

**Medway Oak Grove Zoning Task Force
Monday, April 22, 2019 at 7:00 pm
Medway Senior Center
76 Oakland Street
Medway, MA 02053**

Members	Jessica Chabot	Andy Rodenhiser	Paul Yorkis	Matthew Hayes	Matt Buckley	Anthony Varrichione	Brian Cowan
Attendance	X	X	X	X	X	X	X

ALSO PRESENT:

Barbara J. Saint Andre, Director Community & Economic Development
Susy Affleck Childs, Planning and Economic Development Coordinator
Amy Sutherland, Recording Secretary

The meeting of the Medway Oak Grove Zoning Task Force was called to order at 7:00 pm. by Chair Jessica Chabot.

Approval of Minutes:

March 25, 2019:

On a motion made by Paul Yorkis, and seconded by Matt Buckley, the Oak Grove Task Force voted unanimously to approve the minutes from March 25, 2019 as presented.

Review of draft zoning bylaw amendments for Oak Grove:

The Oak Grove Task Force began review of the recently revised document which is Version 6.0 dated April 10, 2019. (see attached)

The Chair began the discussion by indicating that the new diagrams included are much better and are clearer to the reader. The following pages were referenced with the noted recommendations.

Page 7:

The Oak Grove Task Force began review on Page 7 Diagram 9.3.B.2 – Building Height with a Flat Roof and Pitched Roof. The roof styles and pitches were shown on diagrams in Table 9.3.D.1 – Roof Forms. This includes the following types: shed, Hip, Gable, Gambrel, and Flat. The heights of these need to be cross referenced. Page 7: There was a suggestion to have the roof rafters which intersect the wall plate or top wall frame of the exterior walls be at a height of no more than two feet above the finished floor of the half-story. It was noted that the Building Commissioner recommended to change this to 4 feet.

The Building Stepback and Street Enclosures on Page 7 (6.) referencing the sentence noted as “These standards supersede the maximum height requirements for individual building types in Section 9.4” needs to be deleted.

Page 8:

Task Force members reviewed Page 8 Table 9.3.B.6-Building Setback and Stepbacks. There are 5-foot setbacks from the street line, which are the basis for the maximum heights for various building types as noted in Section 9.4.c. The new diagram now shows the R.O.W. line along with the building setback and building stepback from the street.

Page 13-15:

The Task Force would like to make sure that the maximum heights match what is noted on the table included on Page 8. There are inconsistencies relating to the row houses which has the maximum building height at 35 ft. on Page 13 but on Page 8, the height is 40 ft. A cottage can only be 20 ft. and not 40 ft. It was noted that a building cannot be 40 ft. unless it is setback. The language in this section will be reworked for consistency.

The Task Force next discussed half-stories. There was a comment that Cape Style homes are half-story due to the inclusion of the dormers. There was a comment that 20 ft. for a Cape style home is not an appropriate height. It needs to be higher. There was a suggestion to eliminate the half-story all together. All agreed to change the cottage heights from 20 ft. to 22 ft. The Task Force also would like a definition on how the grade is calculated to make sure it is matching from what is in the Zoning Bylaw.

Page 24:

The Task Force noted that under Athletic Fields there is a “N/A” indicated for some design standards. This needs clarification. It should either be taken out of the document or explained.

Page 27:

Table 9.7.B.1.A – Street and Pathway Design Standards were reviewed.

The following suggestions were recommended:

- The travel lane in the Village Center should be changed from 12 ft. to 11 ft.
- The parking lane in Trotter Drive should be changed from N/A to prohibited and in the Village Center Street the option on one or both sides of the street would be 7 ft.
- There should also be sidewalks required in the Trotter Drive area and the Design Standards should be required.
- The Walkway Zone in Trotter Drive should be a minimum of 5 ft. on both sides and a minimum of 6 ft. on the Village Center Street.
- The Furnishing and Utility Zone should be changed from N/A to optional (4 ft. min.)
- The Multi-Use Pathway in the Village Center Street should be changed from N/A to prohibited.

Page 28:

The Table 9.7.B.1B. – Street and Pathway Design Standards was reviewed.

The following recommendations were provided:

- The Parking Lane should be not required in the Neighborhood Street.
- The Public Frontage Zone should be changed from N/A to prohibited and in the Access Street column it needs to be changed from N/A to prohibited.
- The Walkway Zone in the Neighborhood Street should be changed from 4 ft. to 5 ft.
- The Furnishing & Utility Zone and Access Street should be changed from N/A to prohibited.
- The Tree Belt in the Access Street should be changed from N/A to prohibited.
- The Multi-Use Pathway in the Access Street should be changed from N/A to prohibited.
- There was a question if the term Tree Belt is defined?

The Task Force agrees that Page 29 should be where Page 27 is in the document. This change will make it easier to read. The numbering within the sections will need to be revised.

Page 30:

The Street Trees section was reviewed. The planting strips must include street trees planted within the furnishing and utility zone. There was a recommendation that this section require smaller trees, possibly one every 40 ft. All areas should have tree belt areas. Member Yorkis will forward the information from the Cornell study about trees.

Page 35:

The Table 9.8.A.1 – Residential Density by Zoning District chart needs to be broken up into separate columns. It is confusing to the read with the current slash which divides the sections.

Final Steps:

The Chair would like all final edits emailed to Barbara Saint Andre by May 1, 2019. There was a suggestion to bring this document to the Planning and Economic Development Board and the Medway Redevelopment Authority. It was recommended that the document be presented to them in color. Also, the website should have the color copy uploaded when finalized. The document needs to be consistent when using the words “shall” and “must”. The Task Force wants to use “shall”.

Public Outreach:

The members were provided with a list of possible groups to meet with to present the Form-Based Zoning Amendments for Oak Grove. The Task Force felt it would be beneficial if the Town Administrator presents this to the Board of Selectmen. It is crucial to get the support of the noted Boards/Committees prior to Town Meeting (fall 2019).

The noted members will be in touch with the following Boards/Committees:

- | | |
|-------------------------------------|---------------------|
| • MRA | Andy Rodenhiser |
| • Planning and Economic Development | Matt Hayes |
| • Economic Development Committee | Anthony Varrichione |
| • Open Space Committee | Brian Cowan |
| • Medway Business Council | Andy Rodenhiser |
| • Design Review Committee | Matt Buckley |
| • Medway Housing Authority | Paul Yorkis |

Discussion of time line and process for completion of proposed zoning amendments including Public Outreach:

- Speak with the town Communications Director to assist with the public outreach. Create a video with link.
- Have the Chairman of the MRA speak at the Town Meeting rather than the Consultant.
- Have direct outreach with neighbors.
- The Task Force needs to have answers about how to handle the questions about traffic. There was a suggestion to have the Safety Officer attend a Task Force meeting to speak on this subject and offer possible mitigation measures (gate, speed bumps, etc.)

Contract Extension:

The Task Force discussed that the contract for Consultant Brovitz should be extended until November 2019. There would need to be a separate cost estimate for him to attend Town Meeting in the Fall. The Task Force felt it is more beneficial to have him at the public forum later this spring.

Future Meeting:

- Thursday, May 23, 2019 at 7:00 pm with a location to be determined.

Adjourn:

On a motion made by Paul Yorkis, and seconded by Matthew Hayes, the Oak Grove Zoning Task Force voted unanimously to adjourn the meeting at 8:40 pm.

Respectfully Submitted,

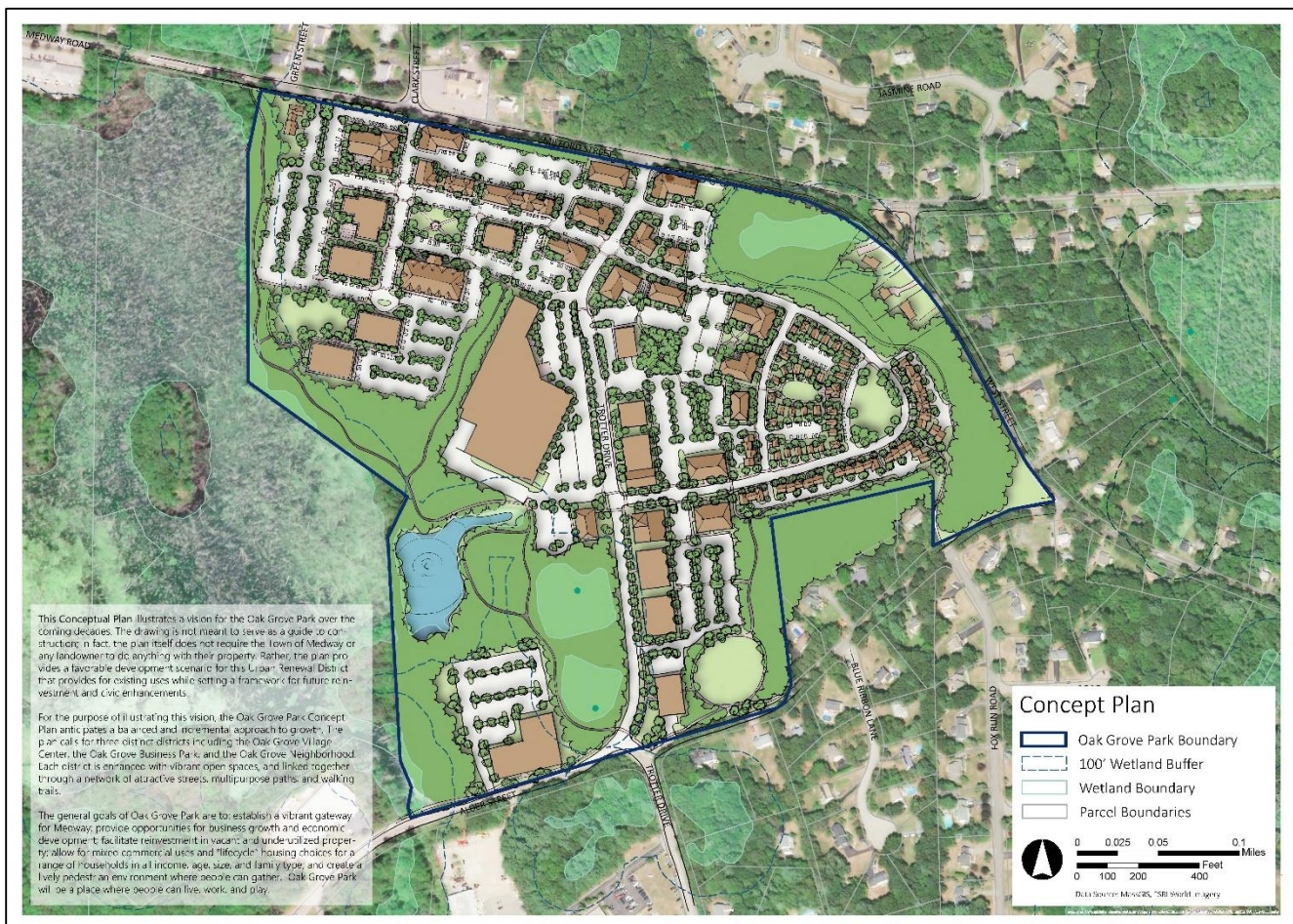
Amy Sutherland
Recording Secretary

OAK GROVE PARK FORM-BASED ZONING AMENDMENTS PACKAGE

TOWN OF MEDWAY, MA

Version 6.0

April 10, 2019



Brovitz Community Planning & Design
Dodson & Flinker Associates

OAK GROVE PARK DISTRICT (OGP) FORM-BASED ZONING STANDARDS

SECTION 4. ESTABLISHMENT OF DISTRICTS

4.1. DISTRICTS

ADD:

D. Form-Based Districts

1. Oak Grove Park (OGP)

4.2. ZONING MAP

Amend Subsection A to read: A. Except for the Flood Plain District, Groundwater Protection District, and Oak Grove Park Districts, the boundaries of these districts are defined and bounded on the map entitled, “Town of Medway Zoning Map,” dated December 4, 2014, as may be amended and revised, with a list of the names of the members of the Planning and Economic Development Board and filed with the Town Clerk, which map, together with all explanatory matter thereon, is hereby incorporated in and made a part of this Zoning Bylaw.

Add Subsection D: The Oak Grove Park Districts shall be located and bounded as shown on the map “Oak Grove Park Regulating Plan” dated ____, which map is incorporated and made part of this Zoning Bylaw.

SECTION 5. USE REGULATIONS

5.4. SCHEDULE OF USES

Amend Table 1: Schedule of Uses to add columns for Oak Grove Village Center (OGVC), Oak Grove Business Park (OGBP), and Oak Grove Neighborhood (OGN) and permitted uses by right and special permit, and prohibited uses in each district, as set forth in the Amended Table of Uses attached hereto.

ADD A NEW SECTION 9 TO THE ZONING BYLAW, OAK GROVE PARK DISTRICTS, AS FOLLOWS:

SECTION 9. OAK GROVE PARK DISTRICTS

9.1. PURPOSE AND APPLICABILITY

A. Purpose. Oak Grove Park (OGP) incorporates the Oak Grove Urban Renewal Area as delineated in the Oak Grove Urban Renewal Plan dated March 2017. OGP is a major gateway into Medway with access to Route 109 and Interstate 495. OGP is identified in the Medway Master Plan and the Oak Grove Urban Renewal Plan as an area targeted for development and reinvestment. The standards set forth herein for OGP are intended to:

1. Promote development that is consistent with the Oak Grove Urban Renewal Plan to facilitate new investment and create a vibrant, diverse, connected and resilient district.
2. Guide the physical character of development by providing context-based building and site development standards that reflect scale, design characteristics, and development patterns envisioned for the district.
3. Create a public realm with high quality streetscape, enhanced outdoor recreation areas, and active public and publicly-oriented gathering spaces that enhance development and reinforce pedestrian orientation and multi-modal transportation in the district.
4. Encourage high quality housing production for a variety of age groups, household types, and income ranges.
5. Encourage a range of business development opportunities using the advantages of access to Route 109 and Interstate 495.

