

**Medway Oak Grove Zoning Task Force
Monday, March 25, 2019 at 7:00 pm
Medway Town Hall – 155 Village Street
Medway, MA 02053**

Members	Jessica Chabot	Andy Rodenhiser	Paul Yorkis	Matthew Hayes	Matt Buckley	Anthony Varrichione	Brian Cowan
Attendance	X	X	X	X	X	X	X

ALSO PRESENT:

Barbara J. Saint Andre, Director Community & Economic Development
Susy Affleck Childs, Planning and Economic Development Coordinator
Amy Sutherland, Recording Secretary
Ted Brovitz, Zoning Consultant

The meeting of the Medway Oak Grove Zoning Task Force was called to order at 7:00 pm. by
Chair Jessica Chabot.

Approval of Minutes:

March 6, 2019:

On a motion made by Paul Yorkis and seconded by Matt Hayes, the Oak Grove Zoning Task Force voted unanimously to approve the March 6, 2019 meeting minutes from the Oak Grove Zoning Task Force meeting.

Oak Grove Park Form-Based Zoning Amendments Package Version 4:

The Task Force was informed that all the previous comments and suggestions were forward to Consultant Brovitz. Those were incorporated into Version 4.0.

The Task Force reviewed the following document: **(See Attached)**

- Section 9 Oak Grove Park Districts March 18, 2019

The first document reviewed was Oak Grove Park Form Based Zoning Amendments Version 4, Page 8. Table 9.3.B.6 – Building Setback and Stepback. Consultant Brovitz explained that this chart referenced the distance from street right-of-way line along with the maximum building height allowed in the Oak Grove Park. There is a maximum height limit which must be setback based on the district. There is no sliding scale. The taller buildings need to be set back. There needs to be a variation of building heights.

There is a concern that with the setbacks, this results in non-tax generating or developable space.

The Consultant replied that the chart allows for a compromise with stepback options. There was a recommendation that the setback numbers be reviewed.

Page 19 (#2) Access and Utilities was referenced. This allows access to the interior utility area of a block will be made be a paved service street of 20 foot wide with a 4-foot sidewalk on one side. A question was asked why there is a sidewalk if this is “truly” a service street. The Consultant explained that the service road would allow for accessible parking for employees. This does lead to walkability which is good for the area. There was a question about the fire code requirements for roadway width. The Fire Code standard is 20 feet so this would need to be complied with in Oak Grove Park. It was suggested to change the term from “Access Street” to “Service Street”. This needs to be consistent throughout the document.

There needs to be an inclusion of a definition for “Service Street”.

Page 13 was next discussed. In the Table 9.4.c.1.A – Residential Building Types and Design Standards, it was suggested that in the Oak Grove Neighborhood there should not be a 0 ft. setback. A question was asked “What governs the building types in these standards and what supersedes?” The charts needs to mirror the standards.

Page 40 Table 9.9.B.1 Oak Grove Neighborhood Development Standards was referenced. This includes the section on Building Types and Property Use. Some of these building types include Rowhouse, Cottages, and Multi-Family Building. Mr. Brovitz responded that the purpose of the Oak Grove Neighborhood District is to facilitate the development of residential housing forms and patterns that take advantage of the natural attributes, proximity to primary travel corridors, and nearby village centers. The district is intended to include high quality housing for a variety of age groups, household types, and income ranges.

Chairman Chabot suggested that Mr. Brovitz check the building types and make sure they align with the tables. There should also be an asterisk (*) at the end of the page which refers to Section C.

The Chairman referred to Page 14 Table 9.4.C.1.B. Mixed-Use & Commercial Building Types and Design Standards. It was recommended that under the Mixed - Use Building, Design Standard, (Building Height), she would like to see this changed from 40 feet to 60 feet by special permit through the Planning and Economic Development Board.

The Task Force next discussed Page 8 Table 9.3.B.6 – Building Setback and Stepback. The concern in this Section is that the Oak Grove Business Park has a Maximum Building Height of 25 feet in relation to the distance from street Right-of-Way Line. A question asked was “What happens if there is a developer who comes in with a design that requires 35 feet?” There are Design Review Guidelines which have already been established which would provide guidance to the developers. There was a comment that we do not want the document to be so complicated and difficult to understand that a developer simply walks away. The intent is to provide flexibility. All are in agreement that they do not want the Village Center area to look like a mall.

The language written allows for flexibility with architectural standards and encouraging diversity in the building types.

The next section reviewed was Page 26 Table 9.7.B.1 – Street and Pathway Design Standards. All are in agreement that there needs to be different diagrams. It was suggested that there be a diagram which shows 60 foot, 50 foot and 40 foot road widths so that it can be seen what those minimum requirements look like visually on a chart. People are more likely to look a charts instead of reading the text. Consultant Brovitz agreed. It was also recommended that Trotter Drive be measured to confirm that it is 60 feet wide.

There was discussion about whether to have Parkways in the District. It was suggested that Trotter Drive would be a Parkway. Perhaps Trotter Drive should be the title in the document instead of Parkway. The concern about leaving it named Parkway is that the residents in town will see this as a thoroughfare way for drivers to pass through. The residential neighbors will not be receptive to this.

There was a suggestion that the Zoning Map should be part of the document.

The next section discussed was under the Street Component (Bike Lanes). There should be bike paths but not lanes on Trotter Drive. The reference to Bike Lanes should be removed. The Multi-Use Pathway for a Parkway should be changed from 8 feet to 10 feet minimum.

The Task Force would like to discuss public outreach at the next meeting.

Future Meeting:

Monday, April 22, 2019 at 7:00 pm with a location to be determined.

Adjourn:

On a motion made by Paul Yorkis, and seconded by Matthew Hayes, the Oak Grove Zoning Task Force voted unanimously to adjourn the meeting at 8:40 pm.

Respectfully Submitted,

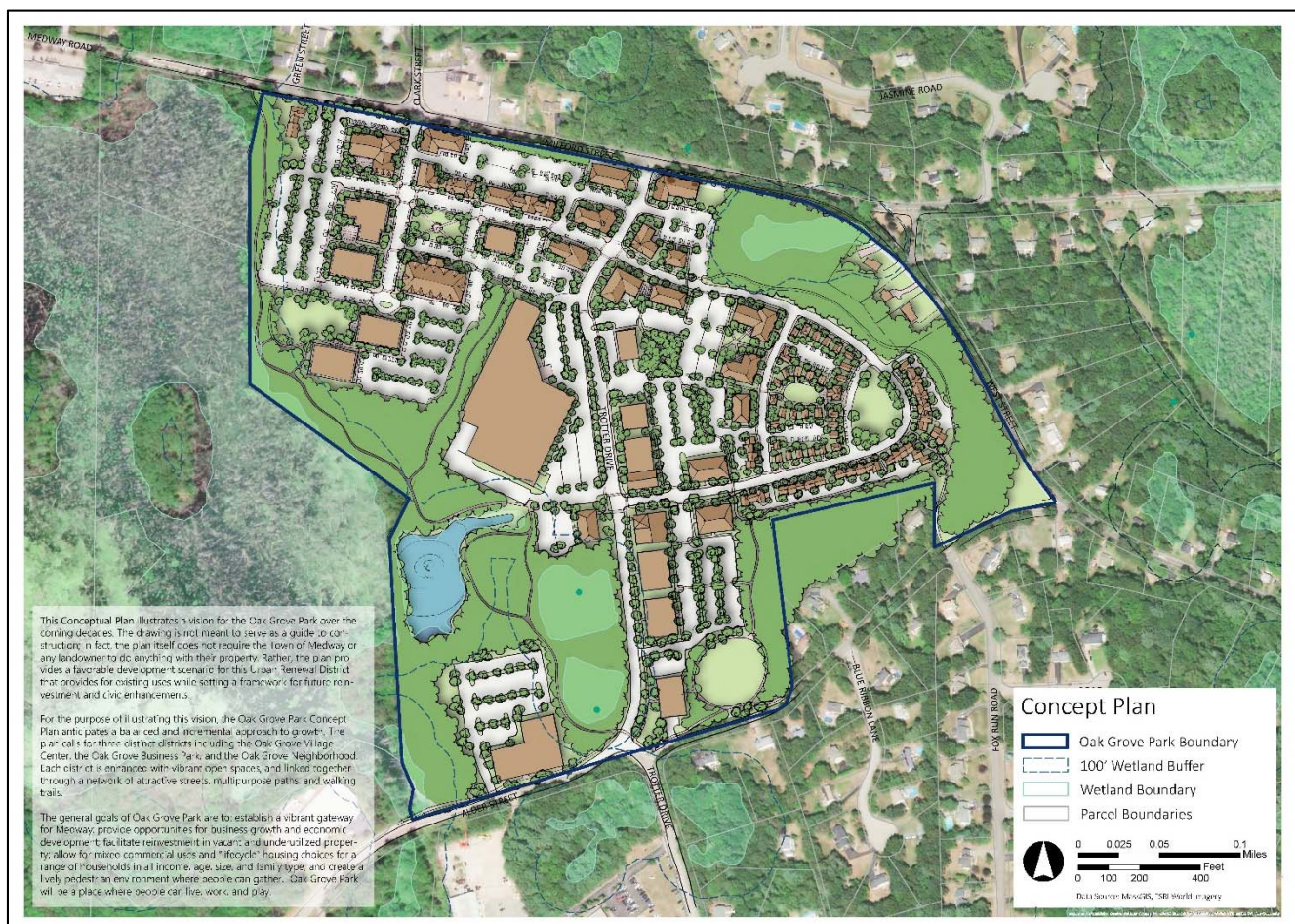
Amy Sutherland
Recording Secretary

OAK GROVE PARK FORM-BASED ZONING AMENDMENTS PACKAGE

TOWN OF MEDWAY, MA

Version 4.0

March 18, 2019



Brovitz Community Planning & Design
Dodson & Flinker Associates

OAK GROVE PARK DISTRICT (OGP) FORM-BASED ZONING STANDARDS

SECTION 4. ESTABLISHMENT OF DISTRICTS

4.1. DISTRICTS

ADD:

D. Form-Based Districts

1. Oak Grove Park (OGP)

4.2. ZONING MAP

Amend Subsection A to read: A. Except for the Flood Plain District, Groundwater Protection District, and Oak Grove Park Districts, the boundaries of these districts are defined and bounded on the map entitled, “Town of Medway Zoning Map,” dated December 4, 2014, as may be amended and revised, with a list of the names of the members of the Planning and Economic Development Board and filed with the Town Clerk, which map, together with all explanatory matter thereon, is hereby incorporated in and made a part of this Zoning Bylaw.

Add Subsection D: The Oak Grove Park Districts shall be located and bounded as shown on the map “Oak Grove Park Regulating Plan” dated ____, which map is incorporated and made part of this Zoning Bylaw.

SECTION 5. USE REGULATIONS

5.4. SCHEDULE OF USES

Amend Table 1: Schedule of Uses to add columns for Oak Grove Village Center (OGVC), Oak Grove Business Park (OGBP), and Oak Grove Neighborhood (OGN) and permitted uses by right and special permit, and prohibited uses in each district, as set forth in the Amended Table of Uses attached hereto.

ADD A NEW SECTION 9 TO THE ZONING BYLAW, OAK GROVE PARK DISTRICTS, AS FOLLOWS:

SECTION 9. OAK GROVE PARK DISTRICTS

9.1. PURPOSE AND APPLICABILITY

A. Purpose

The purpose of Oak Grove Park Districts is to facilitate building renovation and new development that is compatible with the existing land use characters patterns of Medway and fulfills the opportunities for residential, commercial, light industrial, civic, and mixed uses in specific areas targeted for investment.

B. Designated Districts

1. Oak Grove Park (OGP): Oak Grove Park (OGP) incorporates the Oak Grove Urban Renewal Area as delineated in the Oak Grove Urban Renewal Plan dated March 2017. OGP is a major gateway into Medway with access to Route 109 and Interstate 495. OGP is identified in the Medway Master Plan and the Oak Grove Urban Renewal Plan as an area targeted for development and reinvestment. The standards set forth herein for OGP are intended to:
 - a. Promote development that is consistent with the Oak Grove Urban Renewal Plan to facilitate new investment and create a vibrant, diverse, connected and resilient district.
 - b. Guide the physical character of development by providing context-based building and site development standards that reflect scale, design characteristics, and development patterns existing or envisioned for the district.
 - c. Create a public realm with high quality streetscape, enhanced outdoor recreation areas, and active public and publicly-oriented gathering spaces that enhance development and reinforce pedestrian orientation and multi-modal transportation in the district.
 - d. Encourage high quality housing production for a variety of age groups, household types, and income ranges.
 - e. Encourage a range of business development opportunities using the advantages of access to Route 109 and Interstate 495.

Oak Grove Park (OGP) contains three subdistricts which are identified below and on the OGP Zoning District Map and Regulating Plan. The design and development standards for the OGP subdistricts are included in Section 9.9.

