

### Board Members

Matt Buckley, Chair  
Janine Clifford, Vice Chair  
Jamie Ahlstedt, Member  
Susan Alessandri, Member  
Jessica Chabot, Member  
Thomas Gay, PEDB  
Representative



Medway Town Hall  
155 Village Street  
Medway, MA 02053  
Telephone (508) 533-3291  
Fax (508) 321-4987  
Email: DRC@townofmedway.org  
www.townofmedway.org

## TOWN OF MEDWAY COMMONWEALTH OF MASSACHUSETTS DESIGN REVIEW COMMITTEE

APPROVED – April 3, 2023

### DRC Meeting Minutes Monday, March 20, 2023 Zoom (Remote) Meeting

**Call to Order:** – With a quorum present, this remote meeting was called to order by the Chair Mr. Buckley at 7:00 p.m.

Members	Matthew Buckley	Janine Clifford	Tom Gay	Jessica Chabot	Susan Alessandri	Jamie Ahlstedt
Attendance	X	X	X	X	Absent with Notice	X

*Pursuant to the provisions of Chapter 107 of the Acts of 2022, an act which extends certain COVID-19 measures adopted during the State of Emergency, and under which public bodies retain the option of holding open meetings and hearings remotely, and in accordance with the Medway Select Board's remote participation policy as amended at its July 2, 2021 meeting, Design Review Committee members participated remotely for this meeting. Access via Zoom was provided for public participation. All persons participated remotely in the meeting via Zoom.*

At 7:00 PM Mr. Buckley called the meeting to order and conducted a roll call of members present via Zoom as follows: Matthew Buckley, Janine Clifford, Tom Gay, Jess Chabot, and Jamie Ahlstedt.

Also present via Zoom:

- Susy Affleck-Childs, Planning and Economic Development Coordinator
- Cam Alfonso (Signs by Cam) for LZ Nails & Spa at Gould's Plaza, 74 Main ST
- Tabet Charbel, Supreme Pizza, 67 Main ST
- Erik Medeiros, Aharonian & Associates and Sean Donovan (Viewpoint Signs) for Dunkin', 81A Main ST
- David Faist, Project Engineer and Joseph Deluca, Architect (MDA) - ETS Equipment Rentals, 39 Alder ST

### **Approval of DRC Meeting Minutes - March 06, 2023:**

*A motion was made by Ms. Clifford to approve the minutes of the 03/06/2023 DRC meeting as submitted, seconded by Ms. Chabot.*

### **Roll Call Vote:**

*Matt Buckley - Aye*

*Janine Clifford - Aye*

*Jamie Ahlstedt – Aye*

*Jess Chabot- Aye*

*Tom Gay- Abstained*

*The motion passed.*

### **Sign Design Review – LZ Nails & Spa at Gould's Plaza, 74 Main ST**

Mr. Buckley started the discussion on the topic. Cam Alfonso attended the meeting remotely representing the applicant. The application is for one wall/ façade sign and two insert panels for the free-standing multi-tenant sign. (*See Attached.*) Lighting will be internally illuminated on the free-standing multi-tenant sign facade, and the externally illuminated on the façade sign. Ms. Chabot talked about the relevance and value of having the master signage plan for Gould's Plaza and reiterated its importance in making the process easier for the applicants and committee members when reviewing projects. Committee members were satisfied with the submitted design including the logo. Ms. Affleck-Childs confirmed about the lighting aspect of the design. To a question, Mr. Alfonso stated it's a whole new sign in aluminum ivory color palette with same design specs as the old sign. Ms. Chabot agreed to write the DRC review letter for the project.

### **Sign Design Review – Supreme Pizza at Medway Commons, 67 Main ST**

Mr. Tarbet Charbel (business owner) attended the meeting remotely. Ms. Affleck-Childs started the discussion and mentioned the business is relocating within Medway Commons due to the addition of the new business, Bright Path Childcare Center. Supreme Pizza has an existing sign that's 18 sq. ft (*See Attached*) in dimensions. Owner intends to use the existing sign and relocate it to the new location. However, the storefront width of the new location allows for only 16 sq. ft. of sign surface area. An application has been filed with the ZBA for a variance to allow the business to utilize the existing sign, which is 2 sq. ft. larger than what is allowed. Ms. Affleck-Childs reminded everyone about the provision in the Zoning Bylaw that if someone seeks a variance or special permit, related to signs, the DRC will get an opportunity to comment on it. The impetus of the request for the variance is the cost originally spent on the existing sign and the additional cost that will be incurred by the owner if a new sign must be fabricated to meet the size requirements. The ZBA hearing for the application is on 04/05/23.

Mr. Charbel explained the existing sign does not necessarily take up a full 2 additional sq. ft. of sign surface area. He stated the words "Pizza & Grill" along with pizza slice graphic are an addition to the existing sign. It was noted the word "Supreme" has been harvested from the old sign and it is the capital "S" and the lower case "p" that account for the additional size. Ms. Chabot said she's OK with keeping the existing sign as is since it is not the applicant's fault that they had to relocate their store within the plaza. She said she is not in favor of the DRC recommending that the applicant cannot keep the existing sign. Other members agreed with Ms. Chabot's comments. Ms. Clifford commented about the potential damage to letters "S" and "p" from weather elements including snow as they protrude above the roof line.

Mr. Charbel said the sign will be installed on a frame which creates some space between the backer and the letters thereby not damaging them. Question was asked if the new words on the sign are flush mounted to the façade and the response was that the letters are affixed to a raceway. Ms. Affleck-Child's suggested the proposed raceway color should match the façade color for consistency. Ms. Clifford will write the DRC letter for the project.

*Mr. Buckley made a motion to accept the sign with the dimensions as shown in the drawings submitted to the DRC, seconded by Ms. Clifford. The motion was amended that DRC agrees to a sign size that's appropriate and consistent with the Design Review Guidelines and that the larger sign size (18 Sq. Ft.) is suitable for the new space. Mr. Chabot seconded the revised motion.*

**Roll Call Vote:**

*Matt Buckley - Aye*

*Janine Clifford - Aye*

*Jamie Ahlstedt – Aye*

*Tom Gay- Aye*

*Jess Chabot- Aye*

*The motion passed.*

**Façade Improvement and Sign Review – Dunkin, 81A Main ST**

Based on the comments provided at the last DRC meeting, revised sign and façade improvement packages were submitted to the DRC with updated elevations and changes made to the areas around proposed signs. (*See Attached.*) Mr. Medeiros participated in the meeting remotely and started the discussion. He said the signage package has been scaled down and includes three building signs thereby meeting zoning requirements. They removed the accent wall signage on the east elevation/ drive through side. Changes were also made to the monolith features of the building façade. The Dunkin' channel letters will be placed on the parapet below the roof line on the front (north) façade. The design of the wood and color band around it were revised to make it visually appealing. On the west elevation (parking lot side) the design above the entry had the sign positioned on the monolith feature. However, based on DRC comments, the DD sign was moved northerly (closer to the street) and on white backer.

Mr. Donovan talked about design changes made to the signs. They were repositioned as discussed. The channel letters will remain as proposed before but will be relocated to lower fascia. The sign dimensions will also remain the same. No changes on the pylon signs. The directional signs have been changed to only include Enter and Exit. It was noted the information on the menu board including the specs were provided in the drawings. Ms. Affleck-Childs noted the sign summary for the application has been updated to reflect the latest changes. Mr. Buckley will draft the DRC comment letters.

**Informal, pre-application discussion – ETS Equipment Rentals, 39 Alder Street  
Site Plan and Building Elevations, 39 Alder ST**

Ms. Affleck-Childs started the discussion and provided a brief overview of the project. It will be a major site plan with special permits for groundwater protection and outdoor storage. An Order of Conditions and a Land Disturbance Permit from the CONCOM are also needed. Applications will be for building development for ETS equipment rentals and will be submitted to PEDB in mid-April. ETS is a heavy construction equipment rental company. (NOTE – The property is located in the West Industrial zoning district.)

Mr. Joe DeLuca (project architect) reviewed the project specifics with the committee. (*See Attached*) The proposal is to build a single-story prefabricated steel building (80'x 150'). The front of the building faces Alder Street where about 2,000 sq. ft. is allocated for a small showroom, office space, and auxiliary utility space in a parts room. This will be the area that is frequented by public and the space behind will be for the equipment. A second-floor storage area of 2,000 sq. ft. with a small mezzanine structure with removable railing is proposed above the office area to provide equipment and storage space. The entire rear of the facility is proposed for large rental equipment storage and will also include wash bays for cleaning equipment. Design for the building exterior is in development. The building height is just over 34' to the top of the parapet in the front. The eaves are at 25 feet. The Alder Street main entrance includes a two-story lobby space that is about 13.5' high. The signage schematic is preliminary; the logo is being developed. It includes black lettering with an orange gear graphic underneath (*See Attached*). The sign will align with the Design Review Guidelines. A sign company has not been hired for the project yet.

An Exterior Insulation Finishing System (EIFS) facade on the metal building is proposed; it will be fabricated to look like concrete. The proposal is to construct a 36-48" high foundation and install the building on top of it. The steel building manufacturer has not been hired yet. The building rear will have an extended roof to cover exterior equipment to be parked in that location. Mr. Deluca showed the color scheme for the building. A darker gray or a dark bronze storefront color aluminum window system is being considered. Mr. Buckley asked if a monument sign is being considered at the entrance and the response was that it is in discussion.

Mr. David Faist (project engineer) talked about the site plan for the project. The property is located on Alder Street which is in the industrial park. The property is about 7.7 acres in size. The proposal is to develop 1.5- 2 acres in the front portion that is directly adjacent to Alder Street. Steve Costa, owner of ETS Equipment, purchased the property last year. The site is currently undeveloped. Mr. Faist stated he has been working with Mr. Costa for the last 6-8 months to develop a plan. There are wetlands on the property that have been flagged. The immediate abutters to the property were discussed. To the east, Jeff and John Frisco operate a mail sorting business from a small steel building. The Lawrence Waste facility sits on the other side of the wetlands to the west. The proposal is to provide a 30-foot curb cut at the Alder Street entrance with some customer and employee parking. There will be a 5-foot buffer from the 25' Conservation no disturb zone to allow for building construction. The rear of the developed portion of the site will be used for equipment storage. The business sells scissor lifts, large boom lifts along with small construction equipment like bobcats. There will be a gated entrance to the equipment storage area. It was mentioned the site is in aquifer protection zone, a waiver will be needed; a NOI will be filed with CONCOM. This project will include underground stormwater recharge, as well as some planting enhancements in front of the building. Mr. Buckley asked about the screen heights that are used to conceal the equipment from unwanted attention. Mr. Faist will check and get back to the committee on the question.

Ms. Affleck-Childs stated the first iteration of the plans were discussed with Town staff at the Interdepartmental Review meeting a month ago. This group consists of reps from DPW, Fire, Conservation, Building, Planning, and Police departments.



## OTHER BUSINESS

- Ms. Affleck-Childs stated the State authorization to municipalities that enables boards and commissions to conduct remote meetings will expire on March 31<sup>st</sup>. The House of Representatives has passed a version to extend it two more years. The State Senate has passed its own version to extend it two more years. The extension is expected to come through the legislature and to be signed by the Governor, but the timing to do so is uncertain. As a backup, space at the library has been requested for an in-person DRC meeting on April 3<sup>rd</sup> if needed.
- Medway Cultural Council and Historic Commission have been working together for one + years with the Select Board to develop a scheme for wrapping utility boxes around town. Proposals have been solicited from local artists. Both groups are expected to attend the April 3<sup>rd</sup> DRC meeting to discuss their projects and plans.
- April 3<sup>rd</sup> DRC meeting will be the last meeting to be attended by Ms. Affleck-Childs. She asked one of the members to take over Zoom manager responsibilities until her replacement is hired. Ms. Chabot expressed her willingness to volunteer but wasn't sure if she'll be able to attend all meetings.
- Town meeting is on May 8<sup>th</sup>. All board and commission members are encouraged to attend.
- 7 Sanford Street had a good meeting with the ZBA last week. They were granted two variances to allow construction of 6 residential units on a lot that is less than 30,000 sq. ft. The ZBA's variance approval is contingent upon the applicant securing a multifamily special permit and site plan review approval from the PEDB.
- A multi-family development application at 56 Summer St. is forthcoming within a month.

**Motion was made by Ms. Chabot to adjourn the meeting, seconded by Mr. Buckley**

**Roll Call Vote:**

***Matt Buckley - Aye***

***Janine Clifford – Aye***

***Tom Gay- Aye***

***Jamie Ahlstedt – Aye***

***Jessica Chabot- Aye***

***The motion passed.***

The meeting was adjourned at 8:45 p.m.

The next DRC meeting will be held on April 3rd, 2023.

Respectfully submitted,

Sreelatha Allam

Recording Secretary

Reviewed and edited by,

Susan E. Affleck-Childs

Planning and Economic Development Coordinator



## Medway Design Review Committee (DRC) **Application for Sign Design Review**

**Medway Location/Address** where the sign will be installed: \_\_\_\_\_

What is the interior width of the store/business that faces the street or parking lot: \_\_\_\_\_

**Building/Development Name:** (if applicable): \_\_\_\_\_

**Medway Zoning District:** \_\_\_\_\_

**Applicable Sign Standard Table** (from Medway Zoning Bylaw) Table # \_\_\_\_\_.

**Business Information** (Local Medway business establishment where the sign is to be installed)

Business Name: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

Contact person: \_\_\_\_\_

Phone: \_\_\_\_\_ Cell Phone \_\_\_\_\_

Email address: \_\_\_\_\_

**Type of Proposed Signs** – For sign definitions, refer to *Medway Zoning Bylaw (Section 7.2 Signs)*.  
The *Medway Zoning Bylaw* is available online at: [www.townofmedway.org](http://www.townofmedway.org).

Type of Sign	# of Signs	Signs Dimensions	Total Square Footage of Sign Surface Area	Sign Height	Type of Illumination (internal, external or none)
Wall/Façade Sign					
Free-standing Individual Business Sign					
Free-standing Multi-Tenant Development Sign					
Awning Sign					
Projecting Sign					
Directory Sign					
Window Sign					
Other Type of Sign (Describe)					

**Attach the following items to this form. Pdf format is requested for the application form and all attachments. Please email application and documents to [sachilds@townofmedway.org](mailto:sachilds@townofmedway.org)**

- \_\_\_\_\_ 1. Manufacturer's scaled COLOR drawing with dimensions and DETAILED specifications for materials and illumination.
- \_\_\_\_\_ 2. For a wall sign, a scaled image showing the sign's position on the building.
- \_\_\_\_\_ 3. Landscaping Plan and Plot Plan marked with location of the free-standing sign and distances from street/lot lines.
- \_\_\_\_\_ 4. Color photograph(s) of building/location(s) where sign will be installed and existing signs.
- \_\_\_\_\_ 5. Color drawing of corporate logo (if applicable).
- \_\_\_\_\_ 6. Color photograph of similar/comparable sign on which your sign design is based.
- \_\_\_\_\_ 7. A letter or other descriptive or explanatory information you want to provide to the DRC.

