



April 12, 2022
Medway Planning & Economic Development Board
Meeting

2 Marc Road – Public Hearing for
proposed modifications to previously
issued marijuana special permits and
site plan and groundwater protection
special permit

- Public hearing notice
- Application to amend previously issued marijuana special permits and site plan to accommodate a 20,000 sq. ft. building addition and associated parking and drainage (received 3/3/22)
- Application for a groundwater protection district special permit (received 3/3/22)
- Site Narrative dated 2/28/22 prepared by Dan Merrikin, Legacy Engineering
- Groundwater Protection District Materials MSDS Sheets
- Letter dated 4/5/22 re: change of name of ownership of 2 Marc Road

- Site Plan dated 2-28-22 prepared by Legacy Engineering
- Requests for waivers from the Site Plan Rules and Regulations
- Marijuana licenses from the Cannabis Control Commission
- CommCan annual reports (2017-2021)
- Host Community Agreement with the Town of Medway
- Ownership Disclosure Statement dated 4/16/22
- Tetra Tech review letter dated 3/31/22
- SAC email dated 3/16/22 to Town staff requesting review and comment
- Emails between SAC and Dan Merrikin (3/16 – 4/5) re: additional information needed (updated noise and odor plans)

NOTE – This project is also before the Conservation Commission for an Order of Conditions and Land Disturbance Permit. The Commission will start its public hearing on this project on April 28th.

Board Members

Matthew J. Hayes, Chair
Robert Tucker, Vice Chair
Richard Di Iulio, Clerk,
Jessica Chabot, Member
Sarah Raposa, A.I.C.P.,
Member
Thomas A. Gay, Associate
Member



Medway Town Hall
155 Village Street
Medway, MA 02053
Phone (508) 533-3291
Fax (508) 321-4987
Email: planningboard@townofmedway.org
www.townofmedway.org

TOWN OF MEDWAY COMMONWEALTH OF MASSACHUSETTS PLANNING AND ECONOMIC DEVELOPMENT BOARD

March 17, 2022

NOTICE OF PUBLIC HEARING CommCan, 2 Marc Road Modifications to Previously Approved Recreational and Medical Marijuana Establishments Special Permits and Site Plan Groundwater Protection Special Permit

In accordance with the *Medway Zoning Bylaw*, Section 8.9 Registered Medical Marijuana Facilities, Section 8.10 Recreational Marijuana, Section 3.5 Site Plan Review, and Section 5.6.3 Groundwater Protection District, and the provisions of Chapter 40A, Massachusetts General Laws, and the *Medway Site Plan Rules and Regulations*, notice is given that the ***Medway Planning and Economic Development Board will commence a public hearing on Tuesday, April 12 at 7:00 p.m. in Sanford Hall at Medway Town Hall, 155 Village Street to consider the applications of Ellen Realty Trust of Millis, MA for approval of modifications to the previously approved marijuana special permits and site plan for 2 Marc Road (CommCan) and for a groundwater protection special permit.*** The applications pertain to the non-retail Registered Medical Marijuana cultivation and processing establishment and Recreational Marijuana cultivation and processing establishment currently in operation at 2 Marc Road plus changes to the previously approved site plan.

The proposal is to construct a two-story, 20,000 sq. ft. addition (10,000 sq. ft. footprint) and loading dock at the rear of the existing building to be used for the processing of products, a beverage canning operation, and storage. The proposal also includes constructing a 56 vehicle parking area in the previously disturbed easterly portion of the site with a connecting driveway to the existing access driveway from Marc Road. The existing parking area in front of the building will be modified to include additional handicap spaces and spaces to charge electric vehicles. The existing driveway around the building will also be modified to accommodate the building addition and loading dock. The site work includes stormwater management facilities and other site amenities.

The 6.93-acre property, Parcel 33-01, is owned by Ellen Realty Trust, of Millis, MA; it is located on the north side of Marc Road in the East Industrial Zoning District. The subject property is bounded on the north by property owned by John and Ann Lally, on the east by property owned by Bettye and William Reardon, and on the west by property owned by NEK LLC. The property is also located within the Town's Groundwater Protection District. The site includes wetland resources which are under the jurisdiction of the Medway Conservation Commission for an Order of Conditions and a Land Disturbance permit.

The planned work is shown on a plan titled *2 Marc Road Site Plan of Land in Medway, MA* dated February 28, 2022, prepared by Legacy Engineering of Millis, MA. The architectural drawings and renderings dated February 24, 2022 were prepared by UDA Architects of Walpole, MA.

The proposed changes require modifications to two special use permits and the previously approved site plan, and a groundwater protection district special permit due to the extent of proposed additional impervious surface (pavement) resulting from the new parking lot and driveway and the use of chemical solutions for cleaning equipment.

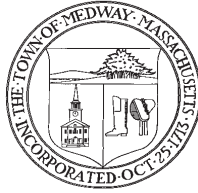
The applications, site plan, and other associated documents are on file with the Medway Town Clerk and at the office of the Planning and Economic Development Board at Medway Town Hall, 155 Village Street and may be reviewed during regular business hours. The materials have also been posted at the Planning and Economic Development Board's web page at: <https://www.townofmedway.org/planning-economic-development-board/pages/2-marc-road-commcan-special-permit-and-site-plan>

Interested persons are invited to review the applications, plan and associated documents, attend the public hearing, and express their views at the designated time and place. The Sanford Hall meeting room is accessible via elevator to individuals with physical disabilities and challenges. Written comments are encouraged and may be forwarded to: planningboard@townofmedway.org. Questions should be directed to the Medway Planning and Economic Development office at 508-533-3291.

Pursuant to Chapter 22 of the Acts of 2022, this hearing will be conducted in person and, as a courtesy, via remote means in accordance with applicable law. Please note that while an option for remote attendance and/or participation is being provided as a courtesy to the public and board members, the meeting/hearings will not be suspended or terminated if technological problems interrupt the virtual broadcast, unless required by law. Information for participating in the meeting via Zoom will be included on the Agenda for the Board's April 12th meeting.

Matthew J. Hayes, P.E., Chair

For publication in the *Milford Daily News*
Monday, March 28, 2022
Tuesday, April 5, 2022



Planning & Economic Development Board - Town of Medway, MA
MARIJUANA SPECIAL PERMIT

***Application to Modify a Previously Approved Marijuana
Special Permit Decision and/or Plan***

INSTRUCTIONS TO APPLICANT/OWNER

This Application is made pursuant to the Medway Zoning Bylaw.

The Board may ask the Town's Planning and Engineering Consultants to review the application and the proposed Special Permit modification and provide review letters. A copy of those review letters will be provided to you in advance of the meeting.

You and/or your duly authorized Agent/Designated Representative are expected to attend the Board meetings at which your application will be considered to answer any questions and/or submit such additional information as the Board may request.

Your absence may result in a delay in the Board's review of the proposed modification.

February 28, 2022

APPLICANT INFORMATION

Applicant's Name: Ellen Realty Trust
Mailing Address: 730 Main Street Suite 2A
Millis, MA 02054
Name of Primary Contact: Ellen Rosenfeld
Telephone: 508-376-2041 Office: 508-376-2041 Cell: n/a
Email address: ellen@rosenfeld-law.com

PREVIOUS MARIJUANA SPECIAL PERMIT INFORMATION

Development Name: 2 Marc Road
Date of Marijuana Special Permit Decision: June 28, 2016 (Mod. 2/26/19 & 1/14/20)
Date of Plan Endorsement: June 7, 2016, Feb. 11, 2020
Type of Permit:
☐ Retail Registered Medical Marijuana Facility
☒ Non-Retail Registered Medical Marijuana Facility
☒ Recreational (Adult Use) Marijuana Establishment

Recording information of previous permit and plan (book & page info, date)
Norfolk Registry of Deeds Book 34328 Page 450 recorded August 2, 2016

Book 36679 Page 81 recorded March 22, 2019

Book 37927 Page 175 recorded June 1, 2020

PROPERTY INFORMATION

Location Address: 2 Marc Road

The land shown on the plan is shown on Medway Assessor's Map # 33 as Parcel # 01

SCOPE OF PROPOSED MODIFICATION

This is a petition to: (Check all that apply)

1. ☒ **Amend/Modify/Revise a previously approved marijuana site plan**

What modifications are proposed? Why does the Plan need to be modified? **Attach a complete description of the proposed modified scope of work.**

Plan Modification Title: 2 Marc Road

Plan Date: February 28, 2022

Prepared by:

Name: Daniel Merrikin, P.E.

Firm: Legacy Engineering

Phone #: 508-376-8883

Email: dan@legacy-ce.com

2. ☒ **Amend/Modify/Revise a previously approved special permit decision.**

How and why does the Decision need to be modified? **Attach a thorough description/ explanation. Specify which condition needs to be changed.**

3. ☒ **Request Additional Waivers from the Site Plan Rules and Regulations**

Provide a completed Waiver Request form for each additional waiver request you seek.

PROPERTY OWNER INFORMATION (if not applicant)

Property Owner's Name: Same as Applicant

Mailing Address: _____

Primary Contact: _____

Telephone:
Office: _____ Cell: _____

Email address: _____

CONSULTANT INFORMATION

ENGINEER: Daniel J. Merrikin, P.E. - Legacy Engineering LLC

Mailing Address: 730 Main Street
Suite 2C

Primary Contact: Millis, MA 02054

Telephone:
Office: 508-376-8883 Cell: 508-868-8353

Email address: dan@legacy-ce.com

Registered P.E. License #: 43309

SURVEYOR: Anthony Delorco, PLS - Colonial Engineering Inc

Mailing Address: P.O. Box 95

Medway, MA 02052

Primary Contact: Steve Dexter

Telephone: Office: 508-533-1644 Cell: n/a

Email Address: colonial.eng@verizon.net

Registered P.L.S. License #: 34303

ARCHITECT: UDA Architects

Mailing Address: 486 high plain Street

Walpole, MA 02081

Primary Contact: Tim Fitzroy

Telephone: Office: 508-734-5236 Cell: n/a

Email address: tfitzroy@udaarchitects.com

Registered Architect License #: 20762 (Kevin Uniacke)

LANDSCAPE ARCHITECT/DESIGNER: n/a

Mailing Address:

Primary Contact:

Telephone: Office: Cell:

Email address:

Registered Landscape Architect License #:

DESIGNATED REPRESENTATIVE INFORMATION

Name: Same as Engineer

Address:

Telephone: Office: Cell:

Email address:

SIGNATURES

The undersigned, being the Applicant for approval of a modification to a previously approved marijuana special permit and/or associated site plan, herewith submits this application to the Medway Planning and Economic Development Board for review and approval.

I hereby certify, under the pains and penalties of perjury, that the information contained in this application is a true, complete and accurate representation of the facts regarding the property under consideration.

(If applicable, I hereby authorize Daniel J. Merrikin, P.E. to serve as my Agent/ Designated Representative to represent my interests before the Medway Planning & Economic Development Board with respect to this application.)

In submitting this application, I authorize the Board, its consultants and agents, Town staff, and members of the Design Review Committee to access the site during the plan review process.

Signature of Property Owner

Printed Name

Feb. 28, 2022

Date

Signature of Applicant
(if other than Property Owner)

Printed Name

Date

Signature of Agent/Designated Representative

Printed Name

Feb. 28, 2022

Date

MARIJUANA SPECIAL PERMIT and/or PLAN MODIFICATION FEES

Filing Fee (modification to decision) - \$250

Filing Fee (modification to plan) - \$250

Advance on Plan Review Fee - \$500

(Submit a separate check for the plan review fee)

Make checks payable to: Town of Medway

Please call the Planning and Economic Development Office with any fee questions. 508-533-3291.

MARIJUANA SPECIAL PERMIT and/or PLAN MODIFICATION APPLICATION CHECKLIST

- ☒ Two (2) original marijuana modification applications with signatures.
- ☒ IF APPLICABLE, three (3) full size copies and one (1) 11" x 17" version of the proposed Site Plan Modification prepared in accordance with Sections 204-4 and 204-5 of the *Medway Site Plan Rules and Regulations* plus an electronic version.
- ☒ Certified Abutters List and 3 sets of labels from the Medway Assessor's office – for 300 feet around the subject property.
- ☒ Explanation as to how and why the plan and/or decision need to be modified.
- ☒ IF APPLICABLE, Request(s) for Waivers from the *Medway Site Plan Rules and Regulations*. Check with PEDB office for waiver request form.
- ☒ IF APPLICABLE, two (2) copies of revised Stormwater Drainage Calculations prepared in conformance with Section 204 – 3, G of the *Site Plan Rules and Regulations*
- ☒ Marijuana Permit and/or Plan Modification Filing Fee – Payable to Town of Medway
- ☒ Advance of Plan Review Fee – Payable to Town of Medway



Planning & Economic Development Board - Town of Medway, MA SPECIAL PERMITS

Application for Special Permit Approval

INSTRUCTIONS TO APPLICANT/OWNER

This Application is made pursuant to the Medway Zoning Bylaw. Certain special permits are issued by the Planning and Economic Development Board instead of the Zoning Board of Appeals.

The Town's Planning and Engineering Consultants may review the Application and associated submittals and provide review letters to the Planning and Economic Development Board.

A copy of those review letters will be provided to you in advance of the meeting.

You and/or your duly authorized Agent/Official Representative are expected to attend the Board meeting at which your Application will be considered to answer any questions and/or submit such additional information as the Board may request.

Your absence may result in a delay the Board's review of the special permit application.

_____, February _____, 2022

APPLICANT INFORMATION

Applicant's Name: Ellen realty Trust

Mailing Address: 730 Main Street Suite 2A

Millis, MA 02054

Name of Primary Contact: Ellen Rosenfeld

Telephone:

Office: 508-376-2041 Cell: n/a

Email address: ellen@rosenfeld-law.com

☐ Please check here if the Applicant is the equitable owner (*purchaser on a purchase and sales agreement.*)

PROPERTY INFORMATION

Location Address: 2 Marc Road

The land shown on the plan is shown on Medway Assessor's Map # 33 as Parcel # 01

Size of Development Parcel(s): 6.93 Acres

Development Name: 2 Marc Road

General Description of Property: Currently developed as a marijuana cultivation facility

Medway Zoning District Classification: East Industrial

TYPE OF SPECIAL PERMIT

Check all that apply:

- ☐ Infill Dwelling Unit (Section 8.1)
- ☐ Mixed-Use Development in the Central Business District (new Section 10.3)
- ☐ Reduced Parking (Section 7.1.1.J.)
- ☐ Vehicle fuel station with repair services
- ☐ Vehicle fuel station with car wash
- ☐ Vehicle fuel station with convenience store
- ☐ Car wash
- ☐ Vehicle repair
- ☐ Auto body shop
- ☐ Drive-thru facility
- ☐ Outdoor display
- ☐ Assisted living residence facility
- ☒ Other special permit uses, normally reviewed by the Zoning Board of Appeals, such as a Groundwater Protection District Special Permit and a Flood Plain Special Permit, but which are reviewed instead by the Planning and Economic Development Board when the project also requires site plan review (Section 3.4 H)

NOTE – There are separate application forms for the following special permits:

- Open Space Residential Development (OSRD)
- Adult Retirement Community Planned Unit Development (ARCPUD)
- Multi-Family Housing Overlay District (MHOD)
- Adaptive Use Overlay District (AUOD).
- Marijuana Facilities and Establishments (medical and adult recreational)
- Affordable Housing
- Oak Grove

Do not use this application form for the above noted types of developments.

PROPERTY OWNER INFORMATION (if not applicant)

Property Owner's Name: Same as Applicant

Mailing Address: _____

Primary Contact: _____

Telephone: _____
Office: _____ Cell: _____

Email address: _____

DESIGNATED REPRESENTATIVE INFORMATION

Name: Daniel J. Merrikin, P.E. - Legacy Engineering

Address: 730 Main Street Suite 2C
Millis, MA 02054

Telephone: _____
Office: 508-376-8883 Cell: 508-868-8353

Email address: dan@legacy-ce.com

Relationship to Applicant: Consultant

SIGNATURES

The undersigned, being the Applicant, herewith submits this application for a special permit(s) to the Medway Planning and Economic Development Board for review and action. I hereby certify, under the pains and penalties of perjury, that the information contained in this application is a true, complete and accurate representation of the facts regarding the property under consideration.

(If applicable, I hereby authorize Daniel J. Merrikin, P.E. to serve as my Agent/Designated Representative to represent my interests before the Planning & Economic Development Board with respect to this application.)

In submitting this application, I authorize the Board, its consultants and agents, Town staff, and members of the Design Review Committee and other Town boards and committees to access the site during the special permit review process.

Signature of Property Owner Ellen Rosenfeld Feb. 28, 2022
(printed name) Date

Signature of Property Owner (printed name) Date

Signature of Applicant (if other than Property Owner) printed name Date

Daniel Merrikin Feb. 28, 2022
Signature of Agent/Designated Representative (printed name) Date

SPECIAL PERMIT APPLICATION/FILING FEES

*There is no separate special permit application filing fee when a project also requires site plan review. If there is no requirement for site plan review, the special permit application filing fee is \$350.00.
Make check payable to: Town of Medway*

SPECIAL PERMIT APPLICATION CHECKLIST

*The following items shall be submitted with the application.
In most cases, the applicant shall also simultaneously file a corresponding application for Site Plan Review and Approval with all required submittals.*

- _____ Special Permit Application (2 signed originals) – one for the Town Clerk and one for the Planning and Economic Development Board
- _____ Project Description
- _____ Detailed narrative on how the proposed project meets the special permit criteria included in the Medway Zoning Bylaw, SECTION 3.4 Special Permit Criteria AND any specific criteria included in the particular section(s) of the Zoning Bylaw for which a special permit is sought.
- _____ Any additional information required by the specific section of the Zoning Bylaw for the requested type of special permit or as directed by Town staff.
- _____ List of abutters, and abutters to abutters within 300' of the property as prepared by the Medway Board of Assessors.

SITE NARRATIVE

FOR

2 MARC ROAD

MEDWAY, MA 02053

PROPOSED BUILDING ADDITION

FEBRUARY 28, 2022

PREPARED BY:
LEGACY ENGINEERING LLC
CONSULTING ENGINEERS
730 MAIN STREET, SUITE 2C
MILLIS, MA 02054

PREPARED FOR:
ELLEN REALTY TRUST
730 MAIN STREET, SUITE 2A
MILLIS, MA 02054

INTRODUCTION

This application proposes to modify previously issued permits for the marijuana cultivation facility currently in operation at 2 Marc Road. The prior approvals include:

- June 28, 2016 Special Permits and Site Plan Decision including site plan approval, a registered medical marijuana dispensary special permit, and a groundwater protection district special permit.
- February 26, 2019 Special Permit Decision for an Adult Recreational Marijuana Establishment.
- January 14, 2020 Modification decision for the 2 Marc Road Marijuana Facility Special Permit Site Plan.

The Applicant proposes a two-story addition at the rear of the existing building along with a new parking area on the easterly portions of the site. The existing and proposed conditions of the site are depicted on a plan set dated February 28, 2022 entitled “2 Marc Road Site Plan of Land in Medway, MA.”

EXISTING SITE CONDITIONS

The proposed development lies on a developed parcel of land located at 2 Marc Road with a total area of 6.93 acres (the “Site”).

SITE CONDITIONS

ZONING DISTRICTS

The site lies within the East industrial and Groundwater Protection Districts. There are no other overlay districts affecting the site.

EXISTING DEVELOPMENT

The site is currently developed with a two-story 60,000 s.f. industrial building for marijuana cultivation, along with all appurtenant driveways, parking areas, utilities, landscaped areas, and stormwater facilities. The area where the proposed parking lot is located is previously disturbed and has been historically used for outside materials and equipment storage.

The site contains wetlands, and a Notice of Intent will be filed with the Medway Conservation Commission for all work within jurisdictional areas.

PROPOSED CONSTRUCTION

GENERAL MODIFICATION DESCRIPTION

The proposed development consists of a two-story addition to the existing building along with minor driveway reconfigurations around it. An additional parking lot is proposed in the area currently used as a contractor's yard in the eastern portion of the site. An infiltration basin will be constructed to treat the additional impervious runoff.

PROPOSED MODIFICATIONS

BUILDINGS

The Applicant proposes to add a two-story 20,000 s.f. (10,000 s.f. footprint) at the rear of the existing building. This addition was noted on the originally approved site plan as a future expansion and the site's stormwater management facilities were designed for its eventual construction. The addition will match the existing building on a cast-in-place concrete slab foundation (no basements). The addition is planned to be used for processing of products, a beverage canning operation and storage. A new loading dock is included. The addition will be fully equipped with required fire protection systems and will meet or exceed all requirements of the Massachusetts State Building Code.

DRIVEWAYS/PARKING

In order to accommodate a previously unanticipated number of employees, the modification proposes to construct 56 new parking spaces in the previously disturbed easterly portion of the site. An existing driveway stub off the building driveway will be expanded to connect this new parking area to the building. A sidewalk will be constructed along the driveway. The existing parking area in front of the building will be slightly modified to include the newly required number of accessible parking spaces and EV spaces. The total number of parking spaces will be increased from 35 to 90, with a total of 4 handicap spaces and 4 electric vehicle charging spaces. The existing driveway around the building is proposed to be modified to accommodate the building addition and loading dock.

STORMWATER MANAGEMENT

There are three existing stormwater basins on the site that treat runoff according to both local and state regulations. Note the following summary of changes, which are described in detail in the Stormwater Report:

- While the building anticipation was expected and included in the original design of stormwater basin #1, minor modifications are needed to

accommodate the driveway changes associated with the loading dock. This includes the installation of a wall along one side of the existing basin.

- Stormwater basin #2 collects roof runoff from the existing building and will not be changed.
- Stormwater basin #3 collects runoff from a small portion of the existing driveway at the new driveway location. It is proposed to be slightly enlarged to accommodate additional driveway runoff from the new driveway.
- A new stormwater infiltration basin #4 is proposed to accommodate runoff from the new driveway and parking area. An existing stormwater swale in this vicinity, which was constructed during the 2016 site redevelopment will be removed, as it is no longer needed.

In addition to the above, it is noted that a network of stormwater swales exist on the property and accommodate runoff from adjacent buildings and Marc Road. These swales were reconstructed during the original 2017 site redevelopment.

IMPERVIOUS COVERAGE

Under Section 5.6.3(E)3(e) of the Zoning Bylaw (Groundwater Protection District), impervious coverage is limited to 15% unless a special permit is obtained. The proposed modifications impact the previously issued special permit by increasing impervious coverage from 28.5% to 50.8%. These values are below the 80% maximum allowed impervious percentage of the underlying East Industrial District.

