

PERMIT SITE PLAN

4 MARC ROAD MEDWAY, MASSACHUSETTS 02053 for NEO ORGANICS LLC



Framingham
Boston • Worcester

1071 Worcester Road
Framingham, MA 01701
508-879-0030

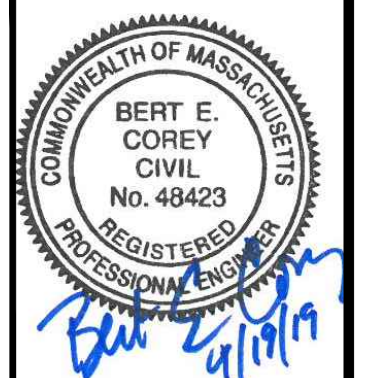
www.DGTassociates.com

APPLICANT
NEO ORGANICS LLC
365 BOSTON POST ROAD, #184
SUDBURY, MA 01776

MINOR SITE PLAN REVIEW/SPECIAL PERMIT
MEDWAY PLANNING AND ECONOMIC
DEVELOPMENT BOARD:

DATE SIGNED:

ISSUED FOR:
**MINOR SITE PLAN &
MARIJUANA SPECIAL PERMIT &
GROUNDWATER PROTECTION
DISTRICT SPECIAL PERMIT**



1	BEC	09/19/19	PER TOWN COMMENTS
NO.	APP	DATE	DESCRIPTION

DATE: AUGUST 6, 2019

SCALE: **AS NOTED**

DRAFTED: TMM/JAL	CHECKED: JAL	APPROVED: BEC
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PROJECT TITLE:

**NEO CULTIVATION &
MANUFACTURING**

4 MARC ROAD
MEDWAY, MASSACHUSETTS 02053

SHEET TITLE:

TITLE SHEET

SHEET: 1 OF 7	C-1
PROJECT NO.: 25457	

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GENERAL NOTES

- ELEVATIONS SHOWN HEREON REFER TO NAVD 1988, DETERMINED BY GPS OBSERVATIONS USING GEOID 12B.
- TOPOGRAPHIC FEATURES, SITE DETAILS AND SIGNIFICANT IMPROVEMENTS DEPICTED HEREON, WERE OBTAINED FROM AERIAL MAPPING BY BLUESKY AND FIELD SURVEYS CONDUCTED BY DGT ASSOCIATES ON 4/9/19, 6/24/19 AND 7/2/19.
- THE CONTRACTOR SHALL VERIFY THE LOCATION AND RELATIVE ELEVATION OF BENCH MARKS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION. ANY DISCREPANCY SHALL BE REPORTED TO THE ENGINEER.
- ALL SITE CONSTRUCTION SHALL COMPLY WITH THE MEDWAY DEPARTMENT OF PUBLIC WORKS.
- IN CASES WHERE LEDGE, BURIED FOUNDATIONS OR BOULDERS ARE PRESENT, DGT ASSOCIATES SHALL NOT BE RESPONSIBLE FOR THE AMOUNT OF ROCK OR CONCRETE ENCOUNTERED.
- DGT ASSOCIATES SHALL BE NOTIFIED OF ANY SIGNIFICANT DIFFERENCES IN THE EXISTING CONDITIONS OR UTILITIES THAT MAY AFFECT THE CONSTRUCTION SHOWN ON THIS PLAN FOR ANY NECESSARY PLAN REVISIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND/OR REPLACEMENT OF ANY EXISTING FEATURES DAMAGED DURING CONSTRUCTION THAT ARE NOT INTENDED FOR DEMOLITION AND/OR REMOVAL HEREON.
- SAFETY MEASURES, CONSTRUCTION METHODS AND CONTROL OF WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

GRADING AND UTILITY PLAN NOTES

- LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE ONLY. ALL UTILITIES, OBSTRUCTIONS AND/OR SYSTEMS MAY NOT BE SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR FOR LOCATING AND PROTECTING ALL EXISTING UNDERGROUND UTILITIES AND/OR SYSTEMS WHETHER OR NOT SHOWN HEREON.
- UNLESS OTHERWISE SHOWN HEREON, ALL NEW UTILITIES SHALL BE UNDERGROUND.
- RIM ELEVATIONS SHOWN HEREON FOR NEW STRUCTURES ARE PROVIDED TO ASSIST THE CONTRACTOR WITH MATERIAL TAKEOFFS. FINAL RIM ELEVATIONS SHALL MATCH PAVEMENT, GRADING, LANDSCAPING, UNLESS SPECIFICALLY INDICATED OTHERWISE.
- WHERE CONNECTIONS AND STRUCTURES ARE TO BE INSTALLED AT EXISTING UTILITIES, THE CONTRACTOR SHALL CONFIRM THE LOCATION AND ELEVATION PRIOR TO INSTALLATION AND SHALL REPORT ANY SIGNIFICANT DISCREPANCY FROM THE PLAN INFORMATION TO THE ENGINEER.
- WHERE NEW PAVING MEETING EXISTING PAVING, MEET LINE AND GRADE OF EXISTING WITH NEW PAVING.
- AT LOCATIONS WHERE EXISTING PAVEMENT ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING PAVEMENT SHALL BE SAWCUT TO A CLEAN AND SMOOTH EDGE.
- PERIMETER EROSION CONTROLS SHOWN HEREON SHALL BE INSTALLED PRIOR TO ANY EARTH DISTURBANCE AND SHALL SERVE AS A LIMIT OF WORK, UNLESS OTHERWISE SHOWN.
- THE CONTRACTOR SHALL PROVIDE DUST CONTROL FOR CONSTRUCTION OPERATIONS AS APPROVED BY THE ENGINEER.
- ALL POINTS OF CONSTRUCTION EGRESS OR INGRESS SHALL BE MAINTAINED TO PREVENT THE TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADS.
- ALL EXISTING DRAIN PIPES TO BE JETTED AND ALL EXISTING DRAIN STRUCTURES TO BE VACUUMED WITH A VACTOR TRUCK BEFORE AND AFTER SITE CONSTRUCTION.

REGULATORY NOTES

- THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON FIELD LOCATION OF VISIBLE STRUCTURES AND COMPILING INFORMATION FROM PLANS PROVIDED BY UTILITY COMPANIES AND GOVERNMENT AGENCIES. THE LOCATION SHOWN HEREON SHALL BE CONSIDERED APPROXIMATE. BEFORE ANY CONSTRUCTION, DEMOLITION OR SITE WORK, THE LOCATION OF ALL UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR BY CONTACTING "DIG-SAFE" AT 811.
- THE CONTRACTOR SHALL MAKE HIMSELF AWARE OF ALL CONSTRUCTION REQUIREMENTS, CONDITIONS AND LIMITATIONS IMPOSED BY PERMITS AND APPROVALS ISSUED BY REGULATORY AUTHORITIES PRIOR TO THE COMMENCEMENT OF ANY WORK. CONTRACTOR SHALL COORDINATE AND OBTAIN ALL CONSTRUCTION PERMITS REQUIRED BY REGULATORY AUTHORITIES.
- ALL WORK OUTSIDE OF THE BUILDING THAT IS LESS THAN 10 FEET FROM THE INSIDE FACE OF THE BUILDING FOUNDATIONS SHALL CONFORM WITH THE UNIFORM STATE PLUMBING CODE OF MASSACHUSETTS, 248 CMR 2.00.
- CONSTRUCTION ACTIVITIES SHALL CONFORM TO THE RULES AND REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA).

PLAN INTENT

- THE INTENT OF THIS PLAN IS FOR PERMITTING PURPOSES ONLY AND SHALL NOT BE USED FOR CONSTRUCTION PURPOSES.

ZONING

INDUSTRIAL - 1 (I-1)
UNDERLYING ZONING DISTRICT EAST
INDUSTRIAL (EI) & GROUNDWATER
PROTECTION DISTRICT

RECORD OWNER

NEK, LLC

REFERENCES

MEDWAY ASSESSOR'S PARCEL: 32-026
NORFOLK COUNTY REGISTRY OF DEEDS
BOOK 21910 PAGE 102

APPLICANT

NEO ORGANICS LLC
365 BOSTON POST ROAD, #184
SUDBURY, MA 01776

DIMENSIONAL REQUIREMENTS

	REQUIRED	EXISTING	PROVIDED
LOT AREA:	20,000 SF	290,884± SF	290,884± SF
LOT FRONTAGE:	100 FT	194.6 FT	194.6 FT
FRONT YARD SETBACK:	30 FT	91.5 FT	91.5 FT
SIDE YARD SETBACK:	20 FT	117.1 FT	117.1 FT
REAR YARD SETBACK:	30 FT	276.7 FT	276.7 FT
BUILDING HEIGHT:	60 FT	15.9 FT	15.9 FT
MAXIMUM IMPERVIOUS COVERAGE:	80 %	23.4 %	24.5 %
MINIMUM OPEN SPACE:	20 %	76.6 %	75.5 %

SITE DATA

	PRE-DEVELOPMENT	POST-DEVELOPMENT
BUILDING AREA	29,718 SF (10.2 %)	29,718 SF (10.2 %)
PAVEMENT & SIDEWALKS	38,294 SF (13.2 %)	41,530 SF (14.3 %)
TOTAL IMPERVIOUS	68,012 SF (23.4 %)	71,248 SF (24.5 %)
OPEN SPACE & LANDSCAPED AREA	222,872 SF (76.6 %)	219,636 SF (75.5 %)
AREA OF DISTURBANCE = 29,636 SF (10.2 %)		

THE TOTAL AREA OF DISTURBANCE OF 29,636 SQUARE FEET IS ASSOCIATED WITH THE PROPOSED CONCRETE PAD, DRAINAGE SWALE AT WEST SIDE OF CONCRETE PAD AND BUILDING, GRAVEL ACCESS ROAD, SITE DRAINAGE IMPROVEMENTS INCLUDING THE PROPOSED WORK WITHIN THE DRAINAGE DITCH, RE-PAVING AND RE-GRADING OF EMPLOYEE PARKING AND CONCRETE WALKWAY FOR HANDICAP ACCESS, AND FOR TEMPORARY DISTURBANCE AND STAGING AREAS.

PARKING DATA

REQUIRED:		
1 SPACE / 2 EMPLOYEES	13	
1 SPACE / 1,000 SF OF BUILDING	30	
TOTAL REQUIRED	43	
EXISTING:		PROPOSED:
STANDARD SPACES	69	STANDARD SPACES 69
VAN ACCESSIBLE SPACES	0	VAN ACCESSIBLE SPACES 1
STANDARD HANDICAP SPACES	0	STANDARD HANDICAP SPACES 2
TOTAL PROVIDED	69	TOTAL PROVIDED 72

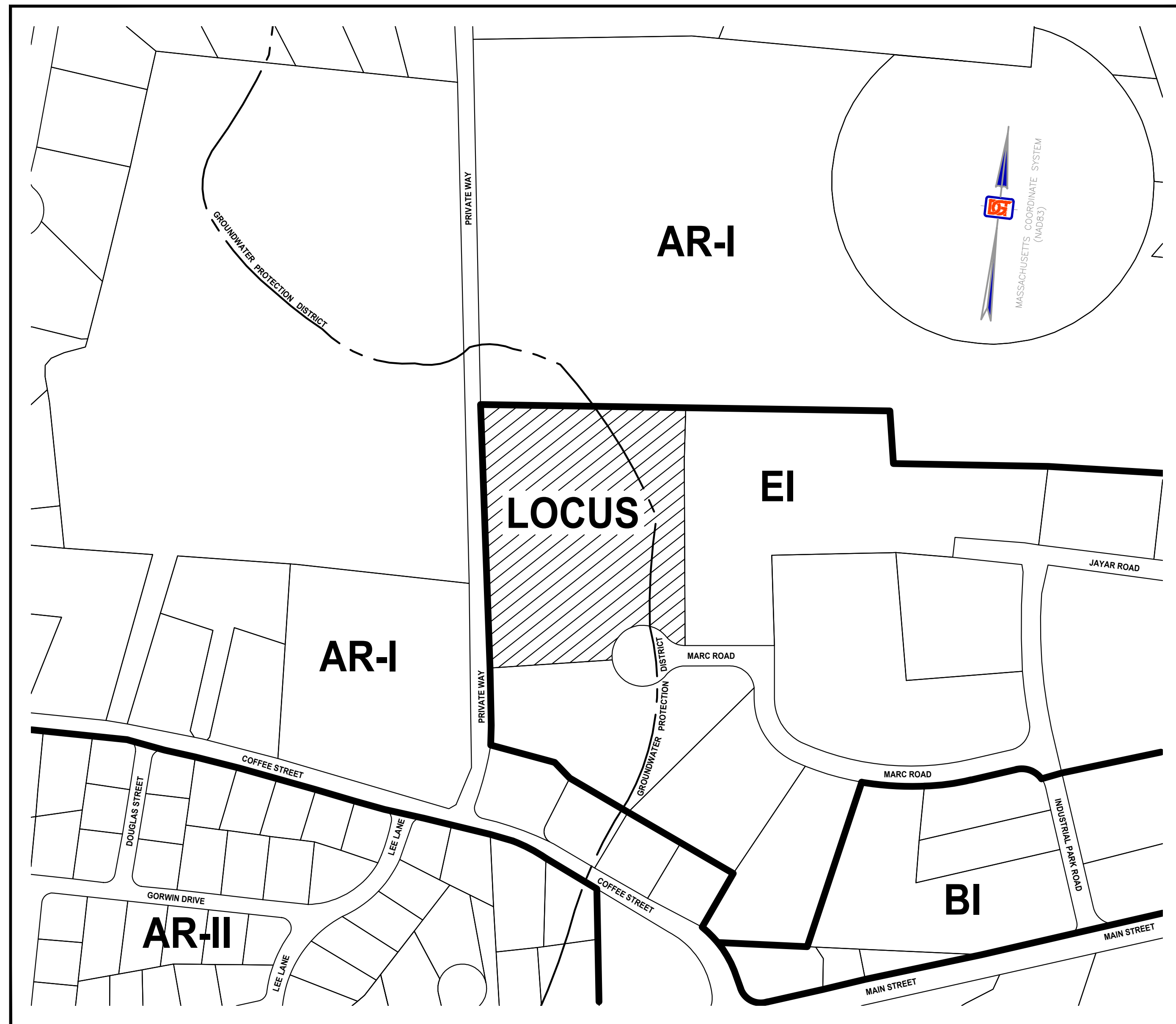
SHEET INDEX

C-1	TITLE SHEET
C-2	EXISTING CONDITIONS PLAN
C-3	PROPOSED CONDITIONS PLAN
C-4	EROSION AND SEDIMENT CONTROL PLAN
C-5	EROSION AND SEDIMENT CONTROL NOTES AND DETAILS
C-6	SITE DETAILS #1
C-7	SITE DETAILS #2

