Town of Medway
DESIGN REVIEW COMMITTEE
155 Village Street
Medway MA 02053
(508) 533-3291

DRC Meeting Minutes
Monday, August 1, 2022
Zoom (Remote) Meeting

Call to Order: – With a quorum present, this remote meeting was called to order by the Chair Mr. Buckley at 7:00 p.m.

Members	**Matthew Buckley**	**Janine Clifford**	**Tom Gay**	**Jessica Chabot**	**Susan Alessandri**	**Jamie Ahlstedt**
Attendance	**X**	**X**	**Absent with Notice**	**X**	**X**	**X**

Mr. Buckley conducted a roll call vote of members present.

Ms. Ahlstedt joined the meeting around 7:05pm.

NOTE – Ms. Ahlstedt and Ms. Alessandri are newly appointed members and have been sworn in by the Town Clerk.

Also Present via Zoom:

- Susy Affleck-Childs, Planning and Economic Development Coordinator
- Sreelatha Allam, Night Board Secretary
- Marc Beaupre, sign contractor for Happy Hatter
- Jay Parillo - Poblocki Signs (for The Hathon @ 33 & 39 Main Street)
- Kevin Lobisser (Applicant), Paul Frederick (Architect), Amanda Cavaliere (Project Engineer) - Milford Hospital Medical Facility

Approval of Meeting Minutes: July 18, 2022:

A motion was made by Mr. Buckley to approve the minutes of 07/18/2022 as submitted, seconded by Ms. Chabot.

Roll Call Vote:
Matt Buckley - Aye
Janine Clifford - Aye
Jessica Chabot - Aye
Susan Alessandri - Aye
Jamie Ahlstedt - Aye

The motion passed.

Sign Design Review for Happy Hatter, 98 Main Street, Medway Place shopping center-
Before the discussion began Ms. Alessandri disclosed that her son recently joined Happy Hatter as an employee at the restaurant. Sign fabricator Marc Beaupre attended the meeting to discuss the proposed sign design. The application is for a wall/ façade sign with 18' sq. ft. of sign surface area. (**See Attached.)** Proposal includes three large individual LED channel letters, one for Happy, one for Hatter, and one for Diner. The overall sign dimensions are within the Bylaw. Ms. Affleck-Childs reiterated the sign dimensions must comply with the maximum allowable size (22 sq. ft.).

Members asked the applicant to consider changing the decorative font style as it might not be fully legible from the street. It was also suggested the applicant consider increasing the size of the word "Diner" or reduce the size of "Happy Hatter" font to get more attention to the business. It was recommended that façade holes from earlier signs be filled. Mr. Beaupre said the business logo was designed by the owner's son. DRC suggested a shamrock as a logo option. Mr. Beaupre agreed to discuss with the owner. As next steps, Mr. Beaupre will get in touch with Ms. Affleck-Childs on the guidelines for window signs and the item will be added to the 08/15 DRC agenda for further discussion.

Sign Design Review for The Hathon Apartments, 33 and 39 Main Street-
The applicant had appeared before the DRC at the 07/18/2022 meeting with their initial sign plan. Mr. Jay Parillo from Poblocki Signs was present again at this meeting with the revised proposal (**See Attached**) as follows:

- The leasing sign size is reduced to 4 sq. ft.
- The monument sign size remained the same as proposed initially, 2' wide x 6' tall = 12 sq. ft. One sided facing Main Street. External spotlight is proposed for the monument sign; it will be centered to illuminate the entire sign.

The previous proposal for a façade/wall sign on the retaining wall has been removed from consideration. The development of a master signage plan is in progress as had been recommended by the DRC and will be submitted to the Town soon. However, the Applicant is looking to get approval on the two proposed signs tonight and does not want to wait for the master signage plan.

Landscaping is proposed around the base of the monument sign. DRC members said the landscaping should include annuals and be professionally maintained.

The location for the Leasing sign was adjusted to not conflict with the tree and was suggested to be brought closer to the entrance as indicated in the earlier plan version. Mr. Parillo will bring the comments to the owner so the plan can be revised. The alternative location (right of the

STOP sign) for the leasing sign location will be included in the DRC's review letter. Ms. Chabot agreed to draft the DRC's review letter.

Review of revised site plan for Milford Hospital Medical Facility, 86 Holliston Street-

Ms. Cavaliere attended the meeting with Mr. Frederick (Architect) and Mr. Lobisser (Applicant). The site plan has been updated from the last DRC meeting. Revisions were made as follows:

- The building details (materials, colors, transformer screening, natural color vinyl fencing, retaining wall removal, building was shifted 10-15' north/ back removing the need for the retaining wall)
- Additional grading and reduction of the impervious surface.
- Farm style abutting fence matching the existing.
- The landscaping plan is enhanced with more wetland replication areas, restoration areas, pocket park in the front with picnic tables and plantings.
- Added a rain garden.
- Dumpster area will be screened with natural colored non-glossy stockade wood fence. The enclosure height will be higher than the dumpster.
- Generator and transformer areas will be screened as well.
- Lighting Fixtures – In its review of the updated photometric plan, the PEDB recommended adding light fixtures on the easterly side of the property along the access way. The lights are proposed to be on overnight for security purposes. Ms. Affleck-Childs said the lighting plan including the schedule must comply with the requirements of the sign bylaw. The lighting fixture heights and levels were discussed. 14' height was discussed as an optimal pole height for the proposed building. Consistency of fixture type with Walgreens was mentioned.
- Architectural/ Elevation Comments - Based on DRC feedback changes were made to the elevation and Mr. Frederick presented the changes. Windows on the top will be real as the ones proposed below but the glazing will be opaque. Natural field stone veneer is proposed. Fiberglass architectural roof shingles are proposed and there will not be vinyl siding for the building; Hardiplank or similar product will be used.
- Windows will be black frames and energy efficient.
- Mr. Lobisser said at the last PEDB meeting, it was agreed the applicant will not come up with the signage plan at the site plan approval stage. It will be a condition for the building permit and the hospital will be required to appear before the DRC and PEDB directly with the master signage plan. Ms. Affleck-Childs said to avoid confusion, the proposed sign locations on the existing set should be removed before the site plan is approved.
- The HVAC system will be behind the parapet walls and the barn style doors on the west side will be extended to the east side of the structure. Door color will be solid with black hardware (hinges and knobs) and composite material will be used. The Board discussed alternative colors such as barn red.
- Proposed fence color is tan wood grained.
- A thin metal screen will be installed on the hospital side of the split rail fence to prevent cows from damaging the fence and coming onto the property.
- There was some discussion on the colors and material of the proposed screens (aluminum and powder coated in whole) panels for RTU units on roofs.
- To a question, Mr. Lobisser said there will not be a designated space for pickup/ drop-offs. However, an ambulance pickup/ drop-off area is designed in the rear.

- Plan includes six parking spots in the building entrance for compact cars so the 5ft sidewalk min. width can be maintained.
- Proposed benches will be steel frame and painted in black. Detail for the bike rack is included in the plan set.
- Ms. Affleck-Childs asked about the transformer enclosure. She said the Medway Cultural Council is interested in encouraging local artists to come up with designs for electric boxes.
- Ms. Clifford agreed to draft the DRC letter with the list of recommendations. Everyone liked the proposed plan and ideas for the project.
- The project will be discussed at the 08/23 PEDB meeting.

OTHER BUSINESS/REPORTS

- The Medway master plan discussion will be scheduled for 08/15 DRC meeting. Ms. Affleck-Childs will distribute the copy to DRC members this week for review.
- There was a question on the status of BrightPath Child Care Center application. It was mentioned the project was recently approved for minor site plan modification. Project details are available on the PEDB webpage on the town website.
- There was brief discussion on the Master's Touch Site Plan (83 Main Street). The project will be discussed at a future DRC meeting for new façade design. The applicant is reworking the site plan with a new engineer.
- Ms. Affleck-Childs mentioned the PEDB webpage where the current projects are available for review.
- 2 EV charging stations with commercial advertising at Shaw's Plaza were determined to be signage and directed to be turned off. Revisions were made to the Zoning Bylaw to allow such signage by special permit. The hearing for the PEDB on the topic will be on 08/23. Messaging will still be commercial advertising.

Motion was made by Ms. Chabot to adjourn the meeting, seconded by Mr. Buckley.

Roll Call Vote:
Matt Buckley- Aye
Janine Clifford- Aye
Jessica Chabot-Aye
Susan Alessandri- Aye
Jamie Eahlstedt- Aye

The motion passed.

The meeting was adjourned at 9:15p.m.

The next DRC meeting will be held on August 15, 2022.

Respectfully Submitted,
Sreelatha Allam
Recording Secretary

Reviewed and edited by,
Susan E. Affleck-Childs
Planning and Economic Development Coordinator

DRC Sign Design Review
Planning and Economic Development Office Comments
July 29, 2022

Business Name: Happy Hatter

Business Owner:

Sign Location Address: 98 Main Street (Medway Place Shopping Plaza)

Proposed Signs:

1. Channel letter wall sign

	Proposed	**Allowed by Bylaw**
Sign Surface Area	18 sq. ft.	22 sq. ft. (width of storefront)
Sign Height	NA	NA
Illumination	Internal	Internal

SAC Comments:

1. Legibility of chosen lettering style
2. Selection of green provides some nice variety to the plaza

Medway Design Review Committee (DRC)

Application for Sign Design Review

Medway Location/Address *where the sign will be installed:* 98 MAIN ST
What is the interior width of the storefront? CC

Building/Development Name: *(if applicable)*: medway place

Medway Zoning District: _____

Applicable Sign Standard Table *(from Medway Zoning Bylaw)* **Table #** _____.

Applicant Information *(Local Medway business establishment where the sign is to be installed)*

Business Name: Happy Hatter

Mailing Address: 98 main st.
Medway, MA 02053

Contact person: marc beaupre

Phone: 508 942 7155 Cell Phone 508 942 7155

Email address: marc.beaupre@gmail.com

Type of Proposed Signs – For sign definitions, refer to *Medway Zoning Bylaw (Section 7.2 Signs Regulation)*. The *Medway Zoning Bylaw* is available online at: www.townofmedway.org.

Type of Sign	# of Signs	Signs Dimensions	Total Square Footage of Sign Surface Area	Sign Height	Type of Illumination (internal, external or none)
Wall/Façade Sign	1	100x26"	18'		Internal LED
Free-standing Individual Business Sign					
Free-standing Multi-Tenant Development Sign					
Awning Sign					
Projecting Sign					
Directory Sign					
Window Sign					
Other Type of Sign (Describe)					

Attach the following items to this form. pdf format is requested for the application form and all attachments. Please email application and documents to sachilds@townofmedway.org

- ☐ 1. Manufacturer's scaled COLOR drawing with dimensions and DETAILED specifications for materials and illumination.
- ☐ 2. For a wall sign, a scaled image showing the sign's position on the building.
- ☐ 3. Landscaping Plan and Plot Plan marked with location of the free-standing sign and distances from street/lot lines.
- ☐ 4. Color photograph(s) of building/location(s) where sign will be installed and existing signs.
- ☐ 5. Color drawing of corporate logo *(if applicable)*.
- ☐ 6. Color photograph of similar/comparable sign on which your sign design is based.
- ☐ 7. A letter or other descriptive or explanatory information you want to provide to the DRC.

Does this application pertain to a completely new sign?

(•) Yes ( ) No *(If NO, please include photos/info of the existing sign you are modifying)*

Does this application pertain to a replacement panel for an existing sign structure?

( ) Yes *(If yes, please include photos/info of the existing sign)* (•) No

If the business is located in a multi-tenant development, is there a Master Sign Plan for the development?

( ) Yes ( ) No (•) Don't Know

Does your lease require the property owner's approval of your sign?

( ) Yes (•) No ( ) Not applicable

Sign Designer/Fabricator/Installer Information

Company Name: MB Graphics

Mailing Address: 1272 Main St Hanson MA 02341

Contact person: Marc Beaupre

Phone: 508 942 7155 Cell Phone: ←

Email address: marc.beaupre@gmail.com

Property Owner Information

Company Name: Diversified Funding Inc

Mailing Address: 315 Cowesett Ave W. Warwick 02893

Contact person: Todd Wilson

Phone: _____ Cell Phone: 781 760 8250

Email address: _____

Proposed sign designs are reviewed by the Medway Design Review Committee (DRC). The business owner and sign designer/fabricator must attend the DRC meeting. The DRC generally meets on the first & third Monday night of each month at 7 p.m. at the Medway Library, 26 High ST.

(DRC meeting agendas are posted at the Town's web page at www.townofmedway.org)

An Application for Sign Design Review and all supporting information must be submitted to the Medway Planning office by 12 noon on the Wednesday before a DRC meeting.

Please submit this application form and all attachments as follows:

Email:	sachilds@townofmedway.org **PREFERRED**
Fax:	508-321-4987
Mail:	Design Review Committee c/o Medway Planning office 155 Village Street, Medway, MA 02053
Drop Off:	Medway Planning office @ Medway Town Hall, 155 Village Street
Phone:	508-533-3291

Applicants and sign designers should read the Sign Guidelines included in the Medway Design Review Guidelines before developing a sign design.

Sign designs should be developed in accordance with the *Sign Design Guidelines.*

Date Application Received by Medway Planning office: _____

Reviewed by Medway Planning Coordinator: _____ ***DRC Meeting Date:*** _____

Updated 6-10-16

Happy Hatter
Diner
RESTAURANT
FOR LEASE
781-389-3862

Happy Hatter Diner

100x26"

Lit Formed Logo: G300

Unspecified Color
2025 Black GLOSS Painted
2025 Black GLOSS Painted
Removable Back
Unspecified Color
Stepped Return Option
Standard LEDs included
Face Attach Screws Included
One LIT Set Pricing
UL Label Location-tdb
LED CABLE Leads-120"long

Height in inches
11
Width in inches
44
Quantity of Same Sized Logos
1
Comments:
qty 1 Diner panel.

LED Lit Package Details

LED color-to be determined
Mounting Surface TBD
UL Label Location-tdb
Wiring Instr & UL papers
12VDC, Class 2 Power Supply(s)
1-2 Set/Location Pricing
Lead Wire Hole Location-tdb

LED Lit package: UL certified labels, documents,and required class 2 power supplies with interior/exterior rated enclosure. 100-277VAC input, 12VDC output. WET Location rated, UL Certified power supplies.

DRC Sign Design Review
Planning and Economic Development Office Comments
UPDATED - July 29, 2022

Business Name: The Hathon (apartments)

Business Owner: Toll Brothers/Dellbrook Medway

Sign Location Address: 39 Main Street

Proposed Signs:

1. Free-Standing Monument Sign (at driveway entrance)

	Proposed	**Allowed by Bylaw (Residential Development in AR-I zoning district)**
Sign Surface Area	24 sq. ft. per side x 1 side	32 sq. ft. for a 1-sided sign
Sign Height	6'	6'
Illumination	External	External (required)
Sign Setback	???	10'

~~2. **Wall sign (logo) on wall at the roundabout.**~~

	~~**Proposed**~~	~~**Allowed by Bylaw**~~
~~**Sign Surface Area**~~	~~4 sq. ft.~~	~~Wall sign is not technically allowed in the AR-I district~~
~~**Sign Height**~~	~~30 inches~~	~~NA~~
~~**Illumination**~~	~~None~~	~~NA~~

3. **Leasing Office Directional Monument Sign**

	Proposed	**Allowed by Bylaw**
Sign Surface Area	~~4' x 2' = 8 ft. per side~~ **Revised 4' x 1' = 4 sq. ft. (one sided sign)**	May be considered exempt when its purpose is to guide and direct traffic and parking but only if size does not exceed 4 sq. ft.
Sign Height	4'	NA
Illumination	None **(confirm)**	NA

SAC Comments:

1. This is a revised proposal.
2. Bylaw requires landscaping around the base of the sign 3' in all directions

SIGN SPECIFICATIONS

DESCRIPTION
fabricated aluminum cabinet & base w/ dimensional letters & .080" aluminum plaque with vinyl graphics

TYPEFACES
Logotype
Interstate Regular

COLORS/FINISHES
painted aluminum cabinet
& 1/2" letter spacers:
black

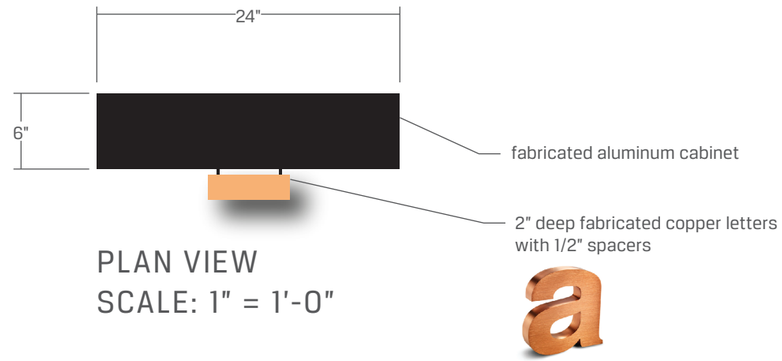
fabricated copper letters - Satinbrite horizontal grain

painted aluminum reveal:
MAP brushed aluminum

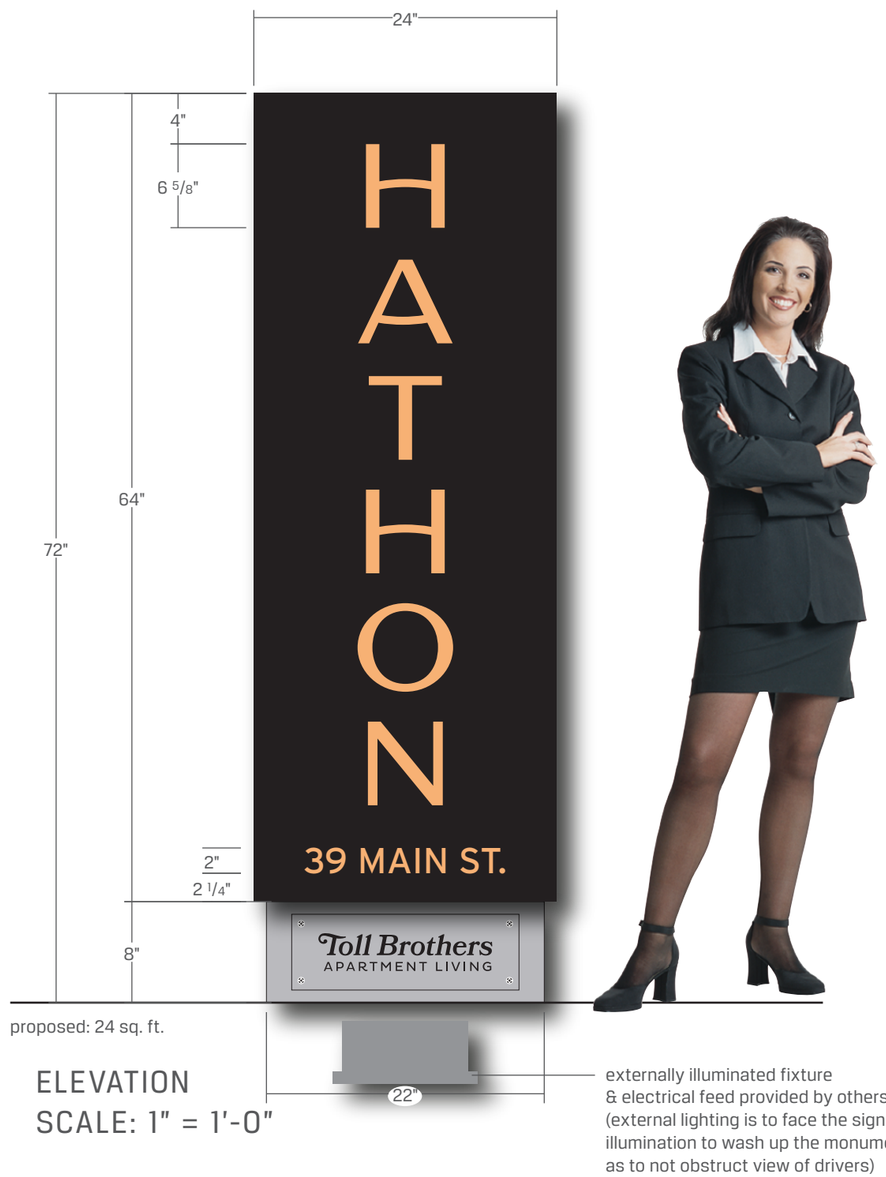
aluminum plaque - painted MAP
Brushed Aluminum

toll brothers logo:
3M Black vinyl

INSTALLATION
mounted in concrete foundation



PLAN VIEW
SCALE: 1" = 1'-0"



ELEVATION
SCALE: 1" = 1'-0"

MONUMENT
AXONOMETRIC VIEW

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4 Industrial Park Road, Medway, MA 02053
508.533.9000 • www.poblocki.com

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Toll Brothers
Dellbrook Medway
39 Main Street
Medway, MA 02054

Scale: Of Shown Graphics
See Individual Layouts/Sections/Elevations

Notes

Revisions

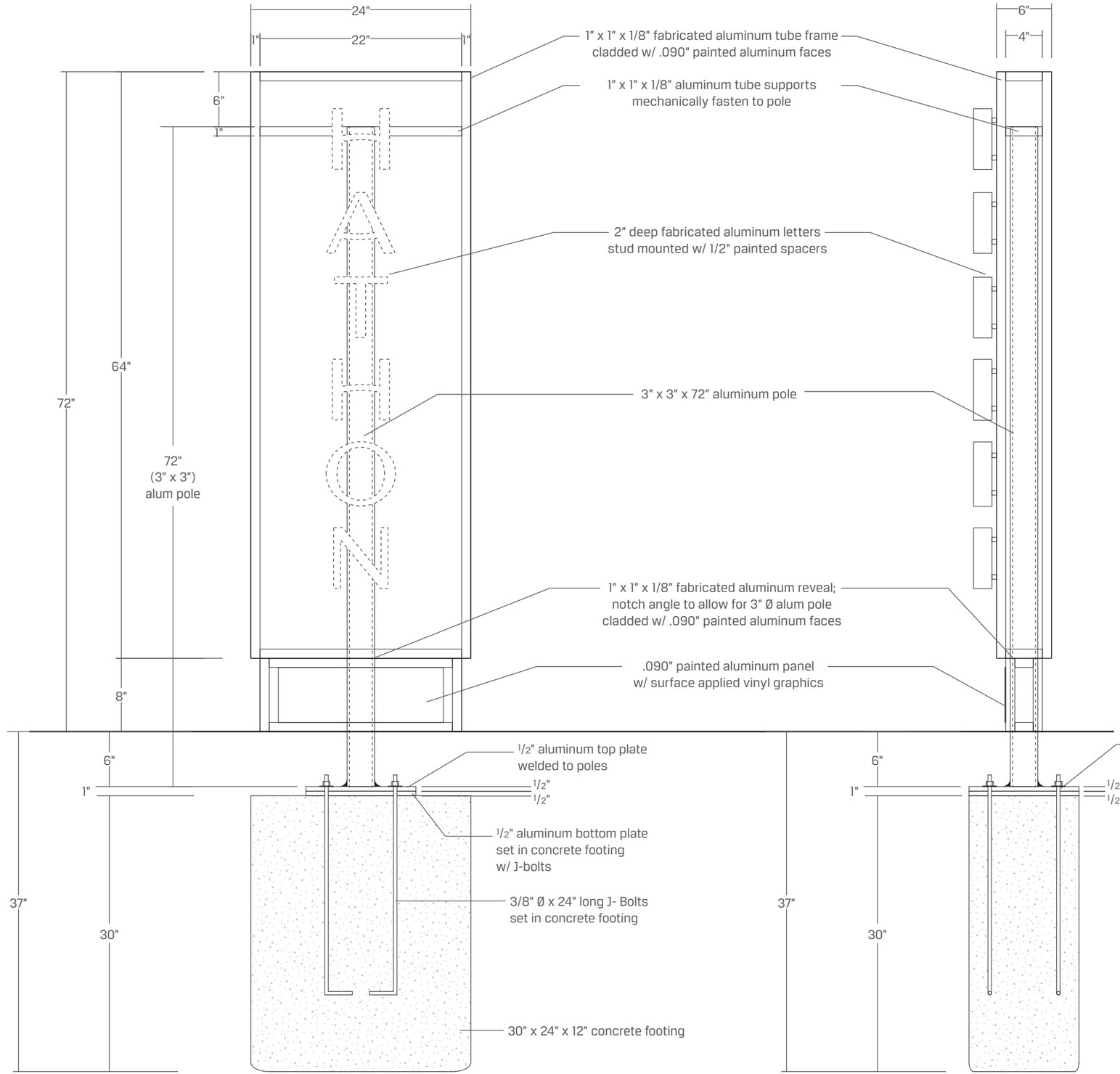
REV	DESCRIPTION	BY	DATE
		DRL	06.08.22
		DRL	06.15.22
		TMM	06.21.22
		DRL	07.26.22

