



Town of Medway
DESIGN REVIEW COMMITTEE
155 Village Street, Medway MA 02053
(508) 533-3291

Matthew Buckley, Chair
Rachel Walsh, Vice-Chair
Jessica Chabot, Member
Dan Connolly, Member
Tom Gay, Member
Seth Kendall, Member
Alex Kevork, Member

APPROVED – August 21, 2017

DRC Meeting Minutes: July 31, 2017
Medway Public Library – 26 High Street

Call to Order: – With a quorum present, this meeting was called to order by Chair, Mr. Buckley at 7:01 p.m.

Attendees:

	07/31/2017					
Matthew Buckley	X					
Rich Di Iulio	-					
Jessica Chabot	X					
Tom Gay	Absent with Notice					
Rachel Walsh	Absent with Notice					
Dan Connolly	X					
Seth Kendall	X					
Alex Kevork	X					

Also present:

Sreelatha Allam, Meeting Recording Secretary
Cam Afonso, Signs by Cam
Susan Affleck-Childs, Planning and Economic Development Coordinator
Rick D’Innocenzo (BOS, EPFRAC Chair), Glenn Trindade (BOS), and Paul Mahoney
(Parks Chair, EPFRAC, CPC)

Review DRC Meeting Minutes - June 19, 2017 and July 18, 2017 minutes

A motion was made by Ms. Chabot to approve the meeting minutes of 06-19-2017 as amended, seconded by Mr. Buckley. All were in favor.

A motion was made by Mr. Buckley to approve the meeting minutes of 07-18-2017 as amended, seconded by Mr. Connolly. All were in favor.

Sign Design Review- Orange Theory Fitness, 67 Main Street-

Mr. Cam Afonso, Signs by Cam attended meeting with the business owner Tara Berry to discuss the proposed signs for 67 Main Street. (See Attached). Business is a 60 minute full body

workout led by coaches. It includes treadmills and other exercise equipment. Business will reside in a four sided building at Medway Commons and the proposed sign will be a 10 in. x 47 in. internally illuminated channel letter sign. Mr. Afonso said new businesses are being asked to match the sign guidelines used by Starbucks and informed that Medway Commons has a master signage plan. To a question on the trim color and proposed layout, he said there will be black trim around the letters and the proposed layout is fixed. Proposed sign is illuminated internally with LED without raceway. Colors on the signage will match the business corporate colors.

For the insert panel in the free-standing monument sign, only the letters light up but not the white background. Members stated that the orange color in the word “Orange” might not be clearly visible on the light background of the façade. Mr. Afonso said his client has to follow the corporate colors and sign pattern. Ms. Chabot asked if there could be more separation between “F” in the word “Fitness” and “Y” in the word “Theory”. Mr. Afonso again responded that they are bound by corporate specs which does not allow them to make those changes. Mr. Buckley asked if the signage could be in two lines with the word “Fitness” in the second line. Mr. Afonso said the corporate might have a two line layout and agreed to look into that option for the insert panel in the free-standing sign. Members asked not to add extra signage on the windows but a logo and store hours information (2 sq. ft. size each) on the main door of the business is allowed. Ms. Affleck-Childs said the business is allowed one more wall sign but it cannot be on this façade. It could be installed on the “Shaw’s” side of the building. Ms. Berry said she has no plans of adding another sign due to cost reasons. Members asked if there is a provision for way finding signage. Ms. Affleck-Childs said the building doesn’t have way finding signs but businesses are allowed a total of 12 sq. ft. (6 sq. ft./side) for a projecting sign which could serve as a way finding sign. Mr. Afonso will send the way finding sign draft to Ms. Affleck-Childs for review. It will be sent before the DRC’s review letter is drafted. The letter will be sent to the applicant and Building Department thereafter (within 10 business days). Ms. Affleck-Childs reminded Mr. Afonso that the sign cannot be installed until the building department receives the DRC’s letter and a sign permit is issued.

Sign Design Review- Tumble Beans Café & Play, 114D Main Street-

Business owner Sharon Knight attended the meeting to discuss this item. Business is an indoor playground with café, jungle gym, party room, with space for community activities. It’s a 4700 sq. ft. business with a parent lounge area as well. Ms. Knight has worked with a “Parent Squad” (parents of the community) through the design process. Provision of space for support groups (new moms, new dads) will be part of the business. Business will be on membership and day pass concept. Ms. Knight will know more on the timeline for business opening after her meeting with Zoning Board of Appeals (ZBA) for a special permit. Sign O Rama (Framingham) is designing the sign for the business. **(See Attached)** Members said the business can only have one wall sign for the space and a projecting type sign that’s closest to the street. Per the current

bylaw, business owner is allowed the projecting sign but if the desire is to have two wall signs then they have to file with the ZBA for a variance. If the business chooses to have a second sign perpendicular to the alley then a full 12 sq. ft. projecting sign could be installed. Members wanted to see the projecting sign design for review. The bottom of the sign should be at least 8 ft. from the ground per the bylaw. Ms. Chabot suggested it would be a good idea if the landlord allowed the business to re-paint that side of the building with colors that match their business. Ms. Knight responded that they will be doing so. Mr. Buckley talked about way finding signs for the business. He said re-painting the side of the building where the business resides will be one of the DRC's recommendations. Ms. Chabot said the current design of "Cafe & Play" on the building might not be clearly visible based on the current color scheme of the façade. She asked if the scale of the letters in that portion of the sign could be increased or if an alternative color could be considered for better visibility. Mr. Buckley suggested having a uniform background with a backing panel or a frame that could improve the sign visibility. Members said the logo and the letter style for the sign is good. Ms. Knight said the awning will be metal and brown in color. There is no current plan to light the sign. Ms. Knight plans on talking to the landlord about it. She is leaning towards a spot light type of lighting to give the small town look and feel to the business. Mr. Buckley pointed out that bright building security light next to the awning should be re-located to have a better lighting effect to the business. Ms. Knight said the sign will not be installed until October. Store hours information will be on the main door. Members asked if any work is to be done to improve the entrance and pavement, Ms. Knight said the landlord is working on that aspect. Mr. Buckley suggested having some planters and benches in the vicinity to make it more attractive. The applicant will have a panel on the new monument sign for the shopping center. Ms. Knight agreed to address DRC's comments (on the projecting sign, space around the sign, positioning on the wall, etc.) and come back before the Committee with a revised sign plan. Ms. Affleck-Childs commended the applicant for the work and effort they have put into the sign.

O' Brien & Sons Site Plan, 17 Trotter Drive- Further discussion on site amenities-

Business owner Erin O' Brien and consultant Anita Sandberg of Gorman Richardson Lewis architects attended the meeting to discuss a few final site amenities. The site plan has been revised based on the DRC's previous comments. Mr. Buckley asked about the output and frequency of the proposed light. The Committee would recommend a lower frequency light which will be less intrusive. He gave the example of lighting at Thayer House where output is low but the frequency is high. Ms. Sandberg said there are six bollard lights located along the walkway. There are lights on each door and façade sign on the building. Base of the monument sign is split face block. There are two metal extensions with double face sign in between facing both directions with a small light shining down on it. There will be landscaping and flower plantings around the property. Members said the landscape features should echo with what's there naturally. Consultant said none of the materials or the colors have changed from the time they were presented to the Committee last time. Ms. Affleck-Childs said before the business can

get sign permits, DRC should do a site visit. For walls within the site, existing stones will be used as proposed by the Committee. Ms. Affleck-Childs said the height of the dumpster enclosure should be tall enough to cover the dumpster. She recommended checking the height of the enclosure and the dumpster with the vendor before it is installed. Applicant is meeting with the Planning Board next week. Mr. Buckley will draft the DRC's recommendations before that meeting.

Debrief joint meeting of 7/18/2017 with Planning and Economic Development Board re: Parks Projects

Dr. D'Innocenzo (BOS, Chair, EPFRAC), Mr. Glenn Trindade (BOS), Mr. Paul Mahoney (Parks Commission, CPC, EPFRAC) attended the meeting to discuss this item. This discussion was a follow-up to the joint meeting of the Planning Board and DRC held on July 18th. Mr. Trindade said BOS was under the assumption that DRC was informed of the EPFRAC process and the Parks Improvements project. He said the goal is to bring the final project proposal to the fall town meeting (November). He explained the reasons for it. With anticipated approval at the fall town meeting, the Town will be able to advertise the project for bidding in October. Goal is to receive aggressive bids. To a question by Mr. Kevork on the big discussion points that came out of the joint meeting, Mr. Buckley listed some of the critical items that were discussed: master signage, appearance of the proposed pavilions, passage way to the parking lots from the play areas, lighting on the bridge connecting Choate to Thayer House. Mr. Kendall said members recommended using natural wood in the project where ever possible and also giving the DRC an opportunity to weigh in on the playground equipment. Mr. Trindade said DRC is welcome to make recommendations on the colors of the play equipment. He said EPFRAC went with the colors recommended by CBA, the consultant for the project. Ms. Chabot suggested that O' Brien & Sons should present the play equipment options to the Committee. Mr. Trindade said O' Brien & Sons are sub-consultants to CBA and that CBA has more control over these aspects of the projects. There was some discussion on the type of proposed benches. He said the project is being designed to be consistent with the look and feel of Thayer House. Dr. D'Innocenzo talked about other topics such as the nozzle style for the splash pad, map of United States near the splash pad, dumpster issues, etc. that came up at the meeting. He said another focus of this project design is to save the trees. Ms. Chabot asked if there is any concern for the quality of ground water since the project is close to the pond. There was some discussion on the existing pavilion in the North Field. Mr. Buckley offered to provide recommendations on the signage around the project. Ms. Affleck-Childs reminded the members of the mill across the park that is somewhat like a hidden jewel in town. Mr. Trindade appreciated the work done by DRC. Mr. Buckley will draft a letter of recommendation for changeable message signs. Ms. Affleck- Childs explained the next steps in the process. CBA will file the site-plan application with the Planning Board. DRC will have a work session on it and provide a letter of recommendation to the Planning Board. Mr. Trindade explained the process for the project. Members reviewed the

meeting preliminary minutes from the 07-18-2017 joint meeting and discussed the key points that the Committee would like to see implemented.

Choate Park:

- Mr. Buckley said treating the pond on the west side (Thayer Side) of the park should be considered if there is budget. It's an area that suffers in terms of usability.
- Some of the comments on the water feature were addressed at the meeting tonight.
- Showing benches on the plans will be a DRC recommendation.
- There was discussion on rubber surface in the play area. It was agreed that rubber surface is a better option than wood chips. Members said every effort should be made to naturalize the area.
- Ms. Chabot asked if there could be a future façade plan for the existing building in the park. At this time, no work is being proposed on the building. Mr. Trindade talked about the proposed peace garden at Choate Park and said there will not be enough budget left to design the building façade.
- Mr. Buckley asked if DRC can make recommendations on the color scheme for the play equipment. Mr. Trindade responded yes. There was discussion on the equipment donated by O'Brien & Sons. Assistant Town Administrator Allison Potter will be asked to provide the color scheme of the play equipment donated by O'Brien.
- Mr. Buckley said wayfinding signage in the project is a big issue and offered to provide recommendations.
- The Choate Park entrance from Main Street needs to be discussed and added that the clock should be part of the project.
- To a question on the existing unused equipment/ components within the project limits, Mr. Trindade said they will be removed as part of the project.
- There was discussion on lighting for Choate Park with lower output. Mr. Trindade said most of those lights will not be turned on except for special occasions. It is primarily for the Pumpkin Walk, Medway Day, Christmas Parade, etc. Mr. Buckley recommended that the frequency of the light should not be as bright as in Thayer House.
- Ms. Affleck-Childs recommended that the details of the light fixtures should be shown on the plans.

Oakland Park Improvements:

- To a question on the lighting at basketball courts, Mr. Trindade said they are lit but the soccer fields are not. Mr. Buckley recommended sending the lighting scheme to the DRC for review.
- Ms. Chabot recommended that the color scheme for the playgrounds at Choate and Oakland Park should remain similar. Other members of the Committee felt each park should have its own character.

- Mr. Buckley agreed to draft DRC recommendations on the color scheme and signage for the project. Ms. Affleck-Childs suggested providing these recommendations to EPFRAC Committee sooner than later.

Mr. Buckley talked about having a working group session with other DRC members to discuss potential recommendations to the Parks Improvement Project. Members agreed to give something substantial to the EPFRAC Committee before their next meeting. Ms. Chabot requested Ms. Affleck-Childs for a list of signs to be designed for the project.

Next Steps on report on Community Message Board Sign - There was general discussion on the history and current policy on community message board signs in town. Mr. Buckley said BOS had asked for the DRC's input on having a new changeable message sign. The process whereby town residents can reserve the existing sign for a period of one week was explained. Ms. Affleck-Childs said changeable copy signs are not allowed under zoning bylaw. Mr. Buckley said DRC will participate in the design process and will weigh in on the appearance of these signs. The Town is anticipating improving the aesthetics and readability of the message on the sign with a software package that controls the display on the sign. There was some discussion on the legality of regulating content on these signs. Ms. Affleck-Childs noted that there is a sign bylaw group has been tasked with cleaning and re-writing a section of the sign bylaw. There was discussion on updating the DRC's Design Guidelines based on the changes made to the town sign bylaw. Ms. Affleck-Childs said a chapter might be added to the Design Guidelines to address municipal projects. Members agreed to exchange information on the topic (without deliberations) and discuss this item at the next meeting.

Reports from DRC liaisons with other Town boards / committees - None.

Identification of possible sign violations to report to Building Inspector - None

Other business as may come before the Committee - Ms. Affleck-Childs said Building Inspector Jack Mee should be requested to attend a September DRC meeting for a general discussion.

Action Items - None.

DRC Meeting Schedule - Next DRC meeting is scheduled on August 7, 2017.

Adjournment

With no further business before this committee, a motion was made by Ms. Chabot to adjourn the meeting, seconded by Mr. Buckley. The motion was unanimously approved.

The meeting was adjourned at 10:10 p.m.

Respectfully Submitted,
Sreelatha Allam

DRC Sign Design Review
Planning and Economic Development Office Comments
July 27, 2017

Business Name: Orange Theory Fitness

Sign Location Address: 67 Main Street @ Medway Commons (front building next to Starbucks)

Proposed Signs:

1. **Wall Sign** – One channel letter sign, 2' x 17', affixed to south façade facing Main Street

	Proposed	Allowed by Bylaw
Sign Surface Area	34 sq. ft.	62 sq. ft.
Sign Height	Not applicable for wall sign	Not applicable
Illumination	Internal	Yes

2. **Insert Panel in Free-Standing Monument Sign** – 2 panels, 10.5" x 47.25", one panel on each side

	Proposed	Allowed by Bylaw
Sign Surface Area	3.44 sq. ft. x 2 = 6.9 sq. ft.	OK
Sign Height	Not applicable	Not applicable
Illumination	Internal – letters only	Yes

Comments:

1. New business. Local franchisee.
2. Corporate logo. <https://www.orangetheoryfitness.com/>



Medway Design Review Committee (DRC)
Application for Sign Design Review

Medway Location/Address where the sign will be installed: _____
What is the interior width of the storefront? _____

Building/Development Name: (if applicable): _____

Medway Zoning District: _____

Applicable Sign Standard Table (from Medway Zoning Bylaw) Table # _____.