REQUESTED WAIVERS

THE FOLLOW WAIVERS FROM THE TOWN OF MEDWAY PLANNING BOARD RULES AND REGULATIONS ARE REQUESTED:

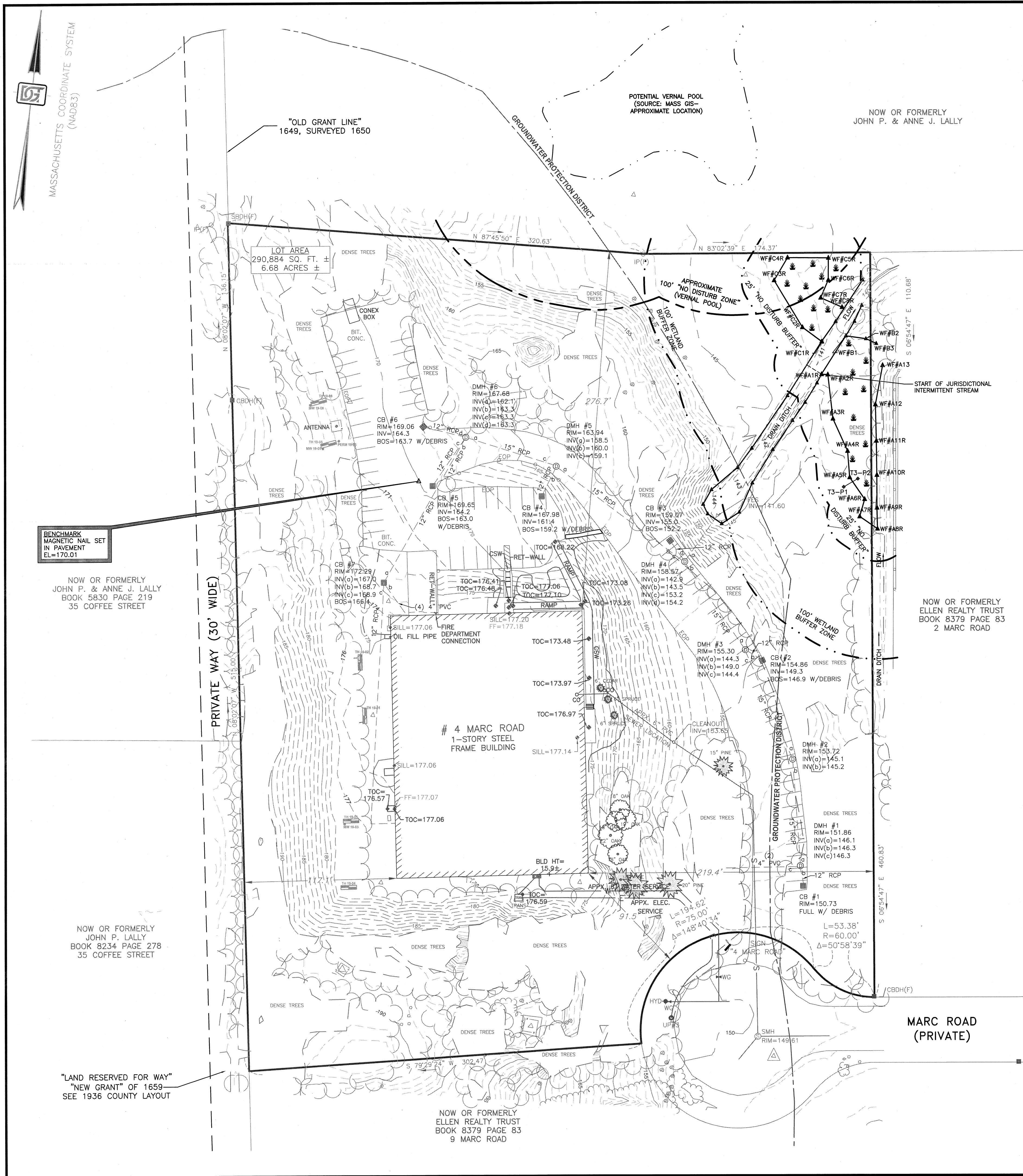
- CHAPTER 200, ARTICLE IV, SECTION 204-4.B (SITE CONTEXT SHEET)
- CHAPTER 200, ARTICLE IV, SECTION 204-4.C.3 (EXISTING LANDSCAPE INVENTORY)
- CHAPTER 200, ARTICLE IV, SECTION 204-4.D.7 (LANDSCAPE ARCHITECTURAL PLAN)
- CHAPTER 200, ARTICLE IV, SECTION 204-4.D.12 (SIGNAGE PLAN)
- CHAPTER 200, ARTICLE IV, SECTION 204-4.D.13 (LIGHTING PLAN)
- CHAPTER 200, ARTICLE IV, SECTION 204-3.A.7 (DEVELOPMENT IMPACT STATEMENT)



LOCUS MAP

1" = 200'

G:\Dorian Jobs\25457\Correspondence\To Client\2019-09-19 (Rev1)\Site Plan.dwg



NOTES

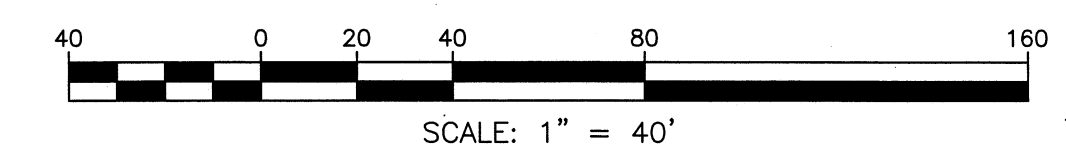
1. RECORD OWNER IS NEK LLC. SEE DEED BOOK 21910 PAGE 102.
2. ELEVATIONS REFER TO NAVD 1988, DETERMINED BY GPS OBSERVATIONS USING GEOID 12B.
3. SEE MEDWAY ASSESSOR'S PARCEL 32-026.
4. THIS PARCEL FALLS WITHIN ZONING DISTRICT I-1.
5. OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT ASSESSORS RECORDS.
6. SEE NORFOLK COUNTY REGISTRY OF DEEDS FOR RECORD DOCUMENTS.
7. TOPOGRAPHIC FEATURES, SITE DETAILS AND SIGNIFICANT IMPROVEMENTS DEPICTED HEREON, WERE OBTAINED FROM AERIAL MAPPING BY BLUESKY AND FIELD SURVEYS CONDUCTED BY DGT ASSOCIATES ON 4/9, 6/24, 7/2, 9/4 AND 9/6/2019.
8. THIS TOPOGRAPHIC SURVEY BY DGT ASSOCIATES WAS PREPARED TO MEET NATIONAL MAP ACCURACY STANDARDS AT A SCALE OF 1"=40' HORIZONTALLY AND A 1 FOOT CONTOUR INTERVAL VERTICALLY. ANY REPRODUCTIONS OR RESCALING MAY AFFECT THE MAP ACCURACY.
9. WETLAND DELINEATION WAS CONDUCTED ON 6/27 AND 8/30/2019 BY DGT ASSOCIATES. DELINEATION WAS ADJUSTED WITH CONSERVATION AGENT ON 8/30/2019. ADJUSTED FLAGGING WAS SURVEY LOCATED ON 9/6/2019 AND ARE SHOWN ON THIS PLAN.
10. THIS PARCEL LIES IN ZONE "X-UNSHADED" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS SHOWN ON FEMA FLOOD INSURANCE RATE MAP NUMBER 25021C0142E DATED JULY 17, 2012.
11. AREAS OUTLINED IN RED AND LABELED "DENSE TREES" WERE OBTAINED AND CONTAIN NO TOPOGRAPHIC INFORMATION.
12. LEGAL STATUS OF EASEMENTS, WAYS, AND RESTRICTIONS NOT DETERMINED BY THIS SURVEY.
13. LOCATION OF UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON FIELD LOCATION OF VISIBLE STRUCTURES AND COMPILING INFORMATION FROM UTILITY RECORDS. THE LOCATION SHOWN SHALL BE CONSIDERED APPROXIMATE. BEFORE ANY CONSTRUCTION, THE LOCATION OF UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR IN ACCORDANCE WITH CH. 82, SEC. 40 AS AMENDED, ALL UTILITY COMPANIES AND APPLICABLE GOVERNMENT AGENCIES MUST BE CONTACTED CONTACT "DIG-SAFE" AT 1-888-344-7233 OR 811.

LEGEND

BANK#3	▲	RIVER BANK FLAG
BIT.	◆	BITUMINOUS CONCRETE
B.M.	⬢	BENCH MARK
CB	⬢	CATCH BASIN
CO	○	CLEAN OUT
CONC.	⬢	CONCRETE
DMH	⬢	DRAIN MANHOLE
EM	⬢	ELECTRIC METER
EOP	⬢	EDGE OF PAVEMENT
FF=	◆	FINISHED FLOOR ELEVATION
HYD	◆	HYDRANT
INV=	◆	INVERT ELEVATION OF PIPE
LS	◆	LANDSCAPED AREAS
MAHW#3	▲	MEAN ANNUAL HIGH WATER FLAG
N/F	○	NOW OR FORMERLY
POST	○	POST
ROCK OR BOULDER	⬢	ROCK OR BOULDER
SHRUB	⬢	SHRUB
SIGN	⬢	SIGN
SIGN POST	⬢	SIGN POST
SILL=522.33	◆	SILL ELEVATION
SMH	⬢	SEWER MANHOLE
+125.33	◆	SPOT ELEVATION, HARD SURFACE
+125.3	◆	SPOT ELEVATION, SOFT GROUND
T3-P3	◆	WETLAND TRANSECT BORING
TOC=125.33	◆	TOP OF CONCRETE ELEVATION
TRANS	⬢	TRANSFORMER
UP	○	UTILITY POLE
W/	⬢	WITH
WF#A2	▲	WETLAND FLAG
WG	⬢	WATER GATE
WM	⬢	WATER METER

BOUNDARY MONUMENTS OR MARKERS

(F)	FOUND
CBDH	CONCRETE BOUND WITH DRILL HOLE
IP	IRON PIPE
SBDH	STONE BOUND WITH DRILL HOLE



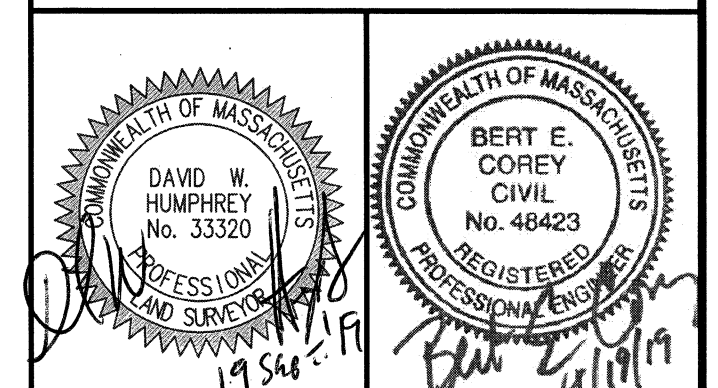
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1	BEC	09/19/19	PER TOWN COMMENTS
NO.	APP	DATE	DESCRIPTION

DATE: **AUGUST 6, 2019**

SCALE: **1" = 40'**

DRAFTED:	CHECKED:	APPROVED:
TMM/JAL	JAL	BEC

PROJECT TITLE:

**NEO CULTIVATION &
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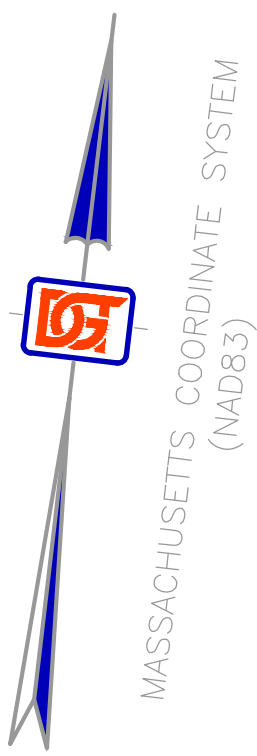
SHEET TITLE:

**EXISTING
CONDITIONS PLAN**

SHEET:
2 OF 7

PROJECT NO.:
25457

C-2

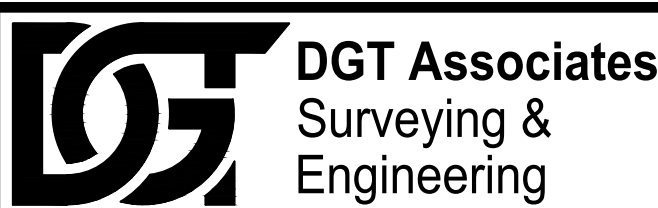


"OLD GRANT LINE"
1649, SURVEYED 1650

POTENTIAL VERNAL POOL
(SOURCE: MASS GIS -
APPROXIMATE LOCATION)

NOW OR FORMERLY
JOHN P. & ANNE J. LALLY

- LEGEND**
- D UNDERGROUND DRAIN LINE
 - 100 PROPOSED CONTOUR ELEVATION
 - UNDERGROUND ROOF DRAIN LINE
 - DMH (C) DRAIN MANHOLE
 - + 123.3 PROPOSED SPOT GRADE ELEVATION
 - AD (B) AREA DRAIN
 - CO (O) CLEANOUT
 - TYP. TYPICAL
 - QTY. QUANTITY
 - PVC POLYVINYL CHLORIDE
 - CI CAST IRON
 - FND FOUNDATION
 - LS LANDSCAPE
 - CONC. CONCRETE
 - IP INSPECTION PORT
 - S=0.020 SLOPE
 - INV. INVERT
 - F.E.S. FLARED END SECTION
 - TEST PIT
 - PROPOSED SIGN POST



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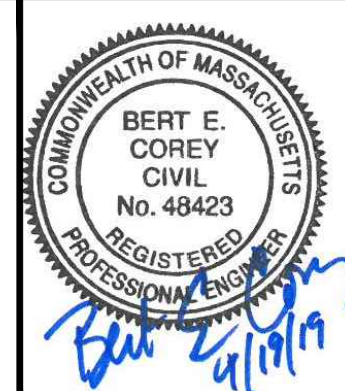
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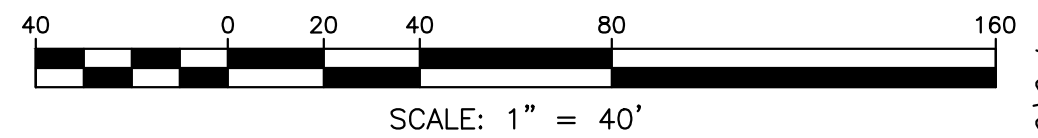
PROPOSED SITE PLAN

SHEET:
3 OF 7

PROJECT NO.:
25457

C-3

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SNOW STORAGE AREA
PROPOSED DUMPSTERS (QTY: 2)
CONCRETE PAD
(SEE DETAIL)
FENCE WITH GATE AND LOCK
SNOW STORAGE AREA

PROPOSED RECHARGER #1
FOUR (4) ROWS OF TWO (2)
CULTEC 330XLD CHAMBERS
W/ 2' OF SURROUNDING STONE
IP=VARIES W/ FINISH GRADE
TOP OF STONE=171.50
TOP OF CHAMBER=171.00
INV.IN=170.20 (6" SDR-35 PVC)
INV.OUT=171.00 (6" SDR-35 PVC)
BOTTOM OF CHAMBER=168.46
BOTTOM OF STONE=167.96
ESHW=163.7
(SEE DETAIL)

BENCHMARK
MAGNETIC NAIL SET
IN PAVEMENT
EL=170.01

NOW OR FORMERLY
JOHN P. & ANNE J. LALLY
BOOK 5830 PAGE 219
35 COFFEE STREET

PRIVATE WAY (30' WIDE)

PROPOSED WATER
QUALITY UNIT #1
RIM=173.02
INV.IN=170.50
INV.OUT=170.40
(SEE DETAIL)

ELIMINATOR HOOD TO BE
INSTALLED AT EXISTING
CATCH BASIN OUTLET.
REPLACE EXISTING 12"
RCP W/ 8" CI.
INV.IN=168.9 (EXISTING)

PROPOSED 12' WIDE
GRAVEL ACCESS ROAD

PROPOSED AD #3
RIM=176.32
INV.=173.92
(SEE DETAIL)

PROPOSED AD #2
RIM=176.32
INV.=174.12
(SEE DETAIL)

PROPOSED AD #1
RIM=176.32
INV.=174.32
(SEE DETAIL)

NOW OR FORMERLY
JOHN P. LALLY
BOOK 8234 PAGE 278
35 COFFEE STREET

"LAND RESERVED FOR WAY"
"NEW GRANT" OF 1659
SEE 1936 COUNTY LAYOUT

PROPOSED HANDICAP PARKING
SPACES WITH HANDICAP PARKING
SIGNS AND STRIPPING (TYP.)
QTY: 3
(SEE DETAILS)

EXISTING CONCRETE WALKWAY TO BE MODIFIED
FOR HANDICAP ACCESSIBILITY.
ACCESSIBLE ROUTE TO CONFORM WITH THE
MASSACHUSETTS ARCHITECTURAL ACCESS
BOARD REGULATIONS.
(SEE DETAIL ON SHEET C-7 FOR FINE GRADING.)

PROPOSED 3,000 S.F. (25'x120')
CONCRETE MECHANICAL PAD

CONNECT BUILDING STORM DRAIN
TO 10" CI DRAIN PIPE. INV. @ FND
AND LOCATION TO BE VERIFIED IN FIELD.
INV.=174.62 (10" CI DRAIN)

BLD HT=15.92
3' x 3' HVAC PAD

EXISTING "4 MARC ROAD"
SIGN TO REMAIN.
NO ADDITIONAL SIGNS ARE
PROPOSED ON THE SITE.

NOW OR FORMERLY
ELLEN REALTY TRUST
BOOK 8379 PAGE 83
9 MARC ROAD

ELIMINATOR HOOD
TO BE INSTALLED AT
EXISTING CATCH
BASIN OUTLET

EXISTING DMH TO BE MODIFIED TO ALLOW
6" SDR-35 PVC INLET FROM OVERFLOW
PIPE AT RECHARGER #1
INV.=164.32
(SEE PROFILE)

EXISTING DMH TO BE
CONVERTED TO WATER
QUALITY UNIT #2
MATCH EXISTING RIM
AND INVERT ELEVATIONS
(SEE DETAIL)

ELIMINATOR HOOD
TO BE INSTALLED AT
EXISTING CATCH
BASIN OUTLET

EXISTING DMH TO BE
CONVERTED TO WATER
QUALITY UNIT #3
MATCH EXISTING RIM
AND INVERT ELEVATIONS
(SEE DETAIL)

PROPOSED 3,000 S.F. (25'x120')
CONCRETE MECHANICAL PAD

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MASSACHUSETTS COORDINATE SYSTEM
(NAD83)

"OLD GRANT LINE"
1649, SURVEYED 1650

POTENTIAL VERNAL POOL
(SOURCE: MASS GIS—
APPROXIMATE LOCATION)

NOW OR FORMERLY
JOHN P. & ANNE J. LALLY

GROUNDWATER PROTECTION DISTRICT

LOT AREA
290,884 SQ. FT. ±
6.68 ACRES ±

APPROXIMATE
"NO DISTURB ZONE"
(VERNAL POOL)

PROPOSED STAKED FIBER LOG
(SEE DRAINAGE DITCH FIBER LOG DETAIL)

PROPOSED SEDIMENT BARRIER
(SEE DETAIL)

TEMPORARY EROSION AND SEDIMENT CONTROLS
TO BE INSTALLED DURING IMPROVEMENTS TO
EXISTING DRAINAGE STRUCTURES AS REQUIRED

PROPOSED SEDIMENT
BARRIER
(SEE DETAIL)

PROPOSED SEDIMENT
BARRIER
(SEE DETAIL)

STAKED FIBER LOG TO BE PLACED
ON DOWN GRADIENT SIDE OF
PROPOSED ROUTE.
(TYP)

NOW OR FORMERLY
ELLEN REALTY TRUST
BOOK 8379 PAGE 83
2 MARC ROAD

FIBER LOG TO BE PLACED
AROUND SOIL STOCKPILE AREA.
(TYP)

BENCHMARK
MAGNETIC NAIL SET
IN PAVEMENT
EL=170.01

NOW OR FORMERLY
JOHN P. & ANNE J. LALLY
BOOK 5830 PAGE 219
35 COFFEE STREET

CATCH BASINS TO BE PROTECTED WITH
SILT SACK DURING CONSTRUCTION
QTY: 6
(SEE DETAIL)

PRIVATE WAY (30' WIDE)

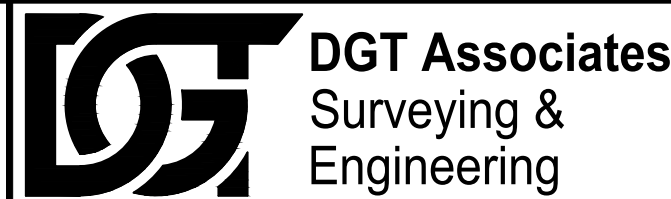
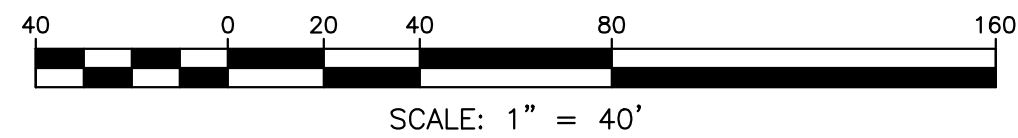
PROPOSED SEDIMENT BARRIER
(SEE DETAIL)

NOW OR FORMERLY
JOHN P. LALLY
BOOK 8234 PAGE 278
35 COFFEE STREET

"LAND RESERVED FOR WAY"
"NEW GRANT" OF 1659
SEE 1936 COUNTY LAYOUT

NOW OR FORMERLY
ELLEN REALTY TRUST
BOOK 8379 PAGE 83
9 MARC ROAD

MARC ROAD
(PRIVATE)



DGT Associates
Surveying &
Engineering

Framingham
Boston • Worcester

1071 Worcester Road
Framingham, MA 01701
508-879-0030

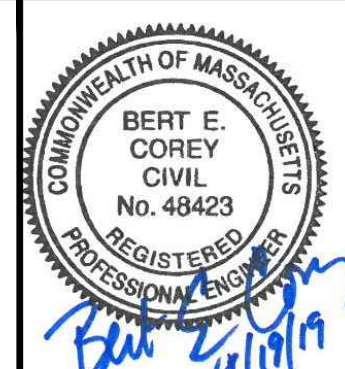
www.DGTassociates.com

APPLICANT
NEO ORGANICS LLC
365 BOSTON POST ROAD, #184
SUDBURY, MA 01776

MINOR SITE PLAN REVIEW/SPECIAL PERMIT
MEDWAY PLANNING AND ECONOMIC
DEVELOPMENT BOARD:

DATE SIGNED:

ISSUED FOR:
**MINOR SITE PLAN &
MARIJUANA SPECIAL PERMIT &
GROUNDWATER PROTECTION
DISTRICT SPECIAL PERMIT**



1	BEC	09/19/19	PER TOWN COMMENTS
NO.	APP	DATE	DESCRIPTION

DATE: AUGUST 6, 2019

SCALE: 1" = 40'

DRAFTED:	CHECKED:	APPROVED:
TMM/JAL	JAL	BEC

PROJECT TITLE:

**NEO CULTIVATION &
MANUFACTURING**

4 MARC ROAD
MEDWAY, MASSACHUSETTS 02053

SHEET TITLE:

**EROSION AND
SEDIMENT CONTROL
PLAN**

SHEET:
4 OF 7
PROJECT NO.:
25457

C-4

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G:\Carson Jobs\25457\Correspondence\To Client\2019-09-19 (Rev1)\Site Plan.dwg

EROSION AND SEDIMENT CONTROL
NOTES AND PERFORMANCE STANDARDS

1. CONSTRUCTION PERIOD EROSION AND SEDIMENT CONTROL

1.1 THE PURPOSE OF THE CONSTRUCTION PERIOD EROSION AND SEDIMENT CONTROL PLAN IS TO MINIMIZE THE INTRODUCTION OF SEDIMENTS INTO THE TOWN'S DRAINAGE SYSTEM, PUBLIC RIGHT OF WAYS, ABUTTING PROPERTIES, AND TO POST-DEVELOPMENT STORMWATER BMP'S RESULTING FROM THE LAND DISTURBANCE ACTIVITIES DURING CONSTRUCTION.

