



Town of Medway
DESIGN REVIEW COMMITTEE
155 Village Street, Medway MA 02053
(508) 533-3291

DRC Meeting Minutes: April 05, 2021
Remote Meeting via ZOOM

Call to Order: – With a quorum present, this remote meeting was called to order by Chair Mr. Buckley at 7:00 p.m.

Attendees:

	04/05/2021				
Matthew Buckley	X				
Rich Di Iulio	-				
Jessica Chabot	X				
Tom Gay	X				
Rachel Walsh	X				
Dan Connolly	X				
Alex Siekierski	X				

Also Present:

- Sreelatha Allam, Recording Secretary
- Susan Affleck Childs, Planning and Economic Development Coordinator
- Janine Clifford-Pro prospective DRC member
- Bryan Bonina (Signarama) and Emily Berry for Berry's Greenhouse
- Tim Fitzroy and Daniel Merrikin for 119 Main Street
- Taylor Campbell (Sign installer) for L&W Supply, 20 Trotter Drive

Meeting Minutes – 03-15-2021:

A motion was made by Mr. Buckley to approve the minutes of 03/15/2021 as amended, seconded by Ms. Walsh.

Roll Call Vote:

Matt Buckley- Aye

Rachel Walsh- Aye

Jessica Chabot- Aye

Tom Gay- Aye

Dan Connelly – Aye

Alex Siekierski - Aye

The motion passed.

Sign Design Review – Berry’s Greenhouse, 32 Summer Street -

Business owner Emily Berry attended the meeting with Bryan Bonina (Signarama) to discuss the sign design. (**See Attached.**) The application is for a new double sided (24”x72”) post and panel monument sign. High performance vinyl will be applied to the sign faces. The overall sign height is 6’ with an 8’ setback from the street. Posts will be cemented into the ground. The area around the sign base will be landscaped and no lighting is planned at this time. Ms. Berry said the area around the sign was mulched recently with a mix of flowering plants. The green font on the sign was commented for not being legible. A suggestion was made to consider a darker green font color. Bryan offered to use the darker shade if required but reiterated the computer rendering is not a true reflection of the actual color. DRC members liked the sign as presented. A DRC review letter will be sent to the applicant and Medway Building Department. During the meeting Ms. Chabot drafted the letter and emailed it to Ms. Affleck-Childs.

Sign Design Review - L & W Supply, 20 Trotter Drive

Mr. Taylor Campbell, sign installer joined the call to discuss the sign design for 20 Trotter Drive. The business is located in a corner building and the proposal is for two signs. (**See Attached.**) Ms. Affleck-Childs mentioned the business was recently bought by L&W Supply from Merrimack Building Supply. The application I includes design review for sign on the building, a reface of the existing monument sign and signs on the door. Members said the proposed sign artwork is legible and clear. A comment was made on the size of the monument sign. The proposal includes the reface of the existing monument sign ((4’x5’). There was some discussion on another white monument sign in front of the building front. The text on the sign was not clear from Google and after some discussion, members concluded it could be a real estate sign. It was mentioned the proposed and existing signs will not be illuminated. The faces of the existing monument sign will be removed and 1/8” thick aluminum panel will be painted to match color key with surface applied computer cut vinyl. A comment was made whether the door signs complied with the Bylaw. Discussion also included the allowable number of signs for 20 Trotter Drive. It was observed the proposed signs did not include the building address. Members agreed to ask the applicant to consider removing the white monument sign and adding the building address for better clarity. Ms. Affleck-Childs will work with Ms. Chabot and finalize the DRC recommendation.

The DRC review commendation letter will include the following:

- Question/ comment about the white sign (assumed to be real estate sign) explaining the limitations on allowable sign space based on Medway bylaws. Applicant will be asked to remove the sign.
- Requirement for landscaping treatment around the base of the monument sign
- Edging and painting of the monument sign frame before installing the new sign.

- The proposed door signs should be compliant with Medway sign bylaws and inspected by the building dept. before final signoffs.
- Remove any window decal signs.

Sign Design Review - Rocky's Hardware

Ms. Affleck-Childs said the sign permit application was submitted to the Building Department but it is not size compliant sign. This item will not be discussed tonight.

Design Review – The Settlement mixed use development for 119 Main Street-

Project Engineer, Mr. Merrikin (Legacy Engineering) and Architect, Mr. Fitzroy attended the meeting to discuss the project. Ms. Affleck-Childs mentioned the project applications were submitted for CONCOM and PEDB reviews.

The proposed development includes six mixed-use, village style buildings, one at the front of the site facing Main Street and five at the back of the site, along with associated driveways, parking areas to accommodate 57 vehicles, landscaping, utility systems, and storm water management systems. The proposal specifies a total of 12,544 sq. ft. of ground floor commercial/office space and 25,448 sq. ft. of residential space (26 apartment style dwelling units) of which 6 would be affordable. The property is located within the Central Business zoning district at the southeast corner of Main and Elm Streets. The site includes wetland resources and is under the jurisdiction of the Medway Conservation Commission which is reviewing the project for an Order of Conditions and a Land Disturbance permit. Application has been submitted for PEDB review and the public hearing is next week. **(See Attached)**

To a question on the project's signage plan, Mr. Merrikin said it will be presented at a future meeting. However, the landscape plan is available. Ms. Chabot asked for the plan to include the pictures of proposed plants. Comment was made about the safety and inconvenience caused to the customers as the proposed parking location(s) are far away from the office building which will force them to walk longer to the vehicles. Question was whether consideration could be given to build a sidewalk bordering the parking lot so customers can avoid walking through the grass or the lots. Mr. Merrikin agreed to look into the feasibility of the sidewalk option. Members said reconfiguration of the parking lots should be considered to make it easier for potential residents.

Mr. Merrikin said the new buildings will be named after the founding families of Medway. Parking at the front of the site will service the front building. Each of the six proposed buildings are mixed-use and per the bylaw the front building must be used for mixed use. He said PEDB is working on the modification of this bylaw. There's provision that one of the rear buildings could

be entirely residential as long as the overall commercial space % requirement is met. Preference is not to include elevators in small structures/ buildings. There was a question on outdoor amenities space planned for the residential units and Mr. Merrikin said the project will be looking into the option as the design is developed further. Ms. Clifford asked if it's a requirement to provide a sidewalk to walk back to the businesses from Main St. Response was that current bylaw revisions are contemplating the aspect and project will look into it as the design is advanced.

Ms. Walsh said with multiple business entities proposed within the development's back buildings, a ladder style signage by Main St might be needed and that DRC is trying to get away from that concept. Two commercial units per building are being proposed. He said he will work on the signage and said they're not intending for a ladder style sign for the project. A directory sign was discussed as an option. Ms. Affleck-Childs said a master sign plan for the project will be required for the site plan which will entail DRC review and that it should include façade wall signs as well.

Mr. Fitzroy talked about the architectural elements of the proposed units. All buildings are currently proposed to have hardie plank siding. Along the porch, raised panel system/ shutters are proposed. Each building will have a single entrance and all buildings have similar layouts especially on the second and third floors. There's no option for one single business to occupy the entire first floor. The basements will have utilities. Deliveries and mailbox design have not started. Project team will coordinate with the post office to finalize the mailbox design. Grey color exterior is proposed at this time. There was a question if stonewalls are being considered for the project. It was suggested as a good add/ aesthetics to the project. Ms. Affleck-Childs suggested drafting a DRC memo to the PEDB reflecting today's discussion. It would be helpful for their PEDB's review process. Mr. Merrikin will come back to DRC in a month or so with revisions made based on input received from the public hearings.

Open Discussion

Janine Clifford - Potential DRC member

Ms. Clifford introduced herself to the DRC. She has a Master's degree in Architecture. She's been working in hospitality design for the last 15 years for a Boston based firm. She's been a Medway resident since 2018. She expressed her interest and desire to join DRC. All DRC members gave their introductions and expressed support and pleasure for having her serve on the committee.

Ms. Chabot stated she will be involved with the Master Plan Committee and will be available for DRC meetings on a need basis. It's a two-year process lead by a consultant. She agreed to provide updates to DRC. Mr. Siekierski expressed interest in becoming the DRC designee to the Master Plan Committee. It was mentioned the first Master Plan Committee meeting is on April 12th. Ms. Affleck-Childs will share the meeting materials with Mr. Siekierski as requested.

Adjournment

Motion was made by Ms. Chabot to adjourn the meeting, seconded by Mr. Buckley

Roll Call Vote:

Matt Buckley- Aye

Rachel Walsh- Aye

Jessica Chabot- Aye

Dan Connelly - Aye

Tom Gay – Aye

Alex Siekierski- Aye

The motion passed.

The meeting was adjourned at 9:20 p.m.

Respectfully Submitted,

Sreelatha Allam
Recording Secretary

Reviewed and edited by,

Susan E. Affleck-Childs
Planning and Economic Development Coordinator



Medway Design Review Committee (DRC)
Application for Sign Design Review

Medway Location/Address where the sign will be installed: _____
What is the interior width of the storefront? _____

Building/Development Name: (if applicable): _____

Medway Zoning District: _____

Applicable Sign Standard Table (from Medway Zoning Bylaw) Table # _____.

Applicant Information (Local Medway business establishment where the sign is to be installed)

Business Name: _____

Mailing Address: _____

Contact person: _____

Phone: _____ Cell Phone _____

Email address: _____

Type of Proposed Signs – For sign definitions, refer to *Medway Zoning Bylaw (Section 7.2 Signs Regulation)*. The *Medway Zoning Bylaw* is available online at: www.townofmedway.org.

Type of Sign	# of Signs	Signs Dimensions	Total Square Footage of Sign Surface Area	Sign Height	Type of Illumination (internal, external or none)
Wall/Façade Sign					
Free-standing Individual Business Sign					
Free-standing Multi-Tenant Development Sign					
Awning Sign					
Projecting Sign					
Directory Sign					
Window Sign					
Other Type of Sign (Describe)					

Attach the following items to this form. pdf format is requested for the application form and all attachments. Please email application and documents to sachilds@townofmedway.org

- _____ 1. Manufacturer's scaled COLOR drawing with dimensions and DETAILED specifications for materials and illumination.
- _____ 2. For a wall sign, a scaled image showing the sign's position on the building.
- _____ 3. Landscaping Plan and Plot Plan marked with location of the free-standing sign and distances from street/lot lines.
- _____ 4. Color photograph(s) of building/location(s) where sign will be installed and existing signs.
- _____ 5. Color drawing of corporate logo (if applicable).
- _____ 6. Color photograph of similar/comparable sign on which your sign design is based.
- _____ 7. A letter or other descriptive or explanatory information you want to provide to the DRC.

Does this application pertain to a completely new sign?

☐ Yes ☐ No (If NO, please include photos/info of the existing sign you are modifying)

Does this application pertain to a replacement panel for an existing sign structure?

☐ Yes (If yes, please include photos/info of the existing sign) ☐ No

If the business is located in a multi-tenant development, is there a Master Sign Plan for the development?

☐ Yes ☐ No ☐ Don't Know

Does your lease require the property owner's approval of your sign?

☐ Yes ☐ No ☐ Not applicable

Sign Designer/Fabricator/Installer Information

Company Name: _____

Mailing Address: _____

Contact person: _____

Phone: _____ Cell Phone: _____

Email address: _____

Property Owner Information

Company Name: _____

Mailing Address: _____

Contact person: _____

Phone: _____ Cell Phone: _____

Email address: _____

Proposed sign designs are reviewed by the Medway Design Review Committee (DRC).

The business owner and sign designer/fabricator must attend the DRC meeting.

**The DRC generally meets on the first & third Monday night of each month at 7 p.m.
at the Medway Library, 26 High ST.**

(DRC meeting agendas are posted at the Town's web page at www.townofmedway.org)

**An Application for Sign Design Review and all supporting information must be submitted
to the Medway Planning office by 12 noon on the Wednesday before a DRC meeting.**

Please submit this application form and all attachments as follows:

Email: sachilds@townofmedway.org **PREFERRED**

Fax: 508-321-4987

Mail: Design Review Committee
c/o Medway Planning office
155 Village Street, Medway, MA 02053

Drop Off: Medway Planning office @ Medway Town Hall, 155 Village Street

Phone: 508-533-3291

**Applicants and sign designers should read the Sign Guidelines included in the
Medway Design Review Guidelines before developing a sign design.**

<http://www.townofmedway.org/design-review-committee/pages/sign-design-review>

Sign designs should be developed in accordance with the Sign Design Guidelines.

Date Application Received by Medway Planning office: _____

Reviewed by Medway Planning Coordinator: _____ **DRC Meeting Date:** _____

QTY 1 Double Sided Street Sign



Post and Panel sign with pvc sign panels and high performance vinyl applied to sign faces. Pressure Treated 4x4 posts sleeved with PVC sleeves cemented into the ground.

8' set back from street
6' overall height

WALPOLE
Signarama
The way to grow your business.

458 High Plain St. Intersection Rts 1 & 27
Walpole, MA 02081
508-660-1231
signarama-walpole.com
sales@signarama-walpole.com



- Proof colors may vary from monitors & actual sign materials.
- A pdf proof is not a correct representation of printer output color.
- Resolution & Color from files provided by customer are the customers responsibility.
- Hard Proofs can be printed to ensure color satisfaction at a cost to be determined.
- Additional design charges may apply if customer does not proceed with all or part of project

PROOF 1	PROOF 2	PROOF 3	PROOF 4	PROOF 5
FREE	FREE	\$20.00	\$25.00	\$30.00

This proof is for conceptual use - actual sizes / colors / proportions may slightly vary.

CLIENT
APPROVAL

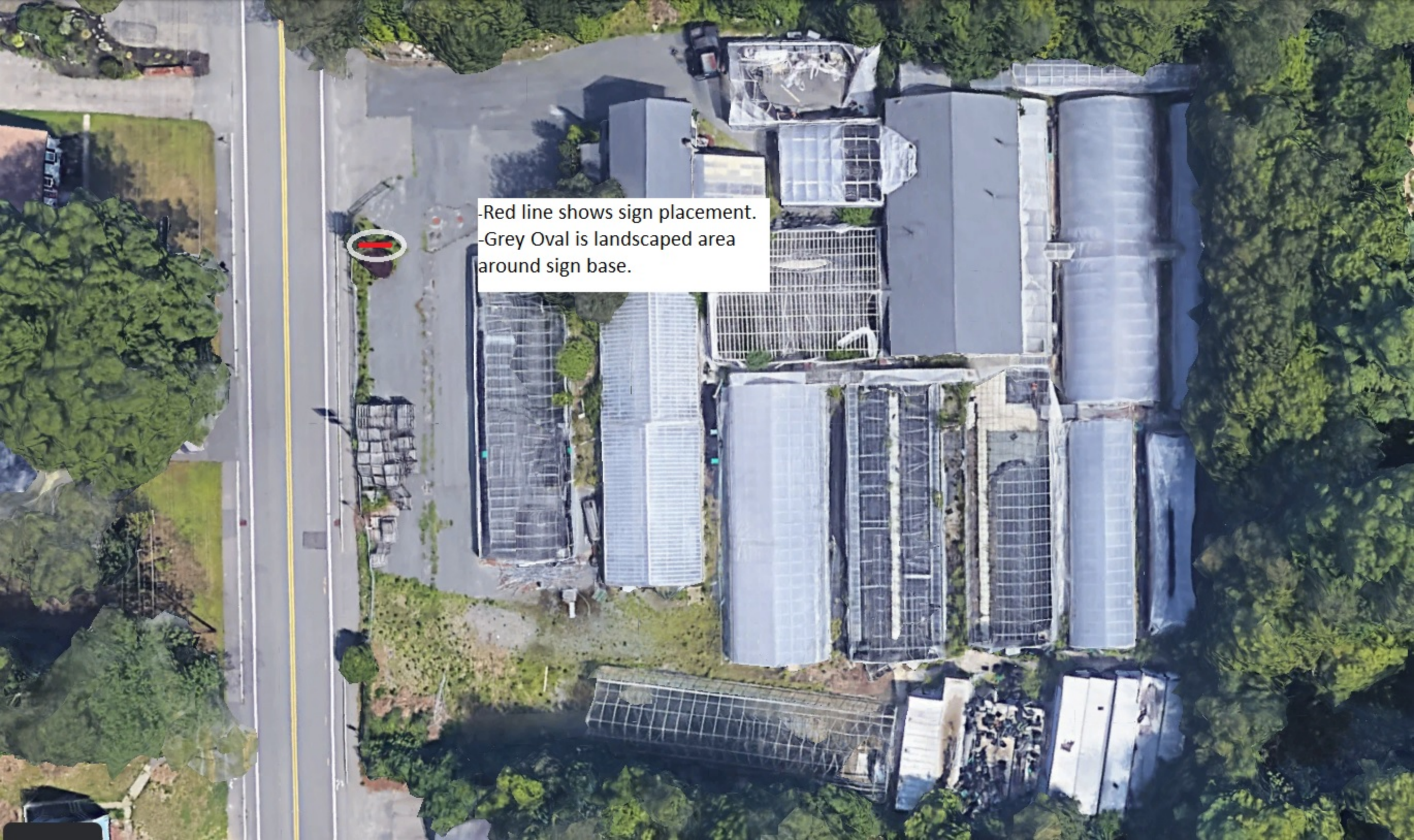
- Client signature ensures all spellings & specifications for signage are correct.
- All errors are your responsibility once final approval is received.
- Additional charges apply if you wish to make changes once artwork has been printed, fabricated and/or installed.

Customer: Berrys Greenhouses Inc.

Date: _____

Approved By: _____

THIS ORIGINAL DESIGN AND ALL INFORMATION CONTAINED HERE IN ARE THE PROPERTY OF SIGN A RAMA, AND SUBJECT TO RETURN, ANY UNAUTHORIZED USE IS FORBIDDEN.



-Red line shows sign placement.
-Grey Oval is landscaped area
around sign base.



Medway Design Review Committee (DRC) **Application for Sign Design Review**

Medway Location/Address where the sign will be installed: _____

What is the interior width of the store/business that faces the street or parking lot: _____

Building/Development Name: (if applicable): _____

Medway Zoning District: _____

Applicable Sign Standard Table (from Medway Zoning Bylaw) Table # _____.

Business Information (Local Medway business establishment where the sign is to be installed)

Business Name: _____

Mailing Address: _____

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Awning Sign					
Projecting Sign					
Directory Sign					
Window Sign					
Other Type of Sign (Describe)					

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- _____ 5. Color drawing of corporate logo (if applicable).
- _____ 6. Color photograph of similar/comparable sign on which your sign design is based.
- _____ 7. A letter or other descriptive or explanatory information you want to provide to the DRC.

Does this application pertain to a completely new sign?

____ Yes ____ No (If NO, please include photos/info of the existing sign you are modifying)

Does this application pertain to a replacement panel for an existing sign structure?

____ Yes (If yes, please include photos/info of the existing sign) ____ No

If the business is located in a multi-tenant development, is there a Master Sign Plan for the development?

____ Yes ____ No ____ Don't Know

Does your lease require the property owner's approval of your sign?

____ Yes ____ No ____ Not applicable

Sign Designer/Fabricator/Installer Information

Company Name: _____

Mailing Address: _____

Contact person: _____

Phone: _____ Cell Phone: _____

Email address: _____

Property Owner Information

Company Name: _____

Mailing Address: _____

Contact person: _____

Phone: _____ Cell Phone: _____

Email address: _____

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(DRC meeting agendas are posted at the Calendar & Events section of the Town's web page at www.townofmedway.org)

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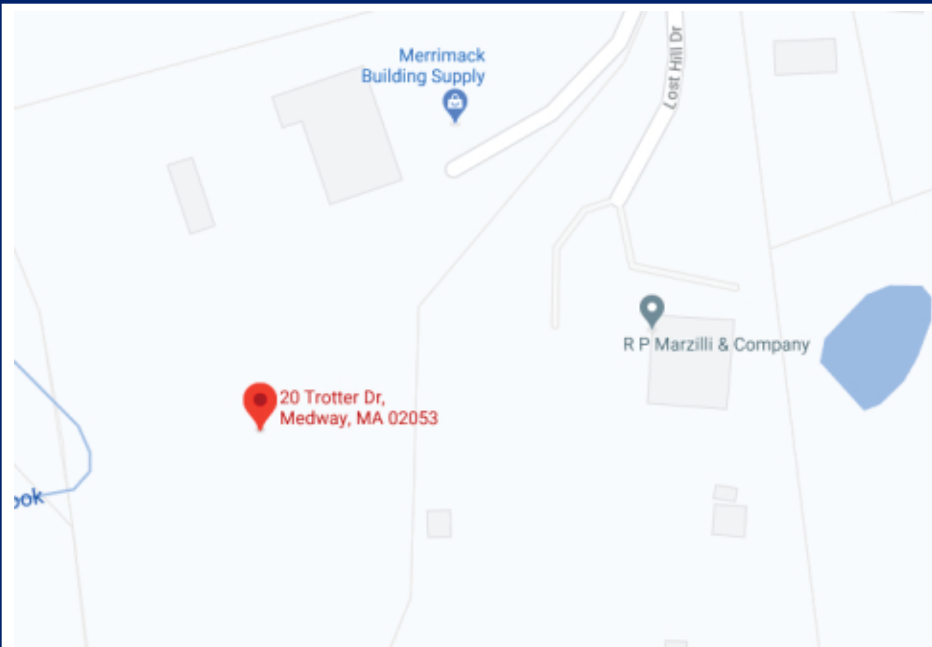
Applicants and sign designers should read the Sign Design Guidelines included in the Medway Design Review Guidelines before developing a sign design.

<http://www.townofmedway.org/design-review-committee/pages/sign-design-review>

Sign designs should be developed in accordance with the Sign Design Guidelines.

Date Application Received by Medway Planning office: _____

Reviewed by Medway Planning Coordinator: _____ **DRC Meeting Date:** _____



VICINITY MAP:



L&W
SUPPLY

Client:
L&W Supply 7110
300 South Riverside Plaza
Suite 200
Chicago, IL 60606

Location Address:
L & W Supply
20 Trotter Drive
Medway, MA 02053

Description:
Site Plan

Color Key:

Layout Date:
01/10/2021 - AR

Revision Date:
01/18/2021 - AR
01/22/2021 - AR
01/26/2021 - AR
03/09/2021 - SK/AR

SP

Site & Sign Location Plan

Scale: NTS

EGAN
SIGN

1100 Berkshire Blvd. Suite 200, Wyomissing, PA | (Toll Free): 844.460.6631 | (Fax): 610.478.1332 | www.egansign.com

This design/engineering proposal will remain the exclusive property of Egan Sign until approved and accepted through purchase by client named directly on drawing and may not be duplicated by other parties or design fee will apply @ \$95 per hour.

Sign Management Made Simple

File Name:
26060_Medway.pdf
Project Number: 26060

PRE-PERMIT SIGN INFO

Property ID:

L & W

A.) Project Name:

L&W Supply

Date Completed:

1/6/21

B.) Street Address:

20 Trotter Drive

C.) City, State Zip:

Medway, MA 02053

D.) Municipal Contact:

Rindo Barese

E.) Contact Phone:

508.533.3253

Email:

Through website

F.) Address, City, ST Zip:

155 Village Street, Medway, MA 02053

G.) Jurisdiction:

City/Town of: Medway

Fax:

H.) Zoning/Category:

WI West Industrial

Design Review required for FS sign or any other sign with 6 sf or more of sign surface area. See note #1 below for process.

Yes/No

I.) Overlay/Affecting Signs:

None

MSP?

No

J.) Permit app fee:

Based on sf of sign, minimum \$40; file online <https://www.townofmedway.org/online->

If yes, attach copy

K.) Permit Process time:

45 days

Landscaping is required around the base of all FS signs & landscaping plan shall be provided with the sign permit application. The minimum landscaped area shall extend at least 3 ft beyond all sign faces or supporting structures in all directions.

Yes

L.) Permit required if only refacing?

--

Yes

M.) Property Owner approval needed?

Yes

N.) Temporary/coming-soon Banners allowed?

See note #2 below for restrictions

Yes

O.) Temporary freestanding Signs allowed?

See note #2 below for restrictions

Yes

P.) Temporary Signs require Permit? Time allowed:

The lesser of 15 days or the period to which the information is relevant

Yes

Q.) Can app. be mailed or must it be submitted in person?

Apply online:

Yes

Note:

ATTACHED SIGNS

1.) Formula for sq ft. (Max.Sq. Feet- Main ID & Secondary):

1 sf per LF of bldg frontage, NTE 100 sf per establishment; see exception in note #3 below along with Definition of Building frontage

2.) Sq Ft-bldg, sides/rear:

Per formula

3.) Does Each elevation have own calc. or is allowance based on Main Elevation?

Elev. calc must come out of Overall Wall sign allowance

4.) Transferable allowances?

No

5.) # allowed:

2; see note #3 below for exception

Illumination:

Internal and External; no flashing, glare or spillage; see note #4

6.) Max. Overall Ht.:

Below roof line

Calculation Method:

See Definition in note #5 below

7.) Exposed raceway for Channel Ltrs allowed?

No

8.) Special Wall sign codes-this property:

Shall not project more than 8 in from façade

9.) Special storefront building colors:

Not addressed in Code; submit for approval

FREESTANDING SIGNS

1.) Formula for sq ft. (Max.Sq. Feet- Main ID & Secondary):

40 sf NTE 30 sf per sign face

2.) # allowed:

1; see note #3 below for exception

Illumination:

External only; see note #4 below

3.) Height Max:

6 ft

Grade-to-sign Clearance:

Not addressed in Code; submit for approval

4.) Set-back:

10 ft from any street lot line

Calculation Method:

See Definition in note #5 below

DIRECTIONAL SIGNS

1.) # Allowed:

As needed

Illumination:

External or indirect means only

2.) Max. SqFt:

4 sf

Max. Height:

Not addressed in Code; submit for approval

3.) Permit:

Not required if under 4 sf

Custom Logo:

Not Allowed

DOOR/WINDOW VINYL

1.) # Allowed:

1 per establishment at 4 sf is permit exempt.

Max Sq Ft:

4 sf

2.) Logos counted in sign area?

Yes

3.) Included in wall signs?

Permit exempt; any more than 1 or 4 sf in sign area, counted in wall signs and must have a permit.

4.) Permit required?:

Permit exempt; see Note this section; any more than 1 or 4 sf in sign area, counted as wall sign and must have permit.

Note:

Permit exempt: 1 permanent inside window sign per establishment NTE 4 sf of sign surface area.

Sign criteria is reported as presented to us as of the "Date Completed". This provider is not responsible for changes in local sign code after the completion date, nor for the review process, interpretations, calculations or fees of local authorities. Where required by local authority, it is understood a permit will be obtained prior to manufacture.

PRE-PERMIT SIGN INFO - Additional Notes

Property ID:

L & W

VARIANCE

1. Variance Meeting:

1st & 3rd Wednesday

App. Deadline:

30 days prior to meeting

2. Processing Time:

60-90 days

Est. Fees:

\$185 + \$100/request over 1st 2

3. Attorney or expeditor required?

☐ Yes ☒ No

Waiting Period after approval & how Long?

Possibly 30 days

4. Documents Required:

of Sets

1; file online

☒ Sign Details

☐ Engineering Seal

☐ UL Number

5. Probability of variance approval?

Contact would not Speculate

☒ Building Elevations

☒ Owner Auth. Ltr.

☐ Property ID#

Note:

[er?Action=showDevelopmentApplications&ctzPage](#)

☒ Site Plan

☐ Legal Description

Interested party should attend mtg to answer questions

NOTES

Note #1

Design Review.
a. Before filing for a sign permit with the Building Commissioner for any freestanding sign and for any other sign with 6 sf or more of sign surface area, a sign design review application must first be made to the Design Review Committee. The Design Review Committee shall review proposed signs for compliance with the Medway Design Review Guidelines. The submittal of application shall be in form and format as specified by the Design Review Committee. (Amended11-16-15)
b. The Design Review Committee shall meet with the applicant or its representative to review the proposed sign within 15 days of the receipt of a complete sign design review application (referred to herein as the application date). No later than 30 days from the application date, the Design Review Committee shall send its written review letter with recommendations regarding sign design to the Building Commissioner. Failure of the Design Review Committee to act within 30 days shall be deemed a lack of opposition thereto. These deadlines may be extended by mutual agreement of the Design Review Committee and the applicant. Any such extension shall automatically extend the period within which the Building Commissioner is required to act on a sign permit under this Section 7.2.6.
Decision. Within 45 days of the application date, the Building Commissioner shall issue or deny the Sign Permit.

Note #2

Special Event Sign: A sign which by its design and/or use is temporary in nature, frequently composed of paper, poster board, cardboard, fabric, canvas, vinyl, plastic, or other durable material, displayed for a period not to exceed 15 days, or the period to which the information on the sign is relevant, whichever is less, advertising a special event, sale, or service. The date of sign posting shall be included on the sign.
Special Event Signs. Special event signs displayed in the windows or doors of a ground-floor establishment shall not occupy more than 30% of the area of the window or door glass to which the sign is affixed. Special event signs shall not exceed 64 sf in sign surface area.
Temporary Business Sign: (Permit Exempt) A sign normally fabricated of vinyl, plastic, canvas, plywood, or other durable material, designed or intended to be displayed for a period not to exceed ninety days, for purposes of temporarily identifying the location of an establishment until a permanent sign is installed. The date of the sign posting shall be included on the sign. The size of a temporary business sign shall be the size allowed for a wall sign for the district in which the establishment is located.

Note #3

East Industrial, Energy Resource, and West Industrial Districts

(Title amended 11-13-17)

	Total Maximum Sign Surface Area (square feet)	Maximum # of Signs	Maximum Sign Height (feet)	Minimum Setback from any Street Lot Line (feet)	Illumination
Individual Establishment Wall Sign	Building sign Frontage x 1.0 not to exceed 100 per establishment*	2 per establishment	NA	NA	External Internal
Individual Establishment Freestanding Sign	40 not to exceed 30 per sign face	1 per establishment	6	10	External

* Unless an establishment has two or more building sign frontages. If so, see 7.2.5.B.8 (Amended 11-16-15)

7.2.5.B.8

When noted in the sign Tables, a ground floor establishment occupying a location that provides 2 or more building sign frontages may have 1 additional wall sign. The total maximum sign surface area permitted for all wall signs per establishment shall be 2X the amount of sign surface area that is allowed by the sign standard requirement of the respective zoning district. Said factor shall be applied to the building sign frontage where the establishment's main public entrance is located or, in the instance of a corner entrance, to the longest building frontage.
Building Sign Frontage: The distance in feet of the interior width of space occupied by an establishment based on the building side that faces a public or private street, way, or parking area.

Note #4 appears on next page

PRE-PERMIT SIGN INFO - Additional Notes

Property ID:

L & W

Note #4

Sign Illumination.

Where this Zoning Bylaw allows illumination of signs in a district, the illumination must conform to the following:
1. All lighting shall be continuous and installed in a manner that will prevent direct light from shining onto any street or adjacent property. Whenever an external artificial light source is used to illuminate a sign, such source shall be located, shielded, and directed so as to not be directly visible from any public street or private residence. External light fixtures shall be hooded or shielded to reduce light trespass. Flashing, traveling, or intermittent light creating flashing, moving, changing, or animated graphics is prohibited, except that a warning sign, a device intended to tell the time and temperature, day and date, or official traffic and directional signs may have changing illumination.
2. Except for clocks, sign illumination is permitted only between the hours of 7:00 a.m. and 11:00 p.m., except that the signs of commercial and industrial establishments may be illuminated during any hours that these establishments are open to the public or in operation. This provision shall not apply to illuminated signs at public safety facilities.
3. Only white lights shall be used for the external illumination of a sign. Such illumination shall be shaded, shielded, directed and maintained at a sufficiently low intensity and brightness that it shall not affect the safe vision of operators of vehicles moving within the premises or on any adjacent public or private ways.
4. In all districts, no outdoor floodlighting or decorative lighting shall be permitted except lighting primarily designed to illuminate walks, driveways, outdoor living areas, or outdoor recreational facilities, and except temporary holiday lighting in use for not longer than a six week period in any calendar year. Such permanent lighting shall be continuous, external or indirect, and installed in a manner that will prevent direct light from shining onto any street or adjacent property.
5. The front faces of internally illuminated channel letter type signs shall have non-clear surfaces such that the neon tubing is not directly visible.

Note #5

Sign Surface Area/Sign Face:

Sign surface area/sign face shall be the smallest single rectangle as measured with vertical and horizontal lines, enclosing the entire graphic display area of a sign including but not limited to all lettering and wording, all accompanying designs, logos or symbols, and the extreme limits thereof of the accompanying background or mounting panel that is attached to the building or structure.
Sign Surface Area.
1. In calculating the sign surface area, there shall be no deductions for open space or other irregularities between letters and designs, symbols and logos. For a freestanding sign, all open spaces between individual sign panels shall be included in calculating the sign surface area/sign face.
2. All faces of a multi-faced sign shall be counted in computing a sign's total sign surface area.
3. Structural members, framework and bracing for awning, marquis and canopy structures that are incidental to the sign itself and do not bear advertising matter shall not be included in computing sign surface area unless such are internally illuminated.

FYI

Exempt Signs in All Districts.

•Signs up to 2 sf in sign surface area, used for identifying rest rooms, telephones, and other public facilities.
•"Open" or "Welcome" signs not exceeding 6 sf in sign surface area, NTE 1 such sign per establishment.
•Banner signs affixed to poles, NTE 3 sf of sign surface area per side, incorporating only seasonal graphic designs.
•Store hour signs, which may bear advertising matter, not exceeding a total of 2 sf in sign surface area, NTE a total of 1 such sign per establishment.
•"Now Hiring" signs not exceeding 6 sf of sign surface area, NTE 1 such sign per establishment.
•1 permanent inside window sign per establishment NTE 4 sf of sign surface area.
•Door sign not exceeding 2 sf of sign surface area per door.
Exempt Signs in all Commercial and Industrial Zoning Districts.
•Special event signs which shall not occupy an area in excess of 20% of the area of the window glass to which they are affixed, and shall pertain only to the establishment's own special sale, event or service lasting no more than 15 days.
•Temporary business sign.
•1 permanent window sign, as defined herein, per establishment located above the first story of the building in which the establishment is located provided that:
a. The sign surface area does not exceed 20% of the area of the glass of the window or 6 sf, whichever is less;
b. The window is part of the premises to which the sign is accessory;
c. The sign consists of individual letters or symbols affixed to the window or mounted on a clear, transparent background; and
d. The individual symbols or letters do not exceed 6 inches in height.
•1 permanent wall or projecting sign per establishment located on the building façade above the first floor of the building in which the establishment is located provided that:
a. The sign surface area of the sign shall not exceed 6 sf.
b. The location on the façade where the sign is attached is part of the premises to which the sign is accessory.