B. Designated Districts. Oak Grove Park (OGP) contains three subdistricts which are identified below and on the OGP Zoning District Map and Regulating Plan. The design and development standards for the OGP subdistricts are included in Section 9.10.

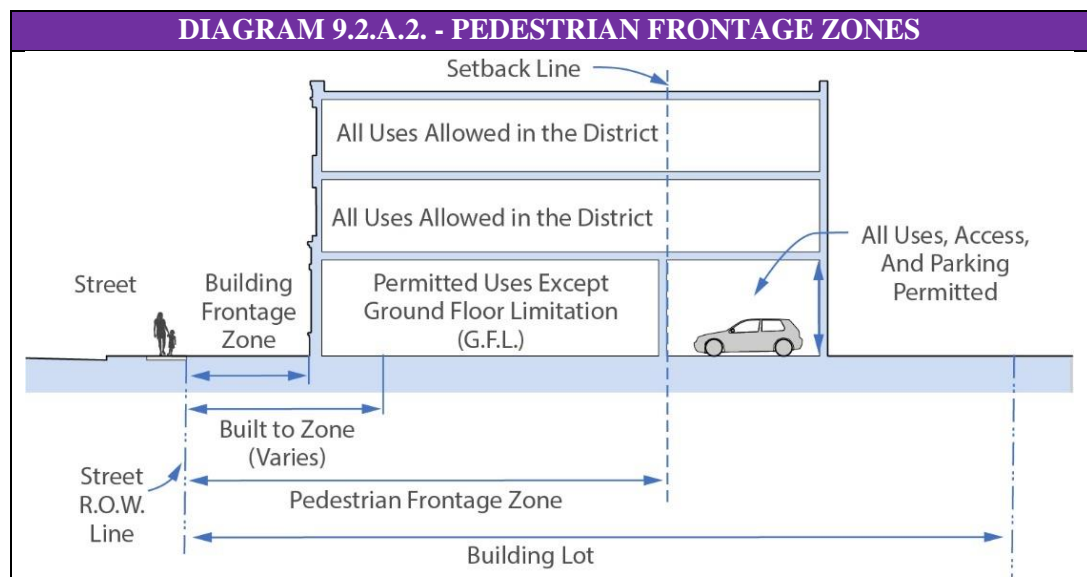
1. Oak Grove Village Center (OGVC)
2. Oak Grove Business Park (OGBP)
3. Oak Grove Neighborhood (OGN)

9.2. REGULATING PLAN

Each Oak Grove Park subdistrict includes a Regulating Plan which is an enhanced zoning map that illustrates additional development and design standards specific to each district. The Regulating Plan includes the following standards:

A. Pedestrian Frontage Zones.

1. **Purpose:** The Pedestrian Frontage Zones are properties along existing or future Village Center Streets as defined in Section 9.7.B. prioritized for pedestrian-oriented and active ground floor uses. Pedestrian Frontage Zones may also be identified on the Town of Medway Zoning Map for other zoning districts.



2. **Requirements:** Buildings fronting on the designated street segments for Pedestrian Frontage Zones shall be subject to the following Ground Floor Limitations:
 - a. Ground floor uses shall be reserved for retail, restaurant, and publicly-oriented personal service, office, repair, and municipal uses.
 - b. Residential and other non-residential uses not oriented to public access shall be allowed to have access at the street line by an entrance that leads to the upper floors of the building or the rear of the building.
 - c. Residential and other non-residential uses not oriented to public access shall be allowed on ground floors where:
 - 1) The use is within a building with frontage on the street and the use is set back a minimum of 60 feet from the street line; or

- 2) The PEDB may waive this requirement if it determines that street-front residential and other non-publicly oriented uses will not have an adverse impact on the continuity and vitality of the pedestrian-oriented street-front uses.

B. Civic and Park Nodes. The Regulating Plan may identify Civic and Park Nodes which are areas within the district that are intended to be used as a Public Outdoor Amenity Space under Section 9.6.

C. Streets, Pathways, and Trails. The Regulating Plan identifies Streets, Multi-Use Pathways and Walking Trails are permitted in each OGP subdistrict in their approximate locations. See Section 9.7 for additional standards.

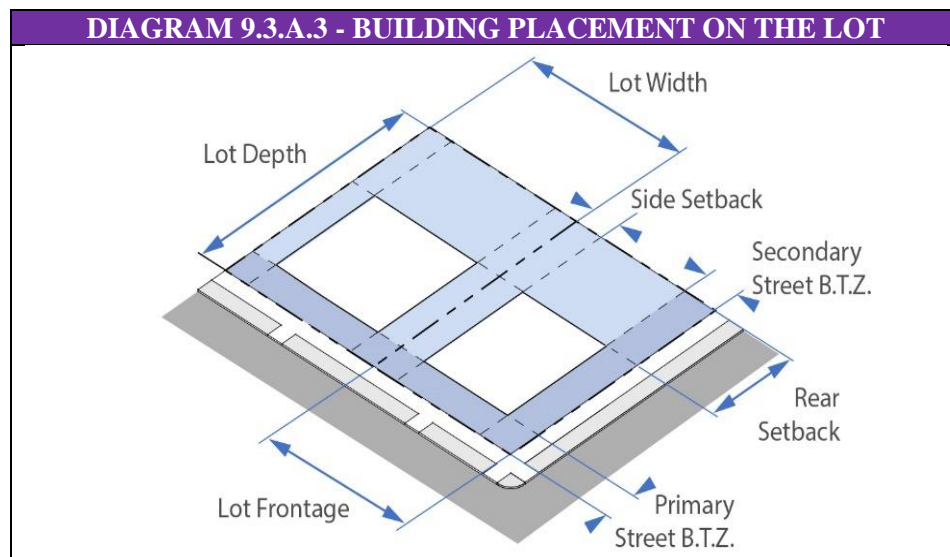
D. Transitional Buffer Zones.

1. Purpose: The Transitional Buffer Zones are certain subdistrict boundaries where buildings and uses must be buffered to create a compatible transition with the surrounding neighborhoods and other land uses. Transitional Buffer Zones are identified on the Oak Grove Park District Zoning Map and Regulating Plan which is integrated into the Town of Medway Zoning Map.
2. Buffer Requirements: Where required, buffers may include a combination of natural or landscaped screening and fencing that provides an opaque visual barrier to a minimum height of eight feet above the ground. Primary buildings and associated accessory buildings and uses shall be setback a minimum of 75 feet from the property line along all Transitional Buffer Zone boundaries.

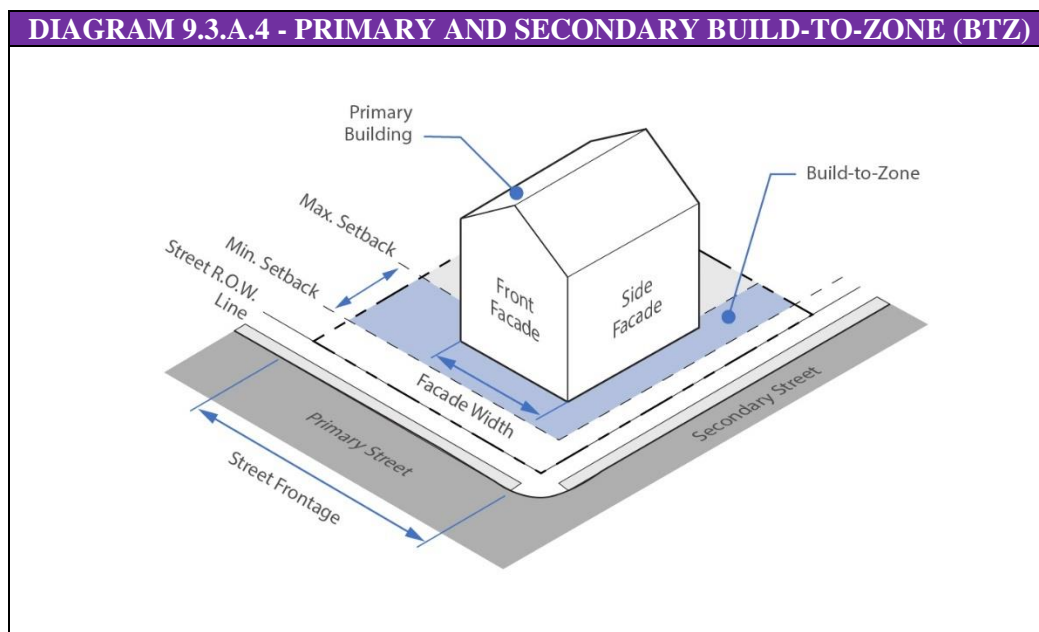
9.3. GENERAL STANDARDS FOR ALL BUILDINGS AND LOTS

A. Building Placement and Orientation.

1. Building Lot: Minimum lot sizes are defined in Section 9.4 for each of the Building Types.
2. Number of Buildings: Only one principal building is allowed on a building lot except where otherwise specified in this section.
3. Building Placement: No principal buildings and/or accessory structures shall be located in any required front, side, or rear setbacks except as otherwise permitted in this section. Building placement standards are set forth for each Building Type in Section 9.4.



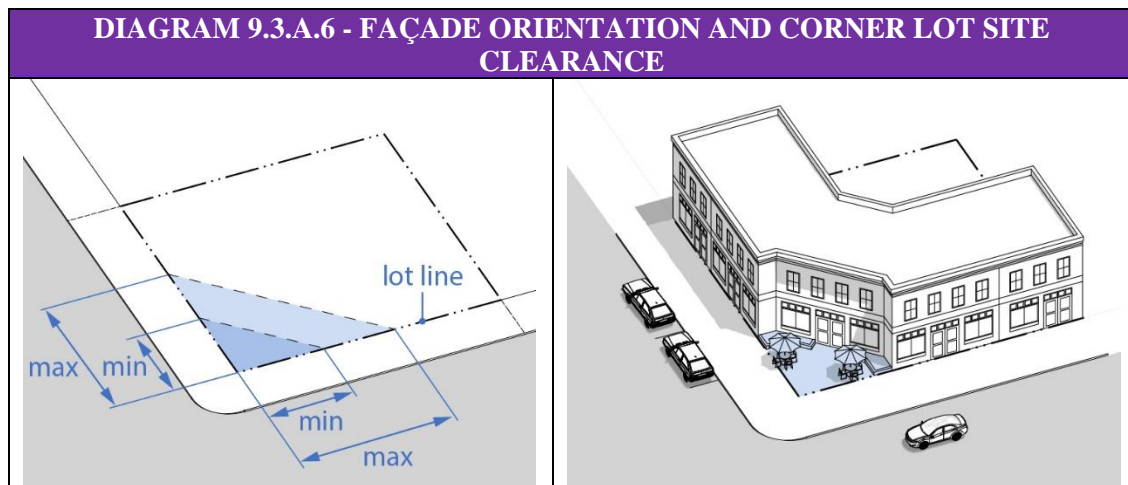
4. **Build-To-Zones (BTZ):** The area between the minimum front setback and maximum front setback is the **Primary Street Build-To-Zone (BTZ)** in which the front façade of the primary building facing the primary street shall be placed. If the lot is on a street corner, the side façade facing the secondary street shall also be placed in the required **Secondary Street Build-To-Zone**. The BTZ is defined for each Building Type in Section 9.4.



5. **Build-To-Zone Occupancy (BTZO):** The width of the primary building façade facing the Primary Street measured as a percentage of the street frontage shall determine the percentage occupancy of the Build-To-Zone. Primary BTZ Occupancy shall be equal to

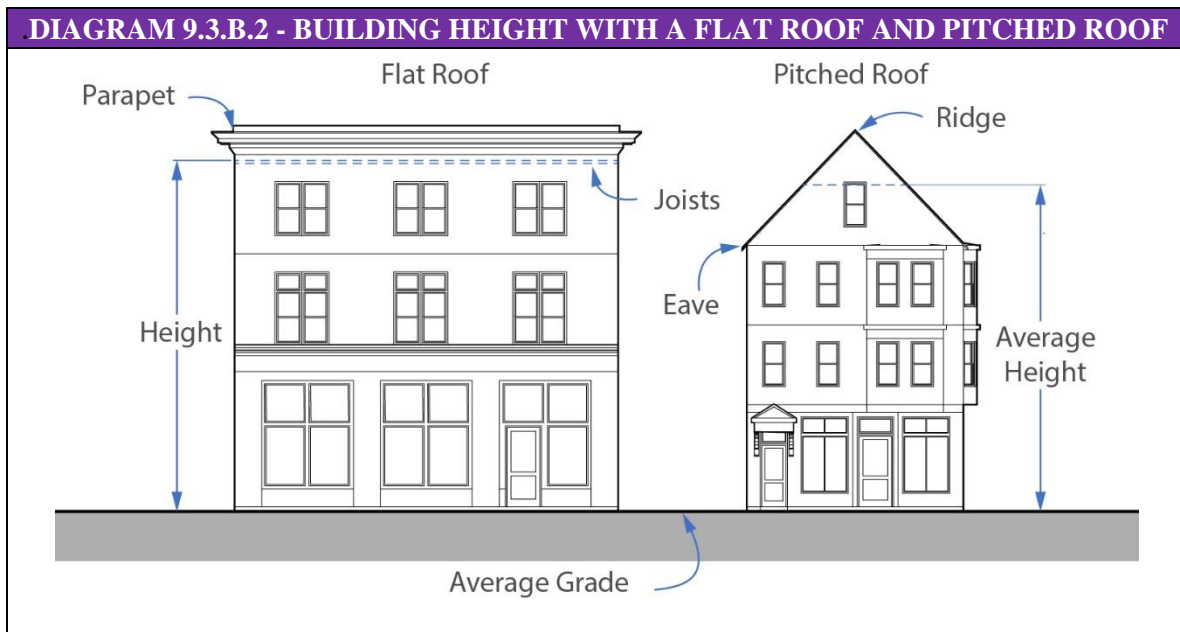
at least 50% of the frontage width at the street line unless otherwise specified in the Building Type standards in Section 9.4.