**Does this application pertain to a completely new sign?**

☐ Yes ☐ No (If NO, please include photos/info of the existing sign you are modifying)

**Does this application pertain to a replacement panel for an existing sign structure?**

☐ Yes (If yes, please include photos/info of the existing sign) ☐ No

**If the business is located in a multi-tenant development, is there a Master Sign Plan for the development?**

☐ Yes ☐ No ☐ Don't Know

**Does your lease require the property owner's approval of your sign?**

☐ Yes ☐ No ☐ Not applicable

**Sign Designer/Fabricator/Installer Information**

Company Name: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

Contact person: \_\_\_\_\_

Phone: \_\_\_\_\_ Cell Phone: \_\_\_\_\_

Email address: \_\_\_\_\_

**Property Owner Information**

Company Name: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

Contact person: \_\_\_\_\_

Phone: \_\_\_\_\_ Cell Phone: \_\_\_\_\_

Email address: \_\_\_\_\_

**Proposed sign designs are reviewed by the Medway Design Review Committee (DRC) at public meetings. The business owner and sign designer/fabricator must attend the DRC meeting.**

**The DRC generally meets on the first & third Monday night of each month at 7 p.m.**

**at the Medway Public Library, 26 High ST.**

*(DRC meeting agendas are posted at the Calendar & Events section of the Town's web page at [www.townofmedway.org](http://www.townofmedway.org))*

**An Application for Sign Design Review and all supporting information must be submitted to the Medway Planning office by 12 noon on the Wednesday before a DRC meeting.**

**Please submit this application form and all attachments as follows:**

Email: [sachilds@townofmedway.org](mailto:sachilds@townofmedway.org) **PREFERRED**

Fax: 508-321-4987

Mail: Design Review Committee

c/o Medway Planning office

155 Village Street, Medway, MA 02053

Drop Off: Medway Planning office @ Medway Town Hall, 155 Village Street

Phone: 508-533-3291

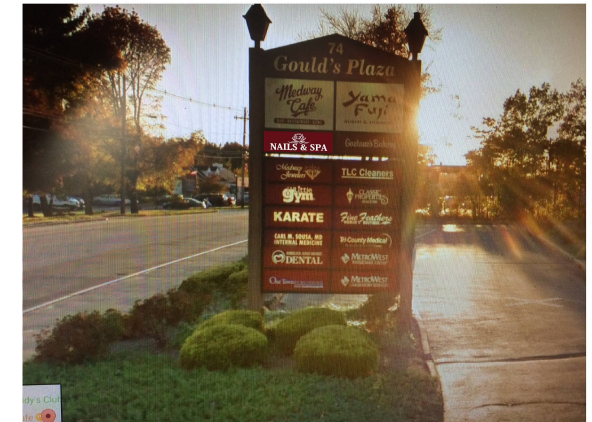
**Applicants and sign designers should read the Sign Design Guidelines included in the Medway Design Review Guidelines before developing a sign design.**

**<http://www.townofmedway.org/design-review-committee/pages/sign-design-review>**

**Sign designs should be developed in accordance with the Sign Design Guidelines.**

**Date Application Received by Medway Planning office:** \_\_\_\_\_

**Reviewed by Medway Planning Coordinator:** \_\_\_\_\_ **DRC Meeting Date:** \_\_\_\_\_



*Signs By Cam* Inc.

Sign & Graphic Solutions • Uncompromising Integrity

**Cam Afonso**

837 Upper Union St., Suite C-18  
Franklin, MA 02038

Phone: 508-364-2905

Fax/Office: 508-528-0766

E-Mail: [cam@signsbycam.com](mailto:cam@signsbycam.com)

Website: [www.signsbycam.com](http://www.signsbycam.com)

APPROVED FOR PRODUCTION:

X

**JOB INFORMATION**

JOB TITLE:

CONTACT:

PHONE:

FAX:

JOB DESCRIPTION:

SQUARE FOOTAGE: =

**SIGN MATERIAL SPECS**

BANNER: ☐ COROPLAST: ☐ WOOD: ☐

ACRYLIC: ☒ MAGNETIC: ☐ URETHANE: ☐

PVC: ☐ ALUMINUM: ☒ NUEDGE: ☐

SINGLE SIDED: ☐ DOUBLE SIDED: ☐

OTHER: \_\_\_\_\_

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ANY DUPLICATION OF ANY KIND IS PROHIBITED.  
PERSON(S) WILL BE PROSECUTED TO THE FULL EXTENT  
OF THE LAW.

COLOR SPECS:

BACKGROUND:

COPY:

OUTLINE:

SHADOW:

BORDER:

LOGO:



## Medway Design Review Committee (DRC) ***Application for Sign Design Review***

**Medway Location/Address** where the sign will be installed: \_\_\_\_\_  
What is the interior width of the storefront? \_\_\_\_\_

**Building/Development Name:** (if applicable): \_\_\_\_\_

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**Sign Designer/Fabricator/Installer Information**

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Mailing Address: \_\_\_\_\_

Contact person: \_\_\_\_\_

Phone: \_\_\_\_\_ Cell Phone: \_\_\_\_\_

Email address: \_\_\_\_\_

**Property Owner Information**

Company Name: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

Contact person: \_\_\_\_\_

Phone: \_\_\_\_\_ Cell Phone: \_\_\_\_\_

Email address: \_\_\_\_\_

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Fax: 508-321-4987

Mail: Design Review Committee  
c/o Medway Planning office  
155 Village Street, Medway, MA 02053

Drop Off: Medway Planning office @ Medway Town Hall, 155 Village Street

Phone: 508-533-3291

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Medway Design Review Guidelines before developing a sign design.**

<http://www.townofmedway.org/design-review-committee/pages/sign-design-review>

**Sign designs should be developed in accordance with the Sign Design Guidelines.**

**Date Application Received by Medway Planning office:** \_\_\_\_\_

**Reviewed by Medway Planning Coordinator:** \_\_\_\_\_ **DRC Meeting Date:** \_\_\_\_\_



96"

27"



*channel letters*  
*LED lit on raceway*



# GENERAL APPLICATION FORM



## TOWN OF MEDWAY

### ZONING BOARD OF APPEALS

155 Village Street  
Medway MA 02053

Phone: 508-321-4915 | [zoning@townofmedway.org](mailto:zoning@townofmedway.org)  
[www.townofmedway.org/zoning-board-appeal](http://www.townofmedway.org/zoning-board-appeal)

**NOTE: THE APPLICATION WILL NOT BE CONSIDERED "COMPLETE" UNLESS ALL NECESSARY DOCUMENTS, FEES, & WAIVER REQUESTS ARE SUBMITTED. A GENERAL APPLICATION FORM MUST BE COMPLETED FOR ALL APPLICATIONS.**

#### TO BE COMPLETED BY THE APPLICANT

<b>Applicant/Petitioner(s):</b> CHARBEL TABET	<b>Application Request(s):</b>
<b>Property Owner(s):</b> CHARTER MEDWAY II LLC (HIDDEN ACRES REALTY I, LLC)	Appeal <input type="checkbox"/>
<b>Site Address(es):</b> 67 MAIN ST UNIT 105	Special Permit <input type="checkbox"/>
<b>Parcel ID(s):</b> 41-023-067C	Variance <input checked="" type="checkbox"/>
<b>Zoning District(s):</b> 41	Determination/Finding <input type="checkbox"/>
<b>Registry of Deeds Book &amp; Page No. and Date or Land Court Certificate No. and Date of Current Title:</b>	Extension <input type="checkbox"/>
	Modification <input type="checkbox"/>
	Comprehensive Permit <input type="checkbox"/>

TOWN CLERK STAMP

#### TO BE COMPLETED BY STAFF:

Check No.:  
Date of Complete Submittal:  
Comments:



## APPLICATION INFORMATION

YES NO

Applicable Section(s) of the Zoning Bylaw:	Requesting Waivers?	<input type="checkbox"/>	<input type="checkbox"/>
	Does the proposed use conform to the current Zoning Bylaw?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Present Use of Property: RETAIL	Has the applicant applied for and/or been refused a building permit?	<input type="checkbox"/>	<input type="checkbox"/>
	Is the property or are the buildings/ structures pre-existing nonconforming?	<input type="checkbox"/>	<input type="checkbox"/>
Proposed Use of Property: RETAIL	Is the proposal subject to approval by the BOH or BOS?	<input type="checkbox"/>	<input type="checkbox"/>
	Is the proposal subject to approval by the Conservation Commission?	<input type="checkbox"/>	<input type="checkbox"/>
Date Lot was created:	Is the property located in the Floodplain District?	<input type="checkbox"/>	<input type="checkbox"/>
Date Building was erected:	Is the property located in the Groundwater Protection District?	<input type="checkbox"/>	<input type="checkbox"/>
Does the property meet the intent of the Design Review Guidelines? IN REVIEW	Is the property located in a designated Historic District or is it designated as a Historic Landmark?	<input type="checkbox"/>	<input type="checkbox"/>
Describe Application Request:			
<p>SUPREME PIZZA WOULD LIKE TO USE EXISTING SIGNAGE FROM OLD LOCATION AT NEW LOCATION NEXT DOOR.</p> <p>THE EXISTING SIGNAGE FITS INTO 18 SQ. FT. BUT ZONING DICTATES SIGN SHOULD BE 16 SQ. FT.</p> <p>CUSTOMER REQUESTS PERMISSION TO USE LETTERS/ SIGNS 18 SQ. FT.</p>			

# GENERAL APPLICATION FORM

FILL IN THE APPLICABLE DATA BELOW

Required Data	Bylaw Requirement	Existing	Proposed
A. Use			
B. Dwelling Units			
C. Lot Size			
D. Lot Frontage			
E. Front Setback			
F. Side Setback			
G. Side Setback			
H. Rear Setback			
I. Lot Coverage			
J. Height			
K. Parking Spaces			
L. Other  SIGNAGE	  16 SQ. FT.		  18 SQ. FT.

## FOR TOWN HALL USE ONLY

To be filled out by the Building Commissioner:

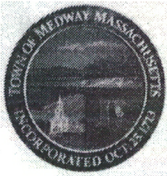
\_\_\_\_\_  
Date Reviewed

\_\_\_\_\_  
Medway Building Commissioner

Comments:

After completing this form, please submit an electronic copy to [zoning@townofmedway.org](mailto:zoning@townofmedway.org) and 4 paper copies to the Community & Economic Development Department.





# TOWN OF MEDWAY

## ZONING BOARD OF APPEALS

155 Village Street  
Medway MA 02053

Phone: 508-321-4915 | zoning@townofmedway.org  
www.townofmedway.org/zoning-board-appeal

**NOTE: THE APPLICATION WILL NOT BE CONSIDERED "COMPLETE" UNLESS ALL NECESSARY DOCUMENTS, FEES, & WAIVER REQUESTS ARE SUBMITTED. A GENERAL APPLICATION FORM MUST BE COMPLETED FOR ALL APPLICATIONS.**

### TO BE COMPLETED BY THE APPLICANT

Please provide evidence regarding how the Variance Criteria, outlined below, is met. All Variance Criteria must be met to be considered. Provide attachments if necessary.

1. What circumstances exist relating to the shape, topography, or soil conditions of the subject property which do not generally affect other land in the zoning district? (See MGL c. 40A Section 10)

NaN

ZONING PERMITS A 16 SQ. FT. SIGN  
APPLICANT SEEKS PERMISSION TO USE EXISTING  
SIGN WHICH IS 18 SQ. FT.

2. What substantial hardship, financial or otherwise, is caused by the circumstances listed above when the literal enforcement of Medway Zoning Bylaw is applied? (See MGL c. 40A Section 10) (Cannot be *personal hardship*)

APPLICANT WOULD HAVE THE EXPENSE OF  
FABRICATION OF NEW SIGN, IF NOT ALLOWED  
USE OF EXISTING ONE.

3. State why desirable relief may be granted without substantial detriment to the public good.

EXISTING SIGN IS JUST 2 SQ. FT. OVER  
THE PERMITTED SIZE.

4. State why relief may be granted without nullifying or substantially derogating from the intent or purpose of the Zoning Bylaw.

USE OF THE EXISTING SIGN WILL NOT  
OVERWHELM THE VISUAL LOOK OR SCALE OF THE  
STORE FRONT AS IT IS JUST 2 SQ. FT. OVER

X

Signature of Applicant/Petitioner or Representative

03/06/2023

Date



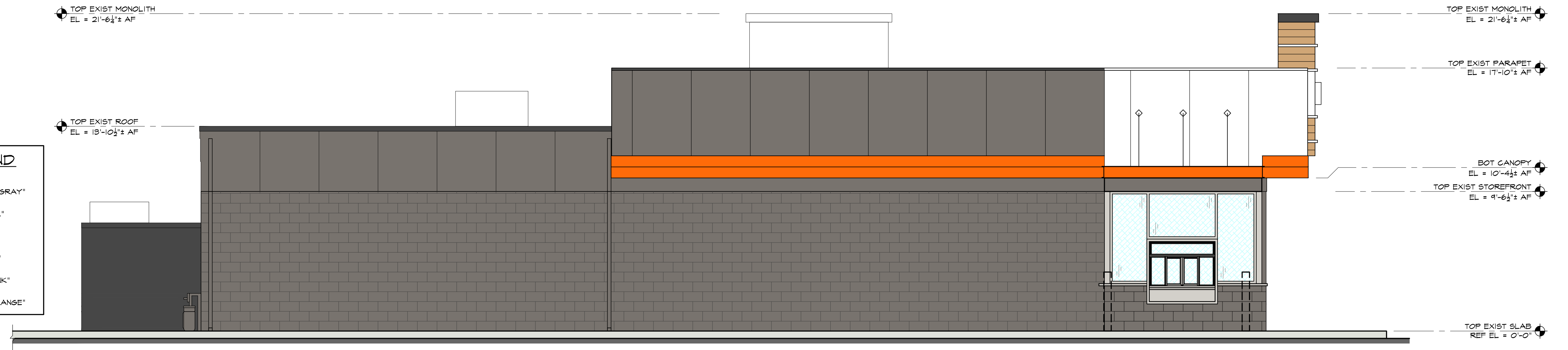
**March 20, 2023**

**Medway Design Review Committee Meeting**

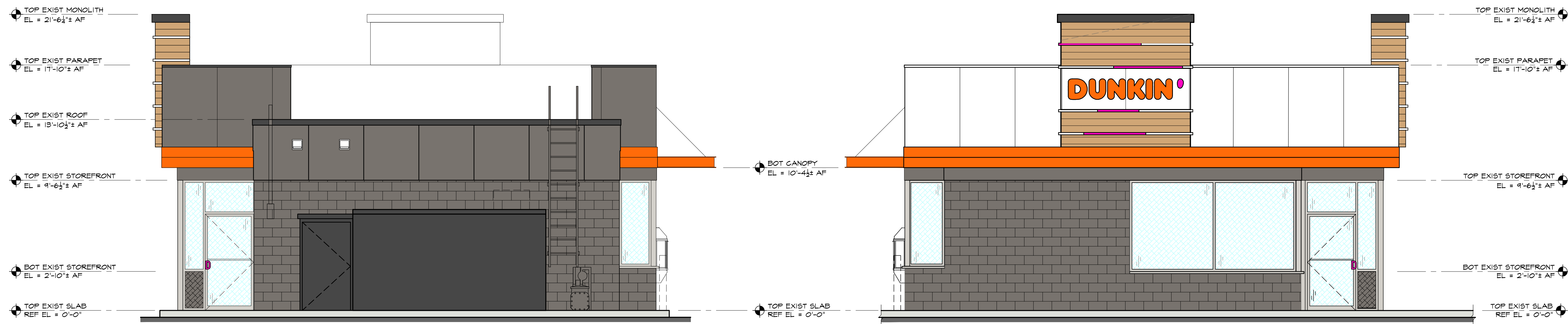
## **Dunkin Façade Review and Sign Package**

- Revised façade renovation plan dated 3-14-23 by Aharonian & Associates Architects
- Revised signage package dated 3-15-23 by ViewPoint Sign and Awning
- Updated summary of revised sign package prepared by Susy Affleck-Childs

