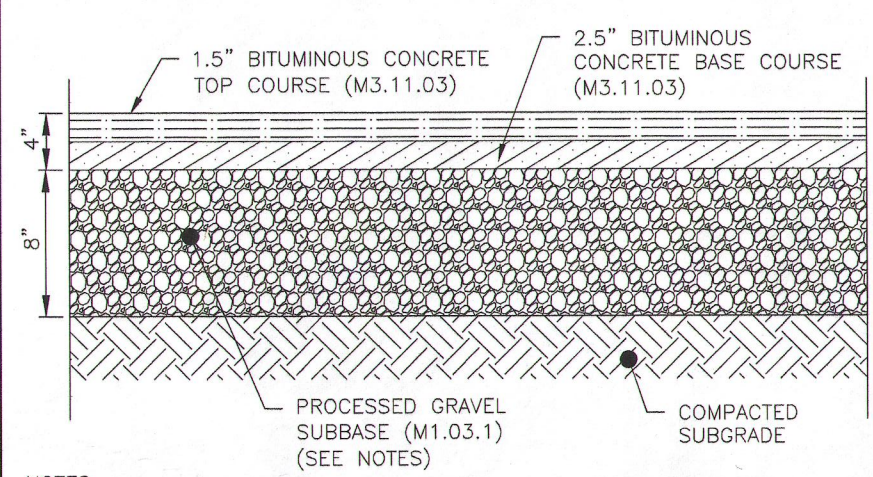
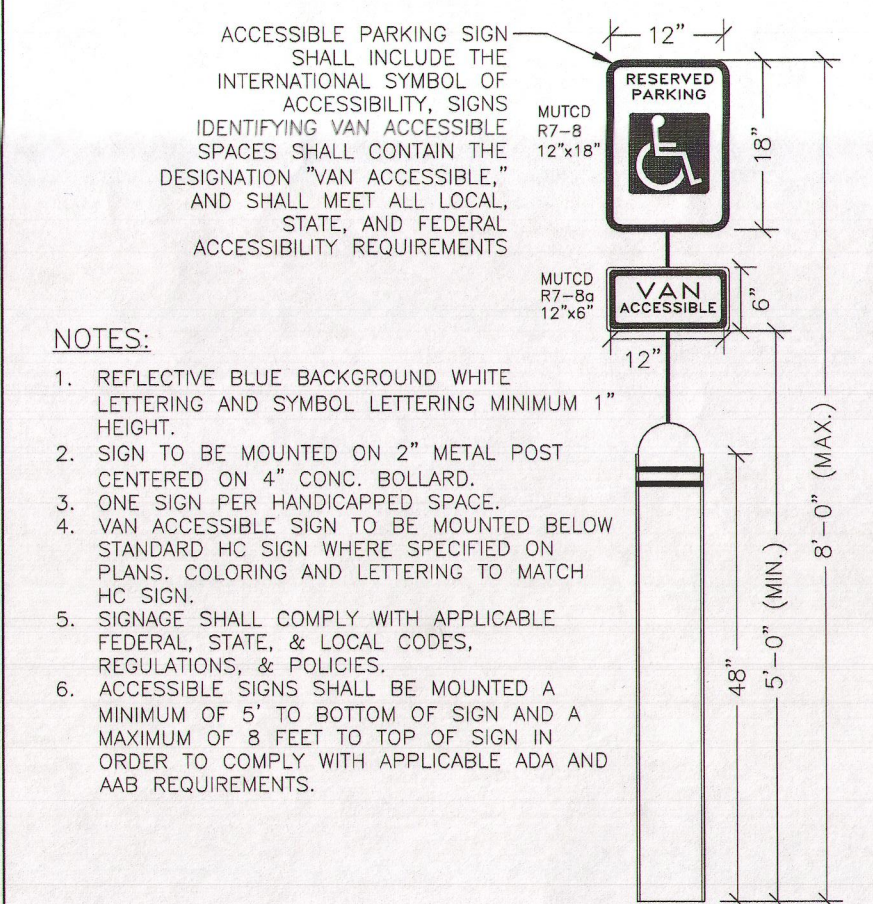




