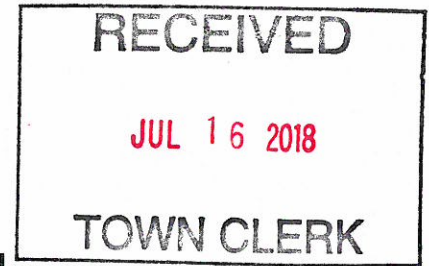


**TOWN OF MEDWAY**  
**Planning & Economic Development Board**  
155 Village Street  
Medway, Massachusetts 02053



*Andy Rodenhiser, Chairman*  
*Robert K. Tucker, Vice-Chairman*  
*Thomas A. Gay, Clerk*  
*Matthew J. Hayes, P.E.*  
*Richard Di Iulio*

July 11, 2018

**MODIFICATION**  
**ADULT RETIREMENT COMMUNITY PLANNED UNIT DEVELOPMENT (ARCPUD)**  
**SPECIAL PERMIT PLAN**  
***Continuing Care Management, LLC***  
***The Willows at Medway and Whitney Place***  
***259, 261, 261R and 263 Village Street***

**Name/Address/Applicant:** Continuing Care Management, LLC  
One Lyman Street  
Westborough, MA 01581

**Project Location:** 259, 261, 261R and 263 Village Street

**Assessor's Reference:** Agricultural Residential II

**Purpose:** Amend the previously approved ARCPUD special permit plan

This is a decision of the Medway Planning and Economic Development Board (hereinafter "Board") to modify the previously approved and endorsed ARCPUD special permit plan dated June 12, 2015, last revised December 11, 2017, endorsed by the Board on December 12, 2017 and recorded at the Norfolk County Registry of Deeds on December 20, 2017, Book 665, Pages 1 – 68B.

**BACKGROUND** – The ARCPUD special permit decision approved by the Board on March 24, 2016 pertained to the construction of an age-restricted, active adult/senior residential living community on the site to be known as The Willows at Medway and Whitney Place. The approved development is to consist of 54 cottage style independent living homes located in 29 buildings, a main building to include 15 cottage style independent living homes, 40 memory care apartments, 60 assisted living apartments and 56 independent living apartments, a 3,522 sq. ft. community center pavilion and a 11,475 sq. ft. medical office building. Planned improvements include 5,498 linear feet of privately owned roadway (*Willow Pond Circle, Waterside Drive, Lilac Path, and Walnut Grove*), sewage and water service; stormwater management/drainage facilities; 37.4 acres of dedicated open space open to the public; paved sidewalks; walking trails/paths; and associated parking and landscaping. Site access and egress will be from Village Street, a Medway Scenic Road. The open space land will be protected through a Conservation Restriction and Easement granted to the Town of Medway, acting through its Conservation Commission, for conservation and passive recreation purposes and to permit public access to the open space land, trails/pathways and parking area.

**DESCRIPTION OF PROPOSED MODIFICATION** – The proposed plan modifications were represented on the plan *Supplemental Wetland Crossing and Sewer Lining Package*, prepared by Coneco Engineers and Scientists of Bridgewater, MA, dated May 21, 2018 (Cover Sheet plus Sheets C1, C35, C36, C41, C42, C43, S1 & S2). The plan revisions reflect changes developed during the preparation of construction drawings and pertain to the following:

- Changing the structures for the two wetlands crossings from the previously approved precast concrete culvert crossings to wooden bridges. These bridges will be less intrusive on the wetlands because the abutments use driven piles. The wood alternative is a more attractive option and will enhance the overall aesthetic of the development. This bridge option should also be able to eliminate the shoring/sheeting associated with the previously approved culvert structures and bring the stream crossing design closer to the optimum design guidelines of the *"Massachusetts River and Stream Crossing Standards."*
- Adding three manholes to access the Charles River Pollution Control District (CRPCD) main sewer trunk line which crosses the Salmon property in order to access the pipe to make needed repairs, as may be required by the CRPCD.

The plan was reviewed by Tetra Tech, the Town's Consulting Engineer. There were no issues with the proposed bridge changes as they do not increase disturbance compared to the previously approved crossings; the land disturbance is actually less overall. Upon review of the proposed modification, the Planning and Economic Development Board determined that the proposed changes will not be detrimental to the achievement of the planned senior living community as originally approved.

**DECISION OF THE BOARD** – The Medway Planning and Economic Development Board, at a duly posted meeting held on May 22, 2018, on motions made by Bob Tucker and seconded by Richard Di Iulio, voted four in favor and none opposed to modify the previously approved and endorsed ARCPUD special permit plan for the development of a 225 unit independent and assisted senior living community at 259, 261, 261R and 263 Village Street as described herein.

All documents associated with the previous decision are hereby acknowledged and made a part of the record for this modification.

The attached revised plan dated June 11, 2018, by Coneco Engineers and Scientists and endorsed by the Planning and Economic Development Board on July 10, 2018 depicts the approved changes.

#### **CONDITIONS**

1. This document and the associated plan shall be recorded at the Norfolk County Registry of Deeds and proof of such recording shall be provided to the Board.
2. All other conditions of approval of the ARCPUD special permit dated March 24, 2016 remain in force.

Attest:   
Susan E. Affleck-Childs  
Planning and Economic Development Coordinator

7-16-18  
Date

cc: Jack Mee, Building Inspector/Zoning Enforcement Officer  
Jeff Robinson, Continuing Care Management, LLC  
Jon Novak, Coneco Engineers and Scientists  
Steve Bouley, Tetra Tech  
Bridget Graziano, Conservation Agent



FOR REGISTRY USE ONLY

# SALMON HEALTH AND RETIREMENT COMMUNITY ARCPUD SPECIAL PERMIT PLANS

## SUPPLEMENTAL WETLAND CROSSING AND SEWER LINING PACKAGE VILLAGE STREET, MEDWAY, MASSACHUSETTS 02053

### DESCRIPTION

COVER SHEET

CIVIL  
NOTES & LEGEND  
PLAN & PROFILE KEY SHEET  
PLAN AND PROFILE  
CROSSING ELEVATIONS  
SEWER MANHOLE MODIFICATIONS  
SEWER MANHOLE DETAILS & NOTES

### SHEET

COVER

C1  
C35  
C36 & C41  
C42-C43  
S1  
S2



SCALE: 1" = 300'



2008 AERIAL PHOTO  
SCALE: 1" = 500'

PREPARED FOR:

CONTINUING CARE MANAGEMENT, LLC  
1 LYMAN STREET  
WESTBOROUGH, MASSACHUSETTS 01581

PREPARED ON:  
May 21, 2018  
*Revised June 11, 2018*

ENGINEER:  
DAVID A. HARRINGTON, P.E.  
CONECO ENGINEERS & SCIENTISTS, INC.  
BRIDGEWATER, MA 02324

MASSACHUSETTS REGISTERED PROFESSIONAL ENGINEER #47093

DATE: \_\_\_\_\_

PLANNING BOARD APPROVAL  
REQUIRED UNDER THE SPECIAL  
PERMIT ARCPUD ZONING BY-LAW.

MEDWAY PLANNING BOARD:

DATE OF APPROVAL: \_\_\_\_\_  
DATE OF ENDORSEMENT: \_\_\_\_\_

_____
_____
_____
_____
_____



4 FIRST STREET, BRIDGEWATER, MASSACHUSETTS 02324  
PHONE: 508.697.3191, FAX: 508.697.5996  
WEBSITE: [www.coneco.com](http://www.coneco.com)

SALMON HEALTH AND RETIREMENT COMMUNITY			
259, 261, 261R AND 263 VILLAGE STREET, MEDWAY, MASSACHUSETTS 02053			
R E V I S I O N S			
NO.	DATE	DESCRIPTION	DR/CK
1	5/30/18	TOWN COMMENTS	DJD/JEN
2	6/11/18	TOWN COMMENTS	MSD/JEN



LEGEND		
EXISTING	PROPOSED	DESCRIPTION
		PROPERTY LINE
		PROPERTY LINE ABUTTER
		EASEMENT LINE
		EDGE OF BANK/WETLAND
		FEMA FLOOD ZONE
		EDGE OF VERNAL POOL
		25' WETLAND BUFFER
		100' WETLAND BUFFER
		100' INNER RIPARIAN
		200' OUTER RIPARIAN
		100' VERNAL POOL BUFFER
		MAJOR GROUND CONTOUR
		MINOR GROUND CONTOUR
		RECHARGE BOUNDARY
		EDGE OF PAVEMENT
		VERTICAL GRANITE CURB/ VERTICAL CONCRETE CURB
		BUILDING
		TREE LINE
		ROCK WALL
		DRAIN LINE
		EROSION CONTROL LINE/LOW
		IMPERMEABLE BARRIER
		ROOF DRAIN LEADERS
		GUARD RAIL
		POST AND RAIL FENCE
		PRIVACY FENCE
		CHAIN LINK FENCE
		GUARD RAIL AND CHAIN LINK FENCE
		GAS LINE
		WATER LINE
		SEWER LINE
		OVERHEAD WIRE
		ELECTRIC, TELEPHONE AND CABLE
		SEWER MANHOLE
		DRAIN MANHOLE
		CATCH BASIN
		TEST PIT
		UTILITY POLE
		LIGHT POLE
		BOUND W/ DRILL HOLE
		RECHARGE CHAMBER
		BANK/WETLAND FLAG
		WATER VALVE
		GAS VALVE
		HYDRANT
		PARKING SPACE COUNT
		SEWER CLEAN OUT
		FLARED END SECTION
		AREA DRAIN
		WETLAND AREA
		POTENTIAL ISOLATED LAND SUBJECT TO FLOODING

