



Town of Medway
DESIGN REVIEW COMMITTEE
 155 Village Street, Medway MA 02053
 (508) 533-3291

DRC Meeting Minutes: August 03, 2020
 Remote Meeting

Call to Order: – With a quorum present, this remote meeting was called to order by Chair Mr. Buckley at 7:00 p.m.

Attendees:

	06/15/2020	08/03/2020			
Matthew Buckley	X	X			
Rich Di Iulio	-	-			
Jessica Chabot	X	X			
Tom Gay	X	X			
Rachel Walsh	X	X			
Dan Connolly	ABSENT WITH NOTICE	ABSENT WITH NOTICE			
Rachel Wolf Lander	X	No longer on the DRC	No longer on the DRC	No longer on the DRC	No longer on the DRC
Alex Siekierski	ABSENT WITH NOTICE	ABSENT WITH NOTICE			

Also Present:

- Sreelatha Allam, Recording Secretary
- Gary Feldman, Harmony Estates LLC
- Mark Beaudry, Meridian (MAI)
- Jacqui Trainer, Landscape Architect
- Vincent Pacifico, Architect
- Susy Affleck-Childs, Planning and Economic Development Coordinator (late)

Meeting Minutes

June 15th, 2020: A motion was made by Mr. Buckley to approve the minutes of 06/15/2020 as presented, seconded by Ms. Chabot.

Roll Call Vote:

Matt Buckley- Aye

Jessica Chabot- Aye

Tom Gay- Aye

Rachel Walsh- Aye

The motion passed.

Site and Landscaping Plan Review – Harmony Village , 218-220 Main Street

The developer and the design team attended the call to discuss the project. There are two existing houses on the property, #218 and #220 which will be retained. Proposal is to build five new units totaling the number to seven. Shared parking area is proposed for units 6 and 7. Duplex and triplex units will have their own parking in front.

Abundant green space is included in the proposal. Green area in SW corner of the plan will be the storm water basin. Run off will be directed into the low area.

All proposed units will be fitted with chamber system for roof-runoffs. There will be open space between the duplex and unit 6. Closest unit to the existing building will be at the location where the existing pool is presently located.

Proposal meets all setback requirements for the property and a green buffer will be maintained around the site. Large trees around the site will be maintained.

Mr. Gay asked if the Fire Department was invited to investigate turning around the equipment in the existing driveway and the response was yes. There was a question on the proposed buffer plan between the property to the east/northeast and the duplex. A white vinyl privacy fence (10' high) is proposed to separate the duplex and triplex. It is called out in the plans between the units. Area to the back of the triplex is wooded. All proposed trees will be on the other side of the stone wall.

Discussion ensued on the proposed fence and/or the line of trees/vegetation that separates the private property and the proposed project. Designer agreed to look into fencing with breaks in between where the stone wall will be visible. Plantings will be installed in those locations. Green space in the front will be cleaned up.

The grade around the large tree in the back will be cut by about 18" and will be mounded. The tree will be retained. Trees along Main Street will be looked into and all healthy trees will be retained.

For the landscaping plan, Ms. Affleck-Childs will provide the plants list to Ms. Trainer. On architectural side of things, Mr. Pacifico talked about the design changes they have made. The bay windows that were commented on last time have been removed from the design. Slightly bigger corner boards were suggested.

The two existing houses are white in color and the roofing, siding, and windows will be replaced. Everything else will be retained. Beige and light grey colors are proposed for the new units. Garage doors will be white and front door colors have not been decided yet. Mr. Buckley suggested submitting all the color details to the committee for further review.

Project is under engineering peer review by Tetra Tech and will be presented to PEDB at the hearing on August 25th. Members liked the plan as presented today. In addition to the proposed project recommendations, DRC letter will also include the recommendations for the two existing houses in front.

Election of Officers for DRC

There was discussion on recruiting new members with Ms. Lander leaving and the other two members being absent for valid reasons. On the topic of restarting PEDB meetings, Mr. Gay commented that hybrid meetings will commence soon and pending applications will come to the forefront. He said the Town selected a consultant to look at the CBD and eventually DRC input along with PEDB will be desired. He said having more members on the committee will be better. Ms. Walsh agreed to continue as DRC member. Discussion included instances that occurred recently when meetings were cancelled due to not meeting quorum requirements.

A motion was made by Ms. Walsh to nominate Ms. Chabot as DRC vice-chairman for this year, seconded by Mr. Buckley.

Roll Call Vote:

Matt Buckley- Aye

Jessica Chabot- Aye

Tom Gay- Aye

Rachel Walsh- Aye

The motion passed.

A motion was made by Mr. Gay to nominate Mr. Buckley as DRC chairman, seconded by Ms. Walsh.

Roll Call Vote:

Matt Buckley- Aye

Jessica Chabot- Aye

Tom Gay- Aye

Rachel Walsh- Aye

The motion passed.

Other Business

To a question, Ms. Affleck-Childs responded that an irrigation well is being dug at the Medway Place shopping center.

Mr. Gay reported that ADPRINT has a temporary sign and he wonders if new permanent sign is under design. The business owner called Ms. Affleck-Childs to discuss the possibility of a new

sign vs. repairing the existing sign. A new drawing with the proposed sign will be submitted if they decide to go with a new sign.

A second hand store in Medway Place appears to be filled with items. Landlord was informed of the situation. A call in was made by Ms. Affleck-Childs to the tenant to chat about sign installation.

There was discussion on temporary signs during COVID 19. Ms. Affleck-Childs said she's not aware of the Town having any formal policy to allow temporary signs for longer periods of time. Members said there are some businesses that have had temporary signs up for few months now. Discussion included distributing a memo to the business owners acknowledging the current tough COVID situation but alerting them that eventually the signs shall have to be removed when things start getting back to normal.

Ms. Affleck-Childs reported that a contract for a central business district zoning consultant for \$15,000 was approved by BOS today. PEDB made the request at the town meeting to hire a zoning consultant to work on new/updated mixed use zoning regulations for Central Business District area along Rt. 109. Ted Brovitz, the consultant who led the Oak Grove zoning project, will be leading the effort.

Ms. Affleck-Childs talked about working with the towns of Foxboro, Sherborn, and Medfield through the Metropolitan Area Planning Council to draft zoning language to encourage zoning for smaller houses, in particular looking at "Cottage Clusters". Language is being drafted for a special permit option in Medway for that type of housing.

Adjournment

Motion was made by Mr. Buckley to adjourn the meeting, seconded by Ms. Chabot.

Roll Call Vote:

Matt Buckley- Aye

Jessica Chabot- Aye

Tom Gay- Aye

Rachel Walsh- Aye

The motion passed.

The meeting was adjourned at 8:15 p.m.

Respectfully Submitted,

Sreelatha Allam

Recording Secretary

SITE DEVELOPMENT PLANS

HARMONY ESTATES MULTYFAMILY HOUSING DEVELOPMENT

218-220 MAIN STREET
(MAP 57, PARCEL 44)
MEDWAY, MASSACHUSETTS 02053

ZONING DISTRICT: AR-II
MULTIFAMILY HOUSING OVERLAY DISTRICT

JUNE 9, 2020

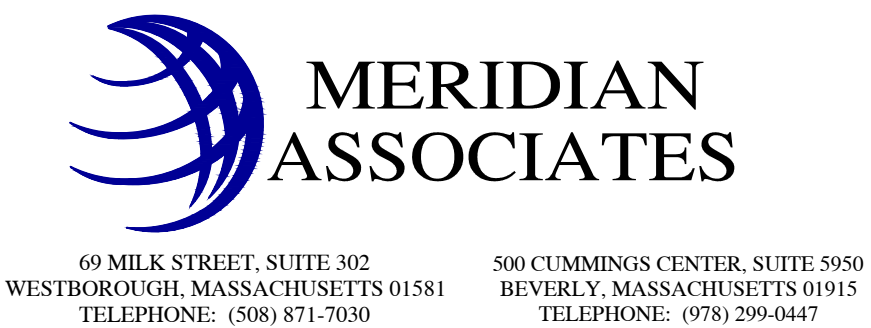
OWNER

Linda Resner & Elliot Edwards
218 Main Street
Medway, MA 02053

APPLICANT

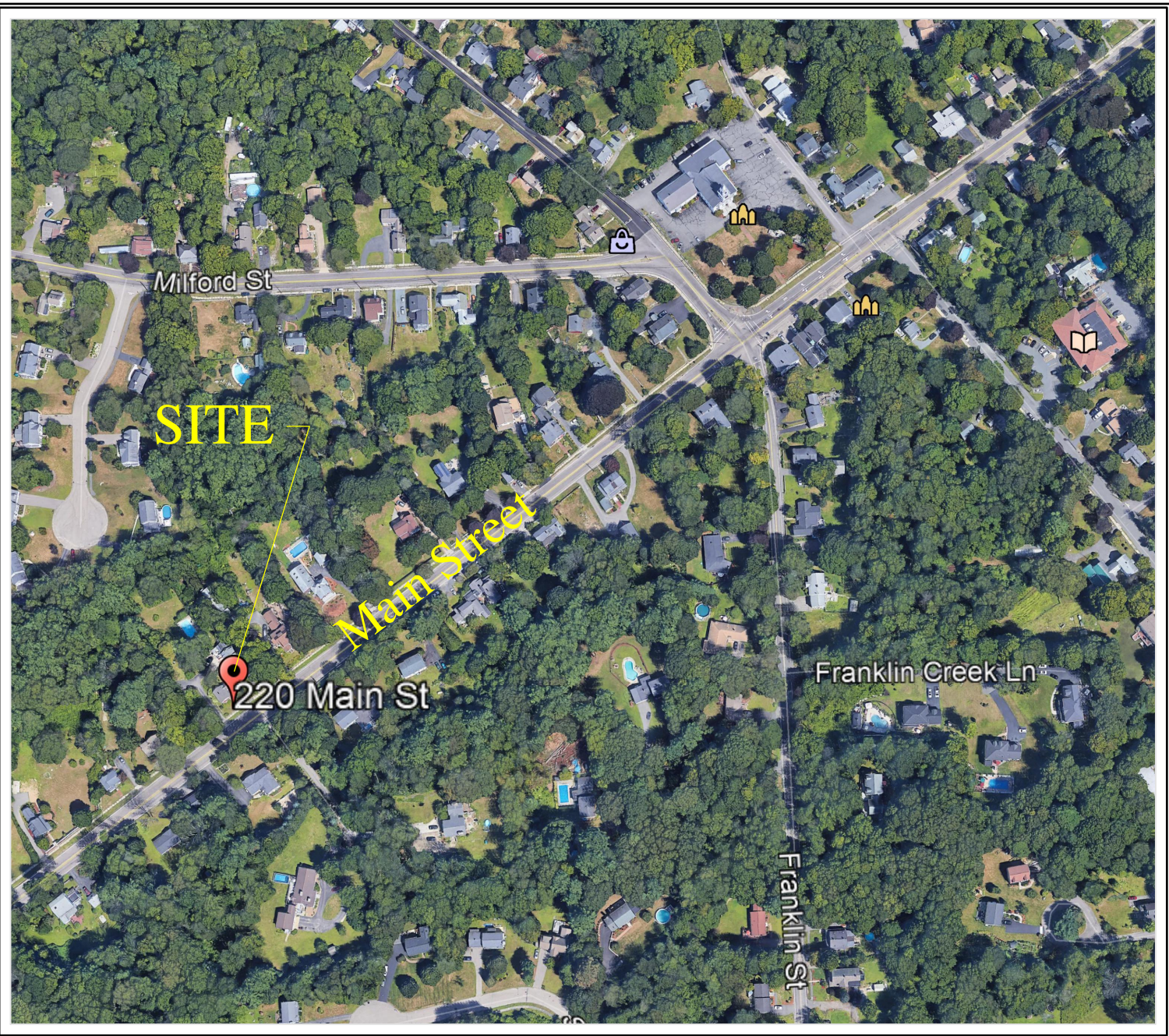
HARMONY ESTATES, LLC
5 EXCHANGE STREET
MILFORD, MASSACHUSETTS 01757

CIVIL ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE

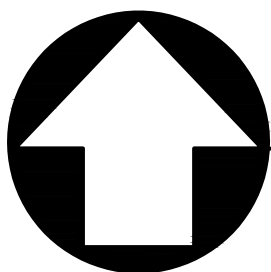


ARCHITECTURE

PACIFIC-VISIONS STUDIO LLC
38 Thompson Ave.
Bristol, RI
T - 774.633.1272



NORTH



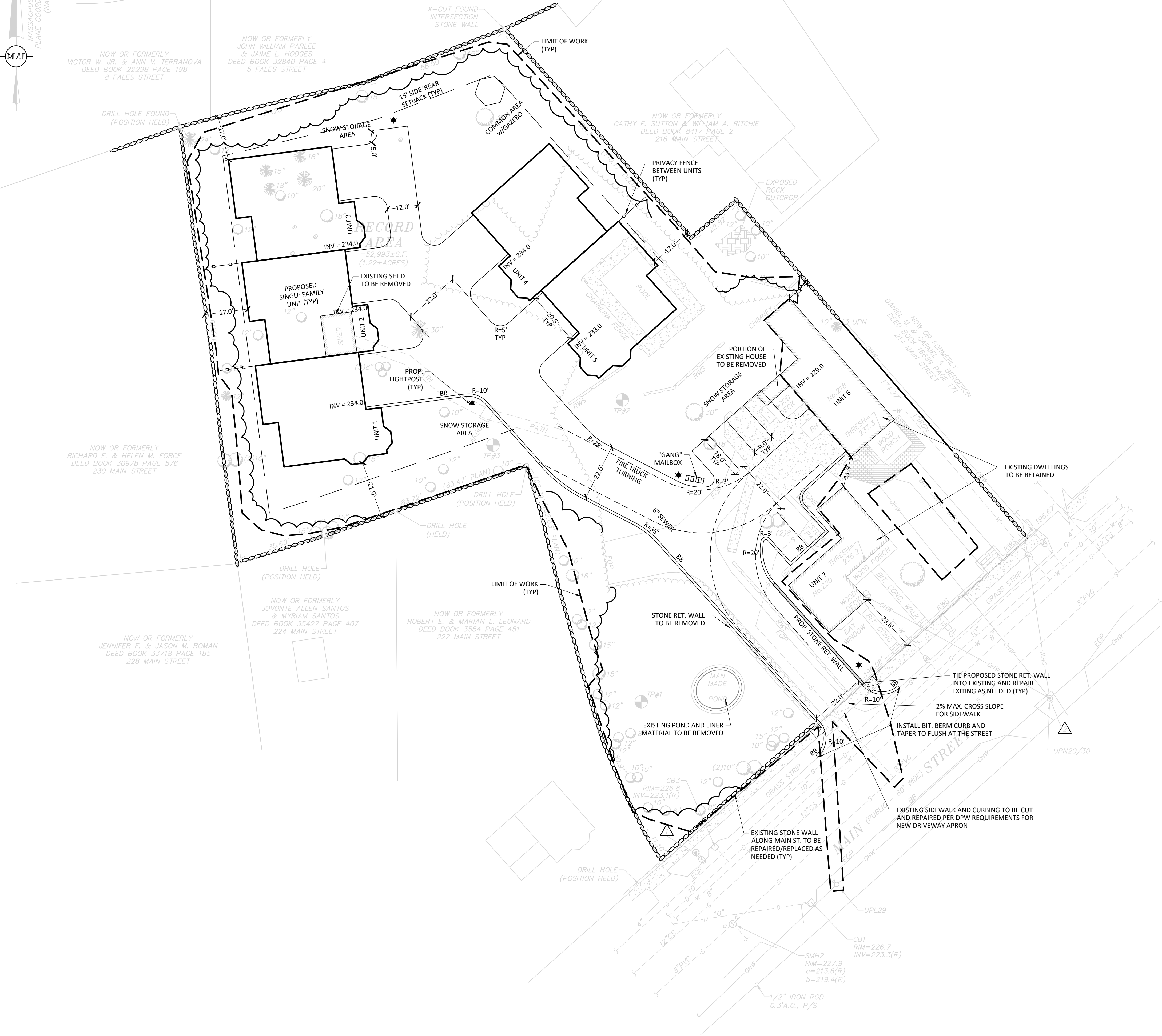
LOCUS MAP
SCALE: 1" = 250'

DRAWING INDEX:

- C-1 COVER SHEET/LOCUS MAP
- C-2 EXISTING CONDITIONS PLAN
- C-3 LAYOUT AND MATERIALS PLAN
- C-4 GRADING, DRAINAGE & UTILITIES PLAN
- C-5 LANDSCAPE PLAN
- C-6 EROSION & SEDIMENT CONTROL PLAN
- C-7 SITE DETAILS
- C-8 SITE DETAILS



FALES STREET



LAYOUT & MATERIALS LEGEND:

BITUMINOUS CONCRETE CURB	BB
LIMIT OF WORK	---
SETBACK	---
MAILBOX	□□□□
LIGHT FIXTURE/POST	*
SILT FENCE/HAYBALE LINE	---

ZONING TABLE:

ZONE: AR-II, MULTIFAMILY HOUSING OVERLAY DISTRICT			
Density and Dimensional Controls	Required	Existing	Proposed
LOT SIZE	30,000 SF	52,993 SF	52,993 SF
FRONTAGE	150'	190.08'	190.08'
FRONT SETBACK	35'	23.6' *	23.6' *
SIDE SETBACK	15'	9.1' *	9.1' *
REAR SETBACK	15'	152'	17'
MAX. BUILDING HEIGHT	35'	30'	30'
MAX. LOT COVERAGE	30%	0.28	0.28
MULTIFAMILY UNITS (ALLOWED)	8	2	7 **
MIN. OPEN SPACE/YARD AREA	15%	N/A	33% ***
PARKING SPACES	1.5/UNIT	2/UNIT	3.7/UNIT****
		(4 TOTAL)	(26 TOTAL)

* PRE-EXISTING NONCONFORMING SETBACK
ALL PROPOSED UNITS MEET THE REQUIRED DIMENSIONAL SETBACKS

** TOTAL UNITS CONSISTS OF 5 PROPOSED UNITS AND 2 EXISTING HOUSES TO BE REHABILITATED (7 TOTAL)

*** PROPOSED OPEN SPACE / YARD AREA INCLUDES COMMON SPACE WITH GAZEBO, DETENTION BASIN, FRONT YARD FOR EXISTING HOUSES, AND 800 SF REAR YARD FOR EACH PROPOSED UNIT

**** ACCOUNTS FOR 4 PARKING SPACES AT EACH NEW UNIT (2 IN DRIVEWAY, 2 IN GARAGE) FOR 26 PARKING SPACES TOTAL.

LAYOUT AND MATERIALS NOTES:

ALL WORK CONDUCTED WITHIN PUBLIC RIGHT-OF-WAYS SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF THE TOWN OF MEDWAY DEPARTMENT OF PUBLIC WORKS AND MASS HIGHWAY.

