

**Medway Oak Grove Zoning Task Force
Monday, June 10, 2019 at 7:00 pm
Thayer House
2B Oak Street
Medway, MA 02053**

Members	Jessica Chabot	Andy Rodenhiser	Paul Yorkis	Matthew Hayes	Matt Buckley	Anthony Varrichione	Brian Cowan
Attendance	X	X	Absent with Notice	X	X	X	X

ALSO PRESENT:

Barbara J. Saint Andre, Director Community & Economic Development
Susy Affleck-Childs, Planning and Economic Development Coordinator
Ted Brovitz, Brovitz Community Planning and Design
Amy Sutherland, Recording Secretary

The meeting of the Medway Oak Grove Zoning Task Force was called to order at 7:05 pm. by Chair Jessica Chabot.

Jess Chabot explained that this committee was specifically created with members who had backgrounds from a variety of areas. The Committee members introduced themselves and each announced the Committees/Board which they serve on.

OAK GROVE ZONING COMMUNITY FORUM

Consultant Ted Brovitz was next introduced. Mr. Brovitz explained that he was hired to develop Form Based Zoning for this area. The presentation provided was on Oak Grove Park Zoning Regulations and Design Standards. The project scope and schedule were reviewed. This was broken down into three phases - Project Area Evaluation, Visioning, and Prepare Zoning and Design Standards. The timeline was from June 2018 through spring 2019. (**See Attached Presentation**).

The Oak Grove Urban Renewal Conceptual Development Plan was shown and Consultant Brovitz explained the proposed uses within this area. That included Commercial/Restaurant, Hotel, and/or Retail, Day Care; Flex Space/Office/Retail; Research and Development; Industrial; and Multi-family Residential. Phase 2 of the process was visioning. The visioning included meetings for stakeholders and public workshops along with a Task Force Workshop which revolved around the Town Master Plan which helped to guide the zoning outline.

The next part of the presentation explained the Oak Grove Park Subdistricts: Oak Grove Village Center (OGVC), Oak Grove Business Park (OGBP), and Oak Grove Neighborhood (OGN). The buffer zones within each area were reviewed. Examples of this type of zoning from other communities were shown. Examples of Village Center Development were from South County Commons (South Kingstown, RI) and Wayland Town Center. There are currently businesses within the Oak Grove area which include O'Brien & Sons and Spencer Technology. Examples of the neighborhood type of residential development were from Red Mill Village, Norton, MA; Village Hill, Northampton, MA; and Riverwalk Cottage Court, W. Concord, MA. During the visioning sessions, the Oak Grove Task Force reviewed the general provisions, Zoning Maps/Regulating Plan, Uses, Building Forms, Public Realm areas, Site Planning and Integration. There will be a new Oak Grove Park Zoning District. The Schedule of Uses within this area were discussed.

Ms. Chabot next opened the meeting to comments from the public.

The members of the audience did not supply their complete names and addresses, but the comments, concerns and questions were noted below.

- Continued concern about the traffic on Alder Street.
- Appears to be a "Field of Dreams Project."
- Is there any particular builder or contractor that is committed to carry out this plan?
- Is there really a need for retail space when there is so much vacant space now both in Medway and Milford?
- Was there a market study about what could go in this area?

It was explained by Andy Rodenhiser that the Medway Redevelopment Authority (MRA) was asked to develop a plan for the highest and best use of parcels in town. The Oak Grove Task Force was charged by the Redevelopment Authority to look at the zoning in this area with the already created concept plan. The work of the MRA has been ongoing for several years. This project will allow for diverse and needed housing throughout town. It is also included in the Medway Master Plan.

Further questions were asked:

- Is there enough water capacity for this plan?
- How will the community's existing infrastructure be effected by this plan?
- Will there be a drain on the Town resources? (Water and sewer prices will increase, more police and fire will be needed).

PEDB member Matt Hayes responded that the developer would be responsible for the installation of the infrastructure. Chairman of Board of Selectmen John Foresto responded that the quality of the water would be treated through the treatment plants. The Town has enough capacity. This would be determined by the State.

Further Questions:

- How would a fire truck be able to access this area?
- Why can't this be left as "Green Space" and not developed at all?

It was explained that part of this area is already industrially zoned where trucks have access in and out.

Other Comments:

- "Love the idea of the cottage style homes. Happy the entrance/exit to the residential area from Alder is gone".
- If this is not developed over the next few years, could the Town change the zoning again and change some of this to "Green Space"? If not developed as envisioned, can it be changed to green space?
- Is there any way to prevent it all from becoming Industrial?
- Some residents were not in favor of allowing a gas station in this area.

PEDB and DRC member Tom Gay noted that the provided proposal improves the density and enlarges the buffer zones. This is actually an improvement over the existing regulations.

The next step would be to have a public hearing on this proposed bylaw for placement on the Town Meeting Warrant for the November Town Meeting. The most recent version of the document will be placed on the town website.

The public was thanked for their attendance.

Future Meeting:

- Wednesday, June 19, 2019 at 7:00 pm with a location to be determined.

Adjourn:

On a motion made by Andy Rodenhiser, and seconded by Brian Cowan, the Oak Grove Zoning Task Force voted unanimously to adjourn the meeting at 8:30 pm.

Respectfully Submitted,

Amy Sutherland
Recording Secretary

List of Documents Reviewed at Meeting

1. Oak Grove Park Zoning Regulations and Design Standards PowerPoint Presentation

OAK GROVE PARK

ZONING REGULATIONS & DESIGN STANDARDS

Town of Medway, MA

COMMUNITY FORUM

Oak Grove Zoning Task Force

June 10, 2019

Consulting Team:

- Brovitz Community Planning & Design
- Dodson & Flinker



Oak Grove Zoning Community Forum

Monday, June 10, 2019 @ 7 PM
(Refreshments & socializing at 6:30 pm)

Thayer Homestead
2B Oak Street – Medway
Please, no parking on Oak Street.

- Presentation by Ted Brovitz, the Town's Oak Grove zoning consultant about proposed zoning for the redevelopment of the Oak Grove Urban Renewal area (Bottle Cap Lots)
- Questions & Answers

The draft Oak Grove Zoning Bylaw is available for review at
<https://www.townofmedway.org/oak-grove-zoning-task-force-ogztf>

If you are not able to attend the Forum but have questions about the project or the draft zoning, please contact the Medway Community and Economic Development office at 508-321-4915.

The Oak Grove Zoning Community Forum is sponsored by:
Oak Grove Zoning Task Force
Medway Redevelopment Authority