L&W
SUPPLY

Client:
L&W Supply 7110
300 South Riverside Plaza
Suite 200
Chicago, IL 60606

Location Address:
L & W Supply
20 Trotter Drive
Medway, MA 02053

Description:
Sign Code

Color Key:

Layout Date:
01/10/2021 - AR

Revision Date:
01/18/2021 - AR
01/22/2021 - AR
01/26/2021 - AR
03/09/2021 - SK/AR

File Name:
26060_Medway.pdf
Project Number: 26060



Code Check

EGAN
SIGN

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This design/engineering proposal will remain the exclusive property of Egan Sign until approved and accepted through purchase by client named directly on drawing and may not be duplicated by other parties or design fee will apply @ \$95 per hour.

Sign Management Made Simple

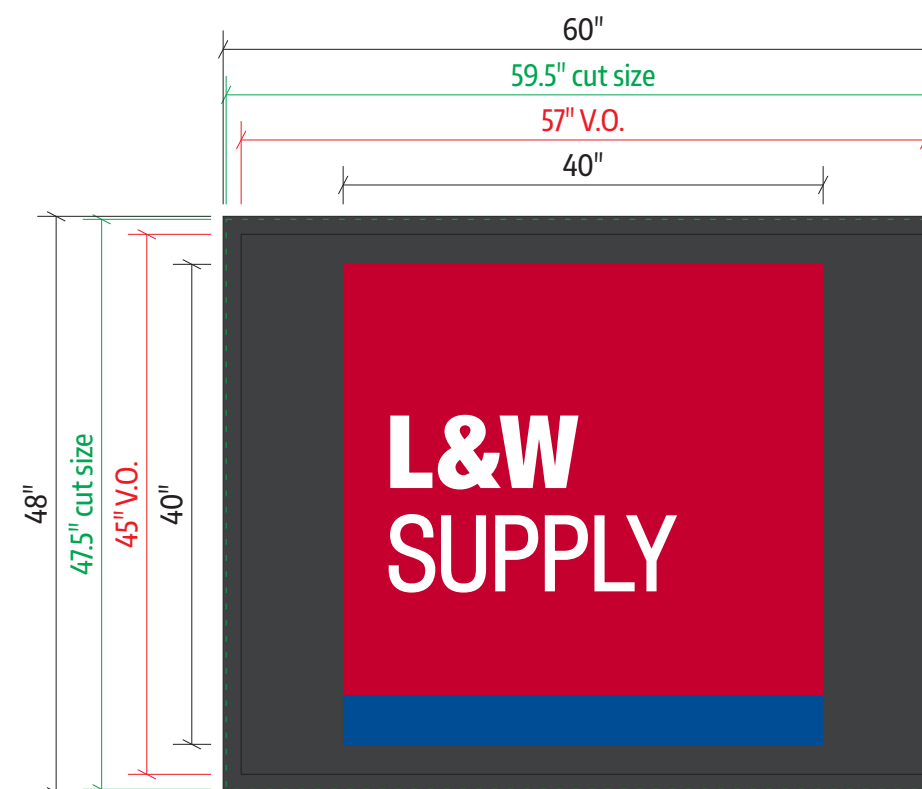


Proposed



Existing

Note:
Paint existing cabinet & reveal to match color key



**L&W
SUPPLY**

Client:
L&W Supply 7110
300 South Riverside Plaza
Suite 200
Chicago, IL 60606

Location Address:
L & W Supply
20 Trotter Drive
Medway, MA 02053

Description:

Monument Sign
(20 sq ft)

Qty: 2 (1 per side)

Provide 1/8" (thk) aluminum panel painted to match color key w/ surface applied computer cut vinyl to match color key.

Note:
Remove existing faces

Color Key:

- PMS 200 C
- PMS 2945 C
- PMS 446 C
- White

Layout Date:
01/10/2021 - AR

Revision Date:
01/18/2021 - AR
01/22/2021 - AR
01/26/2021 - AR
03/09/2021 - SK/AR

A Monument Sign
Scale: 3/4"=1-0"

**EGAN
SIGN**

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Sign Management Made Simple

File Name:
26060_Medway.pdf
Project Number: 26060



Proposed



Existing

Square Footage Calculation:

Code: 1 sf per LF of building frontage,

NTE 100 sf per establishment

Calculation: $1 * 70 = 70$ sf

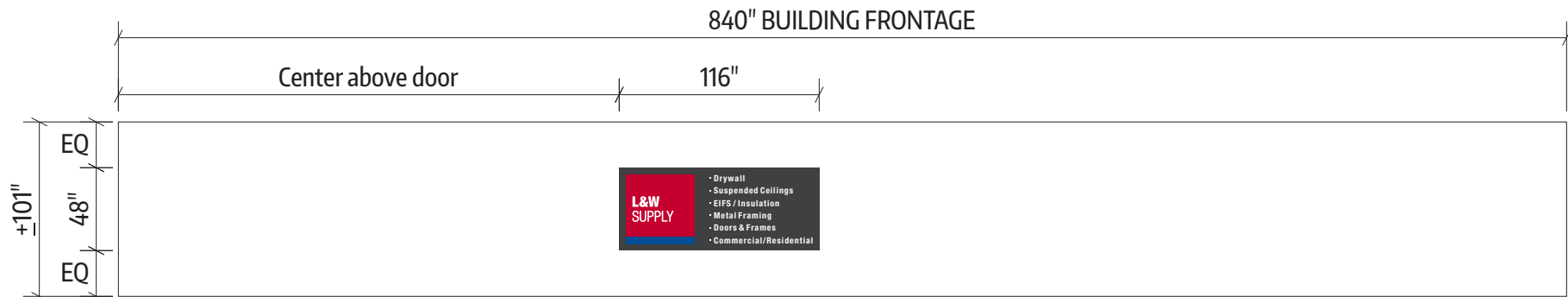
Allowed: 70 sf

Used: 38.7 sf

Sign B - 38.7 sf

Sign C - 29.6 sf

Total - 68.3 sf



B Pan Face Sign (Logo + List)

Scale: $\frac{1}{8}" = 1'-0"$

EGAN
SIGN

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Sign Management Made Simple



Client:

L&W Supply 7110
300 South Riverside Plaza
Suite 200
Chicago, IL 60606

Location Address:

L & W Supply
20 Trotter Drive
Medway, MA 02053

Description:

LWS-PFLL-48

Non-illuminated Pan Face Sign
(38.7 square feet):

Note:

Remove existing banner

Color Key:

PMS 200 C

PMS 2945 C

PMS 446 C

White

Layout Date:

01/10/2021 - AR

Revision Date:

01/18/2021 - AR

01/22/2021 - AR

01/26/2021 - AR

03/09/2021 - SK/AR

File Name:

26060_Medway.pdf

Project Number: 26060

Client:
L&W Supply 7110
300 South Riverside Plaza
Suite 200
Chicago, IL 60606

Location Address:
L & W Supply
20 Trotter Drive
Medway, MA 02053

Description:
LWS-PFLL-48
Non-illuminated Pan Face Sign
(38.7 square feet):

QTY: 1

Provide new 2" deep aluminum pan face sign w/ vinyl logo overlay and vinyl listings.

Color Key:
■ PMS 200 C
■ PMS 2945 C
■ PMS 446 C
□ White

Layout Date:
01/10/2021 - AR

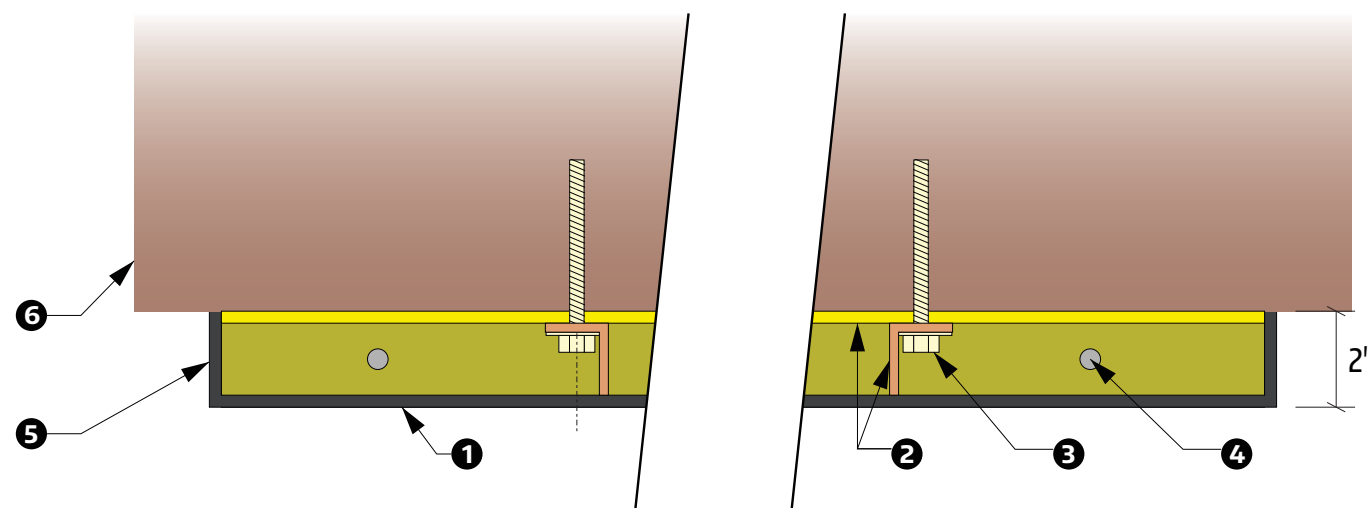
Revision Date:
01/18/2021 - AR
01/22/2021 - AR
01/26/2021 - AR
03/09/2021 - SK/AR

File Name:
26060_Medway.pdf
Project Number: 26060

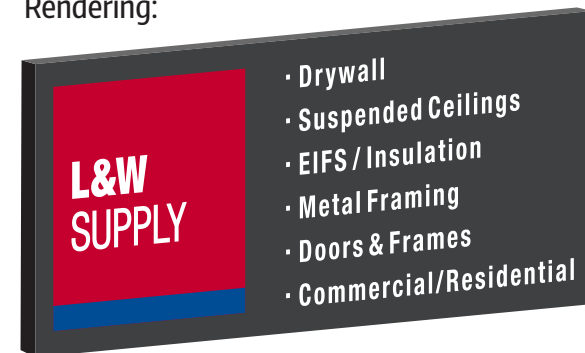
SECTION DETAILS:

- 1 0.090" Alum non-illuminated pan face sign panel w/ vinyl logo & edge to match
- 2 2" x 2" (1/4"t) Fabricated alum. angle framing fastened to exterior wall
- 3 Stainless steel attachment fastener per existing wall structure and site conditions
- 4 S.S. countersink machine screws painted to match sign (min of 3 per clip angle)
- 5 Paint to match sign face (PMS 446C)
- 6 Existing wall (no change)

Attachment Detail - Plan View:
SCALE: 3" = 1'-0"

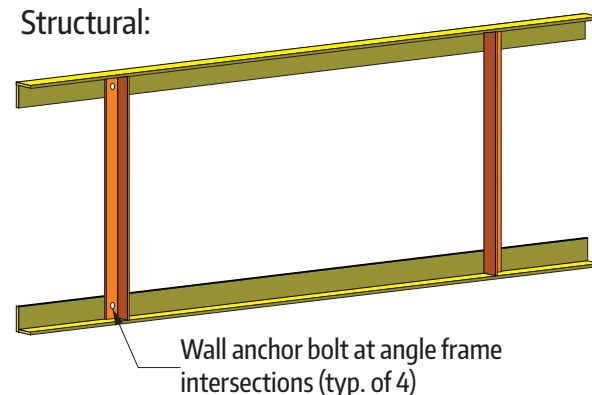


Rendering:

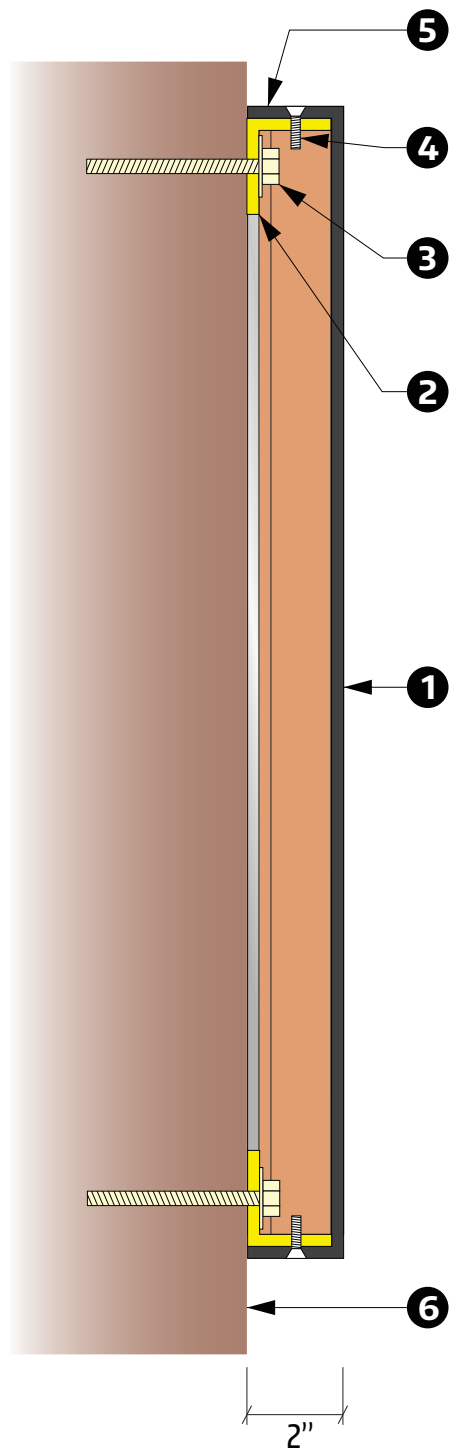


Pan Face Sign (Non-Illuminated)	X	X1	X2	Y	Y1	Total Square Feet:
LWS-PFLL-24	24	20	2	58	20	9.6
LWS-PFLL-30	30	25	2.5	72.5	25	15.1
LWS-PFLL-36	36	30	3	87	30	21.7
LWS-PFLL-42	42	35	3.5	101.5	35	29.6
LWS-PFLL-48	48	40	4	116	40	38.7
LWS-PFLL-54	54	45	4.5	130.5	45	48.9
LWS-PFLL-60	60	50	5	144	50	60

Structural:



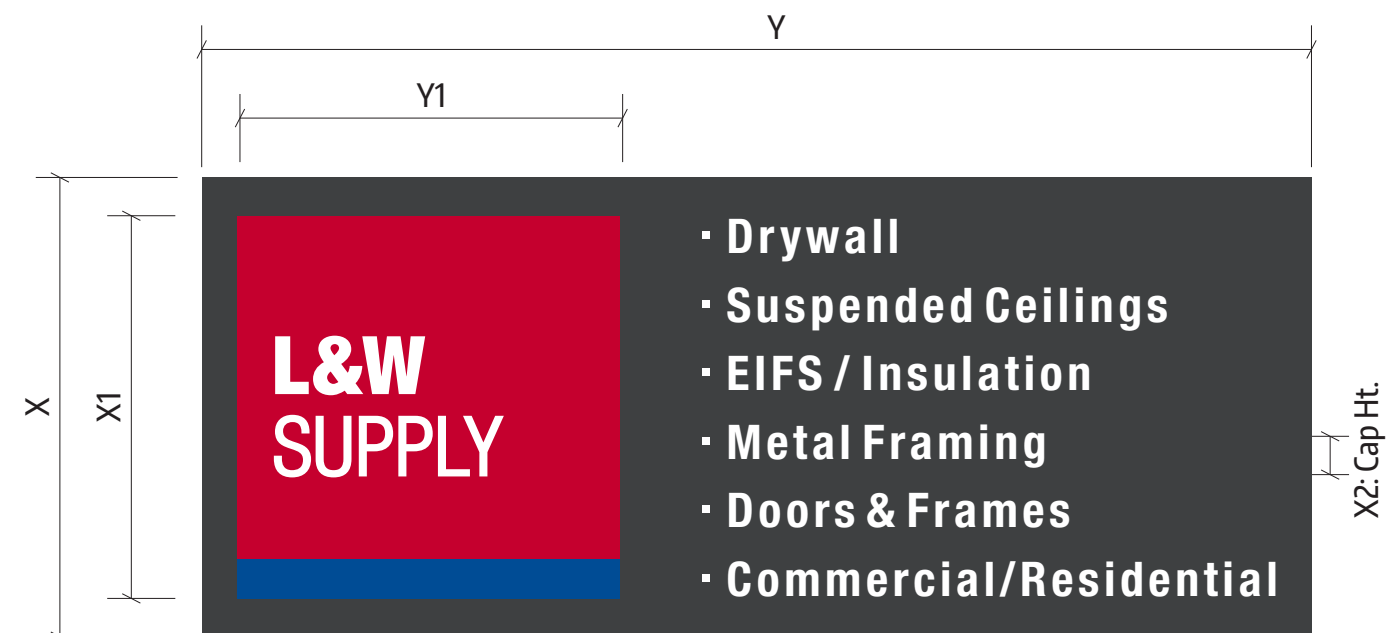
Attachment Detail - Section View:
SCALE: NTS



B

Pan Face Sign (Logo + List)

Scale: NTS





Proposed



Existing

Square Footage Calculation:

Code: 1 sf per LF of building frontage,

NTE 100 sf per establishment

Calculation: 1 * 70 = 70 sf

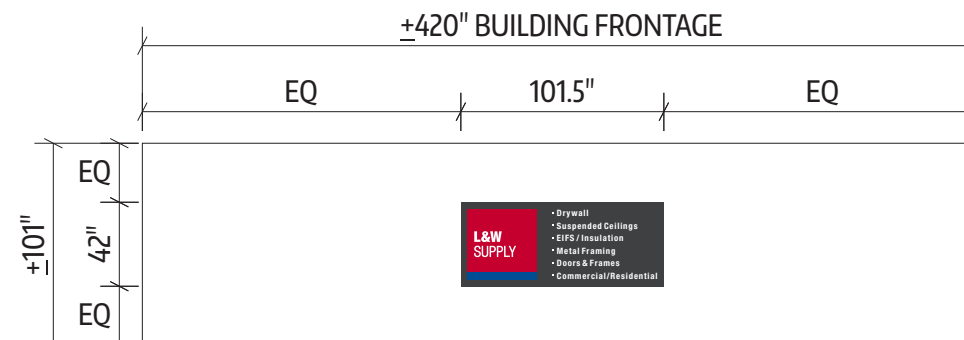
Allowed: 70 sf

Used: 29.6 sf

Sign B - 38.7 sf

Sign C - 29.6 sf

Total - 68.3 sf



Pan Face Sign (Logo + List)

Scale: 1/8"=1'-0"

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Sign Management Made Simple

L&W
SUPPLY

Client:

L&W Supply 7110
300 South Riverside Plaza
Suite 200
Chicago, IL 60606

Location Address:

L & W Supply
20 Trotter Drive
Medway, MA 02053

Description:

LWS-PFLL-42

Non-illuminated Pan Face Sign
(29.6 square feet):

Color Key:

- PMS 200 C
- PMS 2945 C
- PMS 446 C
- White

Layout Date:

01/10/2021 - AR

Revision Date:

01/18/2021 - AR
01/22/2021 - AR
01/26/2021 - AR
03/09/2021 - SK/AR

File Name:

26060_Medway.pdf
Project Number: 26060

Client:
L&W Supply 7110
300 South Riverside Plaza
Suite 200
Chicago, IL 60606

Location Address:
L & W Supply
20 Trotter Drive
Medway, MA 02053

Description:
LWS-PFLL-42
Non-illuminated Pan Face Sign
(29.6 square feet):

QTY:1

Provide new 2" deep aluminum pan face sign w/ vinyl logo overlay and vinyl listings.

Color Key:

- PMS 200 C
- PMS 2945 C
- PMS 446 C
- White

Layout Date:
01/10/2021 - AR

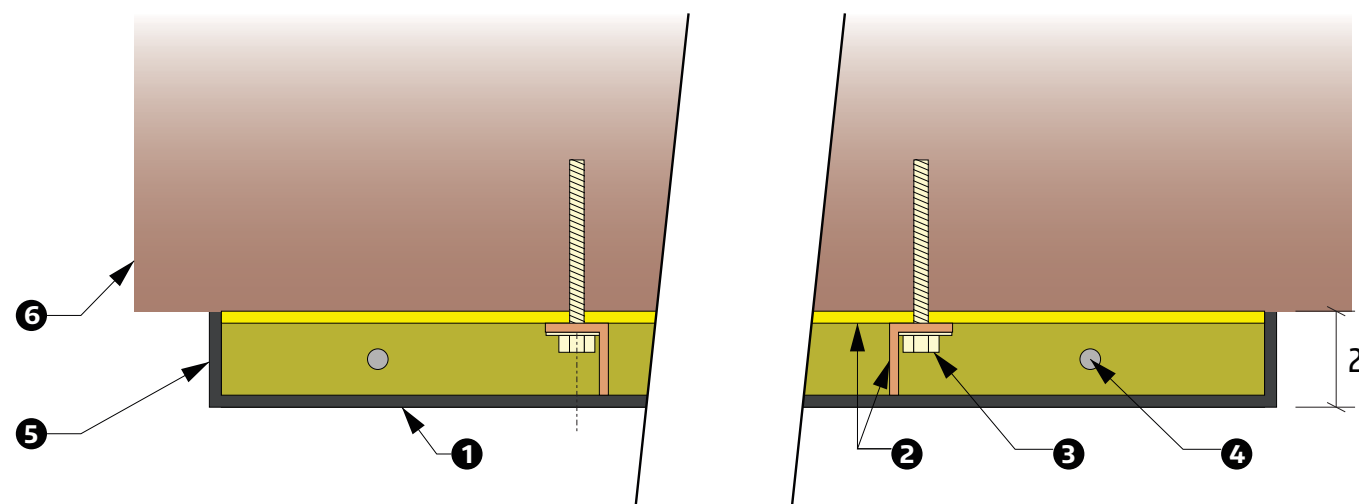
Revision Date:
01/18/2021 - AR
01/22/2021 - AR
01/26/2021 - AR
03/09/2021 - SK/AR

File Name:
26060_Medway.pdf
Project Number: 26060

SECTION DETAILS:

- 1 0.090" Alum non-illuminated pan face sign panel w/ vinyl logo & edge to match
- 2 2" x 2" (1/4"t) Fabricated alum. angle framing fastened to exterior wall
- 3 Stainless steel attachment fastener per existing wall structure and site conditions
- 4 S.S. countersink machine screws painted to match sign (min of 3 per clip angle)
- 5 Paint to match sign face (PMS 446C)
- 6 Existing wall (no change)

Attachment Detail - Plan View:
SCALE: 3" = 1'-0"

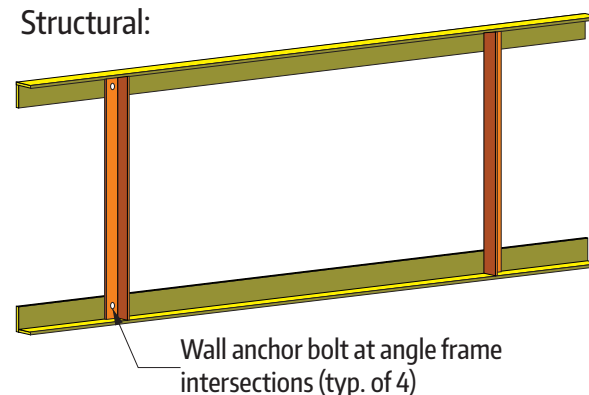


Rendering:

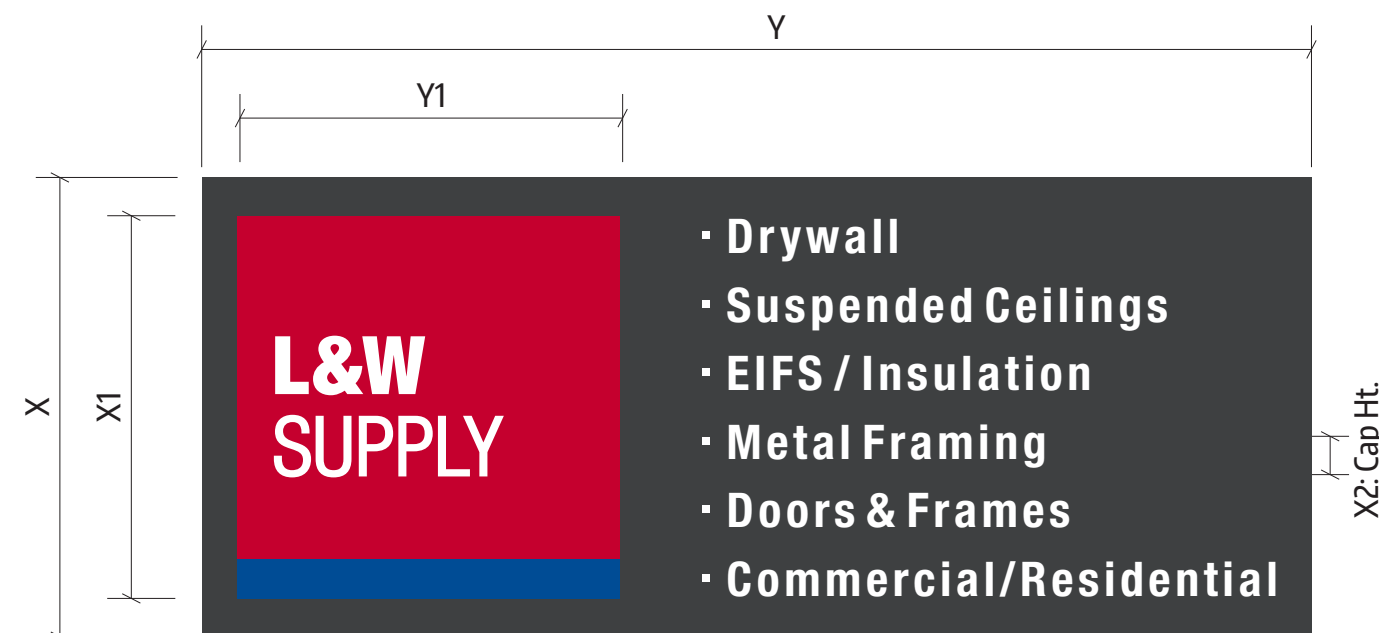


Pan Face Sign (Non-Illuminated)	X	X1	X2	Y	Y1	Total Square Feet:
LWS-PFLL-24	24	20	2	58	20	9.6
LWS-PFLL-30	30	25	2.5	72.5	25	15.1
LWS-PFLL-36	36	30	3	87	30	21.7
LWS-PFLL-42	42	35	3.5	101.5	35	29.6
LWS-PFLL-48	48	40	4	116	40	38.7
LWS-PFLL-54	54	45	4.5	130.5	45	48.9
LWS-PFLL-60	60	50	5	144	50	60

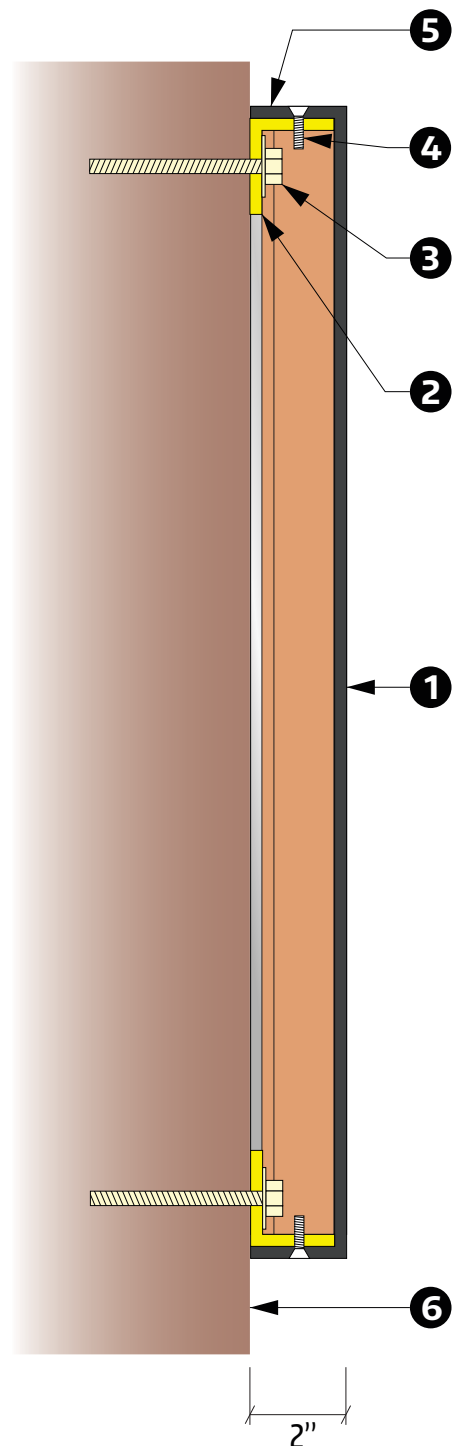
Structural:



Wall anchor bolt at angle frame intersections (typ. of 4)



Attachment Detail - Section View:
SCALE: NTS



Pan Face Sign (Logo + List)

Scale: NTS



Proposed



Existing



Proposed



Existing

L&W
SUPPLY

Client:
L&W Supply 7110
300 South Riverside Plaza
Suite 200
Chicago, IL 60606

Location Address:
L & W Supply
20 Trotter Drive
Medway, MA 02053

Description:
LWS-DVDD
Door Vinyl Double Door
(5 square feet):

NOTE:
Remove existing vinyl

Color Key:
■ PMS 200 C
■ PMS 2945 C
□ White

Layout Date:
01/10/2021 - AR

Revision Date:
01/18/2021 - AR
01/22/2021 - AR
01/26/2021 - AR
03/09/2021 - SK/AR

D Door Vinyl (Double Glass Door):

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Sign Management Made Simple

File Name:
26060_Medway.pdf
Project Number: 26060

Client:
L&W Supply 7110
300 South Riverside Plaza
Suite 200
Chicago, IL 60606

Location Address:
L & W Supply
20 Trotter Drive
Medway, MA 02053

Description:
LWS-DVDD
Door Vinyl Double Door
(5 square feet):

QTY: 2 (1 per door, copy different)

Provide computer cut vinyl logo &
copy applied 1st surface.