6. Facade Orientation: The front facade and entrance of a principal building must be built parallel to a street right-of-way (ROW) line. On a corner lot, the building facade may be retracted up to 30 feet between the curb radius to allow for Outdoor Amenity Space.



B. Building Height.

1. Minimum and Maximum Height: The minimum and maximum height and number of stories is defined by Building Type in Section 9.4.
2. Height Measurement and Roof Pitch: Building height is calculated in feet and measured as the vertical distance from the grade plane to the average height of the highest roof surface.



3. **Half-Stories:** When building height allows for a half-story, the half story is counted as the habitable space located directly under a pitched roof. For half-stories, the following standards apply:
 - a. The roof rafters must intersect the wall plate or top of wall frame of the exterior walls at a height no more than two feet above the finished floor of the half-story.
 - b. Ceiling height of a half story must not exceed twelve feet in height at any point.
4. **Attics:** Non-habitable attic space located under a pitched roof is not counted as a half-story.
5. **Building Height Exceptions:** Height limits do not apply to Outdoor Amenity Spaces such as a roof deck, terrace, garden, trellises, and related structures conforming to Section 9.6. Height limits do not apply to mechanical and stairwell housing; roof mounted cellular, radio, and internet transmission equipment; vents or exhausts; solar panels or small wind turbines; skylights; flagpoles; and belfries, chimneys, cupolas, monuments, parapets, spires, steeples, and other non-habitable architectural features.
6. **Building Stepback and Street Enclosure:** Buildings must be set back or stepped back from the street right-of-way line in accordance with Table 9.3.B.6 below. These standards supersede the maximum height requirements for individual Building Types in Section 9.4. Therefore, a building may have to be setback or step back further from the street right-of-way line in order to achieve the maximum height allowed for a given building type. The purpose of this requirement is to enhance the pedestrian environment and prevent excessive street enclosure and shadowing on narrower streets. Within the spaces

created by building setbacks or stepbacks, Outdoor Amenities Space is encouraged and may be required under Section 9.6.

TABLE 9.3.B.6 - BUILDING SETBACK AND STEPBACK

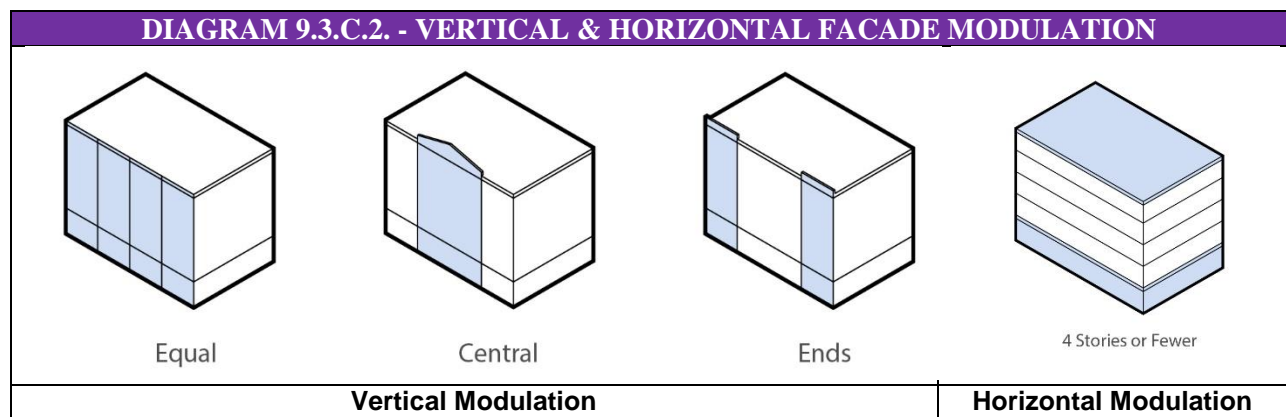
Distance from Street Right-Of-Way Line	Maximum Building Height by Street Type (See Section 9.7.B)			
	Neighborhood Street	Village Center Street	Trotter Drive	Access Street
At Street Line (0 Feet)	0	30	30	A 5-Foot Setback from the Street Line and based on the Maximum Height for Building Type in Section 9.4.C.
5 Feet	20	35	35	
10 Feet	25	40	40	
15 Feet	35	45	45	
20 Feet	35	50	50	
25 Feet	40	55	55	
30 Feet or More	40	60	60	

C. Building Proportions and Façade Composition.

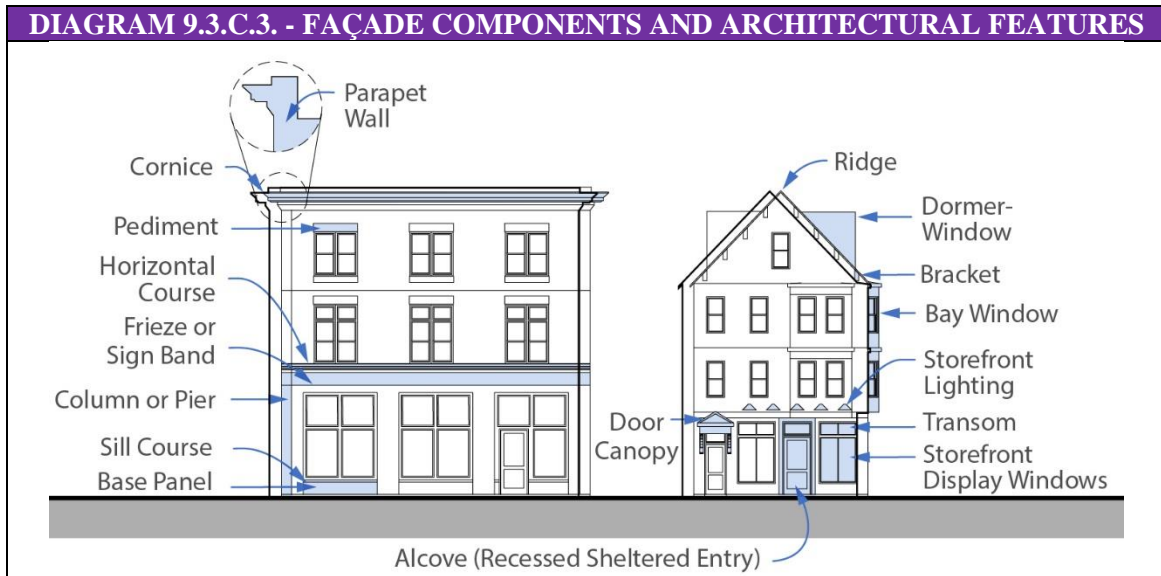
1. Vertical Modulation and Articulation:

- The minimum and maximum building width shall be determined for each building type under Section 9.4. Street facing building façades shall be vertically articulated with architectural bays to create an equal, central, or end articulated façade composition.

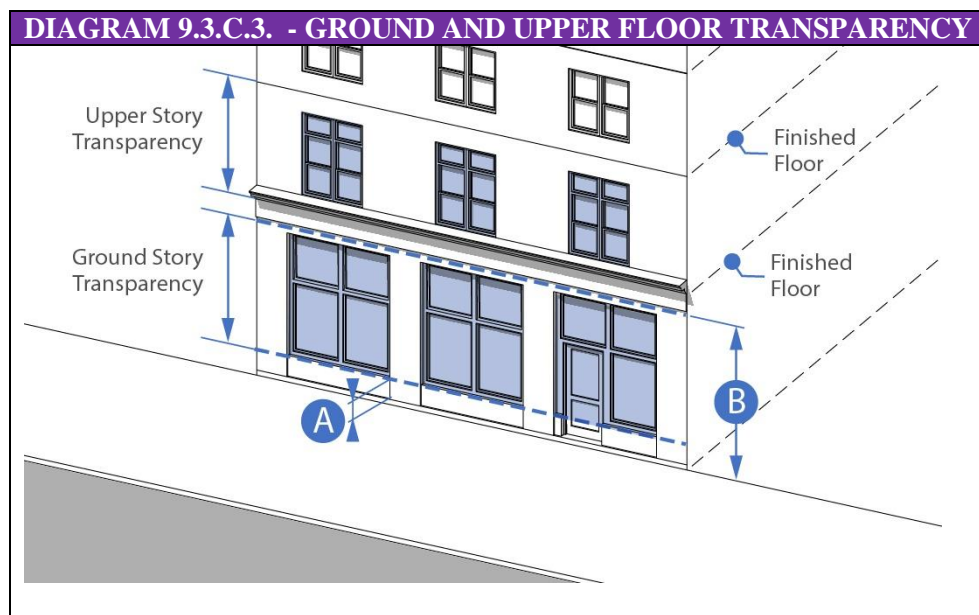
- b. Buildings greater than fifty feet in width shall be designed to read as a series of smaller buildings with varied articulation, architectural detailing, and fenestration patterns. Articulation must result in a change in vertical plane of the façade of at least four feet (in depth or projection) for at least one modulated bay in width for every fifty feet of total street-facing and publicly accessible façade width.
 - c. The façade on new buildings that are wider than tall shall be articulated and defined by piers built into the façade at least 12 inches wide and 4 inches deep or of equivalent separation on the street-facing publicly accessible façade.
2. **Horizontal Modulation and Articulation:** Street-facing building façades should be horizontally articulated with a clearly defined base, middle, and top as illustrated below. For buildings three stories and taller, the following standards apply:
- a. The top story of each street-facing façade should have a cornice, parapet, roof element, or change in massing as an expression of the building's top.
 - b. Materials appearing heavier in weight should be used for the buildings base, with materials appearing similar or lighter in weight used above.



3. **Surface Relief with Architectural Features:** Street-facing building façades should provide surface relief through the use of bay windows, cladding, columns, corner boards, cornices, door surrounds, moldings, piers, pilasters, sills, sign bands, windows, and other equivalent architectural features that either recess or project from the average plane of the façade by at least four inches. See Diagram 9.3.C.3.

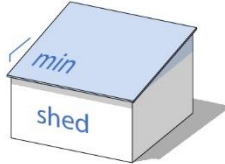
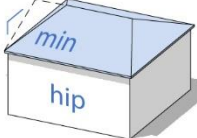
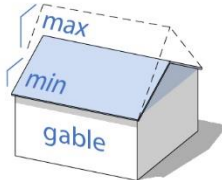
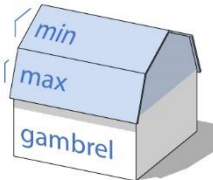
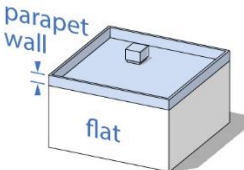


4. **Building Transparency:** The following standards apply to all commercial and mixed-use buildings in Oak Grove Park Districts:
- Façades shall have windows and doors with highly transparent, low reflectivity glass for a percentage of the total area of a façade, measured for each story independently.
 - Façade transparency of a ground story façade is measured between two feet (A) and twelve feet (B) above the adjacent Public Realm as shown in Diagram 9.3.C.3 (see Section 9.7 Public Realm).
 - Façade transparency requirements are only applicable to façades facing primary and secondary street right-of-way line.



D. Roof Types and Design.

1. Roof Shapes and Pitch. The shape and proportion of the roof shall be consistent with the following standards:

TABLE 9.3.D.1. - ROOF FORMS				
Roof Shape and Pitch Requirement				
Shed	Hip	Gable	Gambrel	Flat
2:12 Min.	3:12 Min.	6:12 Min./ 12:12 Max.	6:12 Min./ 30:12 Max.	Not Applicable
				

2. Parapet Wall. Buildings with flat roofs shall be capped by an articulated parapet that is visible from all sides of the building and screens the rooftop mechanical infrastructure from view at ground level.

E. Exterior Treatments.

1. The main elements of the architectural treatment of the building's street-facing façade, including the materials used, should be continued around all sides of the building that are visible from existing and planned streets, pedestrian passages, parking lots, or outdoor amenity spaces.
2. Traditional construction materials such as brick, stone, clapboard, and shingle are suggested construction materials. Other contemporary construction materials such as glass, metal, block, and other siding materials may be appropriate in certain OGP's and when compatible with more traditional materials. See Town of Medway Design Review Guidelines.

9.4 BUILDING TYPES, USE AND DESIGN STANDARDS

A. Allowable Uses

Uses allowed by right and by special permit are identified in Section 5.4 Schedule of Uses and Table 1. The Medway Planning and Economic Development Board (PEDB) shall be the Special Permit Granting Authority (SPGA) for all special permits required in the Oak Grove Park Zoning Districts.