PROJECT SCOPE AND SCHEDULE

Phase 1: Project Area Evaluation

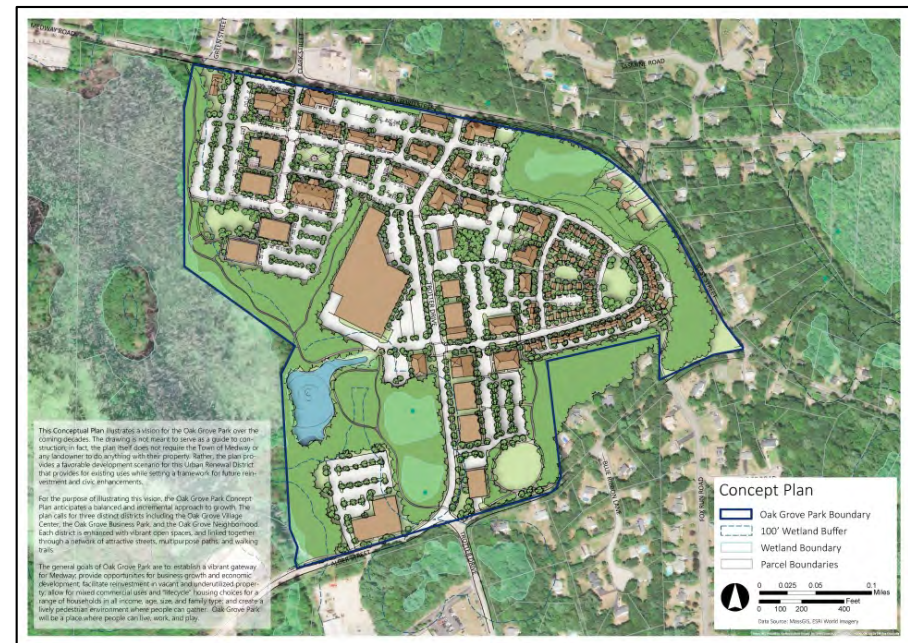
- Completed in June 2018

Phase 2: Visioning

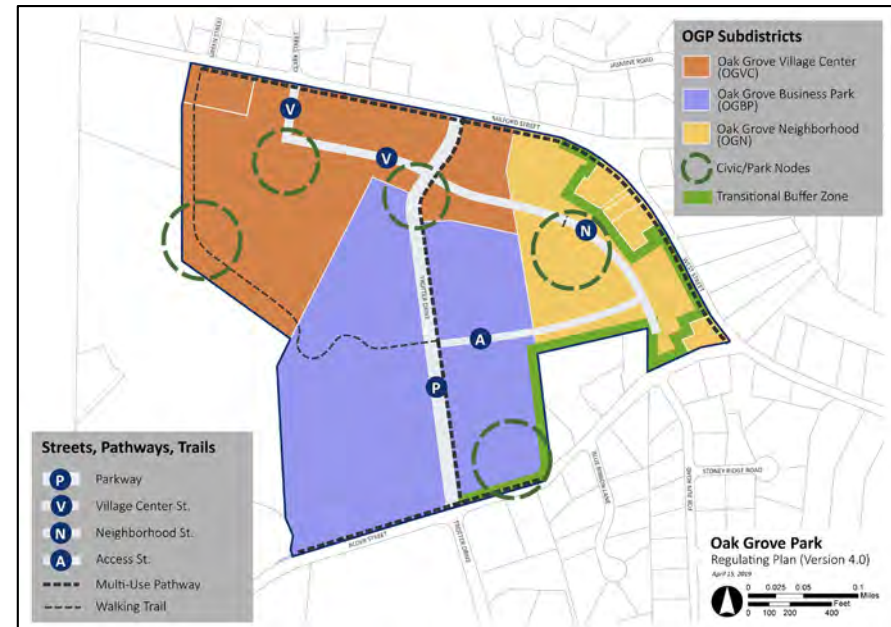
- Completed in August 2018

Phase 3: Prepare Zoning and Design Standards

- Drafted in Fall 2018 – Spring 2019

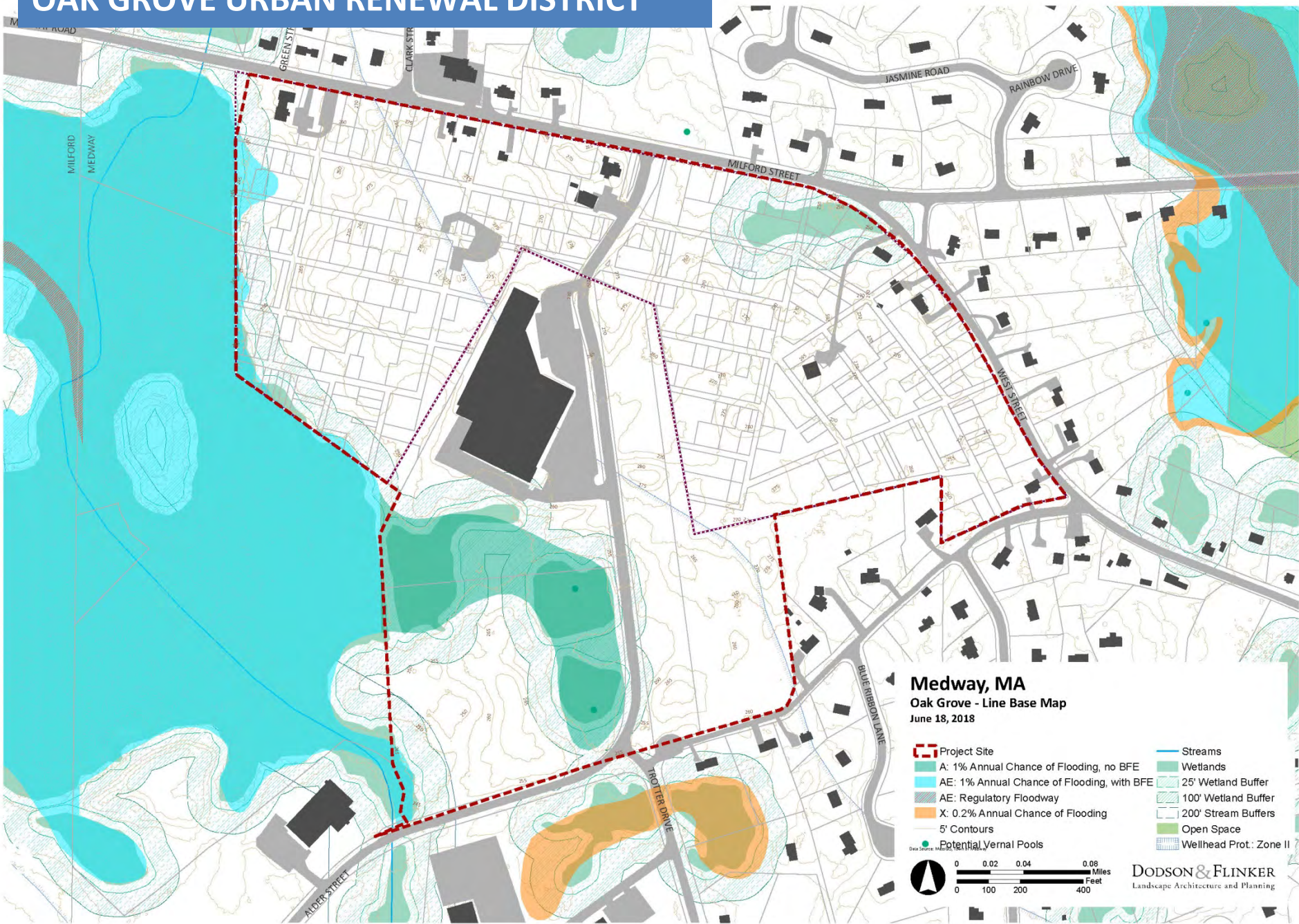


Concept Plan



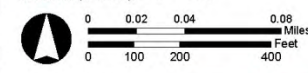
Zoning Plan

OAK GROVE URBAN RENEWAL DISTRICT



Medway, MA
Oak Grove - Line Base Map
 June 18, 2018

- Project Site
- A: 1% Annual Chance of Flooding, no BFE
- AE: 1% Annual Chance of Flooding, with BFE
- AE: Regulatory Floodway
- X: 0.2% Annual Chance of Flooding
- 5' Contours
- Potential Vernal Pools
- Wetlands
- 25' Wetland Buffer
- 100' Wetland Buffer
- 200' Stream Buffers
- Open Space
- Wellhead Prot: Zone II
- Streams



DODSON & FLINKER
 Landscape Architecture and Planning

MILFORD



OAK GROVE URBAN RENEWAL PLAN (URP) PROJECTED DEVELOPMENT

Total Development By Type

Proposed Use	Square Footage	# of Parking Spaces	Lot Size (Acres)
Commercial/Restaurant	12,000	40	2.04
Commercial/Hotel	60,000	250	3.24
Commercial Office and/or Retail	207,000	647	6.41
Commercial/Day Care	20,000	66	2.31
Flex Space/Office/Retail	97,000	370	8.3
Research and Development	36,000	135	3.55
Industrial	35,000	120	11.7
Multi-family Residential ¹	110 DU	240	9.63
Total	467,000	1,868	47.18

1. Multi-family Residential is expressed in terms of Dwelling Units (DU) rather than square footage.

OAK GROVE PARK PLAN

Phase 2: Visioning Process

- **Stakeholder Meetings & Public Workshop**
- **Task Force Workshop**
- **Concept Master Plan**
- **Zoning Outline**
- **Community Forum**

Advantages/Objectives of Visioning

- **Building Consensus on New Zoning Plan**
- **Marketing to Potential Investors**
- **Seeking Grants & Other Funding Resources**

Vision for the Oak Grove Area from the URP

- **Implement the Vision** for Redevelopment in the OGA URP
- Create a **strong gateway** for Medway with a positive identity and image.
- Sustain Medway's high **quality of life**.
- Facilitate a **broad mix of uses**: Housing; Business; Industry; and Open Space.
- Provide quality **employment opportunities**.
- Provide sustainable **business development opportunities**.
- Facilitate **entrepreneurship**.
- Increase in Medway's **tax base**.
- **Leverage area attributes** such as access to I-495 and regional highway network, MBTA commuter rail, local and regional workforce.
- **Minimize impacts** (environmental and social).
- **Expand housing choice** and opportunity for local residents



TASK FORCE VISIONING & SCENARIO BUILDING EXERCISES

OAK GROVE OVERALL CONCEPTUAL DEVELOPMENT PLAN

This Conceptual Plan illustrates a vision for the Oak Grove Park over the coming decades. The drawing is not meant to serve as a guide to construction; in fact, the plan itself does not require the Town of Medway or any landowner to do anything with their property. Rather, the plan provides a favorable development scenario for this Urban Renewal District that provides for existing uses while setting a framework for future reinvestment and civic enhancements.

For the purpose of illustrating this vision, the Oak Grove Park Concept Plan anticipates a balanced and incremental approach to growth. The plan calls for three distinct districts including the Oak Grove Village Center, the Oak Grove Business Park, and the Oak Grove Neighborhood. Each district is enhanced with vibrant open spaces, and linked together through a network of attractive streets, multipurpose paths, and walking trails.

The general goals of Oak Grove Park are to: establish a vibrant gateway for Medway; provide opportunities for business growth and economic development; facilitate reinvestment in vacant and underutilized property; allow for mixed commercial uses and "lifecycle" housing choices for a range of households in all income, age, size, and family type; and create a lively pedestrian environment where people can gather. Oak Grove Park will be a place where people can live, work, and play.

Concept Plan

-  Oak Grove Park Boundary
-  100' Wetland Buffer
-  Wetland Boundary
-  Parcel Boundaries



0 0.025 0.05 0.1 Miles
0 100 200 400 Feet

Data Source: MassGIS, ESRI World Imagery

OAK GROVE OVERALL CONCEPTUAL PLAN DEVELOPMENT PLAN

OGP Subdistricts





-  Oak Grove Village Center (OGVC)
-  Oak Grove Business Park (OGBP)
-  Oak Grove Neighborhood (OGN)
-  Civic/Park Nodes
-  Transitional Buffer Zone

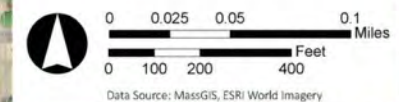
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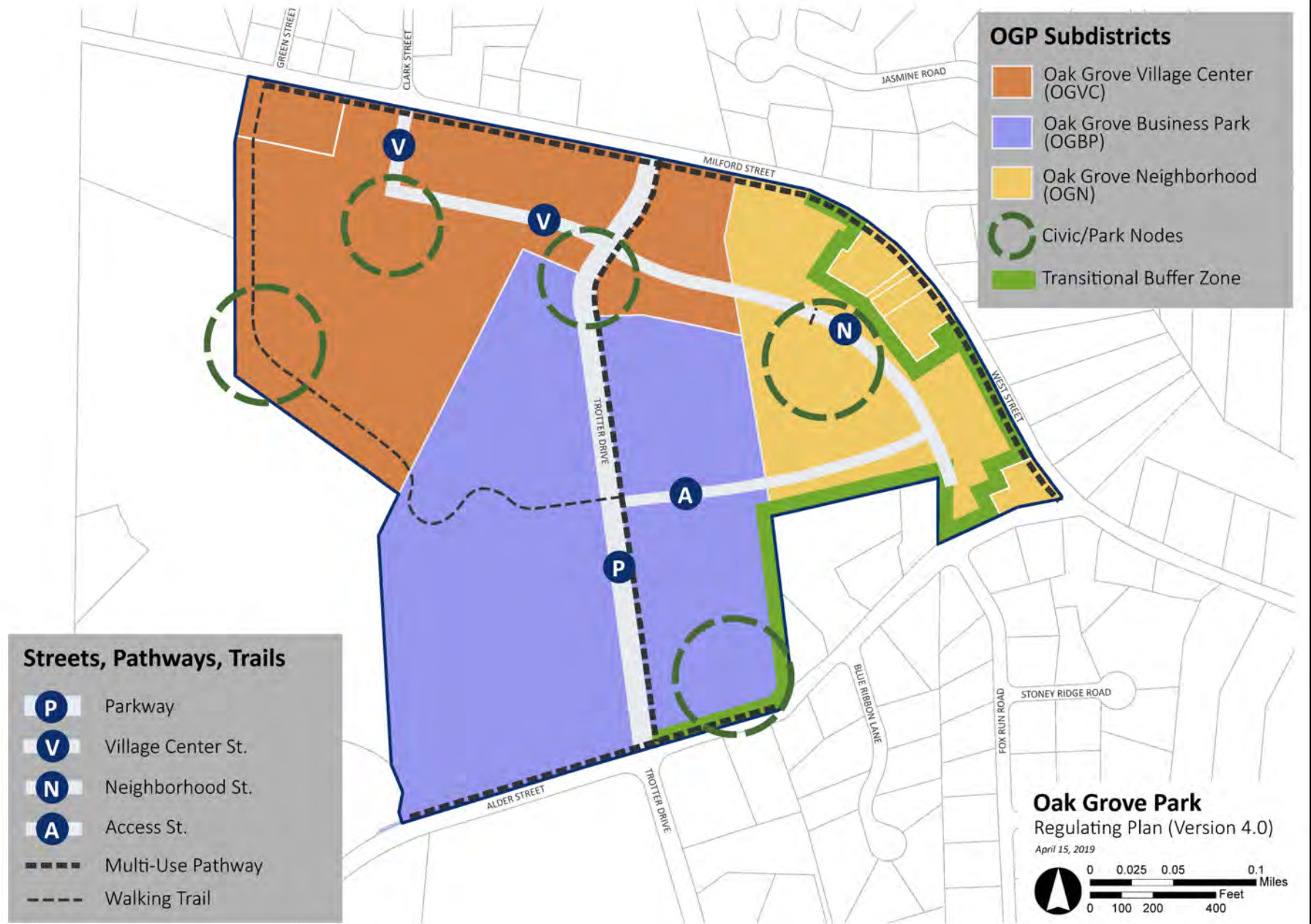
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ZONING MAP & REGULATING PLAN