Internal Assignment: Pat Ross
Drawn By: Duane Lebel Orig. Date: 06.01.22

MON
exterior monument sign

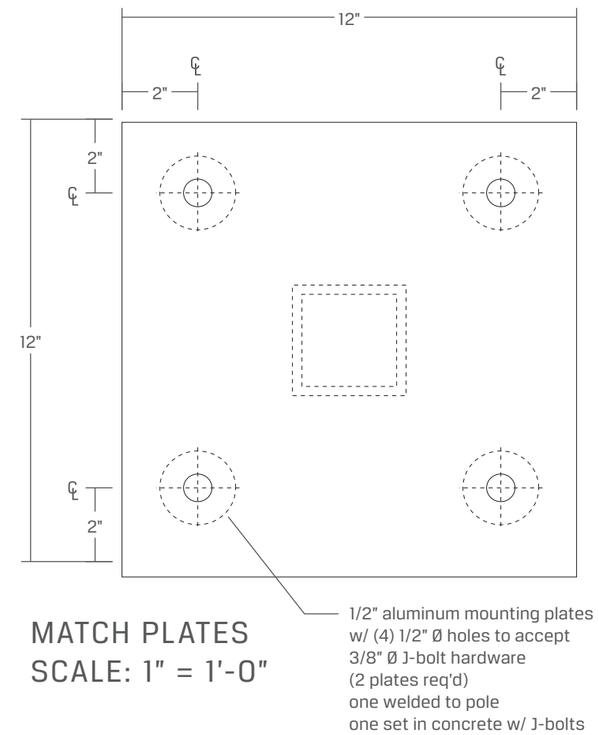
00000
Work Order #:

1 of 2
Drawing #:



FOOTING DETAIL
SCALE: 1" = 1'-0"

SECTION VIEW
SCALE: 1" = 1'-0"



MATCH PLATES
SCALE: 1" = 1'-0"

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Toll Brothers
Dellbrook Medway
39 Main Street
Medway, MA 02054

Scale: Of Shown Graphics
See Individual Layouts/Sections/Elevations

Notes

Revisions

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		DRL	06.08.22
		DRL	06.15.22
		TMM	06.21.22
		DRL	06.29.22

Internal Assignment: **Pat Ross**
Drawn By: **Duane Lebel** Orig. Date: **06.01.22**

MON
exterior monument sign

00000 Work Order #:
2 of 2 Drawing #:

SIGN SPECIFICATIONS

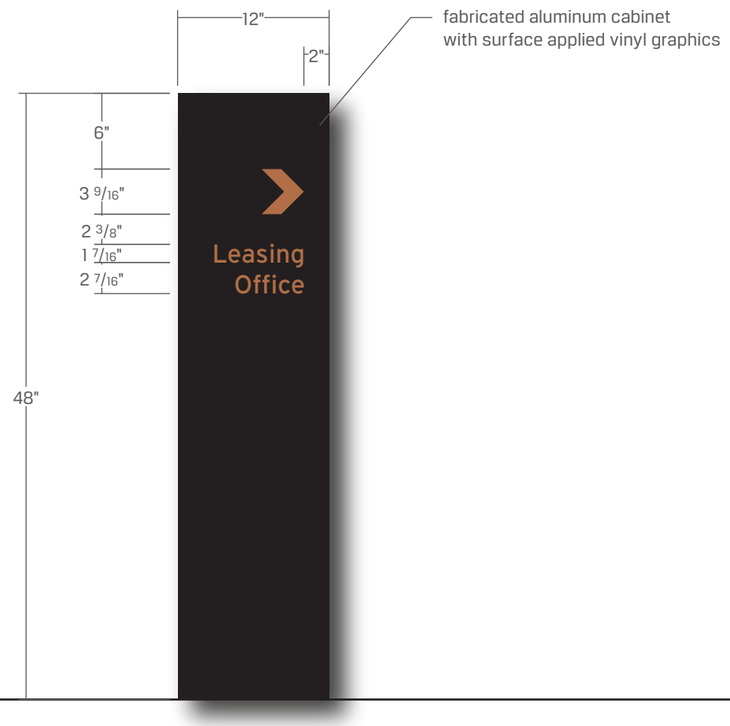
DESCRIPTION
fabricated, painted aluminum cabinet w/ surface applied vinyl graphics

TYPEFACES
interstate regular (optical)

COLORS/FINISHES
painted aluminum cabinet:
black

arrow & text:
3M copper metallic
180-229

INSTALLATION
mounted in concrete foundation



LAYOUT
SCALE: 1" = 1'-0"

SIDE VIEW
SCALE: 1" = 1'-0"

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Dellbrook Medway
39 Main Street
Medway, MA 02054

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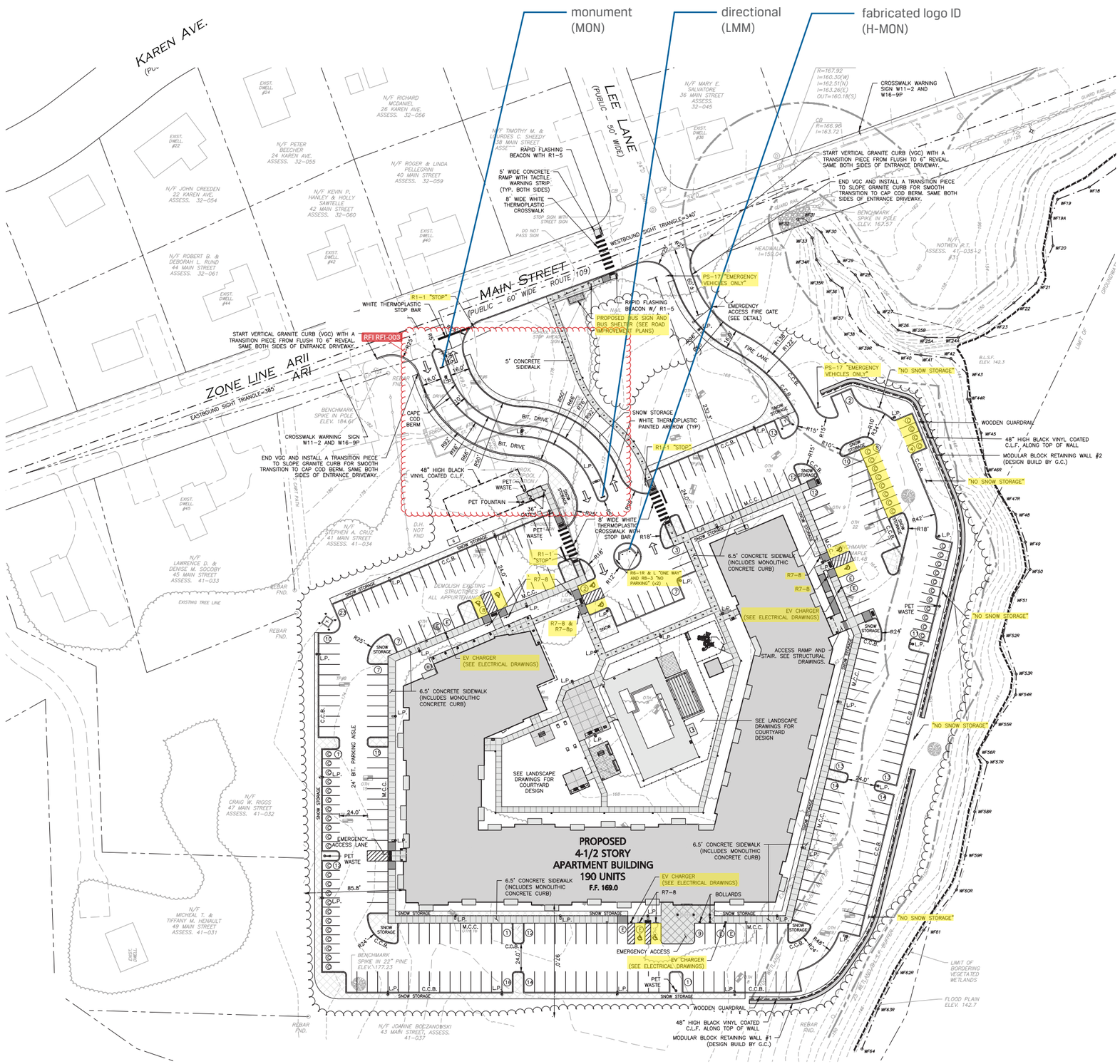
		DRL	06.08.22
		DRL	07.26.22

Internal Assignment: Pat Ross
Drawn By: Duane Lebel Orig. Date: 06.01.22

LMM
leasing office mini monument

00000
Work Order #:

1 of 1
Drawing #:



SITE PLAN
NOT TO SCALE

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39 Main Street
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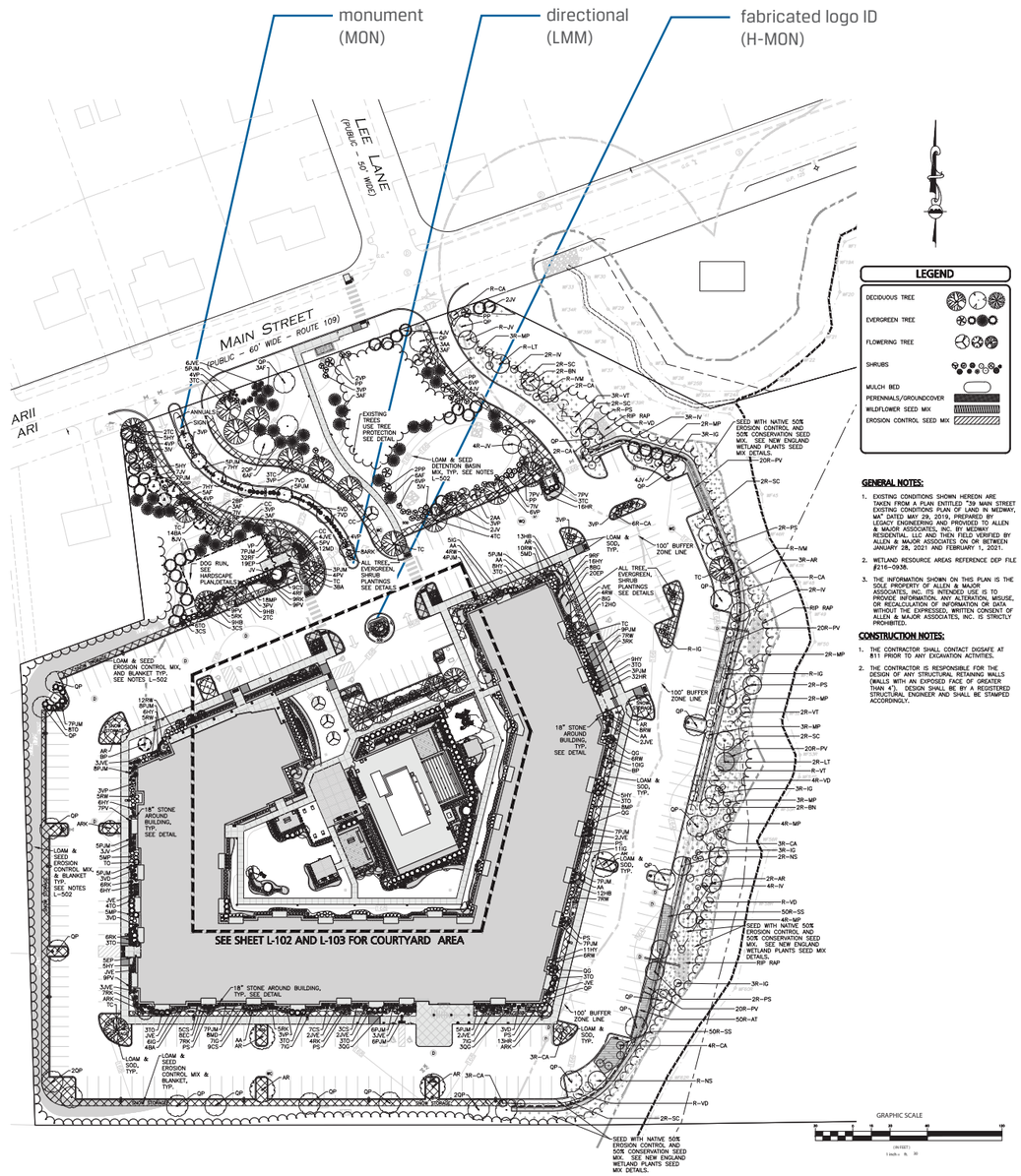
Internal Assignment: **Pat Ross**
Drawn By: **Duane Lebel** Orig. Date: **06.01.22**

00
site plan

00000 Work Order #:
1 of 2 Drawing #:



LANDSCAPE PLAN
NOT TO SCALE

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Internal Assignment: Pat Ross
Drawn By: Duane Lebel Orig. Date: 06.01.22

00
site plan

00000 Work Order #:
2 of 2 Drawing #:

Susan E. Affleck-Childs
Planning and Economic
Development Coordinator

Medway Town Hall
155 Village Street
Medway, MA 02053
Phone (508) 533-3291
Fax (508) 321-4987
Email: sachilds@
townofmedway.org
www.townofmedway.org

TOWN OF MEDWAY
COMMONWEALTH OF MASSACHUSETTS

PLANNING AND ECONOMIC DEVELOPMENT OFFICE

July 26, 2022

Ms. Arlin Medina
Toll Brothers Apartment Living
1140 Virginia Drive
Fort Washington, PA 19034

RE: Signage for The Hathon, Medway, MA

Dear Ms. Melina,

On July 18th, Jason Parillo of Poblocki Signs in Medway, MA met with the Medway Design Review Committee (DRC) to discuss proposed signage for The Hathon apartments currently under construction at 33 and 39 Main Street. Such review by the DRC is a requirement of the Town's sign regulations. The Hathon property is located in Medway's Agricultural-Residential I single-family zoning district.

The DRC reviewed a series of proposed signs for The Hathon. As proposed, the signs do not comply with the provisions of Section 7.2 Signs of the *Medway Zoning Bylaw* applicable to properties in the Agricultural-Residential I zoning district. Although the Medway Zoning Board of Appeals issued a 40B Comprehensive Permit for this property, that decision did not include any exemptions from the *Zoning Bylaw's* sign regulations. Thus, the *Bylaw's* signage regulations apply to The Hathon. To seek relief from those regulations, the standard approach would be for Toll Brothers to seek a variance from the Medway Zoning Board of Appeals to allow the proposed signs.

The Design Review Committee has suggested, and I recommend that you consider an alternative strategy which is to develop a master signage plan for The Hathon and to incorporate this into the project's 40B Comprehensive Permit. The DRC would be pleased to collaborate with Poblocki Sign Company to assist in preparing a comprehensive outdoor signage master plan for The Hathon. Once developed, the next step would be for Toll Brothers Apartment Living to submit the master signage plan to the Zoning Board of Appeals (ZBA), for a determination as to whether such signage plan would constitute a substantial or insubstantial change as defined under 760 CMR 56.07 (4) and then to proceed accordingly with the applicable ZBA review process. I believe this approach will provide more sign design flexibility for Toll Brothers.

Please don't hesitate to contact me with any questions. I provide the staff support to the Medway Design Review Committee and can coordinate with Poblocki Signs and the DRC.

Best regards,

Susan E. Affleck-Childs
Planning and Economic Development Coordinator

cc: Jason Parillo, Poblocki Signs
Barbara Saint Andre, Medway Director of Community and Economic Development
Matthew Buckley, Chair of the Medway Design Review Committee
Ketan Joshi, Toll Brothers Apartment Living
Jack Mee, Medway Building Commissioner

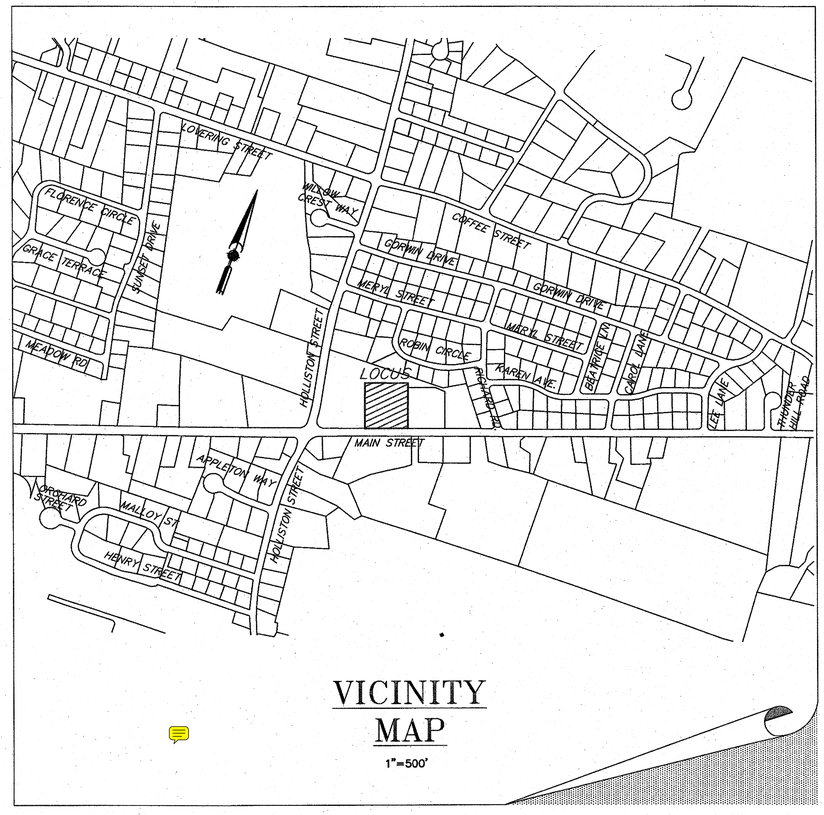
SITE PLAN
86 HOLLISTON STREET
MEDWAY
MASSACHUSETTS

INDEX

1. COVER SHEET
2. ABUTTER SHEET
3. EXISTING CONDITIONS
4. EROSION CONTROL
5. PROPOSED SITE LAYOUT
6. GRADING PLAN
7. UTILITY PLAN
8. LANDSCAPING PLAN
9. CONSTRUCTION DETAILS
10. CONSTRUCTION DETAILS
11 CONSTRUCTION DETAILS
12. CONSTRUCTION DETAILS

PHOTOMETRIC PLAN (BY OTHERS)

ARCHITECTURAL PLANS (BY OTHERS)



VICINITY MAP

1"=500'

SPECIAL PERMITS REQUESTED

REQUEST FROM THE TOWN MEDWAY PLANNING BOARD

1. ZONING BYLAWS SECTION 5.6.3 GROUNDWATER PROTECTION DISTRICT TO ALLOW IMPERVIOUS COVERAGE IN EXCESS OF 15% OR 2500 SF WHICHEVER IS GREATER, WITHIN A GROUNDWATER PROTECTION DISTRICT.
2. ZONING BYLAWS SECTION 10 CENTRAL BUISINESS DISTRICT DEVELOPMENT STANDARDS § 2.D.2 C PARKING PLACEMENT OFF STREET PARKING AND LOADING TO ALLOW PARKING WITHIN THE FRONT YARD SETBACK BETWEEN A PUBLIC STREET AND THE STREET FACING FASCADE OF A PRIMARY BUILDING HAVING A SETBACK GREATER THAN 20 FEET FROM THE STREET LINE AND STREETSCAPE TREATMENT.
3. ZONING BYLAWS SECTION 10 CENTRAL BUSINESS DISTRICT DEVELOPMENT STANDARDS § 2.D.2.C PARKING PLACEMENT – TO ALLOW VEHICULAR PARKING BETWEEN THE FRONT BUILDING LINE AND THE STREET RIGHT–OF–WAY LINE
4. ZONING BYLAWS SECTION 10 CENTRAL BUSINESS DISTRICT DEVELOPMENT STANDARDS § 4.C.2 TO ALLOW AN ALTERNATIVE BUILDING TYPE OTHER THAN ONE OF THE BUILDING TYPES SPECIFICALLY ALLOWED BY ISSUANCE OF A SPECIAL PERMIT

WAIVERS REQUESTED

REQUEST FROM THE TOWN MEDWAY PLANNING BOARD
RULES AND REGULATIONS CHAPTER 200

1. SECTION 204–5 B SITE CONTEXT SHEET
2. SECTION 204–5 D.8.A LANDSCAPE PLAN NOT PREPARED BY REGISTERED LANDSCAPE ARCHITECT
3. SECTION 207–9 B.1 SIDEWALK WIDTH REDUCTION AT VEHICLE OVERHANG
4. SECTION 207–12 G.3.A PARKING WITHIN 20' OF BUILDING ENTRANCE
5. SECTION 207–19 LANDSCAPING. B.2 LANDSCAPE BUFFERS
6. SECTION 207–19 LANDSCAPING. C.1.A PARKING AREAS

ZONING BYLAWS
7. SECTION 10.2.D.A OFF STREET PARKING EXCEEDING MAXIMUM
8. SECTION 207–19 LANDSCAPING. H.6. SECTION 207–12 PARKING SPACE G. (3) LOCATION (a)

COMMONWEALTH OF MASSACHUSETTS
ELIZABETH A. MAIANI-SANCHONI
No. 48398
REGISTERED PROFESSIONAL ENGINEER
7/1/22

COMMONWEALTH OF MASSACHUSETTS
ROBERT E. CONSTANTINE, II
No. 49611
REGISTERED PROFESSIONAL LAND SURVEYOR
7/1/22

I, STEFANY OHANNESIAN, CLERK OF THE TOWN OF MEDWAY, RECEIVED AND RECORDED FROM THE PLANNING BOARD COVENANT APPROVAL OF THIS PLAN ON _____ AND NO APPEAL WAS TAKEN FOR TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SAME.