All stormwater from the site is fully treated to both State and Town regulations. The existing site contains three stormwater basins complete with pretreatment deep sump structures and sediment forebays. The proposed addition will include a new stormwater basin with its own deep sump structure and sediment forebay. The site will also be improved with grass in areas that were previously dirt or gravel, which will decrease runoff and improve treatment and infiltration. All stormwater facilities will be permanently maintained in full working order.

TOXIC OR HAZARDOUS MATERIALS

Under Section 5.6.3(E)3(c) of the Zoning Bylaw (Groundwater Protection District), the handling of toxic or hazardous materials in quantities greater than those associated with normal household use require a special permit. The proposed modifications impact the previously issued special permit by introducing two new materials included in Attachment A. These are cleaning solutions that will be used to clean the new equipment. They will be stored inside the building in a secure location. At any given time there may be up to two 5-gallon buckets of each solution.

REDEVELOPMENT TIMETABLE

The hours of construction activities are expected to be between 7:00 am and 6:00 pm Monday through Saturday. Construction activities are expected to commence in the summer of 2022 and be completed by the summer of 2023.

SPECIAL PERMITS

3.4 SPECIAL PERMIT CRITERIA

1. The proposed site is an appropriate location for the proposed use. Section 8.9 of the Zoning Bylaw, Registered Medical Marijuana Facilities and Section 8.10 of the Zoning Bylaw Recreational Marijuana establishments are allowed in special permit in the East Industrial Zoning District. The subject site at 2 Marc Road is located within the East Industrial Zoning District and is therefore an eligible location and the proposed modifications are consistent with the prior approvals.
2. Adequate and appropriate facilities will be provided for the operation of the proposed use. The proposed addition to the existing 60,000 s.f. cultivation facility is intended for storage and product processing. The existing activities on the site will essentially remain unchanged by this addition. The modification also includes additional parking areas to address a current shortage of parking at the site. Due to the 2016 Approval and 2019 Approval, adequate and appropriate facilities have been provided for the operation of the facility.
3. The proposed use as developed will not create a hazard to abutters, vehicles, pedestrians or the environment. The existing site as modified by the proposed design contain suitable driveways, parking areas and stormwater management systems. The Applicant has recently undertaken significant changes to mitigate prior noise complaints and is in the process of implementing an additional odor control system at the existing building.
4. The proposed use will not cause undue traffic congestion or conflicts in the immediate area. The proposed modification includes additional parking facilities, which will increase the on-site parking capacity to 90 spaces. This is sufficient to accommodate the expected 85 employees at the site in the largest shift. The Industrial Park Road system is adequate to handle the traffic. The Applicant previously reconstructed Marc Road as part of the 2016 Approval. Furthermore, the site's access is from Main Street/Route 109, a major east-west arterial roadway, so there is no traffic impact on local residential roadways.
5. The proposed use will not be detrimental to the adjoining properties due to lighting, flooding, odors, dust, noise, vibration, refuse materials, or other undesirable visual, site or operational attributes of the proposed use. The Applicant previously undertook an elaborate site modification to relocate the rooftop chiller to the ground in a noise dampening enclosure. This has

mitigated prior noise complaints and has brought the facility into compliance with the current noise limitations of the Zoning Bylaw. In order to address recent odor complaints, the Applicant is in the process of designing and installing a new odor management system, which will supplement the previous odor management system already installed at the facilities. The proposed stormwater system modifications will prevent flooding during design storm events. New lighting will not impact adjoining properties. With these modifications and the other existing site amenities, the use will not be detrimental to the adjoining properties due to the potential impacts discussed in this section.

6. The proposed use as developed will not adversely affect the surrounding neighborhood or significantly alter the character of the zoning district. The proposed use is an existing of an existing industrial use within an industrial zoning district and is therefore consistent with the character of the East Industrial Zoning District. The proposed modification will not substantially change the range of current activities at the site.
7. The proposed use is in harmony with the general purpose and intent of this Zoning Bylaw. The bylaw allows for marijuana cultivation facilities and the use is therefore in harmony with the general purpose of the Zoning Bylaw.
8. The proposed use is consistent with the goals of the Medway Master Plan. The existing facility and proposed modifications are consistent with Goals 1 and 6 of the Economic Development Goals and Objectives section of the Medway Master Plan by maximizing the area's economic resources and attracting and retaining existing businesses and increasing the industrial/manufacturing base.
9. The proposed use will not be detrimental to the public good. As a facility in compliance with state and local law, consistent with the goals of the Medway Master Plan, the proposed modifications to the site will not be detrimental to the public good.

ATTACHMENT A

GROUNDWATER PROTECTION DISTRICT
MATERIALS MSDS SHEETS

SAFETY DATA SHEET

Issue Date 10-Apr-2015

Revision Date 26-Mar-2018

Version 2

1. PRODUCT AND COMPANY IDENTIFICATION

Product identifier

Product Name LIQUID METAL SAFE

Other means of identification

Product Code A 5535

UN/ID No. UN1760

Recommended use of the chemical and restrictions on use

Recommended Use Detergent.

Uses advised against Use only as stated on label.

Details of the supplier of the safety data sheet

Supplier Alpha Chemical Services, Inc.
46 Morton Street
Stoughton, MA 02072
Phone: (800) 464-9872

Emergency telephone number

Emergency Telephone Chemtrec 1-800-424-9300

2. HAZARDS IDENTIFICATION

Classification

OSHA Regulatory Status

This chemical is considered hazardous by the 2012 OSHA Hazard Communication Standard (29 CFR 1910.1200)

Acute toxicity - Oral	Not classified
Acute toxicity - Dermal	Not classified
Skin corrosion/irritation	Category 1 Sub-category A
Serious eye damage/eye irritation	Category 1

Label elements

Emergency Overview

Danger

Hazard statements

Causes severe skin burns and eye damage



Appearance Colorless

Physical state Liquid

Odor Odorless

Precautionary Statements - Prevention

Do not breathe dust/fume/gas/mist/vapors/spray

Wash face, hands and any exposed skin thoroughly after handling

Wear protective gloves/protective clothing/eye protection/face protection

Precautionary Statements - Response

Specific Treatment (See Section 4 on the SDS)

IF IN EYES: Rinse cautiously with water for several minutes. Remove contact lenses, if present and easy to do. Continue rinsing

Immediately call a POISON CENTER or doctor/physician

IF ON SKIN (or hair): Remove/Take off immediately all contaminated clothing. Rinse skin with water/shower

Wash contaminated clothing before reuse

Immediately call a POISON CENTER or doctor/physician

IF INHALED: Remove victim to fresh air and keep at rest in a position comfortable for breathing

Immediately call a POISON CENTER or doctor/physician

IF SWALLOWED: Rinse mouth. DO NOT induce vomiting

Immediately call a POISON CENTER or doctor/physician

Precautionary Statements - Storage

Store locked up

Precautionary Statements - Disposal

Dispose of contents/container to an approved waste disposal plant

Hazards not otherwise classified (HNOC)**Other Information**

Unknown Acute Toxicity

0% of the mixture consists of ingredient(s) of unknown toxicity

3. COMPOSITION/INFORMATION ON INGREDIENTS

Chemical Name	CAS No.	Weight-%	Trade Secret
Sodium Silicate	1344-09-8	10-30	*
Sodium Hydroxide	1310-73-2	3-7	*
Tetrasodium EDTA	64-02-8	1-5	*

*The exact percentage (concentration) of composition has been withheld as a trade secret.

4. FIRST AID MEASURES**First aid measures****General advice**

Immediate medical attention is required.

Skin Contact

Immediate medical attention is required. Wash off immediately with soap and plenty of water while removing all contaminated clothes and shoes. For minor skin contact, avoid spreading material on unaffected skin. For severe burns, immediate medical attention is required.

Eye contact

Immediate medical attention is required Rinse immediately with plenty of water, also under the eyelids, for at least 15 minutes Keep eye wide open while rinsing Do not rub affected area Immediately flush with plenty of water. After initial flushing, remove any contact lenses and continue flushing for at least 15 minutes

Inhalation

Remove to fresh air. Call a physician or poison control center immediately. If not breathing, give artificial respiration. If breathing is difficult, give oxygen.

Ingestion

Immediate medical attention is required. Do NOT induce vomiting. Drink plenty of water. Never give anything by mouth to an unconscious person. Remove from exposure, lie down. Clean mouth with water and drink afterwards plenty of water. Call a physician or poison control center immediately.

Self-protection of the first aider

Use personal protective equipment as required. Avoid contact with skin, eyes or clothing.

Most important symptoms and effects, both acute and delayed**Symptoms**

No Information available.

Indication of any immediate medical attention and special treatment needed**Note to physicians**

Product is a corrosive material. Use of gastric lavage or emesis is contraindicated. Possible perforation of stomach or esophagus should be investigated. Do not give chemical antidotes. Asphyxia from glottal edema may occur. Marked decrease in blood pressure may occur with moist rales, frothy sputum, and high pulse pressure. Treat symptomatically.

5. FIRE-FIGHTING MEASURES**Suitable extinguishing media**

Use extinguishing measures that are appropriate to local circumstances and the surrounding environment.

Unsuitable extinguishing media Caution: Use of water spray when fighting fire may be inefficient.

Specific hazards arising from the chemical

The product causes burns of eyes, skin and mucous membranes. Thermal decomposition can lead to release of irritating and toxic gases and vapors. In the event of fire and/or explosion do not breathe fumes.

Explosion data

Sensitivity to Mechanical Impact None.

Sensitivity to Static Discharge None.

Protective equipment and precautions for firefighters

As in any fire, wear self-contained breathing apparatus pressure-demand, MSHA/NIOSH (approved or equivalent) and full protective gear.

6. ACCIDENTAL RELEASE MEASURES**Personal precautions, protective equipment and emergency procedures****Personal precautions**

Evacuate personnel to safe areas. Use personal protective equipment as required. Avoid contact with skin, eyes or clothing. Keep people away from and upwind of spill/leak.

Environmental precautions**Environmental precautions**

Do not allow into any sewer, on the ground or into any body of water. Should not be released into the environment. Prevent further leakage or spillage if safe to do so. Prevent product from entering drains.

Methods and material for containment and cleaning up**Methods for containment**

Prevent further leakage or spillage if safe to do so.

Methods for cleaning up

Dike far ahead of liquid spill for later disposal. Soak up with inert absorbent material. Take up mechanically, placing in appropriate containers for disposal. Clean contaminated surface thoroughly. Prevent product from entering drains. Dam up. After cleaning, flush away traces with water.

7. HANDLING AND STORAGE**Precautions for safe handling****Advice on safe handling**

Use personal protective equipment as required. Avoid contact with skin, eyes or clothing. Ensure adequate ventilation, especially in confined areas. In case of insufficient ventilation, wear suitable respiratory equipment. Use only with adequate ventilation and in closed systems.

Conditions for safe storage, including any incompatibilities**Storage Conditions**

Keep container tightly closed in a dry and well-ventilated place. Keep out of the reach of children. Keep containers tightly closed in a dry, cool and well-ventilated place. Keep in properly labeled containers.

Incompatible materials Incompatible with strong acids and bases. Incompatible with oxidizing agents. Strong acids. Aluminum.

8. EXPOSURE CONTROLS/PERSONAL PROTECTION

Control parameters

Exposure Guidelines This product, as supplied, does not contain any hazardous materials with occupational exposure limits established by the region specific regulatory bodies.

Chemical Name	ACGIH TLV	OSHA PEL	NIOSH IDLH
Sodium Hydroxide 1310-73-2	Ceiling: 2 mg/m ³	TWA: 2 mg/m ³ (vacated) Ceiling: 2 mg/m ³	IDLH: 10 mg/m ³ Ceiling: 2 mg/m ³

NIOSH IDLH Immediately Dangerous to Life or Health

Other Information Vacated limits revoked by the Court of Appeals decision in AFL-CIO v. OSHA, 965 F.2d 962 (11th Cir., 1992).

Appropriate engineering controls

Engineering Controls Showers, Eyewash stations & Ventilation systems.

Individual protection measures, such as personal protective equipment

Eye/face protection Tight sealing safety goggles. Face protection shield.

Skin and body protection Wear impervious protective clothing, including boots, gloves, lab coat, apron or coveralls, as appropriate, to prevent skin contact.

Respiratory protection If exposure limits are exceeded or irritation is experienced, NIOSH/MSHA approved respiratory protection should be worn. Positive-pressure supplied air respirators may be required for high airborne contaminant concentrations. Respiratory protection must be provided in accordance with current local regulations.

General Hygiene When using do not eat, drink or smoke. Wash contaminated clothing before reuse. Keep away from food, drink and animal feeding stuffs. Contaminated work clothing should not be allowed out of the workplace. Regular cleaning of equipment, work area and clothing is recommended. Avoid contact with skin, eyes or clothing. Take off all contaminated clothing and wash it before reuse. Wear suitable gloves and eye/face protection.

9. PHYSICAL AND CHEMICAL PROPERTIES

Information on basic physical and chemical properties

Physical state	Liquid		
Appearance	Colorless		
Odor	Odorless	Odor threshold	No Information available

<u>Property</u>	<u>Values</u>	<u>Remarks • Method</u>
pH	13.0 +	
Melting point/freezing point	No Information available	
Boiling point / boiling range	No Information available	
Flash point	None	
Evaporation rate	No Information available	
Flammability (solid, gas)	No Information available	
Flammability Limits in Air		
Upper flammability limit:	No Information available	
Lower flammability limit:	No Information available	
Vapor pressure	No Information available	
Vapor density	No Information available	
Specific Gravity	1.2	
Water solubility	Complete	
Solubility in other solvents	No Information available	
Partition coefficient	No Information available	
Autoignition temperature	No Information available	

Decomposition temperature	No Information available
Kinematic viscosity	No Information available
Viscosity	No Information available
Explosive properties	No Information available
Oxidizing properties	No Information available

10. STABILITY AND REACTIVITY

Reactivity

No data available

Chemical stability

Stable under recommended storage conditions.

Possibility of Hazardous Reactions

None under normal processing.

Conditions to avoid

Exposure to air or moisture over prolonged periods.

Incompatible materials

Incompatible with strong acids and bases. Incompatible with oxidizing agents. Strong acids. Aluminum.

Hazardous Decomposition Products

Thermal decomposition can lead to release of irritating and toxic gases and vapors.

11. TOXICOLOGICAL INFORMATION

Information on likely routes of exposure

Product Information	The primary effects and toxicity of this material are due to its corrosive nature.
Inhalation	Causes burns.
Eye contact	Corrosive to the eyes and may cause severe damage including blindness.
Skin Contact	The product causes burns of eyes, skin and mucous membranes.
Ingestion	Causes burns.

Chemical Name	Oral LD50	Dermal LD50	Inhalation LC50
Water 7732-18-5	> 90 mL/kg (Rat)	-	-
Sodium Silicate 1344-09-8	= 1960 mg/kg (Rat)	> 4640 mg/kg (Rabbit)	-
Sodium Hydroxide 1310-73-2	-	= 1350 mg/kg (Rabbit)	-
Tetrasodium EDTA 64-02-8	= 1658 mg/kg (Rat) = 10 g/kg (Rat)	-	-

Information on toxicological effects

Symptoms	No Information available.
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Delayed and immediate effects as well as chronic effects from short and long-term exposure

Corrosivity	Causes burns. Extremely corrosive and destructive to tissue. Risk of serious damage to eyes.
Sensitization	No Information available.
Germ cell mutagenicity	No Information available.
Carcinogenicity	No Information available.

Reproductive toxicity	No Information available.
STOT - single exposure	No Information available.
STOT - repeated exposure	No Information available.
Chronic toxicity	Chronic exposure to corrosive fumes/gases may cause erosion of the teeth followed by jaw necrosis. Bronchial irritation with chronic cough and frequent attacks of pneumonia are common. Gastrointestinal disturbances may also be seen. Avoid repeated exposure. Possible risk of irreversible effects.
Target organ effects	EYES, Respiratory system, Skin.
Aspiration hazard	No Information available.

Numerical measures of toxicity - Product Information

Unknown Acute Toxicity 0% of the mixture consists of ingredient(s) of unknown toxicity

The following values are calculated based on chapter 3.1 of the GHS document .

12. ECOLOGICAL INFORMATION

Ecotoxicity

0% of the mixture consists of components(s) of unknown hazards to the aquatic environment

Chemical Name	Algae/aquatic plants	Fish	Crustacea
Sodium Silicate 1344-09-8	-	301 - 478: 96 h Lepomis macrochirus mg/L LC50 3185: 96 h Brachydanio rerio mg/L LC50 semi-static	216: 96 h Daphnia magna mg/L EC50
Sodium Hydroxide 1310-73-2	-	45.4: 96 h Oncorhynchus mykiss mg/L LC50 static	-
Tetrasodium EDTA 64-02-8	1.01: 72 h Desmodesmus subspicatus mg/L EC50	59.8: 96 h Pimephales promelas mg/L LC50 static 41: 96 h Lepomis macrochirus mg/L LC50 static	610: 24 h Daphnia magna mg/L EC50

Persistence and degradability

No Information available.

Bioaccumulation

No Information available.

Other adverse effects

No Information available

13. DISPOSAL CONSIDERATIONS

Waste treatment methods

Disposal of wastes	Disposal should be in accordance with applicable regional, national and local laws and regulations.
Contaminated packaging	Do not reuse container.
US EPA Waste Number	D002

14. TRANSPORT INFORMATION

DOT

UN/ID No.	UN1760
Proper shipping name	Corrosive liquids, n.o.s.
Hazard Class	8
Packing Group	II
Special Provisions	B2, IB2, TII, TP2, TP27
Description	UN1760, Corrosive liquids, n.o.s. (Sodium Hydroxide), 8, II
Emergency Response Guide Number	154

15. REGULATORY INFORMATION

International Inventories

TSCA	Complies
DSL/NDL	Complies
EINECS/ELINCS	Complies
AICS	Complies

Legend:

TSCA - United States Toxic Substances Control Act Section 8(b) Inventory

DSL/NDL - Canadian Domestic Substances List/Non-Domestic Substances List

EINECS/ELINCS - European Inventory of Existing Chemical Substances/European List of Notified Chemical Substances

AICS - Australian Inventory of Chemical Substances

US Federal Regulations

SARA 313

Section 313 of Title III of the Superfund Amendments and Reauthorization Act of 1986 (SARA). This product does not contain any chemicals which are subject to the reporting requirements of the Act and Title 40 of the Code of Federal Regulations, Part 372

SARA 311/312 Hazard Categories

Acute health hazard	Yes
Chronic Health Hazard	Yes
Fire hazard	No
Sudden release of pressure hazard	No
Reactive Hazard	No

CWA (Clean Water Act)

This product does not contain any substances regulated as pollutants pursuant to the Clean Water Act (40 CFR 122.21 and 40 CFR 122.42)

Chemical Name	CWA - Reportable Quantities	CWA - Toxic Pollutants	CWA - Priority Pollutants	CWA - Hazardous Substances
Sodium Hydroxide 1310-73-2	1000 lb	-	-	X

CERCLA

This material, as supplied, does not contain any substances regulated as hazardous substances under the Comprehensive Environmental Response Compensation and Liability Act (CERCLA) (40 CFR 302) or the Superfund Amendments and Reauthorization Act (SARA) (40 CFR 355). There may be specific reporting requirements at the local, regional, or state level pertaining to releases of this material

Chemical Name	Hazardous Substances RQs	CERCLA/SARA RQ	Reportable Quantity (RQ)
Sodium Hydroxide 1310-73-2	1000 lb	-	RQ 1000 lb final RQ RQ 454 kg final RQ

US State Regulations

California Proposition 65

This product does not contain any Proposition 65 chemicals

U.S. State Right-to-Know Regulations

Chemical Name	New Jersey	Massachusetts	Pennsylvania
Sodium Hydroxide 1310-73-2	X	X	X

U.S. EPA Label Information

EPA Pesticide Registration Number Not Applicable

16. OTHER INFORMATION

NFPA	Health hazards 3	Flammability 0	Instability 0	Physical and Chemical Properties -
HMIS	Health hazards 3	Flammability 0	Physical hazards 0	Personal protection D

Issue Date 10-Apr-2015

Revision Date 26-Mar-2018**Revision Note**

No Information available

Disclaimer

The information provided in this Safety Data Sheet is correct to the best of our knowledge, information and belief at the date of its publication. The information given is designed only as a guidance for safe handling, use, processing, storage, transportation, disposal and release and is not to be considered a warranty or quality specification. The information relates only to the specific material designated and may not be valid for such material used in combination with any other materials or in any process, unless specified in the text.

End of Safety Data Sheet

Enviro Tech Chemical Services, Inc. 500 Winmoore Way Modesto, CA 95358

SAFETY DATA SHEET

SECTION 1 - IDENTIFICATION

Product Identifier: PERASAN A
Product Use: Antimicrobial solution.
Chemical Family: Oxidizer
Registration Number: 63838-1
Dilution Information: 0.13%-0.79% (v/v)

Product Code: 35

Enviro Tech Chemical Services, Inc.

500 Winmoore Way Modesto, CA 95358
(209) 581-9576 (7 AM to 5 PM, PST, Monday to Friday)

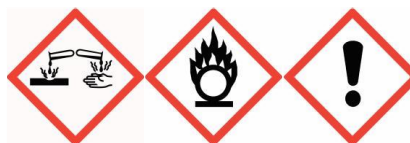
24 Hr. Emergency Tel.#: 800-255-3924

SECTION 2 - HAZARDS IDENTIFICATION

This chemical is a pesticide product registered by the Environmental Protection Agency and is subject to certain labeling requirements under the Federal Insecticide, Fungicide and Rodenticide Act (FIFRA). These requirements differ from the classification criteria and hazard information required for safety data sheets of non-pesticide chemicals. Please see Section 15 for FIFRA labeling information.

Classification of the Product AS SOLD:

Skin Corrosion - Category 1
Serious Eye Damage - Category 1
Oxidizing Liquids - Category 2
Corrosive to Metals - Category 1
Organic Peroxides - Type G
Acute Toxicity - Oral Category 4
Acute Toxicity - Dermal Category 5
Hazardous to the Aquatic Environment, Acute Toxicity Category 2



Classification of the Product AT USE DILUTION:

Acute Toxicity - Oral Category 5

GHS label elements for Product AS SOLD

Signal Word: DANGER

Hazard Statements:

Causes severe skin burns and eye damage
May intensify fire; oxidizer
May be corrosive to metals
Harmful if swallowed
May be harmful in contact with skin
Toxic to aquatic life

Precautionary Statements:

Prevention

Wear protective gloves/protective clothing/eye protection/face protection.
Wash hands thoroughly after handling
Keep away from heat/sparks/open flames/hot surfaces - No smoking.
Keep/Store away from clothing/combustible materials.
Do not eat, drink or smoke when using this product.
Keep only in original container.
Take any precaution to avoid mixing with combustibles.

