONDITIONS
 4. EROSION CONTROL
 5. PROPOSED SITE LAYOUT
 6. GRADING PLAN
 7. UTILITY PLAN
 8. LANDSCAPING PLAN
 9. CONSTRUCTION DETAILS
 10. CONSTRUCTION DETAILS
 11. CONSTRUCTION DETAILS
 12. CONSTRUCTION DETAILS
 13. OPERATION AND MAINTENANCE PLAN
- PHOTOMETRIC PLAN (BY OTHERS)
- ARCHITECTURAL PLANS (BY OTHERS)



APPROVED WAIVERS:

WAIVERS APPROVED BY THE TOWN OF MEDWAY PLANNING BOARD
RULES AND REGULATIONS CHAPTER 200

ARTICLE IV MAJOR SITE PLAN REVIEW

1. SECTION 204-5 B SITE CONTEXT SHEET- PLAN SET INCLUDES A VICINITY MAP PROVIDING PARCELS WITHIN 2,000 FEET OF SITE IN LIEU OF A SITE CONTEXT SHEET.
2. SECTION 204-5 D.8.A LANDSCAPE PLAN- TO ALLOW THE LANDSCAPE PLAN BE PREPARED BY A NON-REGISTERED LANDSCAPE ARCHITECT.
3. SECTION 204-5 D.14 MASTER SIGNAGE PLAN - TO ALLOW THE MASTER SIGNAGE PLAN BE SUBMITTED FOR REVIEW PRIOR TO ISSUANCE OF AN CERTIFICATE OF OCCUPANCY.

ARTICLE VII DEVELOPMENT STANDARDS

1. SECTION 207-9 B.1 TO ALLOW A PORTION OF THE FRONT FASCADIE SIDEWALK WIDTH TO BE REDUCED TO FIVE FEET WIDE WHERE 7 FEET WOULD BE REQUIRED.
2. SECTION 207-12 G.3.A TO ALLOW PARKING SPACES WITHIN 20FT. OF A BUILDING ENTRANCE.
3. SECTION 207-19 B.2 TO ALLOW REDUCED LANDSCAPE BUFFERS AT THE WEST AND EAST PROPERTY BOUNDARIES.
4. SECTION 207-19 C.1.D. TO ALLOW SHADE TREES WHERE POSSIBLE THAT DO NOT INTERFERE WITH THE REQUIRED UNDERGROUND UTILITIES AND STORMWATER DRAINAGE.

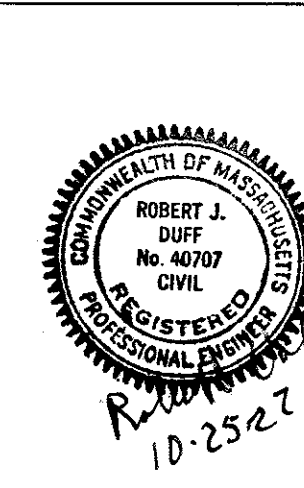
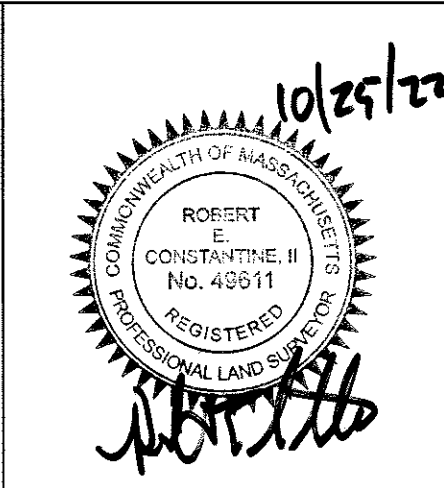
ZONING BYLAWS SECTION 10 CENTRAL BUSINESS DISTRICT DEVELOPMENT STANDARDS

1. SECTION 2.D.2 A OFF STREET PARKING REQUIREMENTS- TO ALLOW ADDITIONAL OFF STREET PARKING SPACES GREATER THAN THE MIN./MAX. REQUIRED BY REQUEST OF A WAIVER FROM THE PLANNING AND ECONOMIC DEVELOPMENT BOARD.

SPECIAL PERMITS:

SPECIAL PERMITS APPROVED THROUGH PLANNING BOARD:

1. ZONING BYLAWS SECTION 5.6.3 GROUNDWATER PROTECTION DISTRICT TO ALLOW IMPERVIOUS COVERAGE IN EXCESS OF 15% OR 2500 SF. WHICHEVER IS GREATER, WITHIN A GROUNDWATER PROTECTION DISTRICT.
2. ZONING BYLAWS SECTION 10 CENTRAL BUSINESS DISTRICT DEVELOPMENT STANDARDS SECTION 2.D.2 C PARKING PLACEMENT OFF STREET PARKING AND LOADING TO ALLOW PARKING WITHIN THE FRONT YARD SETBACK BETWEEN A PUBLIC STREET AND THE STREET FACING FASCADIE OF A PRIMARY BUILDING HAVING A SETBACK GREATER THAN 20 FEET FROM THE STREET LINE AND STREETSCAPE TREATMENT.
3. ZONING BYLAWS SECTION 10 CENTRAL BUSINESS DISTRICT DEVELOPMENT STANDARDS SECTION 2.D.2.C PARKING PLACEMENT- TO ALLOW VEHICULAR PARKING BETWEEN THE FRONT BUILDING LINE AND THE STREET RIGHT OF WAY LINE.
4. ZONING BYLAWS SECTION 10 CENTRAL BUSINESS DISTRICT DEVELOPMENT STANDARDS SECTION 4.C.2 TO ALLOW AN ALTERNATIVE BUILDING TYPE OTHER THAN ONE OF THE BUILDING TYPES SPECIFICALLY ALLOWED BY ISSUANCE OF A SPECIAL PERMIT.



I, STEFANY OHANNESIAN, CLERK OF THE TOWN OF MEDWAY, RECEIVED AND RECORDED FROM THE PLANNING BOARD DECISION APPROVAL OF THIS PLAN ON Sept. 27, 2022 AND NO APPEAL WAS TAKEN FOR TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SAME.

Stefany Ohannesian 10/25/22
TOWN CLERK DATE

APPROVED BY THE TOWN OF MEDWAY
PLANNING & ECONOMIC DEVELOPMENT BOARD
DECISION APPROVAL DATE: SEPTEMBER 27, 2022
PLAN ENDORSEMENT DATE: OCTOBER 25, 2022

[Signature]
[Signature]
[Signature]

BOARD MEMEBER DATE

LEGAL NOTES

UTILITIES ARE PLOTTED AS A COMPILATION OF RECORD DOCUMENTS, MARKINGS AND OTHER OBSERVED EVIDENCE TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES AND SHOULD BE CONSIDERED APPROXIMATE. PRIOR TO EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DEPICTED. ADDITIONAL UTILITIES, NOT EVIDENCED BY RECORD DOCUMENTS OR OBSERVED PHYSICAL EVIDENCE, MAY EXIST. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING AND CALL DIGSAFE AT 1(888)DIG-SAFE(7233).

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

OWNER

FREIL REALTY II, LLC
DEED BOOK 27992 PAGE 300
PLAN BK. 515, PG 721 OF 2003
A.M. 41 LOT 8

APPLICANT

LOBISSER COMPANIES
1 CHARLESVIEW ROAD
HOPEDALE, MA 01747

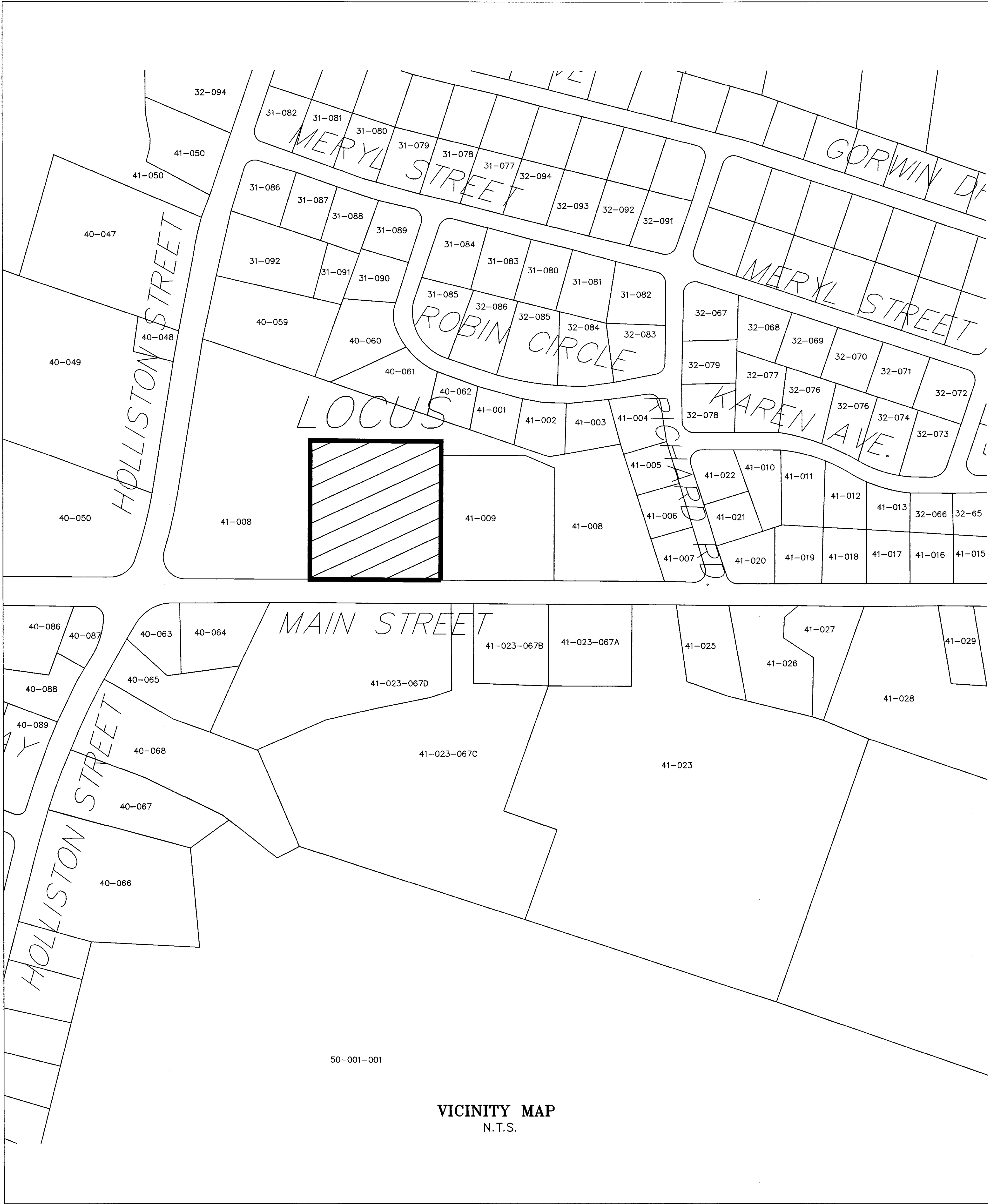
SITE PLAN
86 HOLLISTON STREET
MEDWAY
MASSACHUSETTS

COVER SHEET

APRIL 14, 2022

DATE	REVISION DESCRIPTION
6/29/2022	REVISED PER TOWN COMMENTS
7/25/2022	REVISED PER TOWN COMMENTS
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Guerriere & Halnon, Inc.
ENGINEERING & LAND SURVEYING
55 WEST CENTRAL ST. PH. (508) 528-3221
FRANKLIN, MA 02038 FX. (508) 528-7921
www.gandhengineering.com



OWNER(S)/ASSESSOR INFORMATION:

PARCEL IDS:

41-007 DEIDRE O'DONNELL
64 MAIN ST.
MEDWAY, MA.

40-049
FREIL REALTY II, LLC.
86 HOLLISTON ST.
MEDWAY, MA.

40-088
LOK CHING NOMINEE TRUST
6 HAVEN WAY
HOPEDALE, MA.

31-092
JAMES M. CASSIDY
90 HOLLISTON ST.
MEDWAY, MA.

40-063
P & A REALTY TRUST
82 HOLLISTON ST.
MEDWAY, MA.

41-027
SEAN M. CURRIVAN TRUSTEE
36 ELLIS ST.
MEDWAY, MA.

40-050
CHARLES RIVER BANK
70 MAIN ST.
MEDWAY, MA.

41-10
REBECCA L. PURCELL
4 KAREN AVE.
MEDWAY, MA.

40-061
DAVID J. MCWHINNIE
11 ROBIN CIRCLE
MEDWAY, MA.

40-047
HERISTON PINTO
91 HOLLISTON ST.
MEDWAY, MA.

31-090
CHARLES J. DUDDY JR.
15 ROBIN CIRCLE
MEDWAY, MA.

41-021
ANGELO MUCCI TRUSTEE
2 RICHARD RD.
MEDWAY, MA.

32-086
GEORGE M. FASOLINO
8 ROBIN CIRCLE
MEDWAY, MA.

32-067
MICHAELS TRAINOR
10 RICHARD RD.
MEDWAY, MA.

40-059
FREIL REALTY II, LLC
86 HOLLISTON ST.
MEDWAY, MA.

40-064
NORMAN W. GREEN REALTY TRUST
71 MAIN ST.
MEDWAY, MA.

41-023
HIDDEN ACRES REALTY I, LLC
1371 OAKLAND BLVD.
WALNUT CREEK, CA.

41-023-067
HIDDEN ACRES REALTY I, LLC.
(67 C MAIN ST)
75 HOLLYHILL LANE
GREENWICH, CT.

32-085
CHRISTOPHER A. ANTHONY
6 ROBIN CIRCLE
MEDWAY, MA.

41-022
ERIC H. KESSLER
4 RICHARD RD.
MEDWAY, MA.

OWNER(S)/ASSESSOR INFORMATION:

PARCEL IDS:

32-079
KATHLEEN A. BUXTON
8 RICHARD RD.
MEDWAY, MA.

32-082
ALAN J. MEISTER
9 RICHARD RD.
MEDWAY, MA.

41-023-067
(67 A MAIN ST)
HIDDEN ACRES REALTY I, LLC.
75 HOLLY HILL LANE
GREENWICH, CT.

41-023-067
(67 B MAIN ST.)
HIDDEN ACRES REALTY I, LLC.
PO BOX 902
SPENCER MA.

31-085
JOSEPH J. LATOSEK JR.
10 ROBIN CIRCLE
MEDWAY, MA.

41-023-067
(67 D MAIN ST.)
HIDDEN ACRES REALTY I, LLC.
ONE CVS DRIVE
WOONSOCKET, RI.

31-091
CHARLES J. DUDDY JR.
15 ROBIN CIRCLE
MEDWAY, MA.

41-25
FREIL REALTY I, LLC.
86 HOLLISTON ST.
MEDWAY, MA.

32-083
DIANE PRIDE
2 ROBIN CIRCLE
MEDWAY, MA.

41-004
SYDNEY LAMPKE
5 RICHARD RD.
MEDWAY, MA.

41-020
SAMUEL S. TORREY JR.
62 MAIN ST.
MEDWAY, MA.

40-086
CHEN DE XIANG TRUSTEE
6 HAVEN WAY
HOPEDALE, MA.

32-078
(1 KAREN AVE)
MARGARET A. LE COADY
7539 DANVERS CIRCLE
PORT CHARLOTTE, FL.

32-084
RYAN P. SULLIVAN
4 ROBIN CIRCLE
MEDWAY, MA.

40-048
FREIL REALTY II, LLC.
86 HOLLISTON ST.
MEDWAY, MA.

41-026
SEAN M. CURRIVAN
59 MAIN ST.
MEDWAY, MA.

40-066
(74 HOLLISTON ST.)
HIDDEN ACRES REALTY I, LLC.
75 HOLLY HILL LANE
GREENWICH, CT.

41-019
WILLIAM MCCAUL
60 MAIN ST.
MEDWAY, MA.

31-084
JOHN K. SPURLING
16 ROBIN CIRCLE
MEDWAY, MA.

OWNER(S)/ASSESSOR INFORMATION:

PARCEL IDS:

32-81
JAMES F. CASSIDY
14 MERYL ST.
MEDWAY, MA.

40-065
WHITE PEARL LLC.
76 HOLLISTON ST.
MEDWAY, MA.

40-87
AOUDE GAS & REPAIRS
73 MAIN ST.
MEDWAY, MA.

40-062
ROBERT G. COLLINS
9 ROBIN CIRCLE
MEDWAY, MA.

40-060
EDGAR E. DOCHERTY
13 ROBIN CIRCLE
MEDWAY, MA.

41-003
EDITH E. CULLEN
3 ROBIN CIRCLE
MEDWAY, MA.

41-001
MARILYN E. SMITH
7 ROBIN CIRCLE
MEDWAY, MA.

41-011
ERIKA R. LEGER
6 KAREN AVE.
MEDWAY, MA.

41-009
(69 MAIN ST)
FREIL REALTY II, LLC.
PO BOX 1159
DEERFIELD, IL.

41-002
AUTUMN RICHARD
5 ROBIN CIRCLE
MEDWAY, MA.

41-005
CLIFFORD M. LANDER
3 RICHARD ROAD
MEDWAY, MA.

32-077
ELOISE C. THIBAUT
3 KAREN AVE
MEDWAY, MA.

31-099
(9 LOVERING ST.)
TOWN OF MEDWAY
155 VILLAGE STREET
MEDWAY, MA.

41-006
KEVIN D. MULLER
1 RICHARD ROAD
MEDWAY, MA.

APPROVED BY THE TOWN OF MEDWAY
PLANNING & ECONOMIC DEVELOPMENT BOARD

BOARD MEMBER DATE

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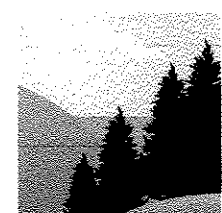
LOBISSER COMPANIES
1 CHARLESVIEW ROAD
HOPEDALE, MA 01747

SITE PLAN
86 HOLLISTON STREET
MEDWAY
MASSACHUSETTS

ABUTTER SHEET

APRIL 14, 2022



















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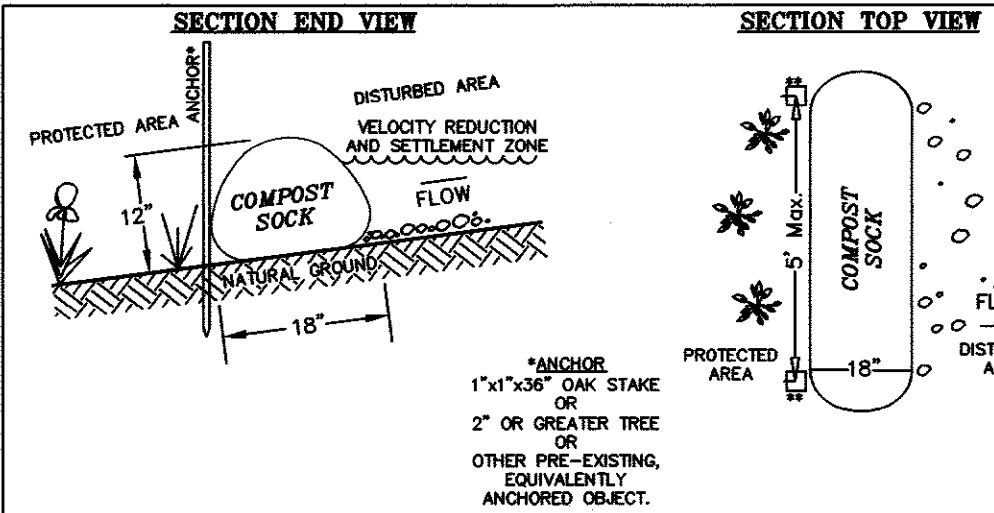
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www.gandhengineering.com

	<u>REQUIRED</u>
MIN. LOT AREA	10,000 SF
MIN. LOT FRONTAGE	NA †
<u>MIN. YARD SETBACKS</u>	
FRONT	10 FT
SIDE	10 FT 25 FT*
REAR	25 FT
STRUCTURE COVERAGE	80%
MAXIMUM IMPERVIOUS COVERAGE	NA
MINIMUM OPEN SPACE	15%

	CATCH BASIN		LIGHT POLE
	DRAIN MANHOLE		UTILITY POLE
	ELECTRIC MANHOLE		GUY WIRE
	SEWER MANHOLE		SIGN
	MANHOLE		WETFLAG
	GAS VALVE		UTILITY POLE
	GAS SHUT OFF VALVE		PROP. STREET LIGHTING
	WATER VALVE		
	WATER SHUT OFF VALVE	X 000.0	SPOT ELEVATION
	FIRE HYDRANT		RIPRAP
—— 000 ———		EXISTING CONTOUR	
—— D ———		EXISTING DRAIN LINE	
—— W ———		EXISTING WATER LINE	
— X — X — X — X — X —		EXISTING FENCE	
— X — — — — —		FLOOD ZONE X— MINIMAL RISK AREA	
—— WPD2 ———		ZONE 2 WELLHEAD PROTECTION DISTRICT	

SHEET 3 OF 13	JOB NO. F4516
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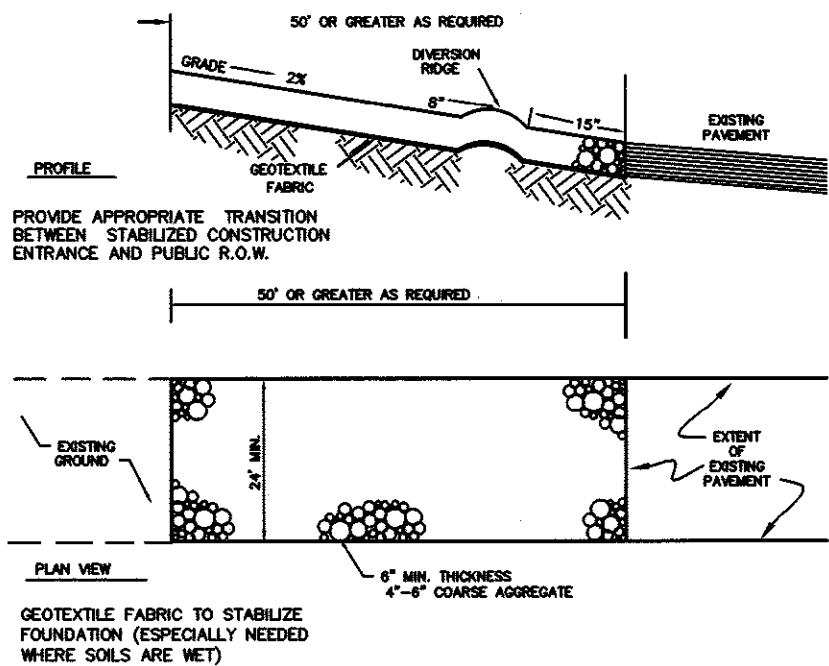


COMPOST SOCK COMPONENTS:
OUTSIDE CASING: 100% organic heather.
FILLER INGREDIENT: FiberRoot Mulch™
• A blend of coarse and fine compost and shredded wood.
• Particle sizes: 100% passing a 3" screen; 90-100% passing a 1" screen; 70-100% passing a 0.75" screen; 30-75% passing a 0.25" screen.
• Weight: Approx. 850 lbs./cu.yd. (Ave. 30 lbs./l.f.)