ABBREVIATIONS	
ABBREV.	DESCRIPTION
ABAN	ABANDON
BC	BOTTOM OF CURB
BFE	BASEMENT FLOOR ELEVATION
BIT.	BITUMINOUS
BIT. CONC.	BITUMINOUS CONCRETE
BLDG	BUILDING
BM	BENCH MARK
BOS	BOTTOM OF SLOPE
BOW	BOTTOM OF WALL
BYW	BORDERING VEGETATED WETLAND
BLSF	BORDERING LAND SUBJECT TO FLOODING
CB	CATCH BASIN
CBDH	CONCRETE BOUND DRILL HOLE
CF	CUBIC FEET
CFS	CUBIC FEET PER SECOND
CI	CAST IRON PIPE
CLDI	CEMENT LINED DUCTILE IRON PIPE
CLF	CHAIN LINK FENCE
CMP	CORRUGATED METAL PIPE
CO	CLEAN OUT
CONC.	CONCRETE
DEM	DEMOLISH
DET	DETENTION
DH	DRILL HOLE
DIA.	DIAMETER
DIM.	DIMENSION
DMH	DRAIN MANHOLE
EHH	ELECTRIC HANDHOLE
ELEV.	ELEVATION
ELEC.	ELECTRIC
EM	ELECTRIC MANHOLE
EOP	EDGE OF PAVEMENT
EXIST, EX.	EXISTING
FES	FLARED END SECTION
FFE	FIRST FLOOR ELEVATION
FT	FOOT OR FEET
GFE	GARAGE FLOOR ELEVATION
GG	GAS GATE
GV	GATE VALVE
GW	GROUND WATER
HDPE	HIGH DENSITY POLYETHYLENE
HP	HIGH POINT
HYD	HYDRANT
ILSF	ISOLATED LAND SUBJECT TO FLOODING
IN	INCHES
INV., I	INVERT
IP	IRON PIPE
L	LENGTH
LOW	LIMIT OF WORK
LP	LIGHT POLE
LS	LANDSCAPING
MAX	MAXIMUM
MED	MEDICAL
MIN	MINIMUM
NO	NUMBER
NTS	NOT TO SCALE
N/F	NOW OR FORMERLY
OHW	OVERHEAD WIRE
OCS	OVERFLOW CONTROL STRUCTURE
PL	PROPERTY LINE
PROP., P	PROPOSED
PT	POINT OR POINT OF TANGENT
PVC	POLYVINYL CHLORIDE PIPE
R	RIM
RCP	REINFORCED CONCRETE PIPE
S	SLOPE
SBDH	STONE BOUND DRILL HOLE
STC	STORMCEPTOR (WATER QUALITY UNIT)
SF	SQUARE FEET
SMH	SEWER MANHOLE
STD	STANDARD
SW	SIDEWALK
STA	STATION
TBR	TO BE REMOVED
T	TELEPHONE
TOB	TOP OF BANK
TOF	TOP OF FOUNDATION
TOS	TOP OF SLOPE
TOW	TOP OF WALL
TYP.	TYPICAL
UP	UTILITY POLE
VCC	VERTICAL CONCRETE CURB
VGC	VERTICAL GRANITE CURB

- NOTES
- GENERAL:

1.

THE PLANS CONTAINED IN THIS SET ARE INTENDED TO REPLACE SHEETS C35, C36, C41, C42, AND C43 OF THE PREVIOUSLY APPROVED "ARCPUD SPECIAL PERMIT PLANS" BY CONECO ENGINEERS AND SCIENTISTS, INC. LAST REVISED MAY 23, 2016. THESE SHEETS ARE BEING REPLACED PER THE MODIFICATION TO THE PREVIOUSLY APPROVED WETLAND CROSSING.

2.

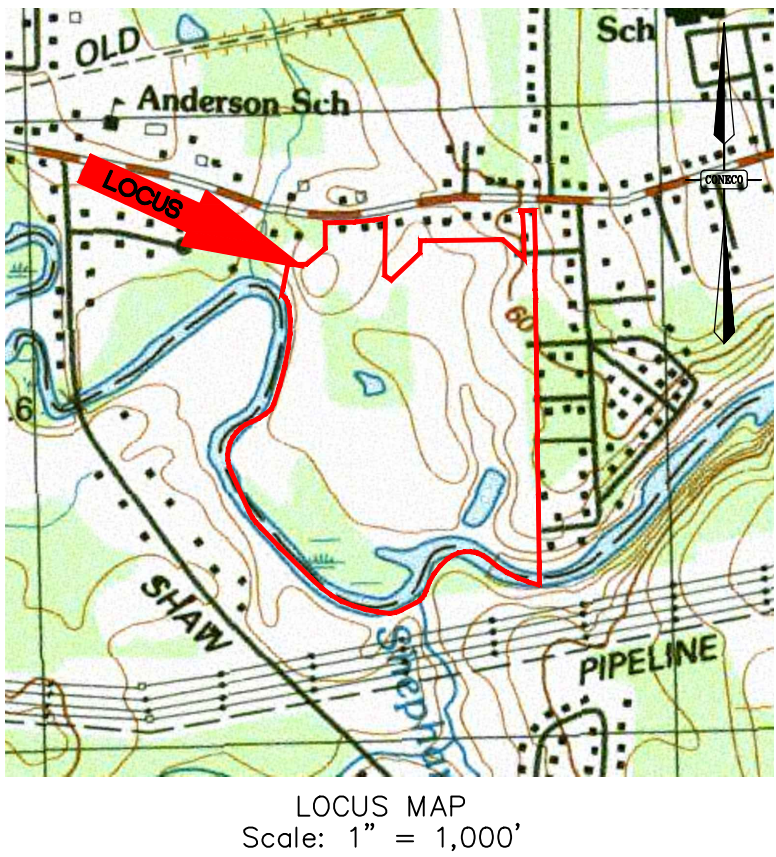
ALL NOTES AND SPECIFICATIONS STATED IN THE "ARCPUD SPECIAL PERMIT PLANS" BY CONECO ENGINEERS AND SCIENTISTS, INC. LAST REVISED MAY 23, 2016 APPLY TO THIS SET.

3.

ALL WORK SHOWN IN THIS PLAN SET IS WITHIN THE PREVIOUSLY APPROVED LIMIT OF WORK. NO ADDITIONAL WETLAND OR BUFFER IMPACTS ARE PROPOSED IN THIS PLAN SET.

4.

WETLAND CROSSINGS TO BE IN AESTHETIC STYLING OF POINTE WEST BRIDGE IN VERO BEACH, FLORIDA OR APPROVED EQUAL. (SEE YORK BRIDGE CONCEPTS, INC. IMAGE ON BOTTOM RIGHT OF THIS SHEET).



PLANNING BOARD APPROVAL  
REQUIRED UNDER THE SPECIAL  
PERMIT ARCPUD ZONING BY-LAW.

MEDWAY PLANNING BOARD:

DATE OF APPROVAL:  
DATE OF ENDORSEMENT:

FOR REGISTRY USE ONLY

YORK

BRIDGE CONCEPTS

The Professional Bridge Company

Pointe West

Vero Beach, FL

Length

60'

Width

29'

Height

12'

Capacity

HS 20-44

Span type

FS - 60'  
span

Material

Southern  
Yellow Pine

Treatment

CCA

Crossing

Canal

Guiderail

Standard  
with  
guiderail  
extensions

1.800.226.4178

www.ybc.com

© York Bridge Concepts, Inc. - 1419 W. Waters Ave. Suite 116 - Tampa, FL 33604

REVISIONS

NO.	DATE	DESCRIPTION	DR/CK
1	5/30/18	TOWN COMMENTS	DJD/JEN
2	6/11/18	TOWN COMMENTS	MSD/JEN

PREPARED FOR:

CONTINUING CARE MANAGEMENT, LLC  
1 LYMAN STREET  
WESTBOROUGH, MASSACHUSETTS 01581

PROJECT:

SALMON HEALTH AND RETIREMENT  
COMMUNITY  
259, 261, 261R AND 263 VILLAGE STREET  
MEDWAY, MASSACUSETTS 02053

PLAN SET:

ARCPUD SPECIAL PERMIT  
PLANS

NOTES & LEGEND

DRAWING

CONECO

Engineers & Scientists

4 FIRST STREET, BROCKWATER, MASSACHUSETTS 02324  
PHONE 508-697-3140 FAX 508-697-5996  
WEBSITE: www.cconeco.com

DATE

5/21/2018

DESIGNED: JEN

CHECKED: DAH

DRAFTED: DJD

IN CHARGE: JEN

SCALE:

N/A

PROJECT NO.

8548.0

SHEET NO.

C1





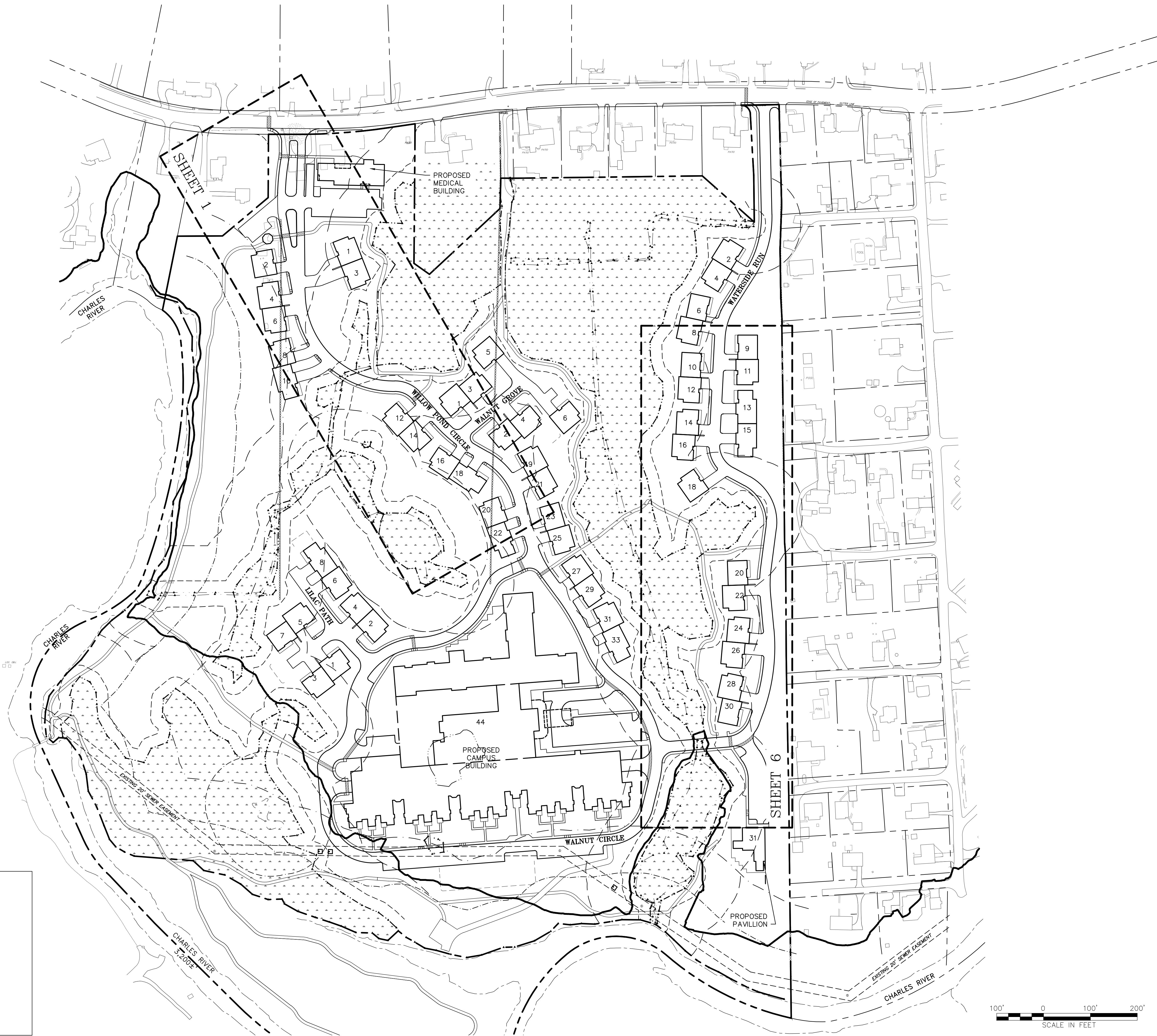
PLANNING BOARD APPROVAL  
REQUIRED UNDER THE SPECIAL  
PERMIT ARCPUD ZONING BY-LAW.