Applicant Information (Local Medway business establishment where the sign is to be installed)

Business Name: _____

Mailing Address: _____

Contact person: _____

Phone: _____ Cell Phone _____

Email address: _____

Type of Proposed Signs – For sign definitions, refer to *Medway Zoning Bylaw (Section 7.2 Signs Regulation)*. The *Medway Zoning Bylaw* is available online at: www.townofmedway.org.

Type of Sign	# of Signs	Signs Dimensions	Total Square Footage of Sign Surface Area	Sign Height	Type of Illumination (internal, external or none)
Wall/Façade Sign					
Free-standing Individual Business Sign					
Free-standing Multi-Tenant Development Sign					
Awning Sign					
Projecting Sign					
Directory Sign					
Window Sign					
Other Type of Sign (Describe)					

Attach the following items to this form. pdf format is requested for the application form and all attachments. Please email application and documents to sachilds@townofmedway.org

- _____ 1. Manufacturer's scaled COLOR drawing with dimensions and DETAILED specifications for materials and illumination.
- _____ 2. For a wall sign, a scaled image showing the sign's position on the building.
- _____ 3. Landscaping Plan and Plot Plan marked with location of the free-standing sign and distances from street/lot lines.
- _____ 4. Color photograph(s) of building/location(s) where sign will be installed and existing signs.
- _____ 5. Color drawing of corporate logo (if applicable).
- _____ 6. Color photograph of similar/comparable sign on which your sign design is based.
- _____ 7. A letter or other descriptive or explanatory information you want to provide to the DRC.

Does this application pertain to a completely new sign?

☐ Yes ☐ No (If NO, please include photos/info of the existing sign you are modifying)

Does this application pertain to a replacement panel for an existing sign structure?

☐ Yes (If yes, please include photos/info of the existing sign) ☐ No

If the business is located in a multi-tenant development, is there a Master Sign Plan for the development?

☐ Yes ☐ No ☐ Don't Know

Does your lease require the property owner's approval of your sign?

☐ Yes ☐ No ☐ Not applicable

Sign Designer/Fabricator/Installer Information

Company Name: _____

Mailing Address: _____

Contact person: _____

Phone: _____ Cell Phone: _____

Email address: _____

Property Owner Information

Company Name: _____

Mailing Address: _____

Contact person: _____

Phone: _____ Cell Phone: _____

Email address: _____

Proposed sign designs are reviewed by the Medway Design Review Committee (DRC).

The business owner and sign designer/fabricator must attend the DRC meeting.

**The DRC generally meets on the first & third Monday night of each month at 7 p.m.
at the Medway Library, 26 High ST.**

(DRC meeting agendas are posted at the Town's web page at www.townofmedway.org)

**An Application for Sign Design Review and all supporting information must be submitted
to the Medway Planning office by 12 noon on the Wednesday before a DRC meeting.**

Please submit this application form and all attachments as follows:

Email: sachilds@townofmedway.org **PREFERRED**

Fax: 508-321-4987

Mail: Design Review Committee
c/o Medway Planning office
155 Village Street, Medway, MA 02053

Drop Off: Medway Planning office @ Medway Town Hall, 155 Village Street

Phone: 508-533-3291

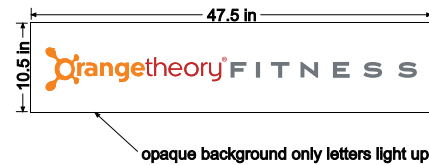
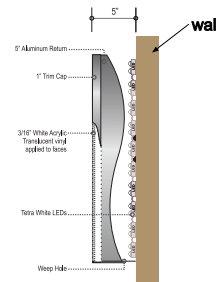
**Applicants and sign designers should read the Sign Guidelines included in the
Medway Design Review Guidelines before developing a sign design.**

<http://www.townofmedway.org/design-review-committee/pages/sign-design-review>

Sign designs should be developed in accordance with the Sign Design Guidelines.

Date Application Received by Medway Planning office: _____

Reviewed by Medway Planning Coordinator: _____ **DRC Meeting Date:** _____



Signs By Cam Inc

Sign & Graphic Solutions • Uncompromising Integrity

Cam Afonso

837 Upper Union St., Suite C-18
Franklin, MA 02038

Phone: 508-364-2905

Fax/Office: 508-528-0766

E-Mail: cam@signsbycam.com

Website: www.signsbycam.com

APPROVED FOR PRODUCTION:

X

JOB INFORMATION

JOB TITLE:

CONTACT:

PHONE:

FAX:

JOB DESCRIPTION:

SQUARE FOOTAGE: =

SIGN MATERIAL SPECS

BANNER: ☐ COROPLAST: ☐ WOOD: ☐

ACRYLIC: ☐ MAGNETIC: ☐ URETHANE: ☐

PVC: ☐ ALUMINUM: ☐ NUEDGE: ☐

SINGLE SIDED: ☐ DOUBLE SIDED: ☐

OTHER: _____

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OF THE LAW.

COLOR SPECS:

BACKGROUND:
COPY:

OUTLINE:
SHADOW:
BORDER:
LOGO:

DRC Sign Design Review

Planning and Economic Development Office Comments

July 27, 2017

Business Name: Tumble Beans Play and Café

Sign Location Address: 114D Main Street @ Medway Shopping Plaza

Proposed Signs:

1. **Wall Sign** – Individual Letters – 35" by 164" above entry on east building facade

	Proposed	Allowed by Bylaw
Sign Surface Area	35" x 164" = 39.86 sq. ft.	OK
Sign Height	Not applicable for wall sign	Not applicable
Illumination	None	Yes

2. **Wall Sign** – One Box Cabinet sign – 36" x 168" replacement panel for existing box. Internally illuminated.

	Proposed	Allowed by Bylaw
Sign Surface Area	36" x 168" = 42 sq. ft.	OK
Sign Height	Not applicable for wall sign	Not applicable
Illumination	Internal	Yes

Comments:

1. New business. Location is at the back of the east side of the building where Condon's Hardware and Ocean State Job Lot located. The space was formerly occupied by an auto parts store.
2. Width of business frontage = 133'
3. Box cabinet type of sign is an outdated type of signage, not really in keeping with the hip nature of the business and contemporary style business graphics/logo.
4. NOTE - Bylaw allows only one wall sign per façade. So, only one of the two proposed wall signs can be permitted at this time.

OPTIONS:

- a. The business could seek a variance from the ZBA to allow for the second wall sign.
- b. The business could have one "Projecting Sign" (side hanging off of a bracket) of 12 sq. ft. in size, by right, instead of one of the wall signs. It could be positioned perpendicular to the building façade up close to the front of the building near the hair salon. This type of sign may actually be more visible than the box cabinet sign to people parking in front of Condon's and Ocean State. Key issue is the height of the sign as the driveway is adjacent.



Medway Design Review Committee (DRC)
Application for Sign Design Review

Medway Location/Address where the sign will be installed: _____
What is the interior width of the storefront? _____

Building/Development Name: (if applicable): _____

Medway Zoning District: _____

Applicable Sign Standard Table (from Medway Zoning Bylaw) Table # _____.

Applicant Information (Local Medway business establishment where the sign is to be installed)

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Mailing Address: _____

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Awning Sign					
Projecting Sign					
Directory Sign					
Window Sign					
Other Type of Sign (Describe)					

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- _____ 7. A letter or other descriptive or explanatory information you want to provide to the DRC.

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☐ Yes ☐ No (If NO, please include photos/info of the existing sign you are modifying)

Does this application pertain to a replacement panel for an existing sign structure?

☐ Yes (If yes, please include photos/info of the existing sign) ☐ No

If the business is located in a multi-tenant development, is there a Master Sign Plan for the development?

☐ Yes ☐ No ☐ Don't Know

Does your lease require the property owner's approval of your sign?

☐ Yes ☐ No ☐ Not applicable

Sign Designer/Fabricator/Installer Information

Company Name: _____

Mailing Address: _____

Contact person: _____

Phone: _____ Cell Phone: _____

Email address: _____

Property Owner Information

Company Name: _____

Mailing Address: _____

Contact person: _____

Phone: _____ Cell Phone: _____

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Sign designs should be developed in accordance with the Sign Design Guidelines.

Date Application Received by Medway Planning office: _____

Reviewed by Medway Planning Coordinator: _____ **DRC Meeting Date:** _____



Imagery ©2017 Google, Map data ©2017 Google 50 ft

Executive Summary for Tumble Beans Cafe & Play

Our Mission

Tumble Beans Cafe & Play offers a family entertainment space with both parent and child in mind. Tumble Beans provides a 14' climbing structure, imaginative playhouses, enrichment classes, birthday party venue, parent support groups, and a cafe for families with young children aged 0-7. We encourage self-directed play where children can engage in imaginative play while learning real-life skills. While our facility lends itself to children to freely play(within limits), parents are at liberty to relax, socialize with one another, and make new friends.

The Company and Management

Our location is at 114D Main Street Medway, MA. It is in a community shopping center along the main business district in Medway. Our goal with our facility is to create an engaging learning environment for children, but also a community for local Medway families. We envision an inclusive local family-friendly playspace where parents can park their stroller, grab a hand-crafted espresso drink to enjoy while conversing with other caregivers, and observe their child as they choose which activities they'd like to engage in. Throughout the day Tumble Beans will offer enrichment classes, support groups, and workshops for free to its members.

Our entity is New England Family Entertainment, LLC dba Tumble Beans Cafe & Play and is registered in the state of Massachusetts. The LLC has two partners, Daniel O. Macias and Sharon E. Knight. We chose to operate as limited liability company for the tax advantages and the personal protections it offers the two partners.

While Tumble Beans Cafe & Play will have two partners, Sharon will be managing the business full-time. Sharon will be managing the business full-time. For the first two years she will not take a salary. Starting in Year 3, Sharon will receive a salary of \$2,000/month. As the manager of the business, Sharon will be responsible for scheduling part-time employees, tracking inventory, ordering food, managing the accounting for the business, community outreach, and customer service.

Our Services

Tumble Beans Cafe & Play will offer a wide variety of products in our cafe and services in our playground.

In our cafe we will offer:

- Espresso-based Drinks
- Brewed Coffee
- Tea
- Smoothies
- Sandwiches
- Paninis
- Salads
- Morning Pastries
- Cookies
- Brownies
- Cake Pops

The services we will offer are:

- Private Birthday Parties
- Open Play 7 days a week
- Parent Support Groups
- Enrichment Classes
- After-Hours Events

The Market

Family entertainment is a booming \$60 billion dollar industry. Our product, an indoor playground with a cafe, has particularly grown in popularity in recent years. Currently, there are indoor playgrounds in the Metrowest Boston area that provide a space for children to play. Popularity for this type of venue is centered on areas affected by extreme weather conditions (extremely hot summers or extremely cold winters). Our business will capture this trend.

Tumble Beans Cafe & Play's target market includes Medway, Milford, Franklin, Millis, Bellingham, and Holliston parents, childcare givers, and children with a household income range of between \$75,000-\$150,000. We will focus our marketing efforts towards young families with children and grandparents with

grandchildren in Medway and the surrounding towns. Our target customers seek safe and clean play environments for their children. They will see value in the high standards Tumble Beans sets for its customer service and cleanliness.

The indoor playground concept has been proven throughout New England. The success is exemplified by the number of indoor playgrounds found in the surrounding suburbs of Boston.

Tumble Bean's competition will be alternative family entertainment spots, as there is no indoor playground in the area. These include Medway Public Library story times, PINz Bowling Alley and Sports Bar, and Northeast Cinemas.

Our Competitive Advantage

Several distinguishing features will set Tumble Beans apart from its competition. We will specialize in active and imaginative self-directed play areas, while also providing lounge areas specifically designed for parents to engage with one another and relax. None of the other alternatives in the area offer anything specific for parents like a lounge area, work tables, or gourmet espresso drinks.

The combination of our clean, bright, and inviting playground and parent lounge area will give our playground an edge over the other family entertainment alternatives.

Financial Projections

Based on the size of our market and our defined market area, our sales projections for the first year are \$195,941 . We project a growth rate of 25% per year for the first three years.

We plan to aggressively build our client base through website, social media, and direct mail advertising. The inspiring and engaging hands-on learning environment Tumble Beans Cafe & Play will provide is sure to appeal to families throughout the Town of Medway.

JOB #: 5
QUANTITY: 1

PROJECT TYPE: DIM LTR
PROOF DATE: 6.26.17

REVISION DATE: 6.26.17
REVISION #: 1



PLEASE NOTE: PRICING INCLUDES UP TO TWO (2) REVISION CYCLES; AN ADDITIONAL COST MAY BE APPLIED FOR EXTRA DESIGN TIME.

These plans are the exclusive property of Sign*A*Rama and are the result of the original work of its employees. Their sole purpose is for client consideration as to whether or not to purchase the proposed plans or to purchase from Sign*A*Rama, a sign manufactured according to these plans. Distribution or exhibition of these plans to anyone other than employees of your company, or use of these plans to construct a sign similar to the one embodied herein, is expressly forbidden. In the event that such exhibition occurs, Sign*A*Rama expects to be reimbursed for time and effort entailed in creating these plans.

IMPORTANT: SUPERIMPOSED PHOTOS ARE NOT TO BE VIEWED AS 100% ACCURATE DEPICTIONS, THEY ARE SIMPLY A ROUGH REPRESENTATION OF SIGN PLACEMENT.

Signarama
The way to grow your business.

www.framinghamsigns.com

280 WORCESTER RD.

FRAMINGHAM, MA 01702

508.875.7446 P 508.875.7470 F

JOB #: 5
QUANTITY: 1

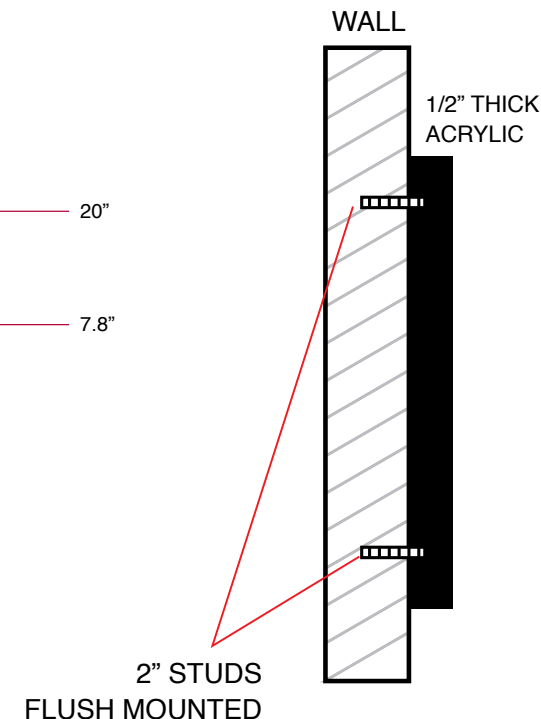
PROJECT TYPE: DIM LTR
PROOF DATE: 6.26.17

REVISION DATE: 6.26.17
REVISION #: 1



35" H x 164" W x 3/8" thick laser cut acrylic letters & logo from Gemini Letters of Minnesota, matching 3 logo colors, per the approved sign proof. Sign to be flush stud mounted into the cinderblock wall.