TOWN CLERK _____ DATE _____

REGISTRY USE ONLY

F4516

APPROVED BY THE TOWN OF MEDWAY
PLANNING & ECONOMIC DEVELOPMENT BOARD

BOARD MEMEBER _____ DATE _____

LEGAL NOTES

UTILITIES ARE PLOTTED AS A COMPILATION OF RECORD DOCUMENTS, MARKINGS AND OTHER OBSERVED EVIDENCE TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES AND SHOULD BE CONSIDERED APPROXIMATE. LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. ADDITIONAL UTILITIES, NOT EVIDENCED BY RECORD DOCUMENTS OR OBSERVED PHYSICAL EVIDENCE, MAY EXIST. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING AND CALL DIGSAFE AT 1(888)DIG–SAFE{7233}.

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OWNER

FREIL REALTY II, LLC
DEED BOOK 27992 PAGE 300
PLAN BK. 515, PG 721 OF 2003
A.M. 41 LOT 8

APPLICANT

LOBISSER COMPANIES
1 CHARLESVIEW ROAD
HOPEDALE, MA 01747

SITE PLAN
86 HOLLISTON STREET
MEDWAY
MASSACHUSETTS

COVER SHEET

APRIL 14, 2022

DATE	REVISION DESCRIPTION
6/29/2022	REVISED PER TOWN COMMENTS

Guerriere & Halnon, Inc.
ENGINEERING & LAND SURVEYING
55 WEST CENTRAL ST. PH. (508) 528–3221
FRANKLIN, MA 02038 FX. (508) 528–7921
www.gandhengineering.com

SHEET 1 OF 12

JOB NO. F4516

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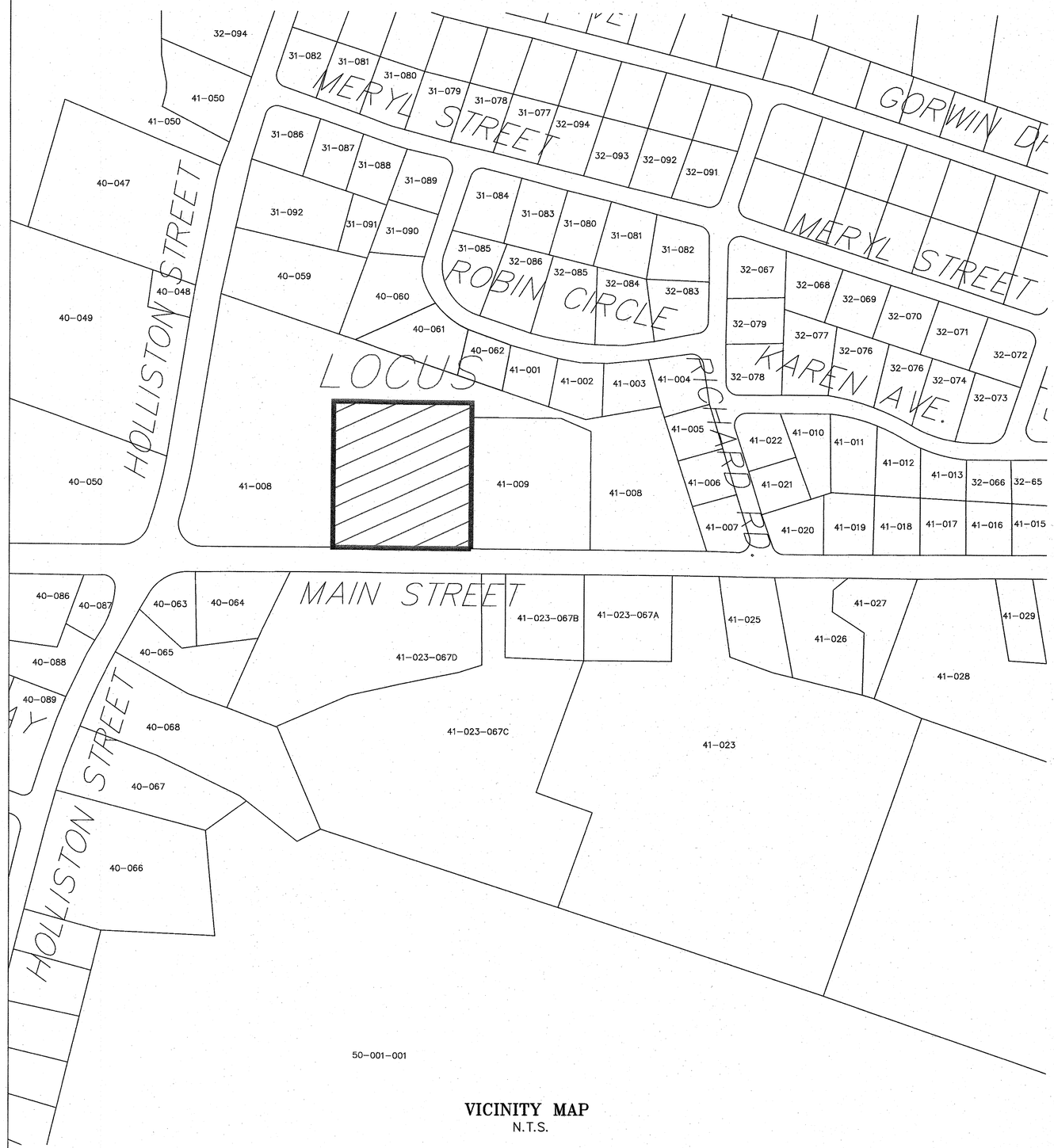

VICINITY MAP
N.T.S.

OWNER(S)/ASSESSOR INFORMATION:

PARCEL IDs:

41-007 DEIDRE ODONNELL
64 MAIN ST.
MEDWAY, MA.

40-049
FREIL REALTY II, LLC.
86 HOLLISTON ST.
MEDWAY, MA.

40-088
LOK CHING NOMINEE TRUST
6 HAVEN WAY
HOPEDALE, MA.

31-092
JAMES M. CASSIDY
90 HOLLISTON ST.
MEDWAY, MA

40-063
P & A REALTY TRUST
82 HOLLISTON ST.
MEDWAY, MA

41-027
SEAN M CURRIVAN TRUSTEE
36 ELLIS ST.
MEDWAY, MA.

40-050
CHARLES RIVER BANK
70 MAIN ST.
MEDWAY, MA

41-10
REBECCA L. PURCELL
4 KAREN AVE.
MEDWAY, MA.

40-061
DAVID J. MCWHINNIE
11 ROBIN CIRCLE
MEDWAY, MA.

40-047
HERISTON PINTO
91 HOLLISTON ST.
MEDWAY, MA.

31-090
CHARLES J. DUDDY JR.
15 ROBIN CIRCLE
MEDWAY, MA.

41-021
ANGELO MUCCI TRUSTEE
2 RICHARD RD.
MEDWAY, MA.

32-086
GEORGE M. FASOLINO
8 ROBIN CIRCLE
MEDWAY, MA.

32-067
MICHAELS TRAINOR
10 RICHARD RD.
MEDWAY, MA.

40-059
FREIL REALTY II, LLC
86 HOLLISTON ST.
MEDWAY, MA.

40-064
NORMAN W. GREEN REALTY TRUST
71 MAIN ST.
MEDWAY, MA.

41-023
HIDDEN ACRES REALTY I, LLC
1371 OAKLAND BLVD.
WALNUT CREEK, CA.

41-023-067
HIDDEN ACRES REALTY I, LLC.
(67 C MAIN ST)
75 HOLLYHILL LANE
GREENWICH, CT.

32-085
CHRISTOPHER A. ANTHONY
6 ROBIN CIRCLE
MEDWAY, MA.

41-022
ERIC H. KESSLER
4 RICHARD RD.
MEDWAY, MA.

OWNER(S)/ASSESSOR INFORMATION:

PARCEL IDs:

32-079
KATHLEEN A. BUXTON
8 RICHARD RD.
MEDWAY, MA.

32-082
ALAN J. MEISTER
9 RICHARD RD.
MEDWAY, MA.

41-023-067
(67 A MAIN ST)
HIDDEN ACRES REALTY I, LLC.
75 HOLLY HILL LANE
GREENWICH, CT.

41-023-067
(67 B MAIN ST.)
HIDDEN ACRES REALTY I, LLC.
PO BOX 902
SPENCER MA.

31-085
JOSEPH J. LATOSEK JR.
10 ROBIN CIRCLE
MEDWAY, MA.

41-023-067
(67 D MAIN ST.)
HIDDEN ACRES REALTY I, LLC.
ONE CVS DRIVE
WOONSOCKET, RI.

31-091
CHARLES J. DUDDY JR.
15 ROBIN CIRCLE
MEDWAY, MA.

41-25
FREIL REALTY I, LLC.
86 HOLLISTON ST.
MEDWAY, MA.

32-083
DIANE PRIDE
2 ROBIN CIRCLE
MEDWAY, MA.

41-004
SYDNEY LAMPKE
5 RICHARD RD.
MEDWAY, MA.

41-020
SAMUEL S. TORREY JR.
62 MAIN ST.
MEDWAY, MA.

40-086
CHEN DE XIANG TRUSTEE
6 HAVEN WAY
HOPEDALE, MA.

32-078
(1 KAREN AVE)
MARGARET A. LE COADY
7539 DANVERS CIRCLE
PORT CHARLOTTE, FL.

32-084
RYAN P. SULLIVAN
4 ROBIN CIRCLE
MEDWAY, MA.

40-048
FREIL REALTY II, LLC.
86 HOLLISTON ST.
MEDWAY, MA.

41-026
SEAN M. CURRIVAN
59 MAIN ST.
MEDWAY, MA.

40-066
(74 HOLLISTON ST.)
HIDDEN ACRES REALTY I, LLC.
75 HOLLY HILL LANE
GREENWICH, CT.

41-019
WILLIAM MCCAUL
60 MAIN ST.
MEDWAY, MA.

31-084
JOHN K. SPURLING
16 ROBIN CIRCLE
MEDWAY, MA.

OWNER(S)/ASSESSOR INFORMATION:

PARCEL IDs:

32-81
JAMES F. CASSIDY
14 MERYL ST.
MEDWAY, MA.

40-065
WHITE PEARL LLC.
76 HOLLISTON ST.
MEDWAY, MA.

40-87
AOUDE GAS & REPAIRS
73 MAIN ST.
MEDWAY, MA.

40-062
ROBERT G. COLLINS
9 ROBIN CIRCLE
MEDWAY, MA.

40-060
EDGAR E. DOCHERTY
13 ROBIN CIRCLE
MEDWY, MA.

41-003
EDITH E. CULLEN
3 ROBIN CIRCLE
MEDWAY, MA.

41-001
MARILYN E. SMITH
7 ROBIN CIRCLE
MEDWAY, MA.

41-011
ERIKA R. LEGER
6 KAREN AVE.
MEDWAY, MA.

41-009
(68 MAIN ST)
FREIL REALTY II, LLC.
PO BOX 1159
DEERFIELD, IL.

41-002
AUTUMN RICHARD
5 ROBIN CIRCLE
MEDWAY, MA.

41-005
CLIFFORD M. LANDER
3 RICHARD ROAD
MEDWAY, MA.

32-077
ELOISE C. THIBAULT
3 KAREN AVE
MEDWAY, MA.

31-099
(9 LOVERING ST.)
TOWN OF MEDWAY
155 VILLAGE STREET
MEDWAY, MA.

41-006
KEVIN D. MULLER
1 RICHARD ROAD
MEDWAY, MA.

COMMONWEALTH OF MASSACHUSETTS
ELIZABETH A. MAINI-SANCHONI
No. 48098
PROFESSIONAL ENGINEER
7/1/22

COMMONWEALTH OF MASSACHUSETTS
ROBERT E. CONSTANTINE, II
No. 49611
REGISTERED PROFESSIONAL LAND SURVEYOR
7/1/22

REGISTRY USE ONLY

F4516

APPROVED BY THE TOWN OF MEDWAY
PLANNING & ECONOMIC DEVELOPMENT BOARD

BOARD MEMEBER DATE

LEGAL NOTES

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OWNER

FREIL REALTY II, LLC
DEED BOOK 27992 PAGE 300
PLAN BK. 515, PG 721 OF 2003
A.M. 41 LOT 8

APPLICANT

LOBISSER COMPANIES
1 CHARLESVIEW ROAD
HOPEDALE, MA 01747

SITE PLAN
86 HOLLISTON STREET
MEDWAY
MASSACHUSETTS

ABUTTER SHEET

APRIL 14, 2022

DATE	REVISION DESCRIPTION
6/29/2022	REVISED PER TOWN COMMENTS

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SHEET 2 OF 12

JOB NO. F4516

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ZONING DISTRICT
CENTRAL BUSINESS

	REQUIRED
MIN. LOT AREA	10,000 SF
MIN. LOT FRONTAGE	NA[f]
MIN. YARD SETBACKS	
FRONT	10 FT
SIDE	10 FT 25 FT*
REAR	25 FT
STRUCTURE COVERAGE	80%
MAXIMUM IMPERVIOUS COVERAGE	NA
MINIMUM OPEN SPACE	15%

*WHEN ABUTTING A RESIDENTIAL DISTRICT
[f]PROPERTIES IN THE CENTRAL BUSINESS DISTRICT THAT DO NOT HAVE FRONTAGE ON A PUBLIC STREET SHALL BE REQUIRED TO HAVE AN EASEMENT OF AT LEAST 30 FEET IN WIDTH PROVIDING ACCESS TO A PUBLIC STREET.

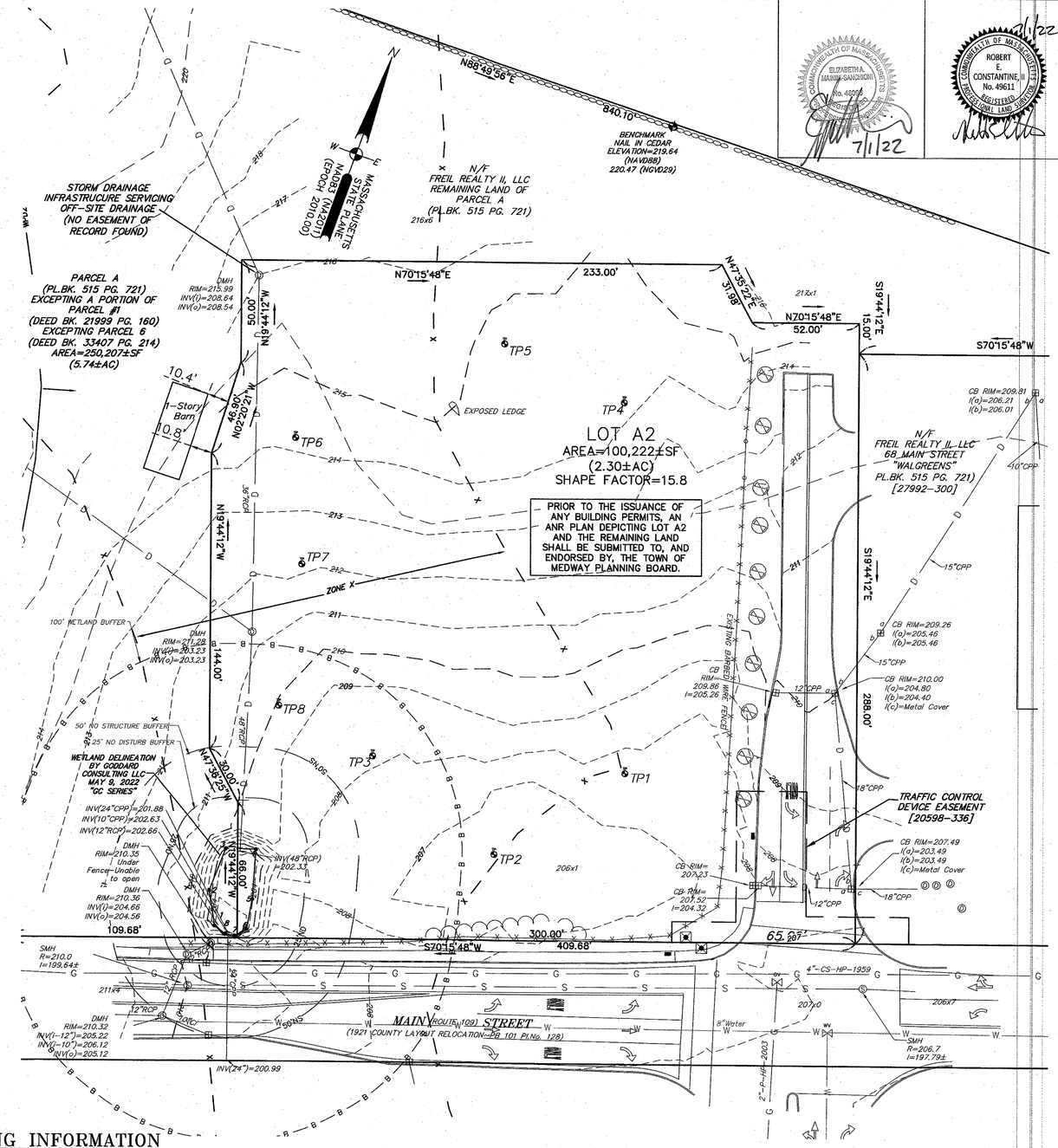
LEGEND

	CATCH BASIN		LIGHT POLE
	DRAIN MANHOLE		UTILITY POLE
	ELECTRIC MANHOLE		GUY WIRE
	SEWER MANHOLE		SIGN
	MANHOLE		WETFLAG
GV	GAS VALVE		UTILITY POLE
	GAS SHUT OFF VALVE		PROP. STREET LIGHTING
WV	WATER VALVE		
	WATER SHUT OFF VALVE	X 000.0	SPOT ELEVATION
	FIRE HYDRANT		RIPRAP

000	EXISTING CONTOUR
D	EXISTING DRAIN LINE
W	EXISTING WATER LINE
X X X X X	EXISTING FENCE
X	FLOOD ZONE X- MINIMAL RISK AREA
WPD2	ZONE 2 WELLHEAD PROTECTION DISTRICT

NOTES

1. THIS LAND IS ZONED CENTRAL BUSINESS.
2. A PORTION OF THIS SITE IS LOCATED FLOOD HAZARD ZONE X PER FEMA FLOOD MAP 25021C0143E, EFFECTIVE DATE 7/17/2012.
3. THE WETLANDS WERE EVALUATED BY GODDARD CONSULTING LLC. ON DECEMBER 13, 2021 AND JANUARY 28, 2022 SEE WETLAND REPORTS FOR FURTHER INFORMATION. WETLANDS WERE FIELD LOCATED BY GUERRIERE & HALNON, INC.
4. REFER TO MEDWAY ASSESSORS MAP 41 LOT 008
5. THIS SITE IS LOCATED WITHIN THE GROUNDWATER PROTECTION DISTRICT.
6. ALL REFERENCED DEEDS ARE ON RECORD AT THE NORFOLK REGISTRY OF DEEDS.
7. THIS SITE IS NOT LOCATED WITHIN A NATURAL HERITAGE AND ENDANGERED SPECIES PROGRAM AREA.
8. ELEVATIONS ARE BASED ON HORIZONTAL DATUM:NAD83; VERTICAL DATUM: NAVD88.
9. EXISTING SEWER INVERTS IN MAIN STREET OBTAINED FROM PLAN TITLED "TOWN OF MEDWAY, MASSACHUSETTS BOARD OF WATER/SEWER COMMISSIONERS SANITARY SEWER PROGRAM MAIN STREET – STA. 45+00 TO STA. 55+60.71" SHEET 5 OF 16 DATED 3-20-84, REVISED THROUGH 4-7-89, AND PREPARED BY METCALF & EDDY, INC./ENGINEERS.
10. EXISTING SEWER INVERTS TO BE VERIFIED PRIOR TO START OF CONSTRUCTION.



TESTING INFORMATION

TESTING DATE: JANUARY 5, 2022 SOIL EVALUATOR: MICHAEL HASSETT

TP 1

207.60		
206.94	SANDY LOAM A	8" 10YR 2/2
205.36	SANDY LOAM B	19" 7.5YR 5/8
203.62	COARSE SAND C1	21" 10YR 5/8
202.29	SANDY LOAM C2	16" 2.5YR 5/4
198.49	SAND & GRAVEL C3	46" 2.5YR 6/3

WEEPING @ 77"
MOTTLES @ 27" 205.35
NO REFUSAL

TP 2

206.5		
203.00	F	42"
201.50	SANDY LOAM Ab	18" 10YR 2/2
	LOAMY SAND Ab VARIES IN DEPTH	63"
196.25		10YR 5/4

MOTTLES @ 34" 203.67
WEEPING @ 6.5'

TP 3

208.1		
205.10	F	36"
204.10	SANDY LOAM Ab	12" 10YR2/2
202.60	SANDY LOAM B	18" 7.5YR 5/8
	SAND & GRAVEL C	42" 10YR 5/8
199.10		

MOTTLES @ 42" 204.60
WEEPING @ 78"

TP 4

214.20	
	LOAM/FILL
210.90	

GW @ 3.3'

TP 5

214.80	
	LOAM/FILL
209.80	

GW @ 5'

TP 6

214.20		
211.70	F	30"
209.20	SAND & GRAVEL C1	28" 10YR 5/8
208.70	LOAMY SAND C2	6" 2.5YR 5/4
	SAND & GRAVEL C3	38" 2.5YR 6/3
205.53		

MOTTLES @ 36"
WEEPING @ 98"

TP 7

212.20		
209.20	F	36"
	SANDY LOAM C	90" 10YR 5/8
201.70		

MOTTLES @ 54"
WEEPING @ 120"

TP 8

209.90		
206.90	F	36"
205.90	SANDY LOAM Ab	12" 10YR2/2
204.90	SANDY LOAM B	12" 7.5YR 5/8
	SAND & GRAVEL C	54" 10YR 5/8
200.40		

MOTTLES @ 54"
B LAYERS VARY

ELIZABETH A. MANNIX-SANCHONI No. 49606 REGISTERED PROFESSIONAL ENGINEER COMMONWEALTH OF MASSACHUSETTS
7/1/22

ROBERT E. CONSTANTINE, III No. 49611 REGISTERED PROFESSIONAL LAND SURVEYOR COMMONWEALTH OF MASSACHUSETTS
7/1/22

REGISTRY USE ONLY

F4516

APPROVED BY THE TOWN OF MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD

BOARD MEMEBER DATE

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OWNER

FREIL REALTY II, LLC
DEED BOOK 27992 PAGE 300
PLAN BK. 515, PG 721 OF 2003
A.M. 41 LOT 8

APPLICANT

LOBISSER COMPANIES
1 CHARLESVIEW ROAD
HOPEDALE, MA 01747

SITE PLAN
86 HOLLISTON STREET
MEDWAY
MASSACHUSETTS

EXISTING CONDITIONS

APRIL 14, 2022

DATE	REVISION DESCRIPTION
6/29/2022	REVISED PER TOWN COMMENTS

GRAPHIC SCALE: 1"=30'
0 10 20 30 40 50 75 FEET
0 5 10 15 20 25 METERS

Guerriere & Halnon, Inc.
ENGINEERING & LAND SURVEYING
55 WEST CENTRAL ST. PH. (508) 528-3221
FRANKLIN, MA 02038 FX. (508) 528-7921
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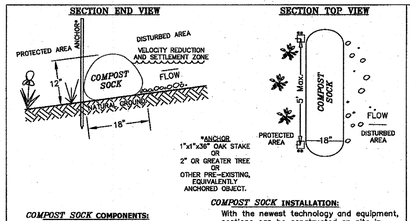
SHEET 3 OF 12 JOB NO. F4516



COMPOST SOCK COMPONENTS:

OUTSIDE CASING: 100% organic hessian.