1.2 THE EROSION AND SEDIMENT CONTROL NOTES AND PERFORMANCE STANDARDS LISTED ON THIS SHEET SHALL BE IMPLEMENTED.

1.3 INSPECTIONS SHALL BE CONDUCTED BY THE GENERAL CONTRACTOR ON A BI-WEEKLY BASIS (EVERY TWO WEEKS), OR FOLLOWING SIGNIFICANT STORM EVENTS (RAINFALL OF 0.5" OR MORE) THAT CAN AFFECT THE SEDIMENT AND EROSION CONTROL PRACTICES IMPLEMENTED AT THE SITE. THE PURPOSE OF THE INSPECTIONS ARE TO EVALUATE THE EFFECTIVENESS ON THE CONTROLS AND ANY REQUIRED MAINTENANCE ACTIVITIES. IF AN EROSION/SEDIMENTATION CONTROL MEASURE IS FOUND TO BE INADEQUATE FOR PROPERLY CONTROLLING SEDIMENT, AN ADEQUATE MEASURE SHALL BE DESIGNED AND IMPLEMENTED. A COPY OF THE WRITTEN INSPECTION SHALL BE KEPT ON FILE AT THE CONSTRUCTION SITE.

1.4 DURING CONSTRUCTION, EXISTING AND PROPOSED STORMWATER MANAGEMENT STRUCTURES SHALL BE PROTECTED FROM SEDIMENT. ALL PROPOSED NEW STORMWATER MANAGEMENT STRUCTURES THAT INFILTRATE RUNOFF ARE PARTICULARLY SENSITIVE TO DAMAGE BY SEDIMENT. INFILTRATION TECHNOLOGIES ARE NOT DESIGNED TO HANDLE THE HIGH CONCENTRATIONS OF SEDIMENTS TYPICALLY FOUND IN CONSTRUCTION RUNOFF, AND MUST BE PROTECTED FROM CONSTRUCTION RELATED SEDIMENT LOADINGS. SITE RUNOFF FROM UNSTABILIZED AREAS SHALL NOT BE DISCHARGED INTO THE PROPOSED INFILTRATION SYSTEM UNTIL THE TRIBUTARY DRAINAGE AREA IS STABLE OR THE RUNOFF IS TREATED TO BE ESSENTIALLY FREE FROM SEDIMENT TO THE SATISFACTION OF THE ENGINEER. THE CONTRACTOR SHALL PROVIDE TEMPORARY BY-PASS SYSTEMS AS NECESSARY TO PREVENT CONSTRUCTION SITE RUNOFF FROM ENTERING THE INFILTRATION SYSTEM. THE INFILTRATION SYSTEM SHALL REMAIN OFF-LINE AND PROTECTED.

2. GENERAL PERFORMANCE STANDARDS

2.1 THE CONTRACTOR SHALL INSTALL, ROUTINELY INSPECT AND MAINTAIN ALL SEDIMENT AND EROSION CONTROLS SUCH THAT THEY ARE IN PROPER WORKING ORDER AT ALL TIMES DURING THE CONSTRUCTION PROJECT UNTIL SUCH TIME AS ALL AREAS OF THE SITE TRIBUTARY TO THOSE EROSION CONTROLS ARE IN A PERMANENTLY STABILIZED CONDITION.

2.2 THE CONTRACTOR SHALL MANAGE THE SITE SUCH THAT EROSION AND SEDIMENT FROM RUNOFF AND WIND BLOWN DUST ARE CONTROLLED AND MINIMIZED AT ALL TIMES. THE EROSION CONTROLS SHOWN ON THIS PLAN INCLUDE THE INITIAL SETUP OF EROSION CONTROLS AND BASIC INFORMATION. TO MEET THE REQUIREMENT OF BEST MANAGEMENT PRACTICES, THE CONTRACTOR MUST MANAGE THE SITE PROPERLY WHICH MAY INCLUDE, BUT NOT BE LIMITED TO: MINIMIZING AREAS OF EXPOSED SOILS; INSTALLING TEMPORARY COVER; MAKE NECESSARY ADJUSTMENTS TO THE EROSION CONTROL INSTALLATIONS TO IMPROVE FUNCTION; PROVIDE TEMPORARY SEDIMENT BASINS; INSTALL ADDITIONAL EROSION CONTROL WHERE NECESSARY.

2.3 THE EROSION CONTROL WORK SHOWN ON THIS PLAN ARE ALSO SUBJECT TO PERMITS AND APPROVALS BY THE MEDWAY CONSERVATION COMMISSION UNDER THE WETLANDS PROTECTION ACT AND MAY ALSO BE SUBJECT TO OTHER STATE AND LOCAL APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE CONDITIONS AND REQUIREMENTS OF THOSE PERMITS.

2.3 DESIGN, INSTALLATION AND MAINTENANCE OF SEDIMENT AND EROSION CONTROLS SHALL BE IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES FOLLOWING THE GUIDELINES INCLUDED IN THE FOLLOWING:

- "STORMWATER MANAGEMENT FOR CONSTRUCTION ACTIVITIES, DEVELOPING POLLUTION PREVENTION PLANS AND BEST MANAGEMENT PRACTICES" U.S. ENVIRONMENTAL PROTECTION AGENCY, OCTOBER 1992.
- "MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS, A GUIDE FOR PLANNERS, DESIGNERS AND MUNICIPAL OFFICIALS", MASS. EXECUTIVE OFFICE OF ENVIRONMENTAL AFFAIRS, MAY 2003.
- U.S.D.A. NATURAL RESOURCES AND CONSERVATION SERVICES (NRCS) GUIDELINES.

3. FEDERAL NPDES PHASE II COMPLIANCE

3.1 THIS PROJECT IS NOT SUBJECT TO THE FEDERAL CLEAN WATER ACT REQUIREMENTS FOR CONSTRUCTION SITES ADMINISTERED BY THE U.S. ENVIRONMENTAL PROTECTION AGENCY (EPA).

4. PERIMETER EROSION CONTROL BARRIER AND LIMIT OF WORK

4.1 PRIOR TO ANY DISTURBANCE OR ALTERATIONS OF ANY AREA ON THE SITE, AN EROSION CONTROL BARRIER SHALL BE INSTALLED IN THE LOCATIONS SHOWN ON THE PLAN.

4.2 INSTALL THE STRAW WATTLE ON THE INSIDE OF THE SILT FENCE AS SHOWN. IN THOSE AREAS WHERE THE TOPOGRAPHY INDICATES THAT STORMWATER RUNOFF WILL BE CONCENTRATED (AT LOW POINTS), ADDITIONAL STRAW WATTLES OR STRAW BALES AS NECESSARY SHALL BE STAKED ON THE UPGRADIENT SIDE OF THE SILT FENCE FOR ADDED FILTRATION AND PROTECTION. THE REQUIRED LOCATIONS FOR THE ADDED BARRIER INSTALLATION WILL BE SELECTED BY THE ENGINEER AND / OR THE AUTHORIZED INSPECTOR UPON COMPLETION OF THE PERIMETER EROSION CONTROL INSTALLATION (SEE DETAIL).

4.3 ONCE INSTALLED, THE EROSION CONTROL BARRIER SHALL BE MAINTAINED IN PLACE UNTIL ALL AREAS UPGRADIENT FROM THE BARRIERS HAVE BEEN PERMANENTLY STABILIZED.

4.4 ALL DISTURBED AREAS NOT OTHERWISE DEVELOPED OR WHERE SPECIAL STABILIZATION MEASURES OR LANDSCAPE PLANTINGS ARE PROPOSED SHALL BE LOAMED AND SEEDED OR SODDED. SIX INCHES OF LOAM TOPSOIL (MIN. COMPACTED DEPTH) SHALL BE APPLIED UNLESS OTHERWISE SPECIFIED. (SEE LANDSCAPE PLAN AND OTHER PLANS AS APPLICABLE).

5.0 CONSTRUCTION ENTRANCE

5.1 THE CONTRACTOR SHALL SWEEP THE ADJACENT ROADWAYS WHEN MUD, DUST, DIRT, DEBRIS, ETC. HAS SHOWN SIGNS OF BUILDUP ON THE ROADWAYS EXITING THE SITE. THE CONTRACTOR SHALL PAY PARTICULAR ATTENTION TO THIS MATTER AND IMMEDIATE ATTENTION IS ALWAYS REQUIRED.

6.0 DEWATERING OF EXCAVATIONS

6.1 DISCHARGE FROM DEWATERING PUMPS OR TEMPORARY TRENCH OR EXCAVATION DRAINS SHALL NOT BE DISCHARGED DIRECTLY TO THE ON-SITE DRAINAGE SYSTEM, OR WETLAND RESOURCE AREAS. DISCHARGES SHALL BE DIRECTED TO A TREATMENT SYSTEM CONSISTING OF A SEDIMENT BASIN, STRAW BALE SEDIMENT BASIN, FILTER BAG SYSTEM OR OTHER APPROVED METHOD TO FILTER THE DISCHARGE WATER AND PREVENT EROSION.

6.2 THE PUMP DISCHARGE SYSTEMS MUST BE GREATER THAN 100 FEET FROM WETLAND RESOURCES UNLESS APPROVED BY THE MEDWAY CONSERVATION COMMISSION AND IN ACCORDANCE WITH OTHER APPLICABLE LAWS AND REGULATIONS.

6.3 ALL DEWATERING DRAINAGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES MUST FIRST OBTAIN A DEWATERING DRAINAGE PERMIT, IF REQUIRED. SUCH DISCHARGES SHALL COMPLY WITH THE TOWN OF MEDWAY REQUIREMENTS, UNITED STATES ENVIRONMENTAL PROTECTION AGENCY, MASSACHUSETTS DEP AND OTHER APPROPRIATE AGENCIES. UNDER NO CIRCUMSTANCE SHALL DEWATERING DRAINAGE BE DISCHARGED INTO A SANITARY SEWER.

7.0 SOIL STOCKPILES

7.1 STOCKPILES OF SOIL MATERIALS SHALL BE PLACED WITHIN AREAS THAT ARE PROTECTED BY PERIMETER EROSION CONTROLS, OR SHALL BE SURROUNDED BY PROPER SILT FENCING, FIBER LOGS, OR STAKED STRAW BALES.

7.2 STOCKPILES THAT ARE TO BE IN PLACE FOR EXTENDED PERIODS OF TIME (MORE THAN 30 DAYS) SHALL BE COVERED OR OTHERWISE TEMPORARILY STABILIZED IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES.

8.0 CATCH BASIN INLET PROTECTION

8.1 CATCH BASINS WITHIN THE WORK AREA OR THAT WILL RECEIVE RUNOFF FROM THE WORK AREA SHALL BE PROTECTED WITH A SILT SACK AND OR OTHER APPROVED INSTALLATION TO MINIMIZE THE SEDIMENT LOAD TO THE BASIN.

9.0 DUST CONTROL

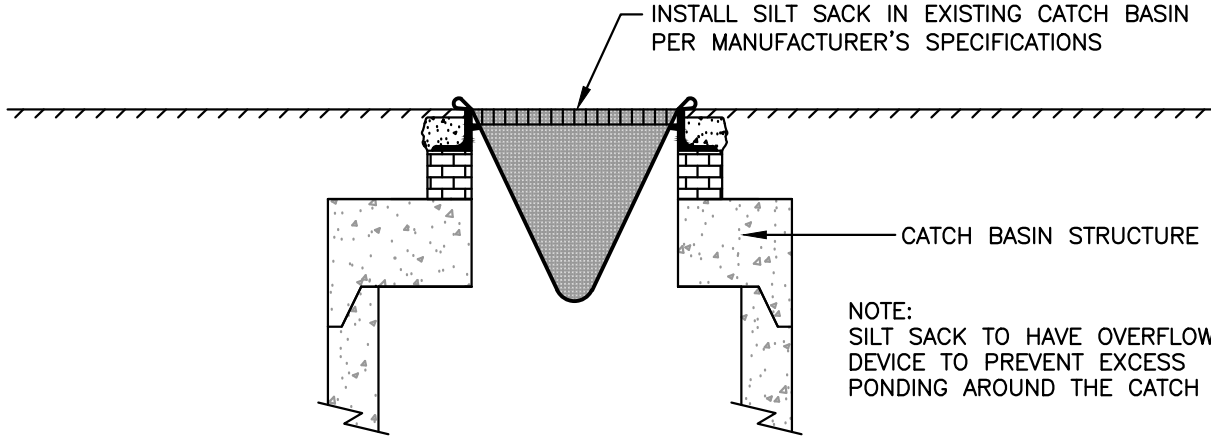
9.1 THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES DURING SITE WORK TO MINIMIZE WIND BLOWN DUST FROM EXPOSED SOIL SURFACES. MEASURES INCLUDE BUT ARE NOT LIMITED TO:

- SPRINKLING WATER ON EXPOSED SURFACES
- APPLICATION OF TEMPORARY COVER SUCH AS HYDRO MULCH AND TACIFIER, STRAW MATTING, JUTE NETTING ETC.