MOUNTING METHOD



PLEASE NOTE: PRICING INCLUDES UP TO TWO (2) REVISION CYCLES; AN ADDITIONAL COST MAY BE APPLIED FOR EXTRA DESIGN TIME.

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FRAMINGHAM, MA 01702
508.875.7446 P 508.875.7470 F

JOB #: 5
QUANTITY: 1

PROJECT TYPE: SIGN FACE
PROOF DATE: 6.26.17

REVISION DATE: 6.26.17
REVISION #: 1



PLEASE NOTE: PRICING INCLUDES UP TO TWO (2) REVISION CYCLES; AN ADDITIONAL COST MAY BE APPLIED FOR EXTRA DESIGN TIME.

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280 WORCESTER RD.

FRAMINGHAM, MA 01702

508.875.7446 P 508.875.7470 F

JOB #: 5

PROJECT TYPE: SIGN FACE

REVISION DATE: 6.26.17

QUANTITY: 1

PROOF DATE: 6.26.17

REVISION #: 1



36" H x 168" W x 3/16" D White Polycarbonate Sign Face with digitally printed & contour cut translucent vinyl with & gloss lamination applied to one (1) side

PLEASE NOTE: PRICING INCLUDES UP TO TWO (2) REVISION CYCLES; AN ADDITIONAL COST MAY BE APPLIED FOR EXTRA DESIGN TIME.

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IMPORTANT: SUPERIMPOSED PHOTOS ARE NOT TO BE VIEWED AS 100% ACCURATE DEPICTIONS, THEY ARE SIMPLY A ROUGH REPRESENTATION OF SIGN PLACEMENT.

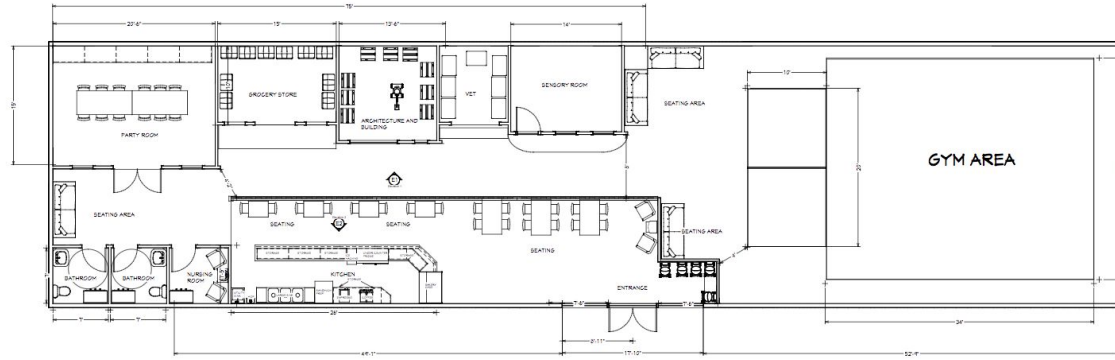
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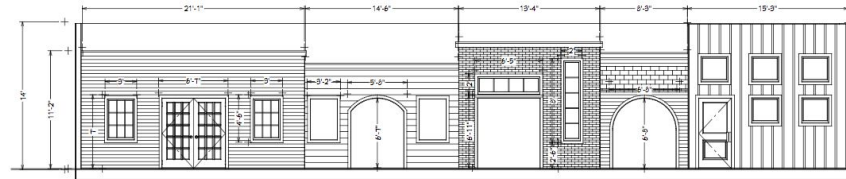
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FRAMINGHAM, MA 01702

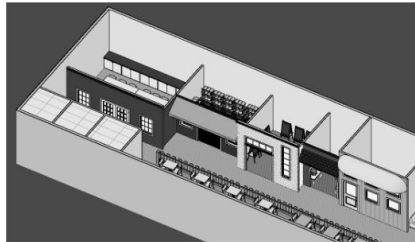
508.875.7446 P 508.875.7470 F



1st Floor
SCALE: 3/16" = 1'-0"



Elevation 1
SCALE: 1/4" = 1'-0"



REVISION TABLE
NUMBER DATE REVISION DESCRIPTION

Tumblebeans
114D Main St. Medway,
MA 02053

DRAWING PROVIDED BY
Remodel Works
REMODEL WORKS

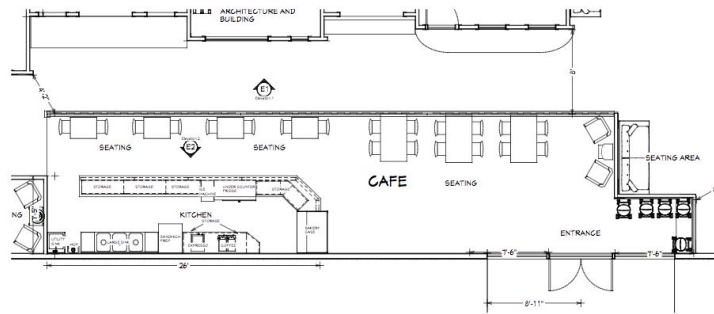
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6/9/2017

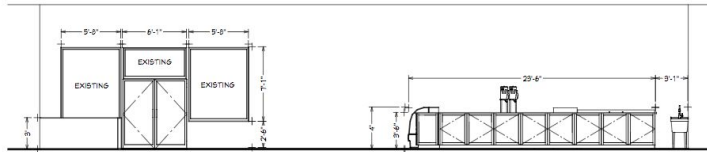
SCALE:

NTS

SHEET:



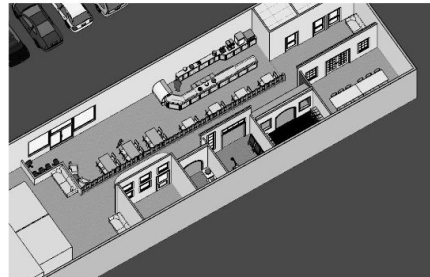
1st Floor



Elevation 2



TUMBLE BEANS CAFE



ISOMETRIC VIEW

REVISION TABLE
NUMBER DATE REVISION BY DESCRIPTION

Tumblebeans
114D Main St. Medway,
MA 02053

DRAWINGS PROVIDED BY:

Remodel
works
DESIGN & CONSTRUCTION

DATE:

6/9/2017

SCALE:

1/4" = 1'-0"

SHEET:

Information for Continuation Discussion of O'Brien and Sons Site Plan

Photos of dumpster enclosures

Photos of stone walls

Materials for light fixtures

Revised site plan dated July 19, 2017 – See sheet C-4 for revised landscaping plan

DRC's original review letter dated June 13, 2017 to the Planning and Economic Development Board





995

TRASH

Vinyl Fence
Samples, Inc.
Kalamazoo, MI
1-800-653-2338













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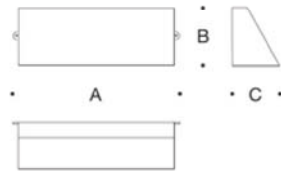
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- Dtej kgewtcn#rrrgctcpeg#k#rtgugt#xgf #k#e#qpegcngf#jgcvlpm#Fgukip1

[Products](#)[Applications](#)[Information](#)[Search Tools](#)[Partners](#)[Back to Wall Luminaires](#)**Surface wall with shielded light source**

Designed for down lighting and wall washing for interior and exterior locations featuring a shallow projection from the wall.

Wall mounted luminaires with shielded light source. Die-cast aluminum guard and tempered etched matte glass diffuser. Pure anodized aluminum reflector.

See individual product page for LED driver and color temperature information.

Fluorescent units include integral ballasts.

U.L. listed, suitable for wet locations.

Protection class: IP64

Finish: Standard BEGA colors.

[Click product # for details](#)

			Lamp	β	Temp°C	A	B	C
22 380	EXPRESS	ADA	11.2W LED			11 7/8	4 3/8	3 3/8
22 295		ADA	(1) 27W CF twin-4p			15 3/4	4 3/4	3 3/4

© Copyright BEGA-US 2017 All rights reserved


SEARCH PRODUCT NAMES AND

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FILTER BY:LED TITLE 24 [SPEC SHEETS]

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gZhdjgXZh

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heZX #h] ZZih
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Copyright Meridian Associates 2017
Plotted: 7/20/2017 10:15 AM
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SITE PLAN REVIEW SUBMITTAL

O'BRIEN & SONS CORPORATE OFFICE

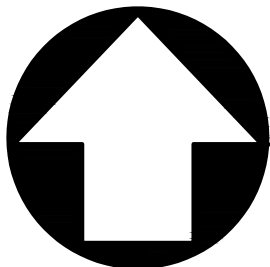
17 TROTTER DRIVE
(MAP 54, PARCEL 1)
MEDWAY, MASSACHUSETTS 02053

ZONING DISTRICT: INDUSTRIAL III
GROUNDWATER PROTECTION DISTRICT/ZONE II

MAY 23, 2017
REVISED JULY 17, 2017



NORTH



LOCUS MAP

SCALE: 1' = 500'

OWNER

ANTHONY & MARGURITE MELE
203 MAIN STREET
MEDWAY, MASSACHUSETTS 02053

APPLICANT

BOTTLE CAP LOT, LLC
93 WEST STREET
MEDFIELD, MASSACHUSETTS 02052

CIVIL ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE



MERIDIAN
ASSOCIATES

69 MILK STREET, SUITE 302
WESTBOROUGH, MASSACHUSETTS 01580
TELEPHONE: (508) 871-7030

500 CUMMINGS CENTER, SUITE 5950
BEVERLY, MASSACHUSETTS 01915
TELEPHONE: (978) 299-0447

ARCHITECTURE GIRLIA

Gorman Richardson Lewis Architects
239 South Street Hopkinton, MA 01748
T - 508.544.2600 F - 508.435.0072
www.grlaarchitect.com

DRAWING INDEX:

- C-0 COVER SHEET/LOCUS MAP
- C-1 EXISTING CONDITIONS PLAN
- C-2 LAYOUT AND MATERIALS PLAN
- C-3 GRADING, DRAINAGE & UTILITIES PLAN
- C-4 LANDSCAPE PLAN
- C-5 CONSTRUCTION DETAILS
- C-6 CONSTRUCTION DETAILS
- C-7 CONSTRUCTION DETAILS
- C-8 CONSTRUCTION DETAILS

REQUESTED WAIVERS:

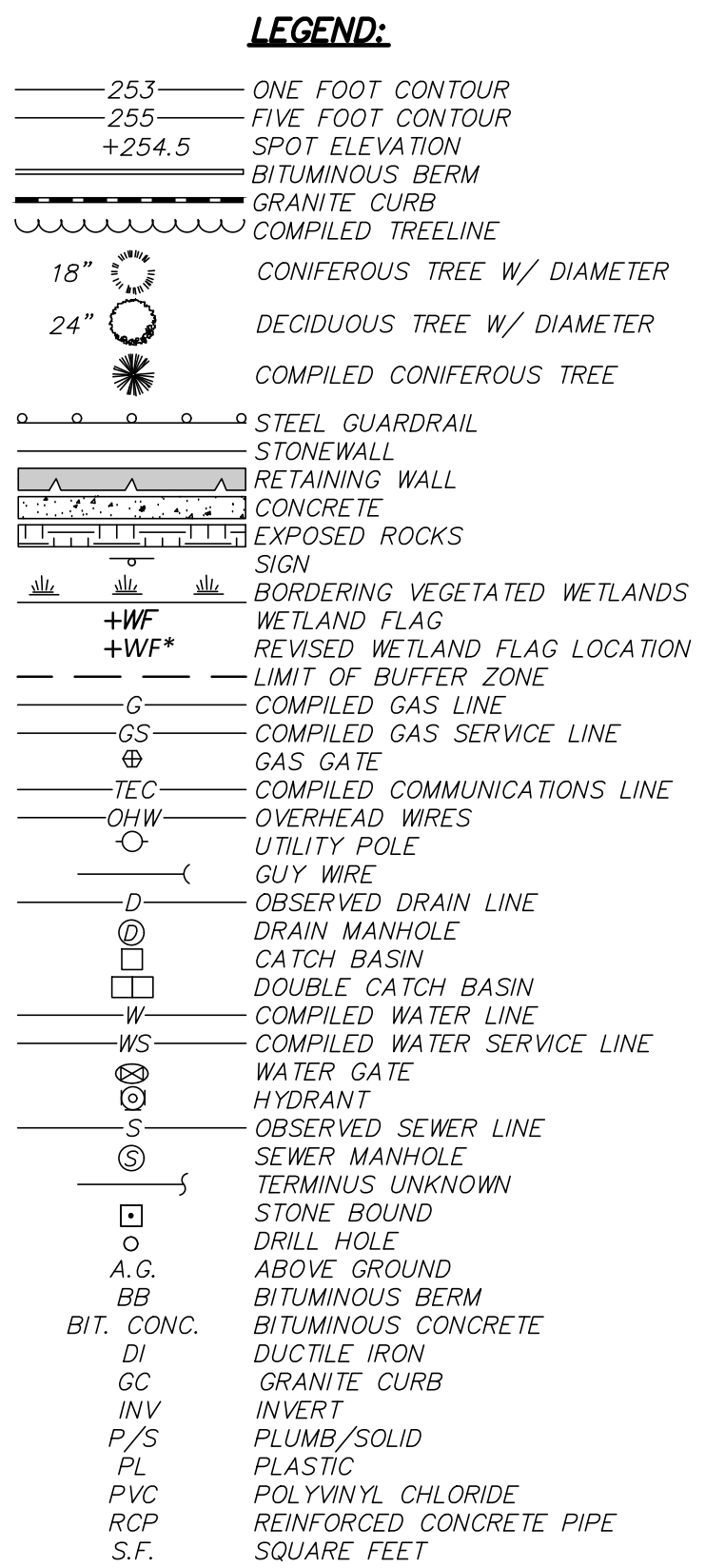
SITE PLAN RULES AND REGULATIONS:

- SECTION 205-6 G.4.A (PARKING IN BUILDING ENTRANCE "AREA" AND LOADING "AREA")
- SECTION 205-3 B.2 (NO PART OF ANY PARKING SHALL BE LOCATED WITHIN 15' OF A SIDE PROPERTY LINE.) 7.1' PROPOSED AT SOUTH PROPERTY LINE.
- SECTION 205-6 G3.B (WHEEL STOPS ABUTTING A WALKWAY) NOT PROVIDED.
- SECTION 205-6 G4.D. (THE LAST PARKING STALL IN ANY DEAD END ROW SHALL BE 12' LONG X 20' WIDE TURNING AREA). PROVIDING 6'X24' AREA.
- SECTION 204-5C.3 (EXISTING LANDSCAPE INVENTORY) TO NOT SHOW TREES BETWEEN 12" AND 18" (TREES 18" AND LARGER SHOWN).
- SECTION 205-6 G3.A - PARKING STALL DESIGN SHALL BE 10'x20'. SITE COMPLIES WITH THE ZONING BY-LAW (7.1.1.E.3.a.) STATING 9'x18' AS THE REGULATION (9'x18' STANDARD).