FILLER INGREDIENT: *FiberRoot Mulch™*

- A blend of coarse and fine compost and shredded wood.
- Particle sizes: 100% passing a 3" screen; 90–100% passing a 1" screen; 70–100% passing a 0.75" screen; 30–75% passing a 0.25" screen.
- Weight: Approx. 850 lbs./cu.yd. (Ave. 30 lbs./l.f.)

COMPOST SOCK INSTALLATION:

With the newest technology and equipment, sections can be constructed on site in lengths from 1' to 100'.

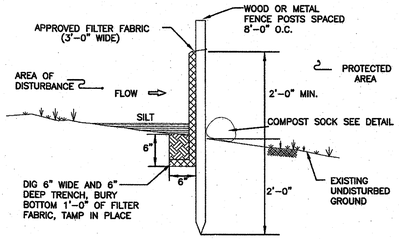
Sections can also be delivered to the site in lengths from 1' to 8'.

The flexibility of *COMPOST SOCK* allows it to conform to any contour or terrain while holding a slightly oval shape at 12" high by 18" wide.

Where section ends meet, there shall be an overlap of 6" or greater. Both sides shall be anchored (oak stakes, trees, etc.) to stabilize the union. No additional anchors are required on slopes less that 2:1. **Additional anchors are required at 5' intervals (max.) on the downslope or protected side on slopes greater than 2:1 to prevent movement.

COMPOST SOCK DETAIL

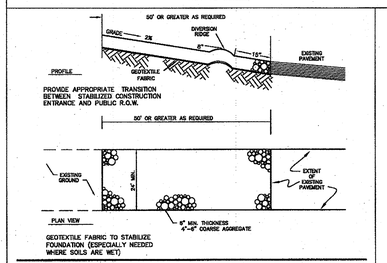
NOT TO SCALE



1. PLACE SILT FENCE AT LOCATIONS AS SHOWN ON THE GRADING AND DRAINAGE PLAN.
2. SILT FENCE SHALL BE INSTALLED SO WATER CANNOT BYPASS THE FENCE AROUND THE SIDES.
3. INSPECTION SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE AS PROMPTLY AS POSSIBLE.
4. SILT FENCE SHALL REMAIN IN PLACE FOR THE DURATION OF THE PROJECT UNLESS OTHERWISE INSTRUCTED BY THE CONSERVATION COMMISSION.

SILT FENCE EROSION CONTROL

N.T.S.



STABILIZED CONSTRUCTION ENTRANCE

NOT TO SCALE

NAMES OF PERSONS OR ENTITIES RESPONSIBLE FOR PLAN COMPLIANCE

KEVIN LOBISSER
LOBISSER COMPANIES
1 CHARLESVIEW ROAD
HOPEDALE, MA 01747
TEL: 508-478-6235

EROSION CONTROL AND DRAINAGE CONSTRUCTION PHASING

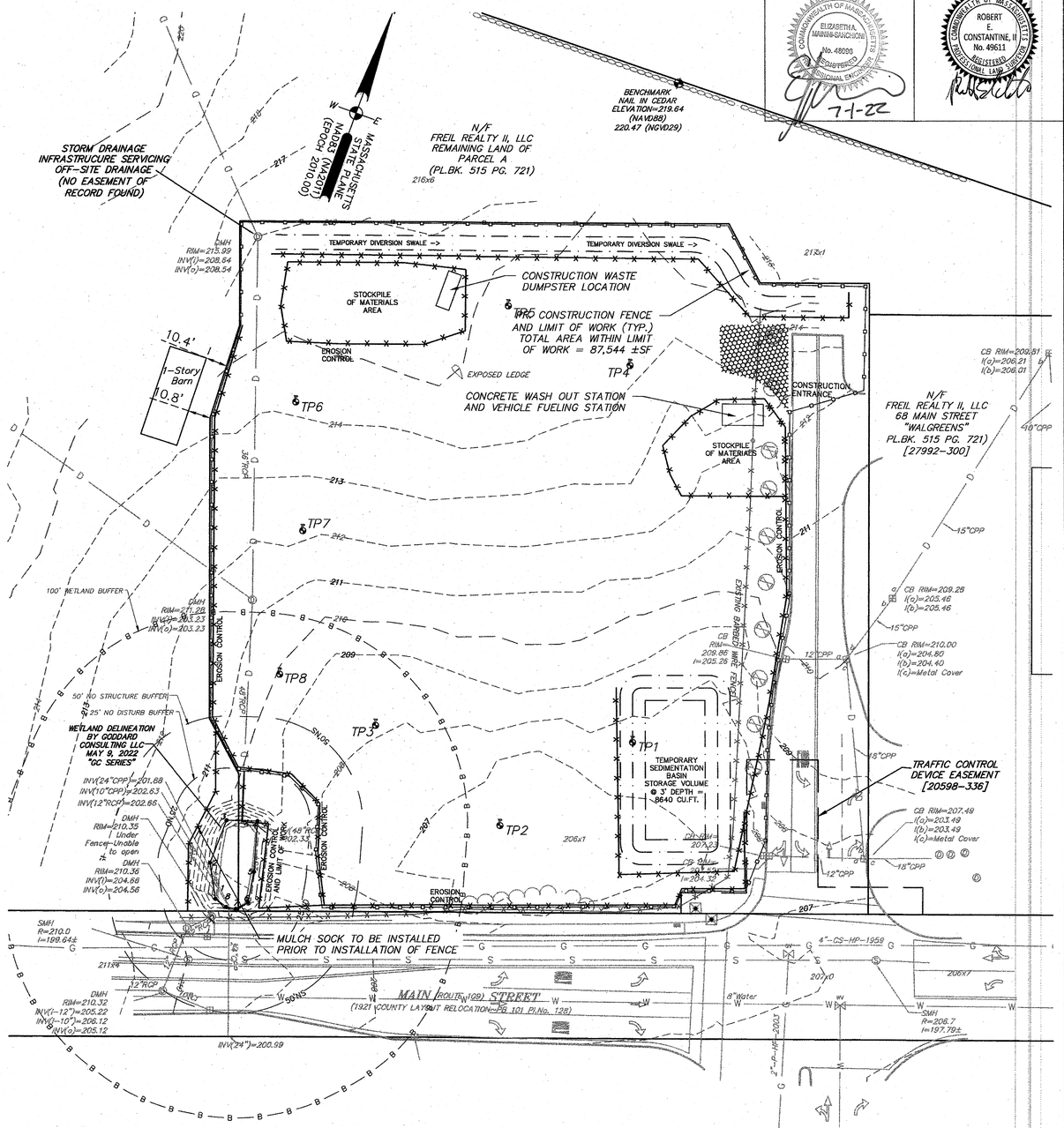
1. INSTALL EROSION CONTROL DEVICES ALONG PERIMETER OF SITE WHERE SHOWN.
2. INSTALL CONSTRUCTION ENTRANCE AND TEMPORARY DIVERSION SWALE.
3. SITE TO BE CLEARED AND GRUBBED.
4. INSTALL SLOPE MATTING TO STABILIZE SLOPES (IF APPLICABLE)
5. INSTALL DRAINAGE MANHOLES AND CATCHBASINS AND ENSURE TEMPORARY COVER IS IN PLACE.
6. INSTALL ALL DRAINAGE RISERS, GRATES AND COVERS
7. REMOVE CONSTRUCTION ENTRANCES.
8. UPON ALL CATCHMENT STRUCTURES AND MITIGATION FEATURES BECOMING OPERATIONAL, INSTALL PAVEMENT TO BINDER FINISH GRADE. PAVER TO PROVIDE TEMPORARY ASPHALT BERM ON BOTH SIDES OF PROPOSED PAVED AREAS. EROSION CONTROL MEASURES BACKED BY CRUSHED STONE TO BE PROVIDED ON DOWN GRADIENT SIDE OF CATCH BASINS TO DIRECT WATER TO TEMPORARY BASIN.
9. REMOVE TEMPORARY SEDIMENTATION BASIN AND FOREBAY AFTER SITE HAS BEEN STABILIZED AND PREPARED FOR BUILDING FOUNDATION INSTALLATION.
10. EROSION CONTROL AND TEMPORARY DIVERSION SWALE TO REMAIN IN PLACE UNTIL ALL DRAINAGE IS CONSTRUCTED AND INSPECTED AND READY TO RECEIVE FULL DESIGN FLOWS.

GENERAL NOTES:

1. SPECIAL CONSIDERATION FOR INLET CONTROLS FOR EROSION COLLECTION BEFORE ENTERING DRAINAGE SYSTEM.
2. INSTALL SILT SACKS IN ALL EXISTING CATCH BASINS WITHIN THE AREA OF WORK.
3. INSTALL BARRIER AROUND CATCH BASIN, COMPOST SOCK OR EQUAL.
4. INSTALL FILTER FABRIC ON ALL DRAIN MANHOLE OUTLETS DISCHARGING TO INFILTRATION SYSTEM.
5. INSPECTIONS BEFORE AND AFTER STORM EVENTS ARE REQUIRED TO INSURE ADEQUACY OF EROSION CONTROL MEASURES.
6. ALL EXISTING STRUCTURES TO BE RAZED.
7. STOCK PILE AREA TO BE CONTAINED USING EROSION CONTROL DEVICES
8. DIRT BAG SHALL BE USED TO PERIODICALLY CLEAN THE TEMPORARY SEDIMENTATION BASINS DURING CONSTRUCTION.
9. A CONSTRUCTION FENCE SHALL BE PLACED AROUND THE PERIMETER OF THE SITE.
10. SOILS UNDERLYING THE SITE ARE DEFINED AS MAP UNITS 260B SUDBURY FINE SANDY LOAM (HSG B), 254B MERRIMAC FINE SANDY LOAM (HSG A), 300B MONTAUK FINE SANDY LOAM (HSG C), AND 310B WOODBRIDGE FINE SANDY LOAM (HSG C/D).
11. THE PROJECT RESULTS IN A NET FILL OF SOILS OF APPROXIMATELY 5,400 CY. ALL IMPORTED MATERIAL SHALL BE TESTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE TOWN OF MEDWAY.

LEGEND

	CATCH BASIN		LIGHT POLE
	DRAIN MANHOLE		UTILITY POLE
	ELECTRIC MANHOLE		GUY WIRE
	SEWER MANHOLE		SIGN
	MANHOLE		WETFLAG
GV	GAS VALVE		UTILITY POLE
	GAS SHUT OFF VALVE		PROP. STREET LIGHTING
WV	WATER VALVE		
	WATER SHUT OFF VALVE	X 000.0	SPOT ELEVATION
	FIRE HYDRANT		RIPRAP
000	EXISTING CONTOUR		
D	EXISTING DRAIN LINE		
W	EXISTING WATER LINE		



TEMPORARY SEDIMENTATION BASIN SIZING:
3600 CU.FT. OF STORAGE PER ACRE DRAINED

2.3 ACRES DRAINED X 3600 CU.FT. = 8282.8 CU.FT.

STORAGE PROVIDED = 8640 CU.FT.

REGISTRY USE ONLY

F4516

APPROVED BY THE TOWN OF MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD

BOARD MEMEBER DATE

LEGAL NOTES

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CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

OWNER

FREIL REALTY II, LLC
DEED BOOK 27992 PAGE 300
PLAN BK. 515, PG 721 OF 2003
A.M. 41 LOT 8

APPLICANT

LOBISSER COMPANIES
1 CHARLESVIEW ROAD
HOPEDALE, MA 01747

SITE PLAN
86 HOLLISTON STREET
MEDWAY
MASSACHUSETTS

EROSION CONTROL

APRIL 14, 2022

DATE	REVISION DESCRIPTION
6/29/2022	REVISED PER TOWN COMMENTS

GRAPHIC SCALE: 1"=30'

0 10 20 30 40 50 75 FEET
0 5 10 15 20 25 METERS

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ZONING DISTRICT
CENTRAL BUSINESS

	REQUIRED	PROPOSED
MIN. LOT AREA	10,000 SF	100,222 SF
MIN. LOT FRONTAGE	NA[f]	300.00 FT
MIN. YARD SETBACKS		
FRONT	10 FT	112.3 FT
SIDE	10 FT 25 FT[e]	55.4 FT
REAR	25 FT	54.8 FT
STRUCTURE COVERAGE	80%	21.9%
MAXIMUM IMPERVIOUS COVERAGE**	NA	68.3%**
MINIMUM OPEN SPACE	15%	31.7%
INTERIOR PARKING LANDSCAPING	10%	11.0%

[e]WHEN ABUTTING A RESIDENTIAL DISTRICT
[f]PROPERTIES IN THE CENTRAL BUSINESS DISTRICT THAT DO NOT HAVE FRONTAGE ON A PUBLIC STREET SHALL BE REQUIRED TO HAVE AN EASEMENT OF AT LEAST 30 FEET IN WIDTH PROVIDING ACCESS TO A PUBLIC STREET.

**MAXIMUM IMPERVIOUS COVERAGE IN A GROUND WATER PROTECTION DISTRICT:
ANY USE THAT WILL RENDER IMPERVIOUS MORE THAN 15% OR 2500 SF. OF ANY LOT WHICHEVER IS GREATER.

NOTE

LOT COVERAGE CALCULATION:

NEW LOT AREA = 100,222±SF.

EXISTING PAVEMENT = 10,263± SF.
PROPOSED BUILDING = 21,900± SF.
PROPOSED PAVEMENT = 36,329± SF.

TOTAL IMPERVIOUS = 68,492± SF.
(68.3%)

LEGEND

	CATCH BASIN		LIGHT POLE
D	DRAIN MANHOLE		UTILITY POLE
E	ELECTRIC MANHOLE		GUY WIRE
S	SEWER MANHOLE		SIGN
	MANHOLE		WETFLAG
GV	GAS VALVE		UTILITY POLE
	GAS SHUT OFF VALVE		PROP. STREET LIGHTING
WV	WATER VALVE	VGC	VERTICAL GRANITE CURB
	WATER SHUT OFF VALVE	x 000.0	SPOT ELEVATION
	FIRE HYDRANT		RIPRAP
000	EXISTING CONTOUR		
D	EXISTING DRAIN LINE		
W	EXISTING WATER LINE		

NOTE:
NO SNOW IS TO BE STORED WITHIN WETLAND RESOURCES OR THEIR BUFFERS, STORMWATER MANAGEMENT AREAS, OR PARKING SPACES. SNOW STORAGE SIGNS ARE TO BE PROVIDED ADJACENT TO THE WETLAND RESOURCE AREA AS SHOWN ON THIS PLAN. EXCESS SNOW THAT CANNOT BE STORED WITHIN THE DESIGNATED SNOW STORAGE AREAS IS TO BE REMOVED AND DISPOSED OF OFF-SITE WITHIN 72 HOURS.

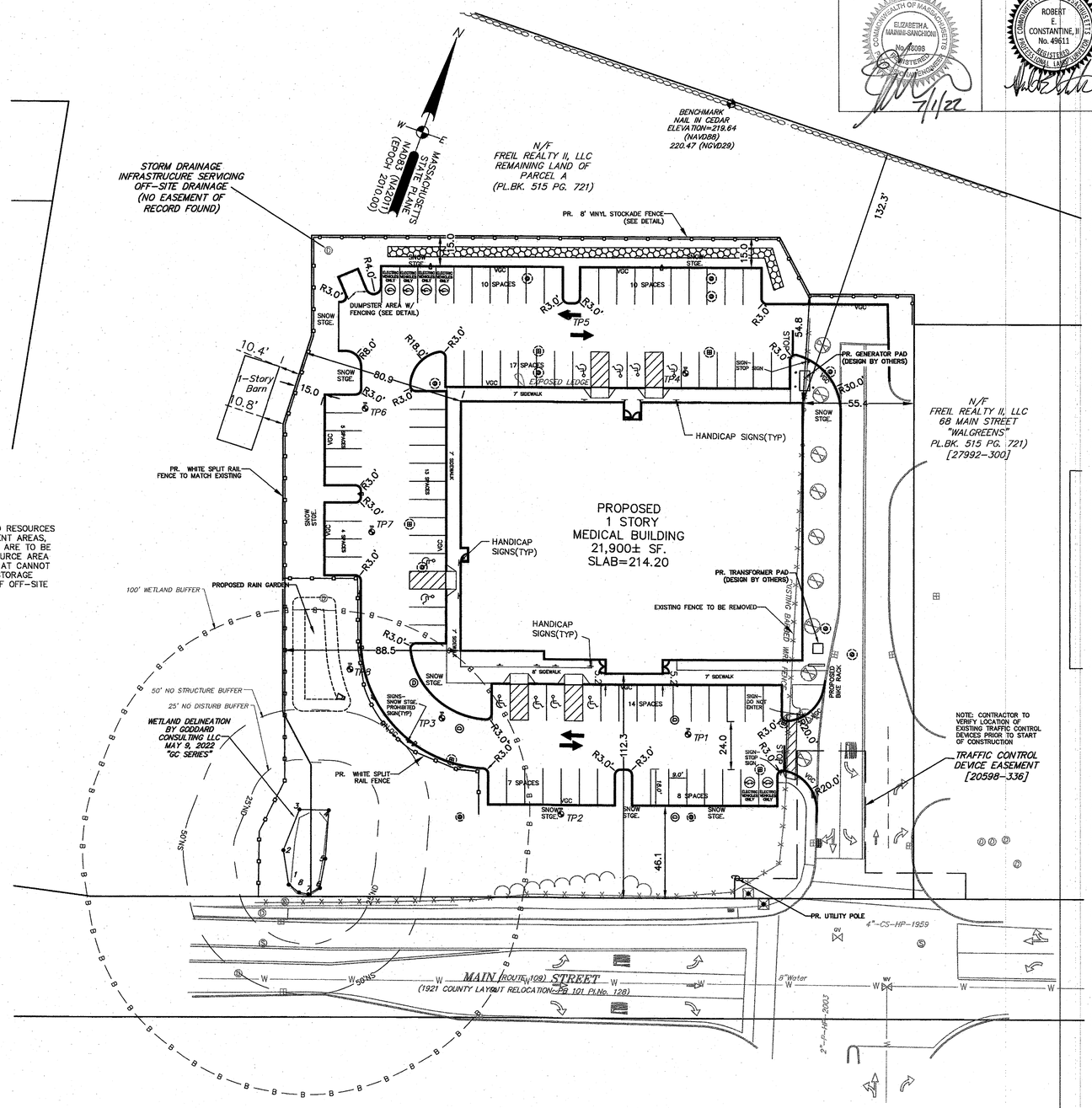
PARKING NOTES

ZONED: CENTRAL BUSINESS
PARKING REQUIREMENTS PER ZONING:
TABLE 3. SCHEDULE OF OFF STREET PARKING REQUIREMENTS

MEDICAL OFFICE OR CLINIC:
1 SPACE PER 300 SF. = 73 SPACES REQUIRED
NUMBER OF EMPLOYEES = 41
PARKING SPACES PROVIDED = 88 SPACES

TYPICAL PARKING SPACE: 18' X 9'

ELECTRIC VEHICLE SPACES REQ'D = 4
ELECTRIC VEHICLE SPACES PROVIDED = 6



ELIZABETH A. MARINI-SANCHONI No. 38398 REGISTERED PROFESSIONAL ENGINEER COMMONWEALTH OF MASSACHUSETTS
7/1/22

ROBERT E. CONSTANTINE, III No. 49611 REGISTERED PROFESSIONAL LAND SURVEYOR COMMONWEALTH OF MASSACHUSETTS
7/1/22

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APPROVED BY THE TOWN OF MEDWAY
PLANNING & ECONOMIC DEVELOPMENT BOARD

BOARD MEMEBER DATE

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OWNER

FREIL REALTY II, LLC
DEED BOOK 27992 PAGE 300
PLAN BK. 515, PG 721 OF 2003
A.M. 41 LOT 8

APPLICANT

LOBISSER COMPANIES
1 CHARLESVIEW ROAD
HOPEDALE, MA 01747

SITE PLAN
86 HOLLISTON STREET
MEDWAY
MASSACHUSETTS

LAYOUT PLAN

APRIL 14, 2022

DATE	REVISION DESCRIPTION
6/29/2022	REVISED PER TOWN COMMENTS

GRAPHIC SCALE: 1"=30'
0 10 20 30 40 50 75 FEET
0 5 10 15 20 25 METERS

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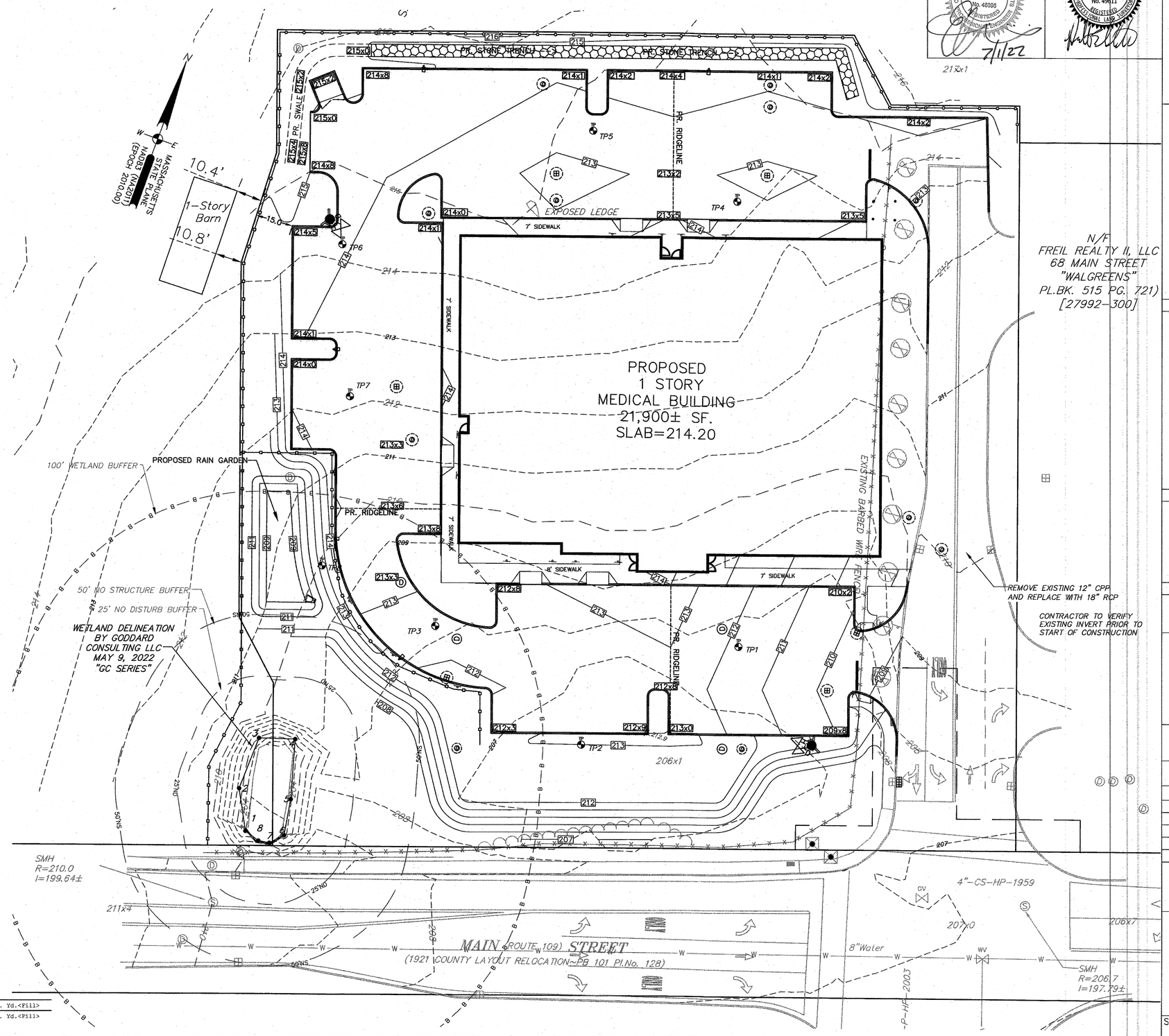