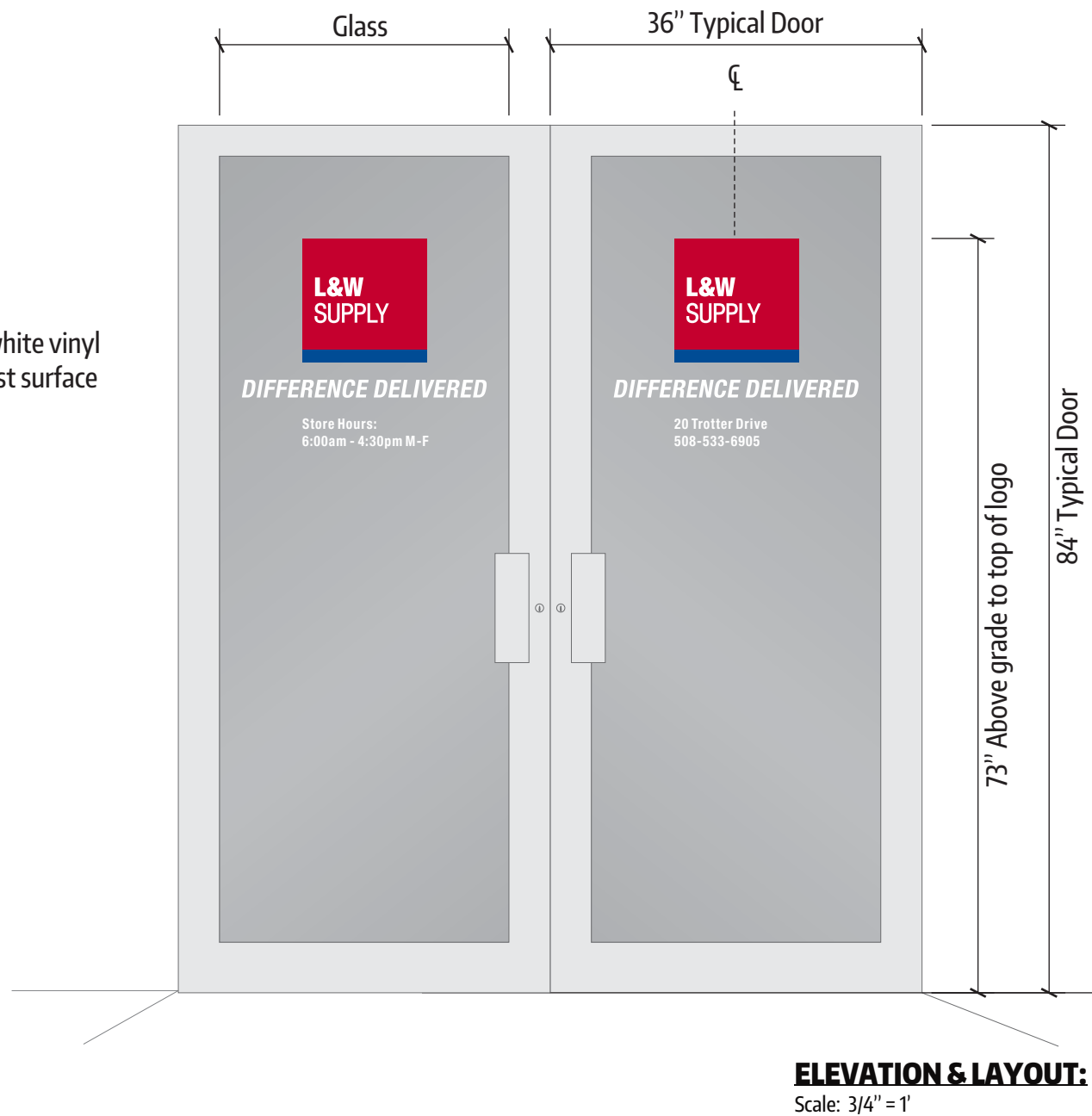
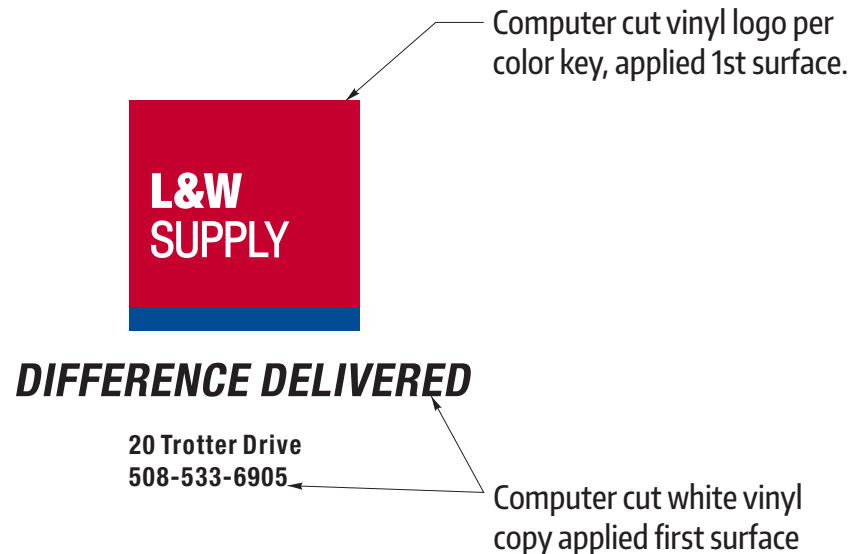
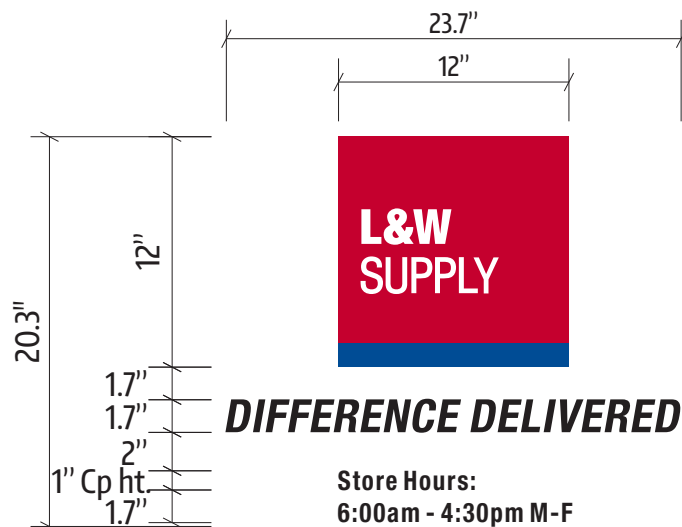
Color Key:

- PMS 200 C
- PMS 2945 C
- White

Layout Date:
01/10/2021 - AR

Revision Date:
01/18/2021 - AR
01/22/2021 - AR
01/26/2021 - AR
03/09/2021 - SK/AR

File Name:
26060_Medway.pdf
Project Number: 26060



D Door Vinyl (Double Glass Door):
Scale 1:10



Proposed 28



Existing

22"
3"
L & W SUPPLY

Font Shown: Myriad Pro Cond Semi-Bold - +40% kerning

E Tenant Panel
Scale: 3" = 1'-0"



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Sign Management Made Simple



Client:
L&W Supply 7110
300 South Riverside Plaza
Suite 200
Chicago, IL 60606

Location Address:
L & W Supply
20 Trotter Drive
Medway, MA 02053

Description:
Tenant Panel
(.03 Sq Ft):

QTY: 1

Provide computer cut vinyl logo &
copy applied 1st surface.

NOTE:
Remove existing vinyl.

Color Key:
■ Black

Layout Date:
01/10/2021 - AR

Revision Date:
01/18/2021 - AR
01/22/2021 - AR
01/26/2021 - AR
03/09/2021 - SK/AR

File Name:
26060_Medway.pdf
Project Number: 26060

Board Members

Andy Rodenhiser, Chair
Robert Tucker, Vice Chair
Thomas Gay, Clerk
Matthew Hayes, P.E.,
Member
Richard Di Iulio, Member
Jessica Chabot, Associate
Member



Medway Town Hall
155 Village Street
Medway, MA 02053
Phone (508) 533-3291
Fax (508) 321-4987
Email: planningboard@townofmedway.org
www.townofmedway.org

TOWN OF MEDWAY COMMONWEALTH OF MASSACHUSETTS PLANNING AND ECONOMIC DEVELOPMENT BOARD

March 23, 2021

NOTICE OF PUBLIC HEARING

Major Site Plan Approval, Central Business District Mixed Use Special Permit, and Reduced Parking Special Permit

The Settlement, 1657 – 119 A and B Main Street and 1 and 3 Elm Street

In accordance with the *Medway Zoning Bylaw*, Section 3.5 Site Plan Review, Section 5.4.1 Special Permits in the Central Business District, and Section 7.1.1 Off-Street Parking and Loading – J. Reduced Parking, the provisions of Chapter 40A, Massachusetts General Laws, and the Board's *Site Plan Rules and Regulations*, notice is given that the ***Medway Planning and Economic Development Board will hold a public hearing on Tuesday, April 13, 2021 at 7:30 p.m. to consider the applications of Thomas Steeves of Bellingham, MA for approval of a Central Business District mixed-use special permit, a reduced parking special permit, and major site plan for a proposed mixed-use development at 119A and 119B Main Street and 1 and 3 Elm Street.***

The applicant's proposed development includes six mixed-use, village style buildings, one at the front of the site facing Main Street and five at the back of the site, along with associated driveways, parking areas to accommodate 57 vehicles, landscaping, utility systems, and stormwater management systems. The proposal specifies a total of 12,544 sq. ft. of ground floor commercial/office space and 25,448 sq. ft. of residential space (26 apartment style dwelling units) of which 6 would be affordable.

The 6.3 acre site (Medway Assessor's parcels 48-07, 48-07-1, 48-07-2, and 48-07-03) is owned by Thomas Steeves of Bellingham, MA. The property is located within the Central Business zoning district at the southeast corner of Main and Elm Streets. The site includes wetland resources and is under the jurisdiction of the Medway Conservation Commission which is reviewing the project for an Order of Conditions and a Land Disturbance permit.

The proposed site improvements are shown on a plan titled *The Settlement, 1657, Medway MA Site Plan*, dated March 8, 2021, prepared by Legacy Engineering, of Millis, MA.

The applications, site plan, and associated documents are on file at the offices of the Town Clerk and the Planning and Economic Development Board at Medway Town Hall, 155 Village Street and may be reviewed during regular business hours. Face coverings are required to enter Town Hall. The site plan and application materials have also been posted at the Board's web page at: <https://www.townofmedway.org/planning-economic-development-board/pages/current-applications-pedb-0>.

OVER 

Pursuant to Governor Baker's March 12, 2020 Order Suspending Certain Provisions of the Open Meeting Law, and the Governor's Orders imposing strict limitations on the number of people that may gather inside in one place, no in-person attendance will be permitted at this meeting. Board members, Town staff, the Board's engineering consultant, and the applicant and its representatives will attend the public hearing via ZOOM. Meeting access for the public will also be provided via ZOOM at: <https://us02web.zoom.us/j/87829889801?pwd=cVF0T0drV3V0a1lBVmdmc2hUZWI3dz09> Members of the public may also watch the meeting on Medway Cable Access - channel 11 on Comcast Cable, channel 35 on Verizon Cable, or on Medway Cable's Facebook page @medwaycable.

Interested persons are invited to review the applications and plan, attend the public hearing via ZOOM, and express their views. Questions should be directed to the Planning and Economic Development office at 508-533-3291. Written comments are encouraged and may be forwarded to: planningboard@townofmedway.org. All comments will be entered into the record during the public hearing.

Andy Rodenhiser, Chairman

Legal advertisement to be published in the *Milford Daily News*:

Monday, March 29, 2021

Tuesday, April 6, 2021

THE SETTLEMENT, 1657

MEDWAY, MA

SITE PLAN

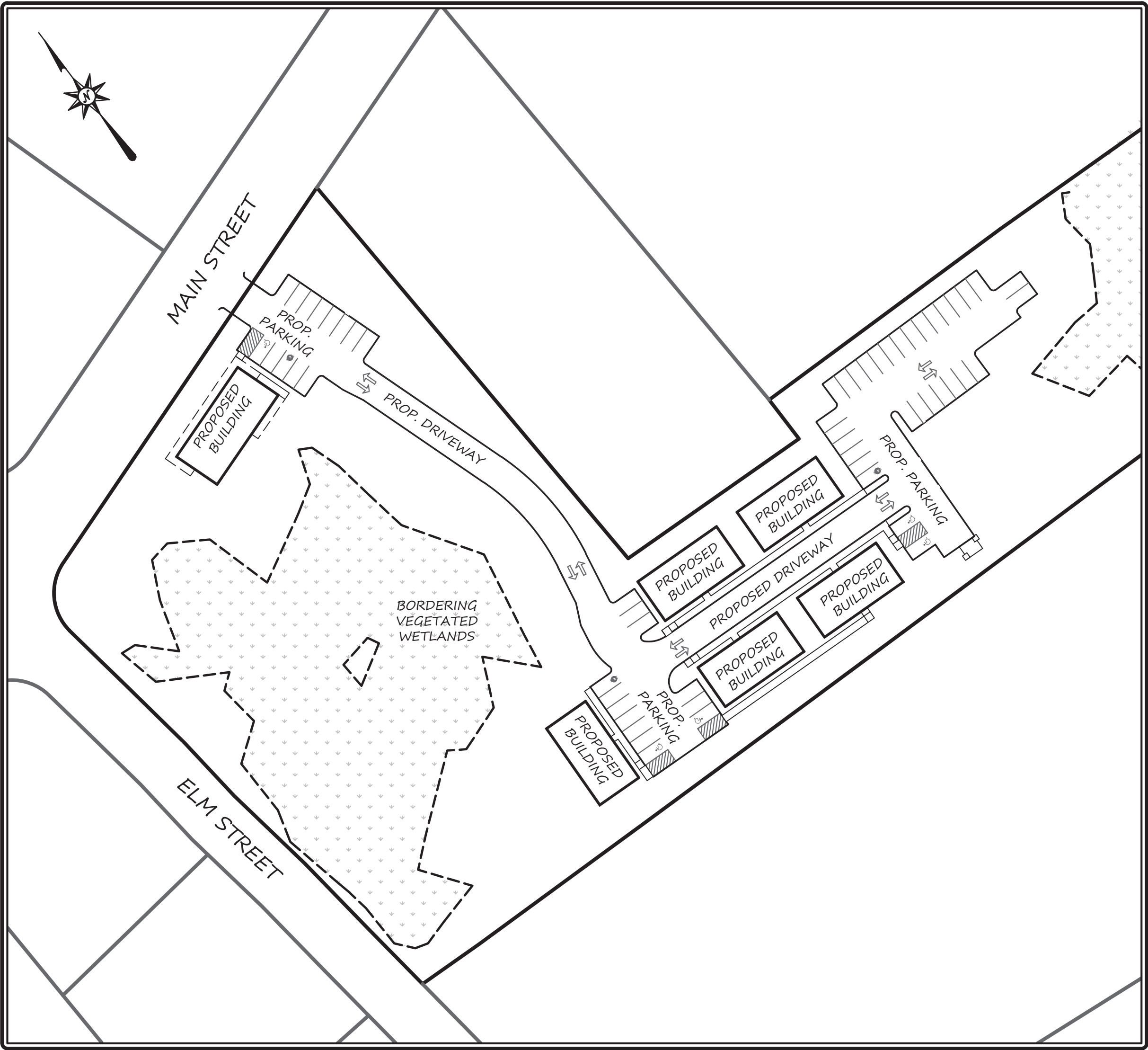
PREPARED BY:
LEGACY ENGINEERING LLC
730 MAIN STREET, SUITE 2C
MILLIS, MA 02054

DECEMBER 10, 2019
Latest Revision: March 8, 2021

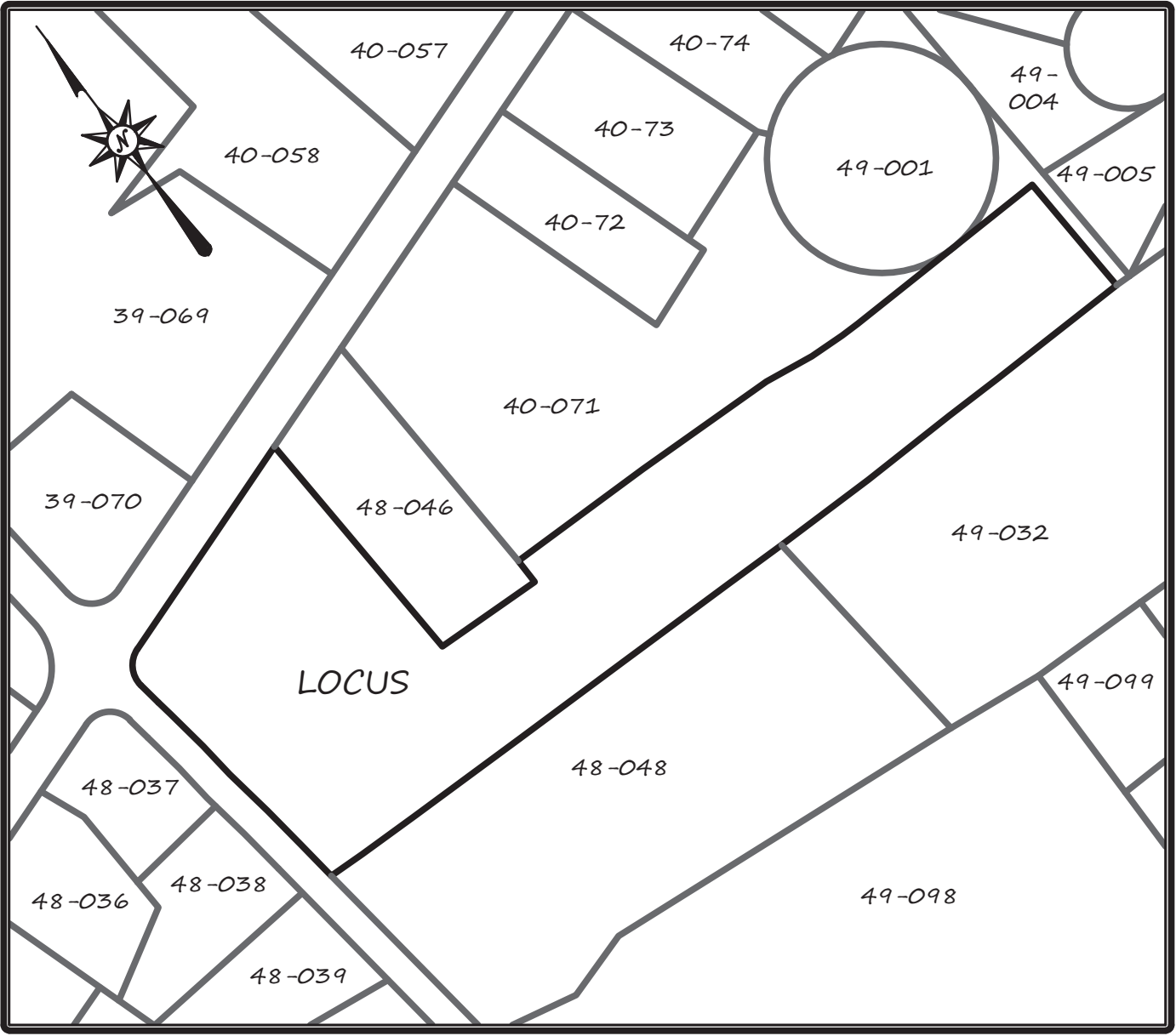
PREPARED FOR:
THOMAS STEEVES
15 CHASE STREET
BELLINGHAM, MA 02019



2013 MASSGIS AERIAL LOCUS
SCALE: 1" = 500'



LOCUS
SCALE: 1" = 60'



MEDWAY ASSESSORS LOCUS
SCALE: 1" = 200'

OWNER/APPLICANT
THOMAS STEEVES
15 CHASE STREET
BELLINGHAM, MA 02019

ZONING DISTRICT
CENTRAL BUSINESS
MULTIPLE HOUSING OVERLAY
DISTRICT

ASSESSORS PARCELS
48-047
48-047-0001
48-047-0002
48-047-0003

PLAN & DEED REFERENCE
DEED: BOOK 33875 PAGE 228
PLAN: BOOK 463 PAGE 128

WAIVERS LIST

PLANNING BOARD RULES AND REGULATIONS
204-3.F.1.b TO NOT REQUIRE A TRAFFIC IMPACT ASSESSMENT.
204-3.F.2 TO NOT REQUIRE AN ENVIRONMENTAL IMPACT STUDY.
207-12.G.3.b TO ALLOW PARKING TO BE LOCATED BETWEEN 10' AND 15' FROM THE PROPERTY LINE.
207-14.B.2 TO REQUIRE A 10' BUFFER PER THE ZONING BYLAW INSTEAD OF 15'.

FOR REGISTRY USE

PLAN SCALE: AS NOTED

REVISION	DATE	BY
REVISIONS PER TOWN COMMENTS	2020-06-22	DM
REVISED SITE LAYOUT PER CONSERVATION	2021-01-12	DM
REVISION PER TOWN COMMENTS	2021-03-08	DM

THE SETTLEMENT, 1657
COVER SHEET
PLAN OF LAND
IN
MEDWAY, MA



Digitally signed by Daniel J.
Merrikin, P.E.
Date: 2021.03.09 08:14:38
-05'00'

I HEREBY CERTIFY THAT THE PROPERTY
LINES SHOWN ON THIS PLAN ARE THE
LINES DIVIDING EXISTING OWNERSHIPS,
AND THE LINES OF THE STREETS AND
WAYS SHOWN ARE THOSE OF PUBLIC OR
PRIVATE STREETS OR WAYS ALREADY
ESTABLISHED, AND THAT NO NEW LINES
FOR DIVISION OF EXISTING OWNERSHIP OR
FOR NEW WAYS ARE SHOWN.

I CERTIFY THAT THIS PLAN HAS BEEN
PREPARED IN CONFORMITY WITH THE
RULES AND REGULATIONS OF THE
REGISTERS OF DEEDS OF THE
COMMONWEALTH OF MASSACHUSETTS

DATE: _____
REGISTERED LAND SURVEYOR

DATE APPROVED: _____
DATE ENDORSED: _____

MEDWAY PLANNING & ECONOMIC
DEVELOPMENT BOARD

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)

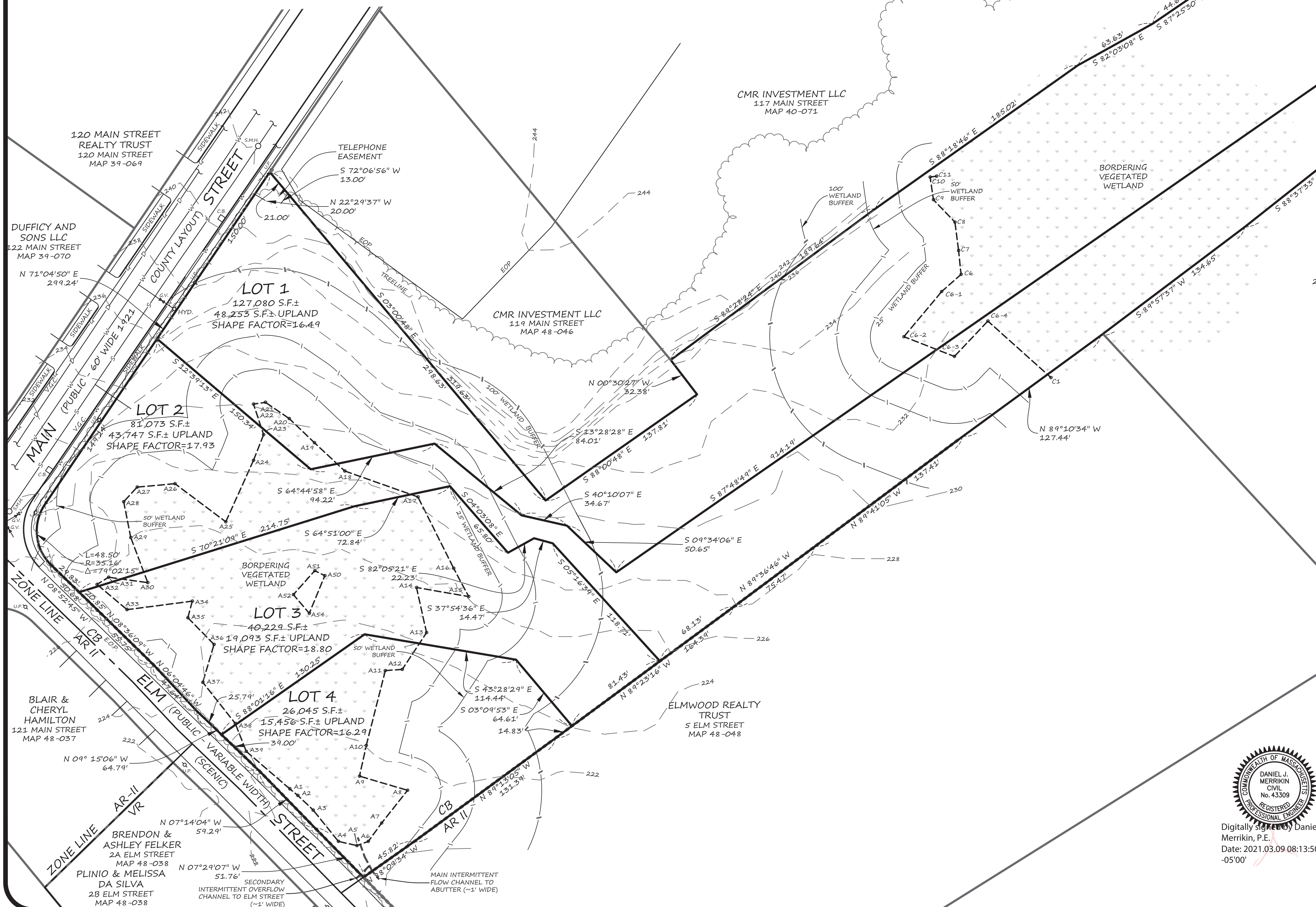
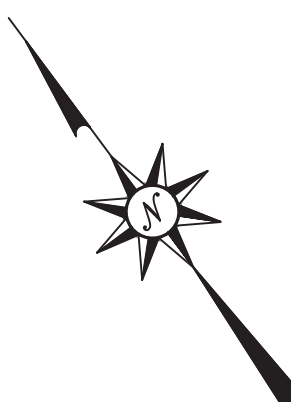


LEGACY
ENGINEERING

C-0

PLAN & DEED REFERENCE
DEED: BOOK 33875 PAGE 228
PLAN: BOOK 463 PAGE 128

FOR REGISTRY USE



PROPERTY NOTES:

1. PRIOR TO ISSUANCE OF A BUILDING PERMIT, LOTS 1-4 SHALL BE COMBINED INTO A SINGLE LOT ON A RECORDED PLAN.

EXISTING CONDITION NOTES:

1. THE LOCATION OF EXISTING UTILITIES IS BASED ON AVAILABLE INFORMATION SUCH AS SURFACE FEATURES AND RECORD PLANS. THE SHOWN UTILITY LOCATIONS ARE APPROXIMATE, ARE NOT WARRANTED TO BE CORRECT, AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
2. CONTRACTOR SHALL CONTACT DISGAGE PRIOR TO CONDUCTING ANY EXCAVATION ON THE SITE.
3. OFFSITE FUTURE EXCAVATION, PAVING LIMITS, UTILITIES, ETC., ARE APPROXIMATE ONLY AND BASED ON MASSGIS AERIAL PHOTOGRAPHS.

LEGEND & ABBREVIATIONS

- [illegible]

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I CERTIFY THAT THIS PLAN HAS BEEN
PREPARED IN CONFORMITY WITH THE
RULES AND REGULATIONS OF THE
REGISTERS OF DEEDS OF THE
COMMONWEALTH OF MASSACHUSETTS

DATE: _____

REGISTERED LAND SURVEYOR

DATE APPROVED:

DATE ENDORSED:

MEDWAY PLANNING & ECONOMIC
DEVELOPMENT BOARD

PLAN SCALE: 1"=40'

PLAN DATE: DECEMBER 10, 2019

REVISION	DATE	BY
REVISIONS PER TOWN COMMENTS	2020-06-22	DJM
REVISED SITE LAYOUT PER CONSERVATION	2021-01-12	DJM
REVISION PER TOWN COMMENTS	2021-03-08	DJM

THE SETTLEMENT, 1657
EXISTING CONDITIONS
PLAN OF LAND
IN
MEDWAY, MA



Digitally signed by Daniel J.
Merrikin, P.E.
Date: 2021.03.09 08:13:50
-05'00'

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)

C-2



LEGACY
ENGINEERING

PLAN & DEED REFERENCE
DEED: BOOK 33875 PAGE 228
PLAN: BOOK 463 PAGE 128

FOR REGISTRY USE

PLAN SCALE: 1"=30'

PLAN DATE: DECEMBER 10, 2019	DATE
REVISION	DATE

DATE	REVISION	DESCRIPTION
2020-06-22	DJM	REVISIONS PER TOWN COMMENTS
2021-01-12	DJM	REVISED SITE LAYOUT PER CONSERVATION
2021-03-08	DJM	REVISION PER TOWN COMMENTS

THE SETTLEMENT, 1657
EROSION & SEDIMENT
CONTROL
PLAN OF LAND IN
MEDWAY, MA



Digitally signed by Daniel J.
Merrikin, P.E.
Date: 2021.03.09 08:13:27
-05'00'

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DATE: _____

REGISTERED LAND SURVEYOR

DATE APPROVED: _____

DATE ENDORSED: _____

MEDWAY PLANNING & ECONOMIC
DEVELOPMENT BOARD

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)

C-3



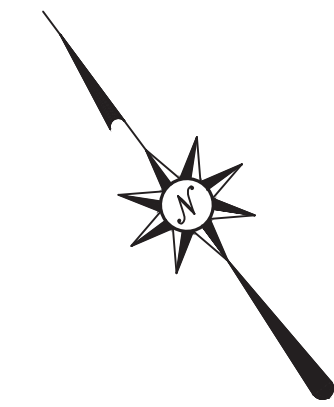
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ENGINEERING

CONSTRUCTION NOTES:

1. FOR A FULL EXPLANATION OF EXPECTED CONSTRUCTION PRACTICES, PLEASE SEE THE STORMWATER POLLUTION PREVENTION PLAN IN THE STORMWATER MANAGEMENT REPORT.
2. CONSTRUCTION SEQUENCE:
 - 2.1. INSTALL CONSTRUCTION ENTRANCE AND PERIMETER EROSION CONTROLS
 - 2.2. LOCATE EXISTING UTILITIES ON AND AROUND THE CONSTRUCTION AREA
 - 2.3. CLEAR AND GRUB THE DEVELOPMENT AREA
 - 2.4. GRADE THE SITE
 - 2.5. CONSTRUCT THE STORMWATER BASINS
 - 2.6. INSTALL BUILDING FOUNDATIONS
 - 2.7. INSTALL UTILITIES & BEGIN DRIVEWAY CONSTRUCTION
 - 2.8. COMPLETE BUILDING CONSTRUCTION AND BEGIN LANDSCAPING
 - 2.9. FINISH LANDSCAPING AND PAVEMENT TOP COAT
 - 2.10. ENSURE THAT ALL STORMWATER FACILITIES ARE CLEANED OUT AND OPERATE AS INTENDED

EROSION CONTROL NOTES:

1. EROSION CONTROLS SHALL BE INSTALLED PRIOR TO ANY EXCAVATION. EROSION CONTROLS SHALL BE MAINTAINED IN GOOD CONDITION AT ALL TIMES. EROSION CONTROLS SHALL REMAIN UNTIL SUCH TIME AS THE ADJACENT DISTURBED AREAS ARE COMPLETELY STABILIZED AS APPROVED BY THE CONSERVATION COMMISSION.
2. ALL SOIL STOCKPILES SHALL BE PROTECTED WITH COMPOST SOCK PERIMETER CONTROLS AND SEEDING/STABILIZATION PROTOCOL.
3. ALL EXISTING CATCH BASINS NEAR THE SITE AND ALL PROPOSED CATCH BASINS ARE TO BE PROTECTED WITH A SILTASC UNTIL ALL UPSTREAM AREAS ARE STABILIZED. CLEAN AS NEEDED THROUGH CONSTRUCTION.
4. INSPECT AND CLEAN NEWLY INSTALLED UNDERGROUND INFILTRATION SYSTEMS REGULARLY.
5. REFER TO THE SWPPP FOR ADDITIONAL REQUIREMENTS.
6. THE TOTAL AREA OF DISTURBANCE IS 90,100 S.F.
7. EARTH WORK VOLUMES
 - 7.1. CUT: ~870 C.Y.
 - 7.2. FILL: ~6,990 C.Y.
 - 7.3. NET CHANGE: ~6,120 C.Y.
8. WETLAND BUFFER ZONE:
 - 8.1. TOTAL BUFFER ZONE ON WEST PORTION OF SITE = 98,500 S.F.
 - 8.2. WORK IN BUFFER ZONE = 54,800 S.F.



OWNER/APPLICANT
THOMAS STEEVES
15 CHASE STREET
BELLINGHAM, MA 02019

ZONING DISTRICT
CENTRAL BUSINESS
MULTIPLE HOUSING OVERLAY
DISTRICT

ASSESSORS PARCELS
48-047
48-047-0001
48-047-0002
48-047-0003

PLAN & DEED REFERENCE
DEED: BOOK 33875 PAGE 228
PLAN: BOOK 463 PAGE 128

DUFFICY AND SONS LLC
122 MAIN STREET
MAP 39-070

120 MAIN STREET REALTY
TRUST
120 MAIN STREET
MAP 39-069

ROBERT & CHERYL
HAMILTON
1A DRYBRIDGE ROAD
MAP 39-029

BLAIR & CHERYL
HAMILTON
121 MAIN STREET
MAP 48-037

BRENDON & ASHLEY
FELKER
2A ELM STREET
MAP 48-038
PLINIO & MELISSA DA SILVA
28 ELM STREET
MAP 48-038

SECONDARY
INTERMITTENT OVERFLOW
CHANNEL TO ELM STREET
(~1' WIDE)

MAIN INTERMITTENT
FLOW CHANNEL TO
ABUTTER (~1' WIDE)

EXISTING CATCH
BASIN
RIM=219.46

ELMWOOD REALTY TRUST
5 ELM STREET
MAP 48-048

CMR INVESTMENT LLC
117 MAIN STREET
MAP 40-071

CMR INVESTMENT LLC
119 MAIN STREET
MAP 48-046



Digitally signed by Daniel J.
Merrikin, P.E.
Date: 2021.03.09 08:12:49 -05'00'

I HEREBY CERTIFY THAT THE PROPERTY
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COMMONWEALTH OF MASSACHUSETTS

DATE: _____

REGISTERED LAND SURVEYOR

DATE APPROVED: _____

DATE ENDORSED: _____

MEDWAY PLANNING & ECONOMIC
DEVELOPMENT BOARD

GRADING NOTES:

1. PROVIDE FOUNDATION SHELF ALONG ADJACENT
WALKWAYS AS NEEDED TO MEET WALKWAY GRADES AT
BUILDING ENTRANCES.

CUT-FILL NOTES:

CUT
AREA: 1.2± ACRES
VOLUME: 870± C.Y.
AVERAGE DEPTH: 0.5'
FILL
AREA: 2.1± ACRES
VOLUME: 6,990± C.Y.
AVERAGE DEPTH: 2.0'

TOTAL: ~6,120± C.Y. OF FILL TO BE
IMPORTED TO THE SITE.