APPROVED BY THE TOWN OF MEDWAY
PLANNING & ECONOMIC DEVELOPMENT BOARD


APPROVAL DATE

ENDORSEMENT DATE



1. THE TOPOGRAPHY, SITE DETAIL & SURFACE IMPROVEMENTS DEPICTED HEREON WERE OBTAINED FROM AN INSTRUMENT SURVEY CONDUCTED ON THE GROUND BY MERIDIAN ASSOCIATES, INC. BETWEEN FEBRUARY 17 & 24, 2017.
2. THE SUBJECT PREMISES IS LOCATED IN THE INDUSTRIAL III (I-III) ZONING DISTRICT AND THE GROUNDWATER PROTECTION DISTRICT.
3. THE SUBJECT PREMISES IS DEPICTED AS A PORTION OF LOT 4 ON TOWN OF MEDWAY ASSESSOR'S MAP 54. LOT 1 DEPICTED HEREON WAS DERIVED FROM A PLAN OF LAND SUBMITTED TO THE TOWN OF MEDWAY PLANNING BOARD, REFERENCED ABOVE, ENDORSED ON FEBRUARY 28, 2017.
4. THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND ARE BASED UPON A PARTIAL FIELD SURVEY AND COMPILATION OF PLANS OF RECORD. MERIDIAN ASSOCIATES, INC. DOES NOT WARRANTY NOR GUARANTEE THE LOCATION OF ALL UTILITIES DEPICTED OR NOT DEPICTED. THE CONTRACTOR, PRIOR TO COMMENCEMENT OF CONSTRUCTION, SHALL VERIFY THE LOCATION OF ALL UTILITIES AND CONTACT DIG SAFE AT 1-888-344-7233.
5. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT, VISIBLE USES OF THE LAND; HOWEVER, THIS DOES NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.
6. THE SUBJECT PREMISES IS LOCATED IN FLOOD ZONE X (UNSHADED), AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN; PER FEMA FLOOD INSURANCE RATE MAP NUMBER 25021C0138E DATED JULY 17, 2012.
7. THE ELEVATIONS DEPICTED HEREON WERE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88), DERIVED FROM GPS OBSERVATIONS.
8. PROPERTY LINES DEPICTED HEREON ARE BASED ON COMPILED DEEDS AND PLANS OF RECORD. THIS PLAN IS NOT TO BE USED FOR THE RECONSTRUCTION OF BOUNDARY LINES OR FOR TITLE INSURANCE PURPOSES. ALL BOUNDARY LINES DEPICTED ARE APPROXIMATE ONLY. MAI DID NOT PERFORM A BOUNDARY RETRACEMENT SURVEY.
9. THE WETLAND FLAGS DEPICTED HEREON WERE DELINEATED BY MERIDIAN ASSOCIATES, INC. ON FEBRUARY 7, 2017.
10. SPECIFIC TREES WITH A DIAMETER OF 18 INCHES OR GREATER ARE LOCATED ON THIS PLAN TO SATISFY THE EXISTING LANDSCAPE INVENTORY (SEE SECTION 204-5, C.3 IN THE MEDWAY SITE PLAN RULES & REGULATIONS) AS REQUESTED AND AGREED TO BY THE PLANNING AND ECONOMIC DEVELOPMENT BOARD.

SCALE: 1" = 20'



20' 10' 0 20' 40' 60'

Date:	MAY 23, 2017 (See Revisions)
Scale:	1"=20'
Project No.	8477
Sheet No.	C-1

REVISIONS					
					M/E B
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					M/E B
					C/K/D.



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NOW OR FORMERLY
NEW ENGLAND POWER COMPANY

AGRICULTURAL-RESIDENTIAL II
INDUSTRIAL III

REMAINING LAND OF
JOSEPH C. JULIANI, ANTHONY MELE
& MARGUERITE K. MELE
(DEED BOOK 5655, PAGE 568)

TROTTER (PUBLIC-VARIABLE WIDTH) DRIVE

ALDER STREET (PUBLIC-60' WIDE)

PROPOSED CONDITIONS LEGEND

	PROPERTY LINE		DCB		CATCH BASIN
	BUILDING		OCS		OUTLET CONTROL STRUCTURE
	RETAINING WALL		FE		FLARED END SECTION
	EROSION CONTROL BARRIER		IB		RIP RAP APRON/ IMPACT BASIN
	LIMIT OF WORK		WG		WATER LINE (1" IF NOT SPECIFIED)
	ELEVATIONAL CONTOUR		PIV		WATER GATE VALVE
	SPOT GRADE		ETC		POST INDICATOR VALVE
	HIGH POINT/LOW POINT		T		ELECTRIC, CABLE & TELEPHONE LINE
	TOP/BOTTOM WALL		G		ELECTRIC TRANSFORMER PAD LOCATION
	DRAIN MANHOLE		GG		NATURAL GAS LINE
	DRAINAGE LINE		GM		GAS GATE
	ROOF DRAINAGE LINE		S		GAS METER
	CATCH BASIN		SMH		SEWER LINE (4" IF NOT SPECIFIED)

NOW OR FORMERLY
CYBEX INTERNATIONAL INC.

	SEWER CLEANOUT
	TRAFFIC CONTROL SIGN
	VERTICAL GRANITE CURB
	PRECAST CONCRETE CURB
	DUMPSTER PAD
	SNOW STORAGE AREA
	APPROXIMATE TREELINE

ZONING SUMMARY

ZONING DISTRICT: INDUSTRIAL III, GROUNDWATER PROTECTION DISTRICT		
BULK & DIMENSIONAL REQUIREMENTS	REQUIRED	PROVIDED
MINIMUM LOT AREA (S.F.)	40,000	47,757
MINIMUM LOT FRONTAGE (FT)	100	546
MINIMUM FRONT YARD (FT)	30	35
MINIMUM SIDE YARD (FT)	20	30
MINIMUM REAR YARD (FT)	30	N/A
MAXIMUM BUILDING HEIGHT (FT)	60	20
MAXIMUM LOT COVERAGE (%)	N/A	22
MAXIMUM IMPERVIOUS COVERAGE (%)	80	47
MINIMUM OPEN SPACE (%)	20	53

PARKING SUMMARY

BUILDING USES	BUSINESS/OFFICE/ RETAIL (1 : 300SF)	WAREHOUSE (1 : 2 SHIFT EMP. + 1 : 1,000 S.F.)
PARKING REQUIRED	22*	0**
PARKING PROVIDED	22***	0

*6,600 SF OFFICE / 300 = 22 SPACES

**3,931 SF STORAGE = 0 SPACES (NO ADDED EMPLOYEES FOR STORAGE AREAS)

***21 STANDARD & 1 VAN ACCESSIBLE SPACE

LAYOUT AND MATERIALS NOTES:

ALL WORK CONDUCTED WITHIN PUBLIC RIGHT-OF-WAYS SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF THE TOWN OF MEDWAY DEPARTMENT OF PUBLIC WORKS AND MASS HIGHWAY.

ALL ACCESSIBLE ROUTES, RAMPS AND PARKING SPACES TO COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (ADA) ACCESSIBILITY GUIDELINES AND THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD (AAB).

THE FOLLOWING LAYOUT CRITERIA SHALL CONTROL UNLESS OTHERWISE NOTED ON THE PLAN:
DIMENSIONS FROM BUILDING ARE FROM FACE OF BUILDING.
DIMENSIONS ARE TO FACE OF CURB AT GUTTER LINE.
DIMENSIONS ARE TO THE CENTER OF PAVEMENT MARKINGS.
ALL TIES TO PROPERTY LINES ARE PERPENDICULAR TO THE PROPERTY LINE UNLESS OTHERWISE NOTED.

SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND ALL DETAIL CONTIGUOUS TO THE BUILDING INCLUDING ENTRANCES, DOORWAY PADS, ETC.

ALIGN WALKWAYS CENTERED ON BUILDING EXIT DOORS UNLESS OTHERWISE NOTED.

ALL LINES AND DIMENSIONS ARE PARALLEL OR PERPENDICULAR TO THE LINES FROM WHICH THEY ARE MEASURED UNLESS OTHERWISE INDICATED.

COORDINATE THE LOCATION OF ALL SITE LIGHT STANDARDS WITH IMPROVEMENTS SHOWN ON THESE DRAWINGS.

CONTRACTOR SHALL REPORT SIGNIFICANT CONFLICTS TO THE OWNER OR HIS REPRESENTATIVE FOR RESOLUTION.

THE CONTRACTOR SHALL FURNISH AND SET ALL LINES AND GRADES REQUIRED AND PROTECT ALL PERMANENT BENCHMARKS OR MONUMENTS. DAMAGED MONUMENTS SHALL BE REPLACED BY A LICENSED SURVEYOR AT NO COST TO THE OWNER.

PAVEMENT MARKINGS SHALL CONFORM TO SECTION M7.01.05 OF THE COMMONWEALTH OF MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS "STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES".

ALL BITUMINOUS CONCRETE PAVING SHALL COMPLY WITH THE MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS "STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, 1988 EDITION AS AMENDED. THE CONTRACTOR SHALL SUBMIT A JOB MIX FORMULA DEMONSTRATING COMPLIANCE WITH THESE SPECIFICATIONS. THE CONTRACTOR SHALL SUPPLY THE ENGINEER WITH A CERTIFICATE OF COMPLIANCE SUPPLIED BY THE PAVING CONTRACTOR.

ALL CONCRETE WORK SHALL COMPLY WITH ACI301, "SPECIFICATION FOR STRUCTURAL CONCRETE," AND ACI 316R, "UNLESS MODIFIED BY THE CONTRACT DOCUMENTS. COMPLY WITH CRSI'S "MANUAL OF STANDARD PRACTICE" FOR FABRICATING, PLACING, AND SUPPORTING REINFORCEMENT. COMPLY WITH ACI 306.1 FOR COLD WEATHER PROTECTION, AND FOLLOW RECOMMENDATIONS IN ACI 308R FOR HOT WEATHER PROTECTION DURING CURING. COMPLY WITH ACI 304 "GUIDE FOR MEASURING, MIXING, TRANSPORTING, AND PLACING CONCRETE."

BITUMINOUS CONCRETE PAVEMENT: CLASS I, TYPE I-1 CONFORMING TO THE STANDARD SPECIFICATIONS, SECTIONS 420 AND 460, AND M3.11.03 FOR BINDER COURSE AND TOP COURSE JOB MIX FORMULAS.

SAW-CUT EXISTING PAVEMENT WHERE NEW BITUMINOUS CONCRETE PAVEMENT IS TO COME IN CONTACT. PRIME COAT THE CUT EDGE PRIOR TO PLACEMENT.

FACE OF GUARDRAILS TO BE LOCATED TWO FEET SIX INCHES (2.5') FROM FACE OF CURB OR BACK OF WALK UNLESS OTHERWISE NOTED.

PAVEMENT REMOVAL WITHIN THE ALDER STREET CUL-DE-SAC-SUBJECT TO MEDWAY DEPT. OF PUBLIC SERVICES APPROVAL.

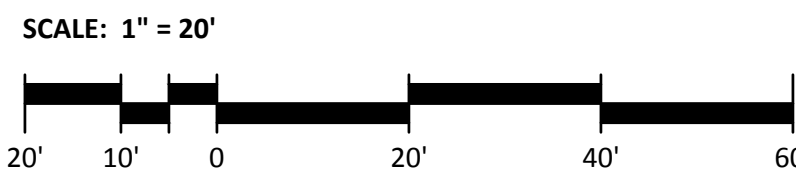
PROPOSED ROOF TO BE RUBBER TYPE EPDM, TPO OR APPROVED EQUAL.



LAYOUT & MATERIALS PLAN
O'BRIEN & SONS CORPORATE OFFICES
17 TROTTER DRIVE
MEDWAY, MASSACHUSETTS 02053
Prepared for:
BOTTLE CAP LOT, LLC
93 West Street
Medfield, Massachusetts 02052



Date:
MAY 23, 2017
(See Revisions)
Scale:
1"=20'
Project No.
8477
Sheet No.
C-2

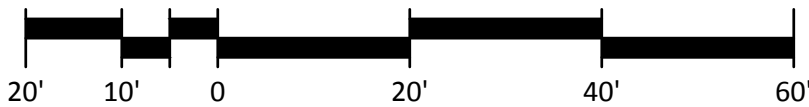




NO BACKFILLING OF ANY UTILITY SHALL TAKE PLACE UNTIL ALL NECESSARY INSPECTIONS AND TESTING HAS OCCURRED AND HAS BEEN APPROVED. A COPY OF ALL TEST RESULTS ARE TO BE SUPPLIED TO THE ENGINEER UPON RECEIPT.

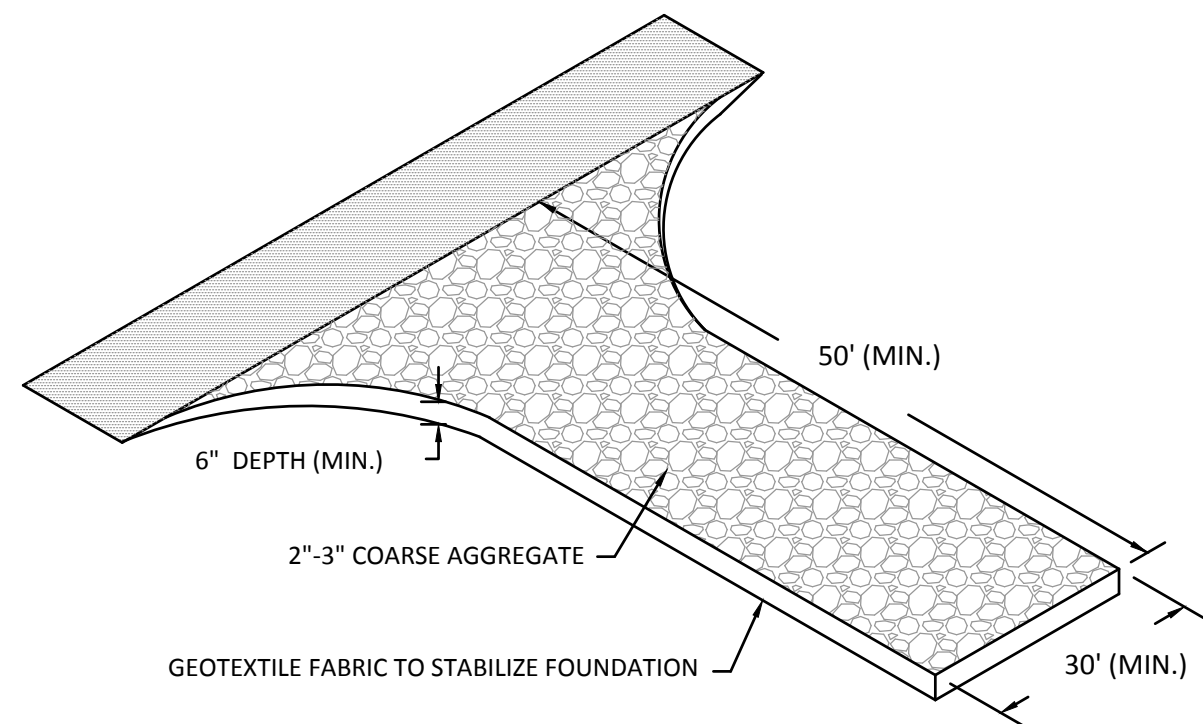
ANY WORK NOT MEETING THE APPROVED STANDARDS SHALL BE IMMEDIATELY REMOVED AND REPLACED AT THE FULL RESPONSIBILITY AND COST/EXPENSE OF THE CONTRACTOR.