LEGEND

	CATCH BASIN		LIGHT POLE
	DRAIN MANHOLE		UTILITY POLE
	ELECTRIC MANHOLE		GUY WIRE
	SEWER MANHOLE		SIGN
	MANHOLE		WETFLAG
GV	GAS VALVE		UTILITY POLE
	GAS SHUT OFF VALVE		PROP. STREET LIGHTING
W	WATER VALVE		
	WATER SHUT OFF VALVE	x 000.0	SPOT ELEVATION
	FIRE HYDRANT		RIPRAP

000	EXISTING CONTOUR
D	EXISTING DRAIN LINE
W	EXISTING WATER LINE

Cut/Fill Summary

Name	Cut Factor	Fill Factor	2d Area	Cut	Fill	Net
CUTFILL	1.000	1.000	80176 Sq. Ft.	709 Cu. Yd.	6106 Cu. Yd.	5397 Cu. Yd.<Fill>
Totals			80176 Sq. Ft.	709 Cu. Yd.	6106 Cu. Yd.	5397 Cu. Yd.<Fill>

COMMONWEALTH OF MASSACHUSETTS ELIZABETH A. MARINI-SANCHONI No. 48086 REGISTERED PROFESSIONAL ENGINEER 7/1/22

COMMONWEALTH OF MASSACHUSETTS ROBERT E. CONSTANTINE, II No. 49611 REGISTERED PROFESSIONAL LAND SURVEYOR 7/1/22

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APPROVED BY THE TOWN OF MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD

BOARD MEMEBER DATE

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OWNER

FREIL REALTY II, LLC
DEED BOOK 27992 PAGE 300
PLAN BK. 515, PG 721 OF 2003
A.M. 41 LOT 8

APPLICANT

LOBISSER COMPANIES
1 CHARLESVIEW ROAD
HOPEDALE, MA 01747

SITE PLAN
86 HOLLISTON STREET
MEDWAY
MASSACHUSETTS

GRADING PLAN

APRIL 14, 2022

DATE	REVISION DESCRIPTION
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LEGEND

	CATCH BASIN		LIGHT POLE
	DRAIN MANHOLE		UTILITY POLE
	ELECTRIC MANHOLE		GUY WIRE
	SEWER MANHOLE		SIGN
	MANHOLE		WETFLAG
GV	GAS VALVE		UTILITY POLE
	GAS SHUT OFF VALVE		PROP. STREET LIGHTING
WV	WATER VALVE		
	WATER SHUT OFF VALVE	x 000.0	SPOT ELEVATION
	FIRE HYDRANT		RIPRAP
000	EXISTING CONTOUR		
D	EXISTING DRAIN LINE		
W	EXISTING WATER LINE		

STORM DRAINAGE NOTES

1. ALL DRAINAGE PIPES TO BE 12" RCP UNLESS OTHERWISE NOTED. WHERE LESS THAN 3.5' OF COVER IS PROVIDED, CLASS V RCP SHALL BE USED.

2. DMH #1, DMH #7, CB #4, AND CB #7 SHALL BE CONTECH CDS1515-3-C WATER QUALITY MANHOLES.

3. NON-METAL ROOFS ARE PROPOSED FOR THE PROPOSED BUILDING.

4. FILL MATERIAL BENEATH THE PROPOSED INFILTRATION CHAMBER SYSTEMS AND RAIN GARDEN SHALL BE REMOVED TO THE DEPTH OF THE NATURALLY OCCURRING SANDY MATERIAL IDENTIFIED IN THE TEST PIT SOIL LOGS, AND THE SYSTEM BROUGHT TO GRADE WITH SAND, CRUSHED STONE, OR OTHER ACCEPTABLE MATERIAL, AS DETERMINED BY THE DESIGN ENGINEER AND THE TOWN OF MEDWAY.

SPECIAL CONSIDERATION FOR INLET CONTROLS FOR EROSION COLLECTION BEFORE ENTERING DRAINAGE SYSTEM:

A. INSTALL SILT SACKS.

B. BARRIER AROUND CATCH BASIN, COMPOST SOCK OR EQUAL

C. INSTALL FILTER FABRIC ON ALL DRAIN MANHOLE OUTLETS DISCHARGING TO INFILTRATION SYSTEM.

D. INSPECTIONS BEFORE AND AFTER STORM EVENTS ARE REQUIRED TO INSURE ADEQUACY OF EROSION CONTROL MEASURES.

E. CONTRACTOR & ARCHITECT ARE TO VERIFY SITE UTILITIES PRIOR TO DESIGN & CONSTRUCTION.

F. ALL PIPE GASKETS SHALL BE PRE-MOLDED NEOPRENE O-RING TYPE (300-11 B.(2)(A)).

SITE DRAINAGE INSTALLATIONS NOTES

1. EACH SUBSURFACE CHAMBER WILL BE INSTALLED SEPARATELY TO DESIGN ELEVATION.

2. INSTALL CONNECTIONS TO CATCH BASINS, WATER QUALITY MANHOLE (WQMH) AND DRAIN MANHOLES.

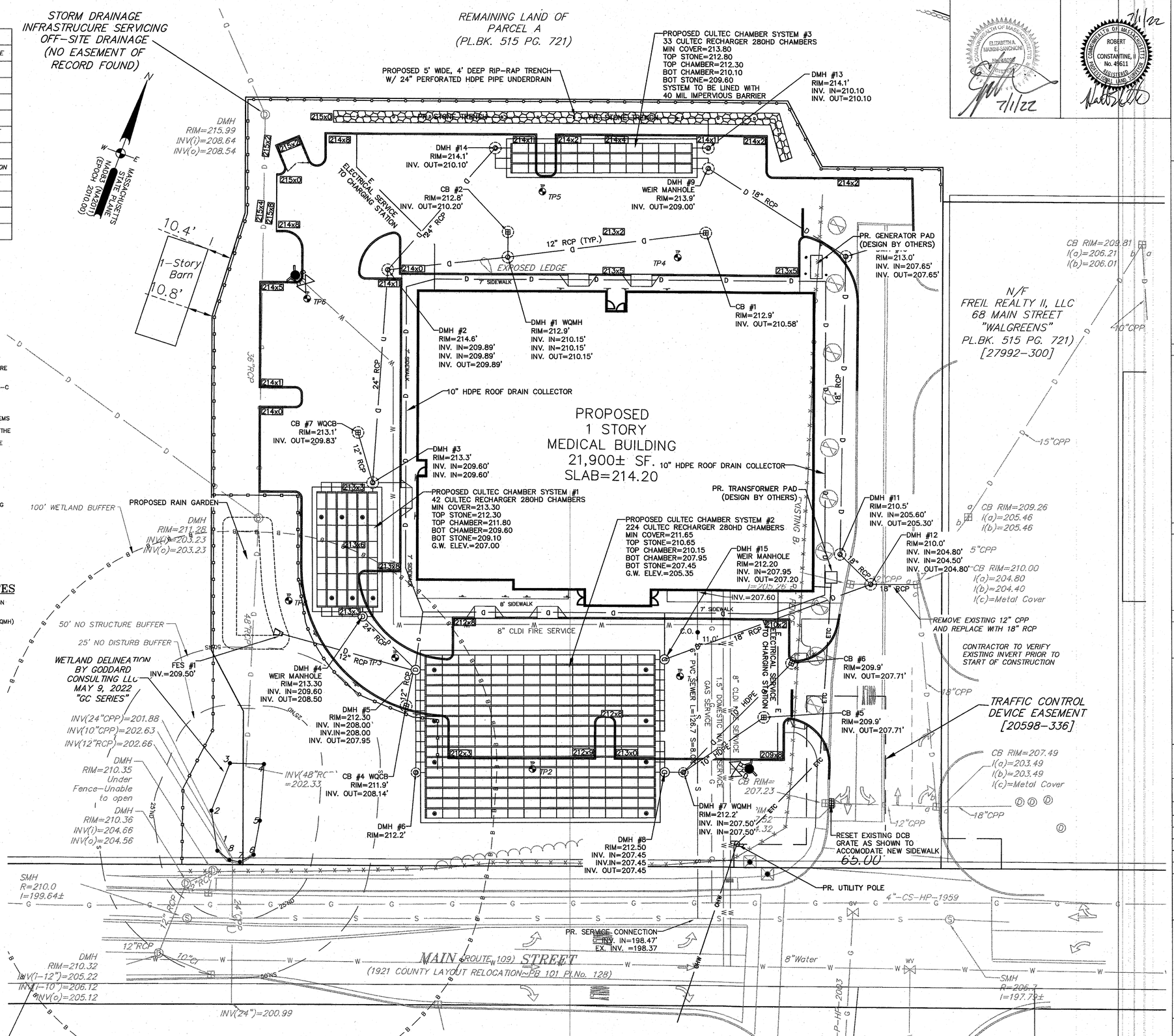
3. EXCAVATE AND INSTALL SUBSURFACE UNIT, BACKFILL W/ STONE MAINTAINING 18"-24" COVER AND AS-BUILT EACH SECTION.

UTILITY NOTE

ALL UTILITIES SHALL BE CONSTRUCTED AND TESTED ACCORDING TO STATE AND LOCAL REGULATIONS.

ALL WATER AND SEWER UTILITIES TO COMPLY WITH THE TOWN OF MEDWAY DEPARTMENT OF PUBLIC WORKS STANDARD DETAILS. WHERE CONFLICTS EXIST, THE TOWNS SPECIFICATIONS SHALL CONTROL.

ALL WATER AND SEWER LINE WORK WITHIN THE STREET OR SIDEWALK MUST UTILIZE FLOWABLE FILL TO THE SATISFACTION OF THE MEDWAY DEPARTMENT OF PUBLIC WORKS.



COMMONWEALTH OF MASSACHUSETTS ELIZABETH A. MAHONE-SANCHONI No. 49826 REGISTERED PROFESSIONAL ENGINEER 7/1/22

COMMONWEALTH OF MASSACHUSETTS ROBERT E. CONSTANTINE II No. 49611 REGISTERED PROFESSIONAL LAND SURVEYOR 7/1/22

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APPROVED BY THE TOWN OF MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD

BOARD MEMEBER DATE

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OWNER

FREIL REALTY II, LLC
DEED BOOK 27992 PAGE 300
PLAN BK. 515, PG 721 OF 2003
A.M. 41 LOT 8

APPLICANT

LOBISSER COMPANIES
1 CHARLESVIEW ROAD
HOPEDALE, MA 01747

SITE PLAN
86 HOLLISTON STREET
MEDWAY
MASSACHUSETTS

UTILITY PLAN

APRIL 14, 2022

DATE	REVISION DESCRIPTION
6/29/2022	REVISED PER TOWN COMMENTS

GRAPHIC SCALE: 1"=20'

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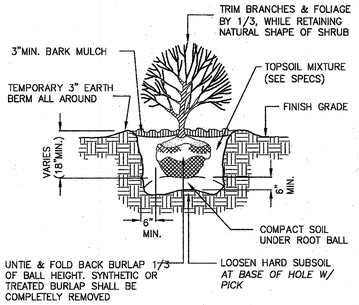
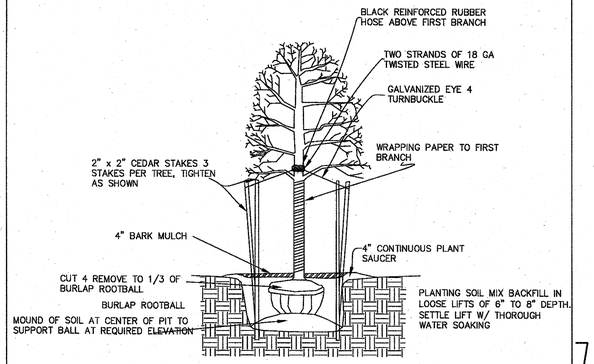


SHRUB PLANTING DETAIL

N.T.S.



TREE DETAIL

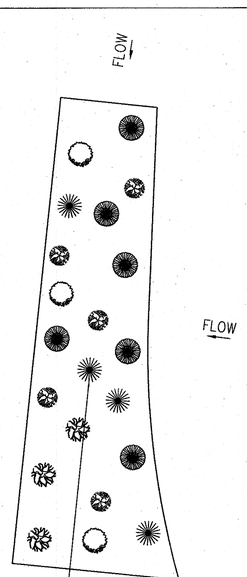
N.T.S.

LEGEND

	CATCH BASIN		LIGHT POLE
	DRAIN MANHOLE		UTILITY POLE
	ELECTRIC MANHOLE		GUY WIRE
	SEWER MANHOLE		SIGN
	MANHOLE		WETFLAG
GV	GAS VALVE		UTILITY POLE
	GAS SHUT OFF VALVE		PROP. STREET LIGHTING
WV	WATER VALVE		
	WATER SHUT OFF VALVE	X 000.0	SPOT ELEVATION
	FIRE HYDRANT		RIPRAP
000	EXISTING CONTOUR		
D	EXISTING DRAIN LINE		
W	EXISTING WATER LINE		

PLANTING LEGEND

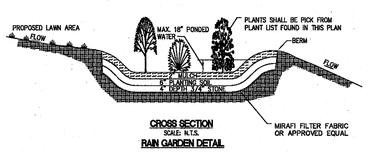
SYMBOL	NAME	SIZE	QUANTITY
	RED MAPLE ACER RUBRUM	5' MIN. 2.5" CAL.	11
	NORWAY SPRUCE PICEA ABIES	6–7' HIGH MIN.	12
	RED OAK QUERCUS RUBRA	5' MIN. 2.5" CAL.	4
	MOUNTAIN LAUREL K.LATIFOLIA	3 GAL.	7
	EARLY AZALEA R.ROSEUM	3 GAL.	6
	CREEPING JUNIPER JUNIPERUS HORIZONTALIS	3 GAL.	33
	DWARF MUGO PINE PINUS MUGO VAR. PUMILIO	3' GAL.	4
	BOXWOOD NORTH STAR BUXUS SEMPERVIRENS KATERBERG	3' GAL	5
	SWITCH GRASS PANICUM VIGATUM	3' GAL	19
	WHITE SAGE ARTEMISIA LUDOVICIANA	3' GAL	20
	SPIREA WEDDING CAKE SPIREA HIPPONICA	3' GAL	15
	MEADOW ANEMONE–CANADENSIS & GAYFEATHER –LIATRIS SPICATA	3' GAL(EA)	27(EA)



PLANTS SHALL BE PICK FROM PLANT LIST FOUND IN THE RAIN GARDEN DETAIL

RAIN GARDEN PLANTING

NOT TO SCALE



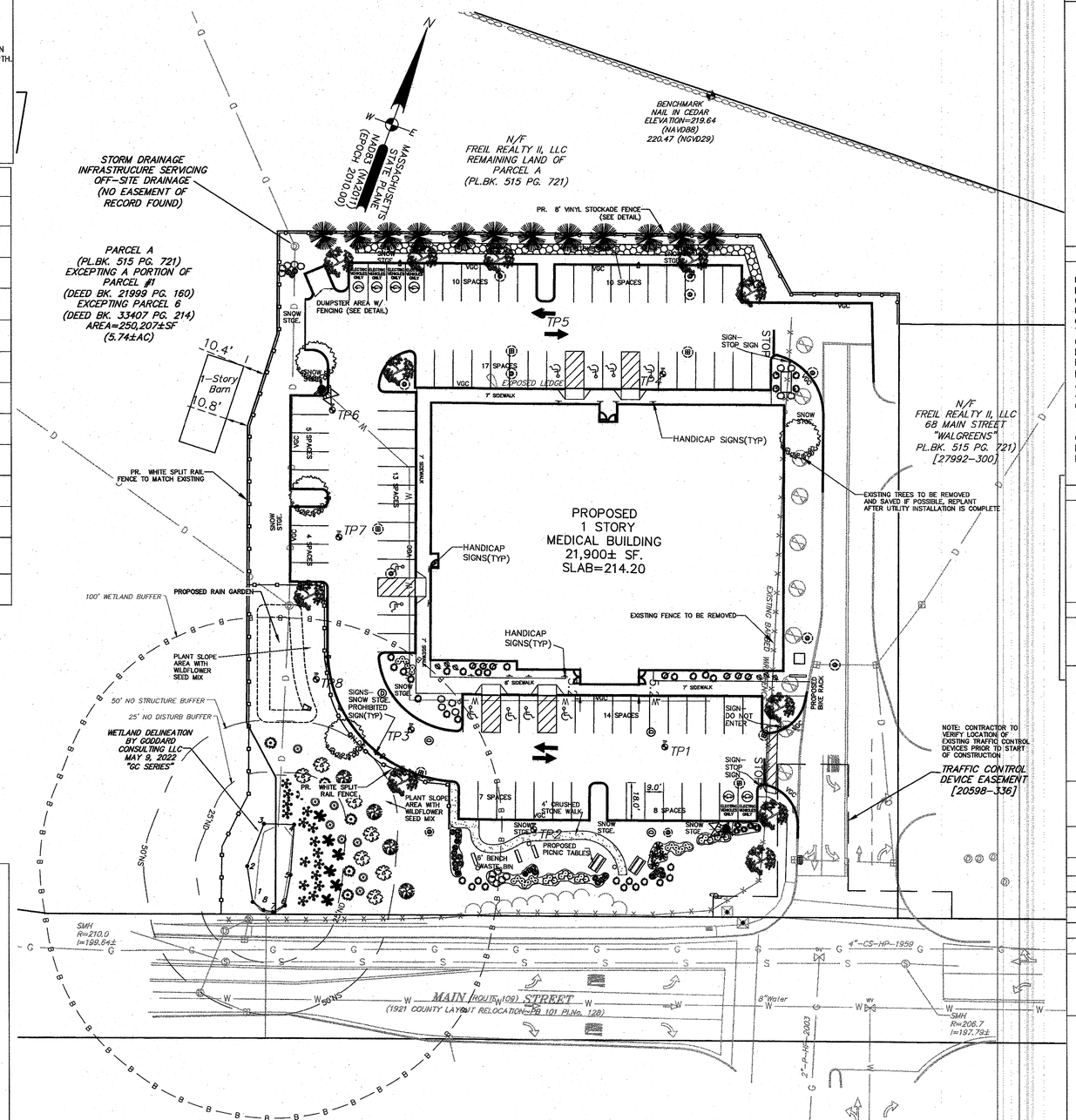
CROSS SECTION
SCALE: N.T.S.
RAIN GARDEN DETAIL

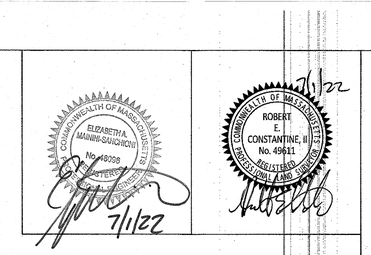
NOTES: PLANTS TO BE INSTALLED FROM THIS LIST.

Lotus corniculatus (Birdsfoot–trefoil)	Herbaceous
Onoclea sensibilis (Sensitive fern)	Herbaceous
Panicum virgatum (Switch grass)	Herbaceous
Photinia pyrifolia (Red chokeberry)	Shrub
Clethra alnifolia (Sweet pepperbush)	Shrub
Cornus amomum (Silky dogwood)	Shrub
Viburnum dentatum (Arrow–wood)	Shrub
Acer rubrum (Red maple)	Tree
Betula populifolia (Gray birch)	Tree
Juniperus virginiana (Eastern red cedar)	Tree
(plant along upper/outer edges)	

NOTES

1. THE CONTRACTOR SHALL VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION.
2. PLANT MATERIALS SHALL CONFORM TO THE GUIDELINES BY THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
3. ALL PLANTING SHALL BE PLACED ACCORDING TO THE APPROVED LANDSCAPING PLAN.
4. AFTER PLANTING 4" OF MULCH SHALL BE PLACED WITHIN THE DESIGNATED AREAS.
5. ALL PLANT MATERIAL SHALL INCLUDE A 1 YEAR GUARANTEE.
6. THE CONTRACTOR/LANDSCAPER SHALL WATER NEWLY PLANTED MATERIAL FOR 90 DAYS.
7. DAMAGED VEGETATION WILL BE REMOVED AND REPLACED IF NECESSARY.
8. AREA OF INTERIOR LANDSCAPING = 6,005±SF (13.3%)





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BOARD MEMEBER DATE

LEGAL NOTES

UTILITIES ARE PLOTTED AS A COMPILATION OF RECORD DOCUMENTS, MARKINGS AND OTHER OBSERVED EVIDENCE TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES AND SHOULD BE CONSIDERED APPROXIMATE. LOCKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. ADDITIONAL UTILITIES, NOT EVIDENCED BY RECORD DOCUMENTS OR OBSERVED PHYSICAL EVIDENCE, MAY EXIST. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING AND CALL DIGSAFE AT 1(888)DIG–SAFE{7233}.