COMPOST SOCK INSTALLATION:
With the newest technology and equipment, sections can be constructed on site in lengths from 1' to 100'.
Sections can also be delivered to the site in lengths from 1' to 8'.
The flexibility of COMPOST SOCK allows it to conform to any contour or terrain while holding a slightly oval shape at 12" high by 18" wide.
Where section ends meet, there shall be an overlap of 6" or greater. Both sides shall be anchored (oak stakes, trees, etc.) to stabilize the union. No additional anchors are required on slopes less than 2:1. **Additional anchors are required at 5' intervals (max.) on the downslope or protected side on slopes greater than 2:1 to prevent movement.

COMPOST SOCK DETAIL

NOT TO SCALE



STABILIZED CONSTRUCTION ENTRANCE

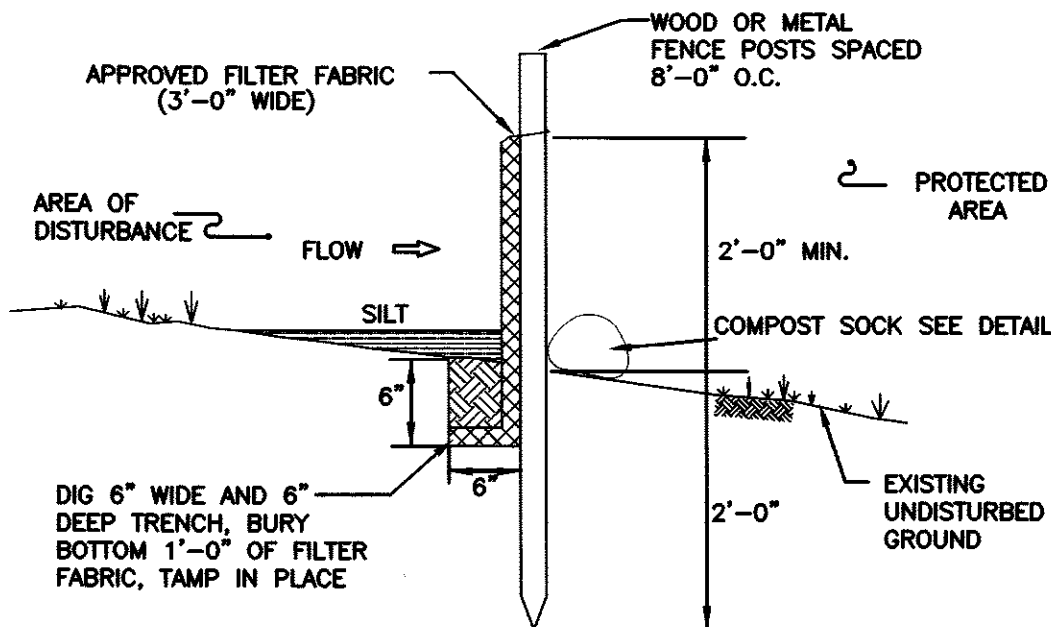
EROSION CONTROL

AND DRAINAGE CONSTRUCTION PHASING

1. INSTALL EROSION CONTROL DEVICES ALONG PERIMETER OF SITE WHERE SHOWN.
2. INSTALL CONSTRUCTION ENTRANCE AND TEMPORARY DIVERSION SWALE.
3. SITE TO BE CLEARED AND GRUBBED.
4. INSTALL SLOPE MATTING TO STABILIZE SLOPES (IF APPLICABLE)
5. INSTALL DRAINAGE MANHOLES AND CATCHBASINS AND ENSURE TEMPORARY COVER IS IN PLACE.
6. INSTALL ALL DRAINAGE RISERS, GRATES AND COVERS
7. REMOVE CONSTRUCTION ENTRANCES.
8. UPON ALL CATCHMENT STRUCTURES AND MITIGATION FEATURES BECOMING OPERATIONAL, INSTALL PAVEMENT TO BINDER FINISH GRADE. PAVER TO PROVIDE TEMPORARY ASPHALT BERM ON BOTH SIDES OF PROPOSED PAVED AREAS. EROSION CONTROL MEASURES BACKED BY CRUSHED STONE TO BE PROVIDED ON DOWN GRADIENT SIDE OF CATCH BASINS TO DIRECT WATER TO TEMPORARY BASIN.
9. REMOVE TEMPORARY SEDIMENTATION BASIN AND FOREBAY AFTER SITE HAS BEEN STABILIZED AND PREPARED FOR BUILDING FOUNDATION INSTALLATION.
10. EROSION CONTROL AND TEMPORARY DIVERSION SWALE TO REMAIN IN PLACE UNTIL ALL DRAINAGE IS CONSTRUCTED AND INSPECTED AND READY TO RECEIVE FULL DESIGN FLOWS.

GENERAL NOTES:

1. SPECIAL CONSIDERATION FOR INLET CONTROLS FOR EROSION COLLECTION BEFORE ENTERING DRAINAGE SYSTEM.
2. INSTALL SILT SACKS IN ALL EXISTING CATCH BASINS WITHIN THE AREA OF WORK.
3. INSTALL BARRIER AROUND CATCH BASIN, COMPOST SOCK OR EQUAL.
4. INSTALL FILTER FABRIC ON ALL DRAIN MANHOLE OUTLETS DISCHARGING TO INFILTRATION SYSTEM.
5. INSPECTIONS BEFORE AND AFTER STORM EVENTS ARE REQUIRED TO INSURE ADEQUACY OF EROSION CONTROL MEASURES.
6. ALL EXISTING STRUCTURES TO BE RAZED.
7. STOCK PILE AREA TO BE CONTAINED USING EROSION CONTROL DEVICES
8. DIRT BAG SHALL BE USED TO PERIODICALLY CLEAN THE TEMPORARY SEDIMENTATION BASINS DURING CONSTRUCTION.
9. A CONSTRUCTION FENCE SHALL BE PLACED AROUND THE PERIMETER OF THE SITE.
10. SOILS UNDERLYING THE SITE ARE DEFINED AS MAP UNITS 260B SUDBURY FINE SANDY LOAM (HSG B), 254B MERRIMAC FINE SANDY LOAM (HSG A), 300B MONTAUK FINE SANDY LOAM (HSG C), AND 310B WOODBRIDGE FINE SANDY LOAM (HSG C/D).
11. THE PROJECT RESULTS IN A NET FILL OF SOILS OF APPROXIMATELY 5,400 CY. ALL IMPORTED MATERIAL SHALL BE TESTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE TOWN OF MEDWAY.



1. PLACE SILT FENCE AT LOCATIONS AS SHOWN ON THE GRADING AND DRAINAGE PLAN.
2. SILT FENCE SHALL BE INSTALLED SO WATER CANNOT BYPASS THE FENCE AROUND THE SIDES.
3. INSPECTION SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE AS PROMPTLY AS POSSIBLE.
4. SILT FENCE SHALL REMAIN IN PLACE FOR THE DURATION OF THE PROJECT UNLESS OTHERWISE INSTRUCTED BY THE CONSERVATION COMMISSION.

SILT FENCE EROSION CONTROL

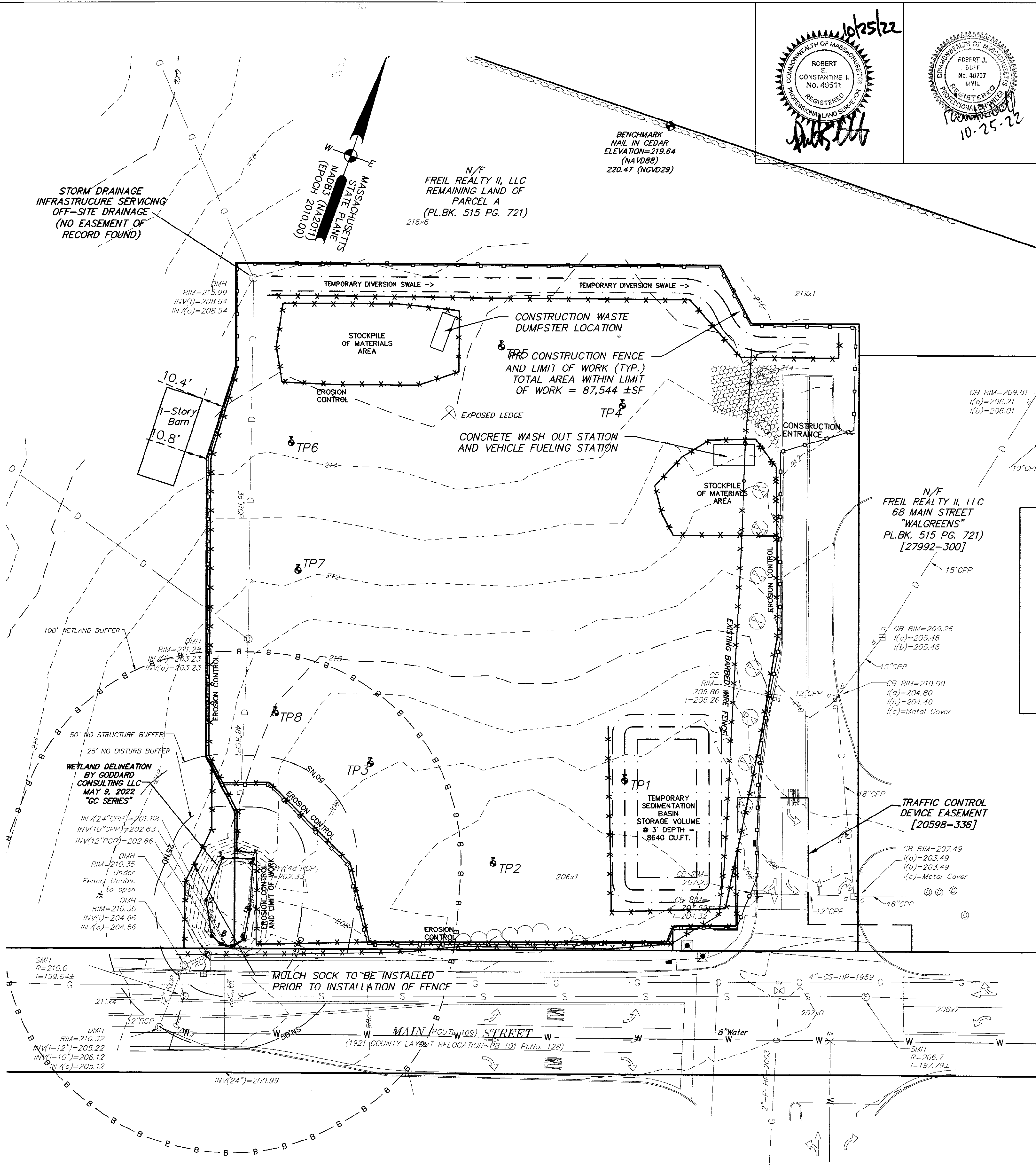
N.T.S.

NAMES OF PERSONS OR ENTITIES RESPONSIBLE FOR PLAN COMPLIANCE

KEVIN LOBISSE
LOBISSE COMPANIES
1 CHARLESVIEW ROAD
HOPEDALE, MA 01747
TEL: 508-478-6235

LEGEND

⊠	CATCH BASIN	☆	LIGHT POLE
⊙	DRAIN MANHOLE	⊙	UTILITY POLE
⊕	ELECTRIC MANHOLE	→	GUY WIRE
⊖	SEWER MANHOLE	—	SIGN
○	MANHOLE	•	WETFLAG
⊕	GAS VALVE	⊙	UTILITY POLE
⊖	GAS SHUT OFF VALVE	☆	PROP. STREET LIGHTING
⊕	WATER VALVE		
⊖	WATER SHUT OFF VALVE	X 000.0	SPOT ELEVATION
⊕	FIRE HYDRANT	⊠	RIPRAP
— 000 —	EXISTING CONTOUR		
— D —	EXISTING DRAIN LINE		
— W —	EXISTING WATER LINE		



TEMPORARY SEDIMENTATION BASIN SIZING:
3600 CU.FT. OF STORAGE PER ACRE DRAINED

2.3 ACRES DRAINED X 3600 CU.FT. = 8282.8 CU.FT.

STORAGE PROVIDED = 8640 CU.FT.

APPROVED BY THE TOWN OF MEDWAY
PLANNING & ECONOMIC DEVELOPMENT BOARD

BOARD MEMBER DATE

LEGAL NOTES

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OWNER

FREIL REALTY II, LLC
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PLAN BK. 515, PG 721 OF 2003
A.M. 41 LOT 8

APPLICANT

LOBISSE COMPANIES
1 CHARLESVIEW ROAD
HOPEDALE, MA 01747

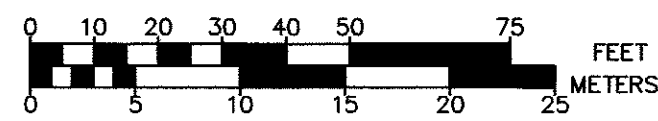
SITE PLAN
86 HOLLISTON STREET
MEDWAY
MASSACHUSETTS

EROSION CONTROL

APRIL 14, 2022

DATE	REVISION DESCRIPTION
6/29/2022	REVISED PER TOWN COMMENTS
7/25/2022	REVISED PER TOWN COMMENTS
9/30/2022	REVISED PER PB DECISION
10/25/2022	REVISED PER PB DECISION

GRAPHIC SCALE: 1"=30'



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ENGINEERING & LAND SURVEYING
55 WEST CENTRAL ST. PH. (508) 528-3221
FRANKLIN, MA 02038 FX. (508) 528-7921
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**ZONING DISTRICT
CENTRAL BUSINESS**

	REQUIRED	PROPOSED
MIN. LOT AREA	10,000 SF	100,222 SF
MIN. LOT FRONTAGE	NA ¹	300.00 FT
MIN. YARD SETBACKS		
FRONT	10 FT	112.3 FT
SIDE	10 FT 25 FT*	55.4 FT
REAR	25 FT	54.8 FT
STRUCTURE COVERAGE	80%	21.9%
MAXIMUM IMPERVIOUS COVERAGE**	NA	68.3%**
MINIMUM OPEN SPACE	15%	31.7%
INTERIOR PARKING LANDSCAPING	10%	11.0%

*WHEN ABUTTING A RESIDENTIAL DISTRICT

¹PROPERTIES IN THE CENTRAL BUSINESS DISTRICT THAT DO NOT HAVE FRONTAGE ON A PUBLIC STREET SHALL BE REQUIRED TO HAVE AN EASEMENT OF AT LEAST 30 FEET IN WIDTH PROVIDING ACCESS TO A PUBLIC STREET.

**MAXIMUM IMPERVIOUS COVERAGE IN A GROUND WATER PROTECTION DISTRICT:
ANY USE THAT WILL RENDER IMPERVIOUS MORE THAN 15% OR 2500 SF. OF ANY LOT WHICHEVER IS GREATER.

NOTE

LOT COVERAGE CALCULATION:

NEW LOT AREA = 100,222±SF.

EXISTING PAVEMENT = 10,263± SF.

PROPOSED BUILDING = 21,900± SF.

PROPOSED PAVEMENT = 36,329± SF.

TOTAL IMPERVIOUS = 68,492± SF.
(68.3%)

LEGEND

	CATCH BASIN		LIGHT POLE
	DRAIN MANHOLE		UTILITY POLE
	ELECTRIC MANHOLE		GUY WIRE
	SEWER MANHOLE		SIGN
	MANHOLE		WETFLAG
	GAS VALVE		UTILITY POLE
	GAS SHUT OFF VALVE		PROP. STREET LIGHTING
	WATER VALVE		VERTICAL GRANITE CURB
	WATER SHUT OFF VALVE		SPOT ELEVATION
	FIRE HYDRANT		RIPRAP
	EXISTING CONTOUR		
	EXISTING DRAIN LINE		
	EXISTING WATER LINE		

PARKING NOTES

ZONED: CENTRAL BUSINESS

PARKING REQUIREMENTS PER ZONING:

TABLE 3. SCHEDULE OF OFF STREET PARKING REQUIREMENTS

MEDICAL OFFICE OR CLINIC:

1 SPACE PER 300 SF. = 73 SPACES REQUIRED

NUMBER OF EMPLOYEES = 41

PARKING SPACES PROVIDED = 88 SPACES

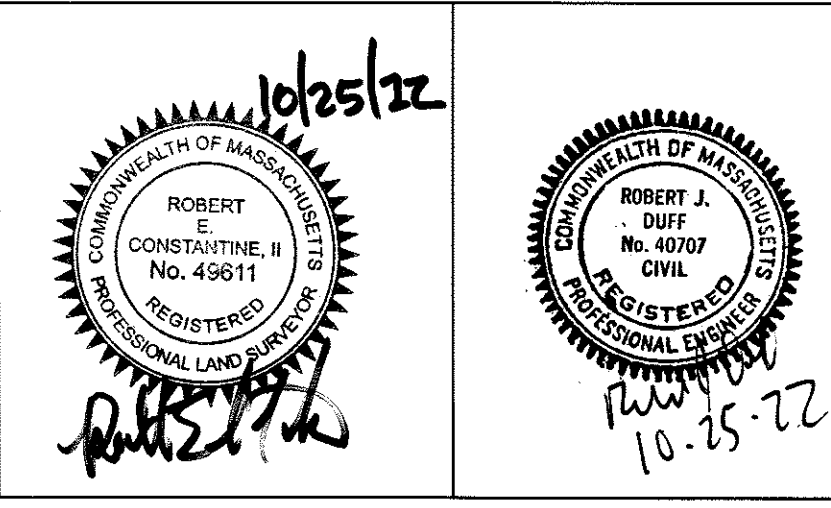
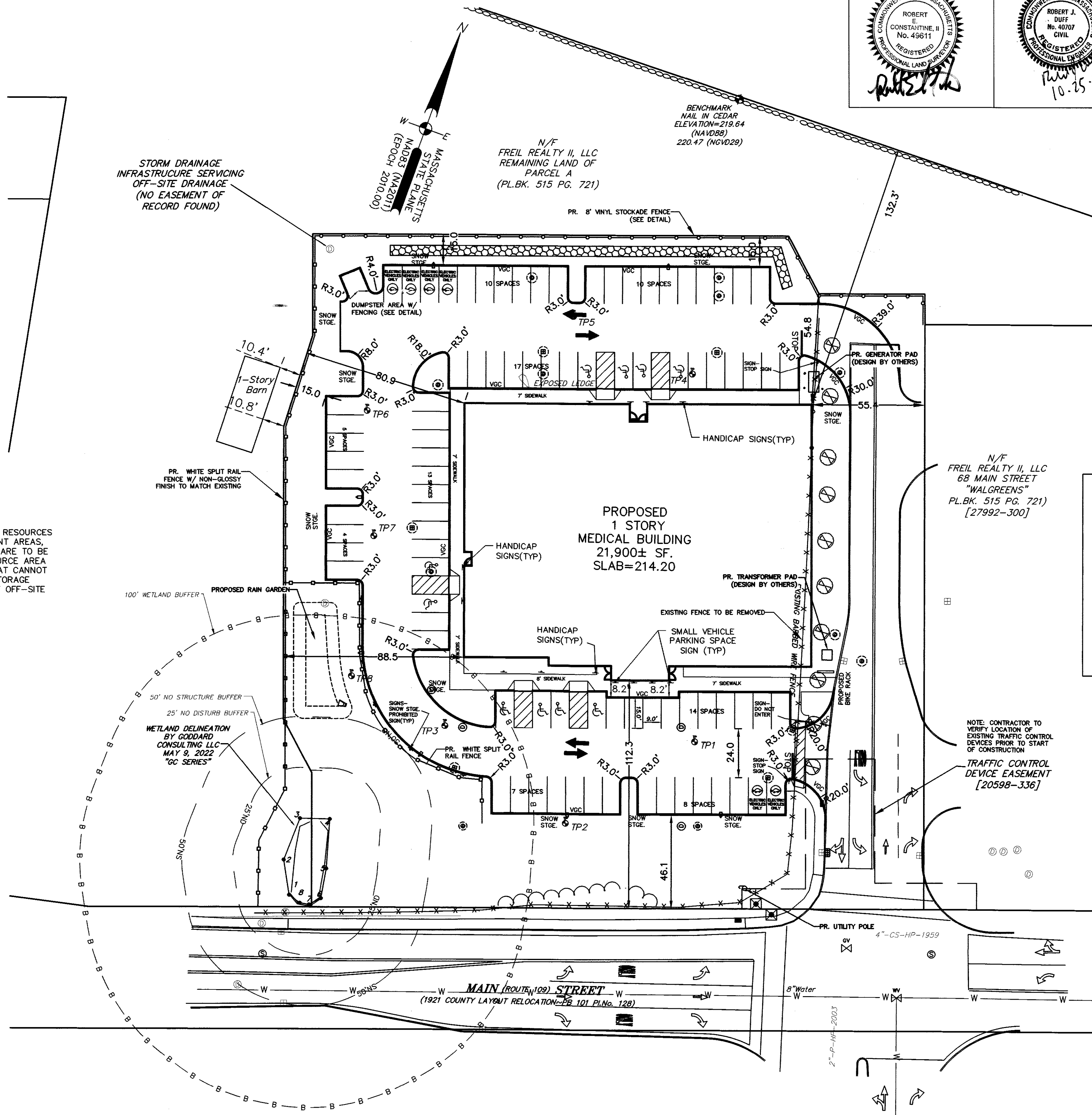
TYPICAL PARKING SPACE: 18' X 9'

ELECTRIC VEHICLE SPACES REQ'D = 4

ELECTRIC VEHICLE SPACES PROVIDED = 6

NOTE:

NO SNOW IS TO BE STORED WITHIN WETLAND RESOURCES OR THEIR BUFFERS, STORMWATER MANAGEMENT AREAS, OR PARKING SPACES. SNOW STORAGE SIGNS ARE TO BE PROVIDED ADJACENT TO THE WETLAND RESOURCE AREA AS SHOWN ON THIS PLAN. EXCESS SNOW THAT CANNOT BE STORED WITHIN THE DESIGNATED SNOW STORAGE AREAS IS TO BE REMOVED AND DISPOSED OF OFF-SITE WITHIN 72 HOURS.



APPROVED BY THE TOWN OF MEDWAY
PLANNING & ECONOMIC DEVELOPMENT BOARD

BOARD MEMBER DATE

LEGAL NOTES

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OWNER

FREIL REALTY II, LLC
DEED BOOK 27992 PAGE 300
PLAN BK. 515, PG. 721 OF 2003
A.M. 41 LOT 8

APPLICANT

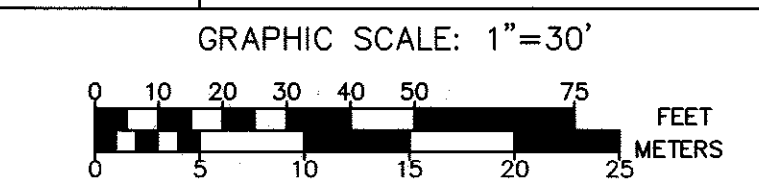
LOBISSER COMPANIES
1 CHARLESVIEW ROAD
HOPEDALE, MA 01747

SITE PLAN
86 HOLLISTON STREET
MEDWAY
MASSACHUSETTS

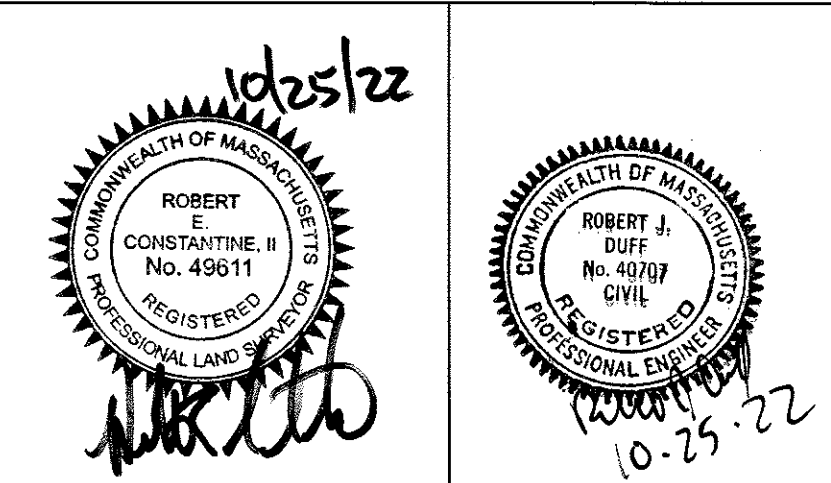
LAYOUT PLAN

APRIL 14, 2022

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FREIL REALTY II, LLC
DEED BOOK 27992 PAGE 300
PLAN BK. 515, PG. 721 OF 2003
A.M. 41 LOT 8

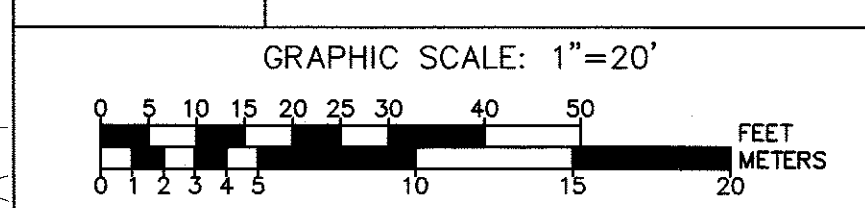
APPLICANT
LOBISSER COMPANIES
1 CHARLESVIEW ROAD
HOPEDALE, MA 01747

SITE PLAN
86 HOLLISTON STREET
MEDWAY
MASSACHUSETTS

GRADING PLAN

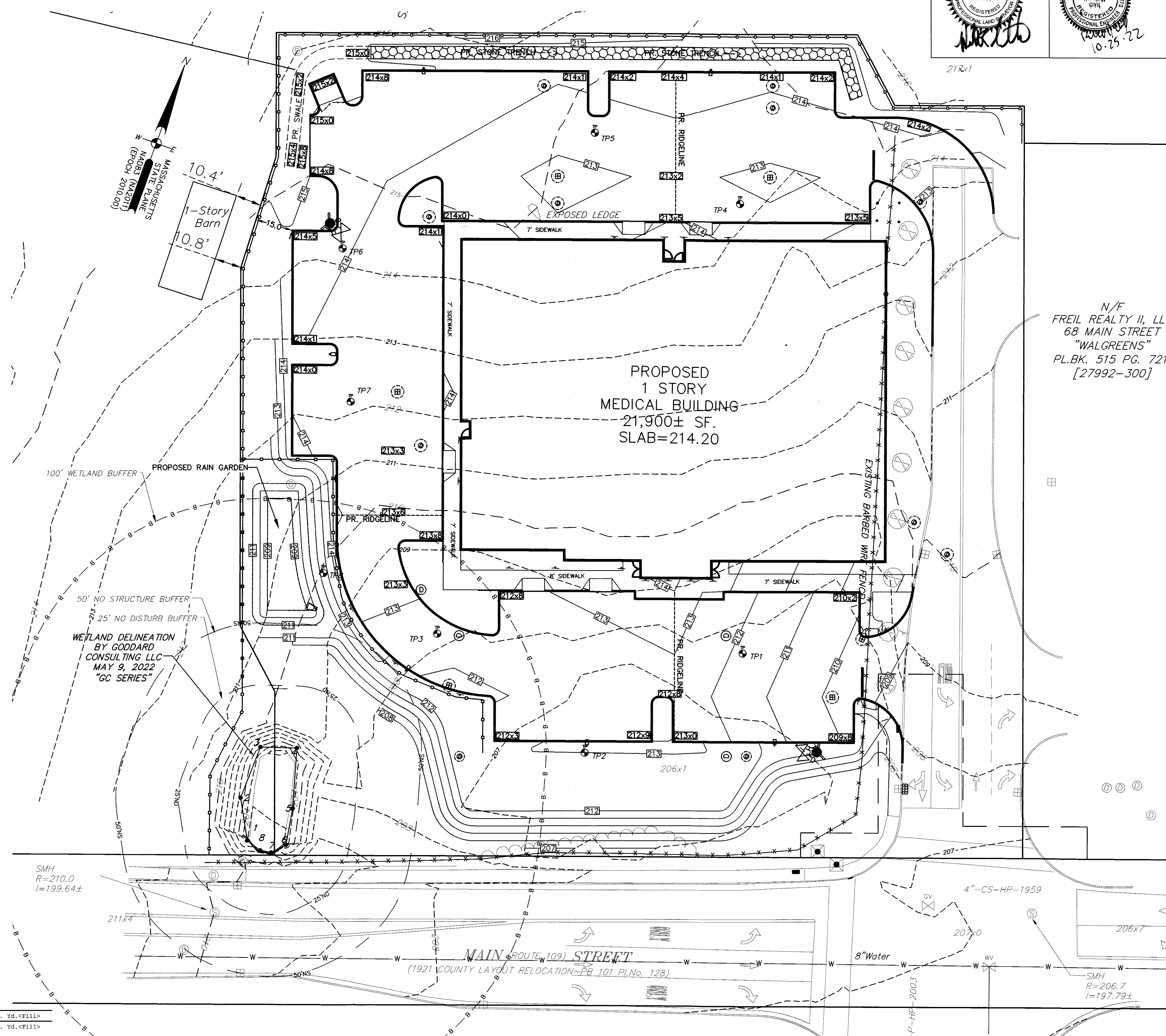
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LEGEND			
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	DRAIN MANHOLE		UTILITY POLE
	ELECTRIC MANHOLE		GUY WIRE
	SEWER MANHOLE		SIGN
	MANHOLE		WETFLAG
	GAS VALVE		UTILITY POLE
	GAS SHUT OFF VALVE		PROP. STREET LIGHTING
	WATER VALVE		
	WATER SHUT OFF VALVE		SPOT ELEVATION
	FIRE HYDRANT		RIPRAP
	EXISTING CONTOUR		
	EXISTING DRAIN LINE		
	EXISTING WATER LINE		



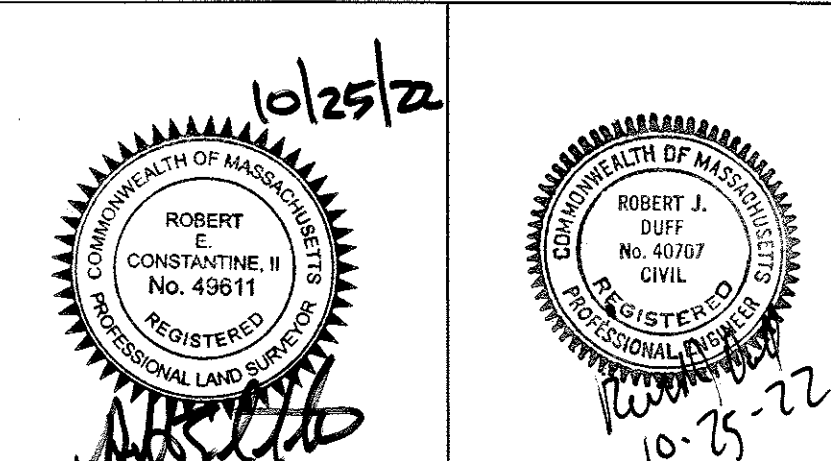
Cut/Fill Summary					
Name	Cut Factor	Fill Factor	2d Area	Cut	Fill
CUT/FILL 1.000	1.000		80176 Sq. Ft.	709 Cu. Yd.	6106 Cu. Yd.
Totals			80176 Sq. Ft.	709 Cu. Yd.	6106 Cu. Yd.

LEGEND

	CATCH BASIN		LIGHT POLE
	DRAIN MANHOLE		UTILITY POLE
	ELECTRIC MANHOLE		GUY WIRE
	SEWER MANHOLE		SIGN
	MANHOLE		WETFLAG
	GAS VALVE		UTILITY POLE
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	WATER VALVE		
	WATER SHUT OFF VALVE		SPOT ELEVATION
	FIRE HYDRANT		RIPRAP
	EXISTING CONTOUR		
	EXISTING DRAIN LINE		
	EXISTING WATER LINE		

STORM DRAINAGE
INFRASTRUCTURE SERVICING
OFF-SITE DRAINAGE
(NO EASEMENT OF
RECORD FOUND)

REMAINING LAND OF
PARCEL A
(PL.BK. 515 PG. 721)



STORM DRAINAGE NOTES

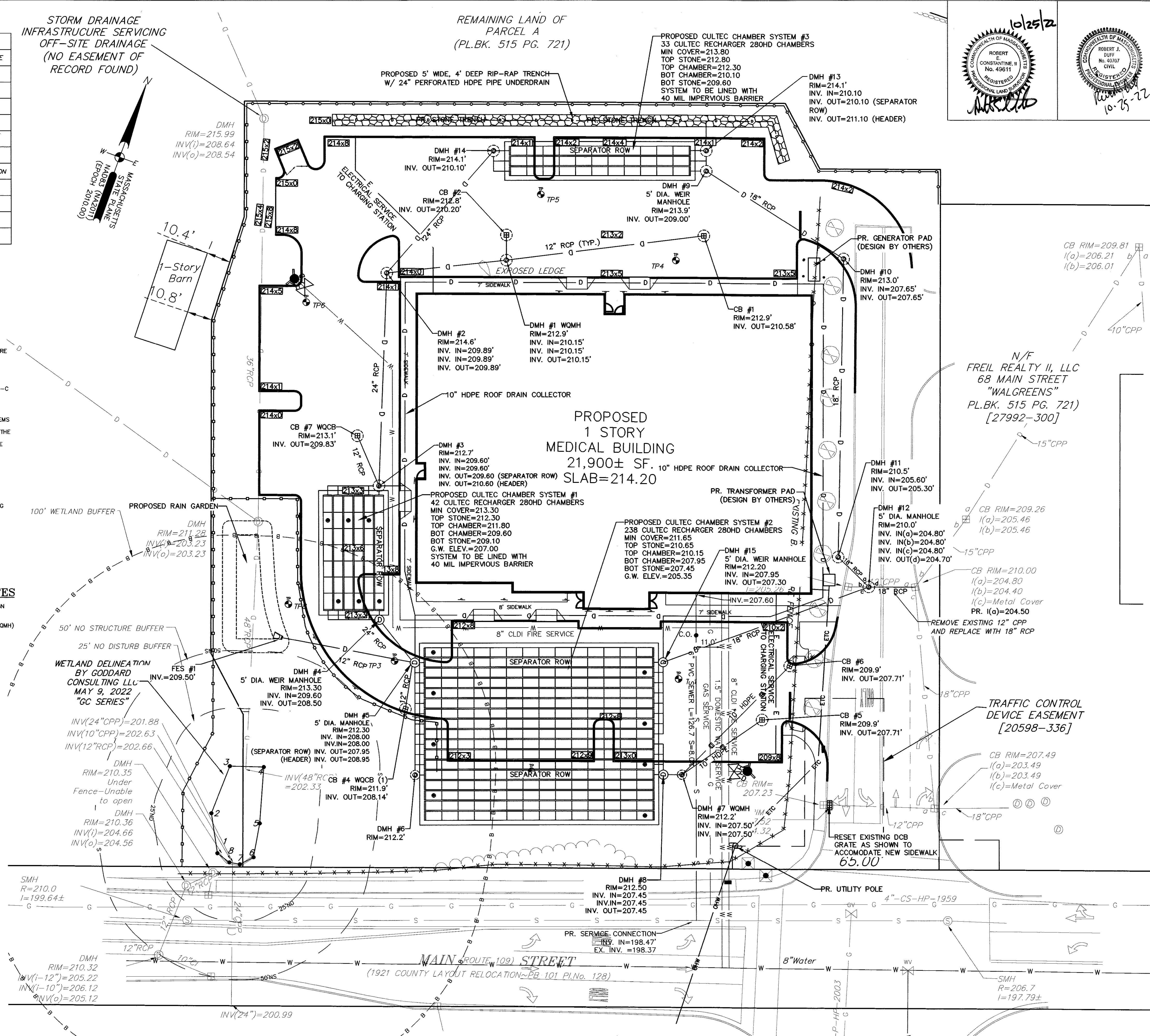
- ALL DRAINAGE PIPES TO BE 12" RCP UNLESS OTHERWISE NOTED. WHERE LESS THAN 3.5' OF COVER IS PROVIDED, CLASS V RCP SHALL BE USED.
 - SEPARATOR ROWS SHALL BE INSTALLED IN ACCORDANCE WITH THE CULTEC SEPARATOR ROW DETAIL SHEET. SEE STORMWATER REPORT.
 - DMH #1, DMH #7, CB #4, AND CB #7 SHALL BE CONTECH CDS1515-3-C WATER QUALITY MANHOLES.
 - NON-METAL ROOFS ARE PROPOSED FOR THE PROPOSED BUILDING.
 - FILL MATERIAL BENEATH THE PROPOSED INFILTRATION CHAMBER SYSTEMS AND RAIN GARDEN SHALL BE REMOVED TO THE DEPTH OF THE NATURALLY OCCURRING SANDY MATERIAL IDENTIFIED IN THE TEST PIT SOIL LOGS, AND THE SYSTEM BROUGHT TO GRADE WITH SAND, CRUSHED STONE, OR OTHER ACCEPTABLE MATERIAL, AS DETERMINED BY THE DESIGN ENGINEER AND THE TOWN OF MEDWAY.
- SPECIAL CONSIDERATION FOR INLET CONTROLS FOR EROSION COLLECTION BEFORE ENTERING DRAINAGE SYSTEM:
- INSTALL SILT SACKS.
 - BARRIER AROUND CATCH BASIN, COMPOST SOCK OR EQUAL
 - INSTALL FILTER FABRIC ON ALL DRAIN MANHOLE OUTLETS DISCHARGING TO INFILTRATION SYSTEM.
 - INSPECTIONS BEFORE AND AFTER STORM EVENTS ARE REQUIRED TO INSURE ADEQUACY OF EROSION CONTROL MEASURES.
 - CONTRACTOR & ARCHITECT ARE TO VERIFY SITE UTILITIES PRIOR TO DESIGN & CONSTRUCTION.
 - ALL PIPE GASKETS SHALL BE PRE-MOLDED NEOPRENE O-RING TYPE (300-11 B.(2)(A)).

SITE DRAINAGE INSTALLATIONS NOTES

- EACH SUBSURFACE CHAMBER WILL BE INSTALLED SEPARATELY TO DESIGN ELEVATION.
- INSTALL CONNECTIONS TO CATCH BASINS, WATER QUALITY MANHOLE (WQMH) AND DRAIN MANHOLES.
- EXCAVATE AND INSTALL SUBSURFACE UNIT, BACKFILL W/ STONE MAINTAINING 18"-24" COVER AND AS-BUILT EACH SECTION.