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)

C-5



LEGACY
ENGINEERING

PLAN SCALE: 1"=30'



PLAN DATE: DECEMBER 10, 2019

REVISION	DATE	BY
REVISIONS PER TOWN COMMENTS	2020-06-22	DJM
REVISED SITE LAYOUT PER CONSERVATION	2021-01-12	DJM
REVISION PER TOWN COMMENTS	2021-03-08	DJM

THE SETTLEMENT, 1657
GRADING & DRAINAGE
PLAN OF LAND
IN
MEDWAY, MA

OWNER/APPLICANT
THOMAS STEEVES
15 CHASE STREET
BELLINGHAM, MA 02019

ZONING DISTRICT
CENTRAL BUSINESS
MULTIPLE HOUSING OVERLAY
DISTRICT

ASSESSORS PARCELS
48-047
48-047-0001
48-047-0002
48-047-0003

PLAN & DEED REFERENCE
DEED: BOOK 33875 PAGE 228
PLAN: BOOK 463 PAGE 128

DUFFICY AND SONS LLC
122 MAIN STREET
MAP 39-070

120 MAIN STREET REALTY
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ROBERT & CHERYL
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MAP 48-038
PLINIO & MELISSA DA SILVA
28 ELM STREET
MAP 48-038

ELMWOOD REALTY TRUST
5 ELM STREET
MAP 48-048

CMR INVESTMENT LLC
117 MAIN STREET
MAP 40-071

CMR INVESTMENT LLC
119 MAIN STREET
MAP 48-046



Digitally signed by Daniel J.
Merrikin, P.E.
Date: 2021.03.09 08:12:29 -05'00'

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DATE: _____
REGISTERED LAND SURVEYOR

DATE APPROVED: _____
DATE ENDORSED: _____

MEDWAY PLANNING & ECONOMIC
DEVELOPMENT BOARD

UTILITY NOTES:

- DOMESTIC WATER SERVICES SHALL BE TYPE K COPPER IN ACCORDANCE WITH THE REQUIREMENTS OF THE SEWER AND WATER DEPARTMENT. THE PROJECT ARCHITECT SHALL VERIFY THE DOMESTIC, IRRIGATION AND FIRE WATER SERVICE PIPE SIZE REQUIREMENTS FOR THE BUILDINGS.
- WATER MAINS SHALL BE CLASS 52 CEMENT LINED DUCTILE IRON.
- SEWER SERVICES SHALL BE 6-INCH SDR35 PIPE WITH A MIN. SLOPE OF 2% IN ACCORDANCE WITH THE REQUIREMENTS OF THE SEWER AND WATER DEPARTMENT.
- DRAINAGE PIPING SHALL BE HDPE RATED FOR H2O LOADING, (ADS N12 OR EQUAL)
- ROOF DOWNSPOUT PIPING SHALL BE HDPE, MIN. SLOPE = 0.5%.
- THE ELECTRIC COMPANY SHALL DETERMINE THE FINAL LOCATION AND DESIGN OF THE ELECTRIC SERVICE AND TRANSFORMER (IF NEEDED). CONDUITS TO PROPOSED LIGHT POLES SHALL BE DESIGNED BY THE ARCHITECT.
- WATER AND SEWER LINES SHALL BE SEPARATED BY AT LEAST 10 FEET.
- DIG TEST PIT TO CONFIRM SEWER STUB LOCATION AND ELEVATION BEFORE INSTALLING SEWER MAIN.
- PROVIDE SUMP PUMPS IN BASEMENT LEVELS.

SECONDARY
INTERMITTENT OVERFLOW
CHANNEL TO ELM STREET
(~1' WIDE)

MAIN INTERMITTENT
FLOW CHANNEL TO
ABUTTER (~1' WIDE)

EXISTING CATCH
BASIN
RIM=219.46

PLAN SCALE: 1"=30'



PLAN DATE: DECEMBER 10, 2019

REVISION	DATE	BY
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REVISED PER TOWN COMMENTS	2021-03-08	DJM

THE SETTLEMENT, 1657
UTILITIES
PLAN OF LAND
IN
MEDWAY, MA

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)

C-6



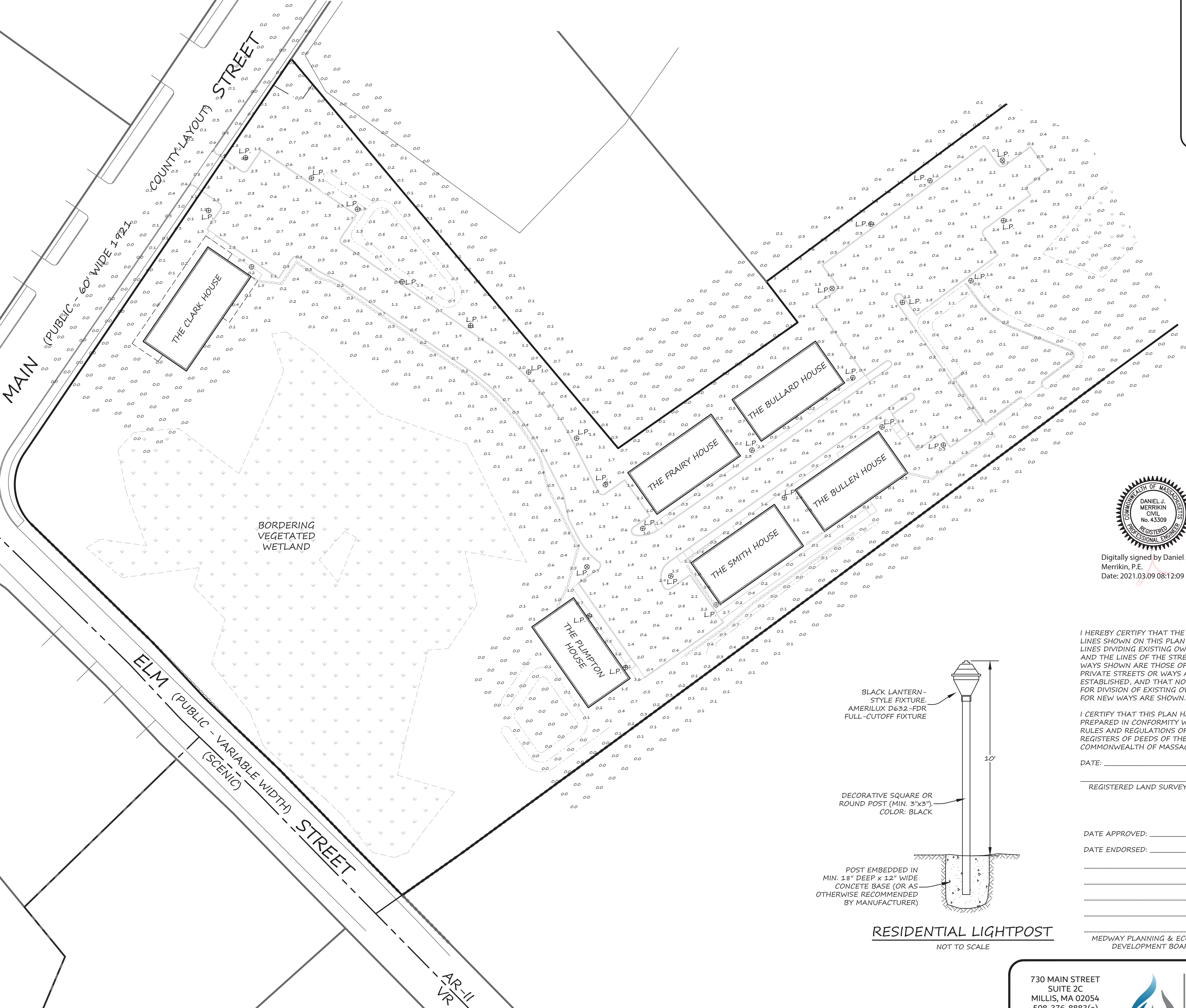
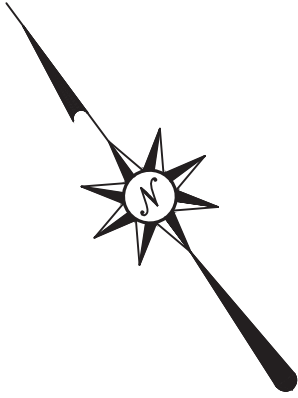
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ENGINEERING

OWNER/APPLICANT
THOMAS STEEVES
15 CHASE STREET
BELLINGHAM, MA 02019

ZONING DISTRICT
CENTRAL BUSINESS
MULTIPLE HOUSING OVERLAY
DISTRICT

ASSESSORS PARCELS
48-047
48-047-0001
48-047-0002
48-047-0003

PLAN & DEED REFERENCE
DEED: BOOK 33875 PAGE 228
PLAN: BOOK 463 PAGE 128



Digitally signed by Daniel J. Merrikin, P.E.
Date: 2021.03.09 08:12:09 -05'00'

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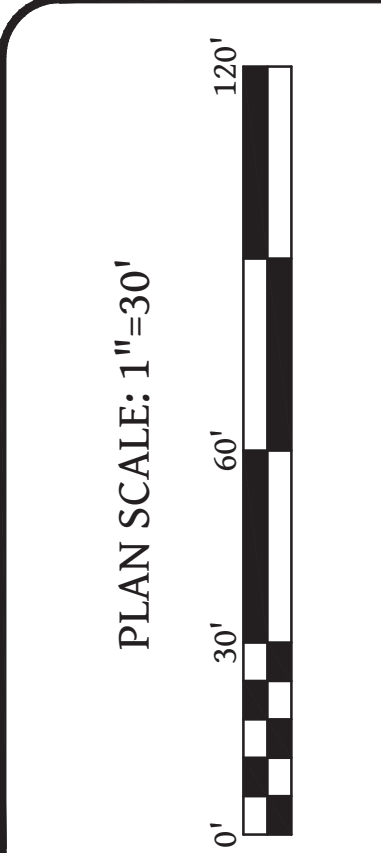
REGISTERED LAND SURVEYOR

DATE APPROVED: _____

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MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD

FOR REGISTRY USE



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THE SETTLEMENT, 1657
LIGHTING
PLAN OF LAND
IN
MEDWAY, MA

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)



LEGACY
ENGINEERING

C-7

OWNER/APPLICANT
THOMAS STEEVES
15 CHASE STREET
BELLINGHAM, MA 02019

ZONING DISTRICT
CENTRAL BUSINESS
MULTIPLE HOUSING OVERLAY
DISTRICT

ASSESSORS PARCELS
48-047
48-047-0001
48-047-0002
48-047-0003

PLAN & DEED REFERENCE
DEED: BOOK 33875 PAGE 228
PLAN: BOOK 463 PAGE 128

DUFFICY AND SONS LLC
122 MAIN STREET
MAP 39-070

120 MAIN STREET REALTY
TRUST
120 MAIN STREET
MAP 39-069

ROBERT & CHERYL
HAMILTON
1A DRYBRIDGE ROAD
MAP 39-029

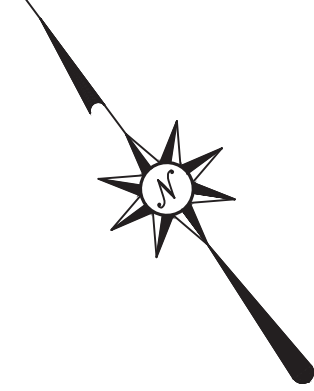
BLAIR & CHERYL
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CMR INVESTMENT LLC
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CMR INVESTMENT LLC
119 MAIN STREET
MAP 48-046



MAIN (PUBLIC - 60' WIDE 1921)
COUNTY LAYOUT STREET
ELM (PUBLIC - VARIABLE WIDTH) (SCENIC) STREET
AR-II VR

SNOW STORAGE
"NO SNOW STORAGE IN BASIN" SIGN
"NO SNOW STORAGE BEYOND THIS SIGN" SIGN
50' WETLAND BUFFER
BORDERING VEGETATED WETLAND
25' WETLAND BUFFER
100' WETLAND BUFFER

SNOW STORAGE
100' WETLAND BUFFER
50' WETLAND BUFFER
25' WETLAND BUFFER
"NO SNOW STORAGE BEYOND THIS SIGN" SIGN
SNOW STORAGE



Digitally signed by Daniel J. Merrikin, P.E.
Date: 2021.03.09 08:11:50 -05'00'

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DATE ENDORSED: _____

MEDWAY PLANNING & ECONOMIC
DEVELOPMENT BOARD

SNOW REMOVAL NOTES:

1. SNOW SHALL BE PLOWED INTO WINDROWS ALONG PAVEMENT WHERE ALLOWED AND STOCKPILED IN DESIGNATED SNOW STORAGE AREAS.
2. SNOW SHALL NOT BE PILED AT THE ENTRANCE CORNERS IN SUCH A MANNER THAT IT WILL OBSTRUCT SIGHT DISTANCE
3. ICE CONTROL SHALL BE BY SAND, SODIUM CHLORIDE OR CALCIUM CHLORIDE.
4. THE TOTAL AREA REQUIRING SNOW REMOVAL IS APPROXIMATELY 32,100 S.F. THE SNOW STORAGE AREAS TOTAL APPROXIMATELY 6,000 S.F., WHICH CAN STORE 0.5' OF SNOW ACROSS ALL IMPERVIOUS AREAS IF PILED TO A HEIGHT OF 2.7'.

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)

C-8



LEGACY
ENGINEERING

THE SETTLEMENT, 1657
SNOW STORAGE
PLAN OF LAND
IN
MEDWAY, MA

PLAN DATE: DECEMBER 10, 2019

REVISION	DATE	BY
REVISIONS PER TOWN COMMENTS	2020-06-22	DJM
REVISED SITE LAYOUT PER CONSERVATION	2021-01-12	DJM
REVISION PER TOWN COMMENTS	2021-03-08	DJM

PLAN SCALE: 1"=30'



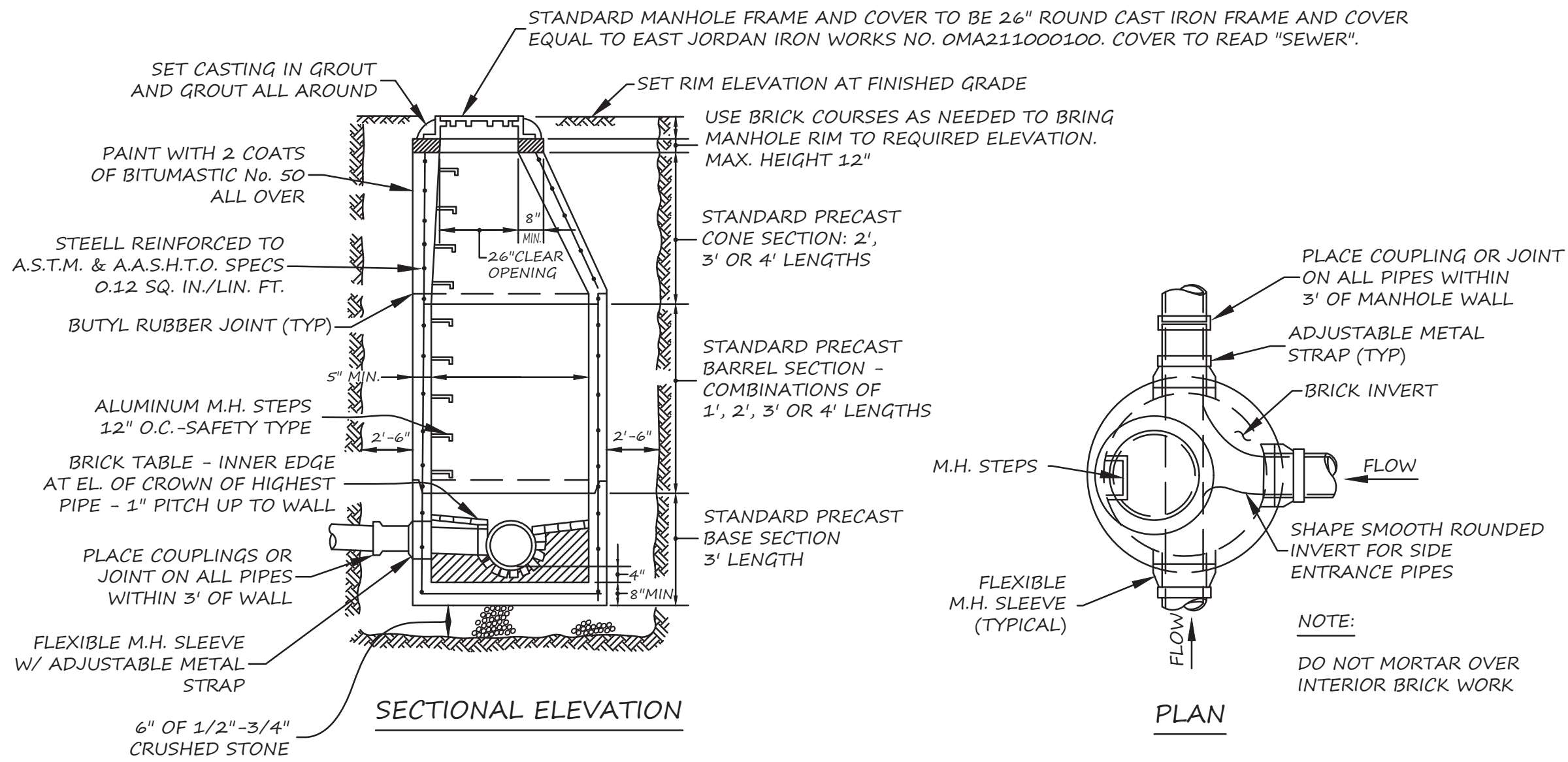
FOR REGISTRY USE

OWNER/APPLICANT
THOMAS STEEVES
15 CHASE STREET
BELLINGHAM, MA 02019

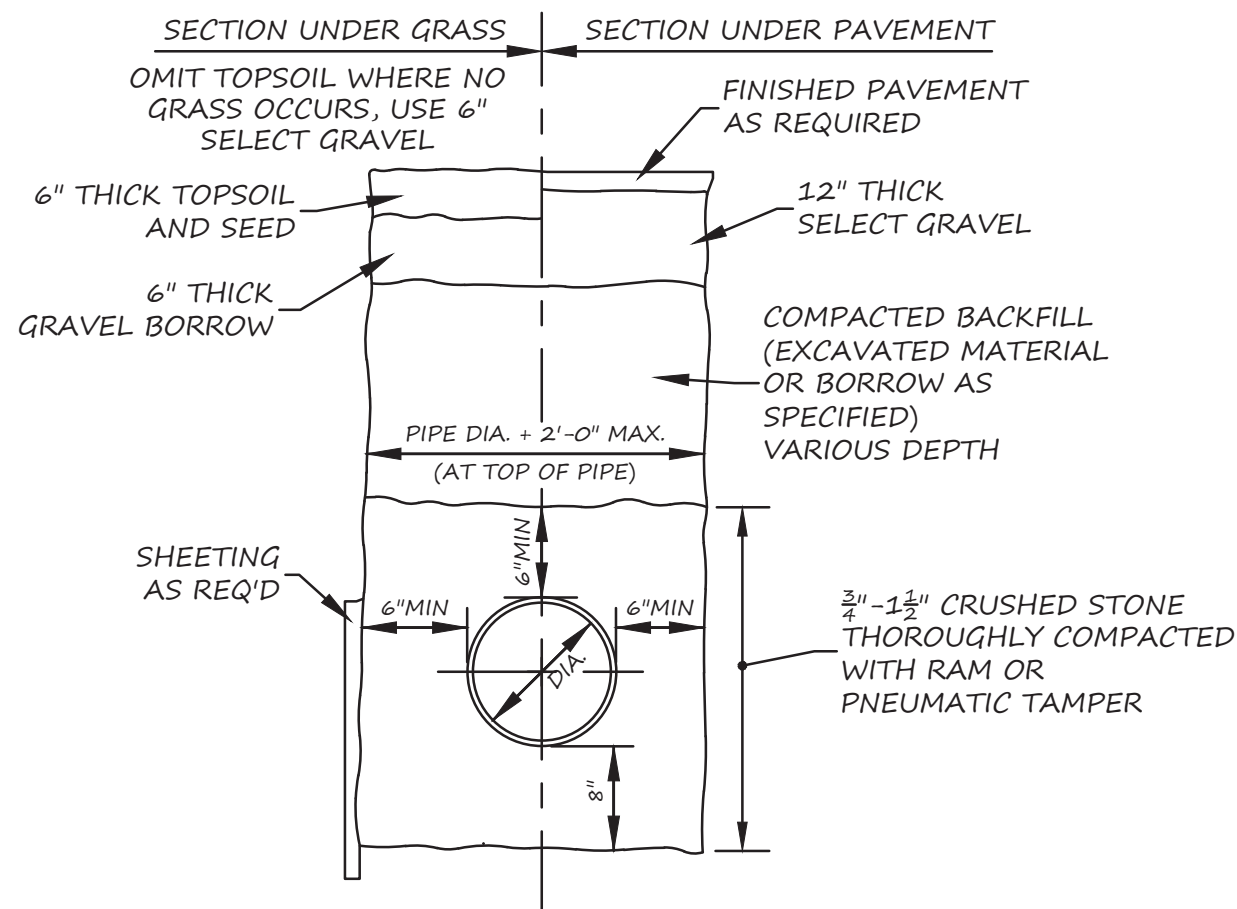
ZONING DISTRICT
CENTRAL BUSINESS
MULTIPLE HOUSING OVERLAY
DISTRICT

ASSESSORS PARCELS
48-047
48-047-0001
48-047-0002
48-047-0003

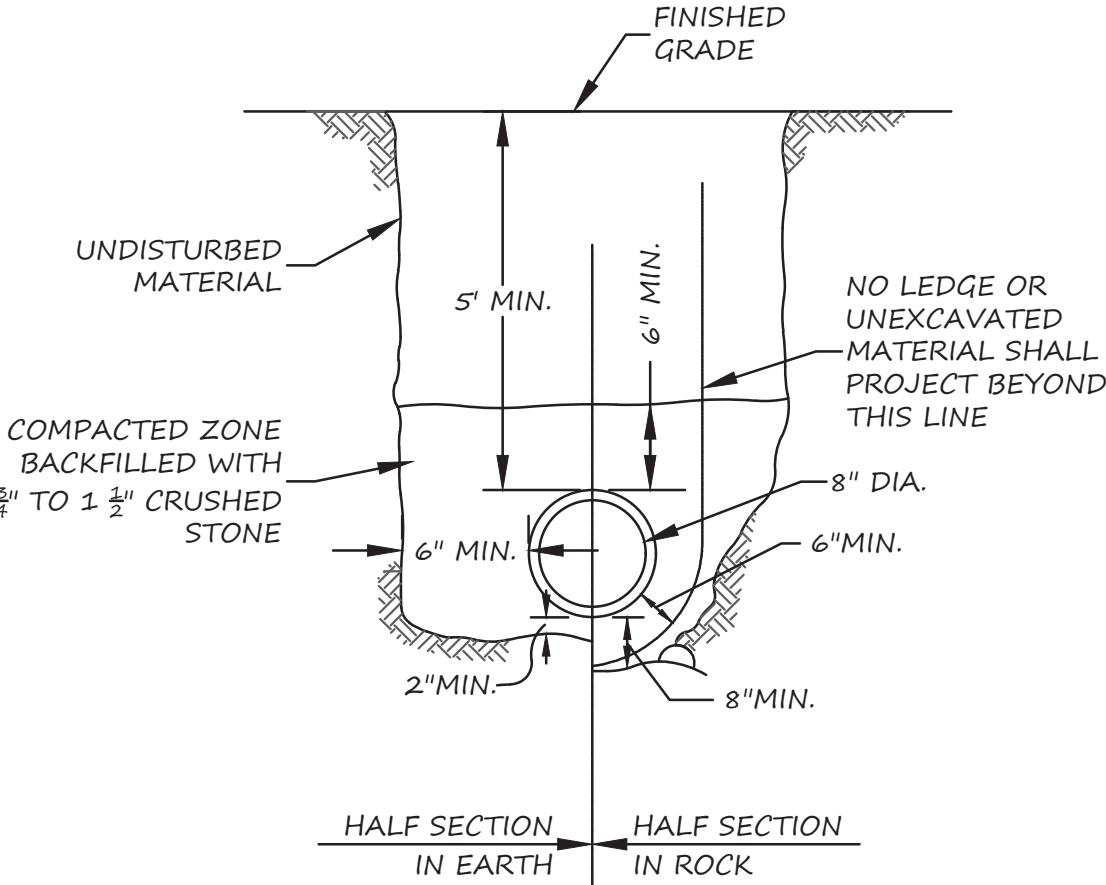
PLAN & DEED REFERENCE
DEED: BOOK 33875 PAGE 228
PLAN: BOOK 463 PAGE 128



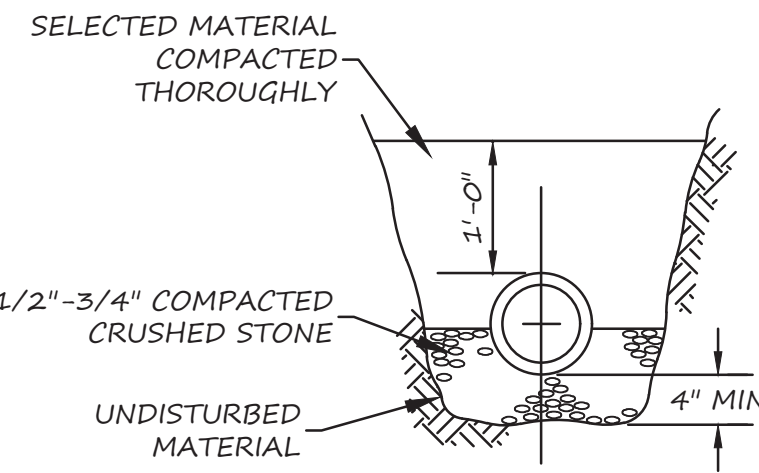
TYPICAL PRECAST SEWER MANHOLE DETAILS
NOT TO SCALE



TYPICAL SEWER TRENCH
NOT TO SCALE

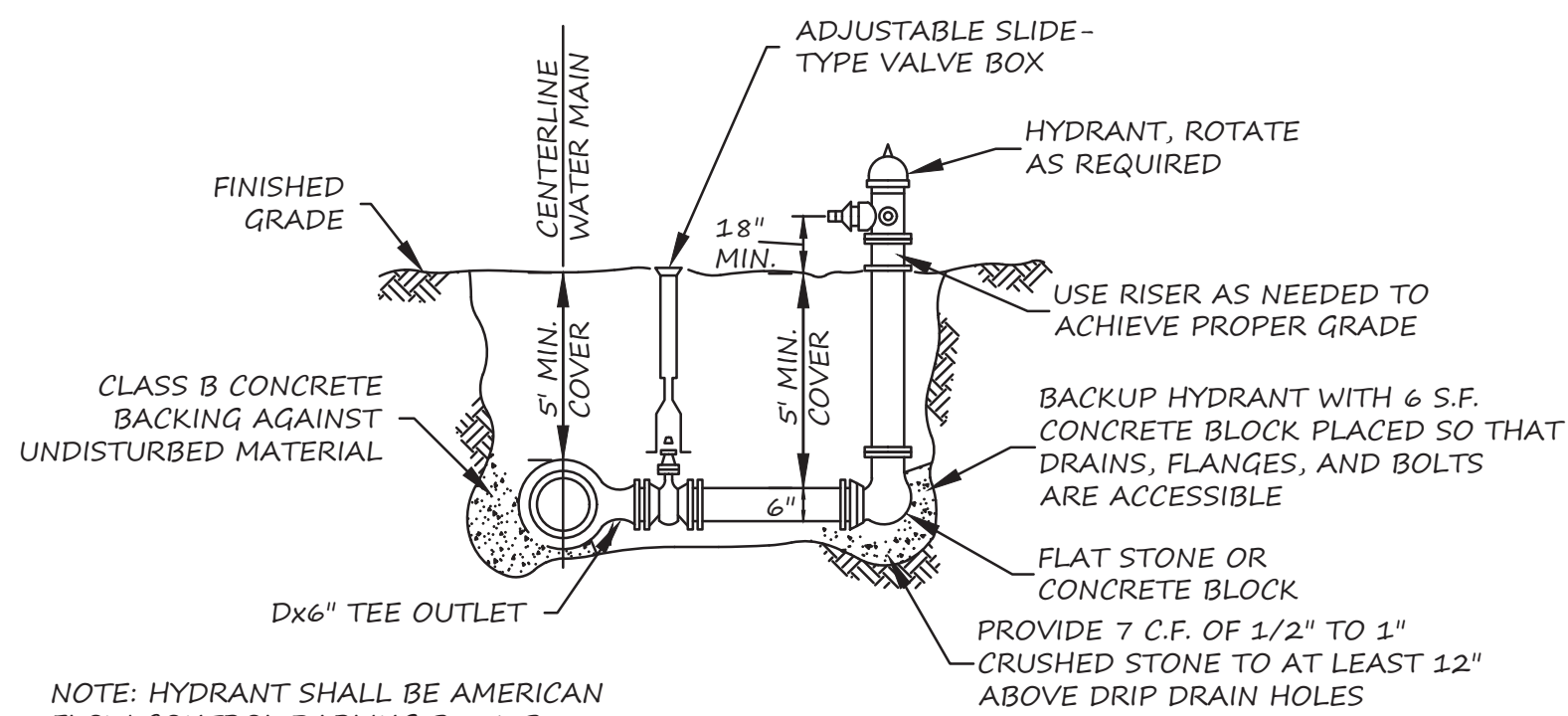


WATER MAIN TRENCH DETAIL
NOT TO SCALE

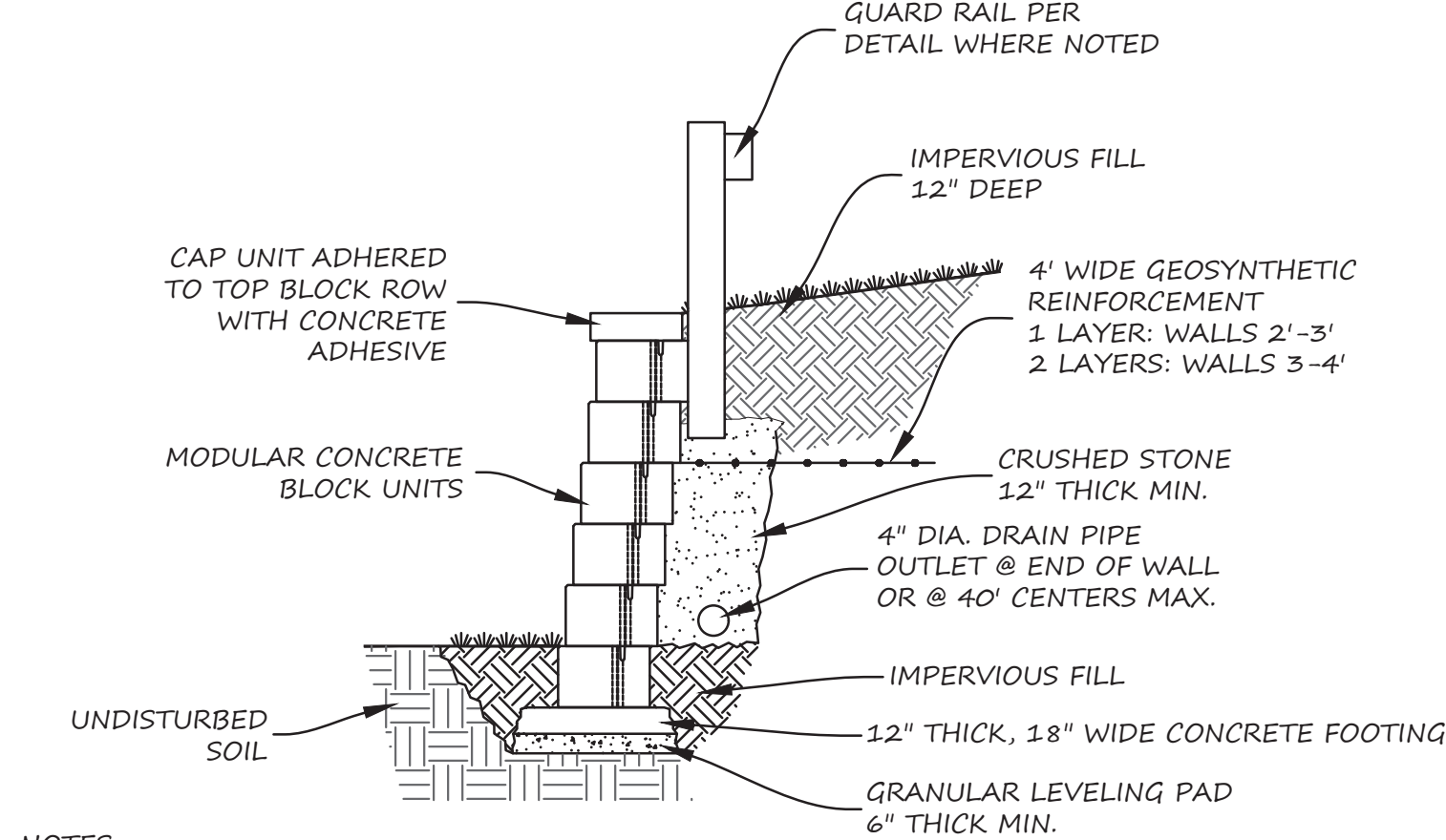


SECTION B-B

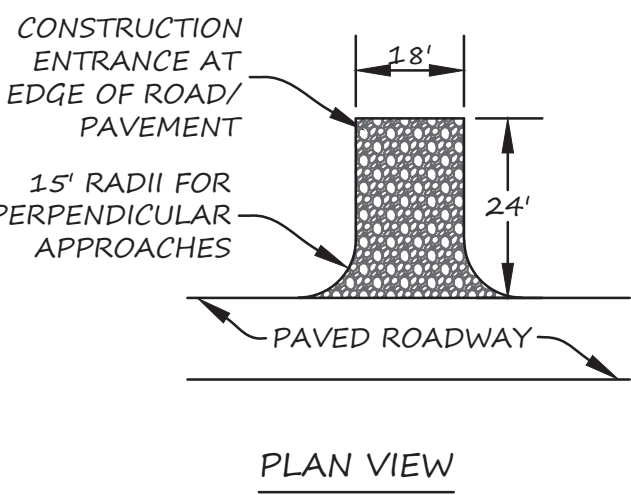
TYPICAL BUILDING SEWER SERVICE CONNECTION
NOT TO SCALE



TYPICAL HYDRANT ASSEMBLY DETAIL
NOT TO SCALE

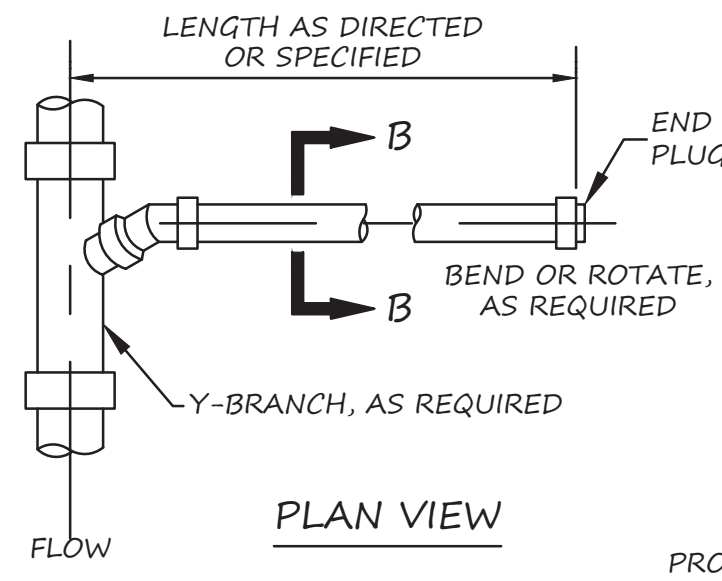


TYPICAL "SMALL BLOCK" RETAINING WALL
NOT TO SCALE

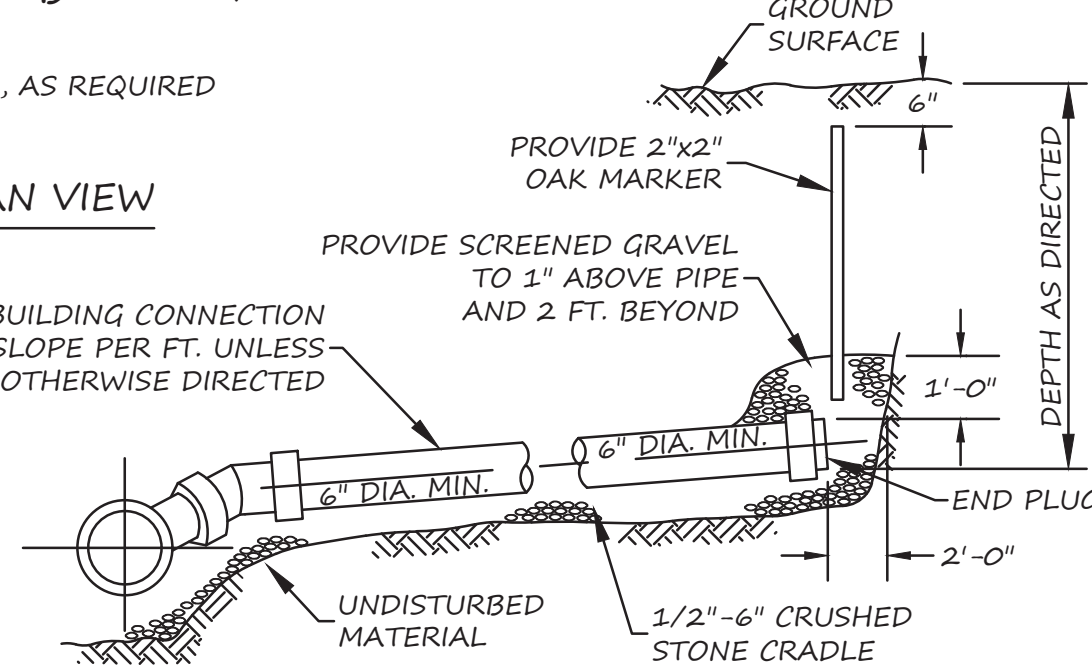


- NOTES:
- ENTRANCE SHALL BE INSTALLED BEFORE ANY EXCAVATION WORK OCCURS ON-SITE.
 - ENTRANCE SHALL BE MAINTAINED IN GOOD CONDITION UNTIL A PAVED DRIVEWAY IS INSTALLED. REPLACE ENTRANCE IF FILLED WITH SOILS OR IF SOILS ARE BEING TRACKED ONTO ADJACENT ROADWAYS.