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS–OF–WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

OWNER

FREIL REALTY II, LLC
DEED BOOK 27992 PAGE 300
PLAN BK. 515, PG 721 OF 2003
A.M. 41 LOT 8

APPLICANT

LOBISSER COMPANIES
1 CHARLESVIEW ROAD
HOPEDALE, MA 01747

SITE PLAN
86 HOLLISTON STREET
MEDWAY
MASSACHUSETTS

LANDSCAPING PLAN

APRIL 14, 2022

DATE	REVISION DESCRIPTION
6/29/2022	REVISED PER TOWN COMMENTS

GRAPHIC SCALE: 1"=30'

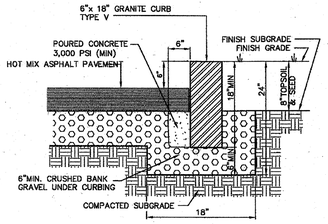
0 10 20 30 40 50 75 FEET
0 5 10 15 20 25 METERS

Guerriere & Halnon, Inc.
ENGINEERING & LAND SURVEYING
55 WEST CENTRAL ST. PH. (508) 528–3221
FRANKLIN, MA 02038 FX. (508) 528–7921
www.gandhengineering.com

SHEET 8 OF 12

JOB NO. F4516

G:\CD\Franklin\F4516\DWG\F4516 SITE rev1.dwg, 7/1/2022 9:19:59 AM

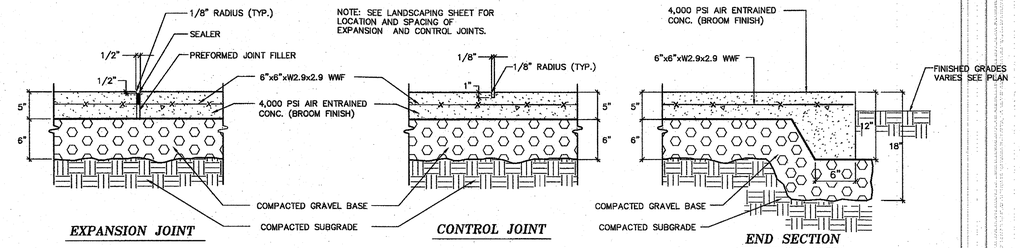


NOTE:

1. INSTALL AS SHOWN ON PLANS

VERTICAL GRANITE CURB DETAIL

N.T.S.



NOTES:
1. SEE SITE PLAN FOR WIDTH AND GRADES
2. PROVIDE MINIMUM 1/8"/FT. CROSS-SLOPE
3. PROVIDE CONTROL JOINTS 5'- 0" O.C. MIN.
4. PROVIDE EXPANSION JOINTS 20'- 0" O.C. MIN.

TYP. CONC. SIDEWALK DETAILS

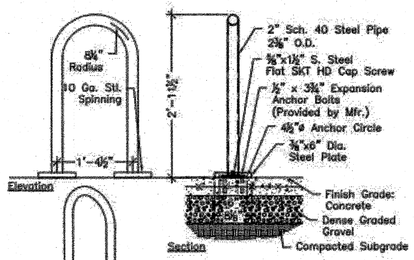
N.T.S.

REGISTRY USE ONLY

F4516

APPROVED BY THE TOWN OF MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD

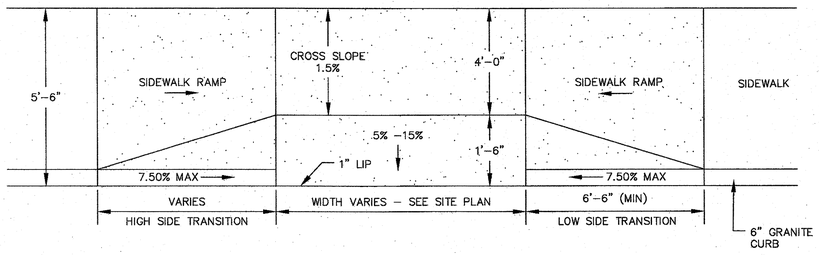
BOARD MEMEBER DATE



Notes:
1. Bike racks will be furnished by Owner. Contractor is responsible for assembly and installation.
2. Bike Rack to be DuMor 83 Series Surface Mount Bike Rack.
3. Installation to be completed in accordance with Manufacturer's Specifications.
4. Contractor to touch up all damage to finishes with manufacturer's provided touch up kit.

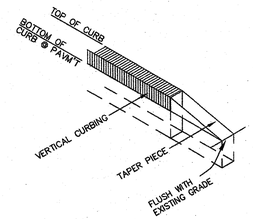
SURFACE MOUNTED BIKE RACK

NOT TO SCALE



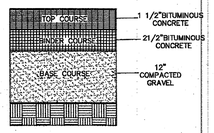
NOTE:

1. DRIVEWAYS ENTRANCES SHALL BE IN ACCORDANCE WITH MASSDOT STANDARD DRAWINGS AND SPECIFICATIONS.



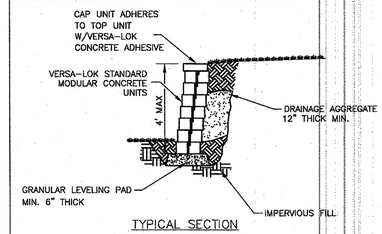
VERTICAL CURB TAPER DETAIL

N.T.S.



TYPICAL PAVEMENT SECTION

NOT TO SCALE



TYPICAL SECTION
VERSA-LOK RETAINING WALL (OR APPROVED EQUAL)

N.T.S

LEGAL NOTES

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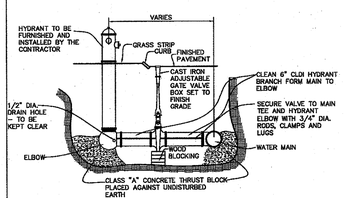
OWNER

FREIL REALTY II, LLC
DEED BOOK 27992 PAGE 300
PLAN BK. 515, PG 721 OF 2003
A.M. 41 LOT 8

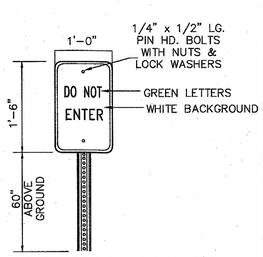
APPLICANT

LOBISSER COMPANIES
1 CHARLESVIEW ROAD
HOPEDALE, MA 01747

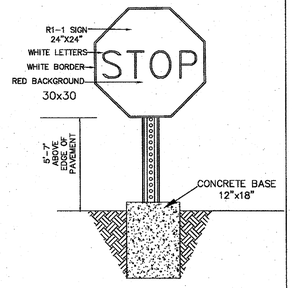


TYPICAL HYDRANT

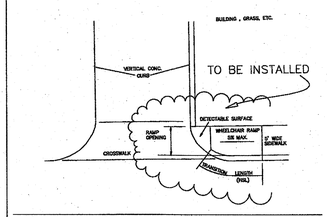
NOT TO SCALE



DO NOT ENTER SIGN DETAIL

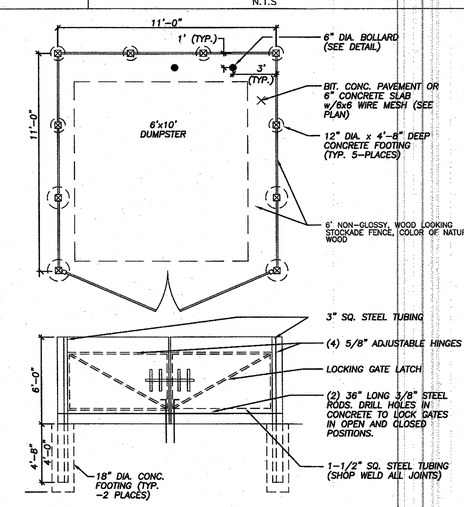


STOP SIGN DETAIL



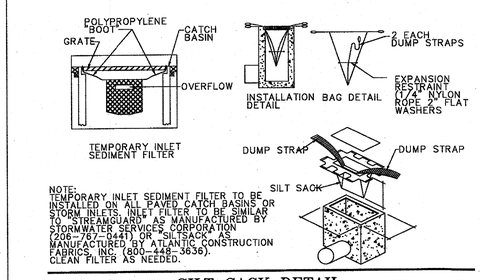
MASS HIGHWAY DRAWING NO 107.6.0
WHEELCHAIR RAMP FOR RIGHT OF WAY AREAS

NOT TO SCALE



DUMPSTER ENCLOSURE

NOT TO SCALE

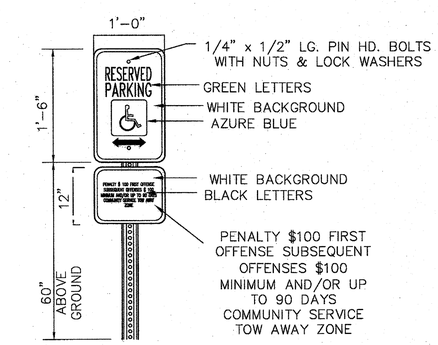


NOTE:
TEMPORARY INLET SEDIMENT FILTER TO BE INSTALLED ON ALL PAVED CATCH BASINS OR STORM INLETS. INLET FILTER TO BE SIMILAR TO "STREAMGUARD" AS MANUFACTURED BY STORMWATER SERVICES CORPORATION (206-767-0441) OR "SILTSACK" AS MANUFACTURED BY ATLANTIC CONSTRUCTION FABRICS, INC. (800-448-3636). CLEAN FILTER AS NEEDED.

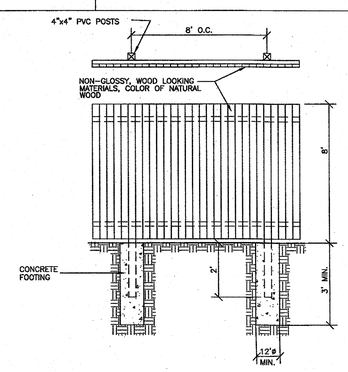
SILT SACK DETAIL

NO SCALE

D-SESC- silt sack



HANDICAP PARKING SIGN DETAIL



NOTE: ALL WOOD TO BE PRESSURE TREATED LUMBER

PVC FENCE DETAIL

N.T.S.

SITE PLAN
86 HOLLISTON STREET
MEDWAY
MASSACHUSETTS

CONSTRUCTION DETAILS

APRIL 14, 2022

DATE	REVISION DESCRIPTION
6/29/2022	REVISED PER TOWN COMMENTS

COMMONWEALTH OF MASSACHUSETTS
ELIZABETH A. MARNIS-SVACHOUS
No. 48096
REGISTERED PROFESSIONAL ENGINEER
7/1/22

Guerriere & Halnon, Inc.
ENGINEERING & LAND SURVEYING
55 WEST CENTRAL ST. PH. (508) 528-3221
FRANKLIN, MA 02038 FX. (508) 528-7921
www.gandhengineering.com

SHEET 9 OF 12 JOB NO. F4516

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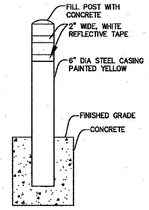
GENERAL EROSION CONTROL AND CONSTRUCTION NOTES

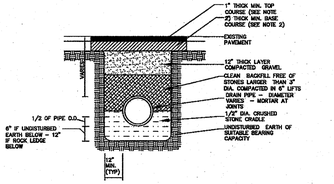
1. THE LIMITS OF ALL CLEARING, GRADING AND DISTURBANCE SHALL BE KEPT TO A MINIMUM WITHIN THE PROPOSED AREA OF CONSTRUCTION. ALL AREAS OUTSIDE THE LIMITS OF DISTURBANCE SHALL REMAIN TOTALLY UNDISTURBED.
2. INSPECT ALL SEDIMENT AND EROSION CONTROL MEASURES AT LEAST ONCE PER WEEK AND WITHIN 24 HOURS AFTER EVERY RAINFALL EVENT.
3. MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES OR REPLACE AS REQUIRED TO ASSURE PROPER FUNCTION.
4. CONTRACTOR SHALL IMMEDIATELY REPAIR ANY AND ALL EROSION AND SEDIMENT CONTROLS FOUND TO BE FAULTY.
5. ANY AND ALL DEBRIS AND LITTER WHICH ACCUMULATES IN THE BASINS SHALL BE REMOVED WEEKLY.
6. THE CONTRACTOR SHALL IMPLEMENT ALL REASONABLE EROSION AND SEDIMENT CONTROLS PRIOR TO THE ACTUAL COMMENCEMENT OF CONSTRUCTION ACTIVITIES INCLUDING THE CLEARING AND/OR GRUBBING OF ANY PORTION OF THE PROPERTY. THESE MEASURES SHALL BE MAINTAINED IN EFFECT THROUGHOUT THE ENTIRE CONSTRUCTION PHASE, OR UNTIL THE SITE HAS BECOME STABILIZED WITH AN ADEQUATE VEGETATIVE COVER.
7. SEDIMENT BUILD UP BEHIND FILTERMITT SHALL BE MONITORED AND BE REMOVED WHENEVER IT HAS ACCUMULATED TO FOUR INCHES IN DEPTH.
8. CATCH BASINS SHALL BE PROTECTED WITH SILT FILTERS (SILT SACKS). INSPECT SEDIMENT FILTERS AT LEAST ONCE PER WEEK AND WITHIN 24 HOURS AFTER RAINFALL THAT PRODUCES RUNOFF.
9. CLEAN OR REPLACE FILTERS WITHIN 24 HOURS OF INSPECTION WHEN SEDIMENT REACHES ONE HALF OF THE FILTER SACK DEPTH. CATCH BASINS SHALL BE PROTECTED BY SEDIMENT FILTERS THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS ARE THOROUGHLY STABILIZED. SUMPS SHALL BE CLEANED WHENEVER SEDIMENT HAS ACCUMULATED TO A DEPTH OF 24 INCHES AND IMMEDIATELY FOLLOWING INSTALLATION OF PERMANENT PAVEMENT.
10. THE CONTRACTOR SHALL MAINTAIN AN ADEQUATE STOCKPILE OF EROSION CONTROL MATERIALS ON-SITE AT ALL TIMES FOR EMERGENCY OR ROUTINE REPLACEMENT AND SHALL INCLUDE MATERIALS TO REPAIR OR REPLACE SILT FENCE, MULCH SOCK, STONE FILTER DIKES OR ANY OTHER DEVICES PLANNED FOR USE DURING CONSTRUCTION.
11. THE CONTRACTOR IS TO INSPECT ALL CONTROLS NO LESS THAN WEEKLY, AND IN ANTICIPATION OF RAINFALL EVENTS EXPECTED TO EXCEED 1/2 INCH IN DEPTH. ALL DEFICIENCIES NOTED DURING SAID INSPECTION SHALL BE REPAIRED IMMEDIATELY AND IN NO CASE SHALL A DEFICIENCY BE ALLOWED TO GO UNCORRECTED DURING A RAINFALL EVENT. THE EROSION CONTROL DEVICES SHALL BE MAINTAINED, REINFORCED, OR REPLACED IF NECESSARY. ALL ACCUMULATED SEDIMENTS AND OTHER MATERIALS COLLECTED
12. BY THE SEDIMENTATION CONTROL SYSTEMS SHALL BE REMOVED AS NECESSARY TO INSURE PROPER FUNCTION OF SYSTEMS AND DISPOSED OF IN A MANNER THAT IS CONSISTENT WITH THE INTENT OF THIS PLAN, IN AN UPLAND AREA.
13. TEMPORARY EARTH OR STONE DIKES, DRAINAGE SWALES AND/OR TEMPORARY SLOPE DRAINS SHALL BE INSTALLED WHERE OFF-SITE OR ON-SITE RUNOFF IS SUFFICIENT ENOUGH SUCH THAT IT WILL BE NECESSARY TO DIVERT THE FLOW AROUND THE SITE OR PREVENT EROSION WITHIN THE LIMITS OF WORK.
14. STORM DRAIN INLET PROTECTION SHALL BE USED FOR ALL EXISTING AND PROPOSED CATCH BASINS IN THE PROJECT AREA. PRIOR TO COMPLETION OF THE PROJECT, ALL CATCH BASINS WITHIN THE PROJECT AREA SHALL BE CLEANED.
15. ALL DISTURBED EARTH SLOPES AREA TO BE STABILIZED WITH PERMANENT VEGETATIVE COVER, TO BE ESTABLISHED AS SOON AS POSSIBLE. DISTURBED AREAS THAT ARE NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL RECEIVE A PERMANENT OR TEMPORARY VEGETATIVE COVER AS SOON AS FINAL CONTOURS ARE ESTABLISHED. TEMPORARY VEGETATIVE COVER IS TO BE ESTABLISHED ON ALL DISTURBED AREAS WHERE CONSTRUCTION ACTIVITIES WILL NOT REQUIRE ADDITIONAL DISTURBANCE FOR PERIOD OF 30 DAYS OR MORE. IF THE SEASON PREVENTS THE ESTABLISHMENT OF VEGETATIVE COVER, DISTURBED AREAS SHALL BE MULCHED AND THEN SEEDED AS SOON AS WEATHER CONDITIONS ALLOW.
16. THERE SHALL BE NO DIRECT DISCHARGE OF DEWATERING OPERATIONS INTO ANY DRAINAGE SYSTEM UNLESS THIS DISCHARGE IS CLEAN AND FREE OF SETTLEABLE SOLIDS. ANY DEWATERING DISCHARGE CONTAINING SETTLEABLE SOLIDS (SEDIMENTS) SHALL BE PASSED THROUGH A SEDIMENTATION CONTROL DEVICE(FILTER BAG) TO REMOVE THESE SOLIDS. THE CONTRACTOR IS TO MAINTAIN SAID SEDIMENT CONTROL DEVICE THROUGHOUT THE ENTIRE DEWATERING OPERATION AND REPAIR DEFICIENCIES IMMEDIATELY.
17. SOIL STOCKPILE AREAS FOR CONSTRUCTION MATERIALS SHALL BE LOCATED OUTSIDE WETLAND AREAS AND ASSOCIATED BUFFERS.
18. ALL PLANTINGS SHALL BE ACCOMPLISHED BY THE CONTRACTOR AS EARLY AS THE POSSIBLE UPON COMPLETION OF GRADING AND CONSTRUCTION.
19. ALL PLANTINGS SHALL BE WATERED AND MAINTAINED BY THE CONTRACTOR TO ENSURE SURVIVAL.
20. EROSION CONTROL SHALL REMAIN IN PLACE UNTIL THE CERTIFICATE OF COMPLETION IS ISSUED

INTERIM EROSION CONTROL AND CONSTRUCTION SEQUENCE

1. INSTALL EROSION CONTROL BARRIERS AND HAVE ENGINEER INSPECT AND PREPARE LETTER.
2. CLEAR SITE OF ALL TREES DESIGNATED TO BE REMOVED. CONSTRUCT A TEMPORARY BASIN TO COLLECT RUNOFF DURING CONSTRUCTION.
3. STOCKPILE LOAM, OR REMOVE LOAM.
4. INSTALL PIPES FOR DRAINAGE SYSTEMS. INSTALL DISCHARGE POINT ON EACH SYSTEM.
5. BRING SITE TO SUB-GRADE.
6. ALL SLOPES ALONG THE PROPERTY LINES SHALL BE MULCHED TEMPORARILY, IF DISTURBED.
7. TEMPORARY STONE (3/4" – 1 ½") SHALL BE PLACED AT THE PROJECT ENTRANCE WHEN ACCESSING EXISTING PAVEMENT. SWEEPING IS REQUIRED IF FINES ARE OBSERVED IN THE PARKING LOT OR PUBLIC WAYS.
8. ALL DISTURBED AREAS NOT TREATED WITH PERMANENT LOAM AND SEED SHALL BE COVERED WITH MULCH, OR OTHER EROSION CONTROL DEVISE.
9. ALL CONSTRUCTION GRADES IN THE INTERIM SHALL BE SLOPED TO FLOW INTO THE TEMPORARY BASIN, WHERE POSSIBLE.
10. THE SITE MITIGATION OF EROSION IN THOSE AREAS TO BE LANDSCAPED OR MULCHED SHALL BE TO INSTALL AS SOON AS POSSIBLE.
11. CLEAN ALL SEDIMENT OUT OF TEMPORARY BASIN AND INSTALL CLEAN FILL PER PLAN SPECIFICATIONS PRIOR TO FINAL GRADING AND SURFACE STABILIZATION.
12. THE SUBSURFACE DRAINAGE SYSTEM SHALL BE INSTALLED PRIOR TO PAVEMENT INSTALLATION PROPER FILTERFABRIC SHALL BE PLACED AT INLETS TO KEEP THE STORM DRAINAGE CLEAN OF DEBRIS.
13. ONCE THE CURB IS INSTALLED, THE PERMANENT MULCH AND LANDSCAPING SHALL BE INSTALLED.
14. SEDIMENT CONTROL SHALL REMAIN IN PLACE UNTIL THE SITE IS STABILIZED.
15. CLEAN ALL ON SITE CATCH BASINS, MANHOLES, PIPING, TEMPORARY BASIN, AND INFILTRATION CHAMBERS. INSTALL SILT BAGS AT EACH CATCH BASIN.
16. KEEP SITE SWEPT AND MAINTAINED PER STORMWATER MANAGEMENT PLAN.

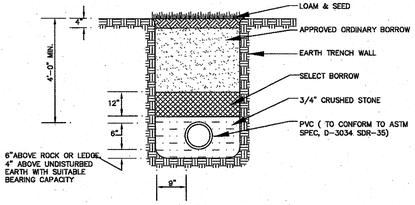


BOLLARD DETAIL
NOT TO SCALE

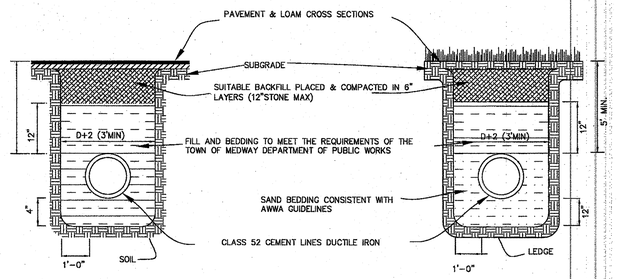


NOTES:
1. AT TIME OF CONSTRUCTION, THE TRENCH IS TO BE BACKFILLED, THEN TOPPED WITH A 12" THICK LAYER OF COMPACTED GRAVEL, AND A 2" THICK TEMPORARY LAYER OF HOT TOP PATCH.
2. AFTER THE TRENCH HAS SETTLED THE ORIGINAL PAVEMENT IS TO BE SAW CUT ALONG THE TRENCH. PAVEMENT & TEMPORARY HOT TOP PATCH TO BE REMOVED, ADDITIONAL COMPACTED GRAVEL TO BE PLACED AS NEEDED, AND BITUMINOUS CONCRETE TO BE PLACED TO THE THICKNESS OF THE ORIGINAL PAVEMENT OR TO THE MINIMUM THICKNESS AS SPECIFIED ABOVE, WHICHEVER IS GREATER.