UTILITY NOTES

- ALL UTILITIES SHALL BE CONSTRUCTED AND TESTED ACCORDING TO STATE AND LOCAL REGULATIONS.
- ALL WATER AND SEWER UTILITIES TO COMPLY WITH THE TOWN OF MEDWAY DEPARTMENT OF PUBLIC WORKS STANDARD DETAILS. WHERE CONFLICTS EXIST, THE TOWNS SPECIFICATIONS SHALL CONTROL.
- ALL WATER AND SEWER LINE WORK WITHIN THE STREET OR SIDEWALK MUST UTILIZE FLOWABLE FILL TO THE SATISFACTION OF THE MEDWAY DEPARTMENT OF PUBLIC WORKS.
- THE PROPOSED ELECTRIC UTILITY WILL BE INSTALLED UNDERGROUND FROM THE PROPOSED UTILITY POLE TO THE TRANSFORMER.
- ALL UTILITIES SHALL BE INSTALLED UNDERGROUND UNLESS OTHERWISE SHOWN ON THIS PLAN.



APPROVED BY THE TOWN OF MEDWAY
PLANNING & ECONOMIC DEVELOPMENT BOARD

[Signature]

BOARD MEMBER DATE

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PLAN BK. 515, PG 721 OF 2003
A.M. 41 LOT 8

APPLICANT

LOBISSER COMPANIES
1 CHARLESVIEW ROAD
HOPEDALE, MA 01747

SITE PLAN

86 HOLLISTON STREET
MEDWAY
MASSACHUSETTS

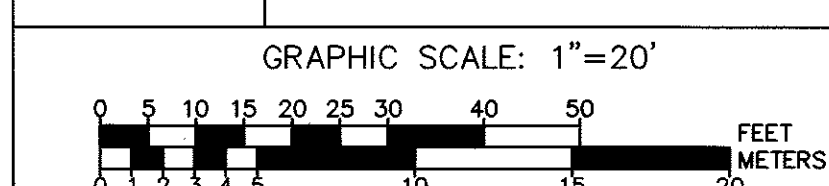
UTILITY PLAN

APRIL 14, 2022

DATE REVISION DESCRIPTION

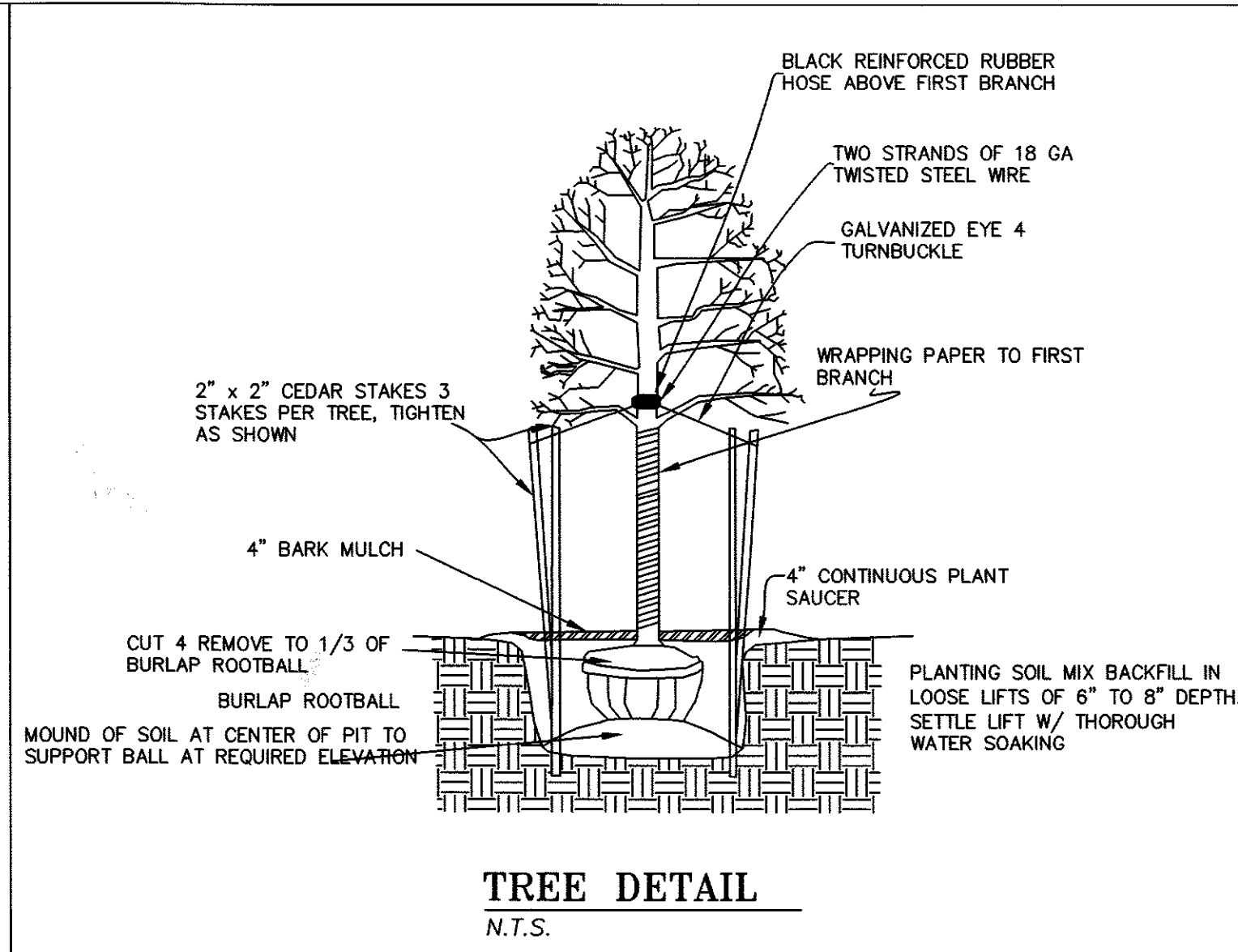
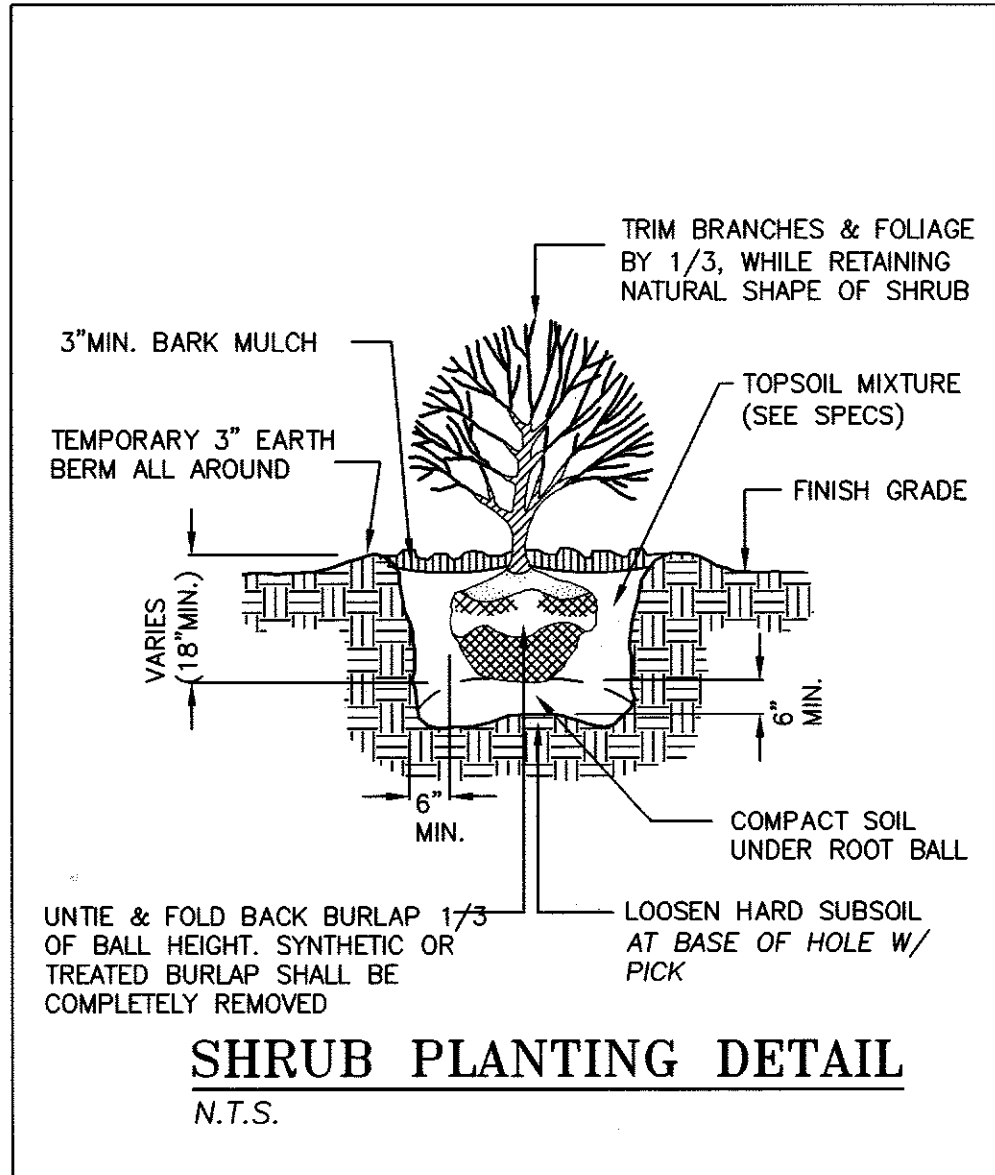
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GRAPHIC SCALE: 1"=20'



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SHEET 7 OF 13 JOB NO. F4516



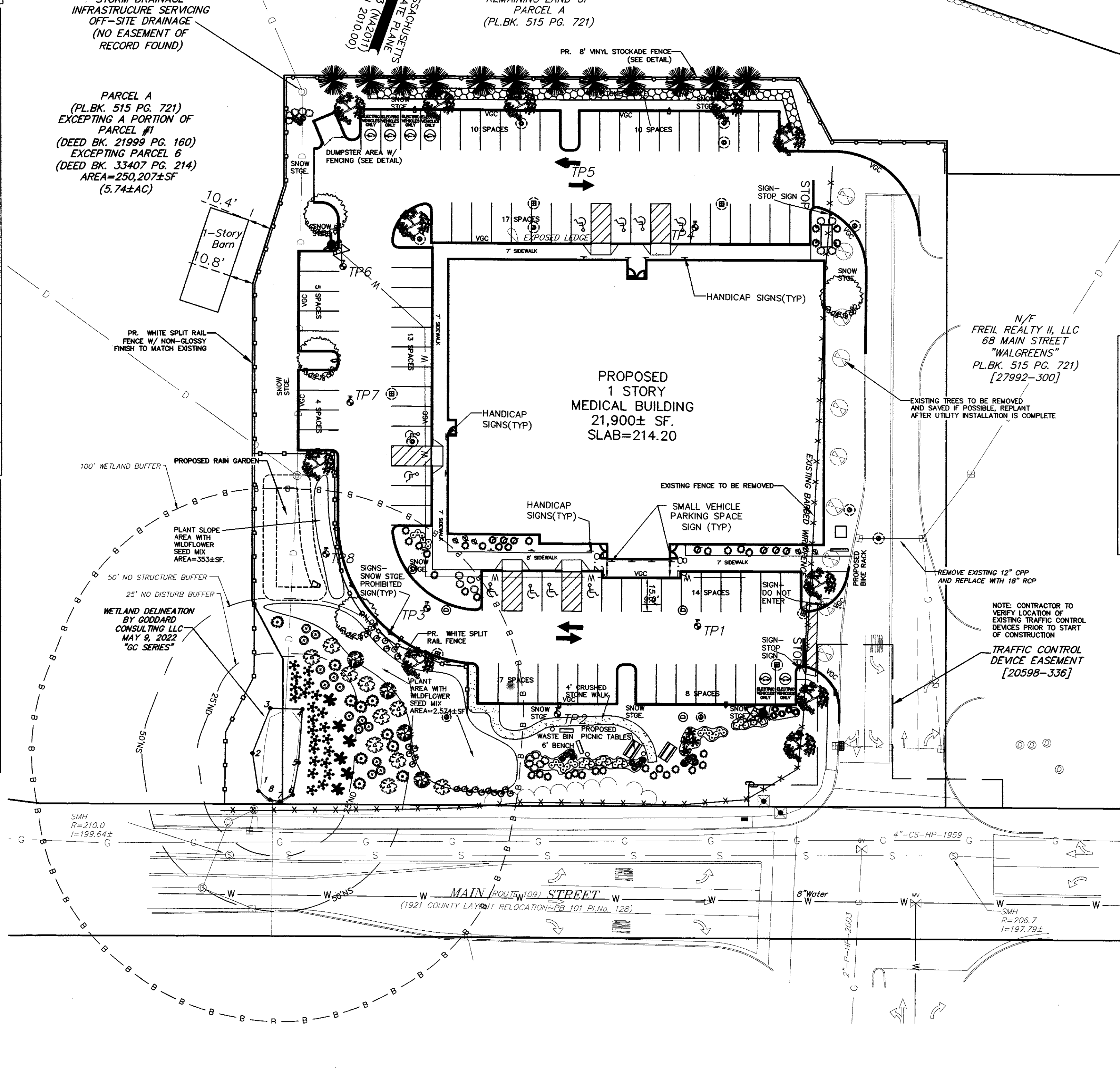
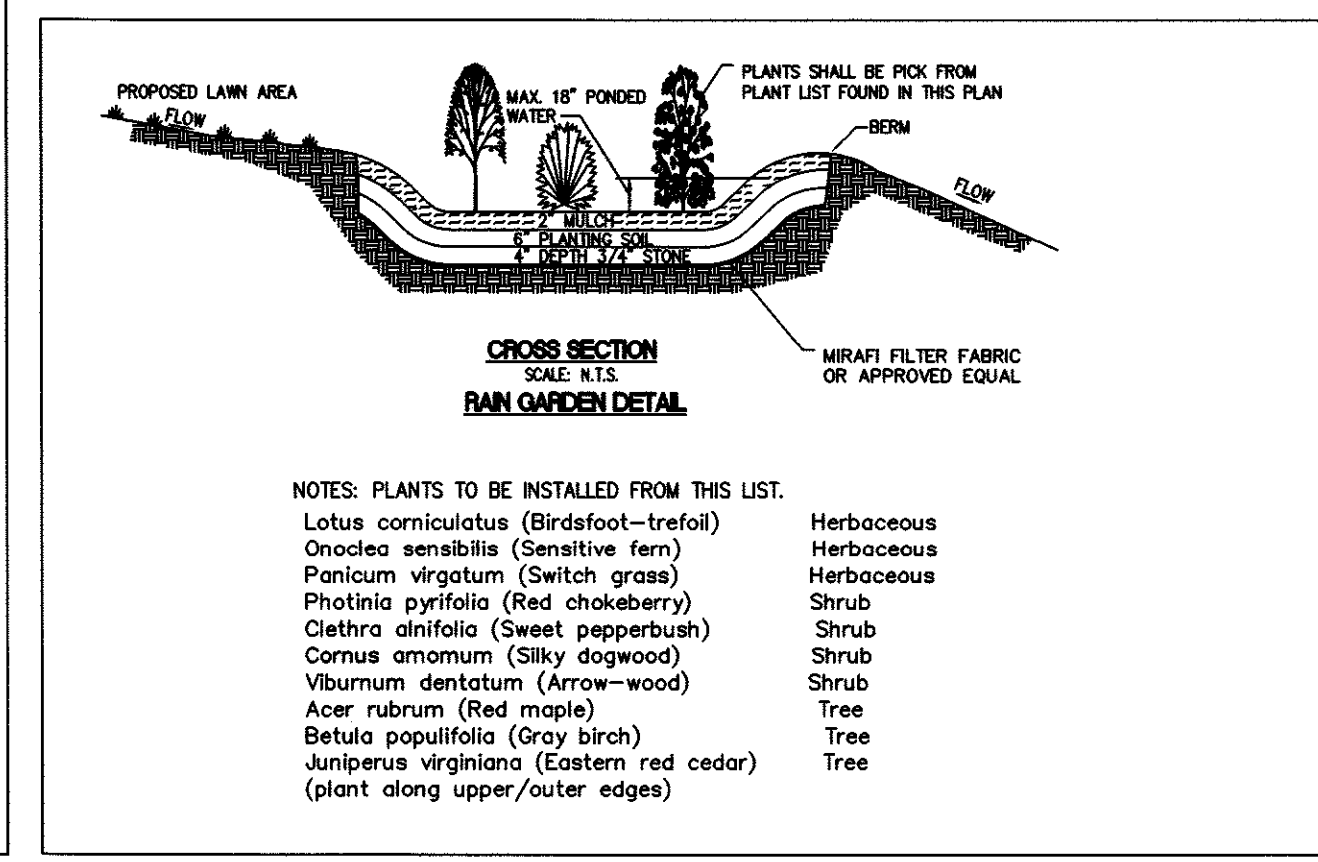
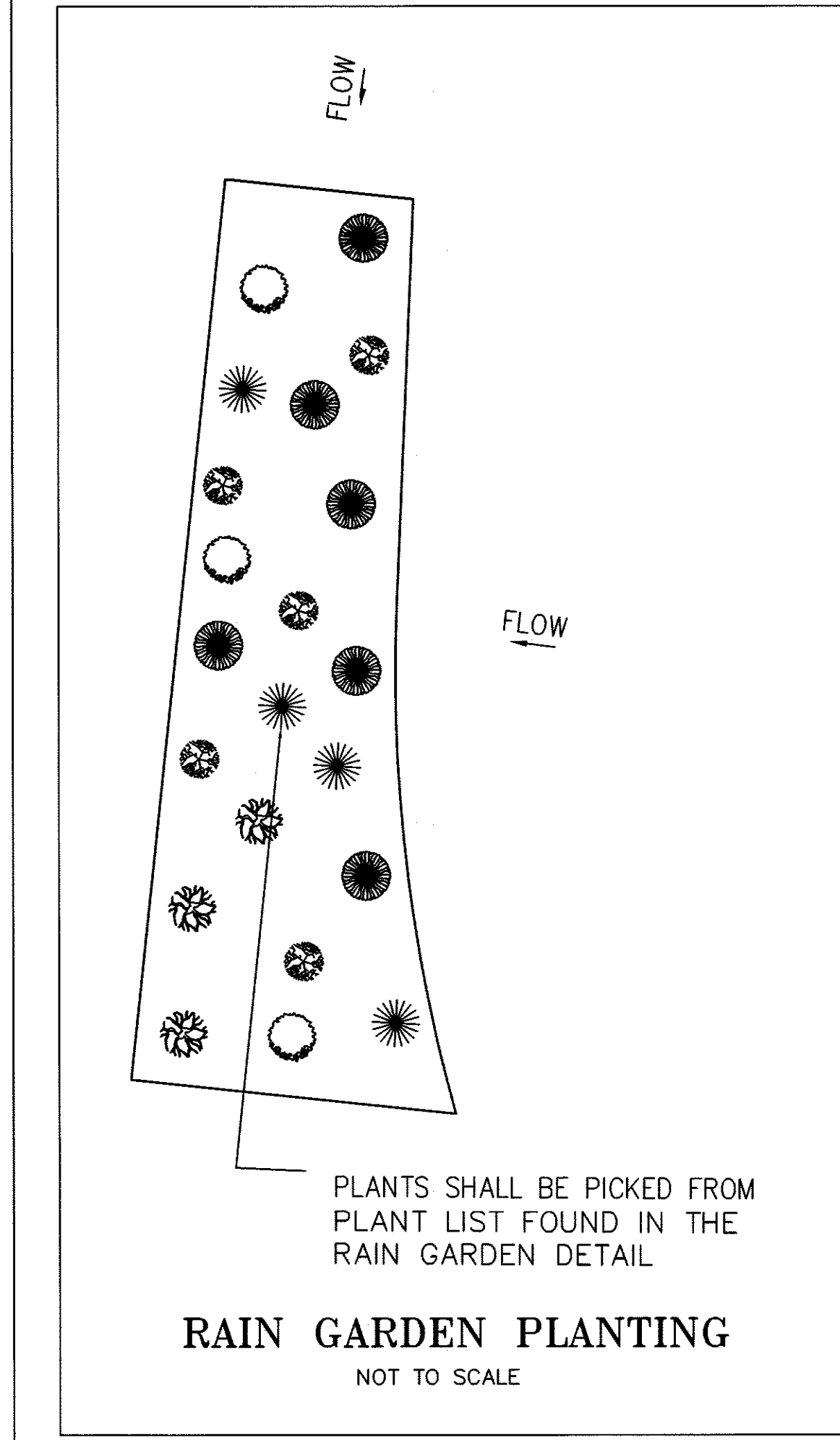
NOTES

1. THE CONTRACTOR SHALL VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION.
2. PLANT MATERIALS SHALL CONFORM TO THE GUIDELINES BY THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
3. ALL PLANTING SHALL BE PLACED ACCORDING TO THE APPROVED LANDSCAPING PLAN.
4. AFTER PLANTING 4" OF MULCH SHALL BE PLACED WITHIN THE DESIGNATED AREAS.
5. ALL PLANT MATERIAL SHALL INCLUDE A 1 YEAR GUARANTEE.
6. THE CONTRACTOR/LANDSCAPER SHALL WATER NEWLY PLANTED MATERIAL FOR 90 DAYS.
7. DAMAGED VEGETATION WILL BE REMOVED AND REPLACED IF NECESSARY.
8. AREA OF INTERIOR LANDSCAPING = 6,005±SF (13.3%)