COLOR LEGEND	
	-01 "SAUNTLET GRAY"
	-02 "CHARCOAL"
	-03 "WOOD"
	-04 "OFF WHITE"
	-12 "DUNKIN' PINK"
	-13 "DUNKIN' ORANGE"

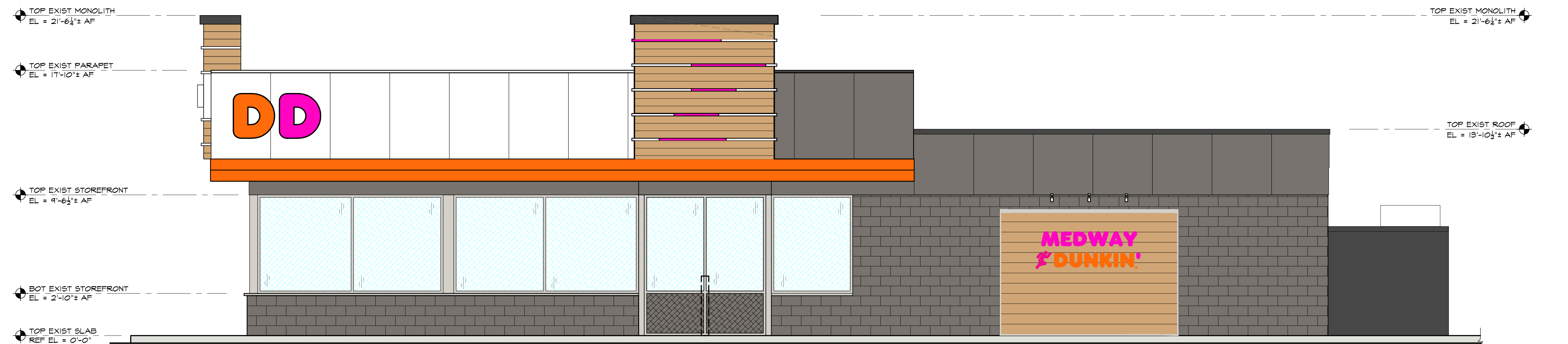


4 EAST ELEVATION  
SCALE: 1/4" = 1'-0"

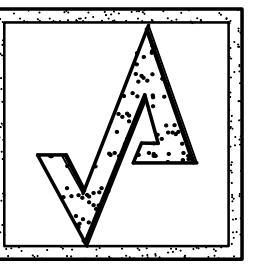


3 SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"

2 NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



1 WEST ELEVATION  
SCALE: 1/4" = 1'-0"



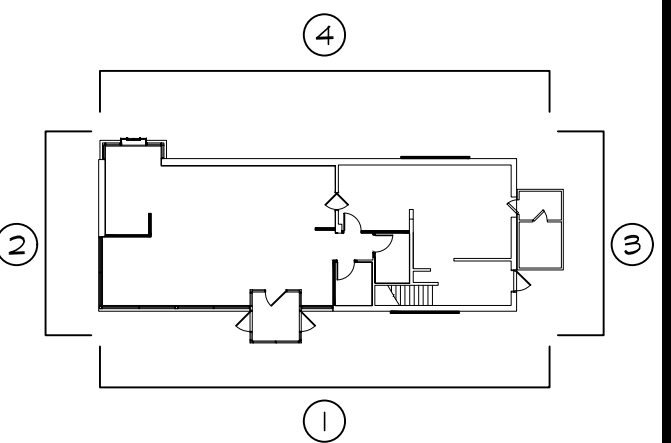
AHARONIAN  
& ASSOCIATES INC.  
ARCHITECTS

310 George Washington Highway  
Suite 100  
Smithfield, Rhode Island  
0 2 9 1 7

T 401-232-5010  
F 401-232-5080  
WWW.ARCH-ENG.COM

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KEYPLAN

REVISIONS

NUMBER	REMARKS	DATE

FOR REVIEW

PROJECT TITLE

DUNKIN'

PC# 306103

IMAGE: NEXTGEN COOL PALETTE

81A MAIN ST  
MEDWAY, MA 02053  
NORFOLK COUNTY

DRAWING TITLE

COLORED EXTERIOR  
ELEVATIONS

DATE MAR 14, 2023	PROJ NO 21143
DRAWN BY ECM	CHECKED BY -

DRAWING NUMBER

A3.3

## Susan Affleck-Childs

---

**From:** Sean Donovan <donovan@viewpointsign.com>  
**Sent:** Wednesday, March 15, 2023 12:32 PM  
**To:** lcronin@viewpointsign.com; Susan Affleck-Childs  
**Cc:** louisemplacido@aol.com; 'Lenny Cenundolo'; 'Erik Medeiros'  
**Subject:** [External] DUNKIN' 81A Main St (Sign Design Review) - Medway DRC Meeting  
**Attachments:** DD\_MedwayMA-81aMainSt\_Channels\_1b.pdf; DD\_MedwayMA-81aMainSt\_DDChnls\_1b.pdf; DD\_MedwayMA-81aMainSt\_MROD\_1b.pdf; DD\_MedwayMA-81aMainSt\_PylonFaces\_1a.pdf; DD\_MedwayMA-81aMainSt\_DirOverlays\_1b.pdf; DD\_MedwayMA-81aMainSt\_ClearBar\_1a.pdf; DD\_MedwayMA-81aMainSt\_Canopy\_1a.pdf; DD\_MedwayMA-81aMainSt\_DigitalMenu\_Pg2a.pdf; DD\_MedwayMA-81aMainSt\_DirOverlays\_1b.pdf

**Importance:** High

Hi Lauren and Susan,  
Here are the revised signage drawings per DRC's comments from Monday's 3/6 review hearing...

DUNKIN' letters in lower fascia band on north elev.,  
DD letters relo on west elev.,  
MROD letters no change,  
pylon faces (no change),  
logo's removed from dir. faces and copy changed,  
clearance bar and order canopy (no changes)  
and product drawing for updated menu board (by others).

Susan,  
Please confirm if Lauren needs to re-submit anything to secure our spot on DRC's next meeting...

Thanks,

Sean Donovan  
ViewPoint Sign and Awning  
(Phone) 508-393-8200  
(Mobile) 508-400-2550  
(Fax) 508-393-4244  
[donovan@viewpointsign.com](mailto:donovan@viewpointsign.com)  
[www.viewpointsign.com](http://www.viewpointsign.com)

---

**From:** Susan Affleck-Childs [mailto:sachilds@townofmedway.org]  
**Sent:** Monday, March 06, 2023 9:19 AM  
**To:** donovan@viewpointsign.com  
**Cc:** lcronin@viewpointsign.com; louisemplacido@aol.com; 'Lenny Cenundolo'  
**Subject:** RE: [External] Dunkin Donuts - 81A Main St (Sign Design Review) - Medway DRC Meeting

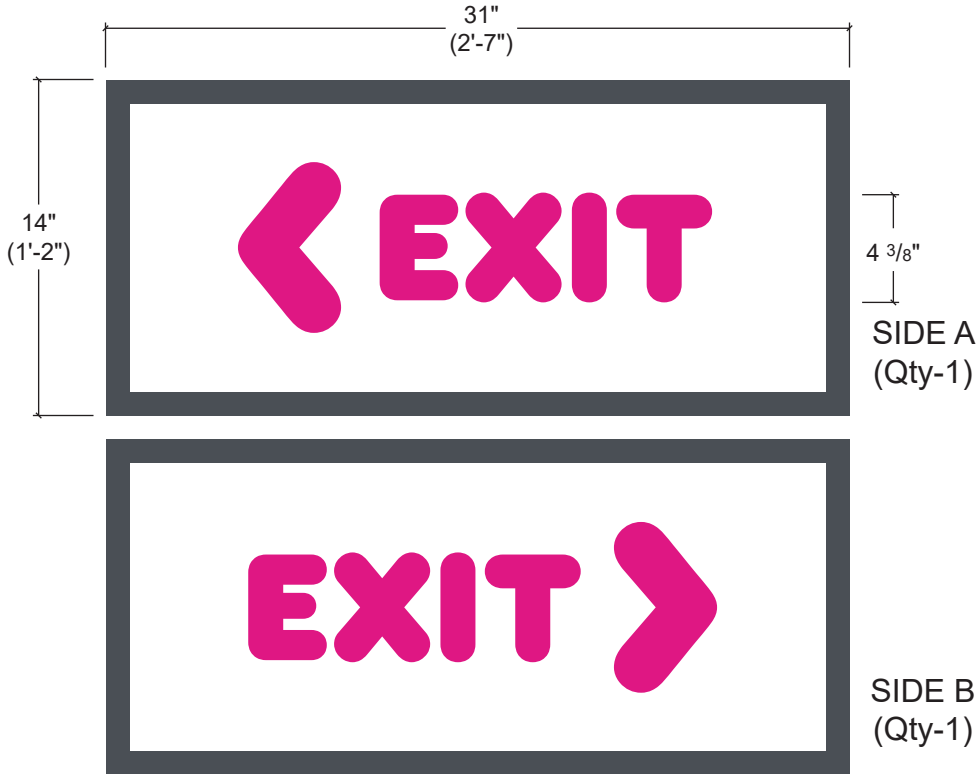
Great, thanks!

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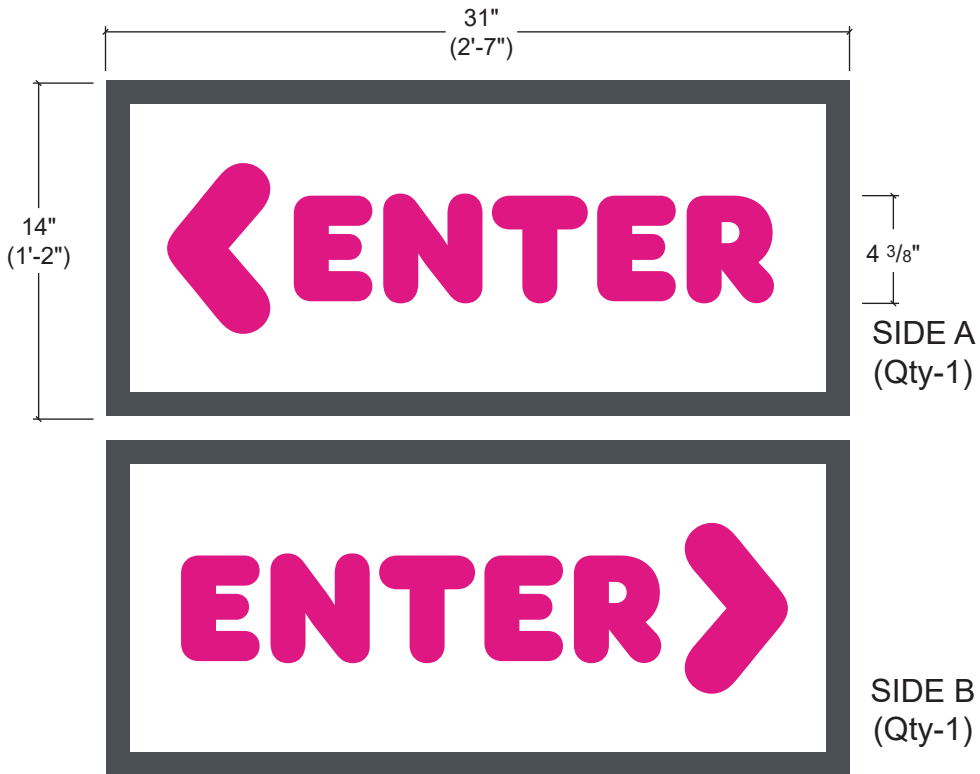
**From:** Sean Donovan <donovan@viewpointsign.com>  
**Sent:** Monday, March 6, 2023 9:17 AM  
**To:** Susan Affleck-Childs <sachilds@townofmedway.org>



Directional Sign Overlays



**E1** Elevation: (Qty-2) #13388.1 Overlays  
Scale: 1 1/2"=1'



**E2** Elevation: (Qty-2) Overlays  
Scale: 1 1/2"=1'

E1 "Exit"



E2 "Enter"



**Description:**  
(Qty-4) Dibond overlay signs.  
- Digitally printed reflective vinyl with lamination (flooded).  
- Repaint existing directional signs.

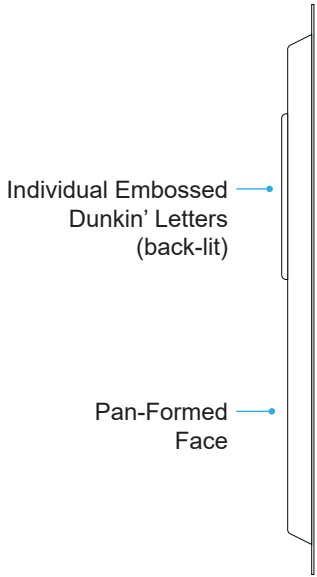
**Typeface/Logo:**  
NextGen Art on File  
Dunkin' Sans Display

**Colors:**  
Existing Cabinet: - Painted Dark Gray PMS 7540c (BM Raccoon Fur 2126-20)  
Existing Posts: - Painted Dark Gray PMS 7540c (BM Raccoon Fur 2126-20)  
Overlays: - Dibond (Stock White)  
Graphics: - Digitally Printed on White Reflective 3M 280-10  
- Laminated with 3M 8518 gloss clear  
- DD Orange PMS 165c (printed)  
- DD Magenta PMS 219c (printed)  
- Dark Gray PMS 7540c (printed)

**Installation:**  
By ViewPoint



E1 Elevation: (Qty-2) 13388.1 Pylon Faces  
Scale: 1"=1'



SE Side Elevation  
Scale: NTS

**Description:**  
(Qty-2) Pan-formed replacement faces.  
- Pan-formed polycarbonate face.  
- Embossed Dunkin' letters & flat translucent vinyl graphics.  
- Translucent White backspray.  
- Re-paint existing cabinet and post.