- NOTES:
- HIGH EARLY STRENGTH CEMENT CONCRETE SUB-BASE SHALL BE USED WITHIN THE RIGHT OF WAY IN LIEU OF PROCESSED GRAVEL SUBBASE WHERE SAWCUT WIDTHS ARE LESS THAN 4 FEET.
 - THIS DETAIL PROVIDES A MINIMUM STANDARD FOR PAVEMENT CONSTRUCTION BASED ON THE ASPHALT GUIDE FOR DESIGN OF PAVEMENT STRUCTURES (1993). THE FINAL PAVEMENT SECTION SHALL BE DESIGNED BY A GEOTECHNICAL ENGINEER AND SHALL BE UTILIZED IF MORE STRINGENT THAN THIS DETAIL.
 - MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE MASSDOT STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.

TYPICAL BITUMINOUS PAVEMENT DETAIL
NOT TO SCALE

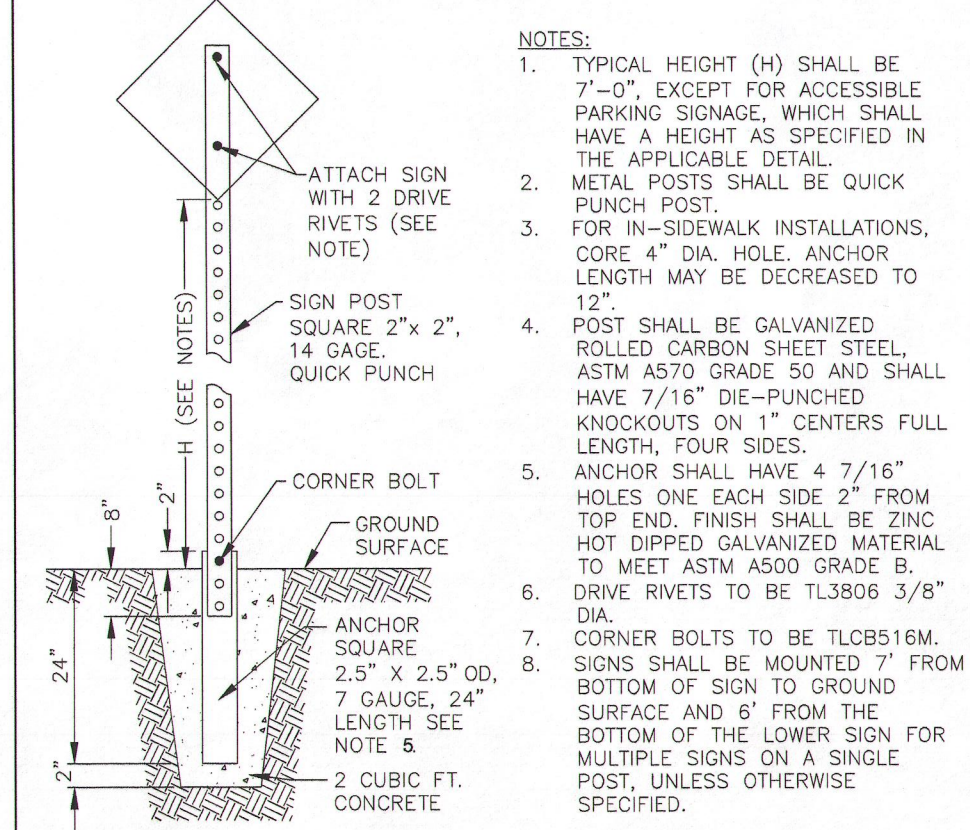


ACCESSIBLE PARKING SIGNAGE DETAIL
NOT TO SCALE

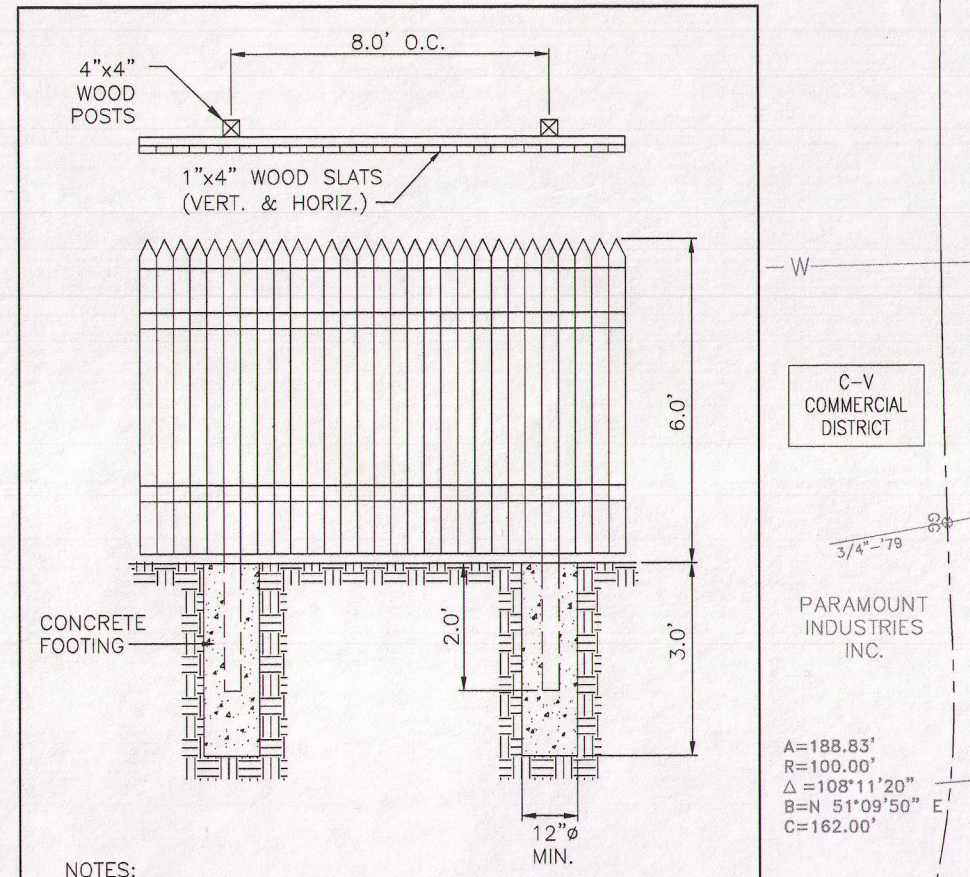
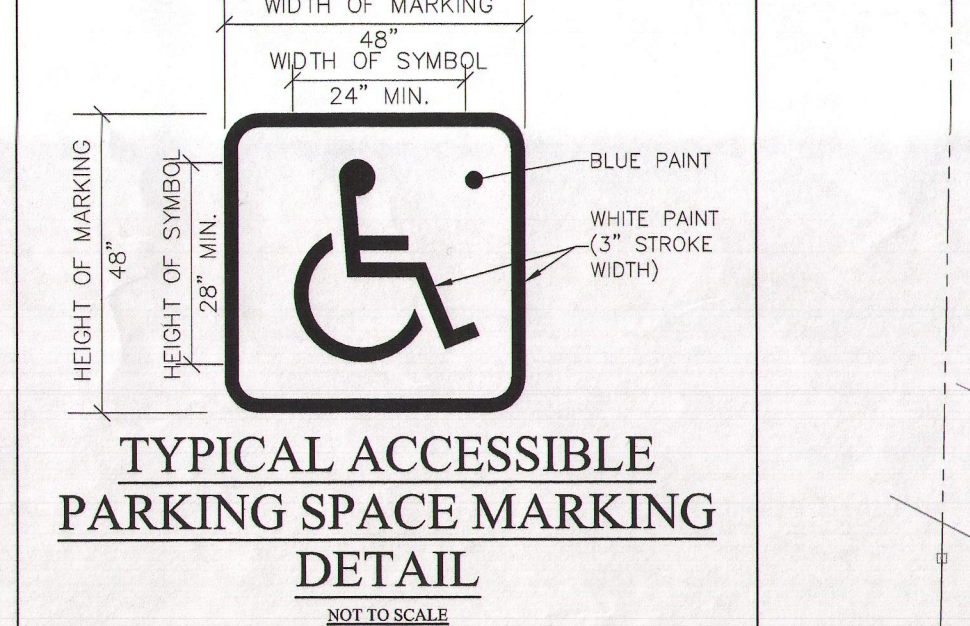
PARKING INFORMATION		
USE	REQUIRED	PROVIDED
RETAIL: 1 SPACE / 300 S.F. SALES AREA	52 SPACES	52 SPACES (3 ACCESSIBLE SPACES)
8,558 S.F. / 300 S.F. = 29 SPACES	29 SPACES	