LEGEND			
	CATCH BASIN		LIGHT POLE
	DRAIN MANHOLE		UTILITY POLE
	ELECTRIC MANHOLE		GUY WIRE
	SEWER MANHOLE		SIGN
	MANHOLE		WETFLAG
	GAS VALVE		UTILITY POLE
	GAS SHUT OFF VALVE		PROP. STREET LIGHTING
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	WATER SHUT OFF VALVE		SPOT ELEVATION
	FIRE HYDRANT		RIPRAP
	EXISTING CONTOUR		
	EXISTING DRAIN LINE		
	EXISTING WATER LINE		

PLANTING LEGEND			
	RED MAPLE ACER RUBRUM	5' MIN. 2.5" CAL.	11
	NORWAY SPRUCE PICEA ABIES	6-7' HIGH MIN.	12
	RED OAK QUERCUS RUBRA	5' MIN. 2.5" CAL.	4
	MOUNTAIN LAUREL KALMIA LATIFOLIA	3 GAL.	7
	EARLY AZALEA R.ROSEUM	3 GAL.	6
	CREeping JUNIPER JUNIPERUS HORIZONTALIS	3 GAL.	33
	DWARF MUGO PINE PINUS MUGO VAR. PUMILIO	3' GAL.	4
	BOXWOOD NORTH STAR BUXUS SEMPERVIRENS KATERBERG	3' GAL.	5
	SWITCH GRASS PANICUM VIGATUM	3' GAL.	19
	WHITE SAGE ARTEMISIA LUDOVICIANA	3' GAL.	20
	SPIREA WEDDING CAKE SPIREA HIPPONICA	3' GAL.	15
	PURPLE CONEFLOWER ECHINACEA PURPUREA	3' GAL.	27

REPLICATION LEGEND			
	RIVER BIRCH BETULA NIGRA	4' MIN. 2.5" CAL.	4
	MOUNTAIN PEPPERBUSH CLETHRA ACUMINATA	3 GAL.	10
	HIGH BUSH BLUEBERRY VACCINIUM CORYMBOSUM	5 GAL.	10
	WINTERBERRY ILEX VERTICILLATA	3 GAL.	14
	SHEEP LAUREL KALMIA ANGUSTIFOLIA	3 GAL.	6
	CINNAMON FERN OSMUNDA CINNAMOMEA	2 GAL.	23
	NORTHERN BUSH HONEYSUCKLE DIERVILLA LONICERA	3 GAL.	20



10/25/22

ROBERT J. DUFF
No. 49611
REGISTERED
PROFESSIONAL LAND SURVEYOR

10-15-22

ROBERT J. DUFF
No. 49611
REGISTERED
PROFESSIONAL LAND SURVEYOR

APPROVED BY THE TOWN OF MEDWAY
PLANNING & ECONOMIC DEVELOPMENT BOARD

BOARD MEMBER DATE

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1 CHARLESVIEW ROAD
HOPEDALE, MA 01747

SITE PLAN
86 HOLLISTON STREET
MEDWAY
MASSACHUSETTS

LANDSCAPING
PLAN

APRIL 14, 2022

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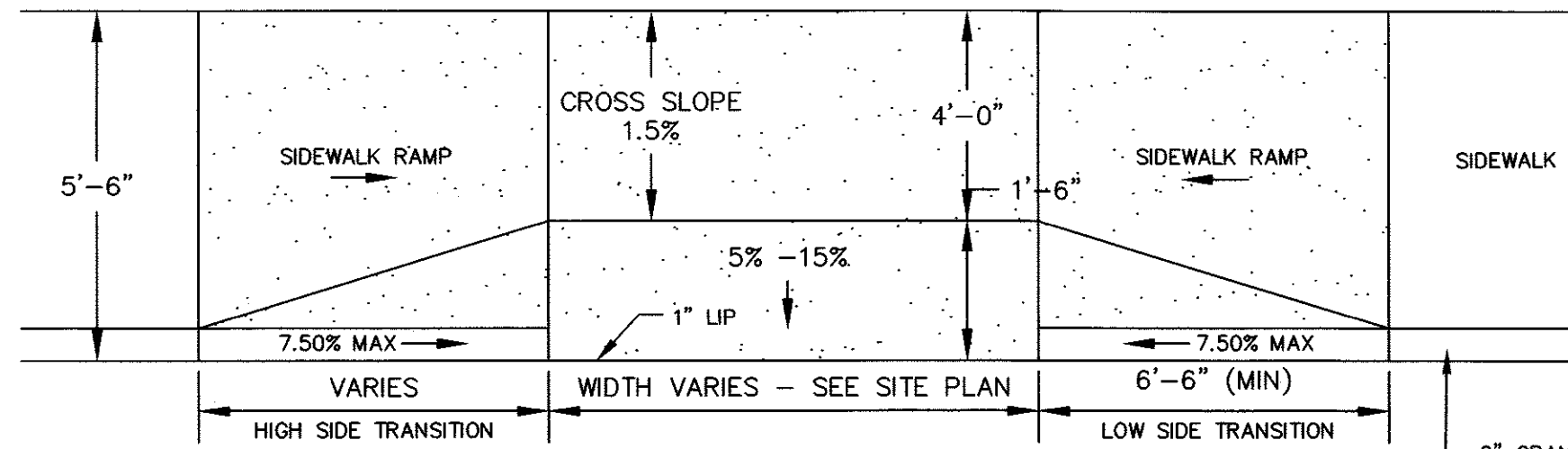
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0 5 10 15 20 25 METERS

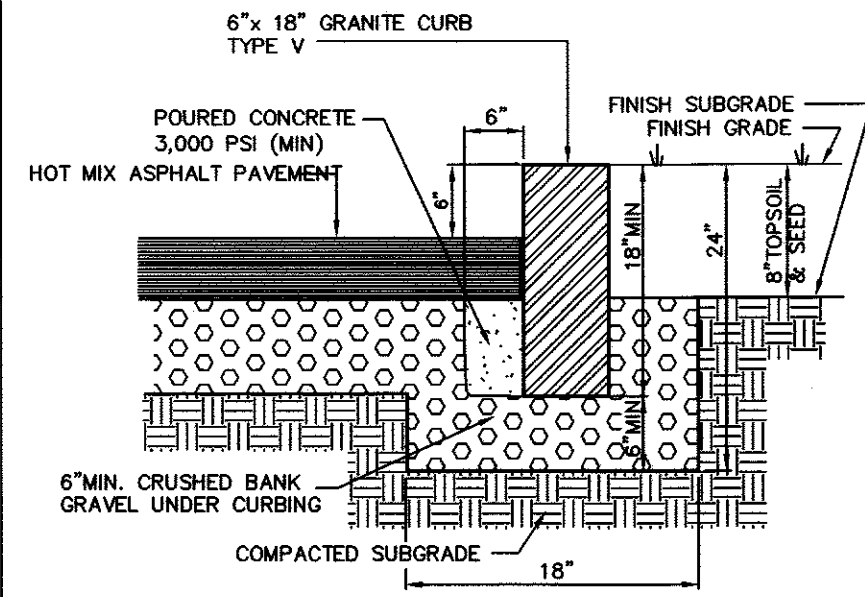
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SHEET 8 OF 13

JOB NO. F4516

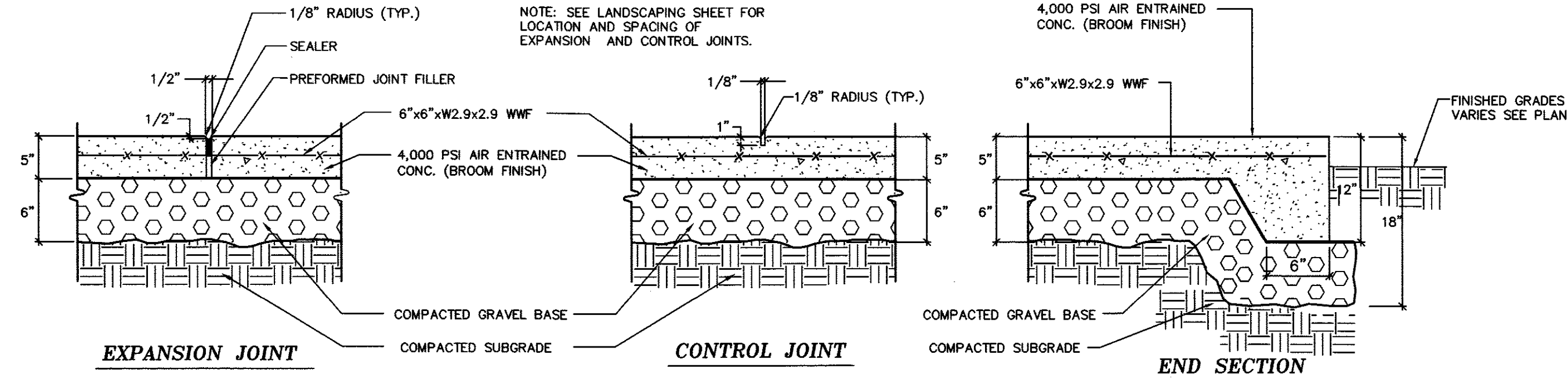


NOTE:
1. DRIVEWAYS ENTRANCES SHALL BE IN ACCORDANCE WITH MASSDOT STANDARD DRAWINGS AND SPECIFICATIONS.

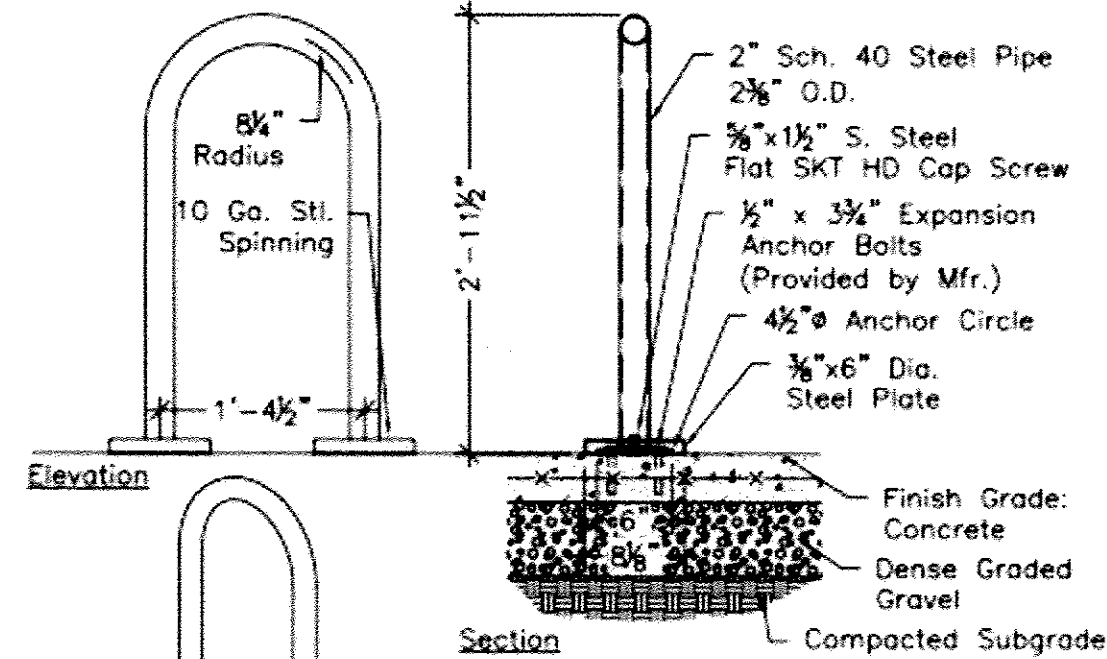


NOTE:
1. INSTALL AS SHOWN ON PLANS

VERTICAL GRANITE CURB DETAIL
N.T.S.

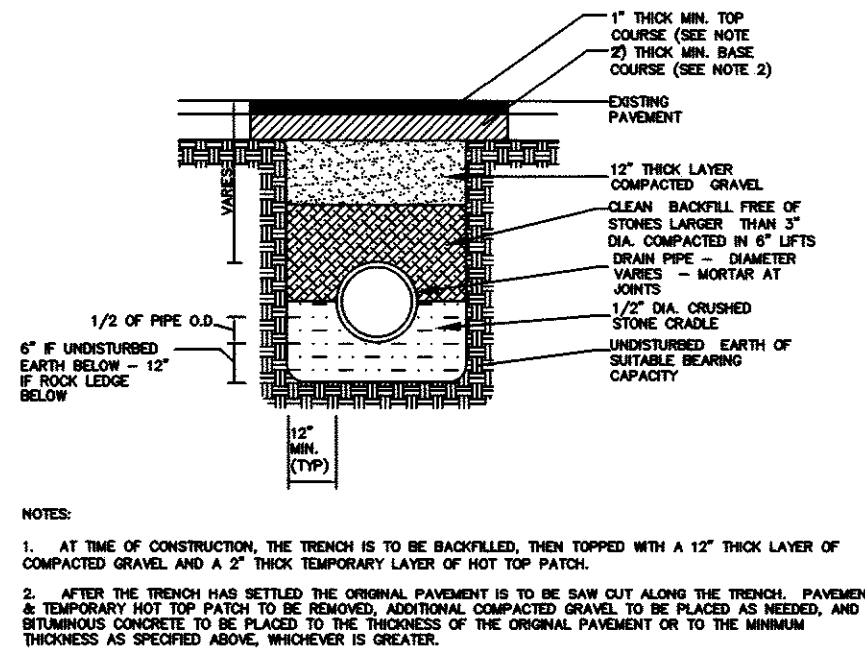


NOTE:
1. SEE SITE PLAN FOR WIDTH AND GRADES
2. PROVIDE MINIMUM 1/8\"/>

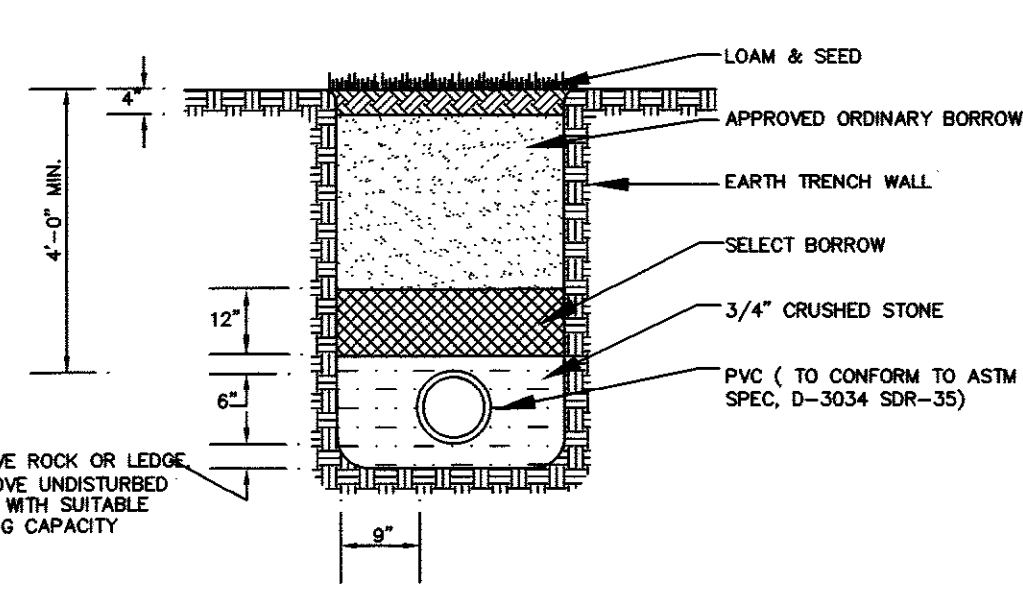


Notes:
1. Bike racks will be furnished by Owner. Contractor is responsible for assembly and installation.
2. Bike Rack to be DuRor 83 Series Surface Mount Bike Rack.
3. Installation to be completed in accordance with Manufacturer's Specifications.
4. Contractor to touch up all damage to finishes with manufacturer's provided touch up kit.

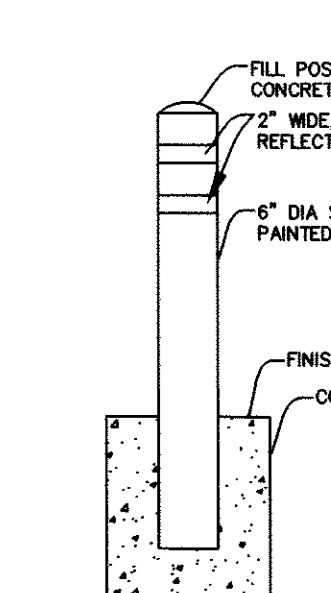
SURFACE MOUNTED BIKE RACK
NOT TO SCALE



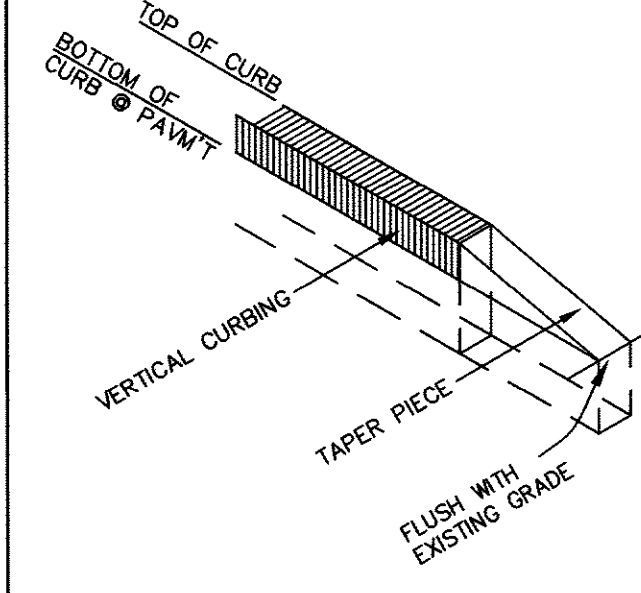
TYPICAL TRENCH SECTION FOR REINFORCED CONCRETE PIPE



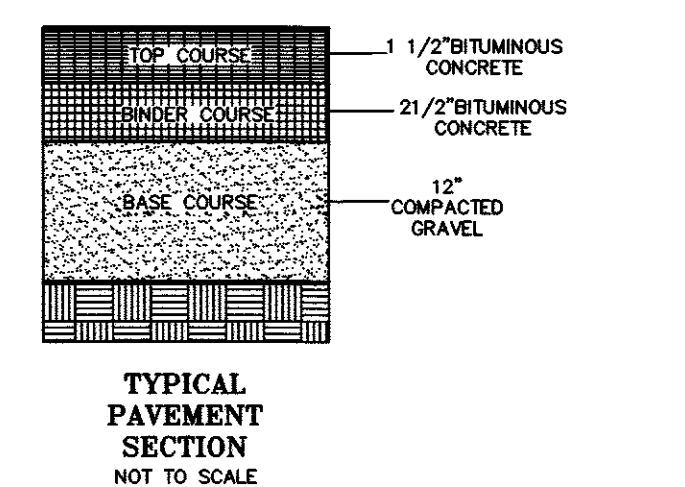
TYPICAL P.V.C. TRENCH SECTION
NOT TO SCALE



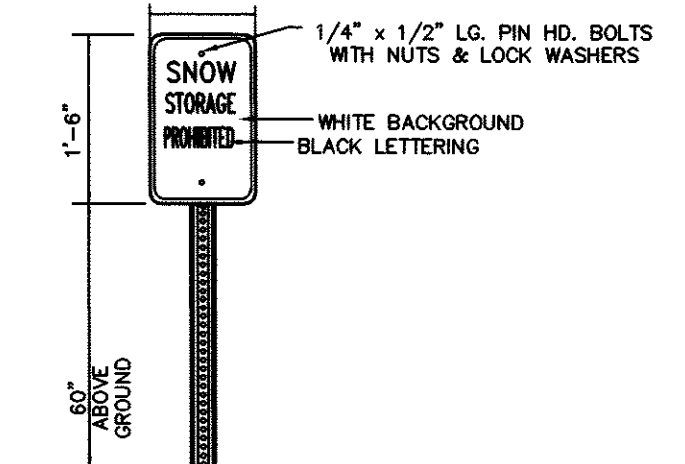
BOLLARD DETAIL
NOT TO SCALE



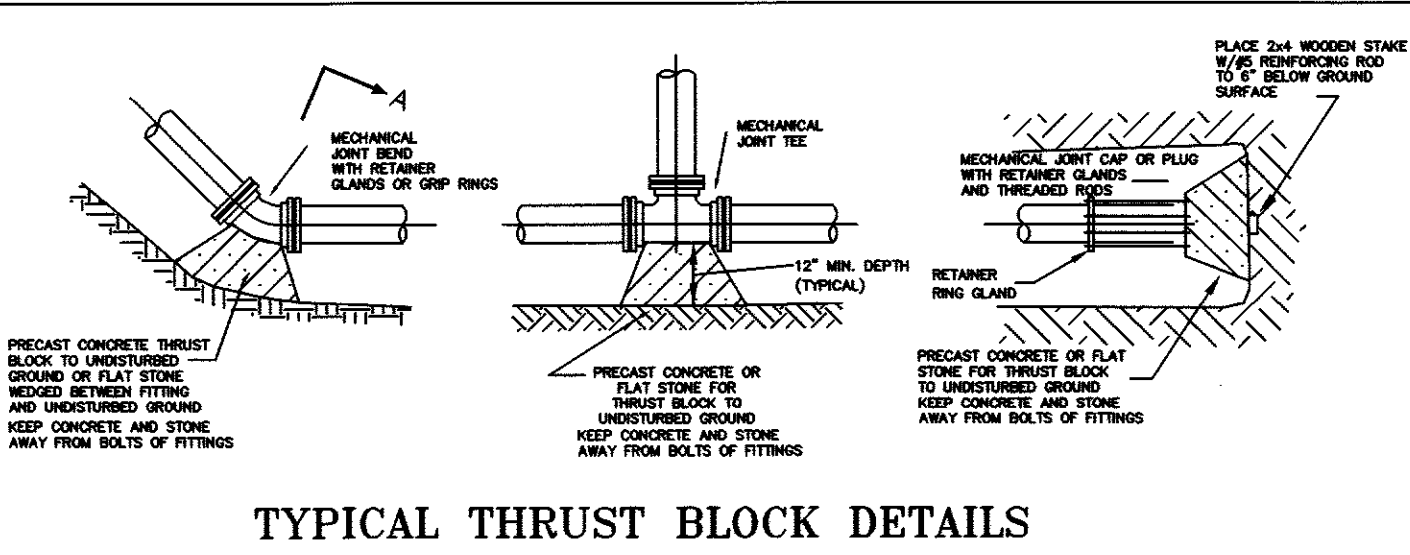
VERTICAL CURB TAPER DETAIL
N.T.S.