B. Determination of Building Type

1. The Building Commissioner shall classify new principal structures as a specific building type based on the definition of each type and upon finding that the structure is substantially similar in placement, height, massing, use, and features to one of the permitted building types for the zoning district where the structure is located. The Building Commissioner shall also classify existing structures that are being expanded or converted to new uses under this section. If the Building Commissioner is unable to classify an existing principal structure as one of the building types of this section, the structure is considered nonconforming.
2. If a new building is proposed that cannot be classified as one of the allowed building types of this section by the Building Commissioner, the building type is subject to special permit review by the PEDB under Section 9.9. The PEDB may not allow additional uses that are not listed on Table 1 in Section 5.4 Schedule of Uses.

C. Allowed Building Types

See Table 9.4.C.1.A through C below.

TABLE 9.4.C.1.A - RESIDENTIAL BUILDING TYPES AND DESIGN STANDARDS			
1. BUILDING TYPES AND DEFINITIONS			
		ROWHOUSE (RH) ON SEPARATE LOT	ROWHOUSE (RH) ON COMMON LOT
ILLUSTRATIVE DIAGRAM		TBD	TBD
1. DEFINITION		A small footprint attached single family residential building with narrow massing and located on an individual lot. Each dwelling unit is separated horizontally by a common wall and groups of buildings may be separated by a common driveway or community space.	A small footprint attached single family residential building with narrow massing and located on a common lot with other units. Each unit is separated by common walls and groups of buildings may be separated by a common driveway or community space.
2. LOT STANDARDS			
2.1	Lot Size (S.F.) (Min.)	1,200 S.F.	1,200 S.F.
2.2	Frontage (Min./Max.)	18 Ft. / 24 Ft.	18 Ft. / 24 Ft.
2.3	Front Yard Build-To-Zone (Min./Max.)	5 Ft./15 Ft.	5 Ft./15 Ft.
2.4	Side Yard Setback (Min.)	0 Ft. (15 Feet if Detached)	0 Ft. (15 Feet if Detached)
2.5	Rear Yard Setback (Min.)	15 Ft.	15 Ft.
2.6	Outdoor Amenity Space Lot Coverage (Min.)	15%	15%
3. DESIGN STANDARDS			
3.1	Building Height (Max.)	2.5 Stories/35 Ft.	2.5 Stories/35 Ft.
3.2	Street Facing Wall Width (Min./Max.)	18 Ft. / 24 Ft.	18 Ft. / 24 Ft.
3.3	Street Facing Entrance	Not Required	Not Required
3.4	Maximum Building Footprint (SF)	Not Required	Not Required
4. ADDITIONAL STANDARDS			
4.1		Off-street parking is not allowed between the buildings.	Off-street parking is not allowed between the buildings.
4.2		A maximum of 8 units can be attached by a common wall before accessway of 20 feet is provided for pedestrians, vehicles or outdoor amenity space.	A maximum of 8 units can be attached by a common wall before accessway of 20 feet is provided for pedestrians, vehicles or outdoor amenity space.

TABLE 9.4.C.1.A - RESIDENTIAL BUILDING TYPES AND DESIGN STANDARDS			
1. BUILDING TYPES AND DEFINITIONS			
		COTTAGE (C)	MULTI-FAMILY BUILDING (MF)
ILLUSTRATIVE DIAGRAM		TBD	TBD
1. DEFINITION		A small detached single-family dwelling with narrow massing. Cottages are permitted on individual lots or as part of a Pocket Neighborhood Development.	A residential building type with three or more dwelling units vertically and horizontally integrated and accessed by common entrances and hallways. MF Buildings do not include non-residential uses.
2. LOT STANDARDS			
2.1	Lot Size (S.F.) (Min.)	1,200 S.F.	8,000 S.F.
2.2	Frontage (Min./Max.)	25 Ft. / 40 Ft.	80 Ft. Min.
2.3	Front Yard Build-To-Zone (Min./Max.)	5 Ft. / 20 Ft.	10 Ft. / 30 Ft.
2.4	Side Yard Setback (Min.)	5 Ft.	15 Ft.
2.5	Rear Yard Setback (Min.)	10 Ft.	20 Ft.
2.6	Outdoor Amenity Space Lot Coverage (Min.)	15%	20%
3. DESIGN STANDARDS			
3.1	Building Height (Max.)	1.5 Stories / 20 Ft.	4 Stories / 40 Ft.
3.2	Street Facing Wall Width (Min./Max.)	18 Ft. Min.	18 Ft. / 100 Ft.
3.3	Street Facing Entrance	Not Required	Not Required
3.4	Maximum Building Footprint (SF)	Not Required	Not Required
4. ADDITIONAL STANDARDS			
4.1		Maximum of 1 Dwelling Unit per building.	
4.2		Maximum unit size is 1,400 GFA and 3 Bedrooms.	
4.3		See Section 9.5.B.2 for Pocket Neighborhood Development Standards.	

TABLE 9.4.C.1.B. MIXED-USE & COMMERCIAL BUILDING TYPES AND DESIGN STANDARDS			
1. BUILDING TYPES AND DEFINITIONS			
		MIXED USE BUILDING (MUB)	GENERAL COMMERCIAL BUILDING (GCB)
ILLUSTRATIVE DIAGRAM		TBD	TBD
1.1 DEFINITION		A building that typically accommodates a variety of ground floor commercial uses and upper residential and/or office uses at a scale that is compatible and complimentary to its given district.	A building that typically accommodates a variety of ground floor commercial uses and upper floor office uses, or all office uses, at a scale that is compatible and complimentary to its given district. GC Buildings do not include residential uses.
2. LOT STANDARDS			
2.1	Lot Size (S.F.) (Min.)	Not Required	Not Required
2.2	Frontage (Min./Max.)	50 Ft. Min.	50 Ft. Min.
2.3	Front Yard Build-To-Zone (Min./Max.)	0 Ft. / 20 Ft.	0 Ft. / 20 Ft.
2.4	Side Yard Setback (Min.)	10 Ft. (0 Ft if Common Wall)	10 Ft. (0 Ft if Common Wall)
2.5	Rear Yard Setback (Min.)	20 Ft.	15 Ft.
2.6	Outdoor Amenity Space Lot Coverage (Min.)	15%	10%
3. DESIGN STANDARDS			
3.1	Building Height (Max.)	4 Stories /40 Ft.	3 Stories/40 Ft.
3.2	Street Facing Wall Width (Min./Max.)	30 Ft. / 150 Ft.	30 Ft. / 100 Ft.
3.4	Street Facing Entrance	Required	Required
3.5	Maximum Building Footprint (SF)	20,000 SF	20,000 SF
4. ADDITIONAL STANDARDS			
4.1		One-Story buildings must have a minimum street facing façade height of 18 feet.	One-Story buildings must have a minimum street facing façade height of 18 feet.
4.2		Where there is a side setback, a minimum of 8 feet is required to accommodate pedestrian access or 24 feet to accommodate vehicle access to the side and rear of the property.	Where there is a side setback, a minimum of 10 feet is required to accommodate pedestrian access or 20 feet to accommodate vehicle access to the side and rear of the property.

TABLE 9.4.C.1.B. MIXED-USE & COMMERCIAL BUILDING TYPES AND DESIGN STANDARDS			
1. BUILDING TYPES AND DEFINITIONS			
		HOTEL (HTL)	GAS STATION AND CONVENIENCE STORE (GCR)
ILLUSTRATIVE DIAGRAM		TBD	TBD
1.1 DEFINITION		A building type defined in Section 2 of the Zoning Bylaws.	This building type reverses the conventional site layout for gas stations with convenience store by placing the storefront along the street line and the gas pumps and canopy behind. This reverse layout highlights the building, shields the pumps and canopy and pulls the curb-cuts away from the street, creating easier access.
2. LOT STANDARDS			
2.1	Lot Size (S.F.) (Min.)	Not Required	Not Required
2.2	Frontage (Min./Max.)	75 Ft. Min.	100 Min. / 150 Ft. Max. (Per Street)
2.3	Front Yard Build-To-Zone (Min./Max.)	20 Ft. Min.	5 Ft. Min./15 Ft. Max. (Per Street)
2.4	Side Yard Setback (Min.)	10 Ft.	20 Ft.
2.5	Rear Yard Setback (Min.)	20 Ft.	30 Ft.
2.6	Outdoor Amenity Space Lot Coverage (Min.)	15%	10%
3. DESIGN STANDARDS			
3.1	Building Height (Max.)	5 Stories /50 Ft.	1.5 Stories / 24 Ft.
3.2	Street Facing Wall Width (Min./Max.)	30 Ft. / 150 Ft.	30 Ft. / 60 Ft.
3.4	Street Facing Entrance	Required	Required
3.5	Maximum Building Footprint (SF)	40,000 SF	4,000 S.F.
4. ADDITIONAL STANDARDS			
4.1			A maximum of 6 gas pumps are allowed and must be located behind the convenience store and have two means of access and egress.
4.2			Gas station canopies should be designed as an integral part of the store architecture whenever possible.

TABLE 9.4.C.1.C. - INDUSTRIAL AND COMMUNITY BUILDING AND DESIGN STANDARDS			
1. BUILDING TYPES AND DEFINITIONS			
		FABRICATION OR FLEX BUILDING (FFB)	CIVIC OR COMMUNITY BUILDING (CB)
ILLUSTRATIVE DIAGRAM		TBD	TBD
1.2 DEFINITION		A building located and designed to accommodate a variety of fabrication, trades and general industrial uses and related support services such as office, storage, distribution, and sales. Flex buildings also support these uses and provide affordable space to small and creative business enterprises.	A building located and designed for public assembly such as for social, religious, educational, recreational, and similar civic uses.
2. LOT STANDARDS			
2.1	Lot Size (S.F.) (Min.)	Not Required	Not Required
2.2	Frontage (Min./Max.)	50 Min.	80 Min.
2.3	Front Yard Build-To-Zone (Min./Max.)	0 Ft. / 30 Ft.	20 Ft. Min.
2.4	Side Yard Setback (Min.)	20 Ft (0 Ft if Common Wall)	15 Ft
2.5	Rear Yard Setback (Min.)	20 Ft	20 Ft
2.6	Outdoor Amenity Space Lot Coverage (Min.)	10%	20%
3. DESIGN STANDARDS			
3.1	Building Height (Max.)	4 Stories / 60 Ft	3 Stories / 45 Ft
3.2	Street Facing Wall Width (Min./Max.)	60 Ft. / 100 Ft.	60 Ft. / 100 Ft.
3.4	Street Facing Entrance	Required	Required
3.5	Maximum Building Footprint (SF)	20,000 S.F.	Not Required
4. ADDITIONAL STANDARDS			
4.1		Where there is a side setback, a minimum of 10 feet is required to accommodate pedestrian access or 20 feet to accommodate vehicle access to the side and rear of the property.	

9.5 DEVELOPMENT STANDARDS

A. Development Tracts.

1. Definition of Development Tract. A Development Tract is any lot or group of contiguous lots owned or controlled by the same person or entity, assembled for the purpose of a single development including one or more principal buildings.
2. Tract Area. Development Tract area is the cumulative area of all contiguous lots that the site is composed of. Development Tract area does not include existing or proposed right-of-way, whether dedicated or not dedicated to public use.
3. Permitted Building Types. A Development Tract may include a combination of Building Types as permitted in each of the Oak Grove Park Districts in Section 9.10 that are assembled on an individual lot or group of contiguous lots for the purpose of a single development.
4. Access. All Development Tracts must be accessed from a public or publicly accessible street with a minimum frontage of 50 feet.
5. Thoroughfares and Street Frontage. Internal streets and pathways within a Development Tract must meet the type and design requirements for each Oak Grove Park Districts on the Regulating Plan and in Section 9.7.B. Street frontage requirement are determined by each Building Type and streets within the Development Tract may be public or private.
6. Outdoor Amenity Space. The amount of outdoor amenity space provided within the Development Tract is the cumulative land area of outdoor amenity space required for the total number and types of building that the site is composed of. The type of outdoor amenity space may be any combination of those permitted under Section 9.6.

B. Development Types. The types of development permitted in the Oak Grove Park Districts are identified below:

1. General Industrial Development. A development containing multiple fabrication, flex, or general industrial uses permitted in the underlying zoning district and building types in accordance with design standards in Section 9.4.A.
2. General Commercial Development A development containing multiple commercial uses permitted in the underlying zoning district and building types in accordance with design standards in Section 9.4.A.
3. Mixed Use Development. A development containing multiple residential, nonresidential, and mixed-use building types. Mixed Use Developments may include a combination of uses and building types permitted in the underlying zoning district and subject to all applicable building type standards in Section 9.4.A.

4. General Residential Development. A development containing multiple residential building types and community or civic buildings permitted in the underlying zoning district and subject in design standards in Section 9.4.A.
5. Pocket Neighborhoods. A residential development containing a cohesive cluster of small dwelling units gathered around a variety of common buildings and open space amenities. Where specified in the Oak Grove Districts, the following Pocket Neighborhood Development Types are permitted:
 - a. Cottage Court. A Pocket Neighborhood Development and community of small private homes arranged around a common courtyard which takes the place of private yard space and becomes an important community-enhancing element of the Development Tract. Cottage Courts may also have shared community garden plots, parking courts, and recreation buildings and facilities.
 - b. Housing Cooperative. A Pocket Neighborhood Development and community of small private homes clustered around shared buildings and community spaces. Each attached or detached single family home has traditional amenities, including a private kitchen. Shared spaces typically feature a common house, which may include a large kitchen and dining area, laundry, and assembly spaces. Other shared spaces include community garden plots, recreational fields, parking courts, and shared work spaces.

