



Town of Medway  
**DESIGN REVIEW COMMITTEE**  
155 Village Street, Medway MA 02053  
(508) 533-3291

*Matthew Buckley, Chair*  
*Rachel Walsh, Vice-Chair*  
*Tom Gay, Member*  
*Jessica Chabot, Member*  
*Dan Connolly, Member*  
*Seth Kendall, Member*  
*Alex Kevork, Member*

APPROVED – September 18, 2017

**DRC Meeting Minutes: August 21, 2017**  
Medway Public Library – 26 High Street

**CALL TO ORDER:** – With a quorum present, this meeting was called to order by Chair, Mr. Buckley at 7:00 p.m.

**ATTENDEES:**

	<b>07/31/2017</b>	<b>08/07/2017</b>	<b>08/21/2017</b>			
Matthew Buckley	X	X	X			
Rich Di Iulio	-	-	-			
Jessica Chabot	X	X	X			
Tom Gay	ABSENT WITH NOTICE	X	X			
Rachel Walsh	ABSENT WITH NOTICE	X	ABSENT WITH NOTICE			
Dan Connolly	X	ABSENT	X			
Seth Kendall	X	X	X			
Alex Kevork	X	X	ABSENT WITH NOTICE			

Also present:

- Sreelatha Allam, Meeting Recording Secretary,
- Susan Affleck-Childs, Medway Planning and Economic Development Coordinator

**MEETING MINUTES**

**7-31-2017:** *A motion was made by Mr. Buckley to approve the minutes from 07-31-2017 meeting as presented, seconded by Mr. Connolly. Mr. Gay abstained.*

**08-07-2017:** *A motion was made by Ms. Chabot to approve the minutes from 08-07-2017 meeting as amended, seconded by Mr. Buckley. Mr. Connolly abstained.*

### **SIGN DESIGN REVIEW - Medway Industrial Park, 8 Main Street/ Industrial Park Road-**

Property owner Ms. Ellen Rosenfeld attended the meeting to discuss this item. Proposal is to install a monument sign on the corner of the Industrial Park Road and Route 109/Main Street. **(See Attached)** Easement for the sign will be requested if this piece of property is sold in the future. Original agreement with the Planning Board involved asking the tenants in the industrial park to bear the expenses for installing this sign. Ms. Rosenfeld had discussions on this with some of the tenants but they did not show any interest in the idea of installing individual business signs onto this monument sign. She met with Ms. Mercandetti, Director of Community and Economic Development to discuss this matter. Chair, Mr. Buckley noted that Medway has two industrial zones and both go by the name "Medway Industrial Park." One is close to I-495. Ms. Rosenfeld agreed to look into the name of the park at that location. Members said Google search for "Medway Industrial Park" referred to 8 Main Street. Mr. Buckley suggested the font size on the proposed sign could be reduced slightly and possibly place the text on two lines. He said the word "Medway" should be moved up and proper separation could be provided. Some minor adjustments including landscaping around the current proposal was discussed. Ms. Rosenfeld agreed to put some mulch and dirt bed around the sign. DRC letter with recommendation will be provided.

### **INFORMAL SITE PLAN PRE-APPLICATION DISCUSSION - Country Cottage Child Care (relocating to 35-37 Summer Street)**

Engineer Peter Bemis explained the proposed project to the members. **(See Attached.)** Also present were Robin and David Beaudreau, owners and Walter Fuller, architect. He described the type and style of doors/windows. The building roof is charcoal, non-architectural standard shingles. There is no chimney to the building. The site is proposed to have a one-way access from Rustic Road. There is one monument sign on the corner of the site. The main/external fence around the yard areas is solid vinyl. Originally it was proposed to be chain link fence. However the internal fencing between the three sub-play areas will be chain link. Ms. Chabot commented the gable on Summer Street was large. Architect agreed to stack the gables to reduce the appearance of size. There was some discussion on changing the column style. Sign is not internally illuminated and there will be lighting from the outside. Mr. Gay indicated that the Planning Board will be looking for downcast lighting and said the Medway Sign Bylaw does not allow internally lit signs (in this zoning district). Snow storage location will also be reviewed carefully by the Planning Board. Mr. Buckley recommended natural wood color for the vinyl fence instead of white. Ms. Chabot asked for a landscaping plan. Members recommended a suitable location for a sign on the building. Applicant clarified that a sign on the building is not being planned at this time due to cost and time constraints. Projected timeline to build the new facility is 14

months. Members explained the importance of having a sign on the building and agreed to review the sign in the future. Applicant asked if the sign template should be similar to the existing signs in the area. Mr. Buckley responded that they have the flexibility to select the style that fits their business. Applicant was encouraged to take the needed guidance from the building inspector on temporary signage. Applicant also agreed to file the application with DRC.

### **SIGN DESIGN REVIEW - Medway Gardens, 36 Summer Street**

Ms. Affleck-Childs noted that the Committee has the site plan for Medway Gardens with location details included. This site has been recently re-furbished. It's their desire to reposition their existing two-sided sign at a new location (as shown on the plan). It's 16 sq. ft. per side. (**See Attached**) It will not be lit on a permanent basis but will be lit at special occasions such as Christmas. The sign complies size wise with the Zoning Bylaw. Mr. Gay said the property has a site plan decision and approved site plan from the Planning Board. Decision includes various conditions and deadlines to include certain work. He said though the sign is grandfathered it still needs to be within the Design Guidelines. Mr. Gay commented that the height of the sign needs to be reduced and should be 8 feet from the ground. It is currently at 9 feet. Applicant has been informed the sign cannot be more than 8 feet from the ground level. Poles will be 4" x 4" posts with vinyl sleeves. The exterior color scheme was briefly discussed. Short term temporary signs (open and closed) to be hung under the main sign were also discussed. It was agreed that the applicant will file the sign permit application with the Building Department soon and that the application will indicate the inclusion of a hanging sign. Members said the size of a hanging sign underneath the main sign cannot exceed 4' x 1' on each side. It will be fabricated and will have similar colors as the big sign. The texture and style of the hanging sign shall be similar to the main sign. DRC letter with recommendations will be sent to the applicant within the 10 business days.

### **COMMUNITY MESSAGE BOARD SIGN - Discussion on the draft Report to The Medway Board of Selectman**

Mr. Gay reviewed the draft report (**See Attached**) for the BOS with the members. He noted the intent was to assemble a detailed report about changeable message signs. He briefly went over the draft report. Discussion included:

- Page 4 in the DRAFT, Bullet#4: Word "animation" shall be deleted.
- RECOMMENDATION- Structure and Size in the DRAFT: It was agreed that a bullet will be added explaining the reasons for recommending a 5'x7' LED panel.

There was discussion on presenting the report to the Selectman at their meeting on September 18th. It was agreed the report will be finalized at the September 11<sup>th</sup> DRC meeting. Topic related images will be added to the report. Members will send narrative and images that they want included in the report to Mr. Gay in the next few days. It was agreed that members will attend the September 18<sup>th</sup> Board of Selectman meeting.

### **OPEN DISCUSSION:**

- Mr. Buckley talked about the EPFRAC meeting he had attended with Seth Kendall on August 8<sup>th</sup>, 2017 pertaining to the Choate and Oakland Park site plans. He said EPFRAC is reviewing the DRC recommendations and is receptive to Committee's ideas. He briefly went over some of the topics discussed at the meeting.
- Members agreed that recommendations on the type and style of benches will be included in the DRC's comment letter.
- He asked about the status of the commercial messages on Shaw's shopping carts. Ms. Affleck-Childs reported that the building inspector visited Shaw's to discuss the issue with them. He was informed that the Shaw's manager was not aware of the bylaw prohibiting such messages. They agreed to remedy the issue.
- Parks Signage-Mr. Buckley encouraged members to come up with signage concepts for Parks in Medway.

**ACTION ITEMS** - None.

**DRC MEETING SCHEDULE** - Next DRC meeting is scheduled on September 11, 2017.

### **ADJOURNMENT**

*With no further business before this committee, a motion was made by Mr. Buckley to adjourn the meeting, seconded by Ms. Chabot. The motion was unanimously approved.*

**The meeting was adjourned at 9:45 p.m.**

Respectfully Submitted,  
Sreelatha Allam  
Meeting Secretary

Reviewed and edited by,  
Susan E. Affleck-Childs  
Planning and Economic Development Coordinator

**DRC Sign Design Review – Medway Industrial Park**  
**Medway Community and Economic Development Office Comments**  
**August 17, 2017**

**Business:** Ellen Realty Trust for the Medway Industrial Park

**Sign Location Address:** 8 Main Street (owned by Ellen Realty Trust)

**Proposed Sign:** This is a proposal for a free-standing monument sign for the Medway Industrial Park to be positioned on the northeast corner of Main Street/Route 109 and Industrial park Road.