ALL ACCESSIBLE ROUTES, RAMPS AND PARKING SPACES TO COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (ADA) ACCESSIBILITY GUIDELINES AND THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD (AAB).

THE FOLLOWING LAYOUT CRITERIA SHALL CONTROL UNLESS OTHERWISE NOTED ON THE PLAN:
DIMENSIONS FROM BUILDING ARE FROM FACE OF BUILDING.
DIMENSIONS ARE TO FACE OF CURB AT GUTTER LINE.
DIMENSIONS ARE TO THE CENTER OF PAVEMENT MARKINGS.
ALL TIES TO PROPERTY LINES ARE PERPENDICULAR TO THE PROPERTY LINE UNLESS OTHERWISE NOTED.

SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND ALL DETAIL CONTIGUOUS TO THE BUILDING INCLUDING ENTRANCES, DOORWAY PADS, STAIRS, ETC.

ALIGN WALKWAYS CENTERED ON BUILDING EXIT DOORS UNLESS OTHERWISE NOTED.

ALL LINES AND DIMENSIONS ARE PARALLEL OR PERPENDICULAR TO THE LINES FROM WHICH THEY ARE MEASURED UNLESS OTHERWISE INDICATED.

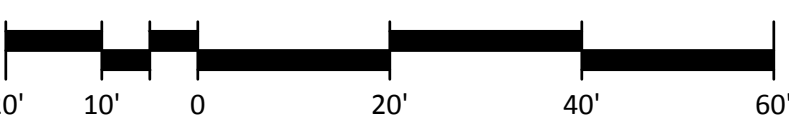
COORDINATE THE LOCATION OF ALL SITE LIGHT STANDARDS WITH IMPROVEMENTS SHOWN ON THESE DRAWINGS.

ALL BITUMINOUS CONCRETE PAVING SHALL COMPLY WITH THE MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, 1988 EDITION AS AMENDED. THE CONTRACTOR SHALL SUBMIT A JOB MIX FORMULA DEMONSTRATING COMPLIANCE WITH THESE SPECIFICATIONS. THE CONTRACTOR SHALL SUPPLY THE ENGINEER WITH A CERTIFICATE OF COMPLIANCE SUPPLIED BY THE PAVING CONTRACTOR.

BITUMINOUS CONCRETE PAVEMENT: CLASS 1, TYPE I-1 CONFORMING TO THE STANDARD SPECIFICATIONS, SECTIONS 420 AND 460, AND M3.11.03 FOR BINDER COURSE AND TOP COURSE JOB MIX FORMULAS.

NO SNOW IS TO BE PLACED WITHIN OR ON TOP OF DRAINAGE STRUCTURES.

SCALE: 1" = 20'



REVISIONS

NO.	DATE	DESCRIPTION	BY	CHKD.



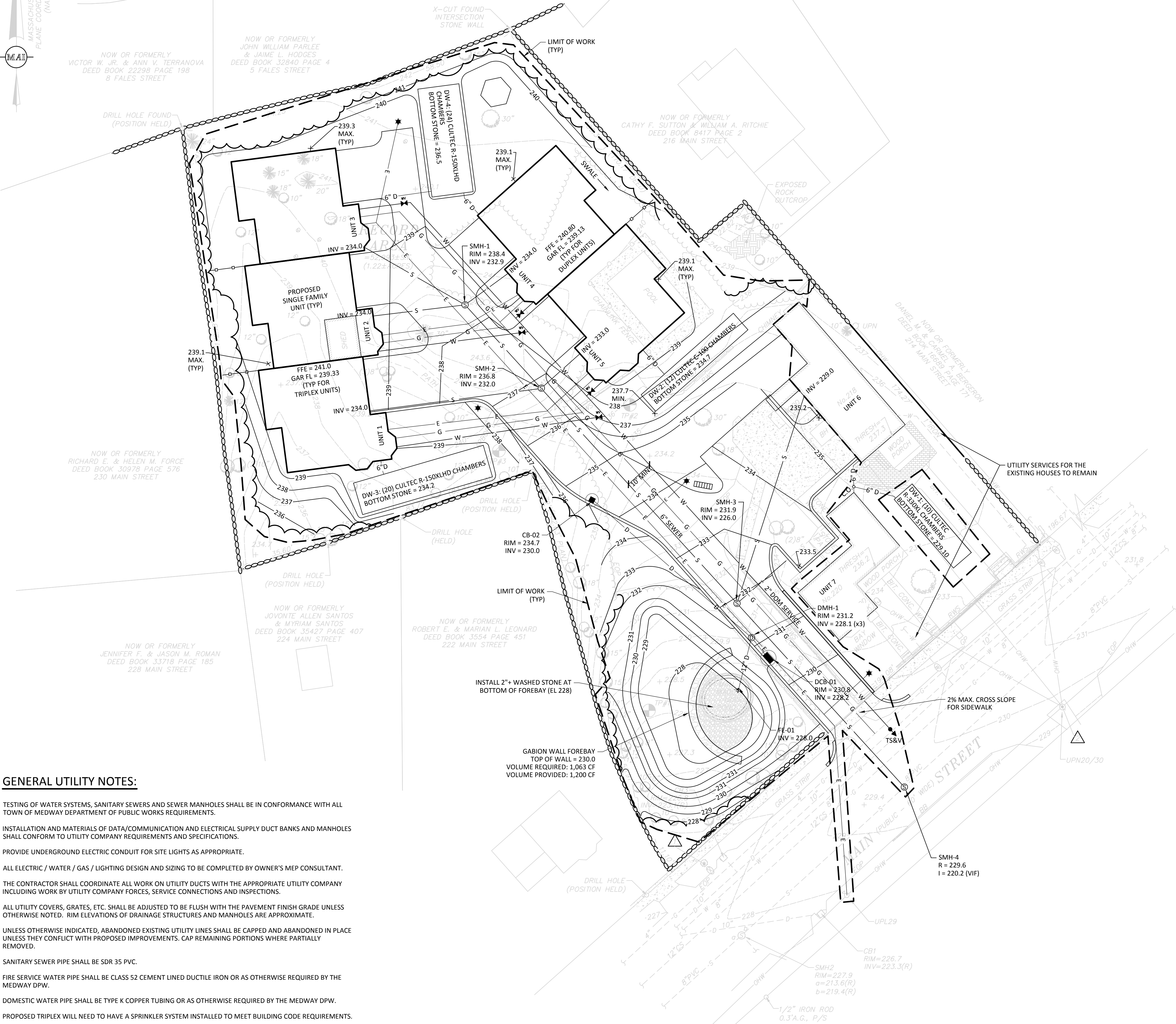
Layout & Materials Plan
Multifamily Development
218-220 MAIN STREET
MEDWAY, MA 02053
Prepared For:
Harmony Estates LLC



Date:
June 9, 2020
Scale:
1"=20'
Project No.
8521
Sheet No.
C-3
OF



FALES STREET



GENERAL UTILITY NOTES:

- TESTING OF WATER SYSTEMS, SANITARY SEWERS AND SEWER MANHOLES SHALL BE IN CONFORMANCE WITH ALL TOWN OF MEDWAY DEPARTMENT OF PUBLIC WORKS REQUIREMENTS.
- INSTALLATION AND MATERIALS OF DATA/COMMUNICATION AND ELECTRICAL SUPPLY DUCT BANKS AND MANHOLES SHALL CONFORM TO UTILITY COMPANY REQUIREMENTS AND SPECIFICATIONS.
- PROVIDE UNDERGROUND ELECTRIC CONDUIT FOR SITE LIGHTS AS APPROPRIATE.
- ALL ELECTRIC / WATER / GAS / LIGHTING DESIGN AND SIZING TO BE COMPLETED BY OWNER'S MEP CONSULTANT.
- THE CONTRACTOR SHALL COORDINATE ALL WORK ON UTILITY DUCTS WITH THE APPROPRIATE UTILITY COMPANY INCLUDING WORK BY UTILITY COMPANY FORCES, SERVICE CONNECTIONS AND INSPECTIONS.
- ALL UTILITY COVERS, GRATES, ETC. SHALL BE ADJUSTED TO BE FLUSH WITH THE PAVEMENT FINISH GRADE UNLESS OTHERWISE NOTED. RIM ELEVATIONS OF DRAINAGE STRUCTURES AND MANHOLES ARE APPROXIMATE.
- UNLESS OTHERWISE INDICATED, ABANDONED EXISTING UTILITY LINES SHALL BE CAPPED AND ABANDONED IN PLACE UNLESS THEY CONFLICT WITH PROPOSED IMPROVEMENTS. CAP REMAINING PORTIONS WHERE PARTIALLY REMOVED.
- SANITARY SEWER PIPE SHALL BE SDR 35 PVC.
- FIRE SERVICE WATER PIPE SHALL BE CLASS 52 CEMENT LINED DUCTILE IRON OR AS OTHERWISE REQUIRED BY THE MEDWAY DPW.
- DOMESTIC WATER PIPE SHALL BE TYPE K COPPER TUBING OR AS OTHERWISE REQUIRED BY THE MEDWAY DPW.
- PROPOSED TRIPLEX WILL NEED TO HAVE A SPRINKLER SYSTEM INSTALLED TO MEET BUILDING CODE REQUIREMENTS.
- CAP ALL PROPOSED UTILITY STUBS AS APPROPRIATE.

DRAINAGE & UTILITIES LEGEND:

PROPERTY LINE	---
DRAIN LINE	--- D ---
GAS LINE	--- G ---
ELECTRIC LINE	--- E ---
WATER LINE	--- W ---
SEWER LINE	--- S ---
LIMIT OF WORK	---
PROPOSED CONTOUR	--- 230 ---
GABION WALL	--- 239.6 ---
PROPOSED SPOT ELEVATION	230
CATCHBASIN	DMH
DRAIN MANHOLE	SMH
SEWER MANHOLE	DMH
LIGHT POST	SMH
INVERT ELEVATION	INV
RIM	RIM
TYPICAL	TYP.
VERIFY IN FIELD	VIF
EXISTING	EXIST.

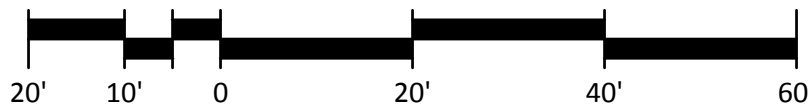
GRADING NOTES:

- UNLESS DIRECTED OTHERWISE, ALL EXISTING TURF OR VEGETATED AREAS WITHIN THE PROPOSED LIMITS OF WORK FOR EXCAVATION, GRADING, OR IMPROVEMENT SHALL BE CLEARED AND GRUBBED. WITHIN THE CLEARING AND GRUBBING AREA, REMOVE ALL TREES, SHRUBS AND ROOTS UNLESS DESIGNATED OTHERWISE. CLEARING SHALL INCLUDE THE FELLING, CUTTING AND OFF-SITE DISPOSAL OF ALL TREES, SHRUBS, STUMPS AND VEGETATIVE DEBRIS PRODUCED THROUGH THE CLEARING OPERATIONS.
- STONE USED FOR MACHINE PLACED RIP-RAP SHALL BE REASONABLY WELL GRADED, HARD, DURABLE, ANGULAR IN SHAPE, RESISTANT TO WEATHERING AND FREE FROM ORGANIC MATERIAL. ROUNDED STONES OR BOULDERS ARE NOT ACCEPTABLE. THE MINIMUM WEIGHT OF THE STONE SHALL BE 155 POUNDS PER CUBIC FOOT. STONE SHALL BE PLACED IN CONFORMANCE WITH THE LINES, GRADES AND THICKNESSES SHOWN ON THE DRAWINGS.
- AT ALL LOCATIONS WHERE EXISTING CURBING OR PAVEMENT ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING CURB OR PAVEMENT SHALL BE SAW CUT TO A CLEAN, SMOOTH EDGE. BLEND NEW PAVEMENT, CURBS AND EARTHWORK SMOOTHLY INTO EXISTING BY MATCHING LINES, GRADES AND JOINTS.
- ALL RIP RAP STONE SHALL BE HAND CHINKED AND SHALL CONFORM TO MASSACHUSETTS HIGHWAY DEPARTMENT STANDARDS.
- BLEND NEW EARTHWORK SMOOTHLY INTO EXISTING.

DRAINAGE NOTES:

- MANHOLES SHALL BE 48-INCH DIAMETER (UNLESS OTHERWISE SPECIFIED). CAST-IN-PLACE BASES SHALL BE USED WHERE MANHOLES ARE CONSTRUCTED OVER EXISTING PIPES.
- FRAMES AND COVERS FOR DRAINAGE STRUCTURES AND SANITARY SEWER STRUCTURES SHALL PROVIDE A 24-INCH MINIMUM CLEAR OPENING AND SHALL BE LABARON TYPE LK110 OR APPROVED EQUAL.
- DRAINAGE STRUCTURE COVERS SHALL HAVE THE WORD "DRAIN" CENTERED ON THE COVER IN 3-INCH HIGH LETTERS. SANITARY SEWER STRUCTURE COVERS SHALL HAVE THE WORD "SEWER" CENTERED ON THE COVER IN 3-INCH HIGH LETTERS.
- SINGLE CATCH BASIN FRAMES AND GRATES SHALL BE LABARON TYPE LF 248-2 OR AS REQUIRED BY TOWN OF MEDWAY DPW.
- DOUBLE CATCH BASIN FRAMES SHALL BE LABARON ONE-PIECE LV2448-1 FRAMES OR APPROVED EQUAL. FOR DOUBLE CATCH BASIN GRATES, USE TWO LABARON TYPE LF 248-2 OR APPROVED EQUAL OR AS OTHERWISE REQUIRED BY MEDWAY DPW.
- FRAMES, GRATES AND COVERS SHALL BE SET FIRM AND TRUE TO GRADE, ADJUST FOR GRADE WITH BRICK MASONRY.
- ALL ON-SITE DRAIN LINES SHALL BE SMOOTH INTERIOR WALLED CORRUGATED POLYETHYLENE PIPE UNLESS OTHERWISE NOTED.
- FLARED END SECTIONS SHALL BE PIPE MANUFACTURER STANDARD CONSTRUCTED FROM THE SAME MATERIAL AS THE PIPE.
- ALL DRAIN LINES SHOWN SHALL BE 12" DIAMETER UNLESS OTHERWISE NOTED.
- ROOF DRAIN PIPING CAN BE ADJUSTED / ALTERED FROM LAYOUT SHOWN TO TIE INTO THEIR RESPECTIVE CHAMBER SYSTEMS AS NEEDED. SEE DETAIL SHEET FOR UNIT TO SYSTEM REFERENCE (EXAMPLE: DW-2 IS FOR UNIT 5 ROOF)

SCALE: 1" = 20'



REVISIONS

NO.	DATE	DESCRIPTION	BY	CHKD.



Grading, Drainage & Utilities Plan

Multifamily Development

218-220 MAIN STREET
MEDWAY, MA 02053

Prepared For:

Harmony Estates LLC



60 MILK STREET, SUITE 208, WESTBOROUGH, MA 01581 | 908.871.2020
500 CUMMINGS CENTER, SUITE 550, BEVERLY, MA 01915 | 978.299.0447
www.MeridianAssoc.com

Date:

June 9, 2020

Scale:

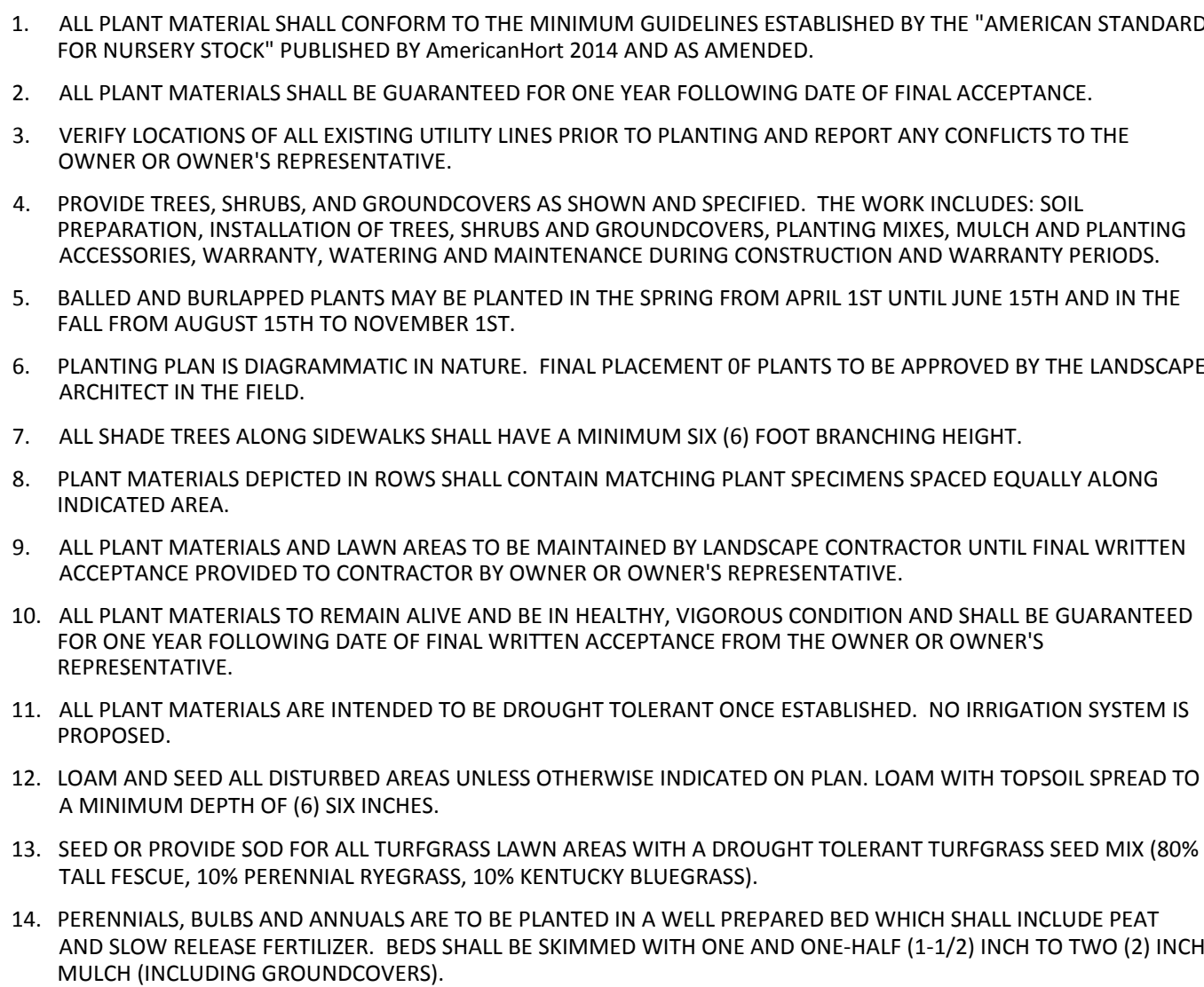
1"=20'

Project No.