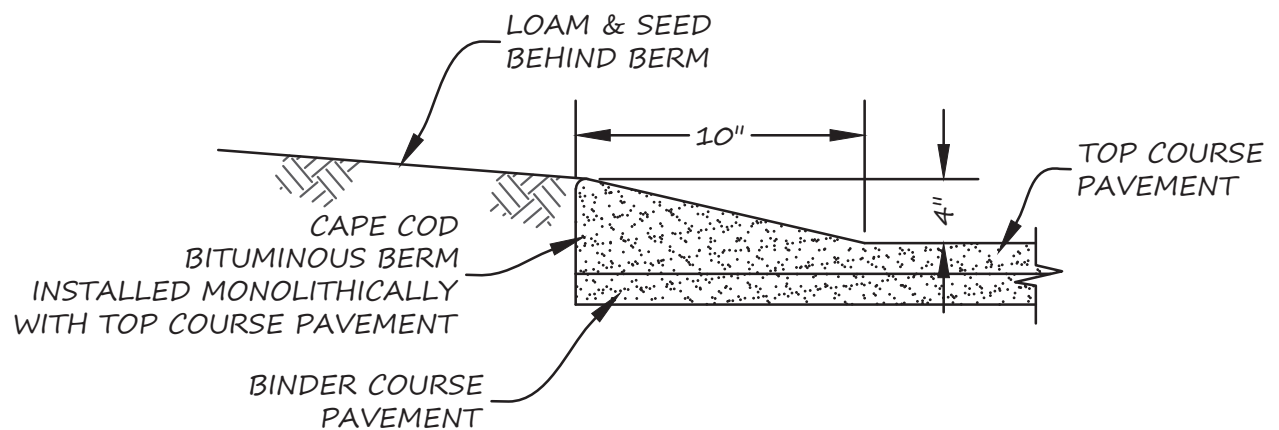
CONSTRUCTION ENTRANCE DETAIL
NOT TO SCALE



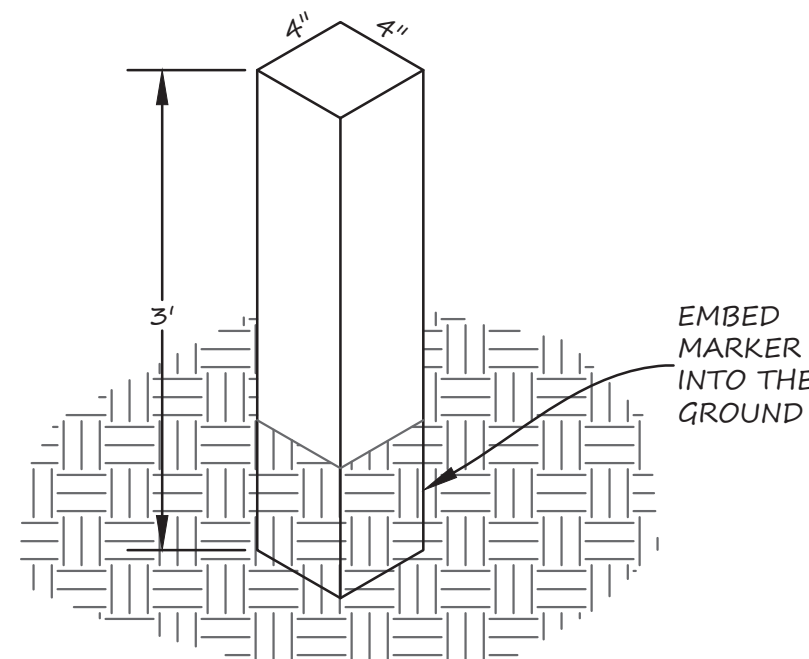
PLAN VIEW



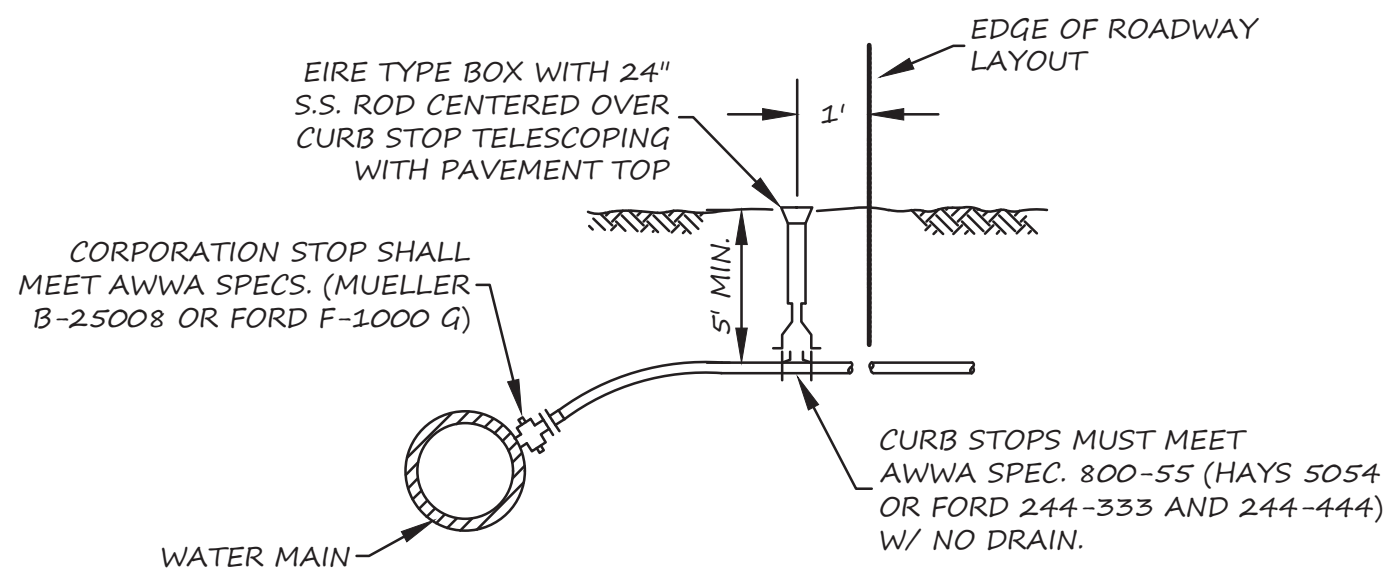
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MONOLITHIC CAPE COD BERM DETAIL
(NO SCALE)

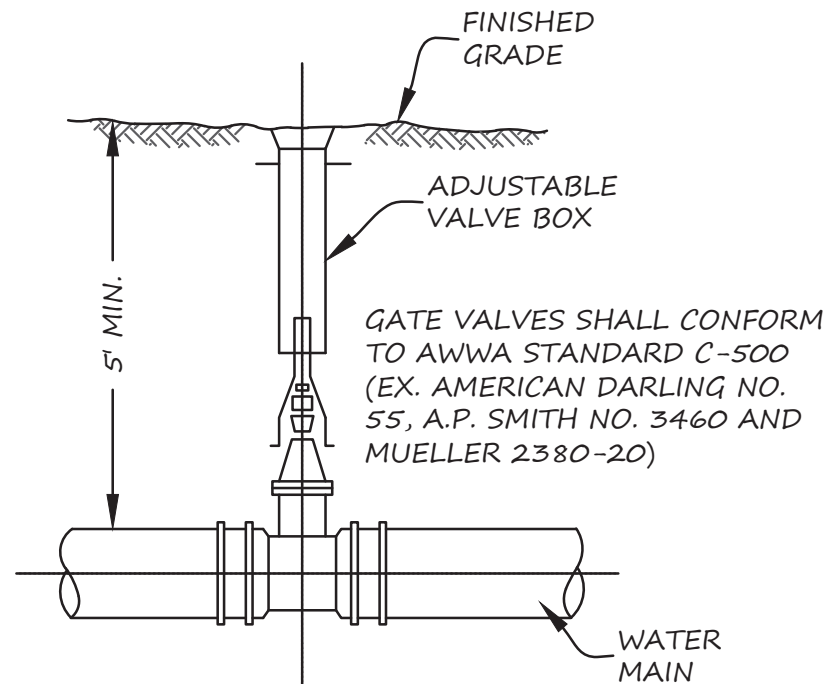


GRANITE WETLAND BUFFER MARKER
NOT TO SCALE



- NOTES:
- COPPER TUBING SHALL MEET AWWA SPEC. 76-CR TYPE K OR FEDERAL SPEC. WWT-799 TYPE K.
 - 1 1/2-INCH AND LARGER SERVICES SHALL BE INSTALLED WITH A SADDLE.

TYPICAL WATER SERVICE CONNECTION
NOT TO SCALE



TYPICAL GATE VALVE
NOT TO SCALE

I HEREBY CERTIFY THAT THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE LINES DIVIDING EXISTING OWNERSHIPS, AND THE LINES OF THE STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED, AND THAT NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS

DATE: _____
REGISTERED LAND SURVEYOR

DATE APPROVED: _____
DATE ENDORSED: _____

MEDWAY PLANNING & ECONOMIC
DEVELOPMENT BOARD



Digitally signed by Daniel J. Merrikin, P.E.
Date: 2021.03.09 08:11:33 -05'00'

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)



LEGACY
ENGINEERING

C-9

PLAN SCALE: N.T.S.

REVISION	DATE	BY
REVISIONS PER TOWN COMMENTS	2020-06-22	DJM
REVISED SITE LAYOUT PER CONSERVATION	2021-01-12	DJM
REVISION PER TOWN COMMENTS	2021-03-08	DJM

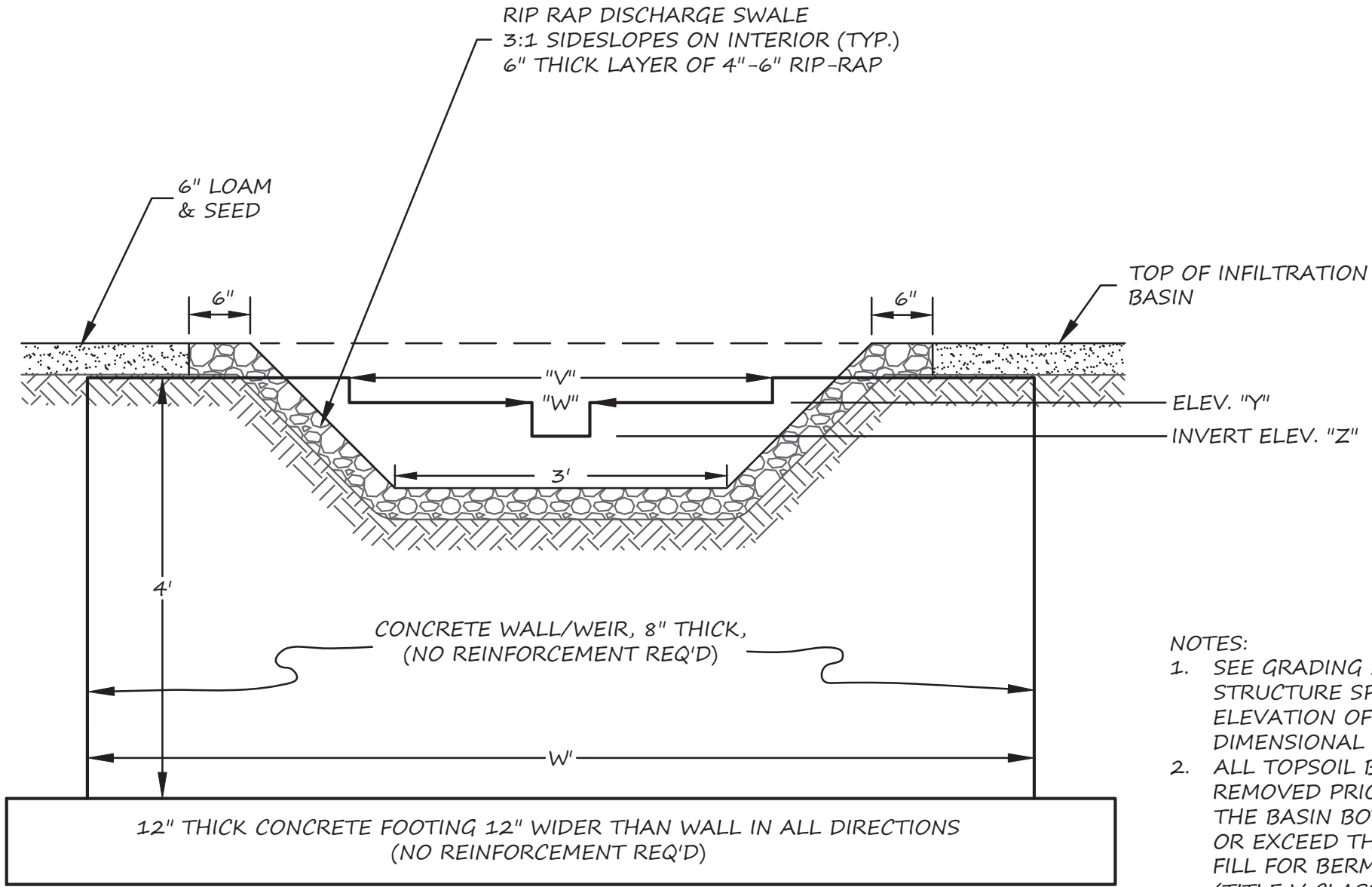
THE SETTLEMENT, 1657
DETAIL
PLAN OF LAND
IN
MEDWAY, MA

OWNER/APPLICANT
THOMAS STEEVES
15 CHASE STREET
BELLINGHAM, MA 02019

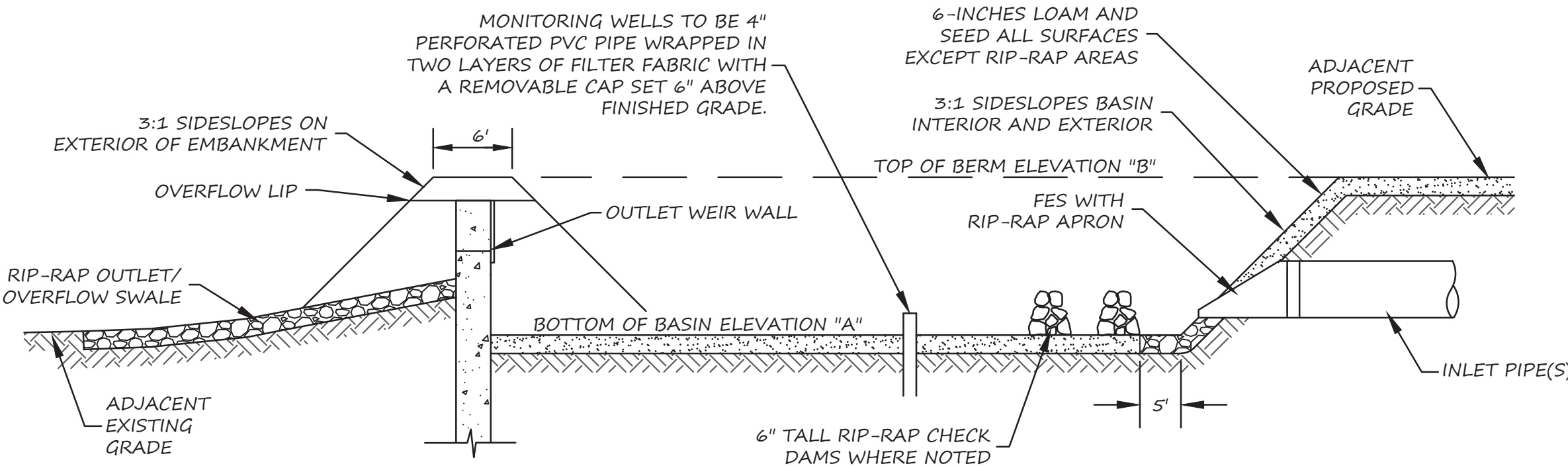
ZONING DISTRICT
CENTRAL BUSINESS
MULTIPLE HOUSING OVERLAY
DISTRICT

ASSESSORS PARCELS
48-047
48-047-0001
48-047-0002
48-047-0003

PLAN & DEED REFERENCE
DEED: BOOK 33875 PAGE 228
PLAN: BOOK 463 PAGE 128



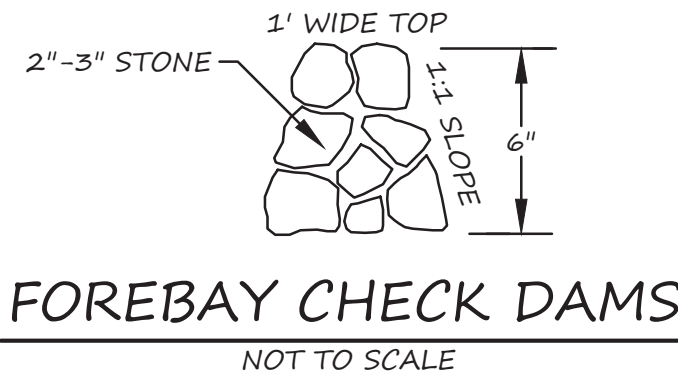
OUTLET WEIR AND RIP-RAP SWALE DETAIL BASINS 2 & 3



TYPICAL BASIN CROSS-SECTION

SCHEDULE OF DIMENSIONS AND ELEVATIONS

	BASIN #1	BASIN #2	BASIN #3
BOTTOM OF BASIN ELEVATION "A"	235.5	223.5	231.7
TOP OF BERM ELEVATION "B"	237.0	225.5	234.0
OUTLET WEIR WALL LENGTH "W"	N/A	14'	15'
OVERFLOW ORIFICE INVERT "Y"	235.70	225.30	233.00
WIDTH "V"	12" PIPE x4	10'	5'
DISCHARGE ORIFICE INVERT "Z"	235.70	224.00	232.00
WIDTH "W"	12" PIPE x4	1.60'	1.50'

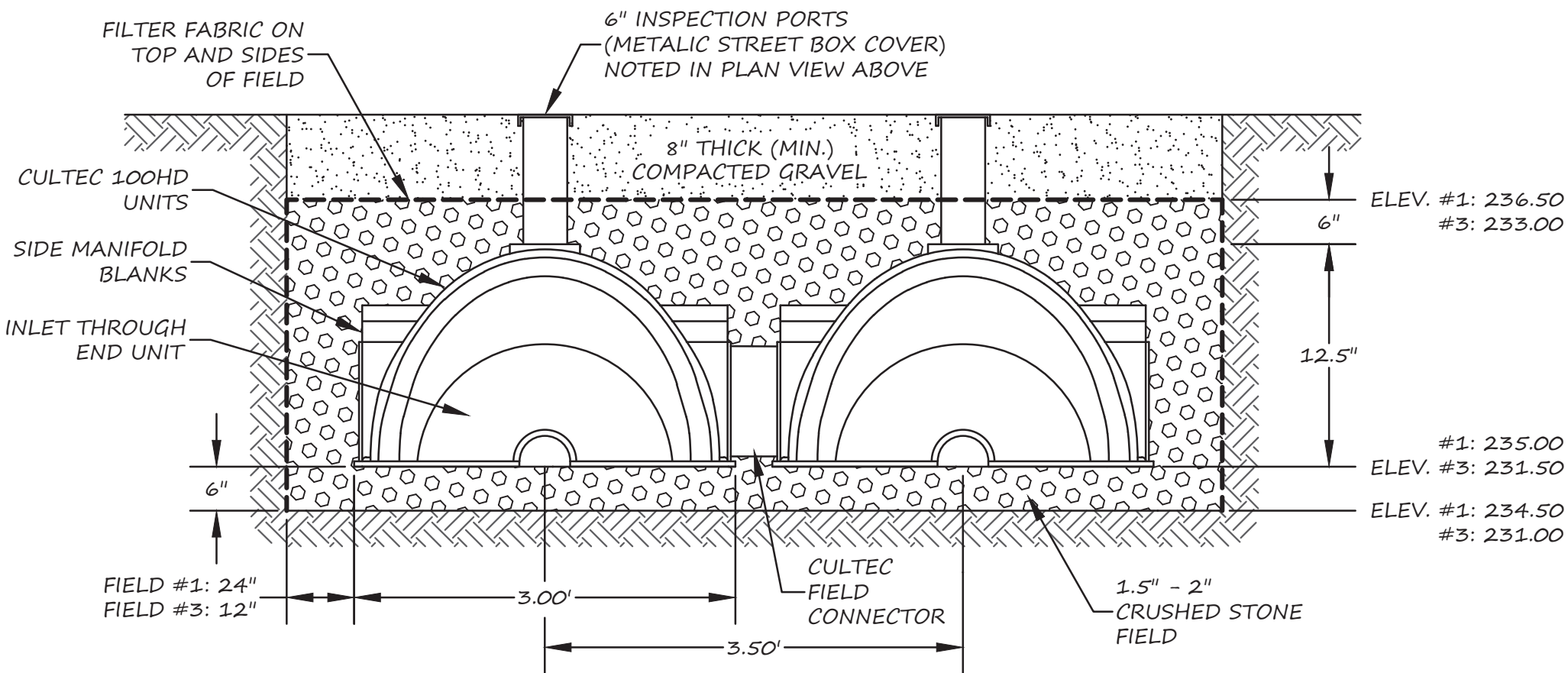


FOR REGISTRY USE

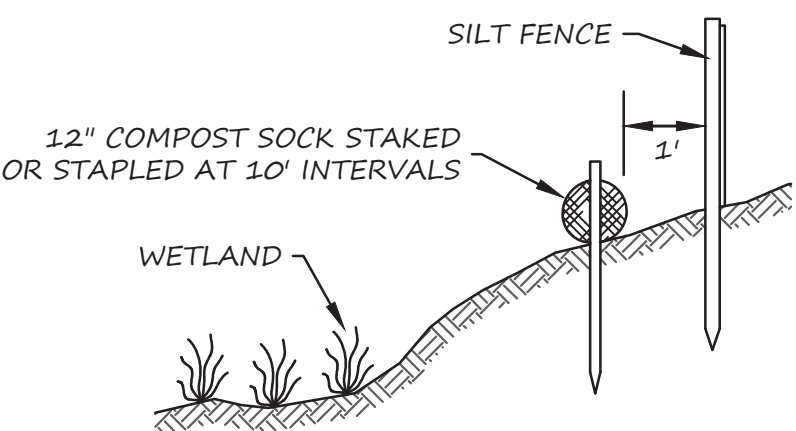
- NOTES:
- SEE GRADING SHEETS FOR SIZE OF INLETS AND OUTLETS, OUTLET STRUCTURE SPECIFICATIONS, ELEVATION OF BOTTOM OF BASIN, ELEVATION OF TOP OF BASIN, SLOPE OF SIDESLOPES, AND OTHER DIMENSIONAL REQUIREMENTS FOR EACH BASIN.
 - ALL TOPSOIL BELOW THE BOTTOM OF THE BASIN SHALL BE REMOVED PRIOR TO BASIN CONSTRUCTION. FILL MATERIALS UNDER THE BASIN BOTTOM SHALL BE CLEAN GRAVEL, AND SHALL MATCH OR EXCEED THE UNDERLYING SOIL'S DRAINAGE CHARACTERISTICS. FILL FOR BERMS MAY BE SAND, LOAMY SAND OR SANDY LOAM. (TITLE V CLASSIFICATIONS).
 - BERM AREAS SHALL BE REMOVED OF ALL TOP AND SUB-SOIL AND OTHER UNSUITABLE SOILS. BERM CORE SHALL CONSIST OF ORDINARY BORROW INSTALLED IN 12-INCH LIFTS TO A MINIMUM 93% PROCTOR DENSITY.

TYPICAL INFILTRATION BASIN CROSS-SECTION

NOT TO SCALE

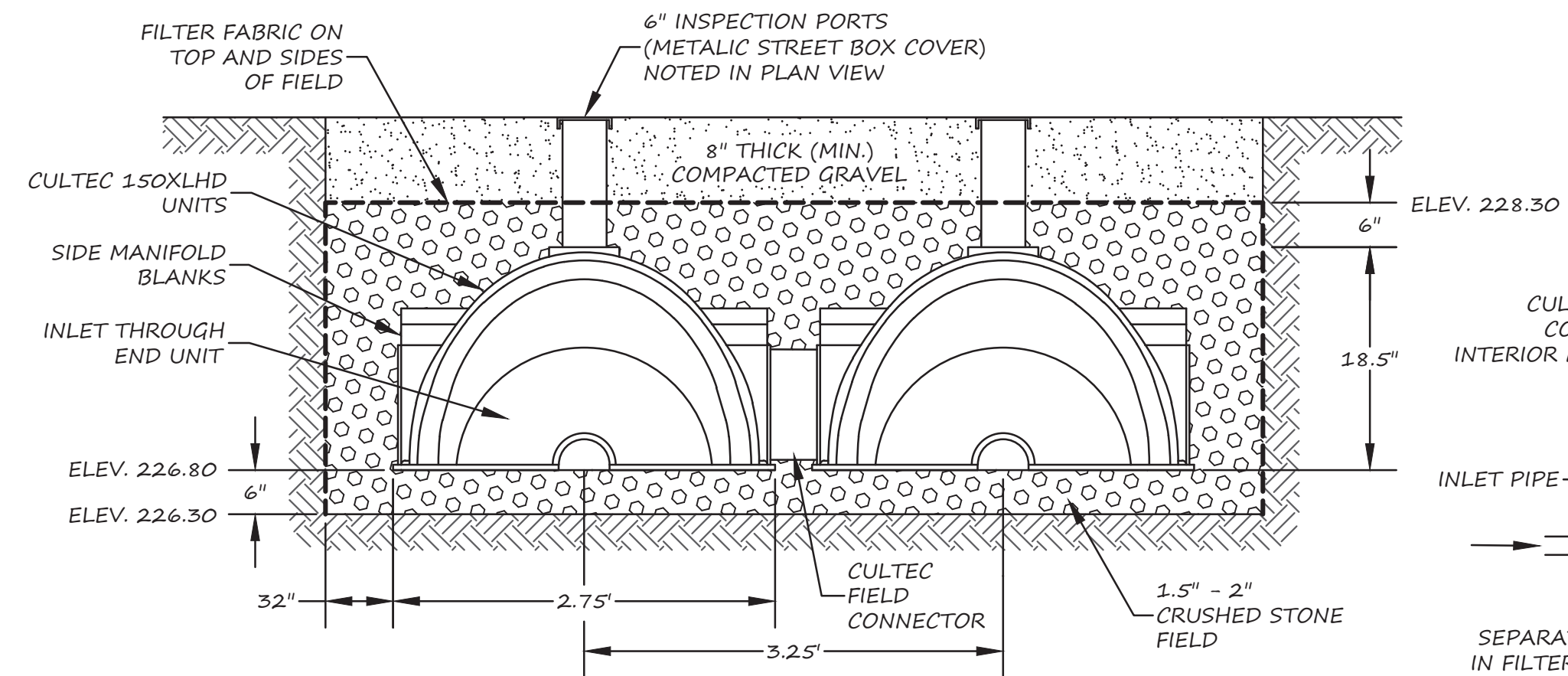


SECTION THROUGH 100HD UNIT LEACHING FIELD (FIELDS #1 & #3)

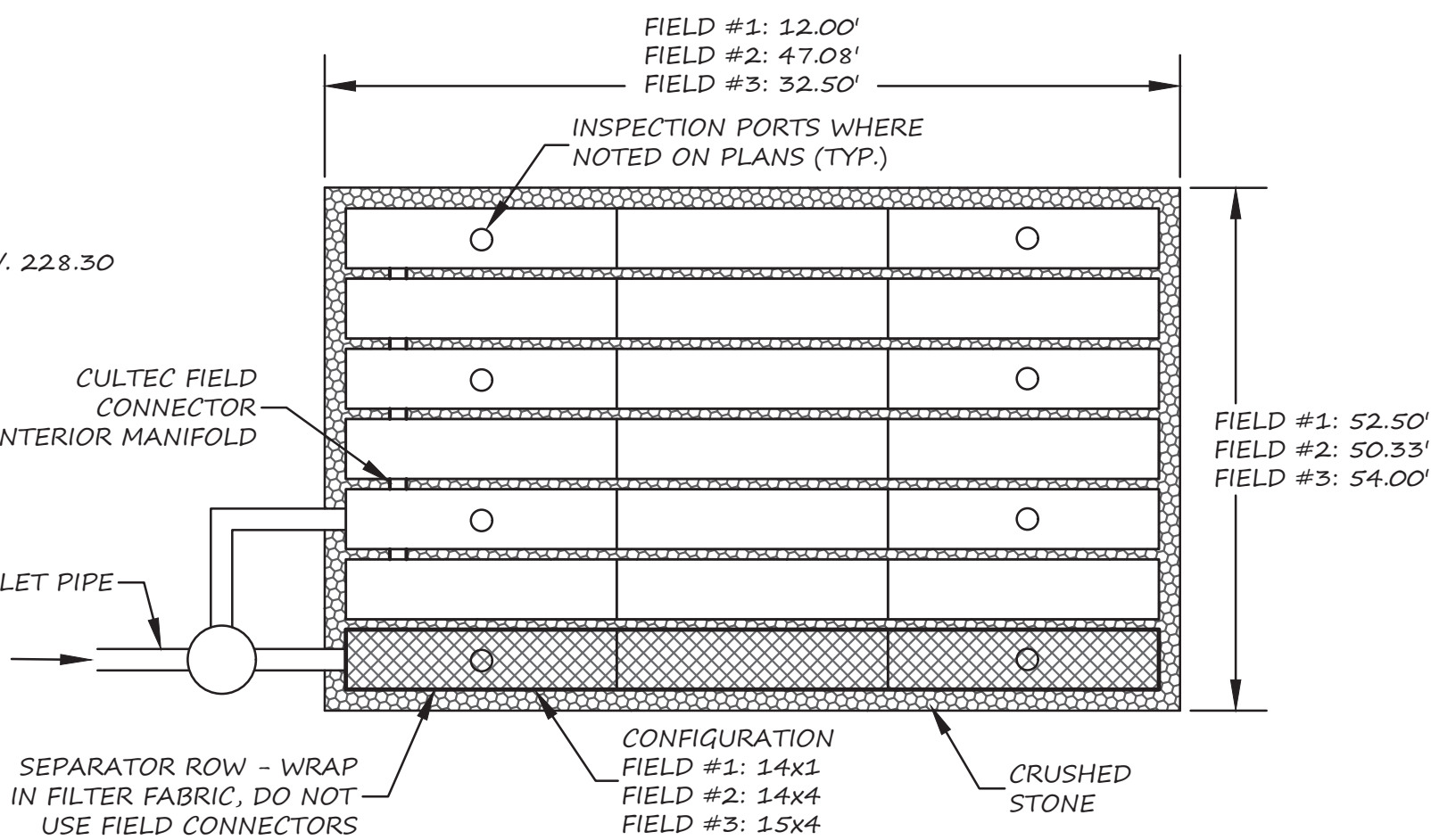


EROSION CONTROL
DETAIL (FILTER SOCK)

NOT TO SCALE



SECTION THROUGH 150XLHD LEACHING FIELD (FIELD #2)