MEDWAY PLANNING BOARD:

DATE OF APPROVAL:  
DATE OF ENDORSEMENT:

_____
_____
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_____
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_____

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REVISIONS			
NO.	DATE	DESCRIPTION	DR/CK
1	5/30/18	TOWN COMMENTS	DJD/JEN

PREPARED FOR: CONTINUING CARE MANAGEMENT, LLC 1 LYMAN STREET WESTBOROUGH, MASSACHUSETTS 01581	DRAWING: PLAN & PROFILE KEY SHEET
--	---

PROJECT: SALMON HEALTH AND RETIREMENT COMMUNITY 259, 261, 261R AND 263 VILLAGE STREET MEDWAY, MASSACHUSETTS 02053	PLAN SET: ARCPUD SPECIAL PERMIT PLANS
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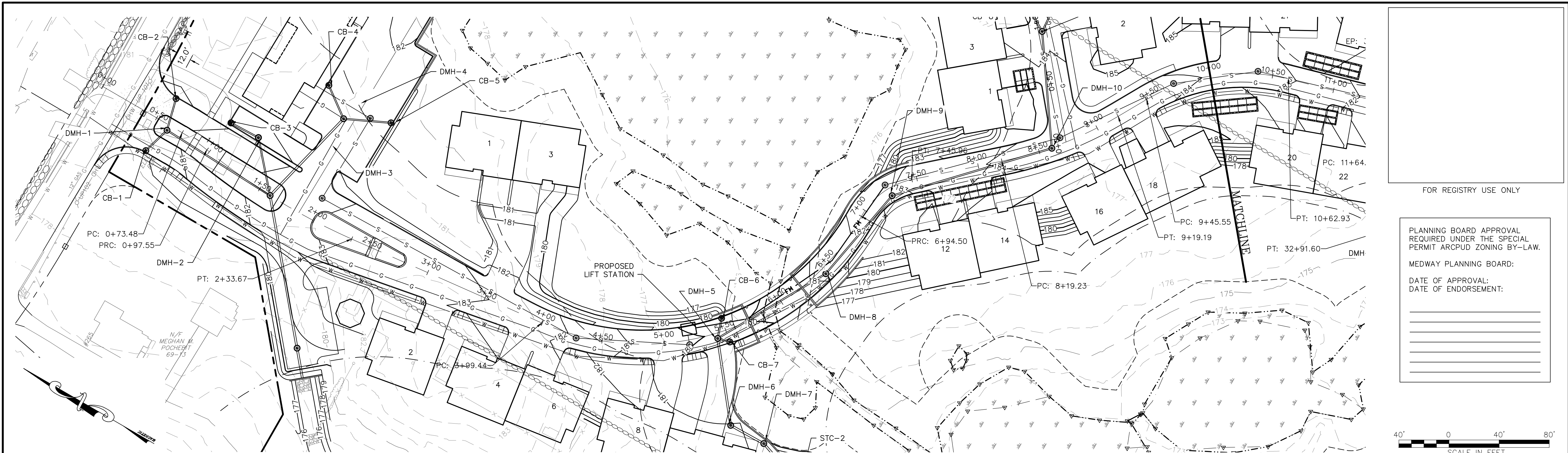
CONECO

Engineers & Scientists

4 FIRST STREET, BRIDGEWATER, MASSACHUSETTS 02324  
PHONE 508-697-3191 OR 800-548-3355 FAX 508-697-5996  
WEBSITE: www.coneco.com

DATE	5/21/2018
DESIGNED: JEN	CHECKED: DAH
DRAFTED: DJD	IN CHARGE: JEN
SCALE:	1"=100'
PROJECT NO.	8548.0
SHEET NO.	C35





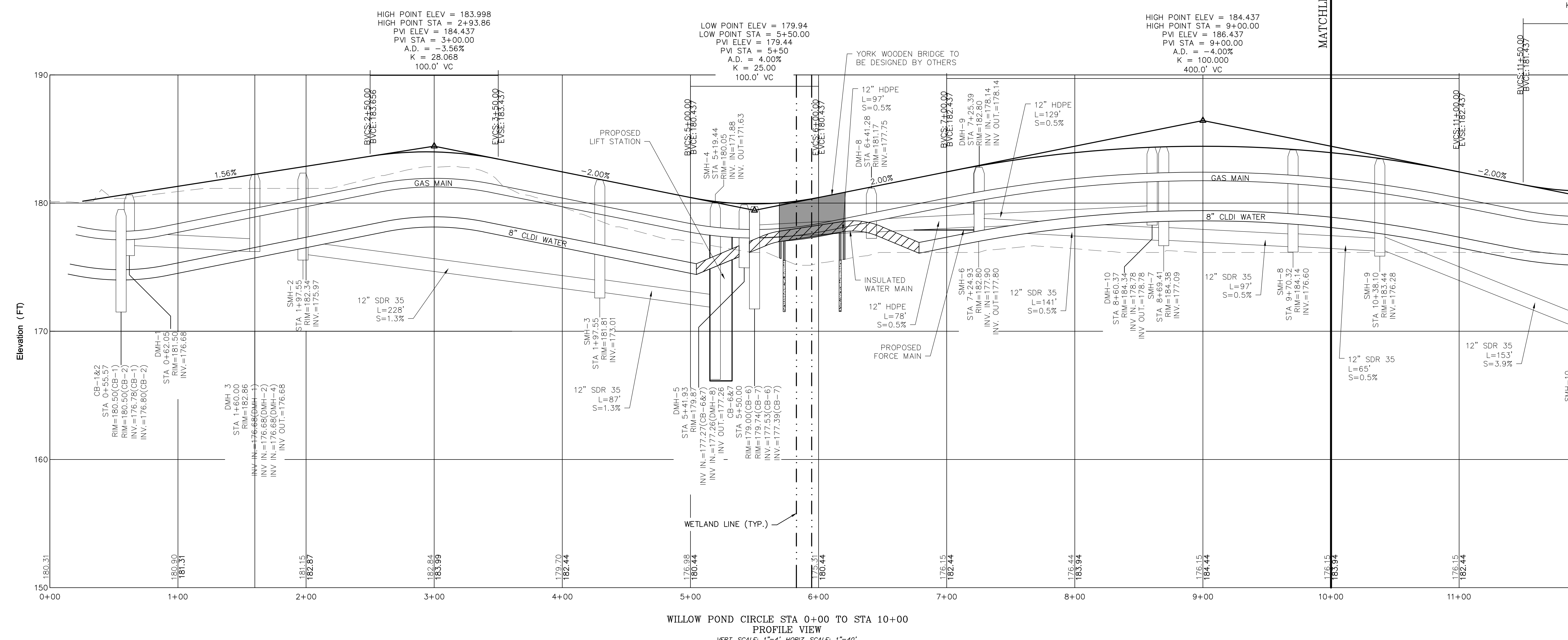
WILLOW POND CIRCLE STA 0+00 TO STA 10+00  
PLAN VIEW  
SCALE: 1"=40'

FOR REGISTRY USE ONLY

PLANNING BOARD APPROVAL  
REQUIRED UNDER THE SPECIAL  
PERMIT ARCPUD ZONING BY-LAW.

MEDWAY PLANNING BOARD:

DATE OF APPROVAL:  
DATE OF ENDORSEMENT:



WILLOW POND CIRCLE STA 0+00 TO STA 10+00  
PROFILE VIEW  
VERT. SCALE: 1"=4'; HORIZ. SCALE: 1"=40'

REVISIONS		DR/CK
NO.	DATE	DESCRIPTION
1	5/30/18	TOWN COMMENTS

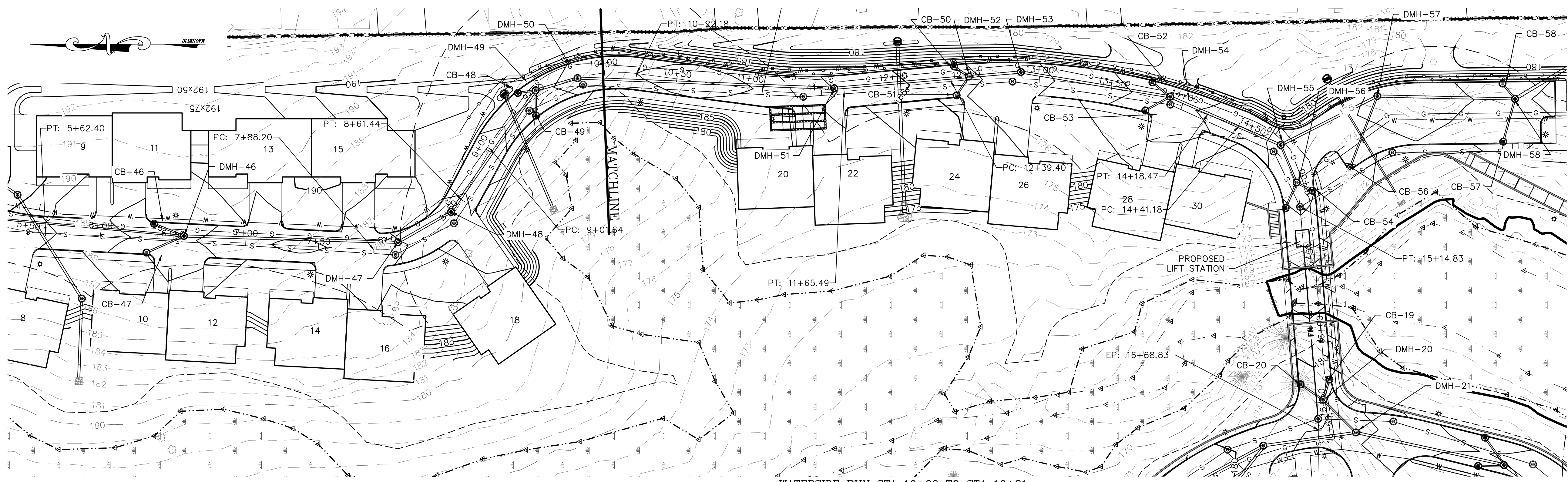
CONTINUING CARE MANAGEMENT, LLC  
1 LYMAN STREET  
WESTBOROUGH, MASSACHUSETTS 01581

PREPARED FOR:  
SALMON HEALTH AND RETIREMENT  
COMMUNITY  
259, 261, 261R AND 263 VILLAGE STREET  
WESTBOROUGH, MASSACHUSETTS 02053