8521

Sheet No.

C-4
OF



ABBREVIATIONS:
B&B: BALL AND BURLAP CAL: CALIPER DR: DEER RESISTANT DT: DROUGHT TOLERANT N: NATIVE OC: ON CENTER ST: SALT TOLERANT

MASSACHUSETTS
Jacqueline B. Traher
REGISTERED LANDSCAPE ARCHITECT
NO. 1536

LANDSCAPE PLAN

Multifamily Development

218-220 MAIN STREET
MEDWAY, MA 02053

Prepared For:
Harmony Estates LLC



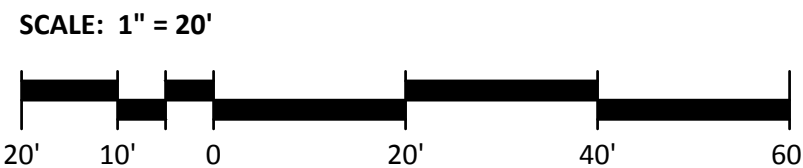
**MERIDIAN
ASSOCIATES**

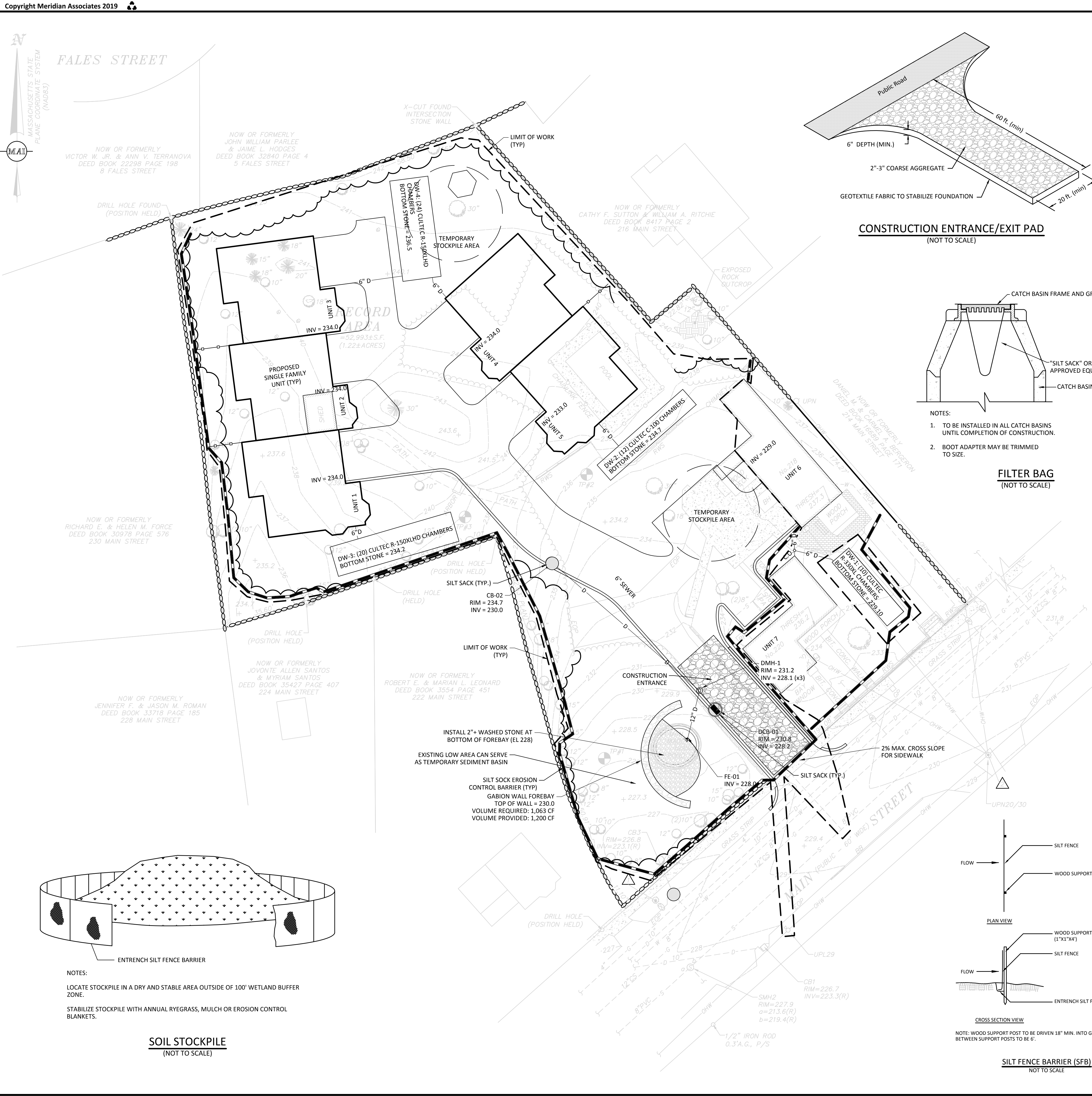
60 MILK STREET, SUITE 208, WESTBOROUGH, MA 01581 | 508.871.5500
 590 CUMMINGS CENTER, SUITE 590, BEVERLY, MA 01915 | 978.251.2500
www.MeridianAssoc.com

Date:
June 9, 2020

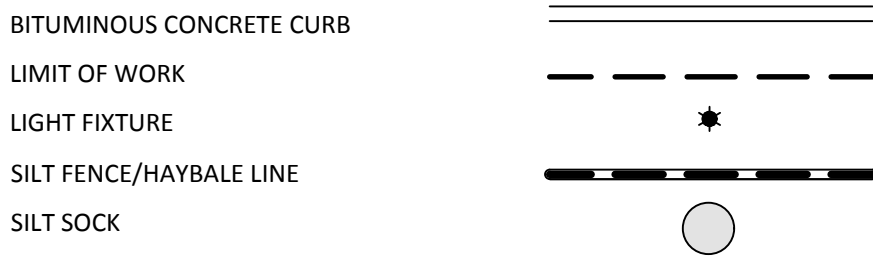
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8521
Sheet No. C-5
OF





EROSION CONTROL LEGEND:



EROSION CONTROL AND STABILIZATION PROGRAM

THE CONTRACTOR SHALL IMPLEMENT THE SWPPP FOR THE PROJECT INCLUDING INSTALLATION AND MAINTENANCE OF ALL CONTROL MEASURES OUTLINED IN THE STORMWATER POLLUTION PREVENTION PLAN INCLUDING EROSION CONTROL BARRIERS, ANTI-TRACKING PADS AND OTHER EROSION AND SEDIMENTATION CONTROLS, STORMWATER MANAGEMENT CONTROLS, SOLID WASTE CONTROLS AND SPILL PREVENTION CONTROLS.

THE LOCATION OF EROSION CONTROL BARRIERS AND SEDIMENTATION AND POLLUTION CONTROL SYSTEMS SHOWN ON DRAWINGS ARE INTENDED TO BE MINIMUM REQUIREMENTS AND A GUIDE FOR THE PLACEMENT OF THESE BARRIERS. OTHER MEASURES MAY BE WARRANTED BASED UPON EXPERIENCE AT THE SITE. WHEN NO SEDIMENTATION CONTROL SYSTEM IS SHOWN ON THE DRAWING, THE CONTRACTOR SHALL BE REQUIRED TO ESTABLISH A SYSTEM TO PREVENT SILTATION OR POLLUTION OF ADJACENT PROPERTY, WETLANDS OR BUFFER ZONES. THE SYSTEMS SHOWN SHALL NOT RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITY OF PLACING ADDITIONAL BARRIERS OR REPLACING BARRIERS AS REQUIRED BY SITE CONDITIONS. THE IMPLEMENTATION, MAINTENANCE, REPLACEMENT AND ADDITIONS TO THESE SYSTEMS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. AS CONSTRUCTION PROGRESSES AND SEASONAL CONDITIONS DICTATE, MORE SILTATION CONTROL FACILITIES MAY BE REQUIRED. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ADDRESS NEW CONDITIONS THAT MAY BE CREATED.

PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ON THE SITE, THE OWNER SHALL DESIGNATE AN EROSION CONTROL INSPECTOR TO SERVE DURING THE CONSTRUCTION PROCESS WITH RESPONSIBILITIES IN ACCORDANCE WITH THE SWPPP.

ALL SLOPES WITH SURFACE GRADES EQUAL TO OR STEEPER THAN 3:1 SHALL BE STABILIZED WITH JUTE MATTING.

REQUIRED SEDIMENTATION CONTROL FACILITIES MUST BE CONSTRUCTED, CLEARLY VISIBLE, AND IN OPERATION PRIOR TO CONSTRUCTION. UNLESS OTHERWISE NOTED, SUCH FACILITIES SHALL REPRESENT THE LIMIT OF WORK. NO CONSTRUCTION ACTIVITY IS TO OCCUR BEYOND THE LIMIT OF WORK AT ANY TIME DURING THE CONSTRUCTION PERIOD.

TEMPORARY DIVERSION DITCHES, PERMANENT DITCHES, CHANNELS, EMBANKMENTS AND ANY DENUDED SURFACE WHICH WILL BE EXPOSED FOR A PERIOD OF ONE MONTH OR MORE SHALL BE CONSIDERED CRITICAL STABILIZATION AREAS. THESE AREAS SHALL BE MULCHED WITH STRAW. MULCH SHALL BE SPREAD UNIFORMLY IN A CONTINUOUS BLANKET OF SUFFICIENT THICKNESS TO COMPLETELY HIDE THE SOIL FROM VIEW.

SEDIMENT CONTROL MEASURES SHALL BE PROVIDED AROUND ALL EXISTING AND PROPOSED DRAINAGE STRUCTURES AS DETAILED ON THE DRAWINGS OR AS REQUIRED TO PREVENT SEDIMENTATION.

HAYBALE CHECK DAMS ARE TO BE PROVIDED ON TWO HUNDRED (200) FOOT SPACING WITHIN ALL DRAINAGE SWALES AND DITCHES AND AT UPSTREAM SIDES OF ALL DRAINAGE INLETS.

HAYBALES, SILT FENCE OR OTHER SILTATION CONTROLS SHALL BE MAINTAINED IN A SATISFACTORY CONDITION UNTIL CONSTRUCTION IS COMPLETED AND THE POTENTIAL FOR ON-SITE EROSION HAS PASSED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL SILTATION CONTROLS. THE CONTRACTOR SHALL NOT REMOVE ANY SILTATION CONTROLS UNTIL AUTHORIZED (IN WRITING) BY THE OWNER OR HIS REPRESENTATIVE.

AT THE START OF SOIL DISTURBANCE, THERE SHALL BE AN ADEQUATE RESERVE OF SILT FENCE AND HAY BALES IN GOOD CONDITION, AND SUFFICIENT STAKES FOR STAKING THESE BALES.

DENUDED SLOPES SHALL NOT BE LEFT EXPOSED FOR EXCESSIVE PERIODS OF TIME SUCH AS THE INACTIVE WINTER SEASONS.

ALL DISTURBED SLOPES EITHER NEWLY CREATED OR EXPOSED PRIOR TO OCTOBER 15 SHALL BE SEEDED OR PROTECTED BY THAT DATE.

LOAMING AND SEEDING OR MULCHING OF NON-PAVEMENT AREAS SHALL TAKE PLACE AS SOON AS PRACTICABLE.

ALL STOCKPILE AREAS SHALL BE LOCATED WITHIN LIMIT OF WORK AND STABILIZED TO PREVENT EROSION. STABILIZED CONSTRUCTION ACCESS PADS SHALL BE INSTALLED AT THE CONSTRUCTION DRIVEWAY ONTO THE PUBLIC WAY TO PREVENT THE TRACKING OF SEDIMENT OFF-SITE.

EROSION CONTROL BARRIER SHALL BE INSTALLED AS INDICATED ON THE PLANS AND AS REQUESTED BY THE OWNER OR HIS REPRESENTATIVE TO ADDRESS FIELD CONDITIONS.

ALL POINTS OF CONSTRUCTION EGRESS AND INGRESS SHALL BE MAINTAINED TO PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADS.

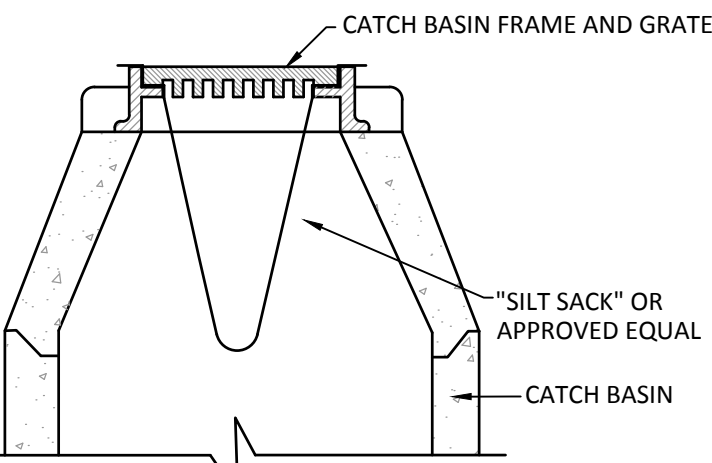
DEWATERING ACTIVITIES SHALL BE CONDUCTED SUCH THAT ANY WATER PUMPED FROM EXCAVATIONS WILL BE CONVEYED BY HOSE TO AN UPLAND AREA (MINIMUM 125 FEET FROM ANY WETLAND RESOURCE AREA) AND DISCHARGED INTO HAY BALES CORRALS OR SEDIMENTATION BAGS.

EROSION CONTROL BARRIER SHALL BE INSTALLED ALONG EDGE OF PROPOSED DEVELOPMENT AS SHOWN ON THE PLAN PRIOR TO THE COMMENCEMENT OF CONSTRUCTION OPERATIONS.

SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED ON A DAILY BASIS AND AFTER EACH STORM EVENT OF 0.5 INCH OR GREATER DURING CONSTRUCTION TO INSURE THAT CHANNELS, DITCHES AND PIPES ARE CLEAR OF DEBRIS AND THAT THE EROSION BARRIERS ARE INTACT.

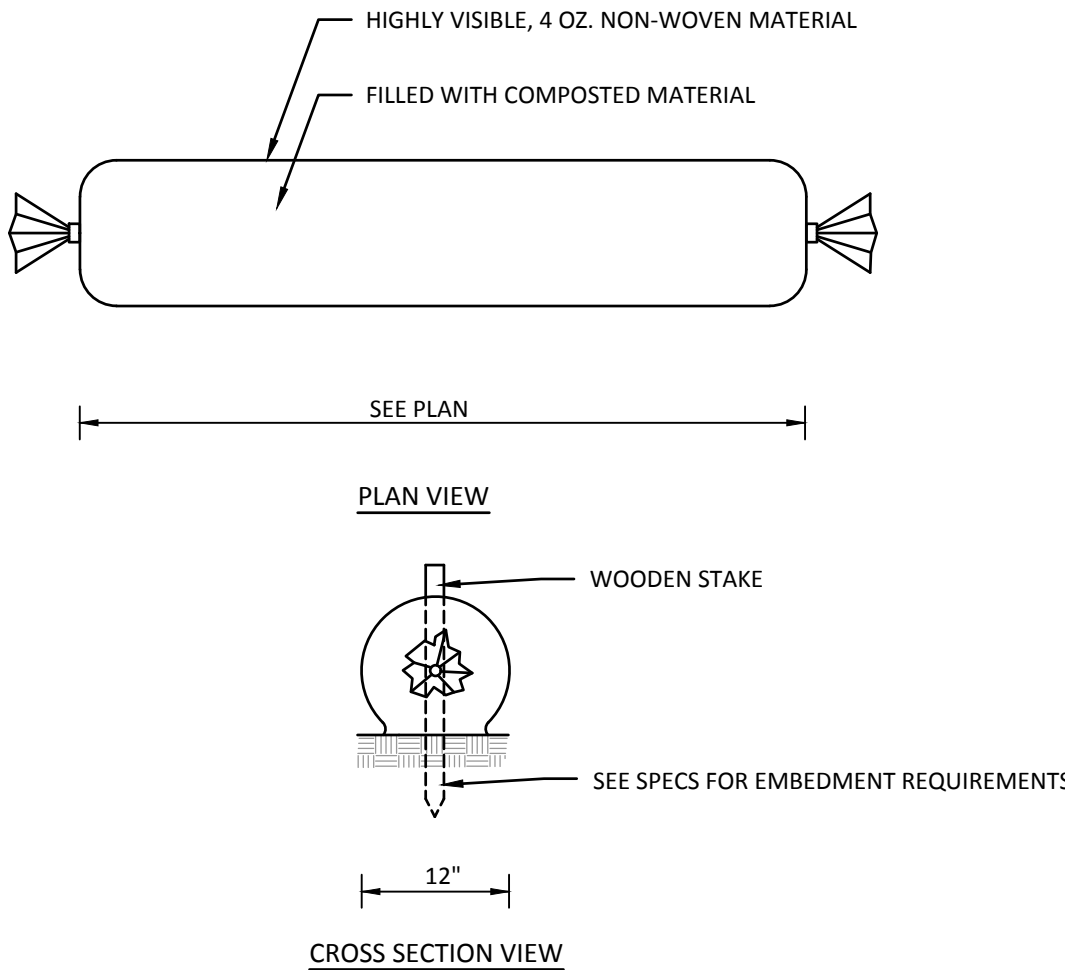
SANITARY WASTES GENERATED DURING CONSTRUCTION WILL BE DISPOSED OFFSITE BY AN APPROVED LICENSED WASTE HAULER.