**Typeface/Logo:**  
Dunkin Sans Display

**Colors:**  
Faces: - Clear Polycarbonate  
Backspray: - Painted trans White  
Graphics: - DD Orange trans 3M #3630-3123 (2nd Surface)  
- DD Magenta trans 3M #3630-1379 (2nd Surface)  
Cabinet & Post: - Painted BM Raccoon Fur 2126-20 (Dark Gray PMS 7540c)

**Installation:**  
By ViewPoint

Proposed



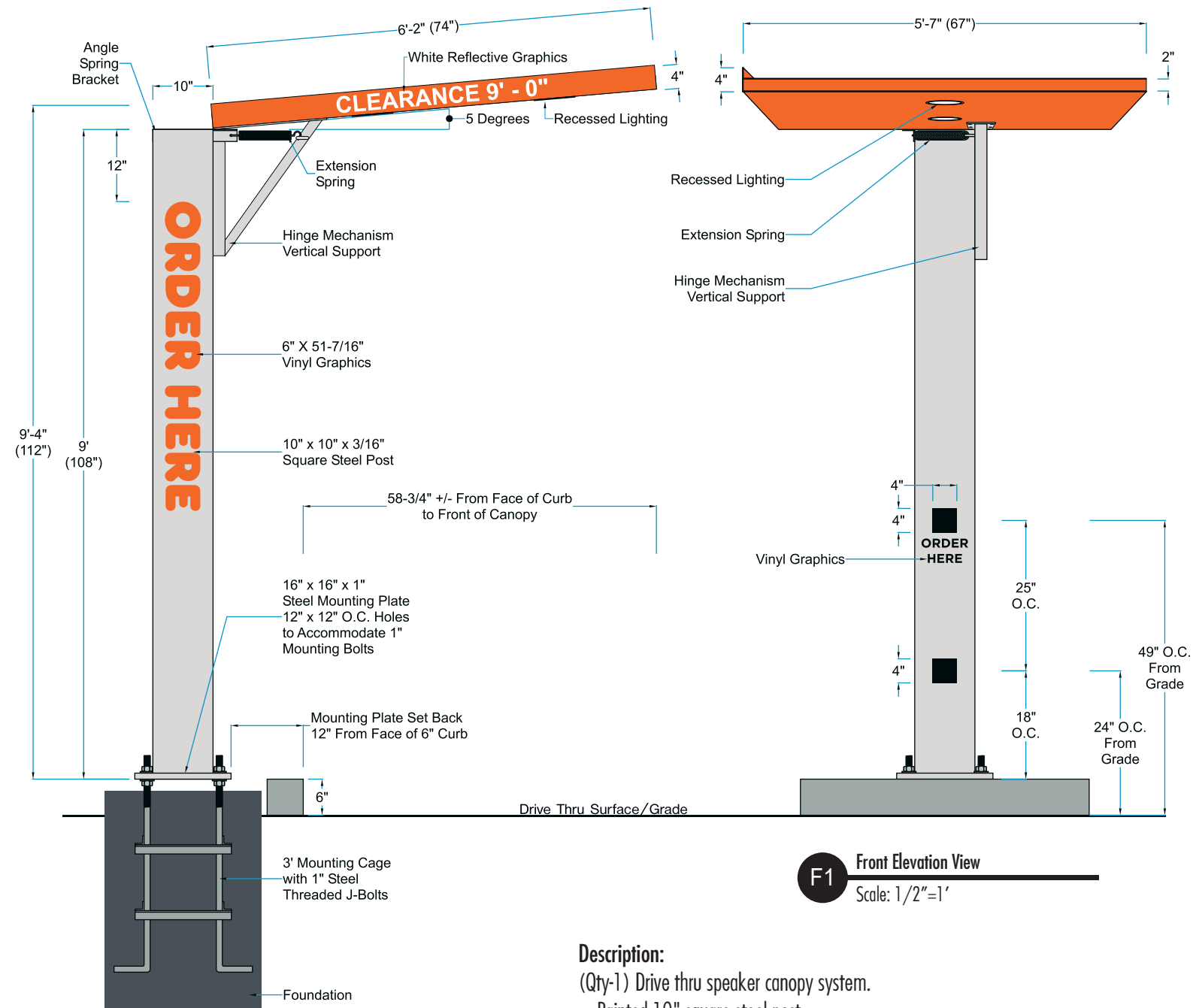
PE Photo Elevation  
Scale: NTS

Existing





DD-SS-DT-01 - Drive Thru Canopy (NextGen)



**Description:**  
(Qty-1) Drive thru speaker canopy system.

- Painted 10" square steel post
- Painted welded 2" square aluminum tube with 1/4" wall canopy frame and supports
- Spring hinge system built onto post to allow canopy topper to move and return back to position
- 4" Bent aluminum panel for 1st surface White reflective vinyl "Clearance" graphics
- Vinyl "Order Here" graphics to approach side of upright
- Painted 16" x 16" x 1" steel mounting plate
- Note: Optional Universal base plate available
- (2) Green Creative NCDL EXT 12w Universal voltage 120-277v-0-10v dimming ThinFit series, LED recessed lighting mounted under canopy

Site Plan



**PE** Plan Elevation: Site Plan  
Scale: NTS



Existing Area

**Logo/Typeface:**  
Clearance - Arial Bold / Order Here - Gotham Bold

**Colors:**

- Canopy: - Painted DD Orange PMS 165c
- Swing Bracket: - Painted to match Nebulous White PTE-04 (gloss) (PMS Cool Gray 1c)
- Post: - Painted to match Nebulous White PTE-04 (gloss) (PMS Cool Gray 1c)
- Plate: - Painted to match Nebulous White PTE-04 (gloss) (PMS Cool Gray 1c)
- GC Lights: - White
- "Clearance": - White Reflective 3M 280-10
- Order Gfx: - Black H.P. 3M 220-12
- DD Orange H.P. 3M 220-14

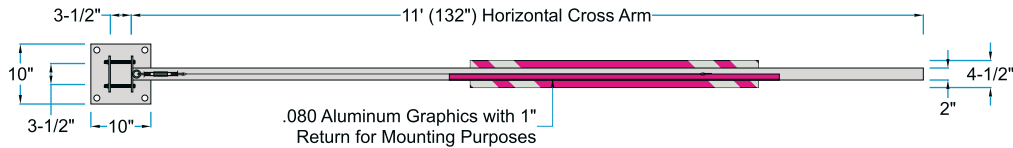
**Installation:**  
By ViewPoint  
This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code (NEC) and/or other applicable Local Electrical Codes (LEC). This includes proper grounding and bonding of the sign.



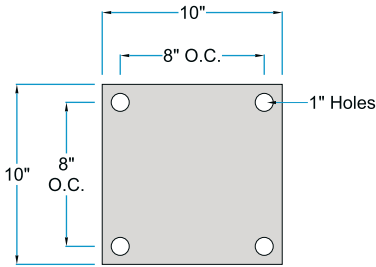
**ViewPoint**  
SIGN AND AWNING

1.508.393.8200  
FAX 1.508.393.4244

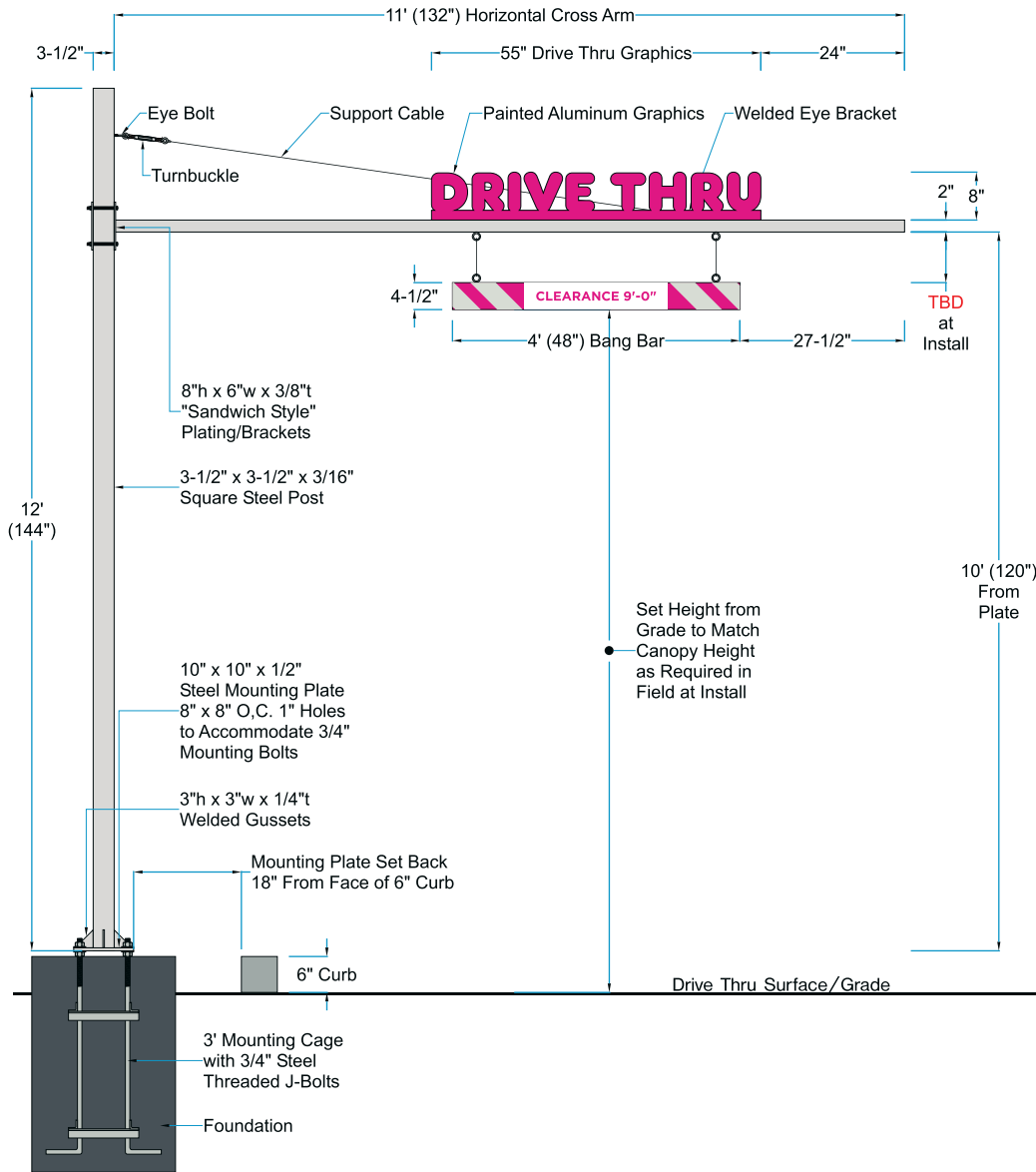
DD-SS-DT-07 - Clearance Bar (NextGen)



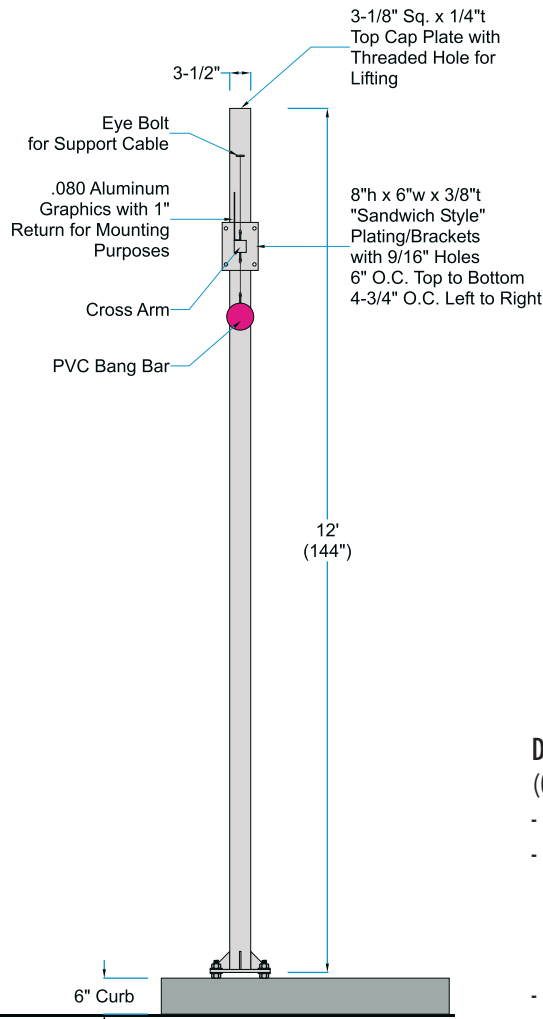
T1 Top View  
Scale: 3/8"=1'



SP Standard Plate Detail  
Scale: 3/8"=1'



E1 Elevation: (Qty-1) 13388.2 Clearance Bar (NextGen)  
Scale: 3/8"=1'



S1 Side Elevation  
Scale: 3/8"=1'

Site Plan



PE Plan Elevation: Site Plan  
Scale: NTS



Existing Area

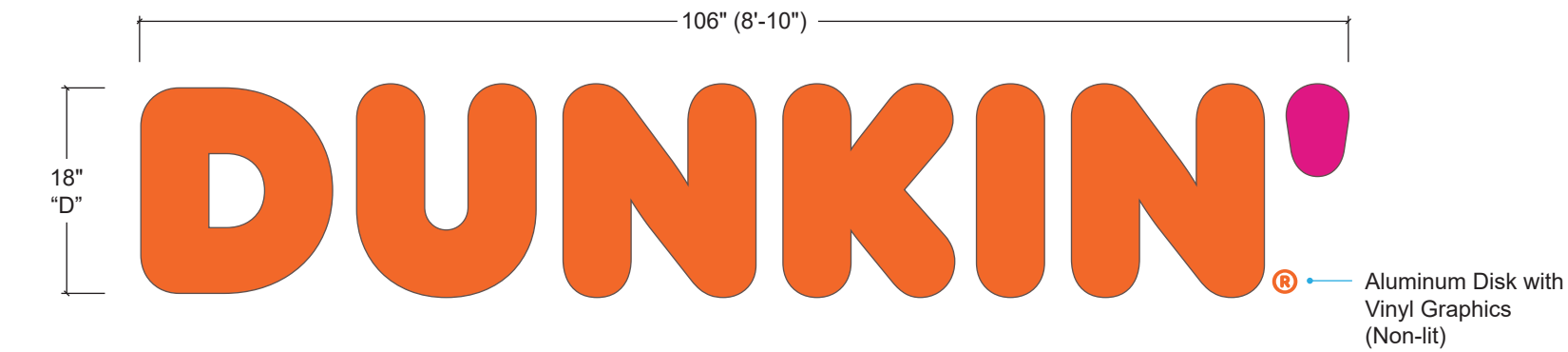
**Description:**  
(Qty-1) NextGen style clearance bar.  
- 3-1/2" square with 3/16" wall Steel main post  
- 2" square Steel cross arm with eye-bolt & turnbuckle hardware to accommodate support cable and 8" h x 6" w x 3/8" t sandwich style plating brackets with 9/16" holes 6" on center top to bottom & 4-3/4" on center left to right  
- 10" x 10" x 1/2" Steel mounting plate with 1" holes 8" on center & 3" h x 3" w x 1/4" welded gussets  
- Painted .080 Aluminum header graphics with 1" bent-back return for mounting to cross-arm.  
- Painted 4-1/2" PVC crash-tube with vinyl "clearance" copy & White Reflective vinyl striping  
- Crash tube affixed to cross arm with aircraft cable and required hardware.  
Note: cross-arm eye bolts to be removable for maintenance purposes

**Logo/Typeface:**  
Header Gfx - Dunkin' Sans Display  
Clearance Gfx - Gotham Bold

**Colors:**  
Post & Plate - Painted to match Nebulous White PTE-04 (PMS Cool Gray 1c) (gloss)  
Cross Arm - Painted to match Nebulous White PTE-04 (PMS Cool Gray 1c) (gloss)  
Crash Tube - Painted DD Magenta PMS #219c  
Header Gfx - Painted DD Magenta PMS #219c (face, returns & back)  
Vinyl Graphics - White Reflective 3M #280-10  
- DD Magenta H.P. Arlon #58  
Hardware - Painted to match Nebulous White PTE-04 (PMS Cool Gray 1c) (gloss)

