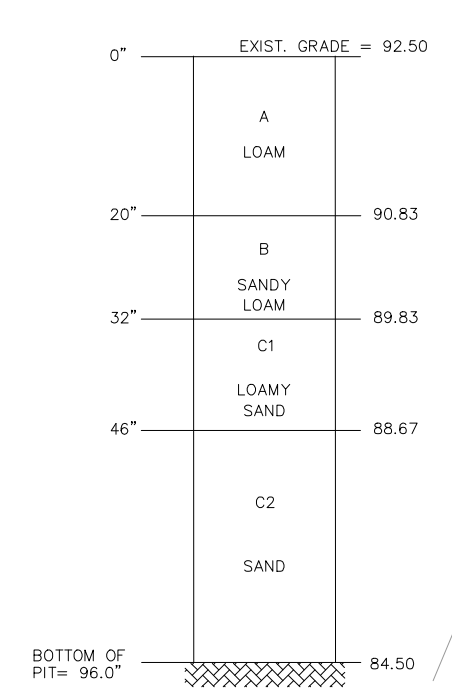


- LEGEND:
- AD ■ AREA DRAIN
 - CB ■ CATCH BASIN
 - C.O. ● CLEAN-OUT
 - DMH ● STORM DRAIN MANHOLE
 - F.G. — FINISH GRADE
 - G — GAS METER
 - GV — GAS GATE VALVE
 - INVERT — INVERT
 - L — LENGTH
 - S — SLOPE
 - PERF. — PERFORATED
 - PVC — POLYVINYL CHLORIDE PIPE
 - PROP — PROPOSED
 - EXIST. — EXISTING
 - BSMT. — BASEMENT
 - FL — FLOOR
 - ELEV. — ELEVATION
 - HDPE — HIGH DENSITY POLYETHYLENE
 - CONN. — CONNECTION
 - VGC — VERTICAL GRANITE CURB
 - SMH ● SANITARY SEWER MANHOLE
 - RD — ROOF DRAIN
 - S — SEWER LINE
 - SD — STORM DRAIN
 - W — DOMESTIC WATER SERVICE
 - W/F — FIRE PROTECTION WATER SERVICE
 - S — SANITARY SEWER SERVICE
 - 147 — PROPOSED ELEVATION CONTOUR
 - 145.25 — PROPOSED SPOT ELEVATION
 - TP — TEST PIT
 - PT — PERCOLATION TEST
 - WV — WATER GATE VALVE
 - TW — TOP OF WALL
 - BW — BOTTOM OF WALL
 - TS — TOP OF STEP
 - BS — BOTTOM OF STEP
 - TC — TOP OF CURB
 - BC — BOTTOM OF CURB
 - SB ■ STONE BOUND
 - EROSION CONTROL BARRIER
 - - - IMPERMEABLE BARRIER
 - - - PROPOSED FENCE
 - TRENCH DRAIN/SLOT DRAIN

TEST HOLE #1 (TP1)

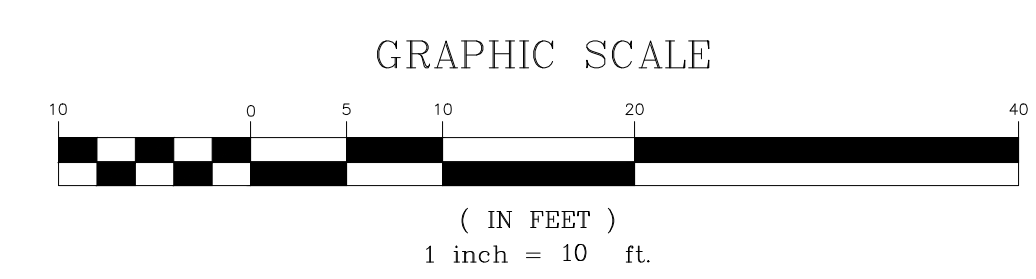


SOIL LOGS
SOILS TESTING CONDUCTED ON 03/19/2023
SOIL CONDUCTIVITY RATE (RAWS RATE):
RAWS RATE = 2.410 IN./HR.