C. Development Block Standards.

These standards establish maximum block length along public or private streets within a Development Tract as a method to ensure that access and walkability are integrated into the placement of buildings, outdoor amenity spaces, and site utility areas. Generally, blocks are laid out to orient buildings to the street and sidewalk while concentrating utility elements and parking out of public view. However, outdoor amenity space can be oriented to the side or rear of the building and rear public access should be provided where parking is located internally.

1. Size and Dimension. The maximum length of a block face and length of a block perimeter shall be determined as set forth in Table 9.5.C.1. The PEDB may grant a special permit for a longer block face or block perimeter where the applicant can demonstrate that the block will be highly walkable with pedestrian passages, curb extensions, streetscape enhancements, mid-block crossings, and other enhancements.

TABLE 9.5.C.1. - BLOCK SIZE STANDARDS		
District	Max. Block Face Length	Max. Block Perimeter Length
Oak Grove Village Center	400 Feet	1,200 Feet
Oak Grove Neighborhood	300 Feet	1,200 Feet
Oak Grove Business Park	Not Applicable	Not Applicable

2. Access and Utilities. Access to the interior utility area of a block will be made by a paved Access Street of 20 feet with a 4-foot sidewalk on one side. An Access Street shall be located no less than 50 feet from any intersecting street at the corner of a block. A Pedestrian Passage is required along a block face that exceeds 300 linear feet between intersecting streets and where shared parking areas or community space is located within the interior of the block.

D. Parking Requirements.

1. Purpose and Intent. The purpose and intent of the parking standards in the Oak Grove Park Districts are as follows:
 - a. To minimize the impact of sidewalk interruptions and conflict points on the walkability of the public realm.
 - b. To ensure adequate parking for existing and new development while minimizing excessive and inefficient off-street parking lots that result in lost opportunities to develop new buildings that expand business and the tax base.
 - c. To encourage the use of public transportation, bicycling, and walking in lieu of motor vehicle use when a choice of travel mode exists.
2. Applicability. The parking requirements in Section 7.1.1 of the Medway Zoning Bylaws shall apply to the Oak Grove Park Districts.

E. Site Landscaping.

Landscaping in the Oak Grove Park Districts shall comply with the Planning & Economic Development Board Rules and Regulations, Chapter 200 - Site Plans – Rules & Regulations for Submission and Review of Site Plans, Section 205-9. In the event of any conflict between the provisions of this bylaw and the provisions of said Regulations, the provisions of this bylaw shall apply.

F. Utilities.

1. Public Utilities. All new public utilities (except structures and other facilities that require above-grade access) shall be installed underground.
2. Trash and Service Areas.
 - a. All service, loading, trash, and recycling storage areas viewable from a public right of way or from an adjacent residential area shall be screened by one or a combination of masonry, a wood screen, or evergreen plantings to reduce their visual impact.
 - b. Loading and service areas shall not face any residential area unless no other location is feasible. Loading areas shall be screened by one or a combination of masonry, a wood screen, or evergreen plantings to reduce their visual impact.

- c. Garage doors and loading spaces are prohibited on the street facing façade of any commercial, mixed use, or multi-family building unless no other location is feasible.

G. Sustainable Site Design Standards.

Sustainable Design and Low Impact Development (LID) techniques shall be used in the Oak Grove Park Districts to reduce stormwater runoff, improve water quality, maintain canopy tree cover, protect natural landscapes, install appropriate planting materials, and encourage the production of local food. In achieving the requirements of this section, applicants shall comply with sustainable and low impact development techniques provided in the Planning & Economic Development Board Rules and Regulations, Chapter 200 - Site Plans – Rules & Regulations for Submission and Review of Site Plans, Section 205-4; Massachusetts Stormwater Management Standards; and Town of Medway General Bylaws Article XXVI, Stormwater Management and Land Disturbance.

H. Site Improvement Guidelines.

In addition to the Development Tract Standards of this section, applicants for new buildings and developments in the Oak Grove Park Districts should refer to the appropriate Town of Medway Design Review Guidelines for: Section 2. Commercial Zones – C. Site Improvement Guidelines; Section 3. Industrial Zones – C. Site Improvement Guidelines; and Section 4. Residential Zones – C. Site Improvement Guidelines. In the event of any conflict between the provisions of this bylaw and the provisions of said Guidelines, the provisions of this bylaw shall apply.

9.6 OUTDOOR AMENITY SPACE

A. General Standards.




1. Outdoor Amenity Space Types. Outdoor Amenity Spaces include the following types:
 - a. Civic Space (CS) includes publicly-owned or controlled parks, active and passive recreation areas, civic buildings, and other gathering spaces that are fully accessible to the general public.
 - b. Publicly Oriented Private Spaces (POPS) are gathering spaces on private land primarily serving the residents, businesses and patrons of the principal building or Development Tract, and generally available to the public.
 - c. Private Open Space (PS) is associated with individual dwelling units and multi-family buildings and developments and is not intended for public access.
2. Required Outdoor Amenity Space. The required percentage of a building lot dedicated to outdoor amenity space is identified for each building type in Section 9.4. Where multiple lots or buildings are assembled together to form a Development Tract under Section 9.5,


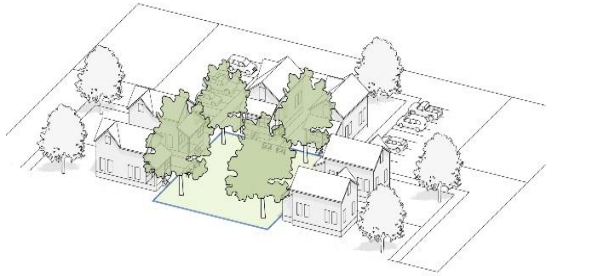
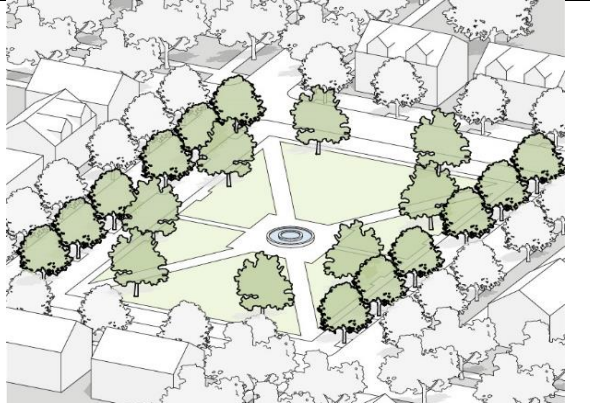
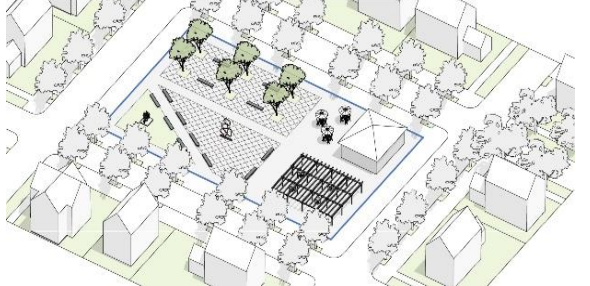
the required amount of Outdoor Amenity Space is the cumulative amount of all land area required for each building type in Section 9.4.


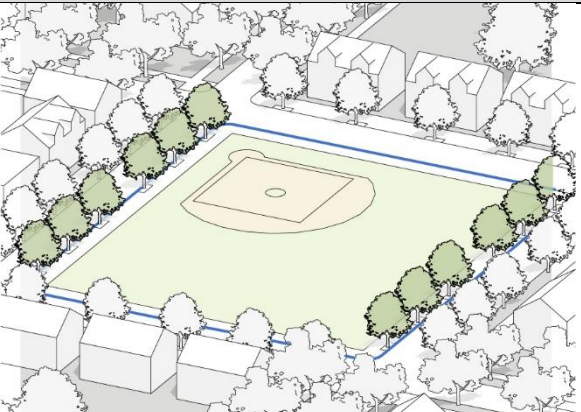
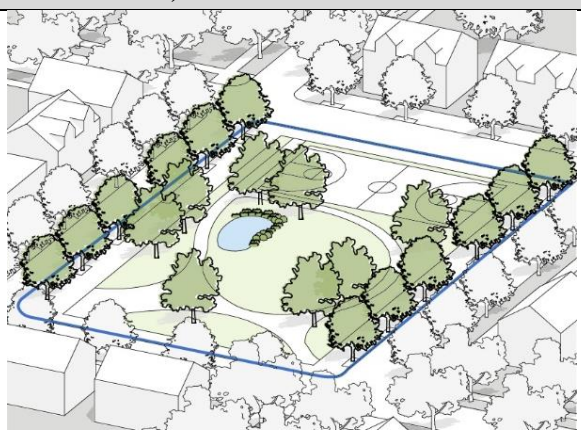
3. Determination of Outdoor Amenity Space. The PEDB shall consider the appropriate type and scale of outdoor amenity spaces for each development.

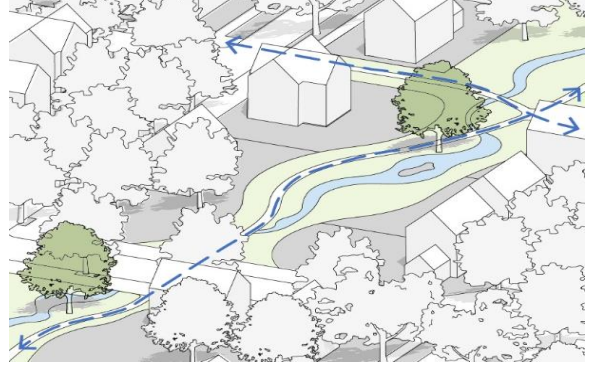
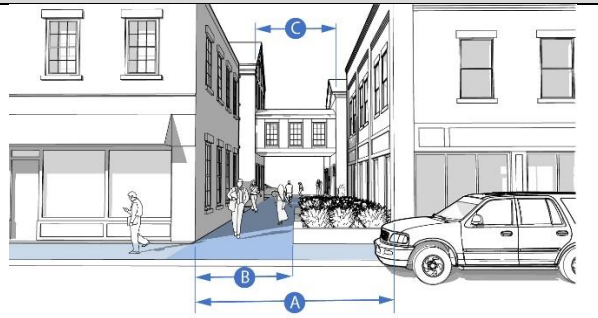

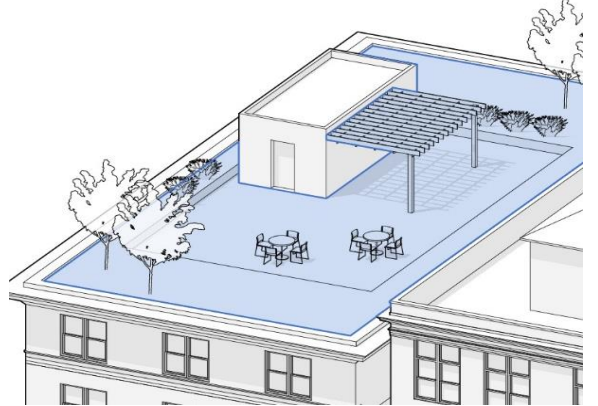
B. Permitted Outdoor Amenity Spaces.

Permitted Outdoor Amenity Spaces and associated design standards are identified in Table 9.6.B.1. below:

TABLE 9.6.B.1. - OUTDOOR AMENITY SPACE TYPES AND DESIGN STANDARDS	
Type	Description and General Design Standards
1. Private Yard (PS) 	<p><u>Description:</u> A private open space associated with private residence or non-residential buildings not intended for public access.</p> <p><u>Design Standards:</u> Where applicable, a walkway should be provided between the public sidewalk and the front door.</p>
2. Dooryard (PS) 	<p><u>Description:</u> A private space where the building façade is aligned close to the Street Line and defined by a low wall, decorative fence or hedge providing a strong spatial definition from the public sidewalk. The result is a small semi-private dooryard containing the principal entrance in the front yard. This type is commonly associated with ground-floor residential use</p> <p><u>Design Standards:</u> The dooryard may be slightly raised, sunken, or at-grade, and may be planted or landscaped. A paved walkway from the sidewalk to the front door is required.</p>
3. Forecourt (POPS, PS) 	<p><u>Description:</u> A private open space where a portion of the façade is aligned close to or at the Street Line, and the central portion of the façade is set back to create a courtyard with a principal entrance at-grade and space for gathering and circulation, or for outdoor shopping or restaurant seating. The forecourt may be planted or paved to join with the public sidewalk.</p> <p><u>Design Standards:</u> Forecourts shall be a minimum width</p>

	and depth of 12 feet.
<p>4. Community Garden (CS, POPS, PS)</p> 	<p><u>Description:</u> An open space designed as individual garden plots available to residents for horticultural purposes, including storage facilities for necessary equipment. Community gardens may be freestanding or incorporated as a subordinate feature of a community park, neighborhood or pocket park, and Development Tract.</p> <p><u>Design Standards:</u> Community gardens should be a minimum of 5,000 S.F.; 90% permeable surfaces; and 1 tree/500 SF on average.</p>
<p>5. Courtyard (POPS, PS)</p> 	<p><u>Description:</u> A courtyard (or court) is an enclosed open space, often surrounded by a building or buildings, that is open to the sky. Courtyards may include a variety of passive recreational activities, community gardens, and other amenities for community gatherings.</p> <p><u>Design Standards:</u> Courtyards shall be a minimum of 3,000 S.F. in area and 40 feet in width; The maximum ratio of building height to forecourt width shall be 2:1; Forecourt shall be enclosed by walls on 3 sides.</p>
<p>6. Common or Green (CS, POPS)</p> 	<p><u>Description:</u> A common or green is a free-standing site with streets on all sides and landscape consisting of naturally disposed lawns, paths, and trees. This open space type is for active and passive recreation and gathering purposes.</p> <p><u>Design Standards:</u> Commons should be a minimum of 20,000 S.F.; 85% permeable surfaces; and 1 tree/2,000 SF on average.</p>
<p>7. Plaza or Square (CS, POPS)</p> 	<p><u>Description:</u> An open space type designed for passive recreation, civic purposes, and commercial activities, with landscape consisting primarily of hardscape. Plazas are generally located in activity centers or the nexus of major circulation routes.</p> <p><u>Design Standards:</u> Squares should be a minimum of 8,000 S.F.; 50% permeable surfaces; 1 tree/2,000 SF on average; and include public seating.</p>