**Zoning District:** Business Industrial

	<b>Proposed Sign</b>	<b>Allowed by Bylaw</b>
<b>Sign Surface Area</b>	48" high by 90" wide = 30 sq. ft. per side x 2 sides = 60 sq. ft.	60 sq. ft. for a 2 sided development sign. Sign size is OK.
<b>Sign Height</b>	6'	Maximum 8'
<b>Illumination</b>	No lighting is planned	External
<b># of signs</b>	One 2 sided development sign	One 2 sided development sign
<b>Setback</b>	15'	Minimum 8'

**Comments:**

1. The sign complies with the Zoning Bylaw requirements for a development sign in the Business Industrial District
2. The sign includes just the name of the Industrial Park. It does not include a ladder style list of the various businesses located there (Industrial Park Road, Marc Road, Jayar Road)
3. Planting area around the stone base should be landscaped.
4. No lighting is planned.

**Summary and Comments Prepared by:** Susy Affleck-Childs



**Medway Design Review Committee (DRC)**  
**Application for Sign Design Review**

**Medway Location/Address** where the sign will be installed: 8 Main Street  
What is the interior width of the storefront? N/A

**Building/Development Name:** (if applicable): Medway Industrial Park

**Medway Zoning District:** Business Industrial

**Applicable Sign Standard Table** (from Medway Zoning Bylaw) Table # 9

**Applicant Information** (Local Medway business establishment where the sign is to be installed)

Business Name: Ellen Realty Trust

Mailing Address: 730 Main Street, Millis, MA 02054

Contact person: Ellen Rosenfeld

Phone: 508 376 2041 Cell Phone 508 294 2002

Email address: ellen@rosenfeld-law.com

**Type of Proposed Signs** – For sign definitions, refer to *Medway Zoning Bylaw (Section 7.2 Signs Regulation)*. The *Medway Zoning Bylaw* is available online at: [www.townofmedway.org](http://www.townofmedway.org).

Type of Sign	# of Signs	Signs Dimensions	Total Square Footage of Sign Surface Area	Sign Height	Type of Illumination (Internal, external or none)
Wall/Façade Sign					
Free-standing Individual Business Sign					
Free-standing Multi-Tenant Development Sign	1	4' by 8'	32sqft ea side	6'	none
Awning Sign					
Projecting Sign					
Directory Sign					
Window Sign					
Other Type of Sign (Describe)					

**Attach the following items to this form. pdf format is requested for the application form and all attachments. Please email application and documents to [sachilds@townofmedway.org](mailto:sachilds@townofmedway.org)**

- ☒ 1. Manufacturer's scaled COLOR drawing with dimensions and DETAILED specifications for materials and illumination.
- ☐ 2. For a wall sign, a scaled image showing the sign's position on the building.
- ☒ 3. Landscaping Plan and Plot Plan marked with location of the free-standing sign and distances from street/lot lines.
- ☐ 4. Color photograph(s) of building/location(s) where sign will be installed and existing signs.
- ☐ 5. Color drawing of corporate logo (if applicable).
- ☐ 6. Color photograph of similar/comparable sign on which your sign design is based.
- ☐ 7. A letter or other descriptive or explanatory information you want to provide to the DRC.

**Does this application pertain to a completely new sign?**

☒ Yes ☐ No (If NO, please include photos/info of the existing sign you are modifying)

**Does this application pertain to a replacement panel for an existing sign structure?**

☐ Yes (If yes, please include photos/info of the existing sign) ☒ No

**If the business is located in a multi-tenant development, is there a Master Sign Plan for the development?**

☐ Yes ☒ No ☐ Don't Know

**Does your lease require the property owner's approval of your sign?**

☐ Yes ☐ No ☒ Not applicable

**Sign Designer/Fabricator/Installer Information**

Company Name: Signarama  
Mailing Address: 458 High Plain Street, Walpole, MA 02081  
Contact person: Bryan Clayman  
Phone: 508 660 1231 Cell Phone: 781 983 7169  
Email address: sales@signarama-walpole.com

**Property Owner Information**

Company Name: Ellen Rosenfeld, Trustee of the Ellen Realty Trust  
Mailing Address: 730 Main Street, Millis, MA 02054  
Contact person: Ellen Rosenfeld  
Phone: 508 376 2041 Cell Phone: 508 294 2002  
Email address: ellen@rosenfeld-law.com

**Proposed sign designs are reviewed by the Medway Design Review Committee (DRC).**

**The business owner and sign designer/fabricator must attend the DRC meeting.**

**The DRC generally meets on the first & third Monday night of each month at 7 p.m.  
at the Medway Library, 26 High ST.**

*(DRC meeting agendas are posted at the Town's web page at [www.townofmedway.org](http://www.townofmedway.org))*

**An Application for Sign Design Review and all supporting information must be submitted to the Medway Planning office by 12 noon on the Wednesday before a DRC meeting.**

**Please submit this application form and all attachments as follows:**

Email: sachilds@townofmedway.org **PREFERRED**  
Fax: 508-321-4987  
Mail: Design Review Committee  
c/o Medway Planning office  
155 Village Street, Medway, MA 02053  
Drop Off: Medway Planning office @ Medway Town Hall, 155 Village Street  
Phone: 508-533-3291

**Applicants and sign designers should read the Sign Guidelines included in the Medway Design Review Guidelines before developing a sign design.**

<http://www.townofmedway.org/design-review-committee/pages/sign-design-review>

**Sign designs should be developed in accordance with the Sign Design Guidelines.**

**Date Application Received by Medway Planning office:** \_\_\_\_\_

**Reviewed by Medway Planning Coordinator:** \_\_\_\_\_ **DRC Meeting Date:** \_\_\_\_\_

Two Sided- 48"x90"x8" Aluminum Constructed Monument Sign  
 4"x4" Internal Steel Posts- Set in Concrete Footings  
 Duranotic Bronze w/ Beige Text  
 Non-Illuminated  
 Stone Base  
 30 Sq Ft Per Side



**WALPOLE**  
**Signarama**  
 The way to grow your business.

458 High Plain St. Intersection Rts 1 & 27  
 Walpole, MA 02081  
 508-660-1231  
 signaramawalpole.com  
 sales@signarama-walpole.com



- Proof colors may vary from monitors & actual sign materials.
- A pdf proof is not a correct representation of printer output color.
- Resolution & Color from files provided by customer are the customers responsibility.
- Hard Proofs can be printed to ensure color satisfaction at a cost to be determined.
- Additional design charges may apply if customer does not proceed with all or part of project

PROOF 1	PROOF 2	PROOF 3	PROOF 4	PROOF 5
FREE	FREE	\$20.00	\$25.00	\$30.00

*This proof is for conceptual use - actual sizes / colors / proportions may slightly vary.*

**CLIENT  
 APPROVAL**

- Client signature ensures all spellings & specifications for signage are correct.
- All errors are your responsibility once final approval is received.
- Additional charges apply if you wish to make changes once artwork has been printed, fabricated and/or installed.

Customer: Milliston Common

Date:

Approved By:

THIS ORIGINAL DESIGN AND ALL INFORMATION CONTAINED HERE IN ARE THE PROPERTY OF SIGN A RAMA, AND SUBJECT TO RETURN. ANY UNAUTHORIZED USE IS FORBIDDEN.



Norfolk Registry of Deeds

Dedham, Mass.

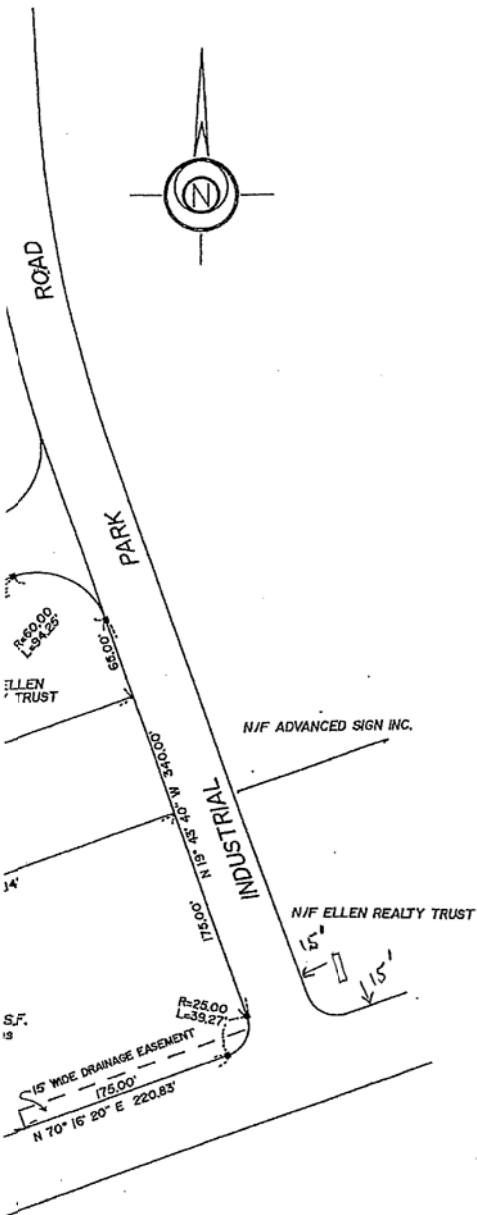
Received Nov 10 19 82

With \_\_\_\_\_

Filed as No. 750 19 82Pl. Bk. 410Attest: [Signature]

Register

REGISTRY USE ONLY



PLAN REFERS TO MEDWAY ASSESSOR'S  
MAP NO. 6 AND PARCEL 480.