Response

IF SWALLOWED: Rinse mouth. Do NOT induce vomiting. Call a POISON CENTER or doctor/physician if you feel unwell.

IF ON SKIN (or hair): Remove/Take off immediately all contaminated clothing. Rinse skin with water/shower. Immediately call a POISON CENTER or doctor/physician.

IF IN EYES: Rinse cautiously with water for several minutes. Remove contact lenses if present and easy to do. Continue rinsing. Immediately call a POISON

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CENTER or doctor/physician.

IF INHALED: Remove victim to fresh air and keep at rest in a position comfortable for breathing. Immediately call a POISON CENTER or doctor/physician.

For specific treatment see Section 4 First Aid.

Wash contaminated clothing before reuse.

In case of fire: Use water for extinction.

Absorb spillage to prevent material damage.

Storage

Store locked up.

Store in a corrosive resistant container with a resistant inner liner.

Disposal

Dispose of contents/container in accordance with local regulations.

Hazards not Otherwise Classified:

No other hazards classified.

GHS label elements for Product AT USE DILUTION

Signal Word: NONE

Hazard Pictograms: NONE

Hazard Statements:

May be harmful if swallowed

Precautionary Statements:

Prevention

Wash hands thoroughly after handling

Do not eat, drink or smoke when using this product.

Response

IF SWALLOWED: Rinse mouth. Immediately call a POISON CENTER or doctor/physician.

Disposal

Dispose of contents/container in accordance with local regulations.

Hazards not Otherwise Classified:

No other hazards classified.

SECTION 3 - COMPOSITION / INFORMATION ON INGREDIENTS

Product AS SOLD

Ingredient	Synonym	CAS Number	Concentration
HYDROGEN PEROXIDE	H2O2	7722-84-1	25-27.4%
ACETIC ACID	NONE	64-19-7	3-8%
PEROXYACETIC ACID	PAA	79-21-0	5.0-5.9%

Product AT USE DILUTION

Ingredient	Synonym	CAS Number	Concentration
HYDROGEN PEROXIDE	H2O2	7722-84-1	0.03-0.22%
PEROXYACETIC ACID	PAA	79-21-0	0.008-0.050%

SECTION 4 - FIRST-AID MEASURES

Product AS SOLD:

Inhalation: Remove source of exposure or move person to fresh air and keep comfortable for breathing. Immediately call a POISON CENTER/doctor. If breathing is difficult, trained personnel should administer emergency oxygen if advised to do so by the POISON CENTER/doctor. Symptoms of pulmonary edema can be delayed up to 48 hours after exposure. If direct contact during rescue breathing poses a threat to the first aid provider, "Avoid mouth-to-mouth contact by using a barrier device."

Skin Contact: Take off immediately contaminated clothing, shoes and leather goods (e.g. watchbands, belts). Rinse skin with lukewarm, gently flowing

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water/shower with a flushing duration of 30 minutes. Immediately call POISON CENTER/doctor. Wash contaminated clothing before re-use.

Eye Contact: Remove source of exposure or move person to fresh air. Rinse eyes cautiously with lukewarm, gently flowing water for several minutes, while holding the eyelids open. Remove contact lenses, if present and easy to do. Continue rinsing for 30 minutes. Take care not to rinse contaminated water into the unaffected eye or into the face. Immediately call a POISON CENTER/doctor.

Ingestion: Rinse mouth. Do NOT induce vomiting. Immediately call a POISON CENTER/doctor. If vomiting occurs naturally, lie on your side, in the recovery position.

Most Important Symptoms and Effects, both Acute and Delayed: Causes severe skin burns and eye damage, burning of the mouth, throat, and esophagus.

Indication of any Immediate Medical Attention and Special Treatment Needed: Treat symptomatically

Product AT USE DILUTION:

Inhalation: Seek medical attention if symptoms occur.

Skin Contact: Rinse with plenty of water.

Eye Contact: Rinse with plenty of water.

Ingestion: Rinse mouth. Immediately call a poison center/doctor if symptoms occur.

Most Important Symptoms and Effects, both Acute and Delayed: Irritation of the gastrointestinal tract.

Indication of any Immediate Medical Attention and Special Treatment Needed: Treat symptomatically

SECTION 5 - FIRE-FIGHTING MEASURES

Product AS SOLD:

Extinguishing Media: Use water spray, powder, foam, carbon dioxide.

Special hazards arising from the substance or mixture: Non combustible. May give off irritating or toxic fumes (or gases) in a fire.

Flammability classification (OSHA 29 CFR 1910.106) (Hazcom 2012): Non flammable

Hazardous Combustion Products: May cause fire and explosions when in contact with incompatible materials.

Special protective equipment and precautions for firefighters: In the event of a fire, wear full protective clothing and NIOSH-approved self-contained breathing apparatus.

Product AT USE DILUTION:

Extinguishing Media: Material is not flammable.

Special hazards arising from the substance or mixture: No special hazards known.

Flammability classification (OSHA 29 CFR 1910.106) (Hazcom 2012): Non flammable

Hazardous Combustion Products: None known.

Special protective equipment and precautions for firefighters: In the event of a fire, wear full protective clothing and NIOSH-approved self-contained breathing apparatus.

SECTION 6 - ACCIDENTAL RELEASE MEASURES

Product AS SOLD:

Personal precautions, protective equipment and emergency procedures: Ventilate area of leak or spill. Wear appropriate personal protective equipment as specified in Section 8. Isolate hazard area. Keep unnecessary and unprotected personnel from entering.

Methods and materials for containment and cleaning up: SMALL SPILLS (less than 1 gallon): Neutralize with soda ash or cover with dry earth, sand or other non combustible material, place into loosely covered plastic containers for later disposal. If neutralized, material can be diluted into drain. LARGE SPILL: Restrict access to area until completion of clean up. Prevent liquid from entering sewers or waterways. Stop or reduce leak if safe to do so. Dike with inert material (sand, earth, etc.). Collect into plastic containers for disposal. Ensure adequate decontamination of tools and equipment following clean up.

Special spill response procedures: Collect spills in plastic containers only. Prevent from entering sewers, waterways, or low areas.

Product AT USE DILUTION:

Personal precautions, protective equipment and emergency procedures: Wear appropriate personal protective equipment as specified in Section 8. Isolate hazard area. Keep unnecessary and unprotected personnel from entering.

Methods and materials for containment and cleaning up: SMALL SPILLS (less than 1 gallon): Dike small spills with inert material (sand, earth, etc.). Collect in plastic containers only. Wash area and let dry. LARGE SPILL: Should be diked with sand ahead of spill. Collect in plastic containers only. Ensure adequate decontamination of tools and equipment following clean up.

Special spill response procedures: Collect spills in plastic containers only. Prevent from entering sewers, waterways, or low areas.

SECTION 7 - HANDLING AND STORAGE

Product AS SOLD:

Precautions for Safe Handling: Wear at least chemical resistant gloves and eye protection, face shield, and chemical resistant garments when handling, moving or using this product. Do not contaminate water, food, or feed by storage or disposal.

Conditions for Safe Storage: Store in a cool, dry, well ventilated place away from direct sunlight. Keep container closed when not in use.

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Incompatible Materials: Avoid strong reducing agents, soft metals, heat and bases (unless product has been diluted to less than 1000ppm, then bases may be used to gradually adjust to a pH of less than 9).

Product AT USE DILUTION:

Precautions for Safe Handling: Do not swallow or ingest. Wash hands thoroughly after handling.

Conditions for Safe Storage: Store in a cool, dry, well ventilated place away from direct sunlight. Keep container closed when not in use.

Incompatible Materials: Avoid strong reducing agents, soft metals, heat and bases.

SECTION 8 - EXPOSURE CONTROLS / PERSONAL PROTECTION

Product AS SOLD:**EXPOSURE LIMITS:**

CHEMICAL NAME	CAS NO.	TWA	OSHA PEL	ACGIH TLV	
			STEL/CEILING	TWA	STEL
ACETIC ACID	64-19-7	10 ppm	15 ppm/40 ppm (CalOSHA)	10 ppm	15 ppm
HYDROGEN PEROXIDE	7722-84-1	1 ppm	1 ppm/N/A (CalOSHA)	1 ppm	N/A
PERACETIC ACID	79-21-1	N/A	N/A	N/A	0.4 ppm

Ventilation and engineering measures: Forced air, local exhaust, or open air is adequate.

Respiratory Protection: In case of confined spaces or high levels encountered in the air, wear self contained breathing apparatus.

Skin Protection: Wear chemical resistant gloves and chemical resistant garments when handling, wash garments before re-use.

Eye/Face Protection: Wear chemical goggles; also wear a face shield if splashing hazard exists.

Other Protective Equipment: Eye wash facility and emergency shower should be in close proximity.

General Hygiene Conditions: Do not eat, drink or smoke when using this product. Wash thoroughly after handling. Remove and wash contaminated clothing before re-use. Handle in accordance with good industry hygiene and safety practice.

Product AT USE DILUTION:

Ventilation and engineering measures: No special equipment needed.

Respiratory Protection: No respiratory personal protective equipment (PPE) required.

Skin Protection: No personal protective equipment (PPE) required.

Eye/Face Protection: No personal protective equipment (PPE) required.

Other Protective Equipment: No special protective equipment required.

General Hygiene Conditions: Do not eat, drink or smoke when using this product. Wash hands thoroughly after handling.

SECTION 9 - PHYSICAL AND CHEMICAL PROPERTIES

Product AS SOLD:

Appearance: Clear colorless liquid

Odor: Vinegar odor

pH: 1.5-1.9 (1:10)

Melting/Freezing point: No information available

Initial boiling point and boiling range: No information available

Flash Point: >200° F / >93 ° C

Flammability (solid, gas): Non flammable

Vapor Pressure (mm Hg): 22

Specific gravity: 1.12

Solubility in Water: Complete

Auto ignition Temperature: >518° F/ >270° C

Decomposition temperature: No information available

Viscosity: 5-15 cSt at 20°C / 68°F

Volatiles (% by weight): >99

Volatile Organic Compounds (VOC's): No information available

Product AT USE DILUTION:

Appearance: Clear colorless liquid

Odor: Slight vinegar odor

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pH: 2.5-3.5

SECTION 10 - STABILITY AND REACTIVITY

Product AS SOLD:**Reactivity:** Reactive with bases, metals, reducing agents and combustible materials**Chemical Stability:** Stable for up to 1 year when stored under normal conditions.**Possibility of Hazardous Reactions:** May react with incompatible materials**Conditions to Avoid:** Incompatible materials and high temperatures**Incompatible Materials:** Reactive with bases, metals, reducing agents and combustible materials**Hazardous Decomposition Products:** Oxygen which supports combustion.**Product AT USE DILUTION:****Reactivity:** Reactive with bases, metals, reducing agents and combustible materials**Chemical Stability:** Stable for up to 8-24 hours in distilled water. Chemical stability may be drastically reduced if hard water is used.**Possibility of Hazardous Reactions:** May react with incompatible materials**Conditions to Avoid:** Incompatible materials and high temperatures**Incompatible Materials:** Reactive with bases, metals, reducing agents and combustible materials**Hazardous Decomposition Products:** None known.

SECTION 11 - TOXICOLOGICAL INFORMATION

Product AS SOLD:**Information on likely routes of exposure:**

Routes of entry - inhalation: YES

Routes of entry - skin & eye: YES

Routes of entry - ingestion: YES

Routes of entry - skin absorption: NO

Potential Health Effects:**Signs and symptoms of short term (acute) exposure:****Inhalation:** Inhalation of the mist may produce severe irritation of respiratory tract, characterized by coughing, choking, shortness of breath, headaches, dizziness, nausea, weakness and/or drowsiness.**Ingestion:** Corrosive! Swallowing causes severe burns of mouth, throat, and stomach. Severe scarring of tissue, corrosion, permanent tissue destruction and death may result. Symptoms may include severe pain, nausea, vomiting, diarrhea, shock, hemorrhaging and/or fall in blood pressure. Damage may appear days after exposure.**Skin:** Corrosive! Contact with skin causes irritation or severe burns and scarring with greater exposures.**Eye:** Corrosive! Causes irritation of eyes, and with greater exposures it can cause burns that may result in permanent impairment of vision, even blindness.**Potential Chronic Health Effects:****Mutagenicity:** No known mutagenic effects.**Carcinogenicity:** No components are listed as carcinogens by ACGIH, IARC, OSHA, or NTP.**Reproductive effects:** No known reproductive effects.**Sensitization to material:** No expected to cause sensitization.**Specific target organ effects:** No information available.**Medical conditions aggravated by overexposure:** No information available.**Toxicological data:** The calculated ATE values for this mixture are:

ATE oral = 668 mg/kg

ATE dermal = 4808 mg/kg

ATE inhalation = >20 mg/L or >20,000 ppm

Product AT USE DILUTION:**Information on likely routes of exposure:**

Routes of entry - inhalation: NO

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Routes of entry - skin & eye: NO

Routes of entry - ingestion: YES

Routes of entry - skin absorption: NO

Potential Health Effects:

Signs and symptoms of short term (acute) exposure:

Inhalation: Not a respiratory irritant.

Ingestion: May cause irritation to the digestive system.

Skin: Not a skin irritant, but may cause skin irritation on some individuals if not washed from skin. Rinse hands thoroughly if exposed.

Eye: Not an eye irritant.

Potential Chronic Health Effects:

Mutagenicity: No known mutagenic effects.

Carcinogenicity: No components are listed as carcinogens by ACGIH, IARC, OSHA, or NTP.

Reproductive effects: No known reproductive effects.

Sensitization to material: No expected to cause sensitization.

Specific target organ effects: No information available

Medical conditions aggravated by overexposure: No information available.

Toxicological data: The calculated ATE values for this mixture are:

ATE oral = 4888 mg/kg

ATE dermal = >10,000 mg/kg

ATE inhalation = >20 mg/L or >20,000 ppm

SECTION 12 - ECOLOGICAL INFORMATION

Product AS SOLD:

Ecotoxicity: May be harmful to aquatic life.

Persistence and degradability: Not expected to persist. Expected to readily biodegrade.

Bioaccumulation potential: Not expected to bio accumulate.

Mobility in soil: No information available.

Product AT USE DILUTION

Ecotoxicity: No information available.

Persistence and degradability: No information available..

Bioaccumulation potential: No information available.

Mobility in soil: No information available.

SECTION 13 - DISPOSAL CONSIDERATIONS

Product AS SOLD:

Handling for disposal: Do not contaminate water, food, or feed by storage and/or disposal. When handling refer to protective measures listed in sections 7 and 8. Empty residue from containers, rinse container well.

Method of disposal: Dispose of in accordance with all applicable federal, state, provincial and local regulations. Contact your local, state, provincial or federal environmental agency for specific rules.

RCRA: If product becomes a waste, it does meet the criteria of a hazardous waste as defined by the US EPA, because of: Corrosivity D002.

Product AT USE DILUTION:

Handling for disposal: Do not contaminate water, food, or feed by storage and/or disposal. When handling refer to protective measures listed in sections 7 and 8. Empty residue from containers, rinse container well.

Method of disposal: Dispose of in accordance with all applicable federal, state, provincial and local regulations. Contact your local, state, provincial or federal environmental agency for specific rules.

SECTION 14 - TRANSPORTATION INFORMATION

Certain shipping modes or package sizes may have exceptions from the transport regulations. The classification provided may not reflect those exceptions and may not apply to all shipping modes or package sizes.

Enviro Tech Chemical Services, Inc. 500 Winmoore Way Modesto, CA 95358

SAFETY DATA SHEET

Please note the GHS and DOT Standards are NOT identical and therefore can have varying classifications

Product AS SOLD:

US 49 CFR/DOT/IATA/IMDG Information:

UN No.: 3098

UN Proper Shipping Name: Oxidizing liquid, corrosive, n.o.s. (contains hydrogen peroxide and peroxyacetic acid mixture, stabilized)

Transportation hazard class(es): 5.1 (8)

Packing Group: II

Environmental hazards: No hazards identified.

SECTION 15 - REGULATORY INFORMATION

Product AS SOLD:

FIFRA Classification/Typical Hazard Labeling, as outlined in EPA Label Review Manual

Hazard Data

Signal Word

DANGER

Acute Toxicity, oral

Category III: Harmful if swallowed

Acute Toxicity, dermal

Category III: Harmful if absorbed through skin

Acute Toxicity, inhalation

Category II: May be fatal if inhaled

Skin irritation/corrosion

Category I: Corrosive. Causes skin burns

Serious eye damage

Category I: Corrosive, Causes irreversible eye damage

Sensitization

Not Classified (NC)

Environmental (aquatic) toxicity

This pesticide is toxic to fish and other aquatic organisms.

US Federal Information:

TSCA information: All components are listed on the TSCA inventory.

US CERCLA Reportable quantity (Hazardous substance RQ): Acetic acid has a RQ of approximately 70000 lbs. of as is chemical.

US EPCRA Reportable quantity (Extremely hazardous substance RQ): Peracetic acid has a RQ of approximately 8900 lbs. of as is chemical.

Clean Air Act Section 112(r) Threshold Quantity (TQ): Peracetic acid has a TQ of approximately 178000 lbs. of as is chemical.

SARA Title III Hazard Categories: Reactivity Hazard, Acute Health Hazard

California Prop. 65: This product does not contain any chemicals listed.

International Information: WHMIS: Class C: Oxidizing material. Class E: Corrosive material

This product has been classified in accordance with the hazard criteria of the Controlled Products Regulations.

SECTION 16 - OTHER INFORMATION

Product AS SOLD:

NFPA

Health Hazards 3

Flammability 1

Stability 1

Special Hazards OX, COR

HMIS

Health Hazards 3

Flammability 1

Physical Hazard 1

Personal Protection C

NFPA/HMIS Ratings Legend

Severe = 4; Serious = 3; Moderate = 2; Slight = 1; Minimal = 0

Special hazards: OX = Oxidizer; COR = Corrosive

Personal Protection = C (safety glasses, gloves, protective apron)

Product AT USE DILUTION:

NFPA

Health Hazards 2

Flammability 0

Stability 0

Special Hazards NONE

HMIS

Health Hazards 2

Flammability 0

Physical Hazard 0

Personal Protection 0

NFPA/HMIS Ratings Legend

Severe = 4; Serious = 3; Moderate = 2; Slight = 1; Minimal = 0

Personal Protection = 0 (none)

Legend:

SARA: The Superfund Amendments and Reauthorization Act

RCRA: Resource Conservation and Recovery Act

TSCA: Toxic Substances Control Act

CFR: Code of Federal Regulations

DOT: Department of Transportation

ATE: Acute Toxicity Estimate

Preparation date: 1/1/2019



dan@legacy-ce.com
508-376-8883(o)
508-868-8353(c)
730 Main Street
Suite 2C
Millis, MA 02054

April 5, 2022

Planning and Economic Development Board
155 Village Street
Town Offices
Medway, MA 02053

Ref: Application to Modify a Previously Approved Marijuana Special Permit Decision
Proposed Addition
2 Marc Road

Dear Members of the Board:

I am writing to request that the name of the Applicant and Owner be revised from the "Ellen Realty Trust" to the "2 Marc Road LLC." A copy of the deed to the new LLC is attached for your reference. All other information on the applications is correct. Do not hesitate to contact me if you have any questions or comments.

Sincerely,

LEGACY ENGINEERING LLC

Daniel J. Merrikin, P.E.
President

cc: File

N O T
A N
O F F I C I A L
C O P Y

N O T
A N
O F F I C I A L
C O P Y

QUITCLAIM DEED

I, **Ellen Rosenfeld, as Trustee of the Ellen Realty Trust**, u/d/t dated June 16, 1989, recorded with the Norfolk County Registry of Deeds in Book 8346, Page 623.

For Consideration, paid in full, of **One Dollar and Zero Cents (\$1.00) PAID**

Grant to **2 Marc Road LLC**, a Massachusetts Limited Liability Company

of 730 Main Street, Millis Massachusetts with ***quitclaim covenants***

The land with the buildings thereon in Medway, Norfolk County, Massachusetts commonly known as 2 Marc Road, Medway, MA 02053 and identified by the Town of Medway Assessor as Parcel ID: 33-001, and further described as follows:

A majority of the land is shown as Lots 28-A1, 28-A2, 39-A2, and 39-A3 on a plan entitled, "Revised Plan of Subdivision in Medway," prepared for Ellen Realty Trust dated February 5, 1992 and recorded with the Norfolk County Registry of Deeds in Plan Book 410, Plan 749.

Said Lot 28-A1 contains 1.50 acres of land, more or less, according to said plan.

Said Lot 28-A2 contains 5,661.53 square feet of land, more or less, according to said plan.

Said Lot 39-A2 contains 24,591.43 square feet of land, more or less, according to said plan.

Said Lot 39-A3 contains 3.55 acres of land, more or less, according to said plan.

Also, an additional 1.192 acres of land, more or less, shown in part on said plan as land "N/F ELLEN REALTY TRUST" which abuts the above property to the north with a common boundary line running N. 84° 19' 30" E. in two courses measuring 49.37 feet and 459.67 feet, according to said plan.

Meaning and intending to convey all of 2 Marc Road, Medway, MA 02053 identified by the Town of Medway Assessor as Parcel ID: 33-001 and containing in total 6.932 acres of land, more or less.

All of the above land being a portion of the land conveyed to the grantor by deed dated July 21, 1989 and recorded with the Norfolk County Registry of Deeds in Book 8379, Page 083.