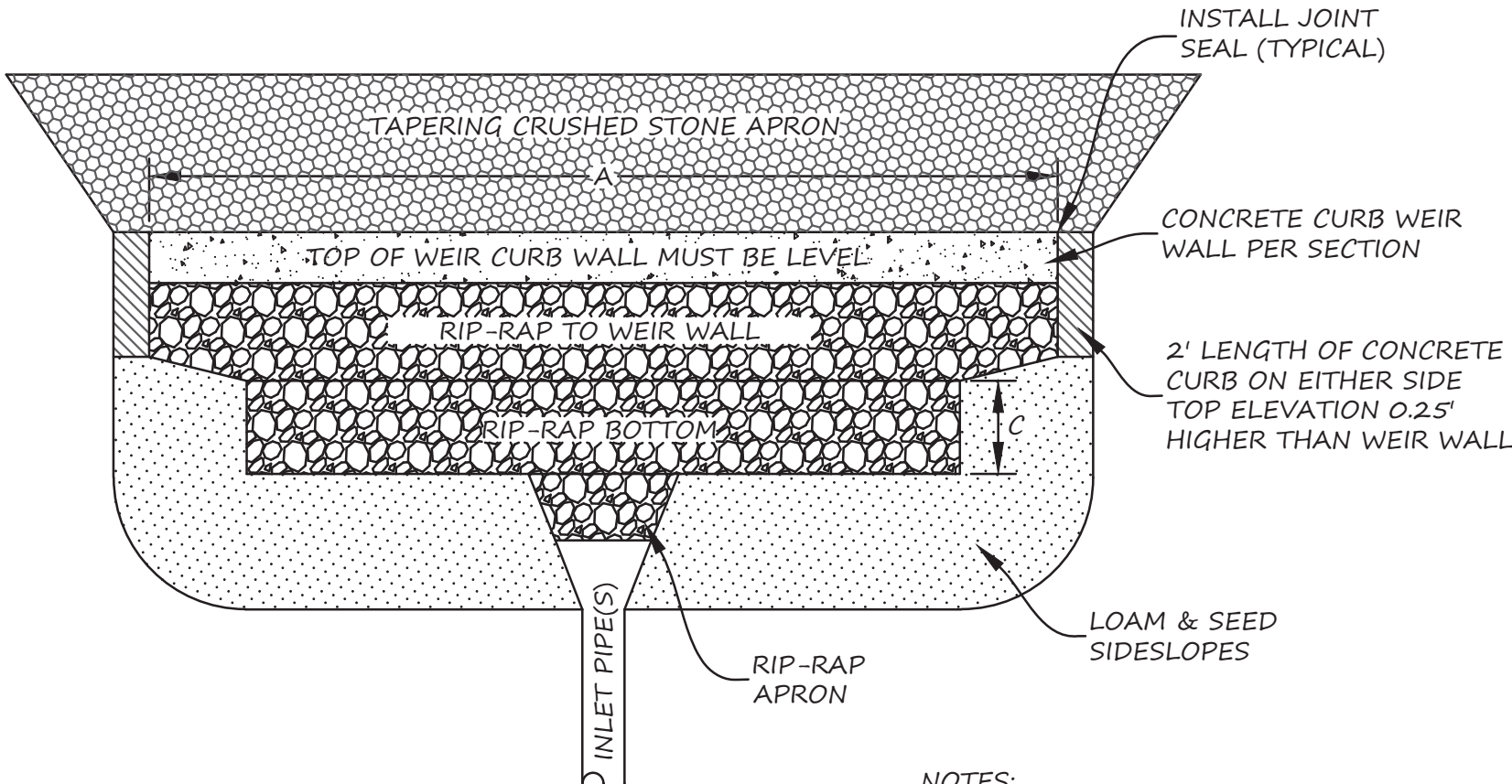
FIELD PLAN VIEW

NOTES:

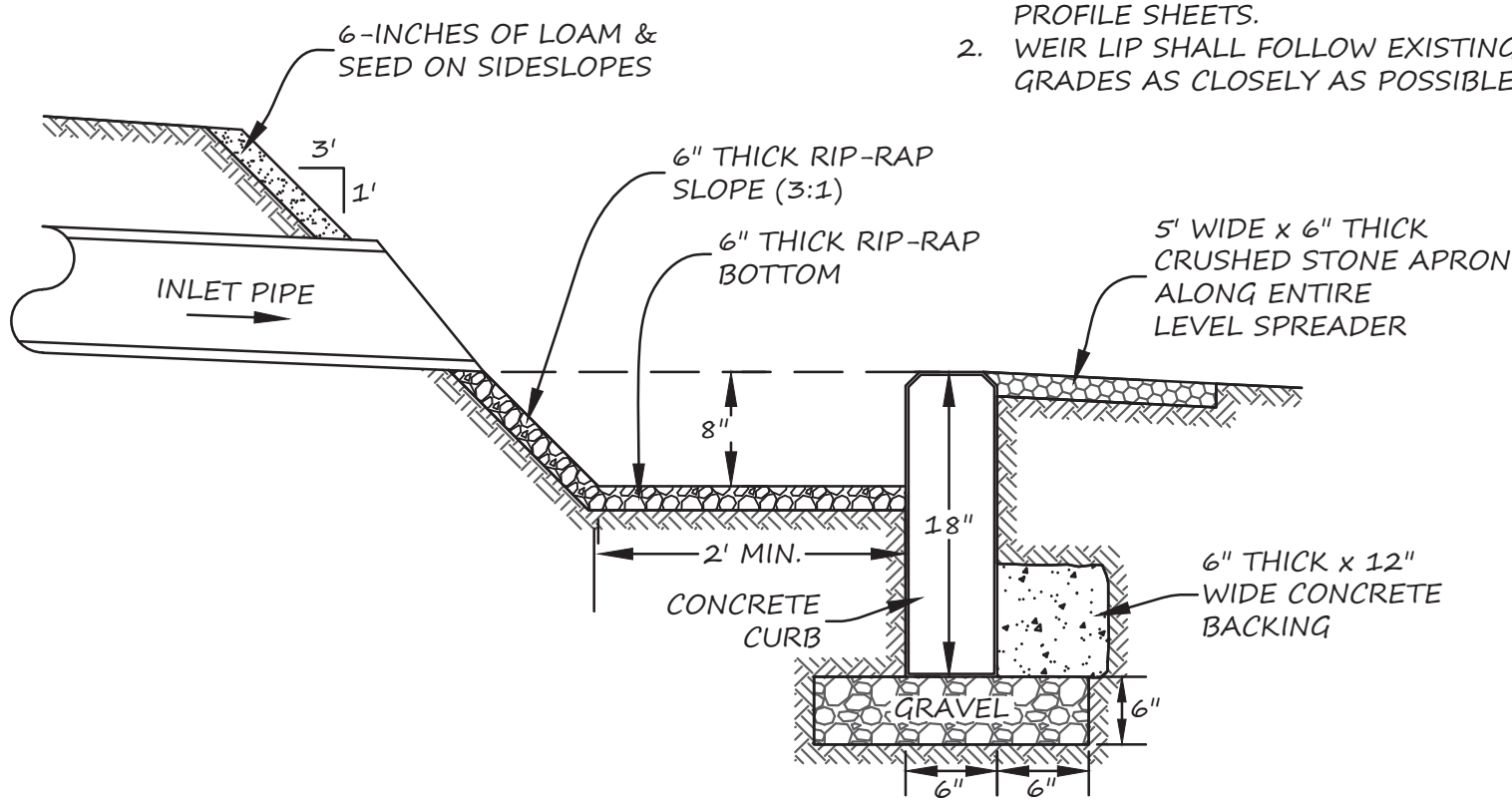
- INFILTRATION TRENCH UNITS TO BE RECHARGER 100HD OR 150XLHD AS MANUFACTURED BY CULTEC, INC., 878 FEDERAL ROAD, BROOKFIELD, CT 06804, OR APPROVED EQUAL. APPROVED EQUALS MUST CONTAIN AT LEAST THE SAME TOTAL SYSTEM STORAGE VOLUME AND BOTTOM AREA.
- INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS.
- TWO-TRENCH SYSTEM CROSS-SECTION SHOWN. MULTIPLE TRENCHES WOULD USE THE SAME EXTERIOR STONE THICKNESS AND INTERIOR CHAMBER SEPARATION VALUES.
- INFILTRATION TRENCH UNITS SHALL BE ABLE TO WITHSTAND H-20 LOADINGS.

INFILTRATION TRENCH/FIELD DETAIL

NOT TO SCALE



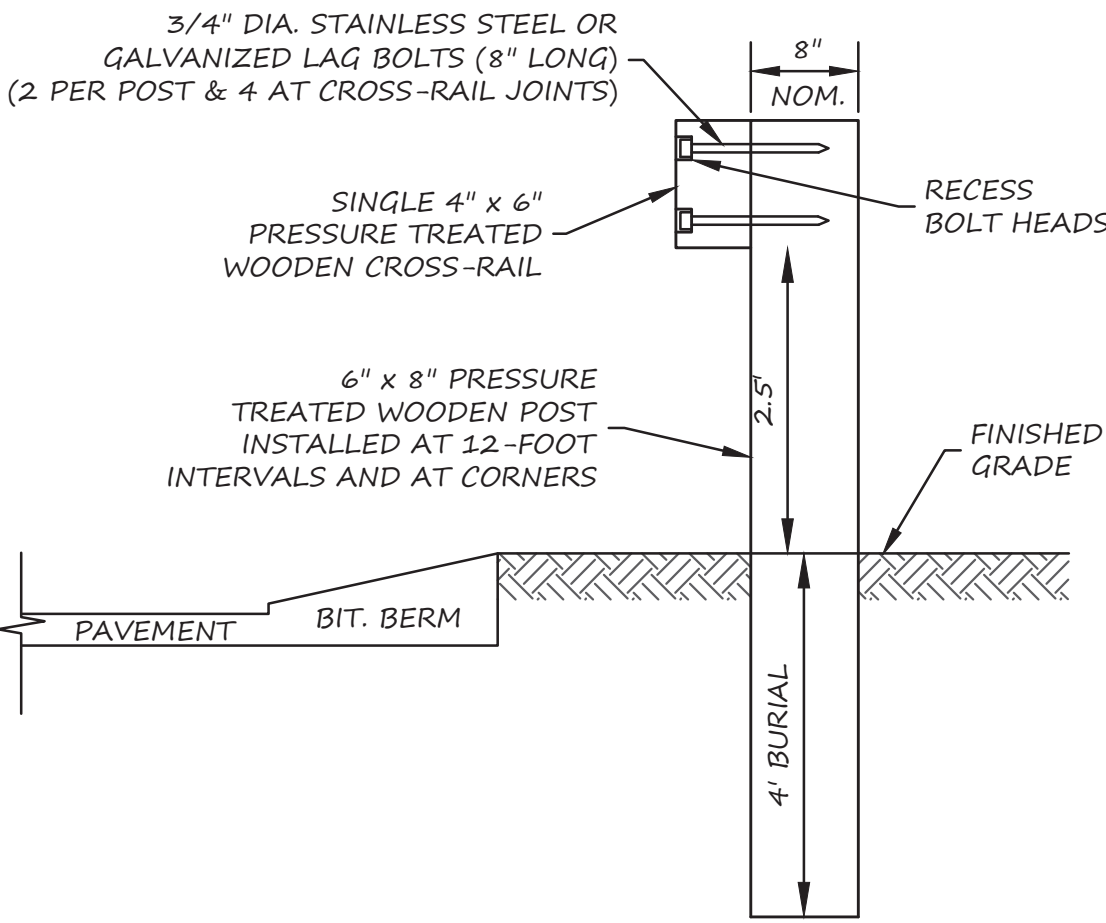
PLAN VIEW



TYPICAL SECTIONAL VIEW

LEVEL SPREADER DETAIL

NOT TO SCALE



WOODEN GUARD-RAIL DETAIL

NOT TO SCALE



Digitally signed by Daniel J. Merrikin, P.E.
Date: 2021.03.09 08:11:15 -05'00'

I HEREBY CERTIFY THAT THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE LINES DIVIDING EXISTING OWNERSHIPS, AND THE LINES OF THE STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED, AND THAT NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.

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DATE: _____

REGISTERED LAND SURVEYOR

DATE APPROVED: _____

DATE ENDORSED: _____

MEDWAY PLANNING & ECONOMIC
DEVELOPMENT BOARD

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)



LEGACY
ENGINEERING

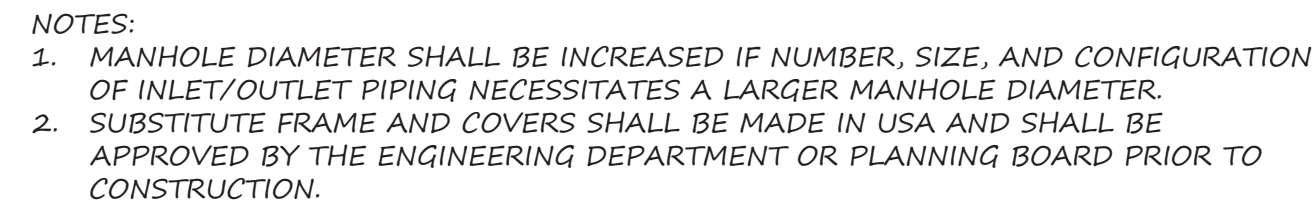
C-10

PLAN SCALE: N.T.S.

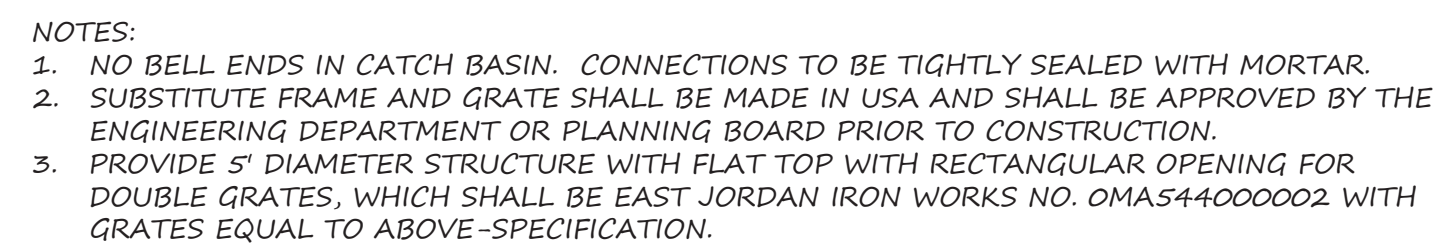
REVISION	DATE	BY
REVISIONS PER TOWN COMMENTS	2020-06-22	DJM
REVISED SITE LAYOUT PER CONSERVATION	2021-01-12	DJM
REVISION PER TOWN COMMENTS	2021-03-08	DJM

THE SETTLEMENT, 1657
DETAIL
PLAN OF LAND
IN
MEDWAY, MA

PLAN & DEED REFERENCE
DEED: BOOK 33875 PAGE 228
PLAN: BOOK 463 PAGE 128



NOT TO SCALE



NOT TO SCALE

PLAN SCALE: N.I.S.



Digitally signed by Daniel J.
Merrikin, P.E.
Date: 2021.03.09 08:10:50
-05'00'

I HEREBY CERTIFY THAT THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE LINES DIVIDING EXISTING OWNERSHIPS, AND THE LINES OF THE STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED, AND THAT NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.

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DATE: _____

REGISTERED LAND SURVEYOR

DATE APPROVED: _____

DATE ENDORSED: _____

[illegible]

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MEDWAY PLANNING & ECONOMIC
DEVELOPMENT BOARD

PLAN DATE: DECEMBER 10, 2019	REVISION	DATE
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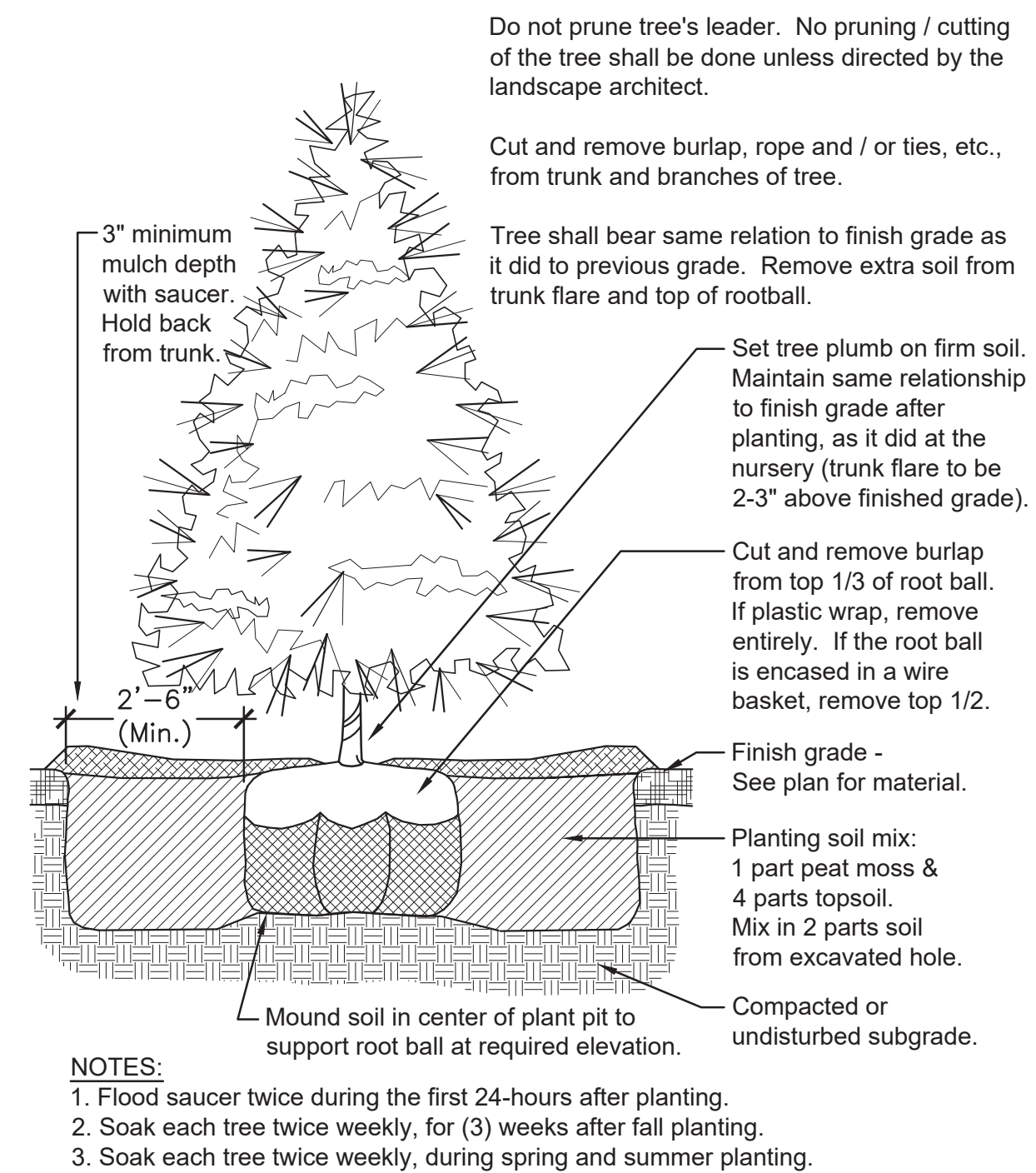
THE SETTLEMENT, 1657
DETAIL
PLAN OF LAND
IN
MEDWAY, MA

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)

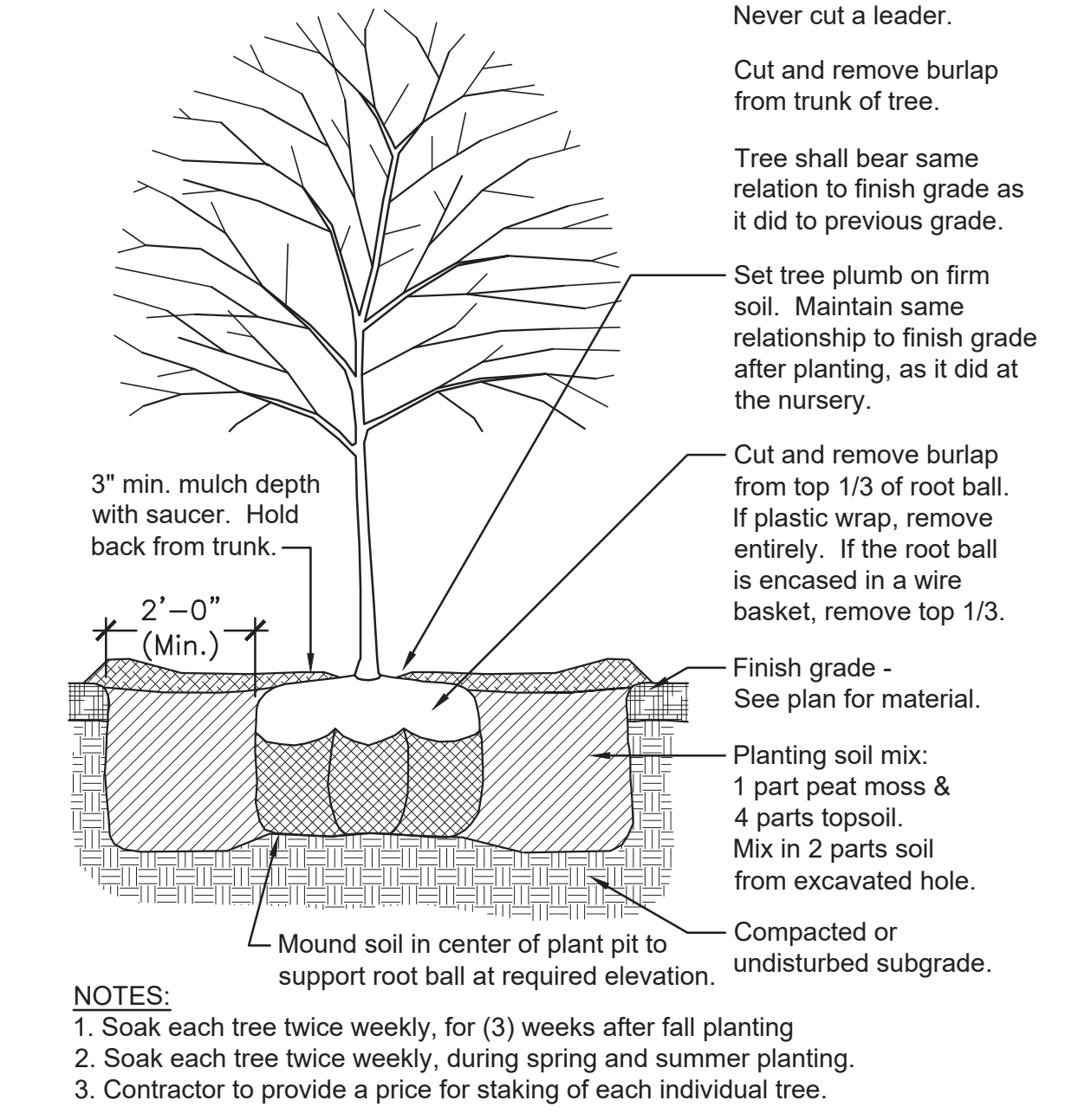
C-11



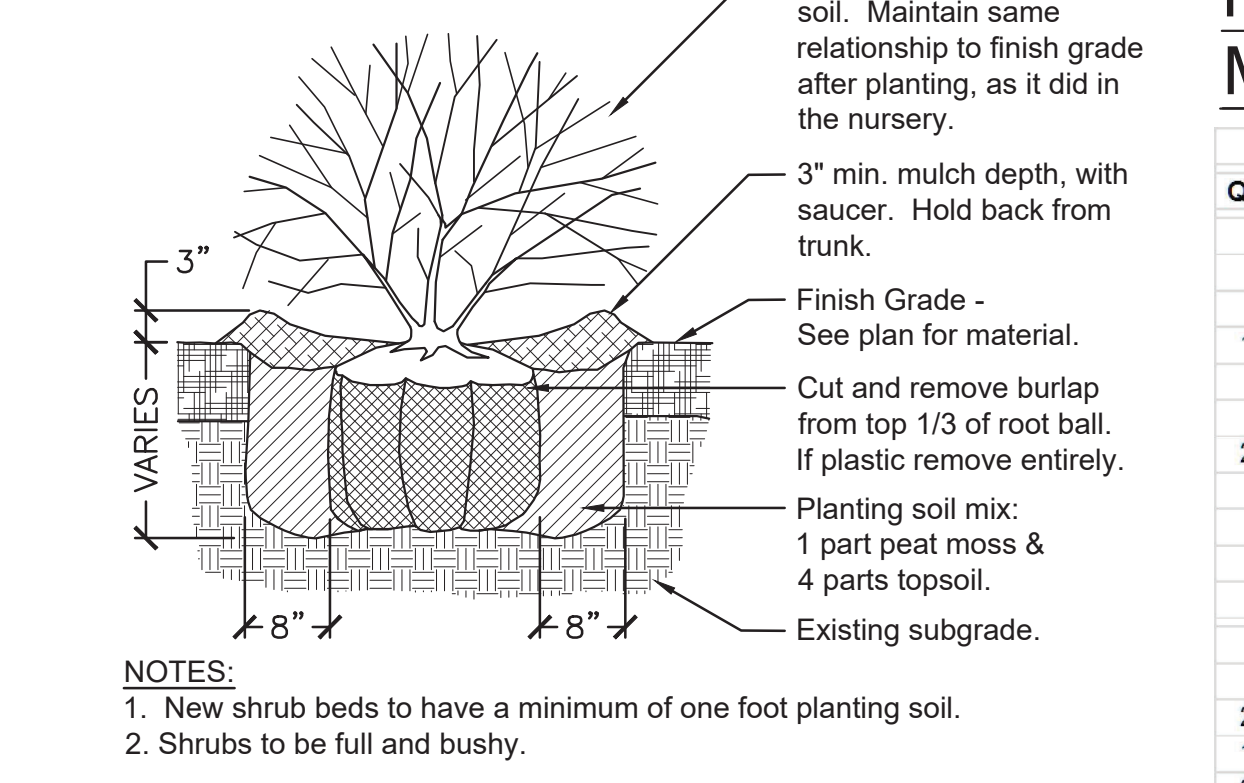
LEGACY
ENGINEERING



1 TYP. EVERGREEN TREE PLANTING
Scale: 1/2" = 1' - 0"



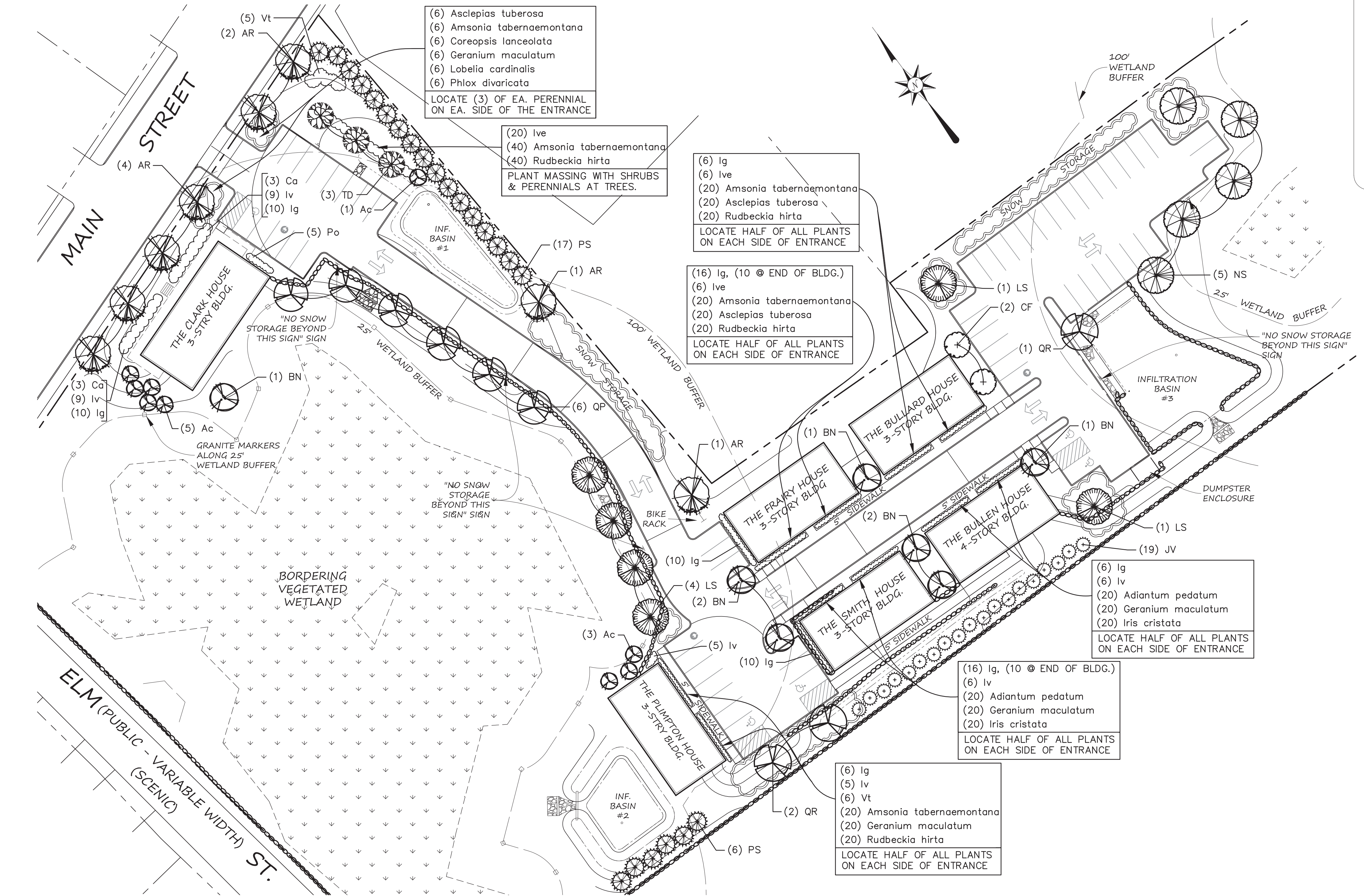
2 TYP. DECIDUOUS TREE PLANTING
Scale: 1/2" = 1' - 0"



3 TYPICAL SHRUB PLANTING
Scale: 3/4" = 1' - 0"

COSMOS ASSOCIATES SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, OR PROCEDURES UTILIZED BY THE CONTRACTOR, NOR FOR THE SAFETY OF PUBLIC OR CONTRACTOR'S EMPLOYEES, OR FOR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORKING ACCORDANCE WITH THE CONTRACT DOCUMENTS.

NO PART OF THIS DOCUMENT MAY BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC, MECHANICAL, PHOTOCOPYING, RECORDING OR OTHERWISE, WITHOUT THE PRIOR WRITTEN PERMISSION OF COSMOS ASSOCIATES. ANY MODIFICATIONS TO THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF COSMOS ASSOCIATES SHALL RENDER IT INVALID AND UNUSABLE.



PLANT LIST -
MAIN ST. AND COMMON AREAS:

TREES - DECIDUOUS AND EVERGREEN			
Qty.	Sym.	Botanical Name	Common Name
8	AR	Acer rubrum	Red Maple
7	BN	Betula nigra 'Heritage'	Heritage River Birch
2	CF	Cornus florida	Flowering Dogwood
19	JV	Juniperus virginiana	Eastern Red Cedar
6	LS	Liquidambar styraciflua	American Sweetgum
5	NS	Nyssa sylvatica	Black Gum or Tupelo
23	PS	Pinus strobus	Eastern White Pine
6	QP	Quercus palustris	Pin Oak
3	QR	Quercus rubra	Red Oak
3	TD	Taxodium distichum	Bald Cypress
SHRUBS - DECIDUOUS AND EVERGREEN			
9	Ac	Amelanchier canadensis	Downy Shadblow
46	at	Amsonia tabernaemontana	Showy Blue-Star
6	cl	Coreopsis lanceolata	Lanceleaf Coreopsis
6	gm	Geranium maculatum	Geranium
6	lc	Lobelia cardinalis	Cardinal Flower
6	pd	Phlox divaricata	Woodland Phlox
40	rh	Rudbeckia hirta	Black-eyed Susan

PLANT LIST -
FOUNDATION PLANTS AT REAR:

SHRUBS - DECIDUOUS AND EVERGREEN			
Qty.	Sym.	Botanical Name	Common Name
50	lg	Ilex glabra	Inkberry
17	lv	Itea virginica	Sweetspire
12	ve	Ilex verticillata	Winterberry
6	Vt	Viburnum trilobum	American Cranberrybush
PERENNIALS			
40	ap	Adiantum pedatum	Maidenhair Fern
40	as	Asclepias tuberosa	Butterfly Milkweed
60	at	Amsonia tabernaemontana	Showy Blue-Star
60	gm	Geranium maculatum	Geranium
40	lc	Iris cristata	Dwarf Crested Iris
60	rh	Rudbeckia hirta	Black-eyed Susan

Call DIGSAFE, 1-888-344-7233, for location and marking of all utilities prior to any excavation. Private utilities may require additional marking and investigation.

PLANTING NOTES:

1. Trees and shrubs shall be uniform, full and bushy, and well branched specimen plants. All plants to be approved by the Landscape Architect.
2. Plants shall be balled and burlapped or container grown.
3. Plants to conform to the requirements established in 'American Standards For Nursery Stock', latest edition.
4. Plant beds to receive 3-inch minimum depth of shredded bark mulch. Contractor to submit bark samples for approval.
5. Plant materials shall be guaranteed for 1-year after installation.
6. Plant materials shall be field located and approved by Landscape Architect.
7. Planting beds at perennial locations to have a 6-inch min. depth of loam. Loam at trees, shrubs & ornamental grass locations to be depth of root ball.
8. Loam (6" min. depth) and seed all lawn areas and disturbed areas not noted to receive other treatment.
9. Plant substitutions allowed based on best availability of nursery stock, with all substitutions to be approved by the Landscape Architect.