SEE PLAN BY BOWIE ENGINEERING Co.  
DATED SEPT. 12, 1966 REVISED  
DEC. 1, 1966.

SEE PLAN BY J.D. MARQUEDANT &  
ASSOCIATES, DATED DEC. 14, 1982.

SEE PLAN BY GUERRIERE & HALNON, INC.  
DATED MARCH 17, 1975 AMENDED JULY  
10, 1975 & MAY 19, 1976.

SEE PLAN BY PAUL N. ROBISON, ASSOCIATES  
DATE NOV. 5, 1986.

"APPROVAL UNDER THE SUBDIVISION CONTROL  
LAW NOT REQUIRED."

James J. Brodum, Agent

James J. Brodum, Agent Nov. 7, 1992

DATE: Jan. 14, 1992  
MEDWAY PLANNING BOARD

WE CERTIFY THAT THIS PLAN HAS  
BEEN PREPARED IN CONFORMITY WITH  
THE RULES AND REGULATIONS OF THE  
STATE OF MASSACHUSETTS.

ZONING DISTRICT: IND-1  
MIN. AREA: 20,000 S.F.  
MIN. LOT WIDTH: 100 Ft.  
SETBACKS:  
FRONT=30'  
REAR=30'  
SIDE=20'

[Signature] 1-3-92  
Registered Land Surveyor Date



PLAN OF LAND IN MEDWAY, MA

DAVNA ENGINEERING Co.

2 WILLISTON ROAD  
WILLIS, MASSACHUSETTS 02054

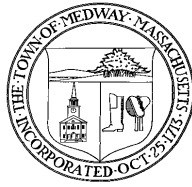
PREPARED FOR: ELLEN REALTY TRUST

2 WILLISTON ROAD, WILLIS, MA

SCALE 1"=50'  
DATE 12/03/1991SHEET NO.  
Sheet 1 of 1 Sheets

Superseded by  
an plan in  
1999

1991



**August 21, 2017**  
**Medway Design Review Committee Meeting**  
**Country Cottage Children's Center**  
**Limited Site Plan – 35/37 Summer Street**  
**Informal Pre-application Discussion**

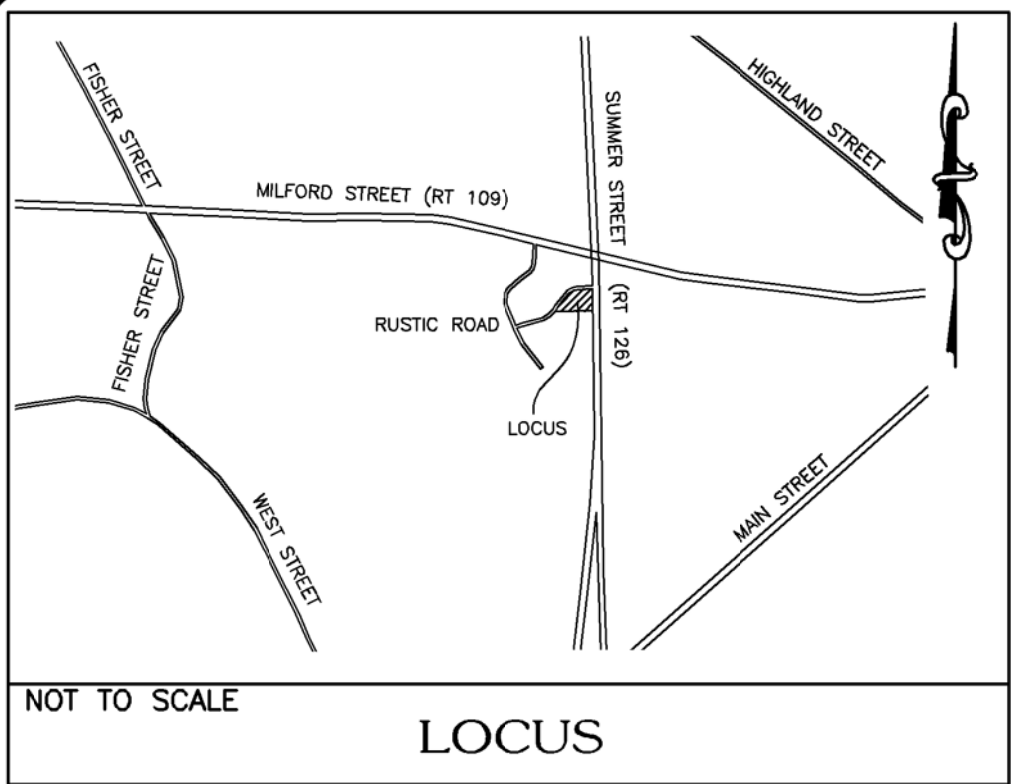
This is an informal, pre-application discussion re: the forthcoming site plan application for Country Cottage Children's Center which will be relocating from its current location at 5 Summer Street (near Exelon) to 35/37 Summer Street, immediately south of Rustic Road where they will build a new facility.

Please keep in mind that a child care center is an "exempt" use under the Massachusetts Zoning Act. So that means the Planning and Economic Development Board's review of this project is limited to "reasonable regulations concerning the bulk and height of structures and determining yard sizes, lot area, setbacks, open space, parking and building coverage requirements."

The following documents are provided for your review:

- Site plan dated August 1, 2017 by Engineering Design Consultants, Southborough, MA
- Collection of building floor plans and elevations by Cubic Architects, Plymouth, MA

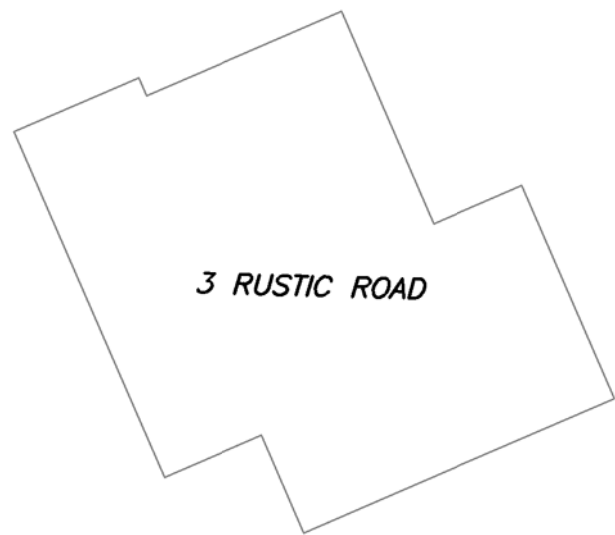
\\SPERONI\JOBS\3561\AUTOCAD PLESTING\3561 SITEPLAN (ONE-WAY TOW)



NOTE:  
UNDERGROUND UTILITY LOCATIONS ARE  
NOT GUARANTEED.

IT SHALL BE THE RESPONSIBILITY OF THE  
CONTRACTOR TO VERIFY LOCATIONS AND  
ELEVATIONS OF EXISTING UTILITIES PRIOR  
TO COMMENCEMENT OF ANY CONSTRUCTION