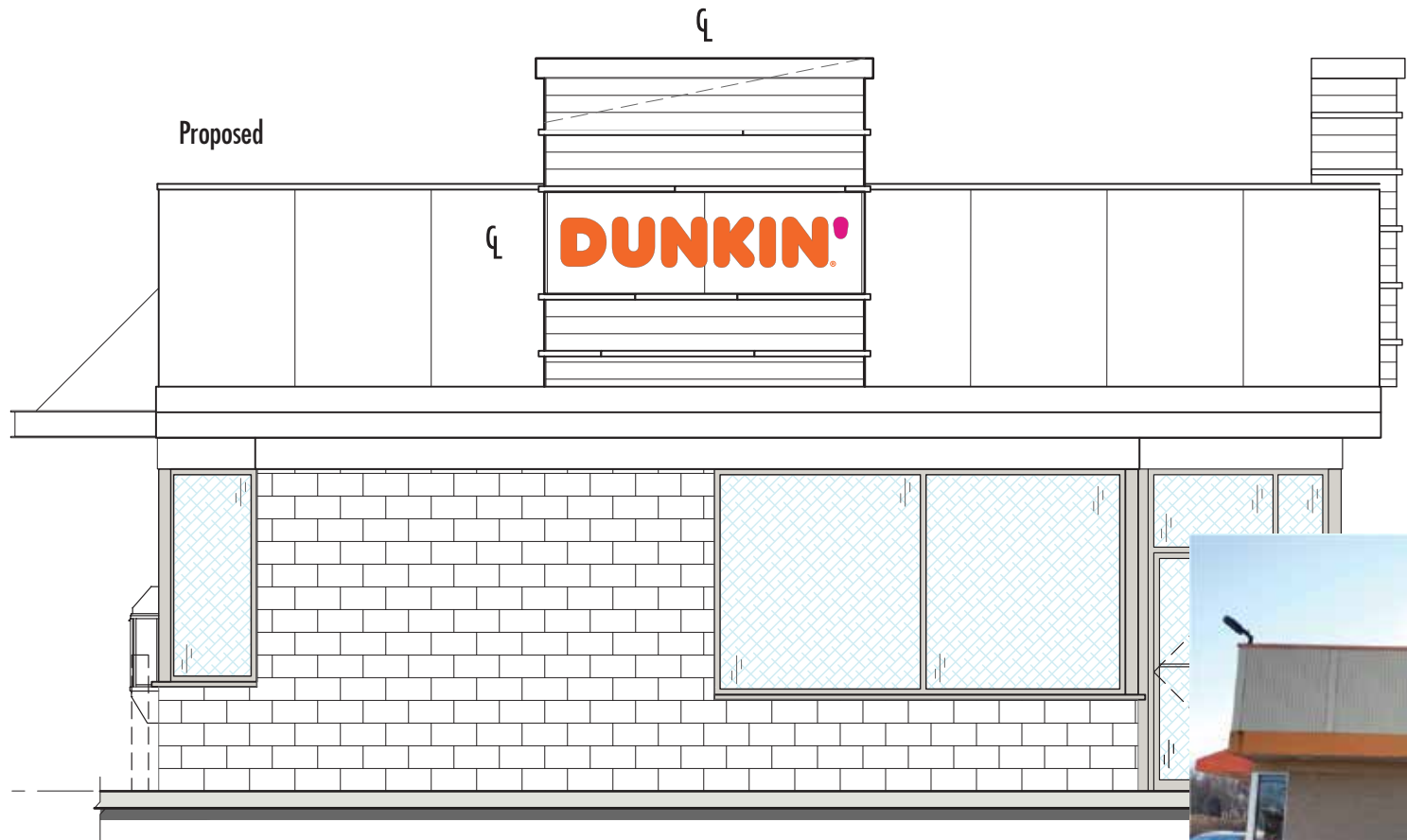
**Installation:**  
By ViewPoint



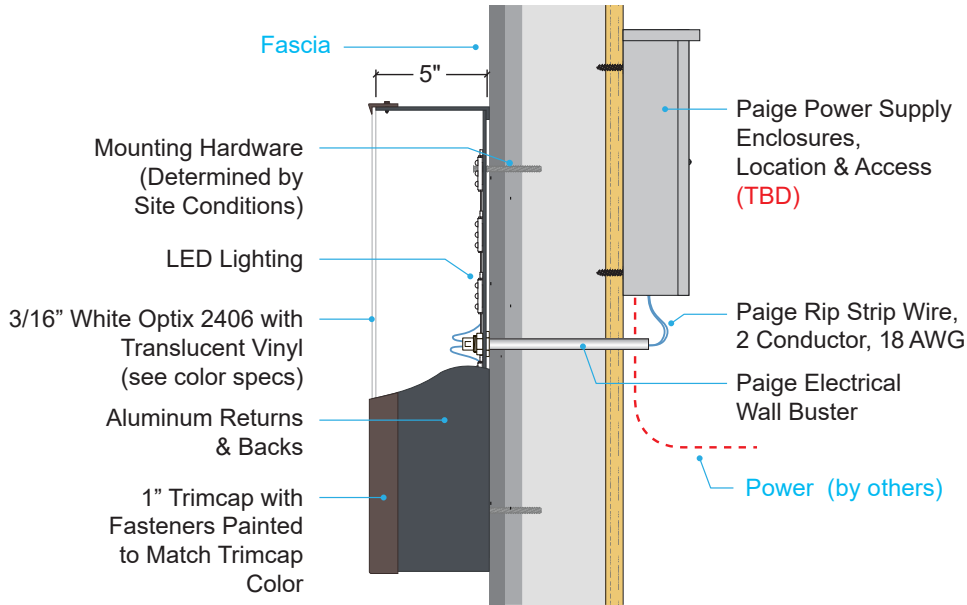


**E1** Elevation: (Qty-1) #13388.4 Face Illuminating Channel Letters (NextGen)  
Scale: 3/4"=1' Square Footage: 18" x 106" = 13.2 Sq. Ft.

Finished Area Measurements & Access (VIF)



**LE** Location Elevation: North Elevation  
Scale: 3/16"=1'



**SE** Side Elevation: Typical  
Scale: NTS

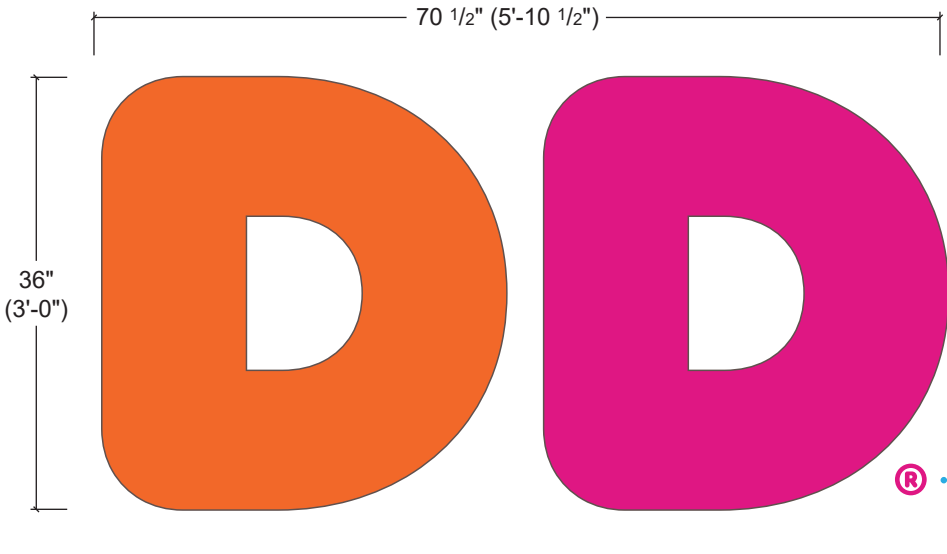
- Description:**  
(Qty-1) Face-lit LED channel letters (NextGen)
- Stock aluminum returns and trimcap.
  - Acrylic faces with translucent vinyl flooded on faces.
  - .063 aluminum disk with vinyl ® graphics.
  - Remote LED power supplies - Location/ Access (TBD)

**Logo/Typeface:**  
Dunkin' Sans Display

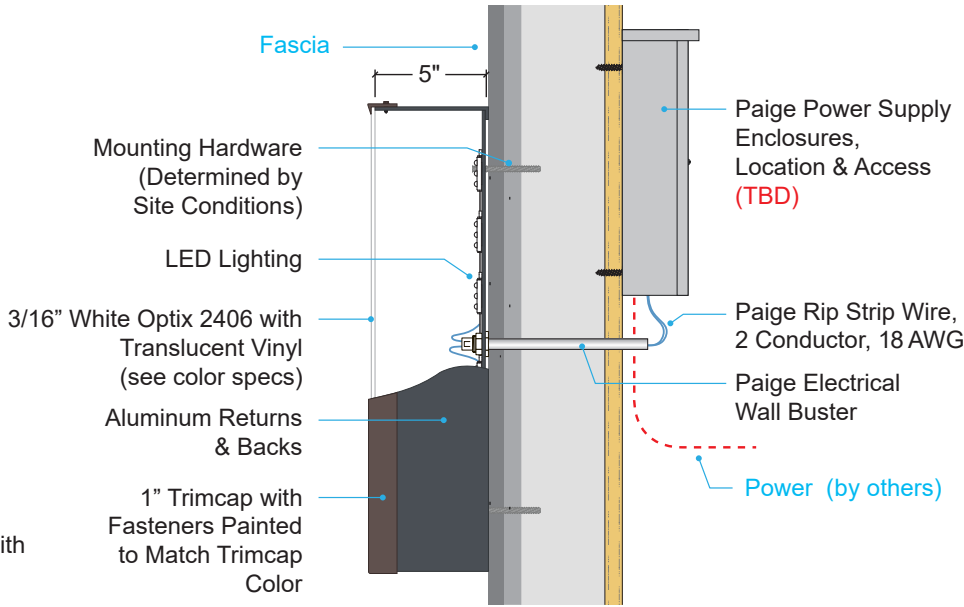
- Colors:**
- Returns: - Stock Alumet Alum. Charcoal Gray (close match to PMS 7540c)
  - Faces: - White Optix 2406 Acrylic
  - Trimcap: - Stock Bronze Jewelite 313
  - Channel Vinyl: - DD Orange 3M 3630-3123 translucent vinyl (flooded)
  - DD Magenta 3M 3630-1379 translucent vinyl (flooded)
  - ® Disc: - White .063 Aluminum
  - DD Orange 3M 220-14 high performance vinyl
  - LEDs - White

**Installation:**  
By ViewPoint/ Note: Power by Others  
This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code (NEC) and/or other applicable Local Electrical Codes (LEC).  
This includes proper grounding and bonding of the sign.

Face-lit LED Channel Letters



**E1** Elevation: (Qty-1) #13388.4 Face Illuminating Channel Letters (NextGen)  
Scale: 3/4"=1' Square Footage: 36" x 70.5" = 17.6 Sq. Ft.



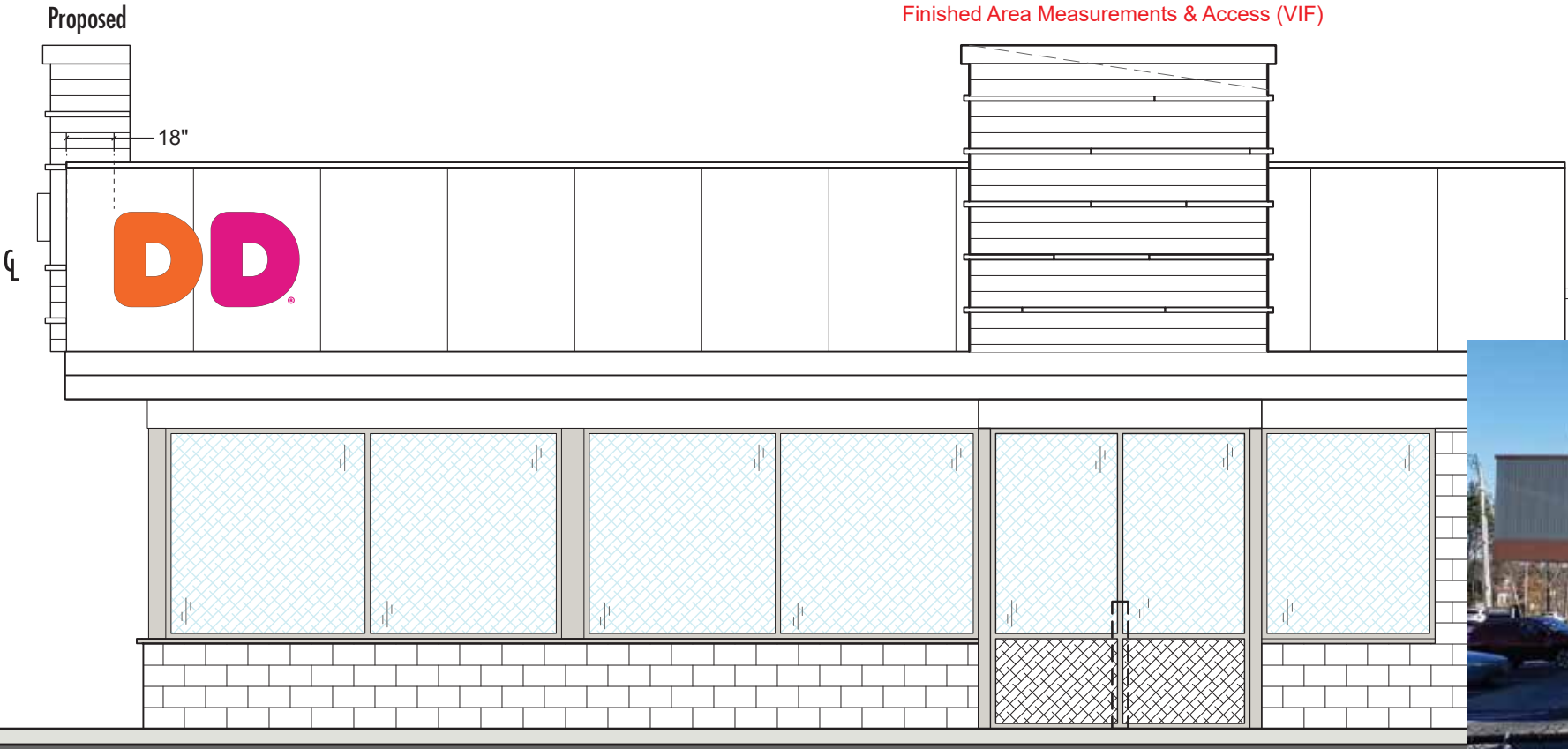
**SE** Side Elevation: Typical  
Scale: NTS

**Description:**  
(Qty-1) Face-lit LED channel letters (NextGen)  
- Stock aluminum returns and trimcap.  
- Acrylic faces with translucent vinyl flooded on faces.  
- .063 aluminum disk with vinyl ® graphics.  
- Remote LED power supplies - Location/ Access (TBD)

**Logo/Typeface:**  
Dunkin' Sans Display

**Colors:**  
Returns: - Stock Alumet Alum. Charcoal Gray (close match to PMS 7540c)  
Faces: - White Optix 2406 Acrylic  
Trimcap: - Stock Bronze Jewelite 313  
Channel Vinyl: - DD Orange 3M 3630-3123 translucent vinyl (flooded)  
- DD Magenta 3M 3630-1379 translucent vinyl (flooded)  
® Disc: - White .063 Aluminum  
- DD Magenta Arlon #58 HP vinyl  
LEDs - White

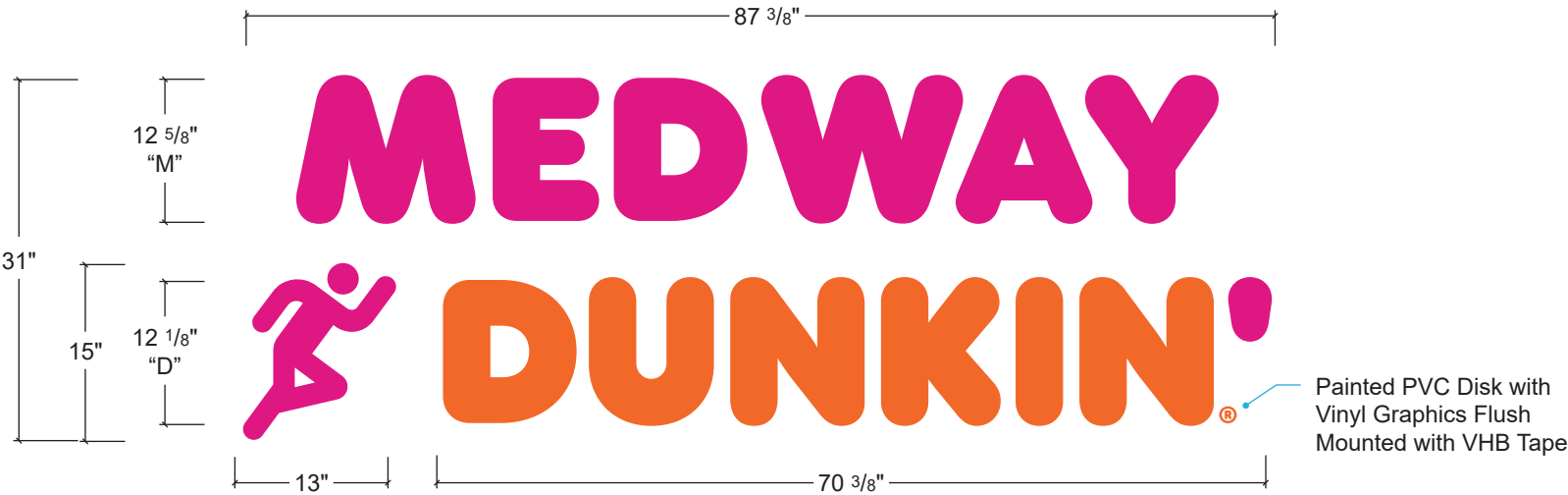
**Installation:**  
By ViewPoint/ Note: Power by Others  
This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code (NEC) and/or other applicable Local Electrical Codes (LEC). This includes proper grounding and bonding of the sign.