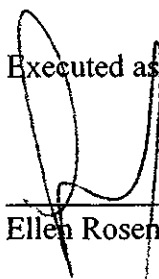
MASSACHUSETTS STATE EXCISE TAX
Norfolk Registry of Deeds
Date: 02-18-2022 @ 11:03am
Ctl#: 295 Doc#: 15648
Fee: \$.00 Cons: \$1.00

WILLIAM P. O'DONNELL, REGISTER
NORFOLK COUNTY REGISTRY OF DEEDS
RECEIVED & RECORDED ELECTRONICALLY

PROPERTY: 2 Marc Road, Medway, Massachusetts 02053

NOT
AN
OFFICIAL +
Executed as a sealed instrument this 11 day of February, 2022

NOT
AN
OFFICIAL



Ellen Rosenfeld, Trustee

Commonwealth of Massachusetts

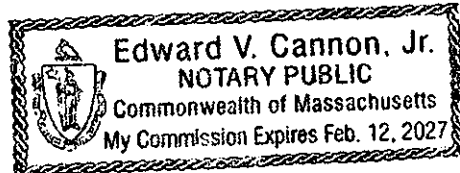
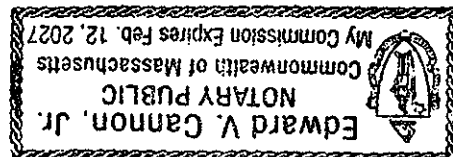
Norfolk, ss.

On this 11th day of February, 2022, before me, the undersigned notary public, personally appeared Ellen Rosenfeld, Trustee as aforesaid, proved to me through satisfactory evidence of identification, which was his/her/their driver's license, to be the person(s) whose name is signed on the preceding or attached document, and acknowledged to me that he/she/they signed it voluntarily for its stated purpose.



Notary Public:

My Comm. Exp.:



GENERAL NOTES:

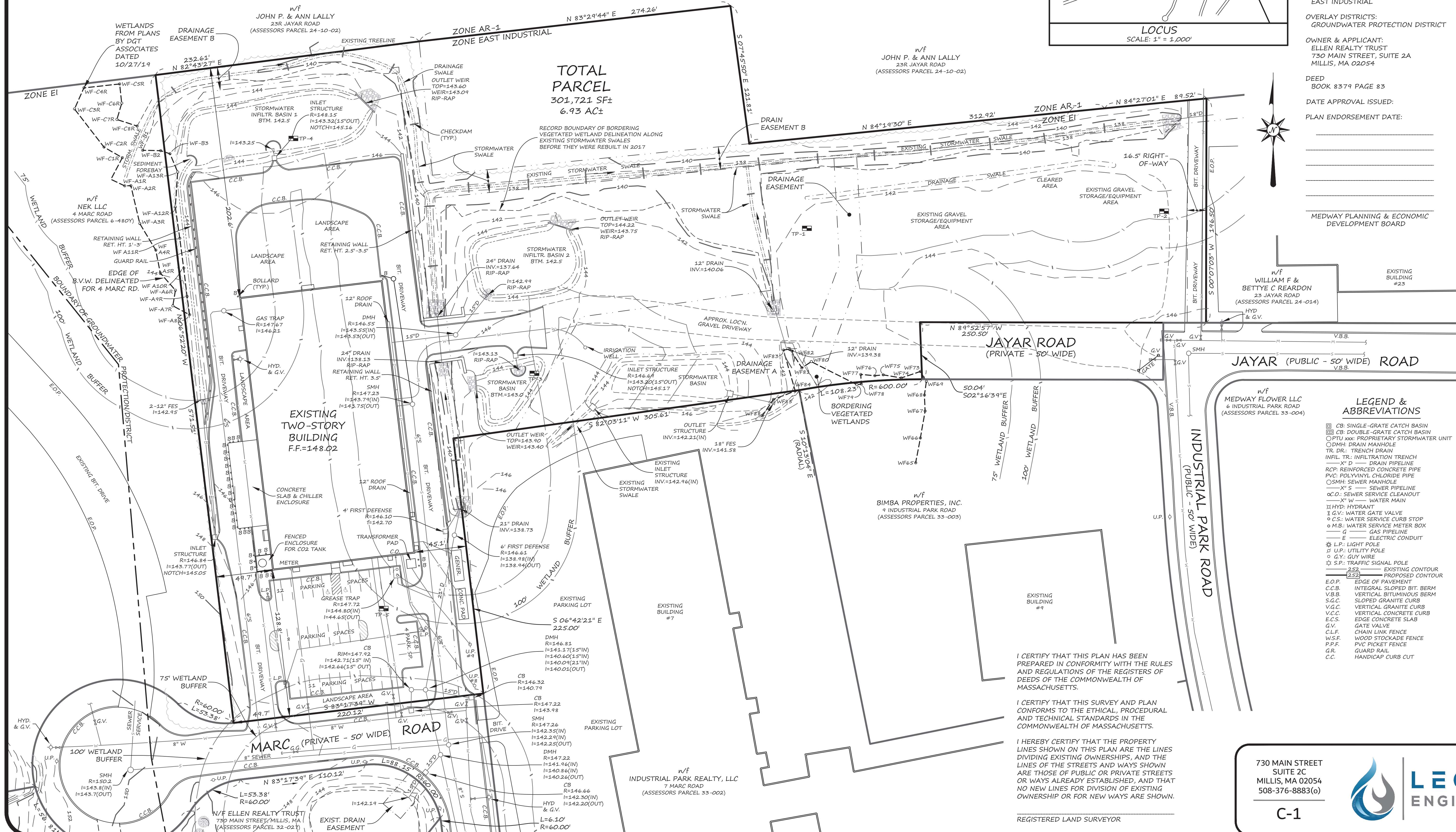
- SURVEY & PLAN REFERENCES:
A. DEED REFERENCES:
BOOK 8379, PAGE 83
BOOK 18164, PAGE 320
B. PLAN REFERENCES:
PLAN BOOK 299 NO. 900
PLAN BOOK 300 NO. 955
PLAN BOOK 326 NO. 1145
PLAN BOOK 430 NO. 749
PLAN BOOK 454 NO. 94
- DATUM: NAVD88
- EXISTING UTILITY INFORMATION IS BASED ON BEST AVAILABLE RECORDS AND VISIBLE SURFACE FEATURES SUCH AS MANHOLES, CATCH BASINS, UTILITY POLES, HYDRANTS, VALVE BOXES, ETC... EXISTING UTILITY INFORMATION DEPICTED ON THESE PLANS ARE NOT WARRANTED TO BE CORRECT AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING ALL LOCATIONS PRIOR TO COMMENCEMENT OF WORK.
- FEATURES OUTSIDE OF THE SITE SUCH AS ADJACENT STRUCTURES ARE APPROXIMATE ONLY AND BASED ON AVAILABLE AERIAL PHOTOGRAPHY.

CONSERVATION/EROSION & SEDIMENT CONTROL NOTES:

- PER 310 CMR 10.02(2)(C), THE EXISTING ON-SITE STORMWATER SWALES WERE RECONSTRUCTED FOR MAINTENANCE PURPOSES IN 2017 PURSUANT TO AND ORDER OF CONDITIONS AND ARE THEREFORE NOT CONSIDERED TO BE WETLAND RESOURCE AREAS UNDER THE WETLANDS PROTECTION ACT. THE PRIOR WETLAND DELINEATION ALONG THESE SWALES FROM THE 2016 DESIGN IS SHOWN FOR INFORMATIONAL PURPOSES. BUFFER ZONE LINES INCLUDE THE PRIOR SWALE WETLAND DELINEATION LINES BECAUSE IT IS UNCLEAR HOW THEY ARE TREATED UNDER THE MEDWAY WETLAND BYLAW.
- WETLANDS BOUNDARIES WERE DELINEATED BY RUSSELL WALDRON.

CONSTRUCTION NOTES:

- THE CONTRACTOR SHALL CONTACT DIGSAFE AT 811 PRIOR TO ANY EXCAVATION ACTIVITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF ANY STRUCTURAL RETAINING WALLS (WALLS WITH AN EXPOSED FACE OF GREATER THAN 4'). DESIGN SHALL BE BY A REGISTERED STRUCTURAL ENGINEER AND SHALL BE STAMPED ACCORDINGLY.



Digitally signed by Daniel J. Merrikin, P.E.
Date: 2022.03.03 10:04:21 -05'00'

SITE ADDRESS:
2 MARC ROAD

MAP AND PARCEL:
MAP 33, PARCEL 001

ZONING CLASSIFICATION:
EAST INDUSTRIAL

OVERLAY DISTRICTS:
GROUNDWATER PROTECTION DISTRICT

OWNER & APPLICANT:
ELLEN REALTY TRUST
730 MAIN STREET, SUITE 2A
MILLIS, MA 02054

DEED
BOOK 8379 PAGE 83

DATE APPROVAL ISSUED:

PLAN ENDORSEMENT DATE:

MEDWAY PLANNING & ECONOMIC
DEVELOPMENT BOARD

LEGEND & ABBREVIATIONS

- CB: SINGLE-GRATE CATCH BASIN
- CB: DOUBLE-GRATE CATCH BASIN
- OPTU xxx: PROPRIETARY STORMWATER UNIT
- ODMH: DRAIN MANHOLE
- TR: DR: TRENCH DRAIN
- INFIL: TR: INFILTRATION TRENCH
- X" D: DRAIN PIPELINE
- PVC: REINFORCED CONCRETE PIPE
- OSMH: SEWER MANHOLE
- X" S: SEWER PIPELINE
- Q.C.O.: SEWER SERVICE CLEANOUT
- X" W: WATER MAIN
- HYD: HYDRANT
- G.V.: WATER GATE VALVE
- CS: WATER SERVICE CURB STOP
- M.B.: WATER SERVICE METER BOX
- G: GAS PIPELINE
- E: ELECTRIC CONDUIT
- L.P.: LIGHT POLE
- U.P.: UTILITY POLE
- G.Y.: GUY WIRE
- S.P.: TRAFFIC SIGNAL POLE
- 252: EXISTING CONTOUR
- 252: PROPOSED CONTOUR
- E.O.P.: EDGE OF PAVEMENT
- C.C.B.: INTEGRAL SLOPED BIT. BERM
- V.B.B.: VERTICAL BITUMINOUS BERM
- S.G.C.: SLOPED GRANITE CURB
- V.G.C.: VERTICAL GRANITE CURB
- V.C.C.: VERTICAL CONCRETE CURB
- E.C.S.: EDGE CONCRETE SLAB
- G.V.: GATE VALVE
- C.L.F.: CHAIN LINK FENCE
- W.S.F.: WOOD STOCKADE FENCE
- P.P.F.: PVC PICKET FENCE
- G.R.: GUARD RAIL
- C.C.: HANDICAP CURB CUT

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

I CERTIFY THAT THIS SURVEY AND PLAN CONFORMS TO THE ETHICAL, PROCEDURAL AND TECHNICAL STANDARDS IN THE COMMONWEALTH OF MASSACHUSETTS.

I HEREBY CERTIFY THAT THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE LINES DIVIDING EXISTING OWNERSHIPS, AND THE LINES OF THE STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED, AND THAT NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.

REGISTERED LAND SURVEYOR

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)

C-1



LEGACY
ENGINEERING

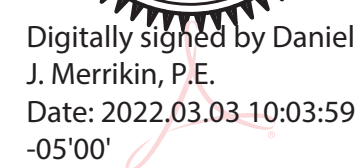
2 MARC ROAD
EXISTING CONDITIONS
PLAN OF LAND
IN
MEDWAY, MA

PLAN DATE: FEBRUARY 28, 2022

REVISION

DATE

BY



Digitally signed by Daniel
J. Merrikin, P.E.
Date: 2022.03.03 10:03:59
-05'00'

For Registry Use



PLAN DATE: FEBRUARY 28, 2022

[illegible]

2 MARC ROAD
MISSION CONTROL
PLAN OF LAND
IN
MEDWAY, MA

I CERTIFY THAT THIS PLAN HAS BEEN
PREPARED IN CONFORMITY WITH THE RULES
AND REGULATIONS OF THE REGISTERS OF
DEEDS OF THE COMMONWEALTH OF
MASSACHUSETTS.

I CERTIFY THAT THIS SURVEY AND PLAN
CONFORMS TO THE ETHICAL, PROCEDURAL
AND TECHNICAL STANDARDS IN THE
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REGISTERED LAND SURVEYOR

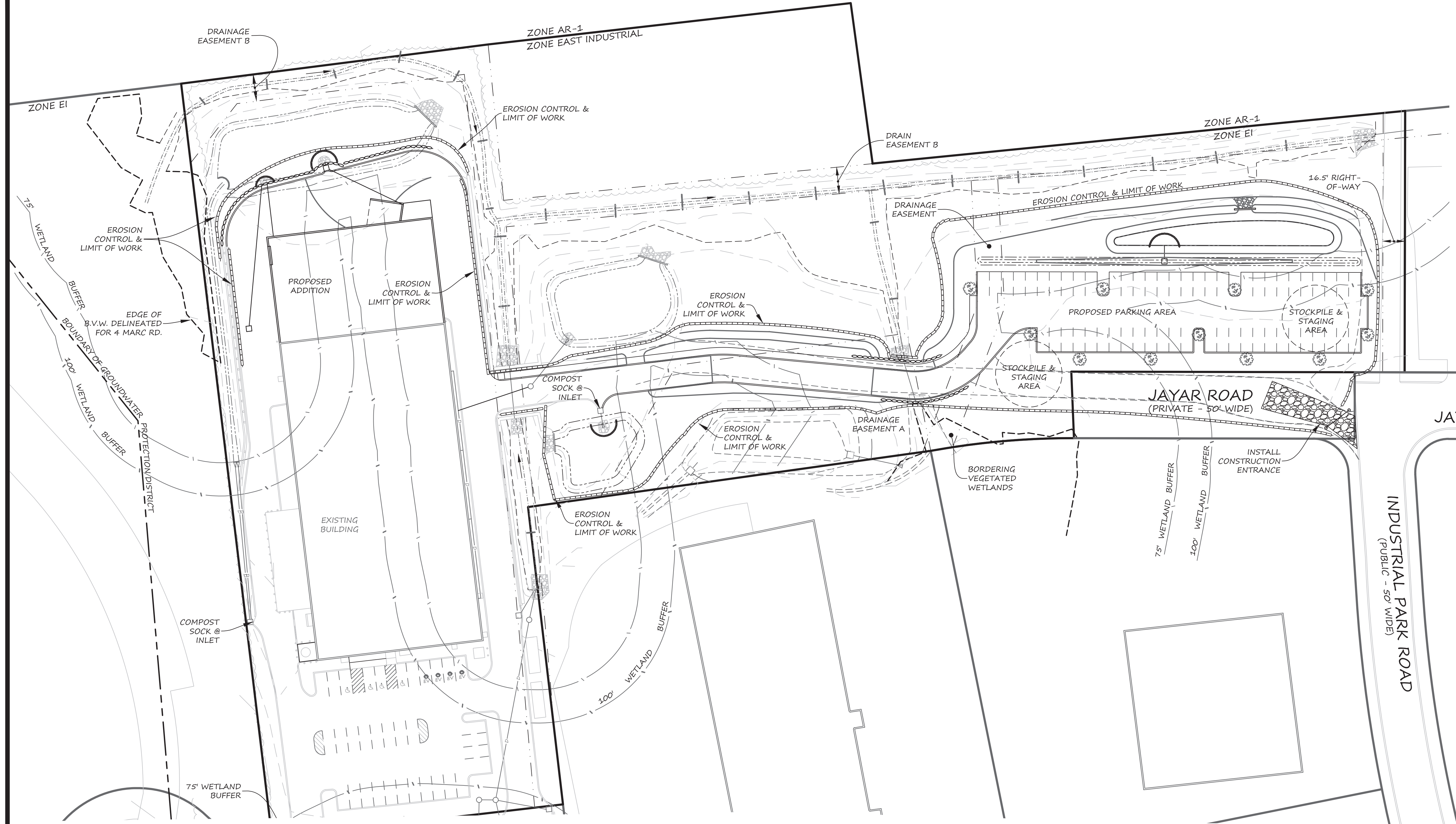
730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)



LEGACY
ENGINEERING

C-2

354-D63



SEDIMENT & EROSION CONTROL NOTES

GENERAL

1. IF APPLICABLE (I.E. ≥ 1 ACRE OF DISTURBANCE), FOR COMPLETE EROSION CONTROL AND CONSTRUCTION ACTIVITY GUIDANCE, REFER TO THE SWPPP. OTHERWISE FOLLOW THE SITE PLAN.
2. FOR SWPPP PROJECTS, A NOTICE SHALL BE POSTED VISIBLE FROM A PUBLIC RIGHT-OF-WAY WITH CONTACT INFORMATION AND INSTRUCTIONS TO FIND A COPY OF THE SWPPP.

PHASING AND CONSTRUCTION SEQUENCE

- 1.1. PHASE 1 - CONSTRUCTION SEQUENCE
- 1.2. STAKEOUT AND INSTALL EROSION AND PERIMETER CONTROLS (WHICH WILL DELINEATE THE LIMIT OF WORK FOR THE PROJECT)
- 1.3. DEMARCATHE THE LOCATION OF EXISTING UTILITIES ON AND AROUND THE CONSTRUCTION AREA;
- 1.4. CLEAR THE PROPOSED ENTRY AREAS AND INSTALL THE CONSTRUCTION ENTRANCE APRONS);
- 1.5. CLEAR AND GRUB THE DEVELOPMENT AREA;
- 1.6. STRIP AND STOCKPILE TOPSOIL;
- 1.7. COMMENCE ROAD GRADING TO SUB-GRADE ELEVATIONS;
- 1.8. CAST BUILDING FOUNDATIONS(S) AND BEGIN BUILDING CONSTRUCTION;
- 1.9. INSTALL NEW SITE UTILITIES, INCLUDING THE STORMWATER MANAGEMENT SYSTEM;
- 1.10. COMPLETE CONSTRUCTION OF NEW BUILDING(S);
- 1.11. PAVE THE ROAD/DRIVEWAY AND SIDEWALK (IF APPLICABLE) TO BINDER COURSE;
- 1.12. LOAM, SEED, AND STABILIZE DISTURBED AREAS, INCLUDING ALL SITE LANDSCAPING;
- 1.13. CLEANOUT ALL CATCH BASINS AND NEW STORMWATER BMPs IN THE PORTION OF THE SITE AFFECTED BY THE CONSTRUCTION ACTIVITIES;

PERIMETER EROSION CONTROL AND SEDIMENT CONTROLS

1. PERIMETER EROSION CONTROL BARRIERS WILL BE PROVIDED, INSTALLED AND MAINTAINED DOWNSTREAM OF ALL SEDIMENT CONSTRUCTION ACTIVITIES IN ACCORDANCE WITH THE SWPPP (IF APPLICABLE), THE SITE PLAN, AND ALL PERMITS ISSUED FOR THE SITE DEVELOPMENT. SUCH CONTROLS MUST BE INSTALLED BEFORE ANY EARTH-DISTURBING ACTIVITIES OCCUR ON THE SITE IN QUESTION. EROSION AND SEDIMENT CONTROLS MAY BE INSTALLED IN PHASES SO LONG AS IT PRECEDES ANY EARTH-DISTURBING ACTIVITIES WITHIN THE CONTROLS' UPSTREAM WATERSHED.
2. SEDIMENT SHALL BE REMOVED ALONG SUCH CONTROLS ON A REGULAR BASIS. IN NO CASE, SHALL SEDIMENT BE ALLOWED TO REACH A DEPTH EQUAL TO ONE HALF OF THE ABOVE GROUND HEIGHT OF THE EROSION CONTROL DEVICE.

SITE ACCESS CONTROLS

1. CONSTRUCTION VEHICLES WILL USE DESIGNATED ENTRY POINTS FOR EACH SITE. CRUSHED STONE OR RIP-RAP ENTRY APRON(S) WILL BE INSTALLED AND PROPERLY MAINTAINED DURING CONSTRUCTION UNTIL THE SITE IS PAVED. ALL CONSTRUCTION ACCESS WILL BE VIA THE FRONTAGE PUBLIC ROAD STREET, WHICH WILL BE KEPT CLEAN AND SWEEP

AS NEEDED TO MINIMIZE THE TRACKING OF SOILS AND DUST FROM THE SITE.

STOCKPILED SOILS

1. SOIL STOCKPILES TO BE LEFT IN PLACE MORE THAN 24 HOURS SHALL BE SURROUNDED WITH A LINE OF SILT FENCE OR COMPOST SOCK TO PREVENT THE PILES FROM ERODING INTO THE SITE AND TO DISCOURAGE ON-SITE RUNOFF FROM ERODING THE STOCKPILES. SOIL STOCKPILES TO BE LEFT IN PLACE MORE THAN 14 DAYS SHALL BE STABILIZED TEMPORARILY. DUST CONTROL MEASURES SHALL BE IMPLEMENTED TO PREVENT WIND EROSION OF THE STOCKPILES.

DUST CONTROL

1. DUST CONTROL MEASURES WILL BE IMPLEMENTED REGULARLY TO PREVENT THE OFF-SITE DEPOSITION OF WIND-ERODED SOILS. THE PRINCIPAL FORM OF DUST CONTROL WILL BE WATER APPLICATION.

DISTURBANCE OF STEEP SLOPES

1. CONTRACTORS MUST PAY CAREFUL ATTENTION TO STEEP SLOPES AND MUST IMPLEMENT ADDITIONAL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES DURING WORK ON STEEP SLOPES TO PREVENT EROSION. INSTALL EROSION CONTROL BLANKETS IF NEEDED.

SOIL COMPACTION

- AREAS DESIGNATED FOR FINAL VEGETATIVE SURFACES OR CONSTRUCTION-STAGE OR FINAL STORMWATER INFILTRATION PRACTICES SHALL BE PROTECTED FROM EXCESSIVE COMPACTION BY RESTRICTIVE VEHICLE ACCESS AND THE TYPES OF EQUIPMENT THAT MAY BE USED IN SUCH AREAS, PRIOR TO SEEDING/PLANTING OF SUCH AREAS. EXPOSED SOIL THAT HAS BEEN COMPACTED SHALL BE LOOSENEED BY TILLING OR OTHER SIMILAR METHODS. CONDITIONING SHALL CONSIST OF DEEP TILLING WITH A ROTARY TILL, DISC HARROWING, OR MANUAL LOOSENING AND RE-GRADING WITH AN EXCAVATOR BUCKET. CONDITIONING SHALL EXTEND TO A DEPTH OF AT LEAST 12-INCHES.

PROTECTION OF STORM DRAIN INLETS

1. ALL STORM DRAIN SYSTEM INLETS INSIDE OF PERIMETER CONTROLS SHALL BE PROTECTED WITH SEDIMENT CONTROL MEASURES DESIGNED TO REMOVE SEDIMENT FROM STORMWATER PRIOR TO ENTERING THE INLET. CATCH BASINS ALONG THE STREET FRONTAGE SHALL ALSO BE PROTECTED. SUCH MEASURES SHALL BE PERIODICALLY MAINTAINED AND REPLACED AS NEEDED TO ENSURE THEIR PROPER FUNCTIONALITY. SEDIMENT SHALL BE REMOVED DAILY WHERE FOUND.