DIGSAFE IS TO BE NOTIFIED 72 BUSINESS  
HOURS IN ADVANCE OF CONSTRUCTION.  
CALL DIGSAFE AT 811

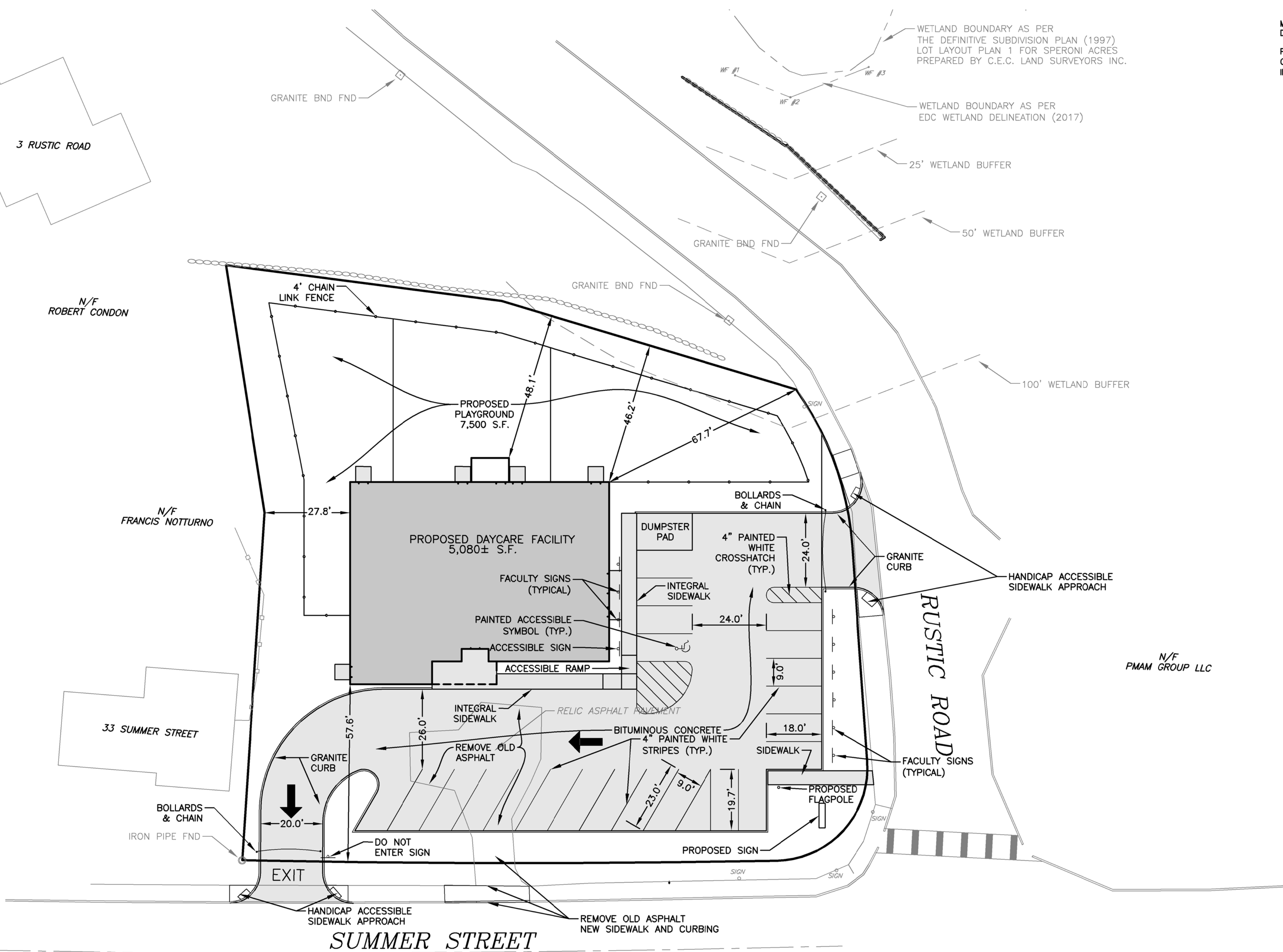


N/F  
ROBERT CONDON

N/F  
FRANCIS NOTTURNO

33 SUMMER STREET

DRIVEWAY FOR 33 SUMMER STREET



PROJECT INFORMATION:

CURRENT OWNER: ROBIN & DAVID BEAUDREAU  
575 EAST HARTFORD AVENUE  
UXBRIDGE, MA 01569

MEDWAY ASSESSORS ID: 56-017 & 56-018  
DEED REFERENCE: BOOK 35175 PAGE 390

PROPERTY LINES AND EASEMENTS ARE BASED ON THOSE RECORDED IN THE MASSACHUSETTS REGISTRY  
OF DEEDS IN A 1958 PLAN TITLED "PLAN OF LAND IN MEDWAY, MASS." BY BOWME ENGINEERING CO. AND  
IN A 1997 PLAN TITLED "SPERONI ACRES" BY C.E.C. LAND SURVEYORS, INC.

ZONING: AGRICULTURAL RESIDENTIAL II (AR-II) DISTRICT

MIN. LOT AREA:	REQUIRED	EXISTING	PROPOSED
MIN. FRONTAGE:	22,500 S.F. 150 FT.	33,898 ±S.F. 167.37± FT.	
SETBACKS:			
FRONT	35 FT.	NA	57.6± FT.
REAR	15 FT.	NA	46.2± FT.
SIDE	15 FT.	NA	27.8± FT.
MAX. BUILDING COVER:	30%	0%	15%
MAX. IMPERVIOUS COVER:	40%	4%	50%
MIN. OPEN SPACE:	NA	32,550 ±S.F.	50%
MAX. BUILDING HEIGHT:	35 FT	NA	

LEGEND

BIT CONC	BITUMINOUS CONCRETE
CB	BORING
CO	CATCHBASIN
CLF	CLEAN OUT
CONC	CHAIN LINK FENCE
CW	CONCRETE
DMH	CROSSWALK
D	DRAIN MANHOLE
ELEC	DRAIN LINE
EMH	ELECTRIC
ECB	ELECTRIC MANHOLE
FD	EROSION CONTROL BARRIER
GG	FOUNDATION DRAIN
GAS	GAS GATE
GG	GAS LINE
HC	GAS GATE
HYD	HANDICAPPED RAMP
INV	HYDRANT
LP	INVERT
MH	LIGHT POLE
PVC	MANHOLE
RCP	POLY-VINYL-CHLORIDE
RD	REINFORCED CONCRETE PIPE
S	ROOF DRAIN
SMH	SEWER MANHOLE
S	SEWER MANHOLE
SB/DH	SIGN
TELE	STONE BOUND/DRILLHOLE
TMH	TELEPHONE LINE
TRANS	TELEPHONE MANHOLE
WCC	TEST PIT
WC	TRANSFORMER
W	VERTICAL GRANITE CURB
W	WATER GATE
W	WATER LINE
W	WETLAND FLAG

SITE PLAN REVIEW  
MEDWAY PLANNING BOARD

DATE: \_\_\_\_\_

CERTIFICATE OF VOTE

SEE CERTIFICATE OF VOTE FOR SITE PLAN APPROVAL DATED, SEPTEMBER XX, 2017 FOR PLAN ENTITLED,  
'SITE PLAN, COUNTRY COTTAGE DAYCARE, MEDWAY MASSACHUSETTS,' FROM THE MEDWAY PLANNING  
BOARD, VOTED TO APPROVE WITH STANDARD CONDITIONS.

ALL RIGHTS RESERVED

NO PART OF THIS DOCUMENT MAY BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC  
MECHANICAL, PHOTOGRAPHIC, RECORDING OR OTHERWISE, WITHOUT THE PRIOR WRITTEN PERMISSION OF ENGINEERING DESIGN CONSULTANTS, INC. ANY  
VIOLATION OF THIS PROHIBITION SHALL BE SUBJECT TO THE PENALTIES PROVIDED IN THE MASSACHUSETTS REGISTRY OF DEEDS, AND SHALL BE SUBJECT TO THE PENALTIES  
PROVIDED IN THE MASSACHUSETTS REGISTRY OF DEEDS.

ENGINEERING DESIGN CONSULTANTS, INC. SHALL NOT BE  
RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS,  
TECHNIQUES, OR PROCEDURES UTILIZED BY THE  
CONTRACTOR, NOR FOR THE SAFETY OF PUBLIC OR  
CONTRACTORS EMPLOYEES; OR FOR THE FAILURE OF THE  
CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE  
WITH THE CONTRACT DOCUMENTS.

ENGINEERING DESIGN CONSULTANTS, INC.'S LIABILITY FOR  
THIS PLAN IS LIMITED TO THE EXTENT OF ITS FEE LESS  
THIRD PARTY COSTS.