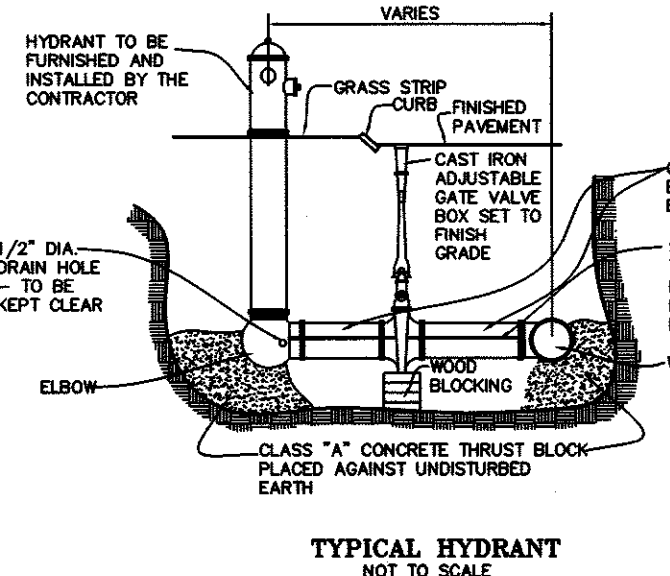
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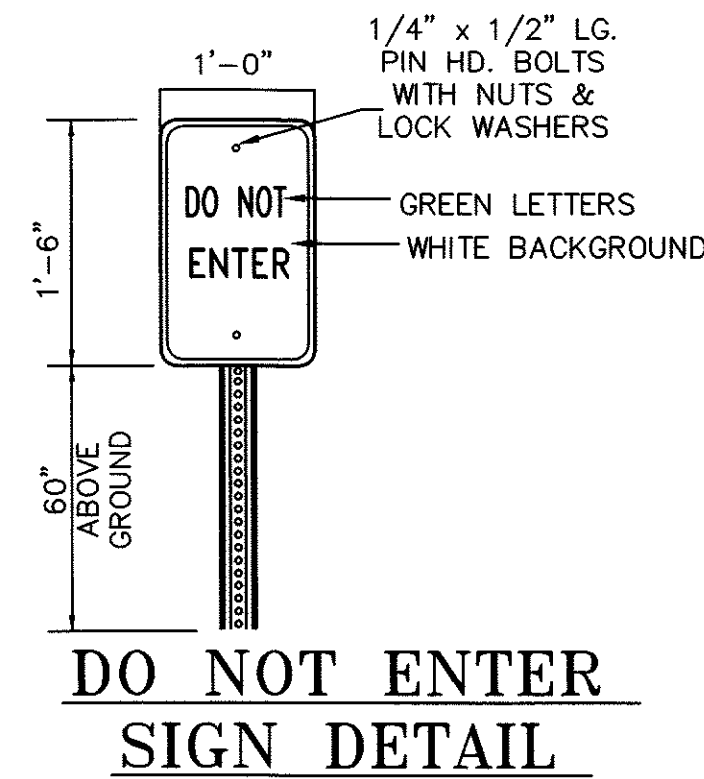
SNOW STORAGE SIGN
NOT TO SCALE



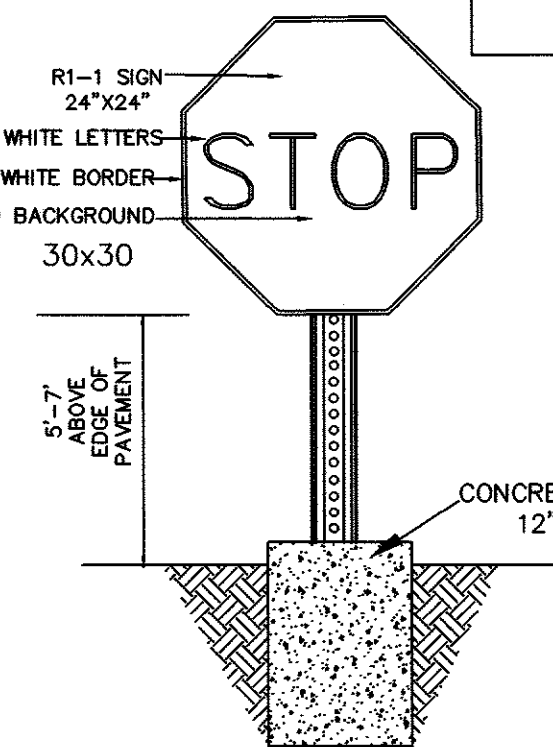
TYPICAL THRUST BLOCK DETAILS



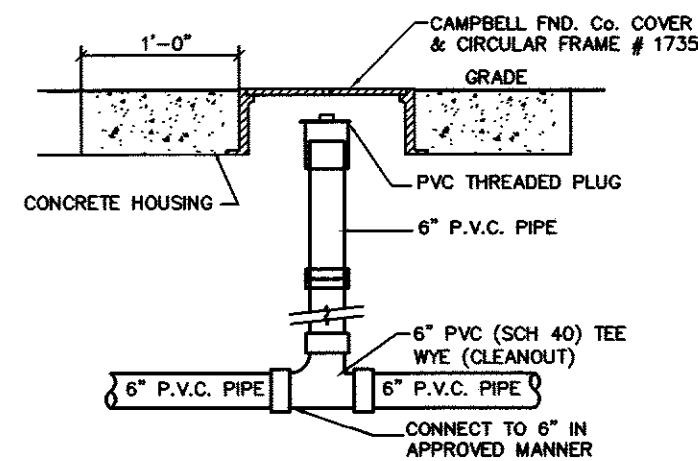
TYPICAL HYDRANT
NOT TO SCALE



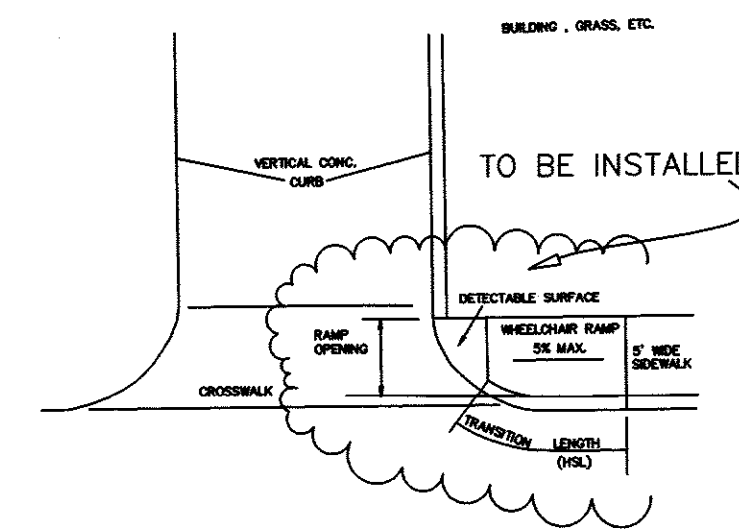
DO NOT ENTER SIGN DETAIL



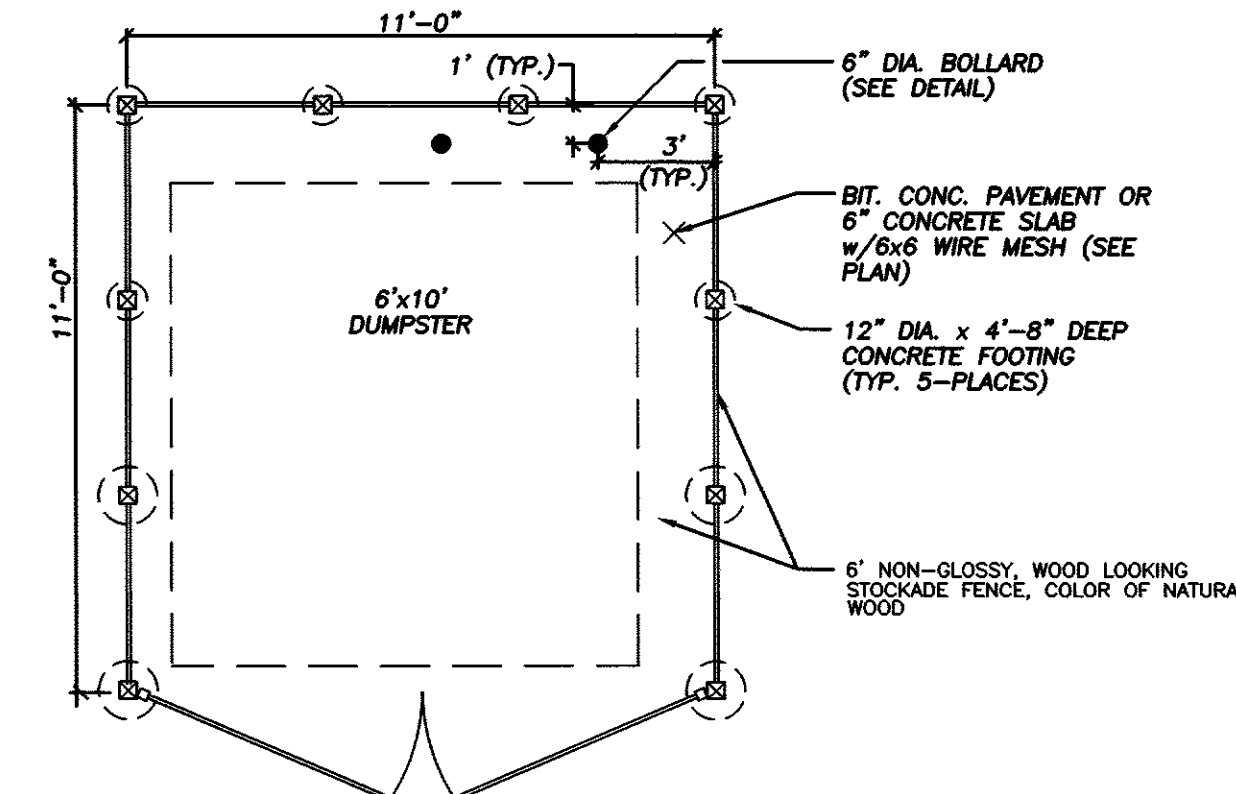
STOP SIGN DETAIL



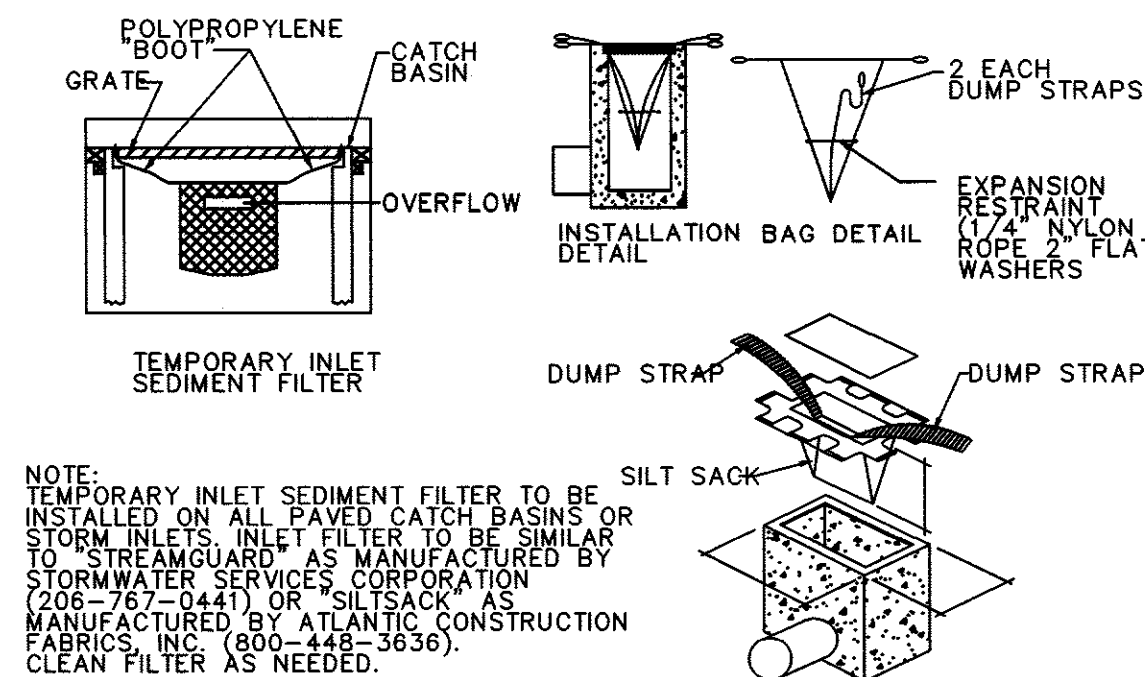
SEWER CLEANOUT DETAIL
NOT TO SCALE



MASS HIGHWAY DRAWING NO 107.6.0
WHEELCHAIR RAMP FOR RIGHT OF WAY AREAS
NOT TO SCALE



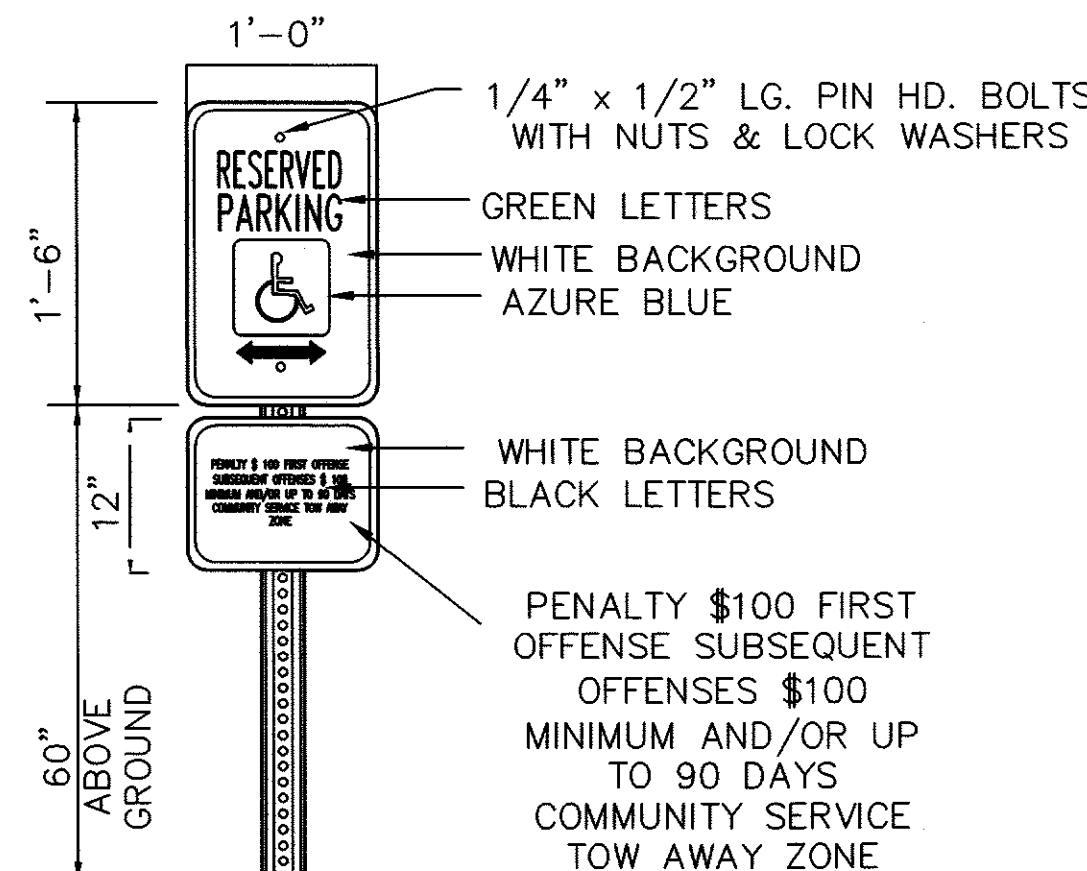
DUMPSTER ENCLOSURE
NOT TO SCALE



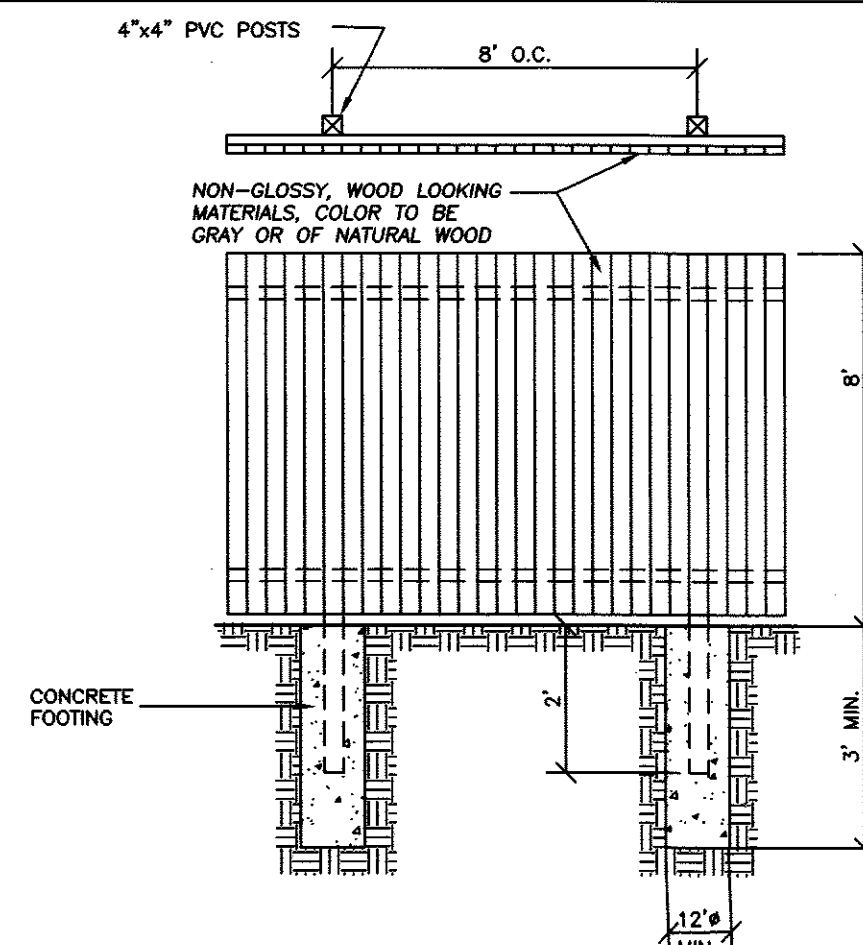
NOTE:
TEMPORARY INLET SEDIMENT FILTER TO BE INSTALLED ON ALL PAVED CATCH BASINS OR STORM INLETS. INLET FILTER TO BE SIMILAR TO STREAMGUARD AS MANUFACTURED BY STORMWATER SERVICES CORPORATION (206-767-0441) OR SILT SACK AS MANUFACTURED BY ATLANTIC CONSTRUCTION FABRICS, INC. (800-444-3636). CLEAN FILTER AS NEEDED.