TEMPORARY STABILIZATION

1. FOR PERMANENTLY OR TEMPORARILY (14 DAYS) CEASED CONSTRUCTION ACTIVITIES, TEMPORARY SOIL STABILIZATION MEASURES WILL BE EMPLOYED AS SOON AS PRACTICABLE BUT NO LONGER THAN 14 CALENDAR DAYS AFTER STABILIZATION HAS BEEN INITIATED. WHERE APPLICABLE, SEE THE SWPPP FOR ADDITIONAL REQUIREMENTS.

MAINTENANCE OF EROSION & SEDIMENT CONTROL MEASURES

1. EROSION AND SEDIMENT CONTROL MEASURES WILL BE MAINTAINED IN GOOD CONDITION FOR THE DURATION OF THE CONSTRUCTION ACTIVITY AND UNTIL SUCH TIME AS THE UPSTREAM AREAS ACHIEVE FINAL STABILIZATION. SEDIMENT

WILL BE REMOVED ALONG PERIMETER EROSION CONTROLS WHEN THE DEPTH EXCEEDS FOUR-INCHES. ALL CONTROL MEASURES WILL BE MAINTAINED IN EFFECTIVE OPERATING CONDITION. IF SITE INSPECTIONS IDENTIFY CONTROL MEASURES THAT ARE NOT OPERATING EFFECTIVELY OR FINDS OTHER PROBLEMS, THE CONTRACTOR MUST:

- MEASURES THAT ARE NOT OPERATING EFFECTIVELY OR HINDS OTHER PROBLEMS; THE CONTRACTOR MUST:
- 1.1. INITIATE WORK TO CORRECT THE PROBLEM IMMEDIATELY UPON DISCOVERY AND COMPLETE THE WORK BY THE CLOSE OF THE NEXT WORK DAY IF THE PROBLEM CAN BE CORRECTED THROUGH ROUTINE MAINTENANCE;
 - 1.2. FOR MORE SIGNIFICANT REPAIRS OR WHERE INSPECTIONS DETERMINE THAT ADDITIONAL EROSION AND SEDIMENT CONTROLS ARE NEEDED, SUCH WORK MUST BE COMPLETED AND OPERATION NO LATER THAN 7 CALENDAR DAYS AFTER DISCOVERY OF THE PROBLEM.

POLLUTION PREVENTION

1. CONSTRUCTION STAGING AREAS WILL BE LIMITED IN QUANTITY AND WILL BE MAINTAINED IN A NEAT AND ORDERLY FASHION. REFER TO THE SITE PLAN FOR STAGING AREA LOCATION(S).
2. VEHICLES SHALL BE STORED IN FUELED IN DESIGNATED AREAS. MONITOR ALL EQUIPMENT FOR LEAKS. WHERE APPLICABLE, REFER TO THE SWPPP FOR ADDITIONAL VEHICLE STORAGE AREA REQUIREMENTS.
3. VEHICLE OR EQUIPMENT WASHING IS NOT ALLOWED ON SITE.
4. MATERIALS AND EQUIPMENT SHALL BE STORED PROPERLY AND ORDERLY.
5. WHERE APPLICABLE, REFER TO THE SWPPP FOR
 - 5.1. FURTHER INSTRUCTIONS ON PROPER MATERIAL AND EQUIPMENT STORAGE.
 - 5.2. REFER TO THE SWPPP FOR DISPOSAL OF WASTE, INCLUDING HAZARDOUS WASTE.
 - 5.3. REFER TO THE SWPPP FOR SPILL PREVENTION AND RESPONSE PROCEDURES.

DEWATERING PRACTICES

1. THIS SITE IS NOT EXPECTED TO ENCOUNTER SIGNIFICANT QUANTITIES OF GROUNDWATER DURING CONSTRUCTION ACTIVITIES BUT IF IT DOES, THE FOLLOWING PRACTICES WILL BE IMPLEMENTED:
1. DO NOT DISCHARGE ANY FLOATING SOLIDS OR FOAM;
 2. IF WATERING WATER IS FOUND TO CONTAIN OIL, GREASE, ETC... IT MUST BE FILTERED OR PASSED THROUGH AN OIL/WATER SEPARATOR PRIOR TO DISCHARGE;
 3. WHEREVER POSSIBLE, DISCHARGE DEWATERING WATER TO VEGETATED UPLAND AREAS FOR INFILTRATION, WHERE THIS IS NOT POSSIBLE, DISCHARGE DEWATERING WATER INTO A FILTERING BED CONSISTING OF A MINIMUM OF TWO DOUBLE ROWS OF HAYBALES WITH THREE LAYERS OF FILTER FABRIC DO NOT DIRECT DEWATERING WATER INTO WETLANDS WITHOUT PRIOR TREATMENT;
 4. VELOCITY DISSIPATION MEASURES MUST BE INCLUDED AT ALL DISCHARGE POINTS (RIP-RAP OR CRUSHED STONE BEDS).

INSPECTIONS

- INSPECTIONS**
1. WHENEVER APPLICABLE, REFER TO SWPPP FOR INSPECTION & REPORTING REQUIREMENTS IN ADDITION TO THE FOLLOWING:
- 1.1. THE SITE SHALL BE INSPECTED AT LEAST ONCE EVERY 14 CALENDAR DAYS AND WITHIN 24 HOURS OF THE OCCURRENCE OF A STORM EVENT OF 0.25 INCHES OR GREATER. INSPECTIONS MAY BE REDUCED DURING THE WINTER AND IN STABILIZED AREAS.
- 1.2. ALL DEFICIENCIES SHALL BE REMEDIATED IMMEDIATELY AND NO LATER THAN 7 DAYS AFTER DISCOVERY OF THE DEFICIENCY, IF POSSIBLE, PRIOR TO THE NEXT RAINFALL EVENT.



LAYOUT NOTES:

1. THE SLOPE OF THE PAVEMENT IN HANDICAP PARKING SPACES SHALL NOT EXCEED 2% IN ANY DIRECTION.
2. SNOW STORAGE IN WINDROWS ALONG PAVEMENT EDGE AND IN OTHER AREAS SHOWN ON THIS PLAN.
3. EXCEPT FOR HANDICAP SPACES, PARKING SPACES SHALL BE 9' WIDE X 18' DEEP. HANDICAP SPACES SHALL BE 8' WIDE X 18' DEEP.
4. BIKE RACK SHALL HOLD A MINIMUM OF FIVE BIKES.



Digitally signed by Daniel J. Merrikin, P.E.
Date: 2022.03.03 10:03:38 -05'00'

SITE ADDRESS:
2 MARC ROAD

MAP AND PARCEL:
MAP 33, PARCEL 001

ZONING CLASSIFICATION:
EAST INDUSTRIAL

OVERLAY DISTRICTS:
GROUNDWATER PROTECTION DISTRICT

OWNER & APPLICANT:
ELLEN REALTY TRUST
730 MAIN STREET, SUITE 2A
MILLIS, MA 02054

DEED
BOOK 8379 PAGE 83

DATE APPROVAL ISSUED:

PLAN ENDORSEMENT DATE:

For Registry Use

PLAN SCALE: 1" = 40'



PLAN DATE: FEBRUARY 28, 2022

BY

DATE

REVISION

2 MARC ROAD
LAYOUT
PLAN OF LAND
IN
MEDWAY, MA

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

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REGISTERED LAND SURVEYOR

ZONING NOTES:

USE:
MARIJUANA CULTIVATION FACILITY
LOT FRONTAGE (WIDTH):
REQ'D: 100'
PROVD: 220.12'
LOT AREA:
REQ'D: 20,000 S.F.
PROVD: 6.93 AC±
LOT SHAPE FACTOR:
REQ'D: P*P/A<22
PROVD:
IMAGINARY LOT AREA (A)
= 49,529 S.F.±
IMAGINARY LOT PERIMETER (P) = 890.25'
SHAPE FACTOR=16.00
COVERAGE BY STRUCTURES:
MAX. ALLOWED: 40%
PROPOSED: 13.3%
IMPERVIOUS COVERAGE:
MAX. ALLOWED: 15%

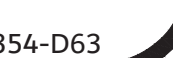
PROPOSED: 40.8%
PARKING:
REQ'D: TBD BY S.P.G.A.
PROVIDED: 90 SPACES (INCLUDING 4 HANDICAP SPACES)
SETBACKS:
FRONT YARD:
MIN. ALLOWED: 30'
PROVIDED: 129.1'
REAR YARD:
MIN. ALLOWED: 30'
PROVIDED: 122.6'
RIGHT SIDE YARD:
MIN. ALLOWED: 20'
PROVIDED: 45.1'
LEFT SIDE YARD:
MIN. ALLOWED: 20'
PROVIDED: 49.7'
BUILDING HEIGHT:
MAX. ALLOWED: 60'
PROVIDED: 34'

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)



LEGACY
ENGINEERING

C-3





Digitally signed by
Daniel J. Merrikin, P.E.
Date: 2022.03.03
10:02:55 -05'00'

SITE ADDRESS:
2 MARC ROAD

MAP AND PARCEL:
MAP 33, PARCEL 001

ZONING CLASSIFICATION:
EAST INDUSTRIAL

OVERLAY DISTRICTS:
GROUNDWATER PROTECTION DISTRICT

OWNER & APPLICANT:
ELLEN REALTY TRUST
730 MAIN STREET, SUITE 2A
MILLIS, MA 02054

DEED
BOOK 8379 PAGE 83

DATE APPROVAL ISSUED:

PLAN ENDORSEMENT DATE:

For Registry Use

MEDWAY PLANNING & ECONOMIC
DEVELOPMENT BOARD

w/f
WILLIAM F &
BETTYE C REARDON
23 JAYAR ROAD
(ASSESSORS PARCEL 24-014)

w/f
MEDWAY FLOWER LLC
206 INDUSTRIAL PARK ROAD
(ASSESSORS PARCEL 33-004)

PLAN SCALE: 1" = 40'



PLAN DATE: FEBRUARY 28, 2022

BY

DATE

REVISION

2 MARC ROAD
LIGHTING
PLAN OF LAND
IN
MEDWAY, MA

I CERTIFY THAT THIS PLAN HAS BEEN
PREPARED IN CONFORMITY WITH THE RULES
AND REGULATIONS OF THE REGISTERS OF
DEEDS OF THE COMMONWEALTH OF
MASSACHUSETTS.

I CERTIFY THAT THIS SURVEY AND PLAN
CONFORMS TO THE ETHICAL, PROCEDURAL
AND TECHNICAL STANDARDS IN THE
COMMONWEALTH OF MASSACHUSETTS.

I HEREBY CERTIFY THAT THE PROPERTY
LINES SHOWN ON THIS PLAN ARE THE LINES
DIVIDING EXISTING OWNERSHIPS, AND THE
LINES OF THE STREETS AND WAYS SHOWN
ARE THOSE OF PUBLIC OR PRIVATE STREETS
OR WAYS ALREADY ESTABLISHED, AND THAT
NO NEW LINES FOR DIVISION OF EXISTING
OWNERSHIP OR FOR NEW WAYS ARE SHOWN.

REGISTERED LAND SURVEYOR

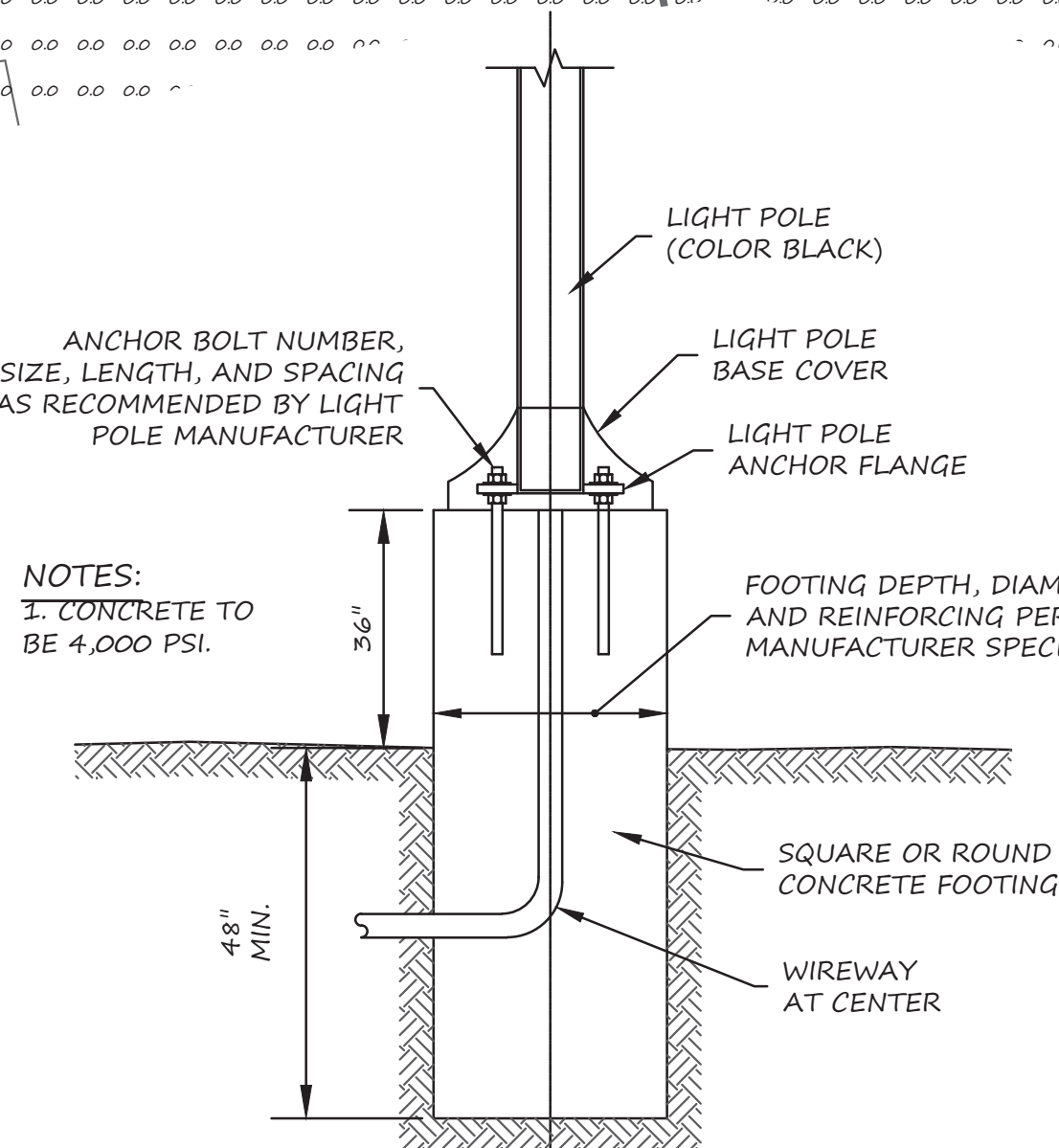
730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)

C-5



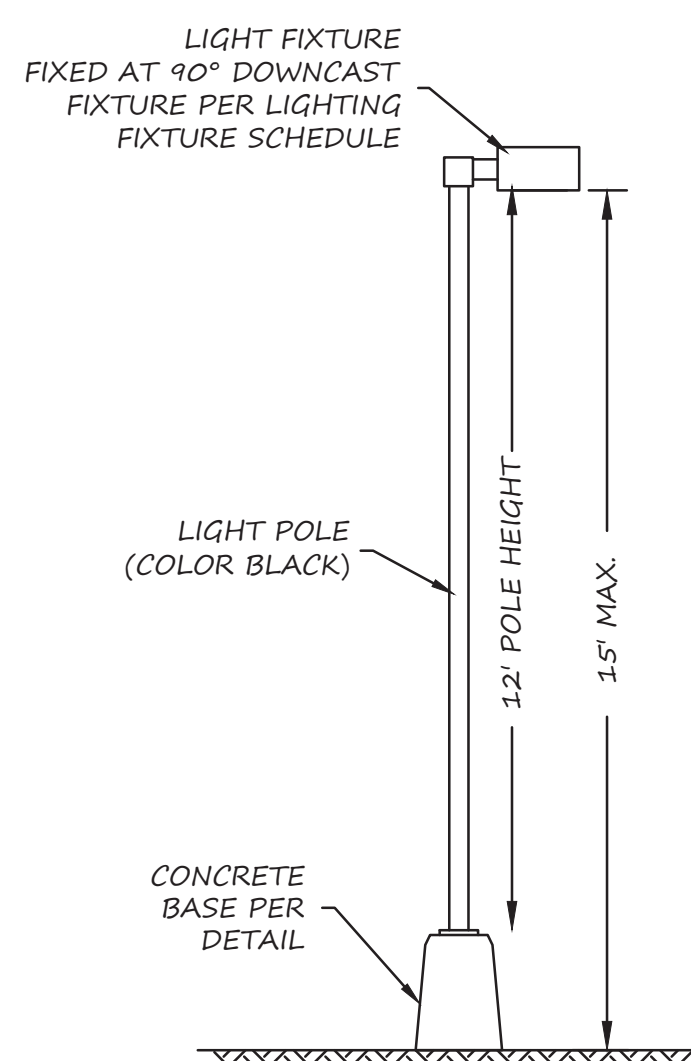
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ENGINEERING

354-D63



CONCRETE LIGHT POLE BASE DETAIL

(NO SCALE)



TYPICAL LIGHT POLE DETAIL

(NOT TO SCALE)

Luminaire Schedule				
Symbol	Qty	Label	Arrangement	Description
⊙	7	LPA	POLE WITH SINGLE FIXTURE @ 15° A.G.	RAB LIGHTING ALED4T105
→	2	WPA	SINGLE WALL SCONCE @ 10° A.G.	RAB LIGHTING SLIM57Y
⊠	5	WPB	SINGLE WALL SCONCE @ 15° A.G.	RAB LIGHTING WPLED4T105Y

LIGHTING FIXTURE SCHEDULE

NOT TO SCALE

N/F ELLEN REALTY TRUST
730 MAIN STREET, MILLIS, MA
(ASSESSORS PARCEL 32-027)

w/f
NEK LLC
4 MARC ROAD
(ASSESSORS PARCEL 6-480Y)

w/f
JOHN P. & ANN LALLY
23R JAYAR ROAD
(ASSESSORS PARCEL 24-10-02)

SECTION VIEW

PRECAST CONCRETE IN-SWALE CATCH BASIN

NOT TO SCALE

A cross-sectional diagram of a swale. The top horizontal line is labeled "TOP OF SWALE". The bottom horizontal line is labeled "BOTTOM OF SWALE". The sloped sides are labeled "SIDESLOPES" with a "3:1" ratio. The bottom flat area is labeled "2'". The material on the slopes is labeled "6-INCHES OF LOAM AND SEED". The vertical depth from the top to the bottom is labeled "6' MIN". The bottom flat area is labeled "SUB-GRADE".

DRAINAGE SWALE DETAIL

NOT TO SCALE

NOTES:

1. RIP-RAP TO BE PLACED ON EMBANKMENTS TO A POINT 1' ABOVE TOP OF FES (WHERE APPLICABLE).
2. WIDTH OF RIP-RAP APRON SHALL EQUAL THE HEADWALL WIDTH (BETWEEN WINGWALLS IF USED) OR THE NOMINAL PIPE DIA. PLUS 6'-FEET FOR FES OUTLETS.

DRAIN DISCHARGE WITH FES OR HEADWALL AS SPECIFIED

HEADWALL (IF USED)

FES

10x NOM. PIPE DIA.

12" THICK LAYER OF ANGULAR RIP-RAP

FINISHED GRADE/ SUBGRADE

6" THICK LAYER OF GRAVEL WITH FILTER FABRIC ON TOP

4' FOR FES
0' FOR HEADWALL

TYPICAL RIP-RAP APRON DETAIL

NOT TO SCALE

The technical drawings illustrate the enclosure's dimensions and structure. The **PLAN VIEW** shows a rectangular unit with a width of 1.2' and a total length of 3.3' ±. A section of the top surface is covered with 1.2" BAR GRATING. The **ISOMETRIC VIEW** provides a three-dimensional perspective of the enclosure, showing its depth and the placement of the grating on the top cover.

Technical drawing of a rectangular manhole. The main view shows a rectangle with a width of $6' \pm$ and a height of $3.7' \pm$. Inside the rectangle, two arrows point to the top edges, labeled "(2) 8" DIA. OUTLETS". The bottom edge is labeled "SLOPED BOTTOM (0.005)". A side view to the right shows the manhole's profile with a width of $1.2' \pm$ and a circular opening at the bottom.

- NOTES:
1. CONCRETE SHALL BE 4,000 PSI AFTER 28 DAYS.
 2. SHALL CONFORM TO H-20 LOADINGS.
 3. SHALL BE POWER DRAIN S300K BY ACO DRAIN OR EQUAL.

TRENCH DRAIN DETAIL

NOT TO SCALE

The diagram illustrates a cross-section of a rip-rap discharge apron and an infiltration basin. The structure consists of a concrete wall/weir at the front, followed by a rip-rap discharge apron, and then an infiltration basin. The rip-rap apron is 6 inches thick and made of 4-inch to 6-inch rip-rap. The infiltration basin is filled with rip-rap and has a top layer of 6-inch loam and seed. The diagram includes various dimensions and elevations:

- 6" LOAM & SEED**: The top layer of the infiltration basin.
- RIP RAP DISCHARGE APRON 6" THICK LAYER OF 4"-6" RIP-RAP**: The apron leading into the basin.
- TOP OF INFILTRATION BASIN**: The top surface of the rip-rap basin.
- ELEV. "Y"**: The elevation of the top of the rip-rap basin.
- ELEV. "C"**: The elevation of the top of the concrete wall/weir.
- ELEV. "Z" (AT FACE OF WALL)**: The elevation at the face of the concrete wall/weir.
- CONCRETE WALL/WEIR, 8" THICK, (NO REINFORCEMENT REQ'D)**: The front wall of the structure.
- 12" THICK CONCRETE FOOTING 12" WIDER THAN WALL IN ALL DIRECTIONS (NO REINFORCEMENT REQ'D)**: The base of the structure.
- Dimensions**:
 - 6"**: Width of the top layer of loam and seed.
 - 6"**: Width of the rip-rap discharge apron.
 - 4'**: Height of the concrete wall/weir.
 - "X"**: Length of the rip-rap discharge apron.
 - "V"**: Length of the rip-rap discharge apron at the base.
 - "W"**: Total width of the structure at the base.