DRAWN BY: ZRB  
CHECKED BY: PSB  
APPROVED BY: WML

REVISIONS:  
0 8/02/17 DATE SITE PLAN REVIEW  
DESCRIPTION

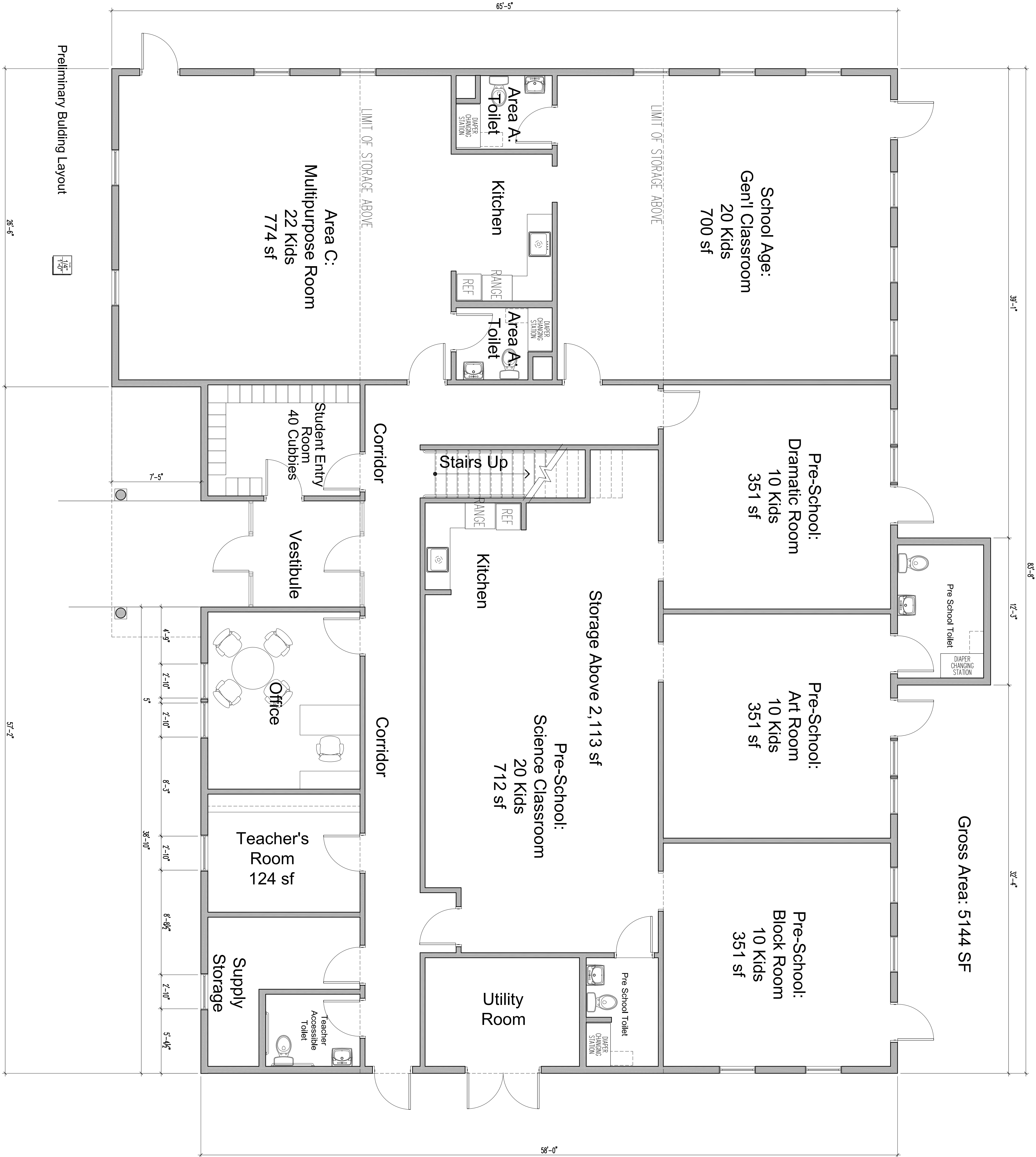


PREPARED BY:  
**EDC** Engineering Design Consultants, Inc.  
32 Turnpike Road  
Southborough, Massachusetts  
ph:(508) 480-0225 fax:(508) 832-5781

PROJECT:  
**COUNTRY COTTAGE DAYCARE**  
35 SUMMER STREET  
MEDWAY, MASSACHUSETTS 02053

TITLE:  
**PROPOSED LAYOUT  
COUNTRY COTTAGE DAY CARE**  
OWNER/APPLICANT:  
**ROBIN & DAVID BEAUDREAU**  
575 EAST HARTFORD AVENUE  
UXBRIDGE, MASSACHUSETTS 01569

FILE NO.: 3561  
PROPOSED LAYOUT  
DATE: AUGUST 1, 2017  
PLAN NUMBER:  
2 of 5  
2



1  
A2.01

Preliminary Building Layout

1/4"  
= 1'-0"

26'-6"

57'-2"

First Floor Plan

1/4"  
= 1'-0"

RELEASE 1: 08/08/17 PRELIMINARY DESIGN RELEASE

REVISIONS



33 Bowdoin Lane  
Plymouth, Massachusetts 02380  
TEL: 617.334.7330  
FAX: 781.488.2381  
wulfer@cubicarchitects.com

This drawing is the property of Cubic Architects, Inc. and is protected under the applicable copyright laws. The design and/or drawing, in whole or in part, shall not be copied or used by anyone without prior written consent by Cubic Architects, Inc. This drawing shall not be for any other use than the original project.

Country Cottage Children's Ctr  
New Facility

36 Summer Street Medway, Massachusetts

First Floor  
Plan

DATE: 07/30/17

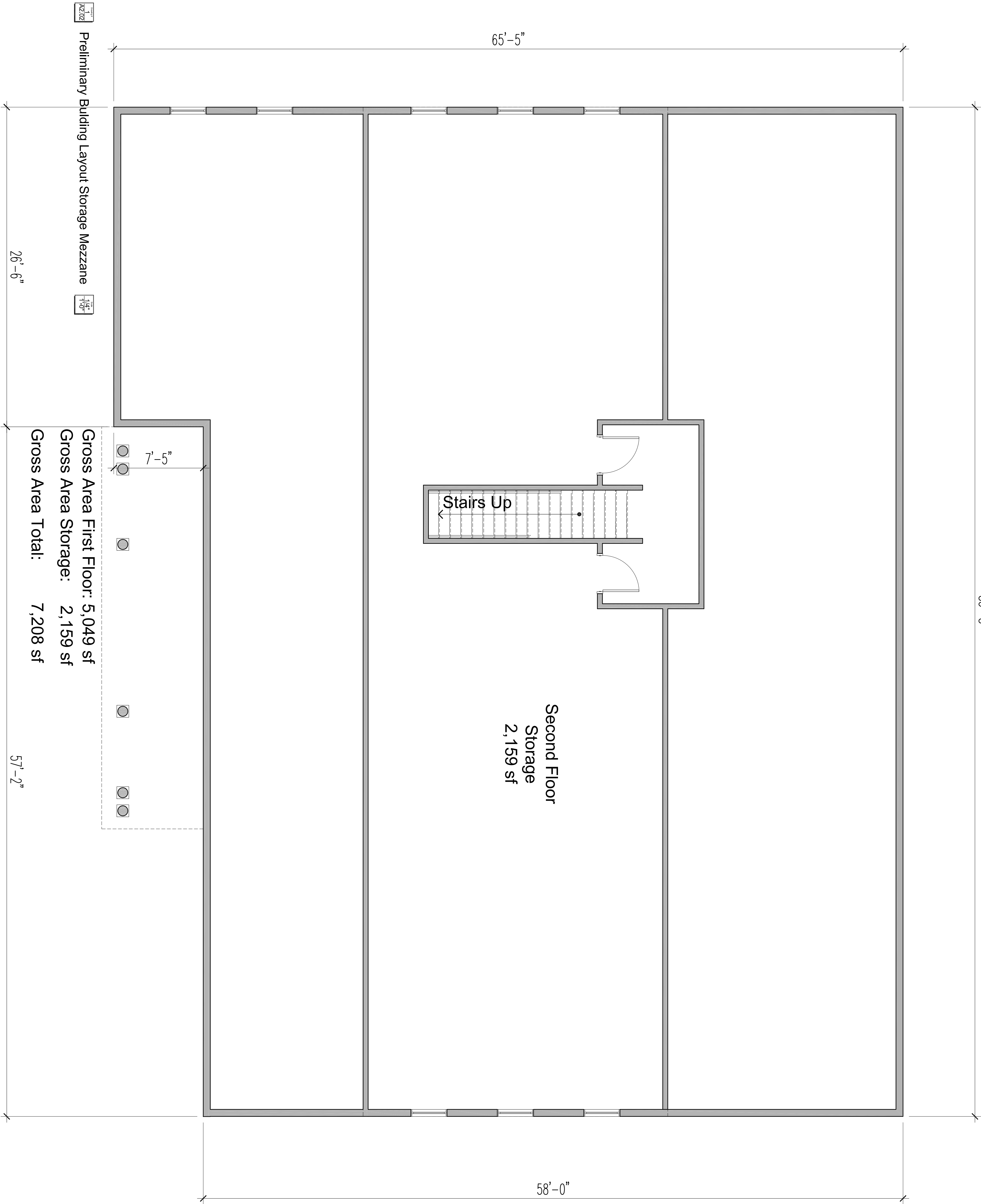
BY: WAF

CA JOB NO.: 2015-022

A2.01

08/08/17 Preliminary Design Release

Gross Area: 5049 SF  
83'-8"



A2.02

Attic Storage

A2.02

RELEASE 1: 08/08/17 PRELIMINARY DESIGN RELEASE

REVISIONS

**cubic architects, inc**  
33 Bowdoin Lane  
Plymouth, Massachusetts 02380  
TEL: 617.334.7330  
FAX: 781.458.2381  
wulfer@cubicarchitects.com

This drawing is the property of Cubic Architects, Inc. and is protected under the applicable copyright laws. The design and/or drawing, in whole or in part, shall not be copied or used by anyone without prior written consent by Cubic Architects, Inc. This drawing shall not be for any other use than the original project.