10.0 PROCEDURE FOR WORK WITHIN THE DRAINAGE DITCH

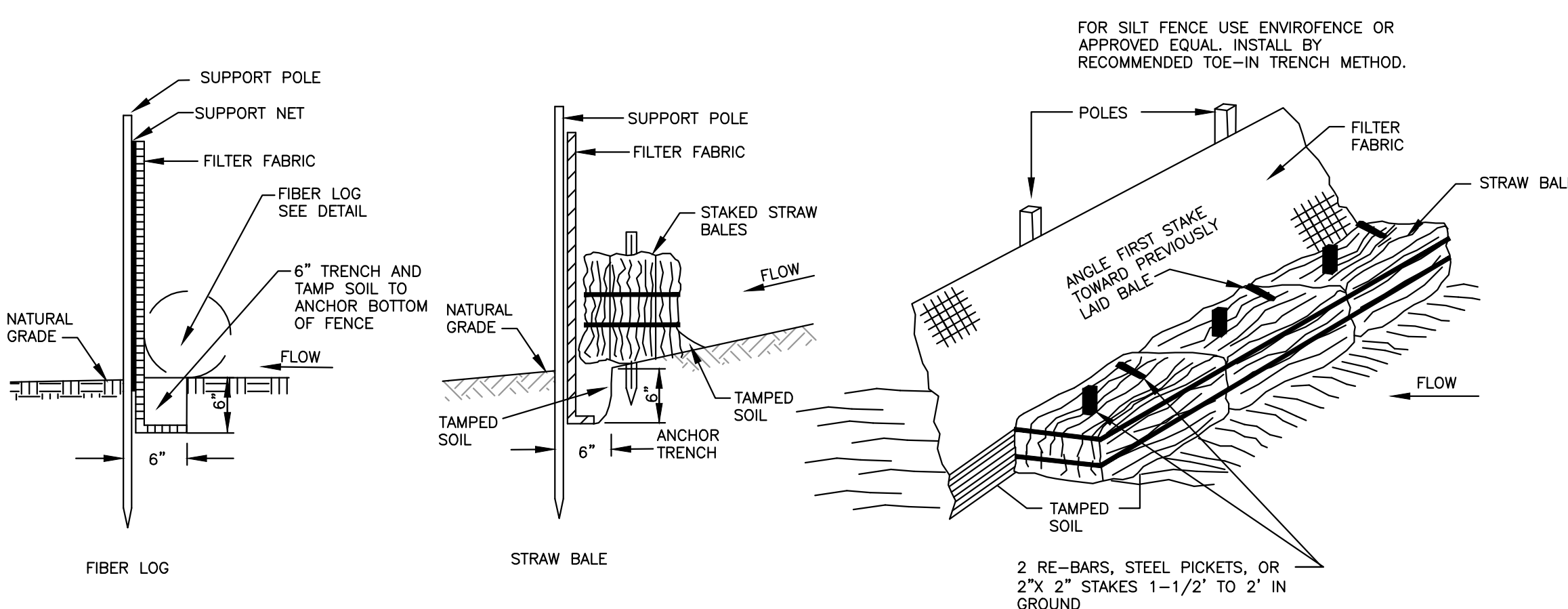
10.1 THE FOLLOWING STEP BY STEP PROCEDURE OF WORK SHALL BE FOLLOWED FOR THE PROPOSED WORK WITHIN THE DRAINAGE DITCH.

1. A LICENSED SITE PROFESSIONAL WILL EVALUATE THE EXISTING SITE TO GIVE A TESTING LABORATORY THE PROPER PARAMETERS TO TEST THE MATERIAL FOR.
2. GATHER SAMPLE OF MATERIAL FROM THE DRAINAGE DITCH TO BE TESTED BY A TESTING LABORATORY TO DETERMINE PROPER DISPOSAL LOCATION.
3. INSTALL SEDIMENT CONTROLS (STAKED FIBER LOG) ALONG THE DOWN GRADIENT PORTION OF PROPOSED PATH AND DRAINAGE DITCH AS SHOWN ON PLAN.
4. INSTALL SEDIMENT CONTROLS (SILT SACK IN CATCH BASINS AND FIBER LOG ON PAVED PARKING LOT) TO ESTABLISH STOCK PILE AREA AS SHOWN ON PLANS.
5. CLEAR CONSTRUCTION DEBRIS AND FALLEN TREES / TREE BRANCHES AT ENTRANCE INTO WOODED AREA, ALONG PATH TO DRAINAGE DITCH AND WITHIN DRAINAGE DITCH.
6. STARTING AT THE FAR SIDE OF THE DITCH, USE A MINI EXCAVATOR WITH A GRADING BUCKET TO PULL BACK EXCESS MATERIAL, WHILE CREATING THE PROPER GRADE AND SLOPE TO PROMOTE DRAINAGE FLOW.
7. HAUL SEDIMENT FROM DRAINAGE DITCH TO TEMPORARY STOCKPILING AREA USING A SKID-STEER. *NOTE: STEPS 6 AND 7 WILL BE REPEATED AS NECESSARY WHEN EXCESS MATERIAL ACCUMULATES WITHIN THE WORK AREA.
8. LOAD SEDIMENT FROM STOCKPILING AREA FOR HAULING TO OFFSITE DISPOSAL LOCATION.
9. INSTALL RIP-RAP AT OUTFALL OF EXISTING DRAINAGE PIPE.
10. HAND WORK BY THE SITE CONTRACTOR WILL BE DONE TO REPAIR THE BANK WHERE THE ACCESS ROUTE MEETS THE BANK DUE TO MULTIPLE TRIPS IN AND OUT OF THE BANK WHILE REMOVING SEDIMENT.
11. INSTALL BIODEGRADABLE JUTE MATTING, LOAM AND NEW ENGLAND SEMI-SHADE GRASS AND FORBS MIX SEED ALONG ROUTE USED FOR PROPOSED WORK.
12. AFTER GROUND HAS STABILIZED REMOVE SEDIMENT CONTROLS.



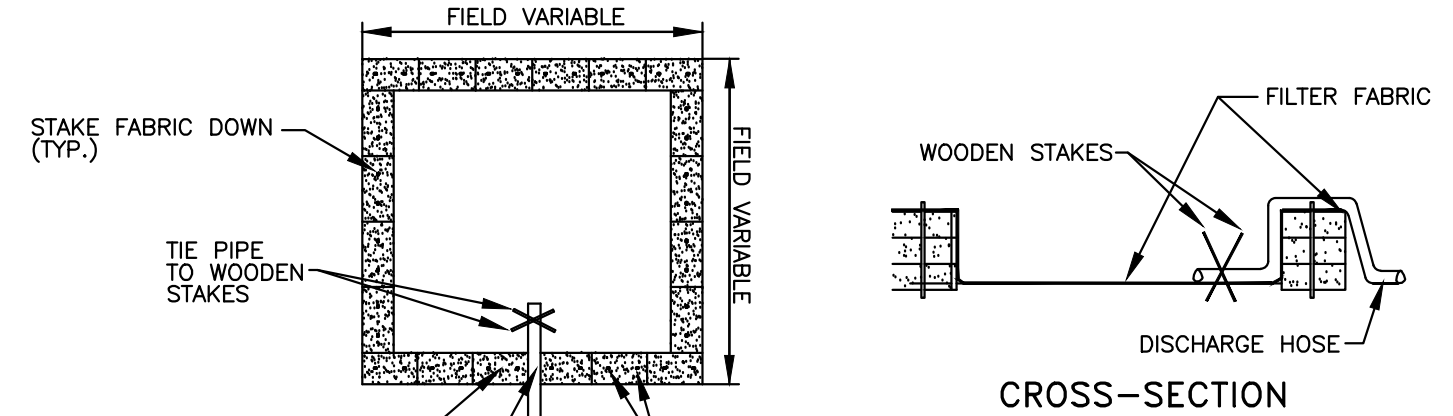
SILT SACK DETAIL

(NO SCALE)



PERIMETER EROSION CONTROLS
STAKED STRAW BALE/FIBER LOG AND SILT FENCE
SEDIMENT BARRIER DETAIL

(NO SCALE)



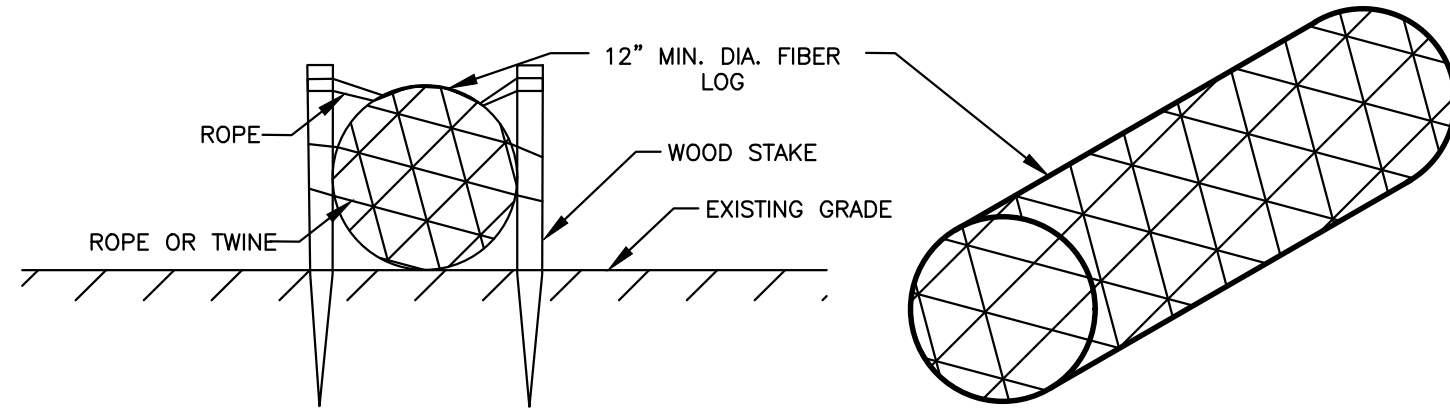
NOTE: NUMBER OF BALES MAY VARY DEPENDING ON SITE CONDITIONS

PLAN VIEW

DEWATERING OF EXCAVATIONS NOTES:
1. DISCHARGE FROM DEWATERING PUMPS OR TEMPORARY TRENCH OR EXCAVATION DRAINS SHALL NOT DISCHARGE DIRECTLY TO WETLANDS OR STORM DRAIN SYSTEMS. THE DISCHARGES SHALL BE DIRECTED INTO A CONSTRUCTED SEDIMENT BASIN OR A STRAW BALE SETTLING BASIN, STILLING BASIN, FILTER BAG, FRAC TANK OR SIMILAR DEVICE.

STRAW BALE SETTling BASIN DETAIL

(NO SCALE)

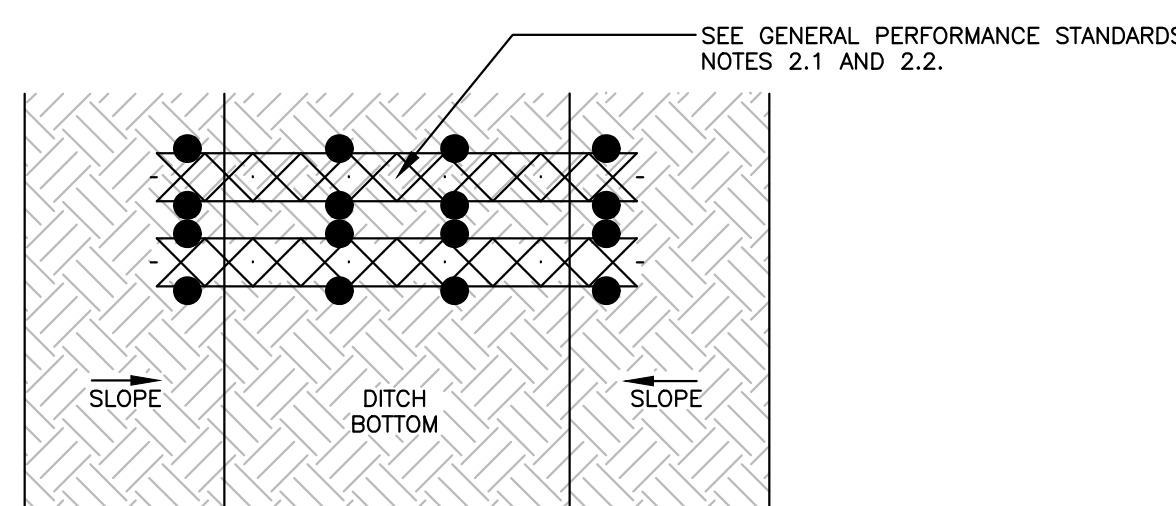


INSTALLATION NOTES FOR FIBER LOGS:

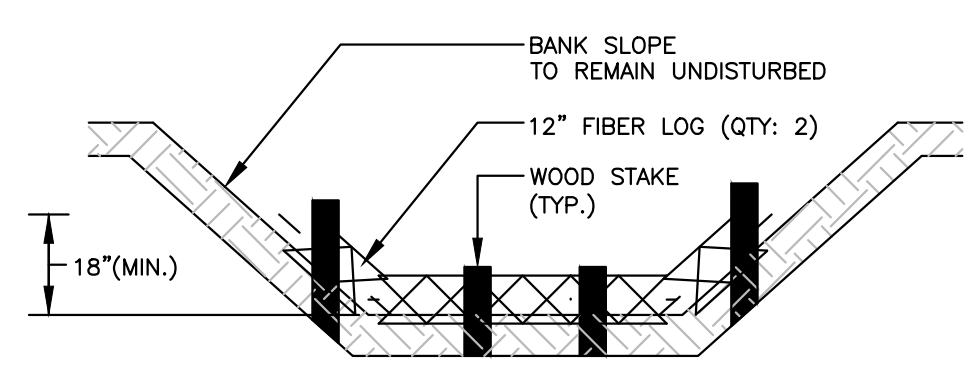
1. LAY THE FIBER LOG AT THE UPHILL BASE OF THE SILT FENCE.
2. INSTALL APPROXIMATELY 4-6 WOOD STAKES THROUGH THE TWINE/NETTING ALONG THE FIBER LOG AS NEEDED TO HOLD THE LOG IN PLACE.
3. DRIVE THE STAKE INTO THE GROUND DEEP ENOUGH TO HOLD THE LOG.