SILT SACK DETAIL
NO SCALE

D-SESC- silt sack



HANDICAP PARKING SIGN DETAIL



PVC FENCE DETAIL
N.T.S.

APPROVED BY THE TOWN OF MEDWAY
PLANNING & ECONOMIC DEVELOPMENT BOARD

Robert J. Duff
Robert J. Duff
Robert J. Duff

BOARD MEMBER DATE

LEGAL NOTES

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OWNER

FREIL REALTY II, LLC
DEED BOOK 27992 PAGE 300
PLAN BK. 515, PG 721 OF 2003
A.M. 41 LOT 8

APPLICANT

LOBISSER COMPANIES
1 CHARLESVIEW ROAD
HOPEDALE, MA 01747

SITE PLAN
86 HOLLISTON STREET
MEDWAY
MASSACHUSETTS

CONSTRUCTION
DETAILS

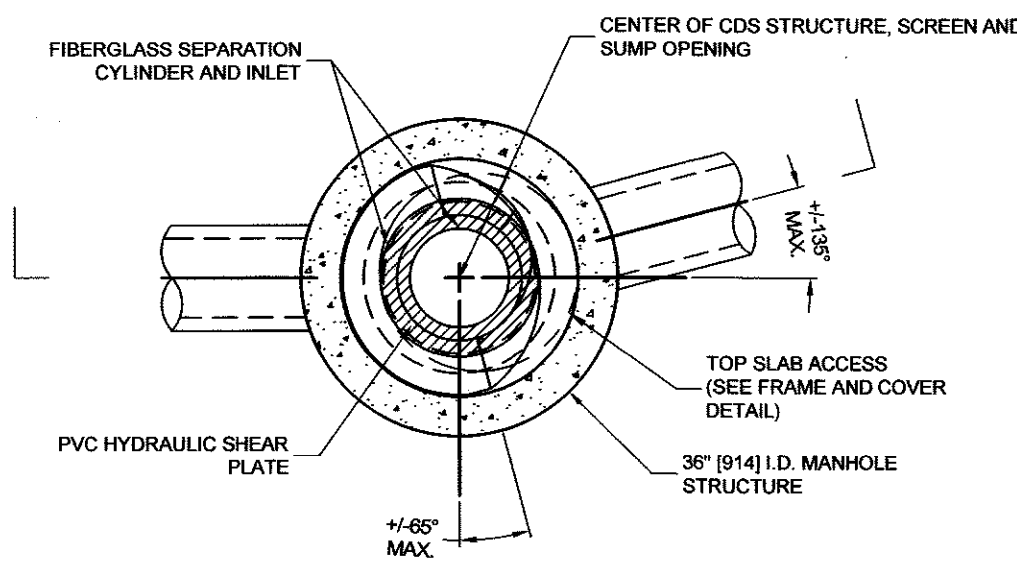
APRIL 14, 2022

DATE	REVISION DESCRIPTION
6/29/2022	REVISED PER TOWN COMMENTS
7/25/2022	REVISED PER TOWN COMMENTS
9/30/2022	REVISED PER PB DECISION
10/25/2022	REVISED PER PB DECISION

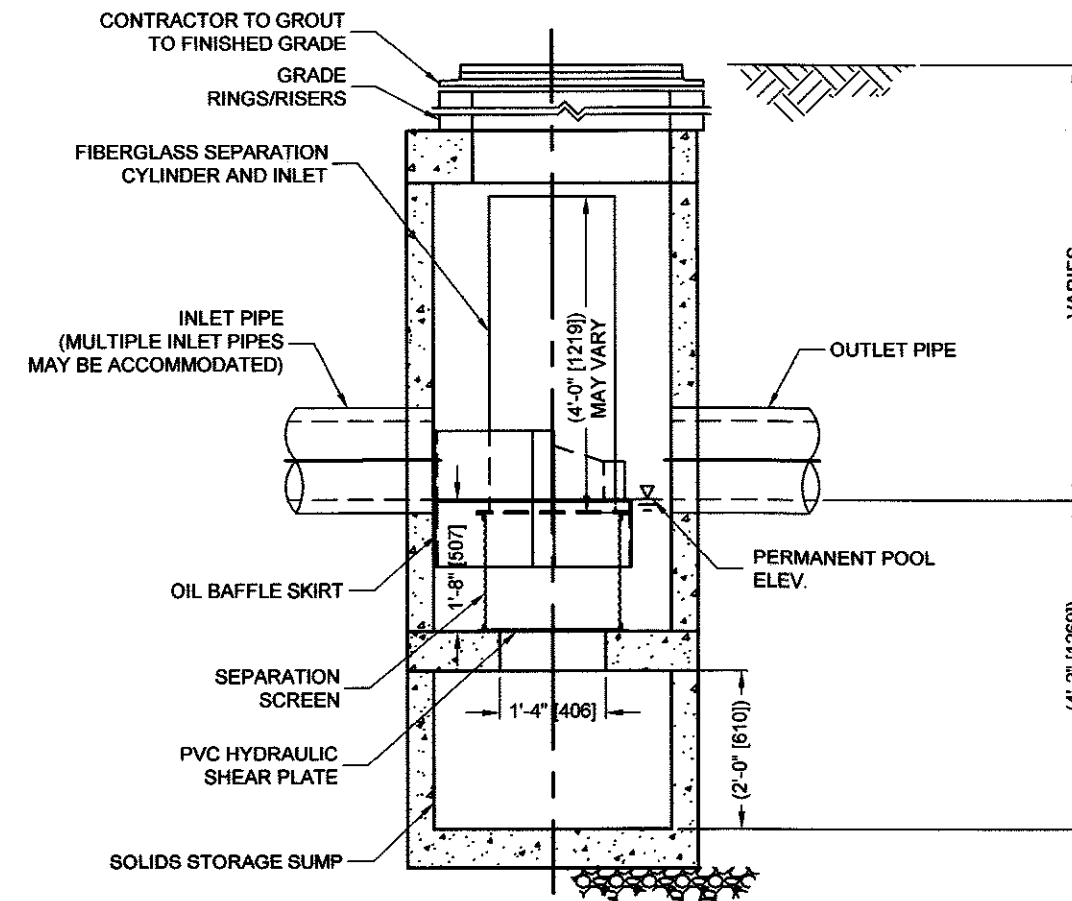
Guerriere & Halnon, Inc.
ENGINEERING & LAND SURVEYING
55 WEST CENTRAL ST. PH. (508) 528-3221
FRANKLIN, MA 02038 FX. (508) 528-7921
www.gandhengineering.com

SHEET
9 OF 13

JOB NO.
F4516



PLAN VIEW B-B
N.T.S.

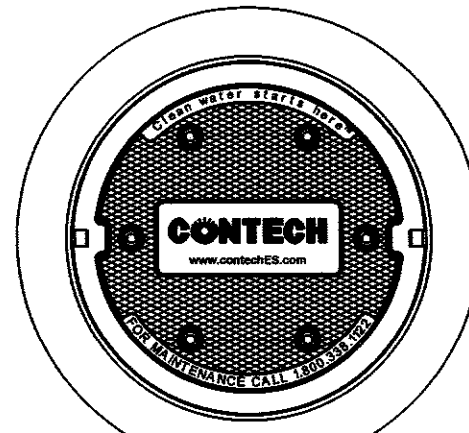


ELEVATION A-A
N.T.S.



CDS1515-3-C DESIGN NOTES

CDS1515-3-C RATED TREATMENT CAPACITY IS 1.0 CFS, OR PER LOCAL REGULATIONS.
THE STANDARD CDS1515-3-C CONFIGURATION IS SHOWN.



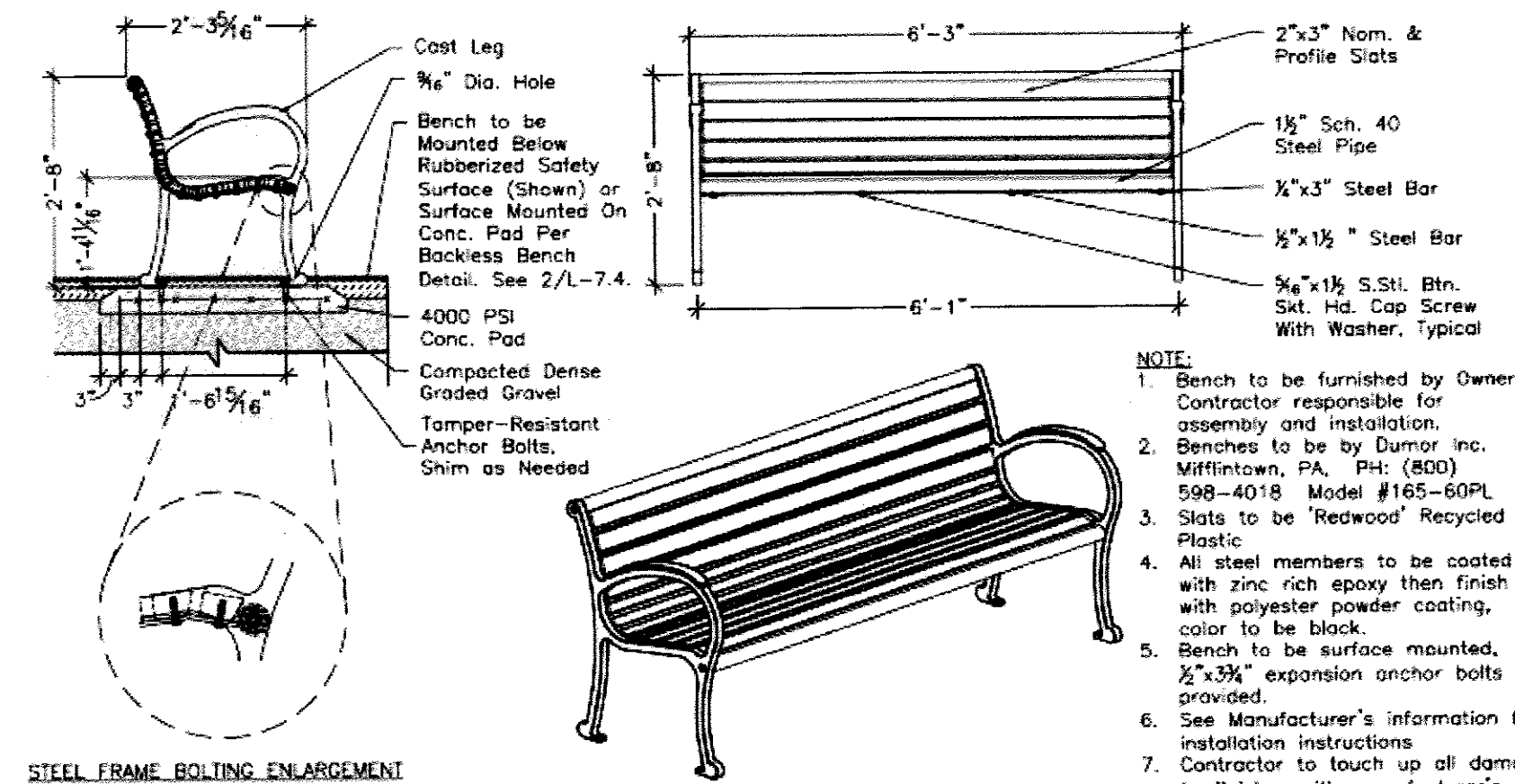
FRAME AND COVER
(DIAMETER VARIES)
N.T.S.

SITE SPECIFIC DATA REQUIREMENTS			
STRUCTURE ID			
WATER QUALITY FLOW RATE (CFS OR L/s)			
PEAK FLOW RATE (CFS OR L/s)			
RETURN PERIOD OF PEAK FLOW (YRS)			
SCREEN APERTURE (2400 OR 4700)			
PIPE DATA	I.E.	MATERIAL	DIAMETER
INLET PIPE 1			
INLET PIPE 2			
OUTLET PIPE			
RIM ELEVATION			
ANTI-FLOTATION BALLAST		WIDTH	HEIGHT
NOTES/SPECIAL REQUIREMENTS:			
* PER ENGINEER OF RECORD			

- GENERAL NOTES**
- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
 - FOR SITE SPECIFIC DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. www.contechES.com
 - CDS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
 - STRUCTURE SHALL MEET AASHTO HS20 LOAD RATING, ASSUMING EARTH COVER OF 0' - 2', AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M306 AND BE CAST WITH THE CONTECH LOGO.
 - IF REQUIRED, PVC HYDRAULIC SHEAR PLATE IS PLACED ON SHELF AT BOTTOM OF SCREEN CYLINDER. REMOVE AND REPLACE AS NECESSARY DURING MAINTENANCE CLEANING.
 - CDS STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C-478 AND AASHTO LOAD FACTOR DESIGN METHOD.
- INSTALLATION NOTES**
- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
 - CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE.
 - CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLE STRUCTURE.
 - CONTRACTOR TO PROVIDE, INSTALL, AND GROUT INLET AND OUTLET PIPE(S). MATCH PIPE INVERTS WITH ELEVATIONS SHOWN. ALL PIPE CENTERLINES TO MATCH PIPE OPENING CENTERLINES.
 - CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

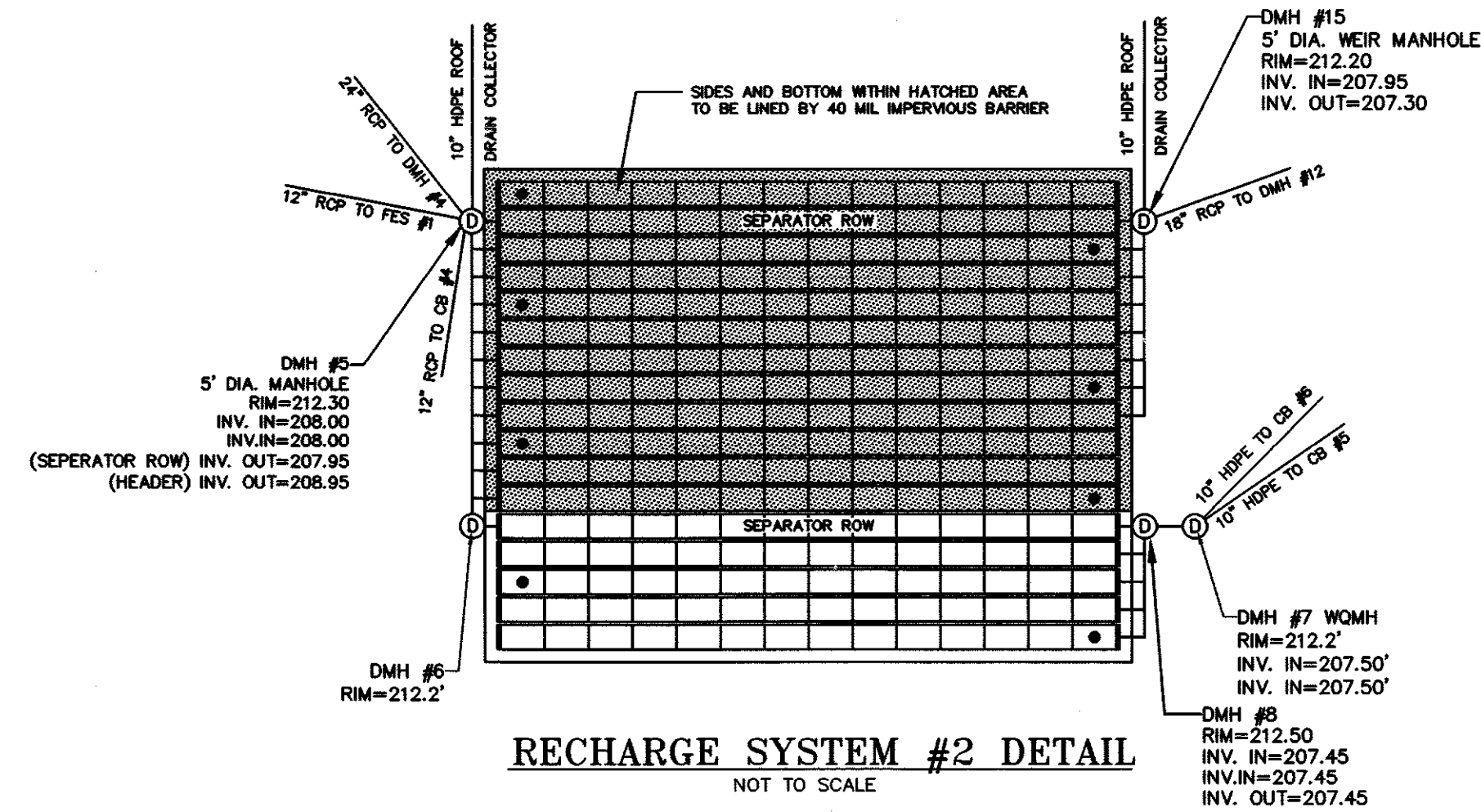


CDS1515-3-C
ONLINE CDS
STANDARD DETAIL

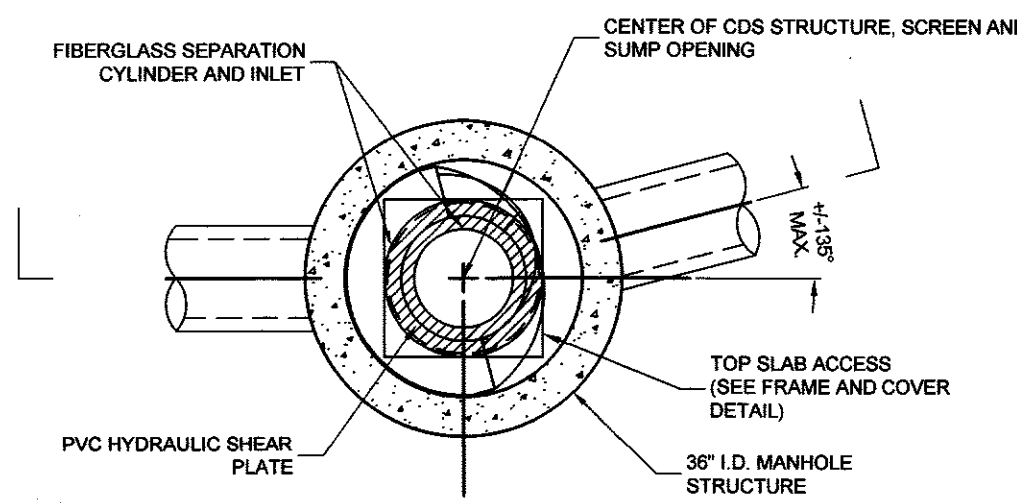


① 6' Bench With Back
Scale: 3/4" = 1'-0"

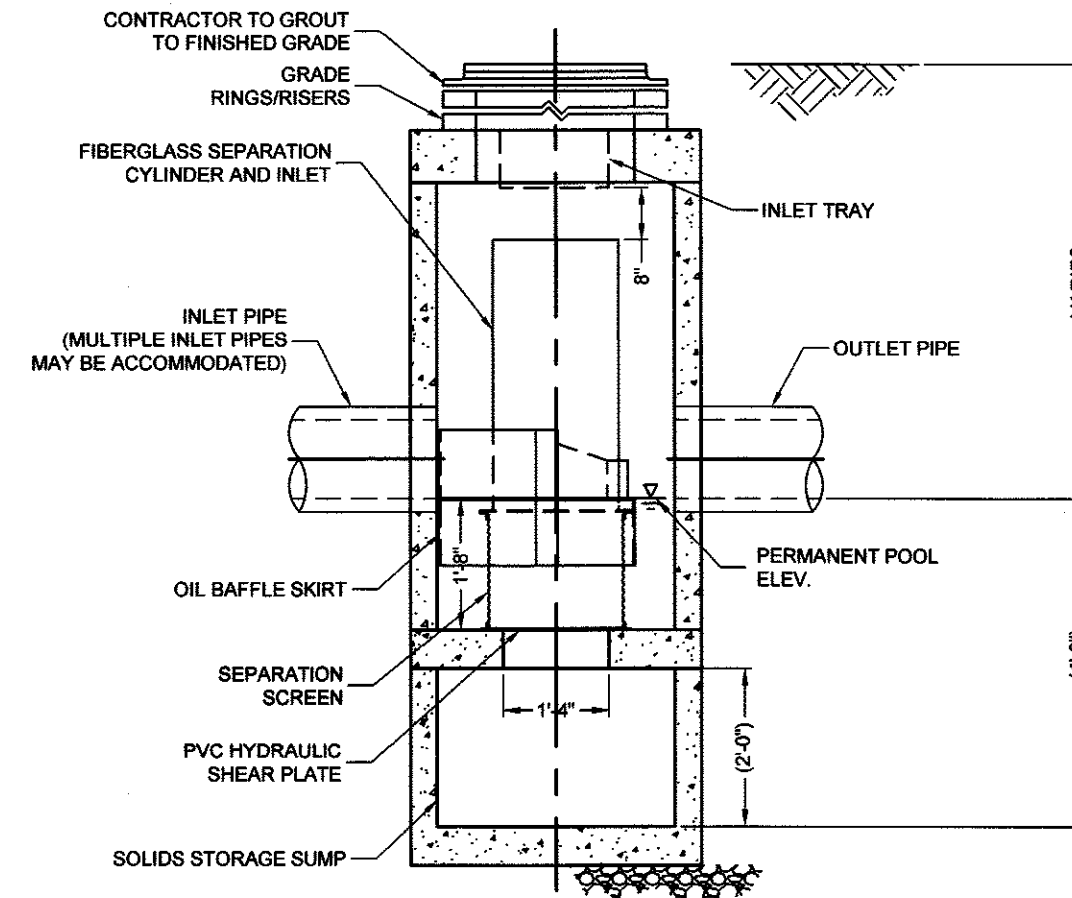
- NOTE:**
- Bench to be furnished by Owner. Contractor responsible for assembly and installation.
 - Benches to be by Gurney Inc., Wiffrintown, PA. PH: (800) 598-4018. Model #165-60PL.
 - Slats to be 'Redwood' Recycled Plastic.
 - All steel members to be coated with zinc rich epoxy then finish with polyester powder coating, color to be black.
 - Bench to be surface mounted, 2" x 3/4" expansion anchor bolts provided.
 - See Manufacturer's information for installation instructions.
 - Contractor to touch up all damage to finishes with manufacturer's provided touch up kit.