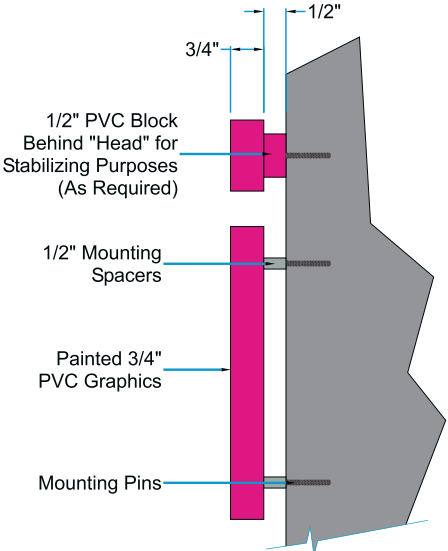
**LE** Location Elevation: West Elevation  
Scale: 3/16"=1'



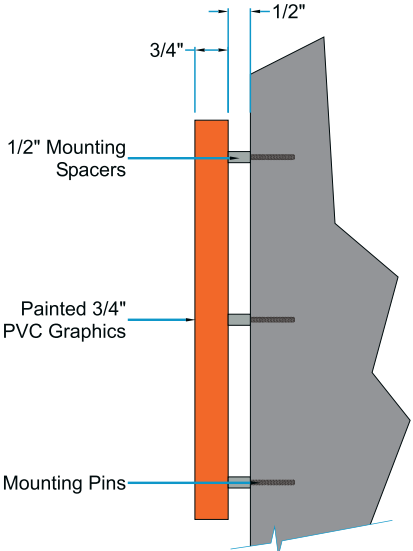
Existing



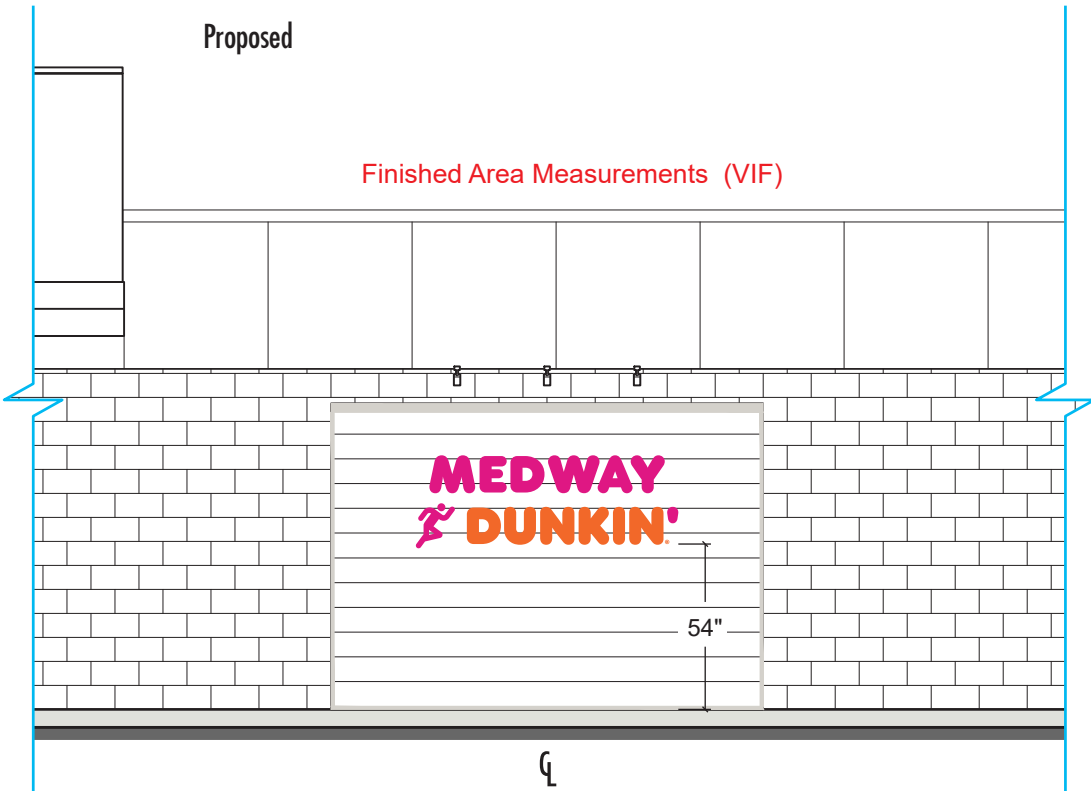
**E1** Elevation: (Qty-1) #13388.5 Dimensional Graphics (NextGen)  
Scale: 3/4"=1' Square Footage: 31"x87.375"=18.80 sf.



**M1** Mounting Detail  
Scale: NTS



**M2** Mounting Detail  
Scale: NTS



**LE** Location Elevation: West Elevation  
Scale: 3/16"=1'

Existing



**Description:**  
(Qty-1) Dimensional PVC graphics.  
- Painted 3/4" PVC graphics  
- Painted 3/4" PVC disk with vinyl "R" graphics (VHB flush mount)  
- Mounting pins with 1/2" spacers for wall mounting.  
- Note: "Head" of running icon to have painted 1/2" PVC block affixed to back for stabilizing purposes. Mounting pin(s) to be affixed to 1/2" block

**Typeface/Logo:**  
Dunkin' Sans Display/ NextGen Art on File

**Colors:**  
PVC Graphics: - Painted DD Orange PMS 165C (faces & returns)  
- Painted DD Magenta PMS 219C (faces & returns)  
Vinyl Graphics: - Oracal 010 White HP vinyl

**Installation:**  
By ViewPoint

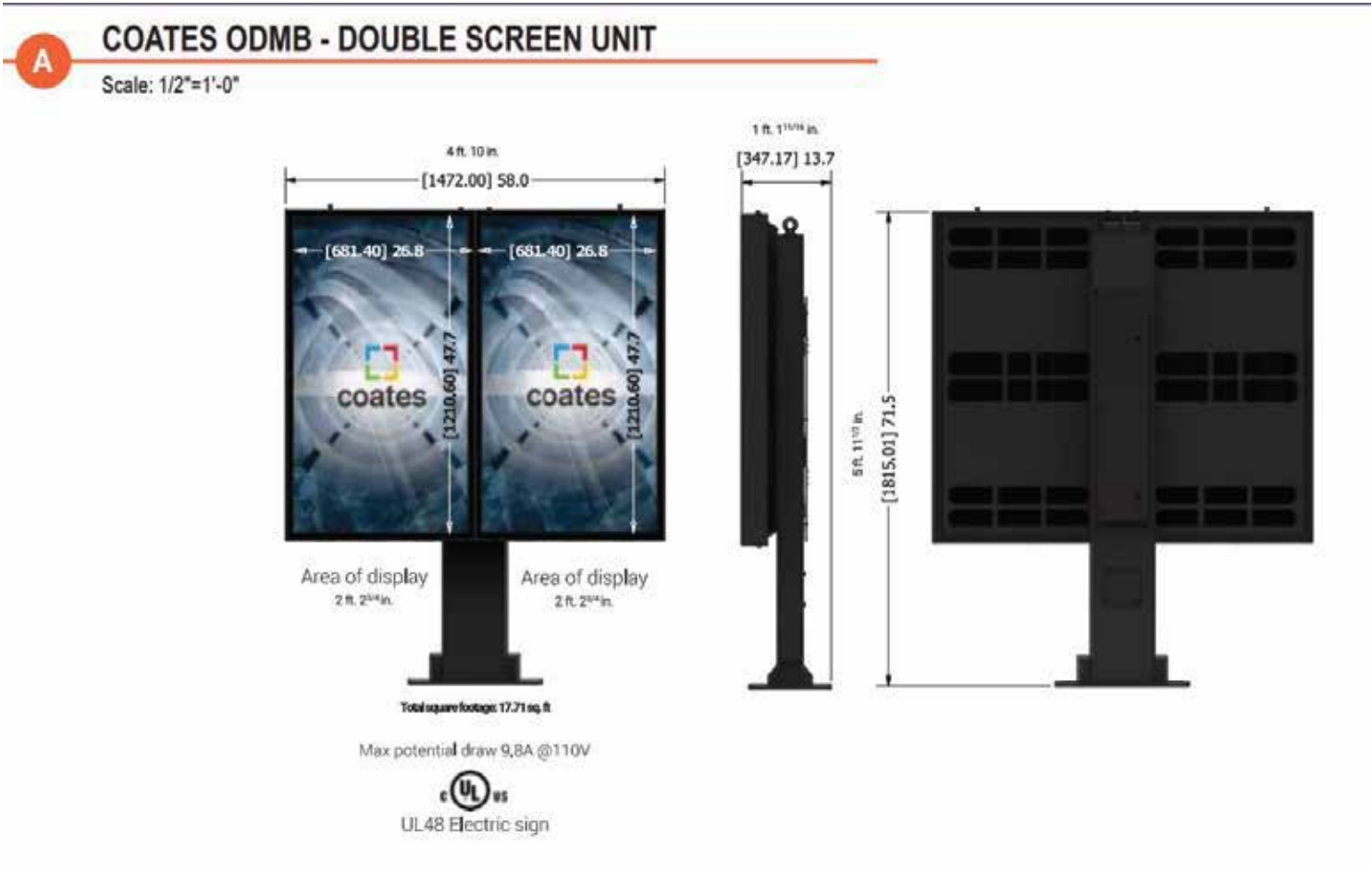


# PERMIT- ODMB solution dimensions and Electrical requirements

- 1.Each individual drive-thru lane is to have its own **dedicated 20-amp circuit** to independently power the Coates digital outdoor solu on. The Coates Outdoor Menu Board can be powered on a joint 20-amp circuit.
  - The wiring plan must be calculated based on the number of units to be installed on each site
  - Each unit incorporates an interior flexible conduit to wire the internal circuit breaker for energy
  - 2.Maximum power consump on: **4.9 Amps max @ 120V**
  - 3.Required to have LIVE, NEUTRAL, and GROUND supplied with solid **14-gauge wiring**
  - 4.Total conduits needed for this por on of the job are explained below this will help to accommodate for data, power, D/T comms system and future use if needed.
- Coates ODMB = (4x) 1” Conduits
- Dunkin’ All in One with Canopy = (5x) 1” Conduits



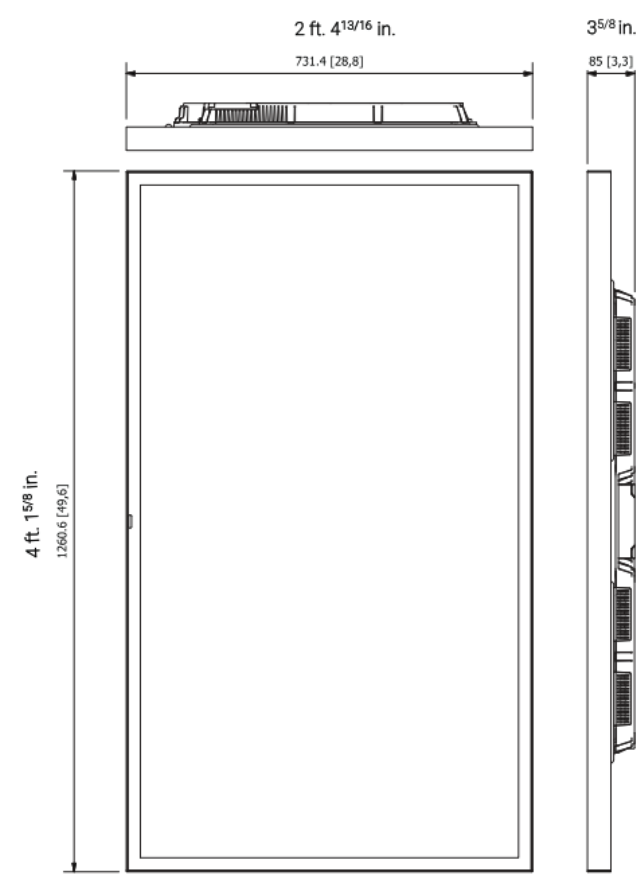
Existing:



Sample Photo of Completed Location:

#13388

PERMIT- Samsung Specs and Lumen Out put



Display specification

Samsung 550HF	
Diagonal Size	55"
Brightness	2500 NIT
Weight	52.6 Kg [118.2 lbs]
Mechanical Specification	
Glass	5T Tempered Glass
Bezel Width	24.9mm [0.98"]
Operation Temperature	-40°C ~ 50 °C [ -40 F ~ 122 F]
Certification	UL : CUL60950-1 (GO)

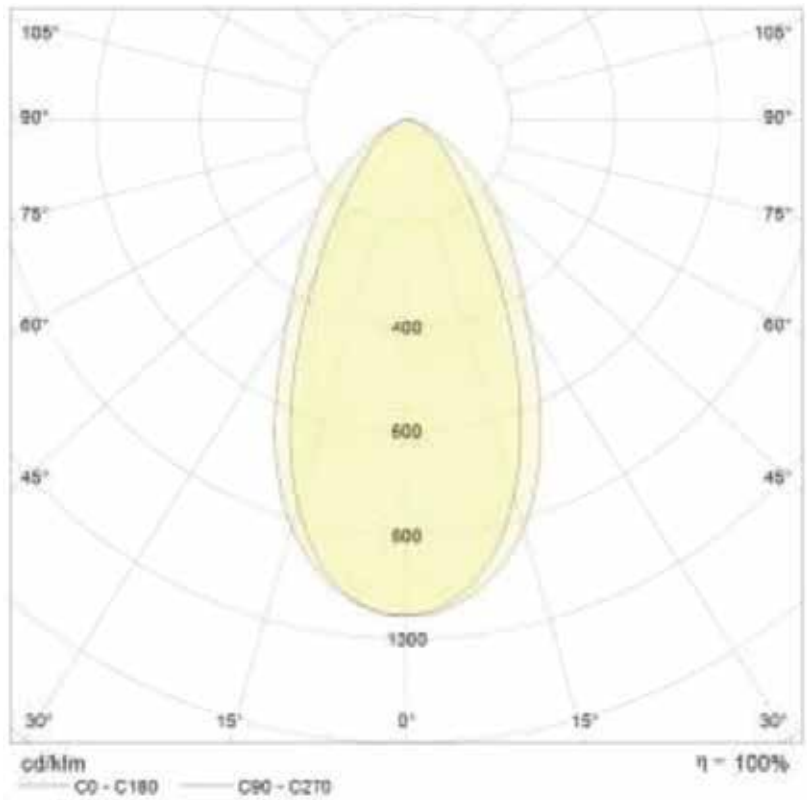
Display specification  
Lumen output

The attached is the max potential light output of the screen (see accompanying IES file)