OAK GROVE CONCEPT PLAN AND ZONING MAP

Oak Grove Village Center (OGVC)



EXAMPLE VILLAGE CENTER DEVELOPMENT



SOUTH COUNTY COMMONS (SOUTH KINGSTOWN, RI)

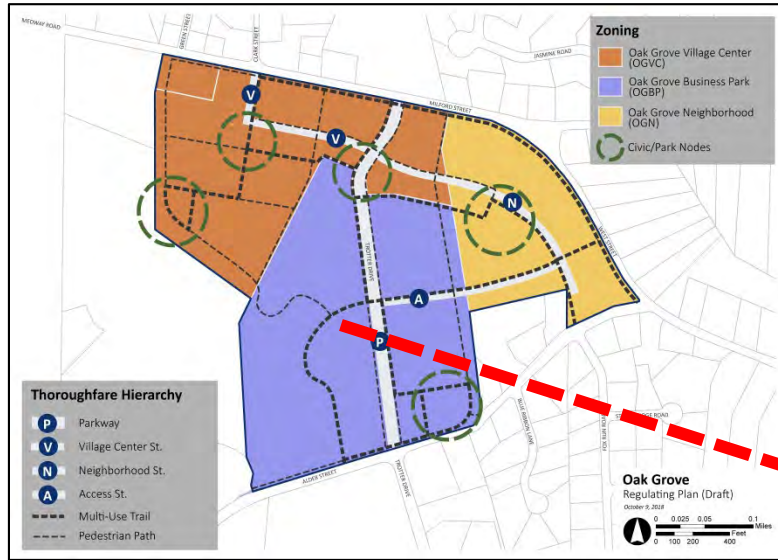
EXAMPLE VILLAGE CENTER DEVELOPMENT



WAYLAND TOWN CENTER

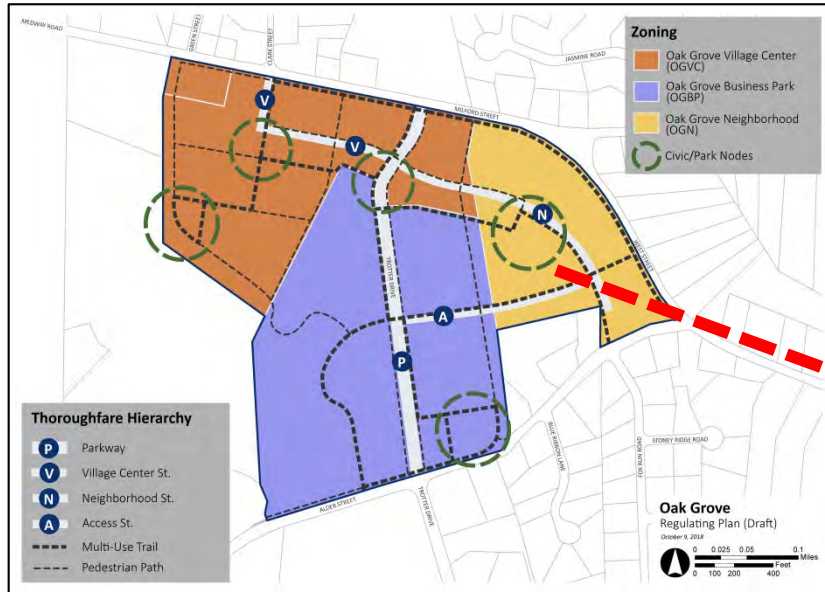
OAK GROVE CONCEPT PLAN AND ZONING MAP

Oak Grove Business Park (OGBP)



OAK GROVE OVERALL CONCEPTUAL PLAN DEVELOPMENT PLAN

Oak Grove Neighborhood (OGN)



EXAMPLE NEIGHBORHOOD DEVELOPMENT



RED MILL VILLAGE, NORTON, MA



VILLAGE HILL, NORTHAMPTON MA

EXAMPLE NEIGHBORHOOD DEVELOPMENT

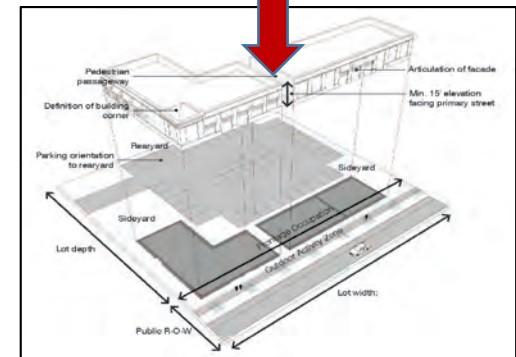
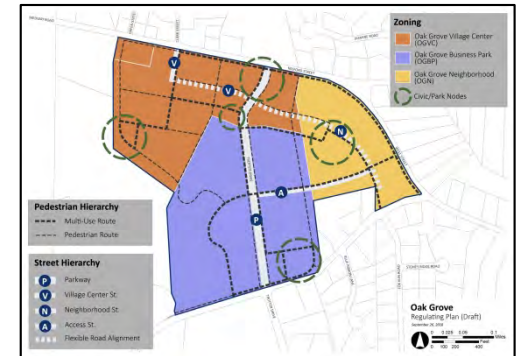
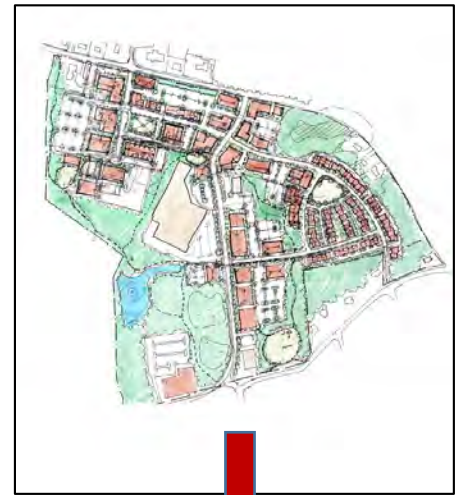


RIVERWALK COTTAGE COURT, W. CONCORD, MA

OAK GROVE PARK REZONING PROCESS

From Vision to Form-Based Zoning

- General Provisions: Definitions and Goals
- Zoning Map/Reg. Plan: Streets, Lots, Open Spaces, Frontage Zones, and Buffers.
- Uses: Residential, Commercial, Industrial, Mixed Use, and Civic.
- Building Forms: Types, Placement, Design.
- Public Realm: Complete Streets, Attractive Streetscapes, and Active Open Spaces
- Site Planning: Parking, Landscaping, Stormwater Design and Development Standards
- Integration: Clear and User- Friendly



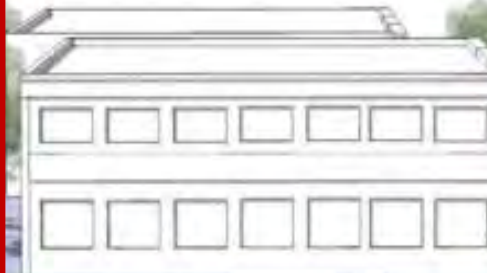
OAK GROVE PARK ZONING OUTLINE

Form-Based Zoning



Site Standards

- Parking Placement
- Ped/Veh. Access
- Landscaping
- Lighting/Screening
- Utilities
- Signage
- LID/Sustainability Stds



Building Standards

- Bldg. Placement
- Building Types
- Building Uses
- Bldg. Frontage Types
- Building Components
- Bldg. Height/Stepbacks
- Building Design Stds

Building Frontage Type



Street Standards

- Complete Street Hierarchy
- Streetscape Treatment
- Sidewalk Use/Activation
- On-Street Parking/Parklets
- Intermodal Facilities
- Utilities
- LID/Sustainability Stds

Open Space & Rec Types

- Parks, Playgrounds, Commons

Outdoor Amenity Spaces

- Yards
- Dining Terrace
- Green Roofs
- Courtyards
- Comm. Gardens
- Plazas
- Forecourts