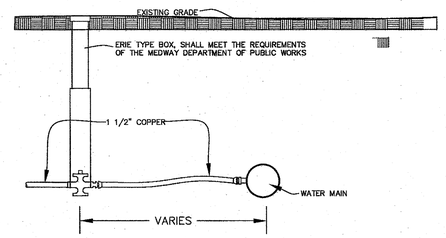
TYPICAL TRENCH SECTION FOR REINFORCED CONCRETE PIPE



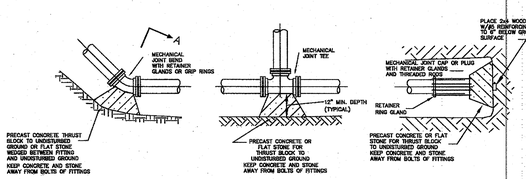
TYPICAL P.V.C. TRENCH SECTION
NOT TO SCALE



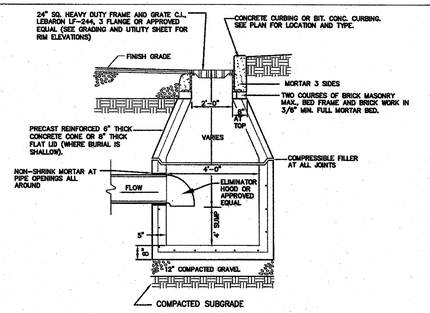
TYPICAL TRENCH SECTION FOR D.I. WATER MAIN (TYPE 5 BEDDING AWWAC-600)



TYPICAL WATER SERVICE CONNECTION
NOT TO SCALE

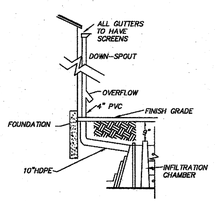


TYPICAL THRUST BLOCK DETAILS

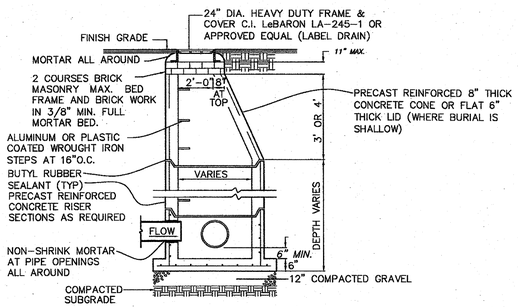


TYP. PRECAST CONCRETE CATCH BASIN DETAIL
NOT TO SCALE

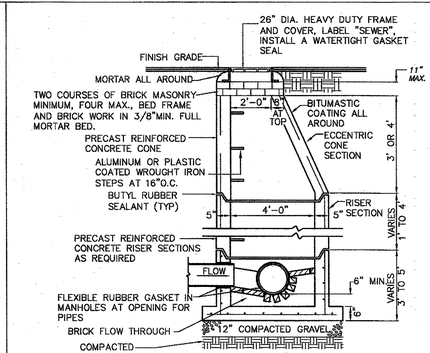
NOTE:
ALL STRUCTURES SHALL BE SUITABLE FOR H-20 LOADING AND SHALL MEET THE REQUIREMENTS OF ASTM C478.



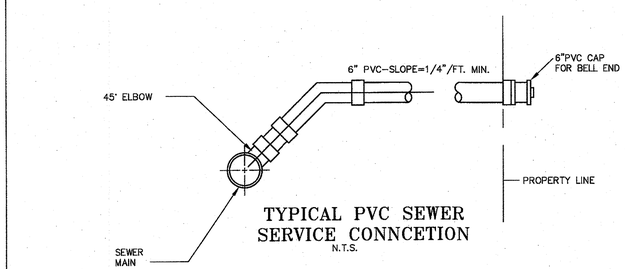
ROOF DRAIN DETAIL
N.T.S.



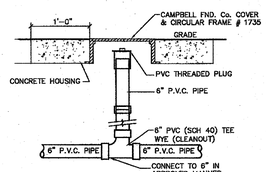
TYP. PRECAST CONCRETE MANHOLE STORM DRAIN
N.T.S.
NOTE:
ALL STRUCTURES SHALL BE SUITABLE FOR H-20 LOADING AND SHALL MEET THE REQUIREMENTS OF A.S.T.M. C478.



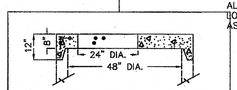
TYP. PRECAST CONCRETE MANHOLE SANITARY
N.T.S.
NOTE:
ALL STRUCTURES SHALL BE SUITABLE FOR H-20 LOADING AND SHALL MEET THE REQUIREMENTS OF ASTM C478.



TYPICAL PVC SEWER SERVICE CONNCETION
N.T.S.



SEWER CLEANOUT DETAIL
NOT TO SCALE



ALTERNATE TOP SLAB
(STEEL REINFORCED FOR H-20 LOADING)

COMMONWEALTH OF MASSACHUSETTS
ELIZABETH A. MAHINS-SANCHONI
No. 48058
REGISTERED PROFESSIONAL ENGINEER
7-1-22

REGISTRY USE ONLY
F4516

APPROVED BY THE TOWN OF MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD

BOARD MEMEBER DATE

LEGAL NOTES

UTILITIES ARE PLOTTED AS A COMPILATION OF RECORD DOCUMENTS, MARKINGS AND OTHER OBSERVED EVIDENCE TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES AND SHOULD BE CONSIDERED APPROXIMATE. LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. ADDITIONAL UTILITIES, NOT EVIDENCED BY RECORD DOCUMENTS OR OBSERVED PHYSICAL EVIDENCE MAY EXIST. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING AND CALL DIGSAFE AT 1(888)DIG-SAFE(7233).

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OWNER

FREIL REALTY II, LLC
DEED BOOK 27992 PAGE 300
PLAN BK. 515, PG 721 OF 2003
A.M. 41 LOT 8

APPLICANT

LOBISSER COMPANIES
1 CHARLESVIEW ROAD
HOPEDALE, MA 01747

SITE PLAN
86 HOLLISTON STREET
MEDWAY
MASSACHUSETTS

CONSTRUCTION DETAILS

MARCH 28, 2022

DATE	REVISION DESCRIPTION
6/29/2022	REVISED PER TOWN COMMENTS

Guerriere & Halnon, Inc.
ENGINEERING & LAND SURVEYING
55 WEST CENTRAL ST. PH. (508) 528-3221
FRANKLIN, MA 02038 FX. (508) 528-7921
www.gandhengineering.com

SHEET 10 OF 12
JOB NO. F4516

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CULTEC RECHARGER® 280HD SPECIFICATIONS

GENERAL

CULTEC RECHARGER 280HD CHAMBERS ARE DESIGNED FOR UNDERGROUND STORMWATER MANAGEMENT. THE CHAMBERS MAY BE USED FOR RETENTION, RECHARGING, DETENTION OR CONTROLLING THE FLOW OF ON-SITE STORMWATER RUNOFF.

CHAMBER PARAMETERS

1. THE CHAMBERS WILL BE MANUFACTURED BY CULTEC, INC. OF BROOKFIELD, CT. (203-775-4416 OR 1-800-428-5832)
2. THE CHAMBER SHALL BE VACUUM THERMOFORMED OF HIGH MOLECULAR WEIGHT HIGH DENSITY POLYETHYLENE (HMWHDPE) WITH A BLACK INTERIOR AND BLUE EXTERIOR.
3. THE CHAMBER WILL BE ARCHED IN SHAPE.
4. THE CHAMBER WILL BE OPEN-BOTTOMED.
5. THE CHAMBER WILL BE JOINED USING AN INTERLOCKING OVERLAPPING RIB METHOD. CONNECTIONS MUST BE FULLY SHOULDERED OVERLAPPING RIBS, HAVING NO SEPARATE COUPLINGS OR SEPARATE END WALLS.
6. THE NOMINAL CHAMBER DIMENSIONS OF THE CULTEC RECHARGER 280HD SHALL BE 26.5 INCHES (673 mm) TALL, 47 INCHES (1194 mm) WIDE AND 8 FEET (2.44 m) LONG. THE INSTALLED LENGTH OF A JOINED RECHARGER 280HD SHALL BE 7 FEET (2.13 m).
7. MAXIMUM INLET OPENING ON THE CHAMBER ENDWALL IS 21 INCHES (525 mm) HDPE.
8. THE CHAMBER WILL HAVE TWO SIDE PORTALS TO ACCEPT CULTEC HVLV® FC-24 FEED CONNECTORS TO CREATE AN INTERNAL MANIFOLD. NOMINAL INSIDE DIMENSIONS OF THE SIDE PORTAL SHALL HAVE A WIDTH OF 11.25" [286 mm] AND HEIGHT OF 11.5" [292 mm]. THE SIDE PORTAL CAN ACCEPT A MAXIMUM OUTER DIAMETER (O.D.) PIPE SIZE OF 12.25 INCHES [311 mm].
9. THE NOMINAL CHAMBER DIMENSIONS OF THE CULTEC HVLV® FC-24 FEED CONNECTOR SHALL BE 12 INCHES (305 mm) TALL, 16 INCHES (406 mm) WIDE AND 24.2 INCHES (614 mm) LONG.
10. THE NOMINAL STORAGE VOLUME OF THE RECHARGER 280HD CHAMBER WILL BE 6.079 FT3 / FT (0.565 m³ / m) - WITHOUT STONE. THE NOMINAL STORAGE VOLUME OF A JOINED RECHARGER 280HD SHALL BE 42.553 FT³ / UNIT (1.205 m³ / UNIT) - WITHOUT STONE.
11. THE NOMINAL STORAGE VOLUME OF THE HVLV FC-24 FEED CONNECTOR WILL BE 0.913 FT³ / FT (0.085 m³ / m) - WITHOUT STONE.
12. THE RECHARGER 280HD CHAMBER WILL SEVENTY-TWO DISCHARGE HOLES BORED INTO THE SIDEWALLS OF THE UNIT'S CORE TO PROMOTE LATERAL CONVEYANCE OF WATER.
13. THE RECHARGER 280HD CHAMBER SHALL HAVE 15 CORRUGATIONS.
14. THE ENDWALL OF THE CHAMBER, WHEN PRESENT, WILL BE AN INTEGRAL PART OF THE CONTINUOUSLY FORMED UNIT. SEPARATE END PLATES CANNOT BE USED WITH THIS UNIT.
15. THE RECHARGER 280RHD STAND ALONE UNIT MUST BE FORMED AS A WHOLE CHAMBER HAVING TWO FULLY FORMED INTEGRAL ENDWALLS AND HAVING NO SEPARATE END PLATES OR SEPARATE END WALLS.
16. THE RECHARGER 280SHD STARTER UNIT MUST BE FORMED AS A WHOLE CHAMBER HAVING ONE FULLY FORMED INTEGRAL ENDWALL AND ONE PARTIALLY FORMED INTEGRAL ENDWALL WITH A LOWER TRANSFER OPENING OF 9 INCHES (229 mm) HIGH X 35 INCHES (889 mm) WIDE.
17. THE RECHARGER 280IHD INTERMEDIATE UNIT MUST BE FORMED AS A WHOLE CHAMBER HAVING ONE FULLY OPEN ENDWALL AND ONE PARTIALLY FORMED INTEGRAL ENDWALL WITH A LOWER TRANSFER OPENING OF 9 INCHES (229 mm) HIGH X 35 INCHES (889 mm) WIDE.
18. THE RECHARGER 280EHD END UNIT MUST BE FORMED AS A WHOLE CHAMBER HAVING ONE FULLY FORMED INTEGRAL ENDWALL AND ONE FULLY OPEN END WALL AND HAVING NO SEPARATE END PLATES OR END WALLS.
19. THE HVLV FC-24 FEED CONNECTOR MUST BE FORMED AS A WHOLE CHAMBER HAVING TWO OPEN END WALLS AND HAVING NO SEPARATE END PLATES OR SEPARATE END WALLS. THE UNIT WILL FIT INTO THE SIDE PORTALS OF THE RECHARGER 280HD AND ACT AS CROSS FEED CONNECTIONS.
20. CHAMBERS MUST HAVE HORIZONTAL STIFFENING FLEX REDUCTION STEPS BETWEEN THE RIBS.
21. THE CHAMBER WILL HAVE A RAISED INTEGRAL CAP AT THE TOP OF THE ARCH IN THE CENTER OF EACH UNIT TO BE USED AS AN INSPECTION PORT OR CLEAN-OUT.
22. THE UNITS MAY BE TRIMMED TO CUSTOM LENGTHS BY CUTTING BACK TO ANY CORRUGATION.
23. THE CHAMBER SHALL BE MANUFACTURED IN AN IN AN ISO 9001:2015 CERTIFIED FACILITY
24. THE CHAMBER WILL BE DESIGNED TO WITHSTAND TRAFFIC LOADS WHEN INSTALLED ACCORDING TO CULTEC'S INSTALLATION INSTRUCTIONS.
25. THE CHAMBER SHALL BE DESIGNED AND MANUFACTURED TO MEET THE MATERIAL AND STRUCTURAL REQUIREMENTS OF IAPMO PS 63-2019, INCLUDING RESISTANCE TO AASHTO H-10 AND H-20 HIGHWAY LIVE LOADS, WHEN INSTALLED IN ACCORDANCE WITH CULTEC'S INSTALLATION INSTRUCTIONS.
26. MAXIMUM ALLOWED COVER OVER TOP OF UNIT SHALL BE 12 FEET (3.65 m).

CULTEC HVLV® FC-24 FEED CONNECTOR PRODUCT SPECIFICATIONS

GENERAL

CULTEC HVLV FC-24 FEED CONNECTORS ARE DESIGNED TO CREATE AN INTERNAL MANIFOLD FOR CULTEC RECHARGER 280HD STORMWATER CHAMBERS.

CHAMBER PARAMETERS

1. THE CHAMBERS WILL BE MANUFACTURED BY CULTEC, INC. OF BROOKFIELD, CT. (203-775-4416 OR 1-800-428-5832)
2. THE CHAMBER SHALL BE VACUUM THERMOFORMED OF HIGH MOLECULAR WEIGHT HIGH DENSITY POLYETHYLENE (HMWHDPE) WITH A BLACK INTERIOR AND BLUE EXTERIOR.
3. THE CHAMBER WILL BE ARCHED IN SHAPE.
4. THE CHAMBER WILL BE OPEN-BOTTOMED.
5. THE NOMINAL CHAMBER DIMENSIONS OF THE CULTEC HVLV FC-24 FEED CONNECTOR SHALL BE 12 INCHES (305 mm) TALL, 16 INCHES (406 mm) WIDE AND 24.2 INCHES (614 mm) LONG.
6. THE NOMINAL STORAGE VOLUME OF THE HVLV FC-24 FEED CONNECTOR WILL BE 0.913 FT³ / FT (0.085 m³ / m) - WITHOUT STONE.
7. THE HVLV FC-24 FEED CONNECTOR CHAMBER SHALL HAVE 2 CORRUGATIONS.
8. THE HVLV FC-24 FEED CONNECTOR MUST BE FORMED AS A WHOLE CHAMBER HAVING TWO OPEN END WALLS AND HAVING NO SEPARATE END PLATES OR SEPARATE END WALLS. THE UNIT WILL FIT INTO THE SIDE PORTALS OF THE CULTEC RECHARGER STORMWATER CHAMBER AND ACT AS CROSS FEED CONNECTIONS CREATING AN INTERNAL MANIFOLD.
9. THE CHAMBER WILL BE DESIGNED TO WITHSTAND TRAFFIC LOADS WHEN INSTALLED ACCORDING TO CULTEC'S RECOMMENDED INSTALLATION INSTRUCTIONS.
10. THE CHAMBER SHALL BE MANUFACTURED IN AN ISO 9001:2015 CERTIFIED FACILITY.

CULTEC NO. 410™ NON-WOVEN GEOTEXTILE

CULTEC NO. 410™ NON-WOVEN GEOTEXTILE MAY BE USED WITH CULTEC CONTACTOR® AND RECHARGER® STORMWATER INSTALLATIONS TO PROVIDE A BARRIER THAT PREVENTS SOIL INTRUSION INTO THE STONE.

GEOTEXTILE PARAMETERS

1. THE GEOTEXTILE SHALL BE PROVIDED BY CULTEC, INC. OF BROOKFIELD, CT. (203-775-4416 OR 1-800-428-5832)
2. THE GEOTEXTILE SHALL BE BLACK IN APPEARANCE.
3. THE GEOTEXTILE SHALL HAVE A TYPICAL WEIGHT OF 4.5 OZ/SY (142 G/M).
4. THE GEOTEXTILE SHALL HAVE A TENSILE STRENGTH VALUE OF 120 LBS (533 N) PER ASTM D4632 TESTING METHOD.
5. THE GEOTEXTILE SHALL HAVE AN ELONGATION @ BREAK VALUE OF 50% PER ASTM D4632 TESTING METHOD.
6. THE GEOTEXTILE SHALL HAVE A MULLEN BURST VALUE OF 225 PSI (1551 KPA) PER ASTM D3786 TESTING METHOD.
7. THE GEOTEXTILE SHALL HAVE A PUNCTURE STRENGTH VALUE OF 65 LBS (289 N) PER ASTM D4833 TESTING METHOD.
8. THE GEOTEXTILE SHALL HAVE A CBR PUNCTURE VALUE OF 340 LBS (1513 N) PER ASTM D6241 TESTING METHOD.
9. THE GEOTEXTILE SHALL HAVE A TRAPEZOID TEAR VALUE OF 50 LBS (222 N) PER ASTM D4533 TESTING METHOD.
10. THE GEOTEXTILE SHALL HAVE A AOS VALUE OF 70 U.S. SIEVE (0.212 MM) PER ASTM D4751 TESTING METHOD.
11. THE GEOTEXTILE SHALL HAVE A PERMITTIVITY VALUE OF 1.7 SEC-1 PER ASTM D4491 TESTING METHOD.
12. THE GEOTEXTILE SHALL HAVE A WATER FLOW RATE VALUE OF 135 GAL/MIN/SF (5500 L/MIN/SM) PER ASTM D4491 TESTING METHOD.
13. THE GEOTEXTILE SHALL HAVE A UV STABILITY @ 500 HOURS VALUE OF 70% PER ASTM D4355 TESTING METHOD.

CULTEC NO. 4800™ WOVEN GEOTEXTILE

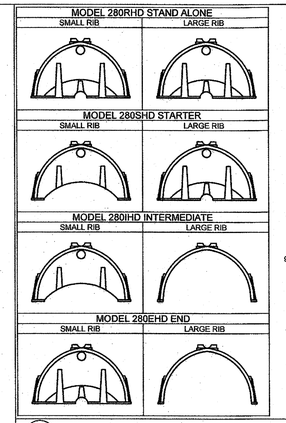
CULTEC NO. 4800 WOVEN GEOTEXTILE IS DESIGNED AS A UNDERLAYMENT TO PREVENT SCOURING CAUSED BY WATER MOVEMENT WITHIN THE CULTEC CHAMBERS AND FEED CONNECTORS UTILIZING THE CULTEC MANIFOLD FEATURE. IT MAY ALSO BE USED AS A COMPONENT OF THE CULTEC SEPARATOR ROW TO ACT AS A BARRIER TO PREVENT SOIL/CONTAMINANT INTRUSION INTO THE STONE WHILE ALLOWING FOR MAINTENANCE.

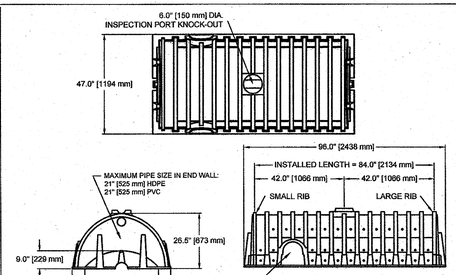
GEOTEXTILE PARAMETERS

1. THE GEOTEXTILE SHALL BE PROVIDED BY CULTEC, INC. OF BROOKFIELD, CT. (203-775-4416 OR 1-800-428-5832)
2. THE GEOTEXTILE SHALL BE BLACK IN APPEARANCE.
3. THE GEOTEXTILE SHALL HAVE A TENSILE STRENGTH OF 550 X 550 LBS (2,448 X 2,448 N) PER ASTM D4632 TESTING METHOD.
4. THE GEOTEXTILE SHALL HAVE A ELONGATION @ BREAK RESISTANCE OF 20 X 20% PER ASTM D4632 TESTING METHOD.
5. THE GEOTEXTILE SHALL HAVE A WIDE WIDTH TENSILE RESISTANCE OF 5,070 X 5,070 LBS/FT (74 X 74 KN/M) PER ASTM D4595 TESTING METHOD.
6. THE GEOTEXTILE SHALL HAVE A WIDE WIDTH TENSILE RESISTANCE @ 2% STRAIN OF 960 X 1,096 LBS/FT (14 X 16 KN/M) PER ASTM D4595 TESTING METHOD.
7. THE GEOTEXTILE SHALL HAVE A WIDE WIDTH TENSILE RESISTANCE @ 5% STRAIN OF 2,740 X 2, 740 LBS/FT (40 X 40 KN/M) PER ASTM D4595 TESTING METHOD.
8. THE GEOTEXTILE SHALL HAVE A WIDE WIDTH TENSILE RESISTANCE @ 10% STRAIN OF 4,800 X 4,800 LBS/FT (70 X 70 KN/M) PER ASTM D4595 TESTING METHOD.
9. THE GEOTEXTILE SHALL HAVE A CBR PUNCTURE RESISTANCE OF 1,700 LBS (7,560 N) PER ASTM D6241 TESTING METHOD.
10. THE GEOTEXTILE SHALL HAVE A TRAPEZOIDAL TEAR RESISTANCE OF 180 X 180 LBS (801 X 801 N) PER ASTM D4533 TESTING METHOD.
11. THE GEOTEXTILE SHALL HAVE AN APPARENT OPENING SIZE OF 40 US STD. SIEVE (0.425 MM) PER ASTM D4751 TESTING METHOD.
12. THE GEOTEXTILE SHALL HAVE A PERMITTIVITY RATING OF 0.15 SEC-1 PER ASTM D4491 TESTING METHOD.
13. THE GEOTEXTILE SHALL HAVE A WATER FLOW RATING OF 11.5 GPM/FT2 (470 LPM/M2) PER ASTM D4491 TESTING METHOD.
14. THE GEOTEXTILE SHALL HAVE A UV RESISTANCE OF 80% @ 500 HRS. PER ASTM D4355 TESTING METHOD.