CAP ALL PROPOSED UTILITY STUBS AS APPROPRIATE.



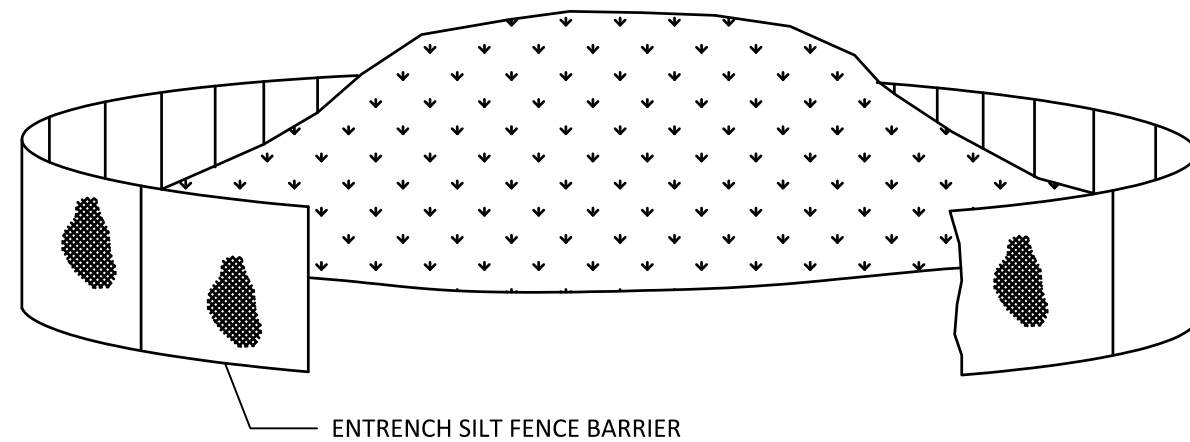
FLARED END SECTIONS SHALL BE PIPE MANUFACTURER STANDARD CONSTRUCTED FROM THE SAME MATERIAL AS THE PIPE. INSTALL PIPE AND FLARED ENDS IN STRICT ACCORDANCE WITH PIPE MANUFACTURER INSTRUCTIONS.

Date:	MAY 23, 2017 (See Revisions)
Scale:	1"=20'
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A cross-sectional diagram of a catch basin. At the top, a horizontal structure is labeled "CATCH BASIN FRAME AND GRATE". Below this, a large, inverted V-shaped object is labeled "SILT SACK" OR APPROVED EQUAL". The bottom of the V-shape is labeled "CATCH BASIN". The entire assembly is shown within a larger container.

- FILTER BAG**
(NOT TO SCALE)



LOCATE STOCKPILE IN A DRY AND STABLE AREA OUTSIDE OF 100' WETLAND BUFFER ZONE.

STABILIZE STOCKPILE WITH ANNUAL RYEGRASS, MULCH OR EROSION CONTROL BLANKETS.

Technical drawing of a 4 oz. non-woven material bag, showing two views: Plan View and Cross Section View.

Plan View: Shows the bag from above. It is a long, rounded rectangle with drawstrings at both ends. A dimension line below indicates the length. Labels include "HIGHLY VISIBLE, 4 OZ. NON-WOVEN MATERIAL" and "FILLED WITH COMPOSTED MATERIAL". The view is labeled "SEE PLAN".

Cross Section View: Shows the bag from the side. It is a circular cross-section with a wooden stake in the center, secured by a band. A dimension line below indicates the diameter is 12 inches. Labels include "WOODEN STAKE" and "SEE SPECS FOR EMBEDMENT REQUIREMENTS". The view is labeled "CROSS SECTION VIEW".

COMPOST FILTER SOCK - SEDIMENT CONTROL
(NOT TO SCALE)

CONSTRUCTION SITE WASTE MATERIALS WILL BE PROPERLY STORED ON SITE AND DISPOSED OFFSITE AT A LOCATION IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.

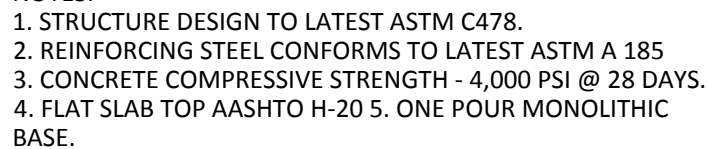
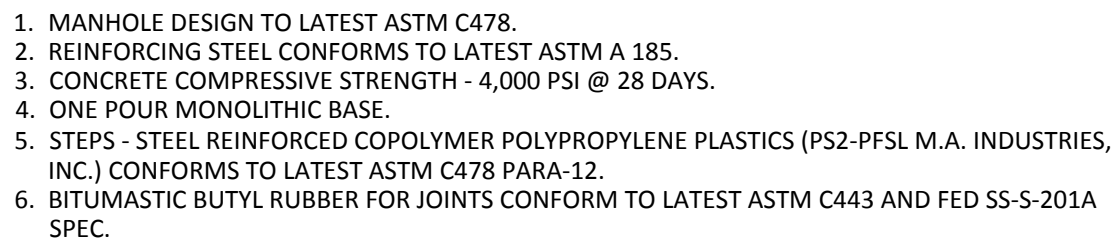
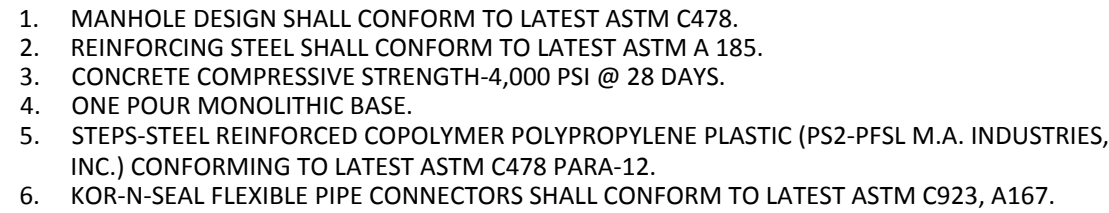
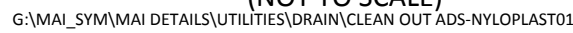


**MERIDIAN
ASSOCIATES**

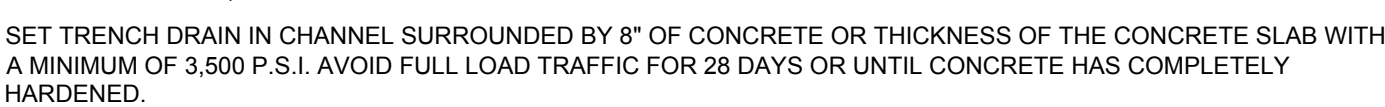
69 MILK STREET, SUITE 302
WESTBOROUGH, MASSACHUSETTS 01580
TELEPHONE: (508) 871-7030