CONSTRUCTION SITE WASTE MATERIALS WILL BE PROPERLY STORED ON SITE AND DISPOSED OFFSITE AT A LOCATION IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.



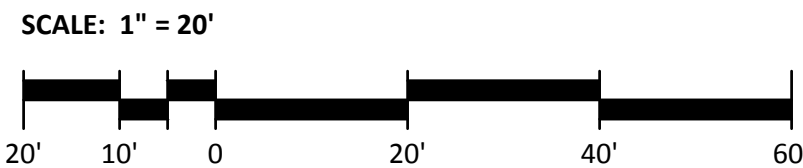
- NOTES:
- TO BE INSTALLED IN ALL CATCH BASINS UNTIL COMPLETION OF CONSTRUCTION.
 - BOOT ADAPTER MAY BE TRIMMED TO SIZE.

FILTER BAG
(NOT TO SCALE)

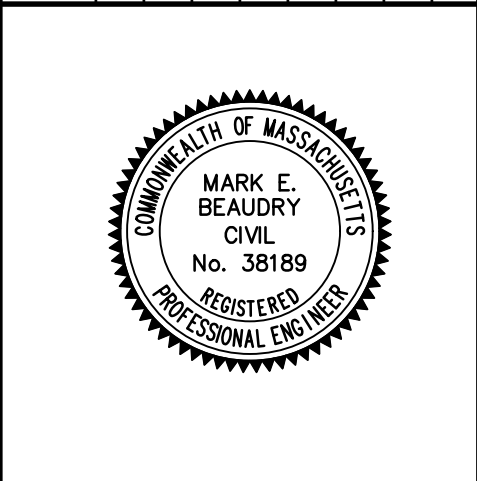


NOTE:
THE FILTER SOCK SHALL BE STAKED ON ENDS AND THROUGH THE CENTER AT 10 FT INTERVALS. PROVIDE UPSLOPE RETURNS AT ENDS.

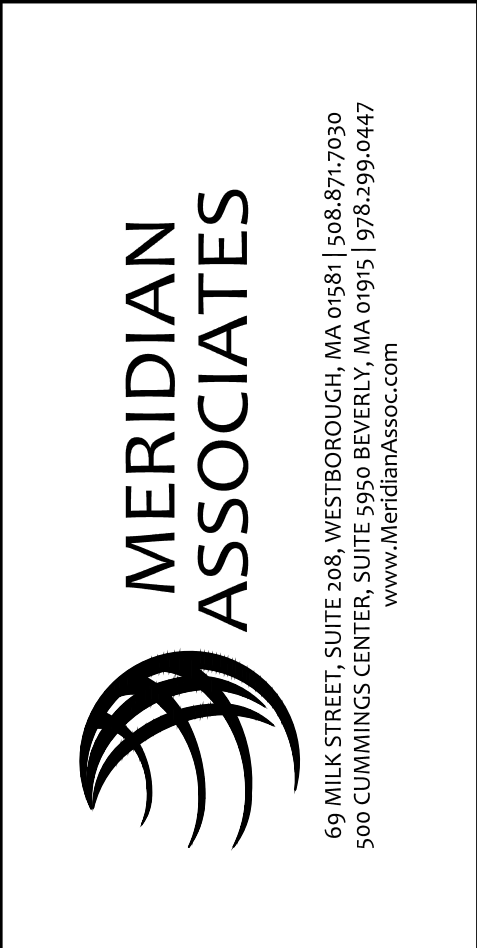
COMPOST FILTER SOCK - SEDIMENT CONTROL
(NOT TO SCALE)



REVISIONS	NO.	DATE	DESCRIPTION	BY	CHKD.

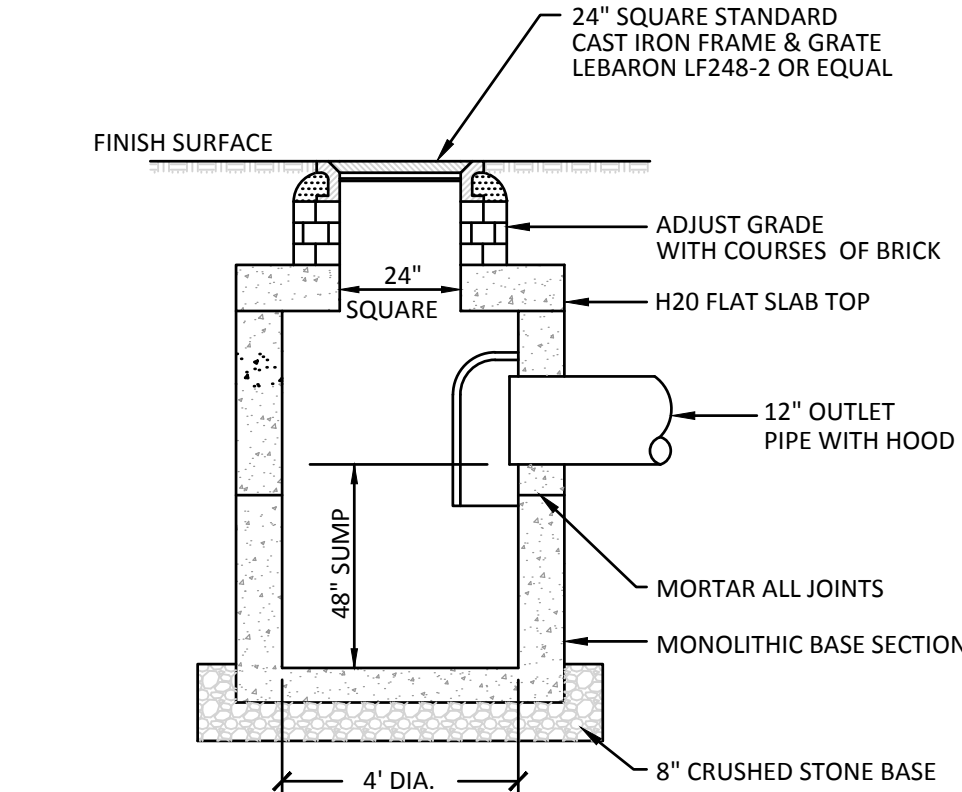


Erosion & Sediment Control Plan
Multifamily Development
218-220 MAIN STREET
MEDWAY, MA 02053
Prepared For:
Harmony Estates LLC



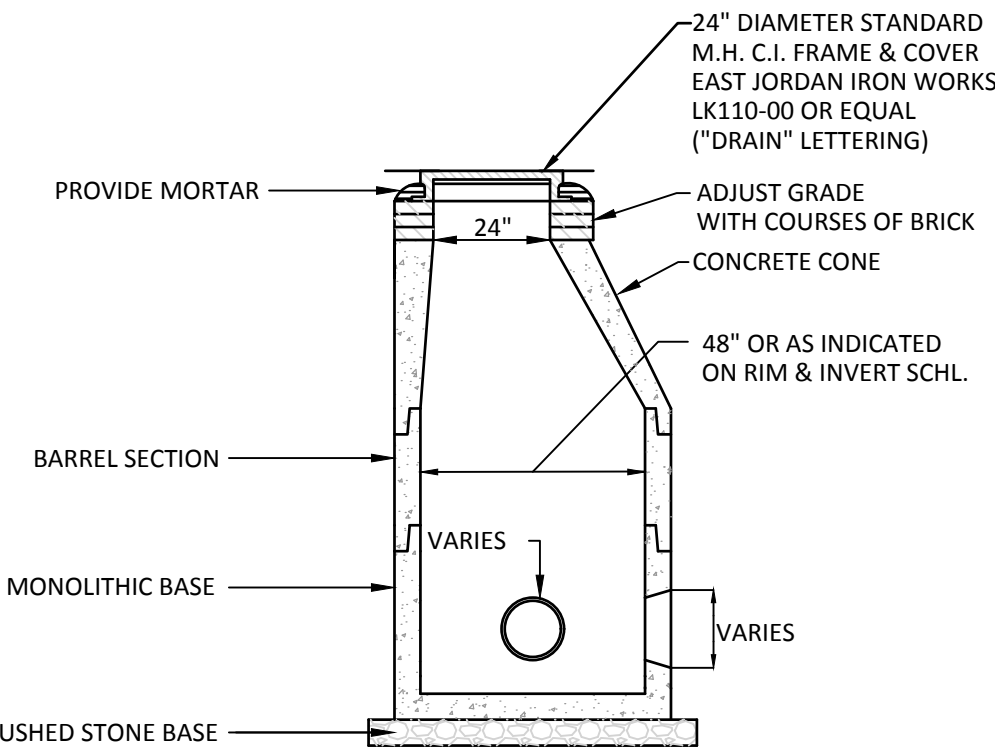
Date:	June 9, 2020
Scale:	1"=20'
Project No.	8521
Sheet No.	C-6 OF

Plotted: 6/11/2020 6:39 PM
Saved Path: G:\18521 MEDWAY\DWG\B521_DET.DWG



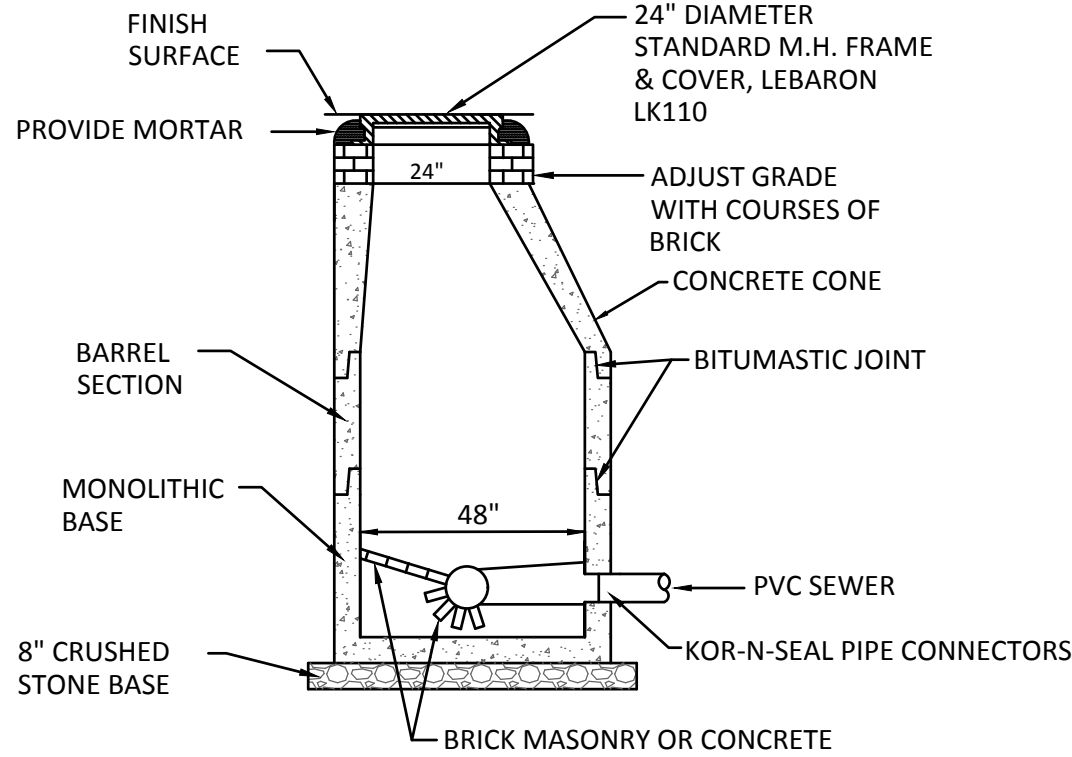
- NOTES:
1. STRUCTURE DESIGN TO LATEST ASTM C478.
 2. REINFORCING STEEL CONFORMS TO LATEST ASTM A 185.
 3. CONCRETE COMPRESSIVE STRENGTH - 4,000 PSI @ 28 DAYS.
 4. FLAT SLAB TOP AASHTO H-20.5. ONE POUR MONOLITHIC BASE.

PRECAST CONCRETE CATCH BASIN W/ TRAP
(NOT TO SCALE)



- NOTES:
1. MANHOLE DESIGN TO LATEST ASTM C478.
 2. REINFORCING STEEL CONFORMS TO LATEST ASTM A 185.
 3. CONCRETE COMPRESSIVE STRENGTH - 4,000 PSI @ 28 DAYS.
 4. ONE POUR MONOLITHIC BASE.
 5. STEPS - STEEL REINFORCED COPOLYMER POLYPROPYLENE PLASTICS (PS2-PFSL M.A. INDUSTRIES, INC.) CONFORMS TO LATEST ASTM C478 PARA-12.
 6. BITUMASTIC BUTYL RUBBER FOR JOINTS CONFORM TO LATEST ASTM C443 AND FED SS-S-201A SPEC.

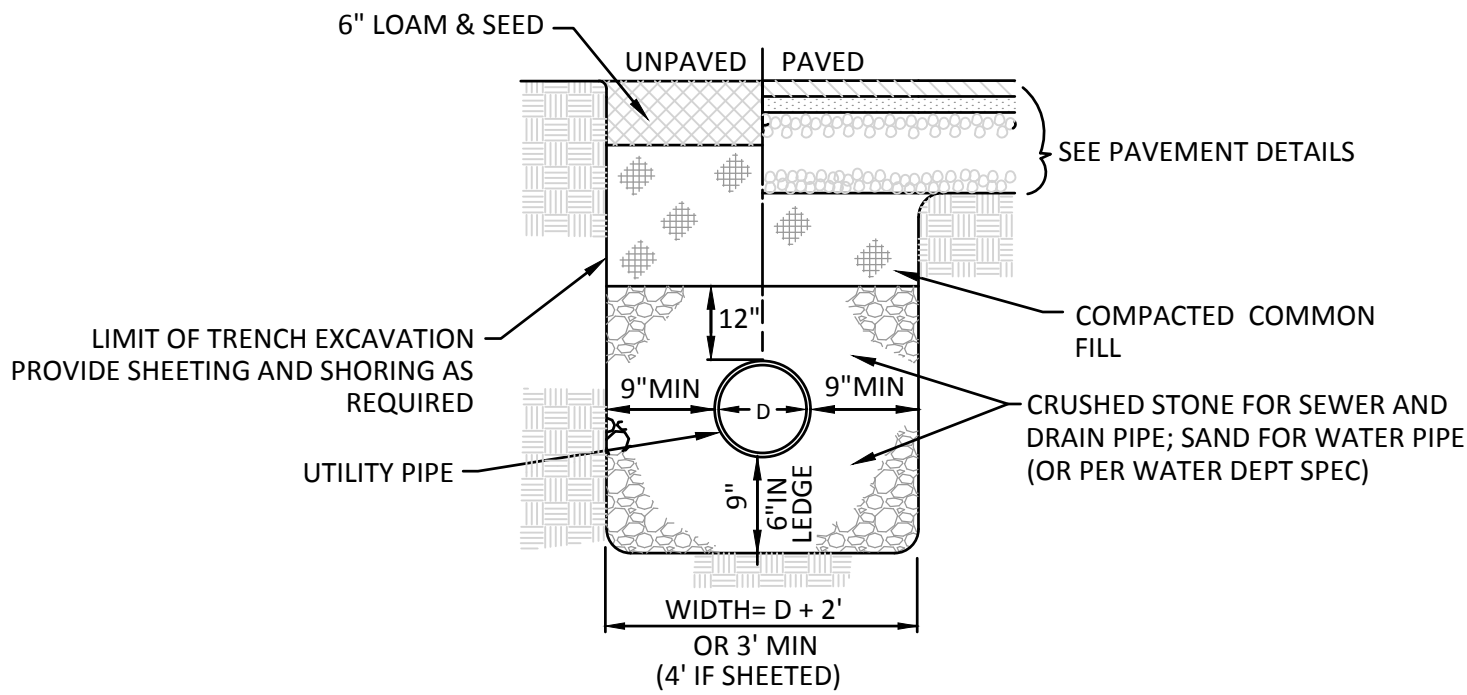
PRECAST CONCRETE DRAIN MANHOLE
(NOT TO SCALE)



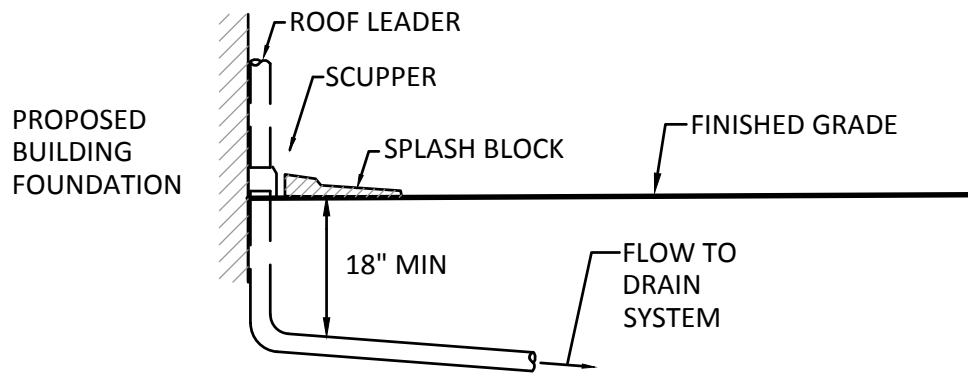
- NOTES:
1. MANHOLE DESIGN SHALL CONFORM TO LATEST ASTM C478.
 2. REINFORCING STEEL SHALL CONFORM TO LATEST ASTM A 185.
 3. CONCRETE COMPRESSIVE STRENGTH-4,000 PSI @ 28 DAYS.
 4. ONE POUR MONOLITHIC BASE.
 5. STEPS-STEEL REINFORCED COPOLYMER POLYPROPYLENE PLASTIC (PS2-PFSL M.A. INDUSTRIES, INC.) CONFORMING TO LATEST ASTM C478 PARA-12.
 6. KOR-N-SEAL FLEXIBLE PIPE CONNECTORS SHALL CONFORM TO LATEST ASTM C923, A167.