- 1) Oak Grove Village Center (OGVC)

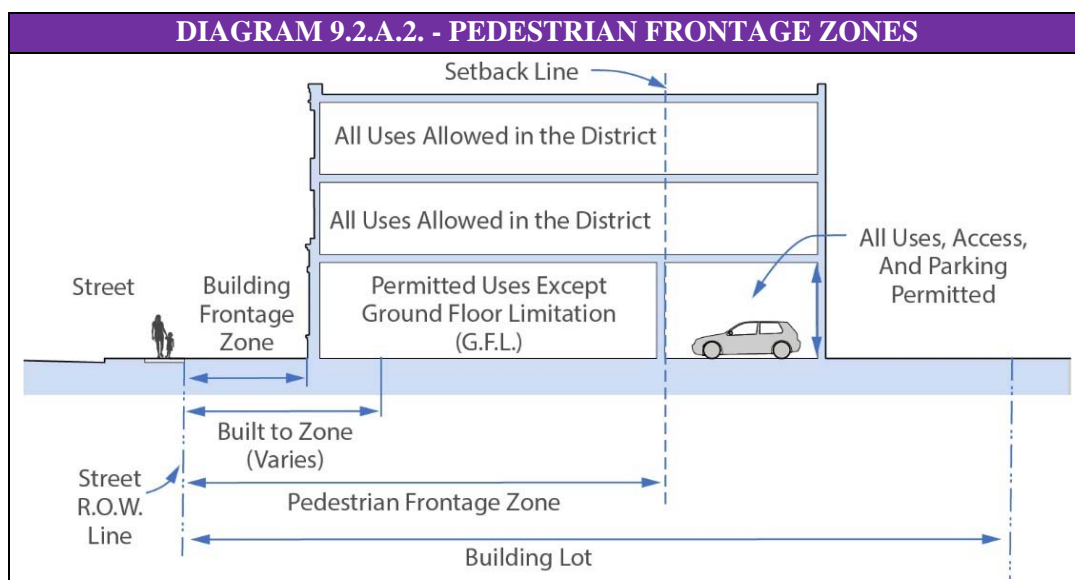
- 2) Oak Grove Business Park (OGBP)
- 3) Oak Grove Neighborhood (OGN)

9.2. REGULATING PLAN

Each Oak Grove Park subdistrict includes a Regulating Plan which is an enhanced zoning map that illustrates additional development and design standards specific to each district. The Regulating Plan includes the following standards:

A. Pedestrian Frontage Zones.

1. Purpose: The Pedestrian Frontage Zones are properties along certain public streets in the OGP prioritized for pedestrian-oriented and active ground floor uses. Pedestrian Frontage Zones may be identified on the Town of Medway Zoning Map.



2. Requirements: Buildings fronting on the designated street segments for Pedestrian Frontage Zones shall be subject to the following Ground Floor Limitations:
 - a. Ground floor uses shall be reserved for retail, restaurant, and publicly-oriented personal service, office, repair, and municipal uses.
 - b. Residential and other non-residential uses not oriented to public access shall be allowed to have access at the street line by an entrance that leads to the upper floors of the building or the rear of the building.
 - c. Residential and other non-residential uses not oriented to public access shall be allowed on ground floors where:

- 1) The use is within a building with frontage on the street and the use is set back a minimum of 60 feet from the street line; or
- 2) The PEDB may waive this requirement if it determines that street-front residential and other non-publicly oriented uses will not have an adverse impact on the continuity and vitality of the pedestrian-oriented street-front uses.

B. Civic and Park Nodes. The Oak Grove Park District Regulating Plan may identify Civic and Park Nodes which are areas within the district that are intended to be used as a Public Outdoor Amenity Space under Section 9.6.

C. Streets and Pathways. Reserved.

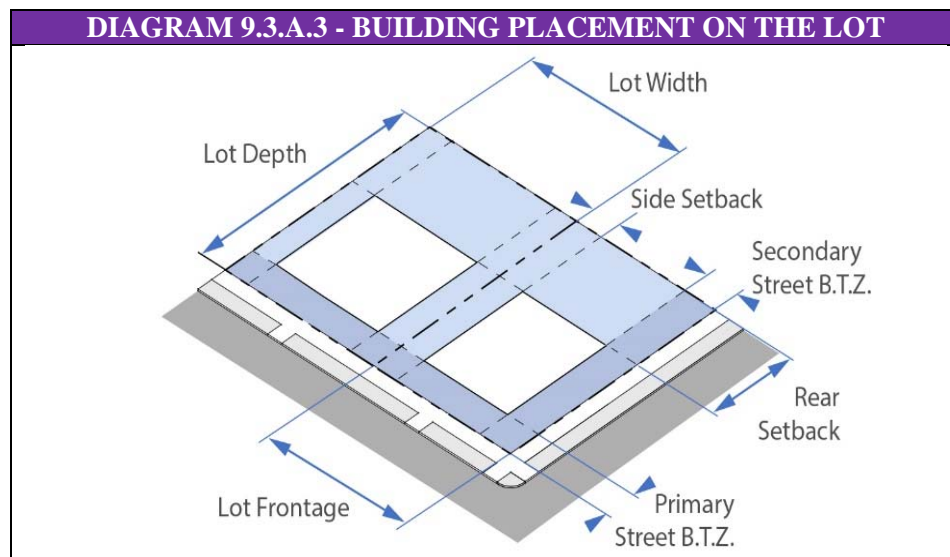
D. Transitional Buffer Zones.

1. Purpose: The Transitional Buffer Zones are certain subdistrict boundaries where buildings and uses must be buffered to create a compatible transition with the surrounding neighborhoods and other land uses. Transitional Buffer Zones are identified on the Oak Grove Park District Zoning Map which is integrated into the Town of Medway Zoning Map.
2. Buffer Requirements: Where required, buffers may include a combination of natural or landscaped screening and fencing that provides an opaque visual barrier to a minimum height of eight feet above the ground. Buildings and associated accessory uses shall be setback a minimum of 75 feet from the property line along all Transitional Buffer Zone boundaries.

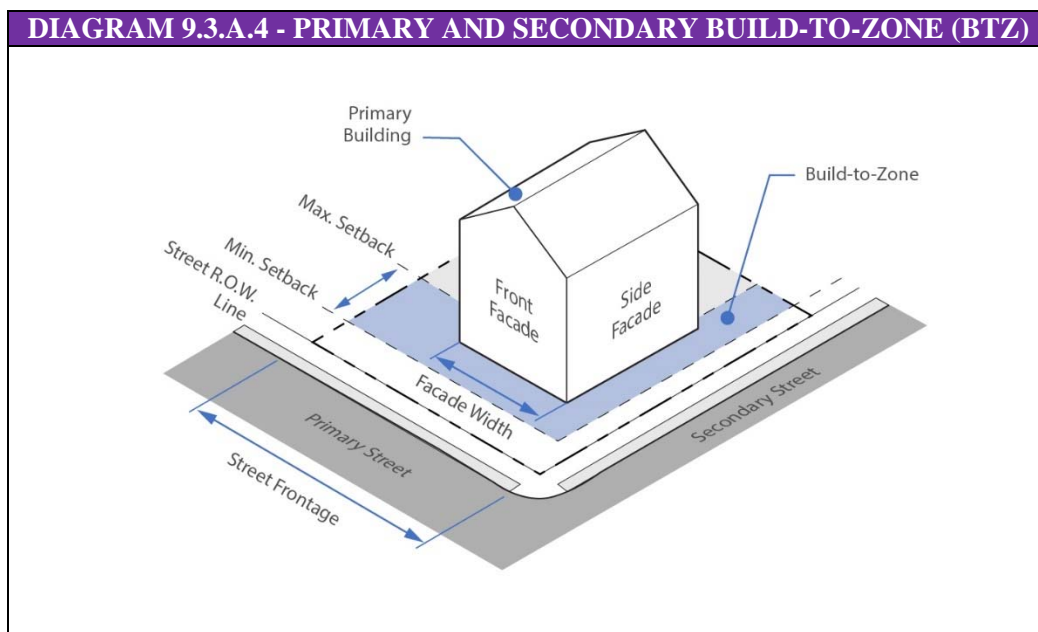
9.3. GENERAL STANDARDS FOR ALL BUILDINGS AND LOTS

A. Building Placement and Orientation.

1. Building Lots: Building lot requirements designate the minimum area that a given building or Development Tract can be built on in a specific District. Minimum lot sizes are defined in Section 9.4 for each of the Building Types.
2. Number of Buildings: No more than one principal building is allowed on a building lot except where otherwise specified in this section.
3. Building Placement: No principal buildings and/or accessory structures shall be located in any required front, side, or rear setbacks except as otherwise permitted in this section. Building placement standards are set forth for each Building Type in Section 9.4.



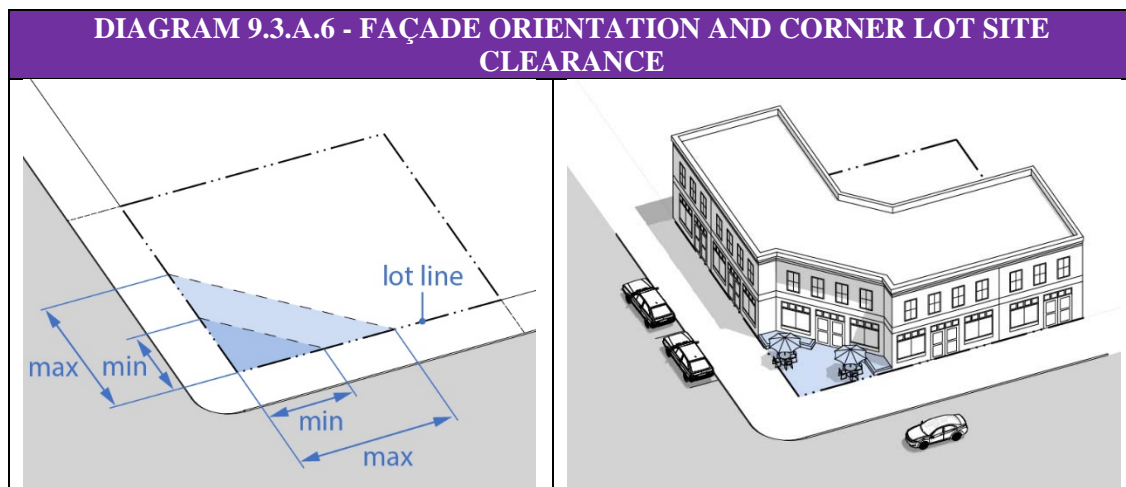
4. **Build-To-Zones (BTZ):** The area between the minimum front setback and maximum front setback is the **Primary Street Build-To-Zone (BTZ)** in which the front façade of the primary building facing the primary street shall be placed. If the lot is on a street corner, the side façade facing the secondary street shall also be placed in the required **Secondary Street Build-To-Zone**. The BTZ is defined for each Building Type in Section 9.4.



5. **Build-To-Zone Occupancy (BTZO):** The width of the primary building façade facing the Primary Street measured as a percentage of the street frontage shall determine the percentage occupancy of the Build-To-Zone. Primary BTZ Occupancy shall be equal to

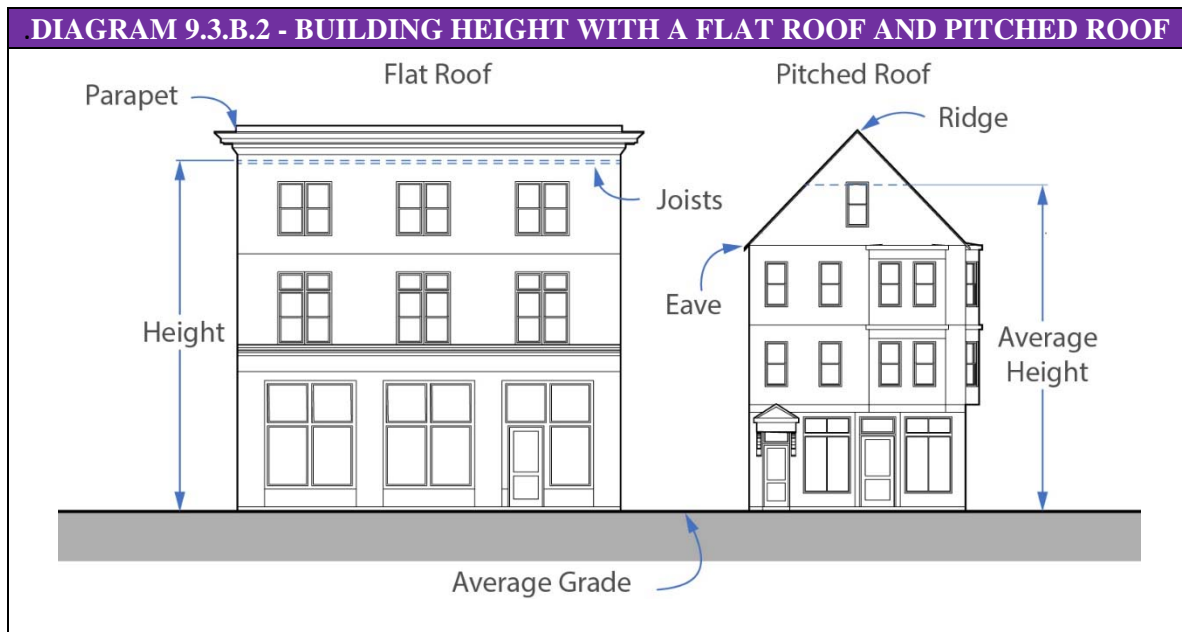
at least 50% of the frontage width at the street line unless otherwise specified in the Building Type standards in Section 9.4.