Country Cottage Children's Ctr  
New Facility

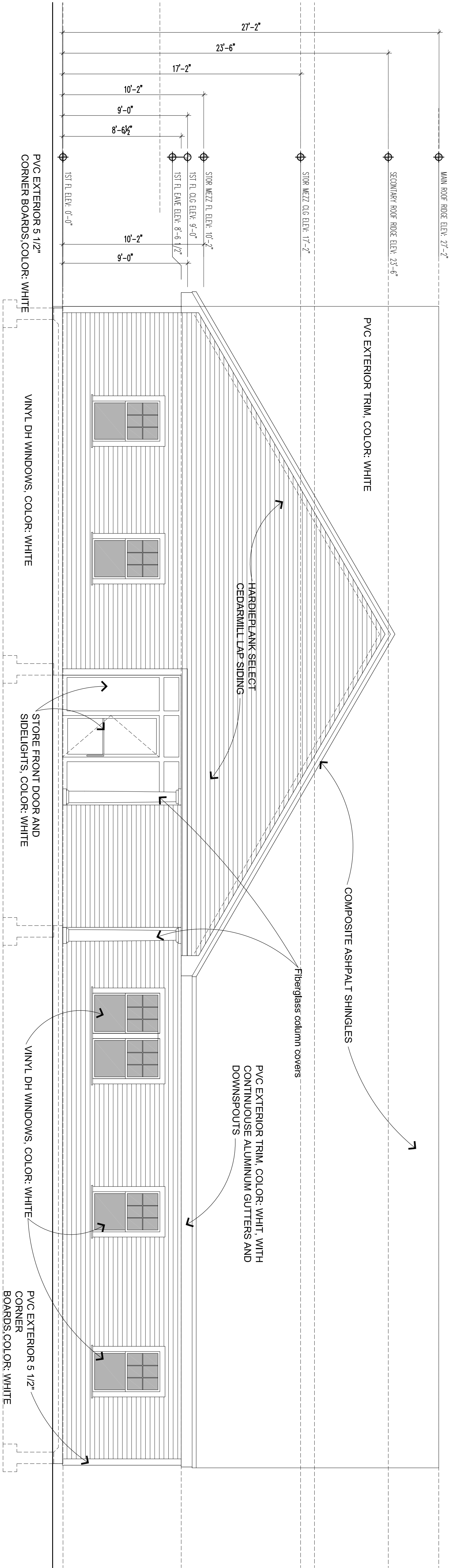
36 Summer Street Medway, Massachusetts

Attic Storage Area

DATE: 07/30/17 BY: WAF CA JOB NO: 2015-022

A2.02





△ RELEASE 1: 08/08/17 PRELIMINARY DESIGN RELEASE

REVISIONS



This drawing is the property of Cubic Architects, Inc. and is protected under the applicable copyright laws. The design and/or drawing, in whole or in part, shall not be copied or used by anyone without prior written consent by Cubic Architects, Inc. This drawing shall not be for any other use than this original project.

Country Cottage Children's Ctr  
New Facility

36 Summer Street Medway, Massachusetts

Front Elevation

DATE: 07/30/17	BY: WAF	CA JOB NO: 2015-022
----------------	---------	---------------------

A3.01

Front Elevation

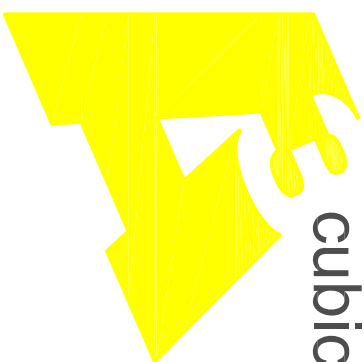
Architect

Architect

08/08/17 Preliminary Design Release

RELEASE 1: 08/08/17 PRELIMINARY DESIGN RELEASE

REVISIONS



23 Bowdoin Lane  
Plymouth, Massachusetts 02380  
TEL: 617.334.7330  
FAX: 781.458.2381  
miller@cubicarchitects.com

This drawing is the property of Cubic Architects, Inc. and is protected under the applicable copyright laws. The design and/or drawing, in whole or in part, shall not be copied or used by anyone without prior written consent by Cubic Architects, Inc. This drawing shall not be for any other use than this original project.

Country Cottage Children's Ctr  
New Facility

36 Summer Street Medway, Massachusetts

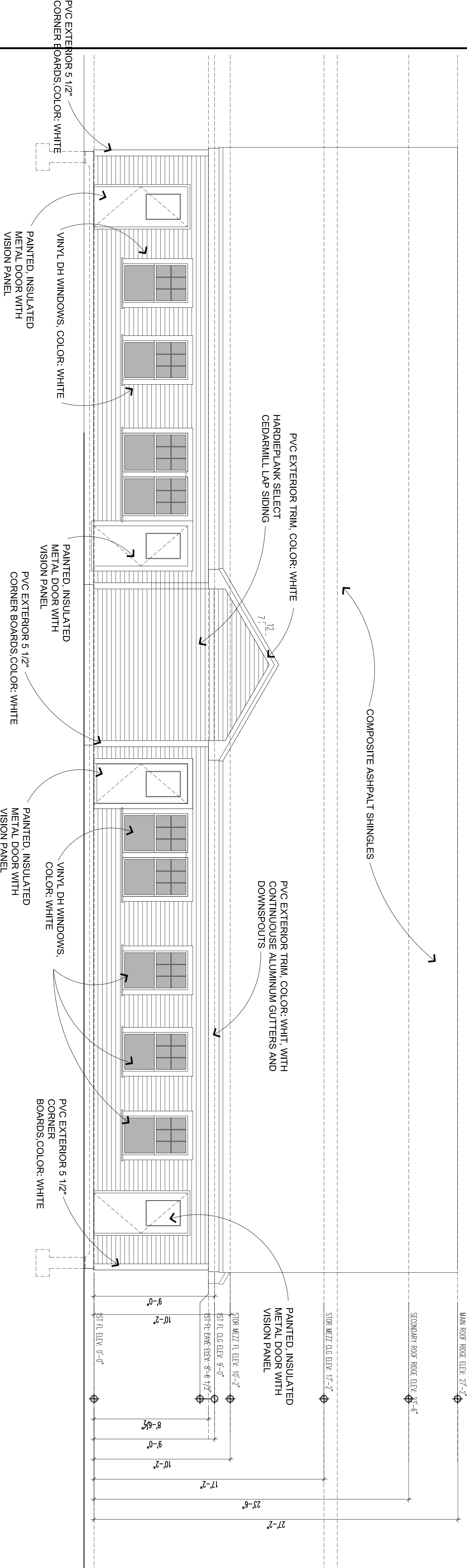
Rear Elevation

DATE: 07/30/17	BY: WAF	CA JOB NO: 2015-022
----------------	---------	---------------------

A3.02

Rear Elevation

A3.02



08/08/17 Preliminary Design Release

REVISIONS



This drawing is the property of Cubic Architects, Inc. and is protected under the applicable copyright laws. The design and/or drawing, in whole or in part, shall not be copied or used by anyone without prior written consent by Cubic Architects, Inc. This drawing shall not be for any other use than this original project.

## Country Cottage Children's Ctr New Facility

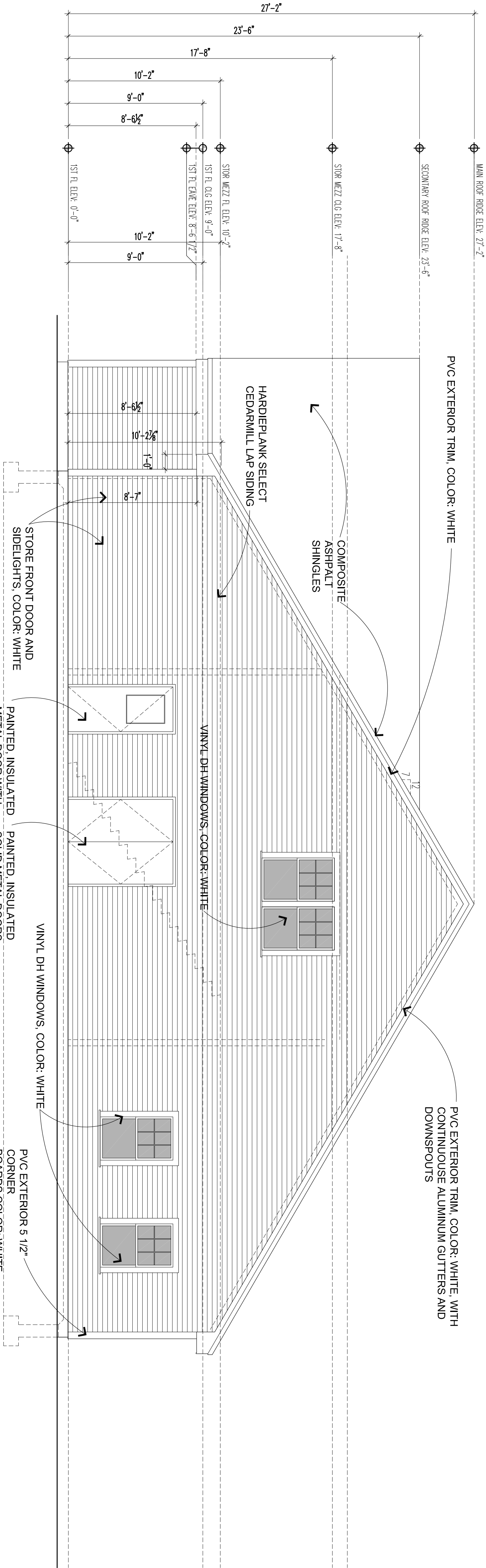
35 Summer Street  
Medway, Massachusetts

### Left Side Elevation

DATE: 07/30/17	BY: WAF	CA JOB NO: 2015-022
----------------	---------	---------------------

Left Side Elevation

1  
A3.03



# A3.03



08/08/17 Preliminary Design Release

## REVISIONS



This drawing is the property of Cubic Architects, Inc. and is protected under the applicable copyright laws. The design and/or drawing, in whole or in part, shall not be copied or used by anyone without prior written consent by Cubic Architects, Inc. This drawing shall not be for any other use than this original project.