The units have inbuilt ambient light sensors

These light sensors dim the brightness of the screen based on the light surrounding it

The screens can dim from full brightness 2500nit ( Fig1.) all the way down to 500nit to prevent excessive output (glare) in low light and night time environments



#13388



## DUNKIN DONUTS SIGN PACKAGE - UPDATED 3-17-23

	EXISTING SIGNS	PROPOSED SIGNS	Notes	Zoning Compliance
<b>WALL SIGNS</b>				
North elevation (facing Main Street)	Box/cabinet style 48" tall x 97" wide = 31.65 sq. ft. <b>(DUNKIN' DONUTS with coffee cup logo)</b>	Individual Internally illuminated channel letters <b>(DUNKIN')</b> 18" tall x 106" wide = 13.2 sq. ft.	REPLACEMENT SIGN - reduced size	This site has 2 sign frontages (north facing (41') and west facing (72'). a) 3 wall signs are allowed; 4 3 are proposed. <del>One needs to be</del> eliminated. b) Maximum amount of sign surface area is 2x the longest sign frontage = 144 sq. ft. NOTE - The proposed amount of sign surface area and the number of wall signs complies.
West elevation (#1) (facing parking area)	Box/cabinet style 48" tall x 97" wide = 31.65 sq. ft. <b>(DUNKIN' DONUTS with coffee cup logo)</b>	Individual Internally illuminated channel Letters <b>(DD)</b> 36" tall x 70.5" wide = 17.6 sq. ft.	REPLACEMENT SIGN - reduced size	
West elevation (#2)	NONE	Dimensional graphics (external illumination) <b>(Medway Dunkin with runner logo)</b> 31" tall x 87.375" wide = 18.8 sq. ft.	NEW SIGN	
East elevation (where pick up window is located)	NONE	<del>Dimensional graphics (external illumination) <b>(Something Fresh Is Always Brewing)</b> with a horizontal stripe above and a horizontal stripe below</del> 29" tall x 129" wide = 25.97 sq. ft.	<del>NEW SIGN</del>	
<b>TOTAL</b>	2 wall signs with a total of <b>63.3 sq. ft.</b> of sign surface area	<del>4 wall signs with a total of <b>75.57 sq. ft.</b> of sign surface area. 3 wall signs with a total of <b>49.6 sq. ft.</b></del>		
<b>FREE-STANDING SIGN</b>				
Front	Internally illuminated <b>(DUNKIN' DONUTS DRIVE THRU with coffee cup logo)</b> 37" tall x 74" wide = 19 sq. ft. per side x 2 sides = 38 sq. ft. No landscaping around the base of the sign.	Internally illuminated <b>(DUNKIN' DRIVE THRU)</b> 37" tall x 74" wide = 19 sq. ft. per side x 2 sides = 38 sq. ft.	REPLACEMENT SIGN - Same sign structure and type; different text; repaint sign post; not sure of sign height	a) Maximum allowed is 48 sq. ft. for a 2 sided sign b) Maximum height is 8'. What is the current sign height? Is it non- conforming? c) Minimum setback from street is 10' . What is the current sign setback? Is it non-conforming? d) Landscaping needed around the base of the sign 3' in all directions.
<b>TOTAL</b>	38 sq. ft.	38 sq. ft.		



	EXISTING SIGNS	PROPOSED SIGN	Notes	Zoning Compliance
<b>DIRECTIONAL SIGNS at curbs</b>				
Exit	( <del>EXIT with arrow with coffee cup logo</del> ) - external illumination 14" tall x 31" wide = 3 sq ft. per side x 2 sides = 6 sq. ft.	(DNKN' SEE YOU SOON) 14" tall x 31" wide = 3 sq ft. per side x 2 sides = 6 sq. ft.	REPLACEMENT SIGN - Use existing directional sign; repaint sign post	On premises devices guiding and directing traffic and parking, such as entrance and exit signs, each not exceeding four square feet in sign surface area, bearing no advertising matter are EXEMPT (No sign permit needed). Appears that the existing signs are non-conforming due to their size.
Enter	( <del>ENTER with arrow with coffee cup logo</del> ) - external illumination 14" tall x 31" wide = 3 sq ft. per side x 2 sides = 6 sq. ft.	(DNKN" WELCOME BACK) 14" tall x 31" wide = 3 sq ft. per side x 2 sides = 6 sq. ft.	REPLACEMENT SIGN - Use existing directional sign; repaint sign post	
<b>TOTAL</b>	2 two-sided signs for a total of 12. sq. ft.	2 two-sided signs for a total of 12. sq. ft.		
<b>DIRECTIONAL SIGN - DRIVE THRU CLEARANCE BAR</b>				
	None	(Drive Thru) letters mounted on a horizontal cross arm ( 8" tall x 55" wide = 3 sq. ft. ) with (Clearance 9") bar 4.5" tall x 48" wide = 1.5 sq. ft. hung underneath	NEW SIGN	On premises devices guiding and directing traffic and parking, such as entrance and exit signs, each not exceeding four square feet in sign surface area, bearing no advertising matter are EXEMPT (No sign permit needed).
<b>DIRECTIONAL SIGN - DRIVE THRU CANOPY with speaker</b>				
	None	(ORDER HERE) vinyl graphics arranged vertically on post; 6" tall by 51.5" long = 2.15 sq. ft.	NEW SIGN	On premises devices guiding and directing traffic and parking, such as entrance and exit signs, each not exceeding four square feet in sign surface area, bearing no advertising matter are EXEMPT (No sign permit needed).

	EXISTING SIGNS	PROPOSED SIGN	Notes	Zoning Compliance
<b>DRIVETHRU MENU BOARD</b>				
	Yes.	58" wide x 48 high. Overall height is 72" tall. Internally illuminated.		Exempt Sign.
<b>WINDOW AND DOOR SIGNAGE</b>				
	Yes. Not sure of details	No submittals		TBD. Would like to see what is planned.
sac (3-17-23)				

<b>ZONING INFORMATION TABLE - MEDWAY, MA</b> <b>#39 ALDER STREET, MEDWAY, MA</b>			
<b>PREPARED FOR:</b>	ETS PROPERTIES LLC 11 AIRPORT ROAD HOPEDALE, MA 01747	<b>CURRENT OWNER:</b>	ETS PROPERTIES LLC 11 AIRPORT ROAD HOPEDALE, MA 01747
<b>ASSESSOR'S MAP ID:</b> 63-004 <b>DEED:</b> BK 40549 PG 251			
<b>EXISTING ZONE:</b> W1 (WEST INDUSTRIAL) & GROUNDWATER PROTECTION DISTRICT OVERLAY			
<b>EXISTING USE:</b> VACANT INDUSTRIAL PROPERTY			
<b>PROPOSED USE:</b> CONSTRUCTION EQUIPMENT / MACHINERY SALES, LEASING, OR RENTALS SPECIAL PERMIT & SITE PLAN WITH PLANNING AND ECONOMIC DEVELOPMENT BOARD			
EXISTING ZONING REQUIREMENTS	REQUIRED	EXISTING	PROPOSED
LOT SIZE (MIN.)	40,000 S.F.	323,351 S.F. (7.42 Acres)	323,351 S.F. (7.42 Acres)
FRONTAGE	100 FT.	212.98 FT.	212.98 FT.
FRONT SETBACK	30 FT.	N/A	150.37 FT.
SIDE SETBACK	20 FT.	N/A	47.29 FT.
REAR SETBACK (MIN.)	30 FT.	N/A	> 30 FT.
MAX. BLDG. HEIGHT	60 FT.	N/A	34.58 FT.
LOT BLDG. COVERAGE (MAX.)	N/A	N/A	12.054 S.F. (3.7%)
IMPERVIOUS COVERAGE (MAX.)	80 %	238 S.F.	62,312 S.F. (19 %)
<b><u>PROPOSED PARKING CALCULATION</u></b>		<b><u>REQUIRED</u></b>	<b><u>PROPOSED</u></b>
<b>Office:</b> (1 Space / 300 s.f.) x 2,454 s.f.		9 Spaces	9 Spaces
<b>Industrial:</b> (1 Space/ 1,000 s.f.) x 9,600 s.f.		10 Spaces	11 Spaces
(1 Space / 2 Employees) x 5 Employees		3 Spaces	3 Spaces
<b>Marked Handicap Accessible Spaces</b> (1-25 Spaces) 1 Van Accessible		1 HC Spaces	1 HC Spaces
<b>Total Spaces =</b>		23 Spaces	24 Spaces

**GRAPHIC SCALE**

0 20 40 60 80

(IN FEET)

1 inch = 20 ft.

**DIG SAFE NOTE (1-888-344-7233):**  
CONTRACTOR REQUIRED TO NOTIFY "DIG SAFE" 72 HOURS PRIOR TO ANY ON-SITE EXCAVATION OR CONSTRUCTION AT 1-888-344-7233. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER AND SEWER DEPARTMENTS TO MARK OUT THEIR UTILITIES.

**PRELIMINARY PLAN**  
NOT FOR CONSTRUCTION PURPOSES  
3/1/2023

**REFER TO GENERAL NOTE SHEET FOR SITE NOTES**

C-1.0

PROFESSIONAL SEAL





PROJECT DESCRIPTION: BUILDING SHALL BE USED AS AN EQUIPMENT RENTAL FACILITY AND SHALL HAVE A PUBLIC SHOWROOM, EQUIPMENT STORAGE GARAGE / WASH AREA AND AN ENCLOSED SECOND FLOOR STORAGE PLATFORM.

WATER IN THE EQUIPMENT WASH AREA SHALL BE COLLECTED IN A TRENCH DRAIN AND PIPED TO AN OIL WATER SEPARATOR.

THE BUILDING SHALL BE A PREFABRICATED METAL BUILDING WITH CORRUGATED METAL WALL AND ROOF PANELS AND AN E.I.F.S. FACADE AT THE MAIN BUILDING ENTRANCE. ROOF RUN OFF SHALL BE COLLECTED USING GUTTERS AND RAIN LEADERS.

LAYOUT AND EGRESS REQUIREMENTS SHALL BE ADDRESSED IN THE FORMAL BUILDING DEPARTMENT SUBMISSION.

PROJECT DESCRIPTION

BUILDING CODE REFERENCED - MASSACHUSETTS STATE BUILDING CODE, 9TH EDITION, COMPRISED OF THE FOLLOWING MODEL BUILDING CODES WITH STATE SUPPLEMENT AND AMENDMENTS:

- 2015 INTERNATIONAL BUILDING CODE
- 2015 INTERNATIONAL MECHANICAL CODE
- 2015 INTERNATIONAL PLUMBING CODE
- 2015 INTERNATIONAL ENERGY CONSERVATION CODE
- 521 CMR: 2006 EDITION ARCHITECTURAL ACCESS BOARD
- 2017 NATIONAL ELECTRICAL CODE (NFPA 70)
- 2015 NATIONAL FUEL GAS CODE (NFPA 54)

309.1 USE GROUP CLASSIFICATION

PROPOSED: B - BUSINESS

504.3 (TABLE) ALLOWABLE HEIGHT

ALLOWED / PROPOSED: 55' > 34'-7"

504.3 (TABLE) ALLOWABLE STORIES ABOVE GRADE

ALLOWED / PROPOSED: B: 4 / S-1 / S-2: 4; PROPOSED: 2

506.2 (TABLE) ALLOWABLE BUILDING AREA

ALLOWED: B: 69,000 / S-1: 52,500 / S-2: 78,000

PROPOSED: 14679

602CONSTRUCTION CLASSIFICATION

PROPOSED: IIB (COMBUSTIBLE/UNPROTECTED)

903 FIRE PROTECTION SYSTEMS (SPRINKLER SYSTEM)

REQUIRED: YES - BUILDING SIZE

907 MANUAL FIRE ALARM SYSTEMS

REQUIRED: YES

1004.1.2 DESIGN OCCUPANT LOAD (TABLE)

USE		AREA IN S.F.	S.F. PER PERSON	OCCUPANT LOAD
B	OFFICE / SUPPORT	2628	100 GROSS	26
S-1	STORAGE	2625	300 GROSS	9
S-2	EQUIPMENT GARAGE	9426	200 GROSS	47
	TOTAL	14679	TOTAL	82

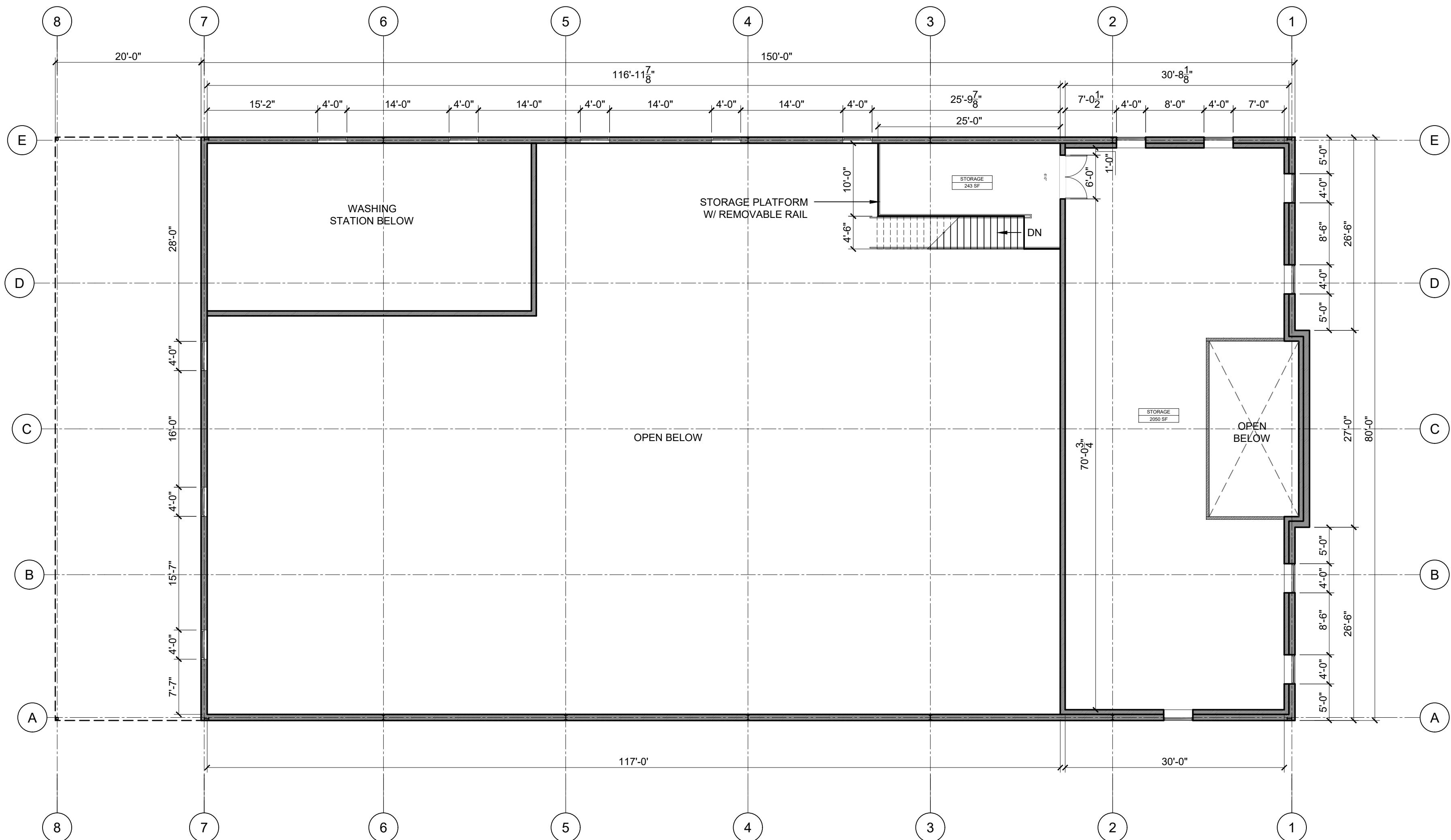
2902.1 (TABLE) MINIMUM NUMBER OF REQUIRED PLUMBING FIXTURES