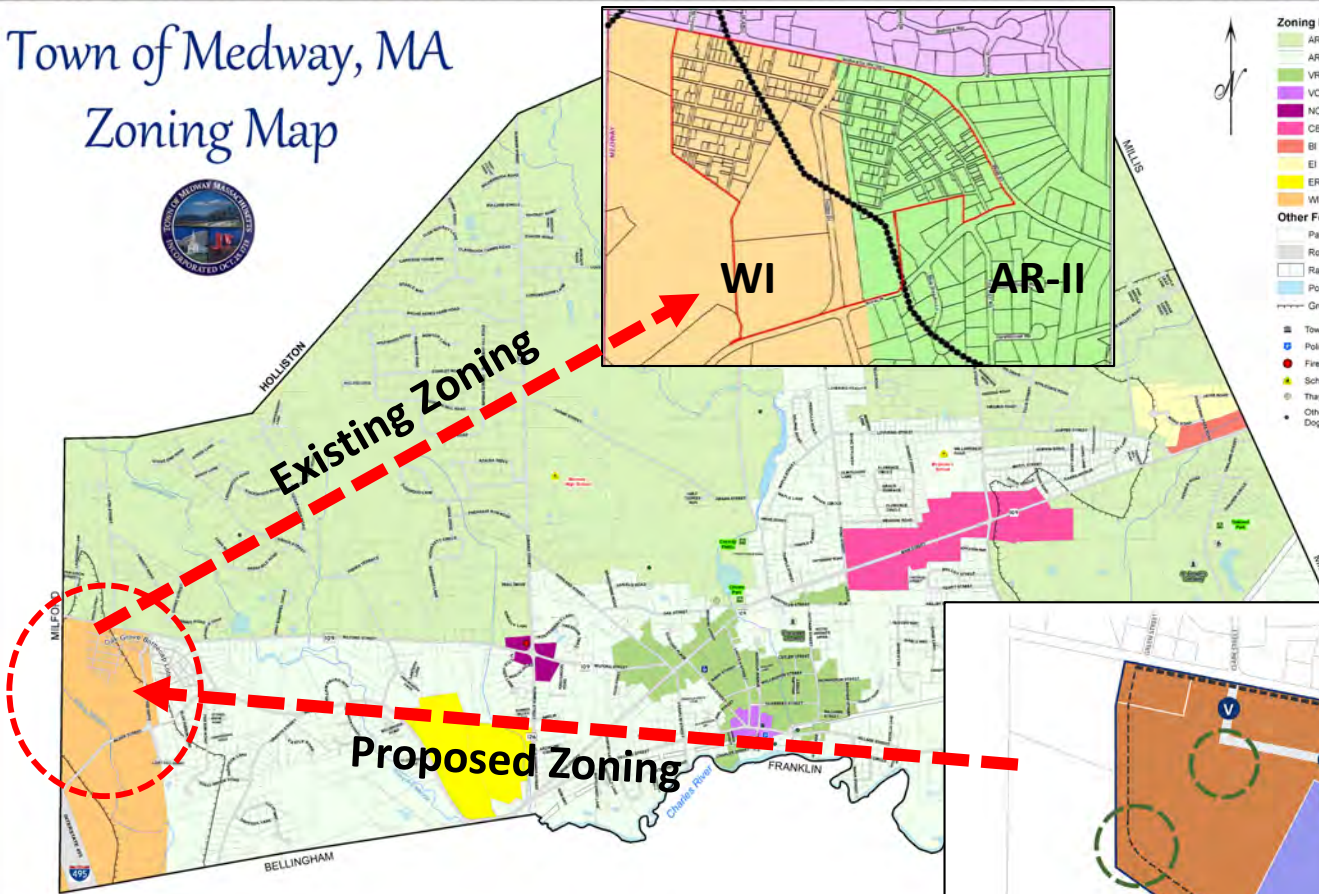
PRIVATE REALM

PUBLIC REALM

POPS

SECTION 4 – ADD OAK GROVE PARK ZONING DISTRICTS

Town of Medway, MA Zoning Map



- Zoning District**
- AR-I Agricultural Residential I
 - AR-II Agricultural Residential II
 - VR Village Residential
 - VC Village Commercial
 - NC Neighborhood Commercial
 - CB Central Business
 - BI Business Industrial
 - EI East Industrial
 - ER Energy Resource
 - WI West Industrial
- Other Features**
- Parcel Boundaries
 - Roads (Public & Private)
 - Rail ROW
 - Ponds, Rivers
 - Groundwater Protection District
 - Town Hall
 - Public Library
 - Police Station
 - Senior Center
 - Fire Stations
 - Parks, Fields
 - Schools
 - Cemeteries
 - Thayer House
 - Other Parks, Trails, Memorials, Dog Park, Picnic Areas

DIMENSIONAL REGULATIONS

Zoning District	Minimum Lot Size (sq. ft.)	Minimum Frontage (ft.)	Minimum Setbacks (ft.) ^c Front, Side, Rear
AR-I	44,000	180	35, 15, 15
AR-II	22,500	150	35, 15, 15
VR	30,000 ^{a,b}	150	20', 10', 10'
CB	22,500	NA	10, 10/25', 25
VC	10,000	NA	20', 10', 10'
NC	20,000	NA	35, 15, 15
BI	20,000	75	25, 15, 15
EI	20,000	100	30, 20, 30
ER	20,000	150	30, 20, 30
WI	40,000	100	30, 20, 30

Be advised that not all Dimensional and Density Regulations are included in the table above. Please refer to the Medway Zoning Bylaw, Section 6.1 Dimensional and Density Regulations.

ADAPTIVE USE OVERLAY DISTRICT (AUOD)

To promote economic development and to preserve community character by encouraging conversion of existing residential buildings in certain older neighborhoods to limited business and mixed uses. Special permit use.

MULTIFAMILY HOUSING OVERLAY DISTRICT (MHOD)

To encourage the provision of a diversity of housing types, to promote pedestrian oriented developments, and to increase the number of affordable housing units in a designated area by authorizing multifamily dwelling units and developments in a designated area. Special permit use.

FLOOD PLAIN DISTRICT

To prevent public emergencies resulting from water quality contamination

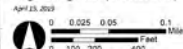
OGP Subdistricts

- Oak Grove Village Center (OGVC)
- Oak Grove Business Park (OGBP)
- Oak Grove Neighborhood (OGN)
- Civic/Park Nodes
- Transitional Buffer Zone

Streets, Pathways, Trails

- P Parkway
- V Village Center St.
- N Neighborhood St.
- A Access St.
- Multi-Use Pathway
- Walking Trail

**Oak Grove Park
Regulating Plan (Version 4.0)**
April 23, 2023



OAK GROVE ZONING OUTLINE

SECTION 5. USE REGULATIONS

AMEND:

Table 1 - Schedule of Uses

- ✓ Oak Grove Village Center
- ✓ Oak Grove Business Park
- ✓ Oak Grove Neighborhood

TABLE OF USES – November 29, 2018 Medway Zoning Bylaw

PROPOSED AMENDMENT IN BLUE - VERSION 5.0 04.16.19

TABLE 1: SCHEDULE OF USES

	FORM-BASED DISTRICTS		
	OGVC	OGBP	OGN
A. AGRICULTURAL, CONSERVATION, RECREATION USES			
Agriculture, excluding piggeries and fur farms on less than 5 acres of land, and excluding livestock on less than 44,000 sq. ft. of land.	N	N	Y
Poultry on less than 1 acre. Minimum lot size for poultry is 5,000 sq. ft. subject to Board of Health regulations.	N	N	Y
Commercial Greenhouse	N	PB	N
Recreational facility	Y	Y	PB
Livery riding stable	N	PB	PB
B. PUBLIC SERVICE			
Municipal use	Y	Y	Y
C. RESIDENTIAL USES			
Detached single-family house (Amended 5-7-17)	N	N	Y ¹
Assisted living residence facility	PB	N	N
Multifamily dwellings and multifamily developments subject to Section 5.6.2 E and Section 5.6.4 (Added 11/16/15) and Section 9.0	Y ²	N	Y
Multifamily units in combination with a commercial use that is permitted or allowed by special permit, subject to Section 5.4.1. and Section 9.0	Y	N	N
Long-term care facility	PB	N	PB
C. RESIDENTIAL USES			
Accessory Uses			
Home-based business, subject to Section 8.3	Y	N	Y
Greenhouse	Y	N	Y

OAK GROVE ZONING OUTLINE

SECTION 5. USE REGULATIONS

AMEND:

Table 1 - Schedule of Uses

- ✓ Oak Grove Village Center
- ✓ Oak Grove Business Park
- ✓ Oak Grove Neighborhood

TABLE 1: SCHEDULE OF USES			
	FORM-BASED DISTRICTS		
	OGVC	OGBP	OGN
D. BUSINESS USES			
<i>Retail Trade</i>			
Retail bakery <i>(Added 11/16/15)</i>	Y	Y	N
Retail sales	Y	Y	N
Retail store larger than 20,000 sq. ft.	PB	PB	N
Retail sales, outdoors	N	PB	N
Shopping center/multi-tenant development	PB	PB	N
Auto parts	N	N	N
Florist	Y	Y	N
Indoor sales of motor vehicles, trailers, boats, farm equipment	N	PB	N
<i>Hospitality and Food Services</i>			
Restaurant providing food within a building	Y	Y	N
Restaurant providing live entertainment	Y	Y	N
Brew pub	Y	Y	N
Bed and breakfast	Y	N	PB
Inn	Y	N	N
<i>Cultural and Entertainment Uses</i>			
Studio	Y	Y	N
Museum	Y	PB	N
Movie theatre/cinema	Y	PB	N
Theatre	Y	PB	N
Gallery	Y	PB	N
Commercial indoor amusement	Y	Y	N
<i>Professional Uses and Financial Services</i>			
Financial institution	Y	Y	N
Professional or business office	Y	Y	N
<i>Services</i>			
Personal care service establishments	Y	Y	N
Service establishment <i>(amended 11-13-17)</i>	Y	Y	N
Doggie day care	N	Y	N
Repair shop	Y	Y	N
Furniture Repair	N	Y	N
Educational/instructional facility, commercial	Y	PB	N
Funeral home	N	N	N
Veterinary hospital	N	PB	N
Kennel	N	PB	N
Medical office or clinic	Y	Y	N
Adult day care facility, subject to Section 8.5	N	N	N
<i>Automotive Uses</i>			
Car wash	N	PB	N
Vehicle fuel station with convenience store	PB	N	N
Vehicle repair	N	Y	N
Auto body shop	N	Y	N
<i>Accessory Uses</i>			
Outdoor display	Y	Y	N
Outdoor storage of materials and parking of vehicles	N	PB	N

OAK GROVE ZONING OUTLINE

SECTION 5. USE REGULATIONS

AMEND:

Table 1 - Schedule of Uses

- ✓ Oak Grove Village Center
- ✓ Oak Grove Business Park
- ✓ Oak Grove Neighborhood

TABLE 1: SCHEDULE OF USES			
	FORM-BASED DISTRICTS		
	OGVC	OGBP	OGN
E. INDUSTRIAL AND RELATED USES			
Warehouse/distribution facility	N	PB	N
Wholesale bakery <i>(Added 11/16/15)</i>	N	Y	N
Wholesale showroom or office, including warehouse	N	Y	N
Manufacturing <i>(Amended 5/8/17)</i>	N	Y	N
Light Manufacturing <i>(Added 5-8-17)</i>	N	Y	N
Contractor's yard	N	PB	N
Research and development	N	Y	N
Brewery	N	Y	N
Research and development and/or manufacturing of renewable or alternative energy products	N	Y	N
Accessory Uses			
Outdoor storage of materials and parking of vehicles and equipment associated with a business operated in a building on the premises	N	PB	N
F. INSTITUTIONAL USES			
Community center	Y	PB	PB
Lodge or club	Y	Y	N