280HD 1.0

GENERAL NOTES

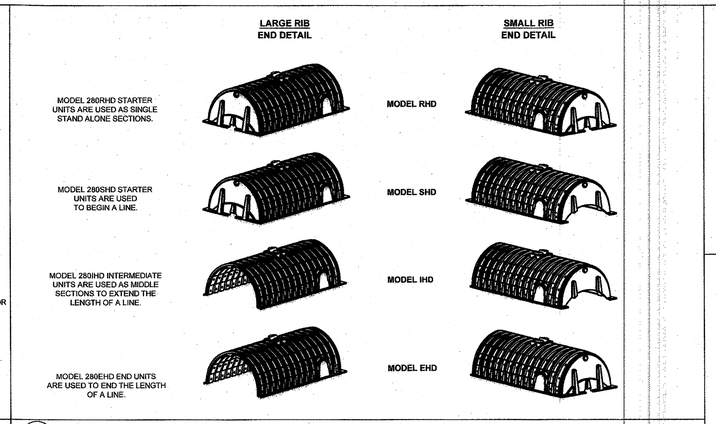




CULTEC RECHARGER 280HD CHAMBER STORAGE = 6.079 CF/FT [0.565 m³/m]
INSTALLED LENGTH ADJUSTMENT = 1.0' [0.3048 m]

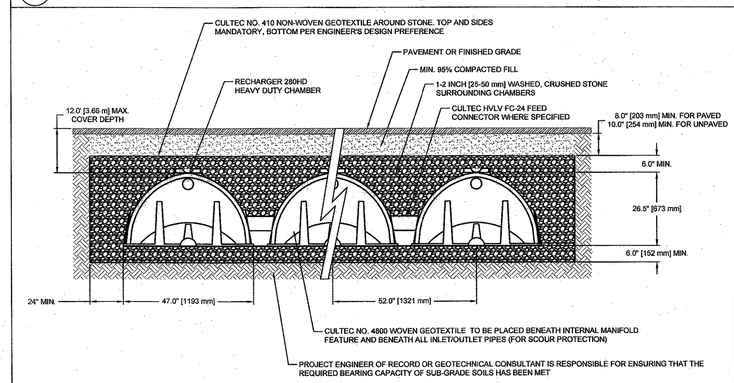
280HD 2.0

CULTEC RECHARGER 280HD HEAVY DUTY THREE VIEW



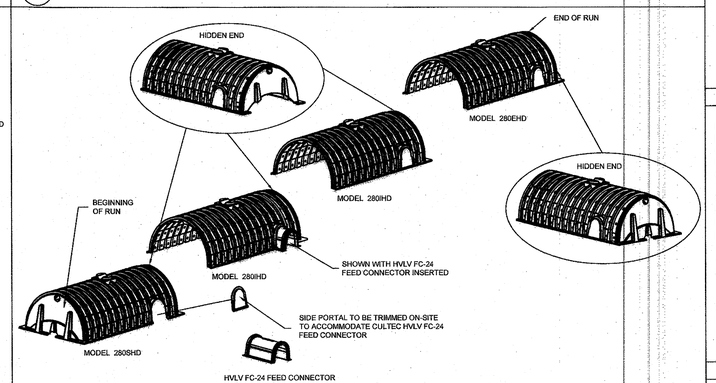
280HD 3.0

CULTEC RECHARGER 280HD HEAVY DUTY END DETAIL INFORMATION



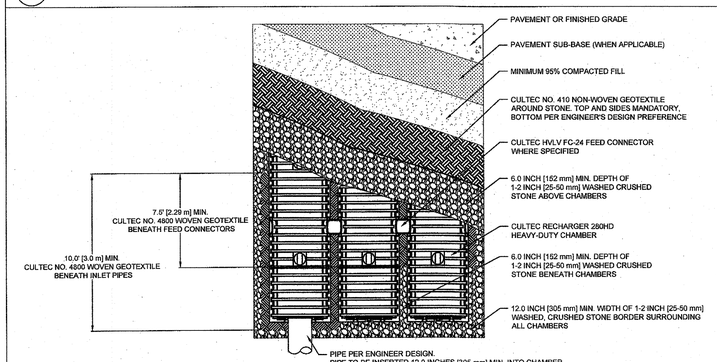
280HD 4.0

CULTEC RECHARGER 280HD HEAVY DUTY CROSS SECTION



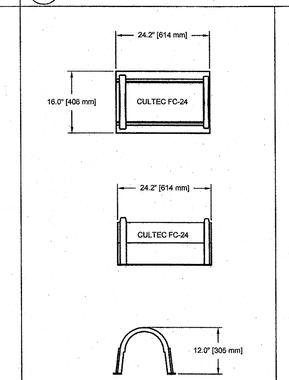
280HD 5.0

CULTEC RECHARGER 280HD HEAVY DUTY TYPICAL INTERLOCK



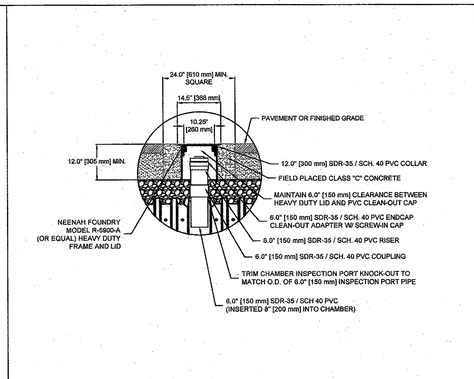
280HD 6.0

CULTEC RECHARGER 280HD HEAVY DUTY PLAN VIEW



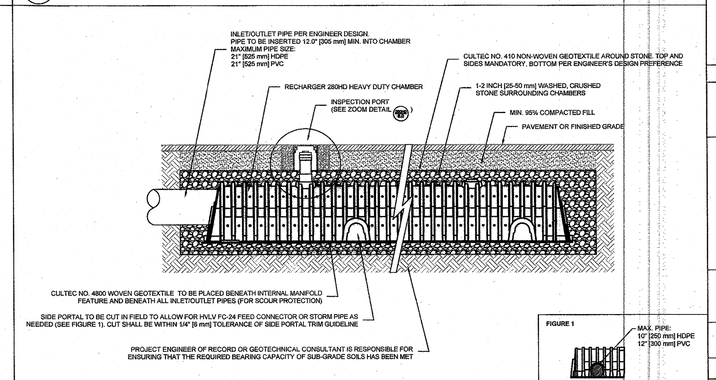
280HD 7.0

CULTEC HVLV FC-24 FEED CONNECTOR THREE VIEW



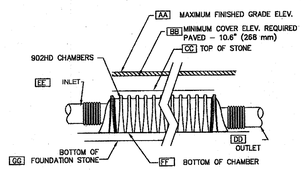
280HD 8.0

INSPECTION PORT - ZOOM DETAIL



280HD 9.0

CULTEC INTERNAL MANIFOLD - INSPECTION PORT DETAIL

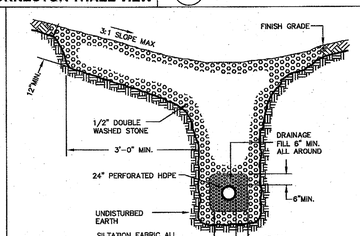


		SYSTEM #1	SYSTEM #2	SYSTEM #3
AA	MAXIMUM FINISHED GRADE ELEV.	213.80	213.20	214.50
BB	MINIMUM COVER ELEV.	213.30	211.65	213.80
CC	TOP OF STONE	212.30	210.65	212.80
DD	24" OUTLET	209.60	207.95	210.10
EE	24" INLET	209.60	207.95	210.10
FF	BOTTOM OF CHAMBER	209.60	207.95	210.10
GG	BOTTOM OF FOUNDATION STONE	209.10	207.45	209.60
HH	ESTIMATED GROUNDWATER	207.00	205.35	N/A

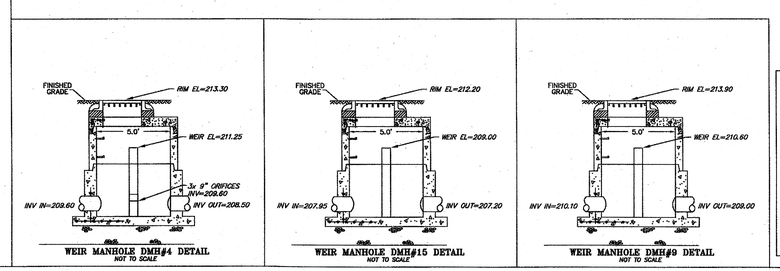
NOTES:

1. CHAMBERS ARE TO BE INSTALLED PER MANUFACTURER SPECIFICATIONS. SEE STORMWATER REPORT FOR INSTALLATION INSTRUCTIONS AND DETAILS.

CULTEC 280HD CHAMBER SYSTEM ELEVATIONS
NOT TO SCALE



STONE TRENCH DETAIL
N.T.S.



WEIR MANHOLE DMH#4 DETAIL
NOT TO SCALE

WEIR MANHOLE DMH#15 DETAIL
NOT TO SCALE

WEIR MANHOLE DMH#9 DETAIL
NOT TO SCALE

COMMONWEALTH OF MASSACHUSETTS
ELIZABETH A. MAININI-SANCHONI
No. 48098
REGISTERED PROFESSIONAL ENGINEER
7/1/22

REGISTRY USE ONLY
F4516

APPROVED BY THE TOWN OF MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD

BOARD MEMEBER DATE

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OWNER

FREIL REALTY II, LLC
DEED BOOK 27992 PAGE 300
PLAN BK. 515, PG 721 OF 2003
A.M. 41 LOT 8

APPLICANT

LOBISSER COMPANIES
1 CHARLESVIEW ROAD
HOPEDALE, MA 01747

SITE PLAN
86 HOLLISTON STREET
MEDWAY
MASSACHUSETTS

CONSTRUCTION DETAILS

MARCH 28, 2022

DATE	REVISION DESCRIPTION
6/29/2022	REVISED PER TOWN COMMENTS

Guerriere & Halnon, Inc.
ENGINEERING & LAND SURVEYING
55 WEST CENTRAL ST. PH. (508) 528-3221
FRANKLIN, MA 02038 FX. (508) 528-7921
www.gandhengineering.com

SHEET 11 OF 12
JOB NO. F4516

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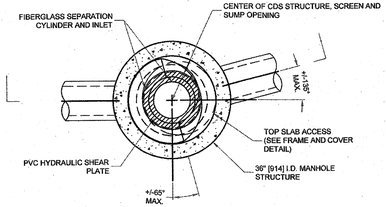
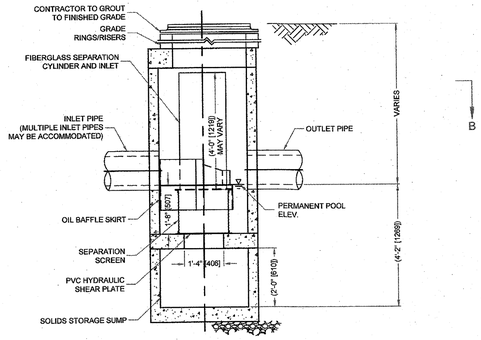


PLAN VIEW B-B
N.T.S.



ELEVATION A-A
N.T.S.

CDS1515-3-C DESIGN NOTES

CDS1515-3-C RATED TREATMENT CAPACITY IS 1.0 CFS, OR PER LOCAL REGULATIONS.

THE STANDARD CDS1515-3-C CONFIGURATION IS SHOWN.

FRAME AND COVER
(DIAMETER VARIES)
N.T.S.

SITE SPECIFIC DATA REQUIREMENTS

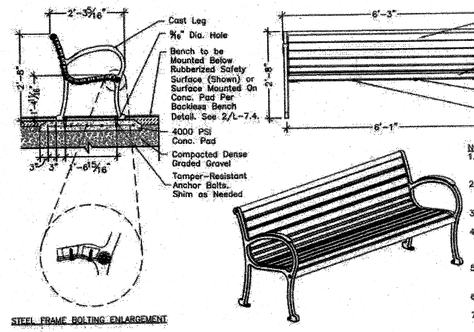
STRUCTURE ID			
WATER QUALITY FLOW RATE (CFS OR L/s)			
PEAK FLOW RATE (CFS OR L/s)			
RETURN PERIOD OF PEAK FLOW (YRS)			
SCREEN APERTURE (2400 OR 4700)			
PIPE DATA:	I.E.	MATERIAL	DIAMETER
INLET PIPE 1			
INLET PIPE 2			
OUTLET PIPE			
RIM ELEVATION			
ANTI-FLOTATION BALLAST		WIDTH	HEIGHT
NOTES/SPECIAL REQUIREMENTS: * PER ENGINEER OF RECORD			

GENERAL NOTES
1. CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
2. FOR SITE SPECIFIC DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. www.ContechES.com
3. CDS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
4. STRUCTURE SHALL MEET AASHTO HS20 LOAD RATING, ASSUMING EARTH COVER OF 0' - 2', AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M306 AND BE CAST WITH THE CONTECH LOGO..
5. IF REQUIRED, PVC HYDRAULIC SHEAR PLATE IS PLACED ON SHELF AT BOTTOM OF SCREEN CYLINDER. REMOVE AND REPLACE AS NECESSARY DURING MAINTENANCE CLEANING.
6. CDS STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C-478 AND AASHTO LOAD FACTOR DESIGN METHOD.

INSTALLATION NOTES
A. ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
B. CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE.
C. CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLE STRUCTURE.
D. CONTRACTOR TO PROVIDE, INSTALL, AND GROUT INLET AND OUTLET PIPE(S). MATCH PIPE INVERTS WITH ELEVATIONS SHOWN. ALL PIPE CENTERLINES TO MATCH PIPE OPENING CENTERLINES.
E. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

CONTECH ENGINEERED SOLUTIONS LLC

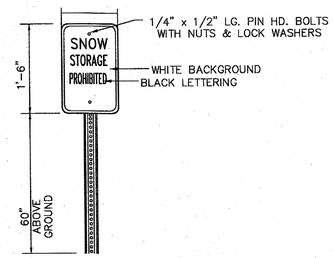
CDS1515-3-C
ONLINE CDS
STANDARD DETAIL



STEEL FRAME BOLTING ENLARGEMENT

NOTE:
1. Bench to be furnished by Owner. Contractor responsible for assembly and installation.
2. Benches to be by Dumor Inc. Mifflintown, PA. PH: (800) 598-4018 Model #165-60PL.
3. Slats to be "Redwood" Recycled Plastic
4. All steel members to be coated with zinc rich epoxy then finish with polyester powder coating, color to be black.
5. Bench to be surface mounted, ½"x3½" expansion anchor bolts provided.
6. See Manufacturer's information for installation instructions
7. Contractor to touch up all damag to finishes with manufacturer's provided touch up kit.

1 6' Bench With Back
Scale: 3/4" = 1'-0"



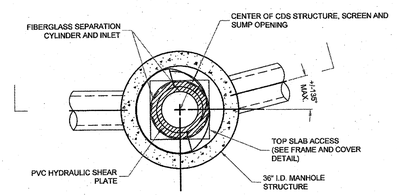
SNOW STORAGE SIGN
NOT TO SCALE

CDS1515-3-C DESIGN NOTES

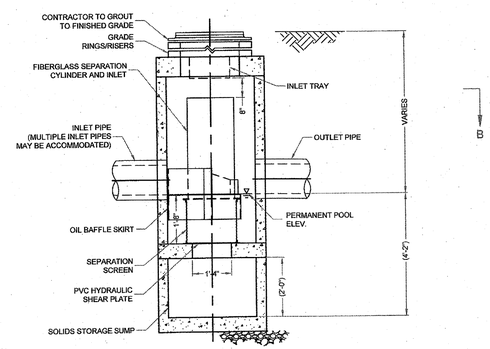
CDS1515-3-C RATED TREATMENT CAPACITY IS 1.0 CFS, OR PER LOCAL REGULATIONS.

THE STANDARD CDS1515-3-C WITH GRATED INLET CONFIGURATION IS SHOWN. ALTERNATE CONFIGURATIONS ARE AVAILABLE AND ARE LISTED BELOW. SOME CONFIGURATIONS MAY BE COMBINED TO SUIT SITE REQUIREMENTS.

CONFIGURATION DESCRIPTION
GRATED INLET ONLY (NO INLET PIPE)
GRATED INLET WITH INLET PIPE OR PIPES



PLAN VIEW B-B
N.T.S.



ELEVATION A-A
N.T.S.

INLET TRAY
NOT TO SCALE

24" X 24" FRAME AND GRATE
(MAY VARY)
NOT TO SCALE

SITE SPECIFIC DATA REQUIREMENTS

STRUCTURE ID			
WATER QUALITY FLOW RATE (CFS OR L/s)			
PEAK FLOW RATE (CFS OR L/s)			
RETURN PERIOD OF PEAK FLOW (YRS)			
SCREEN APERTURE (2400 OR 4700)			
PIPE DATA:	I.E.	MATERIAL	DIAMETER
INLET PIPE 1			
INLET PIPE 2			
OUTLET PIPE			
RIM ELEVATION			
ANTI-FLOTATION BALLAST		WIDTH	HEIGHT
NOTES/SPECIAL REQUIREMENTS: * PER ENGINEER OF RECORD			

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CONTECH ENGINEERED SOLUTIONS LLC

CDS1515-3-C
ONLINE CDS
STANDARD DETAIL

REGISTRY USE ONLY F4516

APPROVED BY THE TOWN OF MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD

BOARD MEMEBER DATE

LEGAL NOTES

UTILITIES ARE PLOTTED AS A COMPILATION OF RECORD DOCUMENTS, MARKINGS AND OTHER OBSERVED EVIDENCE TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES AND SHOULD BE CONSIDERED APPROXIMATE. BREAKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. ADDITIONAL UTILITIES, NOT EVIDENCED BY RECORD DOCUMENTS OR OBSERVED PHYSICAL EVIDENCE, MAY EXIST. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING AND CALL DIGSAFE AT 1(888)DIG-SAFE(7233).

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

OWNER

FREIL REALTY II, LLC
DEED BOOK 27992 PAGE 300
PLAN BK. 515, PG 721 OF 2003
A.M. 41 LOT 8

APPLICANT

LOBISSER COMPANIES
1 CHARLESVIEW ROAD
HOPEDALE, MA 01747

SITE PLAN
86 HOLLISTON STREET
MEDWAY
MASSACHUSETTS

CONSTRUCTION DETAILS

MARCH 28, 2022

DATE	REVISION DESCRIPTION
6/29/2022	REVISED PER TOWN COMMENTS

COMMONWEALTH OF MASSACHUSETTS ELIZABETH A. MAININI-SANICHONI No. 48098 REGISTERED PROFESSIONAL ENGINEER
7/1/22

Guerriere & Halnon, Inc.
ENGINEERING & LAND SURVEYING
55 WEST CENTRAL ST. PH. (508) 528-3221
FRANKLIN, MA 02038 FX. (508) 528-7921
www.gandhengineering.com

SHEET 12 OF 12 JOB NO. F4516

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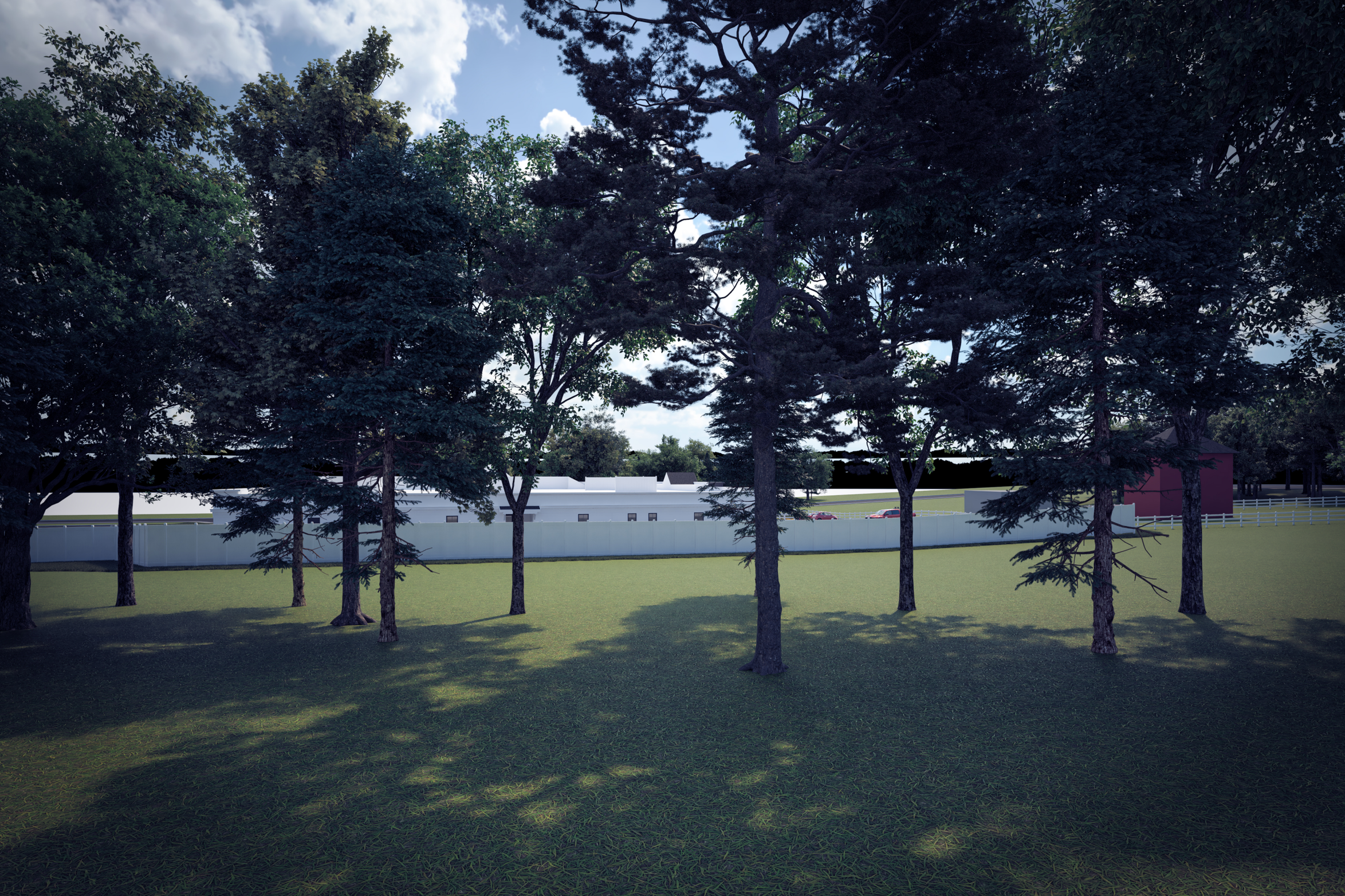
Milford Regional
Physician Group



1 North
1/8" = 1'-0"

2 West
1/8" = 1'-0"

3 South
1/8" = 1'-0"

4 East
1/8" = 1'-0"

Owner

Enter address here

Project Name

DAI DiGIORGIO ASSOCIATES INCORPORATED
A LiRo Group Company

ARCHITECTURE
PLANNING
INTERIOR DESIGN
ENGINEERING

BOSTON
529 MAIN STREET, SUITE 3303
BOSTON, MA 02129
TEL. 617.723.7100
FAX. 617.723.9113

PORTLAND
570 WASHINGTON AVE.
PORTLAND, ME 04103
TEL. 207.582.2400
FAX. 207.582.8320

CONSULTANT:

ISSUE/REVISION:

NO:	DATE:	DESCRIPTION:

KEY PLAN:

N TRUE

DRAWING TITLE:
Exterior Elev/Bldg Sections

DRAWN BY: Author	SEAL:
CHECKED BY: Checker	
SCALE: 1/8" = 1'-0"	
PROJECT NO.: Project Number	

DRAWING NO.:
A-400

PROJECT LOCATION:
C:\Users\FermanC\Documents\22-xxx-xxxx MRPG Medway_FermanC_25V2EYN34ISC.rvt

DATE & TIME PRINTED: 7/28/2022 9:40:49 AM