6. Facade Orientation: The front facade and entrance of a principal building must be built parallel to a street right-of-way (ROW) line. On a corner lot, the building facade may be retracted up to 30 feet at a 45-degree angle between the curb radius to allow for Outdoor Amenity Space and for clear site distance at the corner.



B. Building Height.

1. Minimum and Maximum Height: The minimum and maximum height and number of stories is defined by Building Type in Section 9.4. A factor in determining the minimum and maximum building height is the typical height of traditional building types, the existing height of adjacent buildings, and the pedestrian-orientation and level of walkability desired for the District.
2. Height Measurement and Roof Pitch: Building height is calculated in feet and measured as the vertical distance from the grade plane to the average height of the highest roof surface.



3. **Half-Stories:** When building height allows for a half-story, the half story is counted as the habitable space located directly under a pitched roof. For half-stories, the following standards apply:
 - a. The roof rafters must intersect the wall plate or top of wall frame of the exterior walls at a height no more than two feet above the finished floor of the half-story.
 - b. Ceiling height of a half story must not exceed twelve feet in height at any point.
4. **Attics:** Non-habitable attic space located under a pitched roof is not counted as a half-story.
5. **Building Height Exceptions:** Height limits do not apply to Outdoor Amenity Spaces such as a roof deck, terrace, garden, trellises, and related structures conforming to Section 9.6. Height limits do not apply to mechanical and stairwell housing; roof mounted cellular, radio, and internet transmission equipment; vents or exhausts; solar panels or small wind turbines; skylights; flagpoles; and belfries, chimneys, cupolas, monuments, parapets, spires, steeples, and other non-habitable architectural features.
6. **Building Stepback and Street Enclosure:** Buildings must be set back or stepped back from the street right-of-way line in accordance with Table 9.3.B.6 below. These standards supersede the maximum height requirements for individual Building Types in Section 9.4. The purpose of this requirement is to enhance the pedestrian environment and prevent excessive street enclosure and shadowing on narrower streets. Within the spaces created by building setbacks or stepbacks, Outdoor Amenities Space is encouraged and may be required under Section 9.6.

TABLE 9.3.B.6 - BUILDING SETBACK AND STEPBACK

Distance from Street Right-Of-Way Line	Maximum Building Height by OGP		
	OGBP	OGVC	OGN
0 Feet	25	35	25
25 Feet	45	45	35
50 Feet or More	60	60 (Comm. And Mixed Use Buildings)	45

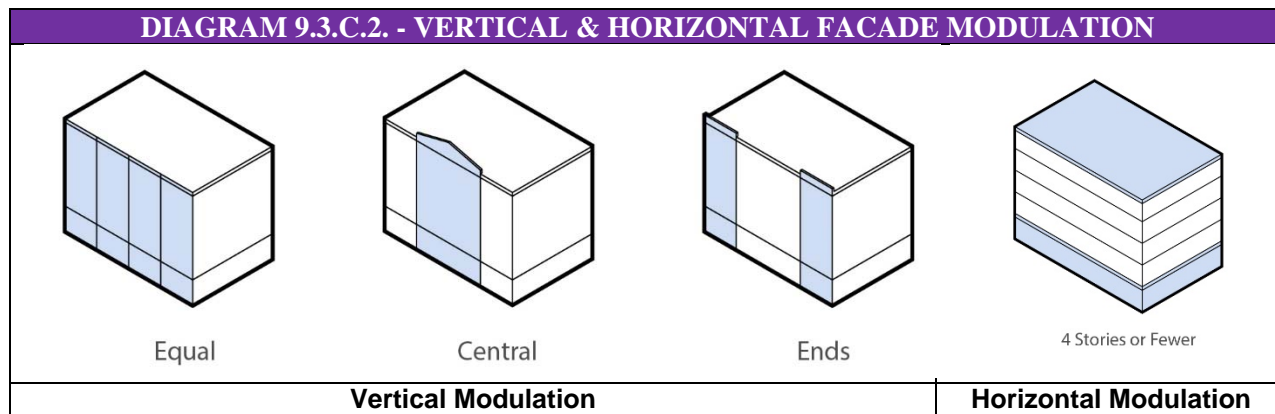
The diagram illustrates two scenarios for building setbacks from the Right-Of-Way (R.O.W.) Line. On the left, a building is shown with three distinct setbacks: 50 feet, 25 feet, and 25 feet from the R.O.W. Line. The building heights correspond to these setbacks: 35 feet for the first section, 45 feet for the second, and 60 feet for the third. On the right, a building is shown with a single setback of 50 feet from the R.O.W. Line, reaching a height of 60 feet. Both diagrams show the building's footprint and the R.O.W. Line.

C. Building Proportions and Façade Composition.

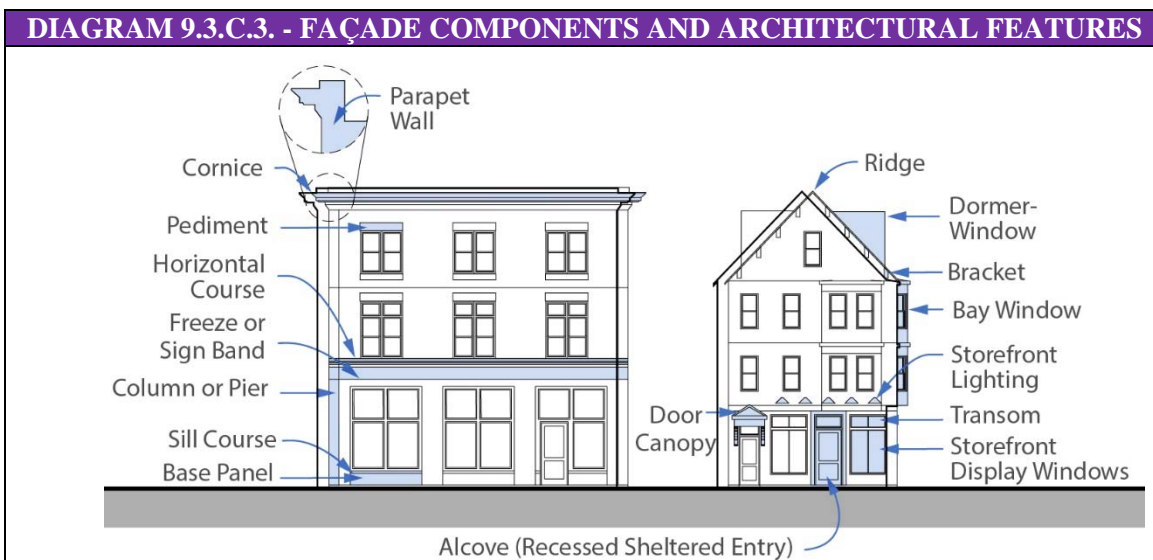
1. Vertical Modulation and Articulation:

- The minimum and maximum building width shall be determined for each building type under Section 9.4. Street facing building façades shall be vertically articulated with architectural bays to create an equal, central, or end articulated façade composition.
- Buildings greater than fifty feet in width shall be designed to read as a series of smaller buildings with varied articulation, architectural detailing, and fenestration patterns. Articulation must result in a change in vertical plane of the façade of at least four feet (in depth or projection) for at least one modulated bay in width for every fifty feet of total street-facing and publicly accessible façade width.
- The façade on new buildings that are wider than tall shall be articulated and defined by piers built into the façade at least 12 inches wide and 4 inches deep or of equivalent separation on the street-facing publicly accessible façade.

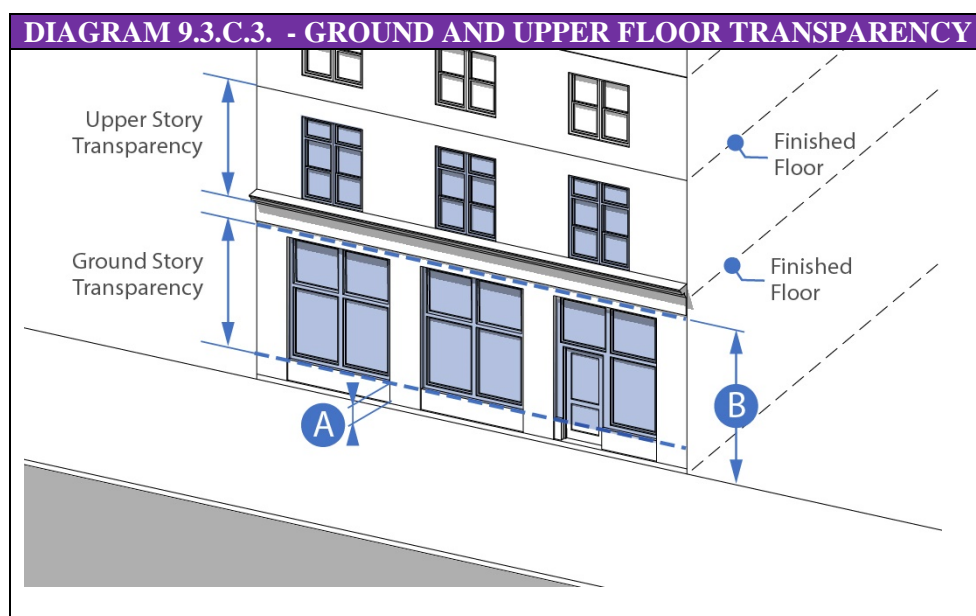
2. **Horizontal Modulation and Articulation:** Street-facing building façades should be horizontally articulated with a clearly defined base, middle, and top as illustrated below. For buildings three stories and taller, the following standards apply:
- The top story of each street-facing façade should have a cornice, parapet, roof element, or change in massing as an expression of the building's top.
 - Materials appearing heavier in weight should be used for the buildings base, with materials appearing similar or lighter in weight used above.



3. **Surface Relief with Architectural Features:** Street-facing building façades should provide surface relief through the use of bay windows, cladding, columns, corner boards, cornices, door surrounds, moldings, piers, pilasters, sills, sign bands, windows, and other equivalent architectural features that either recess or project from the average plane of the façade by at least four inches. See Diagram 9.3.C.3.

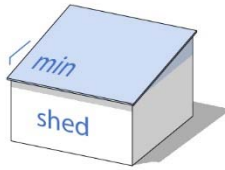
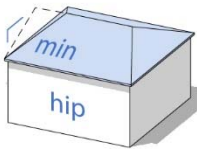
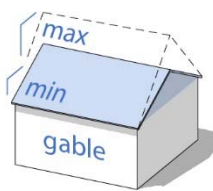
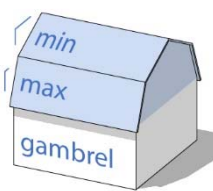
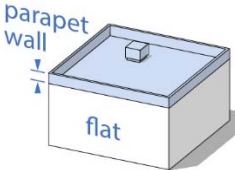


4. **Building Transparency:** The following standards apply to all commercial and mixed-use buildings in Oak Grove Park Districts. Specific façade transparency requirements are defined in each Building Type in Section 9.4:
- Façades shall have windows and doors with highly transparent, low reflectivity glass for a percentage of the total area of a façade, measured for each story independently.
 - Façade transparency of a ground story façade is measured between two feet (A) and twelve feet (B) above the adjacent Public Realm as shown in Diagram 9.3.C.3 (see Section 9.7 Public Realm).
 - Façade transparency requirements are only applicable to front façades facing a street right-of-way line.



D. Roof Types and Design.

1. **Roof Shapes and Pitch.** The shape and proportion of the roof shall be consistent with the following standards:

TABLE 9.3.D.1. - ROOF FORMS				
Roof Shape and Pitch Requirement				
Shed	Hip	Gable	Gambrel	Flat
2:12 Min.	3:12 Min.	6:12 Min./ 12:12 Max.	6:12 Min./ 30:12 Max.	Not Applicable
				

2. Parapet Wall. Buildings with flat roofs shall be capped by an articulated parapet that is visible from all sides of the building and screens the rooftop mechanical infrastructure from view at ground level.