SECTION 9 - OAK GROVE PARK ZONING DISTRICTS

9.1. PURPOSE & APPLICABILITY

A. Purpose

B. Designated Districts

1. Oak Grove Village Center (OGVC)
2. Oak Grove Business Park (OGBP)
3. Oak Grove Neighborhood (OGN)

9.2. REGULATING PLAN

A. Civic and Park Nodes.

B. Streets, Pathways, and Trails.

C. Transitional Buffer Zones.

D. Pedestrian Frontage Zones.

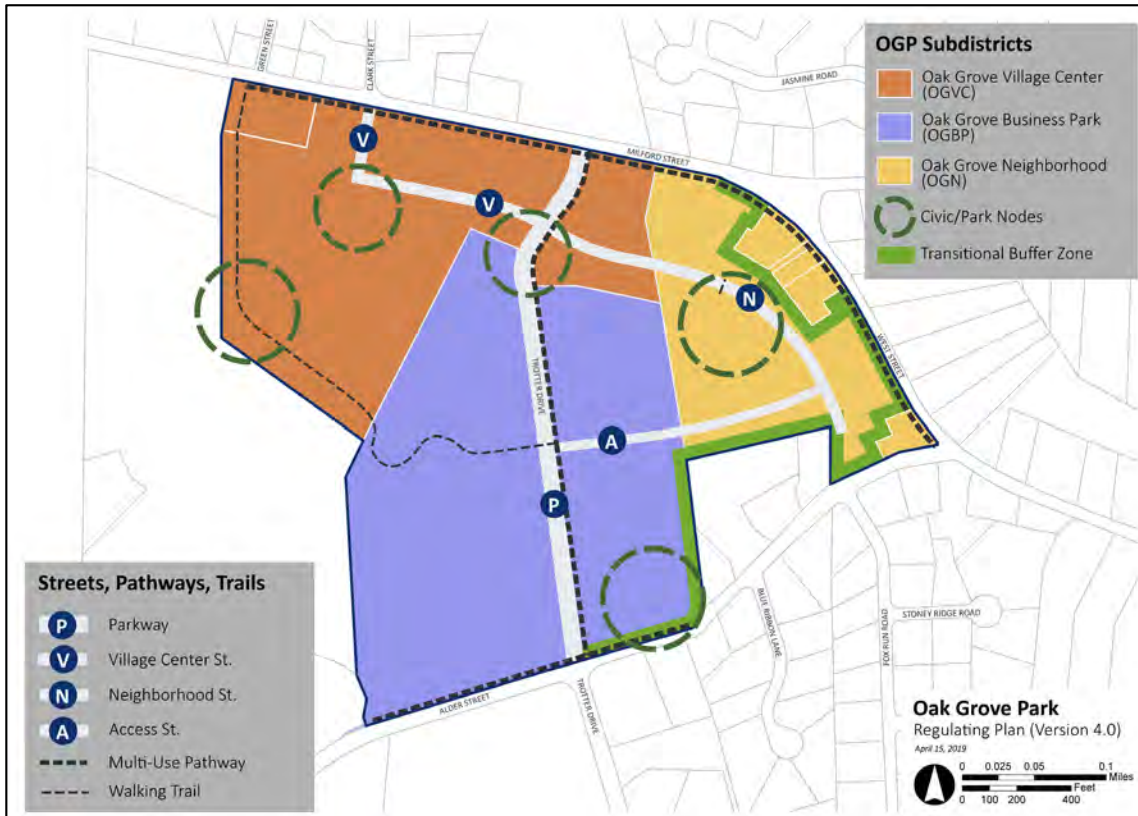
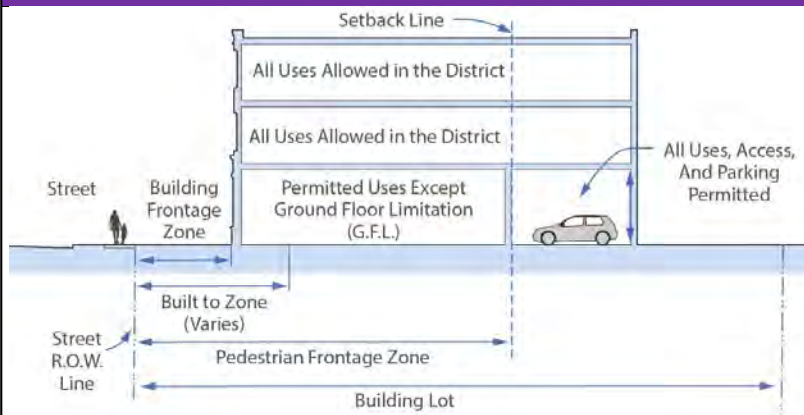


DIAGRAM 9.2.A.2. - PEDESTRIAN FRONTAGE ZONES



SECTION 9 - OAK GROVE PARK ZONING DISTRICTS

9.3. GENERAL STANDARDS FOR ALL BUILDINGS AND LOTS

A. Building Placement and Orientation

B. Building Height

C. Building Proportions and Façade Composition

D. Roof Types and Design

E. Exterior Treatments

DIAGRAM 9.3.A.3 - BUILDING PLACEMENT ON THE LOT

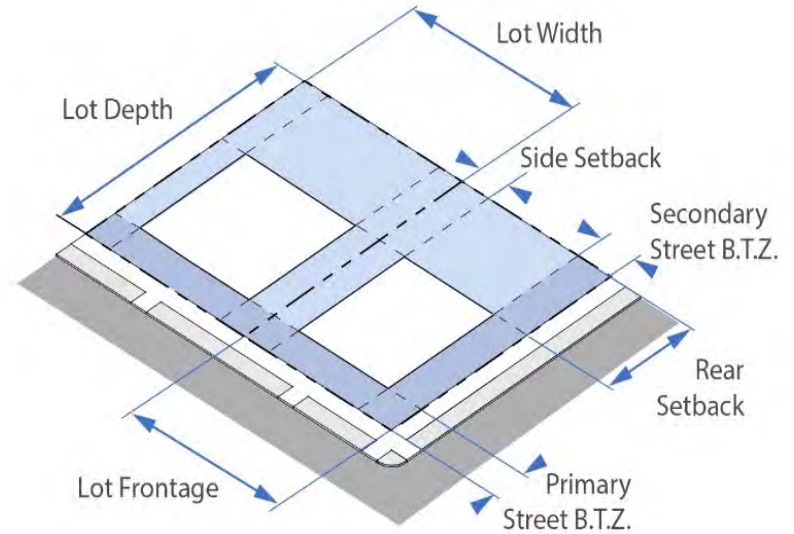
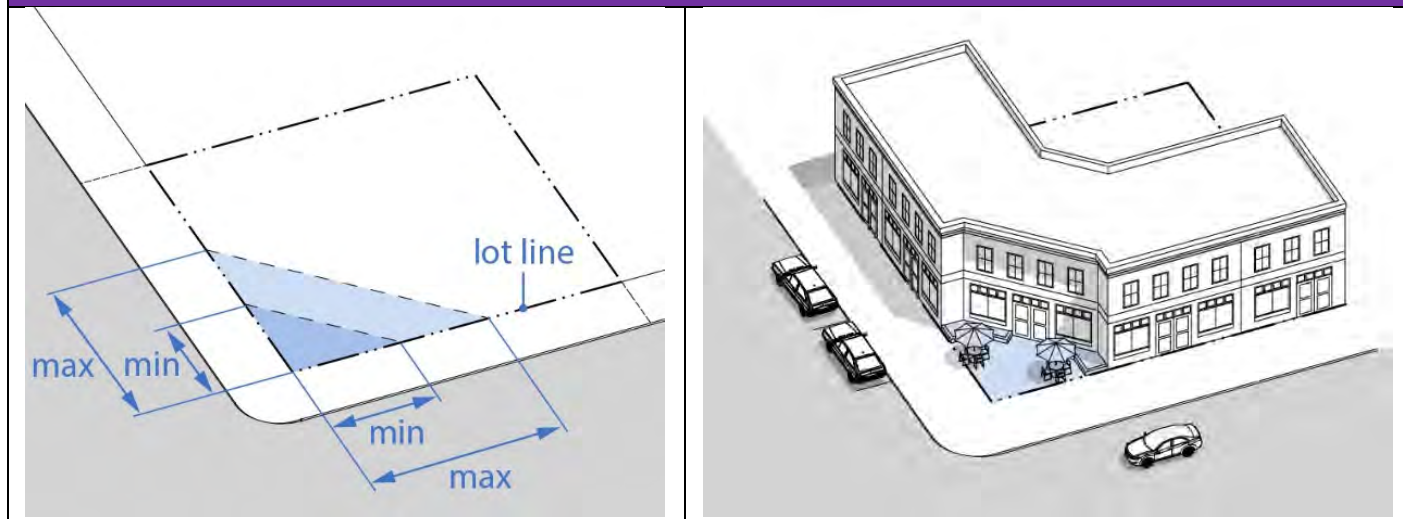


DIAGRAM 9.3.A.6 - FAÇADE ORIENTATION AND CORNER LOT SITE CLEARANCE



SECTION 9 - OAK GROVE PARK ZONING DISTRICTS

9.3. GENERAL STANDARDS FOR ALL BUILDINGS AND LOTS

A. Building Placement and Orientation

B. Building Height

C. Building Proportions and Façade Composition

D. Roof Types and Design

E. Exterior Treatments

TABLE 9.3.B.6 - BUILDING SETBACK AND STEPBACK

Distance from Street Right-Of-Way Line	Maximum Building Height by Street Type (See Section 9.7.B)			
	Neighborhood Street	Village Center Street	Trotter Drive	Access Street
At Street Line (0 Feet)	0	30	30	A 5-Foot Setback from the Street Line and based on the Maximum Height for Building Type in Section 9.4.C.
5 Feet	20	35	35	
10 Feet	25	40	40	
15 Feet	35	45	45	
20 Feet	35	50	50	
25 Feet	40	55	55	
30 Feet or More	40	60	60	