GENERAL & SITE LAYOUT NOTES

- ZONING DISTRICT INFORMATION OBTAINED FROM TOWN OF MEDWAY ZONING MAP, DATED APRIL 17, 2012, AND THE TOWN OF MEDWAY ZONING BYLAWS, DATED APRIL 17, 2012.
- THE PROJECT INCLUDES THE CONSTRUCTION OF A 3,742 SQUARE FOOT GREENHOUSE, AN OUTDOOR WOODEN PERGOLA AND THE STRIPING OF 52 PARKING SPACES.
- THE PROJECT LIES WITHIN COMMERCIAL V (C-V) DISTRICT.
- MODIFICATIONS TO THIS PLAN MAY OCCUR AS UNFORESEEN CONDITIONS ARISE. ALL CHANGES SHALL BE APPROVED BY THE ENGINEER.
- THIS SITE LIES ENTIRELY WITHIN FLOOD ZONE X (AREAS DETERMINED TO BE OUTSIDE 0.2% ANNUAL CHANCE FLOODPLAIN) AS SHOWN ON THE FLOOD RATE INSURANCE MAP (FRM), NORFOLK COUNTY, COMMUNITY PANEL 139 OF 430 (MAP #2502100139E), WITH AN EFFECTIVE DATE OF JULY 7, 2012.
- ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER, SITE ENGINEER, AND APPROPRIATE REGULATORY AGENCY PRIOR TO INSTALLATION.
- PAVEMENT MARKINGS AND STRIPING SHALL PAINTED WITH 2 COATS OF PAINT (WHITE OR YELLOW) PER FEDERAL SPECIFICATION T1-P-115 TYPE 1; ALKYO (TO BE RESTRIPTED FOUR (4) TIMES PER YEAR).
- PAVEMENT LETTERS SHALL BE 2\"/>