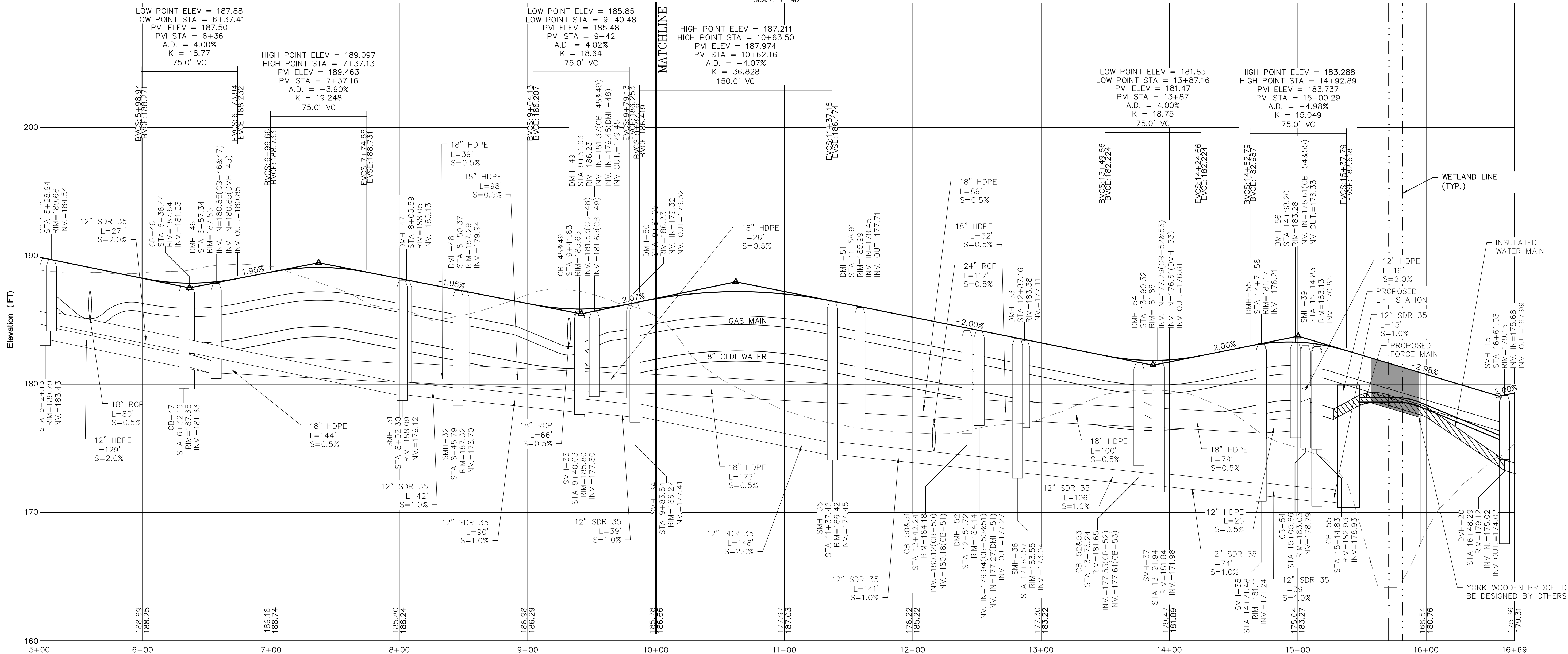
PROJECT:  
ARCPUD SPECIAL PERMIT  
PLANS

DATE: 5/21/2018  
DESIGNED: JEN  
CHECKED: DAH  
DRAFTED: DJD  
IN CHARGE: JEN  
SCALE: AS SHOWN  
PROJECT NO.: 8548.0  
SHEET NO.: C36





WATERSIDE RUN STA 10+00 TO STA 16+81  
PLAN VIEW  
SCALE: 1"=40'



WATERSIDE RUN STA 10+00 TO STA 16+81  
PROFILE VIEW  
VERT. SCALE: 1"=4'; HORIZ. SCALE: 1"=40'

FOR REGISTRY USE ONLY

PLANNING BOARD APPROVAL  
REQUIRED UNDER THE SPECIAL  
PERMIT ARCPUD ZONING BY-LAW.

MEDWAY PLANNING BOARD:

DATE OF APPROVAL:  
DATE OF ENDORSEMENT:



REVISIONS		DR/CK
NO.	DATE	DESCRIPTION
1	5/30/18	TOWN COMMENTS

CONTINUING CARE MANAGEMENT, LLC  
1 LYMAN STREET  
WESTBOROUGH, MASSACHUSETTS 01581

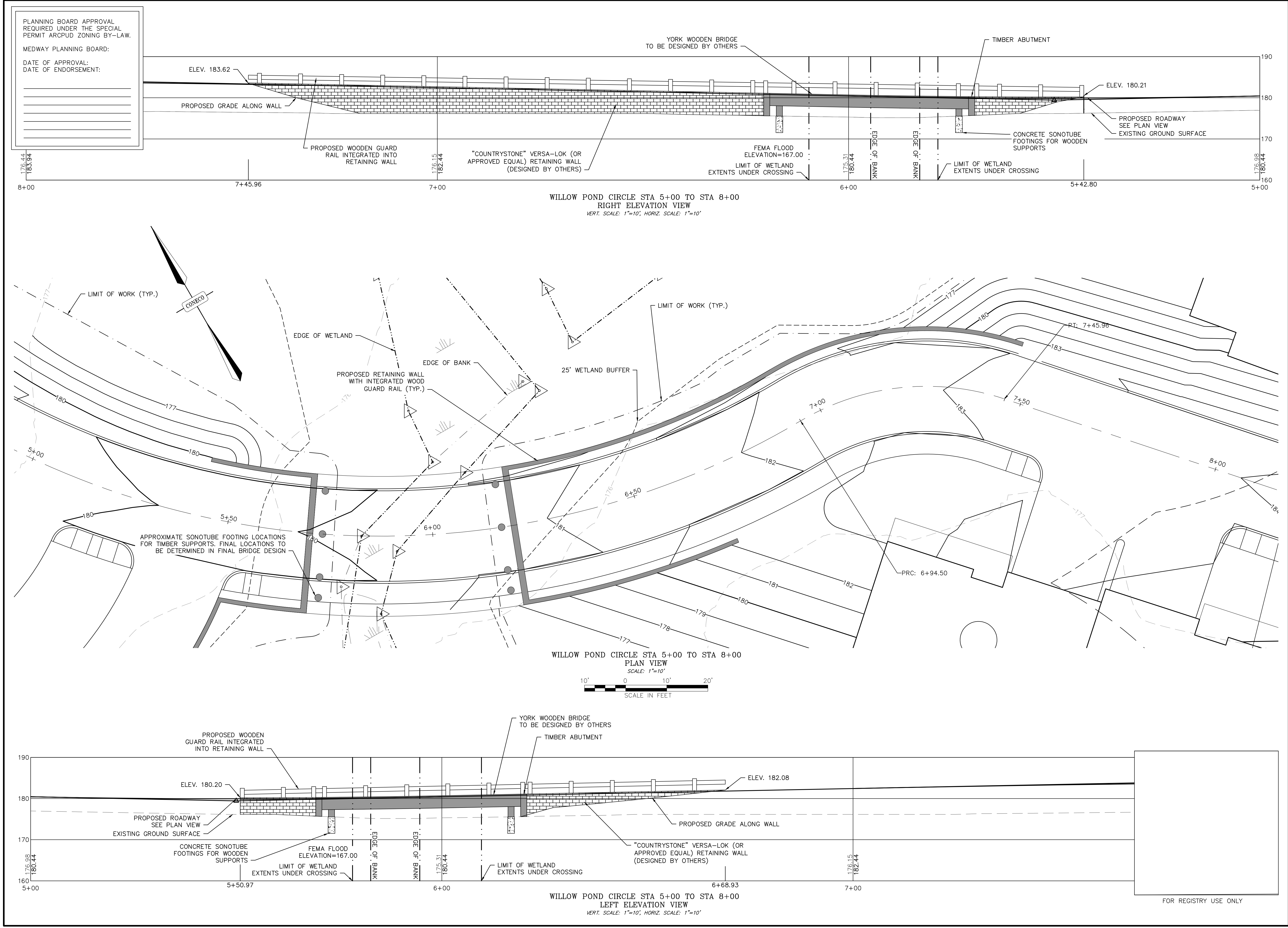
SALMON HEALTH AND RETIREMENT  
COMMUNITY  
259, 261, 261R AND 263 VILLAGE STREET  
WESTBOROUGH, MASSACHUSETTS 02053

CONNECO  
Engineers & Scientists  
4 FIRST STREET, BRIDGEWATER, MASSACHUSETTS 02324  
PHONE 508-697-3100 FAX 508-697-5996  
WEBSITE: www.conneco.com

DATE 5/21/2018  
DESIGNED: JEN CHECKED: TLD  
DRAFTED: DJD IN CHARGE: SMO  
SCALE: AS SHOWN  
PROJECT NO. 8548.0  
SHEET NO.

C41





REVISIONS		DR/CK	D.D./EN
NO.	DATE	DESCRIPTION	TOWN COMMENTS
1	5/30/18		

PREPARED FOR:  
CONTINUING CARE MANAGEMENT, LLC  
1 LYMAN STREET  
WESTBOROUGH, MASSACHUSETTS 01581

PROJECT:  
SALMON HEALTH AND RETIREMENT  
COMMUNITY  
259, 261, 261R AND 263 VILLAGE STREET  
MEDWAY, MASSACHUSETTS 02053

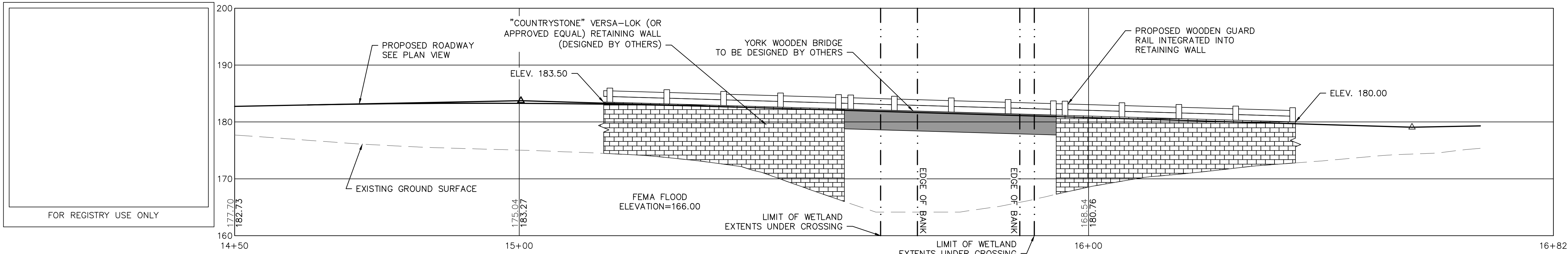
PLAN SET:  
ARCPUD SPECIAL PERMIT  
PLANS

CROSSING ELEVATION  
SHEET 1 OF 2

**CONECO**  
Engineers & Scientists  
4 FIRST STREET, BRIDGEWATER, MASSACHUSETTS 03324  
PHONE 508-697-3100 FAX 508-697-5996  
WEBSITE: www.coneco.com

DATE: 5/21/2018  
DESIGNED: JEN CHECKED: DAH  
DRAFTED: DJD IN CHARGE: JEN  
SCALE: AS SHOWN  
PROJECT NO. 8548.0  
SHEET NO. **C42**