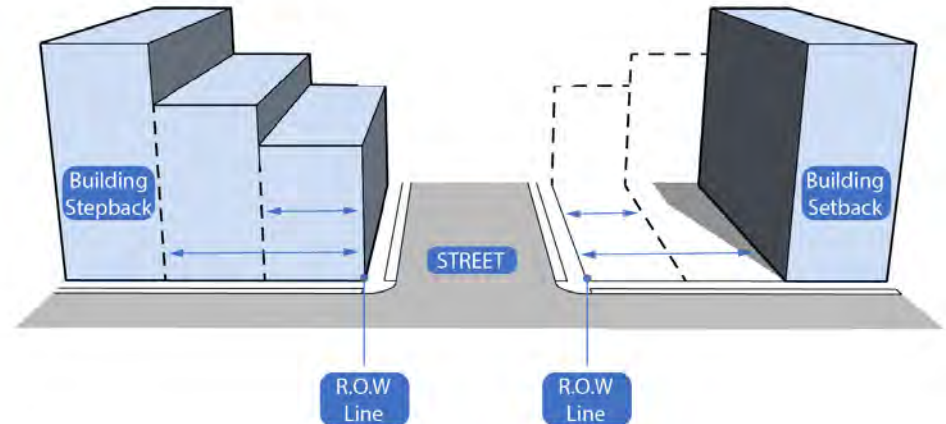


DIAGRAM 9.3.B.2 - BUILDING HEIGHT WITH A FLAT ROOF AND PITCHED ROOF



SECTION 9 - OAK GROVE PARK ZONING DISTRICTS

9.3. GENERAL STANDARDS FOR ALL BUILDINGS AND LOTS

A. Building Placement and Orientation

B. Building Height

C. Building Proportions and Façade Composition

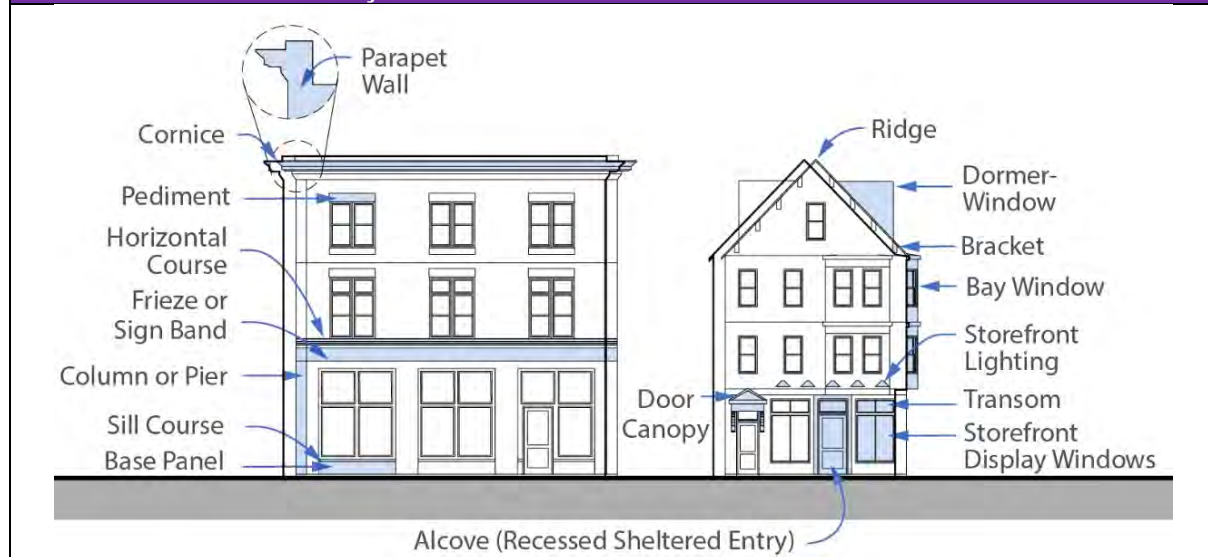
D. Roof Types and Design

E. Exterior Treatments

DIAGRAM 9.3.C.3. - GROUND AND UPPER FLOOR TRANSPARENCY



DIAGRAM 9.3.C.3. - FAÇADE COMPONENTS AND ARCHITECTURAL FEATURES



SECTION 9 - OAK GROVE PARK ZONING DISTRICTS

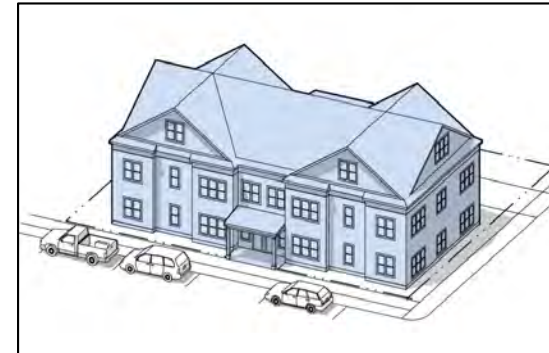
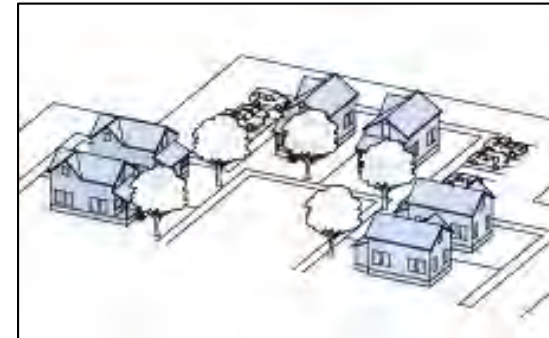
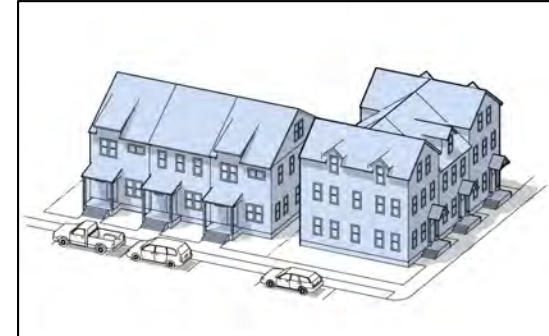
9.4 BUILDING TYPES, USE AND DESIGN STANDARDS

A. Allowable Uses

B. Determination of Building Type

C. Allowed Building Types

1. Rowhouse on a Separate Lot
2. Rowhouse on a Common Lot
3. Cottage
4. Multi-Family Building
5. Mixed Use Building
6. General Commercial Building
7. Hotel
8. Gas Station/Convenience Store
9. Fabrication or Flex Building
10. Civic or Community Buildings



SECTION 9 - OAK GROVE PARK ZONING DISTRICTS

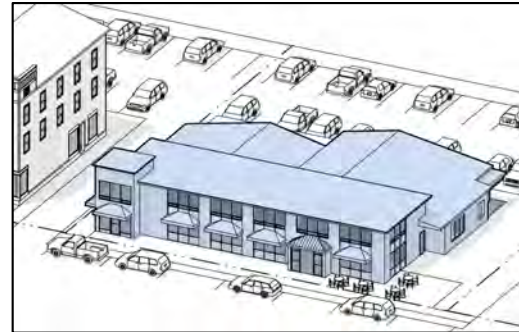
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SECTION 9 - OAK GROVE PARK ZONING DISTRICTS

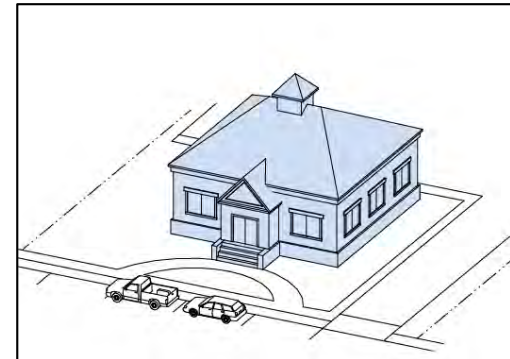
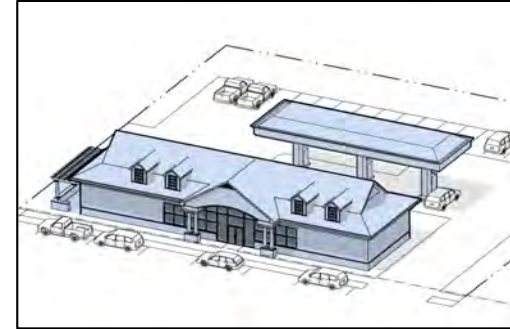
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SECTION 9 - OAK GROVE PARK ZONING DISTRICTS

9.5 DEVELOPMENT STANDARDS

A. Development Tract

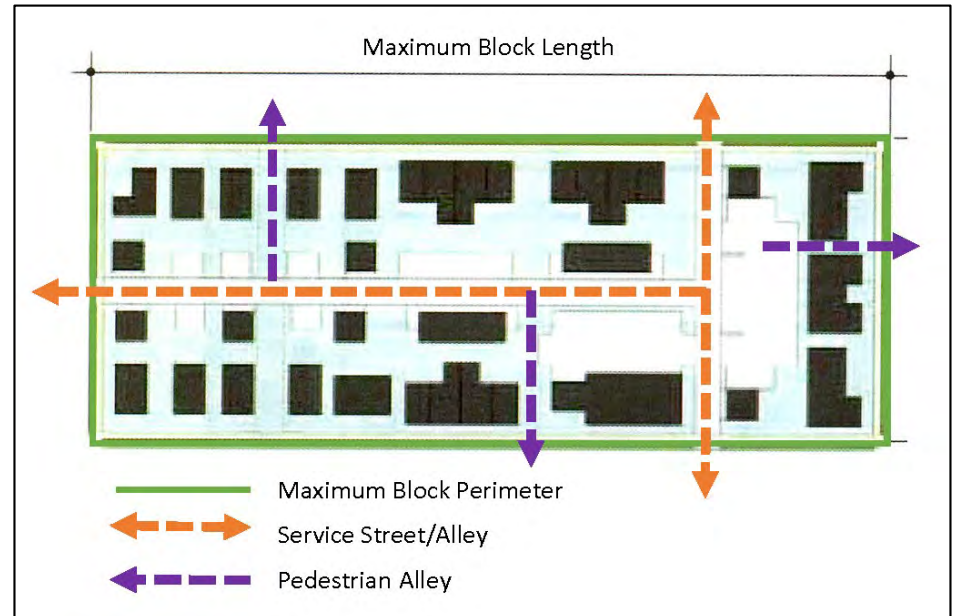
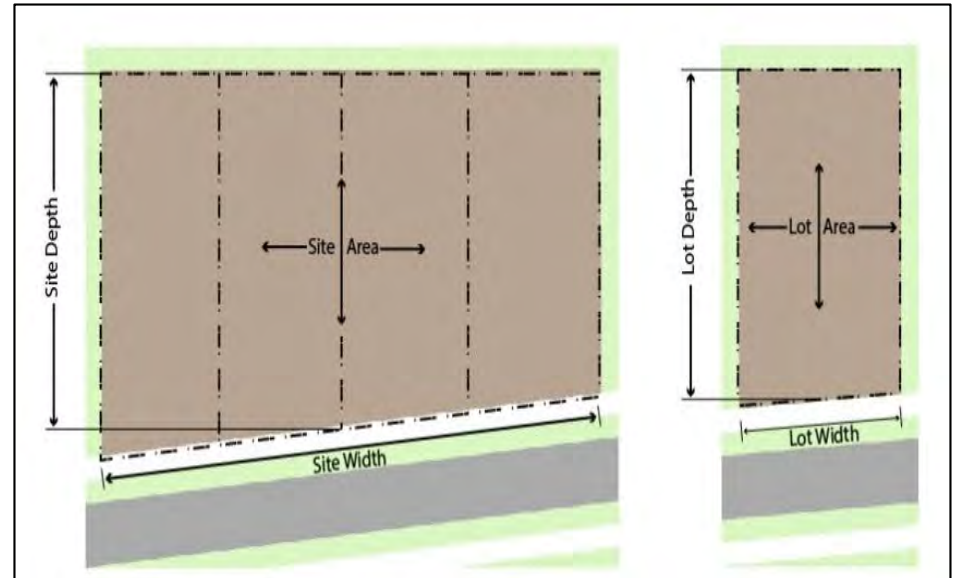
1. Definition of Development Tract
2. Tract Area
3. Permitted Building Types
4. Access
5. Street Frontage
6. Outdoor Amenity Space