<p>8. Pocket Park or Playground (CS, POPS, PS)</p> 	<p><u>Description:</u> An open space type designed for passive recreation consisting of vegetation, a place to sit outdoors, and playground equipment.</p> <p><u>Design Standards:</u> Pocket Parks should be a minimum of 800 S.F.; 80% permeable surfaces; and 1 tree/200 SF on average; and include seating and recreational equipment.</p>
<p>9. Athletic Field or Ball Court (CS, POPS)</p> 	<p><u>Description:</u> A publicly accessible open space designed and equipped for active recreation and organized sports. Playing fields and courts may include grass, artificial turf, clay, dirt, stone dust, concrete, asphalt, ice or other pervious or impervious materials to support various sporting organizations and events.</p> <p><u>Design Standards:</u></p> <p><u>Side of Space:</u> 7,500 S.F. Min.; 5 Acres Max.</p> <p><u>Furnishing:</u></p> <p>Seating: 1 Seat/275 S.F. Min.</p> <p>Tables: N/A</p> <p><u>Landscape:</u></p> <p>Trees: N/A</p> <p>Permeable Surface: N/A</p> <p>Landscaped Area: 20%</p>
<p>10. Neighborhood Park or Preserve (CS, POPS)</p> 	<p><u>Description:</u> An open space designed for active and passive recreation with features and facilities that support the community or immediate neighborhood. Parks can include other Outdoor Amenity Spaces such as community gardens, recreation fields and courts, trails and pathway, swimming pools and water features, and other facilities intended for public events, gatherings, and organized activities.</p> <p><u>Design Standards:</u> Neighborhood Parks should be a minimum of 8,000 S.F.; 80% permeable surfaces; and 1 tree/350 SF on average.</p>

<p>11. Pathway (CS)</p> 	<p>Description: A linear open space that may follow natural corridors providing unstructured and limited amounts of structured recreation. A pathway may be spatially defined by segment and include access to pedestrians, bicyclists, and other designated modes of transportation. Pathways may provide access and connections between natural areas, neighborhoods, villages, public facilities, and other points of interest.</p> <p>Design Standards: The minimum width shall be 8 feet; Pathways shall be surfaced with stone dust, or asphalt.</p>
<p>12. Pedestrian Passage (CS, POPS)</p> 	<p>Description: A paved or brick pedestrian connector between buildings. Pedestrian Passages provides direct connections between parking area, buildings, streets, and sidewalks. Pedestrian Passages may be covered by a roof, trellis, and may be lined by shopfronts.</p> <p>Design Standards: The minimum width shall be 10 feet (A/C) with 5 feet of throughway for pedestrians (B); hard surface such as asphalt, concrete, or paver stones is required; lighting is required; landscaping is recommended.</p>
<p>13. Outdoor Dining Terrace (POPS)</p> 	<p>Description: An open space where the building façade is setback from the Street Line and the space between is occupied by a hardscape intended for use as an extension of the public sidewalk and outdoor amenity space such as for outdoor seating or displays. The terrace may also allow for public circulation along the façade and can be used to provide at-grade access or a grade change along a Street Line.</p>
<p>14. Rooftop Terrace (POPS, PS)</p> 	<p>Description: A roofless, raised platform on the roof of a building that provides community gathering space such as a terrace, community garden, food and entertainment, or other outdoor amenities.</p> <p>Design Standards: Terrace must be setback a minimum of 5 feet from any building wall and secured by a perimeter fence at least 4 feet tall.</p>
<p>15. Other OAS Types</p>	<p>Permitted by special permit by the Planning Board</p>

9.7 PUBLIC REALM STANDARDS

A. Purpose.

1. To encourage the development of a well-connected travel network, composed of direct and convenient routes that reinforce a walkable and bikeable mixed use environment.
2. To encourage “Complete Streets” that accommodate multiple modes of transportation, consistent with the character of traditional neighborhoods and village centers, and attractive to pedestrian and bicyclists.
3. To promote pedestrian and motor vehicle safety, promote economic vitality, preserve and enhance the character of the public realm along primary streets, and promote the social, environmental, and health benefits provided by walkable development patterns.

B. Street and Pathway Design Standards.

1. Construction Standards. Streets and pathways shall be engineered and constructed in accordance with the design standards in Section 7 of the Medway PEDB Land Subdivision Rules and Regulations. In the event of any conflict between the provisions of this bylaw and the provisions of said Regulations, the provisions of this bylaw shall apply. In the absence of official standards, streets and pathways shall be constructed according to the standards deemed to be appropriate by the Department of Public Services.
2. Design Standards. Table 9.7.B.1 below provides design standards for streets and pathways in the Oak Grove Park Districts.
3. Vehicle Travel Lanes. No more than two motor vehicle travel lanes may be combined for any single direction of traffic flow.
4. On-Street Parking Lanes.
 - a. Where provided, motor vehicle parking lanes must be eight feet wide minimum and twenty-two feet long maximum for perpendicular parking; and nine feet wide and eighteen feet long for diagonal parking.
5. Sidewalks. Sidewalks must include the Public Frontage Zone, Walkway Zone, and Furnishing & Utility Zone as illustrated in Diagram 9.7.B.6 below.

TABLE 9.7.B.1.A. – STREET AND PATHWAY DESIGN STANDARDS

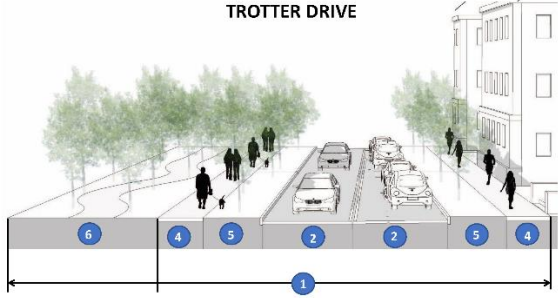
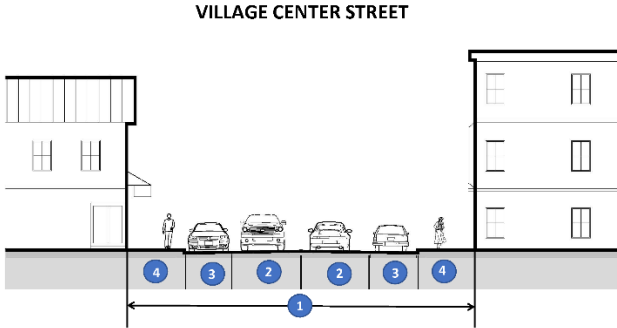
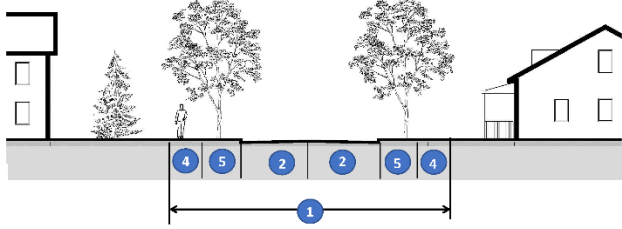
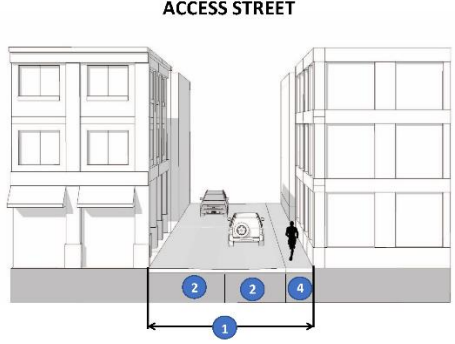
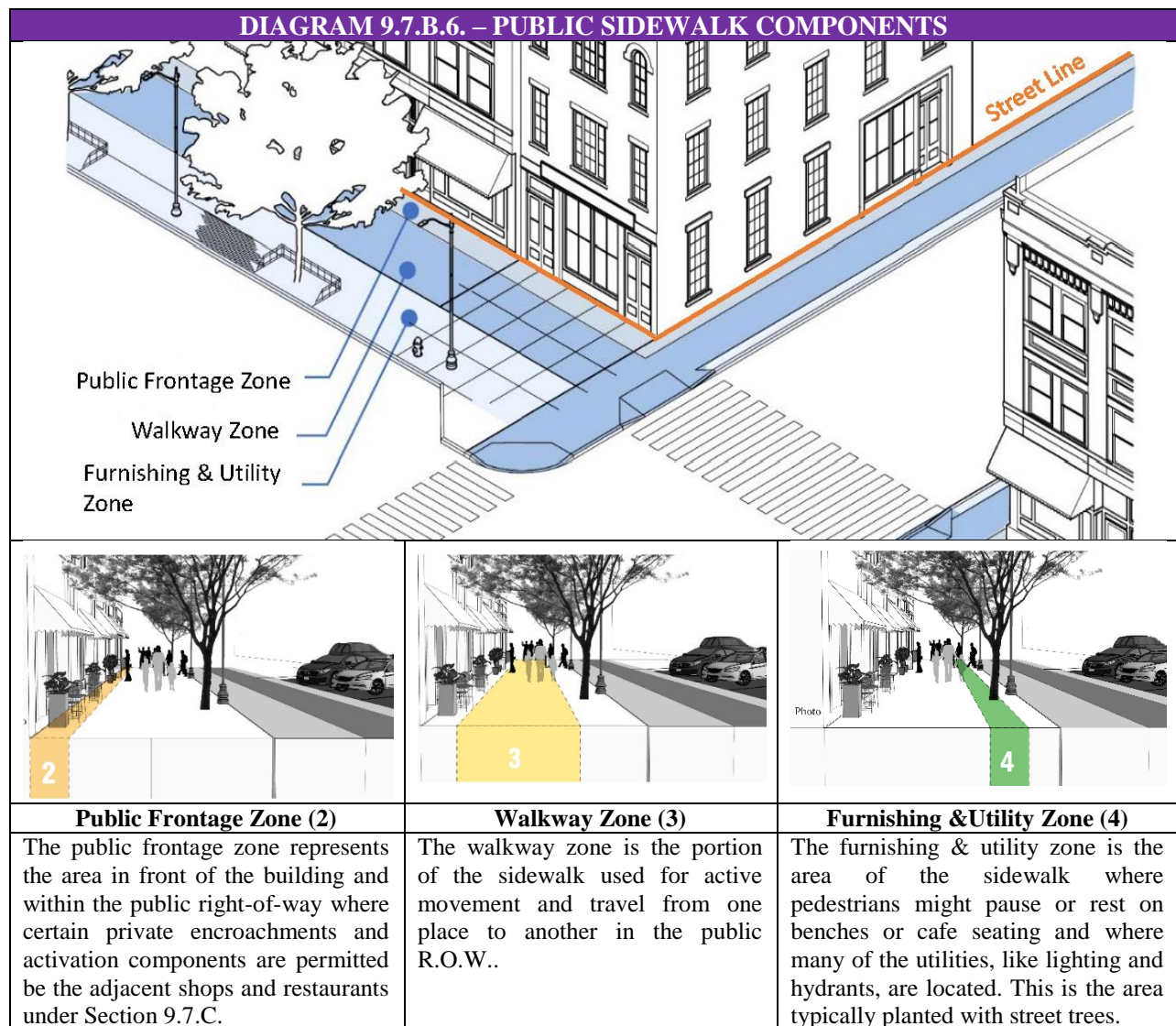
Street Component	 <p style="text-align: center;">Trotter Drive</p>	 <p style="text-align: center;">Village Center Street</p>
	Trotter Drive	Village Center Street
① Street Right-Of-Way	50 Ft. Minimum	50 Ft. Minimum
② Travel Lane	12 Ft.	12 Ft.
③ Parking Lane	N/A	8 Ft. (Option on one or both sides of the street)
④ Sidewalks		
4A. Public Frontage Zone	N/A	Optional (4' Min. if Provided)
4B. Walkway Zone	5 Ft. Minimum	5 Ft. Minimum
4C. Furnishing & Utility Zone	N/A	4 Ft. Minimum
⑤ Tree Belt	8 Ft. Minimum	Optional (4' Min. if Provided)
⑥ Multi-Use Pathway	Optional on 60' Min. ROW; 8 Ft. Min. if Provided and 12' Optimal	N/A