500 CUMMINGS CENTER, SUITE 5950
BEVERLY, MASSACHUSETTS 01915
TELEPHONE: (978) 299-0447

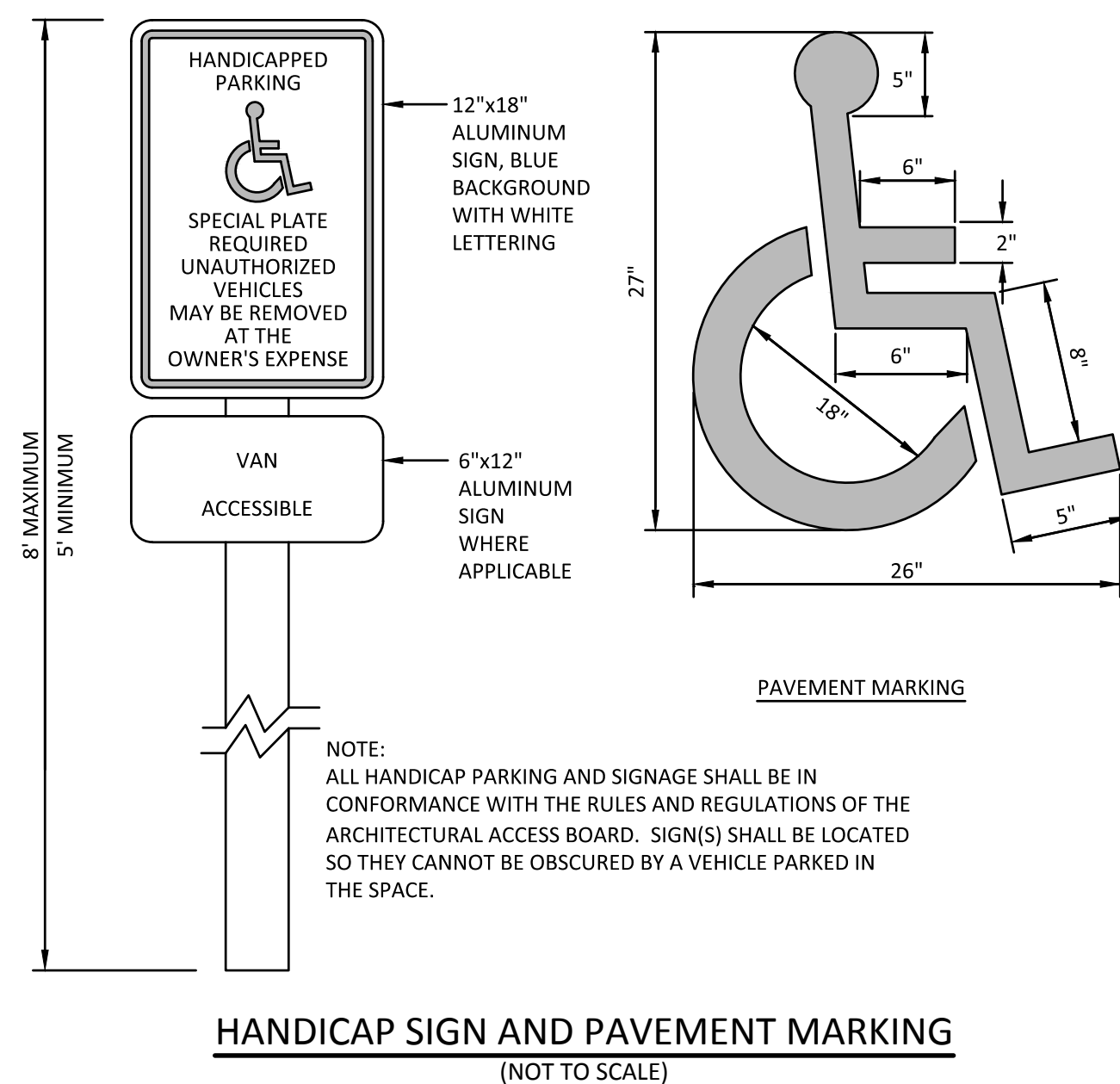
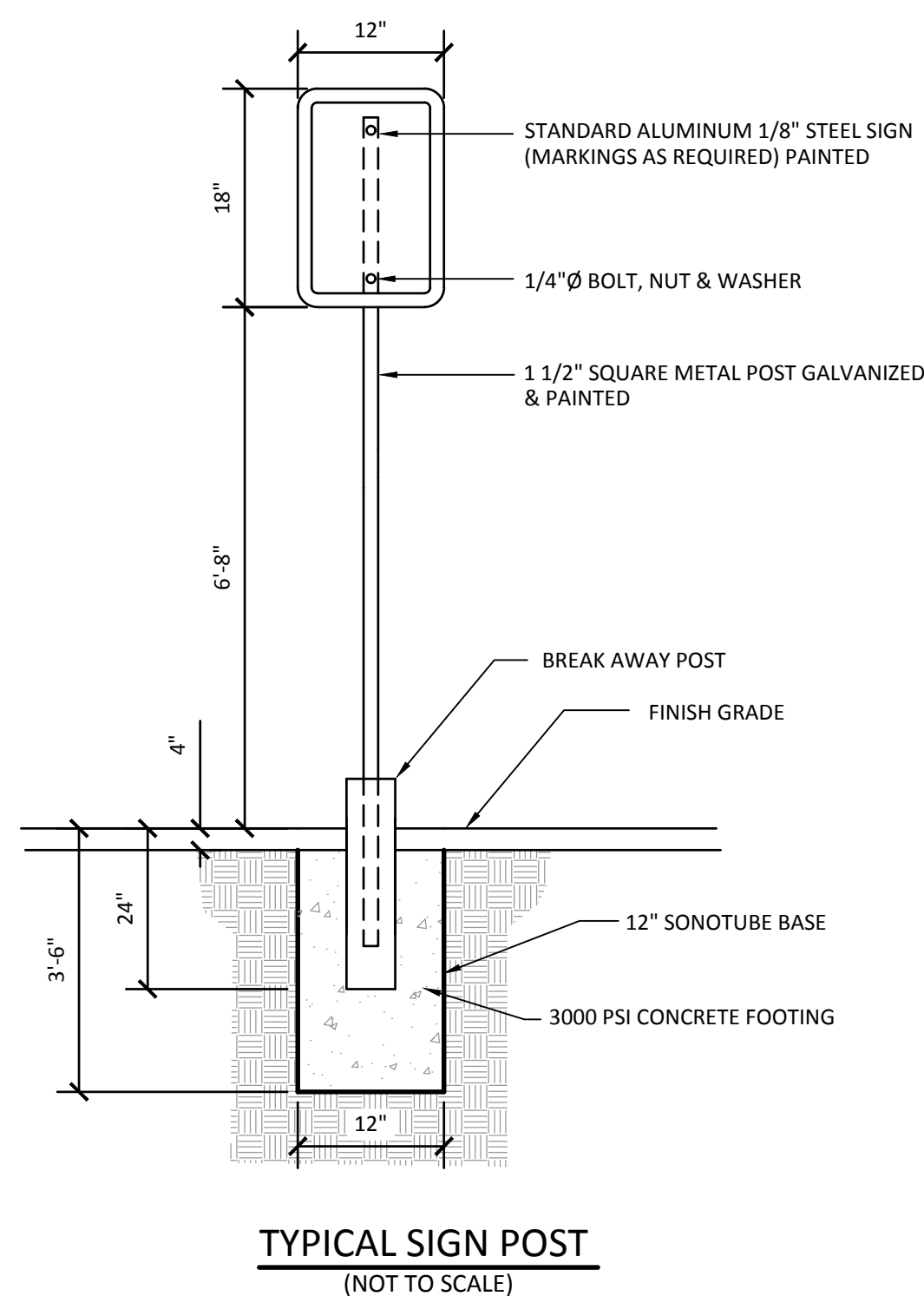
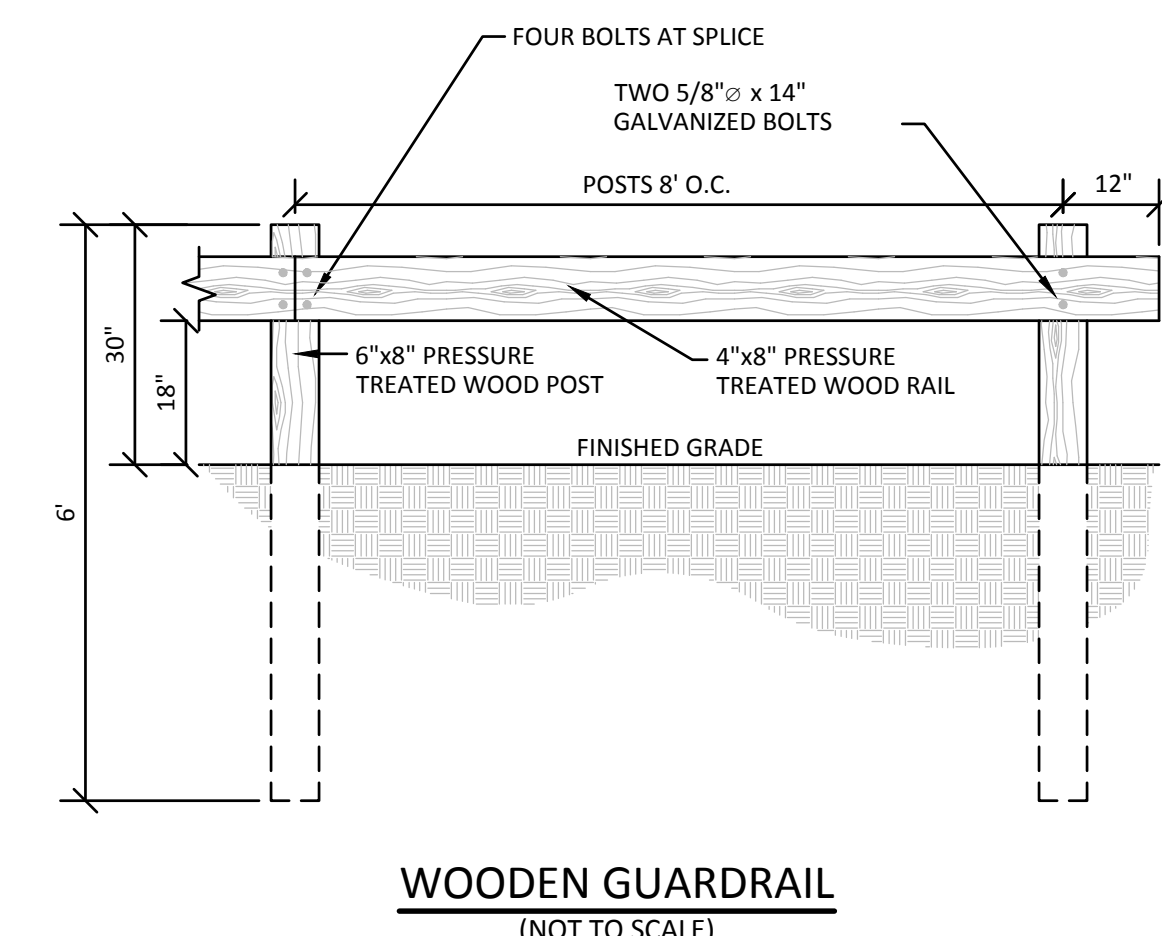
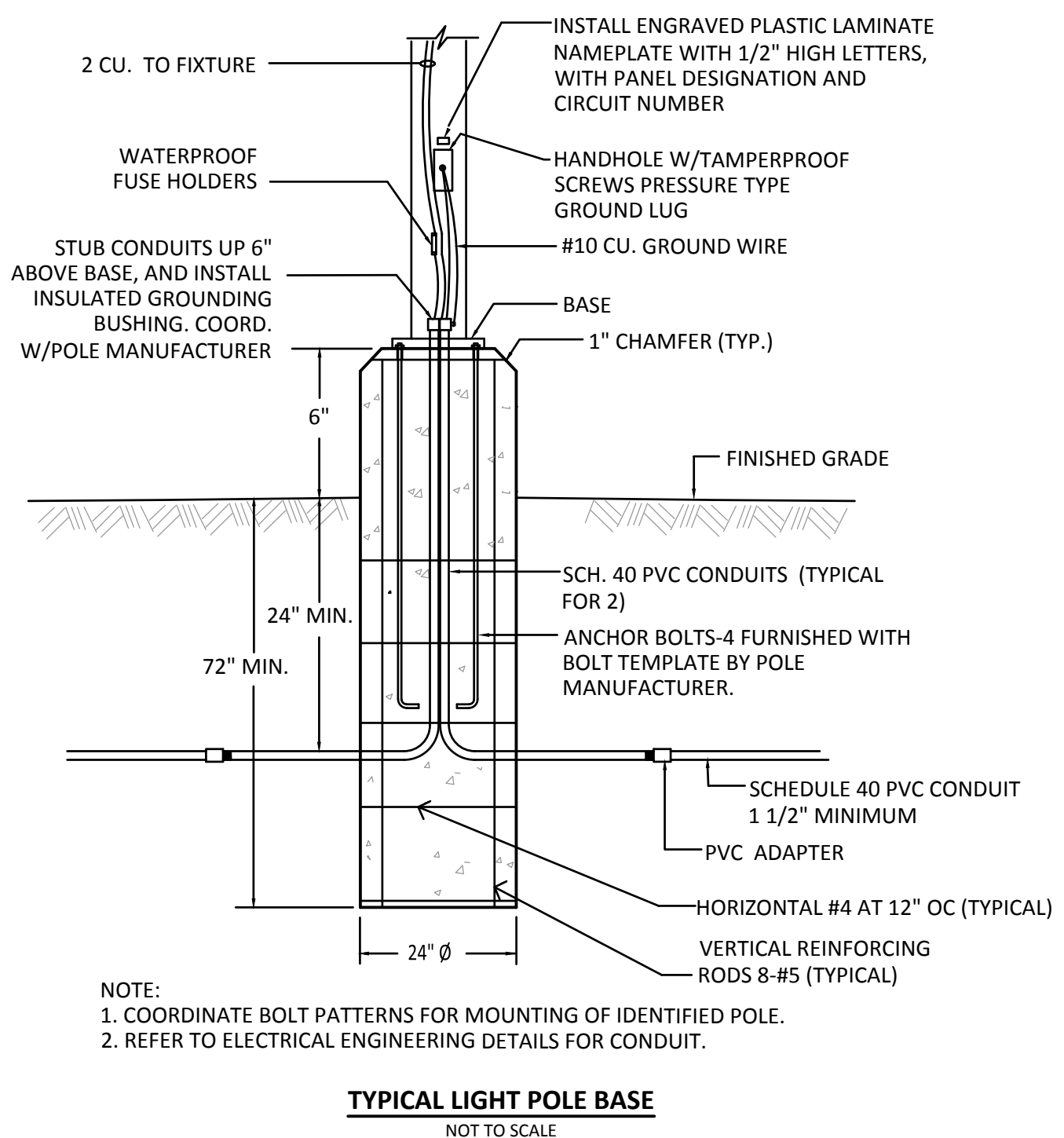
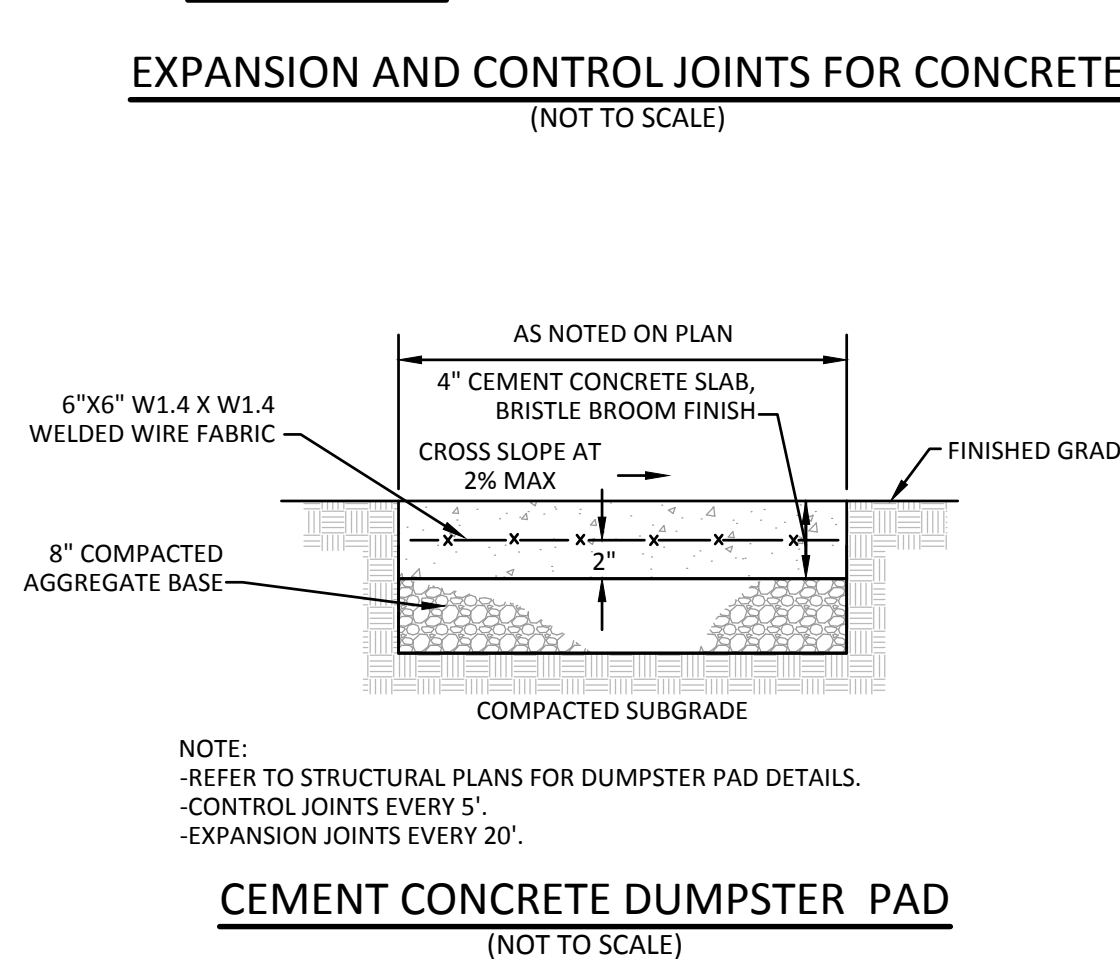
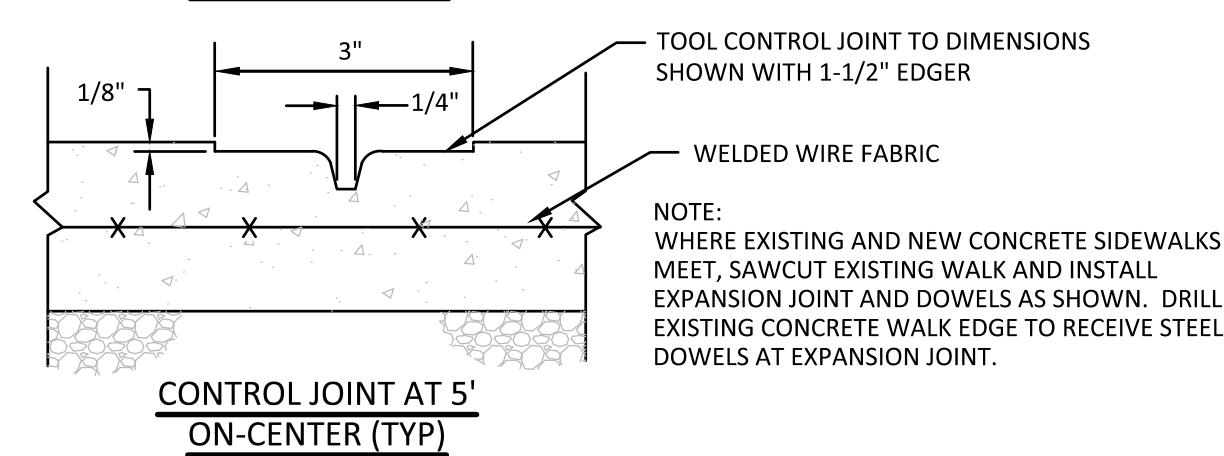