B. Development Types

1. General Industrial Development
2. General Commercial Development
3. Mixed Use Development
4. General Residential Development
5. Pocket Neighborhood

C. Development Block Standards

1. Size and Dimension
2. Access and Utilities



SECTION 9 - OAK GROVE PARK ZONING DISTRICTS

9.5 DEVELOPMENT STANDARDS

D. Parking Requirements

1. Purpose and Intent
2. Applicability

Refer to Section 7.1.1: Parking
Requirements amended in ATM 05.13.19

E. Site Landscaping

Refer to PEDC Chapter 200: Site Plans- Rules
& Regulations (Sec. 205-9)

F. Utilities

1. Public Utilities
2. Trash and Service Areas

Underground Utilities and Screened Service
Areas

G. Sustainable Site Design Standards

Refer Chapter 200, Sec. 205-4; Art. 26 –
Medway Stormwater Management Bylaw

H. Site Improvement Guidelines

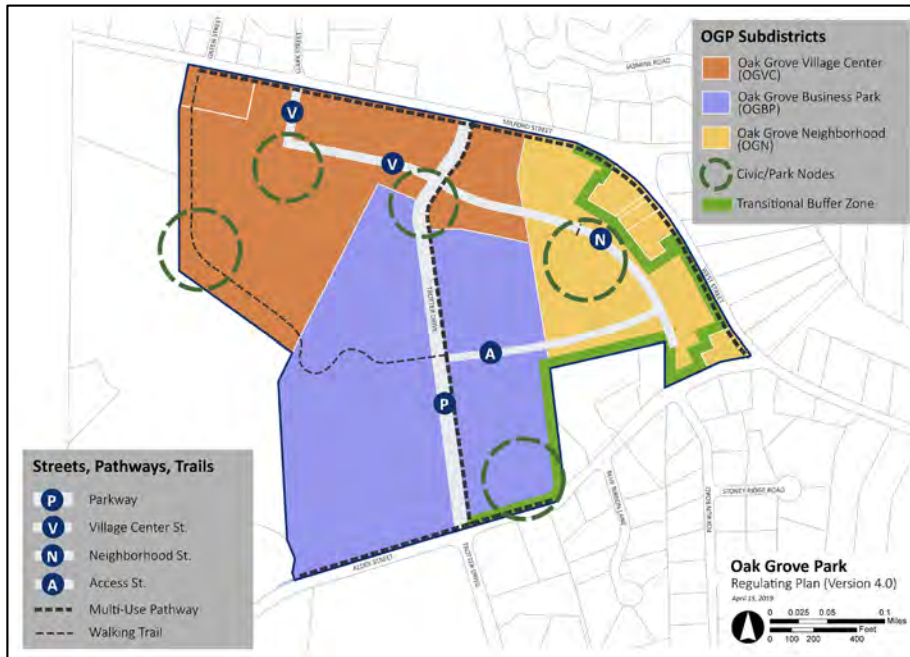
Refer to Medway Design Review Guidelines

SECTION 9 - OAK GROVE PARK ZONING DISTRICTS

9.6 OUTDOOR AMENITY SPACE

A. General Standards

1. Outdoor Amenity Space Types
 - a. Civic Space (CS)
 - b. Publicly Oriented Private Spaces (POPS)
 - c. Private Open Space (PS)
2. Required Outdoor Amenity Space
3. Determination of Outdoor Amenity Space



Civic Space (CS)



Private Open Space (PS)



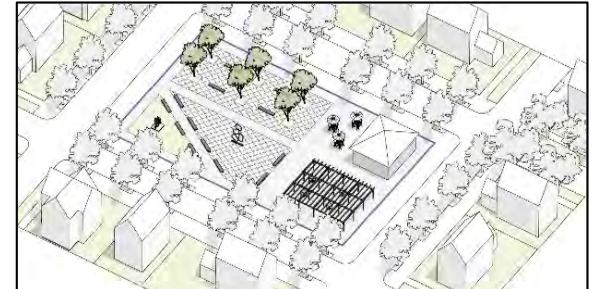
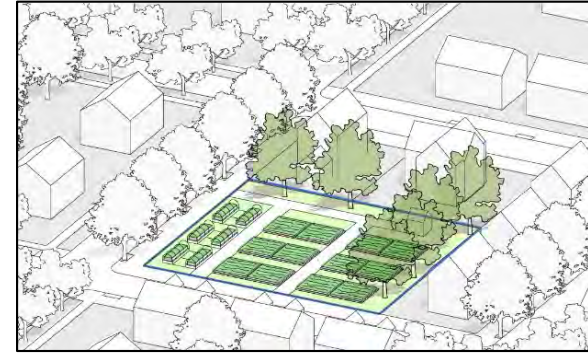
Publicly Oriented Private Spaces (POPS)

SECTION 9 - OAK GROVE PARK ZONING DISTRICTS

9.6 OUTDOOR AMENITY SPACE

B. Permitted Outdoor Amenity Spaces

1. Private Yard
2. Dooryard
3. Forecourt
4. Community Garden
5. Courtyard
6. Plaza or Square
7. Pocket Park or Playground
8. Athletic Field or Ball Court
9. Common or Green
10. Neighborhood Park/Preserve
11. Pathway
12. Pedestrian Passage
13. Outdoor Dining
14. Rooftop Terrace

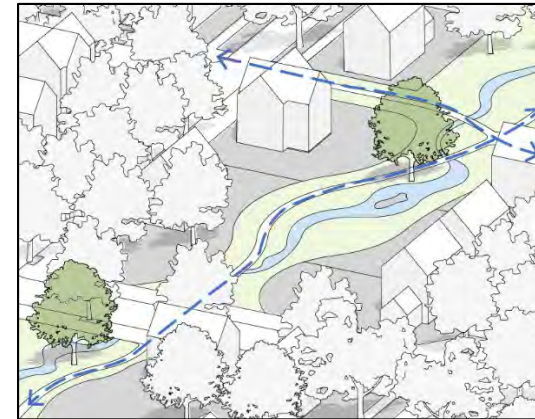
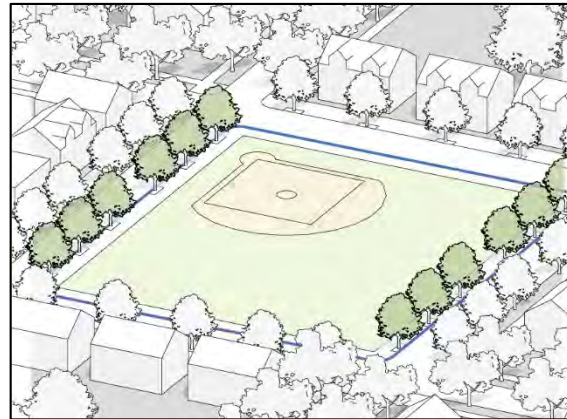
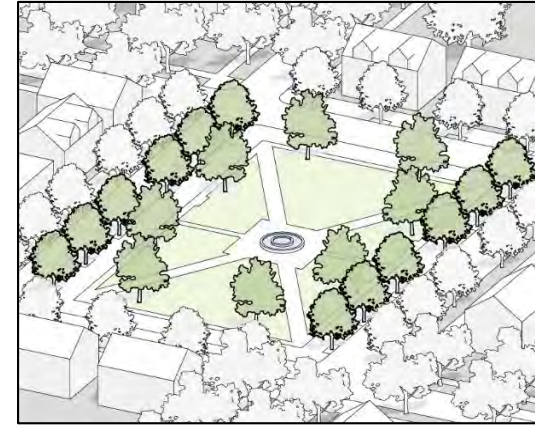
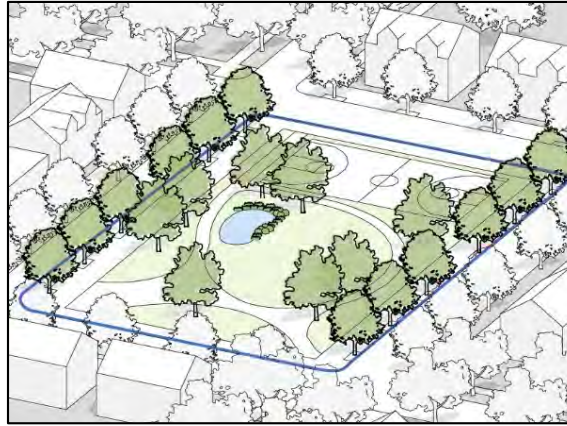


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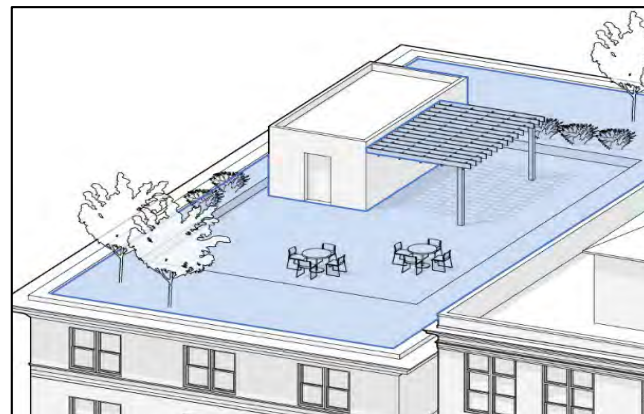
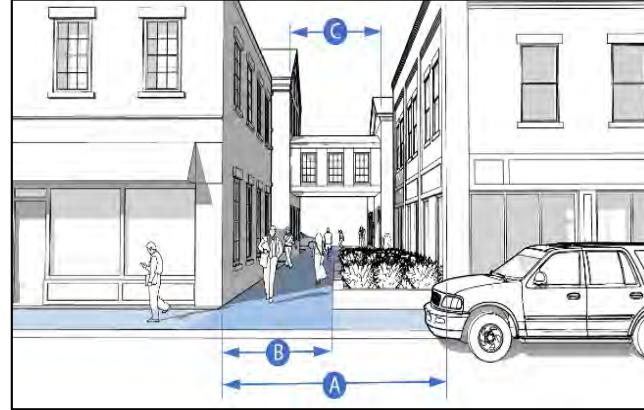