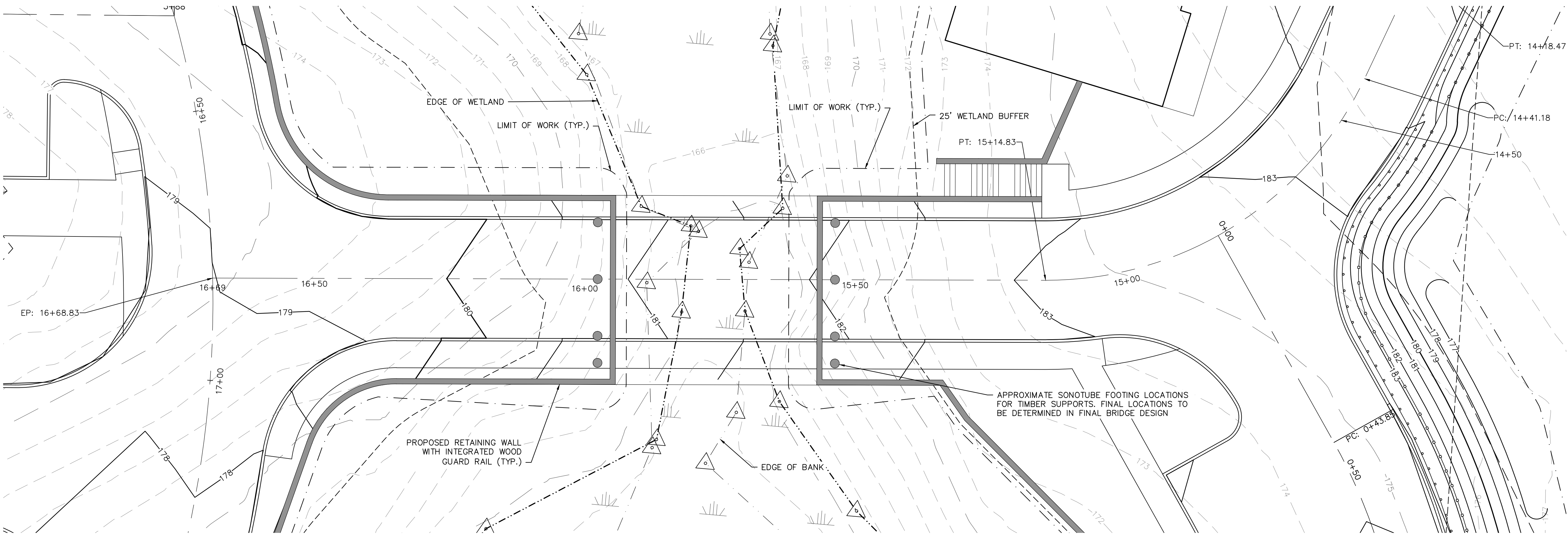
PLANNING BOARD APPROVAL  
REQUIRED UNDER THE SPECIAL  
PERMIT ARCPUD ZONING BY-LAW.

MEDWAY PLANNING BOARD:

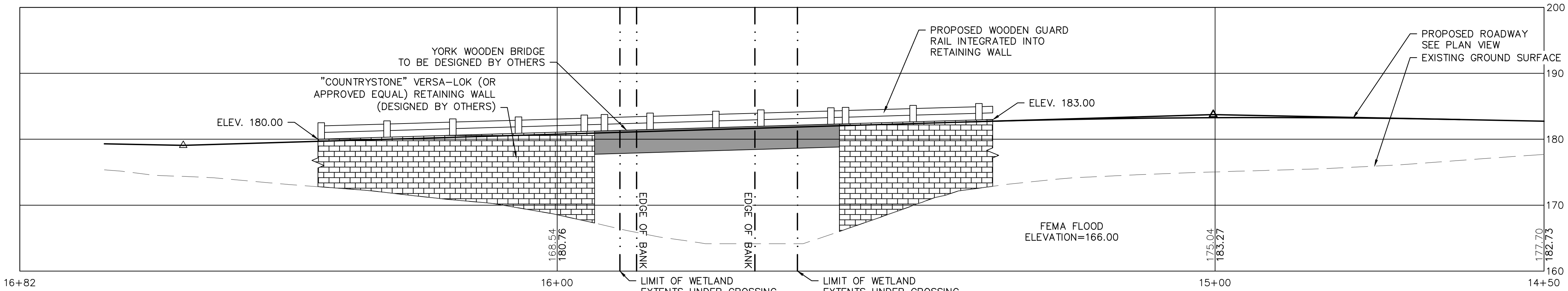
DATE OF APPROVAL:

DATE OF ENDORSEMENT:

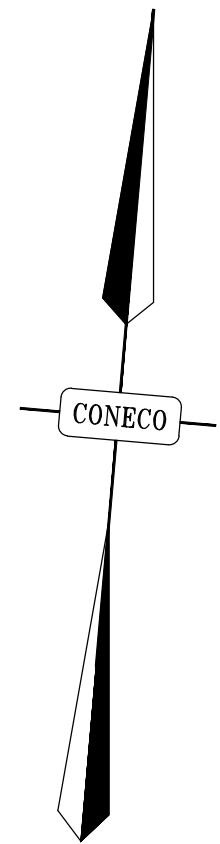
WATERSIDE RUN STA 14+50 TO STA 16+82  
RIGHT ELEVATION VIEW  
VERT. SCALE: 1"=10'; HORIZ. SCALE: 1"=10'



WATERSIDE RUN STA 14+50 TO STA 16+82  
PLAN VIEW  
SCALE: 1"=10'



WATERSIDE RUN STA 14+50 TO STA 16+87  
LEFT ELEVATION VIEW  
VERT. SCALE: 1"=10'; HORIZ. SCALE: 1"=10'



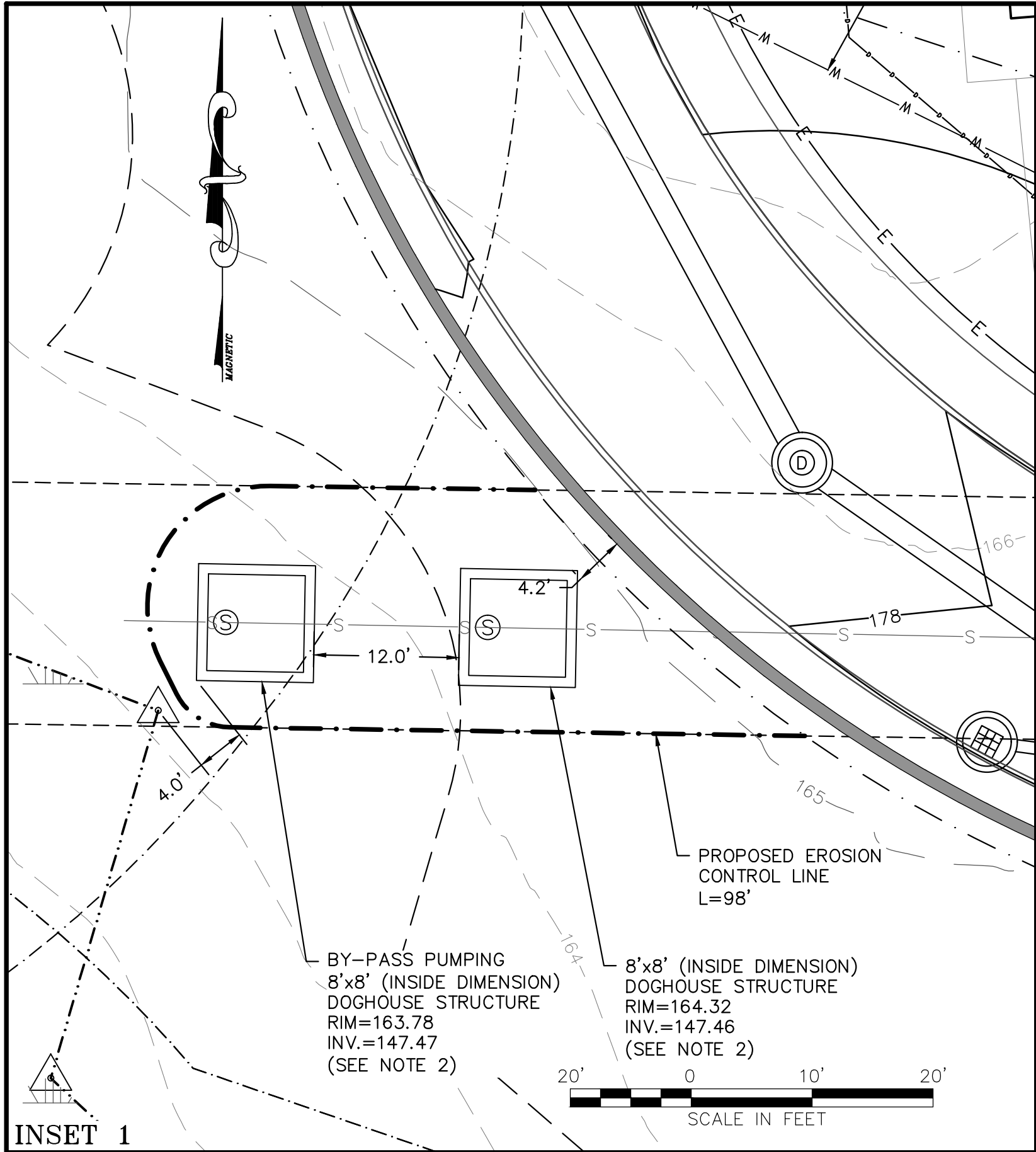
REVISIONS		DR/CK	D/D/EN
NO.	DATE	DESCRIPTION	TOWN COMMENTS
1	5/30/18		

PREPARED FOR:	PROJECT:	PLAN SET:
CONTINUING CARE MANAGEMENT, LLC 1 LYMAN STREET WESTBOROUGH, MASSACHUSETTS 01581	SALMON HEALTH AND RETIREMENT COMMUNITY 259, 261, 261R AND 263 VILLAGE STREET MEDWAY, MASSACHUSETTS 02053	ARCPUD SPECIAL PERMIT PLANS