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DATE: _____

REGISTERED LAND SURVEYOR

DATE APPROVED: _____

DATE ENDORSED: _____

MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD



SHEET 1 OF 1
DATE 2/10/2021
PLAN NO. 119 Main St-Landsp.2-2021.dwg
DRAWN BY SSC / REC
CHECKED BY SSC

PLANTING PLAN
119 MAIN STREET
MEDWAY, MA
Cosmos Associates
Landscape Architects & Site Planners
5 Longview Street, Natick, MA 01760
p: 508.654.6847 www.cosmosassociates.com

FOR REGISTRY USE

PLAN SCALE: 1" = 30'

0' 30' 60' 120'

PLAN DATE: DECEMBER 10, 2019

REVISION	DATE	BY
REVISIONS PER TOWN COMMENTS	2020-06-20	DJM
REVISED SITE LAYOUT PER CONSERVATION	2021-01-12	DJM
UPDATED SITE PLAN	2021-02-10	REC

THE SETTLEMENT, 1657
LANDSCAPE
PLAN OF LAND
IN
MEDWAY, MA

DRAWING STATUS:

PLANNING BOARD
PERMITTING
NOT FOR CONSTRUCTION

CLIENT:

PROJECT:
THE SETTLEMENT, 1657
119 MAIN ST.
MEDWAY, MA

DRAWING:
THE CLARK HOUSE
33'x72'

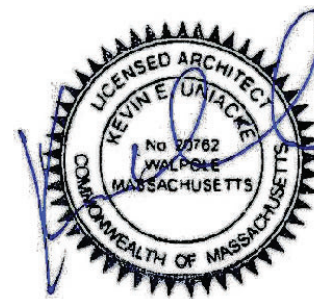
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Date: 2/16/2021

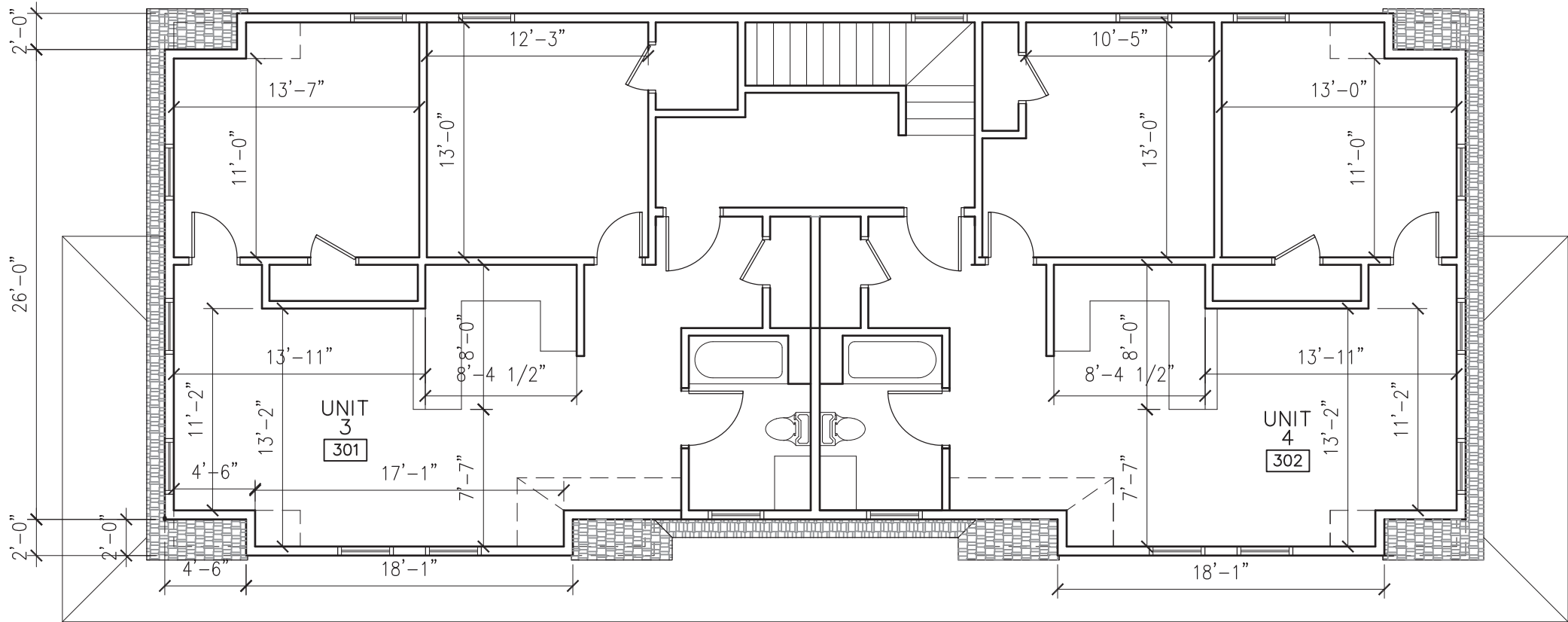
Job #: 20021

Drawn by: TJF

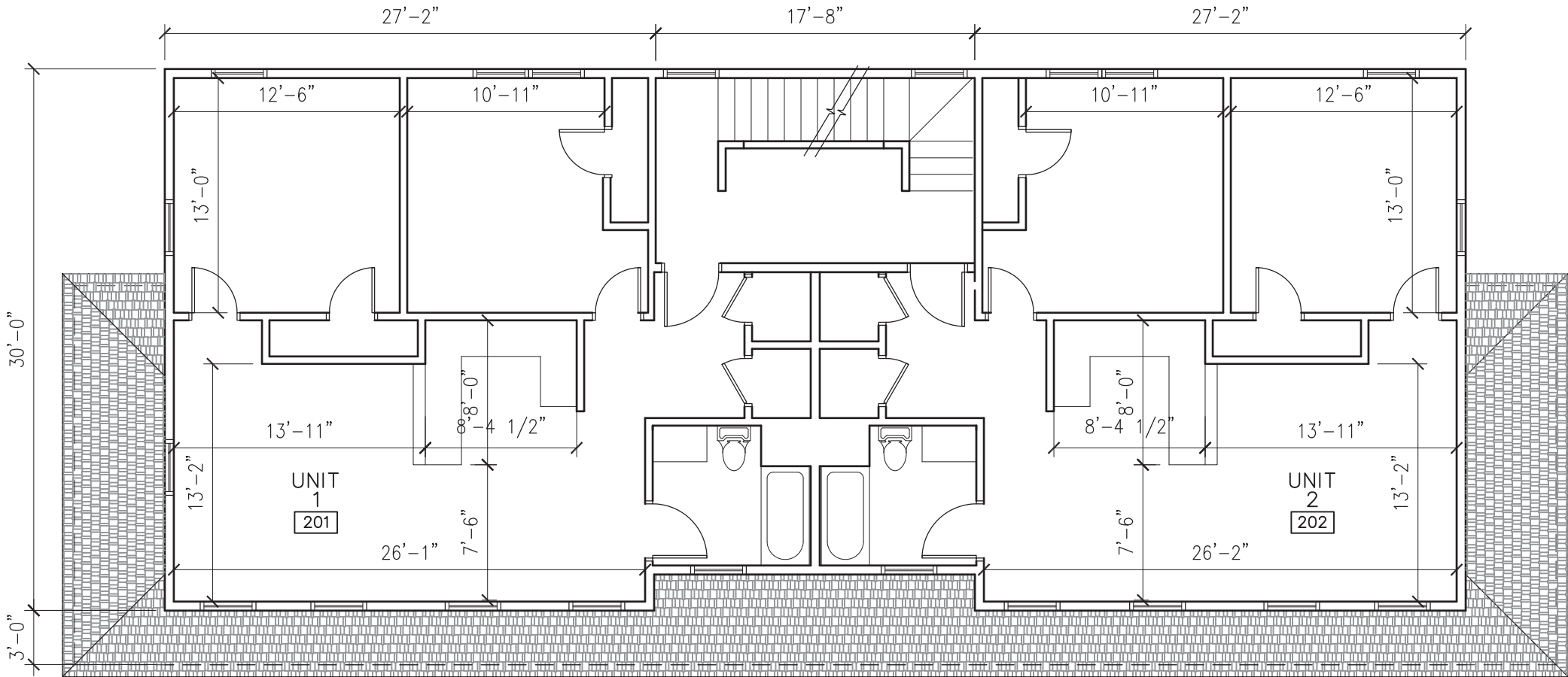
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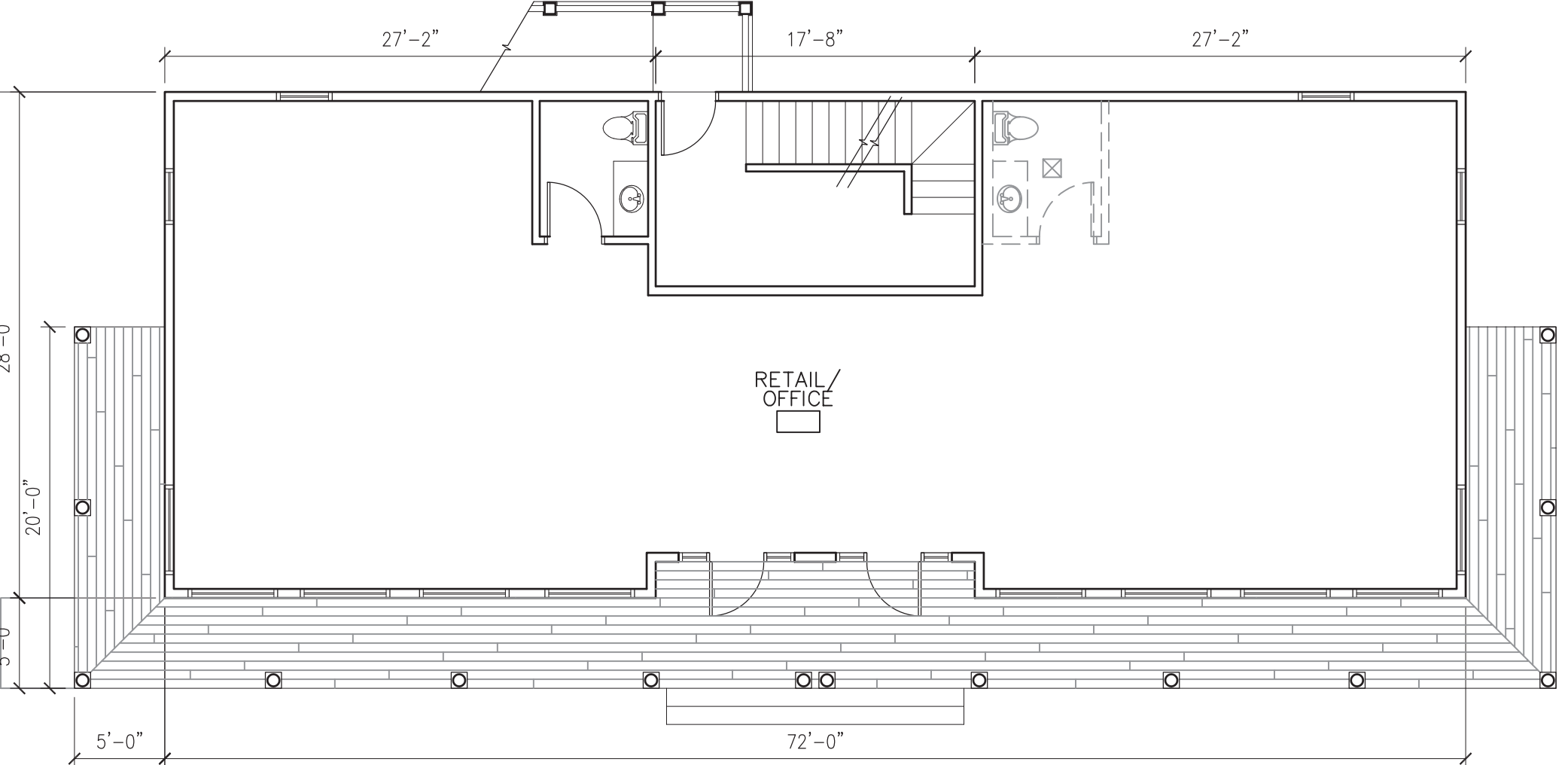
A1.0



3 3RD FL. — CLARK HOUSE
SCALE: 1/8" = 1'-0"



2 2ND FL. — CLARK HOUSE
SCALE: 1/8" = 1'-0"



1 1ST FL. — CLARK HOUSE
SCALE: 1/8" = 1'-0"

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DATE: _____

FOR REGISTRY USE

REGISTERED ARCHITECT



6 REAR ELEVATION
CLARK HOUSE
SCALE: 1/8" = 1'-0"



7 RIGHT ELEVATION
CLARKHOUSE
SCALE: 1/8" = 1'-0"



5 LEFT ELEVATION
CLARKHOUSE
SCALE: 1/8" = 1'-0"



4 FRONT ELEVATION
CLARK HOUSE
SCALE: 1/4" = 1'-0"



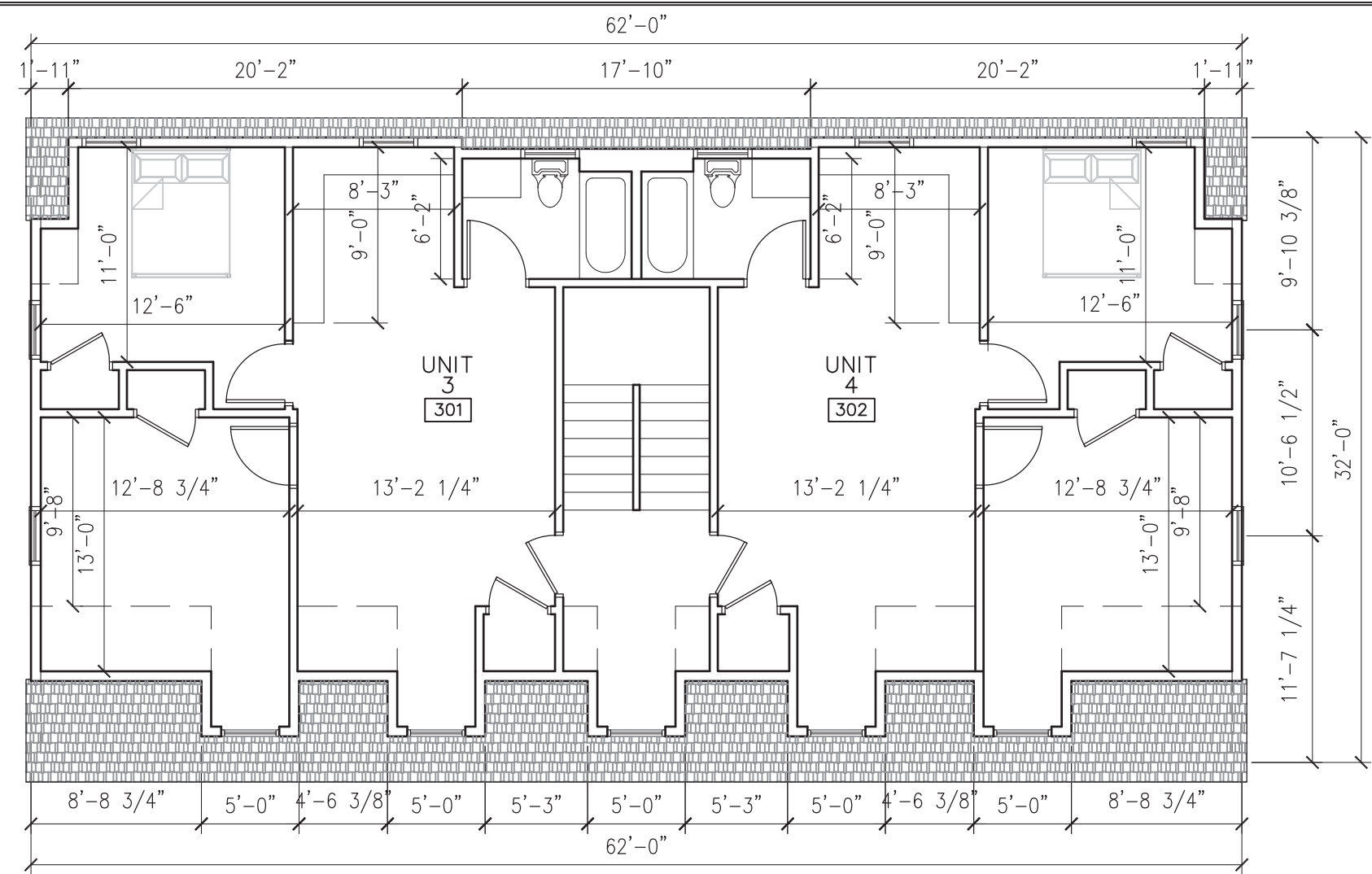
6
A2.0 REAR ELEVATION
PLIMPTON HOUSE
SCALE: 1/8" = 1'-0"



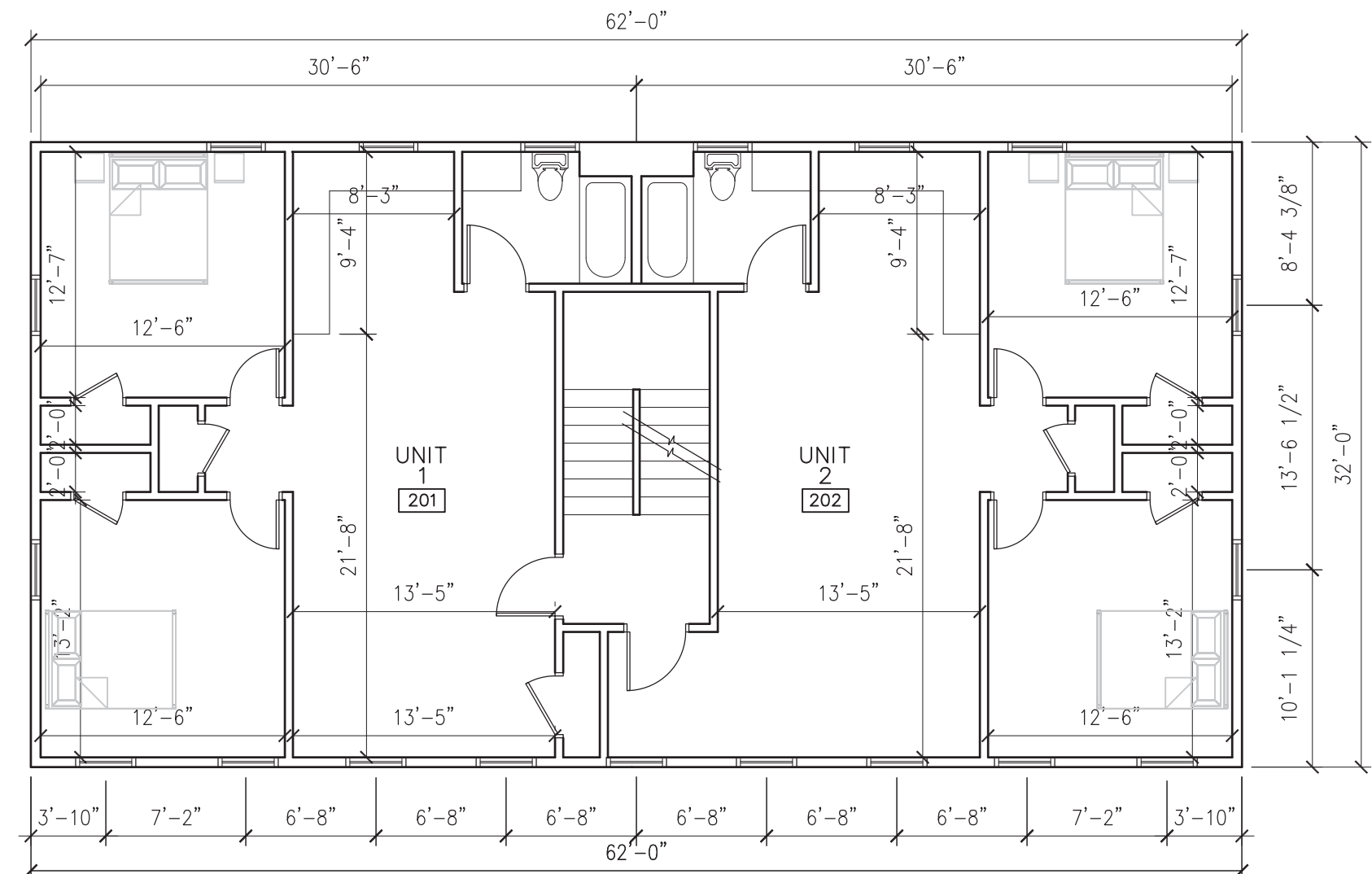
5
A2.0 TYP. SIDE ELEVATION
PLIMPTON HOUSE
SCALE: 1/8" = 1'-0"



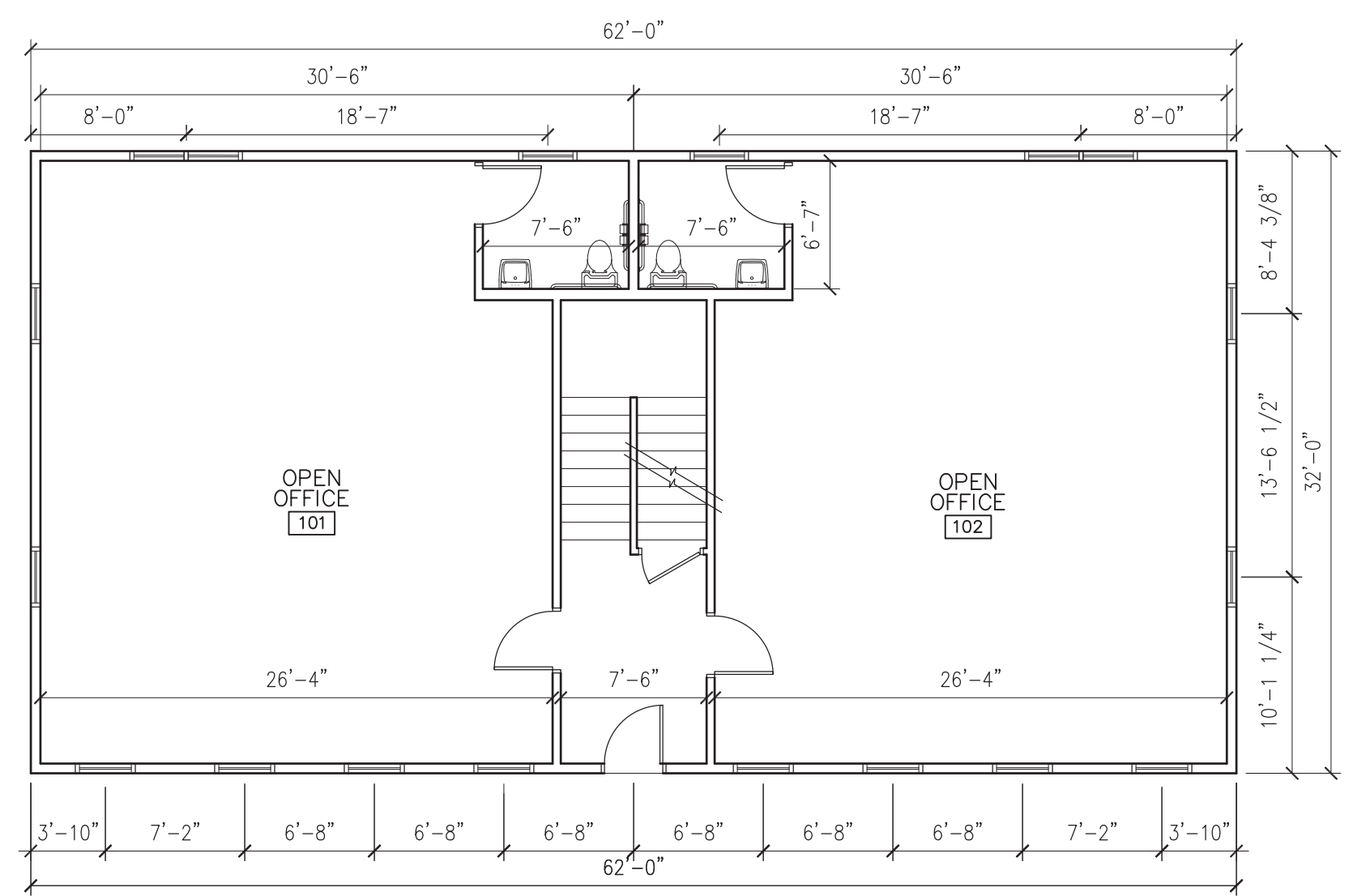
4
A2.0 FRONT ELEVATION
PLIMPTON HOUSE
SCALE: 1/4" = 1'-0"



3
A2.0 3RD FL. — PLIMPTON HOUSE
SCALE: 1/8" = 1'-0"



2
A2.0 2ND FL. — PLIMPTON HOUSE
SCALE: 1/8" = 1'-0"



1
A2.0 1ST FL. — PLIMPTON HOUSE
SCALE: 1/8" = 1'-0"

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COMMONWEALTH OF MASSACHUSETTS

DATE: _____

FOR REGISTRY USE

REGISTERED ARCHITECT



110 PEACH STREET, SUITE 100B
WALPOLE, MASSACHUSETTS 02081
P. 508-734-5236 F. 508-734-5256

DRAWING STATUS:

**PLANNING BOARD
PERMITTING
NOT FOR CONSTRUCTION**

CLIENT:

PROJECT:

THE SETTLEMENT, 1657
119 MAIN ST.
MEDWAY, MA

DRAWING:

THE PLIMPTON HOUSE
32'x62'

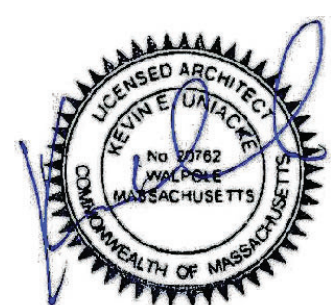
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Date: 2/16/2021

Job #: 20021

Drawn by: TJF

Checked by: KEU



A2.0



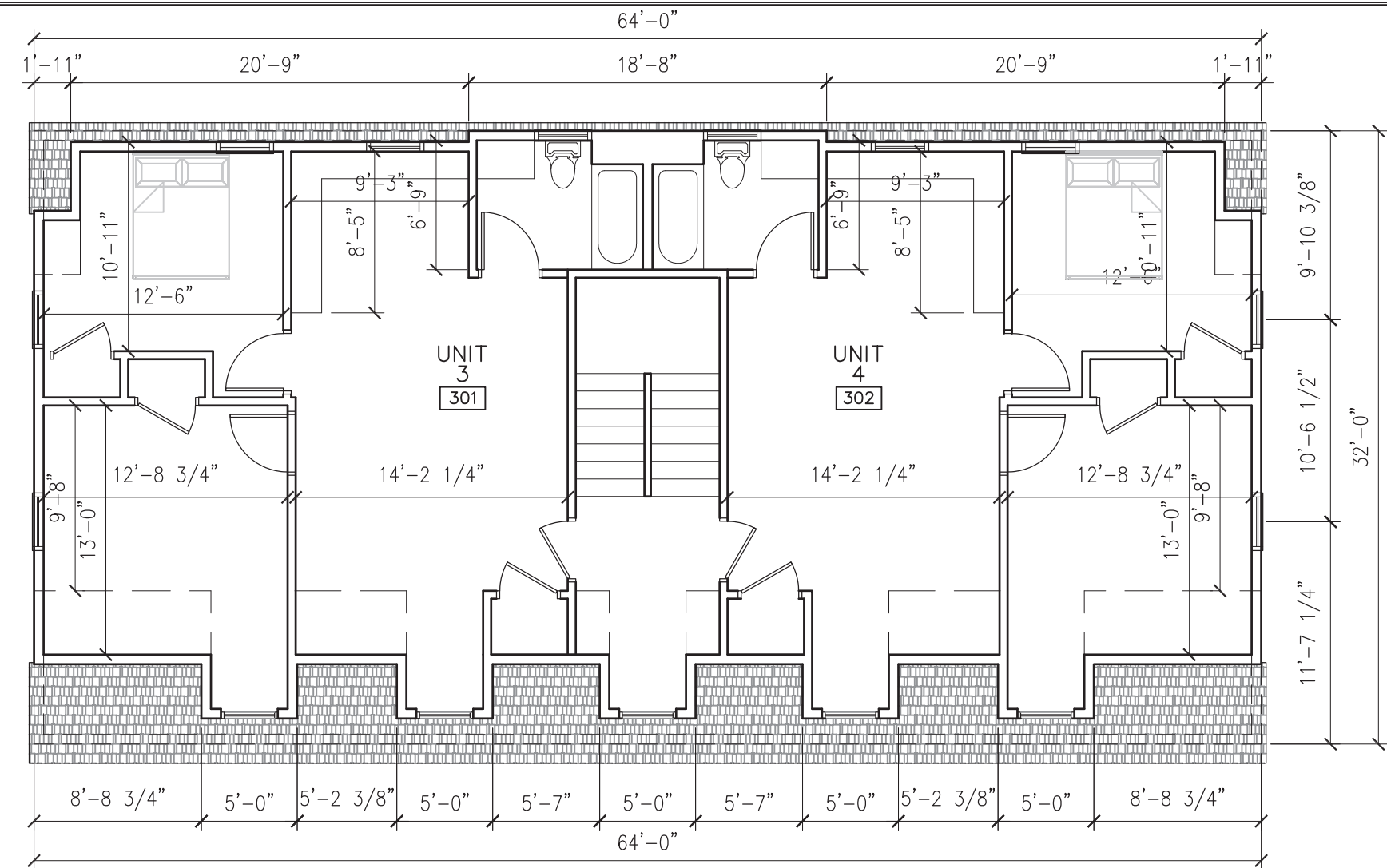
6
A3.0 REAR ELEVATION
FRAIRY/BULLARD HOUSE
SCALE: 1/8" = 1'-0"



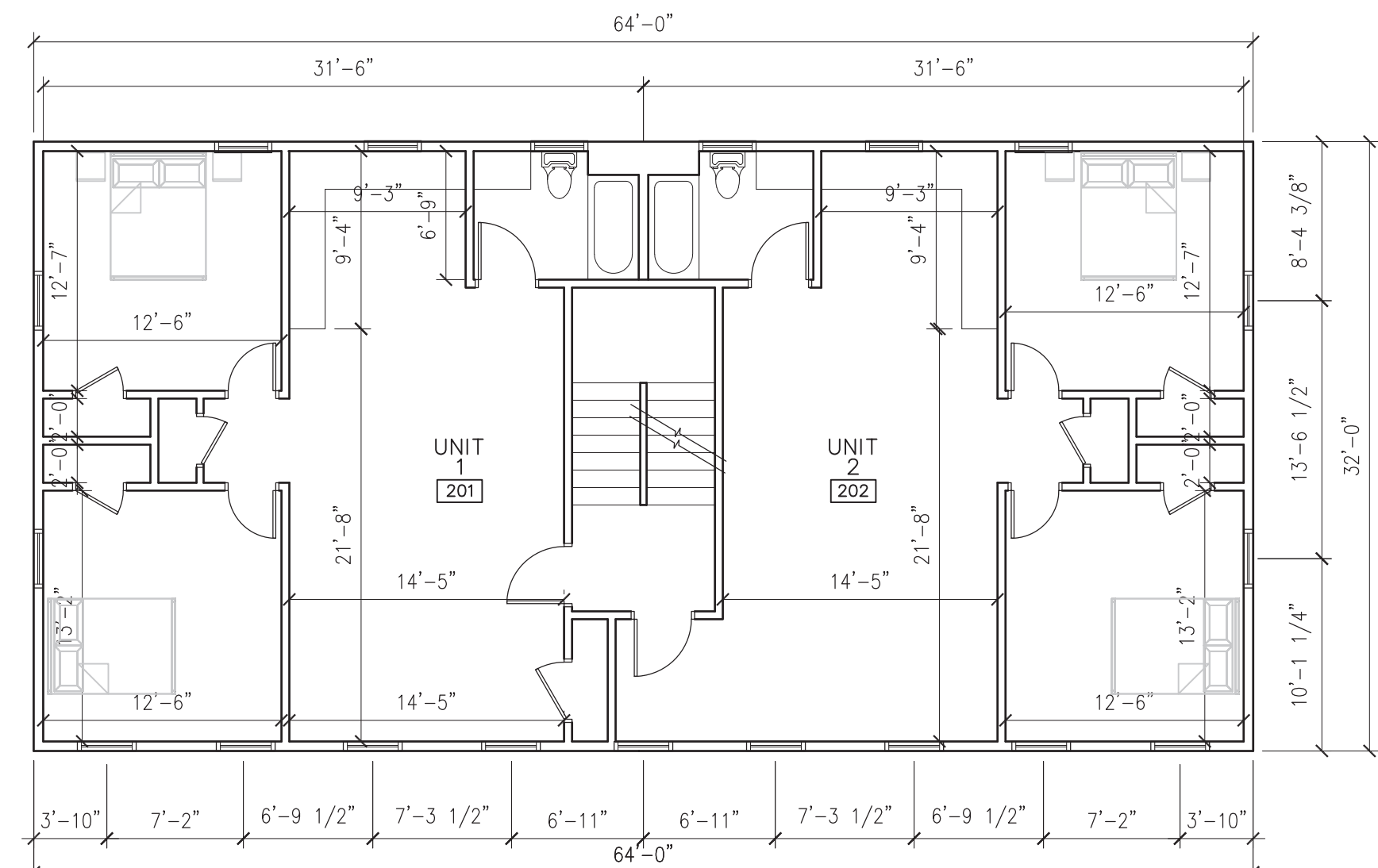
5
A3.0 TYP. SIDE ELEVATION
FRAIRY/BULLARD HOUSE
SCALE: 1/8" = 1'-0"