SEWER MANHOLE DETAIL (SMH)
(NOT TO SCALE)

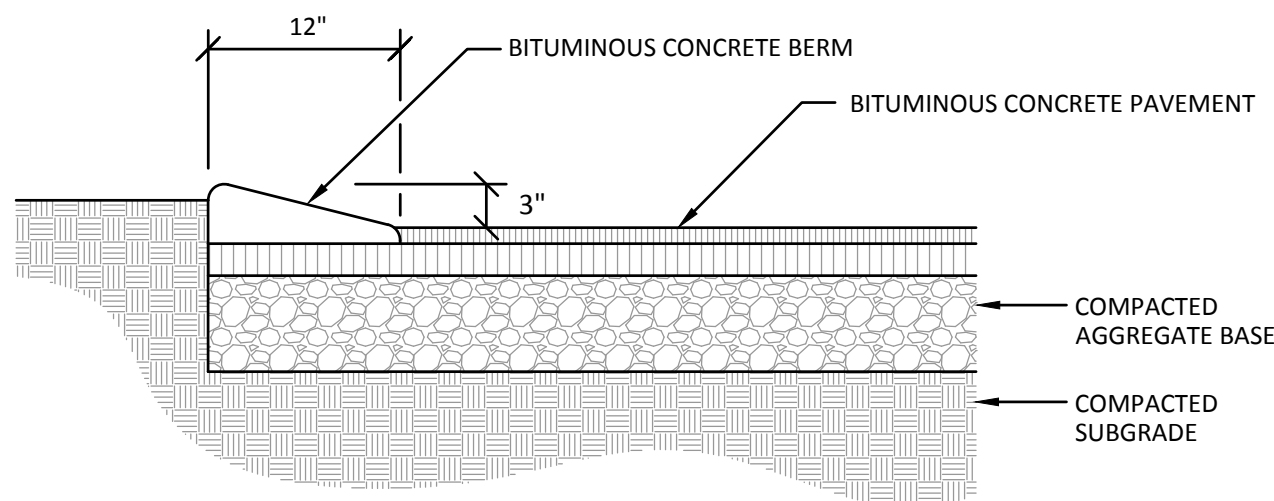
TRENCH WIDTH (W)		
D	W	W
DIAMETER OF PIPE	UNSHEETED	SHEETED
TO 12"	3'	4'
14" TO 24"	4'	5'
30" TO 36"	5'	6'



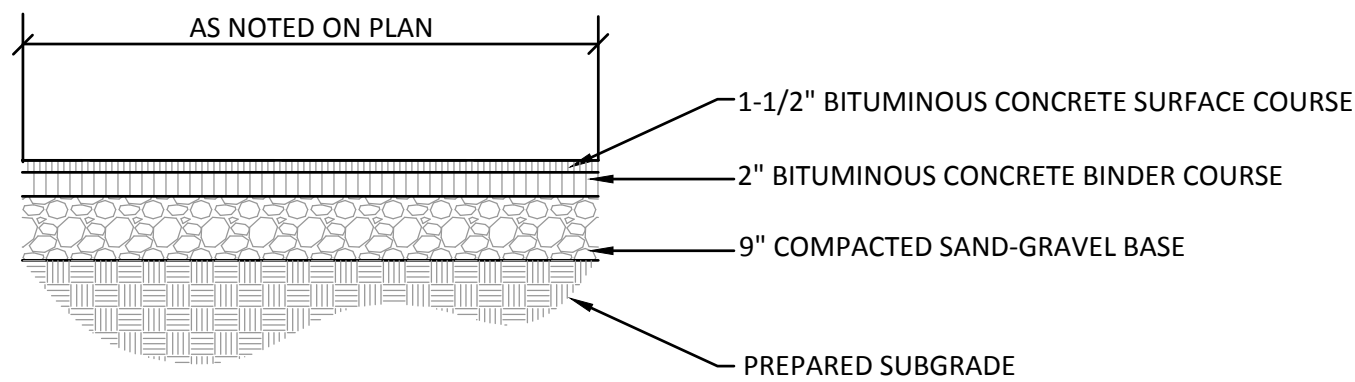
TYPICAL TRENCH SECTION
(NOT TO SCALE)



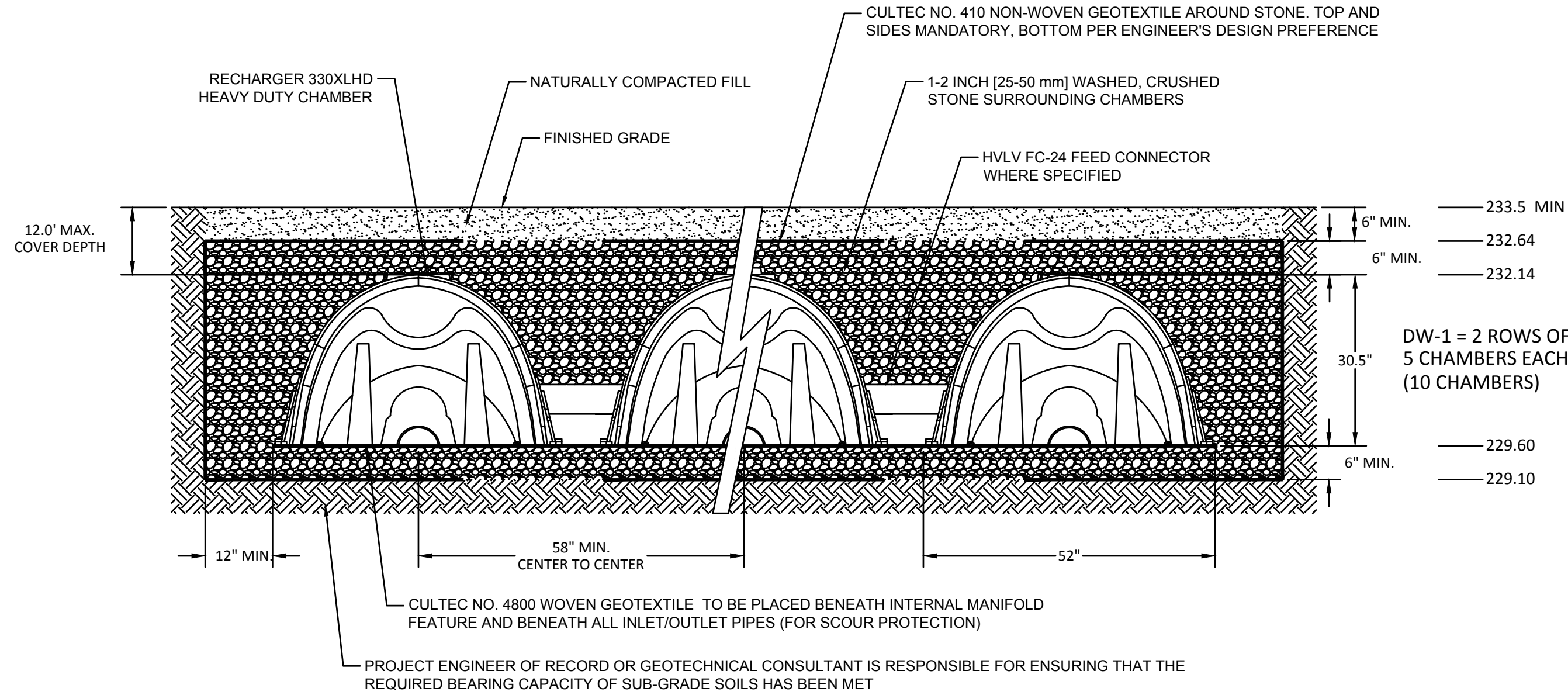
ROOF DOWNSPOUT CONNECTION
(NOT TO SCALE)



BITUMINOUS CONCRETE BERM
NOT TO SCALE

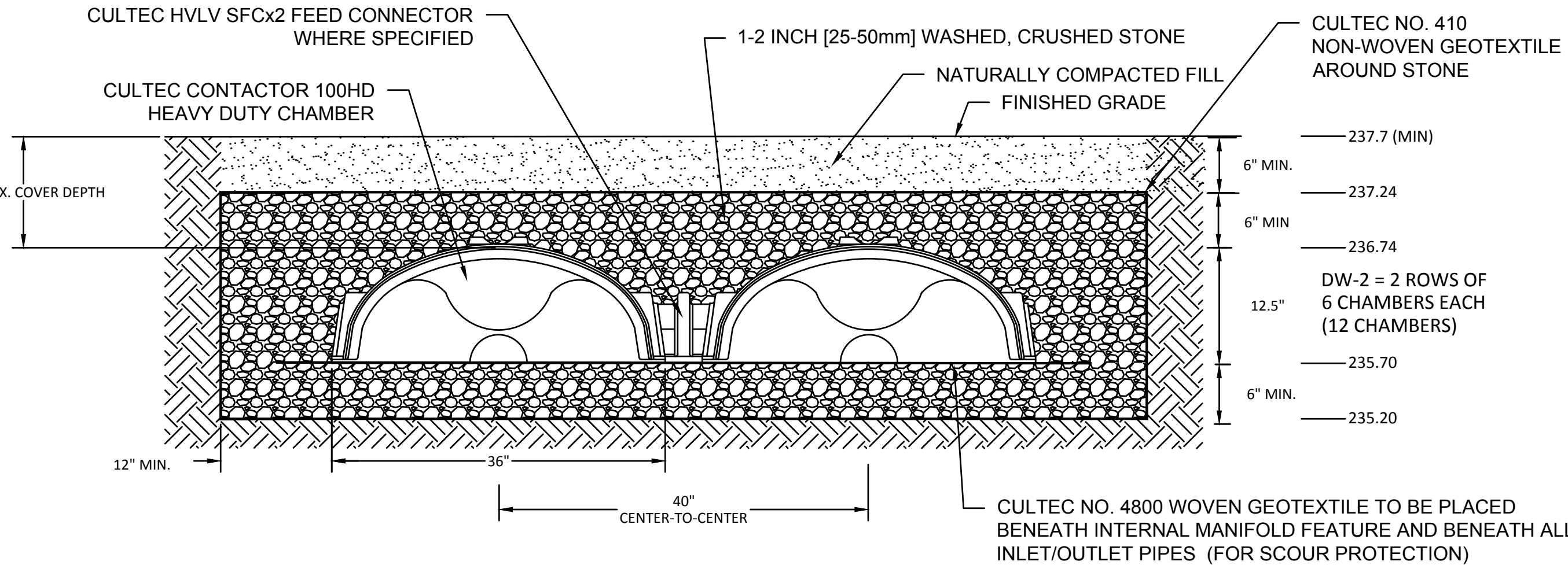


BITUMINOUS CONCRETE PAVEMENT SECTION
(NOT TO SCALE)



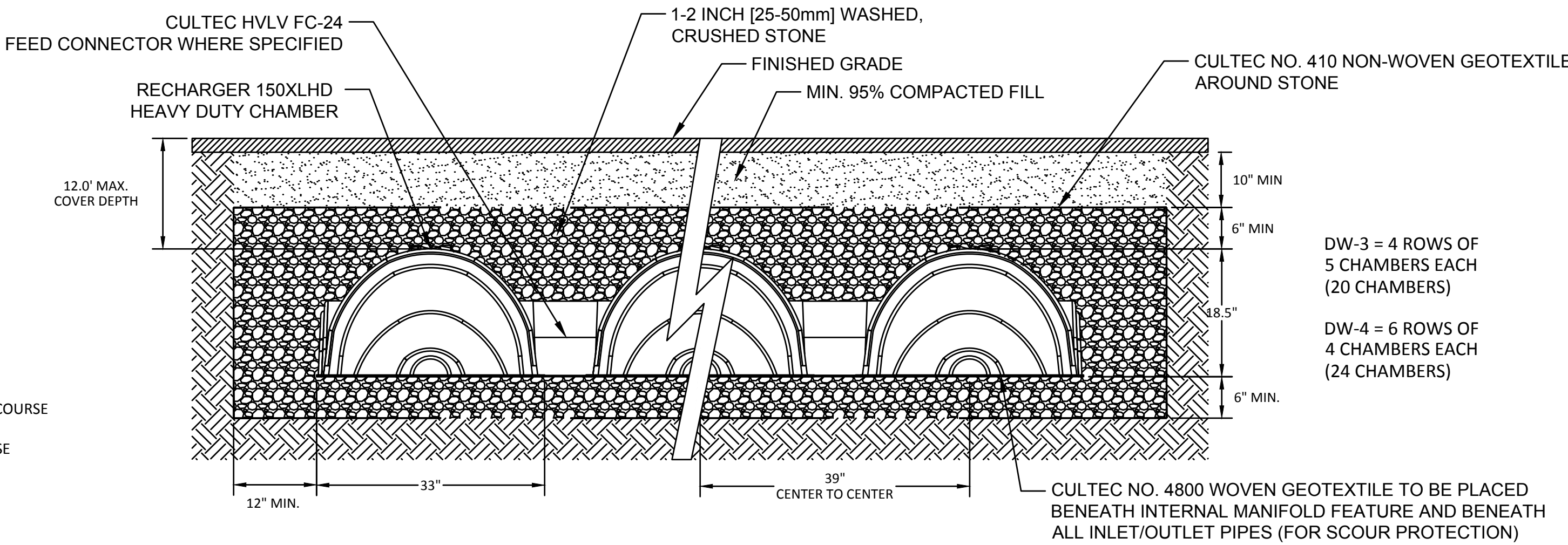
CULTEC RECHARGER 330XLHD INFILTRATION CHAMBERS (DW-1)
(NOT TO SCALE)

NOTE:
DW-1 IS TO CAPTURE ROOF RUNOFF
FROM EXISTING HOUSES 218 & 220
(UNITS 6 & 7).



CULTEC 100HD INFILTRATION CHAMBERS (DW-2)
(NOT TO SCALE)

NOTE:
DW-2 IS TO CAPTURE ROOF RUNOFF FROM UNIT 5.



CULTEC 150XLHD INFILTRATION CHAMBERS (DW-3, DW-4)
(NOT TO SCALE)

DW-3 AND DW-4 ELEVATION SCHEDULE					
SYSTEM	BOTTOM OF STONE	BOTTOM OF CHAMBER	TOP OF CHAMBER	TOP OF STONE	MIN. GROUND SURFACE
DW-3	235.5	236.0	237.54	238.04	239.0
DW-4	236.5	237.0	238.5	239.0	240.0

NOTE:
DW-3 IS TO CAPTURE ROOF RUNOFF FROM UNITS 1 & 2.
DW-4 IS TO CAPTURE ROOF RUNOFF FROM UNITS 3 & 4

REVISIONS

NO.	DATE	DESCRIPTION	BY	CHKD.