NOTES:

1. SEE GRADING SCHEDULE FOR SLOPE, SLOTTED OUTLETS AND INLET BASIN.
2. ALL TOPSOIL BE REMOVED PRIOR TO THE BASIN BOTTOM. THE BASIN BOTTOM SHOULD BE SAND, LOAM OR SILT. BERM AREAS SHOULD BE UNSUITABLE SOIL.
3. SEE GRADING SCHEDULE FOR SLOPE, SLOTTED OUTLETS AND INLET BASIN.

3:1 SIDESLOPES ON EXTERIOR OF EMBANKMENT

5'

OVERFLOW LIP ELEV. "Y"

RIP-RAP OUTLET/ OVERFLOW APRON

ADJACENT EXISTING

6-INCHES LOAM AND SEED ALL SURFACES EXCEPT RIP-RAP AREAS

3:1 SIDESLOPES BASIN INTERIOR AND EXTERIOR

ADJACENT PROPOSED GRADE

TOP OF BERM ELEVATION "B"

FES WITH RIP-RAP APRON

6" HIGH RIP-RAP CHECK DAM WHERE NOTED

BOTTOM OF BASIN ELEVATION "A"

INLET PIPE(S)

5'

OUTLET WEIR WALL

TYPICAL BASIN CROSS-SECTION

SCHEDULE OF DIMENSIONS AND ELEVATIONS				
	BASIN #1	BASIN #2	BASIN #3	BASIN #4
BOTTOM OF BASIN ELEVATION "A"	142.5	142.5	143.0	142.0
TOP OF BERM ELEVATION "B"	144.5	144.5	145.0	144.0
OUTLET WEIR WALL LENGTH "W"	23'	23'	14'	16'
OVERFLOW WEIR NOTCH LENGTH "X"	13'	13'	2'	8'
OVERFLOW ELEVATION "Y"	143.10	143.75	143.40	142.70
TOP OF WEIR WALL "C"	143.60	144.25	143.90	143.50
RIP RAP SWALE OUTLET ELEV. "Z"	142.5	143.0	143.0	142.5
(AT OUTSIDE FACE OF WALL)				

TYPICAL INFILTRATION BASIN CROSS-SECTION

NOT TO SCALE



Digitally signed by
Daniel J. Merrikin, P.E.
Date: 2022.03.03
10:02:34 -05'00'

I CERTIFY THAT THIS PLAN HAS BEEN
PREPARED IN CONFORMITY WITH THE RULES
AND REGULATIONS OF THE REGISTERS OF
DEEDS OF THE COMMONWEALTH OF
MASSACHUSETTS.

I CERTIFY THAT THIS SURVEY AND PLAN
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AND TECHNICAL STANDARDS IN THE
COMMONWEALTH OF MASSACHUSETTS.

I HEREBY CERTIFY THAT THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE LINES DIVIDING EXISTING OWNERSHIPS, AND THE LINES OF THE STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED, AND THAT NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.

REGISTERED LAND SURVEYOR

SITE ADDRESS:
2 MARC ROAD

MAP AND PARCEL:
MAP 33, PARCEL 001

ZONING CLASSIFICATION:
EAST INDUSTRIAL

OVERLAY DISTRICTS:
GROUNDWATER PROTECTION DISTRICT

OWNER & APPLICANT:
ELLEN REALTY TRUST
730 MAIN STREET, SUITE 2A
MILLIS, MA 02054

DEED
BOOK 8379 PAGE 83

DATE APPROVAL ISSUED:

PLAN ENDORSEMENT DATE:

MEDWAY PLANNING & ECONOMIC
DEVELOPMENT BOARD

For Registry Use

PLAN SCALE: N.T.S.

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2 MARC ROAD
DETAIL
PLAN OF LAND
IN
MEDWAY, MA

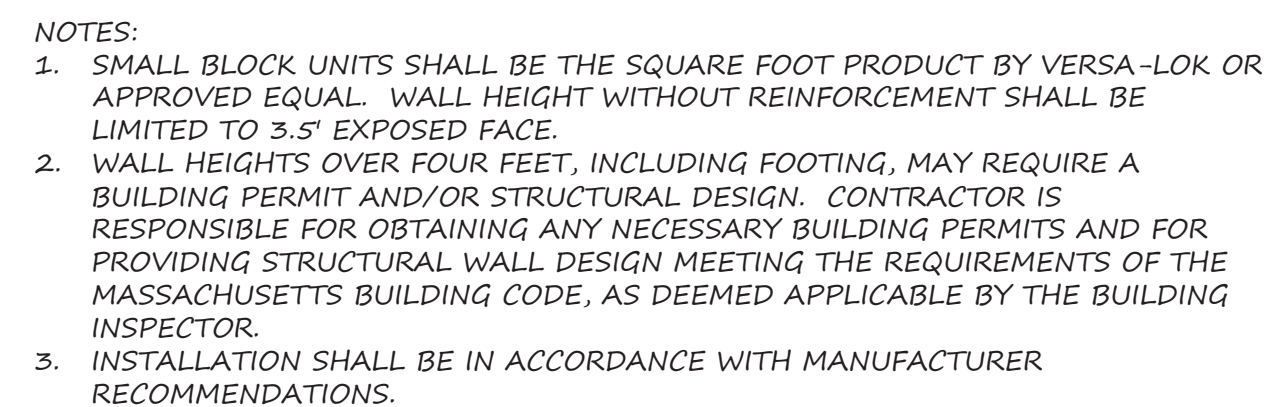
730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)



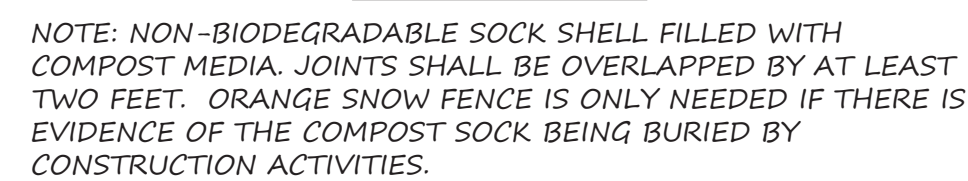
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ENGINEERING

C-6

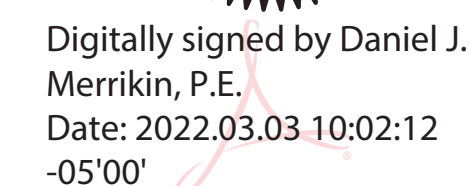
354-D63



NOT TO SCALE



NOT TO SCALE



PLAN ENDORSEMENT DATE:

For Registry Use



1. REFER TO THE LAYOUT PLAN FOR THE LOCATION, LAYOUT, AND NUMBER OF HANDICAP PARKING SPACES IN RELATION TO ADJOINING WALKWAYS.
2. HANDICAP PARKING SPACES AND ACCESSIBLE ROUTES (CURB CUTS, RAMPS, WALKWAYS, ETC...) SHALL BE IN ACCORDANCE WITH 521 CMR.

(NO SCALE)



NOT TO SCALE

REGISTERED LAND SURVEYOR

PLAN SCALE: N.T.S.

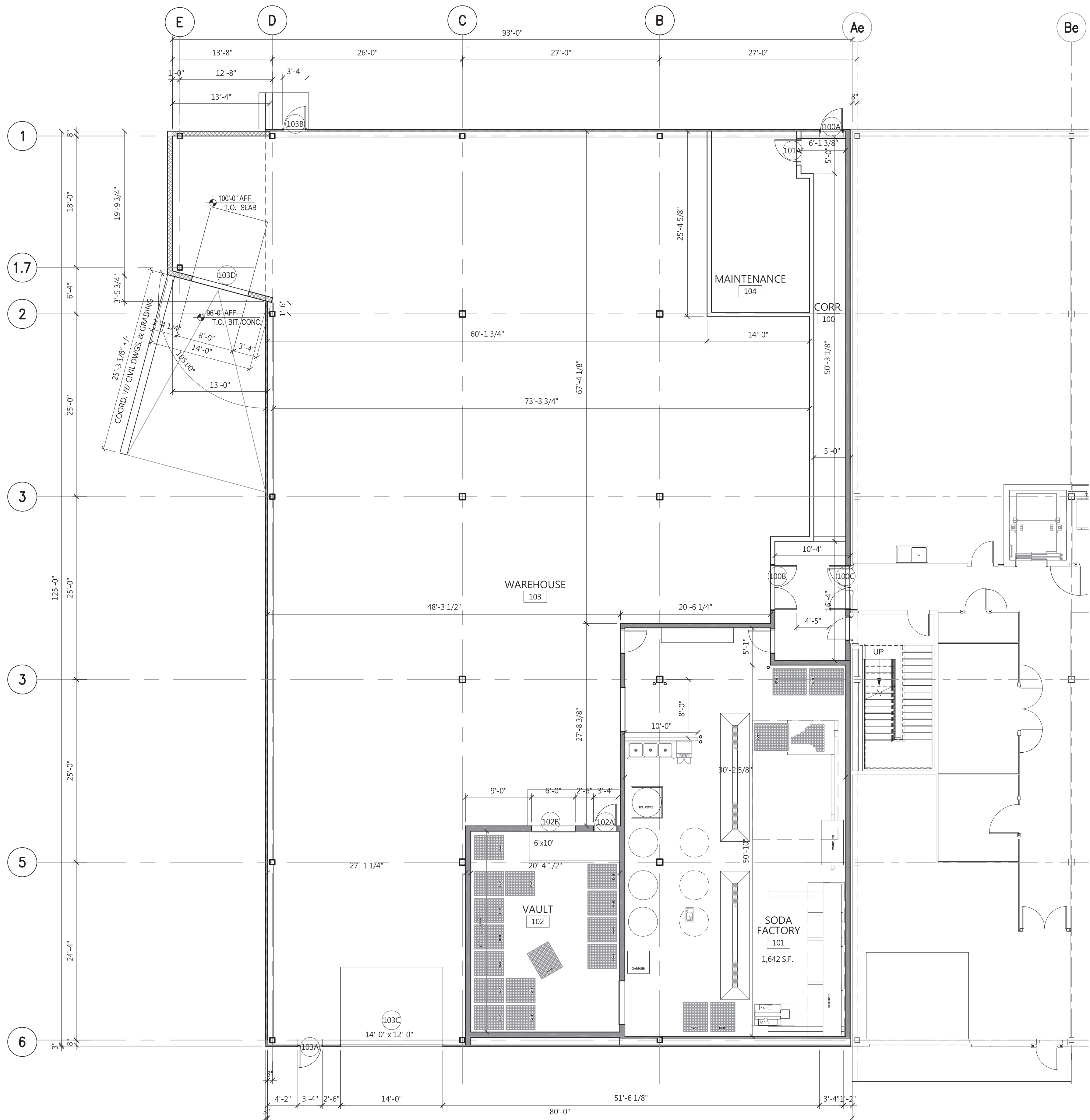
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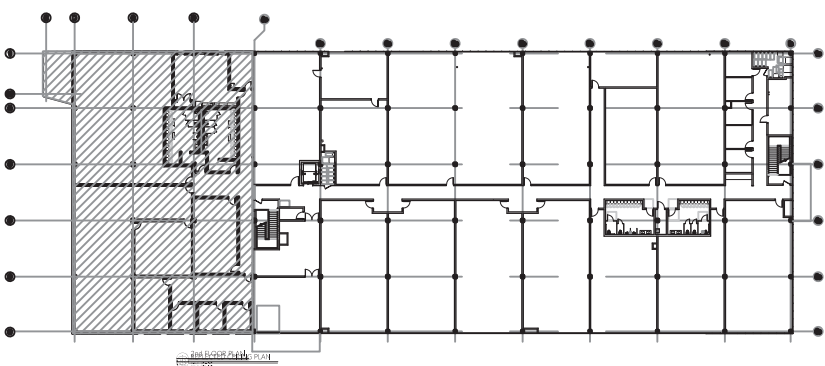
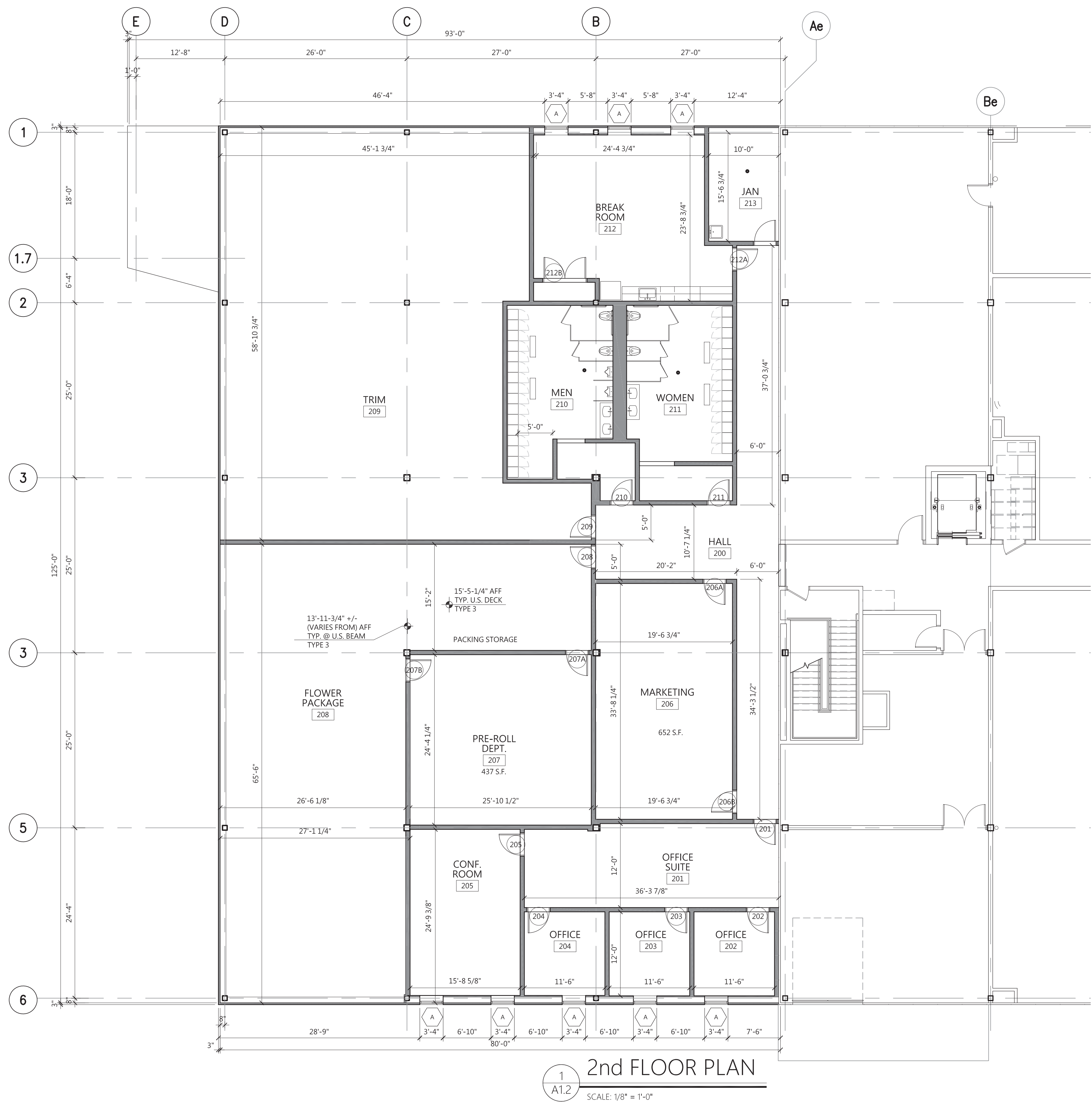
2 MARC ROAD
DETAIL
PLAN OF LAND
IN
MEDWAY, MA

C-7



LEGACY
ENGINEERING



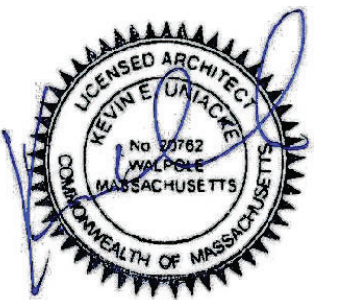


Drawing Status:
**PLANNING
BOARD REVIEW**
NOT FOR CONSTRUCTION

Client:
**Commonwealth Cannabis
Company**
2 Marc Rd.
Medway, MA

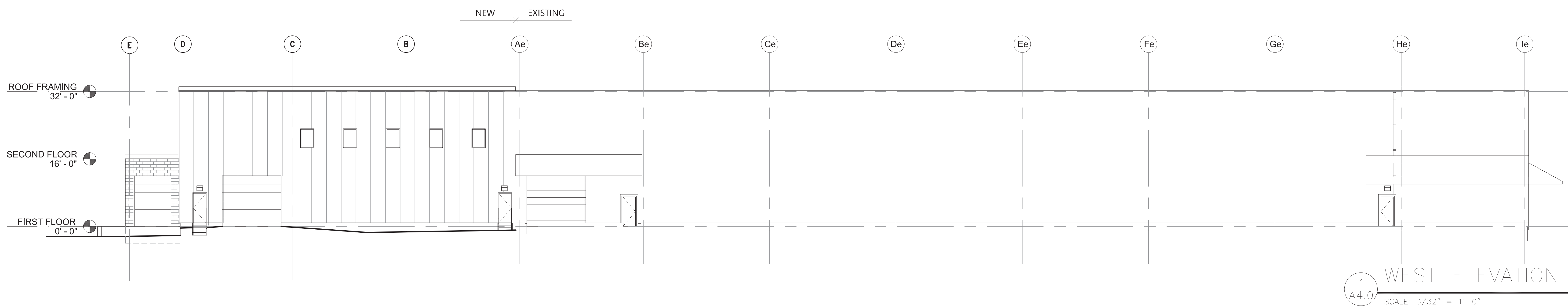
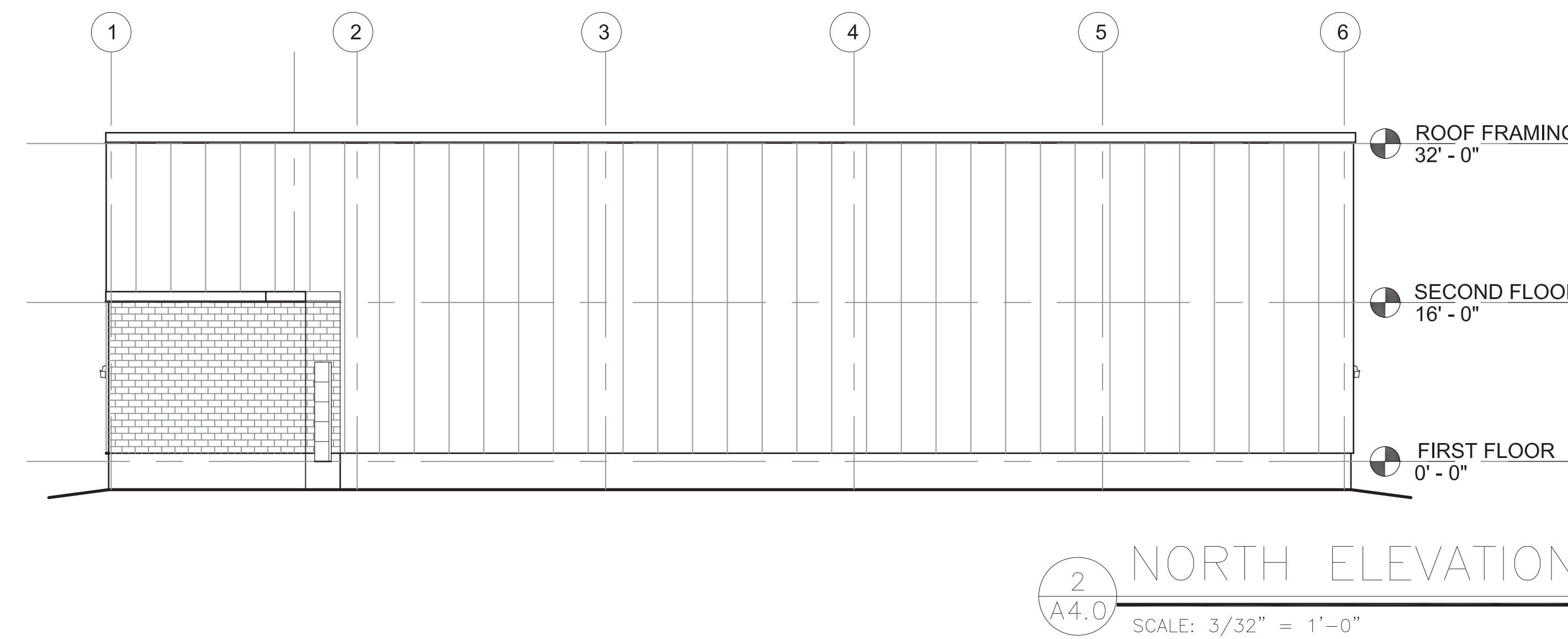
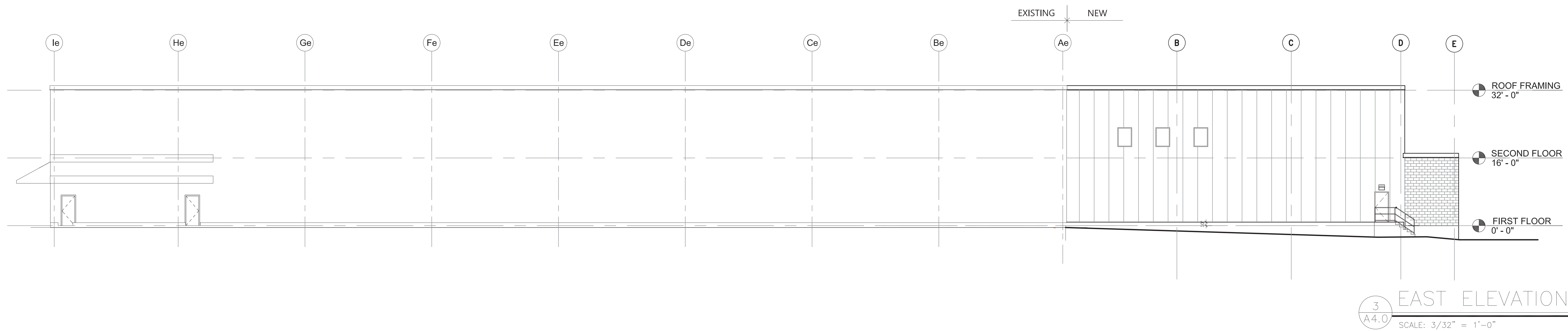
Project:
Grow Facility Addition
2 Marc Rd.
Medway, MA