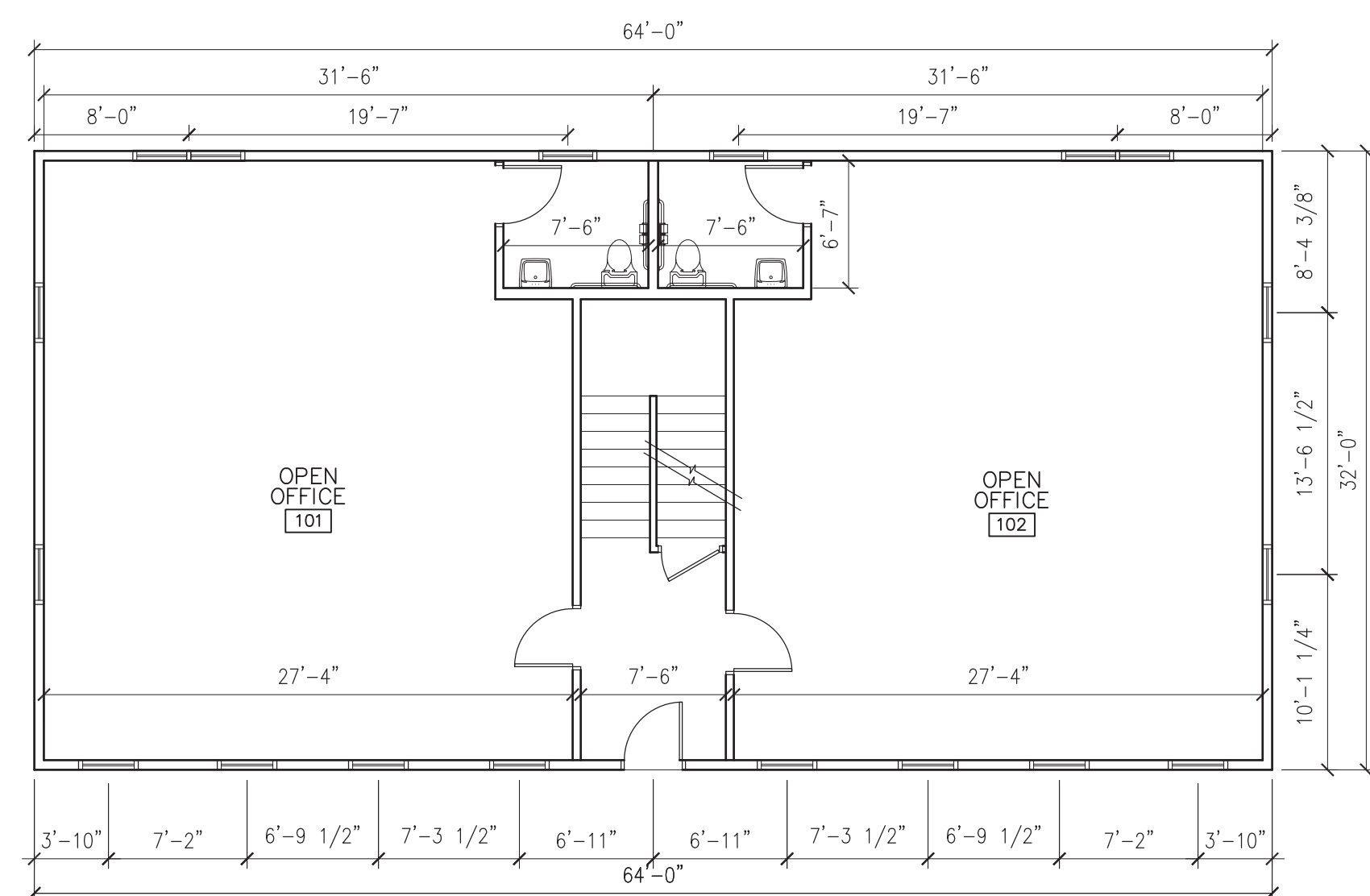
4
A3.0 FRONT ELEVATION
FRAIRY/BULLARD HOUSE
SCALE: 1/4" = 1'-0"



3
A3.0 3RD FL. — FRAIRY/BULLARD HOUSE
SCALE: 1/8" = 1'-0"



2
A3.0 2ND FL. — FRAIRY/BULLARD HOUSE
SCALE: 1/8" = 1'-0"



1
A3.0 1ST FL. — FRAIRY/BULLARD HOUSE
SCALE: 1/8" = 1'-0"

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DATE: _____

FOR REGISTRY USE

REGISTERED ARCHITECT



110 PEACH STREET, SUITE 100B
WALPOLE, MASSACHUSETTS 02081
P. 508-734-5236 F. 508-734-5256

DRAWING STATUS:

**PLANNING BOARD
PERMITTING
NOT FOR CONSTRUCTION**

CLIENT:

PROJECT:

THE SETTLEMENT, 1657
119 MAIN ST.
MEDWAY, MA

DRAWING:

THE FRAIRY HOUSE &
THE BULLARD HOUSE
32'x64'

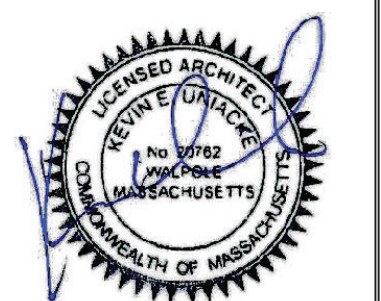
Scale: AS NOTED

Date: 2/16/2021

Job #: 20021

Drawn by: TJF

Checked by: KEU



A3.0

DRAWING STATUS:

**PLANNING BOARD
PERMITTING**

NOT FOR CONSTRUCTION

CLIENT:

PROJECT:

THE SETTLEMENT, 1657
119 MAIN ST.
MEDWAY, MA

DRAWING:

THE BULLEN HOUSE
32'x64'

Scale: AS NOTED

Date: 2/16/2021 Job #: 20021

Drawn by: TJF Checked by: KEU

MASSACHUSETTS

REGISTERED ARCHITECT

NO. 00122

JOHN P. JEFFREY

2/16/2021

A3.1



FRONT ELEVATION
BULLEN HOUSE

4
A3.1
SCALE: 1/4" = 1'-0"



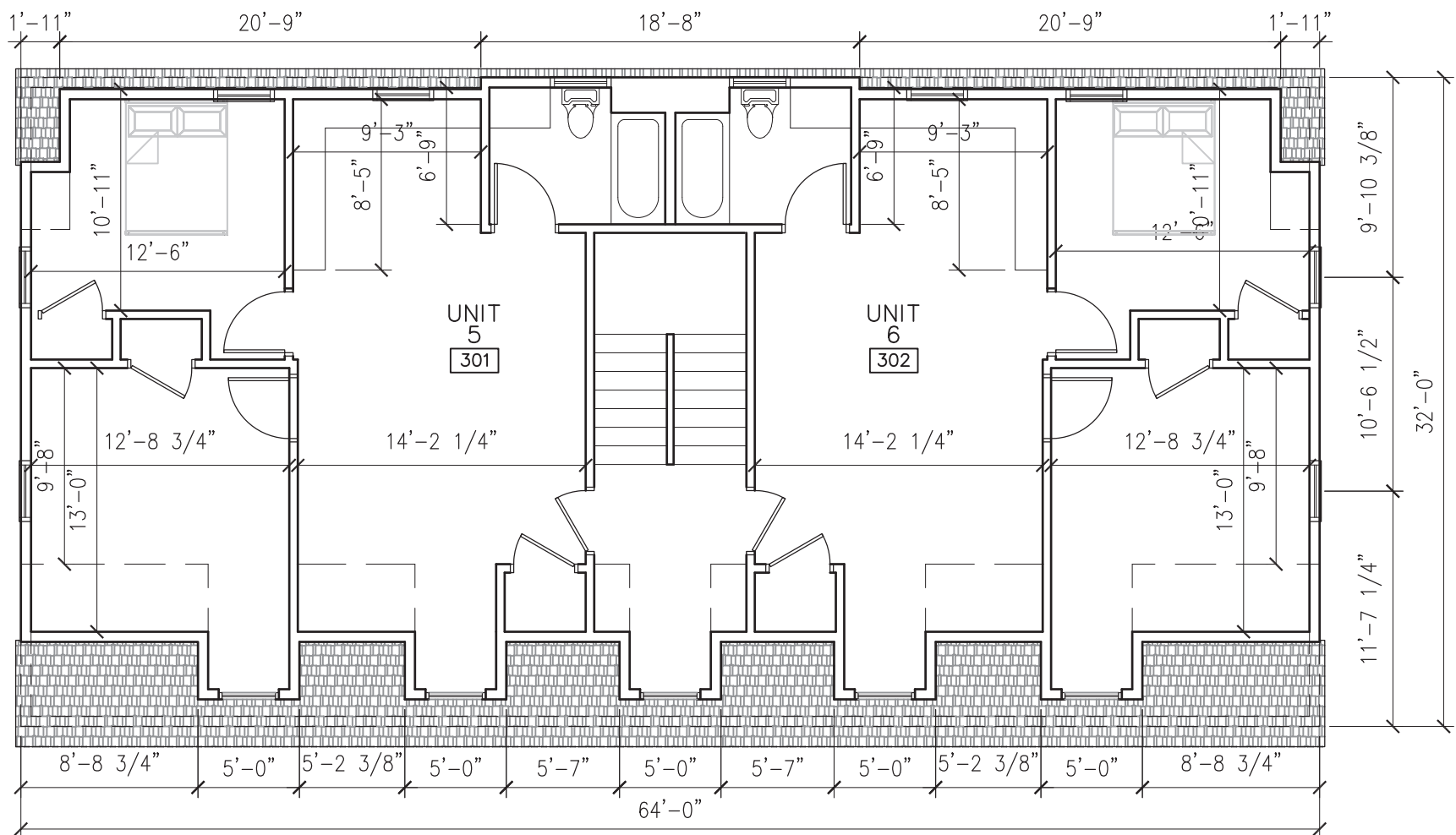
TYP. SIDE ELEVATION
BULLEN HOUSE

5
A3.1
SCALE: 1/8" = 1'-0"



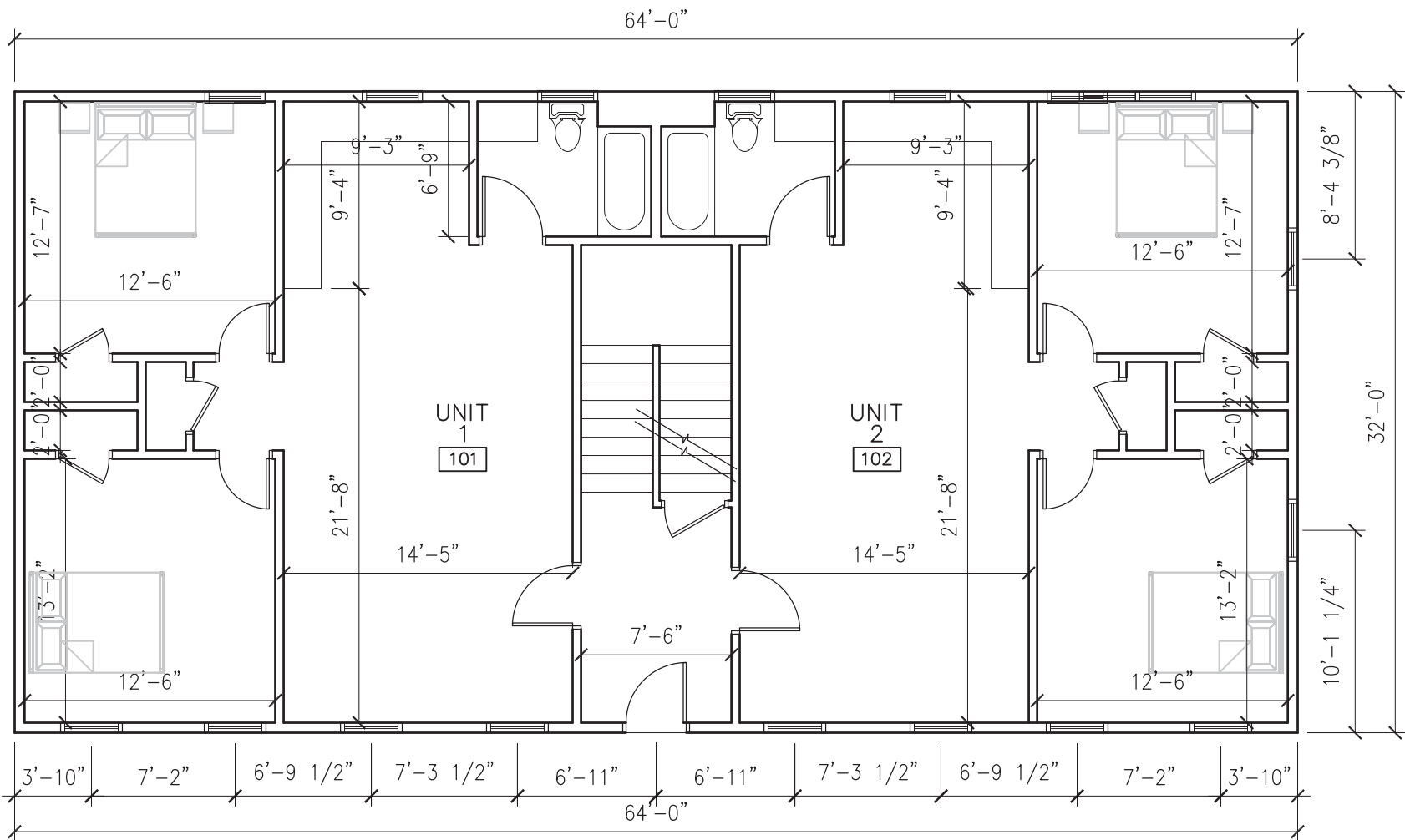
REAR ELEVATION
BULLEN HOUSE

6
A3.1
SCALE: 1/8" = 1'-0"



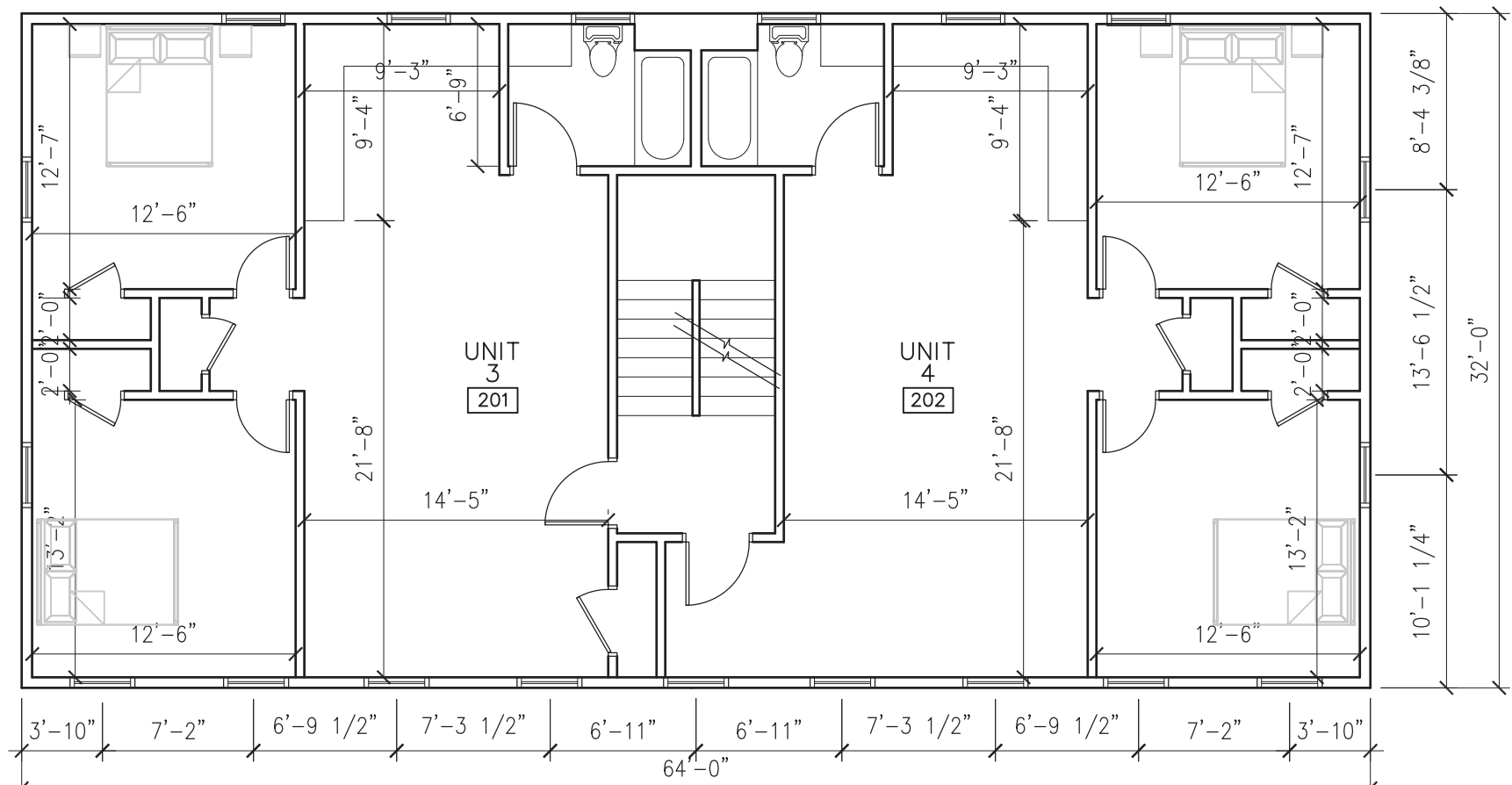
3RD FL. — BULLEN HOUSE

3
A3.1
SCALE: 1/8" = 1'-0"



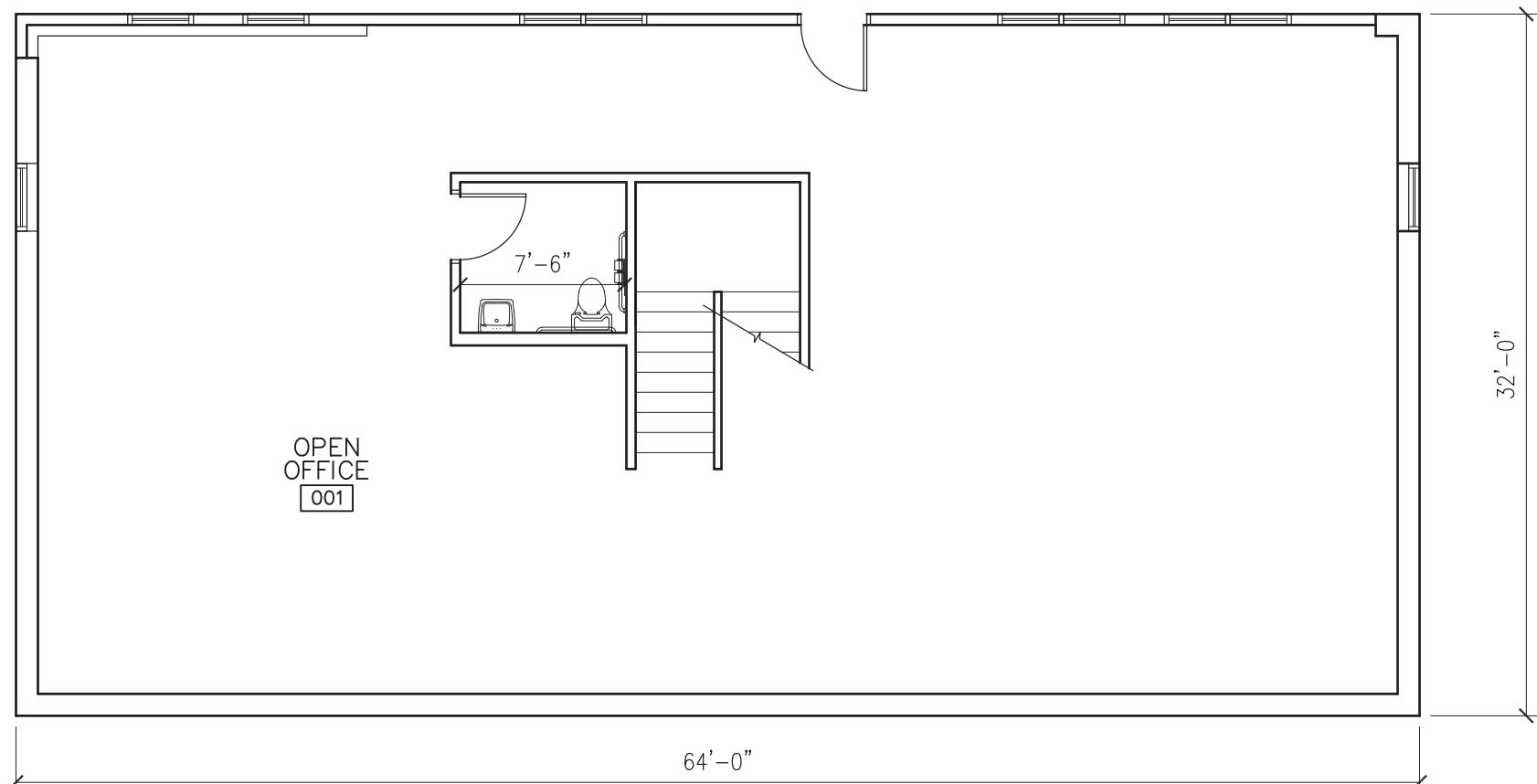
1ST FL. — BULLEN HOUSE

1
A3.1
SCALE: 1/8" = 1'-0"



2ND FL. — BULLEN HOUSE

2
A3.1
SCALE: 1/8" = 1'-0"



WALK-OUT BASEMENT — BULLEN HOUSE

0
A3.1
SCALE: 1/8" = 1'-0"

I HEREBY CERTIFY THAT THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE LINES DIVIDING EXISTING OWNERSHIPS, AND THE LINES OF THE STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED, AND THAT NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS

DATE: _____

FOR REGISTRY USE

REGISTERED ARCHITECT



LEFT SIDE ELEVATION
SMITH HOUSE

SCALE: 1/8" = 1'-0"



REAR ELEVATION
SMITH HOUSE

SCALE: 1/8" = 1'-0"



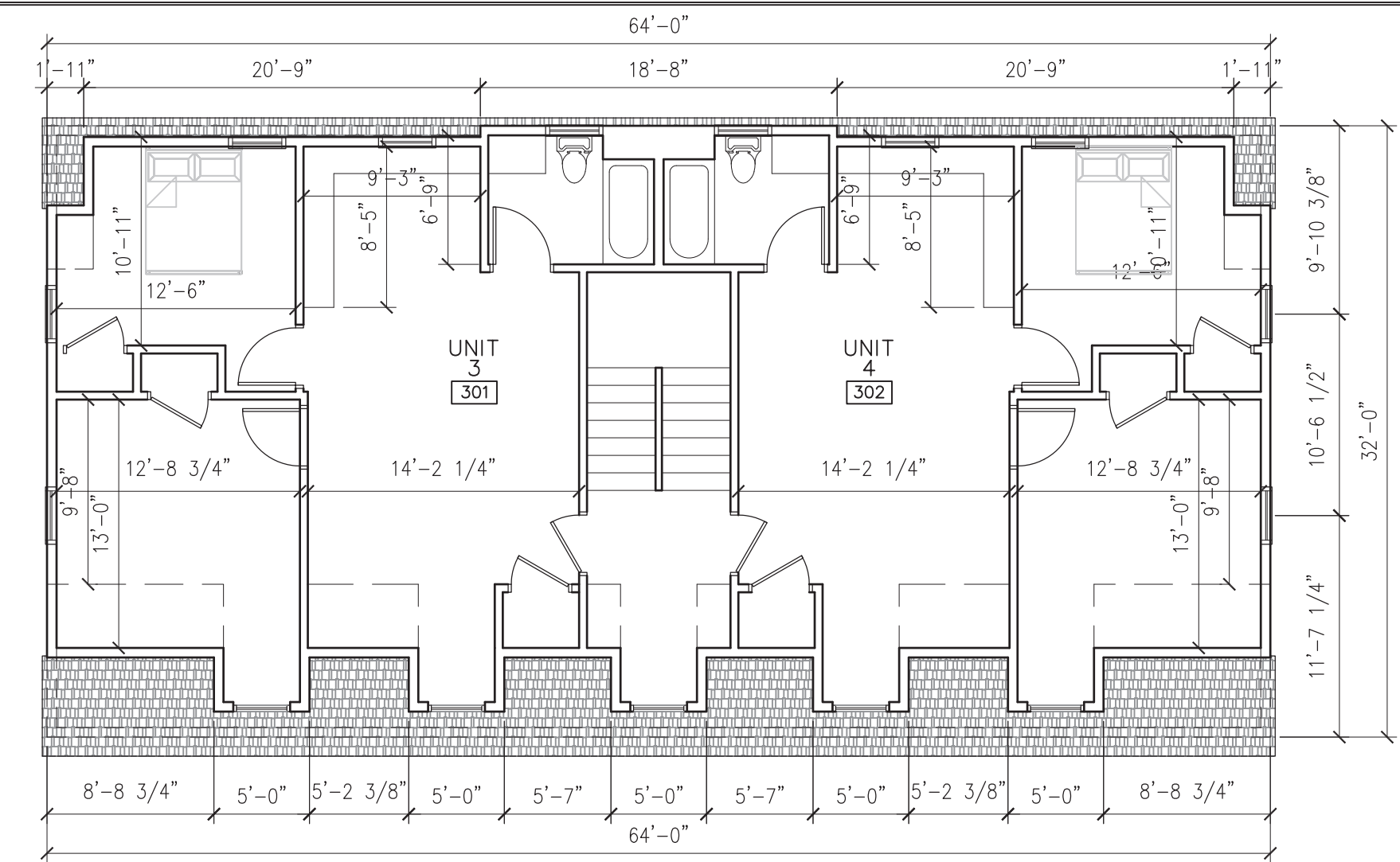
RIGHT SIDE ELEVATION
SMITH HOUSE

SCALE: 1/8" = 1'-0"



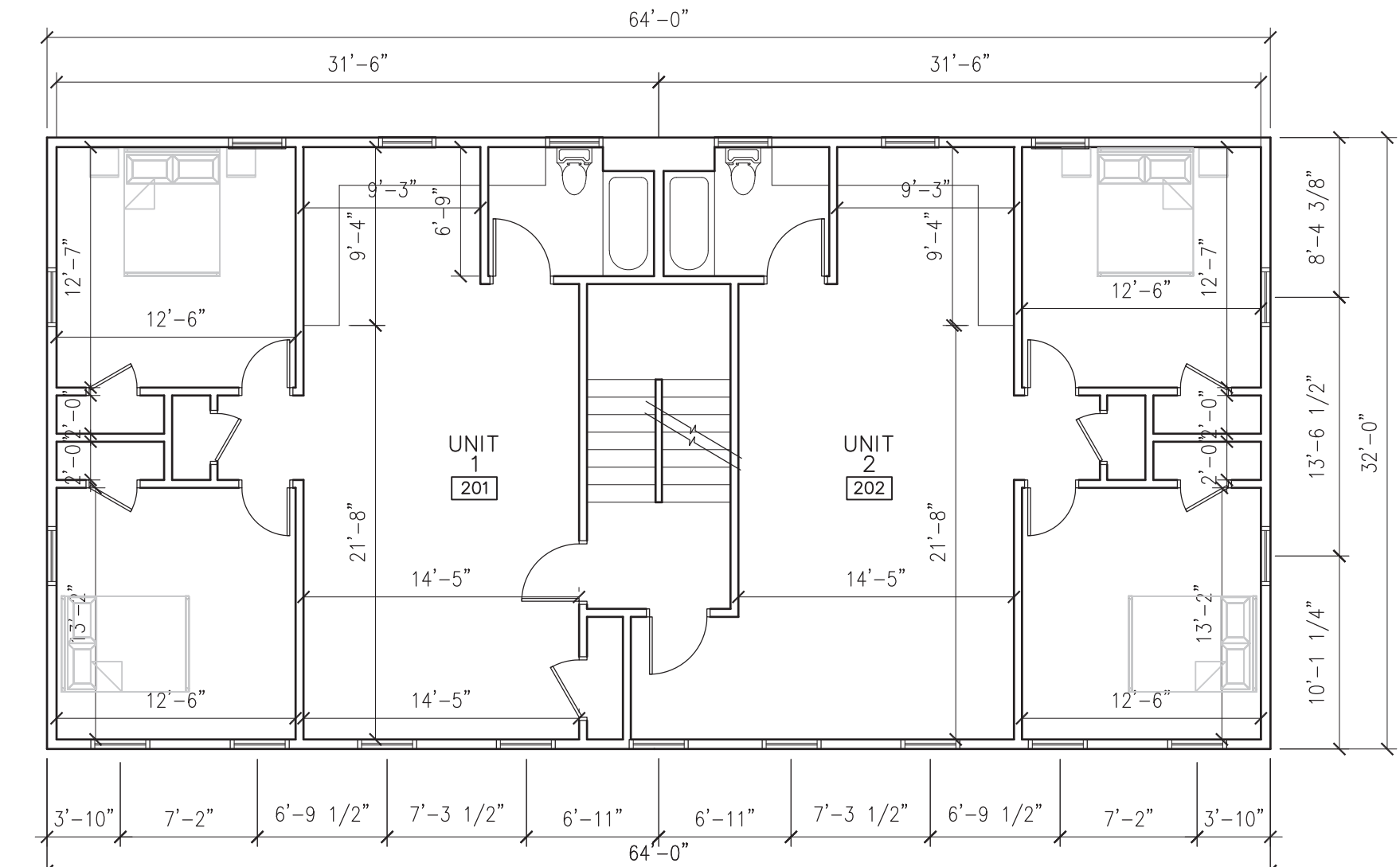
FRONT ELEVATION
SMITH HOUSE

SCALE: 1/4" = 1'-0"



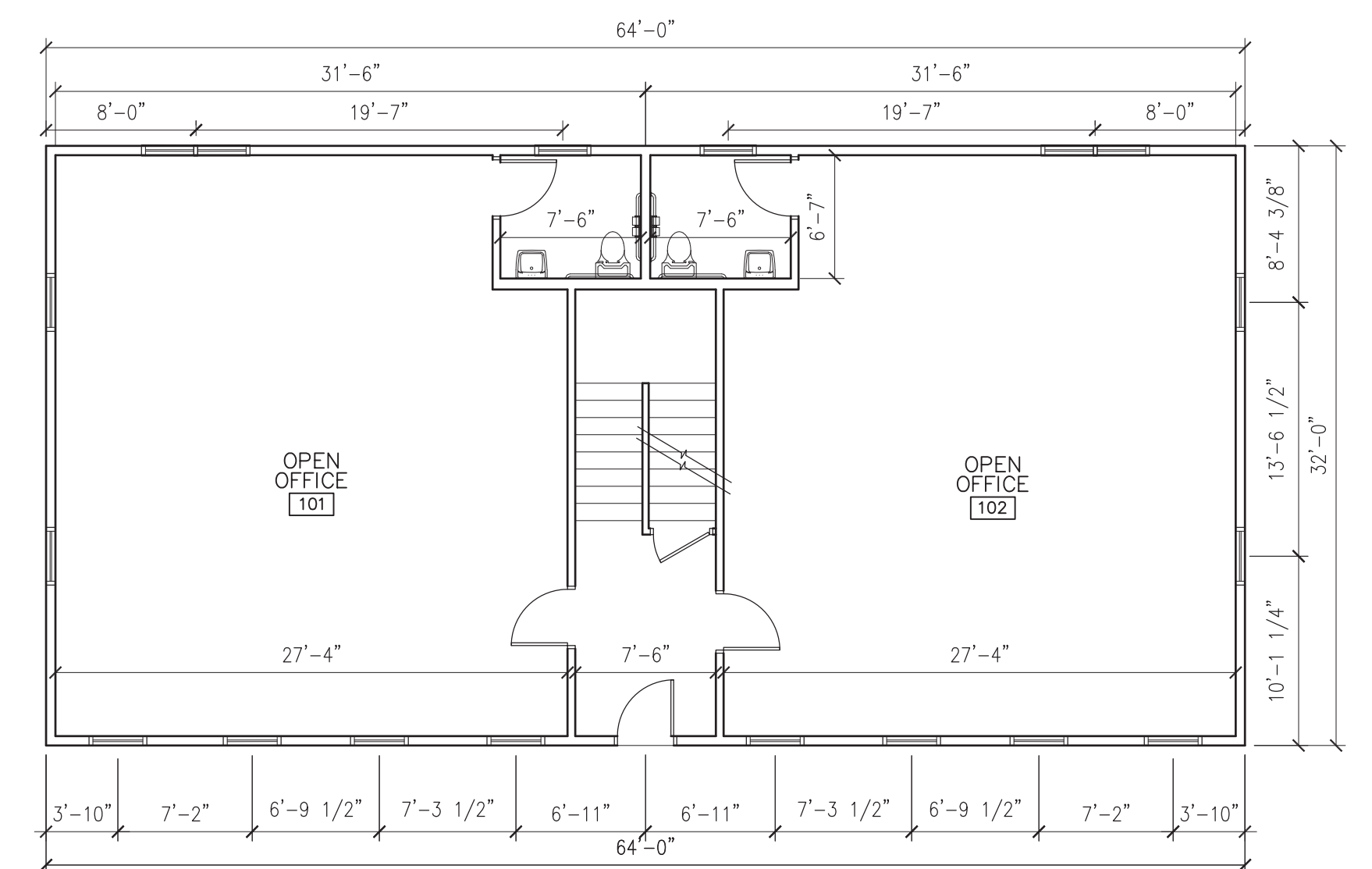
3RD FL. — SMITH HOUSE

SCALE: 1/8" = 1'-0"



2ND FL. — SMITH HOUSE

SCALE: 1/8" = 1'-0"



1ST FL. — SMITH HOUSE

SCALE: 1/8" = 1'-0"

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PREPARED IN CONFORMITY WITH THE
RULES AND REGULATIONS OF THE
REGISTERS OF DEEDS OF THE
COMMONWEALTH OF MASSACHUSETTS

DATE: _____

FOR REGISTRY USE

REGISTERED ARCHITECT



110 PEACH STREET, SUITE 100B
WALPOLE, MASSACHUSETTS 02081
P. 508-734-5236 F. 508-734-5256

DRAWING STATUS:

**PLANNING BOARD
PERMITTING**
NOT FOR CONSTRUCTION

CLIENT:

PROJECT:

THE SETTLEMENT, 1657
119 MAIN ST.
MEDWAY, MA

DRAWING:

THE SMITH HOUSE
32'x64'

Scale: AS NOTED

Date: 2/16/2021

Job #: 20021

Drawn by: TJF

Checked by: KEU



A3.2