SITE DETAILS
Multifamily Development
218-220 MAIN STREET
MEDWAY, MA 02053
Prepared For:
Harmony Estates LLC

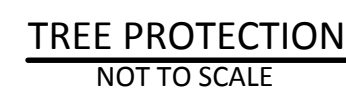
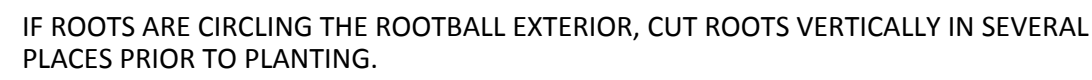


Date:
June 9, 2020

Scale:
N.T.S

Project No.
8521

Sheet No.
C-7
7 OF 8



Sheet No. C-8
8 OF

Medway Multifamily Development (Duplex) 218-220 Main Street

DESIGN INTENT
NOT FOR CONSTRUCTION
12 MARCH 2020



PACIFIC-VISIONS STUDIO LLC
ARCHITECTURAL DESIGN
38 Thompson Ave.
Bristol, RI
774.633.1272
Pacific-Visions.com



CIVIL ENGINEER
Drew Garvin
69 Milk Street, Suite 208
Westborough, MA 01581
(508) 871-7030 x34

Medway Multifamily Development (Duplex)
218-220 Main Street
218-220 Main Street
Medway, MA 02053

DESIGN INTENT
NOT FOR CONSTRUCTION
12 MARCH 2020

COVER



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38 Thompson Ave.
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774.633.1272
Pacifi-Visions.com

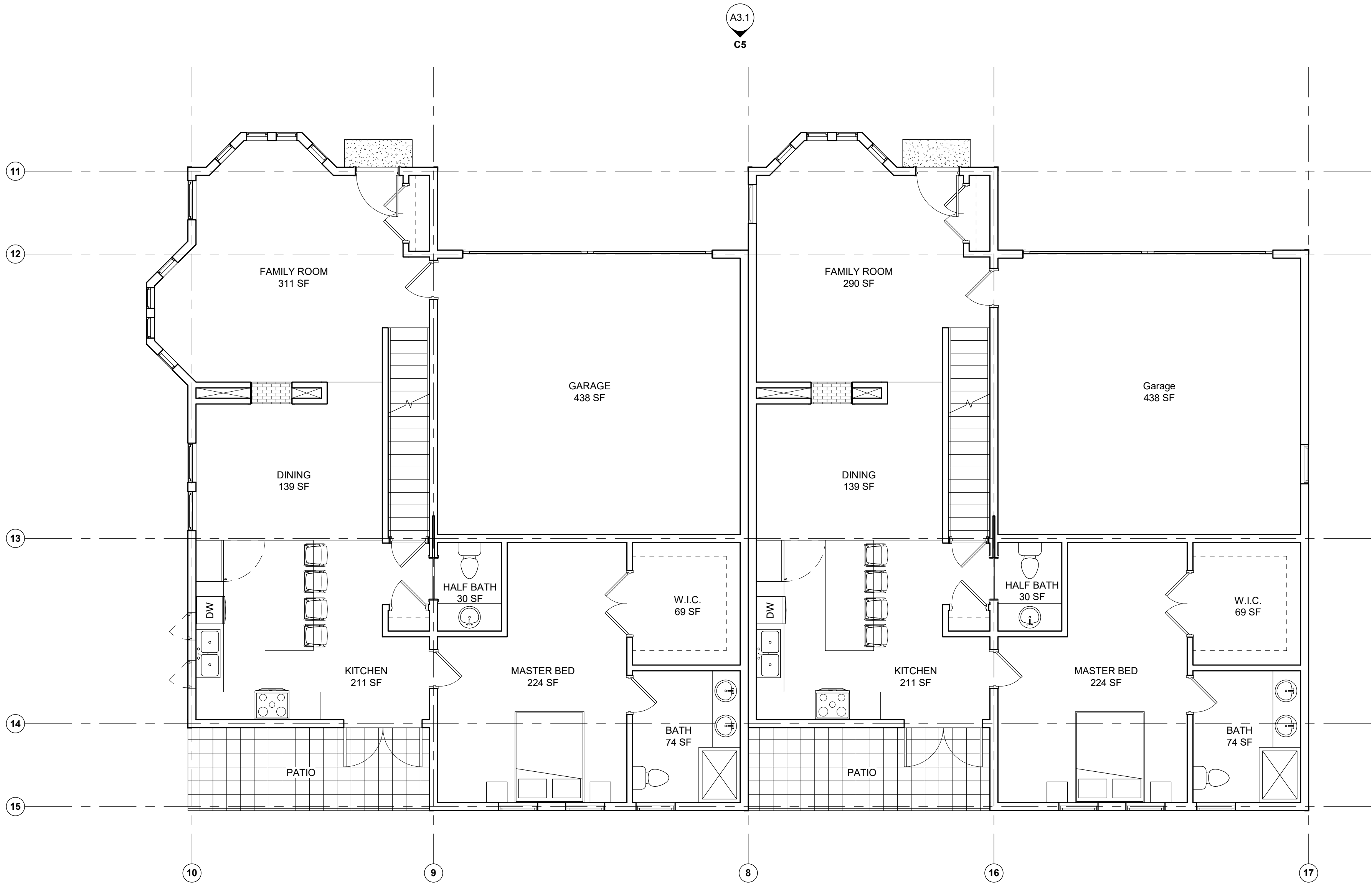
Medway Multifamily Development (Duplex)
218-220 Main Street

218-220 Main Street
Medway, MA 02053

DESIGN INTENT
NOT FOR CONSTRUCTION
12 MARCH 2020

FIRST FLOOR PLAN

A1.1



1 LEVEL 1 FIRST FLOOR PLAN
A1.1 Scale: 3/16" = 1'-0"



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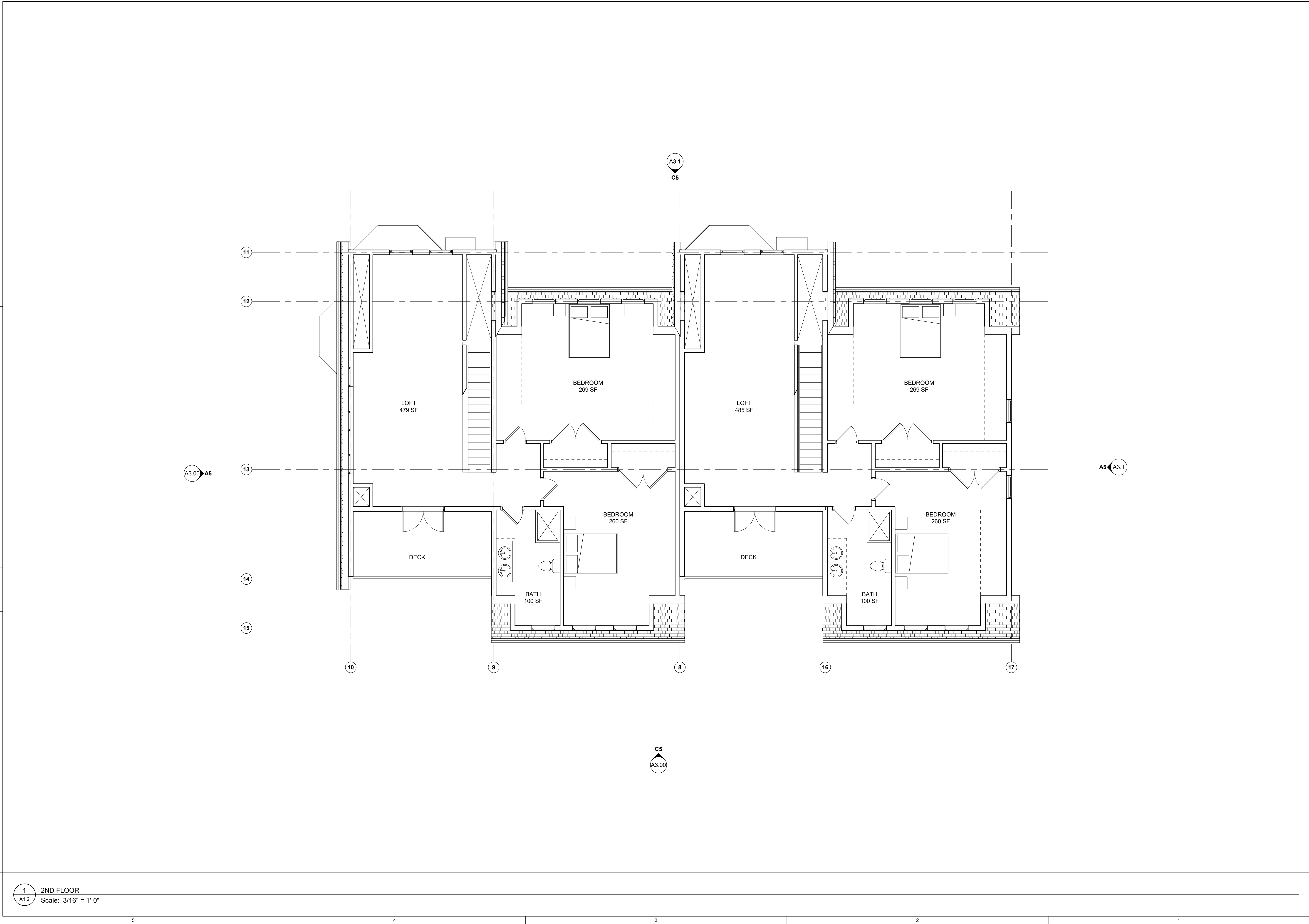
Medway Multifamily Development (Duplex)
218-220 Main Street

218-220 Main Street
Medway, MA 02053

DESIGN INTENT
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12 MARCH 2020

SECOND FLOOR PLAN

A1.2





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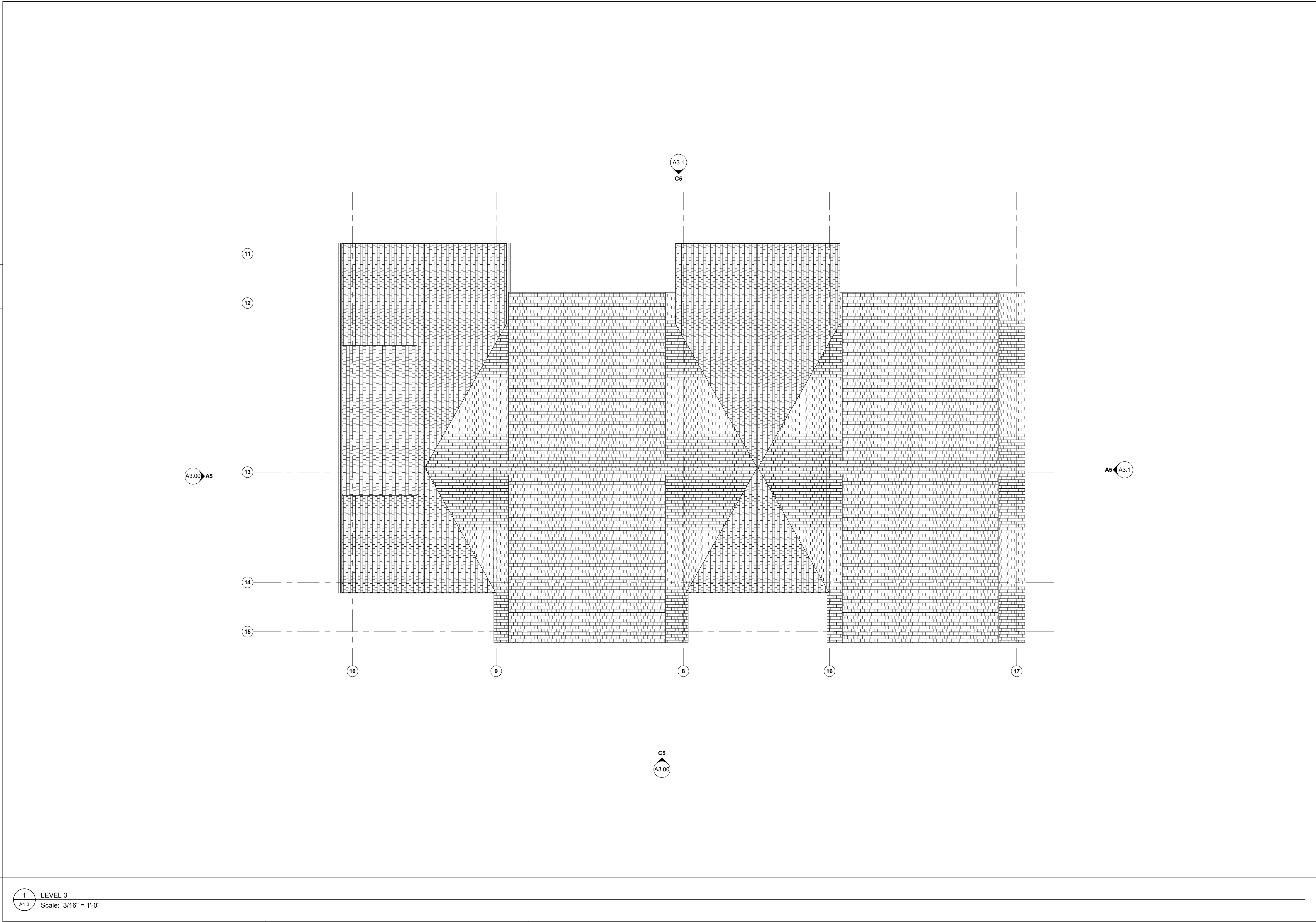
Medway Multifamily Development (Duplex)
218-220 Main Street

218-220 Main Street
Medway, MA 02053

DESIGN INTENT
NOT FOR CONSTRUCTION
12 MARCH 2020

ROOF PLAN

A1.3





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Medway Multifamily Development (Duplex)
218-220 Main Street
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Medway, MA 02053

DESIGN INTENT
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12 MARCH 2020

EXTERIOR ELEVATIONS

A3.00





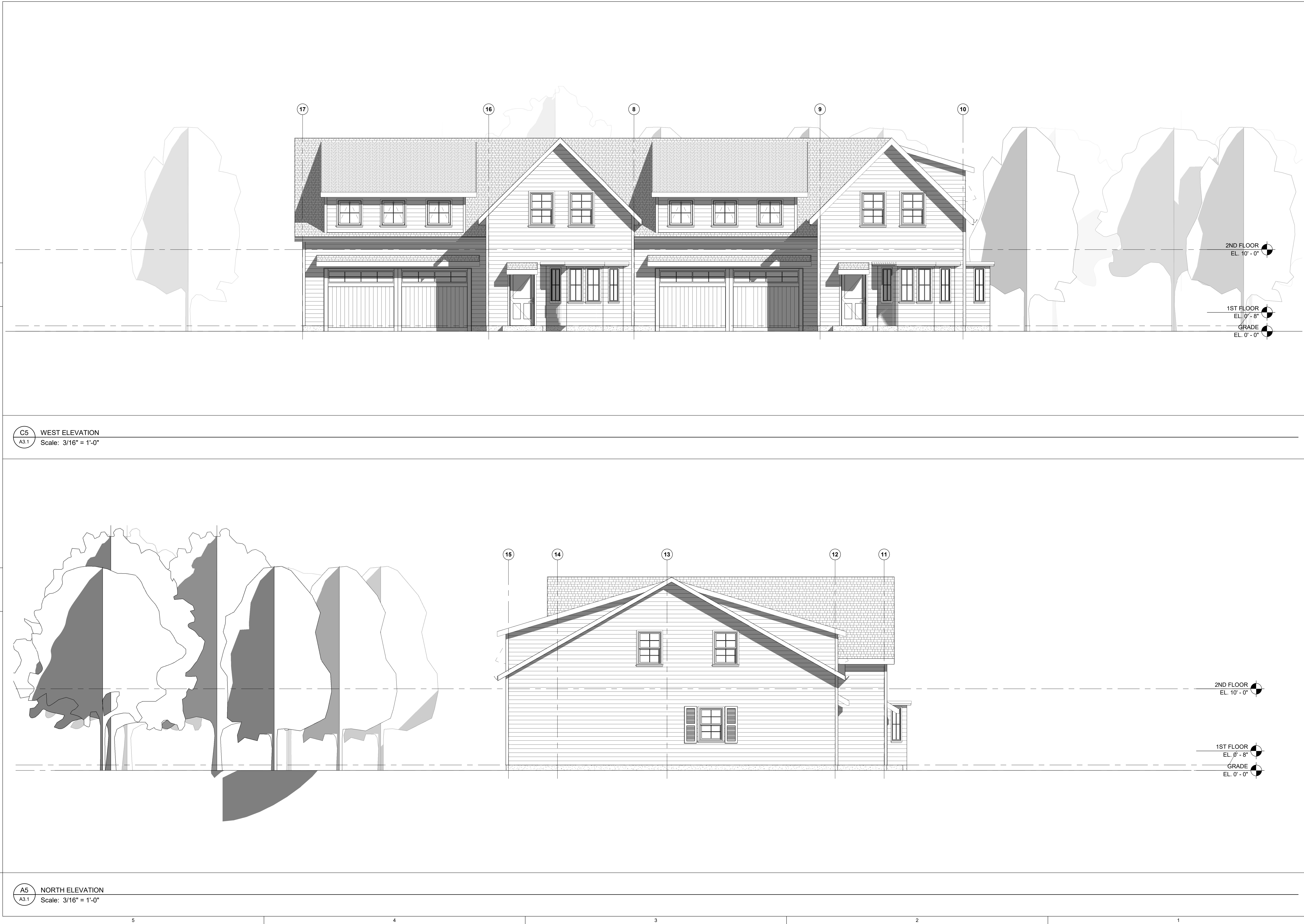
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ARCHITECTURAL DESIGN
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Medway Multifamily Development (Duplex)
218-220 Main Street

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Medway, MA 02053

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12 MARCH 2020

EXTERIOR ELEVATIONS





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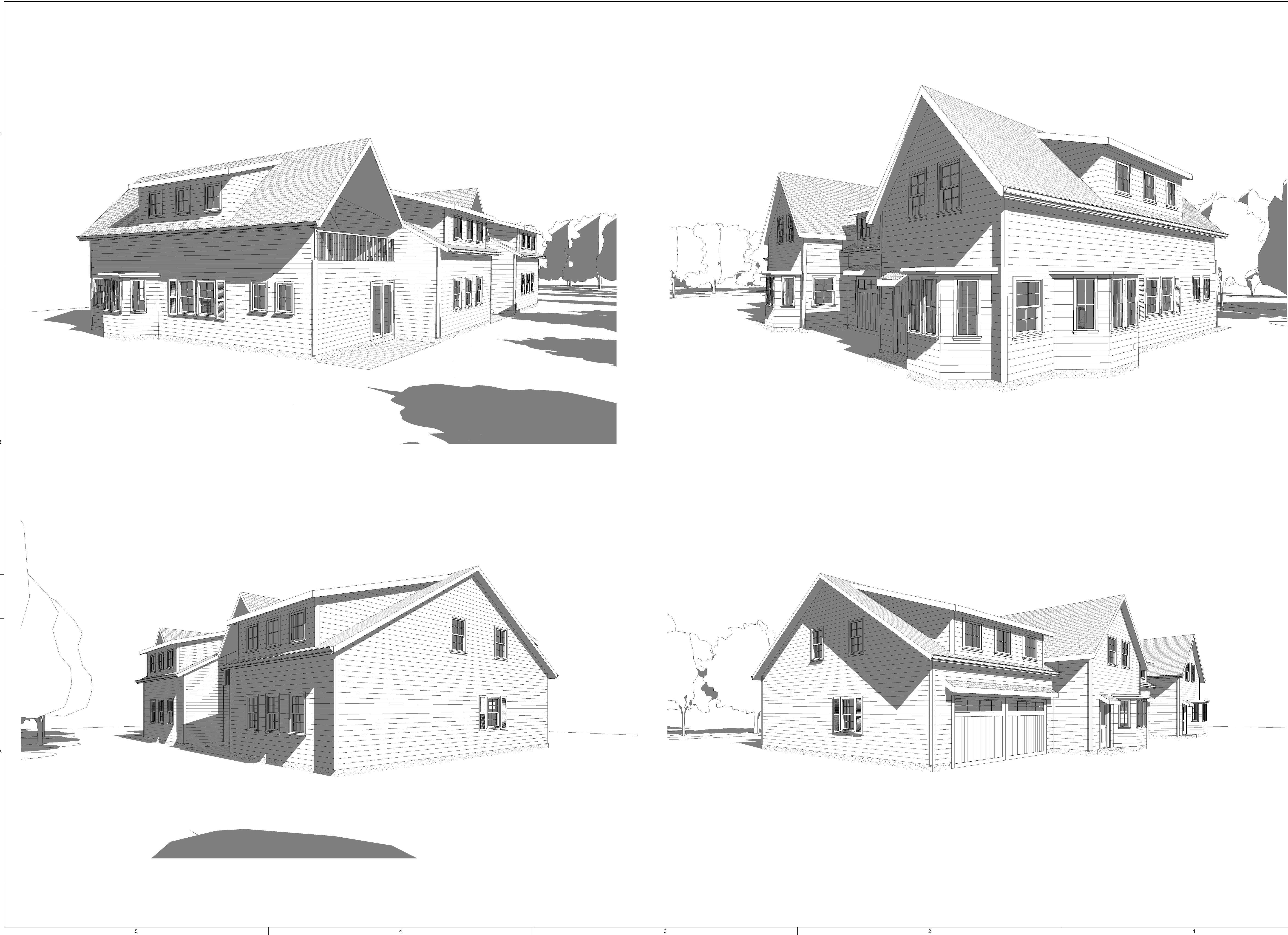
Medway Multifamily Development (Duplex)
218-220 Main Street