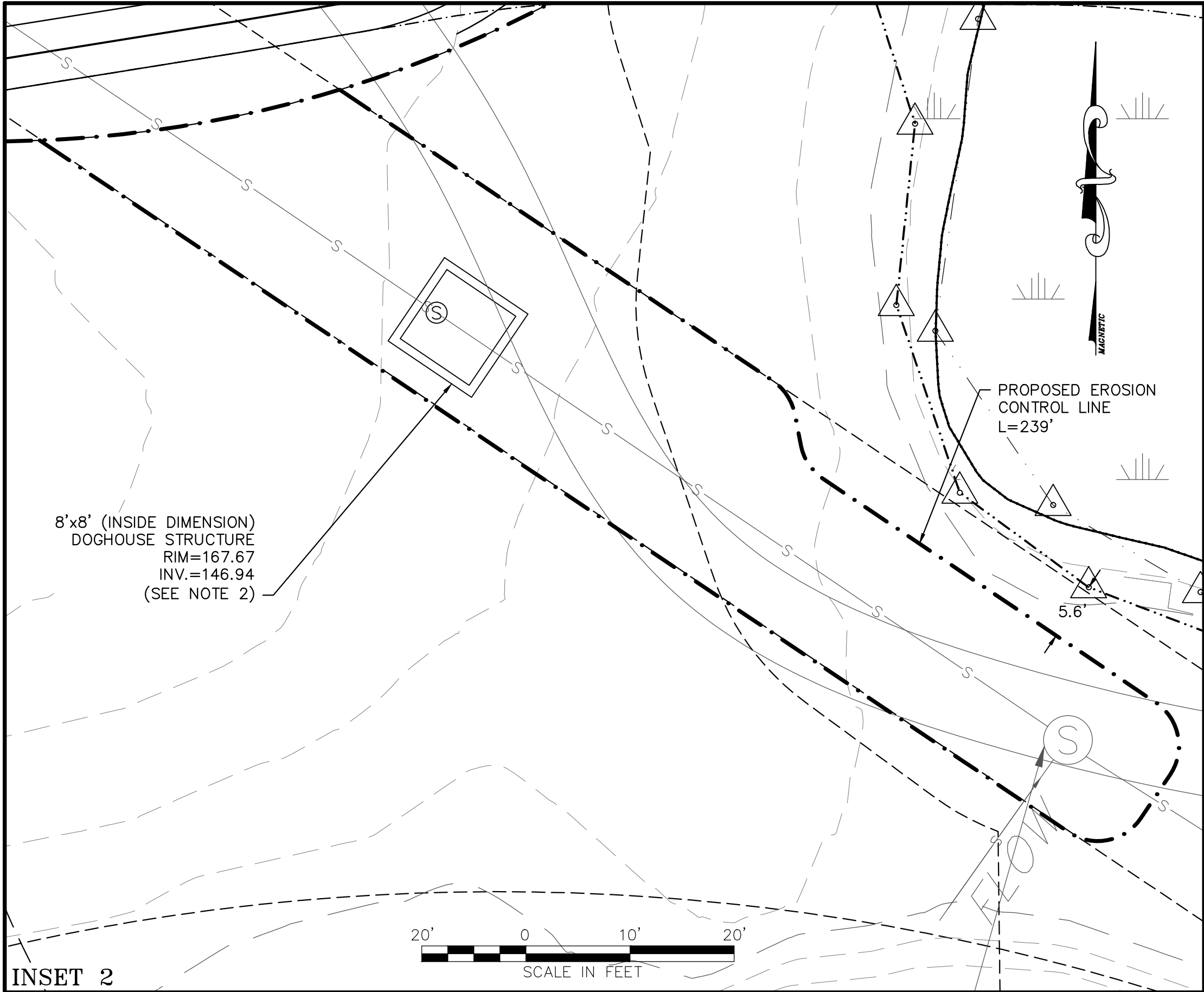
**Engineers & Scientists**  
4 FIRST STREET, BRIDGEWATER, MASSACHUSETTS 03324  
PHONE 508-697-3100 FAX 508-697-5996  
WEBSITE: www.coneco.com

DATE	5/21/2018		
DESIGNED:	JEN	CHECKED:	DAH
DRAFTED:	DJD	IN CHARGE:	JEN
SCALE:	AS SHOWN		
PROJECT NO.	8548.0		
SHEET NO.	C43		

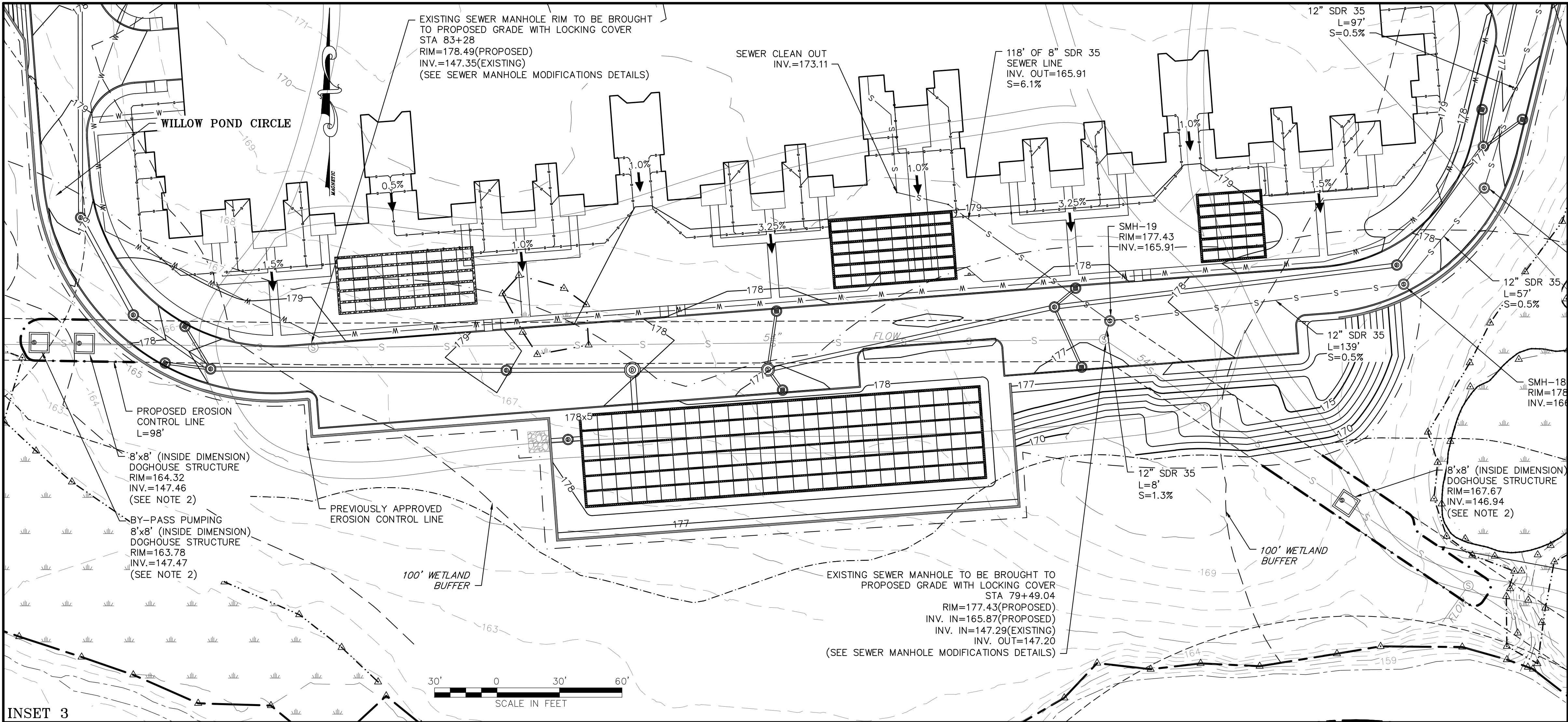
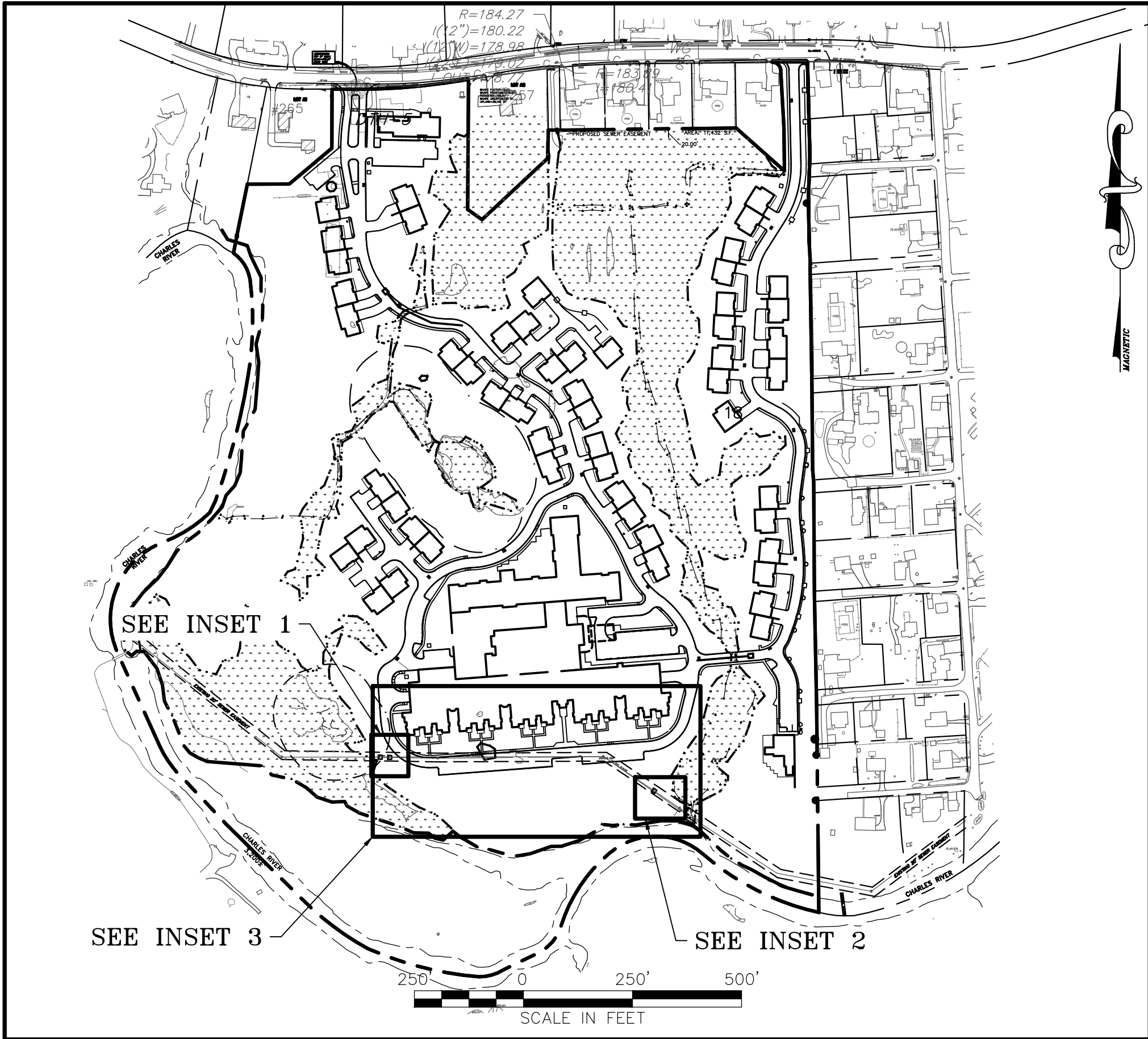




INSET 1



INSET 2



INSET 3

SEE SEWER MODIFICATION NOTES ON PAGE S2 - "SEWER MANHOLE MODIFICATION NOTES AND DETAILS"

PLANNING BOARD APPROVAL  
REQUIRED UNDER THE SPECIAL  
PERMIT ARCPUD ZONING BY-LAW.