NO GROUNDWATER OR MOTTILING ENCOUNTERED

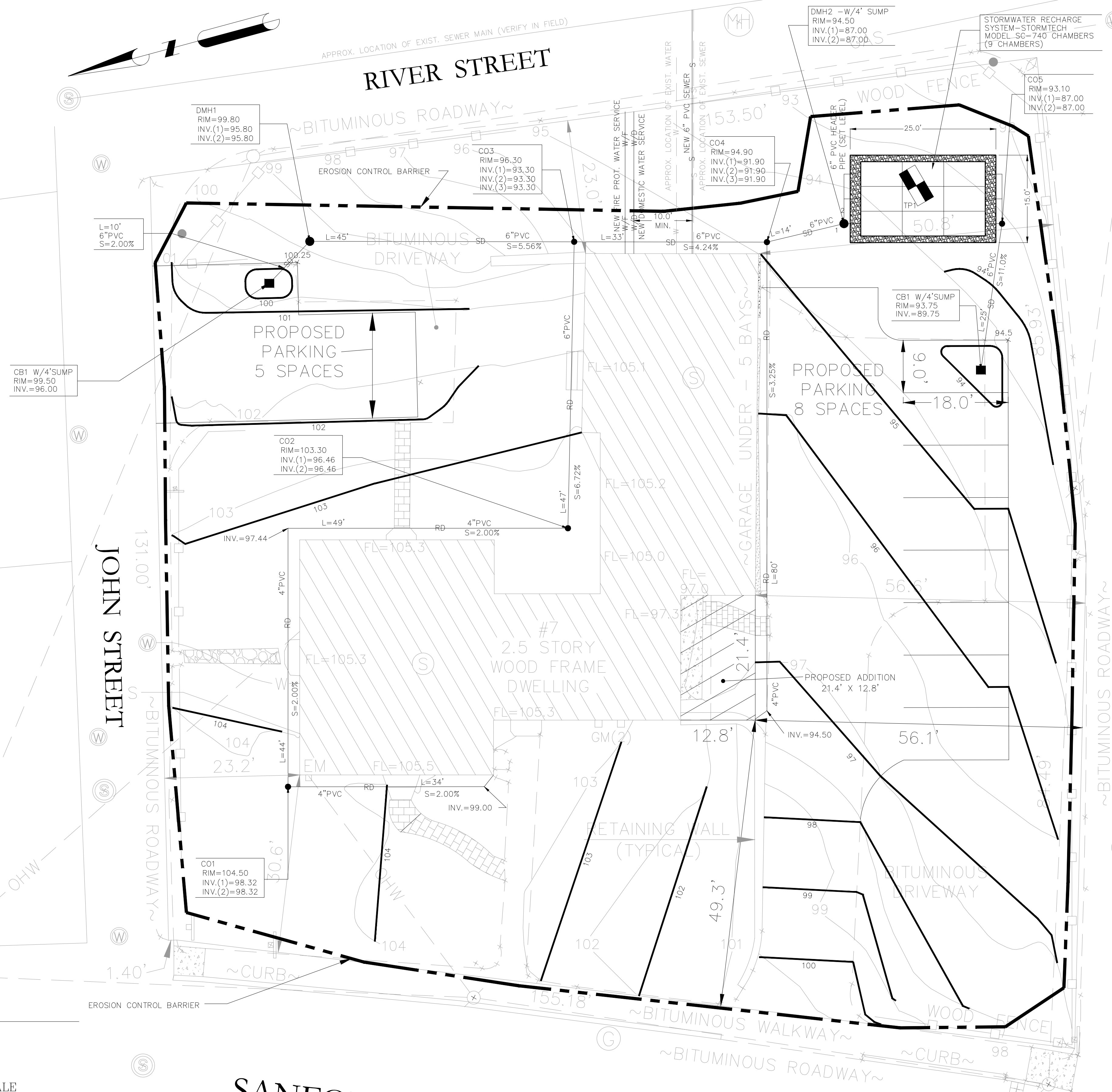
SOIL LOGS

N.T.S.



GRAPHIC SCALE

(IN FEET)
1 inch = 10 ft.