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14. Rooftop Terrace



SECTION 9 - OAK GROVE PARK ZONING DISTRICTS

9.7 PUBLIC REALM STANDARDS

A. Purpose

B. Street & Pathway Design Standards

1. Construction Standards
2. Design Standards
3. Vehicle Travel Lanes
4. On-Street Parking Lanes
5. Sidewalks.
6. Parking Lane
7. Curb Extensions (Bulb-Outs)
8. Street Trees.
9. Driveway and Sidewalk Crossings.
10. Multi-Use Pathways and Walking Trails

C. Public Realm Interface

1. Building Frontage Zones
2. Building Interface within ROW
3. Parklets
4. Pedestrian Passages
5. Signs

TABLE 9.7.B.10. – STREET AND PATHWAY DESIGN STANDARDS


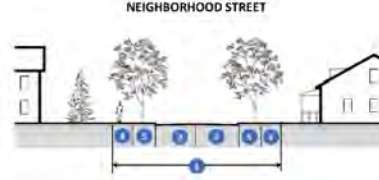
Street Component		
	Trotter Drive	Village Center Street
① Street Right-Of-Way	50 Ft. Minimum	50 Ft. Minimum
② Travel Lane	12 Ft.	11 Ft.
③ Parking Lane	Prohibited	8 Ft. (Option on one or both sides of the street)
④ Sidewalks		
4A. Public Frontage Zone	Optional (4' min. if provided)	Optional (4' Min. if Provided)
4B. Walkway Zone	5 Ft. Minimum both sides of street	5 Ft. Minimum both sides of street
4C. Furnishing & Utility Zone	Optional (4' min. if provided)	4 Ft. Minimum both sides of street
⑤ Tree Belt	8 Ft. Minimum	Optional (4' Min. if Provided)
⑥ Multi-Use Pathway	Optional on 60' Min. ROW; 10 Ft. Min. if Provided and 12' Optimal	Prohibited

TABLE 9.7.B.10. – STREET AND PATHWAY DESIGN STANDARDS

Street Component		
	Neighborhood Street	Access Street
① Street Right-Of-Way	40 Ft. Minimum	25 Ft Minimum
② Travel Lane	11 Ft.	10 Ft.
③ Parking Lane	Not required	Prohibited
④ Sidewalks		
4A. Public Frontage Zone	Prohibited	Prohibited
4B. Walkway Zone	5 Ft. Minimum both sides	1 Side/5 Ft. Minimum
4C. Furnishing & Utility Zone	Prohibited	Prohibited
⑤ Tree Belt	5 Ft. Minimum	Prohibited
⑥ Multi-Use Pathway	Optional	Prohibited

SECTION 9 - OAK GROVE PARK ZONING DISTRICTS

9.7 PUBLIC REALM STANDARDS

A. Purpose

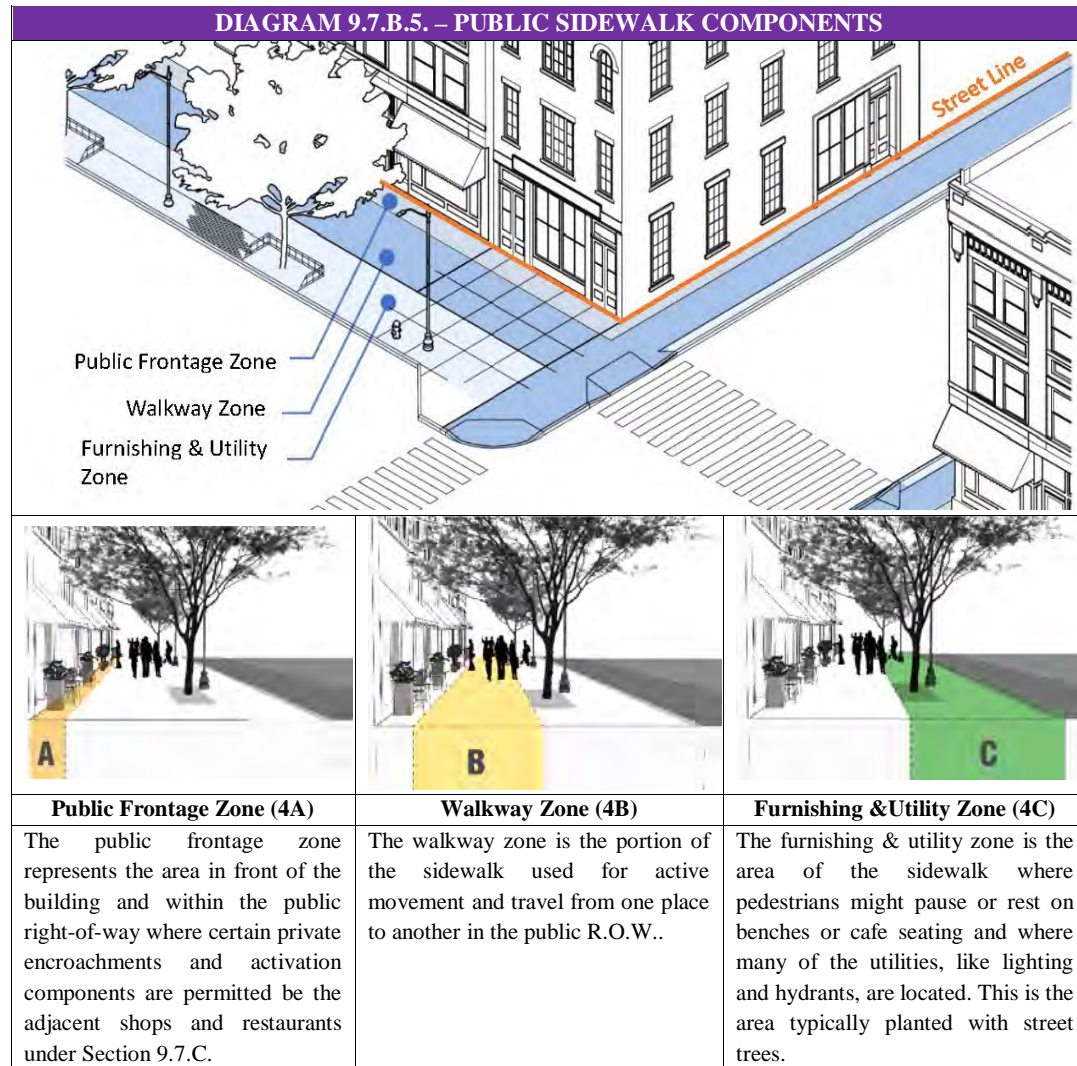
B. Street & Pathway Design Standards

1. Construction Standards
2. Design Standards
3. Vehicle Travel Lanes
4. On-Street Parking Lanes
5. Sidewalks.
6. Street Enhancement Zones
7. Curb Extensions (Bulb-Outs)
8. Street Trees.
9. Driveway and Sidewalk Crossings.
10. Multi-Use Pathways and Walking Trails

C. Public Realm Interface

1. Building Frontage Zones
2. Building Interface within ROW
3. Parklets
4. Pedestrian Passages
5. Signs

DIAGRAM 9.7.B.5. – PUBLIC SIDEWALK COMPONENTS



SECTION 9 - OAK GROVE PARK ZONING DISTRICTS

9.7 PUBLIC REALM STANDARDS

A. Purpose

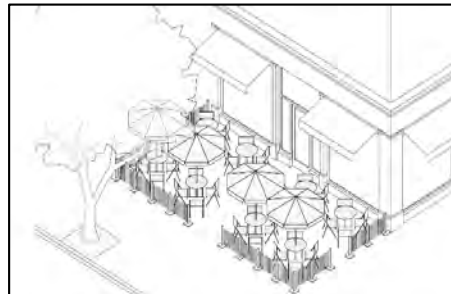
B. Street & Pathway Design Standard

1. Construction Standards
2. Design Standards
3. Vehicle Travel Lanes
4. On-Street Parking Lanes
5. Sidewalks.
6. Street Enhancement Zones
7. Curb Extensions (Bulb-Outs)
8. Street Trees.
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C. Public Realm Interface

1. Building Frontage Zones
2. Building Interface within ROW
3. Parklets
4. Pedestrian Passages
5. Signs

DIAGRAM 9.7.C.1. – BUILDING FRONTAGE ZONES



SECTION 9 - OAK GROVE PARK ZONING DISTRICTS

9.8 DENSITY AND BULK STANDARDS

A. Base Residential Density

B. Density Bonus Requirements

1. General Requirement
2. Approval of Density Bonus Improvements

9.9 DESIGN WAIVERS AND SPECIAL PERMIT CRITERIA

A. Purpose

B. Review Criteria

C. Conditions

TABLE 9.8.A.. - RESIDENTIAL DENSITY BY ZONING DISTRICT			
BUILDING TYPES	BY RIGHT/SPECIAL PERMIT UNITS PER 44,000 S.F.		
	OGVC	OGN	OGBP
Cottage	N/A	8 by right/16 special permit (“s.p”).	N/A
Rowhouse	12 by right/16 s.p.	12 by right/ 16 s.p.	N/A
Multi-Family Building	20 by right/ 24 s.p.	20 by right/ 24 s.p.	N/A
Mixed-Use Buildings	20 by right/ 24 s.p.	20 by right/ 24 s.p.	N/A

OAK GROVE PARK

ZONING REGULATIONS & DESIGN STANDARDS

Town of Medway, MA

COMMUNITY FORUM

Oak Grove Zoning Task Force

June 10, 2019

Consulting Team:

- Brovitz Community Planning & Design
- Dodson & Flinker



Oak Grove Zoning Community Forum

Monday, June 10, 2019 @ 7 PM
(Refreshments & socializing at 6:30 pm)

Thayer Homestead
2B Oak Street – Medway
Please, no parking on Oak Street.

- Presentation by Ted Brovitz, the Town's Oak Grove zoning consultant about proposed zoning for the redevelopment of the Oak Grove Urban Renewal area (Bottle Cap Lots)
- Questions & Answers

The draft Oak Grove Zoning Bylaw is available for review at
<https://www.townofmedway.org/oak-grove-zoning-task-force-ogztf>

If you are not able to attend the Forum but have questions about the project or the draft zoning, please contact the Medway Community and Economic Development office at 508-321-4915.

The Oak Grove Zoning Community Forum is sponsored by:
Oak Grove Zoning Task Force
Medway Redevelopment Authority