TABLE 9.7.B.1.B. – STREET AND PATHWAY DESIGN STANDARDS

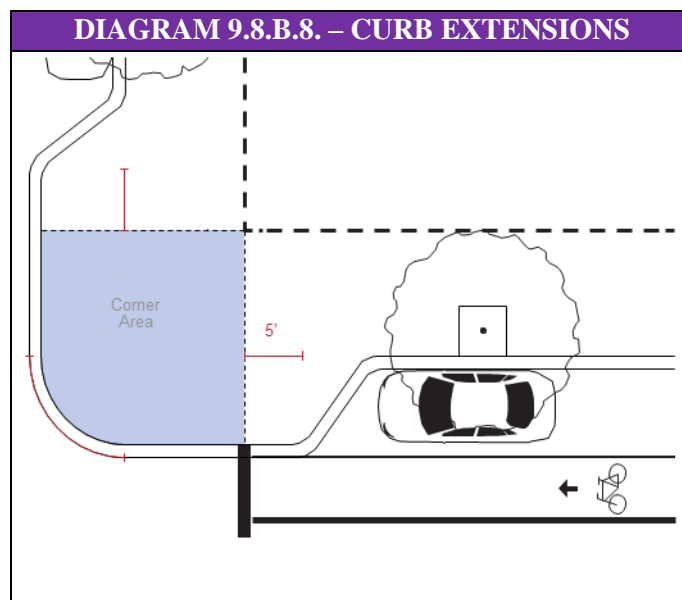
Street Component		
	Neighborhood Street	Access Street
① Street Right-Of-Way	40 Ft. Minimum	24 Ft Minimum
② Travel Lane	11 Ft.	10 Ft.
③ Parking Lane	Informal	Prohibited
④ Sidewalks		
4A. Public Frontage Zone	N/A	N/A
4B. Walkway Zone	4 Ft. Minimum	1 Side/4 Ft. Minimum
4C. Furnishing & Utility Zone	N/A	N/A
⑤ Tree Belt	5 Ft. Minimum	N/A
⑥ Multi-Use Pathway	Optional	N/A



Sidewalk design standards are as follows:

- a. Walkway zones must be concrete and a minimum of five feet in width.
- b. Furnishing & Utility zones must be concrete with tree pits with grates and a minimum of four feet in width. Block, brick, or paver materials are allowed where the sidewalk is not publicly owned and maintained.
- c. The edge of the Furnishing & Utility zone adjacent to the street must be concrete, brick, and stone materials with a granite curb.
- d. Public Frontage Zones may be used for Publicly Oriented Private Spaces and Building Activation Encroachments in accordance with the standards in Section 9.7.B.

- e. The pavement design of walkway zones must be continuous for the full length of each block face.
6. Street Enhancement Zones. The Street Enhancement zone includes on-street parking and potential pedestrian activity areas between the Furnishing & Utility zone and the edge of street and bicycle travel lanes. Components in this area include temporary uses such as a food truck, which take over parking spaces, and permanent components like stormwater infiltration areas, bike racks and corrals, bus stop shelters, curb extensions, parklets, and crosswalks.
7. Curb Extensions (Bulb-Outs).
 - a. Sidewalk extensions must occupy the full width of the parking lane they extend into.
 - b. At corners, sidewalk extensions must run at least five feet from the corner area of the sidewalk as illustrated in Diagram 9.8.B.8.
 - c. At bus stops, sidewalk extensions must run at least fifty feet from the corner area of the sidewalk.



8. Street Trees.
 - a. Planting strips must include street trees planted within the Furnishing & Utility Zone on average no greater than forty feet apart on center. Along Public Frontage Zones, street trees may be planted in an irregularly-spaced pattern to avoid visually obscuring storefront windows and signage.
 - b. When planted, street trees must be a minimum height of ten feet and/or three inches in caliper.

- c. A minimum sixteen square feet open soil area must be left around each street tree, centered at the tree trunk. When recessed below an adjacent walkway, open soil areas must be protected by metal tree grates.

9. Driveway and Sidewalk Crossings.

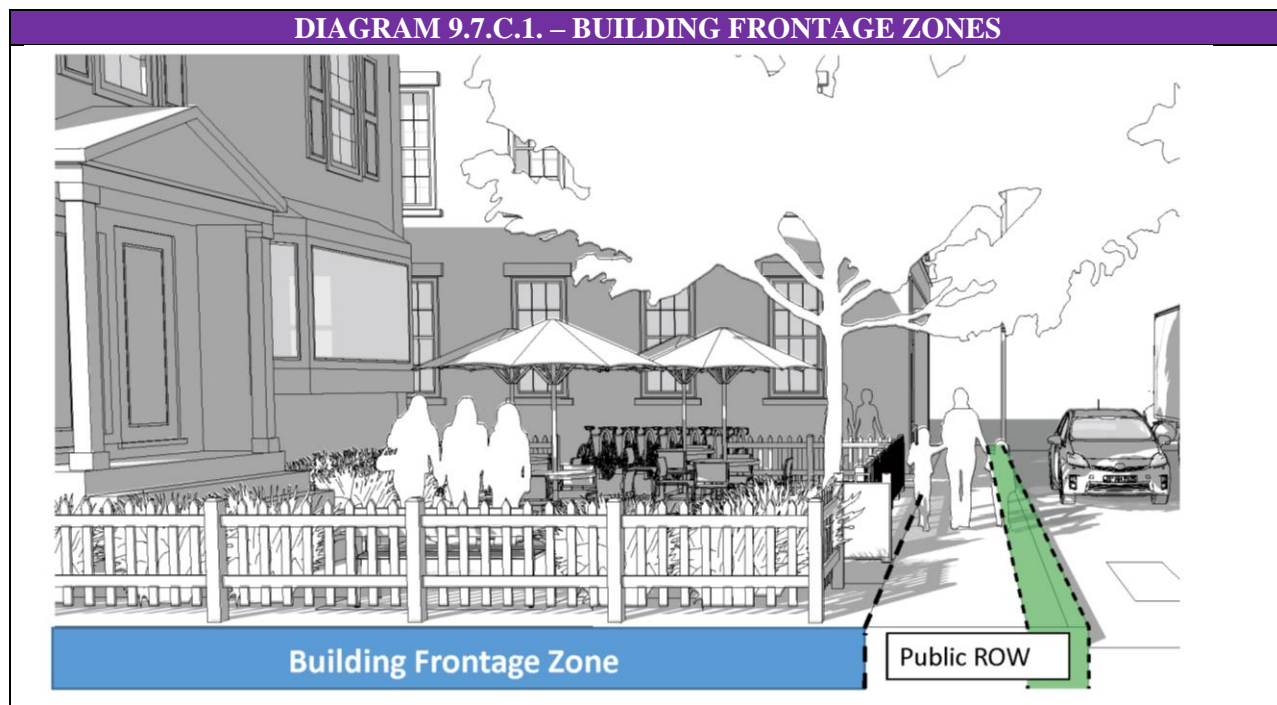
- a. Driveway crossings traversing sidewalks with paved furnishing zones must be designed to maintain the grade and clear width of the walkway they cross and must include sloped flares on either side of the driveway apron as shown in Diagram 9.8.B.10.
- b. Driveway crossings traversing sidewalks with continuously planted furnishing zones must be designed to maintain the grade and clear width of the walkway they cross and must include returned curbs as shown in Diagram 9.8.B.10.
- c. The appearance of any walkway (i.e. scoring pattern or special paving) must be maintained across any driveway or alley to indicate that, although a vehicle may cross, the area traversed by a vehicle remains part of the sidewalk.
- d. Curb cuts may be no wider than the driveway or vehicular entrance they serve, excluding flares or returned curbs necessary to accommodate service vehicles.
- e. Curbcuts that are 20 feet or more in width shall have a pedestrian crosswalk.

10. Multi-Use Pathway and Walking Trails.

- a. A multipurpose pathway is an independent pedestrian and bicycle way generally running through or parallel with parkways and streets and connecting building and Development Tracts.
- b. Multipurpose pathways shall have a minimum width of 10 feet; be surfaced with asphalt or stone dust; and be connected directly with the sidewalk and street network.
- c. Walking trails shall be cleared to a minimum width of 5 feet.

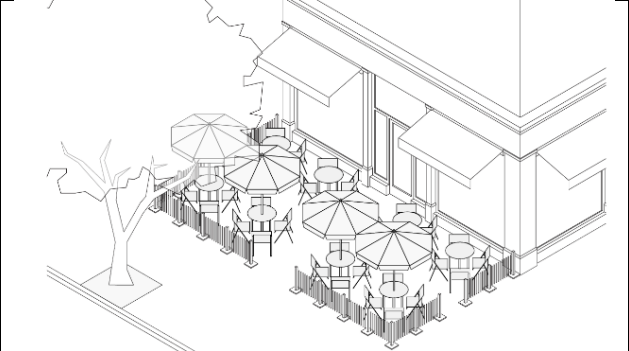



C. Public Realm Interface

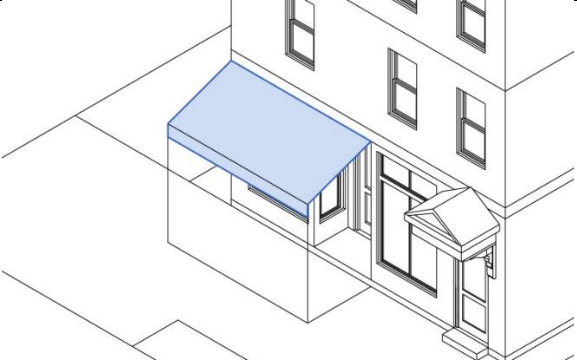
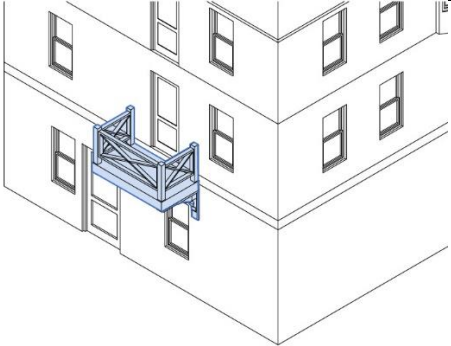
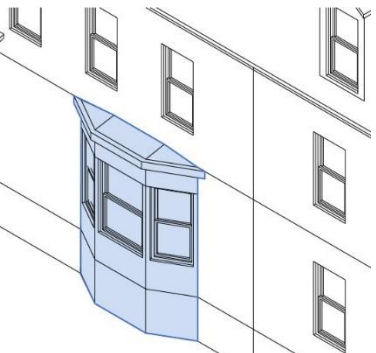

- 1. Building Frontage Zones. A Building Frontage Zone is the setback space between the street facing façades of the building and the street ROW line. Building Frontage Zone uses must provide a compatible transition and interface between the private realm (buildings and uses) and the public realm (sidewalks, streets, , and civic spaces). Outdoor Amenity Spaces are required in the Building Frontage Zone, and Publicly Oriented Private Spaces (POPS) are requirements in specified Oak Grove Park Districts.



2. Building Interface within the Public ROW. Building interfaces such as building components, outdoor amenity spaces, signs, displays, and related interactive components may be permitted by special permit from the PEDB on the Public Frontage when they contribute to vibrant spaces for the enjoyment of the public and do not interfere with the 5-foot minimum Walkway Zone. All building interfaces on the public ROW shall comply with all relevant Town Bylaws. Permissible building interfaces are set forth in Table 9.7.C.2.

TABLE 9.7.C.2. - BUILDING FRONTAGE ZONE AND PUBLIC REALM INTERFACE APPLICATIONS

Type	Description and Design Standards
1. Sidewalk Dining Terrace 	<p>Outdoor dining cafes are permitted as an ancillary activity of any restaurant, pub, or other food and drink establishment. The operator of the outdoor dining cafe may be granted permission special permit from the PEDB for cafes in the Building Frontage Zone. Permission is required from the Board of Selectmen for cafes in the Public Frontage Zone.</p>
2. Storefront Display 	<p>Sidewalks displays on a public sidewalk shall be within 3 feet of the building; are prohibited from interfering with pedestrian travel in the Walkway Zone; and must be removed when the business is not open; and comply with all other Town Bylaws.</p>
3. Sandwich Board Sign 	<p>A freestanding portable sign, not secured or attached to the ground or any building or structure, composed of a sign panel and supporting structure or one or more panels which form both the structure and sign face, and which is intended to be placed in a sidewalk or pedestrian way. Sidewalk signs displayed on a public sidewalk shall be within 3 feet of the building; are prohibited from interfering with pedestrian travel in the Walkway Zone; must be removed when the business is not open; and comply with all Town Bylaws.</p>
4. Projecting Signs and Banner 	<p>A building mounted sign attached to, and extending from, a building or support beam in whole or in part which extends beyond said building. Projecting signs may encroach into the public right-of-way but shall not be located within 5 feet to the closest curb line. Projecting sign shall be mounted a minimum of 6 inches away from the building and 8 feet from the bottom of the sign to the sidewalk grade; and comply with all Town Bylaws.</p>

<p>5. Awning</p> 	<p>An awning projecting over the sidewalk of a public thoroughfare must have 8 feet of clearance in height to the sidewalk grade, 8 feet in clearance from the curbline, and comply with all Town Bylaws.</p>
<p>6. Balcony</p> 	<p>A balcony projecting over the sidewalk of a public thoroughfare must have 12 feet of height clearance to the sidewalk grade, 8 feet in clearance from the curbline, and comply with all Town Bylaws.</p>
<p>7. Bay Window</p> 	<p>Bay windows projecting over the sidewalk of a public thoroughfare must have 12 feet of height clearance, 8 feet in clearance from the curbline, and comply with all Town Bylaws.</p>
<p>8. Gallery</p> 	<p>A gallery is an attached cantilevered shed or lightweight colonnade within the Building Frontage Zone or overlapping the public sidewalk and providing shelter for pedestrians. A gallery projecting over the public sidewalk must have 12 feet of clearance, 8 feet in clearance from the curbline, and comply with all Town Bylaws.</p>

3. **Parklets.** A parklet is a temporary Furnishing & Utility Zone treatment that typically extends out from the sidewalk at the level of the curb to the width of the adjacent on-street parking space. They are intended to enhance the pedestrian environment and provide outdoor amenity space where desirable. Parklets may be allowed with a permit from the Board of Selectmen under the following standards:
 - a. Parklets may be used for public seating, food trucks and carts, bike corrals, exercise stations, pop up stores and other temporary retail vendors, and other amenities.
 - b. Parklets must occupy the full width of the parking lane they extend into.
 - c. When a bike lane is present, parklets must be set back so that they do not interfere with travel on the bike lane.
 - d. Parklets must be setback at least 50 feet from the corner of a street.
 - e. The PEDB may adopt specific design standards and guidelines for parklets.