E. Exterior Treatments.

1. The main elements of the architectural treatment of the building's street-facing façade, including the materials used, should be continued around all sides of the building that are visible from existing and planned streets, pedestrian passages, parking lots, or outdoor amenity spaces.
2. Traditional construction materials such as brick, stone, clapboard, and shingle are suggested construction materials. Other contemporary construction materials such as glass, metal, block, and other siding materials may be appropriate in certain OGPs and when compatible with more traditional materials. See Town of Medway Design Review Guidelines.

9.4 BUILDING TYPES, USE AND DESIGN STANDARDS

A. Allowable Uses

Uses allowed by right and by special permit are identified in Section 5.4 Schedule of Uses and Table 1. The Medway Planning and Economic Development Board (PEDB) shall be the Special Permit Granting Authority (SPGA) for all special permits required in the Oak Grove Park Zoning Districts.

B. Determination of Building Type

1. The Building Commissioner shall classify new principal structures as a specific building type based on the definition of each type and upon finding that the structure is substantially similar in placement, height, massing, use, and features to one of the permitted building types for the zoning district where the structure is located. The Building Commissioner shall also classify existing structures that are being expanded or converted to new uses under this section. If the Building Commissioner is unable to classify an existing principal structure as one of the building types of this section, the structure is considered nonconforming.
2. If a new building is proposed that cannot be classified as one of the allowed building types of this section by the Building Commissioner, the building type is subject to special permit review and may be approved by the PEDB. The PEDB may not allow additional uses that are not listed on Table 1 in Section 5.4 Schedule of Uses.

C. Allowed Building Types

See Table 9.4.C.1.A through C below.

TABLE 9.4.C.1.A - RESIDENTIAL BUILDING TYPES AND DESIGN STANDARDS			
1. BUILDING TYPES AND DEFINITIONS			
		ROWHOUSE (RH) ON SEPARATE LOT	ROWHOUSE (RH) ON COMMON LOT
ILLUSTRATIVE DIAGRAM		TBD	TBD
1. DEFINITION		A small footprint attached single family residential building with narrow massing and located on an individual lot. Each dwelling unit is separated horizontally by a common wall and groups of buildings may be separated by a common driveway or community space.	A small footprint attached single family residential building with narrow massing and located on a common lot with other units. Each unit is separated by common walls and groups of buildings may be separated by a common driveway or community space.
2. LOT STANDARDS			
2.1	Lot Size (S.F.) (Min.)	1,200 S.F.	1,200 S.F.
2.2	Frontage (Min./Max.)	18 Ft. / 24 Ft.	18 Ft. / 24 Ft.
2.3	Front Yard Build-To-Zone (Min./Max.)	5 Ft./15 Ft.	5 Ft./15 Ft.
2.4	Side Yard Setback (Min.)	0 Ft. (15 Feet if Detached)	0 Ft. (15 Feet if Detached)
2.5	Rear Yard Setback (Min.)	15 Ft.	15 Ft.
2.6	Outdoor Amenity Space Lot Coverage (Min.)	15%	15%
3. DESIGN STANDARDS			
3.1	Building Height (Max.)	2.5 Stories/35 Ft.	2.5 Stories/35 Ft.
3.2	Street Facing Wall Width (Min./Max.)	18 Ft. / 24 Ft.	18 Ft. / 24 Ft.
3.3	Street Facing Entrance	Not Required	Not Required
3.4	Maximum Building Footprint (SF)	Not Required	Not Required
4. ADDITIONAL STANDARDS			
4.1		Off-street parking is not allowed between the buildings.	Off-street parking is not allowed between the buildings.
4.2		A maximum of 8 units can be attached by a common wall before accessway of 20 feet is provided for pedestrians, vehicles or outdoor amenity space.	A maximum of 8 units can be attached by a common wall before accessway of 20 feet is provided for pedestrians, vehicles or outdoor amenity space.

TABLE 9.4.C.1.A - RESIDENTIAL BUILDING TYPES AND DESIGN STANDARDS			
1. BUILDING TYPES AND DEFINITIONS			
		COTTAGE (C)	MULTI-FAMILY BUILDING (MF)
ILLUSTRATIVE DIAGRAM		TBD	TBD
1. DEFINITION		A small detached single-family dwelling with narrow massing. Cottages are permitted on individual lots or as part of a Pocket Neighborhood Development.	A residential building type with three or more dwelling units vertically and horizontally integrated and accessed by common entrances and hallways. MF Buildings do not include non-residential uses.
2. LOT STANDARDS			
2.1	Lot Size (S.F.) (Min.)	1,200 S.F.	8,000 S.F.
2.2	Frontage (Min./Max.)	25 Ft. / 40 Ft.	80 Ft. Min.
2.3	Front Yard Build-To-Zone (Min./Max.)	5 Ft. / 20 Ft.	10 Ft. / 30 Ft.
2.4	Side Yard Setback (Min.)	5 Ft.	15 Ft.
2.5	Rear Yard Setback (Min.)	10 Ft.	20 Ft.
2.6	Outdoor Amenity Space Lot Coverage (Min.)	15%	20%
3. DESIGN STANDARDS			
3.1	Building Height (Max.)	1.5 Stories / 20 Ft.	4 Stories / 40 Ft.
3.2	Street Facing Wall Width (Min./Max.)	18 Ft. Min.	18 Ft. / 100 Ft.
3.3	Street Facing Entrance	Not Required	Not Required
3.4	Maximum Building Footprint (SF)	Not Required	Not Required
4. ADDITIONAL STANDARDS			
4.1		Maximum of 1 Dwelling Unit per building.	
4.2		Maximum unit size is 1,400 GFA and 3 Bedrooms.	
4.3		See Section 9.5.B.2 for Pocket Neighborhood Development Standards.	

TABLE 9.4.C.1.B. MIXED-USE & COMMERCIAL BUILDING TYPES AND DESIGN STANDARDS

1. BUILDING TYPES AND DEFINITIONS			
		MIXED USE BUILDING (MUB)	GENERAL COMMERCIAL BUILDING (GCB)
ILLUSTRATIVE DIAGRAM		TBD	TBD
1.1 DEFINITION		A building that typically accommodates a variety of ground floor commercial uses and upper residential and office uses at a scale that is compatible and complimentary to its given district.	A building that typically accommodates a variety of ground floor commercial uses and upper floor office uses, or all office uses, at a scale that is compatible and complimentary to its given district. GC Buildings do not include residential uses.
2. LOT STANDARDS			
2.1	Lot Size (S.F.) (Min.)	Not Required	Not Required
2.2	Frontage (Min./Max.)	50 Ft. Min.	50 Ft. Min.
2.3	Front Yard Build-To-Zone (Min./Max.)	0 Ft. / 20 Ft.	0 Ft. / 20 Ft.
2.4	Side Yard Setback (Min.)	10 Ft. (0 Ft if Common Wall)	10 Ft. (0 Ft if Common Wall)
2.5	Rear Yard Setback (Min.)	20 Ft.	15 Ft.
2.6	Outdoor Amenity Space Lot Coverage (Min.)	15%	10%
3. DESIGN STANDARDS			
3.1	Building Height (Max.)	4 Stories /40 Ft.	3 Stories/40 Ft.
3.2	Street Facing Wall Width (Min./Max.)	30 Ft. / 150 Ft.	30 Ft. / 100 Ft.
3.4	Street Facing Entrance	Required	Required
3.5	Maximum Building Footprint (SF)	20,000 SF	20,000 SF
4. ADDITIONAL STANDARDS			
4.1		One-Story buildings must have a minimum street facing façade height of 18 feet.	One-Story buildings must have a minimum street facing façade height of 18 feet.
4.2		Where there is a side setback, a minimum of 10 feet is required to accommodate pedestrian access or 20 feet to accommodate vehicle access to the side and rear of the property.	Where there is a side setback, a minimum of 10 feet is required to accommodate pedestrian access or 20 feet to accommodate vehicle access to the side and rear of the property.

TABLE 9.4.C.1.B. MIXED-USE & COMMERCIAL BUILDING TYPES AND DESIGN STANDARDS			
1. BUILDING TYPES AND DEFINITIONS			
		HOTEL (HTL)	GAS STATION AND CONVENIENCE STORE (GCR)
ILLUSTRATIVE DIAGRAM		TBD	TBD
1.1 DEFINITION		A building type defined in Section 2 of the Zoning Bylaws.	This building type reverses the conventional site layout for gas stations with convenience store by placing the storefront along the street line and the gas pumps and canopy behind. This reverse layout highlights the building, shields the pumps and canopy and pulls the curb-cuts away from the intersection, creating easier access.
2. LOT STANDARDS			
2.1	Lot Size (S.F.) (Min.)	Not Required	Not Required
2.2	Frontage (Min./Max.)	75 Ft. Min.	100 Min. / 150 Ft. Max. (Per Street)
2.3	Front Yard Build-To-Zone (Min./Max.)	20 Ft. Min.	5 Ft. Min./15 Ft. Max. (Per Street)
2.4	Side Yard Setback (Min.)	10 Ft.	20 Ft.
2.5	Rear Yard Setback (Min.)	20 Ft.	30 Ft.
2.6	Outdoor Amenity Space Lot Coverage (Min.)	15%	10%
3. DESIGN STANDARDS			
3.1	Building Height (Max.)	5 Stories /50 Ft.	1.5 Stories / 24 Ft.
3.2	Street Facing Wall Width (Min./Max.)	30 Ft. / 150 Ft.	30 Ft. / 60 Ft.
3.4	Street Facing Entrance	Required	Required
3.5	Maximum Building Footprint (SF)	40,000 SF	4,000 S.F.
4. ADDITIONAL STANDARDS			
4.1			A maximum of 6 gas pumps are allowed and must be located behind the convenience store and have two means of access and egress.
4.2			Gas station canopies should be designed as an integral part of the store architecture whenever possible.

TABLE 9.4.C.1.C. - INDUSTRIAL AND COMMUNITY BUILDING AND DESIGN STANDARDS			
1. BUILDING TYPES AND DEFINITIONS			
		FABRICATION OR FLEX BUILDING (FFB)	CIVIC OR COMMUNITY BUILDING (CB)
ILLUSTRATIVE DIAGRAM		TBD	TBD
1.2 DEFINITION		A building located and designed to accommodate a variety of fabrication, trades and general industrial uses and related support services such as office, storage, distribution, and sales. Flex buildings also support these uses and provide affordable space to small and creative business enterprises.	A building located and designed for public assembly such as for social, religious, educational, recreational, and similar civic uses.
2. LOT STANDARDS			
2.1	Lot Size (S.F.) (Min.)	Not Required	Not Required
2.2	Frontage (Min./Max.)	50 Min.	80 Min.
2.3	Front Yard Build-To-Zone (Min./Max.)	0 Ft. / 30 Ft.	20 Ft. Min.
2.4	Side Yard Setback (Min.)	20 Ft (0 Ft if Common Wall)	15 Ft
2.5	Rear Yard Setback (Min.)	20 Ft	20 Ft
2.6	Outdoor Amenity Space Lot Coverage (Min.)	10%	20%
3. DESIGN STANDARDS			
3.1	Building Height (Max.)	4 Stories / 60 Ft	3 Stories / 45 Ft
3.2	Street Facing Wall Width (Min./Max.)	60 Ft. / 100 Ft.	60 Ft. / 100 Ft.
3.4	Street Facing Entrance	Required	Required
3.5	Maximum Building Footprint (SF)	20,000 S.F.	Not Required
4. ADDITIONAL STANDARDS			
4.1		Where there is a side setback, a minimum of 10 feet is required to accommodate pedestrian access or 20 feet to accommodate vehicle access to the side and rear of the property.	

9.5 DEVELOPMENT TRACT STANDARDS

A. Development Tracts.

1. Definition of Development Tract. A Development Tract is any lot or group of contiguous lots owned or controlled by the same person or entity, assembled for the purpose of a single development including one or more principal buildings.
2. Tract Area. Development Tract area is the cumulative area of all contiguous lots that the site is composed of. Development Tract area does not include existing or proposed right-of-way, whether dedicated or not dedicated to public use.
3. Permitted Building Types. A Development Tract may include a combination of Building Types as permitted in each of the Oak Grove Park Districts in Section 9.10 that are assembled on an individual lot or group of contiguous lots for the purpose of a single development.
4. Access. All Development Tracts must be accessed from a public street with a minimum frontage of 50 feet.
5. Thoroughfares and Street Frontage. Internal streets and pathways within a Development Tract must meet the type and design requirements for each Oak Grove Park Districts on the Regulating Plan and in Section 9.7.B. Street frontage requirement are determined by each Building Type and streets within the Development Tract may be public or private.
6. Outdoor Amenity Space. The amount of outdoor amenity space provided within the Development Tract is the cumulative land area of outdoor amenity space required for the total number and types of building that the site is composed of. The type of outdoor amenity space may be any combination of those permitted under Section 9.6.