RECHARGE SYSTEM #2 DETAIL
NOT TO SCALE



PLAN VIEW B-B
N.T.S.



ELEVATION A-A
N.T.S.

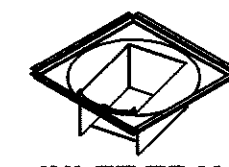


CDS1515-3-C DESIGN NOTES

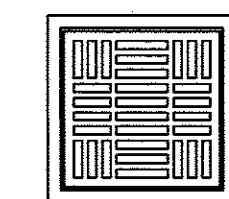
CDS1515-3-C RATED TREATMENT CAPACITY IS 1.0 CFS, OR PER LOCAL REGULATIONS.
THE STANDARD CDS1515-3-C WITH GRATED INLET CONFIGURATION IS SHOWN. ALTERNATE CONFIGURATIONS ARE AVAILABLE AND ARE LISTED BELOW. SOME CONFIGURATIONS MAY BE COMBINED TO SUIT SITE REQUIREMENTS.

CONFIGURATION DESCRIPTION

GRATED INLET ONLY (NO INLET PIPE)
GRATED INLET WITH INLET PIPE OR PIPES



INLET TRAY
NOT TO SCALE



24' X 24' FRAME AND GRATE
(MAY VARY)
NOT TO SCALE

SITE SPECIFIC DATA REQUIREMENTS			
STRUCTURE ID			
WATER QUALITY FLOW RATE (CFS OR L/s)			
PEAK FLOW RATE (CFS OR L/s)			
RETURN PERIOD OF PEAK FLOW (YRS)			
SCREEN APERTURE (2400 OR 4700)			
PIPE DATA	I.E.	MATERIAL	DIAMETER
INLET PIPE 1			
INLET PIPE 2			
OUTLET PIPE			
RIM ELEVATION			
ANTI-FLOTATION BALLAST		WIDTH	HEIGHT
NOTES/SPECIAL REQUIREMENTS:			
* PER ENGINEER OF RECORD			

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 - STRUCTURE SHALL MEET AASHTO HS20 LOAD RATING, ASSUMING EARTH COVER OF 0' - 2', AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M306 AND BE CAST WITH THE CONTECH LOGO.
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- INSTALLATION NOTES**
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 - CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.



CDS1515-3-C
ONLINE CDS
STANDARD DETAIL

APPROVED BY THE TOWN OF MEDWAY
PLANNING & ECONOMIC DEVELOPMENT BOARD

Robert J. Duff
Robert J. Duff
Robert J. Duff

BOARD MEMBER DATE

LEGAL NOTES

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OWNER

FREIL REALTY II, LLC
DEED BOOK 27992 PAGE 300
PLAN BK. 515, PG 721 OF 2003
A.M. 41 LOT 8

APPLICANT

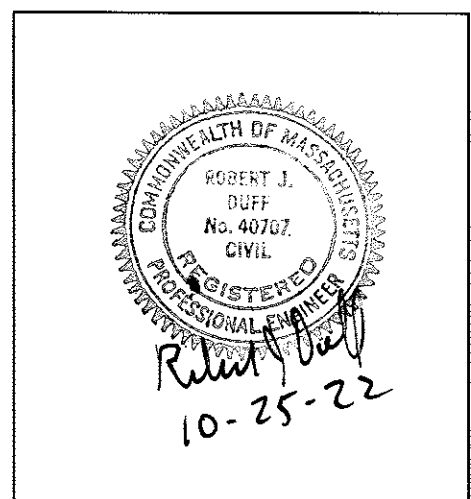
LOBISSER COMPANIES
1 CHARLESVIEW ROAD
HOPEDALE, MA 01747

SITE PLAN
86 HOLLISTON STREET
MEDWAY
MASSACHUSETTS

CONSTRUCTION
DETAILS

MARCH 28, 2022

DATE	REVISION DESCRIPTION
6/29/2022	REVISED PER TOWN COMMENTS
7/25/2022	REVISED PER TOWN COMMENTS
9/30/2022	REVISED PER PB DECISION
10/25/2022	REVISED PER PB DECISION



Guerriere & Halnon, Inc.
ENGINEERING & LAND SURVEYING
55 WEST CENTRAL ST. PH. (508) 528-3221
FRANKLIN, MA 02038 FX. (508) 528-7921
www.gandhengineering.com

SHEET
12 OF 13

JOB NO. **F4516**

LEGEND

	CATCH BASIN		LIGHT POLE
	DRAIN MANHOLE		UTILITY POLE
	ELECTRIC MANHOLE		GUY WIRE
	SEWER MANHOLE		SIGN
	MANHOLE		WETFLAG
	GAS VALVE		UTILITY POLE
	GAS SHUT OFF VALVE		PROP. STREET LIGHTING
	WATER VALVE		SPOT ELEVATION
	WATER SHUT OFF VALVE		RIPRAP
	FIRE HYDRANT		
	EXISTING CONTOUR		
	EXISTING DRAIN LINE		
	EXISTING WATER LINE		

Standard 9: A Long-Term Operation and Maintenance (O&M) Plan shall be developed and implemented to ensure that storm water management systems function as designed.

The following shall serve as the (O&M) Plan required by Standard 9, as well as the Long-Term Pollution Prevention Plan required by Standard 4.

A. Names of Persons or Entities Responsible for Plan Compliance:

Freil Realty II, LLC
c/o David Cassidy
86 Holliston Street
Medway, MA 02053
Tel: 508-533-8939

It is the intent of the Applicant to have the site completed and released by the various town Departments and Boards.

B. Good housekeeping practices

1. Maintain site, landscaping and vegetation.
2. Sweep and pick up litter on pavements and grounds.
3. Deliveries shall be monitored by owners or representative to ensure that if any spillage occurs, it shall be contained and cleaned up immediately.
4. Maintain pavement and curbing in good repair.

C. Requirements for routine inspections and maintenance of stormwater BMPs

1. Plans: The storm water Operation and Maintenance Plan shall consist of all Plans, documents and all local state and federal approvals as required for the subject property.
2. Record Keeping:
 - a. Maintain a log of all operation and maintenance activities for at least three years following construction, including inspections, repairs, replacement and disposal (for disposal, the log shall indicate the type of material and the disposal location);
3. Descriptions and Designs: The Best Management Practices (BMP) incorporated into the design include the following:
 - a. Pavement Sweeping - Stipulated within the Construction Period Pollution Prevention Plan, the Long Term Pollution Prevention Plan, and the Operation and Maintenance Plan. As the amount of TSS removal is discretionary, no credit was taken within the calculations for this BMP.
 - b. Deep sump catch basins with hoods installed to promote TSS Removal of solids and control floatable pollutants. This BMP has a design rate of 25% TSS Removal.
 - c. Concrete Water Quality Manholes - installed to promote TSS Removal of solids. These proprietary BMPs have a variable rate of TSS removal, see manufacturer calculations in attachment section of this report.
 - d. Infiltration Chambers - subsurface infiltration BMP provides the required groundwater recharge and has a design rate of 80% TSS Removal. Refer to TSS Removal Worksheet included in the Attachments.
 - e. Rain Garden: planted infiltration BMP provides required groundwater recharge and has a design rate of 80% TSS Removal.
 - f. Stormwater Swales: Conveyance BMP to capture and convey stormwater to other stormwater BMPs for treatment, detention, and infiltration.
 - g. Spill Containment Kit to contain and clean-up spills that could occur on site.
4. BMP Maintenance: After construction it is the responsibility of the owner to perform maintenance. The owner shall also be responsible for the maintenance of the existing stormwater BMPs on the abutting Walgreens property. The cleaning of the components of the stormwater management system shall generally be as follows:
 - a. Pavement: The owner shall keep the pavement swept with a mechanical sweeper or hand swept semi-annually at a minimum.
 - b. Catch Basins: Shall be cleaned by excavating, pumping or vacuuming. The sediment shall be disposed of off-site by the Owner. Inspect quarterly, remove silt when 1/4 full.
 - c. Water Quality Manholes: Inspected twice a year. Clean structure when sediment accumulation reaches a depth of 2.0ft. Cleaning is generally done with the combination of a high pressure spray jet and vacuum truck and is the most effective and convenient method. A maintenance log shall be kept for all maintenance activities.
 - d. Infiltration Chambers: Inspect after 2 years of commission using the inspection port via a CCTV and inspect every year thereafter or as needed depending on rainfall and site conditions. Cleaning with high pressure water through culvert cleaning nozzle when sediment accumulation reaches a depth of 3 inches or more. A maintenance log shall be kept for all maintenance activities.
 - e. Rain Garden: Inspect for proper function after every major storm event during the first 3 months of operation, inspect/remove debris twice per year afterward. Inspect mulch condition at least twice per year and refresh as needed, removing any deteriorated mulch.
 - f. Stormwater Swales: Inspect for proper function after every major storm event during the first 3 months of operation, inspect/remove debris twice per year afterward. Mow grassed swales a minimum of twice per year.
5. Access Provisions: All of the components of the storm water system will be accessible by the Owner

D. Spill prevention and response plans

1. Train employees and subcontractors in prevention and clean up procedures.
2. All materials stored on site will be stored in their appropriate containers under a roof or in the approved underground storage tanks.
3. No hazardous materials are to be stored outside.
4. Follow manufacturer's recommendation for disposal of used containers.
5. On site equipment, fueling and maintenance measures:
 - a. Inspect on-site vehicles and equipment daily for leaks.
 - b. Conduct all vehicle and equipment maintenance off site and refueling in one location, away from storm drains and wetlands. No vehicle washing is allowed on impervious surfaces draining into the stormwater management system, and is recommended for previous vegetated areas only.
6. Clean up spills:
 - a. Never hose down "dirty" pavement or impermeable surfaces where fluids have spilled. Use dry clean-up methods (sawdust, cat litter and/or rags and absorbent pads).
 - b. Sweep up dry materials immediately. Never wash them away or bury them.
 - c. Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
 - d. Report significant spills to the Fire Department, Conservation Commission and Board of Health.
 - e. Floatables shall be promptly and completely removed from catch basins, water quality units, and other drainage structures following a spill.

E. Provisions for maintenance of lawns, gardens, and other landscaped areas

Dispose of clippings away from storm drainage, wetland resource areas, and their buffers.

F. Requirements for storage and use of fertilizers, herbicides, and pesticides

The application of fertilizers, herbicides, or pesticides will be done by professional certified contractor. Only slow release, organic options are permitted for use within wetland jurisdictional buffer areas. Storage these chemicals is not permitted with 100' of the wetland resource area.

G. Provisions for solid waste management

1. Waste Management Plan
 - a. Recycle materials whenever possible (paper, plaster cardboard, metal cans). Separate containers for material is recommended.
 - b. Do not bury waste and debris on site.
 - c. Certified haulers will be hired to remove the dumpster container waste as needed. Recycling products will also be removed off site weekly.
 - d. No hazardous waste are to be disposed of in the on-site dumpster, and must be disposed of in accordance with all applicable regulations.

H. Snow disposal and plowing plans

Snow storage areas are designated on the site plan. No snow is to be stored within wetland resources, stormwater management areas, or parking spaces. Snow storage signs are to be provided adjacent to the wetland resource area as shown on the site plan. Excess snow that cannot be stored within the designated snow storage areas is to be removed and disposed of off-site within 72 hours.

I. Winter Road Salt and/or Sand Use and Storage restrictions

No sand, salt, or chemicals for de-icing are to be stored outside. No de-icer shall be used without the authorization of the Medway Conservation Commission. Calcium Chloride is proposed for use as the primary de-icing chemical.

J. Pavement sweeping schedules

Sweeping, the act of cleaning pavement can be done by mechanical sweepers, vacuum sweeper or hand sweeper. The quantity of sand is a direct correlation with the treatment of ice and snow and the types of chemicals and spreaders that are being used on site to manage snow. If a liquid de-icer such as calcium chloride is used as a pretreatment to new events the amount of sand is minimized. Sweeping for this site should be done semi-annually at a minimum. Collecting the particulate before it enters the catch basins is cheaper and more environmentally friendly than in a catch basin mixing with oils and greases in the surface water runoff in catch basins.

K. Provisions for prevention of illicit discharges to the stormwater management system

The discharge into the stormwater system is not being violated, see attachment for illicit discharges compliance.

1. Training the staff or personnel involved with implementing Long-Term Pollution Prevention Plan The owner shall develop policies and procedures for containing the illicit spilling of oils, soda, beer, paper, and litter. These wastes provide a degrading of the water quality. The placement of signs and trash barrels with lids around the site would contribute to clean water quality site conditions.

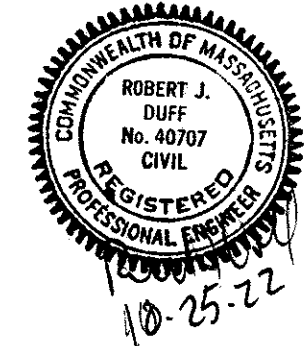
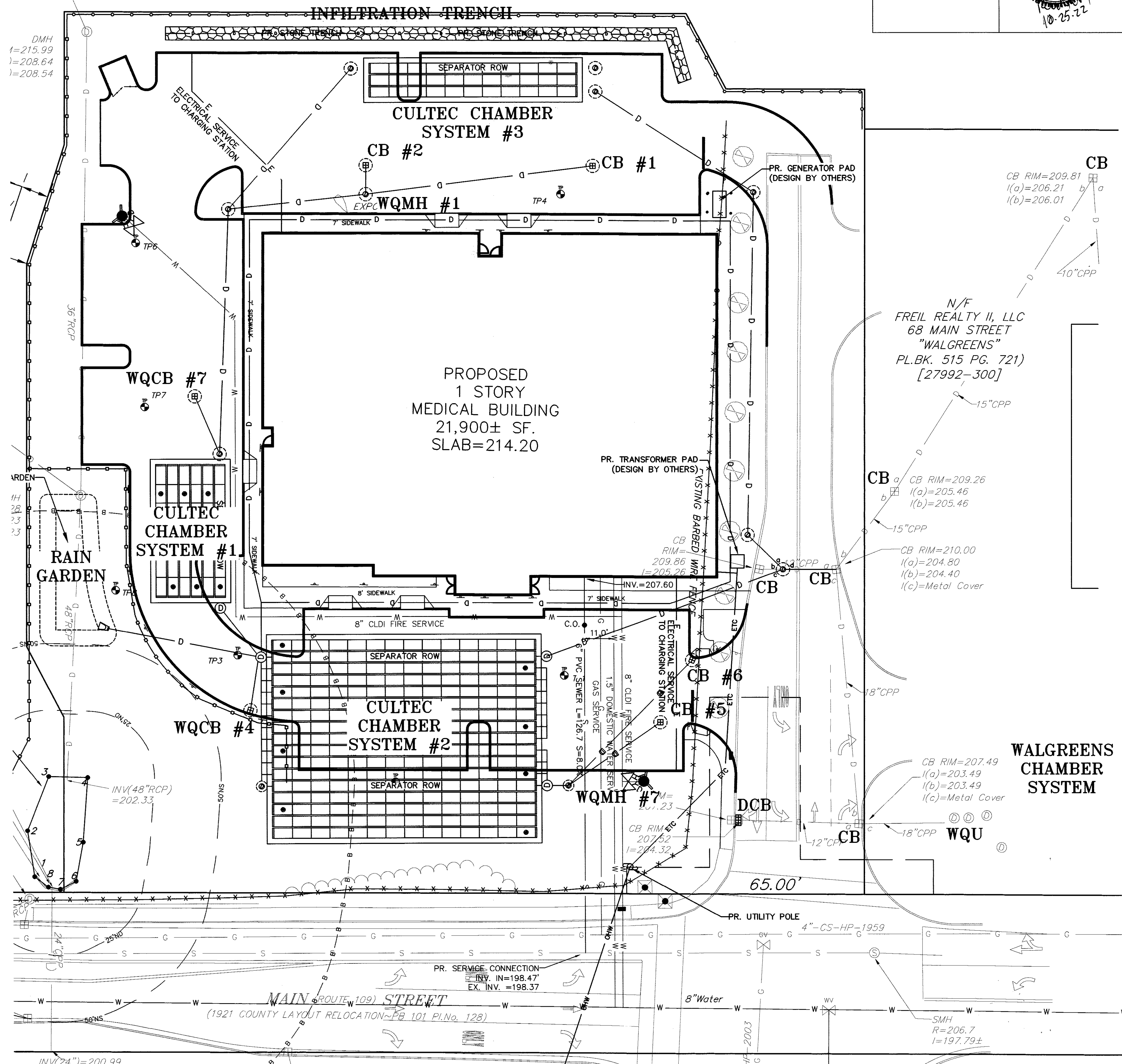
M. List of Emergency contacts for implementing Long-Term Pollution Prevention Plan:

Freil Realty II, LLC
c/o David Cassidy
86 Holliston Street
Medway, MA 02053
Tel: 508-533-8939

BMP

Estimated Maintenance Cost

Pavement sweeping	\$ 400 per year
Catch basin & WQMH cleaning	\$ 200 per catch basin per cleaning
Infiltration Chambers	\$ 500 per cleaning
Spill Containment Kit	\$ 750 purchase price



APPROVED BY THE TOWN OF MEDWAY
PLANNING & ECONOMIC DEVELOPMENT BOARD

Robert J. Duff
Robert J. Duff
Robert J. Duff

BOARD MEMEBER DATE

LEGAL NOTES

UTILITIES ARE PLOTTED AS A COMPILATION OF RECORD DOCUMENTS, MARKINGS AND OTHER OBSERVED EVIDENCE TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES AND SHOULD BE CONSIDERED APPROXIMATE. EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. ADDITIONAL UTILITIES, NOT EVIDENCED BY RECORD DOCUMENTS OR OBSERVED PHYSICAL EVIDENCE, MAY EXIST. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING AND CALL DIGSAFE AT 1(888)DIG-SAFE(7233).

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

OWNER

FREIL REALTY II, LLC
DEED BOOK 27992 PAGE 300
PLAN BK. 515, PG 721 OF 2003
A.M. 41 LOT 8

APPLICANT

LOBISSER COMPANIES
1 CHARLESVIEW ROAD
HOPEDALE, MA 01747

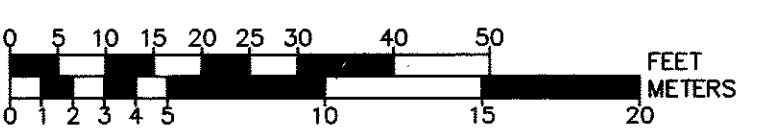
SITE PLAN
86 HOLLISTON STREET
MEDWAY
MASSACHUSETTS

OPERATION AND
MAINTENANCE PLAN

APRIL 14, 2022

DATE	REVISION	DESCRIPTION
6/29/2022	REVISED	PER TOWN COMMENTS
7/25/2022	REVISED	PER TOWN COMMENTS
9/30/2022	REVISED	PER PB DECISION
10/25/2022	REVISED	PER PB DECISION

GRAPHIC SCALE: 1"=20'



Guerriere & Halnon, Inc.
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