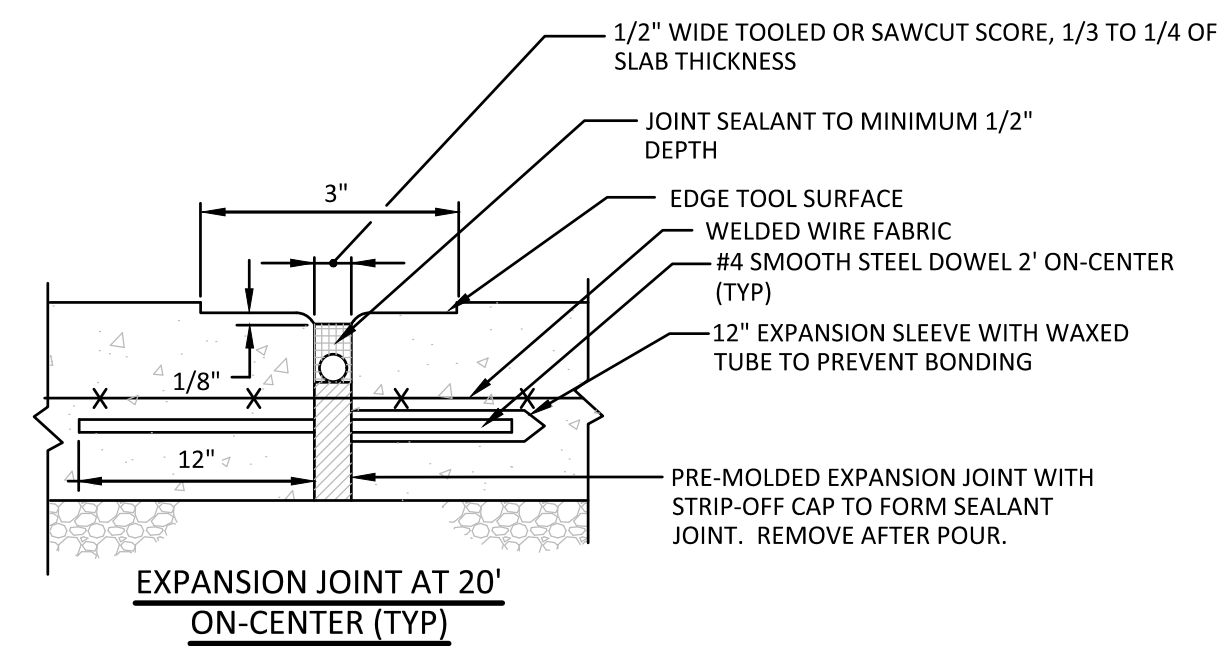
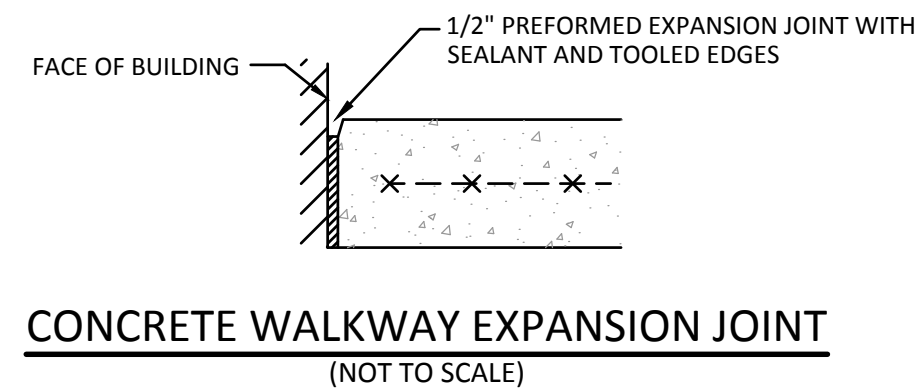
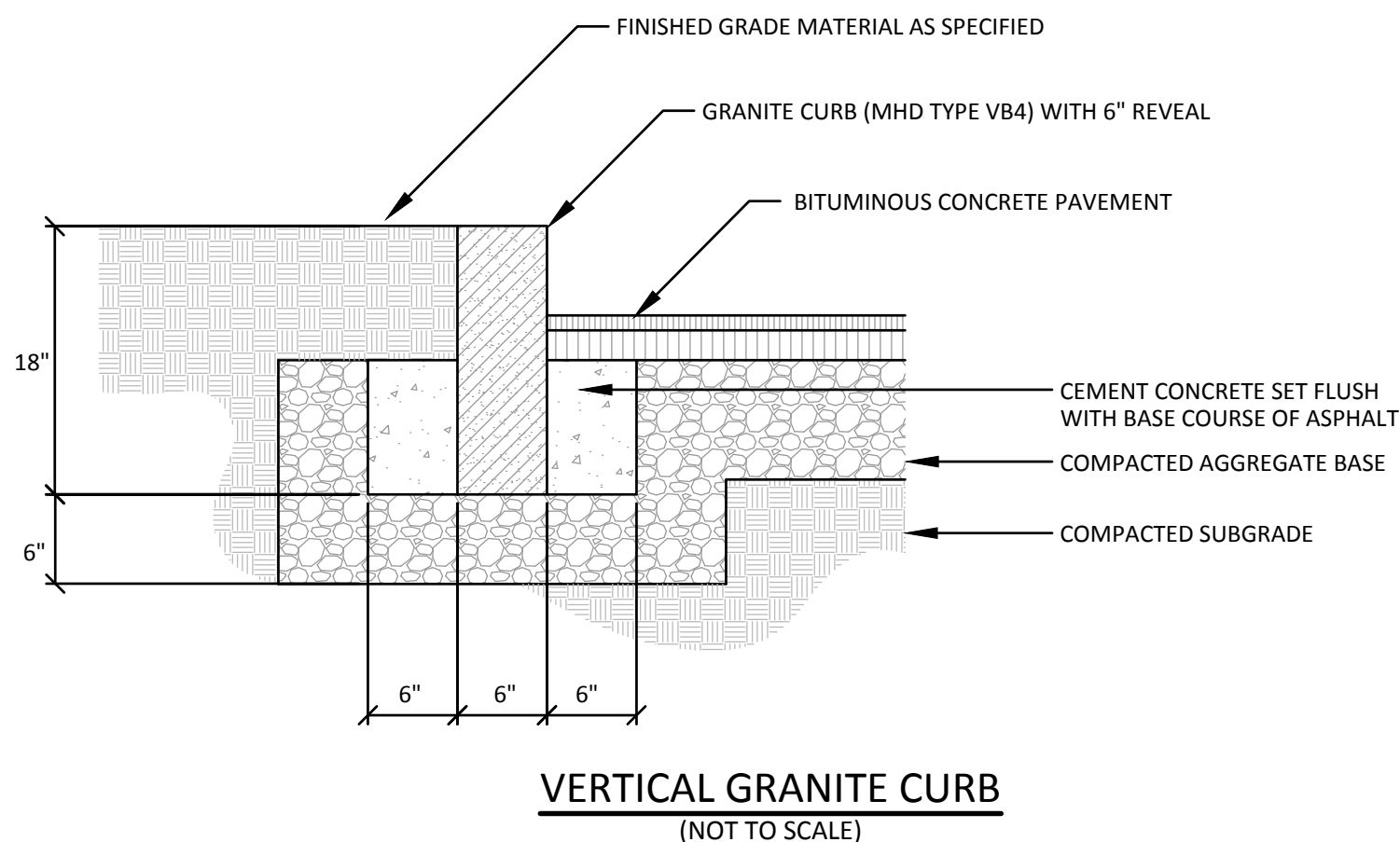
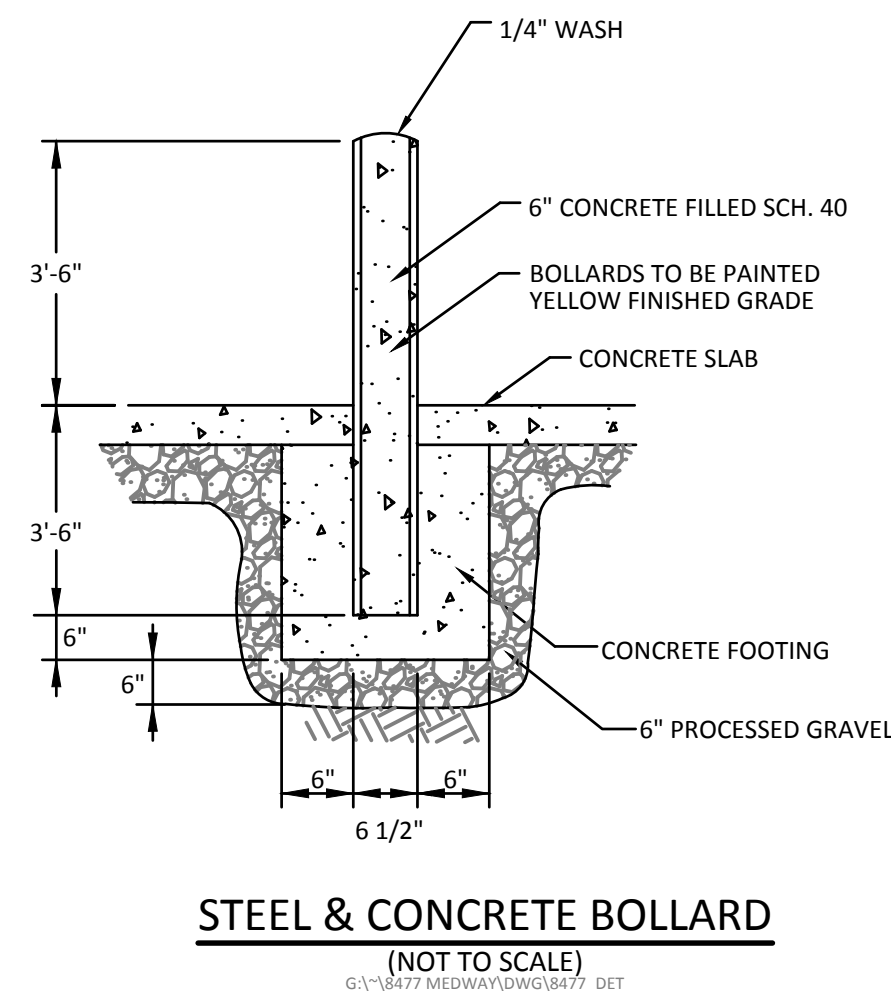
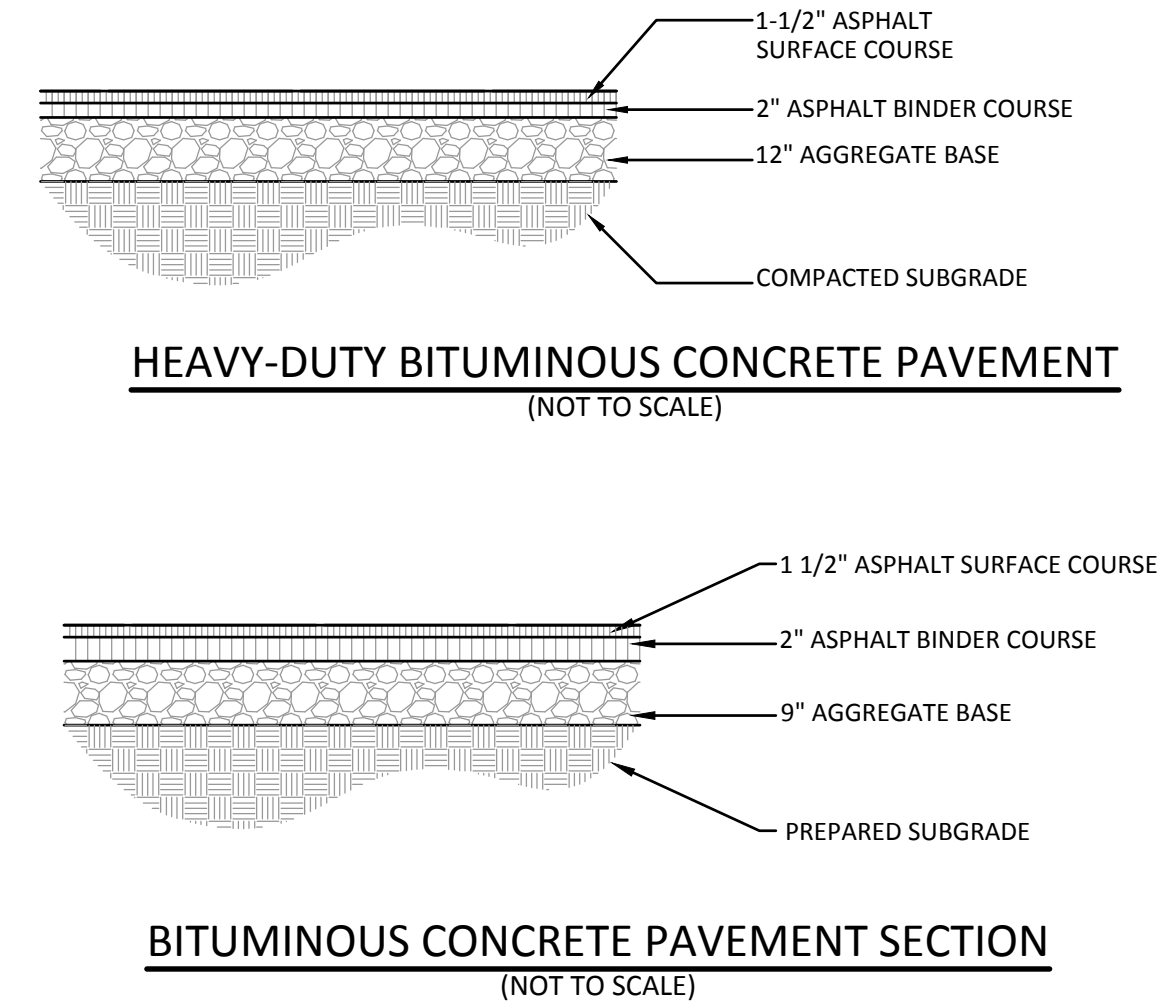
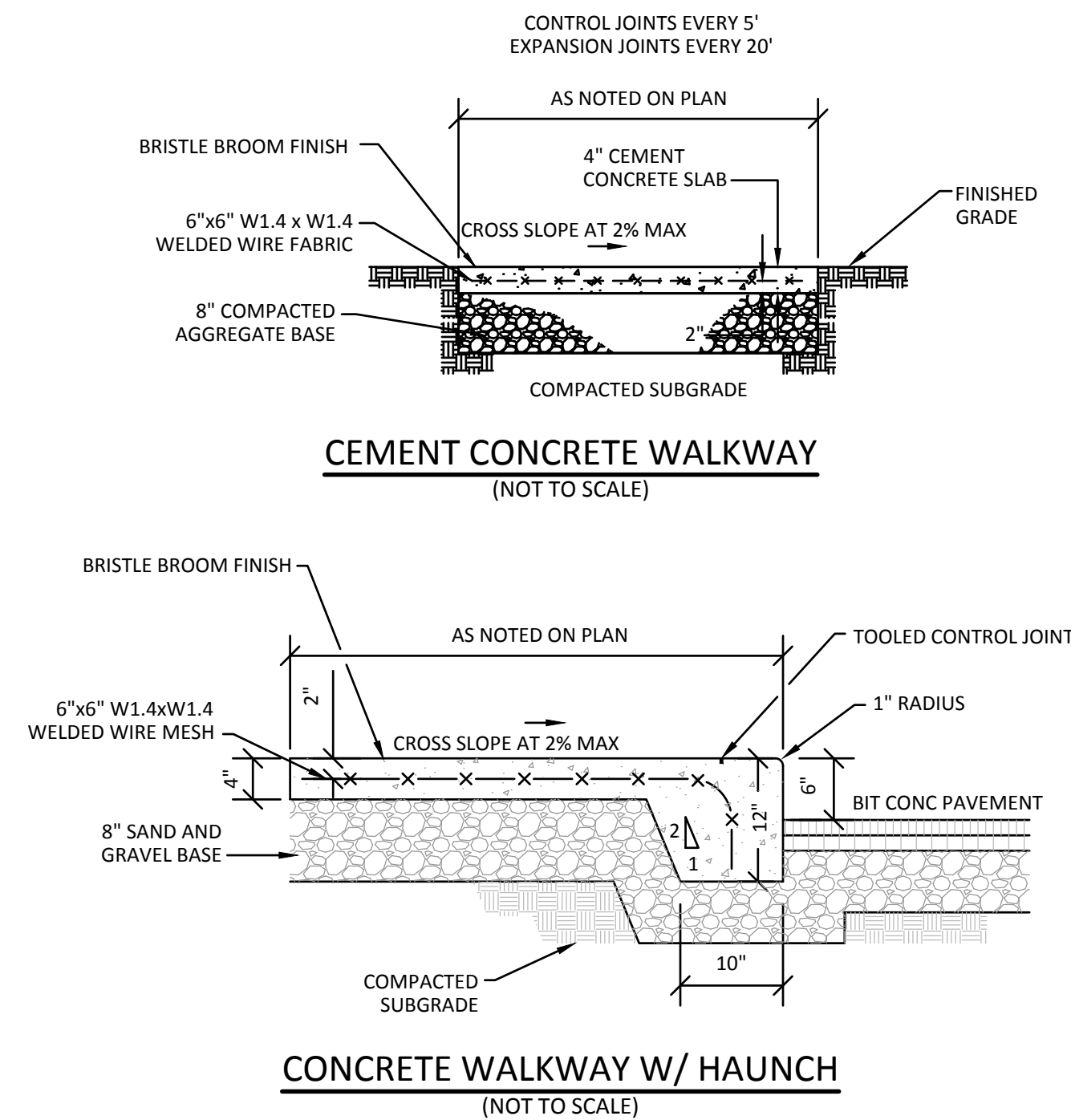
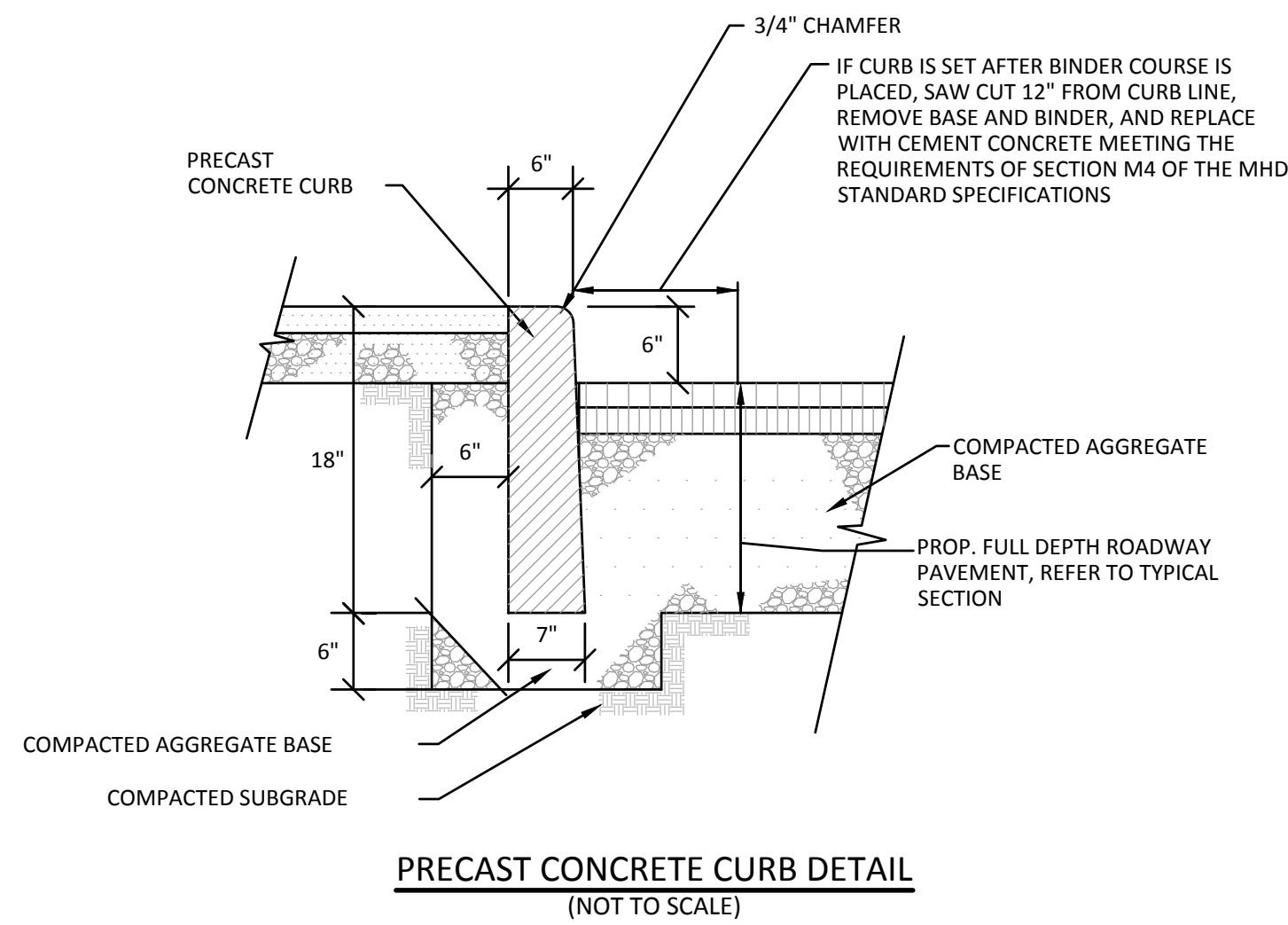
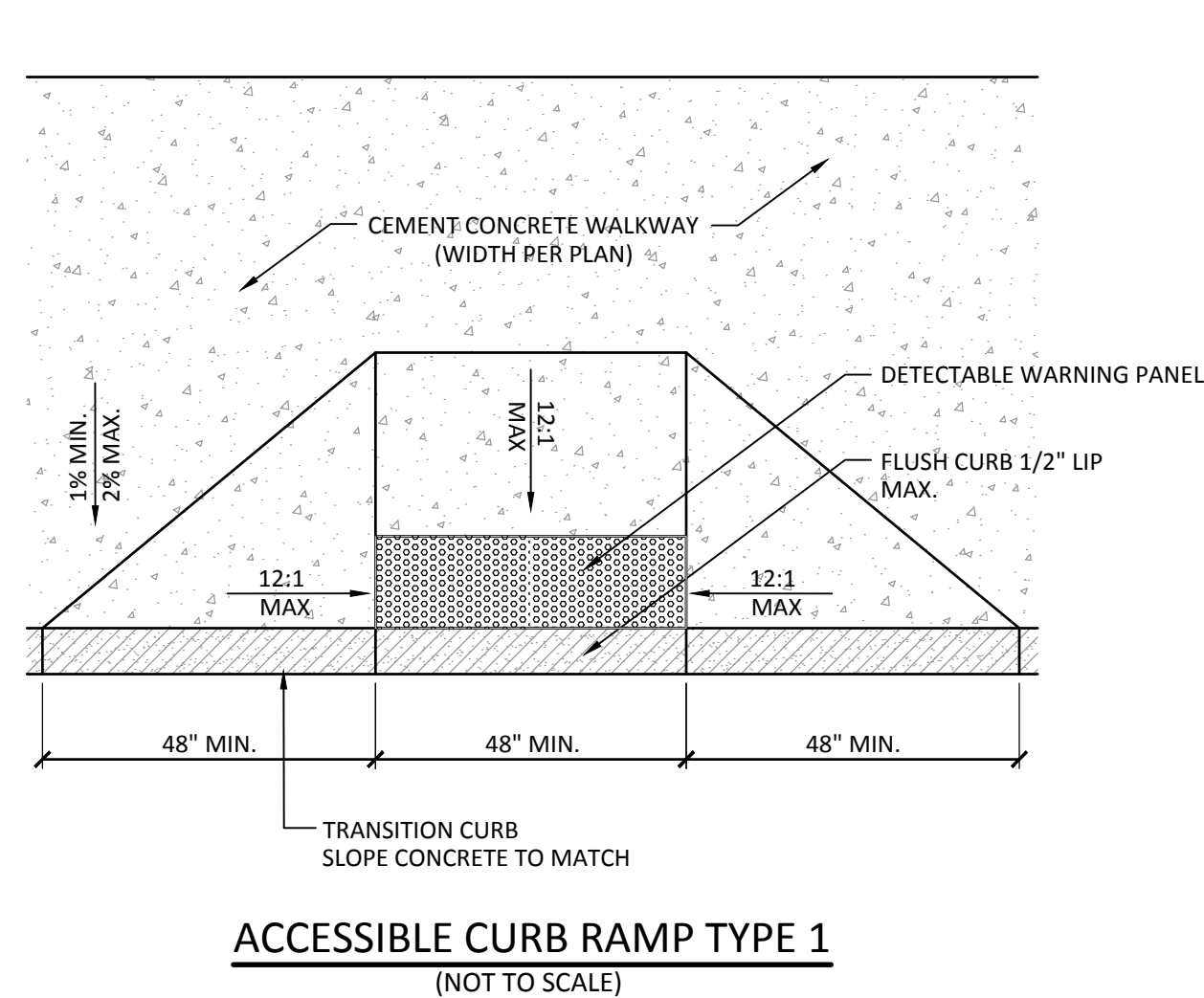
C-5