B. Development Types.

The types of development permitted in the Oak Grove Park Districts are identified below:

1. General Industrial Development. A development containing multiple fabrication, flex, or general industrial uses permitted in the underlying zoning district and building types in accordance with design standards in Section 9.4.A.
2. General Commercial Development A development containing multiple commercial uses permitted in the underlying zoning district and building types in accordance with design standards in Section 9.4.A.
3. Mixed Use Development. A development containing multiple residential, nonresidential, and mixed-use building types. Mixed Use Developments may include a combination of uses and building types permitted in the underlying zoning district and subject to all applicable building type standards in Section 9.4.A.

4. General Residential Development. A development containing multiple residential building types and community or civic buildings permitted in the underlying zoning district and subject in design standards in Section 9.4.A.
5. Pocket Neighborhoods. A residential development containing a cohesive cluster of small dwelling units gathered around a variety of common buildings and open space amenities. Where specified in the Oak Grove Districts, the following Pocket Neighborhood Development Types are permitted:
 - a. Cottage Court. A Pocket Neighborhood Development and community of small private homes arranged around a common courtyard which takes the place of private yard space and becomes an important community-enhancing element of the Development Tract. Cottage Courts may also have shared community garden plots, parking courts, and recreation buildings and facilities.
 - b. Housing Cooperative. A Pocket Neighborhood Development and community of small private homes clustered around shared buildings and community spaces. Each attached or detached single family home has traditional amenities, including a private kitchen. Shared spaces typically feature a common house, which may include a large kitchen and dining area, laundry, and assembly spaces. Other shared spaces include community garden plots, recreational fields, parking courts, and shared work spaces.

C. Development Block Standards.

These standards establish maximum block length along public or private streets within a Development Tract as a method to ensure that access and walkability are integrated into the placement of buildings, outdoor amenity spaces, and site utility areas. Generally, blocks are laid out to orient buildings to the street and sidewalk while concentrating utility elements and parking out of public view. However, outdoor amenity space can be oriented to the side or rear of the building and rear public access should be provided where parking is located internally.

1. Size and Dimension. The maximum length of a block face and length of a block perimeter shall be determined as set forth in Table 9.5.C.1. The PEDB may grant a special permit for a longer block face or block perimeter where the applicant can demonstrate that the block will be highly walkable with pedestrian passages, curb extensions, streetscape enhancements, mid-block crossings, and other enhancements.

TABLE 9.5.C.1. - BLOCK SIZE STANDARDS		
District	Max. Block Face Length	Max. Block Perimeter Length
Oak Grove Village Center	400 Feet	1,200 Feet
Oak Grove Neighborhood	300 Feet	1,200 Feet
Oak Grove Business Park	Not Applicable	Not Application

2. Access and Utilities. Access to the interior utility area of a block will be made by a paved Service Street of 20 feet with a 4-foot sidewalk on one side. A Service Street shall be located no less than 50 feet from any intersecting street at the corner of a block. A Pedestrian Passage is required along a block face that exceeds 300 linear feet between intersecting streets and where shared parking areas or community space is located within the interior of the block.

D. Parking Requirements.

1. Purpose and Intent. The purpose and intent of the parking standards in the Oak Grove Park Districts are as follows:
 - a. To minimize the impact of sidewalk interruptions and conflict points on the walkability of the public realm.
 - b. To ensure adequate parking for existing and new development while minimize excessive and inefficient off-street parking lots that result in lost opportunities to develop new buildings that expand business and the tax base.
 - c. To encourage the use of public transportation, bicycling, and walking in lieu of motor vehicle use when a choice of travel mode exists.
2. Applicability. The parking requirements in Section 7.1.1 of the Medway Zoning Bylaws shall apply to the Oak Grove Park Districts.

E. Site Landscaping.

Landscaping in the Oak Grove Park Districts shall comply with the Planning & Economic Development Board Rules and Regulations, Chapter 200 - Site Plans of the Rules & Regulations for Submission, Review and Approval of Site Plans.

F. Utilities.

1. Public Utilities. All new public utilities (except structures and other facilities that require above-grade access) shall be installed underground.
2. Trash and Service Areas.
 - a. All service, loading and trash storage areas viewable from a public right of way or from an adjacent residential area shall be screened by one or a combination of masonry, a wood screen, or evergreen plantings to reduce their visual impact.
 - b. Loading and service areas shall not face any residential area unless no other location is feasible. Loading areas shall be screened by one or a combination of masonry, a wood screen, or evergreen plantings to reduce their visual impact.

- c. Garage doors and loading spaces are prohibited on the street facing façade of any commercial, mixed use, or multi-family building unless no other location is feasible.

G. Sustainable Site Design Standards.

Sustainable Design and Low Impact Development (LID) techniques shall be used in the Oak Grove Park Districts to reduce stormwater runoff, improve water quality, maintain canopy tree cover, protect natural landscapes, install appropriate planting materials, and encourage the production of local food. In achieving the requirements of this section, applicants shall comply with sustainable and low impact development techniques provided in the Planning & Economic Development Board Rules and Regulations, Chapter 200 - Site Plans of the Rules & Regulations for Submission, Review and Approval of Site Plans, Town of Medway Design Review Guidelines, Massachusetts Stormwater Management Standards, and Town of Medway General Bylaws Article XXVI, Stormwater Management and Land Disturbance.

H. Site Improvement Guidelines.

In addition to the Development Tract Standards of this section, applicants for new buildings and developments in the Oak Grove Park Districts should refer to the Town of Medway Design Guidelines for: Section 2. Commercial Zones – C. Site Improvement Guidelines; Section 3. Industrial Zones – C. Site Improvement Guidelines; and Section 4. Residential Zones – C. Site Improvement Guidelines

9.6 OUTDOOR AMENITY SPACE

A. General Standards.




1. Outdoor Amenity Space Types. Outdoor Amenity Spaces include the following types:
 - a. Civic Space (CS) includes publicly-owned or controlled parks, active and passive recreation areas, civic buildings, and other gathering spaces that are fully accessible to the general public.
 - b. Publicly Oriented Private Spaces (POPS) are gathering spaces on private land primarily serving the residents, businesses and patrons of the principal building or Development Tract, and generally available to the public.
 - c. Private Open Space (PS) is associated with individual dwelling units and multi-family buildings and developments and is not intended for public access.
2. Required Outdoor Amenity Space. The required percentage of a building lot dedicated to outdoor amenity space is identified for each building type in Section 9.4. Where multiple lots or buildings are assembled together to form a Development Tract under Section 9.5, the required amount of Outdoor Amenity Space is the cumulative amount of all land area


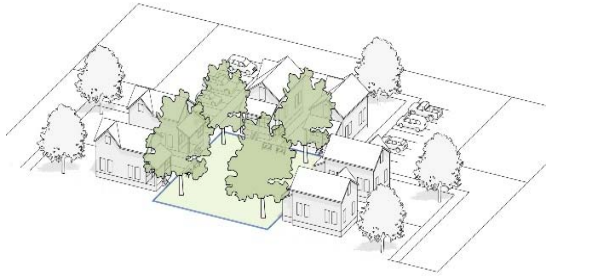
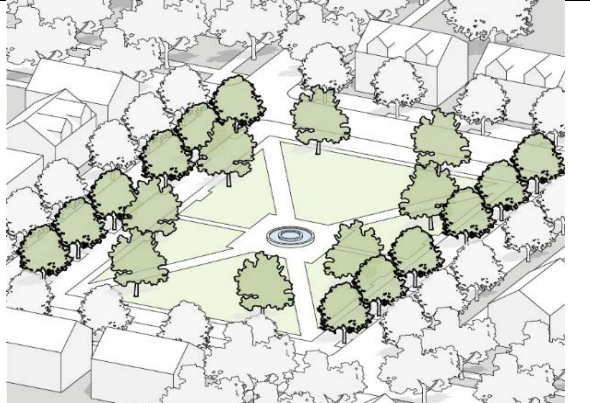
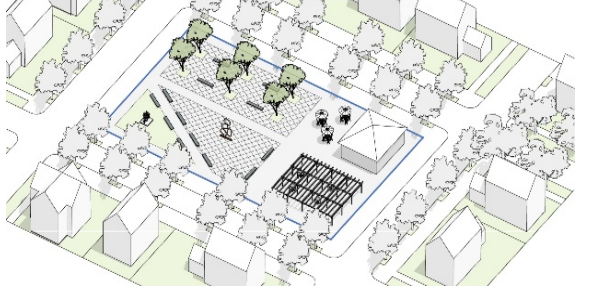
in the Development Tract times the percentage required for each type of development in Section 9.5.


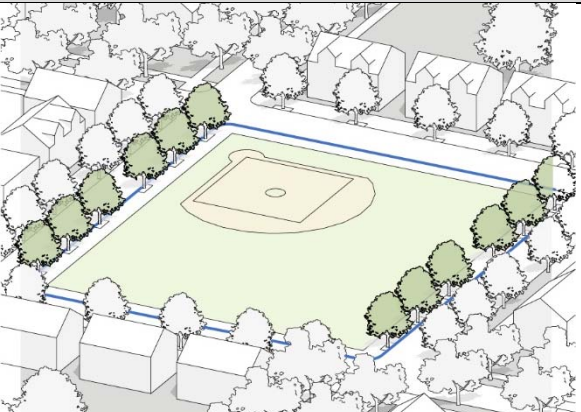

3. Determination of Outdoor Amenity Space. The PEDB shall consider the appropriate type and scale of outdoor amenity spaces for each development.

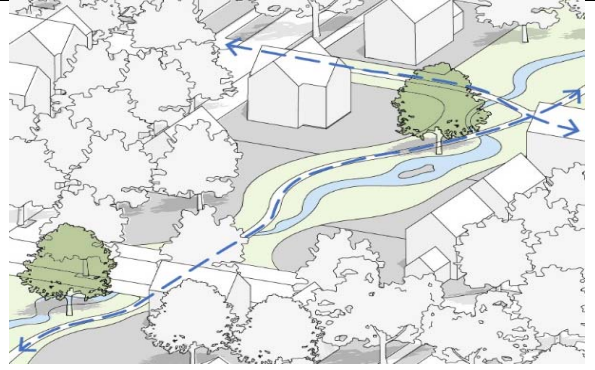
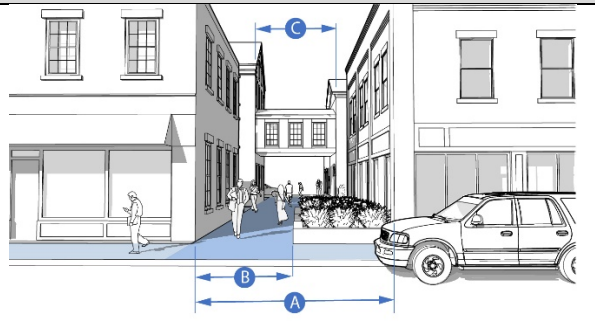

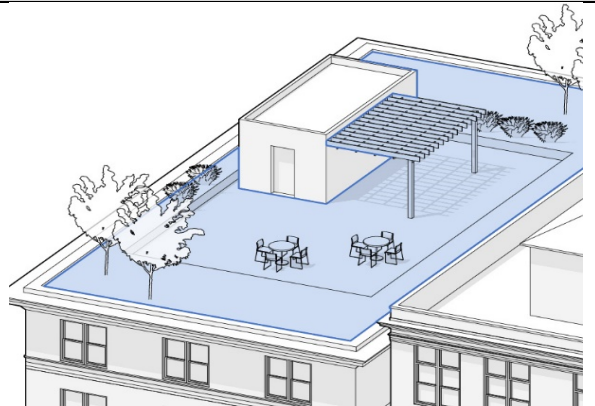
B. Permitted Outdoor Amenity Spaces.