## Country Cottage Children's Ctr New Facility

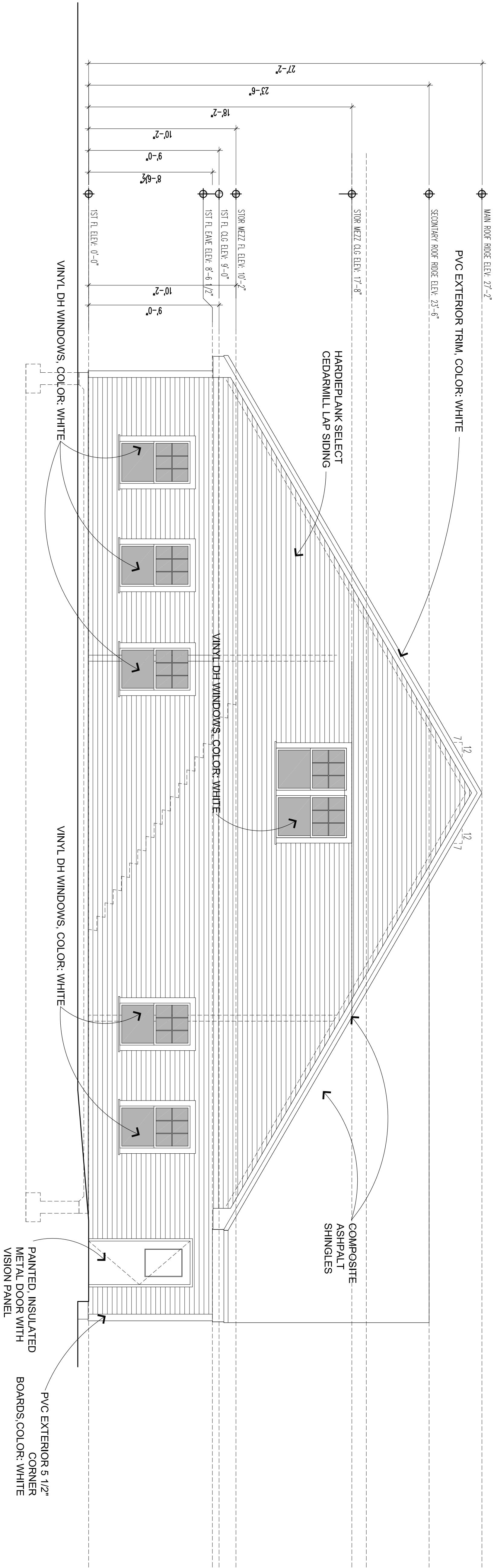
35 Summer Street  
Medway, Massachusetts

### Right Side Elevation

DATE: 07/30/17	BY: WAF	CA JOB NO: 2015-022
----------------	---------	---------------------

### Right Side Elevation

1  
A3.04



# A3.04

**DRC Sign Design Review – Medway Industrial Park**  
**Medway Community and Economic Development Office Comments**  
**August 18, 2017**

**Business:** Medway Garden Center

**Owner:** Joe Avellino

**Sign Location Address:** 34 Summer Street

**Proposed Sign:** This is a proposal for a free-standing monument sign for Medway Gardens to be positioned north of the property's driveway off of Summer Street.

**Zoning District:** Commercial V.

	<b>Proposed Sign</b>	<b>Allowed by Bylaw</b>
<b>Sign Surface Area</b>	2' high by 8' wide = 16 sq. ft. per side x 2 sides = 32 sq. ft.	40 sq. ft. for a 2 sided, free-standing sign for an individual business. Sign size is OK.
<b>Sign Height</b>	9'	Maximum 8'
<b>Illumination</b>	No lighting is planned	External
<b># of signs</b>	One 2 sided development sign	Two 2 sided development signs
<b>Setback</b>	10'	Minimum 8'

**Comments:**

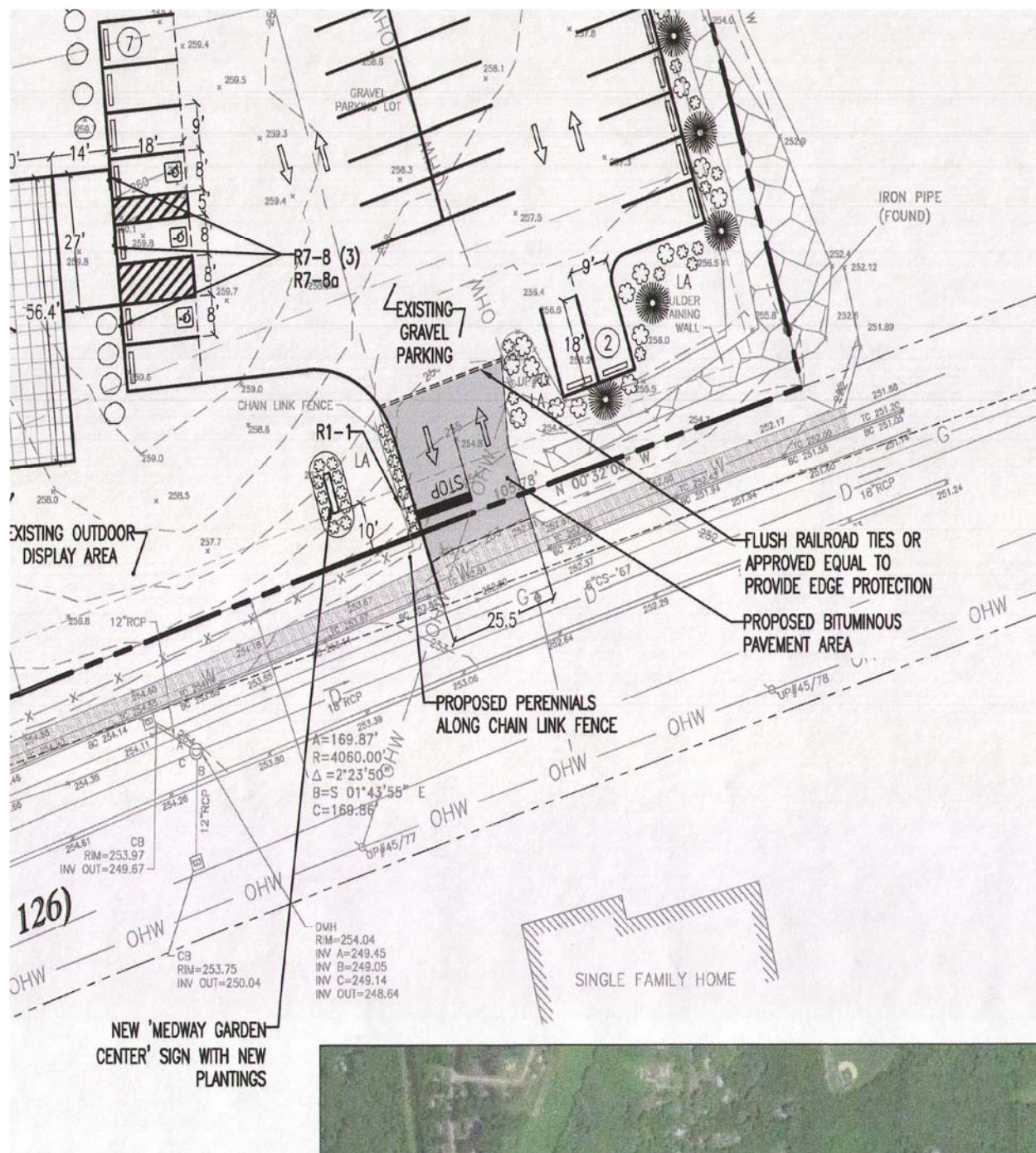
1. This is not a new sign. They have refurbished their long-standing sign and given it a fresh appearance.
2. The sign size and setback complies with the Zoning Bylaw requirements for a free-standing monument sign in the Commercial V business district.
3. The stone planter base has already been constructed using a versa-lok type product. Too bad it wasn't done to have a fieldstone appearance.
4. The overall height of the sign is too tall. It is proposed at 9'. The bylaw allows a maximum of 8'. The sign will need to be set lower into the planter or a couple of courses of the stone planter will need to be removed. Joe Avellino has been informed.
5. The area within the stone planter should be landscaped. Ask Joe Avellino what he plans to do. This should probably be just flowers due to the sign height issue.
6. No permanent lighting is planned for this sign. They may decorate it with little lights during the December holiday season.

**Summary and Comments Prepared by:** Susy Affleck-Childs









A large, dark, arched sign with a white border and a small green leaf icon at the top center. The sign is mounted on a black metal stand. Below the sign, several white informational cards are visible, some resting on the stand and others on the ground. The foreground is filled with various potted plants, including yellow daisies and pink flowers. The background shows a greenhouse interior with hanging baskets of red flowers and other potted plants.

# MEDWAY GARDEN CENTER

# Report to The Medway Board of Selectman

## Changeable Message – LED Message Board Signs

August 21<sup>st</sup>, 2017

### Medway Design Review Committee

Matthew Buckley, Chairman

Jessica Chabot

Dan Connolly

Thomas Gay, MP&ED Representative

Seth Kendall

Alex Kevork

Rachel Walsh

## EXECUTIVE SUMMARY

---

In January 2016, the Medway Board of Selectmen (MBOS) approached the Medway Design Review Committee (MDRC) expressing an interest in locating and installing an Electronic Messaging Board within the town. More specifically, in the vicinity of Choate Park and in conjunction with the Route 109 Redesign/Rebuild Project. The DRC initiated the necessary research required to not only understand the technology but to cover all the needed information needed to make informed recommendations.