218-220 Main Street
Medway, MA 02053

DESIGN INTENT
NOT FOR CONSTRUCTION
12 MARCH 2020

3D VIEWS

A4.0



Medway Multifamily Development (Triplex) 218-220 Main Street

DESIGN INTENT
NOT FOR CONSTRUCTION
11 MAY 2020



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ARCHITECTURAL DESIGN
38 Thompson Ave.
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Pacific-Visions.com



CIVIL ENGINEER
Drew Garvin
69 Milk Street, Suite 208
Westborough, MA 01581
(508) 871-7030 x34

Medway Multifamily Development (Triplex)
218-220 Main Street
218-220 Main Street
Medway, MA 02053

DESIGN INTENT
NOT FOR CONSTRUCTION
11 MAY 2020

COVER



PACIFIC-VISIONS STUDIO LLC
ARCHITECTURAL DESIGN
38 Thompson Ave.
Bristol, RI
774.633.1272
Pacifi-Visions.com

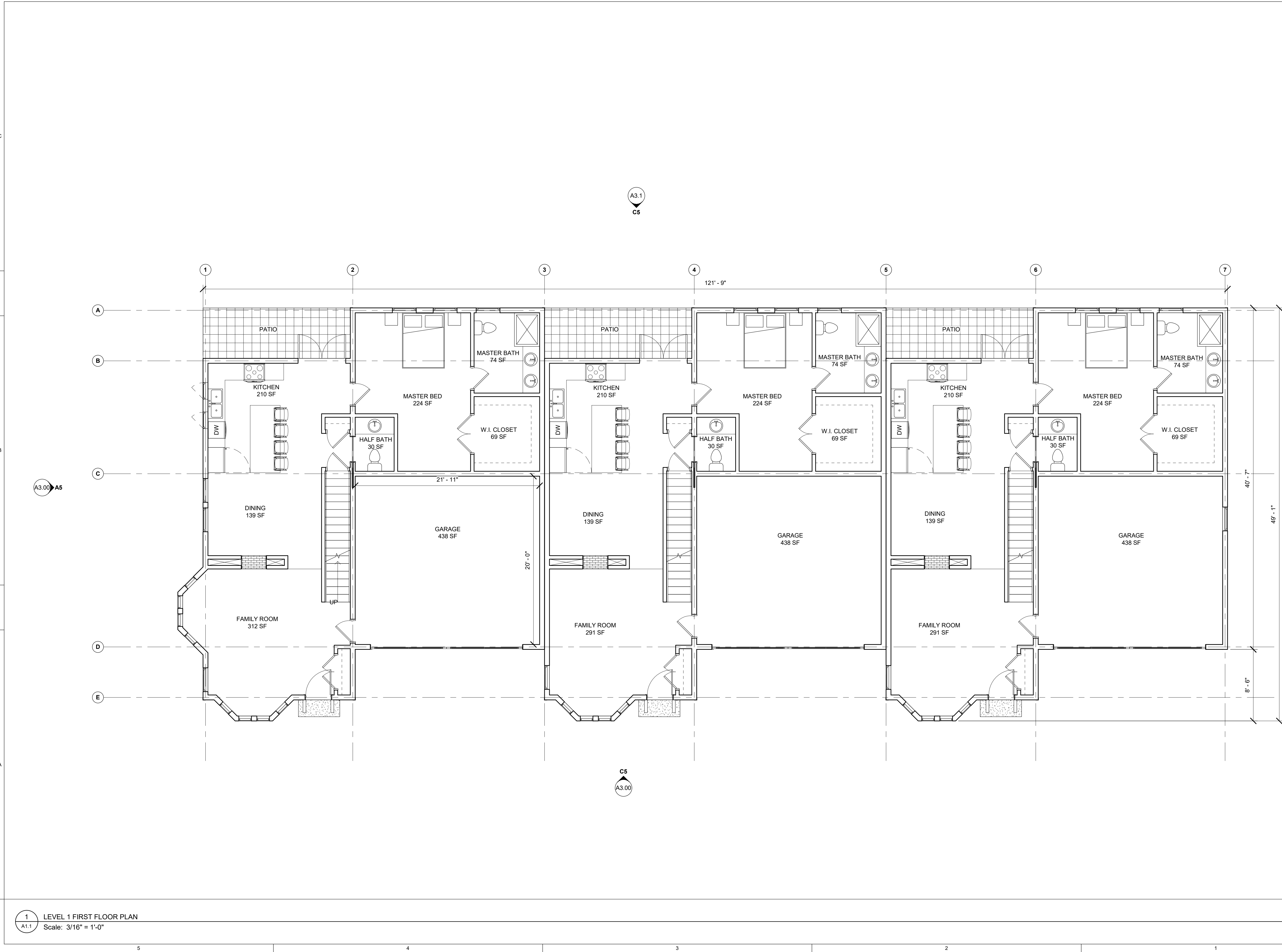
Medway Multifamily Development (Triplex)
218-220 Main Street

218-220 Main Street
Medway, MA 02053

DESIGN INTENT
NOT FOR CONSTRUCTION
11 MAY 2020

FIRST FLOOR PLAN

A1.1



1 LEVEL 1 FIRST FLOOR PLAN
A1.1 Scale: 3/16" = 1'-0"



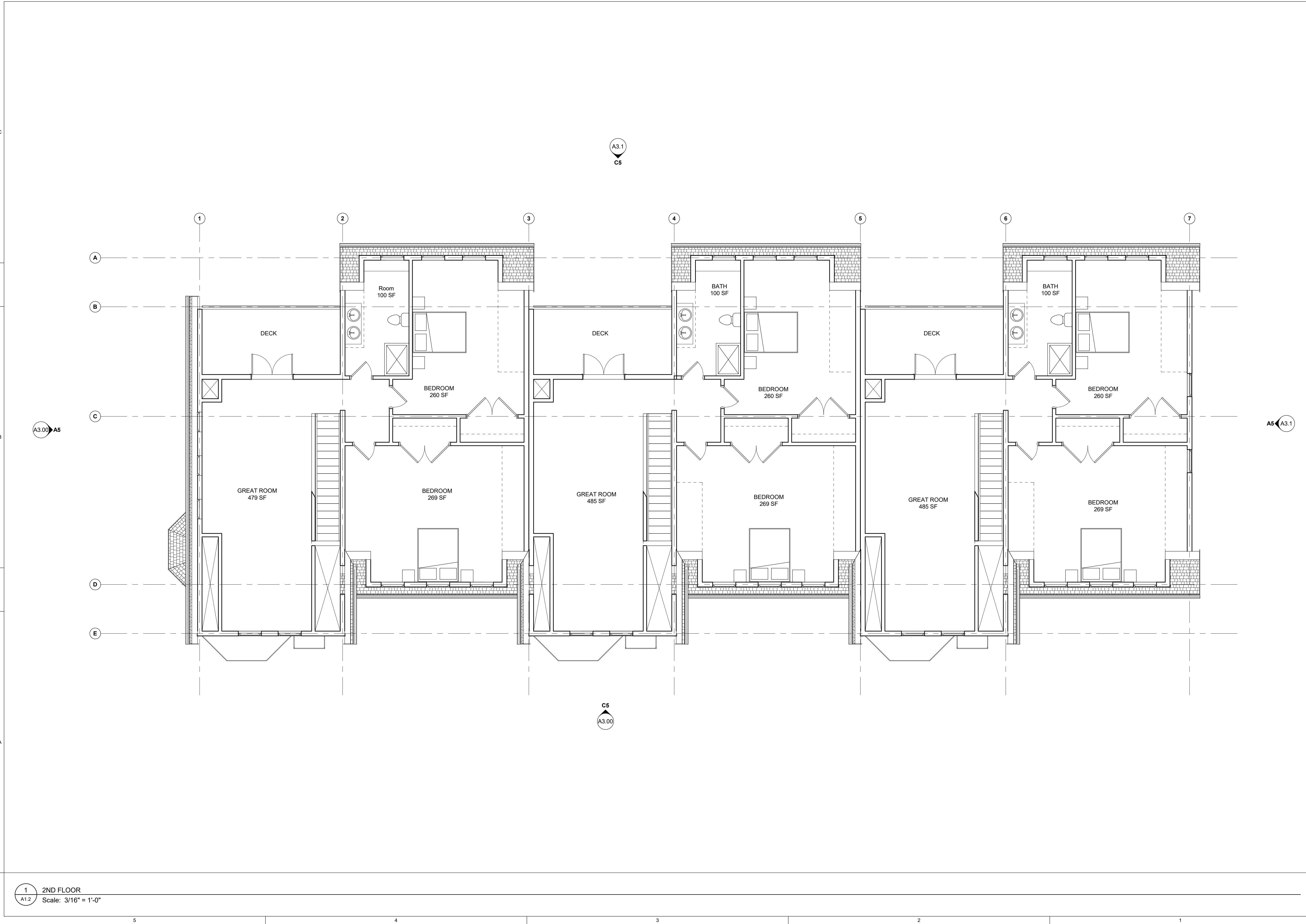
PACIFIC-VISIONS STUDIO LLC
ARCHITECTURAL DESIGN
38 Thompson Ave.
Bristol, RI
774.633.1272
Pacific-Visions.com

Medway Multifamily Development (Triplex)
218-220 Main Street
218-220 Main Street
Medway, MA 02053

DESIGN INTENT
NOT FOR CONSTRUCTION
11 MAY 2020

SECOND FLOOR PLAN

A1.2





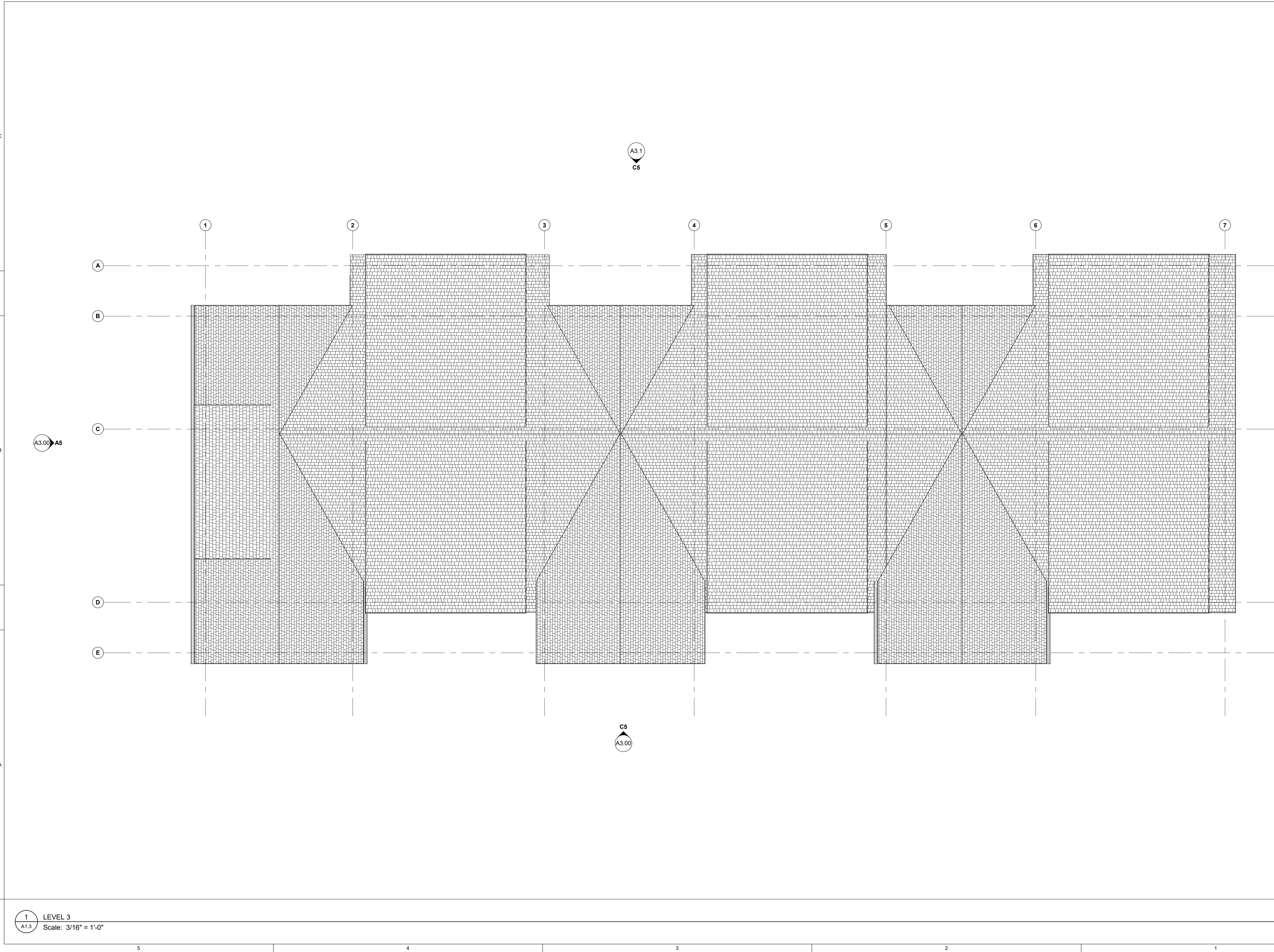
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774.633.1272
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Medway Multifamily Development (Triplex)
218-220 Main Street
218-220 Main Street
Medway, MA 02053

DESIGN INTENT
NOT FOR CONSTRUCTION
11 MAY 2020

ROOF PLAN

A1.3

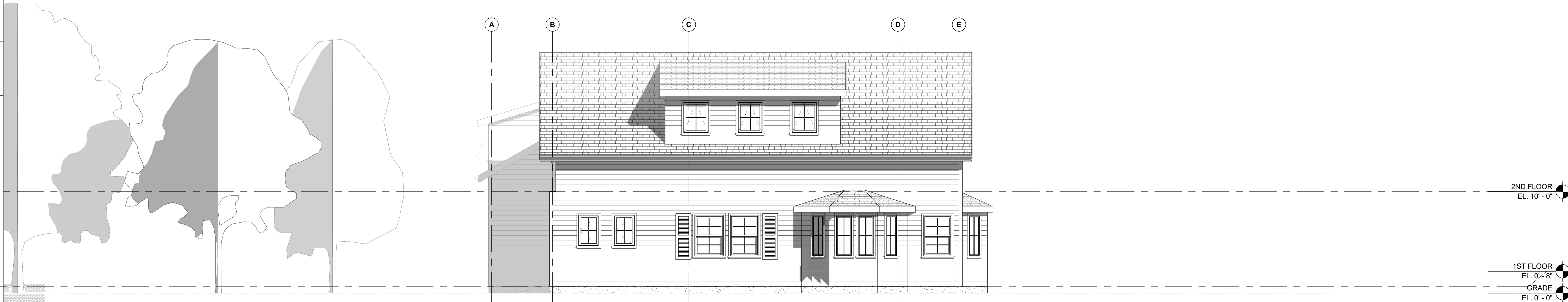




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38 Thompson Ave.
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C5 EAST ELEVATION
A3.00 Scale: 3/16" = 1'-0"



A5 SOUTH ELEVATION
A3.00 Scale: 3/16" = 1'-0"