Permitted Outdoor Amenity Spaces and associated design standards are identified in Table 9.6.B.1. below:

TABLE 9.6.B.1. - OUTDOOR AMENITY SPACE TYPES AND DESIGN STANDARDS	
Type	Description and General Design Standards
1. Private Yard (PS) 	<p><u>Description:</u> A private open space associated with private residence or non-residential buildings not intended for public access.</p> <p><u>Design Standards:</u> Where applicable, a walkway should be provided between the public sidewalk and the front door.</p>
2. Dooryard (PS) 	<p><u>Description:</u> A private space where the building facade is aligned close to the Street Line and defined by a low wall, decorative fence or hedge providing a strong spatial definition from the public sidewalk. The result is a small semi-private dooryard containing the principal entrance in the front yard. This type is commonly associated with ground-floor residential use</p> <p><u>Design Standards:</u> The dooryard may be slightly raised, sunken, or at-grade, and may be planted or landscaped. A paved walkway from the sidewalk to the front door is required.</p>
3. Forecourt (POPS, PS) 	<p><u>Description:</u> A private open space where a portion of the façade is aligned close to or at the Street Line, and the central portion of the façade is set back to create a courtyard with a principal entrance at-grade and space for gathering and circulation, or for outdoor shopping or restaurant seating. The forecourt may be planted or paved to join with the public sidewalk.</p> <p><u>Design Standards:</u> Forecourts shall be a minimum width</p>

	and depth of 12 feet.
<p>4. Community Garden (CS, POPS, PS)</p> 	<p><u>Description:</u> An open space designed as individual garden plots available to residents for horticultural purposes, including storage facilities for necessary equipment. Community gardens may be freestanding or incorporated as a subordinate feature of a community park, neighborhood or pocket park, and Development Tract.</p> <p><u>Design Standards:</u> Community gardens should be a minimum of 5,000 S.F.; 90% permeable surfaces; and 1 tree/500 SF on average.</p>
<p>5. Courtyard (POPS, PS)</p> 	<p><u>Description:</u> A courtyard (or court) is an enclosed open space, often surrounded by a building or buildings, that is open to the sky. Courtyards may include a variety of passive recreational activities, community gardens, and other amenities for community gatherings.</p> <p><u>Design Standards:</u> Courtyards shall be a minimum of 3,000 S.F. in area and 40 feet in width; The maximum ratio of building height to forecourt width shall be 2:1; Forecourt shall be enclosed by walls on 3 sides.</p>
<p>6. Common or Green (CS, POPS)</p> 	<p><u>Description:</u> A common or green is a free-standing site with streets on all sides and landscape consisting of naturally disposed lawns, paths, and trees. This open space type is for active and passive recreation and gathering purposes.</p> <p><u>Design Standards:</u> Commons should be a minimum of 20,000 S.F.; 85% permeable surfaces; and 1 tree/2,000 SF on average.</p>
<p>7. Plaza or Square (CS, POPS)</p> 	<p><u>Description:</u> An open space type designed for passive recreation, civic purposes, and commercial activities, with landscape consisting primarily of hardscape. Plazas are generally located in activity centers or the nexus of major circulation routes.</p> <p><u>Design Standards:</u> Squares should be a minimum of 8,000 S.F.; 50% permeable surfaces; 1 tree/2,000 SF on average; and include public seating.</p>

<p>8. Pocket Park or Playground (CS, POPS, PS)</p> 	<p><u>Description:</u> An open space type designed for passive recreation consisting of vegetation, a place to sit outdoors, and playground equipment.</p> <p><u>Design Standards:</u> Pocket Parks should be a minimum of 800 S.F.; 80% permeable surfaces; and 1 tree/200 SF on average; and include seating and recreational equipment.</p>
<p>9. Athletic Field or Ball Court (CS, POPS)</p> 	<p><u>Description:</u> A publicly accessible open space designed and equipped for active recreation and organized sports. Playing fields and courts may include grass, artificial turf, clay, dirt, stone dust, concrete, asphalt, ice or other pervious or impervious materials to support various sporting organizations and events.</p> <p><u>Design Standards:</u></p> <p><u>Side of Space:</u> 7,500 S.F. Min.; 5 Acres Max.</p> <p><u>Furnishing:</u></p> <p>Seating: 1 Seat/275 S.F. Min.</p> <p>Tables: N/A</p> <p><u>Landscape:</u></p> <p>Trees: N/A</p> <p>Permeable Surface: N/A</p> <p>Landscaped Area: 20%</p>
<p>10. Neighborhood Park or Preserve (CS, POPS)</p> 	<p><u>Description:</u> An open space designed for active and passive recreation with features and facilities that support the community or immediate neighborhood. Parks can include other Outdoor Amenity Spaces such as community gardens, recreation fields and courts, trails and pathway, swimming pools and water features, and other facilities intended for public events, gatherings, and organized activities.</p> <p><u>Design Standards:</u> Neighborhood Parks should be a minimum of 8,000 S.F.; 80% permeable surfaces; and 1 tree/350 SF on average.</p>

<p>11. Pathway (CS)</p> 	<p>Description: A linear open space that may follow natural corridors providing unstructured and limited amounts of structured recreation. A pathway may be spatially defined by segment and include access to pedestrians, bicyclists, and other designated modes of transportation. Pathways may provide access and connections between natural areas, neighborhoods, villages, public facilities, and other points of interest.</p> <p>Design Standards: The minimum width shall be 8 feet; Pathways shall be surfaced with stone dust, or asphalt.</p>
<p>12. Pedestrian Passage (CS, POPS)</p> 	<p>Description: A paved or brick pedestrian connector between buildings. Pedestrian Passages provides direct connections between parking area, buildings, streets, and sidewalks. Pedestrian Passages may be covered by a roof, trellis, and may be lined by shopfronts.</p> <p>Design Standards: The minimum width shall be 10 feet (A/C) with 5 feet of throughway for pedestrians (B); hard surface such as asphalt, concrete, or paver stones is required; lighting is required; landscaping is recommended.</p>
<p>13. Outdoor Dining Terrace (POPS)</p> 	<p>Description: An open space where the building façade is setback from the Street Line and the space between is occupied by a hardscape intended for use as an extension of the public sidewalk and outdoor amenity space such as for outdoor seating or displays. The terrace may also allow for public circulation along the façade and can be used to provide at-grade access or a grade change along a Street Line.</p>
<p>14. Rooftop Terrace (POPS, PS)</p> 	<p>Description: A roofless, raised platform on the roof of a building that provides community gathering space such as a terrace, community garden, food and entertainment, or other outdoor amenities.</p> <p>Design Standards: Terrace must be setback a minimum of 5 feet from any building wall and secured by a perimeter fence at least 4 feet tall.</p>
<p>15. Other OAS Types</p>	<p>Permitted by special permit by the Planning Board</p>

9.7 PUBLIC REALM STANDARDS

A. Purpose.

1. To encourage the development of a well-connected travel network, composed of direct and convenient routes that reinforce a walkable and bikeable mixed use environment.
2. To encourage “Complete Streets” that accommodate multiple modes of transportation, consistent with the character of traditional neighborhoods and village centers, and attractive to pedestrian and bicyclists.
3. To promote pedestrian and motor vehicle safety, promote economic vitality, preserve and enhance the character of the public realm along primary streets, and promote the social, environmental, and health benefits provided by walkable development patterns.

B. Street and Pathway Design Standards.

1. Construction Standards. Streets and pathways shall be engineered and constructed in accordance with the design standards in Section 7 of the Medway PEDB Land Subdivision Rules and Regulations. In the absence of official standards, streets and pathways shall be constructed according to the standards deemed to be appropriate by the Town Engineer.
2. Design Standards. Table 9.7.B.1 below provides design standards for streets and pathways in the Oak Grove Park Districts.

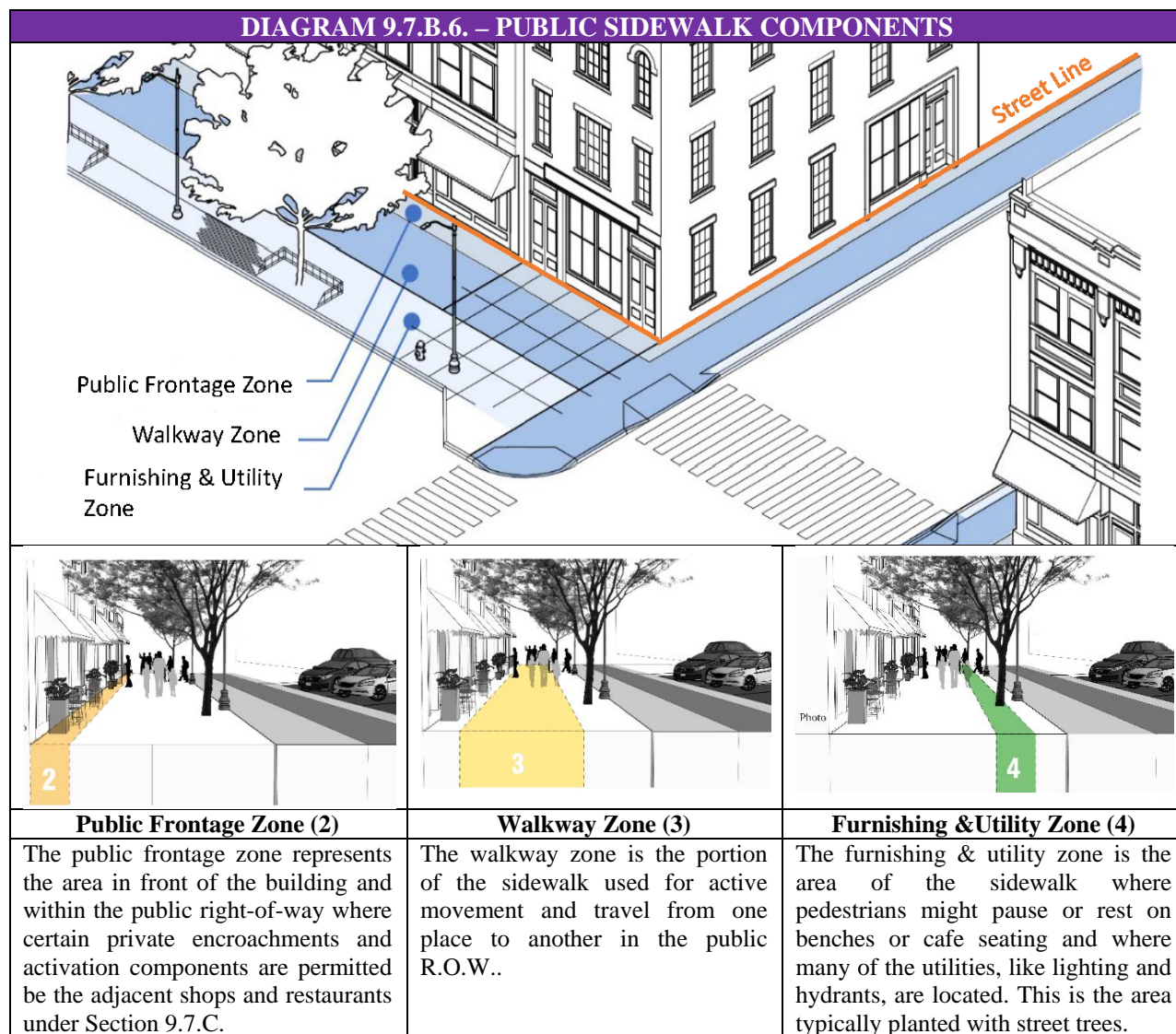
TABLE 9.7.B.1. – STREET AND PATHWAY DESIGN STANDARDS

A. Street Enclosure (façade to façade)		B. Right-Of-Way (varies)		
C. Street Width (curb to curb)		1. Building/Building Frontage Zone		
Street Component	Parkway	Village Center Street	Neighborhood Street	Access Street
Right-Of-Way (B)	60 Ft. Minimum	50 Ft. Minimum	40 Ft. Minimum	24 Ft. Minimum.
Vehicle Lanes (C)				
Travel Lane (C-5)	12 Ft. Minimum	11 Ft. Minimum	10 Ft. Minimum	10 Ft. Minimum
Parking Lane (5)	8 Ft. Minimum	Optional/ 8 Ft. Minimum	Informal	N/A
Bike Lanes	5 Ft. Minimum	Optional/ 5 Ft. Minimum	N/A	N/A
Multi-Use Pathway	8 Ft. Minimum/ 12 Ft. Optimal	N/A	N/A	N/A
Public Frontage Zone (2)	20 Ft. Minimum	Optional/ 4 Ft. Minimum	N/A	N/A
Walkway Zone (3)	See Multi-Use Pathway	5 Ft. Minimum	4 Ft. Minimum	1 Side/4 Ft. Minimum
Furnishing & Utility Zone (4)	5 Ft. Minimum	4 Ft. Minimum	4 Ft. Minimum	N/A
Street Enhancement Zone (5)	Optional	Parking/Curb Ext.	N/A	N/A

N/A = Not Applicable

3. Vehicle Travel Lanes. No more than two motor vehicle travel lanes may be combined for any single direction of traffic flow.
4. On-Street Parking Lanes.
 - a. Where provided, motor vehicle parking lanes must be eight feet wide minimum and twenty-two feet long maximum for perpendicular parking; and nine feet wide and eighteen feet long for diagonal parking.