Drawing:
SECOND FLOOR PLAN



Scale: AS NOTED
Date: 2/24/2022
Job Number: 21052
Drawn By: TJF
Checked By: KEU

A1.2

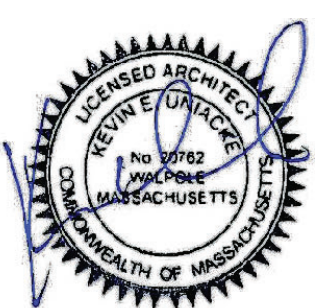


Drawing Status:
**PLANNING
BOARD REVIEW**
NOT FOR CONSTRUCTION

Client:
**Commonwealth Cannabis
Company**
2 Marc Rd.
Medway, MA

Project:
Grow Facility Addition
2 Marc Rd.
Medway, MA

Drawing:
EXTERIOR ELEVATIONS



Scale: AS NOTED
Date: 2/24/2022
Job Number: 21052
Drawn By: TJF
Checked By: KEU

A4.0



RIGHT REAR CORNER
LOOKING SOUTH

1
A4.1
NTS



LEFT REAR CORNER
LOOKING SOUTH

2
A4.1
NTS

Drawing Status:
**PLANNING
BOARD REVIEW**
NOT FOR CONSTRUCTION

Client:
**Commonwealth Cannabis
Company**
2 Marc Rd.
Medway, MA

Project:
Grow Facility Addition
2 Marc Rd.
Medway, MA

Drawing:
EXTERIOR RENDERINGS

Scale: **AS NOTED**
Date: **2/24/2022**
Job Number: **21052**
Drawn By: **TJF**
Checked By: **KEU**

A4.1

Medway Planning and Economic Development Board
Request for Waiver from Site Plan Rules and Regulations
Complete 1 form for each waiver request

Project Name	2 Marc Road
Property Location	2 Marc Road
Type of Permit	Marijuana Special Permit
Identify the number and title of the relevant section of the <i>Site Plan Rules and Regulations</i> from which a waiver is sought.	207-19.E: Planning Board Rules and Regulations - Landscaping around Stormwater Infiltration Basins
Summarize the text of the relevant section of the <i>Rules and Regulations</i> from which a waiver is requested.	Landscaping shall be provided around infiltration basins, including a double row of screening trees.
What aspect of the <i>Rule and Regulation</i> do you propose be waived?	The requirement for screening trees.
What do you propose as an alternative to the standard?	Just grass landscaping.
Explanation/justification for the waiver request. How does the particular rule/regulation not apply to the site or situation under review?	Screening of the basin is not necessary in an industrial development. This would also be consistent with the other basins found on the site. Trees also impede maintenance.
Explanation/justification. How would approval of this waiver request not be significantly detrimental to achieving the purposes of site plan review?	Screening trees are to shield abutters from unattractive views of the stormwater basin. There are no abutters that will have views of the basin, and the shallow nature of the basin makes it blend in with the surrounding areas.
Explanation/justification. How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	Not having trees surrounding basins improves accessibility for maintenance.
What is the impact on the development if this waiver request is denied?	Cost and reduced access to the basins for maintenance
What mitigation measures do you propose to offset not complying with the particular Rule/Regulation?	None
Waiver Request Prepared By:	Daniel Merrikin
Date:	February 28, 2022
Questions?? - Please contact the Medway PEDB office at 508-533-3291.	

Medway Planning and Economic Development Board
Request for Waiver from Site Plan Rules and Regulations
Complete 1 form for each waiver request

Project Name	2 Marc Road
Property Location	2 Marc Road
Type of Permit	Marijuana Special Permit
Identify the number and title of the relevant section of the <i>Site Plan Rules and Regulations</i> from which a waiver is sought.	207-12.H.1 Planning Board Rules and Regulations - Curbing
Summarize the text of the relevant section of the <i>Rules and Regulations</i> from which a waiver is requested.	Parking lots shall be bounded by curb.
What aspect of the <i>Rule and Regulation</i> do you propose be waived?	The requirement of curbing.
What do you propose as an alternative to the standard?	No curb.
Explanation/justification for the waiver request. How does the particular rule/regulation not apply to the site or situation under review?	In certain areas, the stormwater design includes a swale along the edge of the pavement. A curb would restrict flow to the swale.
Explanation/justification. How would approval of this waiver request not be significantly detrimental to achieving the purposes of site plan review?	The purpose of collecting runoff is better achieved with the proposed swale.
Explanation/justification. How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	"Country drainage" is preferable to curb and gutter drainage for stormwater design.
What is the impact on the development if this waiver request is denied?	We would not be able to use country drainage, which is a LID technique.
What mitigation measures do you propose to offset not complying with the particular Rule/Regulation?	None.
Waiver Request Prepared By:	Daniel Merrikin
Date:	February 28, 2022
Questions?? - Please contact the Medway PEDB office at 508-533-3291.	



dan@legacy-ce.com
508-376-8883(o)
508-868-8353(c)
730 Main Street
Suite 2C
Millis, MA 02054

April 4, 2022

Planning and Economic Development Board
155 Village Street
Town Offices
Medway, MA 02053

Ref: Application to Modify a Previously Approved Marijuana Special Permit Decision
Proposed Addition
2 Marc Road

Dear Members of the Board:

Please find enclosed the following additional information for the 2 Marc Road application:

- Copies of the current license with the Cannabis Control Commission.
- Commonwealth of Massachusetts annual reports for 2017-2021.
- A copy of the current Community Host Agreement.
- A statement of ownership disclosure.

Note that we are working on a noise and odor mitigation plan for the proposed addition and will submit those shortly. Do not hesitate to contact me if you have any questions or comments.

Sincerely,

LEGACY ENGINEERING LLC

Daniel J. Merrikin, P.E.
President

cc: File

Rehoboth

License # MR283001 | CommCan, Inc | 730 Main Street Suite 2A Millis, MA 02054 (Active)

Your license is Active as of 07/15/2021 and expires on 07/17/2022.

Millis

License # MR282205 | Commcan, Inc. | 730 Main Street Suite 2A Millis, MA 02054 (Active)

Your license is Active as of 07/15/2021 and expires on 08/03/2022.



MC281642 03/13/2023
License Number Expiration Date

Pursuant to its authority under Chapter 94G and 94I of the
Massachusetts General Laws,

The Cannabis Control Commission hereby grants a
final license to:

Commcan, Inc.

The Licensee is permitted to operate at the
following address(es):

**2 Marc Road
Medway, MA 02053**

The Licensee is permitted to
perform operations as:

Marijuana Cultivator

Steven J. Hoffman
Chairman

Ava Callender Concepcion
Commissioner

Nurys Camargo
Commissioner

Kimberly Roy
Commissioner

Bruce Stebbins
Commissioner

Shawn Collins
Executive Director

The Licensee is subject to M.G.L. c. 94G, M.G.L. c. 94I, Commission regulations, Commission decisions, and all other legal requirements as applicable. The Licensee shall remain fully compliant with said requirements and legal authorities until such time that it is approved by the Commission to cease operations.



MP281508 03/13/2023
License Number Expiration Date

Pursuant to its authority under Chapter 94G and 94I of the
Massachusetts General Laws,

The Cannabis Control Commission hereby grants a
final license to:

Commcan, Inc.

The Licensee is permitted to operate at the
following address(es):

**2 Marc Road
Medway, MA 02053**

The Licensee is permitted to
perform operations as:

**Marijuana Product
Manufacturer**


Steven J. Hoffman
Chairman


Nurys Camargo
Commissioner


Bruce Stebbins
Commissioner


Ava Callender Concepcion
Commissioner


Kimberly Roy
Commissioner


Shawn Collins
Executive Director

The Licensee is subject to M.G.L. c. 94G, M.G.L. c. 94I, Commission regulations, Commission decisions, and all other legal requirements as applicable. The Licensee shall remain fully compliant with said requirements and legal authorities until such time that it is approved by the Commission to cease operations.



The Commonwealth of Massachusetts
William Francis Galvin

Minimum Fee: \$15.00

Secretary of the Commonwealth, Corporations Division
 One Ashburton Place, 17th floor
 Boston, MA 02108-1512
 Telephone: (617) 727-9640

Annual Report

(General Laws, Chapter 180)

Identification Number: 001176552

Filing for November 1, 2017

In compliance with the requirements of Section 26A of Chapter one hundred and eighty (180) of the General Laws:

1. Exact name of the corporation: COMMCAN, INC.

2. Location of its principal office:

No. and Street: 730 MAIN STREET SUITE 2A
 City or Town: MILLIS State: MA Zip: 02054 Country: USA

3. DATE OF THE LAST ANNUAL MEETING: 06/30/2017 (mm/dd/yyyy)
 (if none leave blank)

4. State the names and street addresses of all officers, including all the directors of the corporation, and the date on which the term of office of each expires:

Title	Individual Name First, Middle, Last, Suffix	Address (no PO Box) Address, City or Town, State, Zip Code	Expiration of Term
PRESIDENT	ELLEN ROSENFELD	52 WOODLAND ROAD JAMAICA PLAIN, MA 02130 USA	Until successors are duly elected
TREASURER	ANNETTE A. CAZENAVE	4434 WEST BERTEAU AVENUE CHICAGO, IL 60641 USA	Until successors are duly elected
CLERK	JON ROSENFELD	23 RIDGEFIELD BOYLSTON, MA 01505 USA	Until successors are duly elected
DIRECTOR	ELLEN ROSENFELD	52 WOODLAND ROAD JAMAICA PLAIN, MA 02130 USA	Until successors are duly elected
DIRECTOR	ANNETTE A. CAZENAVE	4434 WEST BERTEAU AVENUE CHICAGO, IL 60641 USA	Until successors are duly elected
DIRECTOR	JOEL C. FROST	120 AMORY STREET, #2 BROOKLINE, MA 02446 USA	Until successors are duly elected
DIRECTOR	MARC ROSENFELD	7 SPRINGDALE CIRCLE HOLLISTON, MA 01746 USA	Until successors are duly elected
DIRECTOR	JON ROSENFELD	23 RIDGEFIELD CIRCLE BOYLSTON, MA 01505 USA	Until successors are duly elected

5. Check if the corporation is a cemetery corporation that does NOT hold perpetual care funds in trust. If the corporation is a cemetery corporation that holds perpetual care funds in trust, a copy of the written instrument establishing the trust and any amendments thereto must be attached, and the annual report

I, the undersigned, ELLEN ROSENFELD of the above-named business entity, in compliance with the General Laws, Chapter 180, hereby certify that the above information is true and correct as of the dates shown. IN WITNESS WHEREOF AND UNDER PENALTIES OF PERJURY, I hereto sign my name on this 31 Day of October, 2017.

© 2001 - 2017 Commonwealth of Massachusetts
All Rights Reserved



The Commonwealth of Massachusetts
William Francis Galvin

Minimum Fee: \$100.00

Secretary of the Commonwealth, Corporations Division
 One Ashburton Place, 17th floor
 Boston, MA 02108-1512
 Telephone: (617) 727-9640

Annual Report

(General Laws, Chapter 156D, Section 16.22; 950 CMR 113.57)

Identification Number: 001326676

1. Exact name of the corporation: COMMCAN, INC.

2. Jurisdiction of Incorporation: State: MA Country:

3,4. Street address of the corporation registered office in the commonwealth and the name of the registered agent at that office:

Name: ELLEN ROSENFELD
 No. and Street: 730 MAIN ST., STE. 2A
 City or Town: MILLIS State: MA Zip: 02054 Country: USA

5. Street address of the corporation's principal office:

No. and Street: 730 MAIN ST. STE. 2A
 City or Town: MILLIS State: MA Zip: 02054 Country: USA

6. Provide the name and addresses of the corporation's board of directors and its president, treasurer, secretary, and if different, its chief executive officer and chief financial officer.

Title	Individual Name First, Middle, Last, Suffix	Address (no PO Box) Address, City or Town, State, Zip Code
PRESIDENT	ELLEN ROSENFELD	730 MAIN ST. STE. 2A MILLIS, MA 02054 USA
TREASURER	ELLEN ROSENFELD	730 MAIN ST. STE. 2A MILLIS, MA 02054 USA
SECRETARY	JON ROSENFELD	730 MAIN ST. STE. 2A MILLIS, MA 02054 USA
DIRECTOR	ELLEN ROSENFELD	730 MAIN ST. STE. 2A MILLIS, MA 02054 USA
DIRECTOR	MARC ROSENFELD	730 MAIN ST. STE. 2A MILLIS, MA 02054 USA
DIRECTOR	JON ROSENFELD	730 MAIN ST. STE. 2A MILLIS, MA 02054 USA

7. Briefly describe the business of the corporation:

CULTIVATOR AND DISPENSARY

8. Capital stock of each class and series:

	Par Value Per Share	Total Authorized by Articles	Total Issued
--	---------------------	------------------------------	--------------

		<i>Num of Shares</i>	<i>Total Par Value</i>	<i>Num of Shares</i>
CNP	\$0.00000	270,000	\$0.00	0

9. Check here if the stock of the corporation is publicly traded: ☐

10. Report is filed for fiscal year ending: 12/31/ 2018

Signed by ELLEN ROSENFELD , its PRESIDENT
on this 15 Day of March, 2019



The Commonwealth of Massachusetts
William Francis Galvin

Minimum Fee: \$100.00

Secretary of the Commonwealth, Corporations Division
 One Ashburton Place, 17th floor
 Boston, MA 02108-1512
 Telephone: (617) 727-9640

Annual Report

(General Laws, Chapter 156D, Section 16.22; 950 CMR 113.57)

Identification Number: 001326676

1. Exact name of the corporation: COMMCAN, INC.

2. Jurisdiction of Incorporation: State: MA Country:

3,4. Street address of the corporation registered office in the commonwealth and the name of the registered agent at that office:

Name: ELLEN ROSENFELD
 No. and Street: 730 MAIN ST., STE. 2A
 City or Town: MILLIS State: MA Zip: 02054 Country: USA

5. Street address of the corporation's principal office:

No. and Street: 730 MAIN ST. STE. 2A
 City or Town: MILLIS State: MA Zip: 02054 Country: USA

6. Provide the name and addresses of the corporation's board of directors and its president, treasurer, secretary, and if different, its chief executive officer and chief financial officer.

Title	Individual Name First, Middle, Last, Suffix	Address (no PO Box) Address, City or Town, State, Zip Code
PRESIDENT	ELLEN ROSENFELD	730 MAIN ST. STE. 2A MILLIS, MA 02054 USA
TREASURER	ELLEN ROSENFELD	730 MAIN ST. STE. 2A MILLIS, MA 02054 USA
SECRETARY	JON ROSENFELD	730 MAIN ST. STE. 2A MILLIS, MA 02054 USA
DIRECTOR	ELLEN ROSENFELD	730 MAIN ST. STE. 2A MILLIS, MA 02054 USA
DIRECTOR	MARC ROSENFELD	730 MAIN ST. STE. 2A MILLIS, MA 02054 USA
DIRECTOR	JON ROSENFELD	730 MAIN ST. STE. 2A MILLIS, MA 02054 USA

7. Briefly describe the business of the corporation:

CULTIVATOR AND DISPENSARY

8. Capital stock of each class and series:

	Par Value Per Share	Total Authorized by Articles	Total Issued
--	---------------------	------------------------------	--------------

		<i>Num of Shares</i>	<i>Total Par Value</i>	<i>Num of Shares</i>
CNP	\$0.00000	270,000	\$0.00	0

9. Check here if the stock of the corporation is publicly traded: ☐

10. Report is filed for fiscal year ending: 12/31/ 2019

Signed by ELLEN ROSENFELD , its PRESIDENT
on this 10 Day of April, 2020

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All Rights Reserved



The Commonwealth of Massachusetts
William Francis Galvin

Minimum Fee: \$100.00

Secretary of the Commonwealth, Corporations Division
 One Ashburton Place, 17th floor
 Boston, MA 02108-1512
 Telephone: (617) 727-9640

Annual Report

(General Laws, Chapter 156D, Section 16.22; 950 CMR 113.57)

Identification Number: 001326676

1. Exact name of the corporation: COMMCAN, INC.

2. Jurisdiction of Incorporation: State: MA Country:

3,4. Street address of the corporation registered office in the commonwealth and the name of the registered agent at that office:

Name: ELLEN ROSENFELD
 No. and Street: 730 MAIN ST., STE. 2A
 City or Town: MILLIS State: MA Zip: 02054 Country: USA

5. Street address of the corporation's principal office:

No. and Street: 730 MAIN ST. STE. 2A
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PRESIDENT	ELLEN ROSENFELD	730 MAIN ST. STE. 2A MILLIS, MA 02054 USA
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DIRECTOR	MARC ROSENFELD	730 MAIN ST. STE. 2A MILLIS, MA 02054 USA
DIRECTOR	JON ROSENFELD	730 MAIN ST. STE. 2A MILLIS, MA 02054 USA

7. Briefly describe the business of the corporation:

CULTIVATOR AND DISPENSARY

8. Capital stock of each class and series:

	Par Value Per Share	Total Authorized by Articles	Total Issued
--	---------------------	------------------------------	--------------

		<i>Num of Shares</i>	<i>Total Par Value</i>	<i>Num of Shares</i>
CNP	\$0.00000	270,000	\$0.00	0

9. Check here if the stock of the corporation is publicly traded: ☐

10. Report is filed for fiscal year ending: 12/31/ 2020

Signed by ELLEN ROSENFELD , its PRESIDENT
on this 15 Day of March, 2021



The Commonwealth of Massachusetts
William Francis Galvin

Minimum Fee: \$100.00

Secretary of the Commonwealth, Corporations Division
One Ashburton Place, 17th floor
Boston, MA 02108-1512
Telephone: (617) 727-9640

Annual Report 2021

(General Laws, Chapter 156D, Section 16.22; 950 CMR 113.57)

Identification Number: 001326676

1. Exact name of the corporation: COMMCAN, INC.

2. Jurisdiction of Incorporation: State: MA Country:

3,4. Street address of the corporation registered office in the commonwealth and the name of the registered agent at that office:

Name: ELLEN ROSENFELD
No. and Street: 730 MAIN ST., STE. 2A
City or Town: MILLIS State: MA Zip: 02054 Country: USA

5. Street address of the corporation's principal office:

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TREASURER	ELLEN ROSENFELD	730 MAIN ST. STE. 2A MILLIS, MA 02054 USA
SECRETARY	JON ROSENFELD	730 MAIN ST. STE. 2A MILLIS, MA 02054 USA
DIRECTOR	ELLEN ROSENFELD	730 MAIN ST. STE. 2A MILLIS, MA 02054 USA
DIRECTOR	MARC ROSENFELD	730 MAIN ST. STE. 2A MILLIS, MA 02054 USA
DIRECTOR	JON ROSENFELD	730 MAIN ST. STE. 2A MILLIS, MA 02054 USA

7. Briefly describe the business of the corporation:

CULTIVATOR AND DISPENSARY

8. Capital stock of each class and series:

Class of Stock	Par Value Per Share Enter 0 if no Par	Total Authorized by Articles of Organization or Amendments <i>Num of Shares</i>	<i>Total Par Value</i>	Total Issued and Outstanding <i>Num of Shares</i>
CNP	\$0.00000	270,000	\$0.00	0

9. Check here if the stock of the corporation is publicly traded: ☐

10. Report is filed for fiscal year ending: 12/31/ 2021

Filer's Contact Information

(Enter a contact name, mailing address, and email and/or phone number.)

Contact Name: Ellen Rosenfeld

Business Name: Commcan, Inc.

No. and Street: Commcan, Inc.

730 Main St. Suite 2A

City or Town: Millis

State: MA

Zip: 02054

Country: USA

Contact Phone: (508) 376-2041 ext:

Contact Email: debbie@commcan.com

Please provide an email address to receive an expedited response from the Corporations Division.

If the filing is rejected for any reason, you will be contacted. If no email address is provided, correspondence from the Division will be sent by mail.

Please select delivery method for annual report notices:

☐ Email
☒ Mail

**Signed by Ellen Rosenfeld , its president
on this 16 Day of March, 2022**

COMMCAN, INC.

Host Community Agreement

Registered Marijuana Dispensary - Cultivation & Processing Facility
Medway, Massachusetts

This Host Community Benefit Agreement for a Registered Marijuana Dispensary cultivation and processing facility, ("RMD") is entered into this 16th day of May, 2016 by and between CommCan, Inc. a Massachusetts not-for-profit corporation formed under MGL ch.180 *et seq.* with a principal office address of 730 Main Street, Millis, Massachusetts 02054 ("OPERATOR") and the Town of Medway, a Massachusetts municipal corporation with a principal address of 155 Village Street, Medway, Massachusetts 02053 ("TOWN"). The obligations of OPERATOR and the TOWN recited herein are specifically contingent upon OPERATOR obtaining a Final Certificate of Registration for operation of a RMD in the TOWN from the Department of Public Health ("DPH") and upon OPERATOR obtaining municipal approvals for construction and operation of the RMD cultivation and processing facility from the TOWN.