FIXTURE	REQUIRED		PROVIDED	
	MEN	WOMEN	MEN	WOMEN
TOILET	1 : 20	1 : 25		1
LAVATORY		1 : 50		1
UTILITY SINK	YES		YES	
WATER FOUNTAIN	NO		BREAK ROOM SINK	

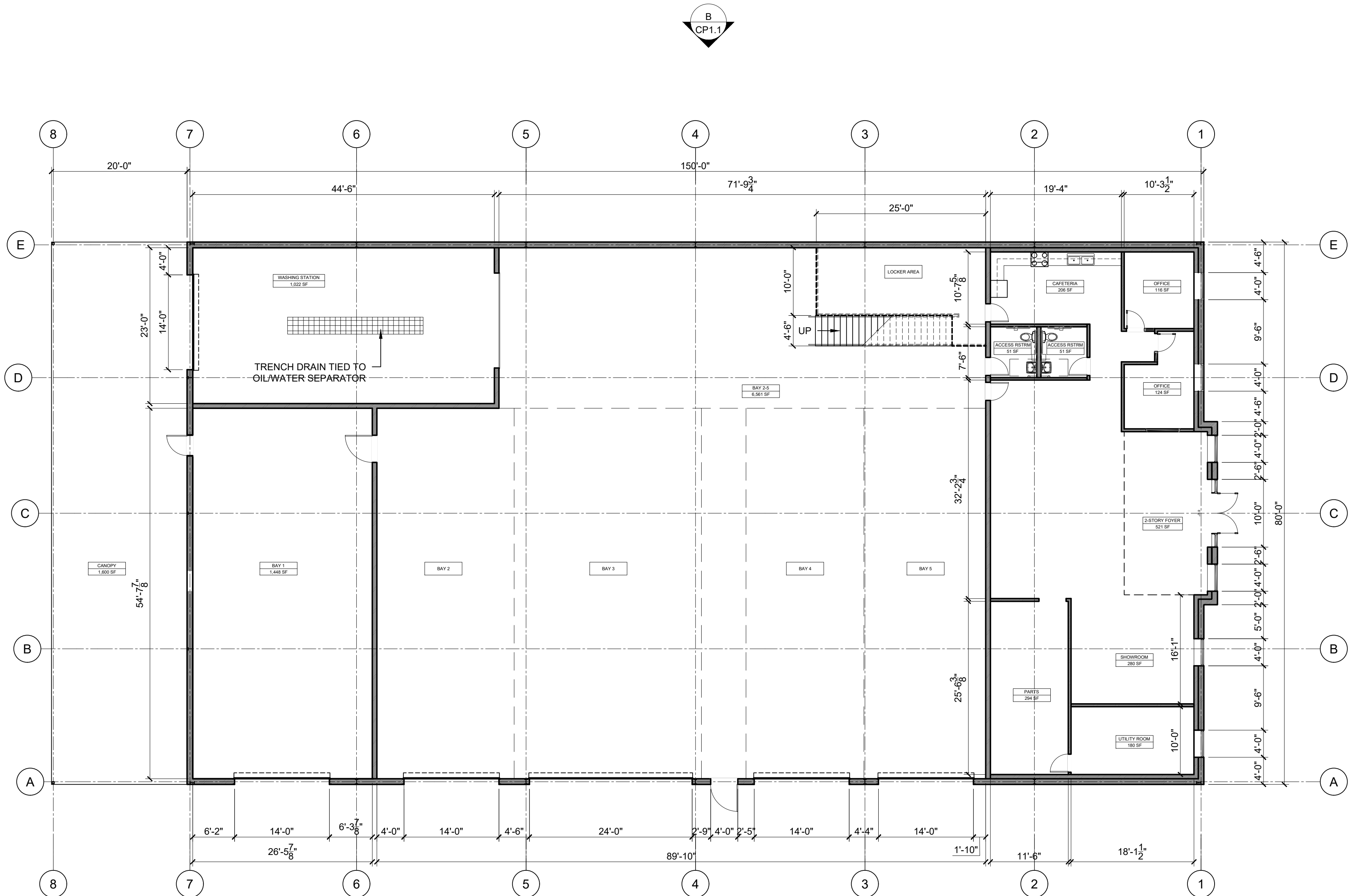
2902.2 SEPARATE FACILITIES

REQUIRED: YES - OPEN TO THE PUBLIC

CODE ANALYSIS



SECOND FLOOR PLAN 3/32"=1'-0" B



FIRST FLOOR PLAN 3/32"=1'-0" A

PROJECT NO : 1522

SEAL :



DATE :

CONSULTANT :

CLIENT :



KEY PLAN :

PROJECT LOCATION :

39 ALDER STREET  
MEDWAY, MA

ORIGINAL ISSUE	DATE
DESIGN REVIEW	03.14.23
COMMITTEE SUBMITTAL	
REVISIONS & SUBMISSIONS	
DATE	
1	
2	
3	
4	
5	
6	
7	
8	


SHEET NAME :

CONCEPT PLANS


SHEET # :

CP1

PROJECT NO : 1522

SEAL :  
  
DATE :

CONSULTANT :

CLIENT :  


KEY PLAN :

PROJECT LOCATION :  
**39 ALDER STREET  
MEDWAY, MA**

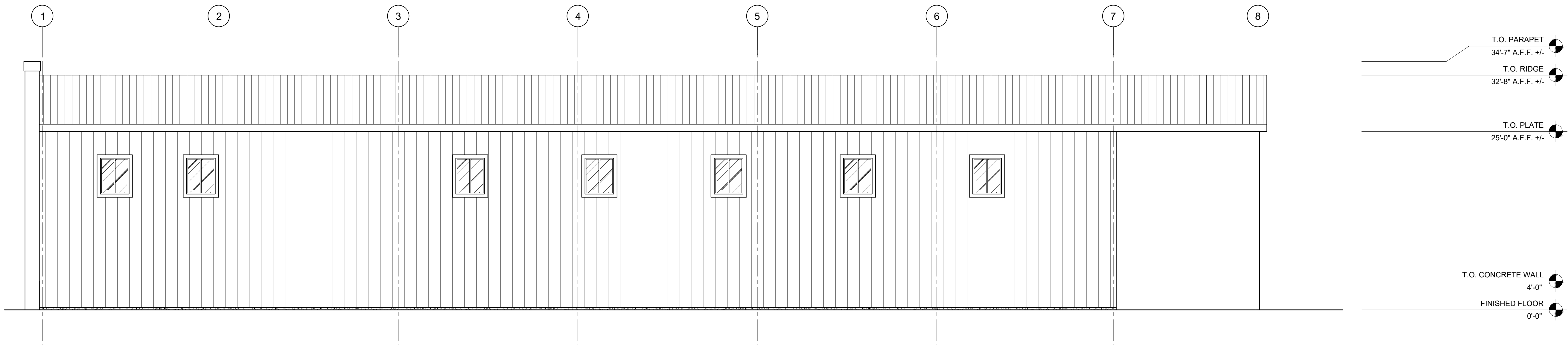
ORIGINAL ISSUE	DATE
DESIGN REVIEW COMMITTEE SUBMITTAL	03.14.23
REVISIONS & SUBMISSIONS	DATE
1	
2	
3	
4	
5	
6	
7	
8	

SHEET NAME :  
**EXTERIOR  
ELEVATIONS**

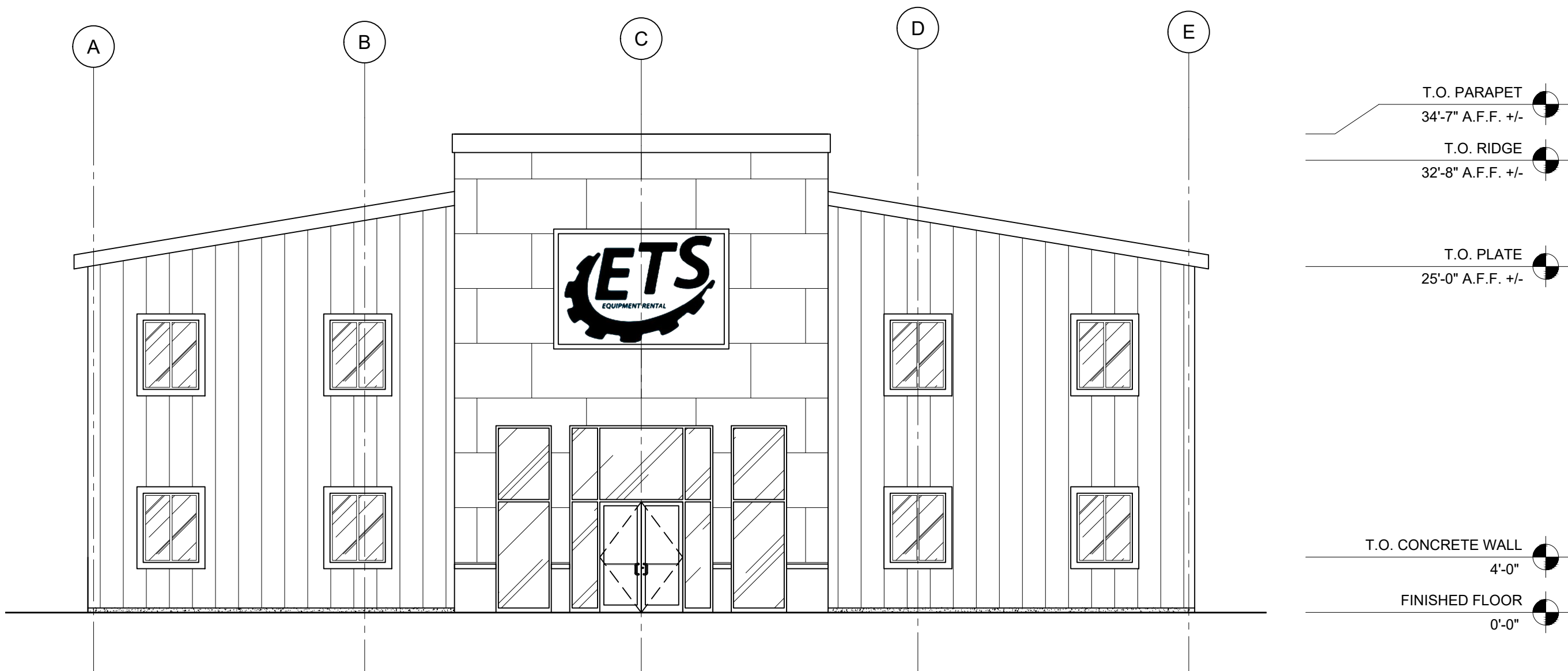
SHEET # :  
**CP1.1**



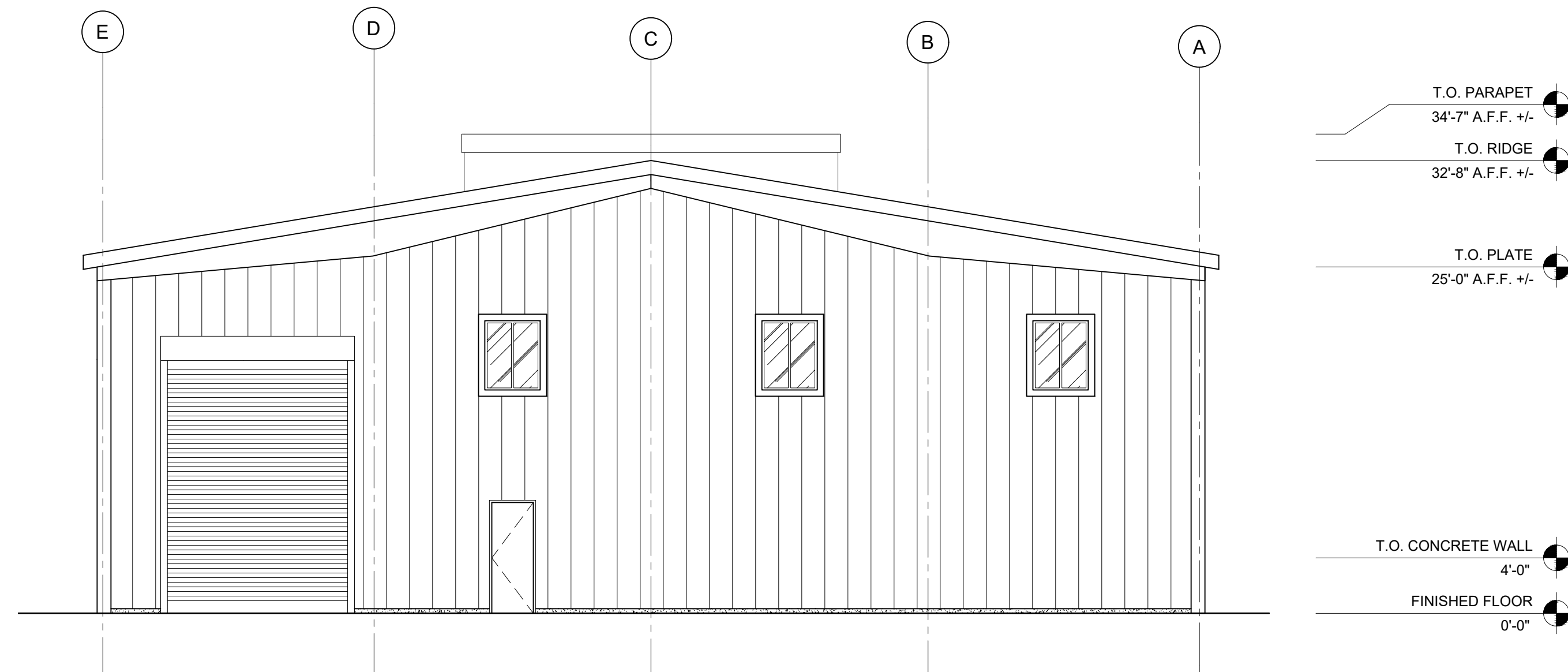
**NORTHEAST ELEVATION** 1/8" = 1'-0" **A**



**SOUTHWEST ELEVATION** 1/8" = 1'-0" **B**



**NORTHWEST ELEVATION** 1/8" = 1'-0" **C**



**SOUTHEAST ELEVATION** 1/8" = 1'-0" **D**





**SOUTHWEST SIDE** NTS **4**

**NORTHEAST SIDE** NTS **2**



**NORTHWEST SIDE** NTS **3**

**SOUTHEAST SIDE** NTS **1**

PROJECT NO : 1522

SEAL :



DATE :

CONSULTANT :

CLIENT :



KEY PLAN :

PROJECT LOCATION :

39 ALDER STREET  
MEDWAY, MA

ORIGINAL ISSUE	DATE
DESIGN REVIEW	03.14.23
COMMITTEE SUBMITTAL	
REVISIONS & SUBMISSIONS	DATE
1	
2	
3	
4	
5	
6	
7	
8	

SHEET NAME :

EXTERIOR  
RENDERINGS

SHEET # :

CP1.2