FIBER LOG DETAIL

(NO SCALE)



PLAN VIEW



CROSS-SECTION

NOTES:

- 1) WORK TO BE PERFORMED IN DRY SEASON.
- 2) EROSION AND SEDIMENT CONTROLS TO BE IN PLACE PRIOR TO DISTURBANCE.

DRAINAGE DITCH FIBER LOG DETAIL

(NO SCALE)

APPLICANT

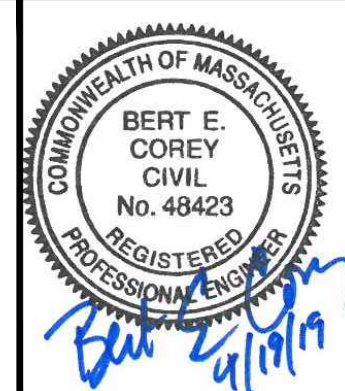
NEO ORGANICS LLC
365 BOSTON POST ROAD, #184
SUDBURY, MA 01776

MINOR SITE PLAN REVIEW/SPECIAL PERMIT
MEDWAY PLANNING AND ECONOMIC
DEVELOPMENT BOARD:

DATE SIGNED:

ISSUED FOR:

MINOR SITE PLAN &
MARIJUANA SPECIAL PERMIT &
GROUNDWATER PROTECTION
DISTRICT SPECIAL PERMIT



1	BEC	09/19/19	PER TOWN COMMENTS
NO.	APP	DATE	DESCRIPTION

DATE: AUGUST 6, 2019

SCALE: AS NOTED

DRAFTED: TMM/JAL	CHECKED: JAL	APPROVED: BEC
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PROJECT TITLE:

NEO CULTIVATION &
MANUFACTURING

4 MARC ROAD
MEDWAY, MASSACHUSETTS 02053

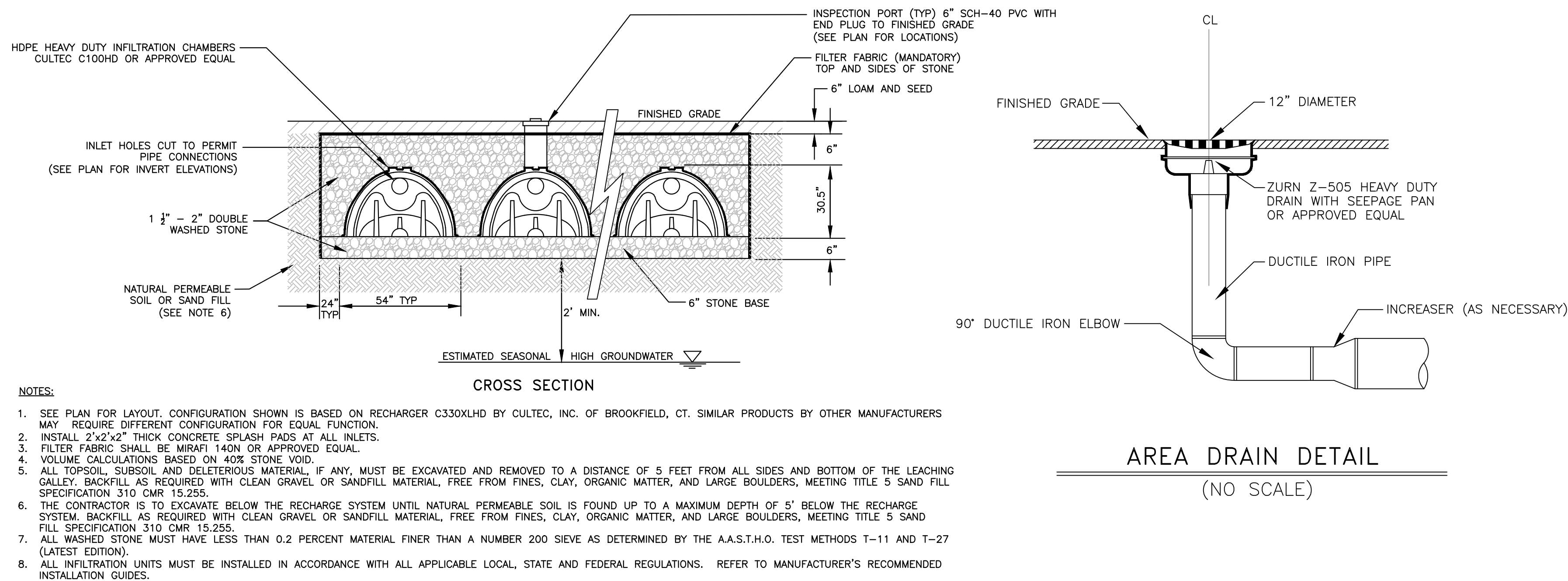
SHEET TITLE:

EROSION AND
SEDIMENT CONTROL
NOTES AND DETAILS

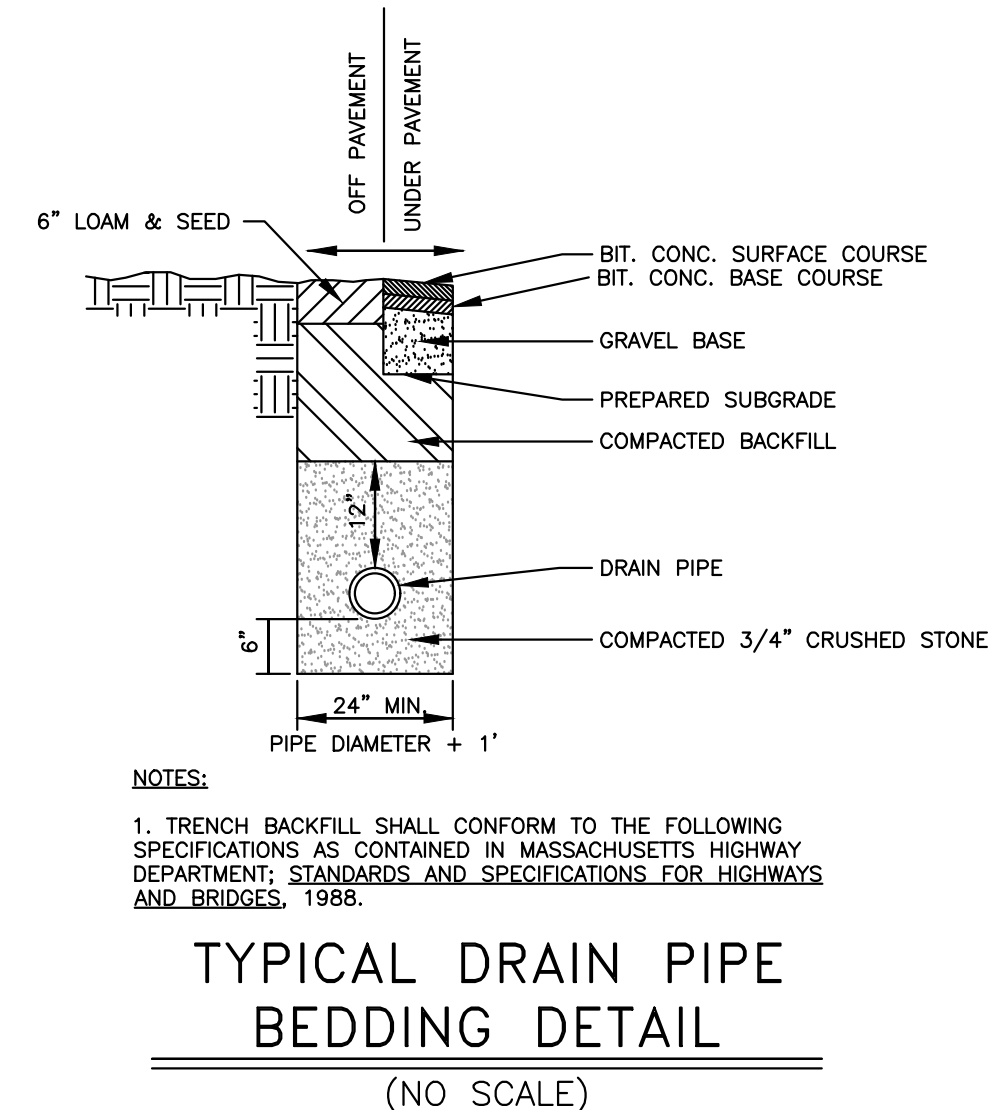
SHEET:
5 OF 7

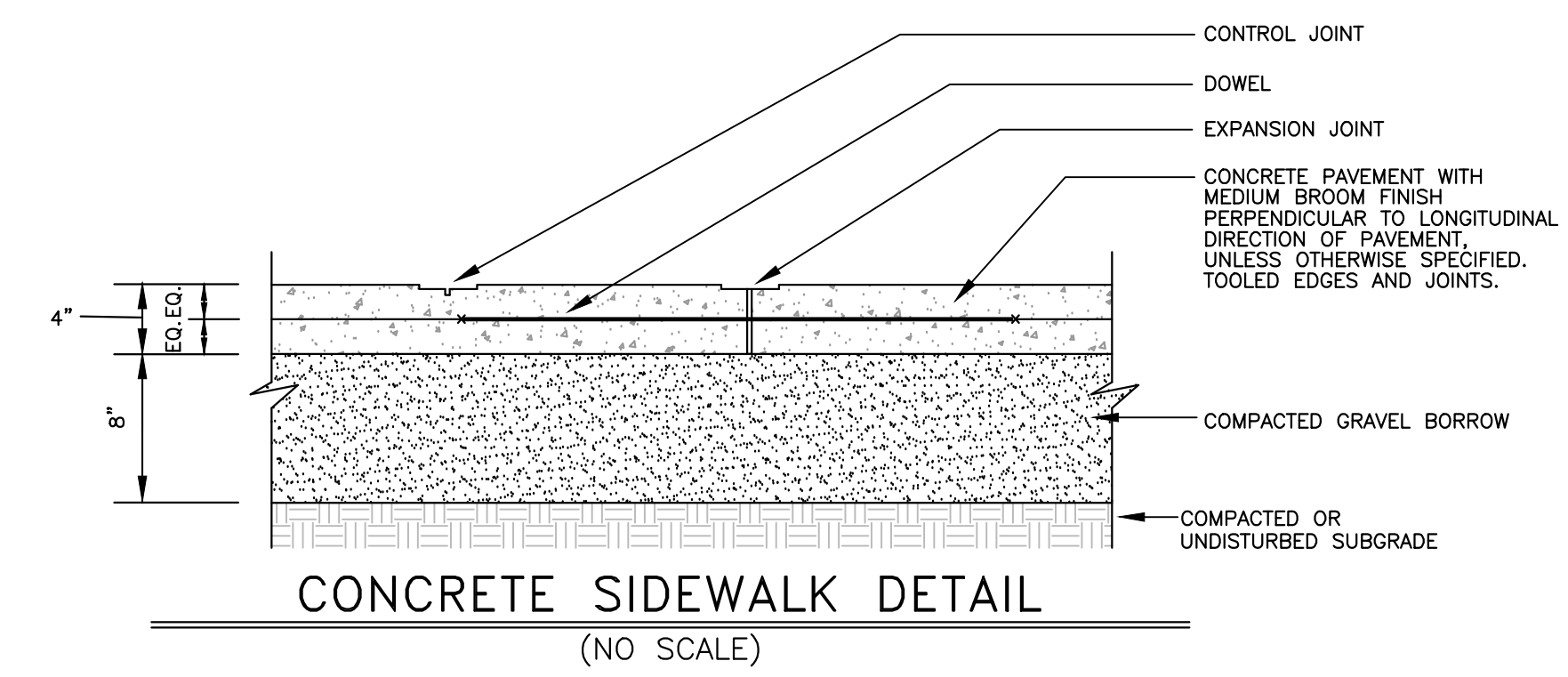
PROJECT NO.:
25457

C-5

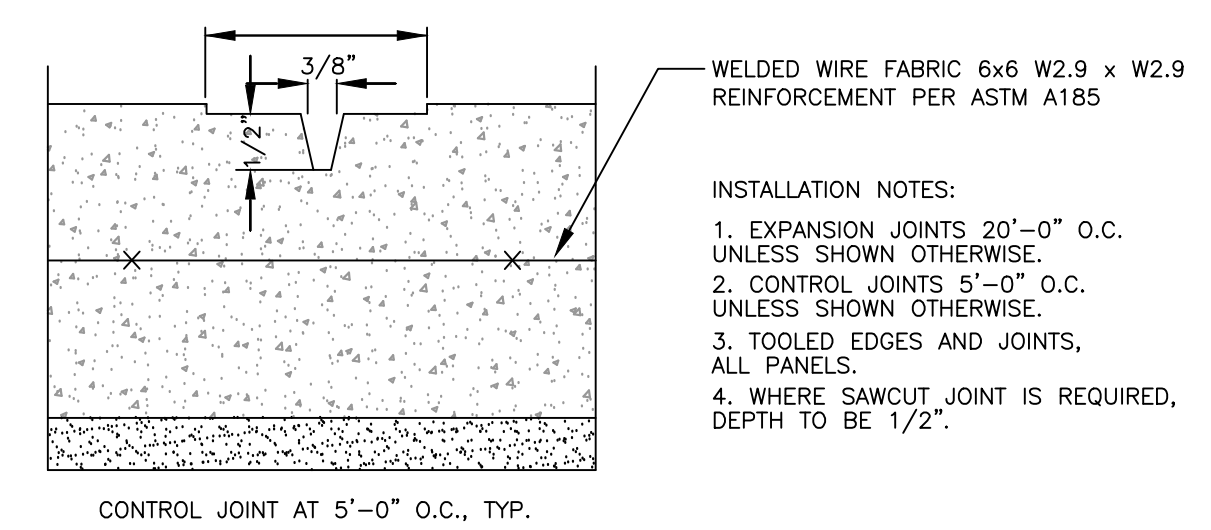


RECHARGER #1 DETAIL

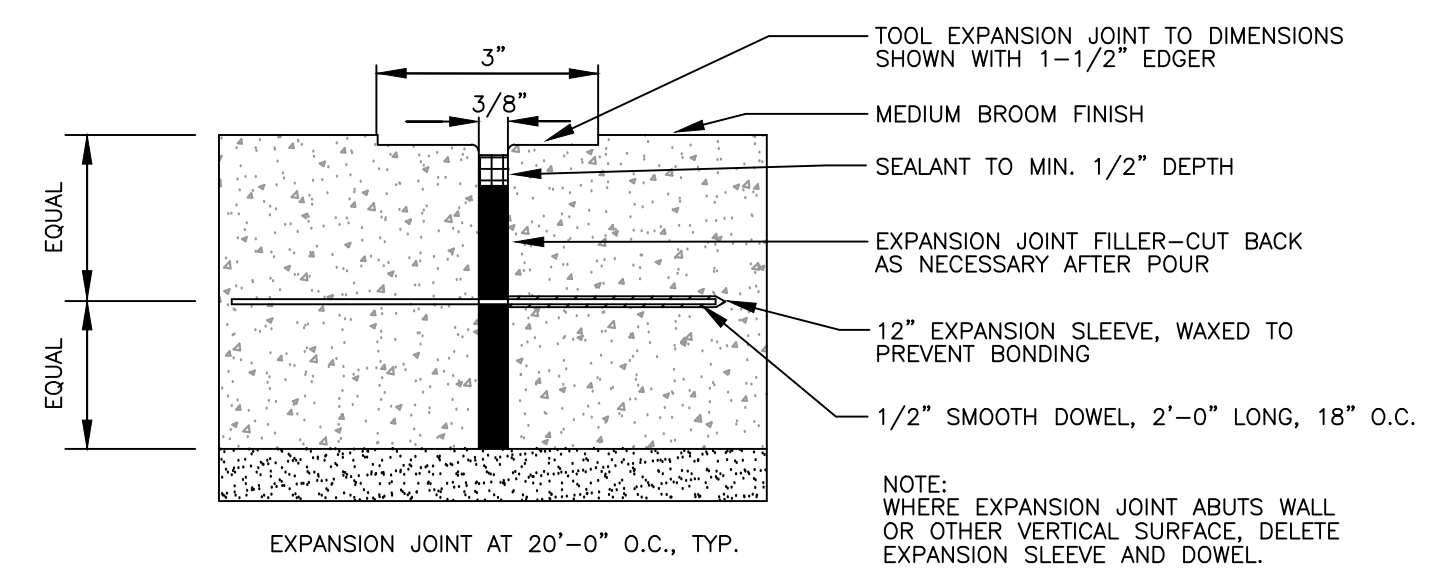




CONCRETE SIDEWALK DETAIL
(NO SCALE)

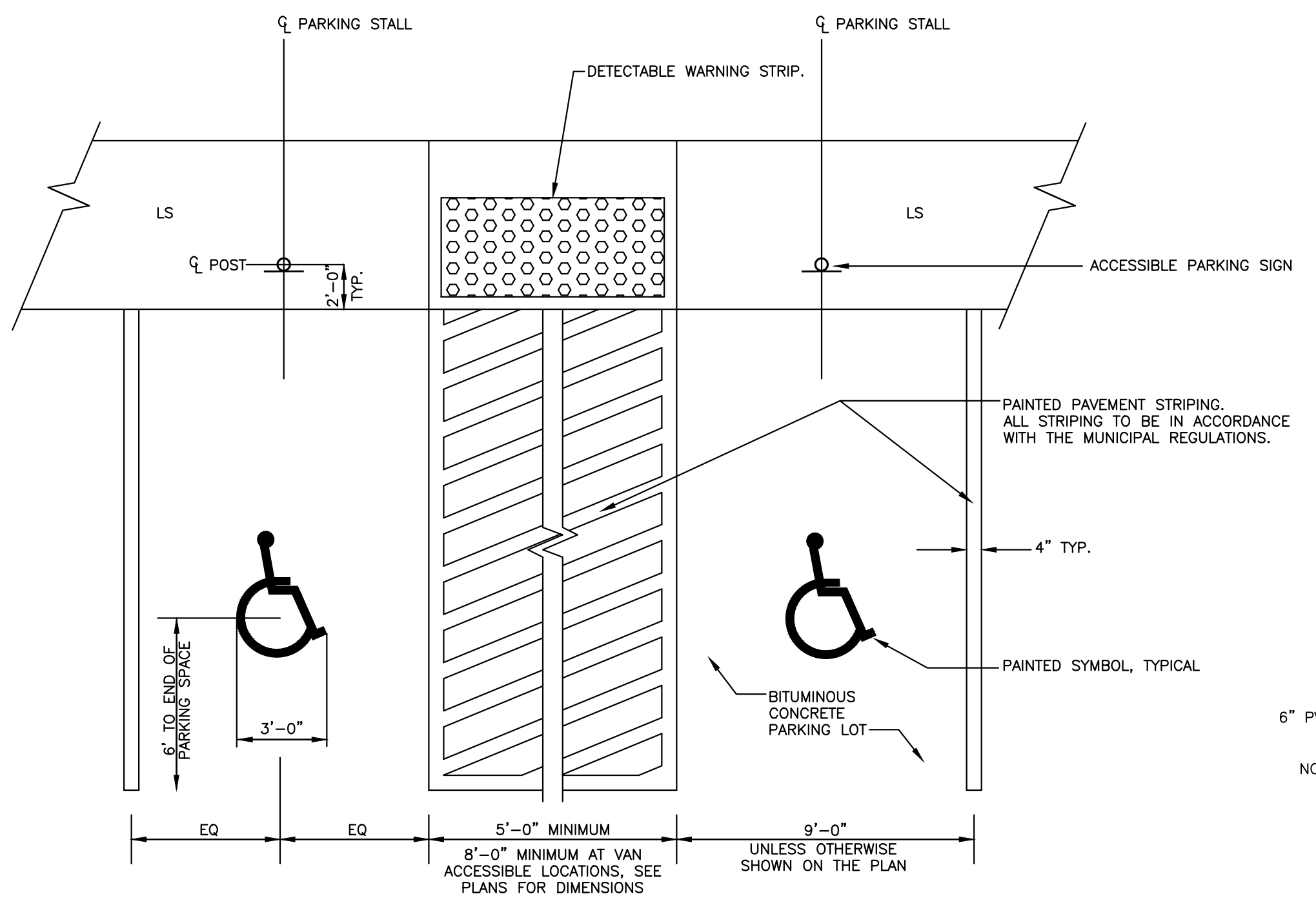


CONTROL JOINT AT 5'-0" O.C., TYP.

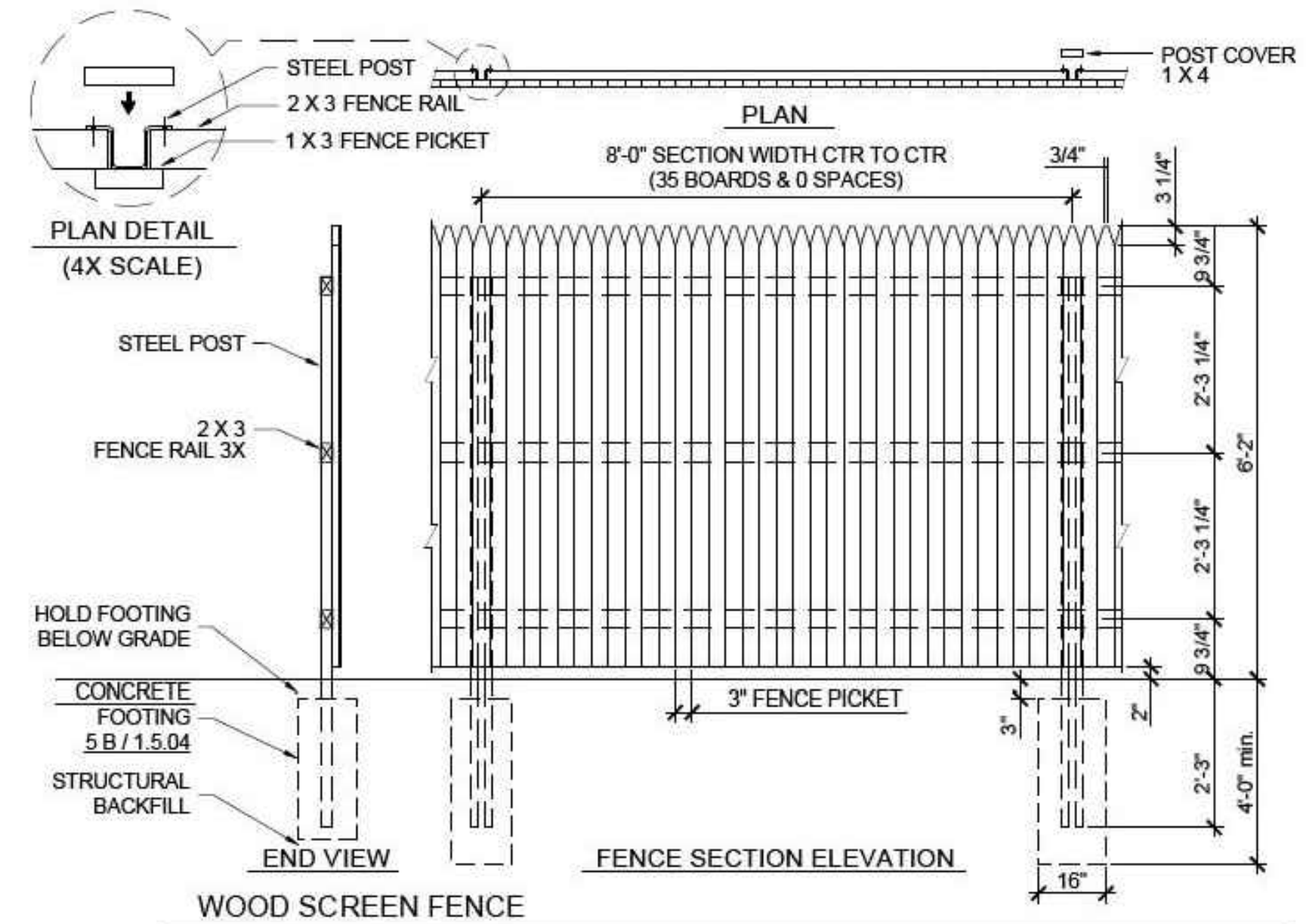


EXPANSION JOINT AT 20'-0" O.C., TYP.

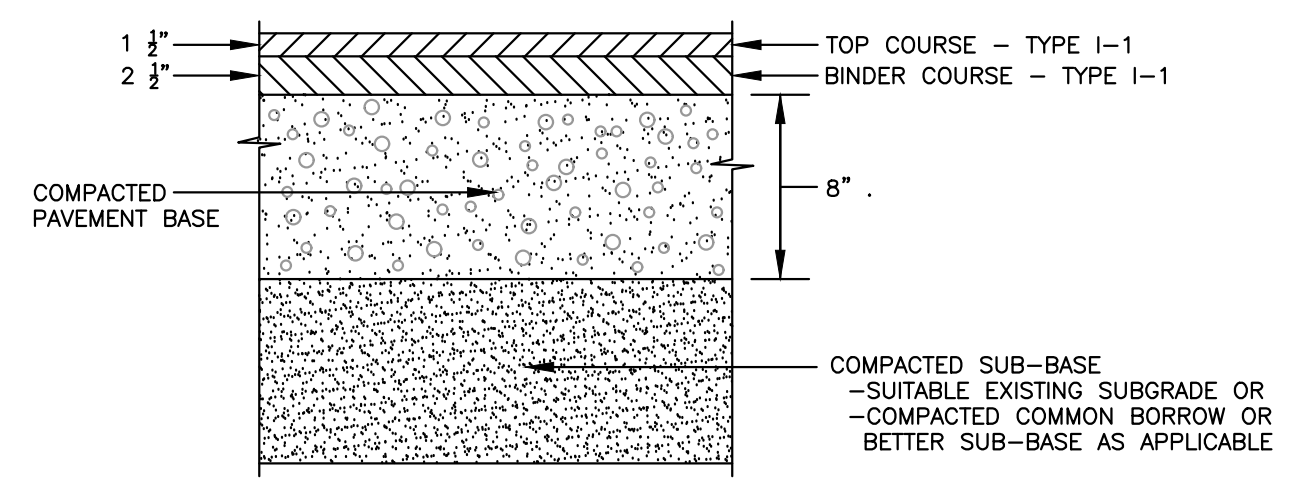
CONCRETE SIDEWALK EXPANSION
AND CONTROL JOINTS DETAIL
(NO SCALE)



ACCESSIBLE PARKING STALL
(NO SCALE)