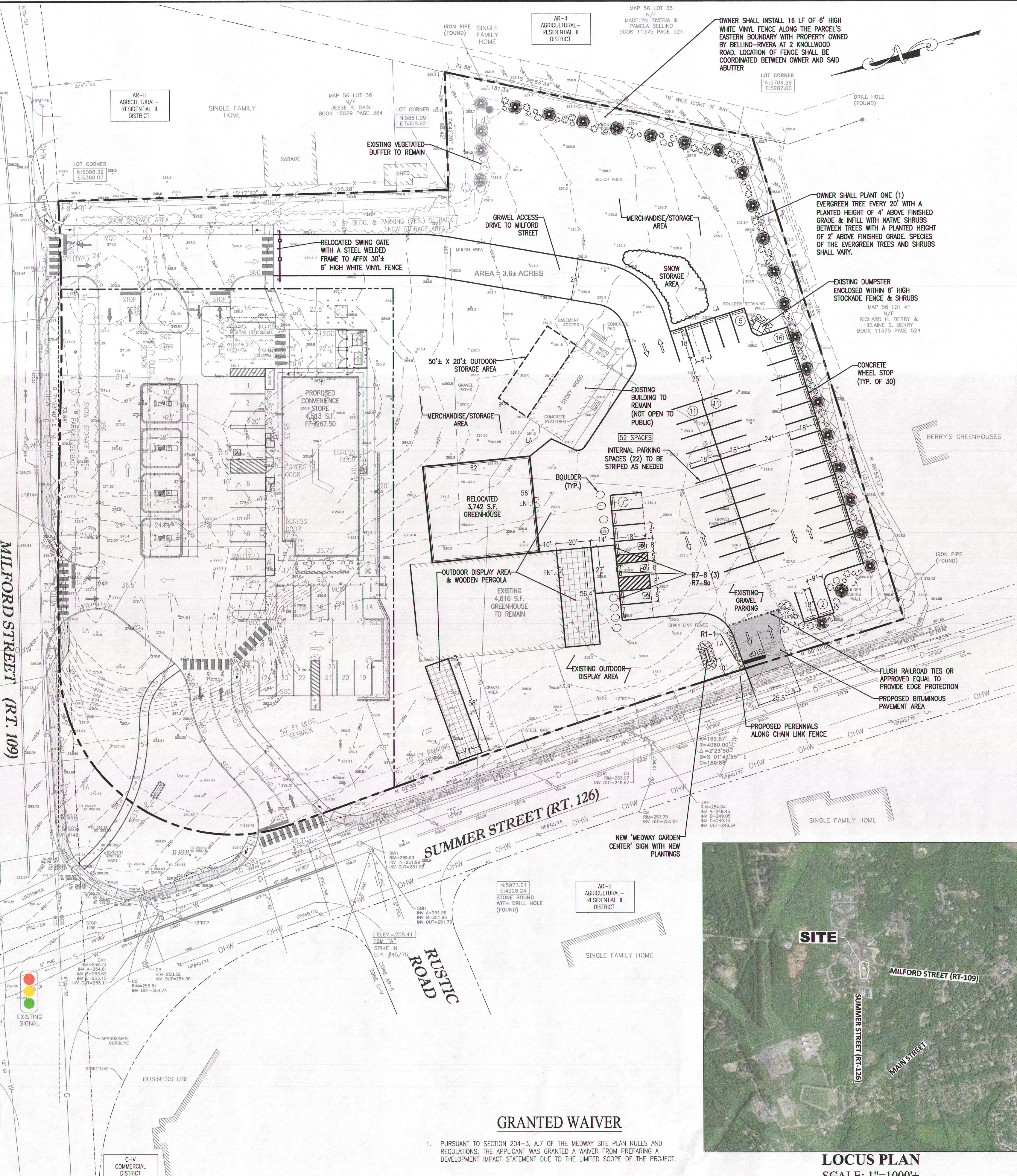
TYPICAL SIGN POST DETAIL
NOT TO SCALE



TYPICAL CEDAR FENCE DETAIL
NOT TO SCALE

MUTCD REFERENCE	SIGN
R1-1	STOP
R7-8	RESERVED PARKING
R7-8a	VAN ACCESSIBLE

ZONING INFORMATION		
ZONING DISTRICT: COMMERCIAL DISTRICT V (C-V)		
SITE AREA: 2.23 ACRES		
REGULATION	REQUIRED	PROPOSED
MIN. LOT AREA	20,000 S.F.	155,156 S.F.
MIN. LOT FRONTAGE	100 L.F.	833.4 L.F.
MIN. FRONT YARD SETBACK	50'	43.9'
MIN. SIDE YARD SETBACK	15'	116.6'
MIN. REAR YARD SETBACK	15'	N/A
MAX. BUILDING HEIGHT	40'	<40'
MAX. LOT COVERAGE	0.30	0.10



GRANTED WAIVER

- PURSUANT TO SECTION 204-3, A.7 OF THE MEDWAY SITE PLAN RULES AND REGULATIONS, THE APPLICANT WAS GRANTED A WAIVER FROM PREPARING A DEVELOPMENT IMPACT STATEMENT DUE TO THE LIMITED SCOPE OF THE PROJECT.



LOCUS PLAN
SCALE: 1"=1000'

MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD:

[Signature]

December 13, 2016

REV	DATE	COMMENT
1	07/23/14	REV. PER PEDB COMMENTS
2	07/22/16	REV. PER CLIENT COMMENTS
3	11/11/16	REV. PER PB CONDITIONS
4	11/30/16	REV. PER PB CONDITIONS

SCALE: 30 0 15 30 60
GRAPHIC SCALE IN FEET

DESIGNED BY: MAL
CHECKED BY: PRH

SEAL: *[Professional Seal]*
PHILIP R. HENRY, P.E.

PROJECT: MEDWAY GARDENS
38 SUMMER STREET (ROUTE-126)
MEDWAY, MA 02053

PREPARED BY: CIVIL DESIGN GROUP, LLC
21 HIGH STREET, SUITE 300A
NORTH ANDOVER, MA 01845
www.cdengineering.com
p: 978-794-5400 f: 978-914-6161

SHEET: **SITE PLAN**
1

CDG PROJECT #: 14048
DATE: 07/22/2014