While the selection and installation of this type of sign, replacing the old “black letter” sign that sat in the front of the park for many years, may seem simple, there were many areas of concern that needed to be addressed. These concerns included but were not limited to:

- Location... both requested and options
- Validity under the Sign Bylaw
- Design Guidelines
- Structure/Size
- Resolution/Brightness/Color
- Administration of Content

Each of the various items above required extensive research and discussion to ensure that each was properly addressed. Everything from proper location (both site specific and within the town), to the proper product to satisfy the need (including technology and attractive installation), to providing guidance for a new kind of sign not allowed under the current sign bylaw had to be resolved. Several other topics, including how to limit to “municipal use” (and what that really means) as well as how to incorporate a constantly evolving technology into existing guidelines also had to be resolved.

With this report, the DRC feels that all the issues can be adequately addressed and, by following the recommendations included later in this report, can support installation at Choate Park as well as two or three other locations in town.



## DISCUSSION

---

Prior to demolition of the “black letter” sign in the triangle at Choate Park, the town had only the sign in front of the park and in front of the Police Station as concrete and expected places for residents to receive notification of public events. Any other notifications had to be handled with temporary banners and/or portable, monochrome low-res, message boards. With the 109 Project now underway the options are even more limited. There was/is also the challenge of managing those various approaches, prioritizing what messages to post and satisfying a need for multiple messages/notifications at any given time. The BOS had determined that application of technology in the form of changeable message signage might provide the best way forward and employed the DRC to research/recommend the best way to realize both improvement and attractive application.

In initial discussion, there were many concerns that the technology approach was not consistent with what Medway is all about as well as the precedent of introducing the allowance of the technology. In other words, if the town can do it why can't it be used in all zoning districts by commercial, industrial and other landowners. That being stated, the applicability of the technology to the “problem” was soon realized to be beneficial and work began on the various moving parts requiring resolution.

The technology itself was the first major topic of discussion. At the same time, potential locations were examined because location can have a direct impact on the technology to be employed. After the careful researching of potential vendors, the DRC enlisted the help of Watchfire Signs, one of the pre-eminent vendors of Electronic Message Signs. In October 2016 the DRC met with Watchfire Signs Northeast Sales Director Ben Barr discussing various options for Electronic Message Center/LED Signs such as background and LED light colors. He presented the members with an LED Sign buyer's guide and a demonstration of the technology. The discussion focused on sign resolution and millimeters (distance between the clusters of LEDs) and how that applies to location. Pictures of Watchfire signs displayed throughout the nation were also presented to the committee.

The Committee discussed with Mr. Barr the following points and considerations of an LED sign:

- Signs featuring double sided LEDs generally range in price from \$25,000 to upward of \$100,000.
- Mr. Barr can provide a list of companies that can design the sign encasement which Medway could send out for multiple bids.
- Sign for Needham was thought to be in the \$20,000-\$30,000 range. They opted for a 19mm sign because their viewing distance was from approximately 80 feet.
- Cost significantly increases as resolution increases/mm decreases.

- Things to consider when designing a sign and choosing resolution is speed of traffic and viewing distance between the sign and the targeted audience.
- Brightness can be adjusted and locked. It can also be programmed to adjust for daytime and nighttime viewing as well as temperature and weather. If for example it was overcast but still during the day, the sensor would detect the difference in light adjust brightness. The sign can be programmed to turn on and off at predetermined times.
- Sign messages can be composed with various sizes of fonts and clipart or animation. Watchfire to supply some clipart and offer 15 fonts. Some special fonts such as ones with round corners and anti-aliased fonts use more LEDs.
- Medway would be able to build its own templates selecting how many lines and words per page, but a good rule of thumb is no more than 7 words per page including animation or clipart.
- Recommend having someone (gatekeeper of sorts) to approve messages and animation prior to programming it into the sign.
- Wireless broadband programming of sign for \$100 per month is included for 5 years with price of sign. Software in laptop has options to program signs from multiple places. Watchfire can offer hands-on software training.
- Program is PC based now but expect to move to cloud/web based and MAC compatible by the end of the year.
- Energy consumption depends on size of sign and amount of LEDs. For example, a 3' x 7' sign with 12-19 mm resolution averages \$1 per day. 10mm consumes approximately 20-30% more. Max draw 14amps (Mr. Barr to provide more detailed electric consumption).
- Need to consider how often signs should change page, how many words per page and color contrast. Most animation uses 12mm because of higher resolution. 16-19mm is fine for words and basic displays.
- Cell phones and texting while driving is more dangerous than viewing LED signs (Mr. Barr to provide Texas A&M sign board study about safety).
- 5yr warranty covers repairs/replacement barring acts of GOD and incidents of vandalism. They guarantee that they will have parts available for 10 years. Not something foreign competitors can guarantee.
- Most clients will purchase an insurance policy for their signs (Mr. Barr can provide a list of vendors that can offer it).
- There was a general concern for evolving technology. Mr. Barr stated 12mm has been out for about 4 years and while Watchfire is working on a 6mm right now he stills believes the 12mm will remain the optimum product for some time to come. Watchfire

builds their signs so they can be removed from the surrounding case and have the LED panels upgraded to new technology if client so desires.

- LED signs would be changed more often than traditional signs with hand changed letters. LED signs can handle multiple messages at once with pages changing every few seconds which could provide more information to the community.

Equipped with knowledge of the technology, general location became the next major area of debate. Several potential sites were identified along with pros and cons of those locations. DRC ultimately identified three primary locations for the placement LED signs and determined that Choate Park, based on its position near the geographic center of town and midway point on Route 109, would be the best place. The other locations, also based on geography, cross town routes, areas where people might be accustomed to look for information and good site lines with minimum impact to residential areas include the Medway Police Station on Village Street (replacing the current letter sign) and the Medway Middle School on Holliston Street (where a letter sign once stood before being destroyed in a car accident). All agreed that how many signs to purchase would be discussed at a later time and would largely be dependent on price. It was also agreed that the casing/structure of the sign would be important to the success of the installation and would need to be high end to keep with the aesthetics of Medway.

Over the last several months more specific information was discussed in detail. The problem of the sign bylaw was one that needed to be resolved and will require careful positioning. It is felt that there are parts of the bylaw, while not specifically providing for the technology (in fact not allowing it) can be used to move forward. The Town can move forward by properly applying for a sign permit, limiting its messaging to community outreach/outreach/events and using good judgement for operation as described in the recommendations.

Over the course of the project, there was significant discussion about the history, current and future policy on community message board signs in town. The process whereby town residents can reserve the existing sign for a period of one week was examined. While changeable copy signs are not allowed under zoning bylaw, the town until recently had two so some precedence exists. DRC is happy to participate in the design process and will weigh in on the appearance of these signs. The Town is anticipating improving the aesthetics and readability of the message on the sign with a software package that controls the display on the sign. There was much discussion on the legality of regulating content on these signs. There was also related discussion on updating the DRC's Design Guidelines to address municipal projects.

When all is said and done the DRC is happy to offer several recommendations in the next section.

# RECOMMENDATIONS

---

## Structure and Size

- 1) Structure
  - a) The Recommendation is an indigenous stone appearance for the base/enclosure of the sign and black metal mountings or attachments for the actual sign board
  - b) Care should be taken to appropriately brand the sign to make it recognizable as a town sign
- 2) Size
  - a) The LED panels are available in configurations equal to 1'x1'. Based on several examples the DRC viewed, we are recommending a minimum 3' high sign maximum 4' high sign and minimum 5' wide maximum 7' wide sign.

## Resolution, Brightness, and Color

- 1) Resolution
  - a) The current technology allows for a max resolution of 10mm. The DRC is recommending a minimum resolution for any message board signs be 12mm, but that we would ideally get the highest resolution possible at the time of purchase as the higher resolution is exponentially better (at this writing 10mm) to accommodate pedestrians. The nearer you are to the sign the better the resolution is needed.
  - b) In the case of multiple locations higher resolution for Choate Park (10mm) and lower for Village Street and Holliston Street (12mm) would be ideal.
  - c) The Vendor indicated that the price as it relates to the resolution is rapidly diminishing and higher resolutions are becoming more available
- 2) Brightness
  - a) The programmability of the LED sign allows for different levels of brightness and can be programed to change brightness depending on the day/time. The DRC recommends that a brightness program be strictly adhered to and that in the evening the sign be automatically set to the lowest brightness setting available. Any sign purchased should be dimmable to a min of 350 NIT's.
- 3) Color
  - a) The LED signs allow for a full spectrum of color. It is recommended that any text on the LED screen be a predetermined color. The programmability of the sign will allow for pictures to be added to the screen at full color. The DRC saw some nice examples of fall foliage scenes that added to the attractiveness of the sign. There is a consideration to be made for having approved town scenes filter between town messages.

## Location(s)

- 1) The DRC has discussed potential locations. The preferred location is Choate Park as this is the most heavily traveled path in Medway.
- 2) Additional locations that are viewed as viable are the Middle School and the Police Station. Public safety was considered when choosing these locations.

## Content

- 1) The administration of content is the most important consideration for the sign. The recommendation is that message board be used for town messages/notifications and municipal events only.

Note: Background materials, specifications, notes, site plans and pictures used in developing these recommendations are available as part of the public record or from T.Gay, Clerk – MP&EDB

DRAFT