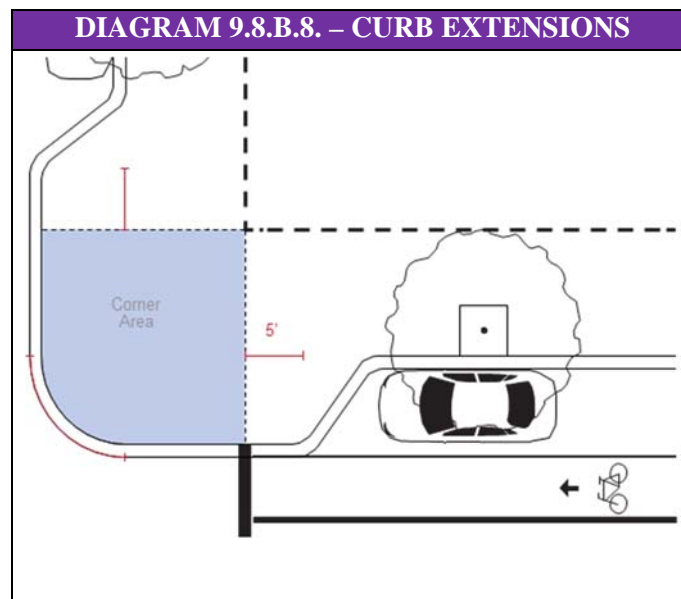
5. Bike Lanes. Bike lanes shall have a minimum width of five feet. Bike lanes shall comply with the 2015 MassDOT Separated Bike Lane Planning & Design Guide.
6. Sidewalks. Sidewalks must include the Public Frontage Zone, Walkway Zone, and Furnishing & Utility Zone as illustrated in Diagram 9.7.B.6 below.



Sidewalk design standards are as follows:

- a. Walkway zones must be concrete and a minimum of five feet in width.
- b. Furnishing & Utility zones must be concrete with tree pits with grates and a minimum of four feet in width.
- c. The edge of the Furnishing & Utility zone adjacent to the street must be concrete, brick, and stone materials with a granite curb.

- d. Public Frontage Zones may be used for Publicly Oriented Private Spaces and Building Activation Encroachments in accordance with the standards in Section 9.7.B.
 - e. The pavement design of walkway zones must be continuous for the full length of each block face.
7. Street Enhancement Zones. The Street Enhancement zone includes on-street parking and potential pedestrian activity areas between the Furnishing & Utility zone and the edge of street and bicycle travel lanes. Components in this area include temporary uses such as a food truck, which take over parking spaces, and permanent components like stormwater infiltration areas, bike racks and corrals, bus stop shelters, curb extensions, parklets, and crosswalks.
8. Curb Extensions (Bulb-Outs).
- a. Sidewalk extensions must occupy the full width of the parking lane they extend into.
 - b. At corners, sidewalk extensions must run at least five feet from the corner area of the sidewalk as illustrated in Diagram 9.8.B.8.
 - c. At bus stops, sidewalk extensions must run at least fifty feet from the corner area of the sidewalk.



9. Street Trees.
- a. Planting strips must include street trees planted within the Furnishing & Utility Zone on average no greater than forty feet apart on center. Along Public Frontage Zones, street trees may be planted in an irregularly-spaced pattern to avoid visually obscuring storefront windows and signage.

- b. When planted, street trees must be a minimum height of ten feet and/or three inches in caliper.
- c. A minimum sixteen square feet open soil area must be left around each street tree, centered at the tree trunk. When recessed below an adjacent walkway, open soil areas must be protected by metal tree grates.

10. Driveway and Sidewalk Crossings.

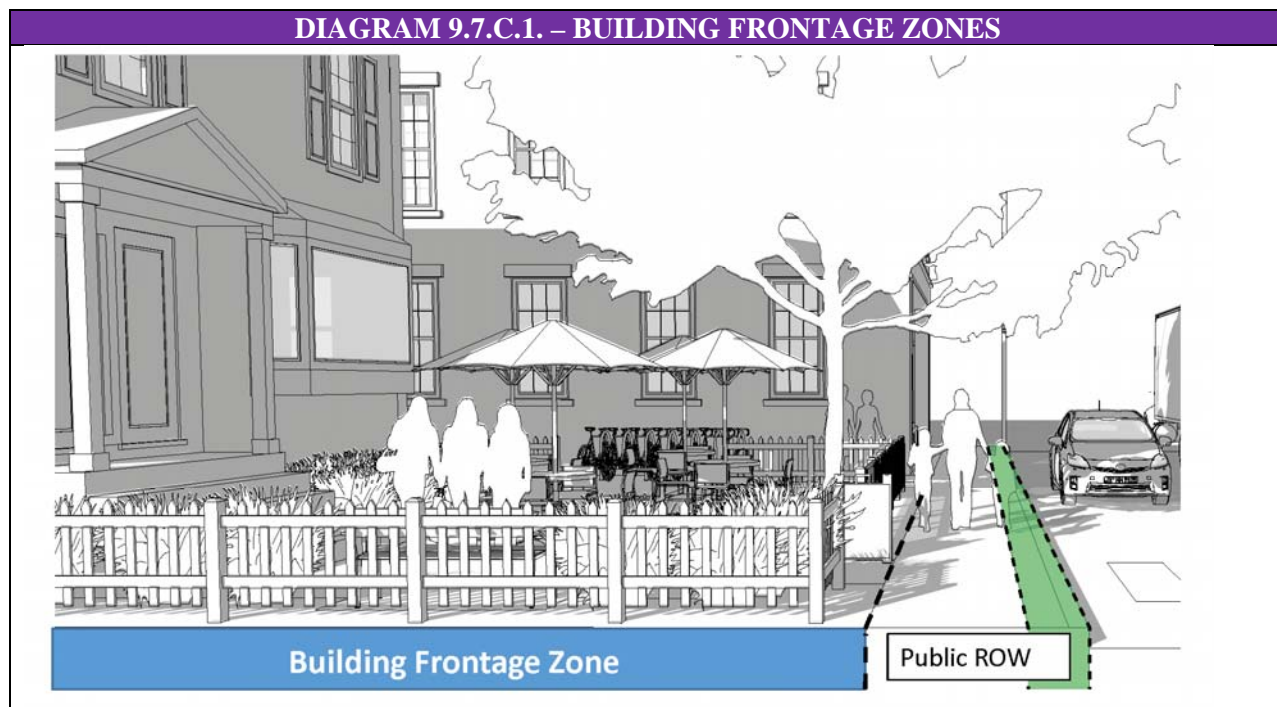
- a. Driveway crossings traversing sidewalks with paved furnishing zones must be designed to maintain the grade and clear width of the walkway they cross and must include sloped flares on either side of the driveway apron as shown in Diagram 9.8.B.10.
- b. Driveway crossings traversing sidewalks with continuously planted furnishing zones must be designed to maintain the grade and clear width of the walkway they cross and must include returned curbs as shown in Diagram 9.8.B.10.
- c. The appearance of any walkway (i.e. scoring pattern or special paving) must be maintained across any driveway or alley to indicate that, although a vehicle may cross, the area traversed by a vehicle remains part of the sidewalk.
- d. Curb cuts may be no wider than the driveway or vehicular entrance they serve, excluding flares or returned curbs necessary to accommodate service vehicles.
- e. Curbcuts that are 20 feet or more in width shall have a pedestrian crosswalk.

11. Multi-Use Pathway and Walking Trails.

- a. A multipurpose pathway is an independent pedestrian and bicycle way generally running through or parallel with parkways and streets and connecting building and Development Tracts.
- b. Multipurpose pathways shall have a minimum width of 10 feet; be surfaced with asphalt or stone dust; and be connected directly with the sidewalk and street network.
- c. Walking trails shall be cleared to a minimum width of 5 feet.

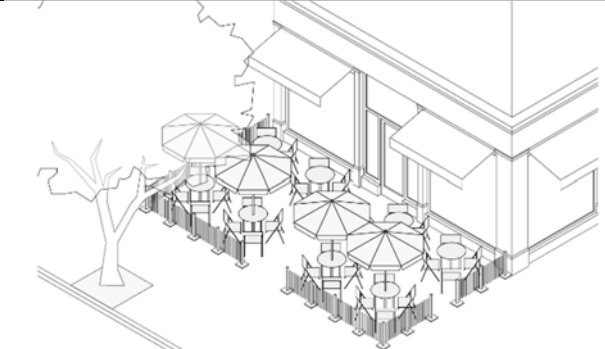


C. Public Realm Interface


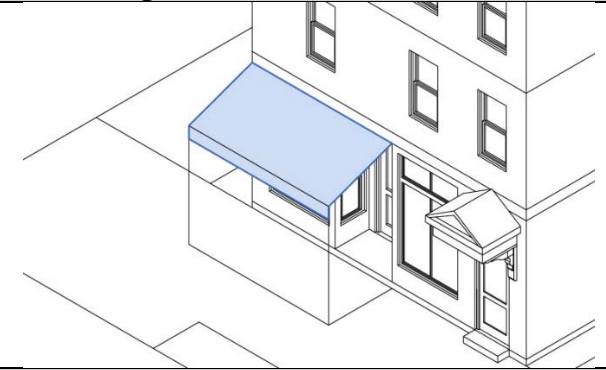
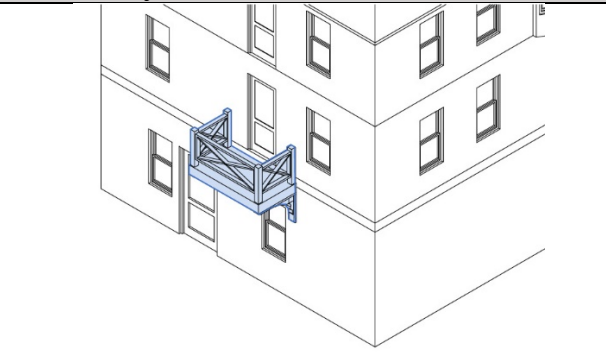
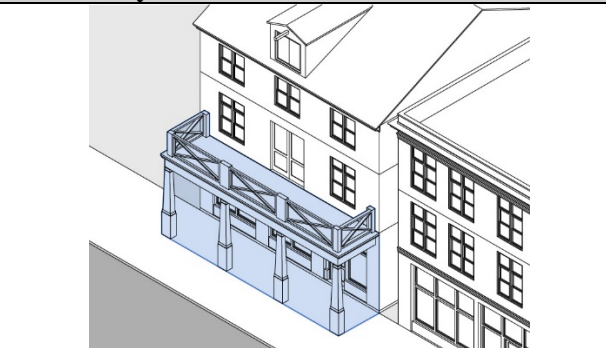
- 1. Building Frontage Zones. A Building Frontage Zone is the setback space between the street facing façades of the building and the street ROW line. Building Frontage Zone uses must provide a compatible transition and interface between the private realm (buildings and uses) and the public realm (sidewalks, thoroughfares, and civic spaces). Outdoor Amenity Spaces are required in the Building Frontage Zone, and Publicly Oriented Private Spaces (POPS) are requirements in specified Oak Grove Park Districts.



2. Building Interface within the Public ROW. Building interfaces such as building components, outdoor amenity spaces, signs, displays, and related interactive components may be permitted by special permit from the PEDB on the Public Frontage when they contribute to vibrant spaces for the enjoyment of the public and do not interfere with the 5-foot minimum Walkway Zone. All building interfaces on the public ROW shall comply with all relevant Town Bylaws. Permissible building interfaces are set forth in Table 9.7.C.2.

TABLE 9.7.C.2. - BUILDING FRONTAGE ZONE AND PUBLIC REALM INTERFACE APPLICATIONS

Type	Description and Design Standards
1. Sidewalk Dining Terrace 	<p>Outdoor dining cafes are permitted as an ancillary activity of any restaurant, pub, or other food and drink establishment. The operator of the outdoor dining cafe may be granted permission from the PEDB for cafes in the Building Frontage Zone and from the Board of Selectmen for cafes in the Public Frontage Zone. Town for locations on site and on the public sidewalk.</p>
2. Storefront Display 	<p>Sidewalks displays on a public sidewalk shall be within 3 feet of the building; are prohibited from interfering with pedestrian travel in the Walkway Zone; and must be removed when the business is not open; and comply with all other Town Bylaws.</p>
3. Sandwich Board Sign 	<p>A freestanding portable sign, not secured or attached to the ground or any building or structure, composed of a sign panel and supporting structure or one or more panels which form both the structure and sign face, and which is intended to be placed in a sidewalk or pedestrian way. Sidewalks signs displayed on a public sidewalk shall be within 3 feet of the building; are prohibited from interfering with pedestrian travel in the Walkway Zone; must be removed when the business is not open; and comply with all Town Bylaws.</p>
4. Projecting Signs and Banner	<p>A building mounted sign attached to, and extending</p>

	<p>from, a building or support beam in whole or in part which extends beyond said building. Projecting signs may encroach into the public right-of-way but shall not be located within 5 feet to the closest curb line. Projecting sign shall be mounted a minimum of 6 inches away from the building and 8 feet from the bottom of the sign to the sidewalk grade; and comply with all Town Bylaws.</p>
<p>5. Awning</p> 	<p>An awning projecting over the sidewalk of a public thoroughfare must have 8 feet of clearance in height to the sidewalk grade, 8 feet in clearance from the curbline, and comply with all Town Bylaws.</p>
<p>6. Balcony</p> 	<p>A balcony projecting over the sidewalk of a public thoroughfare must have 12 feet of height clearance to the sidewalk grade, 8 feet in clearance from the curbline, and comply with all Town Bylaws.</p>
<p>7. Bay Window</p> <p style="color: red; text-align: center;">REPLACE DIAGRAM</p>	<p>Bay windows projecting over the sidewalk of a public thoroughfare must have 12 feet of height clearance, 8 feet in clearance from the curbline, and comply with all Town Bylaws.</p>
<p>8. Gallery</p> 	<p>A gallery is an attached cantilevered shed or lightweight colonnade within the Building Frontage Zone or overlapping the public sidewalk and providing shelter for pedestrians. A gallery projecting over the public sidewalk must have 12 feet of clearance, 8 feet in clearance from the curbline, and comply with all Town Bylaws.</p>

3. Parklets. A parklet is a temporary Furnishing & Utility Zone treatment that typically extend out from the sidewalk at the level of the curb to the width of the adjacent on-street parking space. They are intended to enhance the pedestrian environment and provide outdoor amenity space where desirable. Parklets may be allowed with a permit from the Board of Selectmen under the following standards:
 - a. Parklets may be used for public seating, food trucks and carts, bike corrals, exercise stations, pop up stores and other temporary retail vendors, and other amenities.
 - b. Parklets must occupy the full width of the parking lane they extend into.
 - c. When a bike lane is present, parklets must be set back so that they do not interfere with travel on the bike lane.
 - d. Parklets must be setback at least 50 feet from the corner of a street.
 - e. Parklets require the approval of the DPW Director.
 - f. The PEDB may adopt specific design standards and guidelines for parklets.