Medway Multifamily Development (Triplex)
218-220 Main Street

218-220 Main Street
Medway, MA 02053

DESIGN INTENT
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11 MAY 2020

EXTERIOR ELEVATIONS

A3.00



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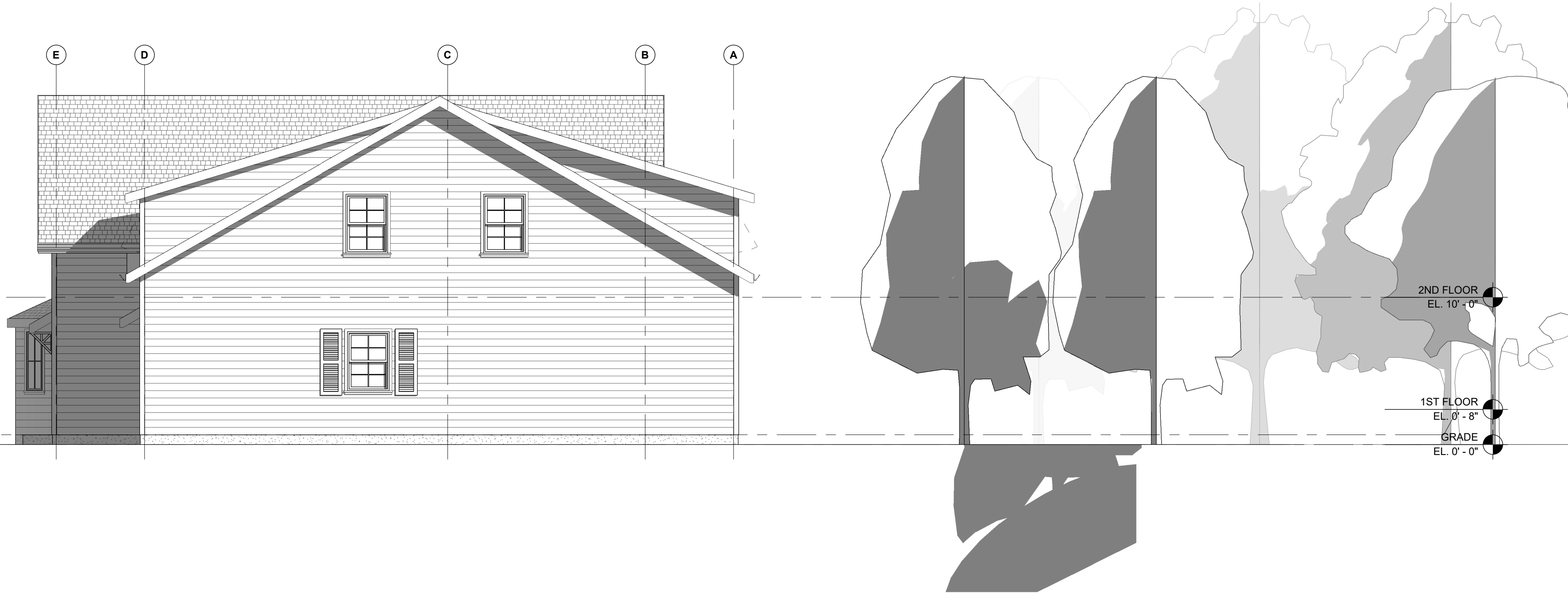
Medway Multifamily Development (Triplex)
218-220 Main Street
218-220 Main Street
Medway, MA 02053

DESIGN INTENT
NOT FOR CONSTRUCTION
11 MAY 2020

EXTERIOR ELEVATIONS



C5 WEST ELEVATION
A3.1 Scale: 3/16" = 1'-0"



A5 NORTH ELEVATION
A3.1 Scale: 3/16" = 1'-0"



PACIFIC-VISIONS STUDIO LLC
ARCHITECTURAL DESIGN

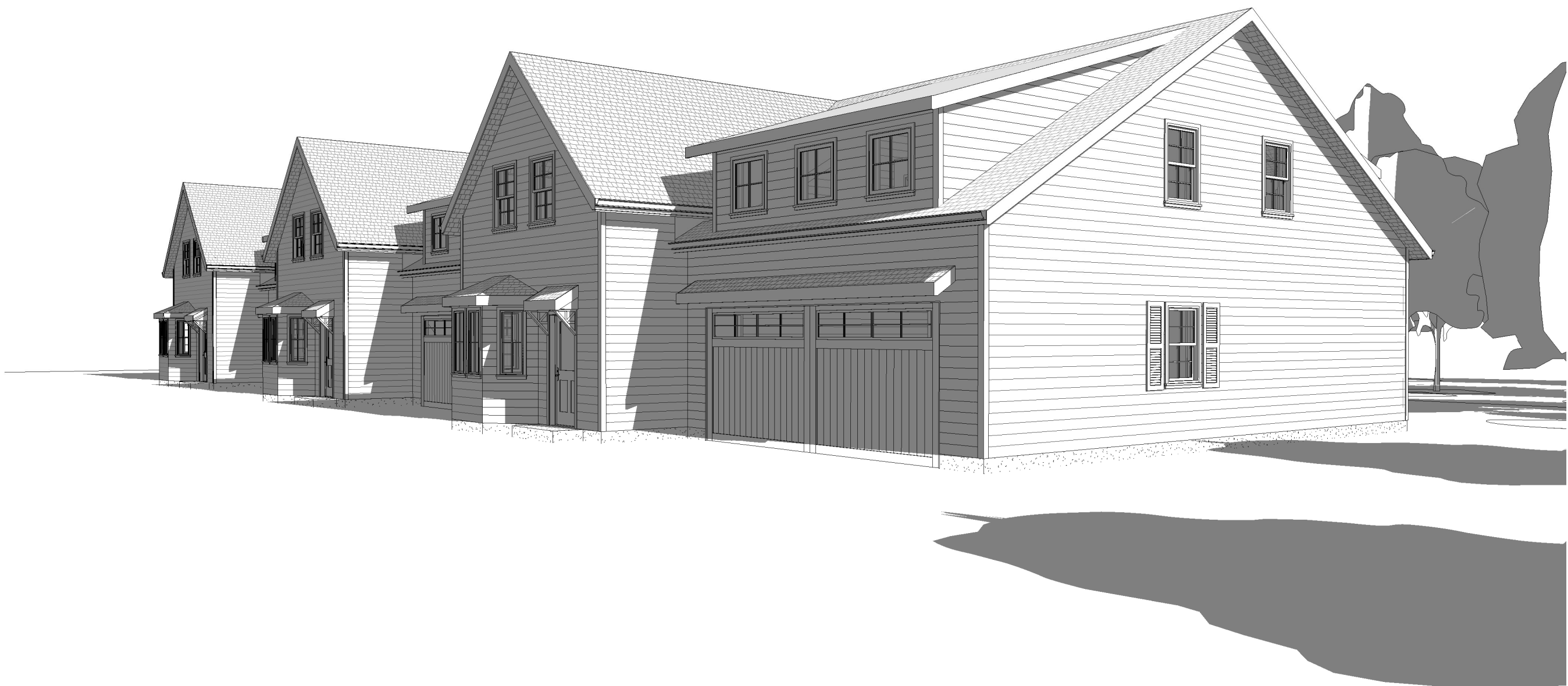
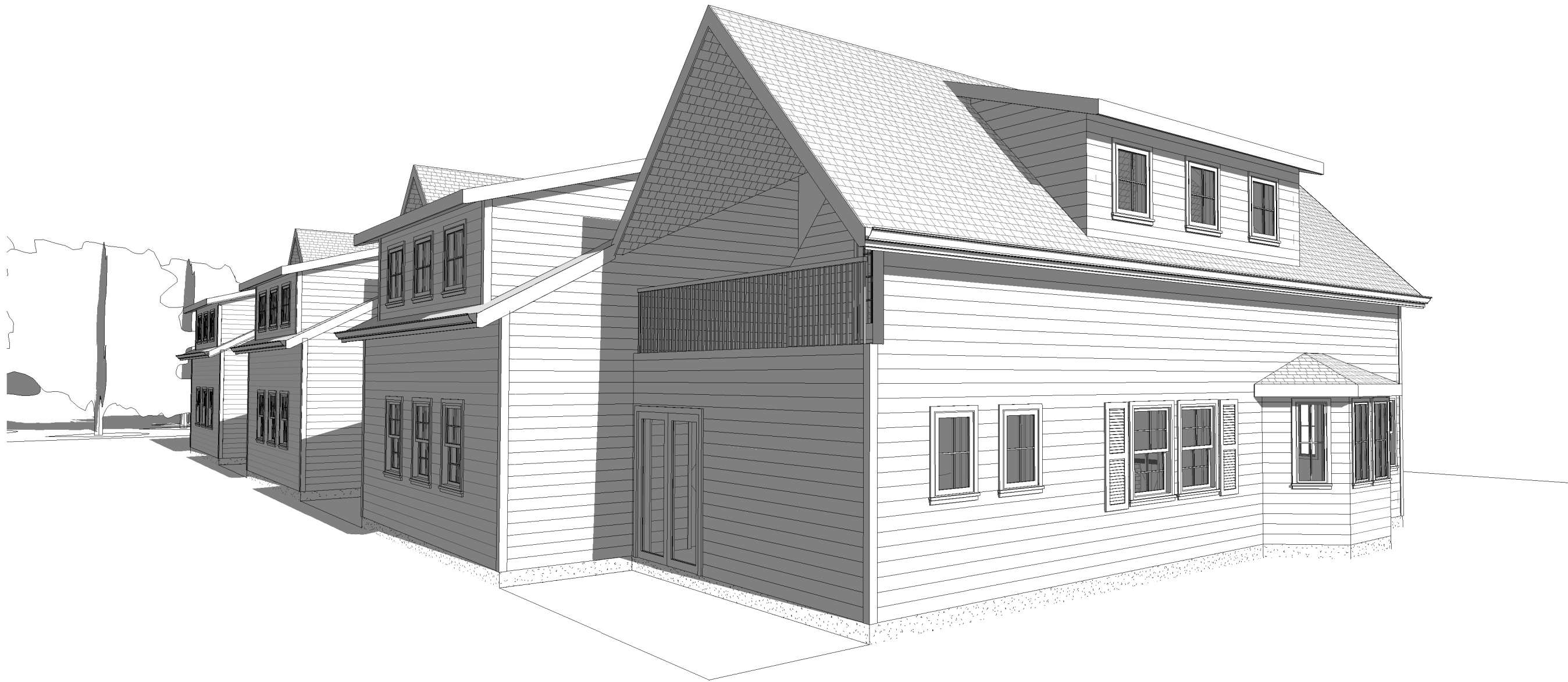
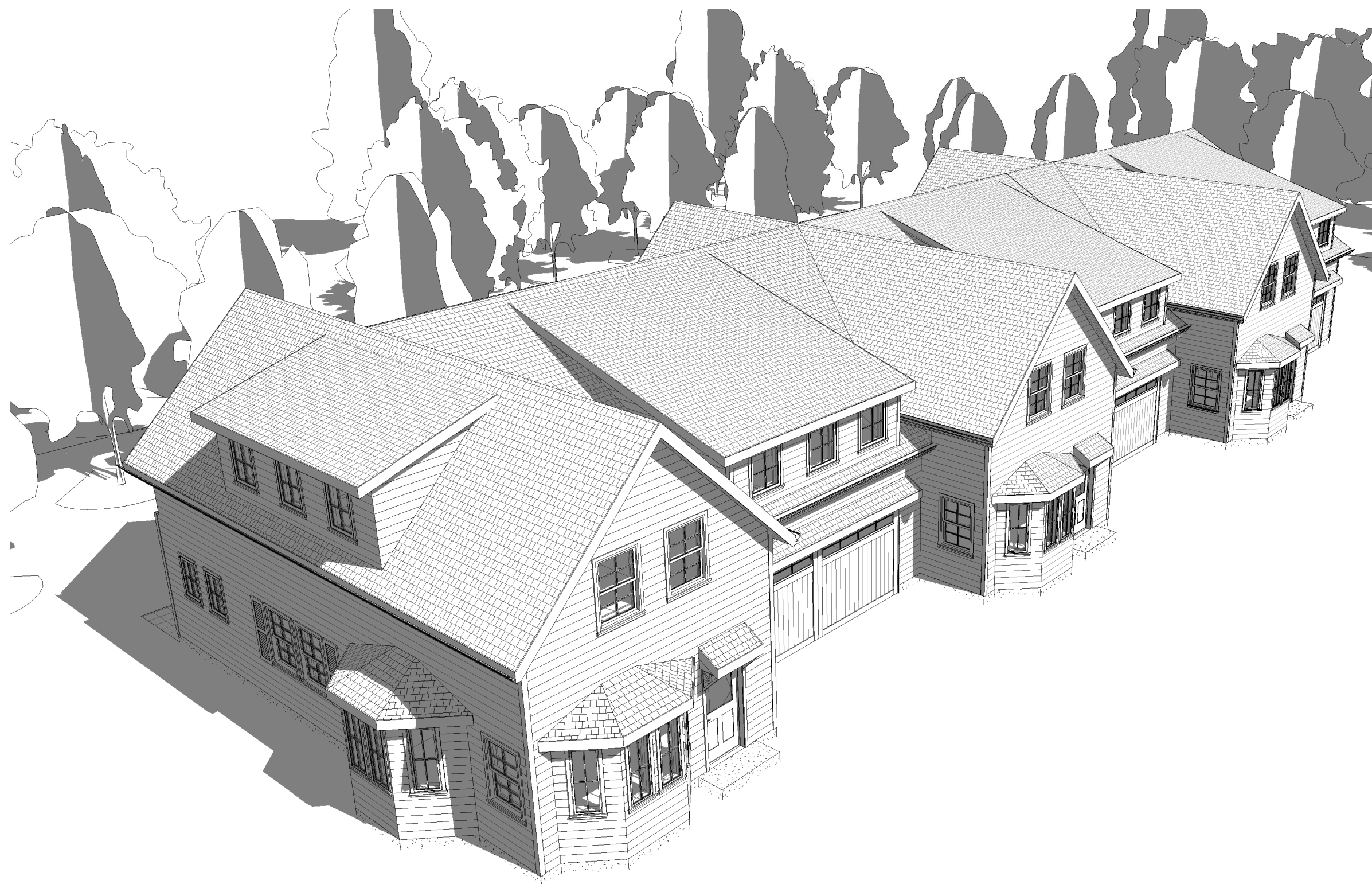
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Bristol, RI
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Pacific-Visions.com

Medway Multifamily Development (Triplex)
218-220 Main Street

218-220 Main Street
Medway, MA 02053

DESIGN INTENT
NOT FOR CONSTRUCTION
11 MAY 2020

3D VIEWS





Town of Medway
DESIGN REVIEW COMMITTEE
 155 Village Street, Medway MA 02053
 (508) 533-3291

DRC Meeting Minutes: June 15, 2020

Remote Meeting

Call to Order: – With a quorum present, this remote meeting was called to order by Chair Mr. Buckley at 7:00 p.m.

Attendees:

	06/15/2020				
Matthew Buckley	X				
Rich Di Iulio	-				
Jessica Chabot	X				
Tom Gay	X				
Rachel Walsh	X				
Dan Connolly	ABSENT				
Rachel Wolf Lander	X				
Alex Siekierski	ABSENT WITH NOTICE				

Also Present:

- Sreelatha Allam, Recording Secretary
- Camilo Afonso, Signs by Cam#
- Shawn Lannigan – Shawn's Auto Repair#
- Mario Castagna - Think Box GFX#

Sign Design Review – Shawn's Auto Repair 71 Main Street

Mr. Afonso of Signs by Cam started the discussion. He described the proposed sign for Shawn's Auto Repair. It's a 4'x12' wall/façade cabinet sign that will be internally illuminated with LED lights (dimmer included). (See Attached.) Mr. Lannigan, business owner, noted that the building façade is flat, and they plan to repaint the wall where the new sign will be positioned. The current awning, which will be removed before the new sign is installed, is lit with light bulbs. On the positioning of the new sign, Ms. Chabot commented that it should either be centered or right justified on the facade. She suggested moving the sign towards the corner for better visibility. She also commented that the fonts for the phone number should be consistent with the rest of the sign. Mr. Gay said the numbers should align more with the font style used for the list of services. Ms. Walsh said the sign color scheme is effective based on the awning color. She asked if there's another sign at the customer entrance and the response was that it is on the door. Ms. Wolf-

Lander said the spacing of the letters in the word “Shawn” should be re-evaluated to make it more visible from a distance. Mr. Afonso agreed to look into it.

There was some discussion on the list of services and how they make the sign look cluttered. Mr. Lannigan stated his preference to keep them and Mr. Gay concurred.

A DRC letter of recommendation will be drafted and sent to the applicant. Rachel Walsh will write the letter.

Sign Design Review – CBD ReLeaf, 98 Main Street

The proposed sign is a wall/ façade cabinet sign with channel letter with a raceway and logo. It will be internally illuminated with LED lights. (See Attached) Mr. Gay commented on the previous sign that was installed without a building permit and DRC review. The applicant was asked to remove the sign as it was not in compliance with the size limit. The storefront is 15’ wide so the business is allowed only 15 Sq. Ft. of wall signage.

Mr. Castagna, Think Box GFX attended the meeting to discuss the sign design. He apologized for the mistakes made in the past.

NOTE – The Meeting was interrupted due to a ZOOM shutdown at 7:35 p.m. The problem was fixed, and the meeting was re-established at 7:55 p.m. with a quorum of Matt Buckley, Jess Chabot, Rachel Walsh and Tom Gay present.

While waiting for applicant to re-establish their presence in the meeting, the minutes for the May 18th, 2020 DRC were reviewed. **A motion was made by Jessica Chabot and seconded by Tom Gay to approve those minutes. The motion was unanimously approved by roll-call vote.**

The sign company representatives for applicant CBD ReLeaf rejoined the meeting. They apologized for moving ahead with sign construction and install. Their reasoning was that the "town was closed" and sign design/size had been approved in other 11 towns where the applicant has stores. They are committed to making it right.

They questioned the size restriction as "all the other signs in the plaza are much larger. Explanation was given as to the width of the storefront driving the allowed size of the sign and that explanation was accepted.

The sign graphics were discussed, and DRC members agree it is attractive sign. Once properly sized it should look good.

DRC members offered their standard discussion about repainting the background ghosting left from the previous sign and making sure the raceway is painted to match the building.

The sign company representative asked questions about the "glass graphics" and the 4 sq. ft. limitation. Once again, the sign regulations section of the zoning bylaw was explained and noted. The applicant does intend to speak with Building Inspector about allowing similar window coverage as other tenants in the plaza.

The DRC's letter of recommendation will be written by Matt Buckley.

Other Business

Due to the confusion of the evening and small number of participants, it was decided to hold off on election of officers until the next meeting.

Adjournment

A motion was made by Jessica Chabot and seconded by Matt Buckley to adjourn the meeting. The vote was approved unanimously by roll call vote.

The meeting was adjourned at 8:20 p.m.

Respectfully Submitted,

Sreelatha Allam
Recording Secretary

With additional notes provided by Tom Gay