MEDWAY PLANNING BOARD:

DATE OF APPROVAL:  
DATE OF ENDORSEMENT:

\_\_\_\_\_

\_\_\_\_\_

FOR REGISTRY USE ONLY

REVISIONS		DR/CK
NO.	DATE	DESCRIPTION
1	5/30/18	TOWN COMMENTS

PREPARED FOR:  
CONTINUING CARE MANAGEMENT, LLC  
1 LYMAN STREET  
WESTBOROUGH, MASSACHUSETTS 01581

DRAWING:  
MODIFICATION TO APPROVED PLAN  
FOR PRECAUTIONARY SEWER  
MANHOLE INSTALLATION

PROJECT:  
SALMON HEALTH AND RETIREMENT  
COMMUNITY  
259, 261, 261R AND 263 VILLAGE STREET  
MEDWAY, MASSACHUSETTS 02053

PLAN SET:  
ARCPUD SPECIAL PERMIT  
PLANS

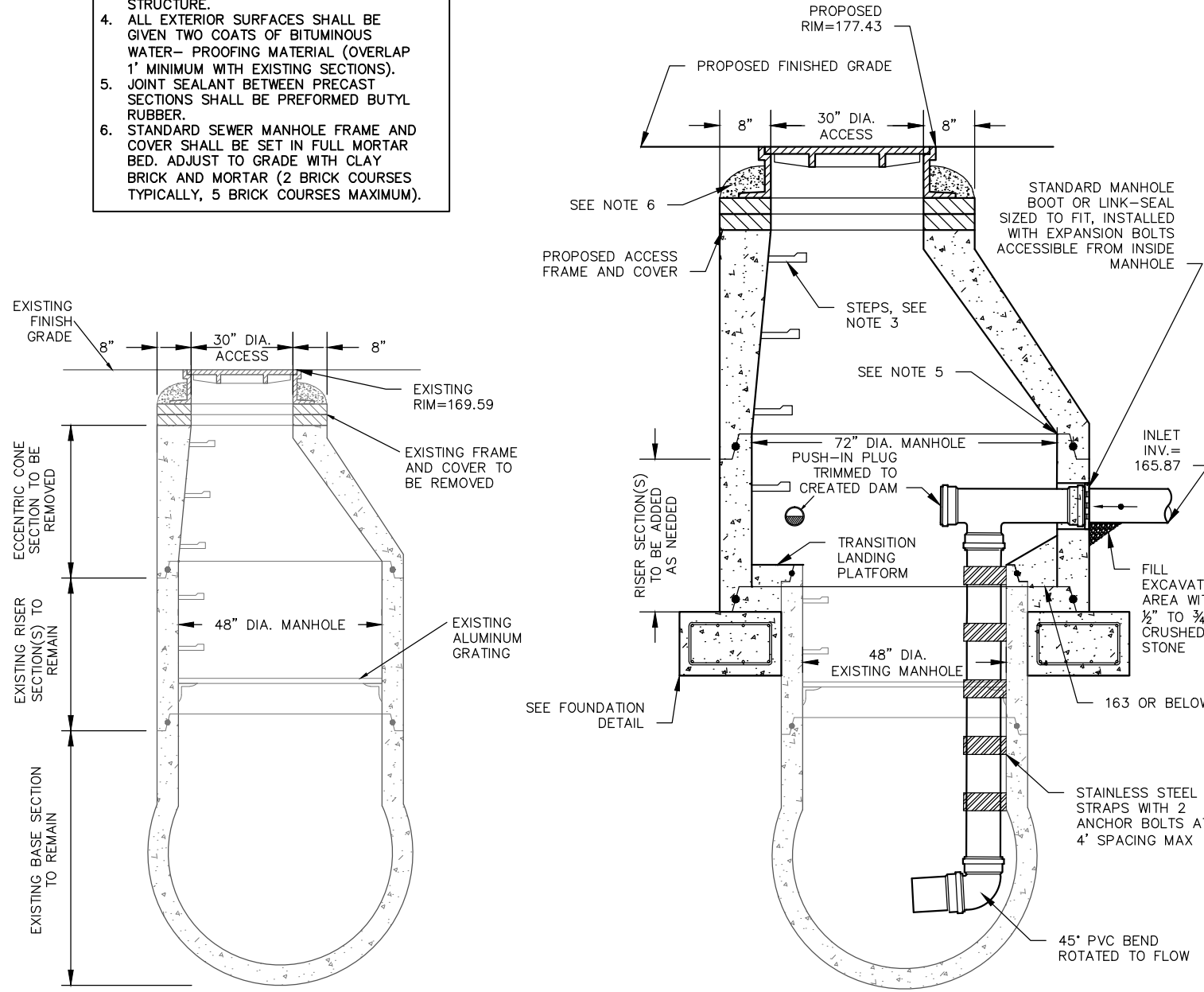
**CONECO**  
*Engineers & Scientists*  
4 FIRST STREET, BRIDGEWATER, MASSACHUSETTS 02324  
PHONE 508-697-3191 OR 800-548-3355 FAX 508-697-5996  
WEBSITE: www.coneco.com

DATE	5/21/2018
DESIGNED: JEN	CHECKED: DAH
DRAFTED: DJD	IN CHARGE: SMO
SCALE:	AS SHOWN
PROJECT NO.	8548.0
SHEET NO.	

S1

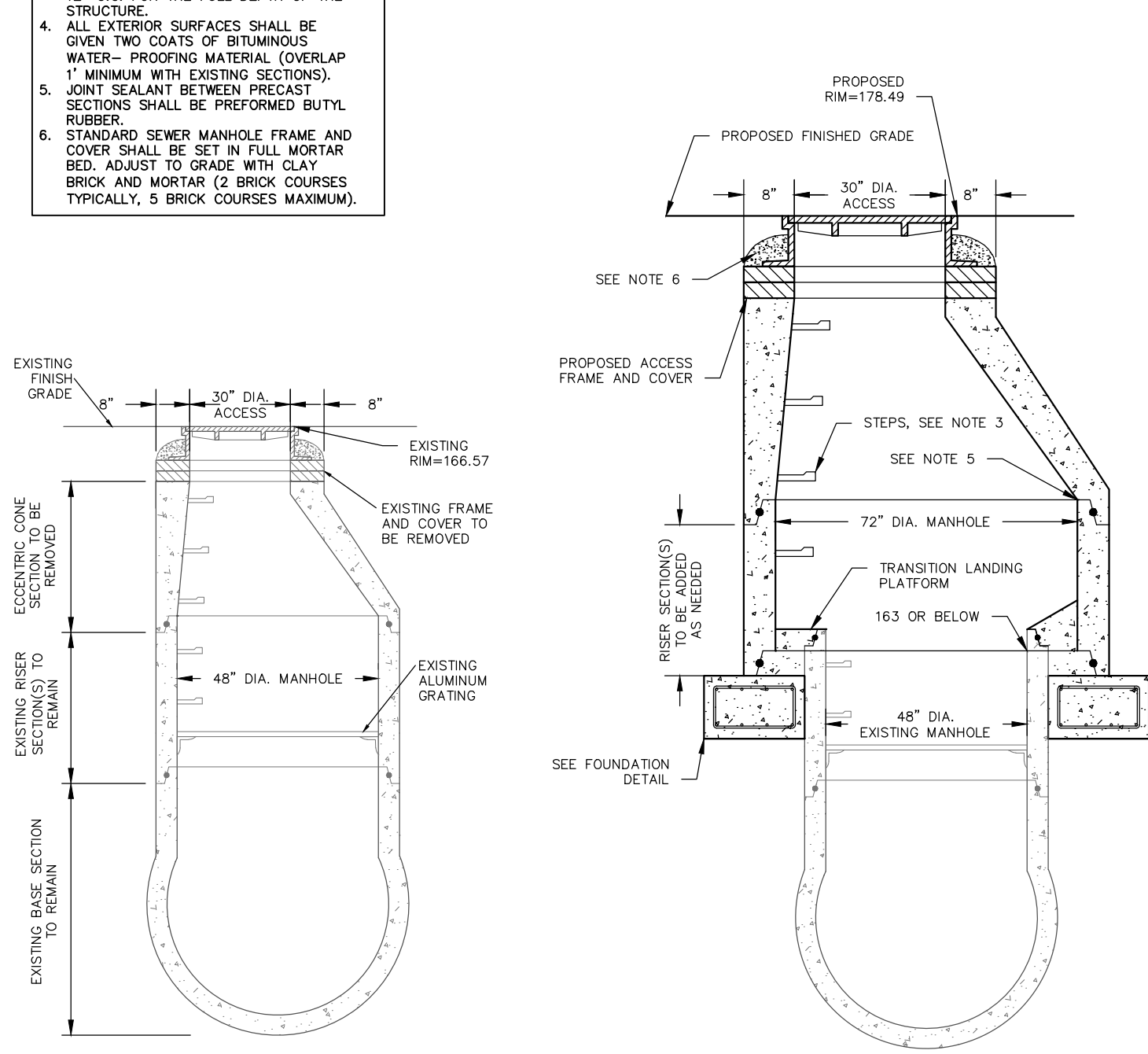


- NOTES:
1. ALL SECTIONS SHALL BE DESIGNED FOR HS-20 LOADING.
  2. CONCRETE SHALL BE COMPRESSIVE STRENGTH 4000 PSI TYPE II CEMENT.
  3. MANHOLE STEPS SHALL BE INSTALLED AT 12" O.C. FOR THE FULL DEPTH OF THE STRUCTURE.
  4. ALL EXTERIOR SURFACES SHALL BE GIVEN TWO COATS OF BITUMINOUS WATER-PROOFING MATERIAL (OVERLAP 1" MINIMUM WITH EXISTING SECTIONS).
  5. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PERFORMED BUTYL RUBBER.
  6. STANDARD SEWER MANHOLE FRAME AND COVER SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM).