4. **Pedestrian Passages.**
 - a. Pedestrian passages must connect off-street parking areas with the public sidewalk.
 - b. Pedestrian passages must be a minimum of eight feet in width.
 - c. All pedestrian passages must be lighted using footlights, bollard lights, building lights, or street lights to provide for visibility at night.

5. **Signs.** Building and site signs shall comply with the rules and regulations in Section 7.2 of the Medway Zoning Bylaw. The specific type of permitted signs and related design standards in Section 7.2.5, Tables 1-10 shall be applicable as identified in each of the Oak Grove Park Districts.

9.8 DENSITY AND BULK STANDARDS

A. Base Residential Density.

Buildings and Developments within Oak Grove Park Districts shall be subject to the following density standards:

TABLE 9.8.A.1. - RESIDENTIAL DENSITY BY ZONING DISTRICT			
BUILDING TYPES	BY RIGHT/SPECIAL PERMIT UNITS PER 44,000 S.F.		
	OGVC	OGN	OGBP
Cottage	N/A	8/16	N/A
Rowhouse	12/16	12/16	N/A
Multi-Family Building	20/24	20/24	N/A
Mixed-Use Buildings	20/24	20/24	N/A

B. Density Bonus Requirements.

1. General Requirement. The PEDB may, by special permit, allow higher density up to the maximum established on Table 9.8.A.1. above if certain Public Benefit Improvements are made by the applicant that provide benefits to residents and businesses in the Development Tract, the Oak Grove Park Districts, and surrounding area. If sufficient Public Benefit Improvements are made, the PEDB shall make a written finding that the applicant will provide significant improvements providing a public benefit, in addition to those improvements necessary to meet the base density requirements of this bylaw.
2. Approval of Density Bonus Improvements. The PEDB shall be under no obligation to grant a density bonus and may determine, in its sole discretion, whether the offered improvements are sufficient in nature, scope, cost or otherwise, to justify such bonus. The offer and commitment by an applicant to provide all or any number of Public Benefit Improvements does not, in and of itself, require the PEDB to grant such density bonus. In order to make this determination, the following are required:
 - a. The applicant shall provide the PEDB with a written description of the intended improvements, the public benefit provided, significance to the Town, provision for maintenance if required, applicant's cost estimates, and a sketch plan showing the location and type, size and extent of improvements.
 - b. The PEDB may require a bond to cover the cost of any Public Benefit Improvements that will be constructed, or a binding agreement approved by Town Counsel, to remain in place until the improvements are completed to the satisfaction of the Town.
 - c. A specific time frame for the completion of all required off-site Public Benefit Improvements shall be incorporated as a condition of approval of the PEDB.
 - d. The applicant shall provide a list of all permits and approvals required relating to any proposed Public Benefit Improvements with the application. These approvals shall be obtained prior to approval of the development, unless an exception for good cause is explicitly authorized by the PEDB.

9.9 DESIGN WAIVERS AND SPECIAL PERMIT CRITERIA

- A. **Purpose.** A design waiver allows a specifically authorized type of exception from the provisions governing development in the Oak Grove Park (OGP) district pertaining to general standards in Section 9.3, building types in Section 9.4, development standards in Section 9.5 Outdoor Amenity Space in Section 9.6, Public Realm Standards in Section 9.7, and Oak Grove Park subdistrict standards in Section 9.10.

B. Review Criteria. In addition to the criteria in Section 3.4, and by special permit, the PEDB may authorize a design waiver upon making positive findings under the following criteria:

1. Consistency with the general purpose and goals of the Oak Grove Area Urban Renewal Plan;
2. Consistency with any waiver eligibility requirements, as indicated in Section 9.9.A above;
3. Such relief shall not result in substantial detriment to the OGP district or surrounding neighborhoods;
4. Adequacy and safety of traffic flow, access, parking, and loading;
5. Adequacy of utilities and other public services;
6. Positive impacts on pedestrian comfort and safety including streetscape enhancements and outdoor amenity spaces;
7. Positive fiscal impact, including impact on municipal services, tax base, and employment; and
8. Social, economic, or community needs are served by the waiver.

C. Conditions. The Planning Board may attach supplemental conditions and/ or limitations that it deems necessary in order to ensure compliance to the findings and/or standards for the specific special permit requested.

9.10 OAK GROVE PARK DISTRICTS

The development and design standards of Section 9 apply to the designated Oak Grove Park Districts as set forth below.

A. Oak Grove Village Center (OGVC)

The purpose of this district is to create an attractive gateway from Interstate 495 to the Town by encouraging a broad range of commercial, recreational, cultural, and service uses, and a limited amount of residential and institutional uses at moderate densities, supported by attractive streetscape treatments and multi-modal transportation facilities including bus transit, sidewalks, and multi-use pathways and walking trails within the OGVC and connecting to other Oak Grove Park subdistricts.

TABLE 9.10.A.1 - OAK GROVE VILLAGE CENTER DEVELOPMENT STANDARDS




1. BUILDING TYPES & PROPERTY USES				3. BLDG & PUBLIC FRONTAGE INTERFACE			
Building Types: See Section 9.4, Table 9.4.C.1				See Section 9.7.C.; Table 9.7.C.2			
1.	Cottage	N		1.	Sidewalk Dining Terrace	P	
2.	Rowhouse	P		2.	Storefront Display	P	
3.	Multi-Family Building	P		3.	Sandwich Board Sign	P	
4.	Hotel	P		4.	Projecting Signs and Banner	P	
5.	General Commercial Building	P		5.	Awning	P	
6.	Mixed Use Building	P		6.	Balcony	P	
7.	Fabrication or Flex Building	P		7.	Bay Window	P	
8.	Civic or Community Building	P		8.	Gallery	SP	
9.	Gas Station and Convenience Store	SP					
10.	Other Approved by PEDB	SP					
Property Uses: See Section 9.4, Table 1							
2. OUTDOOR AMENITY SPACES				4. DEVELOPMENT TYPES			
See Section 9.6.; Table 9.6.B.1.				See Section 9.5.B			
1.	Neighborhood Park, Preserve (CS, POPS)	P		1.	Pocket Neighborhood (PN)	N	
2.	Common or Green (CS, POPS)	P		2.	Mixed Use Development (MUD)	P	
3.	Athletic Field or Ball Court (CS, POPS)	P		3.	General Residential Development (GRD)	P	
4.	Pathway (CS)	P		4.	General Industrial Development (GID)	N	
5.	Pedestrian Passage (CS, POPS)	P		5.	General Comm. Development (GCD)	P	
6.	Community Garden (CS, POPS, PS)	P					
7.	Forecourt (POPS, PS)	P					
8.	Courtyard (POPS, PS)	P					
9.	Plaza or Square (CS, POPS)	P					
10.	Pocket Park or Playground (CS, POPS, PS)	P					
11.	Outdoor Dining Terrace (POPS)	P					
12.	Rooftop Terrace (POPS, PS)	P					
13.	Private Yard and Garden (PS)	P					
14.	Dooryard	P					
15.	Other Approved by PEDB	SP					
N - Prohibited; P - Permitted by Right; SP - Special permit required from PEDB				5. OTHER DESIGN STANDARDS SPECIFIC TO THE DISTRICT			

B. Oak Grove Business Park (OGBP)

The purpose of this district is to facilitate the development and redevelopment of underutilized parcels by promoting opportunities for small to large-scale businesses, including a broad range of commercial office, service, light industrial, and institutional uses, as well as restaurants and other uses supporting the commercial uses, that benefit from proximity to the Route 109 and Interstate 495, surrounding natural amenities, and neighborhoods. The district is envisioned to service a wide range of economic development from an incubator for business start-ups and entrepreneurial activities to large corporations.

TABLE 9.10.B.1 - OAK GROVE BUSINESS PARK DEVELOPMENT STANDARDS



1. BUILDING TYPES				3. BLDG & PUBLIC FRONTAGE INTERFACES			
Building Types: See Section 9.4, Table 9.4.C.1				See Sections 9.7.C.; Table 9.7.C.2			
1.	Cottage	N		1.	Sidewalk Dining Terrace		P
2.	Rowhouse	N		2.	Storefront Display		P
3.	Multi-Family Building	N		3.	Sandwich Board Sign		N
4.	Hotel	N		4.	Projecting Sign and Banner		P
5.	General Commercial Building	P		5.	Awning		P
6.	Mixed Use Building	N		6.	Balcony		N
7.	Fabrication or Flex Building	P		7.	Bay Window		N
8.	Civic or Community Building	SP		8.	Gallery		N
9.	Gas Station and Convenience Store	N					
10.	Other Approved by PEDB	SP					
Property Uses: See Section 9.4, Table 1							
2. OUTDOOR AMENITY SPACES				4. DEVELOPMENT TYPES			
See Section 9.6.; Table 9.6.B.1.				See Section 9.5.B			
1.	Neighborhood Park, Preserve (CS, POPS)	P		1.	Pocket Neighborhood (PN)		N
2.	Common or Green (CS, POPS)	P		2.	Mixed Use Development (MUD)		N
3.	Athletic Field or Ball Court (CS, POPS)	P		3.	General Residential Development (GRD)		N
4.	Pathway (CS)	P		4.	General Industrial Development (GID)		P
5.	Pedestrian Passage (CS, POPS)	P		5.	General Comm. Development (GCD)		P
6.	Community Garden (CS, POPS, PS)	P					
7.	Forecourt (POPS, PS)	P					
8.	Courtyard (POPS, PS)	P					
9.	Plaza or Square (CS, POPS)	P					
10.	Pocket Park or Playground (CS, POPS, PS)	P					
11.	Outdoor Dining Terrace (POPS)	P					
12.	Rooftop Terrace (POPS, PS)	P					
13.	Private Yard and Garden (PS)	P					
14.	Dooryard	N					
15.	Other Approved by PEDB	SP					
5. OTHER DESIGN STANDARDS SPECIFIC TO THE DISTRICT							
N - Prohibited; P - Permitted by Right; SP - Special permit required from PEDB							

C. Oak Grove Neighborhood (OGN)

The purpose of this district is to facilitate the development of residential housing forms and patterns that take advantage of the natural attributes, proximity to primary travel corridors, and nearby village centers. This district is intended to include high quality housing for a variety of age groups, household types, and income ranges.

TABLE 9.10.B.1 - OAK GROVE NEIGHBORHOOD DEVELOPMENT STANDARDS

1. BUILDING TYPES AND PROPERTY USE			3. BLDG & PUBLIC FRONTAGE INTERFACES		
Building Types: See Section 9.4, Table 9.4.C.1			See Section 9.7.C.; Table 9.7.C.2		
1.	Cottage	P	1.	Sidewalk Dining Terrace	N
2.	Rowhouse	P	2.	Storefront Display	N
3.	Multi-Family Building	P	3.	Sandwich Board Sign	N
4.	Hotel	N	4.	Projecting Sign and Banner	N
5.	General Commercial Building	N	5.	Awning	P
6.	Mixed Use Building	N	6.	Balcony	P
7.	Fabrication/Flex Building	N	7.	Bay Window	P
8.	Civic or Community Building	P	8.	Gallery	P
9.	Gas Station and Convenience Store	N			
10.	Other Approved by PEDB	N			
Property Uses: See Section 9.4, Table 1					
2. OUTDOOR AMENITY SPACES			4. DEVELOPMENT TYPES		
See Section 9.6.; Table 9.6.B.1			See Section 9.5.B		
1.	Neighborhood Park, Preserve (CS, POPS)	P	1.	Pocket Neighborhood (PN)	P
2.	Common or Green (CS, POPS)	P	2.	Mixed Use Development (MUD)	N
3.	Athletic Field or Ball Court (CS, POPS)	P	3.	General Residential Development (GRD)	P
4.	Pathway (CS)	P	4.	General Industrial Development (GID)	N
5.	Pedestrian Passage (CS, POPS)	P	5.	General Comm. Development (GCD)	N
6.	Community Garden (CS, POPS, PS)	P			
7.	Forecourt (POPS, PS)	P			
8.	Courtyard (POPS, PS)	P	5. OTHER DESIGN STANDARDS SPECIFIC TO THE DISTRICT		
9.	Plaza or Square (CS, POPS)	P			
10.	Pocket Park or Playground (CS, POPS, PS)	P			
11.	Outdoor Dining Terrace (POPS)	N			
12.	Rooftop Terrace (POPS, PS)	P			
13.	Private Yard and Garden (PS)	P			
14.	Dooryard	P			
15.	Other Approved by PEDB	SP			
N - Prohibited; P - Permitted by Right; SP - Special permit required from PEDB					