CONSTRUCTION NOTES

- PRIOR TO THE START OF ANY EXCAVATION FOR THE PROJECT, BOTH ON AND OFF THE SITE, THE CONTRACTOR SHALL NOTIFY DIGSAFE AND BE PROVIDED WITH A DIGSAFE NUMBER INDICATING THAT ALL EXISTING UTILITIES HAVE BEEN LOCATED AND MARKED.
- CONTRACTOR TO ADJUST UTILITY ELEMENT MEANT TO BE FLUSH WITH GRADE (CLEAN-OUTS, UTILITY MANHOLES, CATCH BASINS, INLETS, ETC.) THAT IS AFFECTED BY SITE WORK OR GRADE CHANGES, WHETHER SPECIFICALLY NOTED ON PLANS OR NOT.
- ALL CONSTRUCTION SHALL CONFORM TO TOWN OF MEDWAY ENGINEERING DEPARTMENT REQUIREMENTS.
- ALL WORK TO BE DONE WITHIN PUBLIC RIGHT-OF-WAYS SHALL CONFORM TO THE TOWN OF MEDWAY DEPARTMENT OF PUBLIC WORKS STANDARDS.
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE AND ALL UNDERGROUND UTILITIES.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION OF THE CONFLICT.
- THE CONTRACTOR SHALL ALTER THE MASONRY OF THE TOP SECTION OF ALL EXISTING DRAINAGE STRUCTURES AS NECESSARY FOR CHANGES IN GRADE, AND RESET ALL WATER AND DRAINAGE FRAMES, GRATES, AND BOXES TO THE PROPOSED FINISH SURFACE GRADE.
- THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF ALL GAS, ELECTRIC, TELEPHONE, AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY COMPANIES.
- CONTRACTOR SHALL MAINTAIN, OR ADJUST TO NEW FINISH GRADE, AS NECESSARY ALL UTILITY AND SITE STRUCTURES SUCH AS: LIGHT POLES, SIGN POLES, MANHOLES, CATCH BASINS, HAND-HOLES, WATER AND GAS GATES, HYDRANTS, ETC., FROM MAINTAINED UTILITY AND SITE SYSTEMS, UNLESS OTHERWISE NOTED OR DIRECTED BY OWNER'S REPRESENTATIVE.
- ALL STORM DRAIN PIPES SHALL BE HDPE OR PVC PER ASTM D3034, SDR-35 AND ASTM D1784 WITH RUBBER GASKET JOINTS, UNLESS OTHERWISE NOTED.
- AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION, AT THE CONTRACTOR'S EXPENSE.
- PROTECT AND MAINTAIN EXISTING ON-SITE DRAINAGE STRUCTURES AND PIPES UNLESS OTHERWISE NOTED.
- WHERE PROPOSED GRADES MEET EXISTING GRADES, CONTRACTOR SHALL BLEND GRADES TO PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING AND NEW WORK. PONDING AT TRANSITION AREAS WILL NOT BE ALLOWED.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS, STRUCTURES AND PLANTING BEDS.
- MAXIMUM SLOPE IN DISTURBED AREAS SHALL NOT EXCEED 3:1, UNLESS OTHERWISE NOTED.
- ENSURE ALL EXISTING (TO REMAIN), AND PROPOSED MANHOLE COVERS PROPERLY IDENTIFY UTILITY SERVICED.
- CONTRACTOR SHALL VERIFY EXISTING GRADES AND NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES.
- CONTRACTOR TO ADJUST UTILITY ELEMENT MEANT TO BE FLUSH WITH GRADE (CLEAN-OUTS, UTILITY MANHOLES, CATCH BASINS, INLETS, ETC.) THAT IS AFFECTED BY SITE WORK OR GRADE CHANGES, WHETHER SPECIFICALLY NOTED ON PLANS OR NOT.
- THE CONTRACTOR SHALL PROVIDE AN AS-BUILT PLAN SHOWING LOCATIONS AND TIE MEASUREMENTS TO ALL NEW UTILITY CONNECTIONS, INCLUDING BUT NOT LIMITED TO: MANHOLES, WYES, CATCH BASINS, AREA DRAINS, T-CONNECTIONS, ETC.
- SCREENED IMAGES SHOW EXISTING CONDITIONS. WHERE EXISTING CONDITIONS LIE UNDER OR ARE IMPINGED UPON BY PROPOSED BUILDINGS AND/OR SITE ELEMENTS, THE EXISTING CONDITION WILL BE REMOVED, ABANDONED AND/OR CAPPED OR DEMOLISHED AS REQUIRED.
- EXISTING SURFACES ARE SHOWN, G.C. TO COORDINATE WITH ARCHITECTURAL, AND LAYOUT AND MATERIALS PLANS FOR ALL NEW SURFACES, EXTERIOR BUILDING (STAIR AND AREAWAYS), PLANTINGS AND ALL OTHER NEW SITE FEATURES.
- THE EXISTING CONDITIONS INFORMATION TAKEN FROM PLAN TITLED "PLAN SHOWING EXISTING CONDITIONS, 7 SANFORD ST. MEDWAY, MA, NORFOLK COUNTY" DATED 3/17/2022 (REV: 1/19/2023); PREPARED BY: DENNIS O'BRIEN LAND SURVEYING, 480 WEST CENTRAL STREET, FRANKLIN, MA 02038

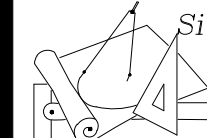
MANSION STREET

SANFORD STREET

NO.	REVISION	DATE

SITE PLAN
FOR
PROPOSED BUILDING
AND SITE IMPROVEMENTS
AT
7 SANFORD STREET
MEDWAY, MA 02053

PREPARED FOR: 7 SANFORD STREET LLC
7 SANFORD STREET
MEDWAY, MA 02053

 **Site Engineering Consultants, Inc.**
55 Grape Shot Road
Sharon, Massachusetts 02067
TEL: (781) 784-0326
FAX: (781) 784-0492
CONSULTING CIVIL ENGINEERS

PROPOSED SITE PLAN

SCALE: AS NOTED DATE: 03/23/2023
DRAWN BY: A.S.
CHECKED BY:
PROJECT NO: 0321

SHEET 1 OF 2