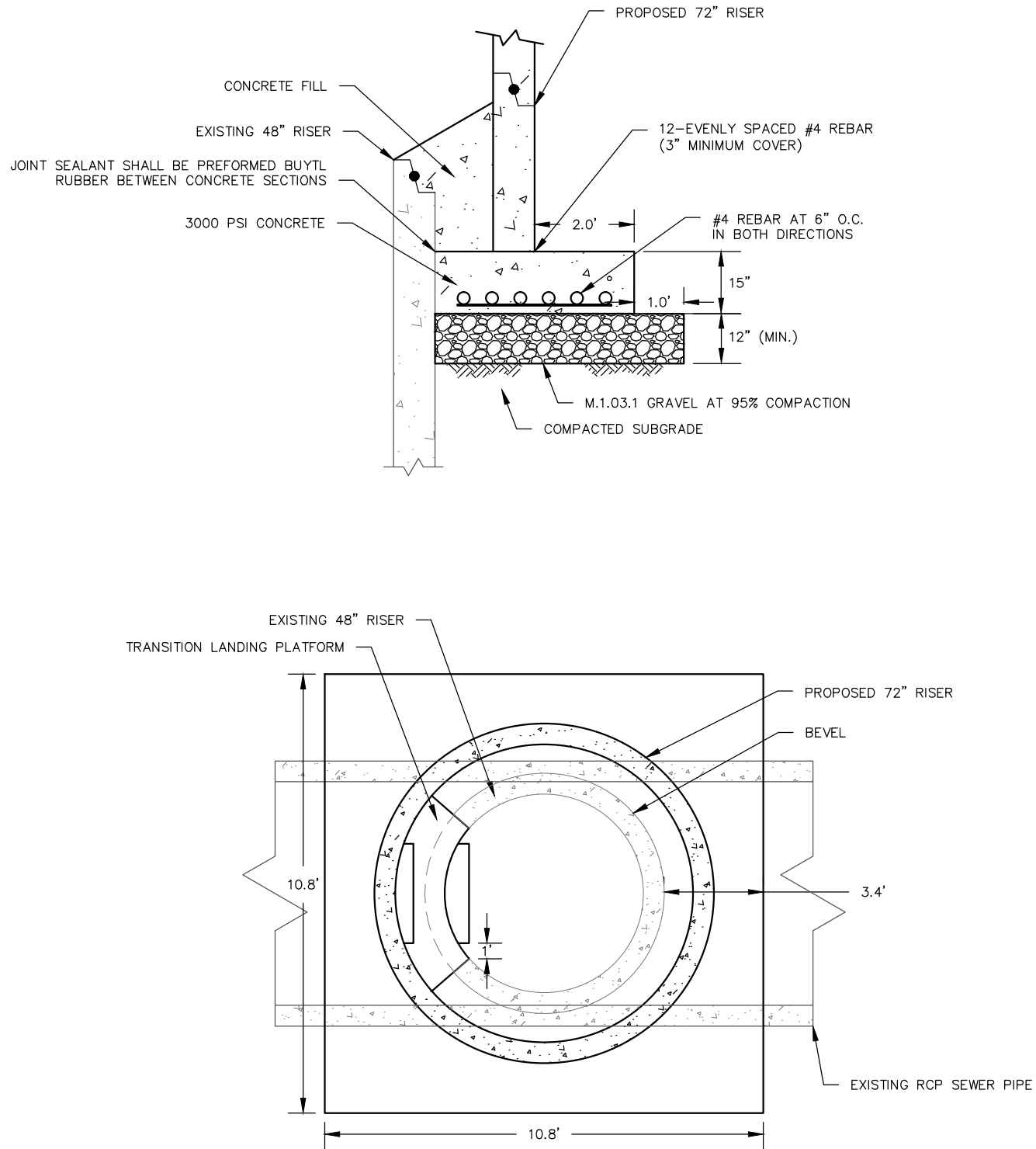


**SANITARY SEWER MANHOLE (SMH) - STA 79+49.04**  
N.T.S.

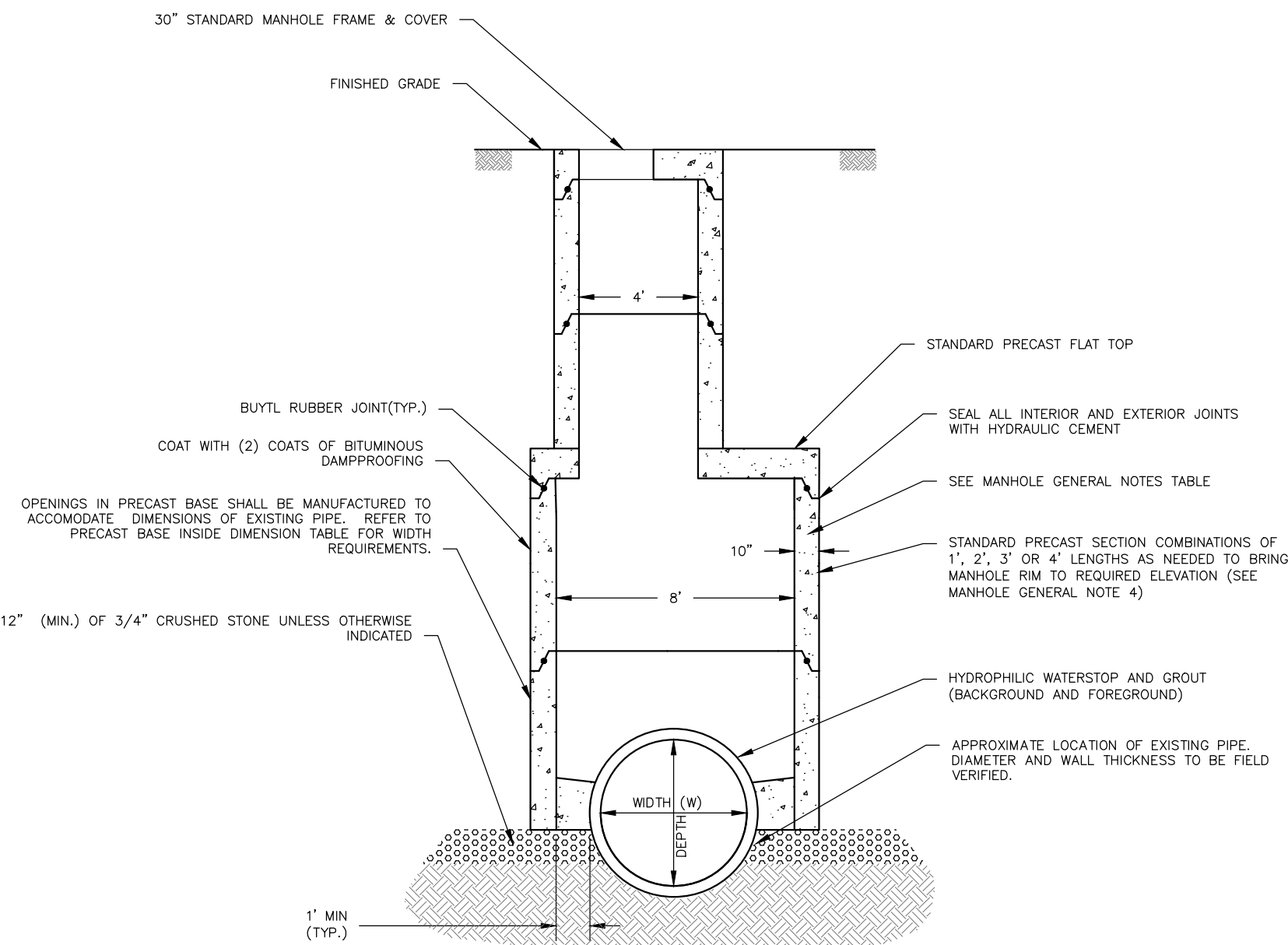
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**SANITARY SEWER MANHOLE (SMH) - STA 83+28**  
N.T.S.



**FOUNDATION DETAIL**  
N.T.S.



**DOGHOUSE STRUCTURE DETAIL**  
N.T.S.

**NOTES:**

1. EXISTING SEWER MANHOLES TO BE ADJUSTED TO FINAL PROPOSED GRADE AND COVERS REPLACED WITH LOCKING COVERS AS NOTED.
2. SEWER INVERTS AT THESE MANHOLES ARE APPROXIMATE AND SHALL BE CONFIRMED BY CONTRACTOR PRIOR TO CONSTRUCTION.
3. ALL AREAS DISTURBED WITHIN THE WETLAND BUFFER ZONE SHALL BE RESTORED TO ORIGINAL GRADES AND SEEDED WITH NEW ENGLAND CONSERVATION SEED MIX OR EQUIVALENT.
4. NO PLANT MATERIALS SHALL BE INSTALLED UNTIL ALL EARTH REMOVAL AND GRADING WORK HAS BEEN COMPLETED AND APPROVED BY THE WETLAND SCIENTIST.
5. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE APPROPRIATE WATERING ACTIVITIES AS NEEDED TO SUSTAIN EMERGENT HERBACEOUS SEEDS AND PLANTED WOODY MATERIAL.
6. UPLAND AREAS THAT ARE DISTURBED SHALL BE RESEEDING WITH A NEW ENGLAND CONSERVATION SEED MIX OR EQUIVALENT AT AN APPLICATION RATE OF 1 POUND PER 1250 SQUARE FEET. UPON COMPLETION OF THE SEEDING, ADDITIONAL EROSION CONTROLS SHALL BE PLACED AT THE TOE OF SIDE SLOPES AS NECESSARY TO PREVENT SEDIMENTATION.
7. PLANT AND SEED SURVIVAL IS GENERALLY OPTIMIZED BY SPRING PLANTING. DURING GROWING SEASON EARLY FALL PLANTING IS ALSO ACCEPTABLE UNDER NON-DROUGHT CONDITIONS. THE USDA GROWING SEASON FOR NORFOLK COUNTY IS APRIL 17 TO OCTOBER 26.
8. LEAKAGE TESTING TO BE PERFORMED BY CONTRACTOR TO MEET MANUFACTURER SPECIFICATIONS FOR MANHOLE LINER.
9. WHEN ACCESSING SEWER MAIN, ALL PERSONNEL ARE REQUIRED TO MEET APPLICABLE OSHA STANDARDS (I.E. PERSONAL FALL ARREST SYSTEM).

PLANNING BOARD APPROVAL  
REQUIRED UNDER THE SPECIAL  
PERMIT ARCPUD ZONING BY-LAW.

MEDWAY PLANNING BOARD:

DATE OF APPROVAL:  
DATE OF ENDORSEMENT:

\_\_\_\_\_

\_\_\_\_\_

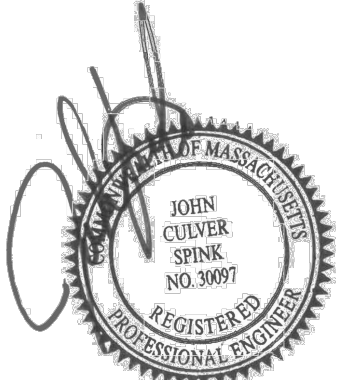
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FOR REGISTRY USE ONLY



NO.	DATE	DESCRIPTION	TOWN COMMENTS	DR/CK	D.B./EN
1	5/30/18				

PREPARED FOR:  
**CONTINUING CARE MANAGEMENT, LLC**  
1 LYMAN STREET  
WESTBOROUGH, MASSACHUSETTS 01581

DRAWING:  
**SEWER MANHOLE MODIFICATIONS**  
DETAILS AND NOTES

PROJECT:  
**SALMON HEALTH AND RETIREMENT COMMUNITY**  
259, 261, 263 VILLAGE STREET  
MEDWAY, MASSACHUSETTS 02053

PLAN SET:  
**ARCPUD SPECIAL PERMIT PLANS**

**CONECO**  
**Engineers & Scientists**  
4 FIRST STREET, BRIDGEWATER, MASSACHUSETTS 02324  
PHONE 508-697-3101 FAX 508-697-5966  
WEBSITE: www.coneco.com

DATE	5/21/2018
DESIGNED: JEN	CHECKED: DAH
DRAFTED: DJD	IN CHARGE: JEN
SCALE:	AS SHOWN
PROJECT NO.	8548.0
SHEET NO.	

**S2**



## Pointe West Vero Beach, FL

**Length**

60'

**Width**

29'

**Height**

12'

**Capacity**

HS 20-44

**Span type**

FS - 60'  
span

**Material**

Southern  
Yellow Pine

**Treatment**

CCA

**Crossing**

Canal

**Guiderail**

Standard  
with  
guiderail  
extensions



**1.800.226.4178**

**[www.ybc.com](http://www.ybc.com)**

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