4. Pedestrian Passages.
 - a. Pedestrian passages must connect off-street parking areas with the public sidewalk.
 - b. Pedestrian passages must be a minimum of eight feet in width.
 - c. All pedestrian passages must be lighted using footlights, bollard lights, building lights, or street lights to provide for safety and visibility at night.

5. Signs. Building and site signs shall comply with the rules and regulations in Section 7.2 of the Medway Zoning Bylaw. The specific type of permitted signs and related design standards in Section 7.2.5, Tables 1-10 shall be applicable as identified in each of the Oak Grove Park Districts.

9.8 DENSITY AND BULK STANDARDS

A. Base Residential Density.

Buildings and Developments within Oak Grove Park Districts shall be subject to the following density standards:

TABLE 9.8.A.1. - RESIDENTIAL DENSITY BY ZONING DISTRICT			
BUILDING TYPES	BY RIGHT/SPECIAL PERMIT UNITS PER 44,000 S.F.		
	OGVC	OGN	OGBP
Cottage	N/A	8/16	N/A

Rowhouse	12/16	12/16	N/A
Multi-Family Building	20/24	20/24	N/A
Mixed-Use Buildings	20/24	20/24	N/A

B. Density Bonus Requirements.

1. General Requirement. The PEDB may, by special permit, allow higher density up to the maximum established on Table 9.8.A.1. above if certain Public Benefit Improvements are made by the applicant that provide benefits to residents and businesses in the Development Tract as well as to the Oak Grove Park Districts, and surrounding area. If sufficient Public Benefit Improvements are made, the PEDB shall make a written finding that the applicant will provide significant improvements providing a public benefit, in addition to those improvements necessary to meet the base density requirements of this bylaw.
2. Approval of Density Bonus Improvements. The PEDB shall be under no obligation to grant a density bonus and may determine, in its sole discretion, whether the offered improvements are sufficient in nature, scope, cost or otherwise, to justify such bonus. The offer and commitment by an applicant to provide all or any number of Public Benefit Improvements does not, in and of itself, justify or require the PEDB to grant such density bonus. In order to make this determination, the following are required:
 - a. The applicant shall provide the PEDB with a written description of the intended improvements, the public benefit provided, significance to the Town, provision for maintenance if required, applicant's cost estimates, and a sketch plan showing the location and type, size and extent of improvements.
 - b. The PEDB may require a bond to cover the cost of any Public Benefit Improvements that will be constructed, or a binding agreement approved by Town Counsel, to remain in place until the improvements are completed to the satisfaction of the Town.
 - c. A specific time frame for the completion of all required off-site Public Benefit Improvements shall be incorporated as a condition of approval of the PEDB.
 - d. The applicant shall provide a list of all permits and approvals required relating to any proposed Public Benefit Improvements with the application. These approvals shall be obtained prior to approval of the development, unless an exception for good cause is explicitly authorized by the PEDB.


9.9 OAK GROVE PARK DISTRICTS

The development and design standards of Section 9 apply to the designated Oak Grove Park Districts listed below.

A. Oak Grove Village Center (OGVC)

The purpose of this district is to create an attractive gateway from Interstate 495 to the Town by encouraging a broad range of commercial, recreational, cultural, and service uses, and a limited amount of residential and institutional uses at moderate densities, supported by attractive streetscape treatments and multi-modal transportation facilities including bus transit, sidewalks, and multipurpose trails within the OGVC and connecting to other subdistricts in Oak Grove Park.

TABLE 9.9.A.1 - OAK GROVE VILLAGE CENTER DEVELOPMENT STANDARDS




1. BUILDING TYPES & PROPERTY USES				3. BLDG FRONTAGE INTERFACE	
Building Types: See Section 9.4, 9.4.C.1				See Section 9.7.C.; Table 9.7.C.2	
1.	Cottage	N	1.	Sidewalk Dining Terrace	P
2.	Rowhouse	P	2.	Storefront Display	P
3.	Multi-Family Building	P	3.	Sandwich Board Sign	P
4.	Hotel	P	4.	Projecting Signs and Banner	P
5.	General Commercial Building	P	5.	Awning	P
6.	Mixed Use Building	P	6.	Balcony	P
7.	Fabrication or Flex Building	P	7.	Bay Window	P
8.	Civic or Community Building	P	8.	Gallery	SP
9.	Gas Station and Convenience store	SP			
10.	Other Approved by PEDB	SP			
Property Uses: See Section 9.4, Table 1					
2. OUTDOOR AMENITY SPACES			4. DEVELOPMENT TYPES		
See Section 9.6.; Table 9.6.B.1.			See Section 9.5; Table 9.5.B.1.		
1.	Neighborhood Park, Preserve (CS, POPS)	P	1.	Pocket Neighborhood (PN)	N
2.	Common or Green (CS, POPS)	P	2.	Mixed Use Development (MUD)	P
3.	Athletic Field or Ball Court (CS, POPS)	P	3.	General Residential Development (GRD)	P
4.	Pathway (CS)	P	4.	General Industrial Development (GID)	N
5.	Pedestrian Passage (CS, POPS)	P	5.	General Comm. Development (GCD)	P
6.	Community Garden (CS, POPS, PS)	P			
7.	Forecourt (POPS, PS)	P			
8.	Courtyard (POPS, PS)	P			
9.	Plaza or Square (CS, POPS)	P			
10.	Pocket Park or Playground (CS, POPS, PS)	P			
11.	Outdoor Dining Terrace (POPS)	P			
			5. OTHER DESIGN STANDARDS SPECIFIC TO THE DISTRICT		

12.	Rooftop Terrace (POPS, PS)	P			
13.	Private Yard and Garden (PS)	P			
14.	Dooryard	P			
15.	Other Approved by PEDB	SP			
N - Prohibited; P - Permitted by Right; SP - Special permit required from PEDB					

B. Oak Grove Business Park (OGBP)

The purpose of this district is to facilitate the development and redevelopment of underutilized parcels by promoting opportunities for small to large-scale businesses, including a broad range of commercial office, service, light industrial, and institutional uses, as well as restaurants and other uses supporting the commercial uses, that benefit from proximity to the Route 109 and Interstate 495, surrounding natural amenities, and neighborhoods. The district is envisioned to service a wide range of economic development from an incubator for business start-ups and entrepreneurial activities to large corporations.

TABLE 9.9.B.1 - OAK GROVE BUSINESS PARK DEVELOPMENT STANDARDS




1. BUILDING TYPES				3. BLDG FRONTAGE INTERFACES			
Building Types: See Section 9.4, 9.4.C.1				See Sections 9.7.C.; Table 9.7.C.2			
1.	Cottage		N	1.	Sidewalk Dining Terrace		P
2.	Rowhouse		N	2.	Storefront Display		P
3.	Multi-Family Building		N	3.	Sandwich Board Sign		N
4.	Hotel		N	4.	Projecting Sign and Banner		P
5.	General Commercial Building		P	5.	Awning		P
6.	Mixed Use Building		N	6.	Balcony		N
7.	Fabrication or Flex Building		P	7.	Bay Window		N
8.	Civic or Community Building		SP	8.	Arcade		N
9.	Gas Station and Convenience store		N				
10.	Other Approved by PEDB		SP				
Property Uses: See Section 9.4, Table 1							
2. OUTDOOR AMENITY SPACES				4. DEVELOPMENT TYPES			
See Section 9.6.; Table 9.6.B.1.				See Section 9.5; Table 9.5.B.1.			
1.	Neighborhood Park, Preserve (CS, POPS)		P	1.	Pocket Neighborhood (PN)		N
2.	Common or Green (CS, POPS)		P	2.	Mixed Use Development (MUD)		N
3.	Athletic Field or Ball Court (CS, POPS)		P	3.	General Residential Development (GRD)		N
4.	Pathway (CS)		P	4.	General Industrial Development (GID)		P
5.	Pedestrian Passage (CS, POPS)		P	5.	General Comm. Development (GCD)		P
6.	Community Garden (CS, POPS, PS)		P				
7.	Forecourt (POPS, PS)		P				
8.	Courtyard (POPS, PS)		P				
9.	Plaza or Square (CS, POPS)		P				
10.	Pocket Park or Playground (CS, POPS, PS)		P				
11.	Outdoor Dining Terrace (POPS)		P				
				5. OTHER DESIGN STANDARDS SPECIFIC TO THE DISTRICT			

12.	Rooftop Terrace (POPS, PS)	P			
13.	Private Yard and Garden (PS)	P			
14.	Dooryard	P			
15.	Other Approved by PEDB	SP			
N - Prohibited; P - Permitted by Right; SP - Special permit required from PEDB					

C. Oak Grove Neighborhood (OGN)

The purpose of this district is to facilitate the development of residential housing forms and patterns that take advantage of the natural attributes, proximity to primary travel corridors, and nearby village centers. This district is intended to include high quality housing for a variety of age groups, household types, and income ranges.

TABLE 9.9.B.1 - OAK GROVE NEIGHBORHOOD DEVELOPMENT STANDARDS



1. BUILDING TYPES AND PROPERTY USE				3. BLDG FRONTAGE INTERFACES			
Building Types: See Section 9.4, 9.4.C.1				See Section 9.7.C.; Table 9.7.C.2			
1.	Cottage	Y		1.	Sidewalk Dining Terrace	N	
2.	Rowhouse	Y		2.	Storefront Display	N	
3.	Multi-Family Building	Y		3.	Sandwich Board Sign	N	
4.	Hotel	N		4.	Projecting Sign and Banner	N	
5.	General Commercial Building	N		5.	Awning	P	
6.	Mixed Use Building	N		6.	Balcony	P	
7.	Fabrication/Flex Building	N		7.	Bay Window	P	
8.	Civic or Community Building	P		8.	Arcade	P	
9.	Gas Station and Convenience store	N					
10.	Other Approved by PEDB	N					
Property Uses: See Section 9.4, Table 1							
2. OUTDOOR AMENITY SPACES				4. DEVELOPMENT TYPES			
See Section 9.6.; Table 9.6.B.1				See Section 9.5; Table 9.5.B.1.			
1.	Neighborhood Park, Preserve (CS, POPS)	P		1.	Pocket Neighborhood (PN)	P	
2.	Common or Green (CS, POPS)	P		2.	Mixed Use Development (MUD)	N	
3.	Athletic Field or Ball Court (CS, POPS)	P		3.	General Residential Development (GRD)	P	
4.	Pathway (CS)	P		4.	General Industrial Development (GID)	N	
5.	Pedestrian Passage (CS, POPS)	P		5.	General Comm. Development (GCD)	N	
6.	Community Garden (CS, POPS, PS)	P					
7.	Forecourt (POPS, PS)	P					
8.	Courtyard (POPS, PS)	P					
9.	Plaza or Square (CS, POPS)	P					
10.	Pocket Park or Playground (CS, POPS, PS)	P					
11.	Outdoor Dining Terrace (POPS)	N					
12.	Rooftop Terrace (POPS, PS)	P					
13.	Private Yard and Garden (PS)	P					
14.	Dooryard	P					
				5. OTHER DESIGN STANDARDS SPECIFIC TO THE DISTRICT			

15.	Other Approved by PEDB	SP			
N - Prohibited; P - Permitted by Right; SP - Special permit required from PEDB					