(NOT TO SCALE)



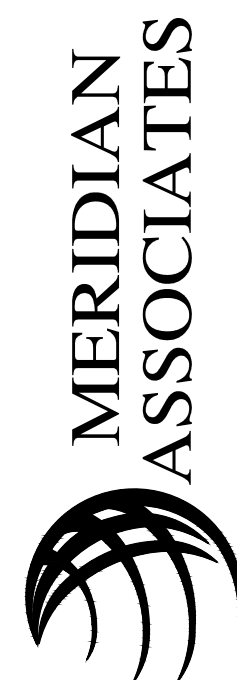
C-6



REVISIONS					
NO.	DATE	DESCRIPTION	BY	CHKD.	
3	7/17/17	RESPONSE TO COMMENTS	RB	MEB	
2	7/16/17	LAYOUT CHANGE / TOWN COMMENTS	RB	MEB	
1	6/8/17	WETLAND FLAGS	RB	MEB	



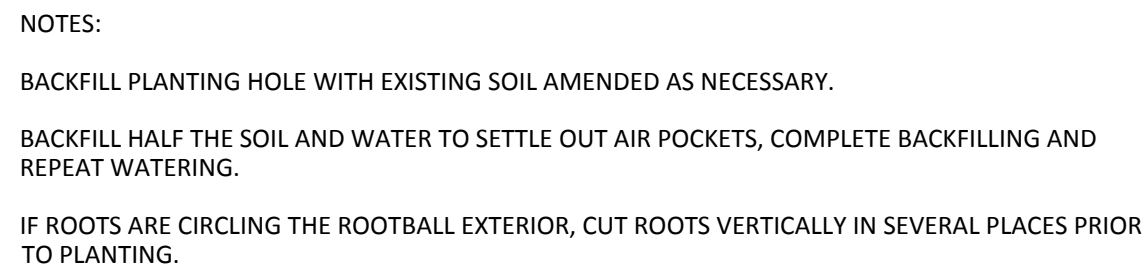
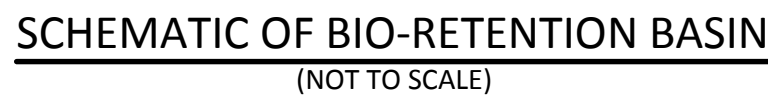
O'BRIEN & SONS CORPORATE OFFICES
 DETAILS SHEET 3
 17 TROTTER DRIVE
 MEDWAY, MASSACHUSETTS 02053
 Prepared for:
BOTTLE CAP LOT, LLC
 93 West Street
 Medfield, Massachusetts 02052



69 MILK STREET, SUITE 302
WESTBOROUGH, MASSACHUSETTS 01580
TELEPHONE: (508) 871-7030

500 CUMMINGS CENTER, SUITE 5950
BEVERLY, MASSACHUSETTS 01915
TELEPHONE: (978) 299-0447

Date: MAY 23, 2017 (See Revisions)
Scale: 1"=20'
Project No. 8477
Sheet No. C-7



O'BRIEN & SONS CORPORATE OFFICES
DETAILS SHEET 4
17 TROTTER DRIVE
MEDWAY, MASSACHUSETTS 02053
Prepared for:
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C-8



Town of Medway
DESIGN REVIEW COMMITTEE
155 Village Street
Medway MA 02053
508-533-3291
drc@townofmedway.org

June 13, 2017

TO: Medway Planning and Economic Development Board
FROM: Matthew Buckley, Chairman
RE: DRC Comments – M.E. O'Brien & Sons Site Plan, 17 Trotter Street

Dear Members of the Medway Planning and Economic Development Board

The Medway Design Review Committee [DRC] would like to provide a comment letter on the proposed one-story office building at 17 Trotter Drive. The DRC met with representatives for M.E. O'Brien & Sons, Meridian Associates (engineers) and Gorman Richardson Lewis (architects) on June 5, 2017. During this meeting, we reviewed a plan set dated May 23, 2017 and received a presentation on the project from architect Scott Richardson. Others present included business owner Erin O'Brien, Anita Sandburg from Gorman Richardson Lewis, and Mark Beaudry of Meridian.

The DRC is satisfied that the designs put forward, to date, are consistent with *Medway Design Review Guidelines*. Mr. Richardson and his client have demonstrated the ability and willingness to design to the standards set out in the *Guidelines*. The current site plan illustrates attractive and appropriate structures, landscaping and site layout. It is worth noting, that the building designs are not in keeping with the traditional aspects called out in the *Guidelines*. Instead, they are appropriate to this industrial park and reflect good design.

The DRC provided several recommendations during the meeting, to which the applicant reacted positively. These focused mostly on landscape design and buffering and are as follows.

- The DRC recommends that the landscape buffers on the Alder Street side of the site provide more robust and natural screening by using the combined elements of a landscape berm, low fieldstone style wall and vegetation. This site will be the first building at the edge of the adjacent residential zone and efforts should be made to transition smoothly from the residential to the industrial zone. The introduction of landscape and fieldstone wall at this edge will produce a better, more attractive transition.

- Any existing stones within the site should be utilized in this wall or placed as landscape features on the property. The corner of Alder Street and Trotter Drive has a large area of unused right-of-way that may benefit from such features.
- The retaining wall at the rear of the site (east) is to be constructed of versa-lock bricks. The DRC recommends that these be of a variegated pattern in colors that are indigenous to Medway. Examples will be supplied by the DRC.
- The dumpster at the west of the site should be fully enclosed with an opaque fence.
- Currently no signs are shown on the property. The DRC requests that any site signage be presented for review.

The DRC respectfully submits these review comments for by the Planning and Economic Development Board. As always, the DRC is available to discuss any of these points and would gladly offer any additional recommendations.

Sincerely,

A handwritten signature in black ink, appearing to read "Matthew J. Buckley". The signature is fluid and cursive, with the first name "Matthew" and last name "Buckley" clearly distinguishable.

Matthew Buckley
Chairman