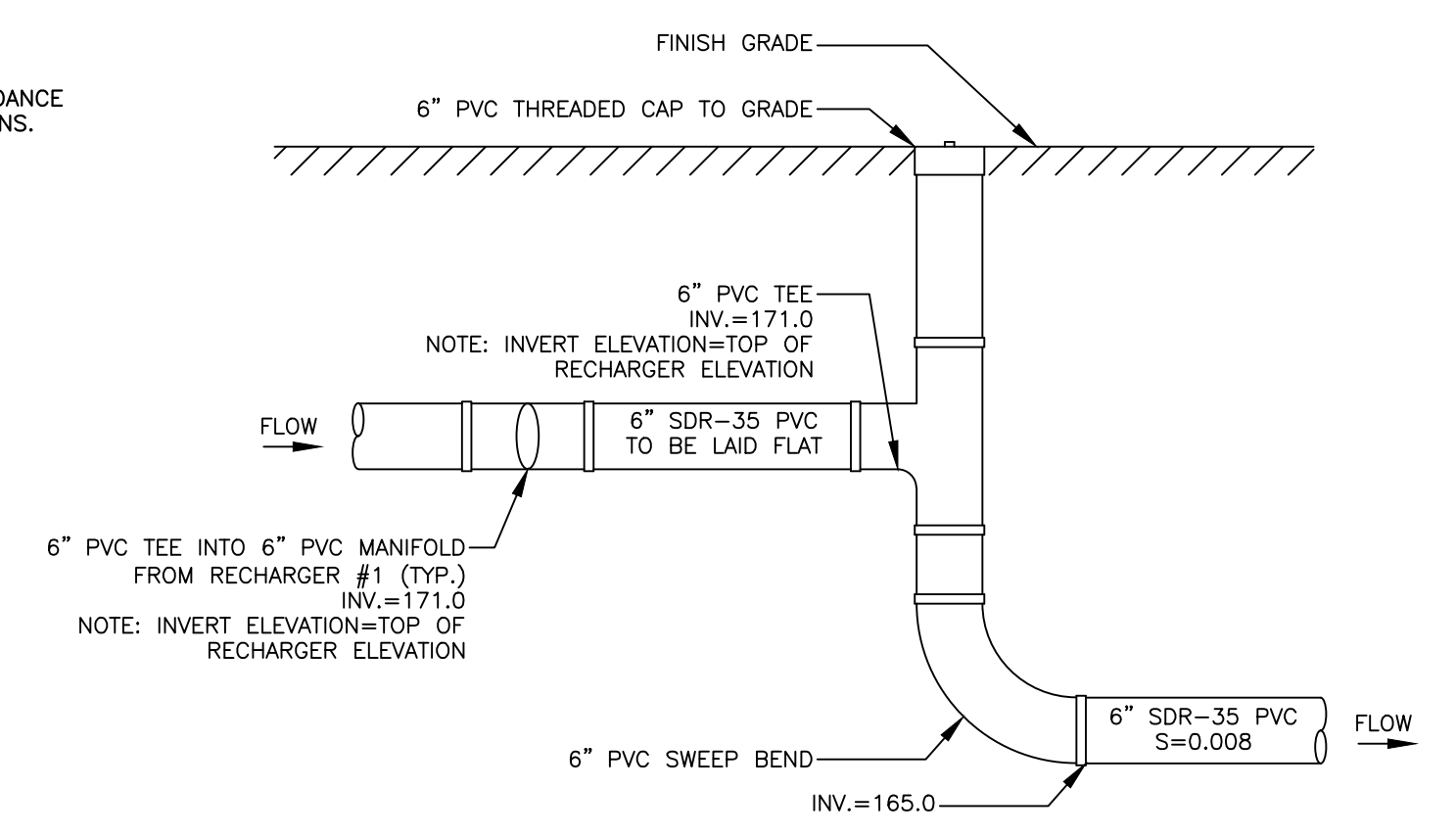


DUMPSTER SCREEN FENCE
(NO SCALE)



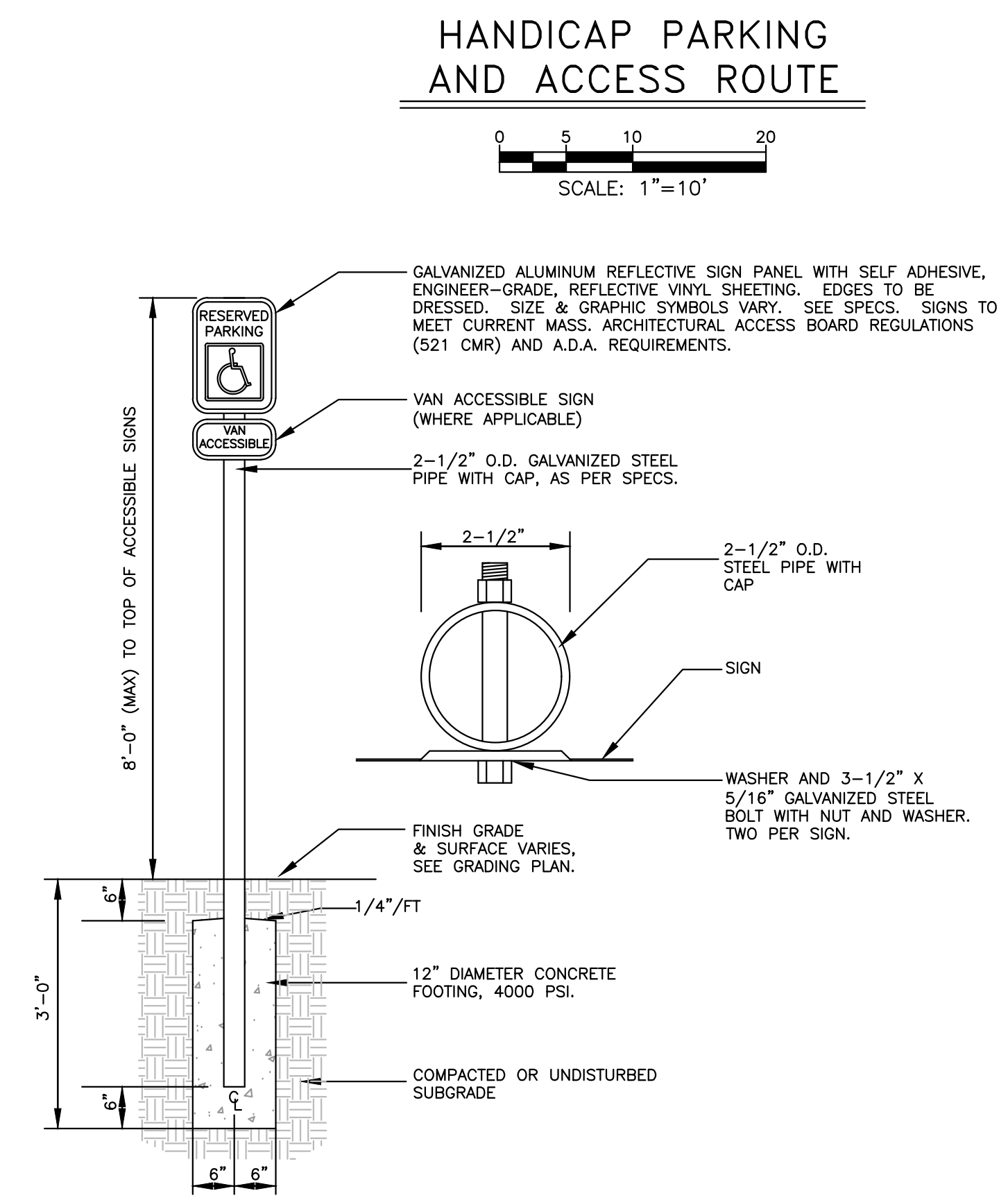
- NOTES:
1. COMPACTED PAVEMENT BASE TO CONFORM TO MASS. HIGHWAY DEPT. SPEC. M. 2.01.7.
 2. COMPACTED COMMON BORROW SHALL CONTAIN NO STONES LARGER THAN 6 INCHES.
 3. BITUMINOUS CONCRETE SHALL BE CLASS 1, TYPE I-1.
 4. AT AREAS OF LEDGE/BEDROCK, REMOVE LEDGE TO A DEPTH OF 18 INCHES MINIMUM BELOW PAVEMENT COURSE.
 5. COMPACTED PAVEMENT BASE TO EXTEND 12 INCHES MINIMUM BEYOND THE EDGE OF PAVEMENT.

BITUMINOUS CONCRETE
PAVEMENT (VEHICULAR)
(NO SCALE)

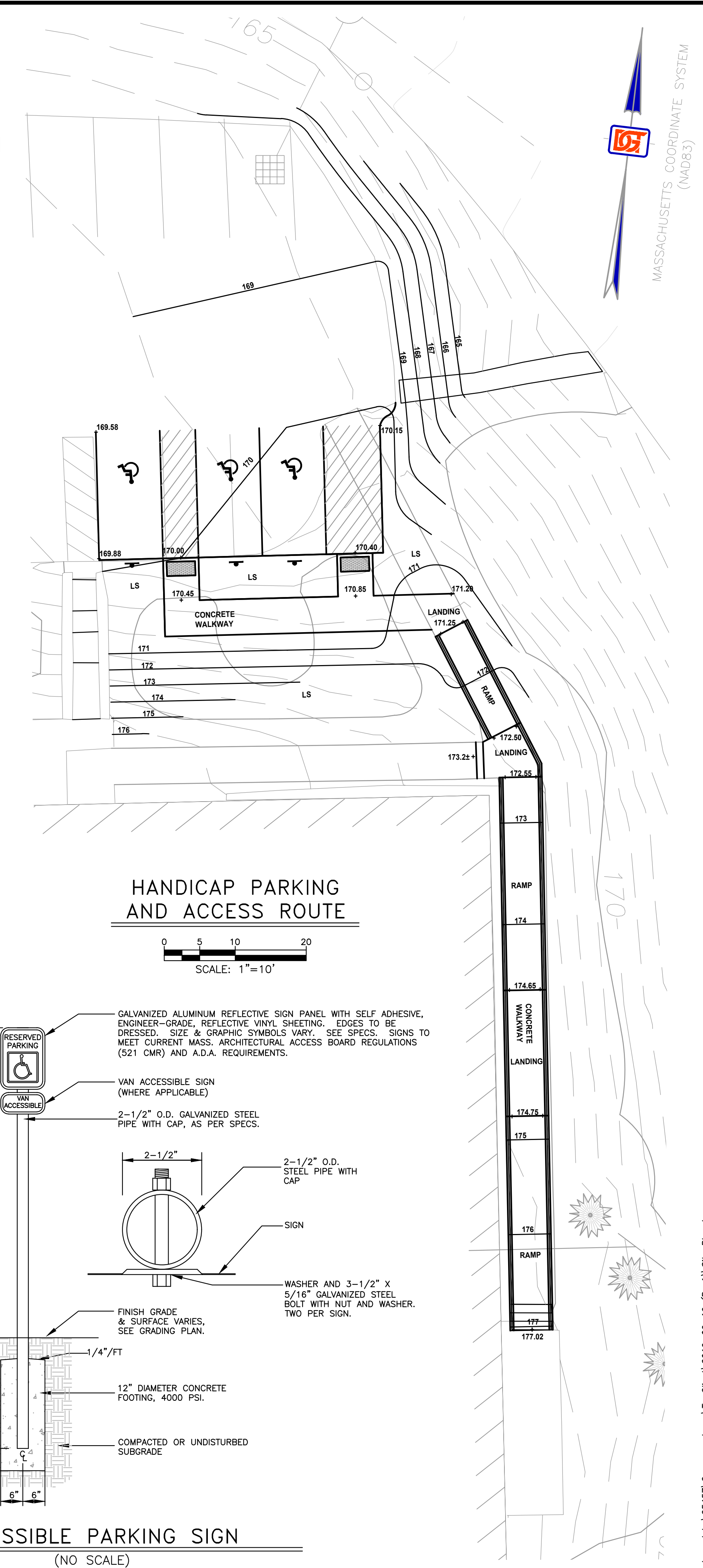


NOTE: ALL PVC IS TO BE SDR-35.

DRAIN CLEANOUT
(NO SCALE)



ACCESSIBLE PARKING SIGN
(NO SCALE)



DGT Associates
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APPLICANT
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DEVELOPMENT BOARD:

DATE SIGNED:

ISSUED FOR:
**MINOR SITE PLAN &
MARIJUANA SPECIAL PERMIT &
GROUNDWATER PROTECTION
DISTRICT SPECIAL PERMIT**

Bert E. Corey
No. 48423
REGISTERED PROFESSIONAL ENGINEER

NO.	APP	DATE	DESCRIPTION
1	BEC	09/19/19	PER TOWN COMMENTS

DATE: **AUGUST 6, 2019**

SCALE: **AS NOTED**

DRAFTED:	CHECKED:	APPROVED:
TMM/JAL	JAL	BEC

PROJECT TITLE:
**NEO CULTIVATION &
MANUFACTURING**

4 MARC ROAD
MEDWAY, MASSACHUSETTS 02053

SHEET TITLE:
SITE DETAILS #2

SHEET:
7 OF 7

PROJECT NO.:
25457

C-7

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G:\Carbon Jobs\25457\Correspondence\To Client\2019-09-19 (Rev1)\Site Plan.dwg