WHEREAS, OPERATOR has submitted three (3) applications to operate RMDs in the Commonwealth of Massachusetts, consisting of one (1) cultivation facility in Medway and three (3) retail locations in communities other than Medway;

WHEREAS, OPERATOR intends to locate a RMD cultivation and processing facility at 2 Marc Road, Medway, in accordance with regulations issued by the DPH and zoning by-laws issued by the TOWN;

WHEREAS, OPERATOR has obtained a letter of support from the TOWN for the siting and operation of a RMD cultivation and processing facility in the TOWN;

WHEREAS, OPERATOR intends to provide certain benefits to the TOWN in the event that OPERATOR obtains a Final Certificate of Registration to operate a RMD cultivation and processing facility in the TOWN and has received all state and local approvals, and begins providing marijuana for medical use to patients, their caregivers, the public, or other RMDs:

NOW, THEREFORE, in consideration of the above, OPERATOR offers the TOWN and the TOWN accepts this Host Community Agreement in accordance with MGL ch.44 §53A:

1. In the event that OPERATOR obtains a Final Certificate of Registration from DPH for the operation of a RMD cultivation and processing facility in the TOWN and receives any and all necessary and required permits and licenses issuable by the TOWN, which said permits and/or licenses allow OPERATOR to locate, occupy and operate the RMD cultivation and processing facility in the TOWN, then OPERATOR agrees to provide the TOWN with the following benefits:
 - a. Self-contained Breathing Apparatus (SCBA) devices for the fire department, with a total value of two hundred sixty-three thousand two-hundred dollars (\$263,200). This gift will be provided in four (4) equal annual installments of sixty-five thousand eight hundred (\$65,800), commencing on August 1, 2017 ("Payment Commencement Date"), with the following three (3) payments due on or before that anniversary date;
 - b. A Youth Activity Program through the Medway Public Library funding at the rate of ten thousand dollars (\$10,000) per year, with such gift commencing on February 1, 2018, and provided annually thereafter for the duration of this Agreement;

7. OPERATOR will endeavor to hire local, qualified employees to the extent consistent with law and with the demands of OPERATOR's business. OPERATOR will also endeavor in a good faith, legal and non-discriminatory manner to use local vendors and suppliers where possible.
8. OPERATOR shall coordinate with the Medway Police Department in the development and implementation of required security measures, under 105 CMR 725.110 and otherwise, including in determining the placement of exterior security cameras. OPERATOR will maintain a cooperative relationship with the Medway Police Department, including but not limited to periodic meetings to review operational concerns and communication to Medway Police Department of any suspicious activities on the site.
9. It shall be the responsibility of the OPERATOR, as a condition in the special permit process and herein, to make repairs and improvements to Marc Road, included but not limited to drainage, surface, lighting, and safety improvements, as identified as necessary by the Town's consulting engineer and Department of Public Services.
10. The purpose of this Agreement is to assist the TOWN in addressing any public health, safety and other effects or impacts the RMD cultivation and processing facility may have on the TOWN. The TOWN shall use the above-referenced payments in its sole discretion consistent with the purpose of this Agreement, which may include allocating a portion of said payments for community wellness programs, educational programs, parks and recreation, public safety, and other efforts and initiatives for the support of the health of the citizens of the TOWN. However, the TOWN is under no obligation to use the foregoing payments in any particular manner.
11. The obligations of OPERATOR and the TOWN recited herein are contingent upon the issuance of a Final Certificate of Registration by the DPH to OPERATOR to operate a RMD cultivation and processing facility in the TOWN, and OPERATOR conducting operations in TOWN.
12. This Agreement shall terminate at the time that any of the following occurs: the TOWN notifies OPERATOR of the TOWN's termination of this Agreement; the TOWN notifies OPERATOR of the TOWN's termination of this Agreement for CAUSE (to be defined); OPERATOR ceases to operate a RMD cultivation and processing facility in the TOWN; OPERATOR ceases to operate a RMD in the Commonwealth. CAUSE shall be defined as if OPERATOR violates any laws of the Commonwealth with respect to the operation of a RMD, and such violation remains uncured for sixty (60) days; or if OPERATOR fails to make payments to the TOWN as required under this Agreement, and such failure remains uncured for sixty (60) days.
13. This Agreement is binding upon the parties hereto, their successors, assigns and legal representatives. OPERATOR shall not assign, sublet or otherwise transfer this Agreement, in whole or in part, without the prior written consent of the Town, which consent shall not be unreasonably withheld.
14. OPERATOR shall comply with all laws, rules, regulations and orders applicable to the work provided pursuant to this Agreement, such provisions being incorporated herein by reference,

and shall be responsible for obtaining all necessary licenses, permits, and approvals required for the performance of such work.

15. Should TOWN enter into an agreement with any other RMD for siting in TOWN at material terms more favorable to that RMD than the terms of this Agreement are to OPERATOR, specifically requiring cash payments or gifts which are less on an annual basis than those described in this Agreement in Paragraphs 1(a)-(d) and 2, and not considering other terms of this Agreement, the OPERATOR shall have the opportunity to request that this agreement be reopened to discuss the specific term or terms in question for the purpose of providing a level playing field.
16. Any and all notices, or other communications required or permitted under this Agreement shall be in writing and delivered postage prepaid mail, return receipt requested; by hand; by registered or certified mail; or by other reputable delivery services, to the Parties at the addresses set forth on the first page of this Agreement or furnished from time to time in writing hereafter by one party to the other party. Any such notices or correspondence shall be deemed given when so delivered by hand, if so mailed, when deposited with the USPS or, if sent by private overnight or other delivery service, when deposited with such delivery service.
17. If any term or condition of this Agreement or any application thereof shall to any extent be held invalid, illegal or unenforceable, then the validity, legality, and enforceability of the remaining terms and conditions of this Agreement shall not be deemed affected thereby unless one or both of the Parties would be substantially or materially prejudiced.
18. This Agreement, including all documents incorporated therein by reference, constitutes the entire integrated agreement between the parties with respect to the matters described. This Agreement supersedes all prior agreements, negotiation and representations, either written or oral and it shall not be modified or amended except by a written document executed by the Parties hereto.
19. This Agreement shall be for a period of five (5) years, and shall automatically be reopened for negotiations on the first day of the fourth (4th) year after the Payment Commencement Date (August 1, 2017) to discuss renewal possibilities. The Parties agree that if they are unable to reach an agreement on a successor Host Community Agreement, the terms of this Agreement shall continue for two (2) additional years.

[REMAINDER OF THIS PAGE INTENTIONALLY LEFT BLANK]

20. In the event that the non-medical use of marijuana is authorized under the laws of the Commonwealth, and OPERATOR cultivates marijuana at its facility in TOWN, that is sold for non-medical purposes, OPERATOR agrees to gift to the TOWN annually on August 1 payments in an amount of one percent (1%) of OPERATOR's gross revenues generated by the OPERATOR's production of marijuana that is sold for non-medical use, subtracted by payments made under Paragraphs 1(b)-(d) and 2 of this Agreement, with a maximum of \$155,000.00 per year, on an annual basis, where such amount of \$155,000.00 shall include the payments under Paragraphs 1(b)-(d) and 2.

Agreed to by CommCan, Inc. and the Town of Medway, Massachusetts as of the ____ day of _____, 2016.

FOR THE TOWN OF MEDWAY, ITS
BOARD OF SELECTMEN:

John Foresto

Maryjane White

Richard D'Innocenzo


Glenn Trindade

Dennis Crowley

FOR OPERATOR COMMCAN, INC, ITS
PRESIDENT:

Ellen Rosenfeld
President, CommCan, Inc.

TREASURER:



ANNETTE A. CARENAVE

Treasurer, CommCan, Inc.

AMENDMENT
TO HOST COMMUNITY AGREEMENT
BY AND BETWEEN
TOWN OF MEDWAY
AND
COMMCAN, INC.

This Amendment is made and entered into this 17th day of April, 2018, by and between the Town of Medway, acting by and through its Board of Selectmen (hereinafter referred to as the "Town"), with a usual place of business at 155 Village Street, Medway, Massachusetts and CommCan, Inc., with a usual place of business at 730 Main Street, Millis, Massachusetts (hereinafter referred to as the "Operator").

WITNESSETH

WHEREAS, on May 16, 2016, the Town entered into a Host Community Agreement with the Operator (the "Agreement") with respect to the Operator's operation of a Registered Marijuana Dispensary cultivation and processing facility ("RMD") within the Town; and

WHEREAS, Section 18 of the Agreement allows for amendment of the Agreement by written document executed by the Parties; and

WHEREAS, the Operator intends to utilize the commercial space located at 2 Marc Road, Medway, MA (the "Premises") referenced in the Agreement for use as a RMD for the purposes of operating a non-medical marijuana establishment pursuant to the provisions of G. L. c. 94G; and

WHEREAS, the Operator intends to submit an application to the Cannabis Control Commission (the "Commission") for a license to operate as a non-medical marijuana establishment at the Premises; and

WHEREAS, this Amendment, together with the Agreement, shall constitute the stipulations of responsibilities between the Town as host community and the Operator pursuant to the provisions of G. L. c.94G, §3 for operation by the Operator of a non-medical marijuana cultivation establishment at the Premises.

NOW THEREFORE, in consideration of the mutual promises and covenants set forth herein, and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the Parties agree as follows:

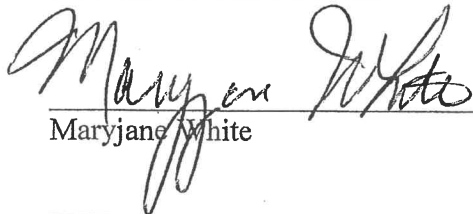
1. References to RMD in the Agreement shall be construed to apply to a Medical Marijuana Treatment Center operated by the Operator at the Premises and the terms of the Agreement and this Amendment shall remain applicable thereto regardless of how such facility may be characterized under applicable law, including but not limited to G.L. c.94G, G.L. c.94C, App. 1-17, and An Act for the Humanitarian Use of Marijuana, Chapter 269 of the Acts of 2012, subject to the registration and/or licensing process required by the Department of Public Health ("DPH") or Cannabis Control Commission ("CCC") or any other state entity.
2. Commencing on April 1, 2020 the Operator shall make payments to the Town in the amount of one hundred thousand dollars (\$100,000) in lieu of any local impact fees that would be authorized pursuant to G.L. c.94G, §3(d). These payments for the non-medical

cultivation shall be in addition to payments made under Paragraphs 1(b)-(d) and 2 of the Agreement, with a maximum of \$155,000.00 per year (not including amounts shown under 1(a) of the Agreement) on an annual basis.

3. The Agreement, including this amendment, shall extend for a period of five years from the effective date of this Amendment, being April 17, 2018, and shall automatically be reopened on the first day of the fourth (4th) year thereafter at which time the parties shall commence negotiation in good faith the terms of a successor agreement.
4. The Parties agree that if they are unable to reach an agreement on a successor Host Community Agreement, the terms of the Agreement as amended by this Amendment shall be incorporated into an interim successor agreement with a term of two (2) years and that the parties shall during that two year term negotiate a successor agreement for a term of five (5) years.
5. The parties agree that all other provisions of the Agreement shall remain the same and shall continue in full force and effect.
6. This Amendment, together with the Agreement, constitutes the entire agreement between the parties, with no other agreements other than those incorporated herein.
7. The Agreement and this Amendment shall be governed by, construed and enforced in accordance with the laws of the Commonwealth of Massachusetts and the CONTRACTOR submits to the jurisdiction of any of its appropriate courts for the adjudication of disputes arising out of this Agreement.

IN WITNESS WHEREOF, the parties hereto have executed this Amendment on the day and year first above written.

TOWN OF MEDWAY
BOARD OF SELECTMEN



Maryjane White

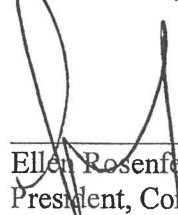
Richard D'Innocenzo

John Foresto

Glenn Trindade

Dennis Crowley

COMMCAN, INC



Ellen Rosenfeld
President, CommCan, Inc.

Name: _____
Treasurer, CommCan, Inc.

STATEMENT OF OWNERSHIP DISCLOSURE

Name of Organization: CommCan, Inc.

Organization Address: 730 Main Street, Millis, MA 02054

Part I Check the box that represents the type of business organization:


- ☐ Sole Proprietorship (skip Parts II and III, execute certification in Part IV)
- ☐ Non-Profit Corporation (skip Parts II and III, execute certification in Part IV)
- ☒ For-Profit Corporation (any type) ☐ Limited Liability Company (LLC)
- ☐ Partnership ☐ Limited Partnership ☐ Limited Liability Partnership (LLP)
- ☐ Other (be specific): _____

Part II

- ☒ The list below contains the names and addresses of all owners, shareholders, partners, members, managers, directors, officers, or other similarly-situated individuals and entities and their addresses.

Name of Individual or Business Entity	Home Address (for Individuals) or Business Address
Ellen Rosenfeld	12 Evergreen Terrace, Millis, MA 02054
Jon Rosenfeld	23 Ridgefield Circle, Boylston, MA 01505
Marc Rosenfeld	7 Springdale Circle, Holliston, MA 01746

I, being duly sworn upon my oath, hereby represent that the foregoing information and any attachments thereto to the best of my knowledge are true and complete. I acknowledge: that I am authorized to execute this certification on behalf of CommCan, Inc.

Full Name (Print):	Ellen Rosenfeld	Title:	Pres
Signature:		Date:	March 16, 2022



March 31, 2022

Ms. Susan E. Affleck-Childs
Medway Planning and Economic Development Coordinator
Medway Town Hall
155 Village Street
Medway, MA 02053

**Re: CommCan Site Plan Modification
2 Marc Road
Medway, Massachusetts**

Dear Ms. Affleck-Childs:

Tetra Tech (TT) has performed a review of the proposed Site Plan for the above-mentioned Project at the request of the Town of Medway Planning and Economic Development Board (PEDB). The proposed Project is located at 2 Marc Road in Medway, Massachusetts. The reviewed materials are part of an Application to Modify a Previously Approved Marijuana Special Permit Decision. The site is currently developed with a two-story, 60,000 square-foot industrial building for marijuana cultivation, along with appurtenant driveways, parking areas, utilities, landscaping, and stormwater infrastructure. The proposed Project includes a 20,000 square-foot, two-story addition to the existing building, driveway reconfigurations, 56 proposed parking spaces and additional onsite stormwater treatment. The Project will also require the addition of two hazardous/toxic materials, referred to in the Site Narrative as "cleaning solutions" that will be handled and stored within the Project's proposed addition.

TT is in receipt of the following materials:

- A Plan (Plans) set titled "2 Marc Road, Site Plan of Land in Medway, Massachusetts" dated February 28, 2022, prepared by Legacy Engineering, LLC (LEL).
- Project Architecturals including Floor Plans, Elevations and Renderings, dated February 24, 2022, prepared by UDA Architects.
- An Application to Modify a Previously Approved Marijuana Special Permit Decision and/or Plan, dated February 28, 2022, prepared by LEL.
- An Application for Special Permit Approval, dated February 28, 2022, prepared by LEL.
- A Certified List (List) of Abutters, dated January 28, 2022, prepared by The Medway Board of Assessors.
- A Project Narrative (Narrative) titled "Site Narrative for 2 Marc, Road, Medway, MA 02053" dated February 28, 2022, prepared by LEL.

The Plans and accompanying materials were reviewed for conformance with the following Regulations and Bylaws:

- Town of Medway Planning & Economic Development Board Rules and Regulations, Chapter 200 – Site Plans, Rules & Regulations for Submission, Review and Approval of Site Plans. (Amended October 8, 2019)

The Project was also reviewed for good engineering practice and overall site plan efficiency. Review of the Project for zoning related matters is being conducted by Town personnel and is excluded from this review. Stormwater will be reviewed during the anticipated permitting effort with Medway Conservation Commission.

SITE PLAN REVIEW

Site Plan Rules and Regulations (Chapter 200)

1. The Applicant has not included a Development Impact Statement associated with the Project. (Ch. 200 §204-3.F)
2. Earth removal calculations are not provided in the Plans. (Ch. 200 §204-3.I)
3. Earth fill estimates are not provided in the Plans. (Ch. 200 §204-3.J)
4. A copy of an Order of Resource Area Delineation (ORAD) from Medway Conservation is not provided. (Ch. 200 §204-3.K)
5. The Applicant proposed drive aisles bounded by cape cod berm consistent with the prior Site Plan Approval. However, this does not meet the Regulations and a Waiver has been requested by the Applicant. (Ch. 200 §207-11.B.2)
6. The Applicant proposed modification to the pavement layout and added a loading dock at the northern end of the existing portion of the site. Additionally, a right-hand turn from the existing driveway onto the proposed driveway may be difficult for a larger emergency vehicle should they have to respond to the parking area for an emergency. The Applicant should provide turning radius templates for review by the Medway Fire Department. We recommend the Applicant provide written confirmation from the Medway Fire Department regarding their review of the new layout. (Ch. 200 §207-11.B.8)
7. The Applicant proposed cape cod berm along the southern edge of the proposed parking and no curb along the northern edge (to aid in stormwater mitigation) consistent with the prior Site Plan Approval. However, this does not meet the Regulations and a Waiver has been requested by the Applicant. (Ch. 200 §207-12.H)
8. The Applicant shall show conduit runs for the proposed EV charging stations and light poles. All utilities shall be placed underground. (Ch. 200 §207-16.A)
9. The Applicant has supplied a proposed Lighting and Photometric Plan. However, the Plan shows light trespass on the two properties to the south of the driveway and parking expansion which does not meet the Regulations. (Ch. 200 §207-18.A)
10. The Applicant has not submitted a formal Landscaping Plan. Trees have been proposed within the parking area islands but the Regulations require perimeter screening of parking areas and stormwater mitigation. The Applicant has requested a Waiver from the requirement to screen infiltration basins, but additional waivers from the landscaping section of the Regulations may be required. (Ch. 200 §207-19)
11. We recommend the PEDB require the Applicant confirm with the Medway Conservation Commission if the wetland resource area to the south of the lot will be impacted by the snow storage proposed upgradient of the resource area. (Ch. 200 §207-21)

General Site Plan Comments

12. The Project is located within jurisdiction of the Medway Conservation Commission (Commission) and may require a filing with that Board.
13. The Applicant proposed a striped walkway along the eastern side of the existing building. Dimensions of the vehicular travel lane adjacent to the proposed walkway should be shown on the Plans to confirm two-way traffic can be maintained when the walkway is in use.
14. We recommend a stop sign and stop bar be placed at the intersection of the existing and proposed driveways.
15. Portions of the retaining wall along the proposed driveway are greater than four feet. We anticipate structural design of the wall will be required by the Building Commissioner.
16. We recommend a driveway curb cut be proposed where the existing gravel driveway meets the proposed driveway to limit damage to the cape cod berm proposed at that location. A "No Parking Beyond This Point"

sign or equal, should be placed at the entrance to advise drivers that the gravel driveway is not meant for parking.

17. The notes for the retaining wall on the southern side of the proposed driveway and light pole on the northern side are not pointing to the correct location.

These comments are offered as guides for use during the Town's review and additional comments may be generated during the course of review. The Applicant shall be advised that any absence of comment shall not relieve them of the responsibility to comply with all applicable local, state and federal regulations for the Project. If you have any questions or comments, please feel free to contact us at (508) 786-2200.

Very truly yours,



Steven M. Bouley, P.E.
Project Manager



Bradley M. Picard, E.I.T.
Civil Engineer

P:\21583\143-21583-22008 (PEDB 2 MARC RD MOD)\DOCS\2 MARC RD MOD_PEDBREV(2022-03-31).DOCX

Susan Affleck-Childs

From: Susan Affleck-Childs
Sent: Wednesday, March 16, 2022 5:04 PM
To: Michael Boynton; Peter Pelletier; Bridget Graziano; Barbara Saint Andre; Jeff Lynch (ChiefLynch@townofmedway.org); Mike Fasolino ; Jack Mee; Stephanie Carlisle; Sgt. Jeffrey Watson; Joanne Russo; Beth Hallal; Sean Harrington
Cc: Daniel Merrikin
Subject: 2 Marc Road - Modification to Marijuana Special Permits and site plan, new groundwater protection special permit

Hi,

The Planning and Economic Development Board has received an application from Ellen Realty Trust of Millis, MA to modify the previously approved marijuana special permits and site plan for 2 Marc Road. They propose to construct a 20,000 sq. ft. addition at the back of the existing building, add a 56 car parking area, and expand the stormwater management facilities.

The hearing will begin on Tuesday, April 12th.

Project information has been loaded to the Board's web page at: <https://www.townofmedway.org/planning-economic-development-board/pages/2-marc-road-commcan-special-permit-and-site-plan>

Please review the proposed site plan modification and associated information and supply any review comments to me by April 7th. Thanks.

As always, please do not hesitate to contact me if you have any questions.

Cheers!

Susan E. Affleck-Childs
Planning and Economic Development Coordinator
Town of Medway
155 Village Street
Medway, MA 02053
508-533-3291



Susan Affleck-Childs

From: Daniel Merrikin <dan@legacy-ce.com>
Sent: Tuesday, April 5, 2022 8:13 AM
To: Susan Affleck-Childs
Subject: Re: 2 Marc Road Modification Application

It will be a few weeks.

Dan

Daniel J. Merrikin, P.E.
President



Legacy Engineering LLC
(formerly Merrikin Engineering, LLP)
730 Main Street
Suite 2C
Millis, MA 02054

www.legacy-ce.com

dan@legacy-ce.com
508-376-8883(*office*)
508-868-8353(*cell*)

On Mon, Apr 4, 2022 at 2:54 PM Susan Affleck-Childs <sachilds@townofmedway.org> wrote:

Thanks, Dan.

What are your timetables for the updated noise study and updated odor mitigation plan?

Susy

From: Daniel Merrikin [mailto:dan@legacy-ce.com]
Sent: Monday, April 4, 2022 10:28 AM
To: Susan Affleck-Childs <sachilds@townofmedway.org>
Cc: Bouley, Steven <steven.bouley@tetrattech.com>; Matthew Hayes <hayes7000@msn.com>; Barbara Saint Andre

<bsaintandre@townofmedway.org>; Rosenfeld, Ellen <ellen@rosenfeld-law.com>

Subject: Re: 2 Marc Road Modification Application

Hi Susy,

Here is some of the additional information you were looking for. We are working on an updated noise study to account for the addition and also on an updated odor mitigation plan and will get those to you as soon as they are done.

Dan

Daniel J. Merrikin, P.E.

President



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(formerly Merrikin Engineering, LLP)

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508-868-8353(*cell*)

On Wed, Mar 16, 2022 at 2:28 PM Susan Affleck-Childs <sachilds@townofmedway.org> wrote:

Hi Dan,

I have done a quick review of the 2 Marc Road modification submittal against the requirements of Sections 8.9 and 8.10 of the Zoning Bylaw and against the previous special permit decisions.

A few additional items are needed for a complete submittal:

1. Copy of CommCan's current license(s) from the Cannabis Control Commission
2. Copies of CommCan's annual reports for 2017, 2018, 2019, 2020 and 2021.
3. Copy of the current Host Community Agreement that is in effect
4. Comprehensive noise mitigation plan that addresses the proposed addition of 20,000 sq. ft.
5. Comprehensive odor mitigation plan that addresses the proposed addition of 20,000 sq. ft.
6. Updated statement, under oath, disclosing all of the applicant's owners, shareholders, partners, members, managers, directors, officers, or other similarly-situated individuals and entities and their addresses.

Please forward these items to me at your earliest convenience.

Thanks for your help.

Susan E. Affleck-Childs

Planning and Economic Development Coordinator

Town of Medway

155 Village Street

Medway, MA 02053

508-533-3291

